

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: APRIL 12, 2007**

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**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-20138 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: STEVE OKOSISI AND SUSAN NWOGBE - OWNER: TECH RETAIL CENTER - Request for a Special Use Permit FOR A BEER/WINE/COOLER ON SALE ESTABLISHMENT IN CONJUNCTION WITH A PROPOSED RESTAURANT at 2400 North Buffalo Drive, Suite #145 (APN 138-15-402-001), C-1 (Limited Commercial), Ward 4 (Brown).**

**IF APPROVED: C.C.: 05/16/07**

**IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

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| <b>0</b> |
|          |

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

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| <b>0</b> |
|          |

**RECOMMENDATION:**

Staff recommends **APPROVAL**

**BACKUP DOCUMENTATION:**

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

**MOTION:**

**TROWBRIDGE – APPROVED subject to conditions – UNANIMOUS with EVANS excused**

**To be heard by City Council on 5/16/2007**

**MINUTES:**

**CHAIRMAN DAVENPORT** declared the Public Hearing open.

**DOUG RANKIN**, Planning and Development Department, stated there are no protected uses within the distance separation and that this business could be conducted in a manner that is harmonious and compatible with the area. He recommended approval.

PLANNING COMMISSION MEETING OF APRIL 12, 2007  
Planning and Development Department  
Item 82 – SUP-20138

**MINUTES – Continued:**

STEVE OKOSISI and SUSAN NWOGBE were present. MR. OKOSISI informed CHAIRMAN DAVENPORT that his restaurant offers sandwiches, soups and smoothies. MS. NWOGBE explained it was a franchise restaurant with two other locations in town. MR. OKOSISI agreed to all conditions.

In response to COMMISSIONER TROWBRIDGE's inquiry, MR. OKOSISI stated the name of the franchise was Tacone Flavor Grill.

CHAIRMAN DAVENPORT declared the Public Hearing closed.

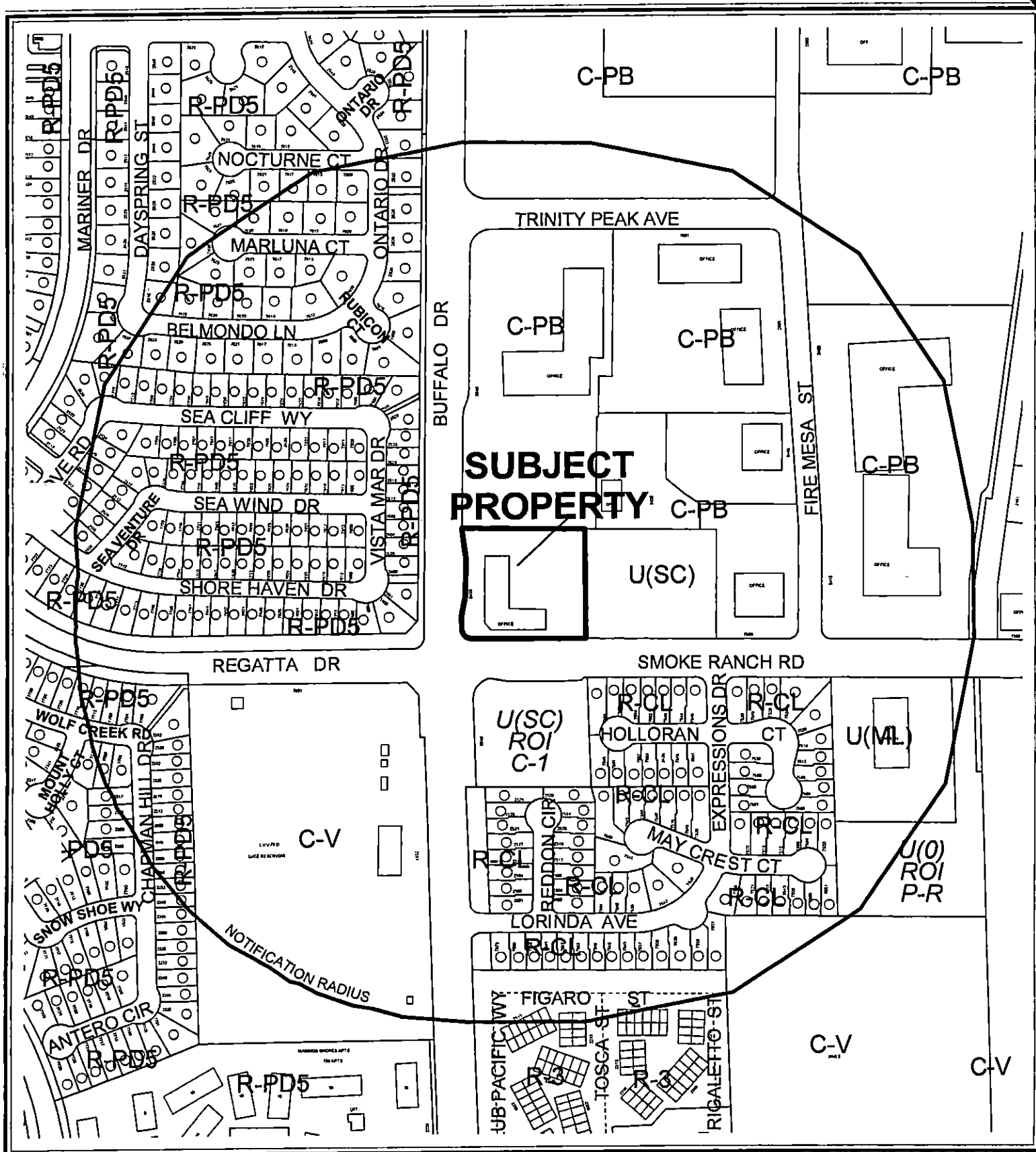
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**4-1521**

**CONDITIONS:**

Planning and Development

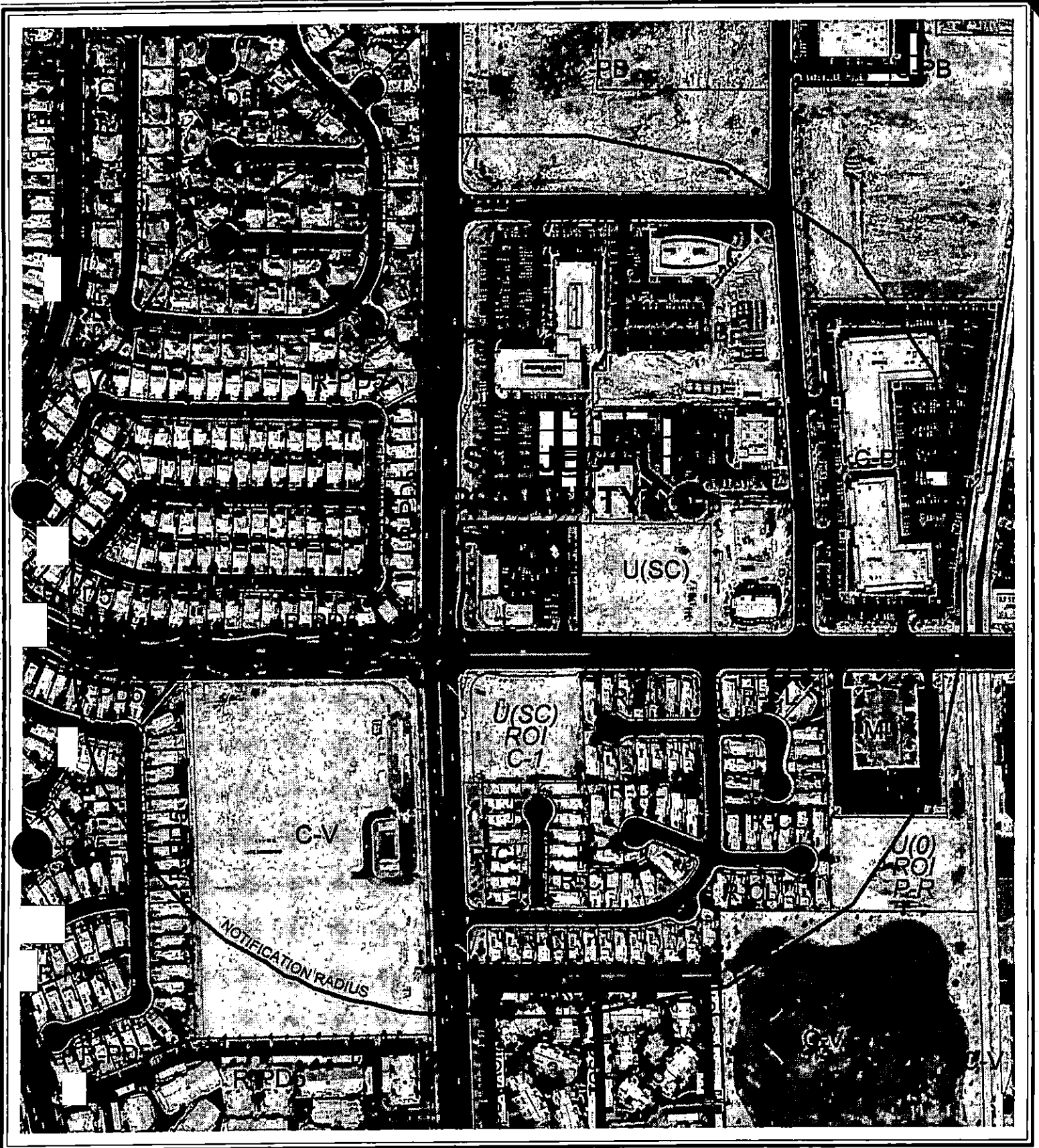
1. Conformance to the conditions for Rezoning (ZON-2457), and Site Development Plan Review (SDR-2458) if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



CASE: SUP-20138

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



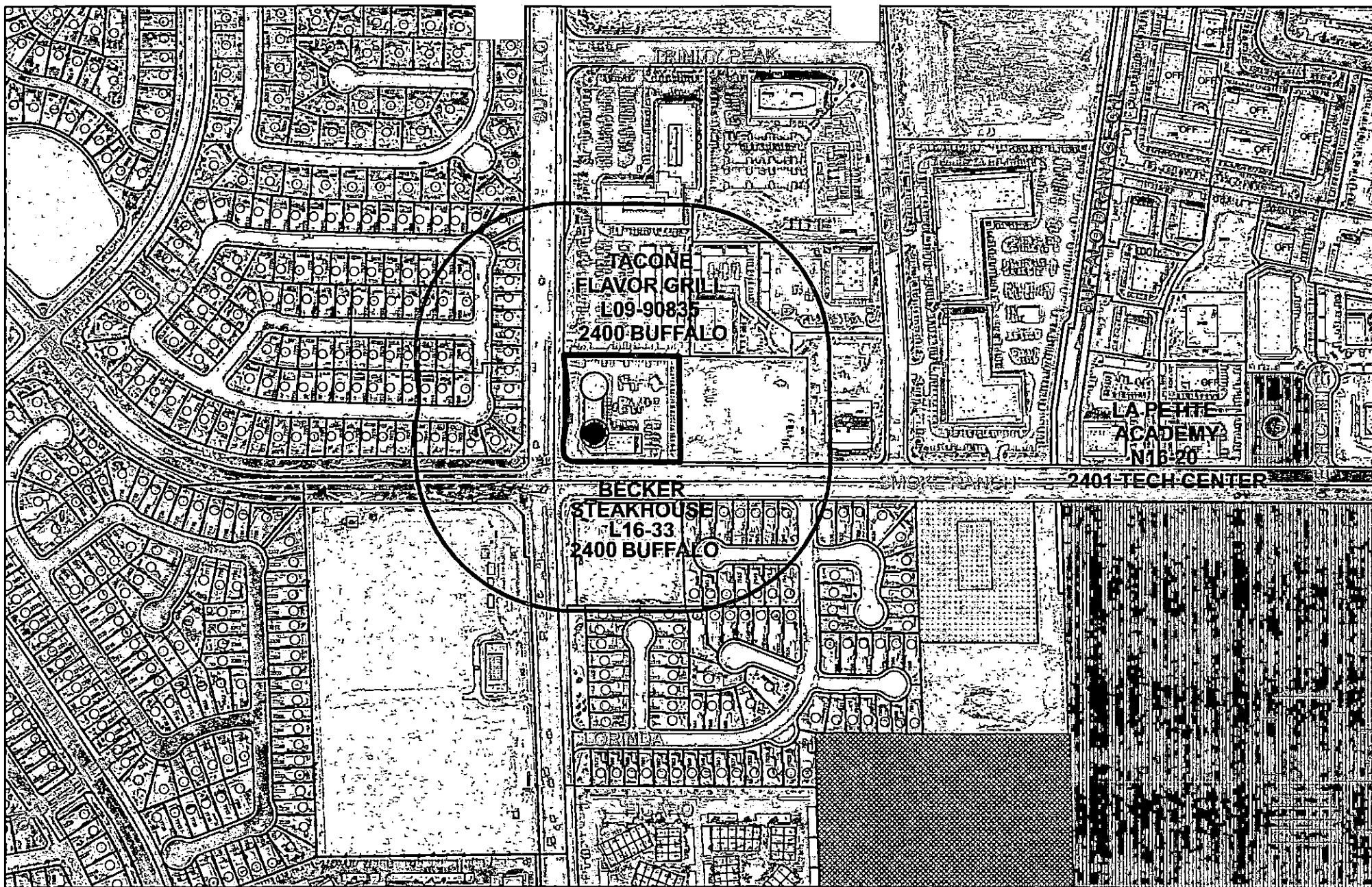
CASE: SUP-20138

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 500 Feet





**SUP-20138**

**Package Liquor Sales**

**Business Licenses**

- |                                                                                                                      |                                                                                                                            |
|----------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------|
|  Child Care/<br>Children Facility |  Supper Club/<br>Restaurant Service Bar |
|  Tavern                           |  Liquor on/off Sales                    |

- |                                                                                                  |
|--------------------------------------------------------------------------------------------------|
|  RELIGIOUS  |
|  CITY PARKS |
|  SCHOOLS    |

- |                                                                                                        |
|--------------------------------------------------------------------------------------------------------|
|  Subject Property |
|  400 foot buffer  |



*City of Las Vegas*

**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: APRIL 12, 2007**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SUP-20138 - APPLICANT: STEVE OKOSISI AND SUSAN  
NWOGBE - OWNER: TECH RETAIL CENTER**

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**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: APPROVAL, subject to:**

**Planning and Development**

1. Conformance to the conditions for Rezoning (ZON-2457), and Site Development Plan Review (SDR-2458) if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

**SUP-20138 - Staff Report Page One**  
**April 12, 2007 - Planning Commission Meeting**

**\*\* STAFF REPORT \*\***

**PROJECT DESCRIPTION**

This application is a request for a Special Use Permit for a Beer/Wine/Cooler On-Sale Establishment in conjunction with a proposed restaurant in a 1,636 square foot space within an approved 14,000 square foot shopping center (SDR-2458) at 2400 N Buffalo Road, Suite #145 in a C-1 (Limited Commercial) zone.

**BACKGROUND INFORMATION**

| <b><del>Related/Relevant City Actions by P&amp;D, Fire, Bldg., etc.</del></b> |                                                                                                                                                                                                                        |
|-------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Month/date/year                                                               | Action                                                                                                                                                                                                                 |
| 05/05/2004                                                                    | The City Council approved a rezoning (ZON-2457)                                                                                                                                                                        |
| 05/05/2004                                                                    | The City Council approved a Site Development Plan Review (SDR-2458) for two commercial buildings on the northeast and southeast corners of Smoke Ranch Road and Buffalo Drive.                                         |
| 05/05/2004                                                                    | The City Council approved a Special Use Permit for a liquor establishment (Tavern) and a waiver from the 1,500 foot distance separation requirement from an existing school.                                           |
| <b><del>Related/Building Permits/Business Licenses</del></b>                  |                                                                                                                                                                                                                        |
| 12/29/04                                                                      | Construction permit for a shopping center                                                                                                                                                                              |
| 01/06/06                                                                      | Kitchen expansion T.I. remodel                                                                                                                                                                                         |
| 10/14/2005                                                                    | Becker Steakhouse - Suite 125 (C20-02239, G01-02240, L16-00033, R09-01330)                                                                                                                                             |
| 06/26/2006                                                                    | Suite 105 - Sweet Cheeks Paper (G04-06215)                                                                                                                                                                             |
| 11/20/2006                                                                    | Forever Fit – Suite 110 (H08-00058)                                                                                                                                                                                    |
| 02/23/2007                                                                    | Tacone Flavor Grill – Suite 145 (L09-90835 – Denied by Planning on 03/07/2007 and Fire 02/23/07 – License is pending; R09-90833 – Approved by Planning on 03/07/2007 and Denied by Fire 02/23/07 – License is pending) |
| <b><del>Pre-Application Meeting</del></b>                                     |                                                                                                                                                                                                                        |
| 02/16/07                                                                      | A pre-application meeting was held with the applicant at which time the requirements for a Special Use Permit for a Beer/Wine/Cooler On-Sale Establishment was discussed.                                              |
| <b><del>Neighborhood Meeting</del></b>                                        |                                                                                                                                                                                                                        |
| N/A                                                                           | A neighborhood meeting is not required for a Special Use Permit application.                                                                                                                                           |

**SUP-20138 - Staff Report Page Two**  
**April 12, 2007 - Planning Commission Meeting**

| <b>Details of Application Request</b> |            |
|---------------------------------------|------------|
| <b>Site Area</b>                      |            |
| Gross Acres                           | 2.04 acres |
| Net Acres                             | 1.99 acres |

| <b>Surrounding Property</b> | <b>Existing Land Use</b>                               | <b>Planned Land Use</b>                                    | <b>Existing Zoning</b>                                                 |
|-----------------------------|--------------------------------------------------------|------------------------------------------------------------|------------------------------------------------------------------------|
| Subject Property            | Retail Center                                          | SC (Service Commercial)                                    | C-1(Limited Commercial)                                                |
| North                       | Business Park                                          | LI/R (Light Industrial/Research)                           | C-PB(Planned Business Park)                                            |
| South                       | Retail Center                                          | SC (Service Commercial) & ML (Medium Density Residential)  | R-CL(Residential - Compact Lot)                                        |
| East                        | Undeveloped                                            | SC (Service Commercial)                                    | U (Undeveloped) Zone [SC(Service Commercial) General Plan Designation] |
| West                        | Residential & Las Vegas Valley Water District Facility | ML (Medium Density Residential) and PF (Public Facilities) | R-PD5 (Residential Planned Development - 5 DUA) & C(Civic)             |

| <b>Special Districts/Zones</b>                    | <b>Yes</b> | <b>No</b> | <b>Compliance</b> |
|---------------------------------------------------|------------|-----------|-------------------|
| <b>Special Purpose and Overlay Districts</b>      |            |           |                   |
| <b>Trails</b>                                     |            | X         | N/A               |
| <b>Rural Preservation Overlay District</b>        |            | X         | N/A               |
| <b>Development Impact Notification Assessment</b> |            | X         | N/A               |
| <b>Project of Regional Significance</b>           |            | X         | N/A               |

**SUP-20138 - Staff Report Page Three**  
**April 12, 2007 - Planning Commission Meeting**

**DEVELOPMENT STANDARDS**

*Pursuant to Title 19.10, the following parking standards apply:*

| <b>Parking Requirement</b>           |                                            |                      |                         |                     |                         |                     |                   |
|--------------------------------------|--------------------------------------------|----------------------|-------------------------|---------------------|-------------------------|---------------------|-------------------|
| <b>Use</b>                           | <b>Gross Floor Area or Number of Units</b> | <b>Parking Ratio</b> | <b>Required Parking</b> |                     | <b>Provided Parking</b> |                     | <b>Compliance</b> |
|                                      |                                            |                      | <b>Regular</b>          | <b>Handi-capped</b> | <b>Regular</b>          | <b>Handi-capped</b> |                   |
| Commercial Center                    | 14,000 Square Feet                         | 1:250                | 56                      | 3                   | 117                     | 5                   | Y                 |
| Restaurant                           | 800 sf Public Space & Remaining Space      | 1/50<br>1/200        | 16<br>4                 | 1                   |                         |                     |                   |
| <b>SubTotal</b>                      |                                            |                      | 20                      | 1                   |                         |                     | Y                 |
| <b>TOTAL</b><br>(including handicap) |                                            |                      | 20                      | 1                   | 117                     | 5                   |                   |

| <b>Protected Uses</b>           | <b>Minimum Separation Distance Required</b> | <b>Provided</b> | <b>Compliance</b> |
|---------------------------------|---------------------------------------------|-----------------|-------------------|
| 7401 Smoke Ranch - Church       | 400 feet                                    | 640 feet        | Y                 |
| 2301 North Tenaya - High School | 400 feet                                    | 1018 feet       | Y                 |
| 7460 Caliche Way - City Park    | 400 feet                                    | 812 feet        | Y                 |

**ANALYSIS**

- General**

The proposed restaurant is located at 2400 North Buffalo Drive, Suite #145, and is a 1,636 square-foot (approximate) restaurant with 800 square feet (approximate) serving as a public dining area and the remaining 836 square feet (approximate) as kitchen prep and service areas. The proposed restaurant provides seating for 50 patrons, exceeding the 45-seat minimum conditional requirement for a Special Use Permit. Because the applicant meets or exceeds all requirements of this Special Use, staff recommends approval of this request.

This restaurant is part of an approved 14,000 square foot commercial shopping center (SDR-2458), that is on the northeast corner of Buffalo Drive and Smoke Ranch Road. A 3,750 square foot restaurant is located within the existing center, requiring 40 parking spaces. The remaining 8,614 square feet of retail space will require 35 additional parking spaces. The total number of parking spaces needed for the uses within this center is 95 spaces. Adequate parking is provided.

LHM

**SUP-20138 - Staff Report Page Four**  
**April 12, 2007 - Planning Commission Meeting**

- **Zoning**

The subject property is zoned C-1 and located within a small retail shopping center. The proposed Beer/Wine/Cooler On-Sale Establishment, with approval of a Special Use Permit, is a permissible use in the C-1 Zoning District.

- **Conditions**

**BEER/WINE/COOLER ON-SALE ESTABLISHMENT [Special Use in Zones C-1, C-2, C-M, M]**

**Minimum Special Use Permit Requirements:**

- (1) Except as otherwise provided in this Chapter, no beer/wine/cooler on-sale establishment (hereinafter "establishment") shall be located within 400 Feet of any church, synagogue, school, child care facility licensed for more than 12 children, or City park.
- (2) Except as otherwise provided in Requirement (3) below, the distances referred to in Requirement (1) shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed establishment which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed establishment. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:
  - (a) Any leasehold parcel; or
  - (b) Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Requirement (1).
- (3) In the case of an establishment proposed to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Requirement (1) shall be measured in a straight line:
  - (a) From the nearest property line of the existing use to the nearest portion of the structure in which the establishment will be located, without regard to intervening obstacles; or

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**April 12, 2007 - Planning Commission Meeting**

(b) In the case of a proposed establishment which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the establishment will be located, without regard to intervening obstacles.

(4) When considering a Special Use Permit application for an establishment which also requires a waiver of the distance limitation in Paragraph (1), the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.

(5) The minimum distance requirements in Paragraph (1) do not apply to:

(a) An establishment which has a non-restricted gaming license in connection with a hotel having two hundred or more guest rooms on or before July 1, 1992 or in connection with a resort hotel having in excess of two hundred guest rooms after July 1, 1992; or

(b) A proposed establishment having more than fifty thousand square feet of retail floor space.

(\*6) All businesses which sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

The proposed use meets all of the distance separation requirements contained above. Further, as a Beer/Wine/Cooler On-Sale Establishment is defined as "An establishment whose license to sell alcoholic beverages is limited to the sale of beer, wine, and coolers for consumption only in connection with a restaurant in which 45 or more people may be served with meals at any one time at tables or stools," it is noted that the floor plan depicts seating for 50 patrons.

## **FINDINGS**

The following findings must be made for a Special Use Permit:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**
2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

**SUP-20138 - Staff Report Page Six**  
**April 12, 2007 - Planning Commission Meeting**

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**
4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**
5. **The use meets all of the applicable conditions per Title 19.04.**

**In regard to “1”:**

The proposed use will be located in a restaurant within a retail shopping center, which is intended to have commercial uses. As there are no protected uses located within 400 Feet of the proposed Beer/Wine/Cooler On-Sale Establishment this use could be conducted in a manner that is harmonious and compatible with surrounding land uses.

**In regard to “2”:**

With implementation of the proposed conditions, there is no evidence of any physical constraint to the location of the proposed Beer/Wine/Cooler On-Sale Establishment in conjunction with a 1,636 square foot restaurant on the subject site.

**In regard to “3”:**

The subject site is located on the northeast corner of Buffalo Drive, and Smoke Ranch Road, both 100-Foot Primary Arterials on the Master Plan of Streets and Highways, and of adequate capacity to serve the proposed use.

**In regard to “4”:**

This site will be subject to inspections and business licensing requirements and will not endanger the public health or general welfare.

**In regard to “5”:**

The proposed use is in compliance with all conditions of Title 19.04. The site is not within 400 Feet of a church, synagogue, school, child care facility licensed for more than 12 children or a city park. The subject site is a proposed restaurant with seating for 50 patrons in a C-1 zone, which is allowed with an approved Special Use Permit.

**SUP-20138 - Staff Report Page Seven**  
**April 12, 2007 - Planning Commission Meeting**

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 4

**ASSEMBLY DISTRICT** 37

**SENATE DISTRICT** 6

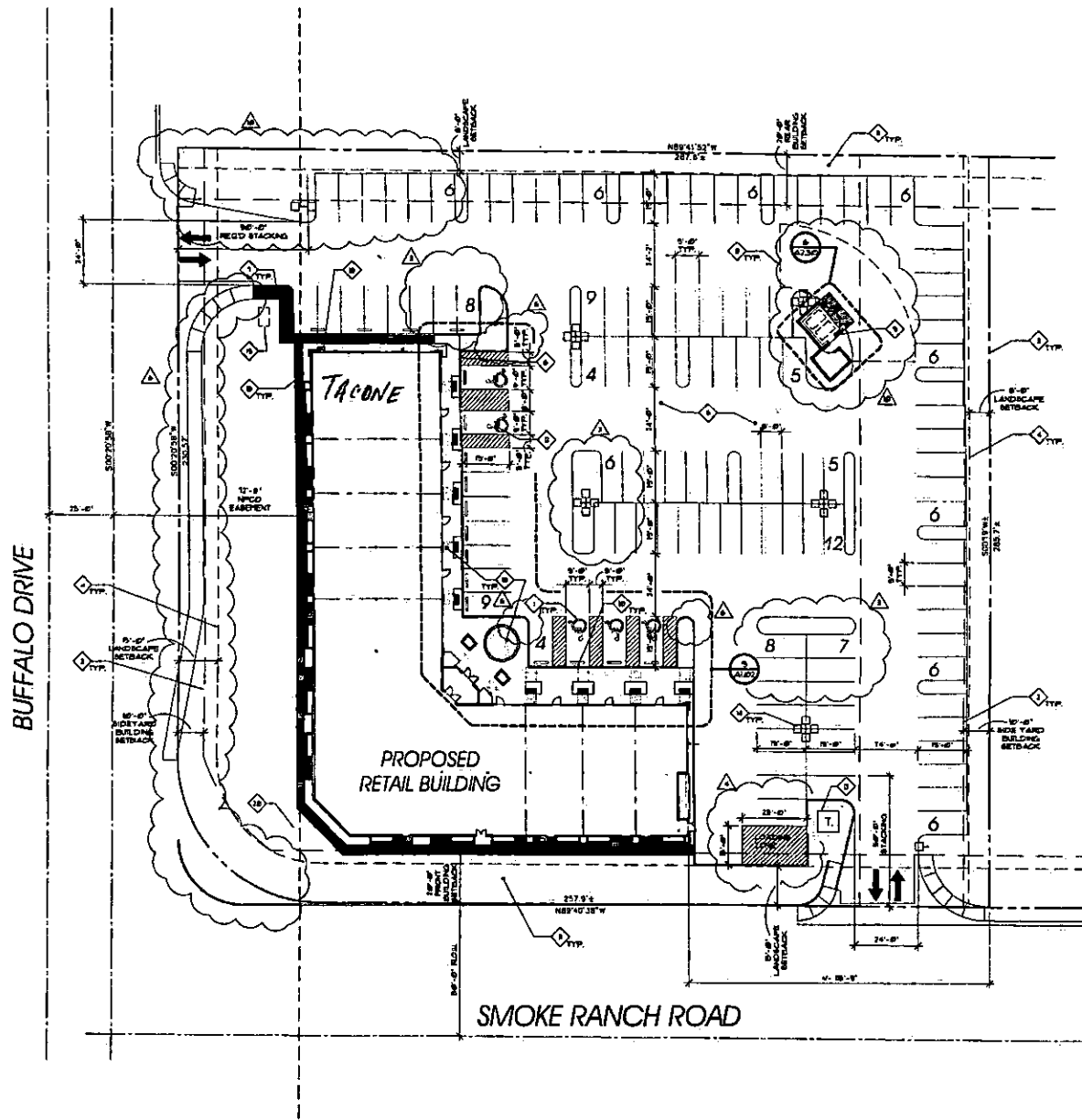
**NOTICES MAILED** 264

**APPROVALS** 0

**PROTESTS** 0



## STATEMENT OF FINANCIAL INTEREST



Site Plan  
Scale 1"=10'-0"

**SUP-20138**  
**04/12/07 PC**

| Keynotes |                                                                             |
|----------|-----------------------------------------------------------------------------|
| 1        | PAINTED ADA SYMBOL, SEE C.D. DRAWING                                        |
| 2        | BUILDING SETBACK                                                            |
| 3        | PROPERTY LINE, TYP.                                                         |
| 4        | LANDSCAPE SETBACK                                                           |
| 5        | AS PAVING SEE CIVIL                                                         |
| 6        | ACCESSIBLE E&P, SEE SAULT                                                   |
| 7        | ACCESSIBLE ROUTE PER GOVERNING MUNICIPALITY, SEE CIVIL FOR MORE INFORMATION |
| 8        | PAVE ACCESS ROUTE                                                           |
| 9        | PAVE TURNING RADIUS, 30'-0"                                                 |
| 10       | PAVE TURNING RADIUS, 30'-0"                                                 |
| 11       | TRASH ENCLOSURE                                                             |
| 12       | ADA PARKING SIGN, SEE C.D. DRAWING                                          |
| 13       | LANDSCAPE AREA                                                              |
| 14       | PAVE ACCESSIBLE SPACE                                                       |
| 15       | POWER TRANSDUCER LOCATION                                                   |
| 16       | LIGHT STANDARDS, REFER TO ELEC.                                             |
| 17       | BROOK FRESH CONCRETE WALK                                                   |
| 18       | GAS METER LOCATION, REFER TO ELECTRICAL AND CIVIL DRAWINGS                  |
| 19       | NOT USED                                                                    |
| 20       | PAVESTONE PAVING, REFER TO DRAINAGE PLAN SAULT                              |
| 21       | LOCATION OF GARBAGE INTERCEPTOR, REFER TO CIVIL AND PLUMBING DRAWINGS       |
| 22       | STUB POLE FOR FUTURE TELEPHONE BOX, REFER TO ELECTRICAL DRAWINGS            |

| Site Data                        |                               |
|----------------------------------|-------------------------------|
| APPROXIMATE PARCEL NUMBER (ASTV) | 08-B-401-000                  |
| CURRENT ZONING                   | C-4                           |
| ZON-2451                         | 8DR-245B                      |
| PARCEL AREA                      |                               |
| NET GROSS                        | 11.124 ACRES GROSS 481,716 SF |
| BUILDING AREA & GROSS            | 411,148 SF                    |
| BUILDING SITE COVERAGE           | 17%                           |
| PARKING REQUIRED                 |                               |
| NETAL, 1,000 SF                  | 1,000 SF, 10 SPACES           |
| TOTAL PARKING REQUIRED           | 10 SPACES                     |
| TOTAL PARKING PROVIDED           | 10 SPACES                     |
| PUBLIC RESTAURANT                |                               |
| 1,700 SF                         | 1,700 SF, 10 SPACES           |
| RETAILING RESTAURANT             | 1,700 SF, 10 SPACES           |
| RETAILING RETAIL, 1,000 SF       | 1,000 SF, 10 SPACES           |
| TOTAL PARKING REQUIRED           | 10 SPACES                     |
| TOTAL PARKING PROVIDED           | 10 SPACES                     |

| General Notes |                                                                                                                                                          |
|---------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1             | CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION                                                                                          |
| 2             | ANY DISCREPANCY BETWEEN CIVIL, LANDSCAPE, PLUMBING, ELECTRICAL, AND ARCHITECTURAL SITE PLANS SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. |
| 3             | REFER TO CIVIL FOR HORIZONTAL CONTROL                                                                                                                    |
| 4             | REFER TO LANDSCAPE FOR PLANTING INFO.                                                                                                                    |
| 5             | REFER TO CIVIL DRAWINGS FOR NEW & EXISTING UTILITY LOCATIONS & ADDITIONAL LINES TO BE INSTALLED.                                                         |

Indigo Architecture, Inc.

**Tech Retail Center**  
**Phase I**  
Smoke Ranch Road at Buffalo Drive

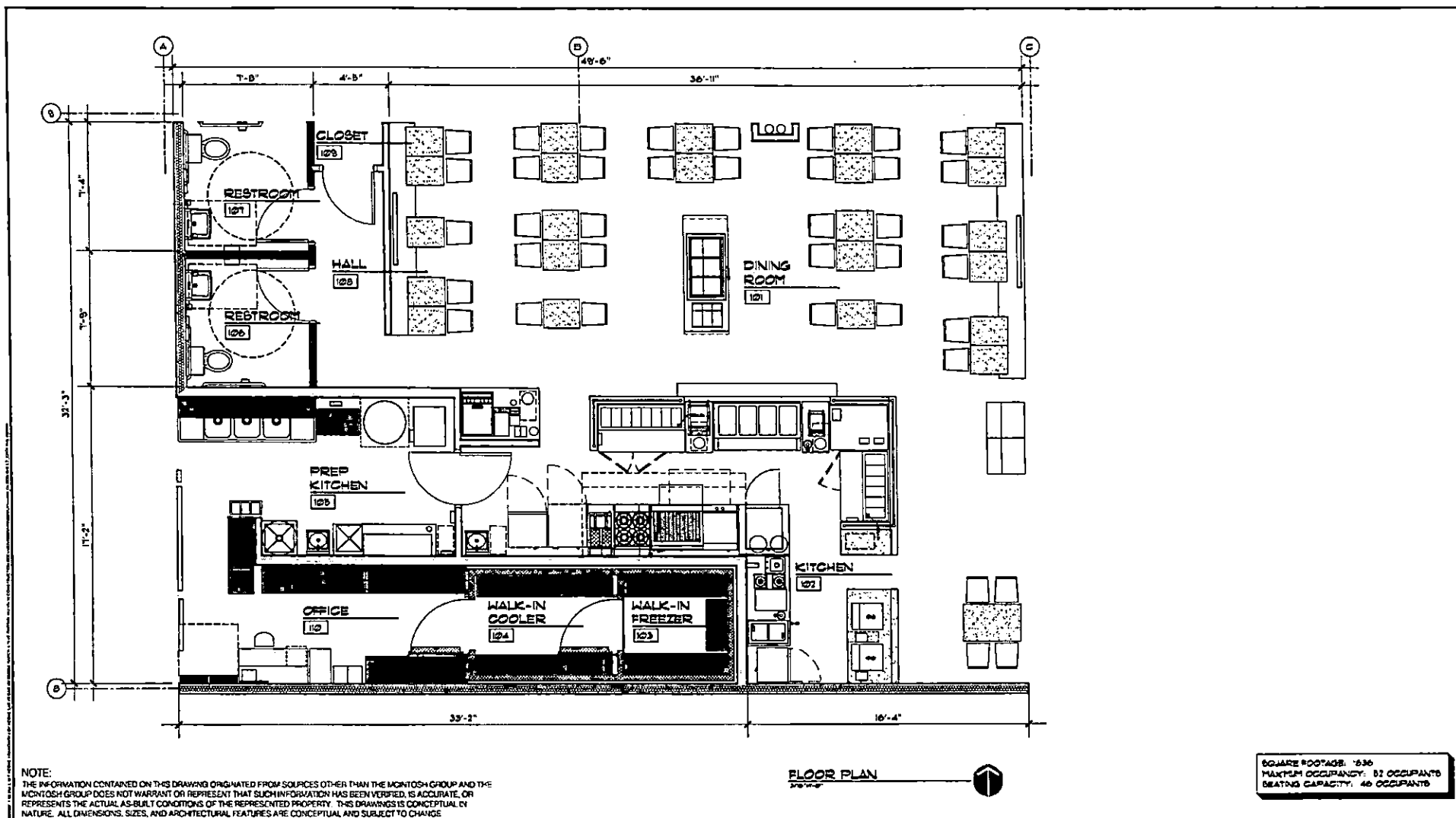
Project Name: \_\_\_\_\_  
Project No: 0434

Client: \_\_\_\_\_  
Client Title: \_\_\_\_\_

Drawn by: CES  
Date: June 10, 2004  
Scale: As Noted

Sheet No: \_\_\_\_\_  
AI.OI

FEB 23 2007



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Las Vegas, Nevada 89120  
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Don L. McIntosh, Jr., AIA, NV Architect  
M. Bradley Doolittle, AIA, NV Architect  
John A. Doolittle, AIA, NV Architect

## TACONE - SMOKE RANCH

2400 N BUFFALO, SUITE 145  
LAS VEGAS, NV

**SUP-20138**  
**04/12/07 PC**

FEB 23 2007

1/24/07

**TECH RETAIL CENTER**  
2400 N. Buffalo

**TACONE RESTAURANT**

SIZE 1,600 SF

USAGE Restaurant

**PARKING REQUIREMENT**

Public Space 1 space per 50 sf\*\*

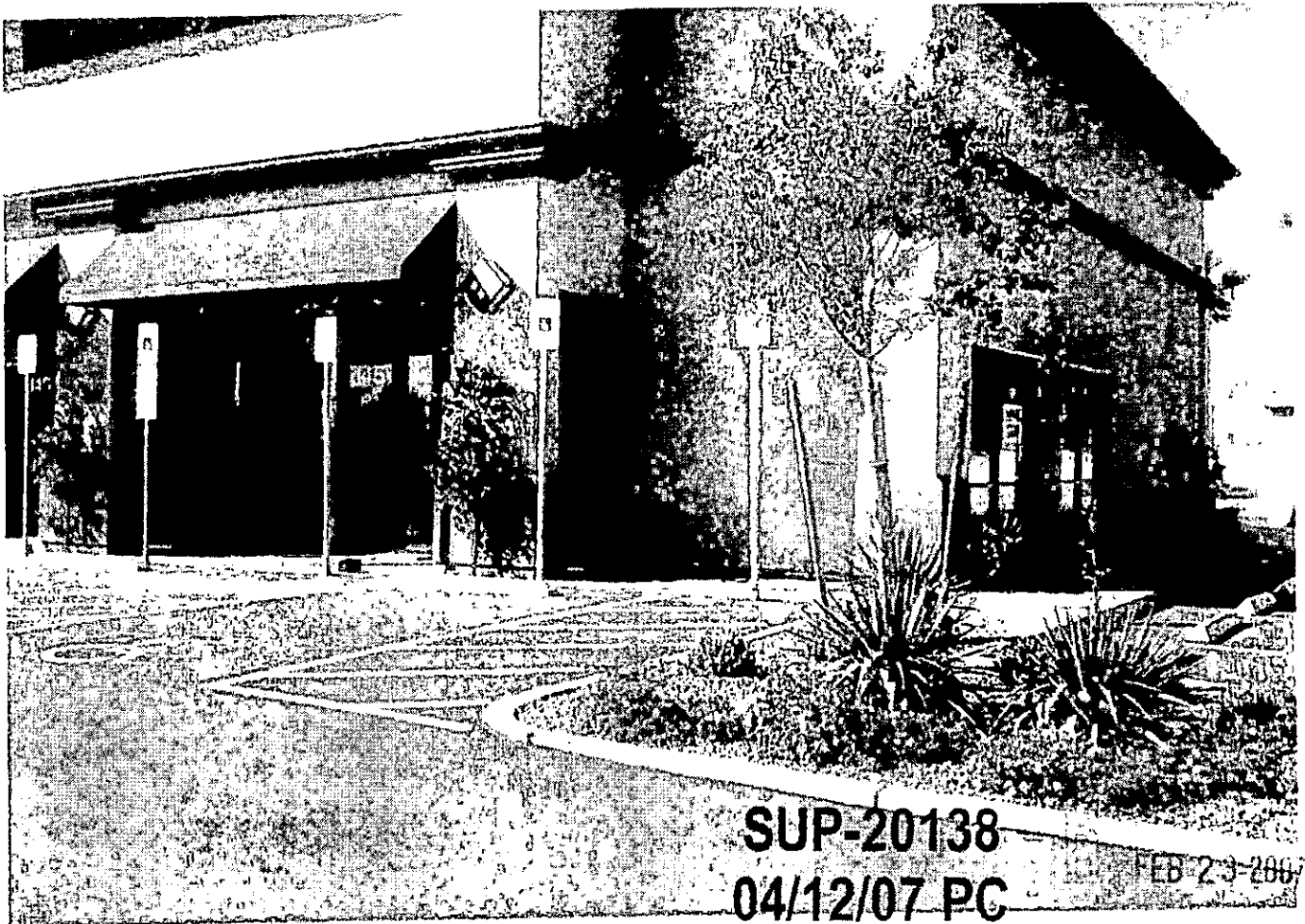
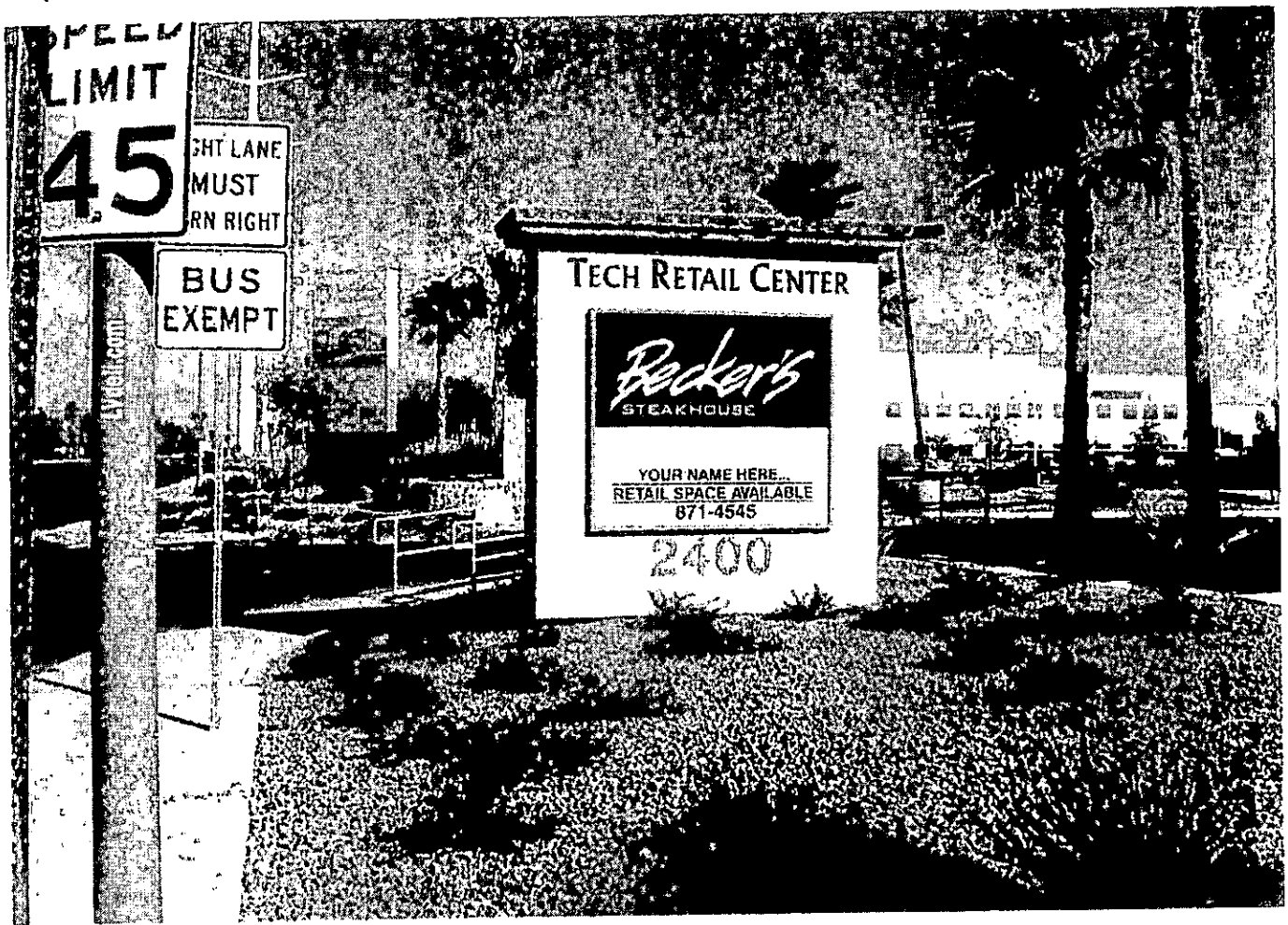
Remaining 1 space per 200 sf\*\*

**PARKING**

|           |                    |                 |
|-----------|--------------------|-----------------|
| Public    | $686 / 50 = 13.72$ | 13 Spaces       |
| Remaining | $960 / 200 = 4.75$ | 5 Spaces        |
|           |                    | <hr/> 18 Spaces |

\*\*Las Vegas Zoning Code, Chapter 19.10, Section F, Table 1

**SUP-20138**  
**04/12/07 PC**







SUP-20138 - APPLICANT: STEVE OKOSISI AND SUSAN NWOGBE - OWNER: TECH RETAIL CENTER  
2400 NORTH BUFFALO DRIVE, SUITE #145  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07



SUP-20138 - APPLICANT: STEVE OKOSISI AND SUSAN NWOGBE - OWNER: TECH RETAIL CENTER  
2400 NORTH BUFFALO DRIVE, SUITE #145  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07



**City of Las Vegas Planning and Development Department:**

We are Suznic Ventures, Inc. dba *Tacone Flavor Grill*. Tacone Flavor Grill is one of the hottest franchises to team up with and offers enormous potentials in the Las Vegas area. The Tacone flavor Grill establishes itself as the premier casual gourmet quick service restaurant while maintaining uncompromising principles as it grows in the Las Vegas market. Tacone is known as a "destination for flavor". The corporate office is located in Los Angeles and was established in 1996. Nationally, Tacone® operates 35 restaurants with 16 openings in 2006 and has 150+ stores in development now. Currently there are two Tacone locations in greater Las Vegas, one in the Desert Passage Shops in the Aladdin and the other in the District at Green Valley.

At Tacone we apply the highest standards of excellence to the food production, preparation, and service to our customers. The main product surrounding the Tacone name is the Gourmet Wrap Sandwich. We also have additional menu categories which include Gourmet Grilled Sandwiches, Farm Fresh Salads, Global Grill Platters, and much more. All menu items are cooked to order, right in front of our customer's. Therefore, we pride ourselves in serving only the best quality food that is fresh, healthy and very delicious.

To compliment our menu, we are seeking to obtain a Special Use Permit to serve beer and wine to our patrons. The Tacone franchise has grown by setting new standards in the quick service category.

We can be contacted directly at the numbers listed below:

Stephen Okosisi – President – 295-1602

Susan Nwogbe – Director – 360-0868

Thank you, for considering our request for a Special Use Permit.

A handwritten signature in black ink, appearing to read "Stephen Okosisi", written over a horizontal line.

Stephen Okosisi

A handwritten signature in black ink, appearing to read "Susan Nwogbe", written over a horizontal line.

Susan Nwogbe

**SUP-20138**  
**04/12/07 PC**

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: APRIL 12, 2007**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-20214 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ALFREDO'S ITALIAN BISTRO - OWNER: PARKVALE PARTNERS, LLC.** - Request for a Special Use Permit FOR THE ADDITION OF A BEER/WINE/COOLER ON-SALE USE TO AN EXISTING RESTAURANT AND A WAIVER TO ALLOW A 300 FOOT SEPARATION DISTANCE FROM AN EXISTING CHURCH WHERE A 400 FOOT SEPARATION DISTANCE IS REQUIRED at 4275 North Rancho Drive, Suite #130 (APN 138-02-712-012), C-2 (General Commercial) Zone, Ward 6 (Ross).

**IF APPROVED: C.C.: 05/16/07**

**IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends **APPROVAL**

**BACKUP DOCUMENTATION:**

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

**MOTION:**

**STEINMAN – APPROVED subject to conditions – UNANIMOUS with EVANS excused**

**To be heard by City Council on 5/16/2007**

**MINUTES:**

**CHAIRMAN DAVENPORT** declared the Public Hearing open.

**DOUG RANKIN**, Planning and Development Department, acknowledged that the subject commercial site contains a church, but noted the separation of the church from the proposed use does not constitute a concern. He recommended approval.

PLANNING COMMISSION MEETING OF APRIL 12, 2007  
Planning and Development Department  
Item 83 – SUP-20214

**MINUTES – Continued:**

CHRIS HARPER, 4275 North Rancho Drive, appeared on behalf of the applicant and agreed to all conditions. MS. HARPER described the restaurant as an Italian bistro which serves lunch and dinner and informed COMMISSIONER GOYNES that many of the parishioners from the church were looking forward to having wine with their meals.

CHAIRMAN DAVENPORT declared the Public Hearing closed.

(11:50 – 11:53)

**4-1604**

**CONDITIONS:**

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0137-94) and Variance (VAR-12782) if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



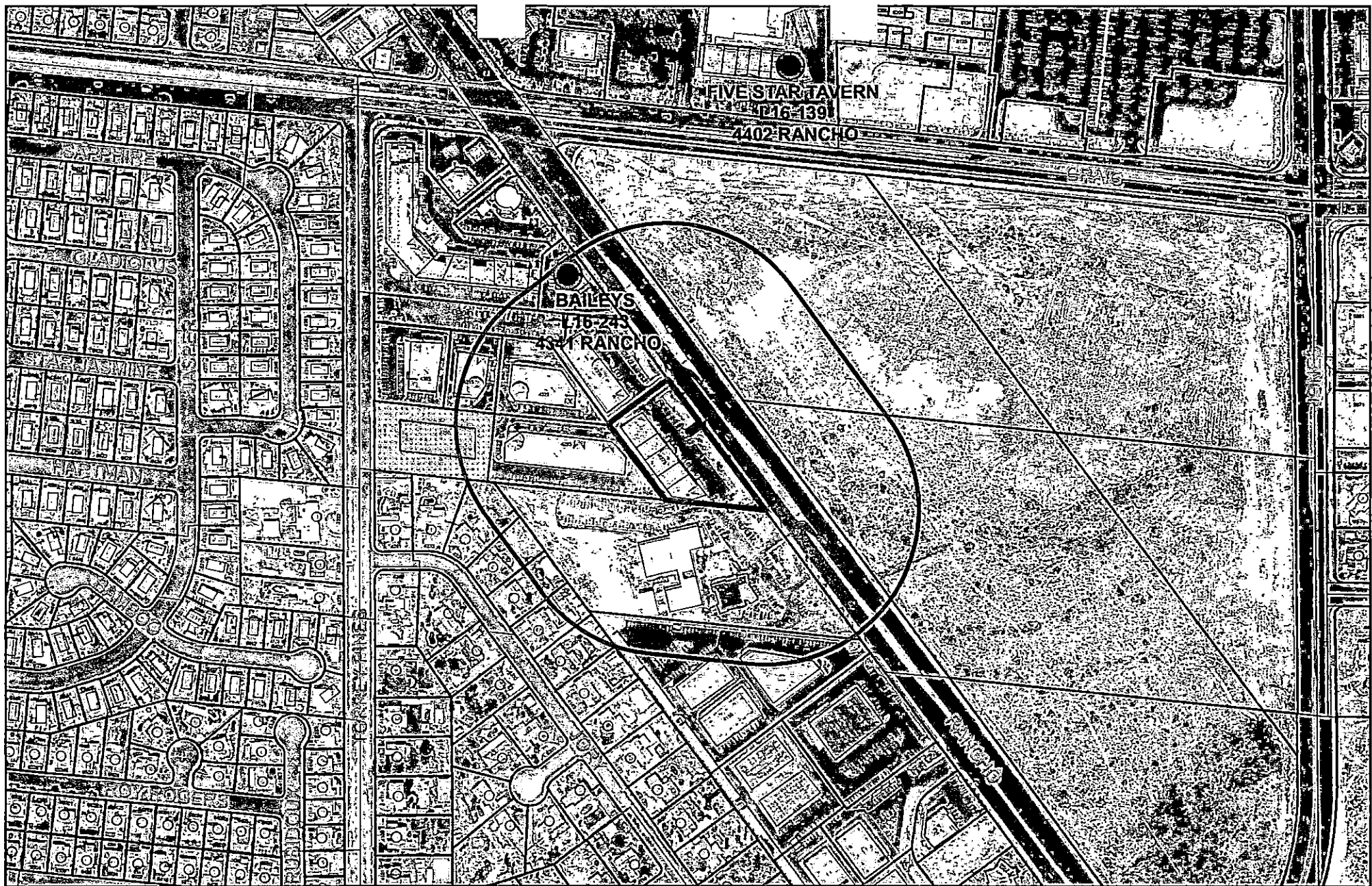


CASE: SUP-20214

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)





**SUP-20214**

**Protected Landuses**

-  CITY PARKS
-  RELIGIOUS
-  SCHOOLS

**Business Licenses**

-  Tavern
-  Child Care/  
Children Facility
-  Supper Club/  
Restaurant Service Bar

-  Subject Property
-  400 foot buffer



*City of Las Vegas*

**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: APRIL 12, 2007**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SUP-20214 - APPLICANT: ALFREDO'S ITALIAN BISTRO -  
OWNER: PARKVALE PARTNERS, LLC.**

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:      APPROVAL**, subject to:

**Planning and Development**

1. Conformance to the conditions for Rezoning (Z-0137-94) and Variance (VAR-12782) if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

**SUP-20214 - Staff Report Page One**  
**April 12, 2007 - Planning Commission Meeting**

**\*\* STAFF REPORT \*\***

**PROJECT DESCRIPTION**

This application is a request for a Special Use Permit for the addition of a beer/wine/cooler on-sale use to an existing restaurant located at 4275 North Rancho Drive, Suite #130. The applicant is also requesting a Waiver to allow a 300-foot separation distance from an existing church where a 400-foot distance separation is required.

Staff finds that the street-front location of the proposed on-sale use in relation to the church located 300 feet to the rear of the commercial subdivision provides an adequate separation. Therefore, as the addition of the on-sale use to an established restaurant will not compromise the public health, safety, and welfare staff recommends approval.

**BACKGROUND INFORMATION**

| <b>Related/Relevant City Actions by P&amp;D, Fire, Bldg., etc.</b> |                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1/28/92                                                            | The Board of Zoning Adjustment approved a request for a Variance (V-0184-91) to allow an existing U-Haul Truck and Trailer Rental Business on the west side of Rancho Drive approximately 600 feet south of Craig Road, and to allow such vehicles to be parked on an unpaved surface where paving is required.                                                  |
| 5/06/92                                                            | The City Council approved an appeal of a denial by the Board of Zoning Adjustment on 03/24/92 of a Review of Condition #3 of V-0184-92 which would have required the paving of unpaved parking, storage and display areas for the existing Truck and Trailer Rental Business on the subject site.                                                                |
| 12/21/94                                                           | The City Council approved a request to Rezone (Z-0137-94) from R-E (Residence Estates) under a Resolution of Intent to C-2 (General Commercial) and R-E (Residence Estates) to C-2 (General Commercial), to allow an Auto Parts Exchange in conjunction with a Major Automotive Accessory Retail Chain and to allow a Mini-Storage Facility on the subject site. |
| 3/20/96                                                            | The City Council approved a first Extension of Time (Z-0137-94(1)) for Rezoning (Z-0137-94). The Planning Commission had recommended approval on 02/22/96.                                                                                                                                                                                                       |
| 4/14/97                                                            | The City Council approved a Reinstatement and a third Extension of Time [Z-0137-94(3)] for Z-0137-94, for an approved 93,425 square-foot one- and two-story mini-storage facility with RV storage and a 56,964 square-foot retail center including an auto parts exchange on the subject site. The Planning Commission had recommended approval on 02/12/98.     |
| 3/09/98                                                            | The Planning Commission approved the V.A.O. Commercial Center Tentative Map (TM-0056-98) on this site.                                                                                                                                                                                                                                                           |
| 10/22/98                                                           | The Planning Commission approved the V.A.O. Commercial Center Final Map (TM-0056-98) on this site.                                                                                                                                                                                                                                                               |

MH

**SUP-20214 - Staff Report Page Two**  
**April 12, 2007 - Planning Commission Meeting**

|                                                          |                                                                                                                                                                                                                                                                                                                                                     |
|----------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 12/03/98                                                 | The City Council denied a request for a Site Development Plan Review [Z-0137-94(4)] for a proposed 396-unit Residence Hotel on a portion of the subject site, now addressed as 4339 North Rancho Road. The Planning Commission had recommended approval on 09/20/01.                                                                                |
| 11/07/01                                                 | The City Council denied a request for a Special Use Permit (U-0016-01) for a proposed 396-unit Residence Hotel on a portion of the subject site, now addressed as 4339 North Rancho Road. The Planning Commission had recommended approval on 09/20/01.                                                                                             |
| 11/07/01                                                 | The City Council denied a request for a Site Development Plan Review (Z-0137-94(5)) for a Mixed-use Development consisting of 72,171 square feet of office space and 29,440 square feet of retail space, and a reduction in parking lot landscaping requirements on the subject site. The Planning Commission had recommended approval on 09/26/02. |
| 11/06/02                                                 | The Planning Commission approved a request (TMP-2646) for a Tentative Map for a one-lot commercial subdivision on 9.09 acres located at 4339 North Rancho Drive.                                                                                                                                                                                    |
| 08/14/03                                                 | The City Council approved a request (DIR-4890) for a Water Feature Exemption to allow three Water Features for a commercial development located at 4301 North Rancho Drive.                                                                                                                                                                         |
| 09/01/04                                                 | The Planning Commission approved a request for a Master Sign Plan (MSP-5311) for an approved office and retail development on 7.86 acres at 4301 North Rancho Drive.                                                                                                                                                                                |
| 07/20/06                                                 | The City Council approved a request for a Variance (VAR-12782) to allow 361 parking spaces where 412 is the minimum number of parking spaces required for a proposed Church/House of Worship on 7.84 acres at 4275, 4285, 4295, 4305, 4315, 4325, and 4335 North Rancho Drive. The Planning Commission recommended approval on 06/22/06.            |
| <b>Related Building Permits/Business Licenses</b>        |                                                                                                                                                                                                                                                                                                                                                     |
| 10/13/05                                                 | Plan Check #L-803-05: Tenant Improvement for Certificate of Occupancy at 4275 North Rancho Drive, Suite #130. Final inspection approved 10/13/05.                                                                                                                                                                                                   |
| 12/21/06                                                 | Business License #R09-01375: sit-down restaurant with take-out food with seating for 80 located at 4275 North Rancho Drive, Suite #130                                                                                                                                                                                                              |
| <b>Pre-Application Meeting</b>                           |                                                                                                                                                                                                                                                                                                                                                     |
| 2/12/07                                                  | Staff informed the applicant that a Waiver of the 400-foot minimum distance separation requirement to an existing Religious Facility would be required.                                                                                                                                                                                             |
| <b>Neighborhood Meeting</b>                              |                                                                                                                                                                                                                                                                                                                                                     |
| A neighborhood meeting is not required, nor was one held |                                                                                                                                                                                                                                                                                                                                                     |
| <b>Details of Application Request</b>                    |                                                                                                                                                                                                                                                                                                                                                     |
| <b>Site Area</b>                                         |                                                                                                                                                                                                                                                                                                                                                     |
| Net Acres                                                | 1.45 Acres                                                                                                                                                                                                                                                                                                                                          |

**SUP-20214 - Staff Report Page Three**  
**April 12, 2007 - Planning Commission Meeting**

| <b>Surrounding Property</b> | <b>Existing Land Use</b>                           | <b>Planned Land Use</b>                                          | <b>Existing Zoning</b>                              |
|-----------------------------|----------------------------------------------------|------------------------------------------------------------------|-----------------------------------------------------|
| Subject Property            | Office and Commercial Center                       | SC (Service Commercial)                                          | C-2 (General Commercial)                            |
| North                       | Tavern Use<br>Restaurant Use<br>General Retail Use | SC (Service Commercial)                                          | C-2 (General Commercial)                            |
| South                       | Office Use<br>Single-Family Residential Use        | SC (Service Commercial)<br>DR (Desert Rural Density Residential) | C-1 (Limited Commercial)<br>R-E (Residence Estates) |
| East                        | Undeveloped (Proposed Commercial Development)      | SC (Service Commercial)                                          | C-2 (General Commercial)                            |
| West                        | Mobile Home Use                                    | L (Low Density Residential)                                      | R-MH (Mobile/Manufactured Home)                     |

| <b>Special Districts/Zones</b>             | <b>Yes</b> | <b>No</b> | <b>Compliance</b> |
|--------------------------------------------|------------|-----------|-------------------|
| Special Area Plan                          |            | X         | NA                |
| <b>Special Districts/Zones</b>             | <b>Yes</b> | <b>No</b> | <b>Compliance</b> |
| Special Purpose and Overlay Districts      |            |           |                   |
| A-O Airport Overlay District (140 feet)    | X          |           | Y                 |
| Trails                                     |            | X         | NA                |
| Rural Preservation Overlay District        |            | X         | NA                |
| Development Impact Notification Assessment |            | X         | NA                |
| Project of Regional Significance           |            | X         | NA                |

**SUP-20214 - Staff Report Page Four**  
**April 12, 2007 - Planning Commission Meeting**

**DEVELOPMENT STANDARDS**

*Pursuant to the approved Variance (VAR-12782) to Title 19.10, the following parking standards apply:*

| Uses          | GFA / Units                           | Required                                                                                 |                              |                           | Provided   |                            |
|---------------|---------------------------------------|------------------------------------------------------------------------------------------|------------------------------|---------------------------|------------|----------------------------|
|               |                                       | Ratio                                                                                    | Parking                      |                           | Parking    |                            |
|               |                                       |                                                                                          | Regular                      | Handicap                  | Regular    | Handicap                   |
| Retail        | 12,300 SF.                            | (5,300 SF in gathering area)<br>1/250 GFA<br>(based on overall site exceeding 25,000 SF) | 49.2 spaces                  |                           |            |                            |
| Office        | 54,730 SF                             | 1/300 GFA                                                                                | 182.4 spaces                 |                           |            |                            |
| Beauty Parlor | 9,427 SF                              | 1/200 GFA                                                                                | 47.1 spaces                  |                           |            |                            |
| Restaurant*   | 1,866 SF seating area, 3,184 SF other | 1/50 GFA seating area, 1/200 GFA other                                                   | 37.3 spaces                  |                           |            |                            |
| Delicatessen  | 2,678 SF                              |                                                                                          | 15.9 spaces                  |                           |            |                            |
| Church        | 15,560 SF                             | 1/100 GFA                                                                                | 26.7 spaces                  |                           |            |                            |
|               |                                       | 1/100 GFA of gathering area                                                              | 53.0 spaces                  |                           |            |                            |
| Total         |                                       |                                                                                          | 411.6 spaces<br>(412 spaces) | 9 spaces of overall total | 361 spaces | 14 spaces of overall total |

| Waivers                                                          |             |                      |
|------------------------------------------------------------------|-------------|----------------------|
| Request                                                          | Requirement | Staff Recommendation |
| To allow a 300-foot separation distance from an existing church. | 400 feet    | Approval             |

**SUP-20214 - Staff Report Page Five**  
**April 12, 2007 - Planning Commission Meeting**

**ANALYSIS**

- **General**

The subject site is located in the SC (Service Commercial) General Plan designation in the Las Vegas 2020 Master Plan. The proposed Beer/Wine/Cooler On-Sale use is compatible with the SC designation. The subject site is located on a 1.45 acre parcel within a commercial subdivision recorded as "Northbrooke Business Center". The applicant seeks to sell wine and beer in conjunction with meals served at an established Italian restaurant with seating for 80 patrons.

This proposal does not meet all requirements of this Special Use, and the applicant has requested a Waiver approval of this request is recommended. Pursuant to Title 19.04 no Beer/Wine/Cooler On-sale establishment is allowed within 400 feet of a church, synagogue, school, child care, or city park. The project will be located 300 feet east of a church. Because the service and consumption of alcohol will be limited to within the restaurant and no adverse effects to the immediate community should result with implementation of the project, staff recommends approval of the application.

- **Zoning**

The subject property is zoned C-1 and located within the Rancho Plaza shopping center. The C-1 zone is intended to provide for a variety of commercial, retail, restaurant and office uses including the proposed Beer/Wine/Cooler On-Sale Establishment, subject to the approval of a Special Use Permit.

- **Use**

Title 19.20 defines Beer/Wine/Cooler On-Sale Establishment as an establishment whose license to sell alcoholic beverages is limited to the sale of beer, wine and coolers for consumption only in connection with a meal on the premises where the same is sold, and is operated in connection with a restaurant in which 45 or more people may be served with meals at any one time at tables or stools. As the proposed use is within an established restaurant with seating for 80 people

- **Conditions**

**BEER/WINE/COOLER ON-SALE ESTABLISHMENT [Special Use in Zones C-1, C-2, C-M, M]**

Minimum Special Use Permit Requirements:

**SUP-20214 - Staff Report Page Six**  
**April 12, 2007 - Planning Commission Meeting**

(1) Except as otherwise provided in this Chapter, no beer/wine/cooler on-sale establishment (hereinafter "establishment") shall be located within 400 Feet of any church, synagogue, school, child care facility licensed for more than 12 children, or City park.

(2) Except as otherwise provided in Requirement (3) below, the distances referred to in Requirement (1) shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed establishment which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed establishment. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:

(a) Any leasehold parcel; or

(b) Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Requirement (1).

(3) In the case of an establishment proposed to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Requirement (1) shall be measured in a straight line:

(a) From the nearest property line of the existing use to the nearest portion of the structure in which the establishment will be located, without regard to intervening obstacles; or

(b) In the case of a proposed establishment which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the establishment will be located, without regard to intervening obstacles.

(4) When considering a Special Use Permit application for an establishment which also requires a waiver of the distance limitation in Paragraph (1), the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.

**SUP-20214 - Staff Report Page Seven**  
**April 12, 2007 - Planning Commission Meeting**

(5) The minimum distance requirements in Paragraph (1) do not apply to:

- (a) An establishment which has a non-restricted gaming license in connection with a hotel having two hundred or more guest rooms on or before July 1, 1992 or in connection with a resort hotel having in excess of two hundred guest rooms after July 1, 1992; or
- (b) A proposed establishment having more than fifty thousand square feet of retail floor space.

(\*6) All businesses which sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

The proposed use does not meet all of the distance separation requirements contained above. Further, as a Beer/Wine/Cooler On-Sale Establishment is defined as "An establishment whose license to sell alcoholic beverages is limited to the sale of beer, wine, and coolers for consumption only in connection with a restaurant in which 45 or more people may be served with meals at any one time at tables or stools," it is noted that the floor plan depicts seating for 80 patrons.

## **FINDINGS**

The following findings must be made for a Special Use Permit:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed use will be located in an established restaurant within the shopping center. Although the proposed use does comply with the General Plan designation for the subject area, the proposal is not compatible with surrounding land uses in that it is located within close proximity of an existing church.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

With implementation of the proposed conditions and approval of the waiver to separation distance requirement, there is no evidence of any physical constraint to the location of the proposed Beer/Wine/Cooler On-Sale Establishment in conjunction with a 1,800 Square Foot Restaurant on the subject site.

**SUP-20214 - Staff Report Page Eight**  
**April 12, 2007 - Planning Commission Meeting**

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

The subject site is served by Rancho Drive , listed as a 100-Foot Primary Arterial in the Master Plan of Streets and Highways, and is more than adequate to serve the proposed use.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

This site will be subject to inspections and business licensing requirements and will not endanger the public health or general welfare.

5. **The use meets all of the applicable conditions per Title 19.04.**

The proposed use is not in full compliance with all conditions of Title 19.04. The site is within the 400 foot separation distance required from an existing church. Although the proposed use does not fully comply with distance separation requirement, the proposal will have minimal impact on the public health, safety, or welfare as the church is located 300 feet to the rear of the property and is not easily accessed from the restaurant.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

5

**ASSEMBLY DISTRICT** 1

**SENATE DISTRICT** 4

**NOTICES MAILED** 93

**APPROVALS** 0

**PROTESTS** 0

**PLANNING & DEVELOPMENT DEPARTMENT****STATEMENT OF FINANCIAL INTEREST**

Case Number: SUP-20214 APN: 138-02-712-003  
Name of Property Owner: Parkvale Partners, LLC  
Name of Applicant: Alfredo's Italian Bistro  
Name of Representative: Chris Harper

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

\_\_\_\_\_ Yes

✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner: Earle Hyman

Print Name: Parkvale Partners, LLC

By: \_\_\_\_\_

Subscribed and sworn before me

This 26<sup>th</sup> day of February, 2007

Earle Hyman, Managing Partner

Notary Public in and for said County and State

See Attached Acknowledgment

Revised 11-14-06

f:\depot\Application Packet\Statement of Financial Interest.doc

Planning & Development Department  
Statement of Financial Interest

Acknowledgment

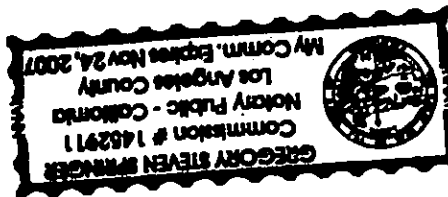
State of California )  
County of Los Angeles ) ss.

On 2/26/2007, before me, Gregory Steven Springer, Notary Public, personally appeared Earle Hyman personally known to me (~~or proved to me on the basis of satisfactory evidence~~) to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies); and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature 

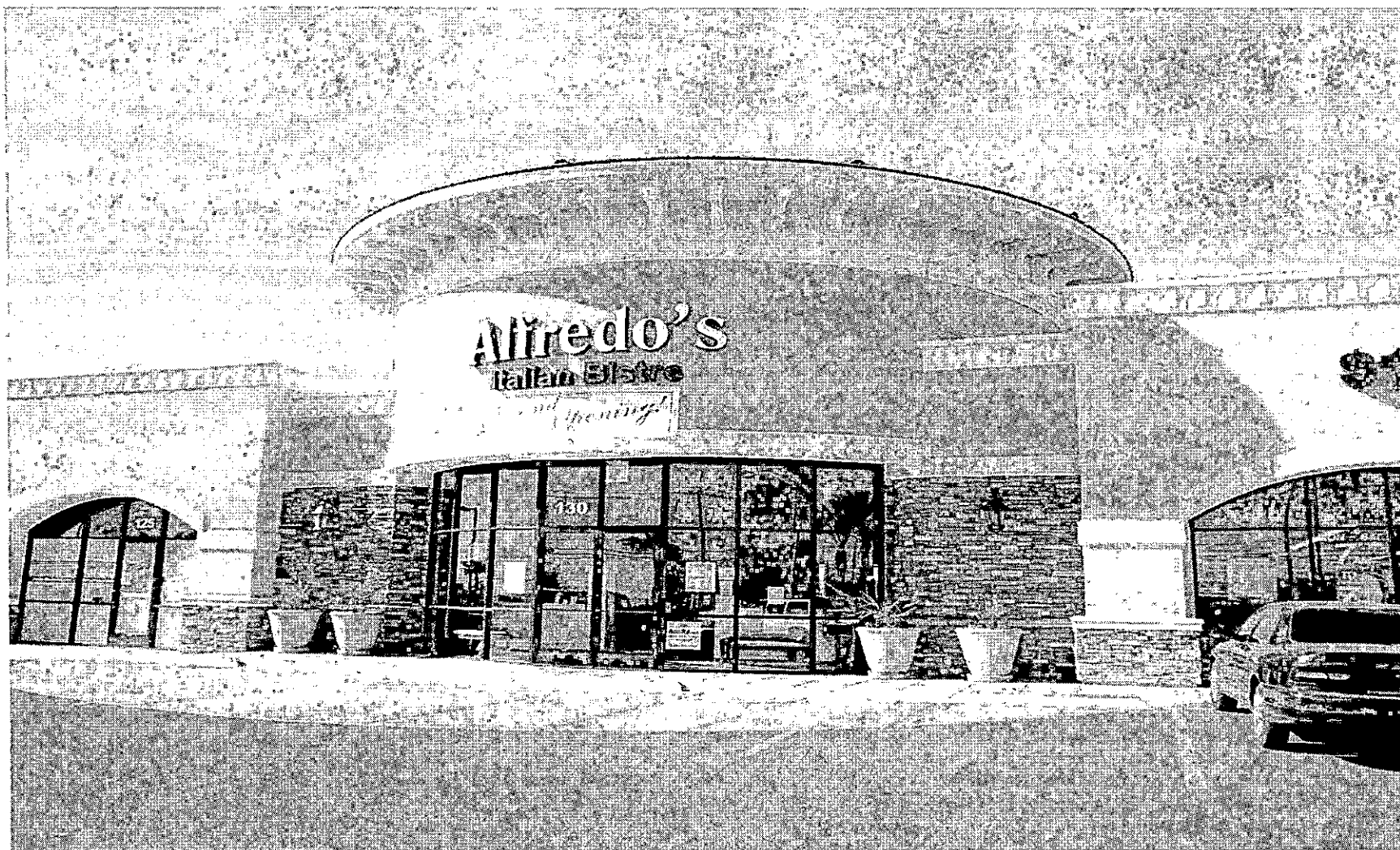
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SUP-20214  
04/12/07 PC







SUP-20214 - APPLICANT: ALFREDO'S ITALIAN BISTRO - OWNER: PARKVALE PARTNERS, LLC.  
4275 NORTH RANCHO DRIVE, SUITE #130  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07



SUP-20214 - APPLICANT: ALFREDO'S ITALIAN BISTRO - OWNER: PARKVALE PARTNERS, LLC.  
4275 NORTH RANCHO DRIVE, SUITE #130  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07

## **Alfredo's Italian Bistro**

4275 N Rancho #130  
Las Vegas, NV 89130

February 27, 2007

City of Las Vegas  
Planning & Development Department  
731 S 4<sup>th</sup> Street  
La Vegas, NV 89101

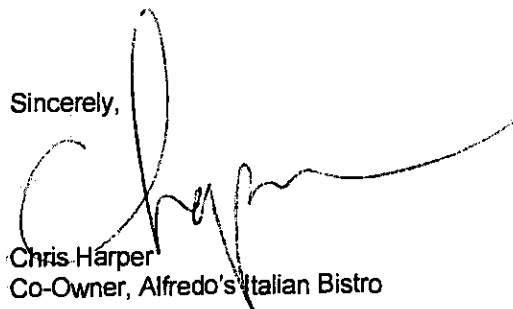
Dear Sir or Madam:

Contessa DiNobili, LTD, DBA Alfredo's Italian Bistro is formally requesting a special use permit from the City of Las Vegas Planning & Development Department. This permit would be used to allow the sale of beer and wine at our restaurant, Alfredo's Italian Bistro, located at 4275 N Rancho in Las Vegas. Contessa DiNobili is owned jointly by Christine Harper, who manages the restaurant and is the contact person for this application, and Kathleen Murray, a licensed commercial insurance agent.

We are a small, family style restaurant specializing in pasta and other Italian cuisine. We do most of our business in the evening, and are mainly a dinner house. It is critical to our business that we are able to offer our customers wine with dinner. We lose revenue on a daily basis, once people find out that they can't order a glass of wine. We also field several phone calls a week asking us when and if we will be able to offer beer and wine.

We would also like to apply for a waiver of distance separation from a church. There is a church (Calvary Chapel) located on the same parcel that we are on. They are more than 400 feet away from us, and use a separate entrance, located on Torrie Pines Drive. There is a tavern (Bailey's) Located next door to us at 4341 Rancho, serving beer wine and liquor, which is physically closer to the church than Alfredo's is, but is on a separate parcel. The pastor for the church is currently in India, and could not be reached for comment.

Sincerely,



Chris Harper  
Co-Owner, Alfredo's Italian Bistro

**SUP-20214**  
**04/12/07 PC**

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: APRIL 12, 2007**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-20215 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNERS: TRUDY PARKS & MINERVA MENDOZA** - Request for a Special Use Permit FOR A TRANSITIONAL LIVING FACILITY AND A WAIVER TO ALLOW A 765 FOOT SEPARATION DISTANCE WHERE A 1,500 FOOT SEPARATION DISTANCE IS REQUIRED FROM AN ESTABLISHED RESIDENTIAL GROUP HOME FACILITY on 0.46 acres at 3708 Waterhole Street (APN 138-12-611-023), R-E (Residence Estates) Zone, Ward 6 (Ross).

**IF APPROVED: C.C.: 05/16/07**

**IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**2**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends this item be **HELD IN ABEYANCE** to the May 10, 2007 Planning Commission meeting.

**BACKUP DOCUMENTATION:**

1. Location, Aerial and Special Maps
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation
4. Justification Letter
5. Protest Letters by Elizabeth Francis and Paul Marino

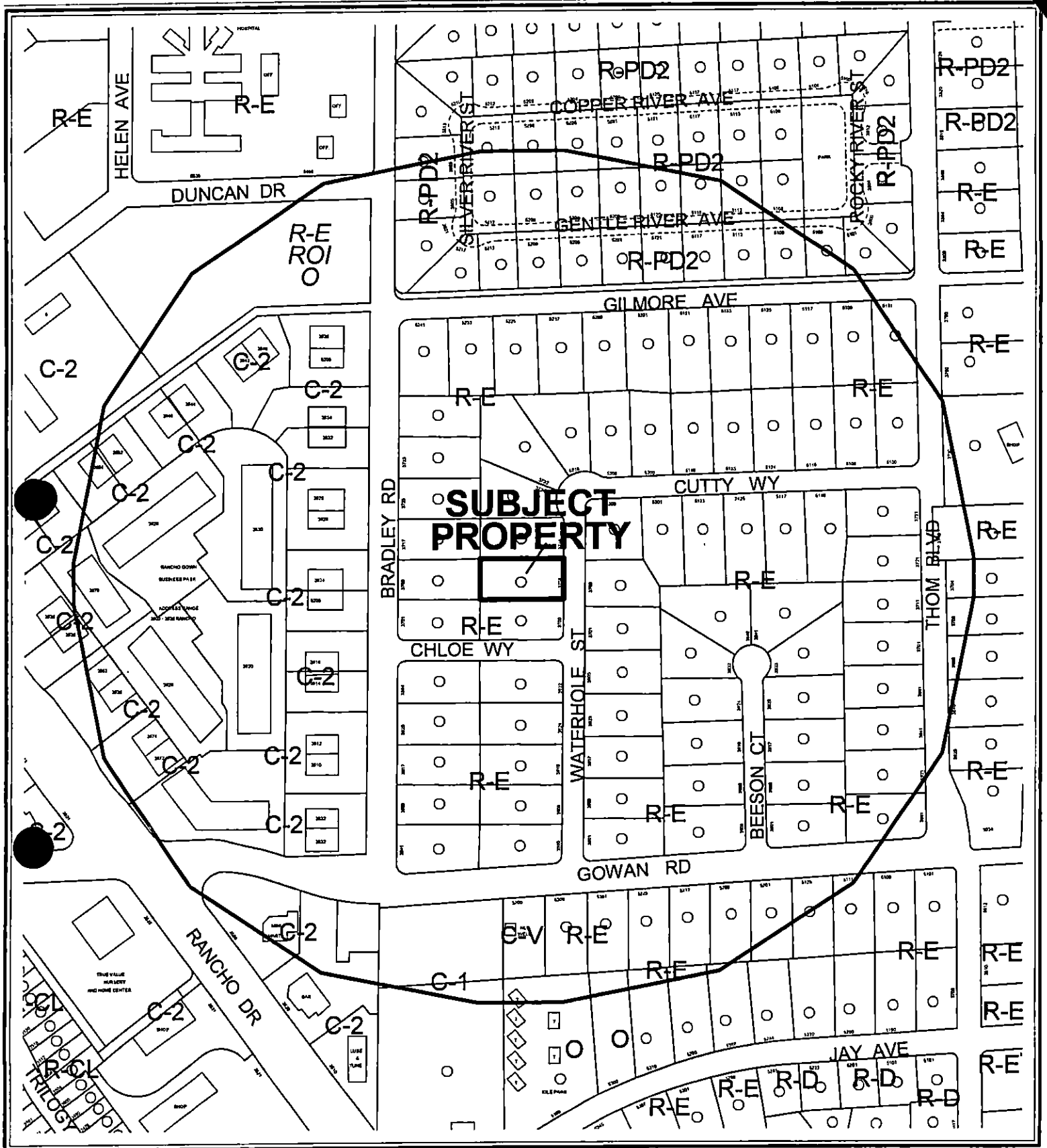
**MOTION:**

**GOYNES – HOLD IN ABEYANCE** Items 56-61 to 4/26/2007; Items 25 and 84 to 5/10/2007; Items 26-29 and 62 to 5/24/2007; Item 4 to 7/12/2007; and **WITHDRAW WITHOUT PREJUDICE** Item 12 – **UNANIMOUS** with **EVANS** excused

**MINUTES:**

The applicants for Items 25 and 84 requested these matters be heard on 5/10/2007.

(6:02 – 6:07)

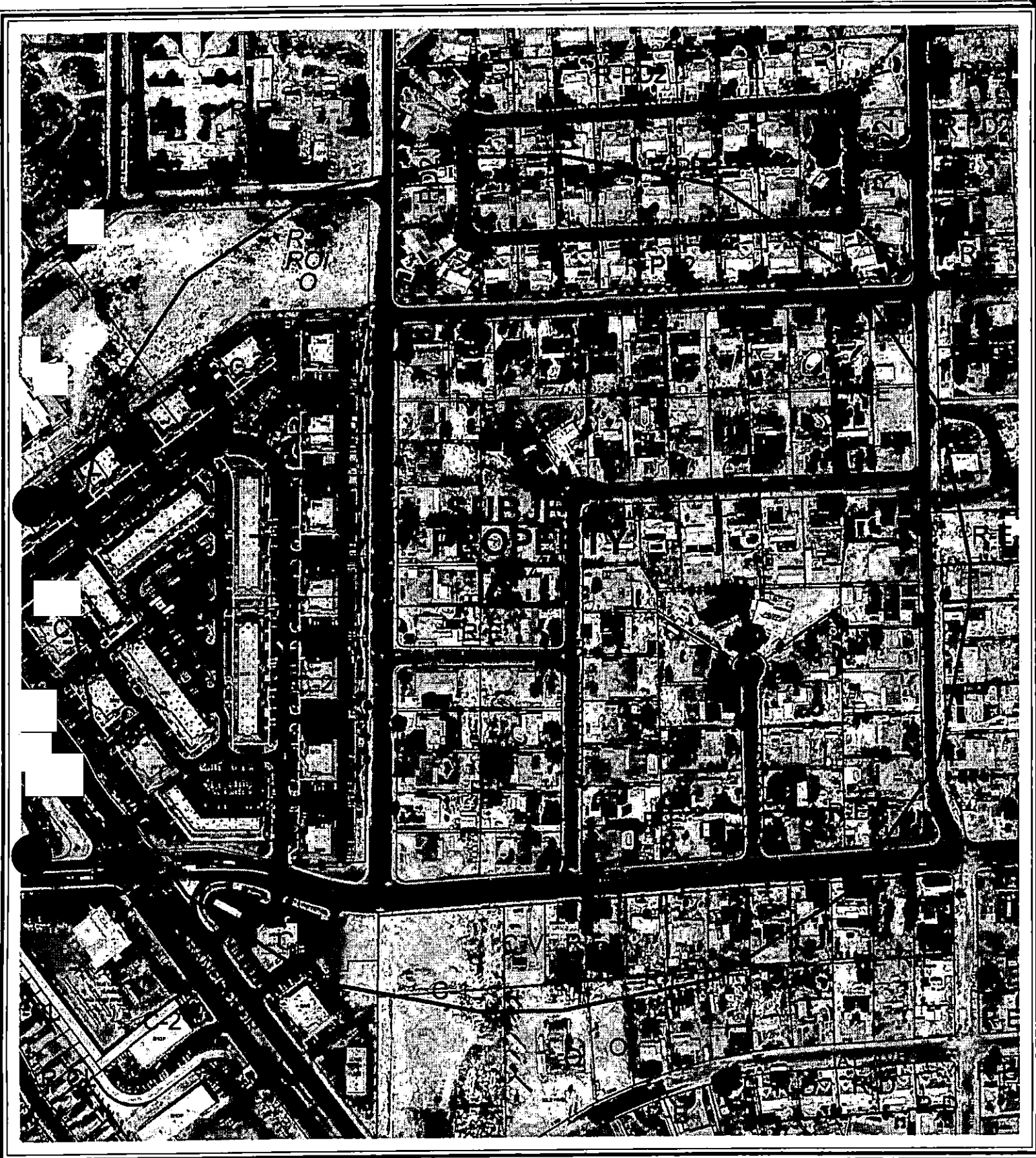


CASE: SUP-20215

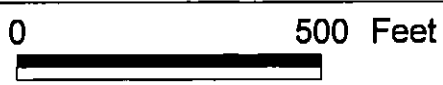
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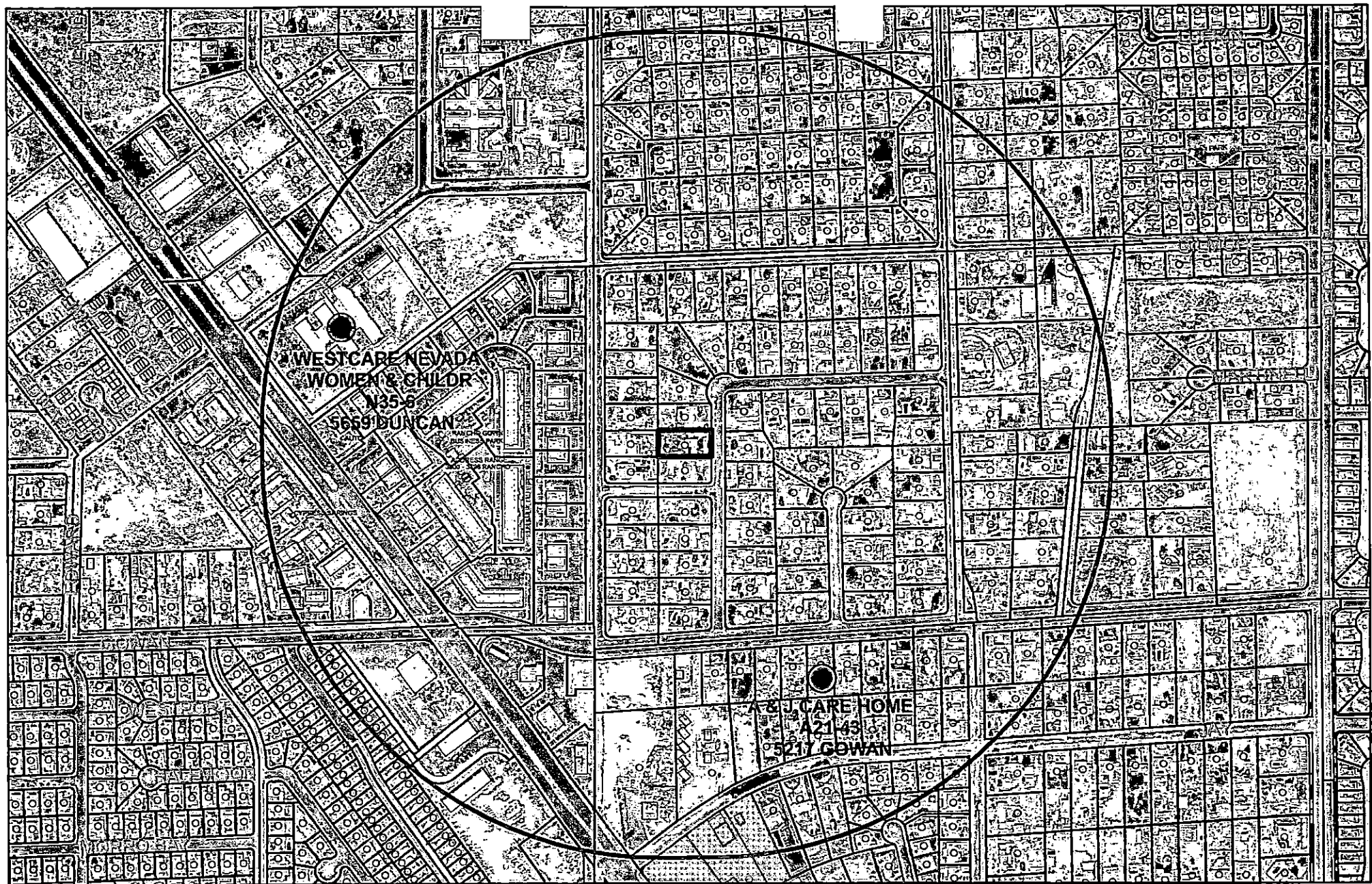
ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)





CASE: SUP-20215  
RADIUS: 1000 FT  
ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

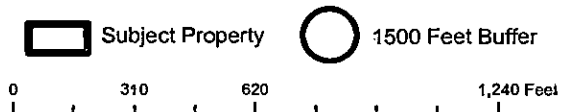




# **SUP-20215** **Transitional Living Group Home**

## **Business Licenses**

- Group Residential Care Facility
- Halfway House for Drug and Alcohol Abuser
- Facility for Transitional Living for Released Offenders



*City of Las Vegas*

**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: APRIL 12, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-20215 - APPLICANT/OWNERS: TRUDY PARKS &  
MINERVA MENDOZA

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**STAFF REQUESTS THIS ITEM BE HELD IN  
ABEYANCE TO THE MAY 10, 2007 PLANNING  
COMMISSION MEETING FOR RENOTIFICATION.**

## PLANNING & DEVELOPMENT DEPARTMENT

## STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-20215** APN: 138-12-611-023

Name of Property Owner: Trudy Parks

Name of Applicant: Trudy Parks

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

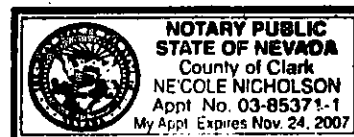
Signature of Property Owner: W Mendez

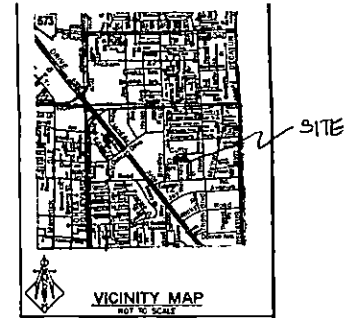
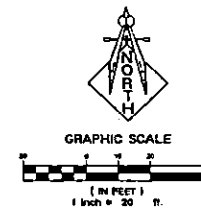
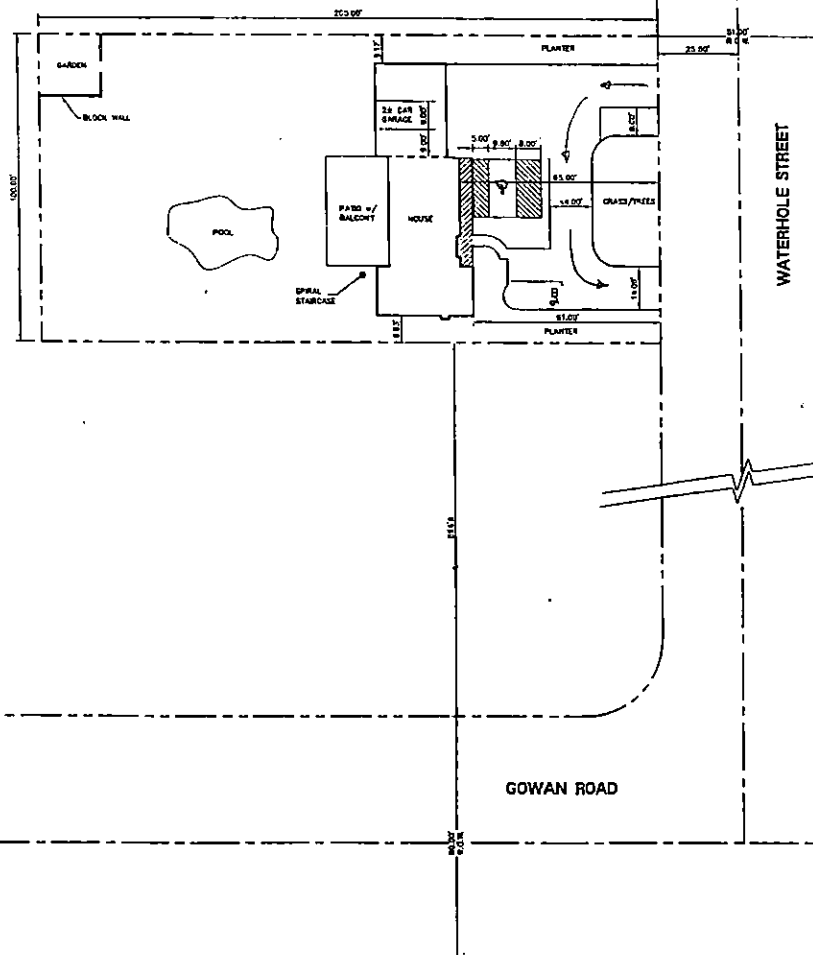
Print Name: Madison Parks

Subscribed and sworn before me

This 27 day of February, 2007

Notary Public in and for said County and State



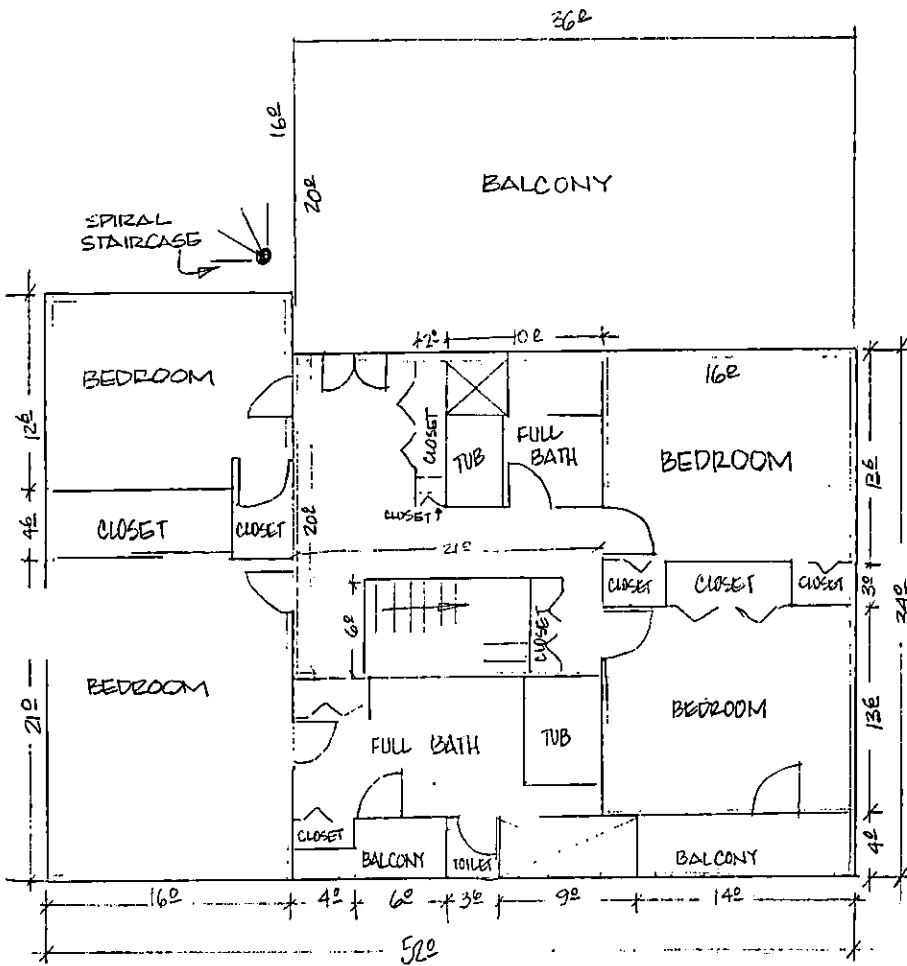


3708 WATERHOLE STREET  
SITE PLAN

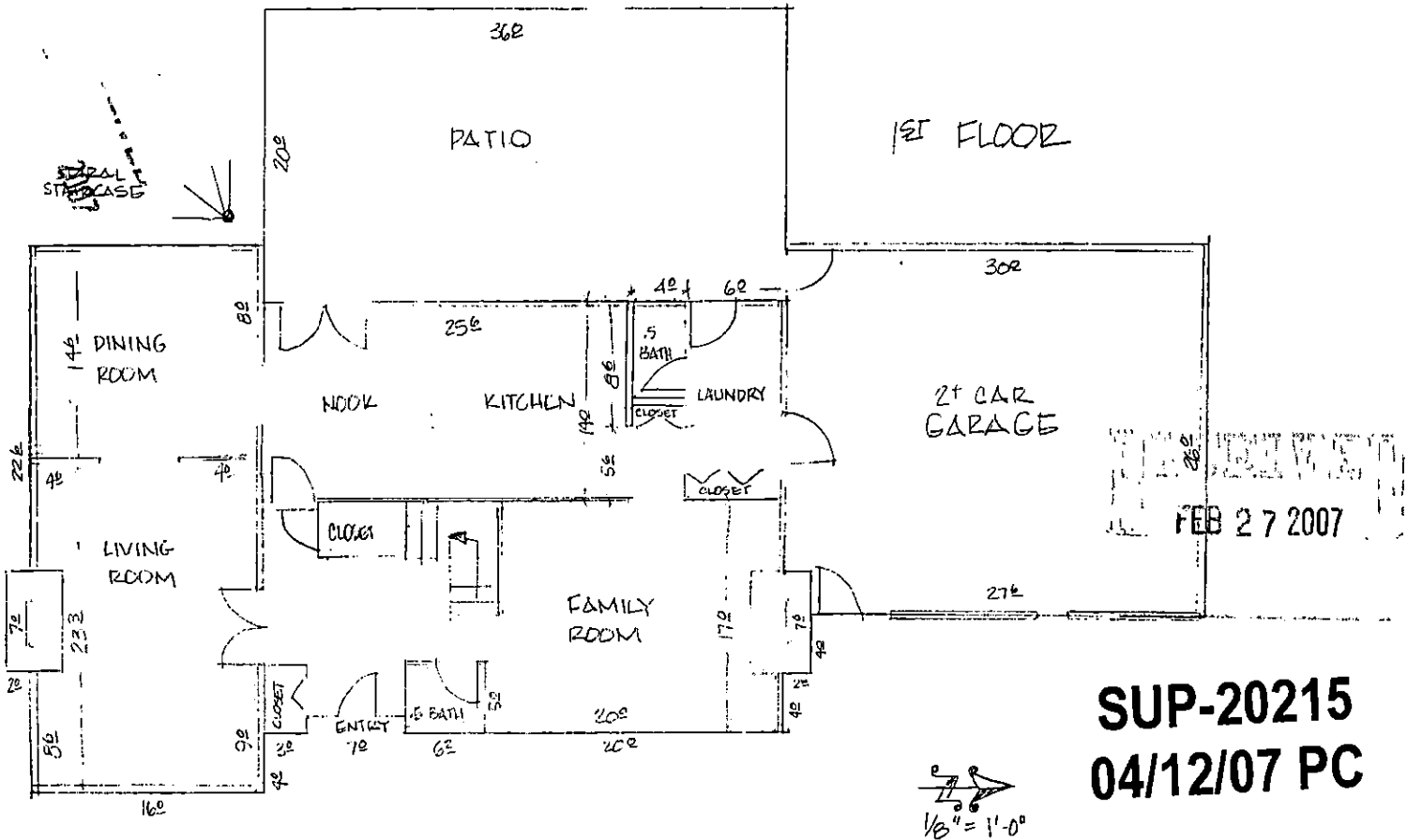
SUP-20215  
REVISED  
04/12/07 PC

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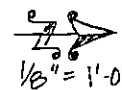
3708 WATERHOLE STREET  
LAS VEGAS, NV 89130



FLOOR PLAN  
2ND FLOOR



SUP-20215  
04/12/07 PC







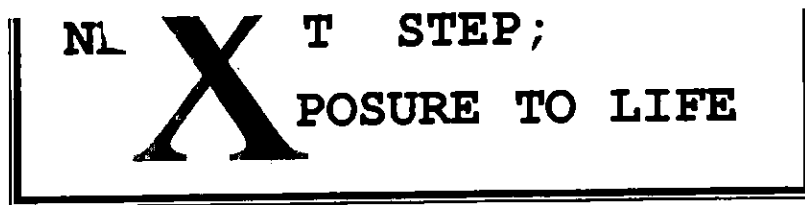
SUP-20215 - APPLICANT/OWNERS: TRUDY PARKS & MINERVA MENDOZA  
3708 WATERHOLE STREET  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07



SUP-20215 - APPLICANT/OWNERS: TRUDY PARKS & MINERVA MENDOZA  
3708 WATERHOLE STREET  
APRIL 12, 2007 PLANNING COMMISSION

03/12/07



## **EXPLANITION OF SERVICES**

**NEXT STEP; XPOSURE TO LIFE GROUP HOME  
3708 WATERHOLE ST.  
LAS VEGAS, NV 89130**

**TRUDY PARKS  
EXECUTIVE DIRECTOR  
(702) 289-0157**

### **HOW MANY TEENAGERS WILL THIS PROGRAM ACCOMMODATE?**

Next Step; Xposure to Life Program intends to serve a maximum of ten teenage girls, ranging in age from 16 to 18.

### **DO YOU PROVIDE OVERNIGHT CARE?**

Yes, NeXt Step is prepared to house, supervise, and nurture a maximum of ten teenage girls. We will provide basic life/job skills training.

### **WHAT IS THE RATIO OF STAFF TO TEENS?**

The ratio of staff to teens is one staff member to three teens (1:3)

### **IS THIS A SELF-CONTAINED PROGRAM?**

Yes.

### **PARKING ACCOMODATIONS**

There is ample "off street" parking on the premises. There is a three-car garage, as well as a circular driveway for a maximum of ten additional vehicles.

**SUP-20215  
04/12/07 PC**

# NOTICE OF PUBLIC HEARING

## SPECIAL USE PERMIT

13812611020 Case: SUP-20215  
FRANCIS ELIZABETH  
3750 THOM BLVD  
LAS VEGAS NV 89130-3015

MEETING: PLANNING COMMISSION  
DATE: APRIL 12, 2007  
TIME: 6:00 P.M.  
LOCATION: CITY COUNCIL CHAMBERS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA

### SUP-20215

APPLICANT/OWNERS: TRUDY PARKS & MINERVA MENDOZA - REQUEST FOR A SPECIAL USE PERMIT FOR A TRANSITIONAL LIVING FACILITY AND A WAIVER TO ALLOW A 765 FOOT SEPARATION DISTANCE WHERE A 1,500 FOOT SEPARATION DISTANCE IS REQUIRED FROM AN ESTABLISHED RESIDENTIAL GROUP HOME FACILITY ON 0.46 ACRES AT 3708 WATERHOLE STREET (APN 138-12-611-023), R-E (RESIDENCE ESTATES) ZONE, WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S $\frac{1}{2}$ ) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$ ) OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. This request may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after discussion of the item. You will receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



*I am opposed to this type  
facility in this area.*

*Elizabeth A. Francis*  
JOHN KORKOSZ, PLANNING SUPERVISOR  
PLANNING AND DEVELOPMENT DEPARTMENT  
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

*3-30-07 - 5:40 PM*

*fax*

*att. John Korkosz 385 7268*

# NOTICE OF PUBLIC HEARING

## SPECIAL USE PERMIT

13812612008  
MARINO PAUL J & PATRICIA  
3633 BEESON CT  
LAS VEGAS NV 89130-2906

Case: SUP-20215

MEETING: PLANNING COMMISSION  
DATE: APRIL 12, 2007  
TIME: 6:00 P.M.  
LOCATION: CITY COUNCIL CHAMBERS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA

### SUP-20215

APPLICANT/OWNERS: TRUDY PARKS & MINERVA MENDOZA - REQUEST FOR A SPECIAL USE PERMIT FOR A TRANSITIONAL LIVING FACILITY AND A WAIVER TO ALLOW A 765 FOOT SEPARATION DISTANCE WHERE A 1,500 FOOT SEPARATION DISTANCE IS REQUIRED FROM AN ESTABLISHED RESIDENTIAL GROUP HOME FACILITY ON 0.46 ACRES AT 3708 WATERHOLE STREET (APN 138-12-611-023), R-E (RESIDENCE ESTATES) ZONE, WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. This request may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after discussion of the item. You will receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



*Please do not let this happen - Thank You*  
*Paul Marino*  
*Patricia Marino*  
JOHN KORKOSZ, PLANNING SUPERVISOR  
PLANNING AND DEVELOPMENT DEPARTMENT  
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

ITEM # 84  
CASE # SUP-20215  
PC MTG 4-12-07

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: APRIL 12, 2007**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**DIR-20988 - DIRECTOR'S BUSINESS - NON-PUBLIC HEARING -**

**APPLICANT/OWNER: CITY OF LAS VEGAS - Presentation on the Kyle Canyon Plan.**

**PRESENTATION**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

**PRESENTATION**

**BACKUP DOCUMENTATION:**

1. Conditions and Staff Report – Not Applicable
2. Supporting Documentation – Not Applicable
3. Submitted at meeting – Kyle Canyon Development Standards and Design Guidelines by staff and Executive Summary Kyle Canyon Development Standards and Design Guidelines by Kyle Acquisition Group

**MOTION:**

**None required. A report was given.**

**MINUTES:**

**RICHARD HOLMES, Focus Property Group, introduced MARK FIORENTINO to make the presentation.**

**MR. FIORENTINO, Kyle Acquisition Group, thanked staff for their tremendous efforts on this project. He pointed out the backup documentation submitted to the Commissioners for their consideration and encouraged them to inform him of any questions and concerns they might have before the Kyle Canyon Plan presentation's public hearing.**

**DEPUTY CITY ATTORNEY JAMES LEWIS asked that the Commissioners to save any questions or comments for the public hearing in two weeks.**

PLANNING COMMISSION MEETING OF APRIL 12, 2007  
Planning and Development Department  
Item 85 – DIR-20988

**MINUTES – Continued:**

COMMISSIONER GOYNES thanked MR. FIORENTINO for submitting the plan early, allowing the Commissioners to review the information in a timely manner.

(7:25 – 7:33)

**1-3278**

●

# KYLE CANYON DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

("DESIGN GUIDELINES")

April 6, 2007

Submitted at Planning Commission

Date 4/12/07 Item #85

**KYLE CANYON DESIGN GUIDELINES**  
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# Section 1

## Introduction

### 1.1 PURPOSE AND INTENT

Kyle Canyon is a new master planned community in the northwestern portion of the Las Vegas Valley. The location of Kyle Canyon is shown on Figure 1-1. These Design Guidelines provide the standards for, among other things, intensity and type of use, residential density, building design, layout, configuration, height, coverage, spacing, bulk and setback requirements, commercial uses and signage, open space and landscaping, on-site vehicular and pedestrian circulation and parking, urban design elements and features, and site amenities for development within Kyle Canyon.

An extraordinary amount of time, resources, and capital will be expended to develop infrastructure, landscaping and other site improvements at Kyle Canyon that are integral to the creation of a strong sense of identity. The Design Guidelines are intended to provide a vehicle to protect and maintain the long-term quality and value of the community. Accordingly, the Design Guidelines apply to all construction within Kyle Canyon; residential and non-residential, including new construction, remodeling and additions, landscaping, signage, and neighborhood amenities.

Where noted, the sketches and graphic representations contained herein are for conceptual purposes only, and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design.

### 1.2 DEFINITIONS

Certain defined terms that are used throughout the Kyle Canyon Design Guidelines are described in the Glossary in Section 10 at the end of this document.

### 1.3 RESPONSIBILITY OF REVIEW

The Master Developer's purpose in plan review is to ensure that each project meets the intent of the Design Guidelines and Development Declarations. All projects within Kyle Canyon require review and approval by the Master Developer prior to submittal to the City of Las Vegas or any other public agency.

### 1.4 HOUSING MIX

A diverse mix of land uses, housing types and densities will make up the neighborhoods of Kyle Canyon. The broad range of Residential Building Types described in Section 3.5 will all be allowed in Kyle Canyon, ranging from high density single family attached and multi-family stacked residential in an urban Mixed-Use environment to more "traditional" single family detached homes. Some homes will be alley loaded or in clusters or surrounding green courts while others will load from the front with garages de-emphasized by recesses or front yard porches and courtyards. The intent of the variety in Residential Building Types is to allow a wide segment of the diverse, growing population of the City of Las Vegas to find a home that serves its needs. Supplementing this product variety are the architectural styles of Kyle Canyon, which will allow for a high quality of streetscape and individuality of homes with a common thread of cohesion.

### 1.5 CONSERVATION AND PRESERVATION

Conservation and preservation of natural resources and environmentally sensitive areas is a key component of the land plan for Kyle Canyon. It is a fundamental tenet of design in Kyle Canyon that residential quality of life is greatly increased by including accessible

open space as a usable and accessible amenity. Reservation of open space will occur throughout Kyle Canyon in the form of:

- The natural arroyos that are a dominant landform and valuable natural feature running through the site as shown on Figure 2-3.
- Public gathering spaces such as the Town Center Park shown on Figure 2-3.
- Passive and active parks throughout the development.
- Extensive streetscapes with drought tolerant plantings.
- An integrated and connected system of pedestrian, bicycle and natural trails running along streets and through natural open spaces as shown on Figure 2-3.

## 1.6 ENVIRONMENTAL COMPATIBILITY

Kyle Canyon will be responsive to the existing environment and the future needs of the area. Planning major circulation systems and neighborhoods to respect the topography of the site will allow pathways throughout Kyle Canyon to connect neighborhoods to each other, open spaces, the arroyos and Community park areas. These pathways make pedestrian and vehicular traffic compatible with each other, while tying the natural features of the site to everyday life at Kyle Canyon.

The following Principles of Green Building will direct and inform all development within the community. Kyle Canyon will meet or exceed the following:

### SITE AND AREA ENHANCEMENT

- Reserve selected natural open space areas for active and passive recreation, visual relief, habitat preservation, nature observation, hiking and biking, and flood control
- Retain the natural arroyos that are an important landform feature of the area

- Develop pedestrian, bicycle, and interpretive trails along the arroyos
- Provide an equestrian trail along the right-of-way of Grand Teton Boulevard
- Provide for outdoor living spaces such as courtyards, porches, balconies and miradors
- Develop night sky preservation standards for street lighting and outdoor lighting for buildings, focusing beams down toward the streets and buildings, and minimizing stray lighting while still providing adequate lighting for pedestrian and vehicular convenience.

### ENERGY EFFICIENCY

- Ensure that all residences are energy efficient:
  - Ensure that all home designs are independently verified by a licensed Mechanical/Electrical/Plumbing Engineer to be in compliance with the 2006 International Energy Conservation Code as adopted by the City of Las Vegas.
- Provide as an option to homebuyers, a total fluorescent lighting system with electronic ballasts, and indoor motion activated lighting
- Select and locate deciduous shade trees in front yards, wherever practical, to optimize shading of southerly and westerly exposures of homes
- Provide lighter colors of roofing as described in Section 7 to reduce solar heat gain
- Builders will offer consumers, as an option, appliances that meet Energy Star eligibility requirements.
- Use external shading devices where feasible to minimize unwanted heat gain such as trellises, roof overhangs, awnings, shade screens, and low-e window coatings
- Properly seal and insulate ducts
- Select energy efficient heating/cooling equipment (Minimum SEER 13) and appliances

- Require programmable thermostats
- Construct at least one community center in accordance with Leadership in Energy and Environmental Design (LEED) Certification requirements (Silver Level).

### **IMPROVED INDOOR AIR QUALITY**

Materials, paints and coatings used in the construction process can be selected to improve the indoor air quality of new homes. Bearing in mind that consumers are cost conscious and that certain materials, paints and coatings may not be as durable or others more commonly used in the building process, the following shall be implemented:

- Builders will offer consumers, as an option, a package of paints and coatings for the inside of residences that meet or exceed the VOC and chemical component limits of Green Seal requirements
- Builders will offer consumers, as an option, carpeting in residential buildings that meets the Carpet and Rug Institute Green Level Indoor Air Quality Test Program
- Builders will offer consumers, as an option, alternative formaldehyde-free insulations

### **REDUCE WATER USAGE**

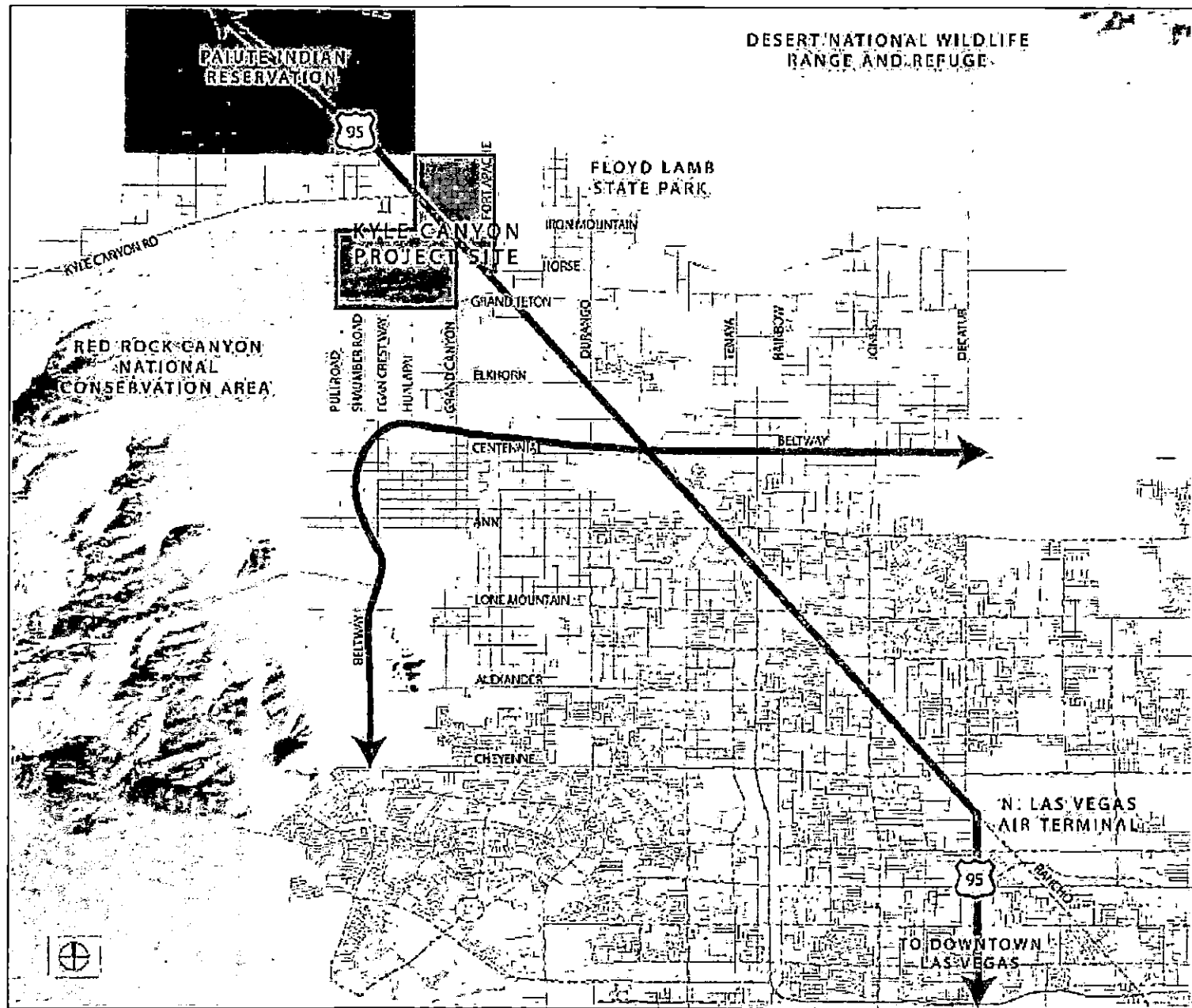
- Cooperate with the Southern Nevada Water Authority to create and participate in a Water Smart Community program in which all homes and commercial structures adhere to the Authority's Water Smart standards
  - All single family residences within Kyle Canyon shall meet the Southern Nevada Water Authority's Water Smart Home Standards as they existed on July 1, 2006:
- Common area natural turf is allowed only in functional recreational areas that are at least 50' wide and the sprinkler system must meet a distribution uniformity standard of 65%

- Provide a central control irrigation system linked to an on-site weather station for natural turf multi-use fields, soccer fields, and baseball/softball fields.
- Offer evapo-transporative irrigation monitors to all homeowners as an option
- Comply with or exceed all current landscaping guidelines and drought related restrictions on water use enacted by the City and the SNWA
- Use low-flow plumbing fixtures as defined in the SNWA Water Smart Home Program
- Use a hot water recirculating system or alternate that is acceptable within SNWA Water Smart Home Program standards
- Provide desert responsible landscaping (xeriscape)
- Install and maintain a demonstration garden in conjunction with a community information center to educate homeowners on drought tolerant plants.

### **IMPLEMENTATION OF ENVIRONMENTAL COMPATIBILITY CONCEPTS**

The Master Developer's design review procedure described in Section 9 will assure compliance with the required elements of environmental compatibility design. In addition Master Developer will require that each builder provide the Master Developer with a semi-annual report on units sold with options selected by homebuyers that enhance energy conservation, improve indoor air quality, and reduce water usage beyond minimum requirements. The semi-annual report will also include information on compliance with the Environmental Compatibility requirements of Section 1.6 and the Energy Conservation requirements of Sections 4.3.2 and 4.4.2. Compliance information will be based on inspection of five percent of the units constructed in the reporting period. Master Developer will compile aggregate information on environmental compatibility and provide reports to the City of Las Vegas.

**FIGURE 1-1** [This figure is conceptual and does not necessarily accurately depict actual development]



## Section 2

### Community Design Concept

The central design concept behind Kyle Canyon is to create a community that is diverse in uses and residents, is walkable, and provides a strong sense of community. Kyle Canyon will be made up of a set of neighborhoods with pedestrian friendly streets and trail systems. While Kyle Canyon will have much architectural variation, its key streets and public spaces will establish a sense of continuity and shared identity. A large range of residential building types and lifestyles will be permitted within each development parcel as well as throughout the Community. Kyle Canyon's retail, employment, commercial and Mixed-Use centers will create common destinations that have a strong community and pedestrian character.

Kyle Canyon is a master planned community uniquely situated to provide the benefits of both classic suburban neighborhoods and more urban living environments, with easy access to nearby services. This spectrum of lifestyle and design choices has its roots in the sheer expanse of the site and the diverse terrain it covers.

Public areas will be a dominant feature of Kyle Canyon. The premier example of this is the Community's urban pedestrian plazas and pathways, that extend through the Town Center Mixed-Use District, connecting residents with amenities and shopping.

The arroyos, which extend from the eastern edge of the proposed Mountain Edge Parkway to the Town Center Mixed-Use District, will be highlighted and enhanced as an attraction. The arroyos, community parks, open space corridors, boulevards and walkable

streets within the neighborhoods will all contribute to the high quality of the public realm.

#### 2.1 DIVERSE LAND USES

The land use plan for Kyle Canyon (Figure 2-1) identifies the land use districts, including Neighborhood Residential, a hierarchy of commercial uses, Mixed-Use centers, school sites, open space elements, and parks. The neighborhood types range from higher-density multi-family areas within the Mixed-Use Districts, through a diverse group of neighborhoods that contain attached and detached single family homes and some multi-family homes, to lower-density neighborhoods that feature mostly detached single family homes. These will incorporate a range of housing opportunities from traditional single family, through cluster and attached, to innovative green court housing and multi-family mid to high rise buildings.

The Town Center Mixed-Use District west of the Horse Drive interchange on U.S. 95 will be a walkable, Mixed-Use center of activity with residential, retail, employment, resort and office uses linked by trails and a network of streets and sidewalks.

The Neighborhood Residential and Urban Mixed-Use parcels round out the remainder of the site, with open space and school sites woven into the neighborhood fabric. The intention of these parcels is to permit a wide variety of Residential Building Types, both attached and detached and medium-density multi-family products.

A mix of different Residential Building Types is allowed in every Kyle Canyon neighborhood. Rather than segregate different residential building types, Kyle Canyon will allow the development of lifestyle options that are intermingled within the same neighborhoods.

Figure 2-2 displays the planned mix of residential building types for seven planning areas of Kyle Canyon.

## **2.2 OPEN SPACE**

Open space areas include the arroyos, as well as community parks, larger areas for active play, a Town Center Park, boulevard green spaces, and landscape areas along major arterials. (Figure 2-3) The open space system is designed to form a continuous network, with trails throughout the Community that connect to the adjacent Red Rock Canyon National Conservation Area.

The arroyos are the backbone of the open space system. They interconnect the whole western side of the site and are connected by the trail system to the Town Center Mixed-Use District.

An interconnected system of trails and pedestrian pathways extends throughout Kyle Canyon and permits walking access to all parts of the community.

The community parks are key gathering points located throughout Kyle Canyon. These parks will incorporate a variety of facilities, including playgrounds, tot-lots, community facilities, and in some cases, swimming pools.



SCALE: NTS

- LEGEND**
- NEIGHBORHOOD RESIDENTIAL
  - TOWN CENTER MIXED-USE
  - URBAN MIXED-USE
  - COMMUNITY FACILITIES / SCHOOLS
  - PARKS / OPEN SPACE
  - PARKS / OPEN SPACE - (LOCATION AND DESIGN TO BE DETERMINED)
  - CC COMMUNITY CENTER
  - TRAILS
- NOTE: COMMERCIAL USES SUBJECT TO THE LIMITATIONS OF SECTION 8 OF THE DESIGN GUIDELINES

|                          |                                        |        |
|--------------------------|----------------------------------------|--------|
| NEIGHBORHOOD RESIDENTIAL | ESTATE LOT                             | SFD-L  |
| URBAN MIXED-USE          | STANDARD LOT                           | SFD-S  |
| TOWN CENTER MIXED-USE    | COMPACT LOT                            | SFD-CC |
| PARKS / OPEN SPACE       | GREEN COURT                            | SFA-MF |
| COMMUNITY FACILITIES     | PASAD COURT                            |        |
|                          | CLUSTER SINGLE FAMILY                  |        |
|                          | MANSION HOME                           |        |
|                          | TOWNHOME                               |        |
|                          | TUCKUNDER MULTI-FAMILY                 |        |
|                          | PODIUM MULTI-FAMILY                    |        |
|                          | EMBEDDED GARAGE MULTI-FAMILY           |        |
|                          | LIVE/WORK                              |        |
|                          | COMMERCIAL/RESIDENTIAL MIXED-USE       |        |
|                          | COMMUNITY CENTER                       |        |
|                          | UTILITIES/PUBLIC/CULTURAL INSTITUTIONS |        |
|                          | COMMERCIAL USES *                      |        |

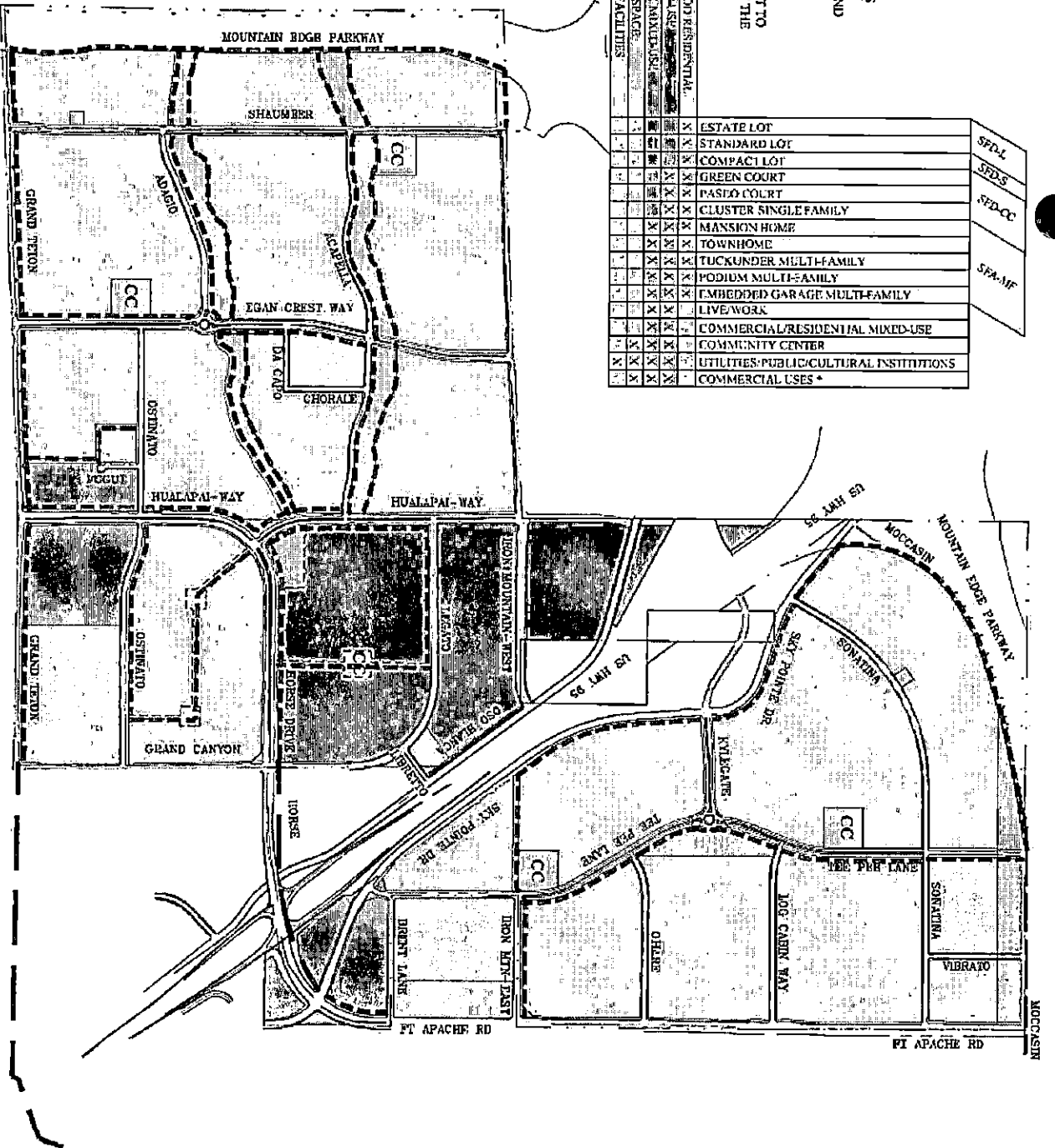


FIGURE 2-1 KYLE CANYON LAND USE PLAN



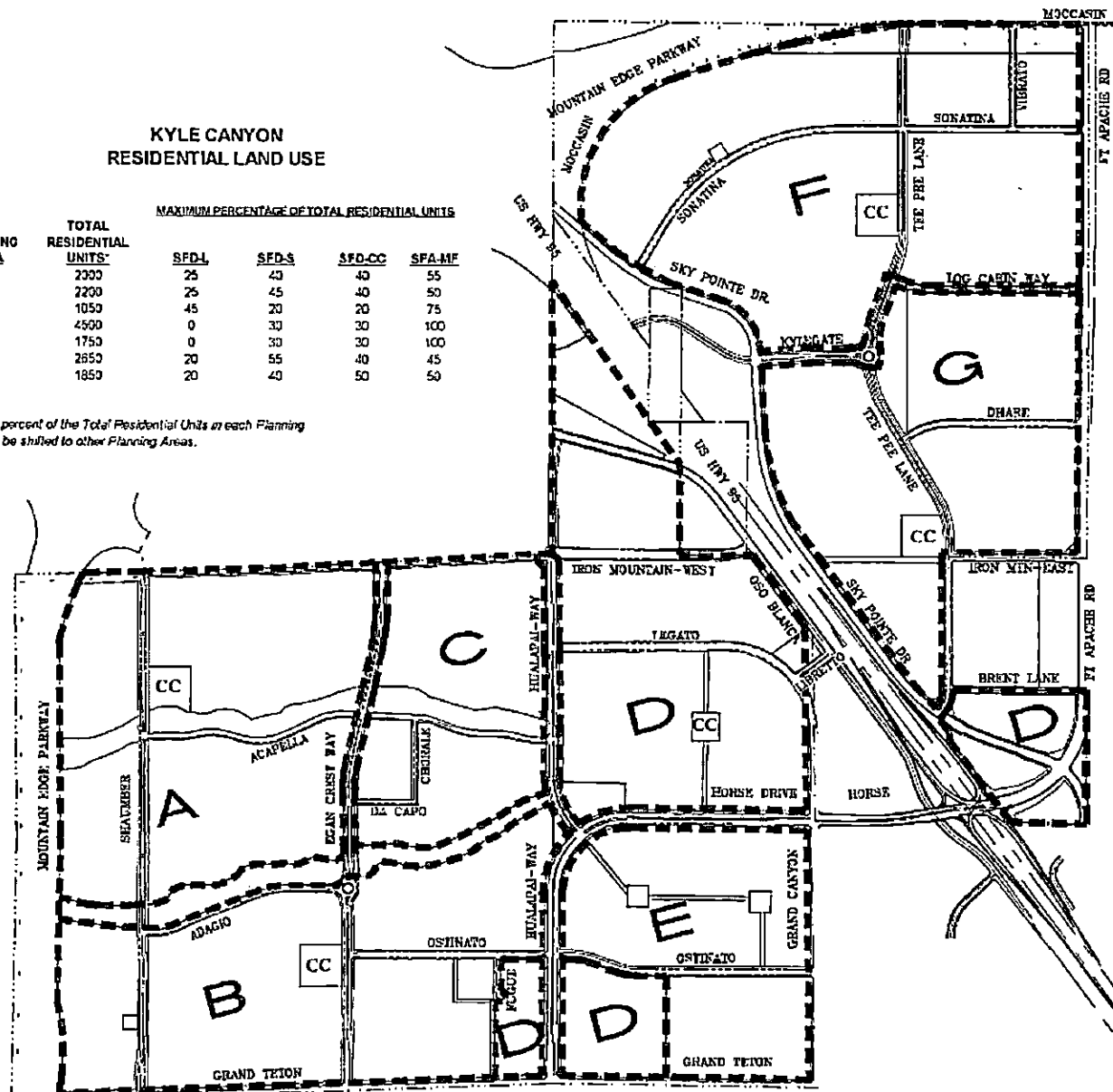
# LEGEND

- A** PLANNING AREA
- CC** COMMUNITY CENTER
- PLANNING AREA
- SFD-L** Single Family Detached - Large Lot  
Estate Lot  
Standard Lot
- SFD-S** Single Family Detached - Small Lot  
Compact Lot
- SFD-CC** Single Family Detached - Court and Cluster  
Green Court  
Passo Court  
Cluster Single Family
- SFA-MF** Attached Single Family and Multi-Family  
Mansion Home  
Townhome  
Tuckunder Multi-Family  
Embedded Garage Multi-Family

## KYLE CANYON RESIDENTIAL LAND USE

| PLANNING AREA | TOTAL RESIDENTIAL UNITS | MAXIMUM PERCENTAGE OF TOTAL RESIDENTIAL UNITS |       |        |        |
|---------------|-------------------------|-----------------------------------------------|-------|--------|--------|
|               |                         | SFD-L                                         | SFD-S | SFD-CC | SFA-MF |
| A             | 2300                    | 25                                            | 43    | 45     | 55     |
| B             | 2200                    | 25                                            | 45    | 45     | 50     |
| C             | 1050                    | 45                                            | 20    | 20     | 75     |
| D             | 4500                    | 0                                             | 33    | 33     | 100    |
| E             | 1750                    | 0                                             | 33    | 33     | 100    |
| F             | 2650                    | 20                                            | 55    | 40     | 45     |
| G             | 1850                    | 20                                            | 40    | 50     | 50     |

*\*Up to 10 percent of the Total Residential Units in each Planning Area may be shifted to other Planning Areas.*



**FIGURE 2-2 KYLE CANYON PLANNING AREAS KYLE CANYON  
AND RESIDENTIAL LAND USE**



**LEGEND:**

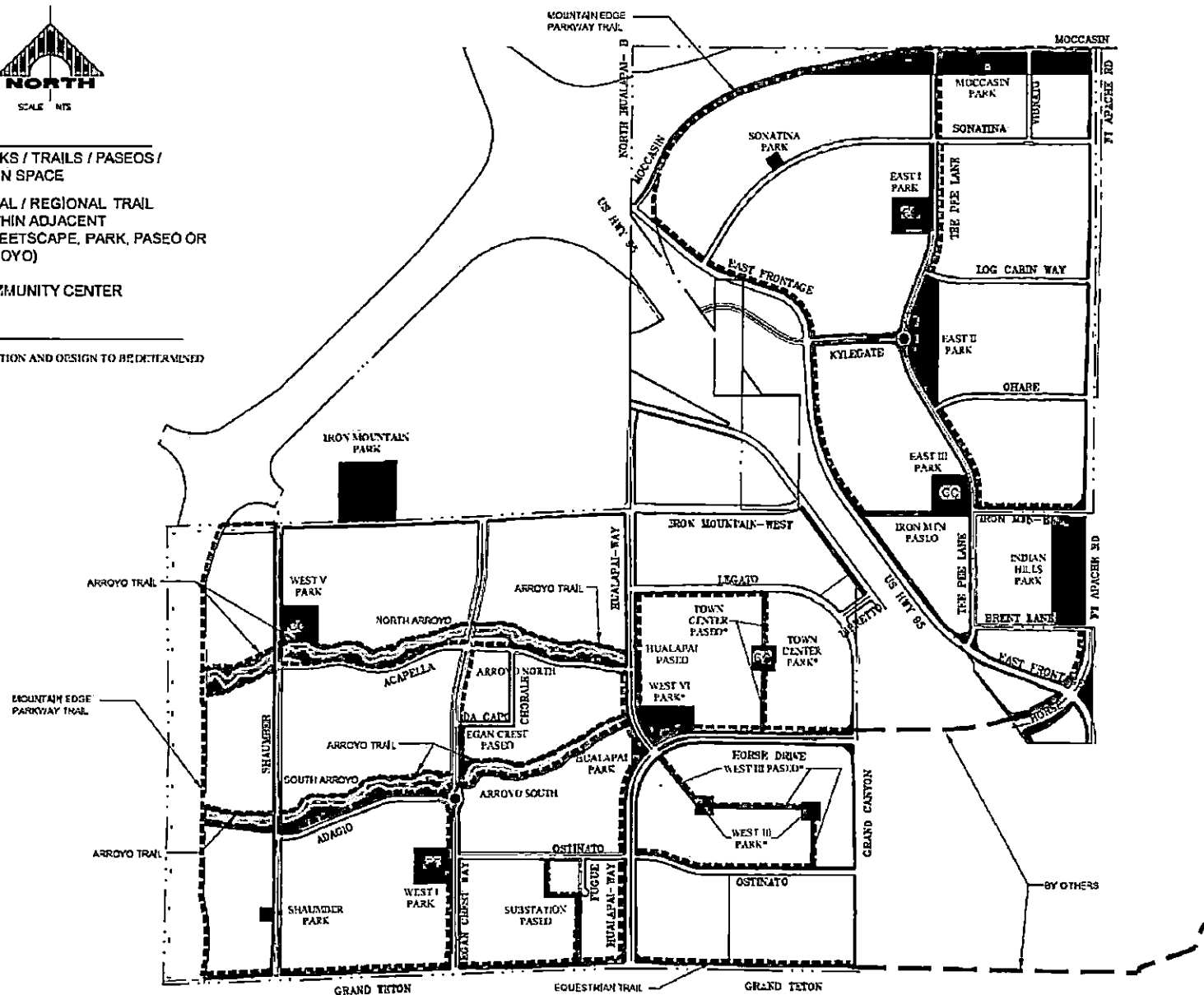
**PARKS / TRAILS / PASEOS /  
OPEN SPACE**

**LOCAL / REGIONAL TRAIL  
(WITHIN ADJACENT  
STREETScape, PARK, PASEO OR  
ARROYO)**

**CC COMMUNITY CENTER**

**NOTES:**

\* LOCATION AND DESIGN TO BE DETERMINED



**FIGURE 2-3 KYLE CANYON PARKS, TRAILS, AND OPEN SPACE PLAN**

### **2.3 PEDESTRIAN AND VEHICULAR CIRCULATION**

The design of Kyle Canyon will feature a network of walkable streets and trails to enhance access for residents and visitors and provide multiple routes to any destination to make walking pleasant and interesting.

The circulation concept for Kyle Canyon is discussed further in Section 6. The network of walkable streets at Kyle Canyon will form the connective tissue of the Community's public realm. Houses will be allowed to back-on Village Streets only in the locations within Kyle Canyon as shown on Figure 3-15. Typical streets will have sidewalks, planting strips, on-street parking, and buildings with front doors, windows and porches that face onto the street. All these features help to create an environment that encourages walking and bicycling for short local trips as well as recreation.

A hierarchy of streets of different character will ensure efficient circulation that balances the needs of all modes of travel - auto, pedestrian, bicycle and public transit.

Horse Drive and Hualapai Way will have arterial boulevard configurations which minimize their impact on pedestrians while preserving their capacity to accommodate higher traffic volumes. In order to accommodate greater traffic flows, driveways from individual homes will not be permitted on certain arterial and collector streets, which are identified on Figure 3-15; instead, garages along these streets will be accessed from alleys or side streets and homes will either front or side onto these arterial and collector streets.

Secondary circulation routes will provide landscaped medians that add to the Community's urban charm. Residences will have porches and entries fronting the street rather than backyards and screen walls. Their frequency will insure that traffic volumes are dispersed and each street is pedestrian friendly. These streets and adjacent

sidewalks will also be the primary pedestrian and bicycle routes between neighborhoods.

### **2.4 THE TOWN CENTER AND TOWN CENTER PARK**

The Town Center is the urban focus of the Community where high density residential development will be mixed with a variety of commercial uses including retail, restaurants and entertainment, resort, and office uses. Designed to allow gatherings and performances as well as casual use, the Town Center Park is a human-scaled space that may contain such uses as amphitheaters, civic buildings and spaces, recreation and open spaces, community centers, retail shops, and restaurants.

## Section 3

# NEIGHBORHOOD DESIGN GUIDELINES

### 3.1 OVERALL STRUCTURE AND DESIGN

The goal of the Design Guidelines is to develop a community that has a visual and functional sense of continuity—it is one place with many elements, rather than a grouping of private subdivisions. Community amenities will be accessible to pedestrians and the primary community circulation system will be pedestrian friendly.

The Community's streets and public places must be diverse and human scaled. There should be architectural variety along each street and within each neighborhood. The primary amenities of the site, the arroyos, and community parks, must have homes fronting or siding to them and active walkable streets leading to them.

The following design standards are unified by the simple desire to use appropriate site planning and building design to enhance the community character and pedestrian experience of Kyle Canyon's neighborhoods.

### 3.2 NEIGHBORHOOD STREET LAYOUT AND CONNECTIVITY

Site planning of neighborhoods and street layout are dependent on one another to create neighborhoods that interact with the street frontage and maximize pedestrian and automobile circulation. The

street layout, including pedestrian access, shall complement the Community's overall network of connectors and boulevards.

### VEHICULAR CONNECTIVITY BETWEEN DEVELOPMENT PARCELS

At least one vehicular connection incorporating pedestrian access is required between adjacent non-gated development parcels; however, additional vehicular connections incorporating pedestrian access between adjacent development parcels is encouraged. Points of connection may be designed in conjunction with required engineering connections such as drainage, water, and sewer. Builders of adjacent development parcels shall coordinate the exact location such connection points. However, where the street pattern of one development parcel has been established to at least a preliminary project plan level of approval, then the adjacent development parcel shall design its street pattern to meet such existing or approved connection.

### PEDESTRIAN CONNECTIVITY BETWEEN NEIGHBORHOOD STREETS AND VILLAGE STREETS

Pedestrian access between Neighborhood Streets and Village Streets shall be maximized through the use of open cul-de-sac design, paseo connections, and pedestrian access for gated neighborhoods (refer to Figures 3-1, 3-2, and 3-3). Pedestrian access in one of the aforementioned conditions shall occur, at a minimum, at the following frequency:

| Village Street Frontage | Pedestrian Access           |
|-------------------------|-----------------------------|
| 0' – 1000'              | No access required          |
| 1000' – 1500'           | 1 point of access required  |
| 1500' – 2500'           | 2 points of access required |

#### **PEDESTRIAN CONNECTIVITY BETWEEN ADJACENT DEVELOPMENT PARCELS**

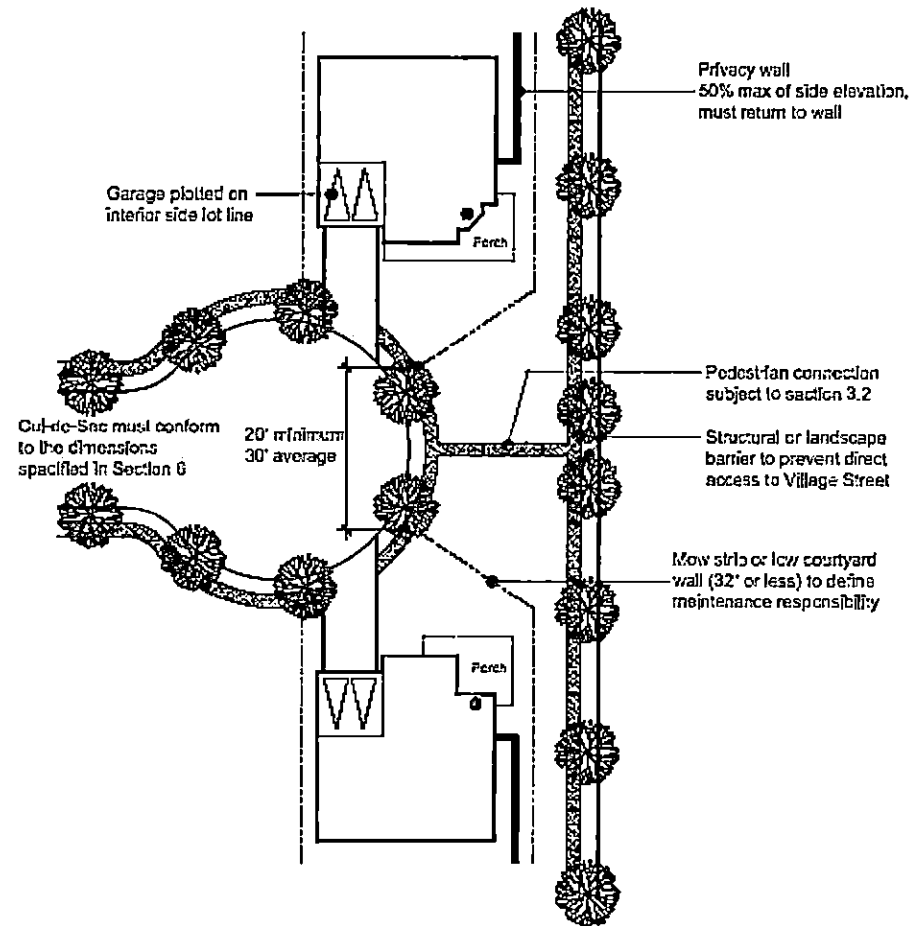
At least one pedestrian access connection is required between adjacent development parcels unless both development parcels are Gated Areas. Gated Areas shall provide resident access gates to enable pedestrian connections to adjacent non-gated development parcels. Pedestrian access to an adjacent Development Parcel shall be a walking distance of 500' or greater from a pedestrian access point to the Village Street.

#### **PEDESTRIAN CONNECTIVITY BETWEEN ADJACENT PARKS AND TRAILS**

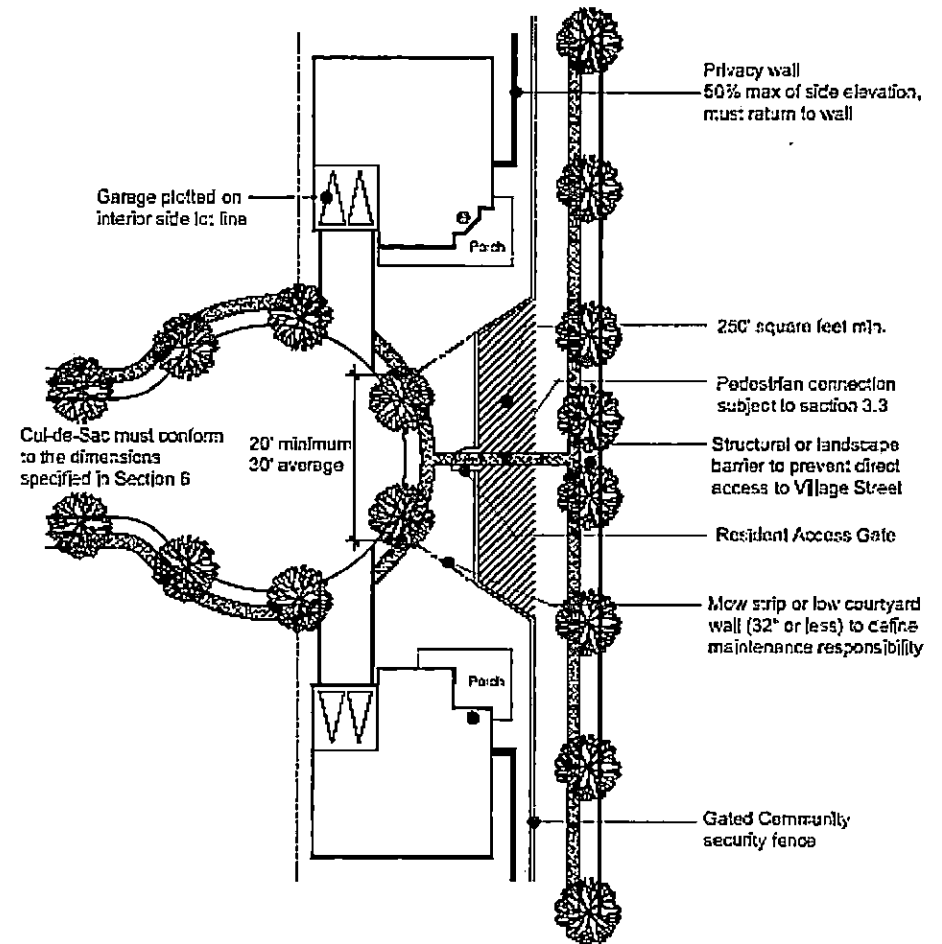
At least one pedestrian access connection is required between a development parcel and an adjacent public park, paseo, and the following trails and walking paths:

- Mountain Edge Parkway Trail
- Grand Teton Trail
- Trails in the arroyos and paseos
- Iron Mountain Walking path West of Hualapai

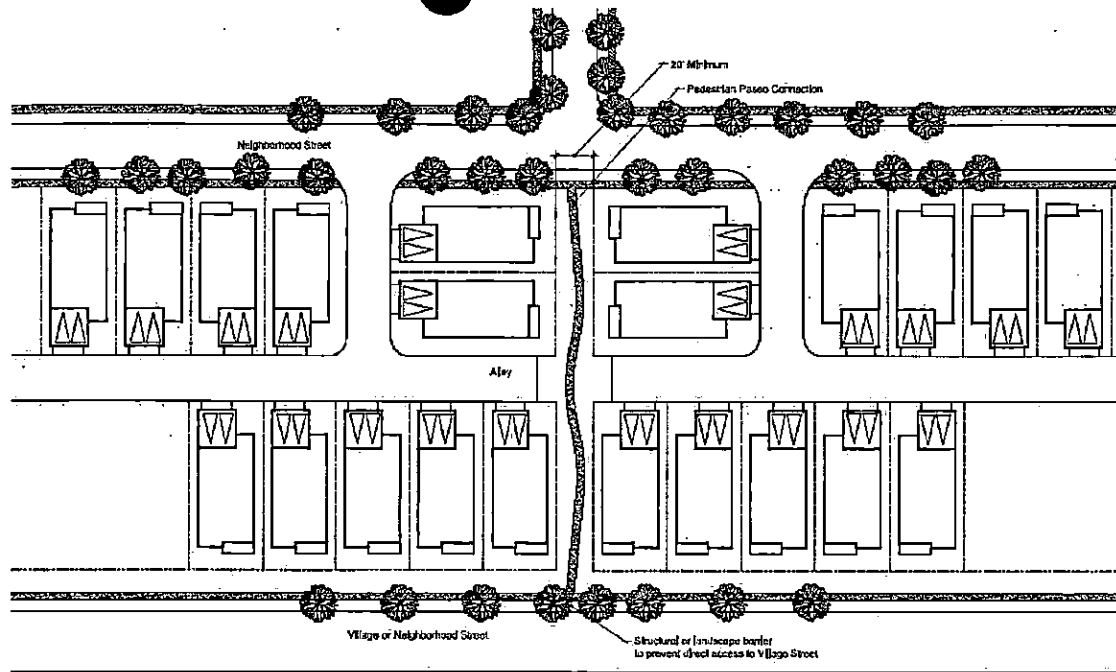
## NON-GATED CUL-DE-SAC



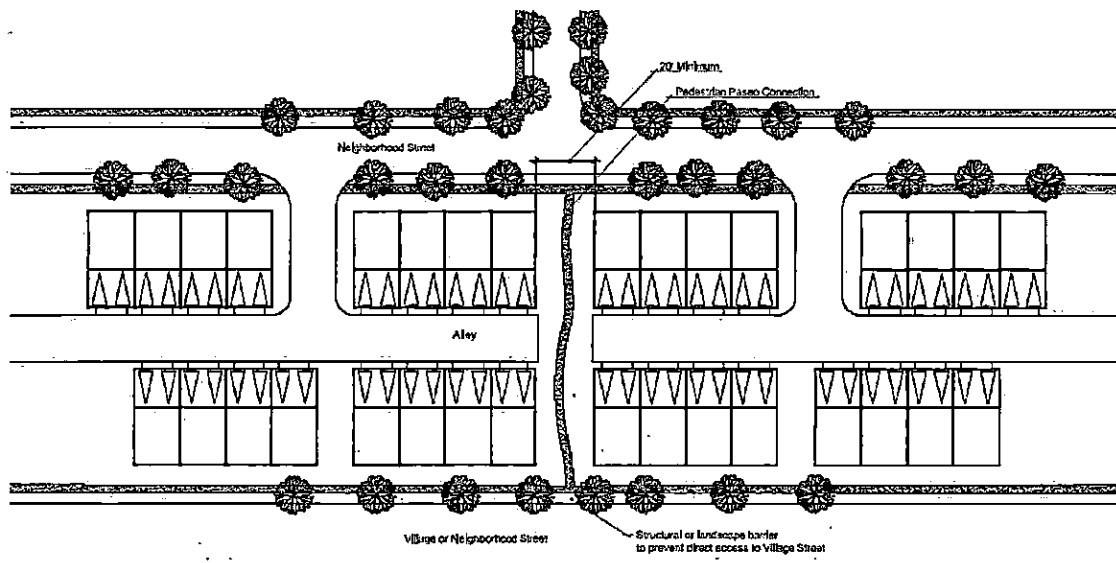
## GATED CUL-DE-SAC



**Figure 3-1. CUL-DE-SAC Tree placement and buildings are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.**

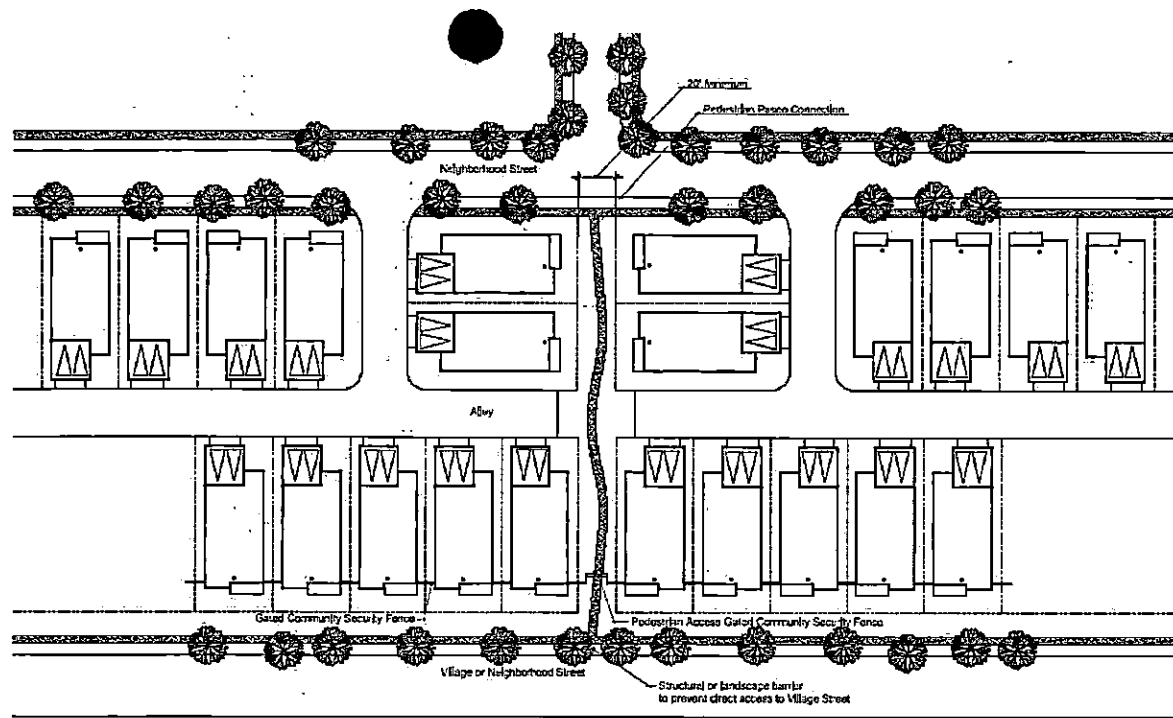


All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.

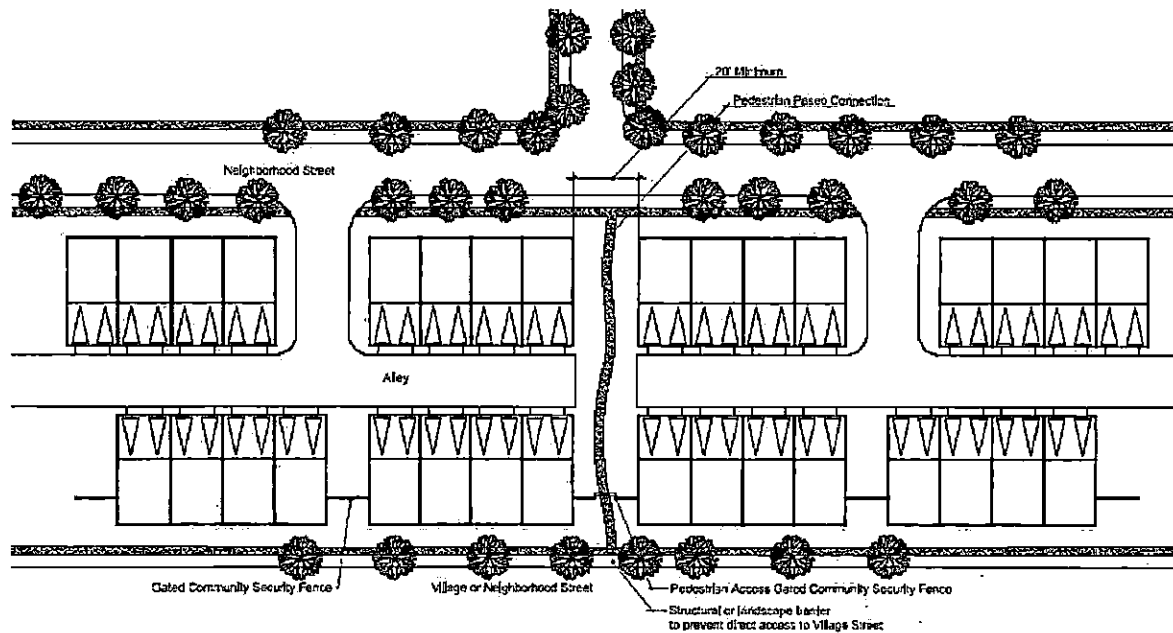


All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.

Figure 3-2 PEDESTRIAN PASEO CONNECTION Buildings and street/alley/drive aisle locations are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.



All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.



All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.

Figure 3-3 GATED PEDESTRIAN PASEO CONNECTION Buildings and street/alley/drive aisle locations are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

Where a gated development parcel is adjacent to a park, paseo, or the above-listed trails and walking paths, resident access shall be provided to such common area.

Vehicular and pedestrian connections may be accomplished in a variety of ways. Figures 3-4 through 3-10 are representative examples that may be used in the design of vehicular and pedestrian connections.

### CUL-DE-SAC STREETS

Although through streets are preferred, the use of cul-de-sacs is permitted subject to the following provisions:

- At a perimeter edge of a development parcel that abuts a street, open space, or common element, the cul-de-sac must terminate at the development parcel edge with a pedestrian connection to a sidewalk or multi-use trail. (Refer to Figure 3-1) Closed-ended cul-de-sacs with lots that fan around the bulb of the cul-de-sac (Refer to Figure 3-13) are not allowed in this condition.
- When located on the interior of a development parcel (not abutting a development parcel perimeter edge having a street, open space, or common element), 75% of the interior cul-de-sac streets that are longer than 300' in length shall have a pedestrian connection to a street or paseo. (Refer to Figures 3-11 and 3-12)
- When located on the interior of a development parcel (not abutting a development parcel perimeter edge having a street, open space, or common element), cul-de-sacs that are 300' or less in length may have a closed-ended cul-de-sac

design with lots that fan around the bulb of the cul-de-sac. (Refer to Figure 3-13)

- In certain cases, site conditions or constraints such as topography, grading, site shape and easements, may dictate the use of closed-ended cul-de-sacs where otherwise not permitted. Such conditions shall be considered on a case-by-case basis by the Master Developer.

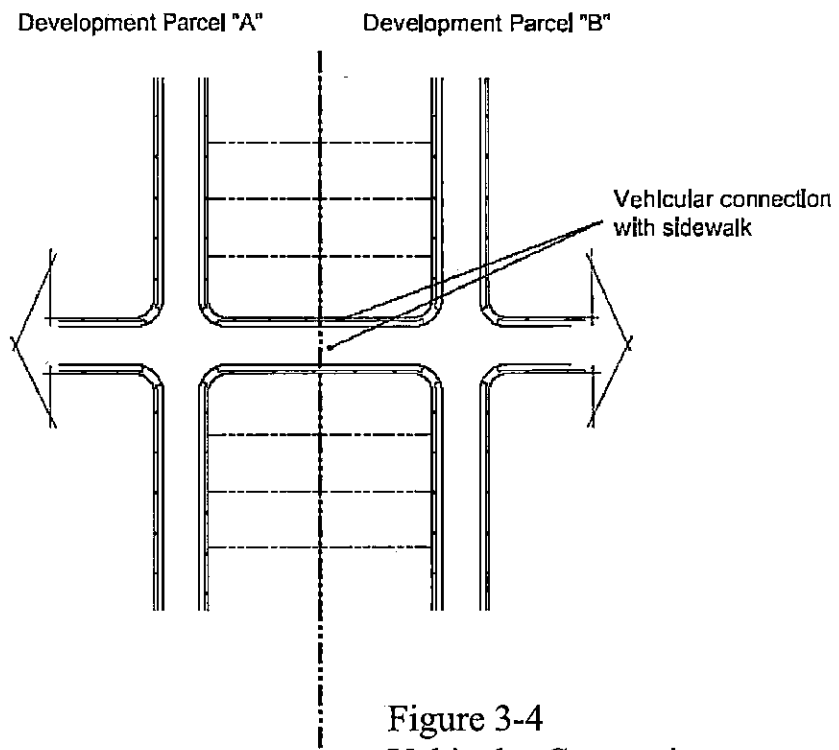
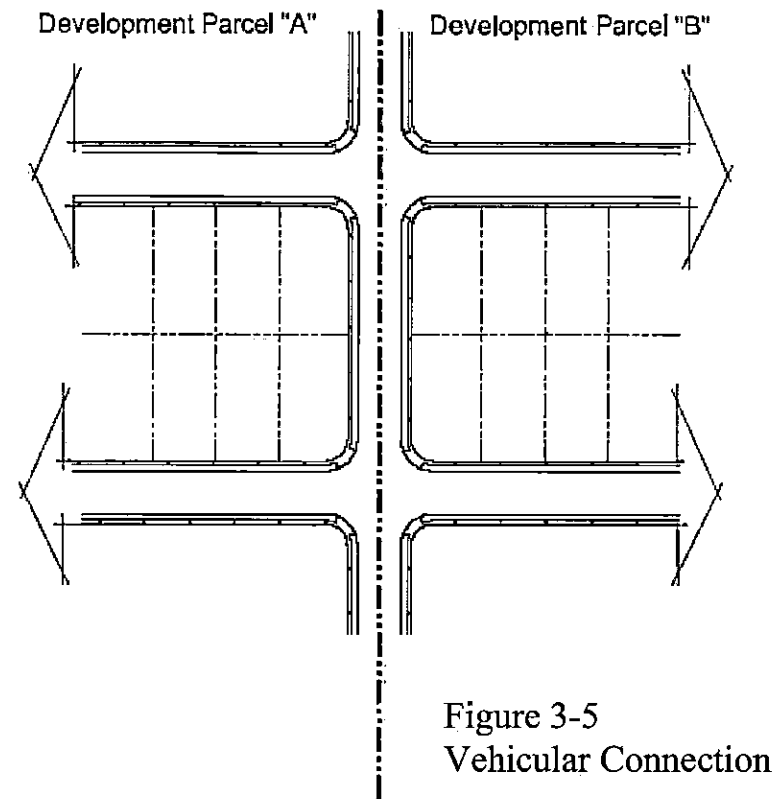


Figure 3-4  
Vehicular Connection



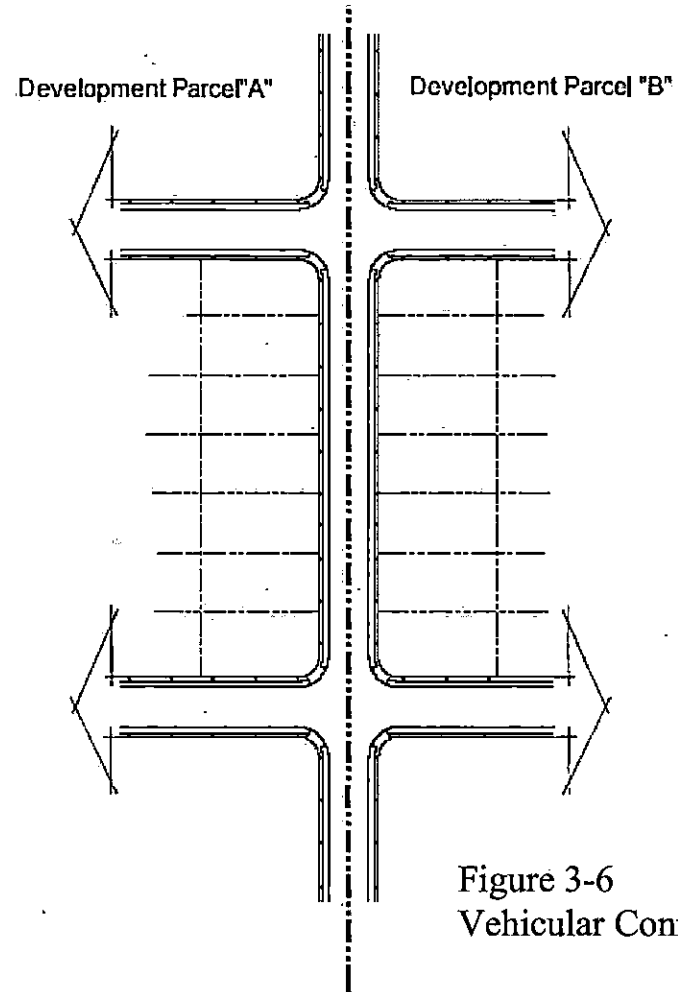


Figure 3-6  
Vehicular Connection

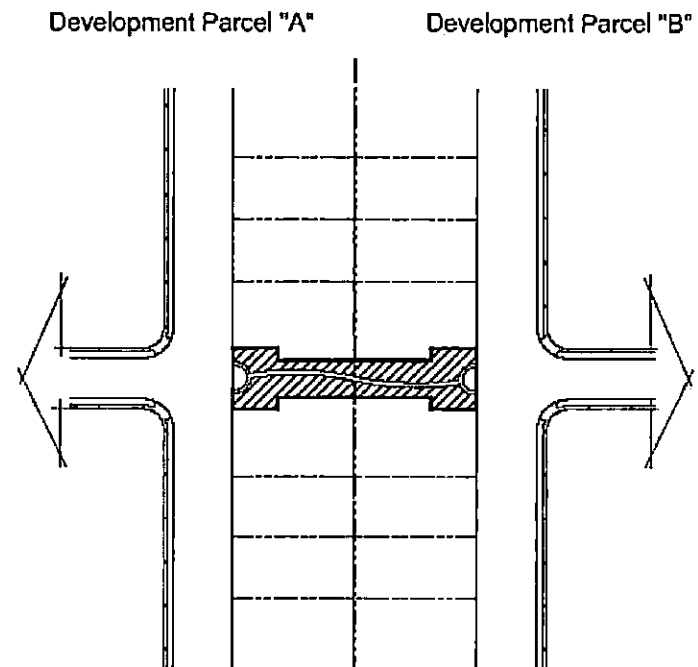


Figure 3-7  
Pedestrian Connection

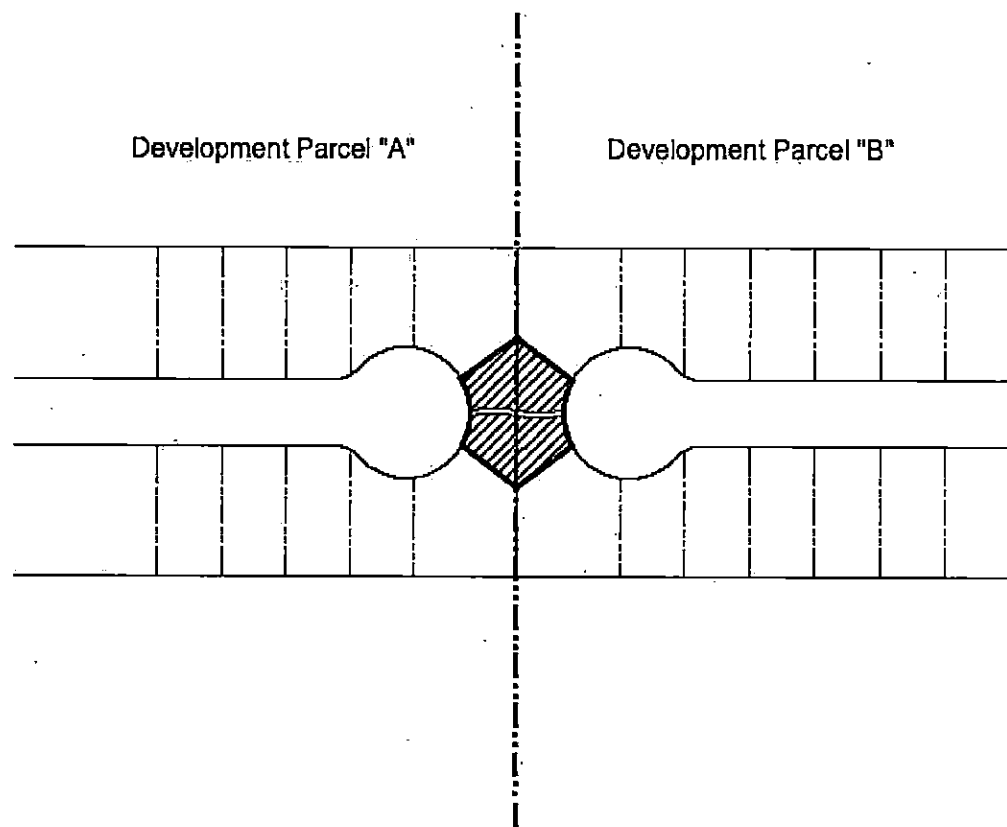


Figure 3-8  
Pedestrian Connection

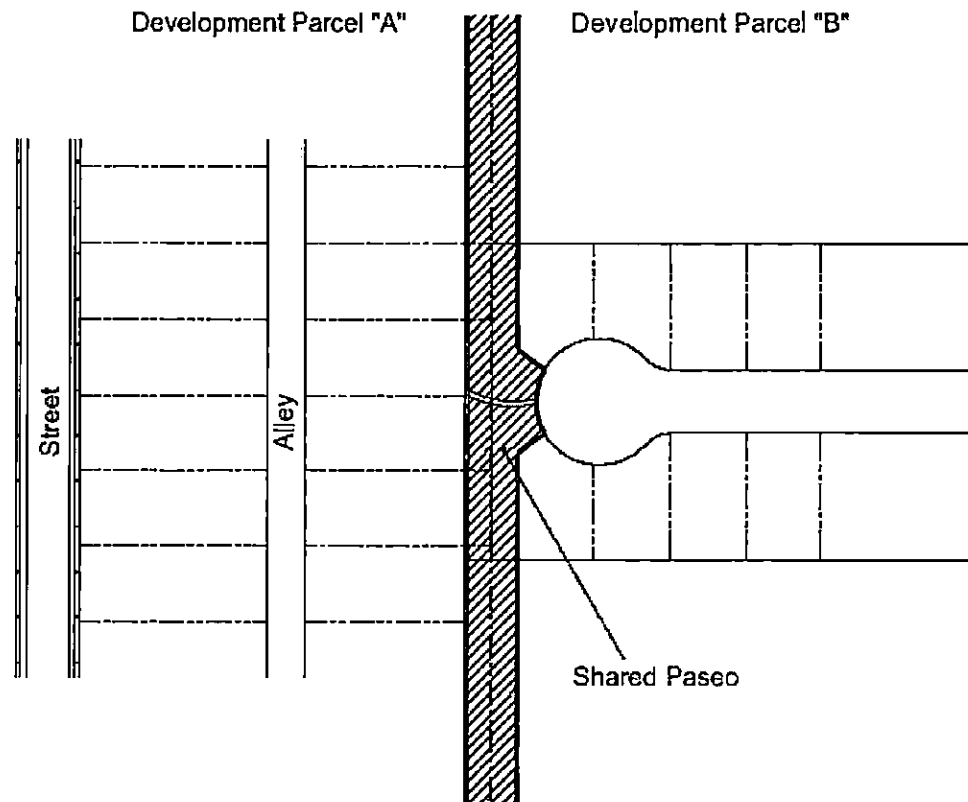


Figure 3-9  
Pedestrian Connection

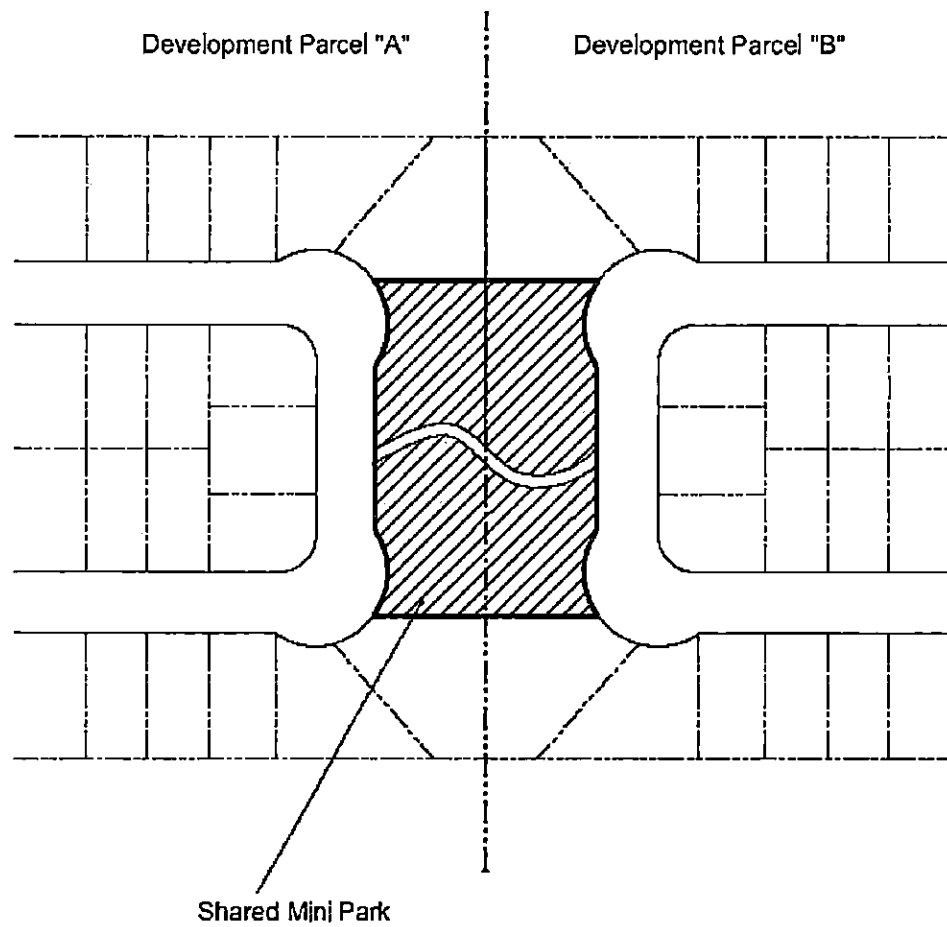


Figure 3-10  
Pedestrian Connection

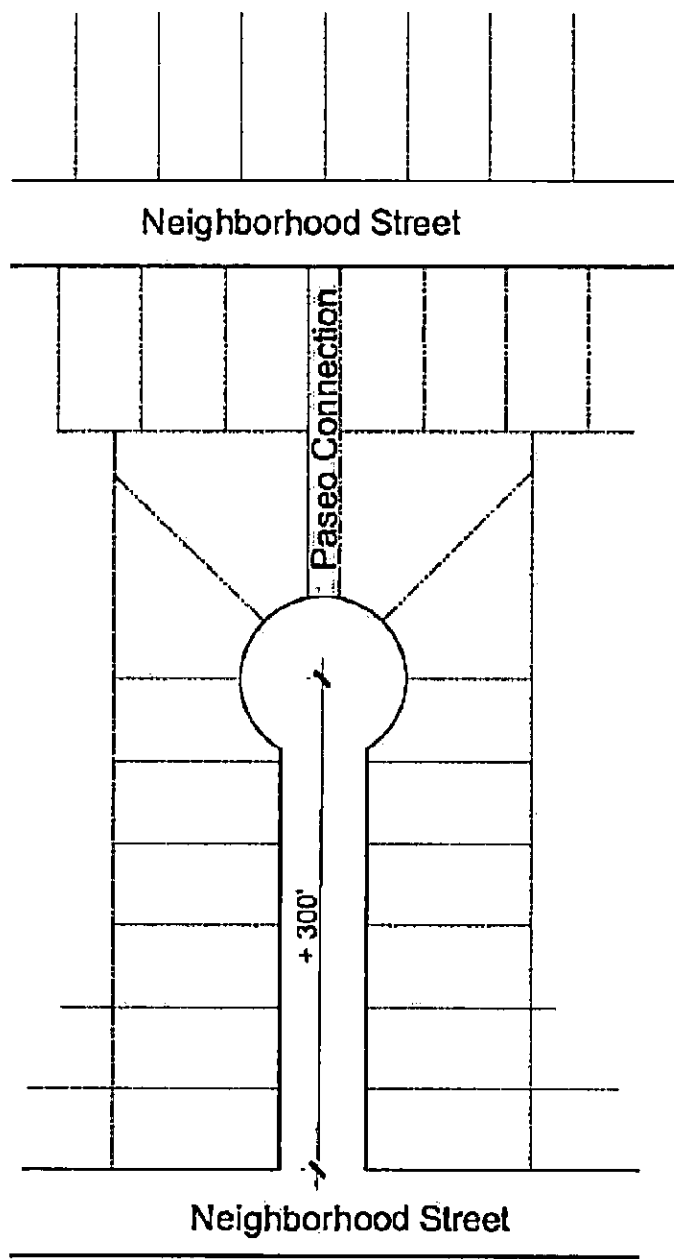


Figure 3-11

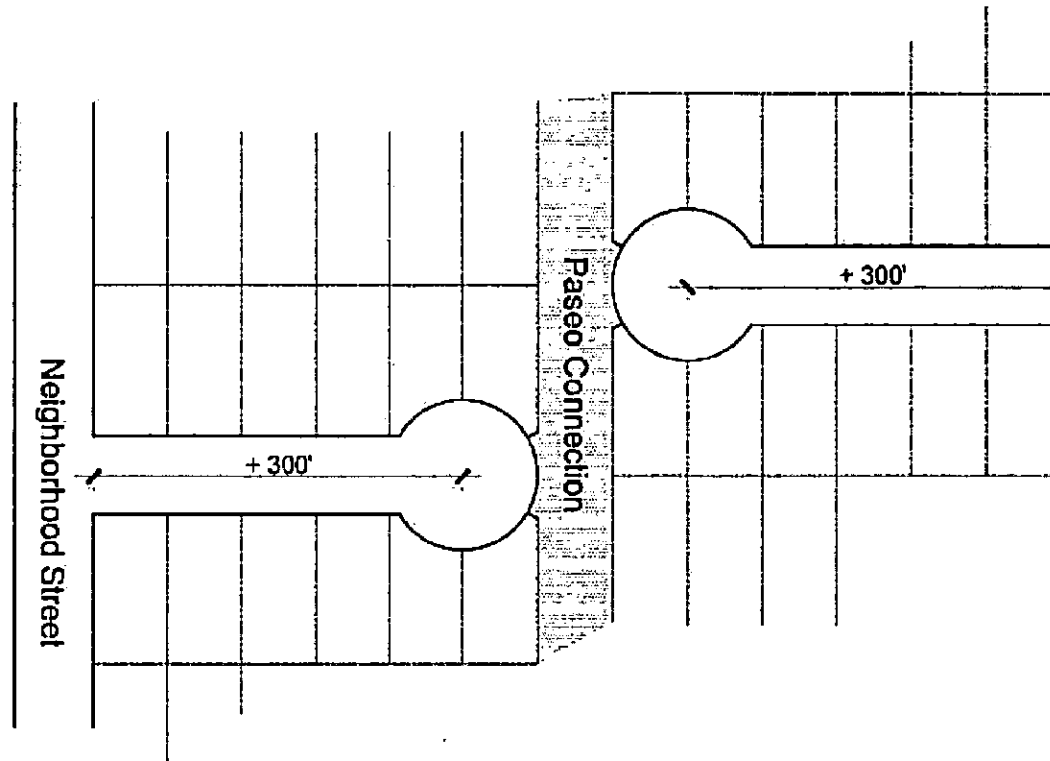


Figure 3-12

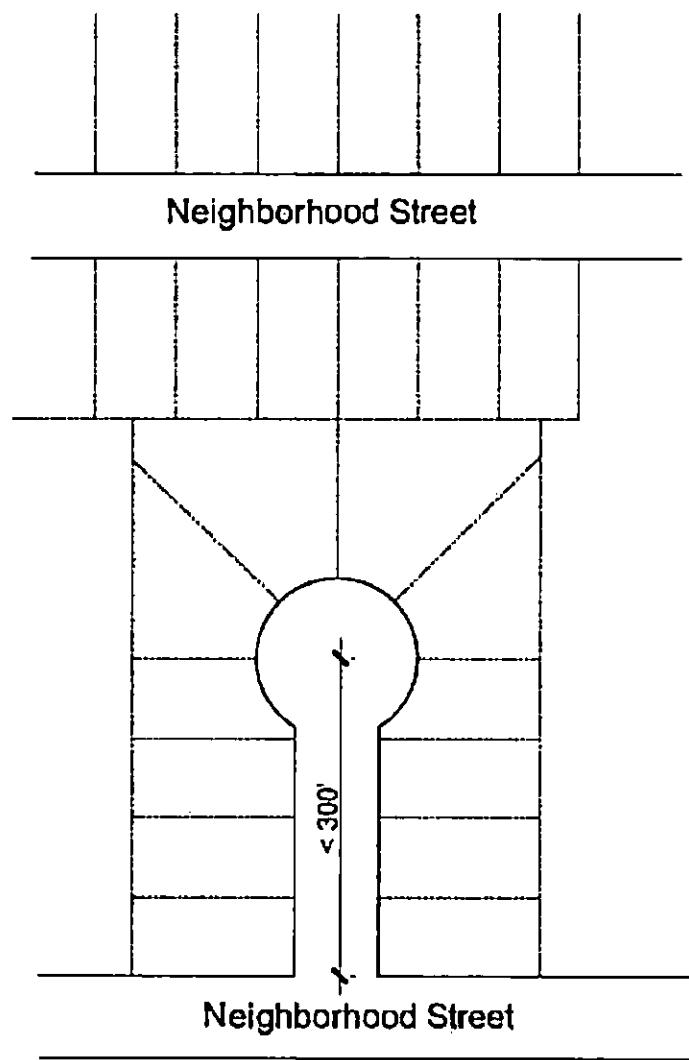


Figure 3-13

## ALLEYS

Alley loaded homes have the additional amenity of street frontage in the front and usable alley frontage in the rear of the home. To enhance the standard of living in this space, all alley loaded home designs shall incorporate at least two items from the list below.

- 
- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"><li>• A trellis element projecting 18" forward of the garage door wall plane on a minimum of 50% of the units along the alley.</li><li>• A principal window treatment on all alley facing elevations.</li><li>• Articulation in building massing such as<ul style="list-style-type: none"><li>○ Second floor stepped back a minimum of 2' for at least 50% of the elevation width.</li><li>○ Second floor cantilevered a minimum of 2' forward of the first floor wall plane for at least 50% of the elevation width.</li></ul></li><li>• Use of upgraded carriage style doors on at least 50% of the elevations.</li></ul> | <ul style="list-style-type: none"><li>• Enhanced coach lighting at garage door</li><li>• Accent materials and details from front brought around to alley elevation.</li><li>• Use of window lites on at least 50% of the garage doors along the alley.</li></ul> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
- 

No parking is allowed on an alley or on a driveway apron less than 20' accessed from an alley. The Master Home Owners Association or sub-association shall enforce parking restrictions on alleys and driveway aprons accessed from an alley.

### 3.3 RESIDENTIAL PARCEL TYPE GUIDELINES

There are three types of Residential Parcels in Kyle Canyon: Neighborhood Residential, Urban Mixed-Use, and Town Center Mixed-Use.

**Neighborhood Residential Parcels** represent the majority of Kyle Canyon's neighborhoods and will contain a majority of the housing. They allow a great range of Residential Building Types; from all varieties of detached Single Family Homes, including Green Court and Cluster styles, to the full range of attached Single Family Homes and Multi-Family Homes up to four (4) stories in height. Multi-Family Residential Building Types up to five (5) stories high are allowed on Neighborhood Residential Parcels if adjacent to or directly accessible from a Village Street (see Figure 3-14). The Village Streets are all of the streets identified on Figure 6-1.

**Urban Mixed-Use Parcels** allow all types of Residential Building Types except Estate, Standard, and Compact Lots. The Urban Mixed-Use Parcels permit a wide variety of Residential Building Types, both detached and attached single family products and medium-density multi-family products.

The **Town Center Mixed-Use Parcels** are located north of Horse, east of Hualapai, and west of US Highway 95. These Development Parcels permit denser forms of apartments and condominiums close to services and shopping. Their Residential Building Types range from Mansion Homes and Townhomes to high density multi-family buildings employing either below or above grade parking structures. These neighborhoods are designed to ensure a pedestrian friendly urban environment.

**Gated Areas** are allowed on all Residential Parcels only under the following guidelines:

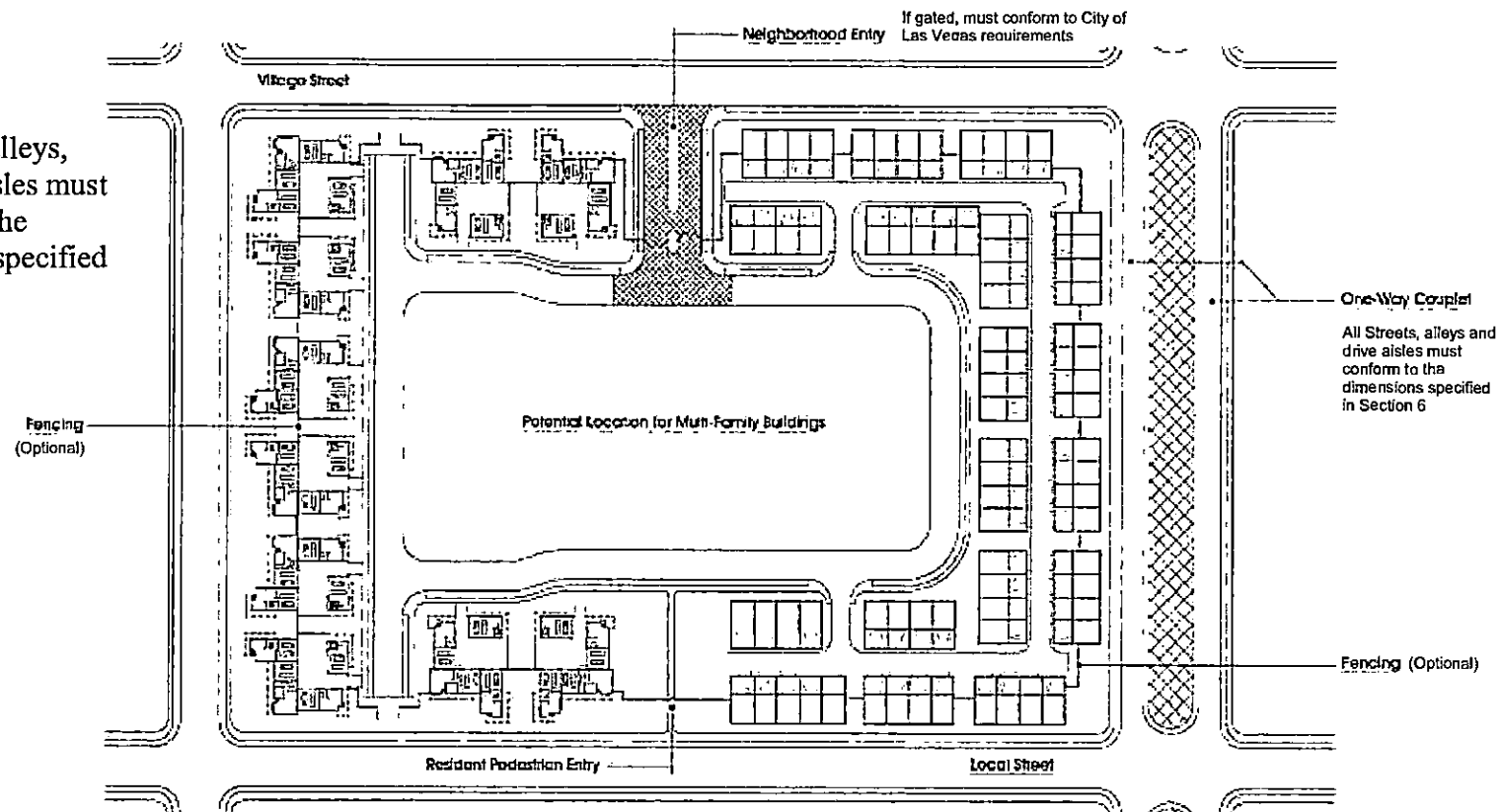
- Gated Areas may be created from all or a portion of a Development Parcel but a Gated Area may not be larger than a single Development Parcel (i.e., may not overlap adjacent Development Parcels)
- Gated Areas shall contain a minimum of 20 units
- Gated Areas may contain any of the Residential Building Types permitted on the Neighborhood Residential Parcels, the Urban Mixed-Use Parcels, or the Town Center Mixed-Use Parcels where the Gated Area is located.
- Entry gates will not exceed ten feet (10') in height to minimize their appearance from streets
- Both manned and un-manned gate systems are allowed
- Entries to Gated Areas will comply with all existing requirements of the City
- All costs associated with the Gated Area such as maintenance of private roads and gates and common landscape improvements within the gates will be the sole responsibility of the homeowners within the Gated Area either through a sub-association or neighborhood assessment to the Master HOA
- The perimeter edge conditions specified in Section 3.4 will apply to all Gated Areas
- The use of solid privacy walls should be minimized except where used to provide privacy to an individual homeowner's lot – other security fencing should be a view fence where possible. The use of solid perimeter walls that completely surround development parcels is not permitted.

- Where cul-de-sacs terminate at development parcel perimeter edge abutting a street, open space, or common element, such conditions shall feature open fencing with controlled pedestrian access gates. (Refer to Figure 3-1). In certain cases, site conditions or constraints such as topography, grading, site shape and easements, may make the use of open fencing with controlled pedestrian access gates impractical. Such conditions shall be considered on a case-by-case basis by the Master Developer.

At cul-de-sacs and drive isle terminations that abut Village Streets, the view fencing should be pushed back to create a landscaped common area of at least 250 square feet in front of the fence that is available to public access. These areas will be maintained by the Master HOA.

- Though the majority of neighborhoods within Kyle Canyon will be non-gated, up to 25% of the units within the Community (4000 units) may be within Gated Areas.
- Plotting of units with front doors that face the perimeter streets is preferred. In such cases, solid or open fencing shall occur between buildings only. Though within a Gated Area, the units with front doors facing the perimeter streets shall not be counted toward the 25% cap community wide.
- Parking structures for multi-family products (podium and embedded garage) may have individual controlled access gates for the parking structure itself. Any units served by such controlled access parking structures shall not be counted toward the 25% cap community wide, so long as there is open and unimpeded pedestrian access between perimeter streets, open space, or common element and the front door(s) of the building.

All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.



Multi-family building vehicular ingress and egress via interior drive aisles.  
 Neighborhood streets not used for access to parking provided for multi-family building.

Figure 3-14 MULTI FAMILY RESIDENTIAL BUILDING ADJACENT TO OR DIRECTLY ACCESSIBLE FROM A VILLAGE STREET Buildings and street/alley/drive aisle locations are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

### 3.4 EDGE CONDITIONS

In order to maintain the overall quality and identity of the community, the streetscapes and open space edges along the perimeter of each Development Parcel must be developed with care.

In all cases where homes side onto a street or the side or rear elevation of a home is Adjacent to and Visible from a Public Place, such elevation will be articulated in a manner similar to the front elevation of the home.

In order to balance traffic considerations with the desire for a walkable neighborhood character, the following three types of edge treatment are required in various locations throughout the site (see Figure 3-15).

**“Back-on-Allowed”** edge treatments are those areas where the back of a home is allowed to face a street on the perimeter of a Development Parcel. In all cases other than the “Back-on-Allowed” perimeters shown on Figure 3-15, homes will not be allowed to back on to a street on the perimeter of a Development Parcel. This means that the perimeter of each Neighborhood Residential Parcel must employ either homes that front or side onto the perimeter streets.

**“Minimal Curb Cut”** edge treatments apply along select boulevards and arterials that carry the most traffic. The intention is to ensure that these roadways are lined with buildings with doors and windows that face onto the Village Street, creating a walkable environment and to ensure that traffic flows on these roadways are not compromised by residents backing out of driveways. Consequently, driveway curb cuts are minimized in these edge conditions; a maximum of one curb cut per block face or one curb cut per 150 Multi-Family Units, whichever is the greater number of curb cuts, is permitted along these edges. Garages or parking structures may be accessed from the Village Street at one of the permitted curb cuts or from alleys or side streets. These streets may include a full range of Residential Building Types consistent with the Land Use Plan.

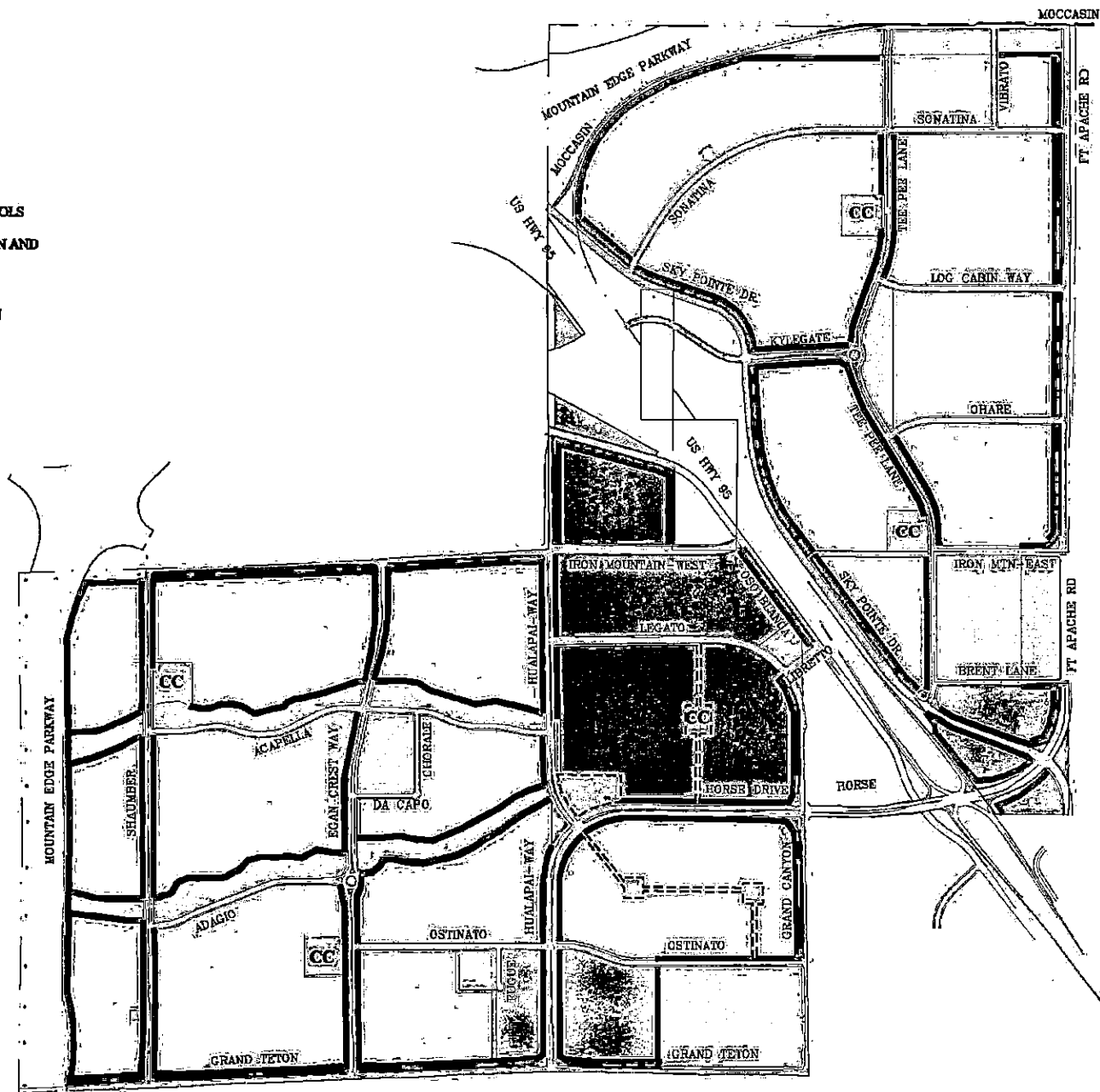
**“Open Space”** edge treatments apply only in designated areas adjacent to the open space of the arroyos. In these locations, the perimeter of the Development Parcel must be treated in one of the following ways:

- A continuous **local frontage road** along such edges, with homes orienting to the open space.
- **Alley loaded homes** with front facades facing the open space, or
- A **Loop Street System** (see Figure 3-16) in which local street segments are required along a portion of the open space frontage. Residences adjacent to the open space boundary are required to have their front doors or an elevation articulated in a manner similar to the front elevation facing the open space. Front doors may be accessed either from the loop street or from a pedestrian walkway connecting loop streets along the open space frontage. Alley access is required for the homes fronting onto the pedestrian walkway; for homes facing the loop street, Alley Loaded, Front Drive or Side Drive Garage treatments are permitted.



# **LEGEND**

- NEIGHBORHOOD RESIDENTIAL
- TOWN CENTER MIXED-USE
- URBAN MIXED-USE
- COMMUNITY FACILITIES / SCHOOLS
- PARKS/OPEN SPACE
- PARKS/OPEN SPACE - (LOCATION AND DESIGN TO BE DETERMINED)
- COMMUNITY CENTER
- BACK-ON CONDITION
- MINIMAL CURB CUT CONDITION
- OPEN SPACE EDGE CONDITION



**FIGURE 3-15 KYLE CANYON EDGE CONDITION MAP**

All streets, alleys, and drive aisles must conform to the dimensions specified in Section 6.

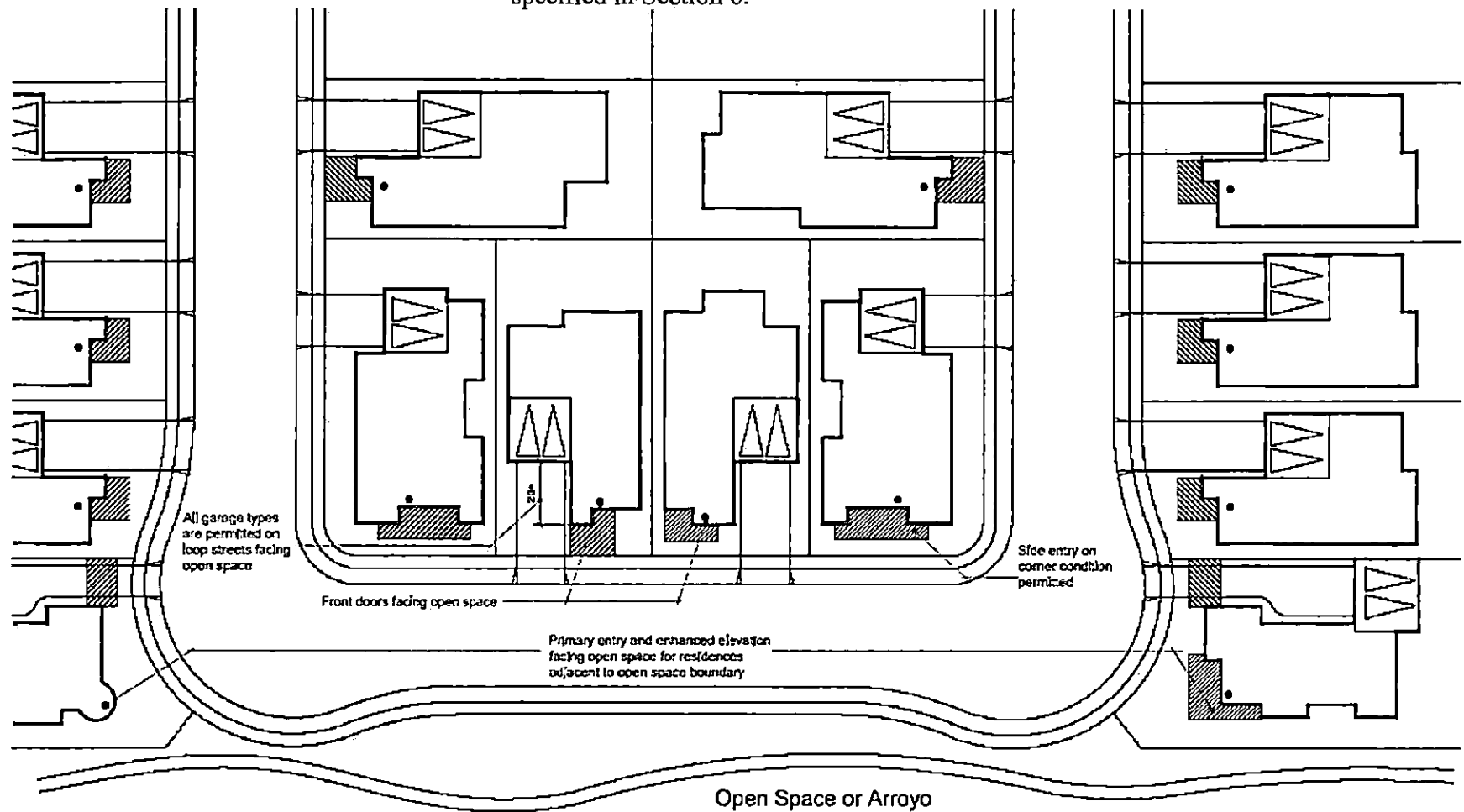


Figure 3-16 LOOP STREET Street location and buildings are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

### 3.5 RESIDENTIAL BUILDING TYPE STANDARDS

The following section illustrates the character of homes in Kyle Canyon's neighborhoods. Standards for each Residential Building Type include setbacks, building separation, building height, minimum open space, and parking requirements. Annotated diagrams illustrate many of the lot layout options. Other possible arrangements will be reviewed by the Master Developer to ensure compliance with the intent of the standards.

Figure 3-19 is a summary of the Residential Building Types allowed on Neighborhood and Village Streets in the Neighborhood Residential, Urban Mixed-Use, and Town Center Mixed-Use Districts. Figure 3-20 summarizes additional information regarding the permitted Residential Building Types.

#### Single Family Detached Residential Building Types

##### *Estate Lot*

Estate Lot homes are detached single family homes on larger than average lots. Estate Lots are sufficiently wide to allow for garages to be accommodated near the front façade of the main building in a variety of configurations. Garages may be accessed from a Front or Side Drive or from an alley, and garages may be attached or detached in either condition. If more than two garage doors are provided, turn-in or split garage treatments or one of the three car garage treatments described below in Section 4.3.2 must be used to reduce their visual impact.

##### *Standard Lot*

Standard Lot homes are the mainstay of the traditional family home market, with lots at least 45' feet wide that offer residents the quintessential neighborhood lifestyle with private space. As with Estate lots, front door entries and outdoor spaces should be visible from the

street. Garages may be accessed from rear alleys or from a Front or Side Drive and garages may be attached or detached in either condition.

##### *Compact Lot*

Compact Lot homes offer a strong community environment in desirable locations. Double Front Drive Garages are not permitted on Compact Lots unless the lot is at least 44' in width. Single Front Drive Garages with tandem parking and Side Drive Garages are permitted on lots of at least 36' in width. Garages may be accessed from rear alleys or from a Front or Side Drive and garages may be attached or detached in either condition.

#### Court and Cluster Residential Building Types

Court and Cluster Residential Building Types are relatively new types that have proven to be a popular option, especially for couples, young families and empty nesters that don't have a need for a large home or big yard. Buffered from the street by shared open spaces, Court and Cluster homes create a micro-community within the larger neighborhood for their residents.

##### *Green Court*

Green Courts are clusters of up to 16 detached single family homes that face onto three sides of a shared green. The shared greens provide a controlled environment for younger children and a park-like atmosphere in which to play without crossing any streets, as the court-facing homes allow easy supervision by parents or community members. Green Courts also serve as a setting for informal interaction and gatherings. At least one side of the green is adjacent to a street, making front entrances visible from the street and providing on-street guest parking opportunities. Because the homes face a common green space, garages must be accessed from rear alleys or common drives. In order to accommodate partial clusters at the ends of a string of green court clusters, up to 30% of the homes in a product line may face a street. Because the common green

substitutes for rear yard private space, natural turf will be permitted subject to SNWA Water Smart guidelines.

### ***Paseo Court***

Paseo Courts are a variant of Green Courts in which a shared green forms a landscaped common front yard and pedestrian link. As with Green Courts, front doors and porches of homes face onto the paseo and alleys or court streets must be used to access garages. In order to accommodate partial clusters at the ends of a string of green court clusters, up to 10% of the homes in a product line may face a street.

Paseo Court products may be mapped in two ways. If an HOA common area is created between two rows of homes, the minimum width of such common area will be 10', porches or courtyard will be set back at least 3' from the common area and the principal building wall plane will be at least 10' from the common area. Alternatively, the front lot lines of the homes may be in the middle of the paseo and front porches will be a minimum of 8' from the property line, principal wall planes a minimum of 15' from property line and the minimum distance between front wall planes of homes will be 30'. In the latter case, a reciprocal easement area will be created between rows of homes that is at least 10' wide.

### ***Cluster Single Family***

Builders have developed a variety of Single Family Cluster options. Detached single family homes are clustered around "court streets" which provide access to front-loaded garages. All parking must be accessed from the court streets. Since many homes' front doors will face onto the interior parking court, special care must be taken to create street-friendly elevations, with front doors and windows facing the street on the homes closest to the street.

### **Single Family Attached Housing Residential Building Types**

Attached Residential Building Types combine privacy and convenience with easy access to neighborhood amenities. Attached Single Family Homes are permitted on all Neighborhood Residential Parcels, Urban

Mixed-Use Parcels and Town Center Mixed-Use Parcels. As such, these types can form an appropriate residential edge to active uses such as community centers and community parks. This affords the greatest possible number of people the option of accomplishing many local trips on foot or bicycle.

### ***Townhomes***

Each Townhome unit will have an individual ground-floor entry addressing a street, green court, paseo or open space, and a private garage. The individual outside entrance may be elevated no more than half level above the ground floor. Garages are Alley Loaded and may be either attached to or detached from the main building. Townhomes may have a tuck-under garage similar to the Tuck-Under multi-family product.

### ***Mansion Homes***

The Mansion Home combines several residences within one structure designed to resemble a large single family home. Different-sized Mansions Homes up to a maximum of ten (10) units per building may be combined along a block face for greater architectural interest. When located on corners, Mansion Homes will provide entries and a porch, mirador or balcony on both elevations facing the street. When located on the block interior, a "family" of entrances between two buildings may provide gracious access to upper-floor residences that do not have a ground floor entry. The examples illustrated here include four- and six-unit buildings with attached garages, accessed from rear alleys. Front-loaded Mansion Home configurations are permitted, provided that each curb cut serves at least four units and all parking areas are screened from view of the street by courtyard walls, landscaping, or similar features.

### **Multi-Family Residential Building Types**

Multi-Family Homes are allowed in all of Kyle Canyon's Residential Parcels. Such products will not exceed four (4) stories in the

Neighborhood Residential Parcels and Urban Mixed-Use Residential Parcels unless adjacent to or directly accessible from a Village street where five (5) stories are permitted. Higher density Multi-Family Homes are located in the Town Center Mixed-Use District. Several Multi-Family site planning options are illustrated in this section. While parking treatments vary, in every case, Multi-Family buildings must be designed to address the street, with each façade treated as a front elevation.

#### ***Tuck Under***

Tuck Under Multi-Family types offer convenient attached parking with the potential for direct, private interior access to units from garages. Parking is accessed from alleys or private drives, allowing building entries to face the street. This medium-density Multi-Family type is well-suited to ordinary wood-frame construction. Units may face onto streets, green courts, paseos or open space.

#### ***Podium***

Podium Multi-Family types accommodate parking in a concrete structure, or podium, with residences above. Wood- or metal-frame buildings are built atop the parking podium and wrap around its edges, with landscaped open space provided between the buildings on top of the podium. Special care must be taken to ensure the parking podium edges present an attractive face to the street.

#### ***Embedded-Garage***

A recent development in high-density Multi-Family design is the embedded garage design, in which a multilevel concrete parking structure in the interior of the block is wrapped by a wood- or steel-frame residential structure. This strategy allows residents to park on the same level as their unit and simply walk down an interior hallway or exterior cat-walk to their unit entry. Landscaped interior courtyards on one or two sides of the parking structure provide a pleasant outlook for units that face into the interior of the block.

#### **Reciprocal Use Easement**

Reciprocal use easements (Refer to Figure 3-17 and 3-18) may be used in all Residential Parcels. The side of a unit which forms the “0” setback side of the house shall not have any doors or primary windows on the ground floor that face into the use easement area. The use easement area, if provided, may be used when calculating the private rear or side area requirement, subject to the minimum dimensions.

#### **Maintenance Easement**

In-lieu of reciprocal use easements described above, Residential Parcels may be plotted with true “0” lot lines at the builder’s discretion and subject to International Building Code requirements. Minimum building separations shall be ten feet (10’) for Estate Lots and Standard Lots and six feet (6’) for Compact Lots.

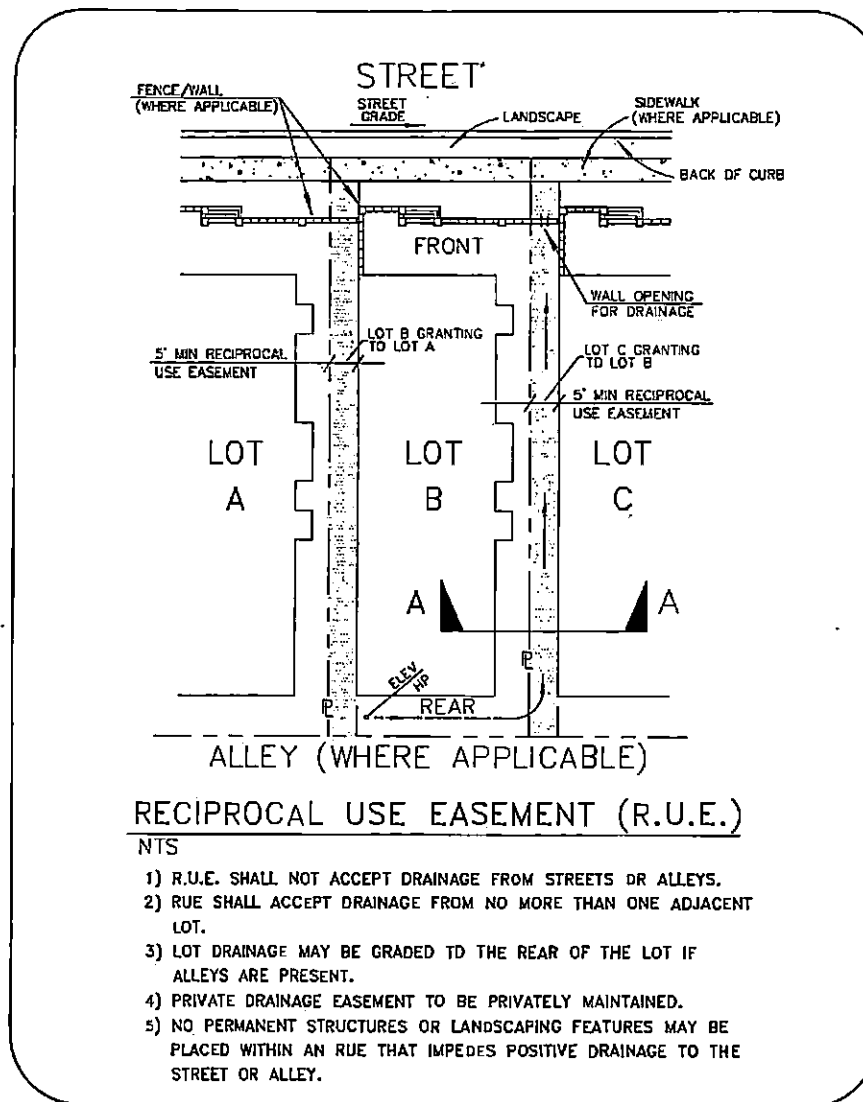


Figure 3-17 RECIPROCAL USE EASEMENT All plans and diagrams are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

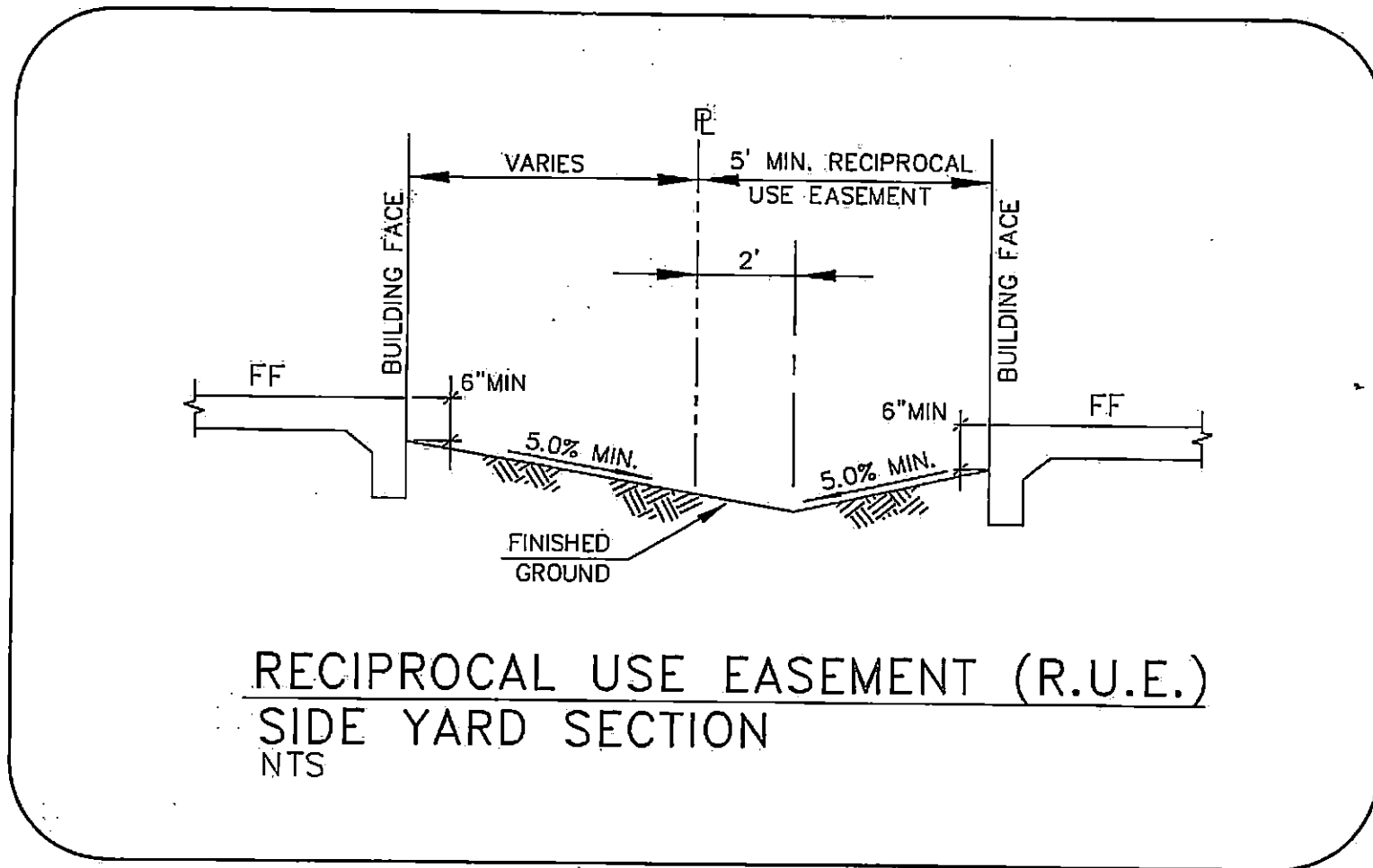


Figure 3-18 RECIPROCAL USE EASEMENT All plans and diagrams are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

## **Projections**

An architectural projection is defined as an element that articulates the building elevation such as a media niche, bay window, chimney, balcony, and other similar elements. The encroachment may be supported by a foundation. Architectural projections may project a maximum of 3 feet into any required setback or building separation area. In no case shall such projection be closer than 3 feet to any property line, subject to IRC requirements. Architectural projections shall have a maximum length of 14 feet along the articulated wall plane. In no case shall architectural projections comprise more than fifty percent (50%) of the articulated wall plane. Architectural projections beyond exterior walls shall comply with minimum building separation and material requirements set forth by the applicable IRC requirements, Section R302. Projections for eaves (see architectural checklists), window and door pop out surrounds, pot shelves, enhanced window sills, shutter details, window trim, entry gates, material veneers and wainscoting shall be governed by the provisions of the applicable IRC requirements.

**FIGURE 3-19 ALLOWABLE RESIDENTIAL BUILDING TYPES**

|                                                                                                                                                                              | Neighborhood Residential |                 | Urban Mixed-Use     |                 | Town Center Mixed-Use |                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-----------------|---------------------|-----------------|-----------------------|----------------|
| Building Type                                                                                                                                                                | Neighborhood Street      | Village Street  | Neighborhood Street | Village Street  | Neighborhood Street   | Village Street |
| Estate Lot                                                                                                                                                                   | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Standard Lot                                                                                                                                                                 | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Compact Lot                                                                                                                                                                  | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Green Court                                                                                                                                                                  | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Paseo Court                                                                                                                                                                  | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Cluster Single Family                                                                                                                                                        | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Mansion Home                                                                                                                                                                 | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  | 3-5 Stories           | 3-5 Stories    |
| Townhome                                                                                                                                                                     | 4 Stories Max.           | 4 Stories Max.  | 4 Stories Max.      | 4 Stories Max.  | 3-5 Stories           | 3-5 Stories    |
| Tuckunder Multi-Family                                                                                                                                                       | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
| Podium Multi-Family                                                                                                                                                          | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
| Embedded Garage Multi-Family                                                                                                                                                 | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
|                                                                                                                                                                              |                          |                 |                     |                 |                       |                |
| * Must Be Adjacent to or Directly Accessible From a Village Street. See Figure 3-14 for an example of a building location that is directly accessible from a Village Street. |                          |                 |                     |                 |                       |                |

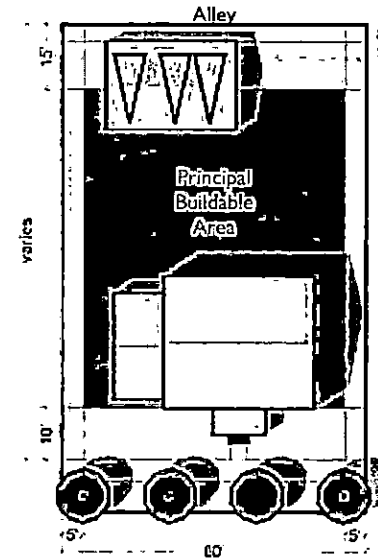
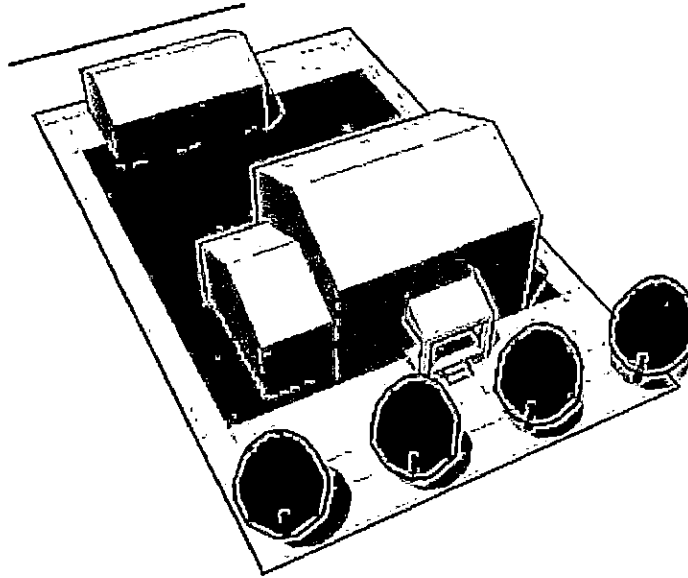
**Figure 3-20. Residential Building Types Table. The following Table summarizes the permitted Residential Building Types.**

| Single or Multi-Family | Attached /Detached | Residential Building Type | Garage Placement Options | Permitted                            | Maximum Heights |
|------------------------|--------------------|---------------------------|--------------------------|--------------------------------------|-----------------|
| Single                 | Detached           | Estate Lot                | Alley-Loaded             | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Estate Lot                | Side Drive               | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Estate Lot                | Side Drive Detached      | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Estate Lot                | Front Drive              | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Standard Lot              | Alley-Loaded             | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Standard Lot              | Side Drive               | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Standard Lot              | Side Drive Detached      | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Standard Lot              | Front Drive              | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Compact Lot               | Alley-Loaded             | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Compact Lot               | Side Drive               | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Compact Lot               | Side Drive Detached      | All Neighborhood Residential Parcels | 3 Stories 45'   |
| Single                 | Detached           | Compact Lot               | Front Drive              | All Neighborhood Residential Parcels | 3 Stories 45'   |

| Building Type | Neighborhood Street | Village Street                             | Neighborhood Street | Village Street                                           | Neighborhood Street |
|---------------|---------------------|--------------------------------------------|---------------------|----------------------------------------------------------|---------------------|
| Single        | Detached            | Green Court                                | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Detached            | Paseo Court                                | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Detached            | Cluster Single Family                      | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Attached            | Mansion Home                               | Alley-Loaded/Court  | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhomes, Standard Width, Attached Garage |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhome, Standard Width, Detached Garage  |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhome, Narrow Lot, Tandem Garage        |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |

| Building Type | Neighborhood Street | Village Street  | Neighborhood Street | Village Street                                            | Neighborhood Street                                                                         |
|---------------|---------------------|-----------------|---------------------|-----------------------------------------------------------|---------------------------------------------------------------------------------------------|
| Multi         | Attached            | Tuckunder       |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels.                        | 110'                                                                                        |
| Multi         | Attached            | Podium          |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels                         | 110'                                                                                        |
| Multi         | Attached            | Embedded Garage |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels.                        | 110'                                                                                        |

### Alley Load



**Note: Dimensions shown are  
Minimums unless Noted**

Lot width: 60' minimum  
Lot size: 6,000 sq. ft. min

Front setback: 3' min  
Corner side setback: 3' minimum  
Wraparound porches are permitted at end lots and corners.

Percentage allowed: 100%  
Size: 1,000 sq. ft. max.

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (4' min at Casita; 4'-8' or 20+  
at Carriage Unit)

Side setback: 0' min, 10' at corner  
Rear setback: 4-8' or 20'+  
Spaces required: min 2 spaces per lot, including tandem spaces  
Garage access may be from alley or side street

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

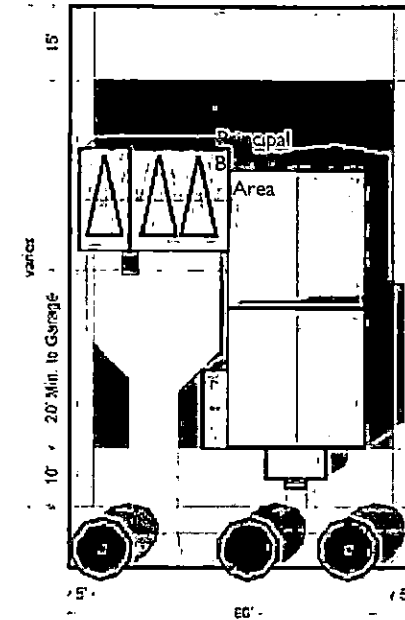
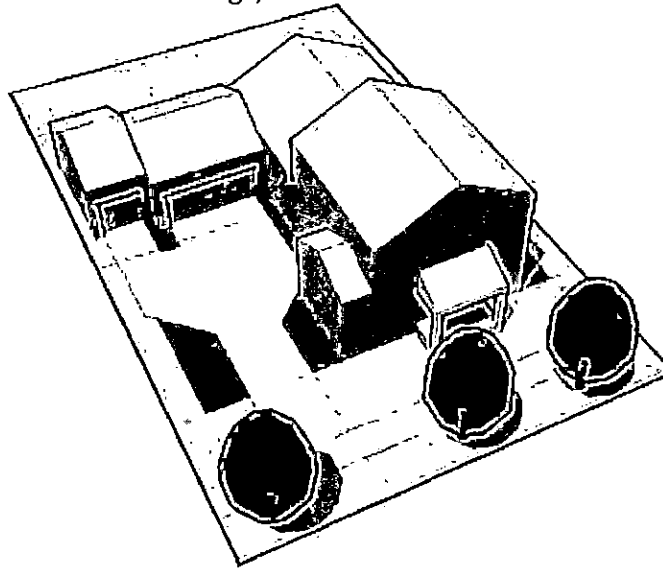
Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

- 44

## ESTATE LOT

### Side Drive (Attached or Detached Garage)



Note: Dimensions shown are Minimums unless Noted

#### Lot Characteristics

Lot width: 60' minimum  
Lot size: 6,000 sq. ft. min

#### Front Porch / Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum  
Wraparound porches are permitted at end lots and corners.

#### Carriage Unit or Casita

Percentage allowed: 100%  
Size: 1,000 sq. ft. max.

#### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (to 8' min and 20' max at Carriage Unit or Casita )

#### Garage (Both Attached and Detached Allowed)

Front Setback: 20' minimum behind front wall plane of residence  
Side setback: 0'  
Rear setback: 3'  
Corner side setback: 10' (drive must be on interior side lot line)  
Spaces required: min 2 spaces per lot, including tandem spaces

#### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

#### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

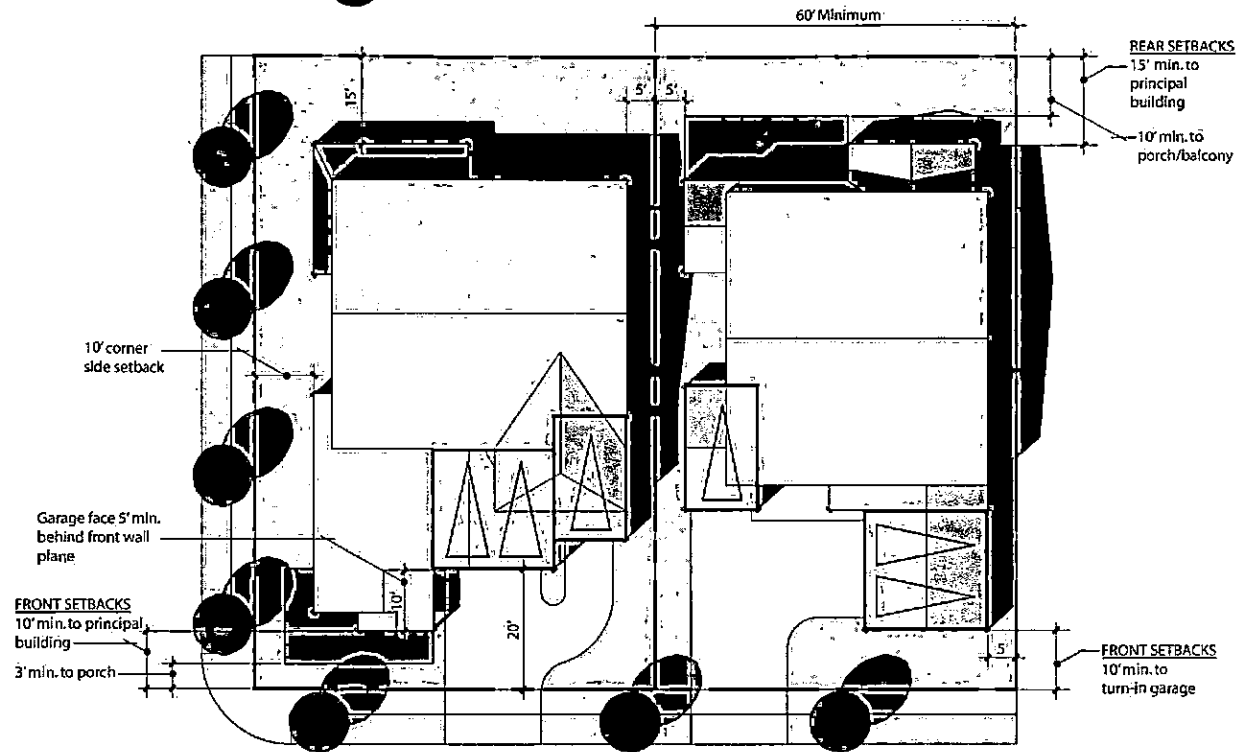
#### Private Outdoor Space

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 98 sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 98 sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 60 sq. ft. minimum with 5' minimum dimension

## ESTATE LOT

Front Drive



### Lot Characteristics

Lot width: 60' minimum  
Lot size: 6,000 sq. ft. min

### Porch / Courtyard

Front setback: 3' minimum  
Corner side setback: 3' minimum  
Rear setback: 10' minimum  
Wraparound porches are encouraged at end lots and corners.

### Carriage Unit or Casita

Percentage allowed: 100%  
Size: 1,000 sq. ft. max.

### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (4' min at Casita; 4'-8' or 20+ at Carriage Unit)

### Garage (Both Attached and Detached Allowed)

Front setback: 20' minimum (needed to avoid apron parking problems); 5' minimum behind front wall plane of residence; 10' minimum from back of sidewalk for turn-in configuration.  
Side setback: 5'  
Corner side setback: 10' (drive must be on interior side lot line)  
Spaces required: min 2 spaces per lot, including tandem spaces  
3 car garage subject to terms of 4.3.2.

### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

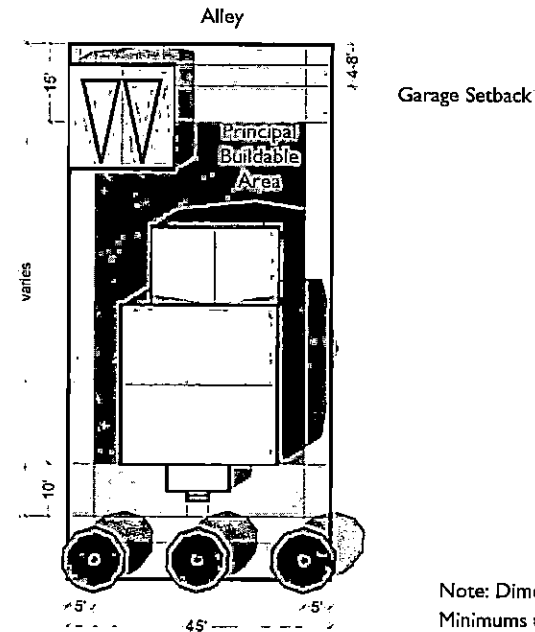
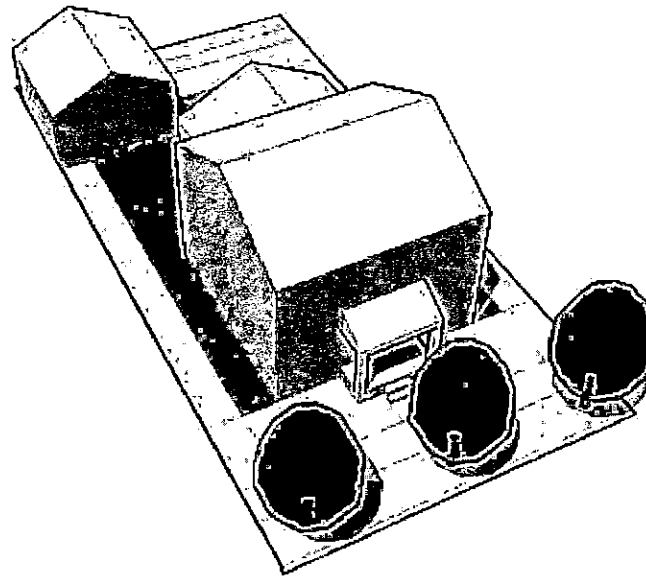
### Private Outdoor Space

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 98 sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 98 sq. ft. minimum with 7' minimum dimension – minimum 75% open to the sky
- 2nd Story Mirador: 60 sq. ft. minimum with 5' minimum dimension

## STANDARD LOT

### Alley Load



Note: Dimensions shown are Minimums unless Noted

#### Lot Characteristics

Lot width: 45' minimum  
Lot size: 4,000 sq. ft. min

#### Front Porch/ Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum  
Wraparound porches are permitted at end lots and corners.

#### Carriage Unit or Casita

Size: 1,000 sq. ft. max.

#### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (4' min at Casita; 4'-8' or 20+ at Carriage Unit)

#### Garage (Both Attached and Detached Allowed)

Side setback: 0' min, 10' at corner  
Rear setback: 4'-8' or 20'+  
Spaces required: min 2 spaces per lot, including tandem spaces  
Garage access may be from alley or side street

#### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

#### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

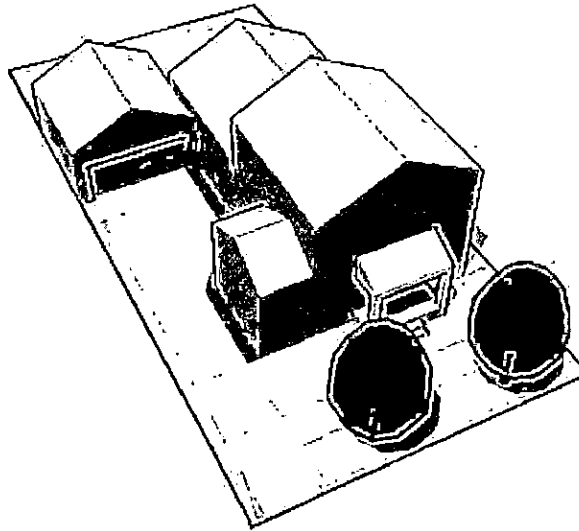
#### Private Outdoor Space

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

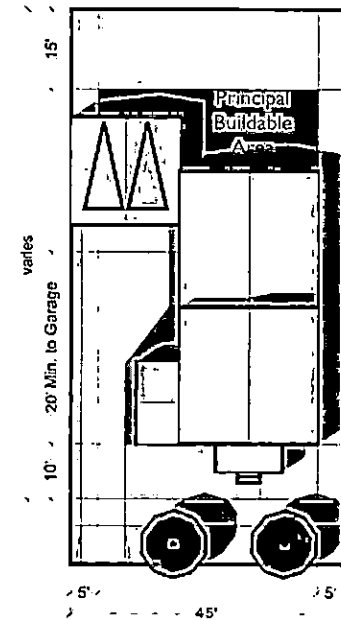
- Front porch: 72 sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 72 sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 50 sq. ft. minimum with 5' minimum dimension

## STANDARD LOT

### Side Drive (Attached or Detached Garage)



Note: Dimensions shown are  
Minimums unless Noted



#### Lot Characteristics

Lot width: 45' minimum  
Lot size: 4,000 sq. ft. min

#### Front Porch/ Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum  
Wraparound porches are permitted at end lots and corners.

#### Carriage Unit or Casita

Size: 1,000 sq. ft. max.

#### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (4' min at Casita; 4'-8' or 20+ at Carriage Unit)

#### Garage (Both Attached and Detached Allowed)

Front setback: 20' minimum behind front wall plane of residence  
Side setback: 0' min, 10' at corner (drive must be on interior side lot line)  
Rear setback: 0'  
Spaces required: min 2 spaces per lot, including tandem spaces

#### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

#### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

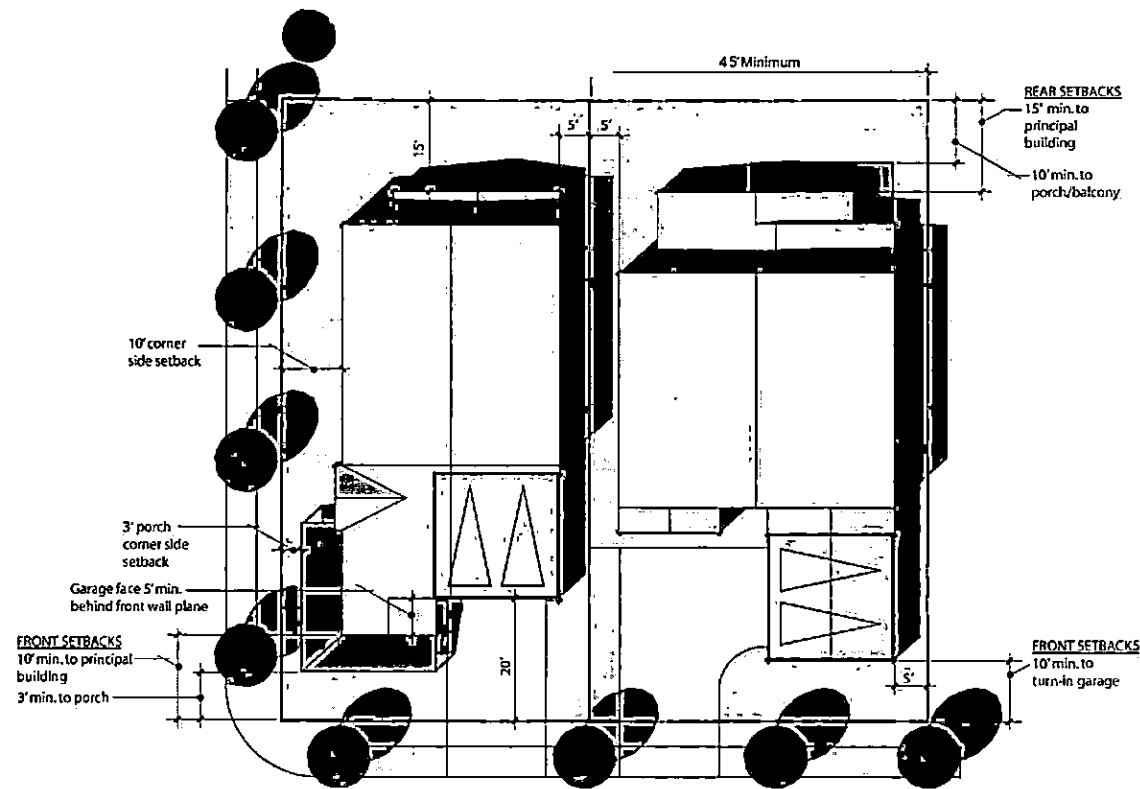
#### Private Outdoor Space

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 72 sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 72 sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 50 sq. ft. minimum with 5' minimum dimension

## STANDARD LOT

### Front Drive



Standard Lot - front drive

### Lot Characteristics

Lot width: 45' minimum  
Lot size: 4,000 sq. ft. min

### Porch / Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum  
Rear setback: 10' minimum  
Wraparound porches are permitted at end lots and corners.

### Carriage Unit or Casita

Size: 1,000 sq. ft. max.

### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 10' at corner  
Rear setback: 15' minimum (4' min at Casita; 4'-8' or 20+ at Carriage Unit)

### Garage (Both Attached and Detached Allowed)

Front setback: 20' minimum (needed to avoid apron parking problems); 5' minimum behind front wall plane of residence; 10' minimum from back of sidewalk for turn-in configuration.  
Side setback: 5' minimum, 10' minimum at corner (drive must be on interior side lot line)  
Spaces required: min 2 spaces per lot, including tandem spaces.  
No more than 2 garages spaces may face the street

### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% (excluding overhangs)

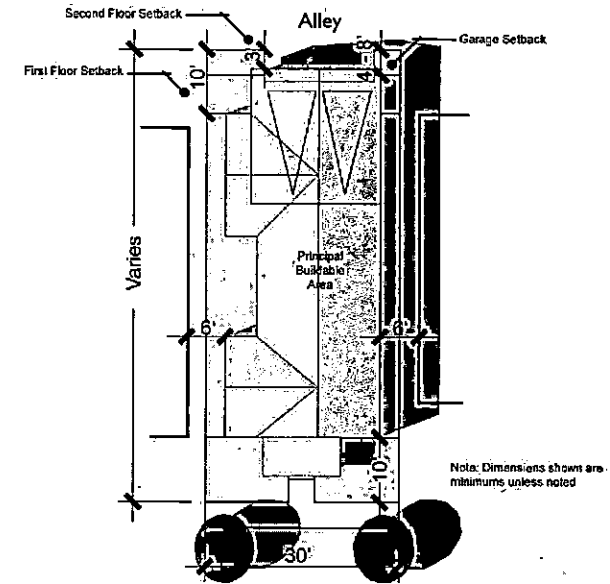
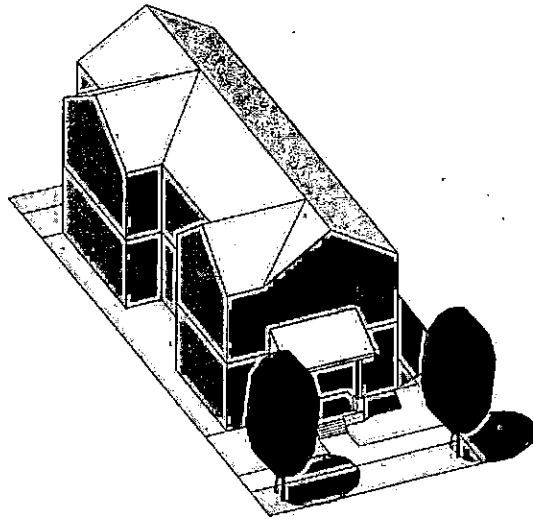
### Private Outdoor Space

50% of lots per block must feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 72 sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 72 sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 50 sq. ft. minimum with 5' minimum dimension

## COMPACT LOT

### Alley Load



#### Lot Characteristics

Lot width: 30' minimum  
Lot size: 2,500 sq. ft. min

#### Front Porch / Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum

#### Carriage Unit or Casita

Size: 800 sq. ft. max.

#### Principal Building

Front setback: 10' minimum  
Side setback: 0' minimum to principal building, 10' at corner. 6' minimum aggregate; 0' to non-living elements  
Rear Setback: 1<sup>st</sup> Floor Living: 10' min.  
2<sup>nd</sup> Floor Living: 3' min.  
Carriage Unit or Casita: 5' min.

#### Garage (Both Attached and Detached Allowed)

Side setback: 0' minimum, 6' at corner  
Rear setback: 4'-8' or 20'+  
Spaces required: min 2 spaces per lot, including tandem spaces  
Garage access may be from alley or side street

#### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

#### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 80% (excluding overhangs)

#### Private Outdoor Space

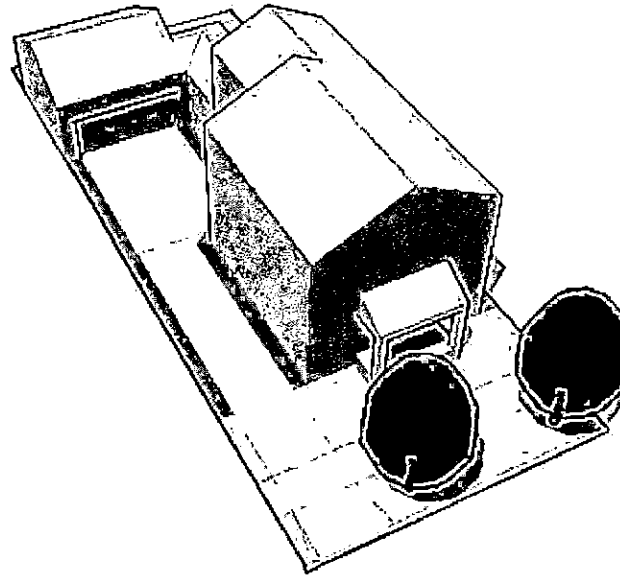
50% of lots per block shall feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 40<sup>1</sup> sq. ft. minimum with 5' minimum dimension

<sup>1</sup>If 100% of lots feature at least one outdoor living space, minimum requirements shall be reduced to 36 sq. ft.

## COMPACT LOT

### Side Drive (Attached or Detached Garage)



Note: Dimensions shown are  
Minimums unless Noted

#### Lot Characteristics

Lot width: 36' minimum  
Lot size: 2,500 sq. ft. min

#### Front Porch/ Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum

#### Carriage Unit or Casita

Size: 800 sq. ft. max.

#### Principal Building

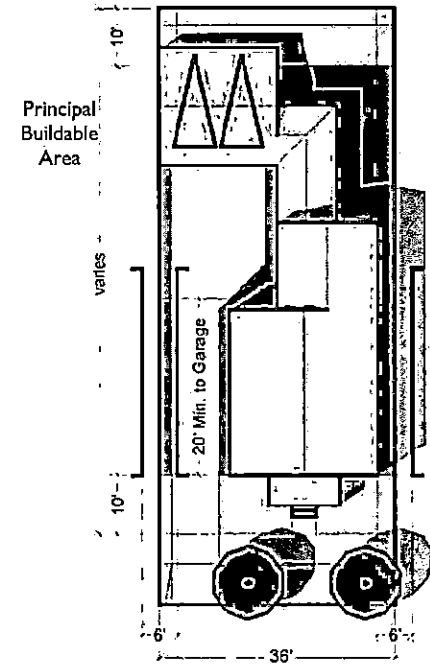
Front setback: 10' minimum  
Side setback: 0' minimum to principal building, 10' at corner. 6' minimum aggregate; 0' to non-living elements  
Rear setback: 10' minimum (5' min at Carriage Unit or Casitas)

#### Garage (Both Attached and Detached Allowed)

Front setback: 20' minimum behind front wall plane of residence  
Side setback: 0' minimum, 6' at corner (drive must be on interior side lot line)  
Rear setback: 0'  
Spaces required: min 2 spaces per lot, including tandem spaces

#### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor



#### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 80% (excluding overhangs)

#### Private Outdoor Space

50% of lots per block shall feature at least one outdoor living space visible from and facing the street, selected from the following:

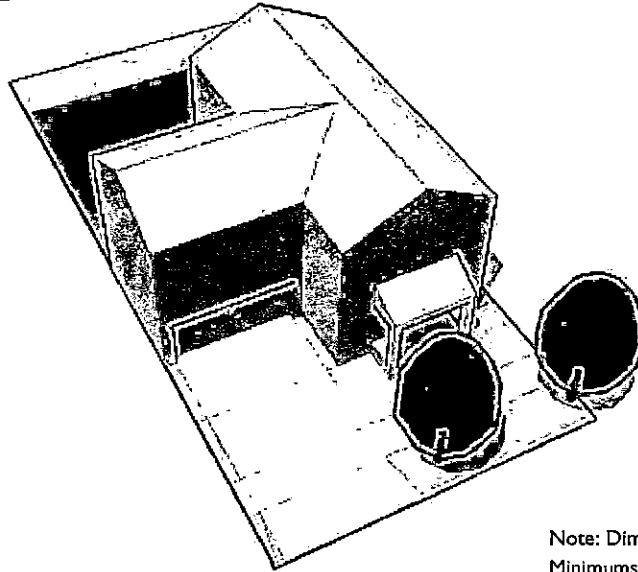
- Front porch: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 40<sup>1</sup> sq. ft. minimum with 5' minimum dimension

<sup>1</sup>If 100% of lots feature at least one outdoor living space, minimum requirements shall be reduced to 36 sq. ft.

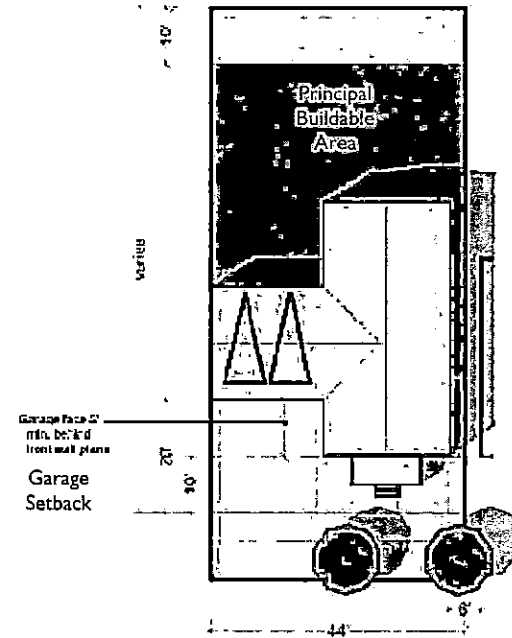
## COMPACT LOT

Front Drive

(Double Garage)



Note: Dimensions shown are  
Minimums unless Noted



### Lot Characteristics

Lot width: 44' minimum  
Lot size: 2,500 sq. ft. min

### Front Porch / Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum

### Carriage Unit or Casita

Size: 800 sq. ft. max.

### Principal Building

Front setback: 10' minimum  
Side setback: 0' minimum to principal building, 10' at corner. 6' minimum aggregate; 0' to non-living elements  
Rear setback: 10' minimum (5' min at Carriage Unit or Casitas)

### Garage (Both Attached and Detached Allowed)

Front setback: 20' minimum (needed to avoid apron parking problems); 5' minimum behind front wall plane of residence; 10' minimum from back of sidewalk for turn-in garage configuration.  
Side setback: 0' minimum, 6' at corner  
Rear setback: 4'-8' or 20'+  
Spaces required: min 2 spaces per lot, including tandem spaces  
Garage access may be from alley or side street

### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 80% (excluding overhangs)

### Private Outdoor Space

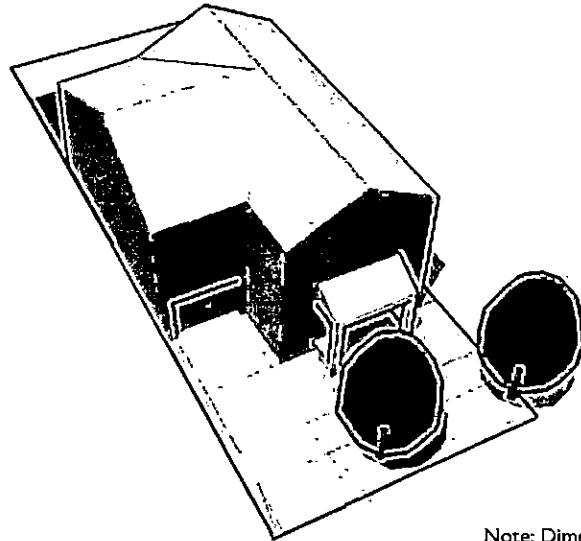
50% of lots per block shall feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 40<sup>1</sup> sq. ft. minimum with 5' minimum dimension

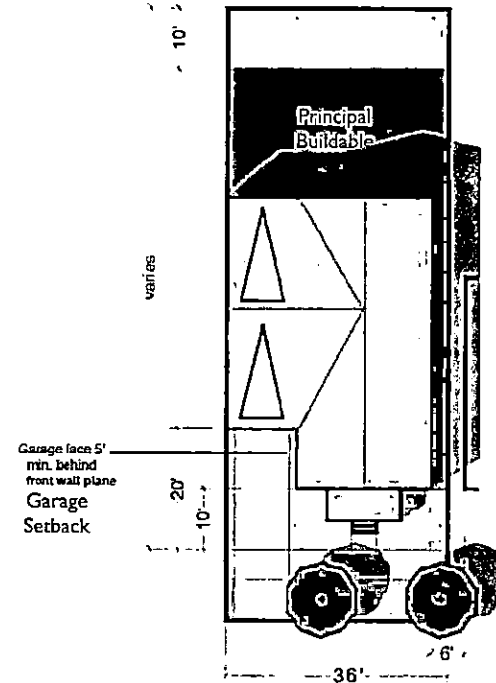
<sup>1</sup>If 100% of lots feature at least one outdoor living space, minimum requirements shall be reduced to 36 sq. ft.

## COMPACT LOT

Front Drive  
(Single Garage  
Tandem Parking)



Note: Dimensions shown are  
Minimums unless Noted



### Lot Characteristics

Lot width: 36' minimum  
Lot size: 2,500 sq. ft. min

### Front Porch / Courtyard

Front setback: 3' min  
Corner side setback: 3' minimum

### Carriage Unit or Casita

Size: 800 sq. ft. max.

### Principal Building

Front setback: 10' minimum  
Side setback: 0' minimum to principal building, 10' at corner. 6' minimum aggregate; 0' to non-living elements  
Rear setback: 10' minimum (5' min at Carriage Unit or Casitas)

### Garage(Both Attached and Detached Allowed)

Front setback: 20' minimum (needed to avoid apron parking problems); 5' minimum behind front wall plane of residence.  
Side setback: 0' minimum, 6' at corner  
Rear setback: 4'-8' or 20'+  
Spaces required: min 2 spaces per lot, tandem spaces

### Courtyard Walls

Front setback: 3' min  
Side setback: 0' (3' at corner lots)  
Height: 2' minimum; 4' maximum from finished floor

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 80% (excluding overhangs)

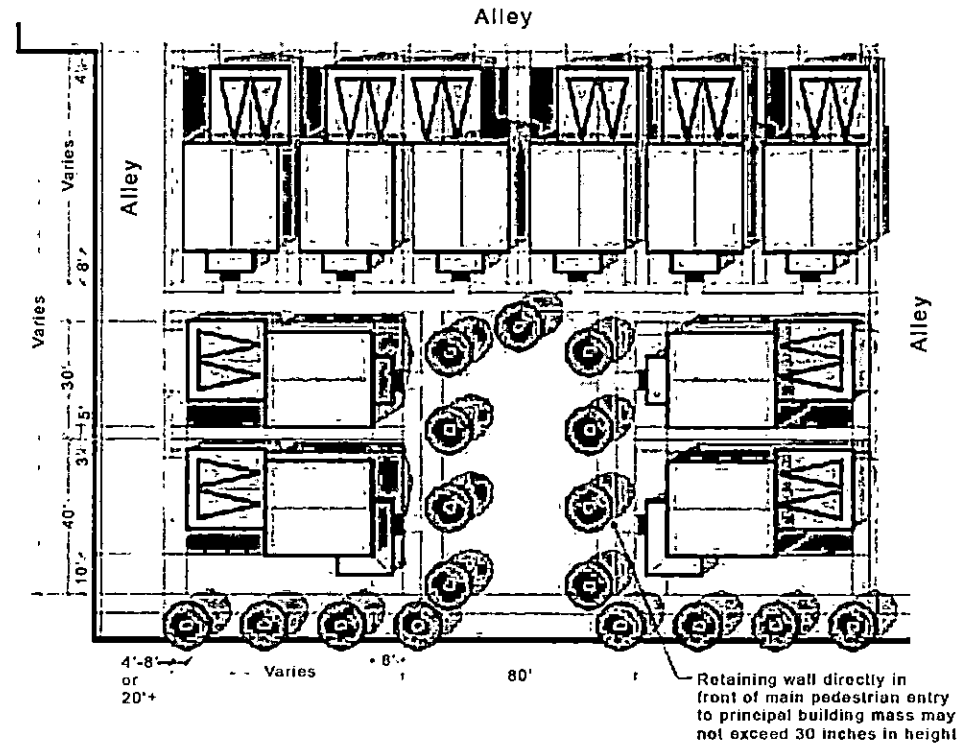
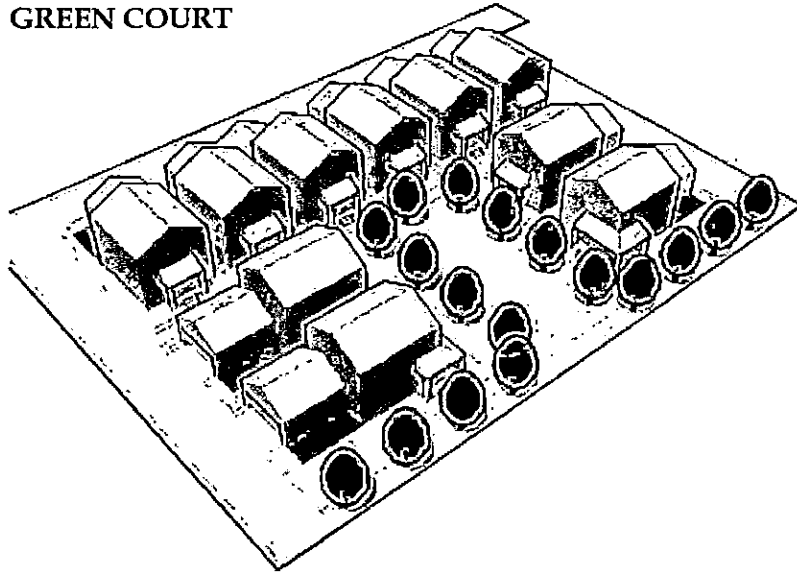
### Private Outdoor Space

50% of lots per block shall feature at least one outdoor living space visible from and facing the street, selected from the following:

- Front porch: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 50<sup>1</sup> sq. ft. minimum with 7' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 40<sup>1</sup> sq. ft. minimum with 5' minimum dimension

<sup>1</sup>If 100% of lots feature at least one outdoor living space, minimum requirements shall be reduced to 36 sq. ft.

## GREEN COURT



### Lot Characteristics

Lot width: 30' min (40' at corner lots)  
Lot size: 1,800 sq. ft. min

### Private Outdoor Space

Setback at green: 4' min. Setback at street: 6' min  
50% of lots per block must feature at least one outdoor living space visible from and facing the street or green, selected from the following:

- Front porch: 50<sup>1</sup> sq. ft. minimum with 6' minimum dimension, 5' minimum at wrap-around portion on corner lots, when provided
- Courtyard: 50<sup>1</sup> sq. ft. minimum with 6' minimum dimension - minimum 75% open to the sky

2nd Story Mirador: 40 sq. ft. minimum with 5' minimum dimension

<sup>1</sup> If 100 percent of lots feature at least one outdoor living space, minimum requirements shall be reduced to 40 sq. ft.

### Principal Building

Front setback: 8' from green, 10' from street  
Side setback: 3' minimum, 10' at corner  
Rear setback: 4' minimum

### Garage

Side setback: 0' minimum  
Rear setback: 4'-8' or 20'+  
Permitted orientation: alley  
Spaces required: min 2 spaces per lot, including tandem spaces  
Parking space footprints may not exceed 12 by 24 feet

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% aggregate for grouping of homes (excluding overhangs)

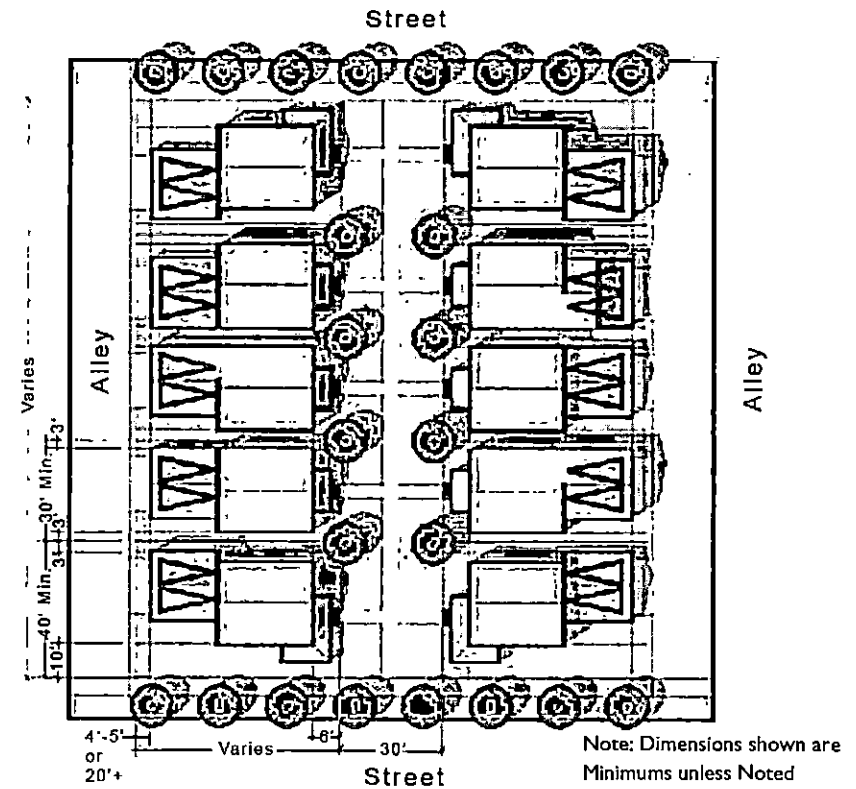
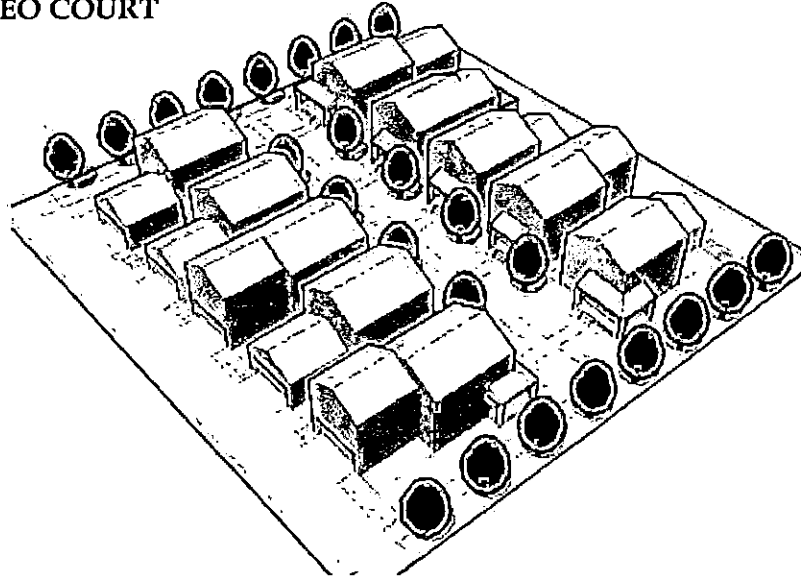
### Carriage Unit or Casita

Max 50% of units in group may have carriage unit  
Max 50% of units in group may have casita

### Common Open Space (Green Court)

125 sq. ft. per unit in a group minimum

## PASEO COURT



### Lot Characteristics

Lot width: 30' min (40' at corner lots)  
Lot size: 1,800 sq. ft. min

### Front Porch

See note below-for paseo setback requirements.  
Depth: 6' min  
Square feet: 48 minimum  
Percentage of homes required to have porch: 50%  
Wraparound porches are allowed at end lots and corners.

### Principal Building

See note below-for paseo setback requirements.  
Front setback from street: 10'  
Side setback: 3' minimum, 10' at corner  
Rear setback: 4' minimum

### Garage

Side setback: 0' minimum  
Rear setback: 4'-8' or 20'+  
Permitted orientation: alley  
Spaces required: min 2 spaces per lot, including tandem spaces

### Building Mass

Maximum height: 3 stories  
Maximum lot coverage: 70% of lot plus share of common open space (excluding overhangs)

### Carriage Unit or Casita

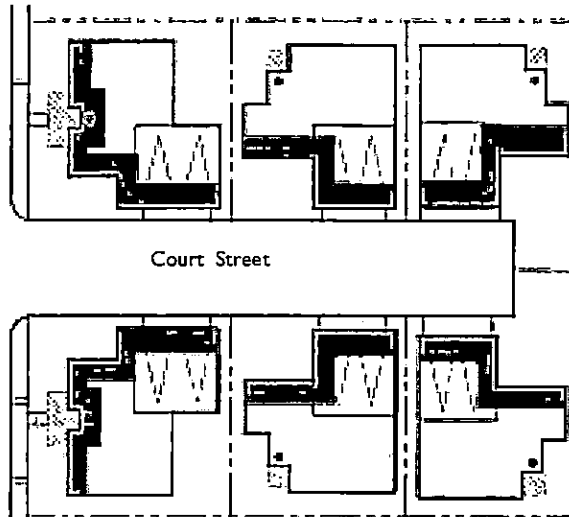
Max 50% of units in group may have carriage unit  
Max 50% of units in group may have casita

### Common Open Space

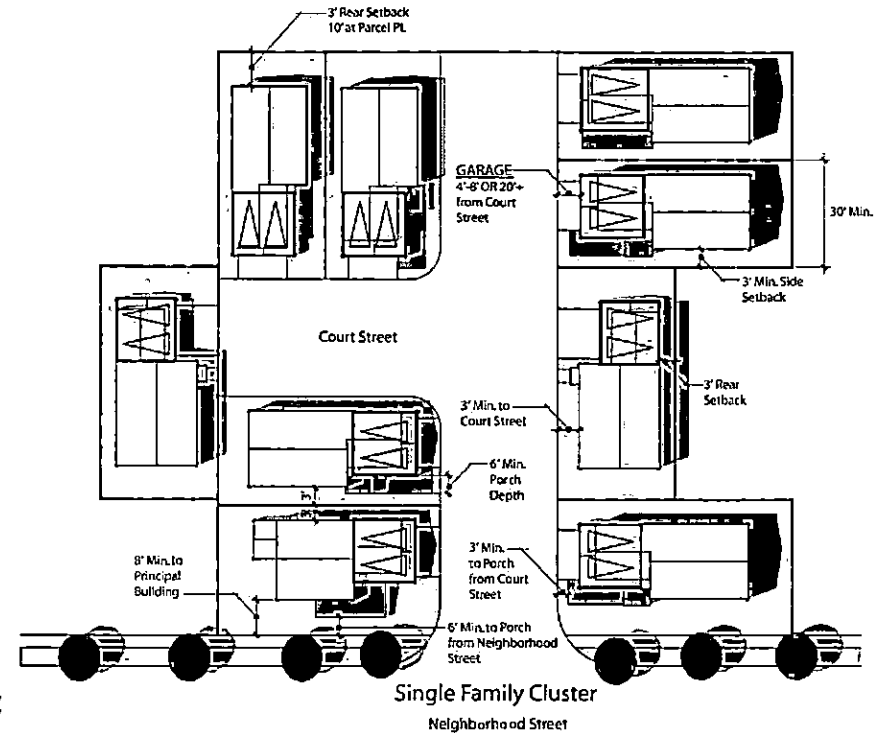
125 sq. ft. per unit minimum

Note: Paseo Court products may be mapped in two ways. If an HOA common area is created between two rows of homes, the minimum width of such common area will be 10', porches or courtyards will be set back at least 3' from the common area and the principal building wall plane will be at least 10' from the common area. Alternatively, the front lot lines of the homes may be in the middle of the paseo and front porches will be a minimum of 8' from the property line, principal wall planes a minimum of 15' from property line and the minimum distance between front wall planes of homes will be 30'. In the latter case, a reciprocal easement area will be created between rows of homes that is at least 10' wide.

## CLUSTER SINGLE FAMILY



 Cumulative Elevation Length  
 1/3 of Cumulative Elevation Length Devoted to Non-Garage Door Condition on Ground Level



### Lot Characteristics

Lot width: 30' min (40' at corner lots)  
 Lot size: 1,800 sq. ft. min

### Porch

Setback at court street: 3' min  
 Setback at street: 6' min  
 Depth: 6' min  
 Square feet: 96 minimum  
 Percentage of homes required to have front or side entry porch: 50%  
 Wraparound porches are permitted at end lots and corners.

### Elevations

At least 1/3 of the cumulative elevation lengths that front onto a court street shall be devoted to the ground level "living" portion of the residences. (Not every house is subject to the 1/3 criteria, rather it is a cumulative total for all residences on the motor court.

### Principal Building

Front setback: 8' minimum from neighborhood street, 3' minimum to court street  
 Side setback: 3' minimum  
 Rear setback: 3' (10' at parcel property line)

### Garage

Front setback (from court street): 4'-8' or 20'+  
 Side setback: 0' minimum  
 Rear setback: 3' minimum  
 Permitted orientation: court street  
 Spaces required: min 2 spaces per lot, including tandem spaces  
 Notes: All garages must be accessed from court street  
 3-car garages not allowed

At least on elevation facing the court street should feature an at-grade front porch or courtyard with a minimum depth of 6', or a 2nd story balcony with a minimum depth of 3'.

### Building Mass

Maximum height: 3 stories  
 Maximum lot coverage: 70% (excluding overhangs)

### Carriage Unit or Casita

Not allowed

### Private Open Space

150 sq. ft per unit  
 10' minimum dimension  
 Note: May be in front, side or rear yard

### Planting

Planting areas should be sufficiently sized to accommodate at least one 15 gal. tree visible from the court street per residence. (Not every house requires a tree on its lot, so long as the cumulative total of 1 tree per residence is achieved within each court.

## MANSION HOME

### Porch

Front setback: 6' minimum  
Side setback: 6' at corner  
Rear setback: 6' minimum  
Depth: 6' min (5' minimum for wrap-around portion at corners)  
Size: at least 1/3 the width of the front of the building

### Principal Building

Front setback: 10' minimum  
Side setback: 5' minimum, 15' aggregate  
Rear setback:  
    Between abutting lots: 15'  
    Adjacent to open space or street: 10'

### Garage

Side setback: 10' minimum (attached garage), 4' minimum (detached garage)  
Garage Face setback: 4-8' or 20'+.  
Permitted orientation: alley or interior motor court accessed from alley or neighborhood street  
Spaces required: 1 space per studio or 1BR unit, 2 spaces per 2-3 BR unit, ½ additional space for each bedroom over 3 (Including tandem spaces)

### Building Mass

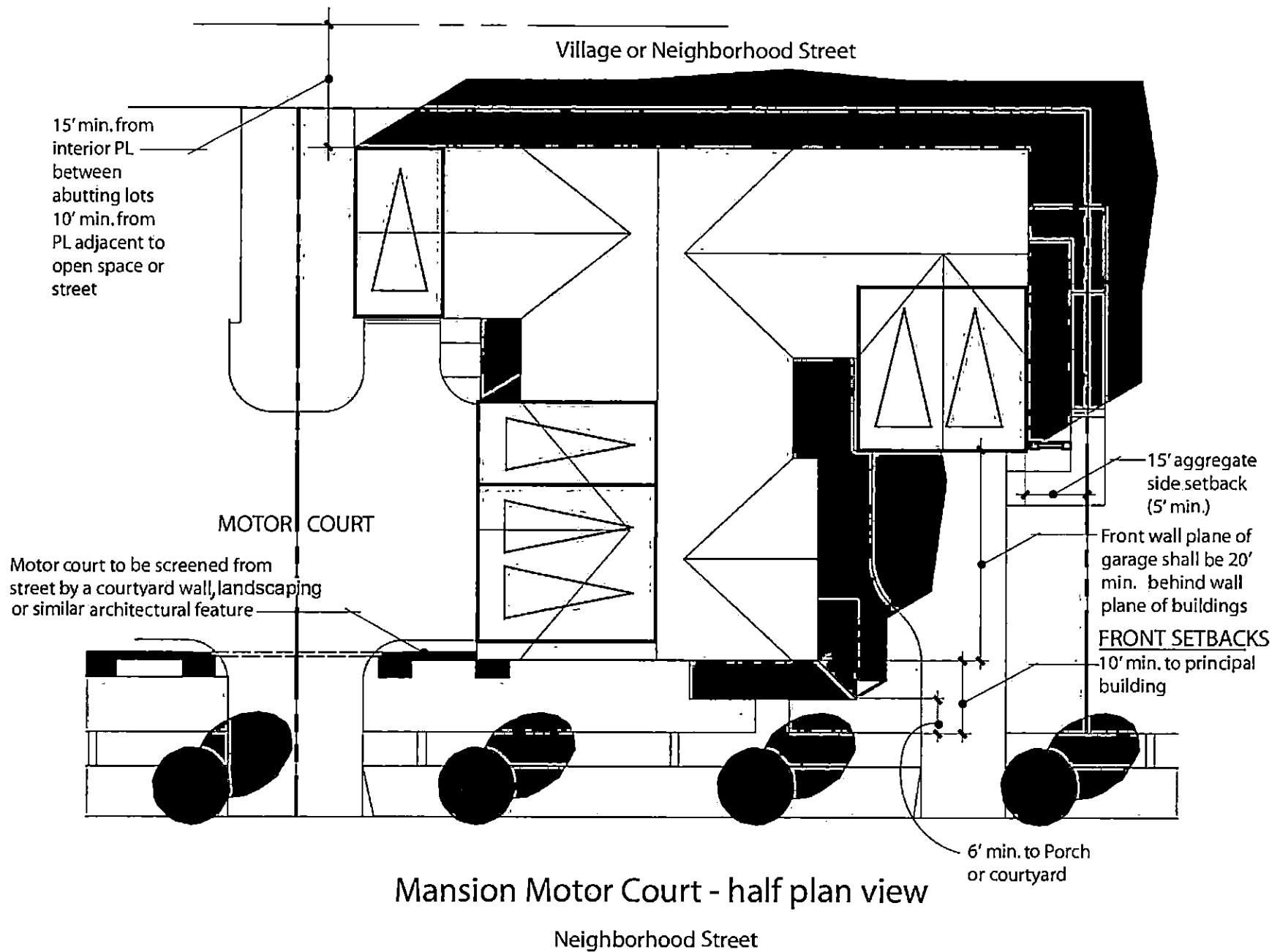
Maximum height:  
Neighborhood Residential and Urban Mixed-Use Parcels: 3 stories  
Town Center Mixed-Use Parcels: 5 stories  
Maximum lot coverage: 70% (excluding overhangs)

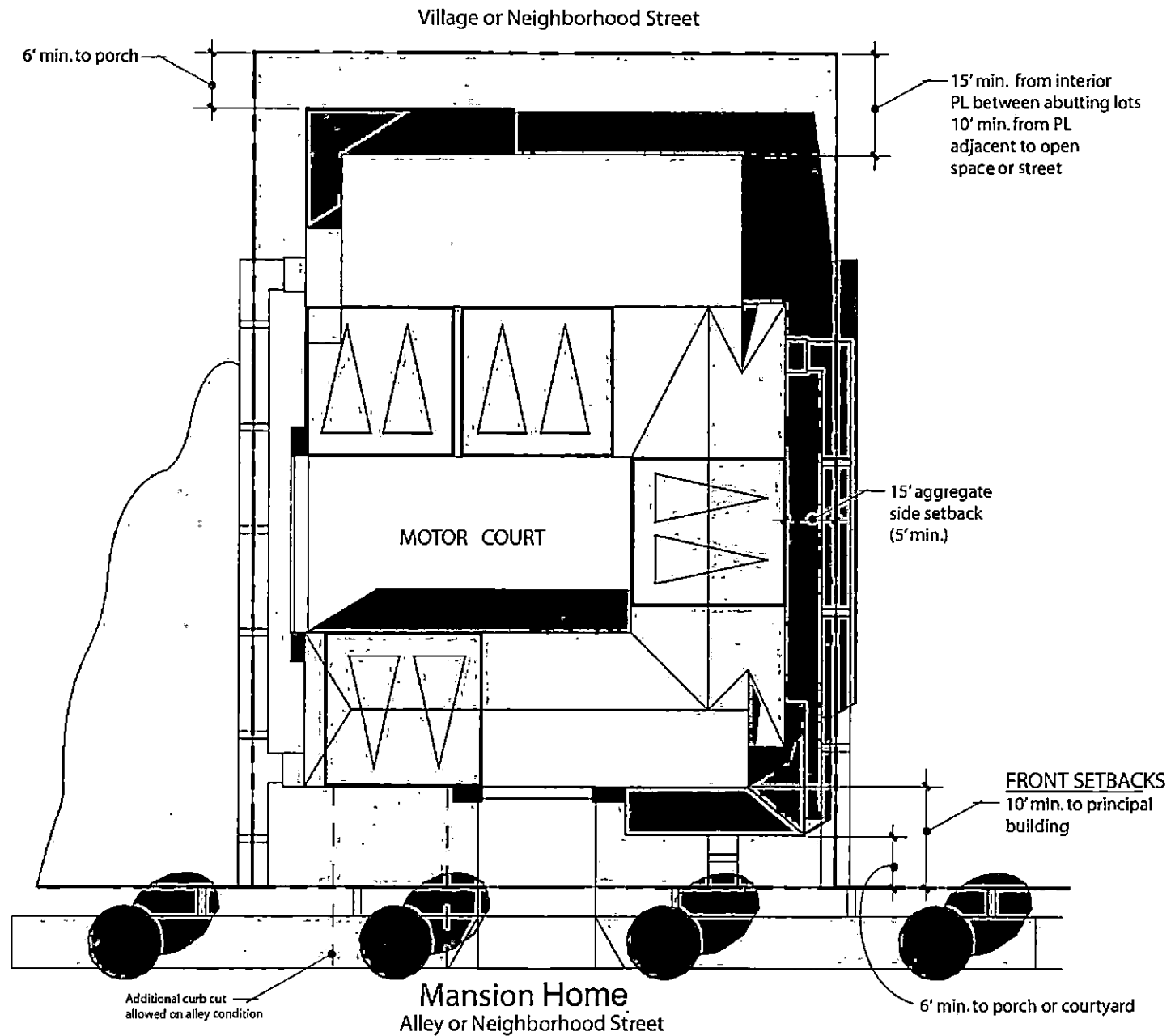
### Private Outdoor Space

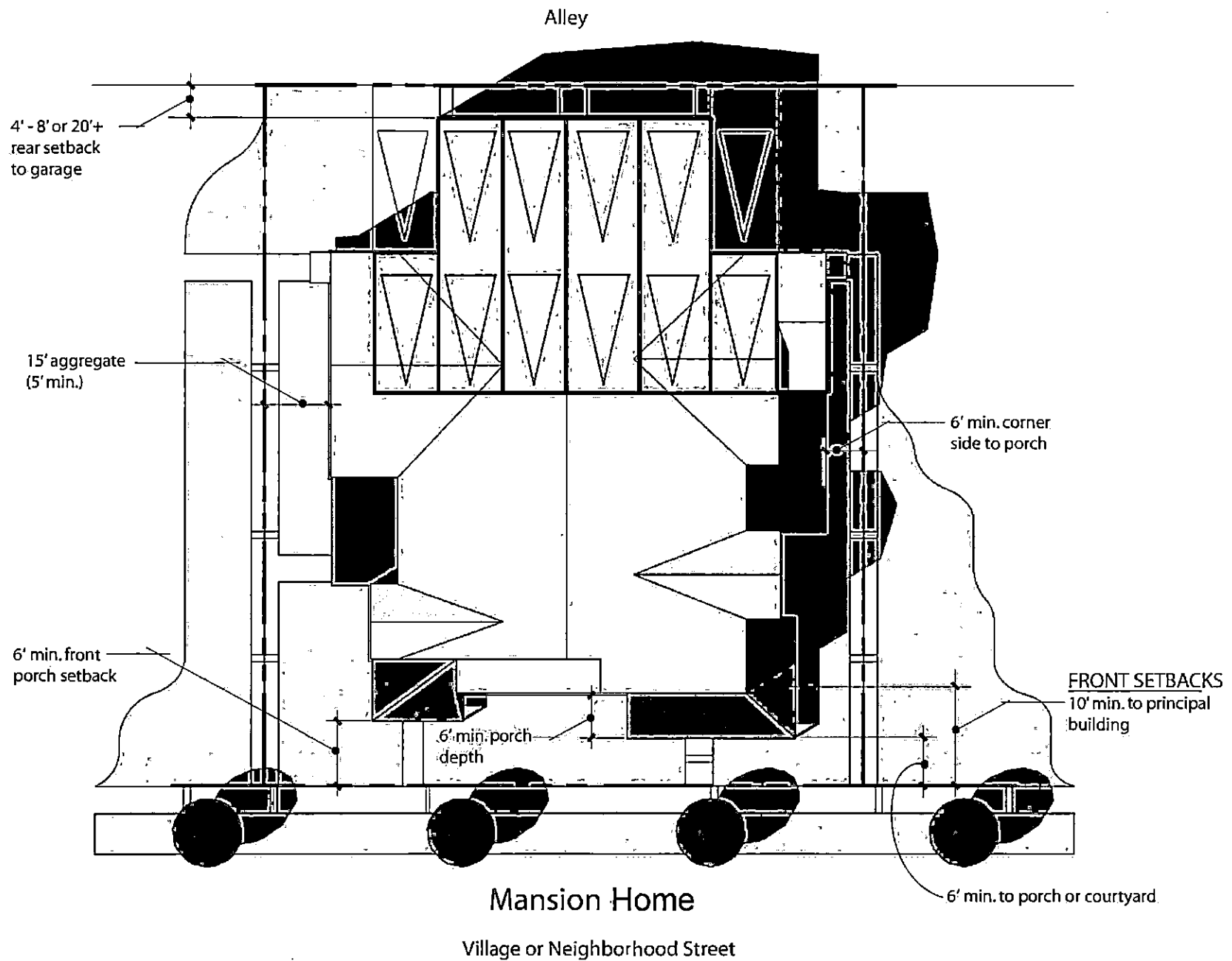
Each unit shall provide at least one of the following:

- Covered porch: 50 sq. ft. minimum with 6' minimum dimension, 5' minimum at wrap-around portion on corner lots when provided
- Courtyard: 50 sq. ft. minimum with 6' minimum dimension - minimum 75% open to the sky
- 2nd Story Mirador: 40 sq. ft. minimum with 5' minimum dimension

Individual entry porches or courtyards are required for all ground-floor units

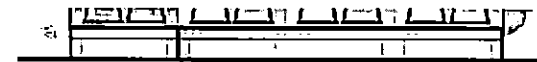
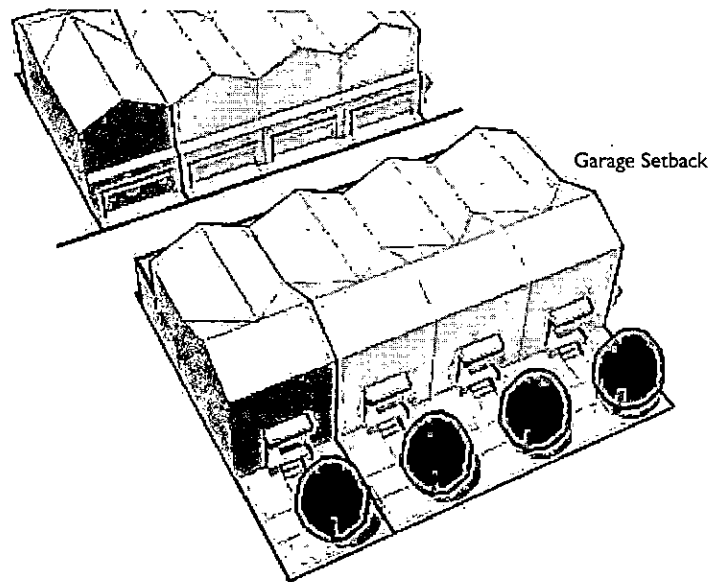




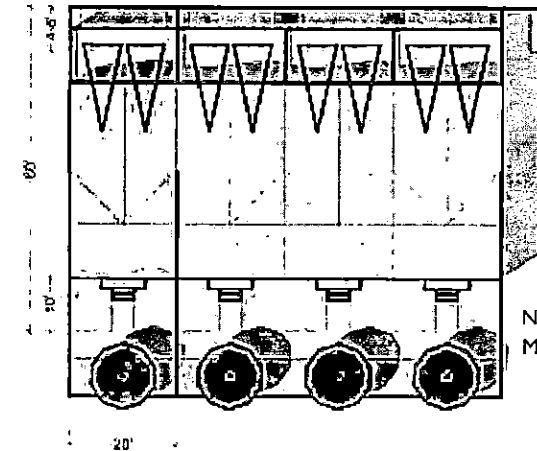


## TOWNHOME

### Standard Width, Attached Garage



Alley or Court Street



Note: Dimensions shown are Minimums unless Noted

#### Lot Characteristics

Lot width: 20' minimum  
Lot size: 1,200 sq. ft. min

#### Principal Building

Front setback: 10' minimum  
Side setback: 0'  
Corner side setback: 0' (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)  
Rear setback: 5' minimum with 2' offset from garage

#### Garage

Side setback: 0' minimum  
Rear setback: 4-8' or 20'+  
Permitted orientation: alley or court street  
Spaces required: 1 space per studio or 1BR unit, 2 spaces per 2-3 BR unit, ½ additional space for each bedroom over 3 (including tandem spaces)  
Tuck-under garage permitted

Note: 1 space of guest parking per 6 units required if on-street parking is not available.

#### Building Mass

Maximum height:  
Neighborhood Residential and Urban Mixed-Use  
Parcels: 4 stories.  
Town Center Mixed-Use Parcels: 5 stories.

#### Front Porch / Courtyard

Front setback: 3' minimum  
Corner side setback: 0' minimum (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)

#### Private Open Space

All units must have a porch, courtyard or mirador facing street, paseo or open space.  
50 sq. ft per unit  
6' minimum dimension

#### Carriage Unit or Casita

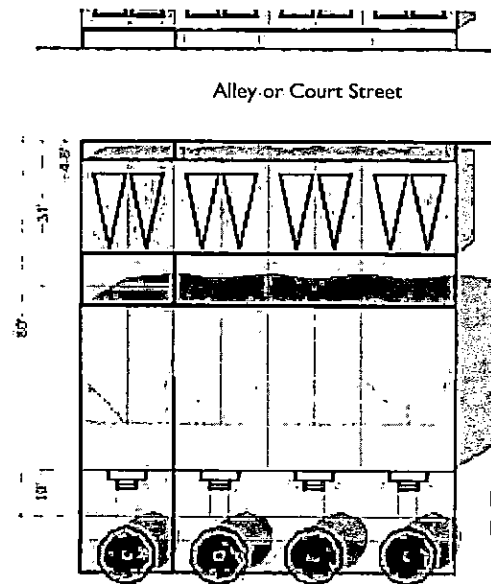
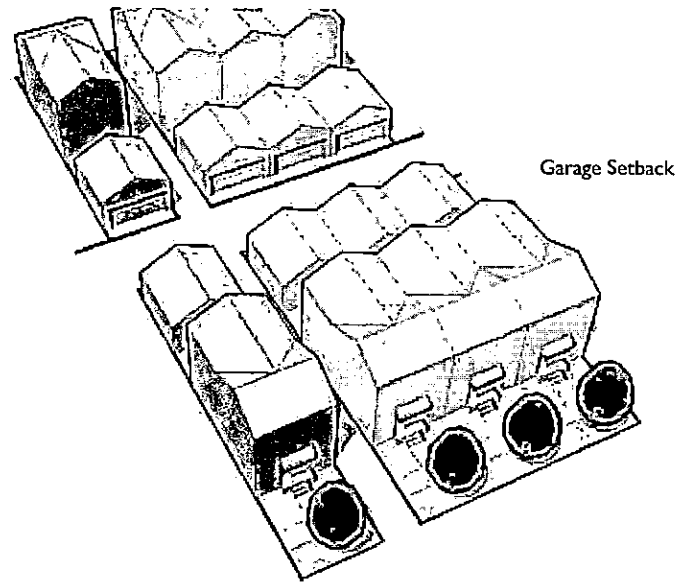
Not allowed

#### Building Separation

Separation between principal buildings: 20' for every 200' of building length or every 10 units.

## TOWNHOME

### Standard Width, Detached Garage



#### Lot Characteristics

Lot width: 20' minimum  
Lot size: 1,200 sq. ft. min

#### Front Porch / Courtyard

Front setback: 3' minimum  
Corner side setback: 0' minimum (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)

#### Private Open Space

All units must have a porch, courtyard or mirador facing street, paseo or open space.  
50 sq. ft per unit  
6' minimum dimension

#### Principal Building

Front setback: 10' minimum  
Side setback: 0'  
Corner side setback: 0' (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)  
Rear setback: 31' minimum

#### Garage

Side setback: 0' minimum  
Rear setback: 4-8' or 20'+  
Permitted orientation: alley or court street  
Spaces required: 1 space per studio or 1BR unit, 2 spaces per 2-3 BR unit, ½ additional space for each bedroom over 3 (including tandem spaces)  
Min 6' building separation

Note: 1 space of guest parking per 6 units required if on-street parking is not available.

#### Building Mass

Maximum height:  
Neighborhood Residential and Urban Mixed-Use  
Parcels: 4 stories.  
Town Center Mixed-Use Parcels: 5 stories.

#### Carriage Unit or Casita

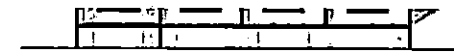
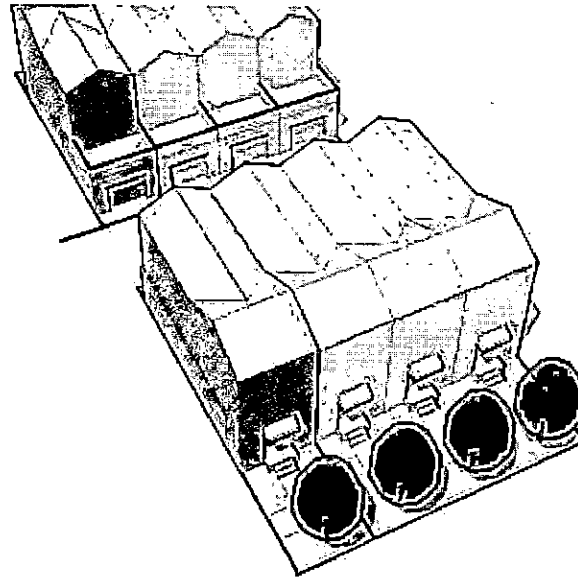
Not allowed

#### Building Separation

Separation between principal buildings: 20' for every 200' of building length or every 10 units.

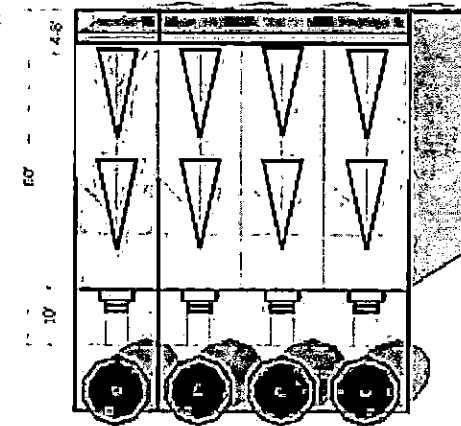
## TOWNHOME

### Narrow Lot



Alley or Court Street

Garage Setback



-15-

#### Lot Characteristics

Lot width: 15' minimum  
Lot size: 750 sq. ft. min

#### Front Porch / Courtyard

Front setback: 3' minimum  
Corner side setback: 0' minimum (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)

#### Private Open Space

All units must have a porch, courtyard or mirador facing street, paseo or open space.  
50 sq. ft per unit  
6' minimum dimension

#### Principal Building

Front setback: 10' minimum  
Side setback: 0'  
Corner side setback: 0' (openings and architectural projections permitted into public right of way subject to International Building Code Section 32)  
Rear setback: 5' minimum with 2' offset from garage

#### Garage

Side setback: 0' minimum  
Rear setback: 4-8' or 20'+  
Permitted orientation: alley or court street  
Spaces required: 1 space per studio or 1BR unit, 2 spaces per 2-3 BR unit, ½ additional space for each bedroom over 3 (including tandem spaces)

Note: 1 space of guest parking per 6 units required if on-street parking is not available.

#### Building Mass

Maximum height:  
Neighborhood Residential and Urban Mixed-Use  
Parcels: 4 stories.  
Town Center Mixed-Use Parcels: 5 stories.

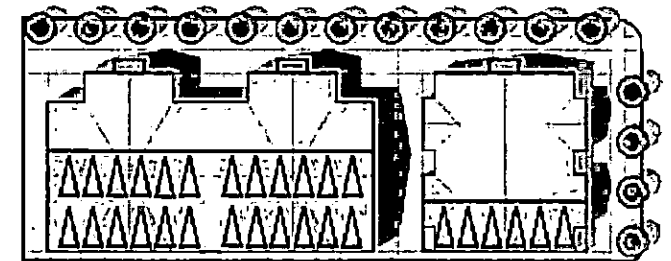
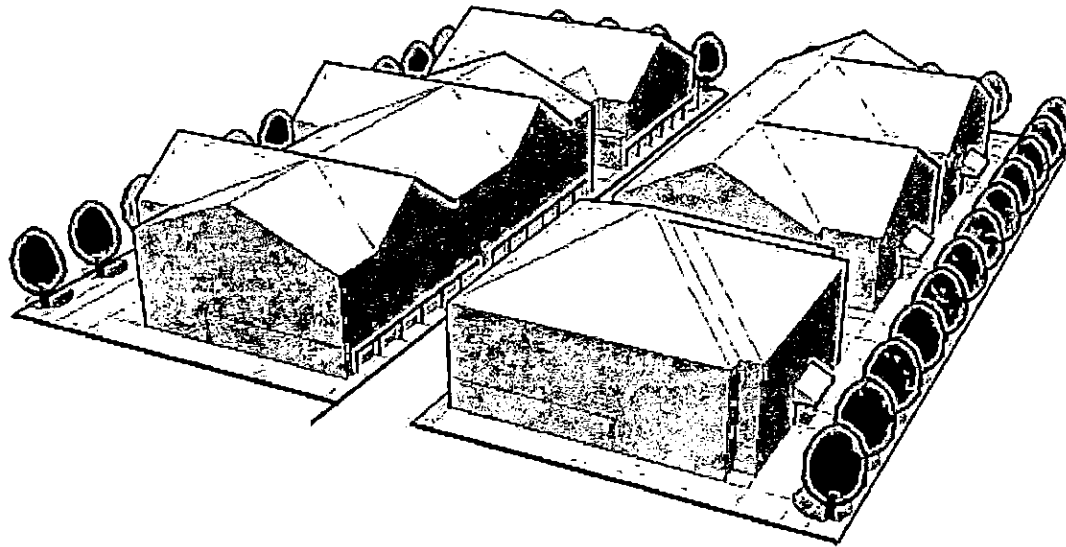
#### Carriage Unit or Casita

Not allowed

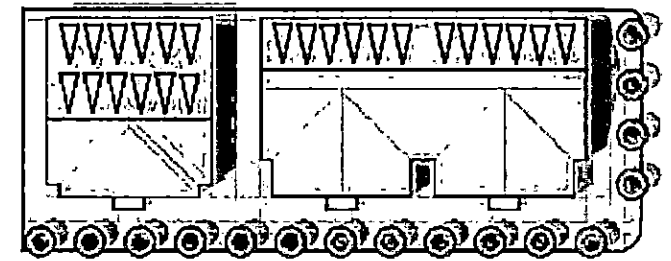
#### Building Separation

Separation between principal buildings: 20' for every 200' of building length or every 10 units.

## TUCKUNDER MULTI-FAMILY-NEIGHBORHOOD RESIDENTIAL AND URBAN MIXED-USE DISTRICTS



Alley



### Lot Characteristics

Variable

### Principal Building

Front setback: 10' minimum  
Side setback: 10' minimum  
Rear setback: 4-8' or 20' +

### Building Mass

Maximum height: 4 stories or 5 stories if adjacent to or directly accessible from a Village Street.  
Maximum lot coverage: 75% (excluding overhangs)

### Front or Side Entry Porch

Front setback: 6' minimum  
Side setback: 5' at corner  
Depth: 7' min (5' minimum for wrap-around portion at corners)  
Size: at least 1/3 the width of the front of the building

Percentages of buildings required to have front or side entry porches: 100%  
Note: Individual entry porches are required for 50% of ground-floor units

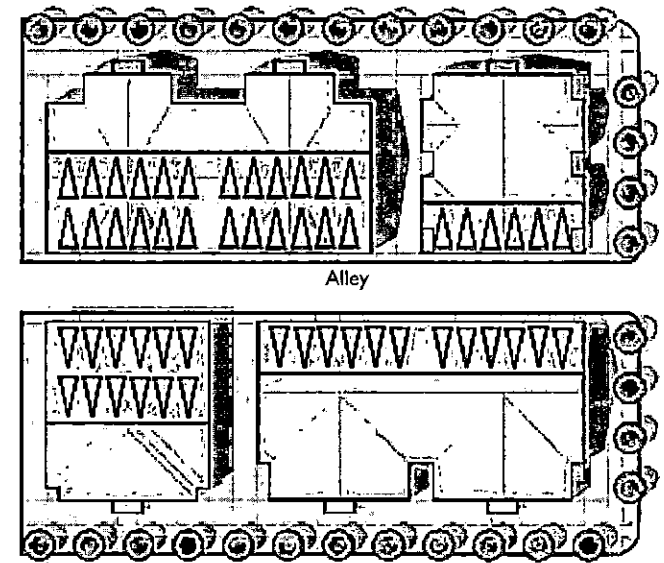
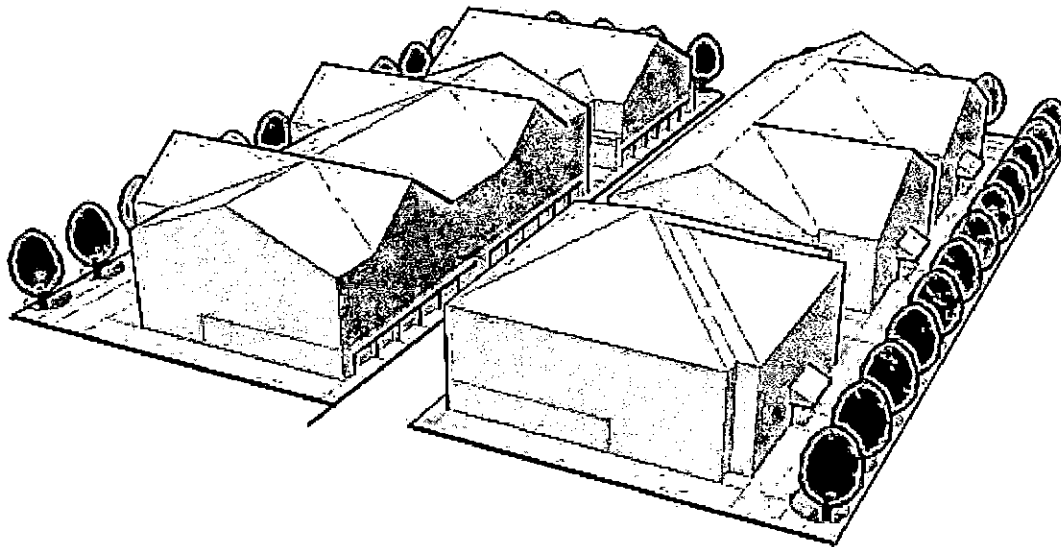
### Garage

Side setback: 10' minimum  
Rear setback: 4-8' or 20' +.  
Permitted orientation: alley  
Spaces required (aggregate for building including tandem parking): 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.

### Common Outdoor Space

100 sq. ft. per unit including footprint of any recreational building.

## TUCKUNDER MULTI-FAMILY TOWN CENTER MIXED USE DISTRICT



### Lot Characteristics

Variable

### Principal Building

Front setback: 0' minimum. Special Town Center Mixed-Use District sidewalk/ landscape area treatments required. See Figure 3-21.  
Side setback: 10' minimum  
Rear setback: 4-8' or 20'+

### Building Mass

Maximum height: 110'.  
Maximum lot coverage: 75% (excluding overhangs)

### Front or Side Entry Porch

Front setback: 6' minimum  
Side setback: 5' at corner  
Depth: 7' min (5' minimum for wrap-around portion at corners)  
Size: at least 1/3 the width of the front of the building

Percentages of buildings required to have front or side entry porches: 100%  
Note: Individual entry porches are required for 50% of ground-floor units

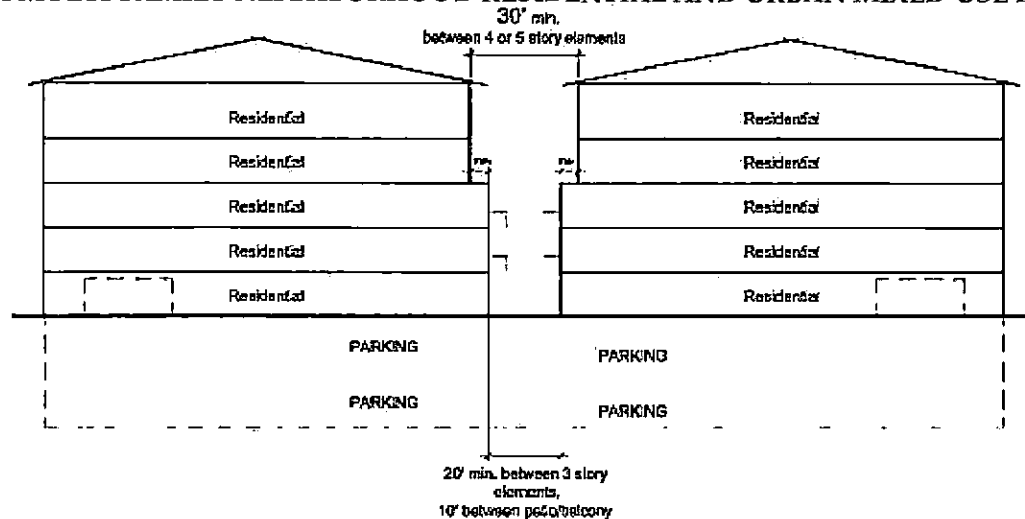
### Garage

Side setback: 10' minimum  
Rear setback: 4-8' or 20'+.  
Permitted orientation: alley  
Spaces required (aggregate for building including tandem parking): 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.

### Common Outdoor Space

100 sq. ft. per unit including footprint of any recreational building.

## PODIUM MULTI-FAMILY-NEIGHBORHOOD RESIDENTIAL AND URBAN MIXED-USE DISTRICTS



### Lot Characteristics

Varies

### Porch/Balcony

Front setback: 6' minimum  
Side setback: 5' at corner; 10' minimum between elements  
Depth: 7' min (5' minimum for wrap-around portion at corners)  
Size: at least 1/4 the width of the front of the building  
Percentages of buildings required to have front or side entry porches: 100%  
Note: Individual entry porches are required for all ground-floor units

### Common Outdoor Space

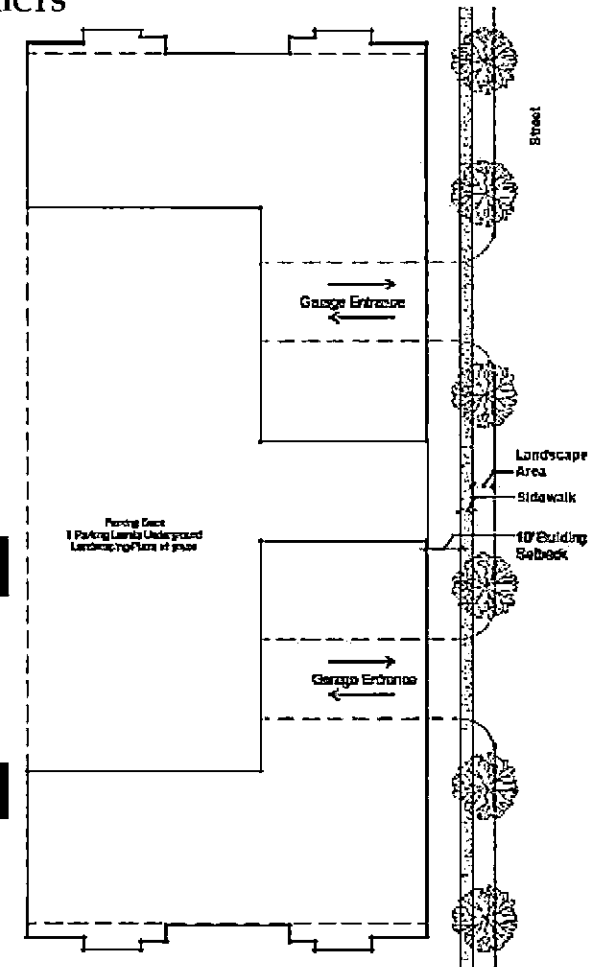
100 sq. ft. per unit including footprint of any recreational building.

### Principal Building

Front setback: 10' minimum  
Side setback: 10' minimum  
Rear setback: 10' minimum  
Building Separation: both buildings require 5' min. offsets  
3 story elements: 20' minimum  
4-5 story elements: 30' minimum

### Parking Structure

Front setback: 10' minimum above grade, 0' minimum below-grade  
Side setback: 10' minimum above grade, 5' minimum below grade  
Rear setback: 10' minimum above grade, 5' minimum below grade  
Permitted orientation: alley, side or front entry to parking structure permitted (max. one curb cut per block face).  
Spaces required: 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.  
Note: Parking structure must be visually screened from view from public streets and parks, either fully below grade or concealed from view by habitable space at perimeter or shielded by landscaping

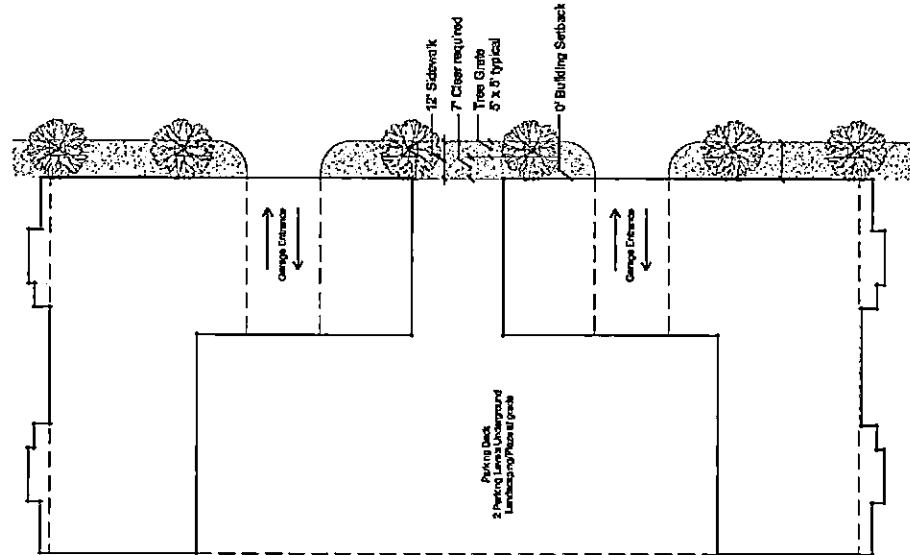


### Building Mass

Maximum height on top of podium garage: 4 stories or 5 stories when adjacent to or directly accessible from a Village Street.

Maximum lot coverage: 75% (excluding overhangs)

## PODIUM MULTI-FAMILY TOWN CENTER MIXED-USE DISTRICT



### Lot Characteristics

Varies

### Principal Building

Front setback: 0' minimum. Special Town Center Mixed-Use District sidewalk/landscape area treatments required. See Figure 3-21 and exhibits on this page.

Side setback: 10' minimum

Rear setback: 10' minimum

Building Separation: both buildings require 5' min. offsets  
3 story elements: 20' minimum

4-5 story elements and higher: 30' minimum

### Parking Structure

Front setback: 0' min. above or below grade

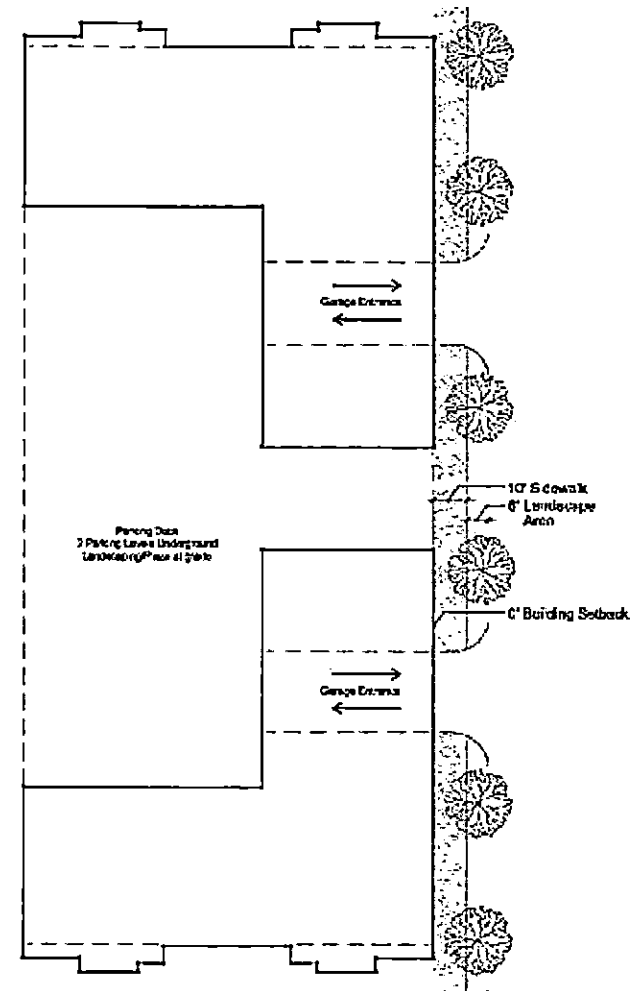
Side setback: 0' min. above grade, 5' min. below grade

Rear setback: 10' minimum above grade, 5' minimum below grade

Permitted orientation: alley, side or front entry to parking structure permitted (max. one curb cut per block face).

Spaces required: 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.

Note: Parking structure must be visually screened from view from public streets and parks, either fully below grade or concealed from view by habitable space at perimeter or shielded by landscaping



### Porch/Balcony

Front setback: 6' minimum

Side setback: 5' at corner; 10' minimum between elements  
Depth: 7' min (5' minimum for wrap-around portion at corners)

Size: at least 1/4 the width of the front of the building  
Percentages of buildings required to have front or side entry porches: 100%

Note: Individual entry porches are required for all ground-floor units

### Common Outdoor Space

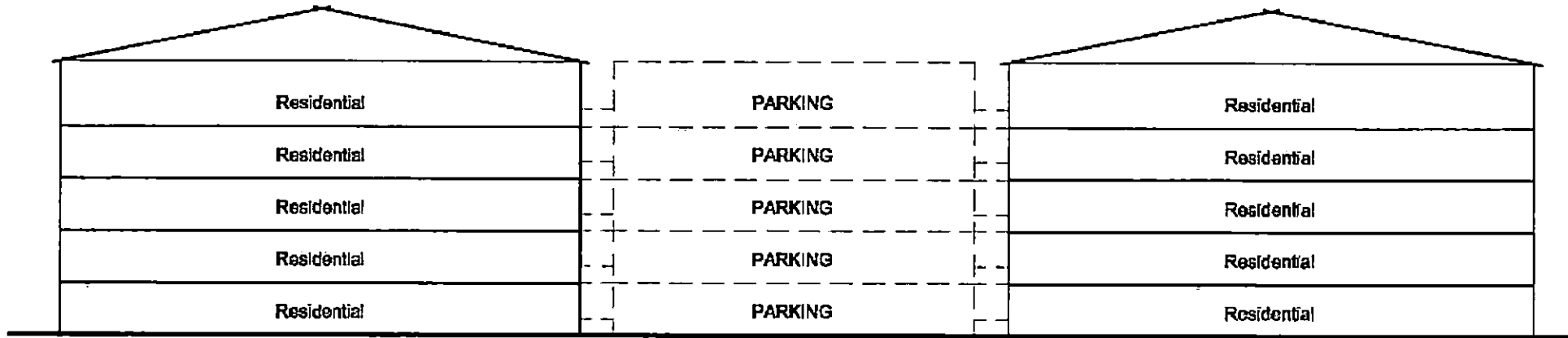
100 sq. ft. per unit including footprint of any recreational building.

### Building Mass

Maximum height: 110'

Maximum lot coverage: 75% (excluding overhangs)

## EMBEDDED-GARAGE MULTI-FAMILY- NEIGHBORHOOD RESIDENTIAL AND URBAN MIXED-USE DISTRICT



### Lot Characteristics

Varies

### Principal Building

Front setback: 10' minimum  
Side setback: 10' minimum  
Rear setback: 20' minimum

### Building Mass

Maximum height: 4 stories or 5 stories if adjacent to or directly accessible from a Village Street  
Maximum lot coverage: 75% (excluding overhangs) (not including parking structure)

### Front or Side Entry Porch

Front setback: 6' minimum  
Side setback: 5' at corner  
Depth: 7' min (5' minimum for wrap-around portion at corners)  
Size: at least 1/4 the width of the front of the building

Percentages of buildings required to have front or side entry porches: 100%  
Note: Individual entry porches are required for all ground-floor units

### Common Outdoor Space

### Parking Structure

Front setback: 30' minimum  
Side setback: 30' minimum  
Rear setback: 40' minimum  
Permitted orientation: alley, side or front entry to parking structure permitted (max. one curb cut per block face).  
Spaces required: 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.  
Note: Parking structure must be visually screened from view by habitable space at perimeter, except at interior courtyards

## EMBEDDED-GARAGE MULTI-FAMILY TOWN CENTER MIXED-USE DISTRICT

### Lot Characteristics

Varies

### Front or Side Entry Porch

Front setback: 6' minimum

Side setback: 5' at corner

Depth: 7' min (5' minimum for wrap-around portion at corners)

Size: at least 1/4 the width of the front of the building

Percentages of buildings required to have front or side entry porches: 100%

Note: Individual entry porches are required for all ground-floor units

### Principal Building

Front setback: 0' minimum. Special Town Center Mixed-Use District sidewalk/landscape area treatments required. See Figure 3-21 and exhibits on this page.

Side setback: 10' minimum

Rear setback: 20' minimum

Building Separation: buildings require 5' min. wall plane offsets

3 story elements: 20' minimum

4-5 story elements and higher: 30' minimum

### Parking Structure

Front setback: 30' minimum

Side setback: 30' minimum

Rear setback: 40' minimum

Permitted orientation: alley, side or front entry to parking structure permitted (max. one curb cut per block face).

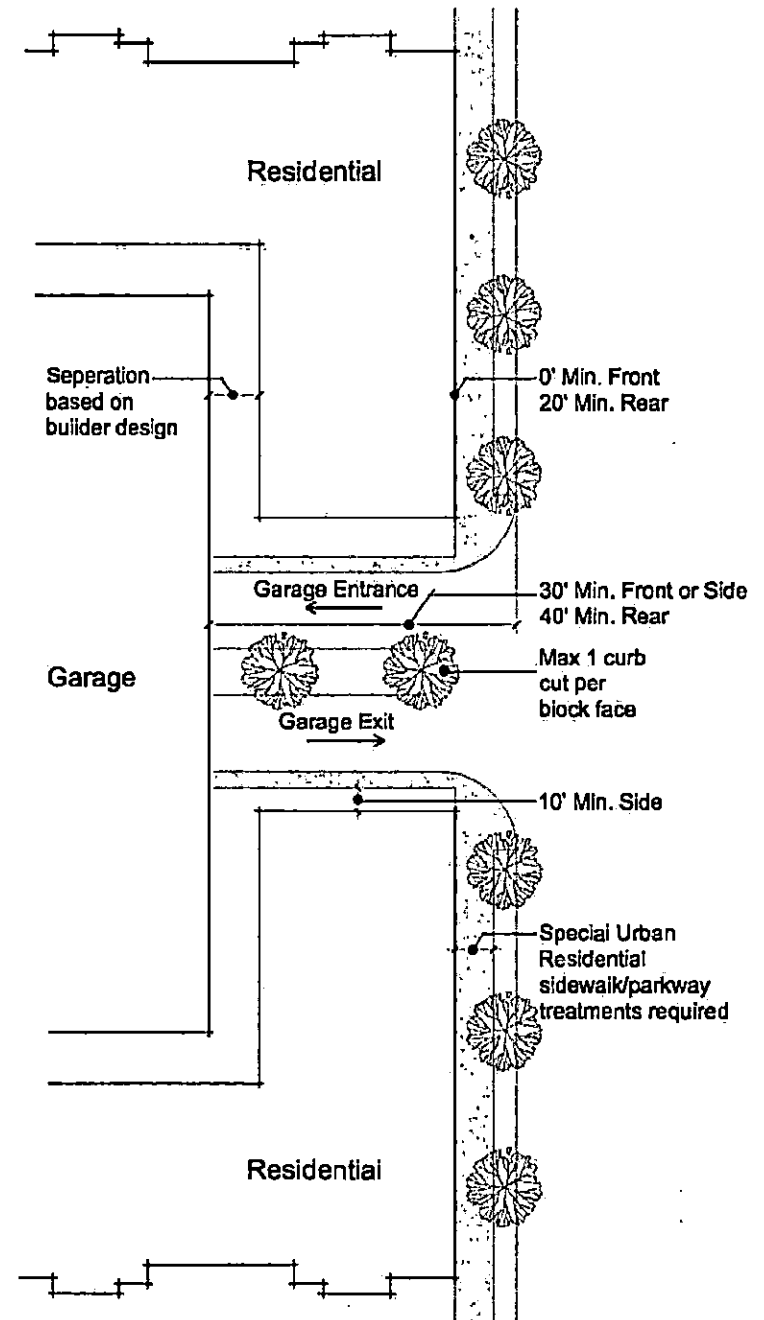
Spaces required: 1.25 space per studio or 1BR unit, 1.75 spaces per 2BR unit, 2 spaces per 3+BR unit. Senior housing: 1 covered or enclosed space per unit.

Note: Parking structure must be visually screened from view by habitable space at perimeter, except at interior courtyards

### Building Mass

Maximum height: 110'

Maximum lot coverage: 75% (excluding overhangs) (not including parking structure)



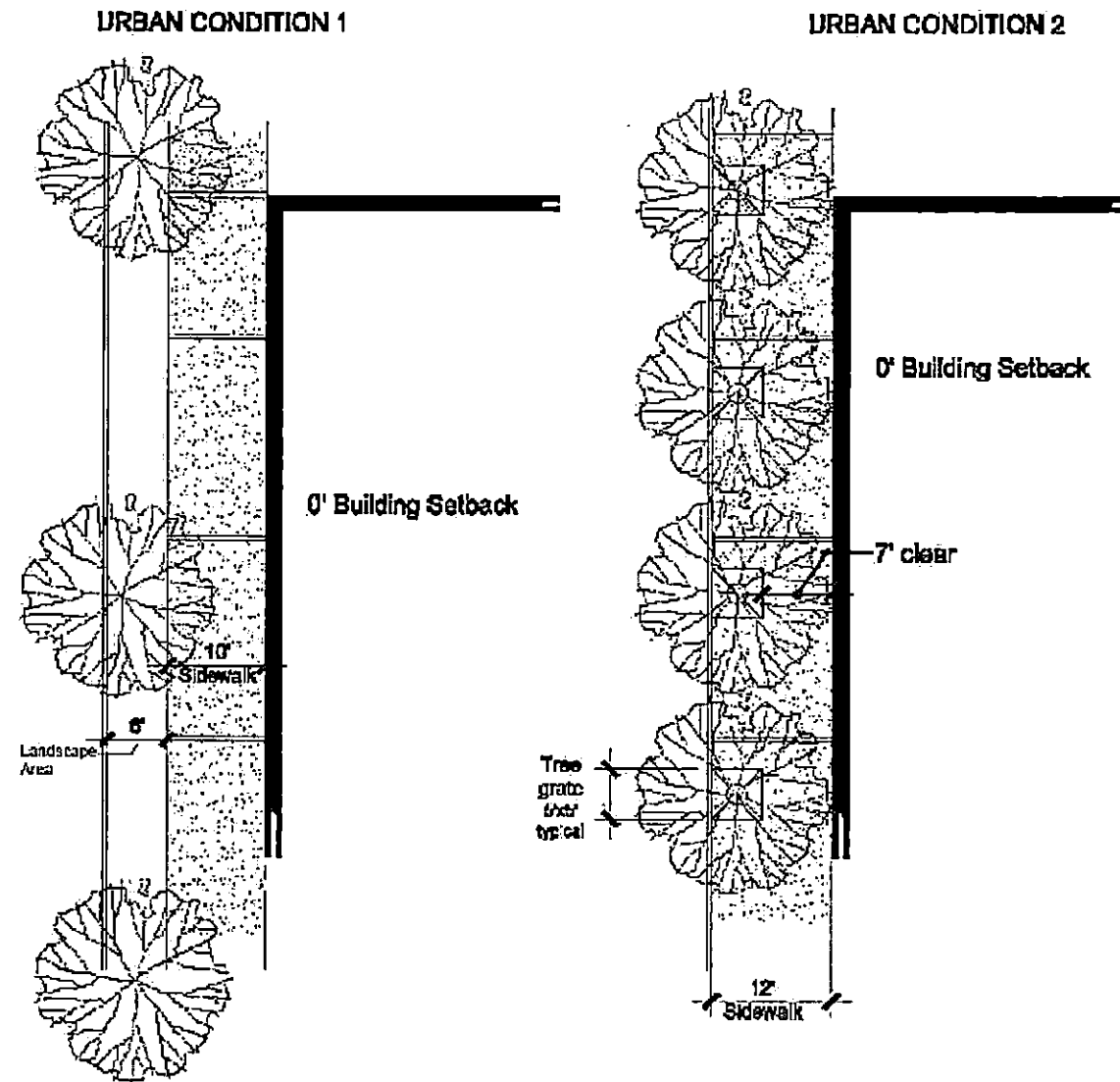


Figure 3-21 SPECIAL SETBACKS FOR MULTI-FAMILY BUILDINGS IN TOWN CENTER MIXED USE DISTRICTS Tree separation and buildings are conceptual and do not necessarily accurately depict actual development. All dimensions and notes are requirements.

## SECTION 4 ARCHITECTURAL GUIDELINES

### 4.1 OVERVIEW AND GOALS

The Architectural Guidelines for the residential areas of Kyle Canyon are intended to facilitate the creation of diverse and varied walkable streetscapes. Key elements that will be incorporated into the design of residences include architectural details that provide visual interest to the street scene, de-emphasis of garages, and authenticity of architectural details.

A variety of architectural styles and elements focusing on human scale details will enhance the pedestrian friendly character of the neighborhoods within Kyle Canyon. Such elements may include the use of front porches, courtyards and miradors, enhanced entries, a mix of materials and textures, and authentic detailing on features such as columns, balconies, windows, doors, shutters, flower boxes, and lighting. Furthermore, a variety of garage designs will be integrated into the massing, design and styling of each home to present an enhanced street frontage. Together, such design features enliven the street scene and promote the friendly interaction of neighbors.

The architectural styles permitted within the community are Craftsman, Prairie Ranch, American Traditional, Spanish Colonial, Country European, Andalusian, Tuscan, Mediterranean, Southern Italian, Brownstone, and Contemporary. The architectural styles may be applied to single family detached, attached and multi-family products.

An architectural checklist and image board of each style is presented in this section. The checklists contain primary identifying characteristics of each style and the requirements of each style. The image boards provide visual examples of each style and their primary identifying characteristics.

Section 4.2 contains the general architectural requirements for all Single Family Homes, attached and detached, regardless of the architectural style selected.

Section 4.3 contains the general architectural requirements for all multi-family buildings within the community regardless of the architectural style selected.

### 4.2 SINGLE FAMILY ARCHITECTURAL STANDARDS

Well-planned, Neighborhood Residential Parcels contain consistent streetscape elements coupled with a diversity of architecture. While the whole composition is unified, individual homes present considerable variation in style, massing, detail, and color. Streetscape diversity can be achieved through varying setbacks, articulated building massing, variable lot widths, de-emphasized garages, and enhanced elevations and/or single story elements on corner lots. The following standards are designed to create diversity while respecting the needs of today's building process. Figure 4-3 summarizes the residential diversity requirements for the community.

#### 4.2.1 PRODUCT MIX STANDARDS

- In each of the Neighborhood Residential Parcels, each builder will produce a minimum of two of the following Single Family Residential Building Types (No single Residential Building Type, except Alley Loaded, may exceed 60 percent of the dwelling units in a Development Parcel):
  - Estate Lot – Alley Loaded
  - Estate Lot – Front Drive or Side Drive
  - Standard Lot – Alley Loaded
  - Standard Lot – Front Drive or Side Drive
  - Compact Lot – Alley Loaded
  - Compact Lot – Front Drive or Side Drive
  - Green Court
  - Paseo Court
  - Cluster
  - Townhome – Neighborhood Residential

- Mansion Home – Neighborhood Residential

An exception to this rule is that a Development Parcel may contain just one Single Family Residential Building Type if there are 150 or fewer detached dwelling units or 200 or fewer attached dwelling units in the Development Parcel.

#### 4.2.2 PLAN VARIATION

Each builder will produce a minimum of three plans for each single family detached Residential Building Type they build. Different plans are defined as those with significant variation in floor plan, garage access (i.e., Front-Drive, Side-Drive, Side Drive Detached or Alley-Loaded), or massing.

- Each plan must have a minimum of three exterior architectural treatments, defined as variation in primary siding material, roof material, window design, architectural style, or porch/courtyard treatment.
- No more than two dwelling units with the same floor plan shall be plotted adjacent to one another along the same street to avoid a repetitious street scene.

#### 4.2.3 Architectural Variety

In addition to the product mix requirements, the design and placement of homes on lots shall be designed to avoid a monotonous street presence. Variation may be achieved in any of the following ways:

- Single Story Elements. Single story homes, when part of the builder's product program, may be plotted between two two-story elevations to create a diversity of building height and massing.
- Porches and Patios. On two-story dwellings, single story elements such as porches or patios may be used to provide articulation and visual interest to the street elevation.
- Variation Of Roof Planes. A variety of roof forms may be employed, including gable, cross-gable, hip, and shed elements.

- Variation of Primary Materials. Within a Development Parcel a variety of primary facade finishes and roofing materials may be used. If stucco is the only primary facade finish for a Residential Product Type, the stucco must be of two discernibly different textures and trim elements shall be smoother than the primary facade.
- Rear and Side Enhancements. As required by Section 4.3.1, the rear or side elevations Adjacent to and Visible from a Public Place shall be sufficiently articulated to provide visual interest, including:
  - Principal Window Treatments
  - Offset wall planes (Minimum offset: 2')
  - Roof Plane Breaks
  - Color Blocking
  - Introduction of accent building materials and colors
  - Introduction of accent elements such as clay vents, out lookers, and decorative grille work consistent with the front elevation

#### 4.2.4 Corner Treatments

The relationship of buildings to one another and the street is especially important at corners. Homes plotted on corner lots shall feature enhancements that provide a similar level of detail to corner side elevations as the front elevation.

All corner lot side elevations must have:

- At least one principal window, and
- Window trim similar to front elevations.

In addition, corner lot side elevations must have at least one of the following elements:

- Wrap-around porches or courtyards
- Open side yard landscape treatments

- Roof plane breaks
- Accent colors, materials and detailing

#### **4.2.5 MINIMUM NUMBER OF ARCHITECTURAL TREATMENTS**

Each plan must have at least three architectural treatments, defined as variation in primary siding material, roof material, window design, trim details, architectural style, and/or porch treatment.

Two primary siding material treatments must be selected from the following five primary exterior wall options:

1. Light Lace or smoother Stucco
2. Dash or smoother Stucco
3. Cementitious Shingles
4. Cementitious Siding
5. Board & Battan (Hardi-Plank)
6. Masonry

Within each treatment, variation in roofing material or profile and color is required. Porches, courtyards, balconies, or other focal architectural elements are required on each Residential Building Type in varying proportions as described in Section 4.3.

#### **4.2.6 COLOR VARIATION**

The following color variation standards apply to all residential construction in Kyle Canyon. See Section 7, Color, for additional color standards and approved color palettes.

##### **A. NUMBER OF COLOR PACKAGES**

A unique color package shall be developed for each Residential Building Type within a Development Parcel.

##### **B. NUMBER OF COLOR SCHEMES WITHIN A COLOR PACKAGE**

Each color package for single family neighborhoods shall have a minimum of six (6) color schemes. Not more than 35% of the homes in any Development Parcel shall use the same color scheme.

Each color package for Urban Residential Parcels shall have a minimum of three color schemes. Not more than 40% of the buildings in any Development Parcel shall use the same color scheme.

##### **C. ROOF COLORS**

Single family neighborhoods shall have at least four different roof colors. The same roof color in a different profile shall count for two colors.

##### **D. BUILDING COLORS**

Each color scheme shall contain a minimum of four different colors, not including the roof color. Masonry may be substituted for one of the required colors on those styles that allow it.

##### **E. COLOR SELECTION CRITERIA**

**All single family neighborhoods shall conform to the following criteria:**

- All primary field colors shall be discernibly different from each other.
- No more than one third of the selected schemes may use the same fascia color.
- No more than one third of the selected schemes may use the same trim color.
- Each scheme shall have a different accent color.
- Fascia and trim colors may be the same within a scheme.

**All Urban Residential Parcels shall conform to the following criteria:**

- All primary and secondary field colors shall be discernibly different from all other field colors.
- The same fascia color may be used throughout.
- The same trim color may be used throughout.
- Fascia and trim colors may be the same within a scheme.

## **F. COLOR PLOTTING CRITERIA**

The two houses on either side of a specific lot and the lot across from it must all use different color schemes than that specific lot. This requirement applies to all detached neighborhoods. Adjacent multi-family buildings may not employ the same color scheme.

## **G. MASONRY**

Masonry is required on at least one of the elevations for each plan and at least 20% of the front face of the plan excluding doors and windows will contain a masonry element.

# **4.3 SINGLE FAMILY DETACHED ARCHITECTURAL CRITERIA**

## **4.3.1 ARCHITECTURAL ELEMENTS**

The architecture of a house consists of three basic elements regardless of its architectural style. These architectural elements are Building Facades, Roofs, and Detail Elements. Together, when these elements are designed appropriately, a cohesive yet diverse residential neighborhood environment will be realized, consistent with the goals and objectives of the Kyle Canyon master plan.

## **BUILDING FORM**

Variety in building forms provides diversity and visual interest to the neighborhood street scene. The following shall be incorporated into the design of residential structures:

- Articulation of wall planes
- Projections and recesses to provide shadow and depth
- Simple bold forms
- Combinations of one, two and three story elements on a single building as appropriate to the architectural style of the home.

Building wall planes, particularly on the front elevation, shall be staggered to create interest along the street scene, to provide a desirable human scale, and to avoid visual monotony.

Residential design shall provide articulation and detail to the rear and side of the dwelling when Adjacent to and Visible from a Public Place.

The use of outdoor living space along the front elevation is required as described in the Residential Building Types Requirements in Section 4.3 to provide visual interest to the street scene.

Uninterrupted 3 story wall planes on front or rear elevations, greater than 1/3 the elevation, are not permitted. Vertical and horizontal wall plane breaks must be offset a minimum of 2'.

## **BUILDING MATERIALS AND COLORS**

The design of residences shall use building materials that are consistent with the architectural styles as identified on the architectural checklist for each style. All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns and the exterior faces of porches or balconies in their entirety.

Changes in wall material should clarify, not clutter, the design. One or two siding materials per residence are preferred and no more than three materials may be used per building without Master Developer approval.

Wall material changes should occur only in the following places:

- Between the body of a building and its gable ends.
- At horizontal and vertical inside corners between component parts of a building such as additions, garages, chimneys, bays or porches. Mark horizontal wall material changes with a significant change in wall plane or a pronounced trim detail such as a water table or string course.
- At functional details such as sills, headers, posts, etc.

- Material breaks at garage corners shall have a return dimension equal to or greater than the width of the material on the front elevation.
- Material breaks should occur at inside corners, where feasible. In cases where materials wrap an outside corner, it should extend to a logical termination point related to rooflines or building massing when they are available, otherwise returns shall be 3 feet minimum.
- Between the base and the top of a building along a sill line, floor line, porch rail line or plate line.

## STUCCO

Traditionally, stucco was a finish coat applied over masonry walls: stone, brick, adobe and later block. Although it is now commonly used over wood frame construction, it still has masonry at its roots and looks best when applied in a simple manner over large planar wall surfaces.

Recessed windows and broad overhangs emphasize the play of light and shadow, one of stucco's most beautiful qualities. Delicate details such as wrought iron railings, exposed rafter tails, inset panels of contrasting color and finish such as ceramic tile, and trellises also cast beautiful shadows.

Stucco finished window trim and bands, when used, shall be light dash finish or smoother.

## MASONRY

Masonry elements, when used, must be integral to the building's architecture and not have the appearance of wallpaper. Plans using masonry should be designed with modular dimensions.

Take advantage of the myriad decorative patterns possible using Masonry. Combinations of soldiers, headers, stringers, etc. form delightful patterns which create cornices, wall caps, water tables, and other details with little additional effort beyond the imagination of the designer and/or mason. When employing

decorative patterns within a Masonry wall, always do so in a logical manner consistent with the material and function.

## SIDING

Highlighting architectural style through the use of siding elements is effective and encouraged, as consistent with the architectural style of the residence. The most common form of siding is a cement-based product that resembles various traditional siding patterns.

Siding should terminate at inside corners or otherwise be properly trimmed at corners. Avoid very small sections of siding between openings, at columns and at corners.

## ROOF FORM AND SLOPE

Roof treatments shall be consistent with the architectural style of the dwelling.

Variety of roof design and treatment is encouraged to provide visual interest to the neighborhood roofscape throughout Kyle Canyon, including the use of gable, cross-gable, hip, flat roof with parapet, or a combination of these roof forms.

Likewise, variety in roof lines is required to avoid a common roof line along neighborhood streets. Rooflines of adjoining residences are required to vary ridge heights, roof forms, or direction of gables.

Repetitious gable ends framed side to side on rear elevations are not permitted along perimeter edges of residential neighborhoods. No more than three adjacent residences may have primary gable end roof forms Adjacent to and Visible from a Public Place.

Minimum overhangs shall be as identified on the architectural checklist for each style.

Roof slopes shall be consistent with the architectural style of the residence as indicated on the architectural checklist for each style.

Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.

## ROOF MATERIALS

A variety of roof materials are allowed throughout the neighborhoods of Kyle Canyon in order to avoid a monotonous roofscape appearance.

Roof materials shall be compatible with the architectural style of the residence as indicated on the architectural checklist for each style.

Roof materials shall have a matte finish to minimize glare.

Fascias may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.

Skylights are permitted, but shall be designed as an integral part of the roof. "Bubble" skylights (except solar tubes) are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof. Solar tubes or tubular skylights are preferred.

- Permitted Materials
  - Clay or Concrete Barrel Tiles
  - Clay or Concrete Flat Tiles
  - Clay or Concrete Shakes
  - Metal Tiles
  - Metal Shakes
  - Metal Shingles/Slate
  - Metal Panel
  - Slate
  - Low profile S-tiles on single family lots
  - Photo-Voltaic roof tiles, when used, are subject to the design criteria below

If all homes on a block face use the same roof material, not more than 70% may use one profile.

- Prohibited Materials
  - Wood Shake
  - Fiberglass Shingles
  - Rolled roofing material, except on flat patio covers or in places not Adjacent to and Visible from a Public Place.

Solar panels, if offered, are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Solar equipment shall be enclosed and screened from view.

Photo-voltaic roof tiles, when used, shall conform to the following criteria:

- Located on rear or side roof planes only. Photo-voltaic tiles are not permitted on front roof planes or any other roof plane that is Adjacent to and Visible from a Public Place.
- Photo-voltaic roof tiles shall be used in conjunction with flat roof tiles only. The use of barrel shaped tiles in conjunction with photo-voltaic roof tiles is prohibited.
- The color of the roof tiles shall not unduly contrast with the photo-voltaic roof tiles.
- Installation of photo-voltaic roof tiles shall result in an overall shape that is square or rectangular.
- An uneven edge where the photo-voltaic roof tiles meet the primary roofing material is not permitted.

## 4.3.2 ARCHITECTURAL FEATURES AND ACCENTS

#### **ENTRIES**

The entry of a residential dwelling shall be articulated through the appropriate use of roof elements, columns, porticos, recesses or projections, window or other architectural features.

#### **COURTYARDS**

Courtyards provide a transition from the public space of the street to the entrance of the dwelling. Courtyard walls, when provided, shall be finished to match the house and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the residence.

#### **PORCHES**

Porches and balconies, when provided, shall be designed as an integral component of the building's architecture.

Porches may have railings or screen walls and be fully covered in one of the following ways:

- Roof element and tile matching the residence
- Trellis structure
- Second floor mirador or overhang

Second story balconies are encouraged to provide further visual interest to the street scene, and to increase the perceived front setback of the second story.

#### **COLUMNS AND ARCHWAYS**

The use of columns and archways adds articulation to the character of the residence and is encouraged where appropriate to the architectural style. Columns and archways shall be scaled appropriately to provide a sense of strength and support that is compatible with the architectural style of the dwelling.

#### **TRELLIS AND ARBORS**

Trellises and arbors, when used, must be designed to maintain their appearance considering the climatic conditions of the valley.

#### **PATIO COVERS AND BALCONIES**

The use of rear patio covers and second story balconies provide an excellent opportunity for the articulation of rear facades, particularly along visible perimeter conditions and is encouraged. Such elements are required on a minimum of 25% of the dwellings that are Adjacent to and Visible from a Public Place.

Such patio covers and balconies shall be designed as an integral component of the architecture.

#### **ROOFTOP DECKS**

Rooftop decks are permitted in any residential category, subject to the following requirements:

- All components of the rooftop deck shall be designed consistent with the architectural style of the residence.
- Rooftop decks, including parapet walls, rails, stair or elevator towers, trellis or other overhead elements shall not exceed the permitted maximum height of the building.
- Stair or elevator towers that provide access to the rooftop deck shall be designed as an integral component of the architectural composition of the elevation.
- Parapets may be solid wall to match the architecture of the residence or open rail in a design that is compatible with the architecture of the residence.
- Rooftop decks enclosed by solid parapet walls must use scuppers and/or internal drains for drainage.
- Exposed parapet walls on front elevations (and visible rear elevations, if any) are permitted on Spanish Colonial, Mediterranean, Andalusian, Italian, Brownstone and Contemporary architectural styles only.
- An exposed parapet wall on front elevations (and visible rear elevations, if any) is not permitted on Craftsman, Prairie, American Traditional, Country European, and Tuscan architectural styles. These styles must feature a sloped roof to disguise the parapet element.
- Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop

decks are plotted on corner lots, a sloped roof must be used to disguise the parapet element.

- Side facing parapets are permitted for the full length of the rooftop deck on interior side lot lines, regardless of architectural style.
- Roof-mounted mechanical equipment such as air conditioners, heaters, and other such devices are not permitted. Such devices shall be ground mounted and located behind side yard privacy return walls or screened by walls at least 1' higher than the unit(s).

#### WINDOW OPENINGS

At least one principal window is required on front elevations. Principal windows are defined as one of the following:

- A prominent window recessed a minimum of 12" or having a minimum 12" pop-out surround.
- All other windows on the front elevation and exposed side or rear elevations must be trimmed or recessed a minimum of 2" or having a minimum 6" pop-out surround.
- A bay window with a minimum 24" projection and detailing appropriate to the architectural style of the residence.
- A primary window in conjunction with a porch qualifies as a principal window and does not need to be recessed in the wall plane. Trim detail is required.
- A minimum 12" deep pot-shelf with corresponding roof element and corbels.
- An overhead trellis element projecting a minimum of 12"
- Decorative iron window grille projecting forward of the wall plane a minimum of 12" if appropriate to the architectural style

Rear and side elevations that are Adjacent to and Visible from a Public Place require the use of at least one principal window as defined above. The use of shutters is an acceptable principal window treatment on visible elevations when used in conjunction with a minimum 12" deep pot-shelf or other form of articulation.

All other windows on the front elevations and side and rear elevations Adjacent to and Visible from a Public Place shall feature trim surrounds, or headers and sills. The minimum reveal for trim elements on small decorative windows is 1 1/2". All other windows require a minimum reveal on trim elements of 2"

The design of header, sill and trim elements must be consistent with the architectural style of the residence.

The style of windows shall be compatible with the architectural style of the residence with the following recommendations:

- Aluminum or vinyl extruded frame windows shall be appropriately colored to match or complement the house or trim colors.
- Glazing may be either clear or tinted. Reflective glass is not permitted.

#### WINDOW SHADING (ENERGY CONSERVATION CRITERIA)

For energy conservation, all southerly and westerly facing windows must be shaded in one of the following ways:

- An overhang that is at least 24" and otherwise adequate to provide shade from summer afternoon sun, as reasonably determined by the Master Developer
- An adjacent building situated in a manner adequate to provide shade from summer afternoon sun, as reasonably determined by the Master Developer
- For first story windows only, a deciduous shade tree (at least 36" box size) planted within 10' of the window and located to shade at least 50% of the window at mid-afternoon
- Awnings or trellis structures
- Low-e windows
- Solar Screens externally mounted
- Window Tinting
- External, operable shutters

#### DETAIL ELEMENTS

Detail Elements such as shutters, exposed rafter ends or cross beams, decorative grille work, decorative stucco or clay pipe vents, decorative ceramic tile and / or other similar features shall be used to provide visual interest to the residential architecture consistent with the architectural style.

Exposed gutters and downspouts shall be colored to match or complement the surface to which they are attached.

#### GARAGES

Except for Alley-Loaded Single Family Detached Residential Building Types (See Figure 3-20) builders must incorporate at least two different Garage Placement Options (See Figure 4-1) for each Single Family Detached Residential Building Type.

##### A. Garage Placement

Residential garages shall be positioned to de-emphasize their visual presence on the street. This will allow the active, visually interesting features of the house, to dominate the streetscape. The following Garage Placement Options are permitted in Kyle Canyon (see Figure 4-1):

- Front Drive Garages. Front Drive Garages are permitted subject to a minimum recess of five feet (5') from the front wall plane of the residence to the garage door. The maximum driveway width at the street for a double garage is eighteen feet (18'). The maximum driveway width at the street for a single garage with tandem parking is ten feet (10').
- Side Drive Garages. Side Drive Garages are allowed with a minimum recess of twenty feet (20') from the front wall plane of the residence to the garage door depending on the Residential Building Type as described in the Residential Building Type Guidelines in Section 3.5. The maximum driveway width at the street is ten feet (10').
- Alley Loaded Garages. Alley Loaded Garages are permitted on all homes.
- Side Entry Garages. Side Entry garages are permitted on corner lots
- Split Garages. Split Garages are permitted only on Standard and Estate Lots.
- Turn-In Garages. Turn-In Garages are permitted on all residential lots that are at least 44 feet (44') in width.

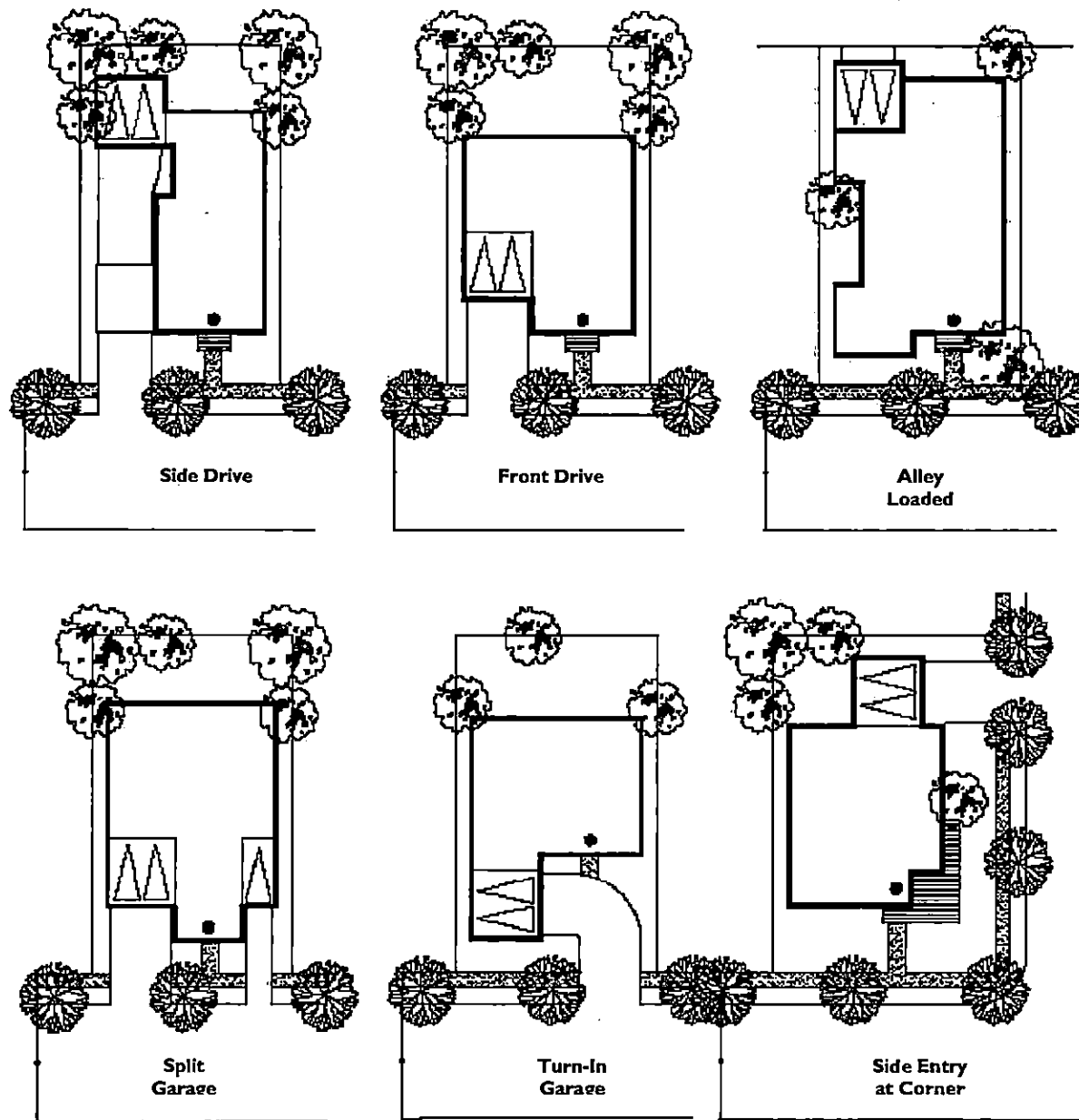


Figure 4-1 GARAGE TREATMENTS

### **B. Front Entry Garages.**

All garages that face a Neighborhood or Village Street will be enhanced or de-emphasized in one of the following ways:

- A porch or courtyard in the front yard projecting beyond the front face of the garage doors
- Second floor living space above the garage either projecting forward or set back from the face of the garage doors
- A trellis mounted above the garage doors, extending the entire width of the doors and projecting at least 18" in front of the face of the doors
- All single garage doors (no double doors)
- Enhanced driveway materials as described below in this section
- Other similar, appropriate enhancement

No more than two front facing garage spaces are permitted on any single family lot less than 60' in width. Where three garage doors face the street, the builder must enhance the driveway with one of the following:

- pavers
- stamped concrete
- scoring patterns
- landscape strip between one and two car garage openings

Additional garages spaces, if provided, must be in a turn-in configuration, tandem, pushed back with a long driveway or motor-court. No more than three front facing garage doors are permitted on any single family detached product.

### **C. Variation in Set-Backs**

Where garages are adjacent to one another along interior lot lines, a 3' difference in setback to garage faces is required except on Side-Drive and Alley-Loaded Garages. On Neighborhood Streets, the face of garage doors shall be offset a minimum of 12" from surrounding wall planes. On court streets or drive aisles, the face of garage doors shall be offset a minimum of 6" from surrounding wall planes.

### **D. Variation in Garage Doors**

Varying garage door appearance by varying garage door pattern windows and/or color (as appropriate to individual architectural styles), and using

two single doors instead of a large one is encouraged. Use of sectional carriage style garage doors, or similar upgraded garage door, is encouraged.

Porch/courtyard elements extending in front of the front wall plane of the garage are encouraged.

In lieu of pop-out surrounds, a trellis element projecting a minimum of 18" forward of the garage door wall plane and extending the entire length of the garage door, may be used.

Garage doors shall be compatible with the architectural style of the residence. In order to avoid the impact of garage doors, they shall be appropriately treated with decorative relief cuts, panels, small decorative windows, etc. The use of sectional carriage style roll-up garage doors, or similar upgraded garage door is encouraged.

### **FRONT FACING THREE-CAR GARAGES**

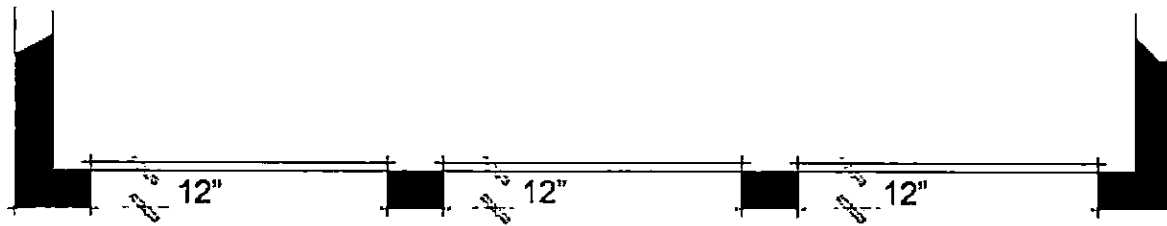
Front facing three-car garages are allowed in Neighborhood Residential Parcels only on lots that are a minimum of sixty feet (60') in width. In all Neighborhood Residential Parcels, 3 car garages, if used, must be designed in one of the following ways: (Please refer to Figure 4-2)

- **OFFSET SINGLE AND DOUBLE GARAGES:** one door must be a minimum of 3' behind the front façade of the residence; the second door must be a minimum of 2' behind the forward-most garage door.
- **THREE SINGLE GARAGE DOORS IN A SINGLE PLANE:** all three garage doors must be a minimum of 5' behind the front façade of the residence and be recessed at least 12" behind the front face of the garage.
- **SINGLE AND DOUBLE GARAGE DOORS IN SAME PLANE:** both doors must be recessed at least 24" behind the front face of the garage.

### **PARKING**

Dedicated on street parking spaces shall be counted in establishing the ratio of guest parking spaces to total unit count in any Neighborhood Residential Parcel.

**Single Garage Doors in Same Plane**  
Minimum recess is 12"



**Single and Double Garages in Same Plane**  
Minimum recess is 24"



**Offset Single and Double Garages**  
Minimum offset is 24"  
Minimum recess is 12"

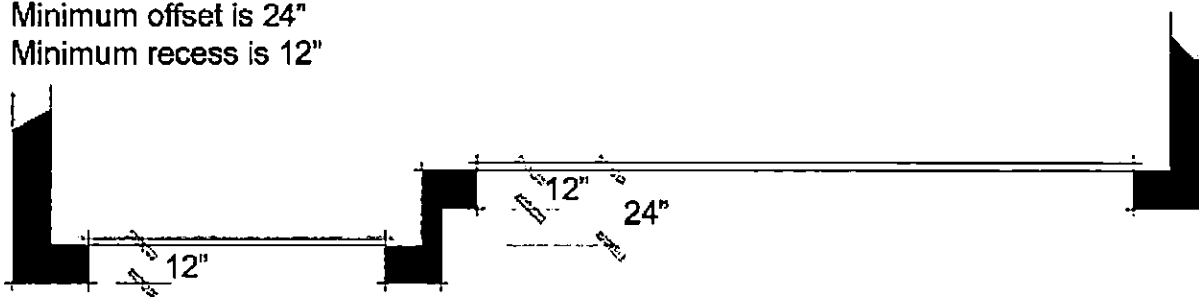


Figure 4-2 THREE CAR GARAGE OPTIONS

### **CHIMNEYS**

Chimneys are not required but, if used shall be simple in design, so as not to distract from the building. The design of chimneys shall be compatible with the architecture of the building. The following features are appropriate:

- Tile caps, brick or tile banding
- Elaborated chimney tops for Spanish Eclectic style.
- Decorative metal caps that match trim colors.

The following features are prohibited

- Exposed flues.
- Extravagant metal fireplace caps.

### **EXTERIOR LIGHTING**

The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements of the City of Las Vegas. Energy conservation shall be emphasized when designing any lighting system.

The style of exterior lighting fixtures shall be consistent with the architectural style of the residence. Manufacturer's cut sheets shall be provided in the design review submittal package for all proposed exterior lighting fixtures.

### **ACCESSORY STRUCTURES**

Casitas, guesthouses, detached garages, greenhouses, and other similar accessory structures shall be compatible in design, materials, and color with the main residence. Such structures must be visually related to the main residence through the use of courtyards, garden walls, or other landscape elements.

### **MECHANICAL EQUIPMENT**

Mechanical equipment such as air conditioners, heaters, evaporative coolers, television and radio antennas, satellite dishes, and other such devices Adjacent to and Visible from a Public Place must be located or mounted below the top plate of the first floor or hidden behind a parapet on the roof. Placement plans must be submitted for review and approval of the Master Developer and are subject to all federal regulations currently in effect.

Mechanical devices such as exhaust fans, vents and pipes shall be painted to match adjacent roof surfaces.

Ground mounted air conditioning units must be located behind side yard privacy return walls or screened by walls at least 1' higher than the unit(s).

All antenna and satellite dishes Adjacent to and Visible from a Public Place or adjacent lot must be submitted for review and are subject to the Development Declaration and all federal regulations.

### **TRIM**

The design of header, sill and trim elements must be consistent with the architectural style of the residence.

All window and door openings on the front elevations shall feature trim surrounds or headers and sills. The minimum reveal for trim elements is 2", except for small decorative windows which may have a 1 ½" minimum reveal.

Stucco finished trim elements, when used, shall be sand finish or smoother.

### **FOUNDATIONS**

At raised footing conditions, all foundation stem walls must be stuccoed and painted to within six inches (6") of finished grade or otherwise finished to match the façade of the residence.

**FIGURE 4-3 SUMMARY OF RESIDENTIAL DIVERSITY**

| <b>DIVERSITY ELEMENT</b> | <b>DIVERSITY MEASUREMENT</b>                                            | <b>PERMITTED</b>                    | <b>REQUIRED</b> | <b>NOTES</b>                                                                                                                                                                                          |
|--------------------------|-------------------------------------------------------------------------|-------------------------------------|-----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Building Product Type    | 15 Single Family Detached<br>4 Single Family Attached<br>3 Multi-Family | Permitted<br>Permitted<br>Permitted |                 | All Building Product Types Allowed in All Neighborhood Residential Parcels.<br>All Building Product Types Except Single Family Detached Allowed in All Mixed-Use Parcels (See Figures 3-19 and 3-20). |
| Building Product Mix     | 2 (Minimum)                                                             |                                     | Required        | Section 4.2.1                                                                                                                                                                                         |
| Architectural Styles     | 11                                                                      | Permitted                           |                 | Section 4.1                                                                                                                                                                                           |
| Plan Variation           | 3 (Minimum)                                                             |                                     | Required        | Section 4.2.2                                                                                                                                                                                         |
| Architectural Treatments | 3 (Minimum)                                                             |                                     | Required        | Section 4.2.5                                                                                                                                                                                         |
| Garage Placement         | 2 (Minimum)                                                             |                                     | Required        | 4.3.2                                                                                                                                                                                                 |
| Color Schemes            | 6 (Minimum)                                                             |                                     | Required        | 4.2.6 (B)                                                                                                                                                                                             |
| Roof Colors              | 4 (Minimum)                                                             |                                     | Required        | 4.2.6 (C)                                                                                                                                                                                             |
| Building Colors          | 4 (Minimum)                                                             |                                     | Required        | 4.2.6 (D)                                                                                                                                                                                             |
|                          |                                                                         |                                     |                 |                                                                                                                                                                                                       |

## 4.4 MULTI FAMILY ARCHITECTURAL CRITERIA

The following architectural standards apply to all structures that contain Multi-Family Homes, meaning structures that are divided into more than one dwelling unit and in which one household or family lives above another or in which dwelling units do not have separate outside entrances.

### 4.4.1 ARCHITECTURAL ELEMENTS

#### BUILDING FACADES

The scale of multi-family buildings shall be broken down through the use of varied building massing and materials on a single structure.

Buildings shall incorporate significant offsets both horizontally and vertically, minimizing expansive uninterrupted wall planes.

All elevations of a multi-family building shall be treated as a “front” elevation and shall include:

- A minimum of one principal window per floor per elevation, with remaining windows featuring trim surrounds, or headers and sills consistent with the architectural style of the building.
- Recessed or covered entry doors
- Window groupings
- Sufficient articulation of building walls to provide interest

#### HEIGHT

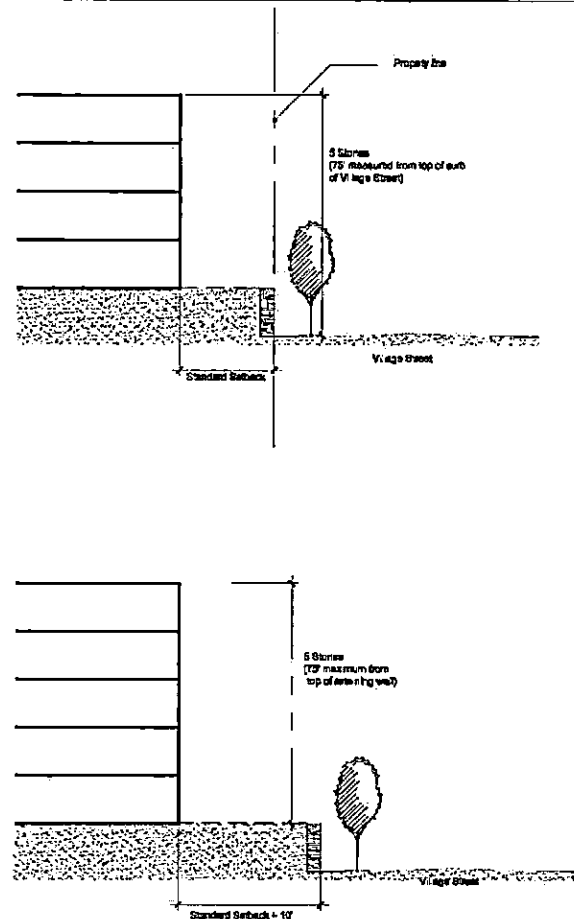
The following requirements apply to multi-family buildings on Neighborhood Residential parcels.

- Adjacent to Village Streets, multi-family buildings may be up to 5 stories. Maximum height is 75' measured from top of the adjacent curb of the Village Street. In conditions where building pads are at a higher elevation than the Village Street, the building height may be measured from the finish grade at the top of the retaining wall only if the buildings are setback an additional 10', otherwise the building

height shall be measured from top of the adjacent curb of the Village Street. (Figure 4-4).

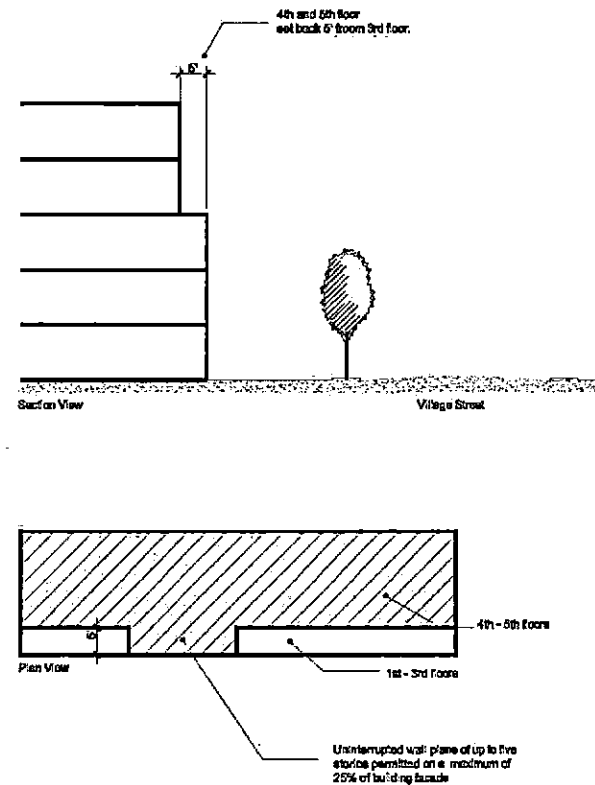
- Adjacent to Village Streets, 4<sup>th</sup> and 5<sup>th</sup> floors (when provided) shall be setback an additional 5' from the 3<sup>rd</sup> floor, except that an uninterrupted wall plane of up to 5 stories is permitted on a maximum of 25% of the building façade for elements such as tower elements or other architectural features that provide articulation to the wall plane. (Figure 4-5).
- Adjacent to Village Streets, a maximum of 75% of the building facades lining the street may be a full 5 stories. The calculation for this requirement shall be on a cumulative basis so that all of an individual building may be a full 5 stories so long as the cumulative total of all buildings combined does not exceed the 75% maximum. (Figure 4-6).
- Adjacent to a common development parcel boundary line, multi-family buildings shall be limited to 4 stories (60') in height and the fourth floor shall be setback at least 5' from the 3<sup>rd</sup> floor, except that an uninterrupted wall plane of up to 4 stories is permitted on a maximum of 25% of the building façade for elements such as tower elements or other architectural features that provide articulation to the wall plane. (Figure 4-7).
- All multi-family buildings of more than 3 stories, regardless of location, shall incorporate significant offsets both horizontally and vertically, minimizing expansive uninterrupted wall planes. No more than one third (1/3) of a primary exposure elevation may be comprised of an uninterrupted 3-story wall plane. Vertical and horizontal wall plane breaks must be offset a minimum of 2'. (Figure 4-8).
- Height reducing elements such as eroding prominent corners is encouraged. (Figure 4-9).

Figure 4-4



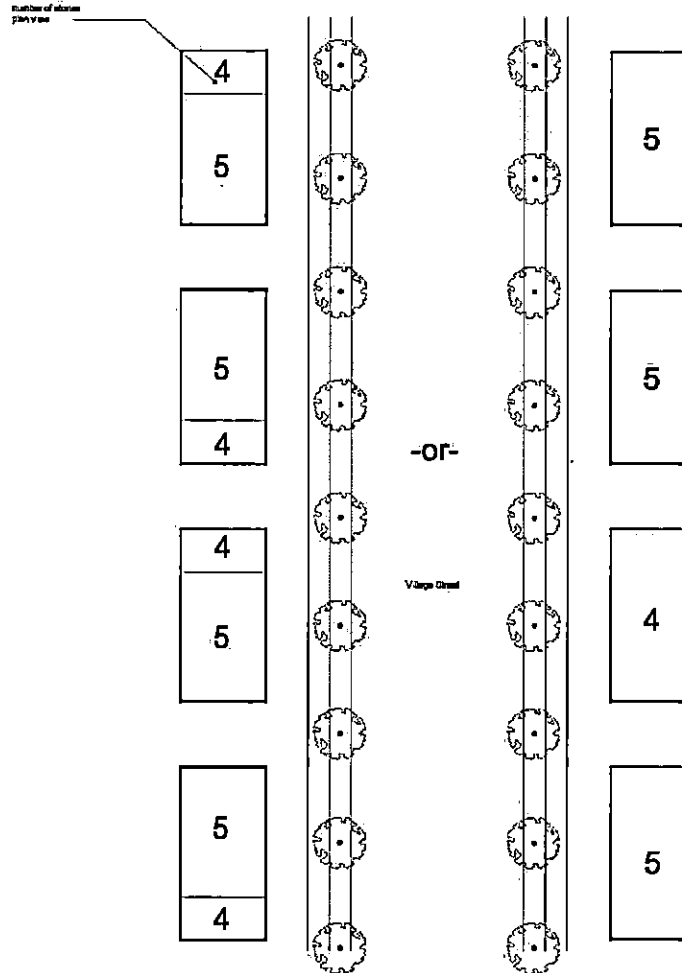
Adjacent to Village Streets, multi-family buildings, may be up to 5 stories. Maximum height is 75' measured from top of the adjacent curb of the Village Street. In conditions where building pads are at a higher elevation than the Village Street, the building height may be measured from the finish grade at the top of the retaining wall only if the buildings are setback an additional 10', otherwise the building height shall be measured from top of the adjacent curb of the Village Street.

Figure 4-5



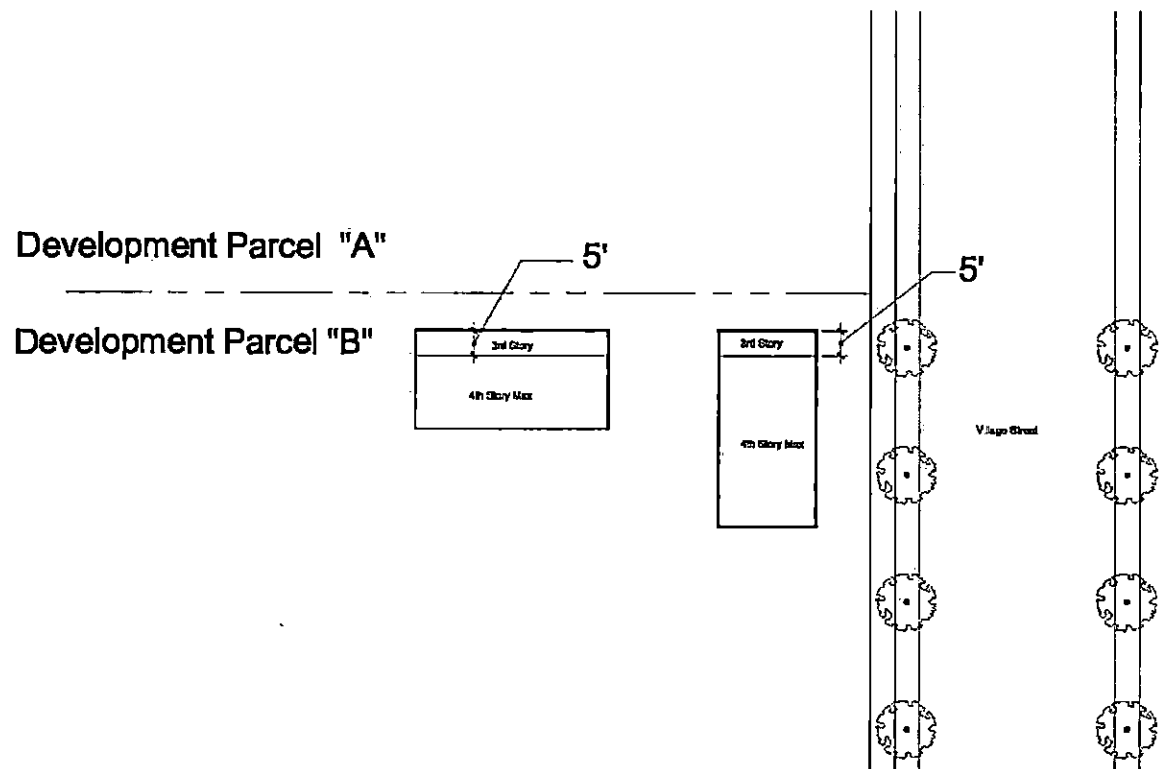
Adjacent to Village Streets, 4th and 5th floors (when provided) shall be setback an additional 5' from the 3rd floor, except that an uninterrupted wall plane of up to 5 stories is permitted on a maximum of 25% of the building façade for elements such as tower elements or other architectural features that provide articulation to the wall plane.

Number of stations  
played per year



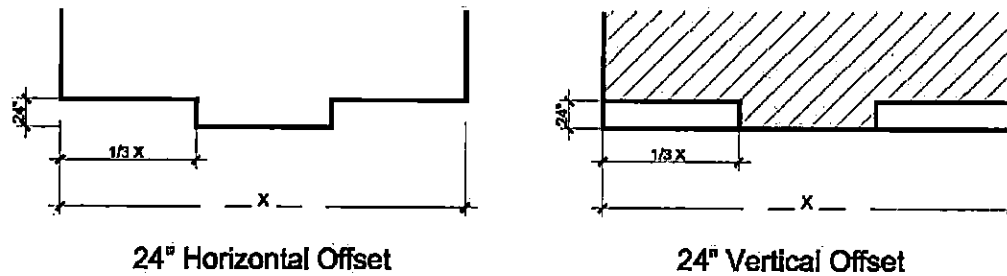
Adjacent to Village Streets, a maximum of 75% of the building facades lining the street may be a full 5 stories. The calculation for this requirement shall be on a cumulative basis so that all of an individual building may be a full 5 stories so long as the cumulative total of all buildings combined does not exceed the 75% maximum.

Figure 4-7



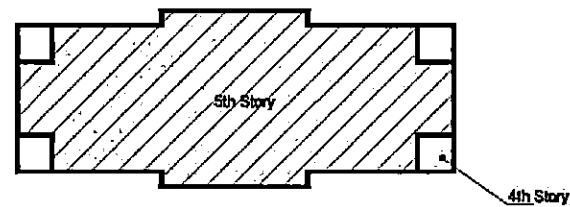
Adjacent to a common development parcel boundary line, multi-family buildings shall be limited to 4 stories (60') in height and the fourth floor shall be setback at least 5' from the 3rd floor, except that an uninterrupted wall plane of up to 4 stories is permitted on a maximum of 25% of the building facade for elements such as tower elements or other architectural features that provide articulation to the wall plane.

Figure 4-8



All multi-family buildings of more than 3 stories, regardless of location, shall incorporate significant offsets both horizontally and vertically, minimizing expansive uninterrupted wall planes. No more than one third (1/3) of a primary exposure elevation may be comprised of an uninterrupted 3 story wall plane. Vertical and horizontal wall plane breaks must be offset a minimum of 2'.

Figure 4-9



Height reducing elements such as eroding prominent corners is encouraged.

## BUILDING MATERIALS

The design of residences shall use building materials that are consistent with the architectural styles as identified on the architectural checklist for each style. All surface treatments or materials shall be designed to appear as an integral part of the design, and not merely applied. All materials shall wrap columns, porches, or balconies in their entirety.

Changes in wall material should clarify, not clutter, the design. One or two siding materials are preferred and no more than three materials may be used per building.

Wall material changes should occur only in the following places:

- Between the body of a building and its gable ends.
- At horizontal and vertical inside corners between component parts of a building such as additions, garages, chimneys, bays or porches. Mark horizontal wall material changes with a significant change in wall plane or a pronounced trim detail such as a water table or string course.
- At functional details such as sills, headers, posts, etc.
- Between the base and the top of a building along a sill line, floor line, porch rail line or plate line.

## ROOFS

Roof treatments shall be consistent with the architectural style of the building.

Variety in roof forms, ridge heights and direction of gables is required in order to avoid monotonous roof lines along master planned streets and paseos.

Minimum overhangs shall be as identified on the architectural checklist for each style.

Roof slopes shall be consistent with the architectural style of the building as indicated on the architectural checklist for each style.

Broken roof pitches extending over porches, patios or other similar features are encouraged where appropriate to the architectural style.

## ROOF MATERIALS

A variety of roof materials is encouraged throughout the neighborhoods of Kyle Canyon in order to avoid a monotonous roofscape appearance.

Roof materials shall be compatible with the architectural style of the residence as indicated on the architectural checklist for each style.

Roof materials shall have a matte finish to minimize glare.

Fascias may be either stucco, wood, or tile. If wood is used, it shall be stained or painted.

Skylights are permitted, but shall be designed as an integral part of the roof. "Bubble" skylights (except solar tubes) are not permitted. Skylight framing material shall be bronze anodized or colored to match the adjacent roof. Solar tubes or tubular skylights are preferred.

### • Permitted Materials

- Clay or Concrete Barrel Tiles
- Clay or Concrete Flat Tiles
- Clay or Concrete Shakes
- Metal Tiles
- Metal Shakes
- Metal Shingles/Slate
- Metal Panel
- Slate
- Photo-Voltaic roof tiles subject to the design criteria below

### • Prohibited Materials

- Wood Shake
- Fiberglass Shingles
- Rolled roofing material, except on flat patio covers or in places not Adjacent to and Visible from a Public Place.

Solar panels, if offered, are to be integrated into the roof design, flush with the roof slope. Frames must be colored to complement the roof. Mill finish aluminum frames are prohibited. Solar equipment shall be enclosed and screened from view.

Photo-voltaic roof tiles, when used, shall conform to the following criteria:

- Located on rear or side roof planes only. Photo-voltaic tiles are not permitted on front roof planes or any other roof plane that is Adjacent to and Visible from a Public Place.
- Photo-voltaic roof tiles shall be used in conjunction with flat roof tiles only. The use of barrel shaped tiles in conjunction with photo-voltaic roof tiles is prohibited.
- The color of the roof tiles shall not unduly contrast with the photo-voltaic roof tiles.
- Installation of photo-voltaic roof tiles shall result in an overall shape that is square or rectangular.
- An uneven edge where the photo-voltaic roof tiles meet the primary roofing material is not permitted.

#### 4.4.2 ARCHITECTURAL FEATURES AND ACCENTS

##### WINDOWS

At least one "principal window" is required per floor per elevation. Principal windows are defined as one of the following:

- A prominent window recessed a minimum of 12" or having a minimum 12" pop-out surround.

- A bay window with a minimum 24" projection and detailed appropriate to the architectural style of the building.
- A minimum 12" deep pot-shelf with roof element and corbels
- An overhead treillage element projecting a minimum of 12"
- A decorative iron window grille projecting a minimum of 12" if appropriate to the architectural style
- An enhanced window surround

All other windows and openings shall be trimmed or otherwise treated. Stucco trim elements, when used, shall be sand or smooth finish. The minimum reveal for trim elements on small decorative windows is 1 ½". All other windows require a minimum reveal on trim elements of 2".

Windows must be grouped or located near strong architectural elements and shall be proportional to the building massing of the structure.

Reflective glass is not permitted.

##### WINDOW SHADING (ENERGY CONSERVATION CRITERIA)

For energy conservation, all southerly and westerly facing windows must be shaded in one of the following ways:

- An overhang that is at least 24" and otherwise adequate to provide shade from summer afternoon sun, as reasonably determined by the Master Developer
- An adjacent building situated in a manner adequate to provide shade from summer afternoon sun, as reasonably determined by the Master Developer
- For first story windows only, a deciduous shade tree (at least 36" box size) planted within 10' of the window and located to shade at least 50% of the window at mid-afternoon
- Awnings or trellis structures
- Low-e windows
- Solar Screens externally mounted
- Window Tinting
- External, operable shutters

#### **GARAGE DOORS**

All garage doors shall be recessed 12" or be surrounded with 12" minimum pop-outs.

Door lights, when used, shall be appropriate to the architectural style of the building.

#### **FRONT ENTRY DOORS**

Front entry doors and entryways where access is provided from the exterior shall provide a focal point to each residential unit and shall be sun protected with overhangs, recesses, porches, or trellises.

#### **COURTYARDS**

Courtyards are encouraged on multi-family buildings and, when used, shall appear as an extension of the architecture of the main building.

Courtyard walls shall be finished to match the building and may be embellished with stone, ceramic tiles, steps, recesses, cut-outs, or wrought iron accents appropriate to the architectural style of the building.

#### **BALCONIES**

Balconies, when provided, shall be designed to be in scale and proportion with the architecture of the adjoining building. Covered or trellised balconies are preferred.

#### **ROOFTOP DECKS**

Rooftop decks are permitted on multi-family buildings, subject to the following requirements:

- All components of the rooftop deck shall be designed consistent with the architectural style of the building.
- Rooftop decks, including parapet walls, rails, stair or elevator towers, trellis or other overhead elements shall not exceed the permitted maximum height of the building.
- Stair or elevator towers that provide access to the rooftop deck shall be designed as an integral component of the architectural composition of the elevation.

- Parapets may be solid wall to match the architecture of the residence or open rail in a design that is compatible with the architecture of the building.
- Rooftop decks enclosed by solid parapet walls must use scuppers and/or internal drains for drainage.
- Exposed parapet walls on front elevations (and visible rear elevations, if any) are permitted on Spanish Colonial, Mediterranean, Andalusian, Italian, Brownstone and Contemporary architectural styles only.
- An exposed parapet wall on front elevations (and visible rear elevations, if any) is not permitted on Craftsman, Prairie, American Traditional, Country European, and Tuscan architectural styles. These styles must feature a sloped roof to disguise the parapet element.
- Exposed parapet walls to enclose the rooftop decks are not allowed on corner side elevations regardless of architectural style. When rooftop decks are plotted on corner lots, a sloped roof must be used to disguise the parapet element.
- Side facing parapets are permitted for the full length of the rooftop deck on interior side lot lines, regardless of architectural style.

#### **CHIMNEYS**

Chimneys, when provided, shall be compatible in design, material, and color with the adjoining building. Chimneys caps shall be compatible with the architecture of the building.

#### **VENTS**

B' type vents for gas appliances, water heaters, and heating units shall be painted to match the roof color. Such elements shall be located to minimize visual impact to building elevations.

#### **EXTERIOR STAIRS**

Exterior stairs must be designed as an integral part of the architecture.

Stairs are included in the setback calculation.

Stair guardrail design must be consistent with the architecture of the building.

#### **AWNINGS**

Awnings, when provided, must be designed as an integral part of the architecture.

Unacceptable awning treatments include metal louvers (except for Bermuda style shutters), untreated fabric, and project names, texts, or logos.

#### **MECHANICAL EQUIPMENT**

No mechanical equipment (air conditioning/heating units, etc.) shall be mounted on, or attached to, any sloped roof. Mechanical equipment, when mounted on flat roofs, must be completely screened by parapet walls at least as tall as the equipment screened.

Ground mounted air conditioning units must be screened by walls or permanent screening materials at least 1' higher than the unit(s) and located away from pedestrian paths and project amenities.

Mechanical devices such as exhaust fans, vents, and pipes shall be painted to match adjacent roof surfaces.

#### **METERS**

Natural gas meters shall be grouped and screened behind walls or permanent screening materials. Builders shall contact Southwest Gas for minimum clearances.

Electrical meters shall be ganged and located behind doors. Builders shall contact Nevada Power Company for minimum clearances.

Screen walls and electrical enclosures shall be designed integral to the project's architecture.

#### **SOLAR PANELS**

Panels shall be mounted directly to a sloped roof plane and be integral to the roof design.

Roof mounted solar panel equipment shall be similar to the roof in color and appearance and have a reflectivity value of 20% or less.

Non-camouflaged solar panel equipment shall be located behind parapet walls of equal height to the equipment.

#### **GUTTERS AND DOWNSPOUTS**

Exposed gutters and downspouts, when used, shall be colored to either match or complement the surface to which they are attached.

#### **4.4.3 ACCESSORY STRUCTURES**

##### **CLUBHOUSE AND RECREATION BUILDINGS**

Clubhouses, recreation buildings, and other support buildings shall match the architectural style and detailing of the residential buildings.

##### **STORAGE BUILDINGS**

Storage buildings must have the same level of architectural detailing as the residential buildings within the project.

##### **DETACHED GARAGES**

Detached garages, when provided, must use a similar roof treatment and building material as the residential buildings they serve.

Six-car detached garage structures are preferred as a maximum. Detached garage structures with more than six parking spaces shall have a minimum 2' garage door offset within the length of the structure.

##### **CARPORTS**

Free-standing metal carports shall be cantilever type and must have a minimum 6" tall fascia wrapping all four sides of the roof.

Carports shall have end walls or other screening devices with architectural detailing similar to the residential buildings.

Carport length shall not exceed the width of 8 parking spaces.

Carport color, including roofs, must complement the development.

#### **PARKING**

Dedicated on street parking spaces shall be counted in establishing the ratio of guest parking spaces to total unit count in any Urban Residential Parcel.

#### **TRASH ENCLOSURES**

Trash enclosures shall be constructed of concrete masonry units finished similar to buildings in the development.

All trash enclosures shall have opaque metal gates that are designed consistent with the development.

Each trash enclosure shall have a lighted access that meets federal accessibility standards.

## 4.5 ARCHITECTURAL STYLES

The following pages describe the wide variety of architectural styles that are permitted in Kyle Canyon. The goal is to create the memorable character, identity and appeal that these neighborhoods display, not to produce exact replicas of historic buildings.

## 4.5.1 CRAFTSMAN

### IDENTIFYING CHARACTERISTICS

- Low-pitched gable roofs, occasionally hipped
- Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables
- Broad windows and doors
- Walls of stucco, siding, shingles, brick, stone or other masonry



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## 4.5.1 CRAFTSMAN

### BUILDING FORM

Horizontal character through the use of one and/or two story boxed massing with vertical and horizontal offsets.

### ROOFS

Roof Form: Low-pitched gabled roofs

| Minimum Overhang: | <u>Rake or Eave</u> |
|-------------------|---------------------|
| Estate Lots       | 24"                 |
| Standard Lots     | 18"                 |
| Compact Lots      | 18"                 |

Roof Slope: 4:12 Preferred  
5:12 Maximum

Roof Material: Flat concrete or metal tile to simulate wood shakes

### WALLS

Stucco walls combined with other accent materials such as simulated siding or shingles, river rock stone, brick or other masonry.

Stucco, when used, shall be as follows

Primary Walls: Light lace or smoother  
Trim, Stucco Eaves, Etc.: Sand or smoother

### WINDOWS

At least one principal window with a minimum recess or surround of 12"

All other windows on front and visible side and rear elevations to have header, sill, or trim surrounds

Vertical proportion to windows

Typically, multi-paned upper sash with single pane below

Ribbon windows – 3 or more ganged

### ENTRIES

Entry sheltered within front porch

### DOORS

Entry doors should feature basic geometric patterns, and or multi-paned windows with wood trim surround

### DETAIL ELEMENTS

Broad front porches

Heavy square or tapered columns resting on stone or brick piers

Wide projecting eaves with exposed rafter tails, and decorative beams or braces added under the gables

Generous use of river rock stone, brick or other masonry as an accent material

Arts and Crafts style lighting fixtures

Shutters, when used, that are plank or panel

### COLORS

Light to medium earth tone colors with contrasting trim and accent colors



## CRAFTSMAN

Low-pitched gable roofs, occasionally hipped with wide projecting eaves and exposed rafter tails, decorative beams or braces also added under the gables. broad windows and doors and walls of brick siding, stucco, or stone.

Tapered columns



Broad Front Porches



Exposed rafter tail and braces



Windows with Multi-pane upper sash and single pane below



Horizontal emphasis of building forms

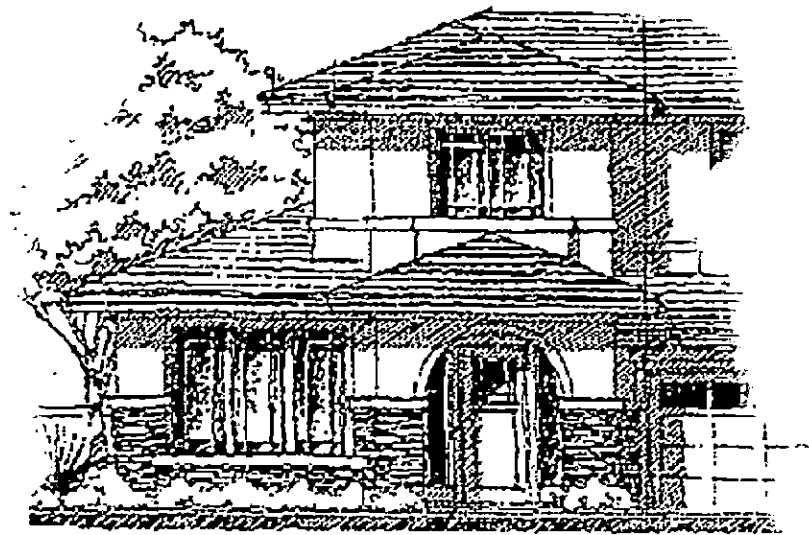


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## 4.5.2 PRAIRIE RANCH

### IDENTIFYING CHARACTERISTICS

- Lower pitched roofs with wide overhanging eaves
- Detailing emphasizing horizontal lines
- Horizontal massing
- Stone horizontal base
- Ganged articulated windows with breaks



- **4.5.2 PRAIRIE RANCH**

- **BUILDING FORM**

A horizontal character achieved through the use of single-story elements and plate lines, along with low roof pitches

**ROOFS**

Roof Form: Primary roof form shall be hipped to emphasize the horizontality of the building. Low-pitched gable roofs may be used as secondary elements only

Roof Material: Flat concrete or metal tile

Roof pitch: 4:12 Preferred 3:12 to 5:12 Permitted

Minimum Overhang:

|               |     |
|---------------|-----|
| Estate Lots:  | 24  |
| Standard Lots | 18" |
| Compact Lots  | 18" |

**WALLS**

Stucco and / or stone are the primary wall materials.

Stone, when used, may be applied to an entire wall surface or as a wainscot to emphasize horizontality.

Stucco, when used, shall be as follows

Primary Walls: Light lace or smoother

Trim, Stucco Eaves, Etc.: Sand or smoother

- **WINDOWS**

Windows arranged as horizontal bands immediately below the eave line

Trim used to unify window bands

Window boxes or plant shelves

Muntins shall be used consistently with the style

**ENTRIES**

An articulated entry is typical of the style, and may be achieved in many ways, such as with a portico element, front porch, or arch element.

The entry should be covered and incorporate the veneer base if applicable

**DOORS**

Decorative geometric door windows or other ornamentation should be used.

**DETAIL ELEMENTS**

Contrasting wall materials or trim emphasizing horizontality.

**COLORS**

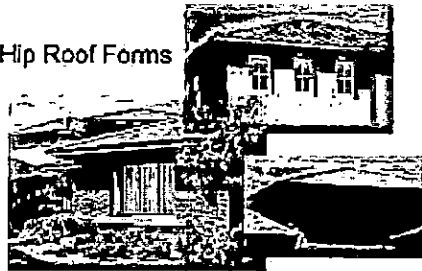
Natural colors with contrasting colors on eaves and trim



### PRAIRIE RANCH

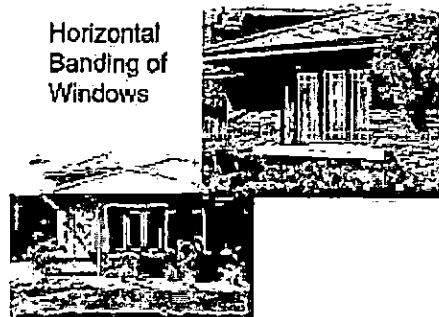
Lower pitched roofs with wide overhanging eaves and detailing emphasizing horizontal lines creates distinct angle for this style. Horizontal massing with stone bases are further detailed with grouped articulated multi-paned windows.

Hip Roof Forms

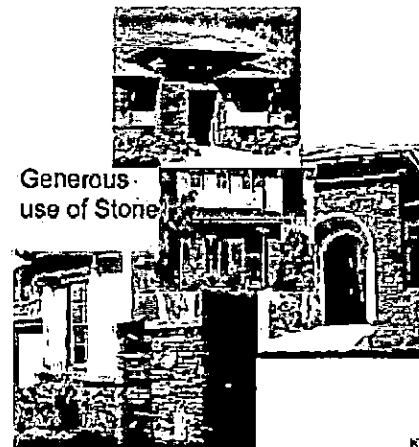


Broad Overhangs

Horizontal Banding of Windows



Generous use of Stone

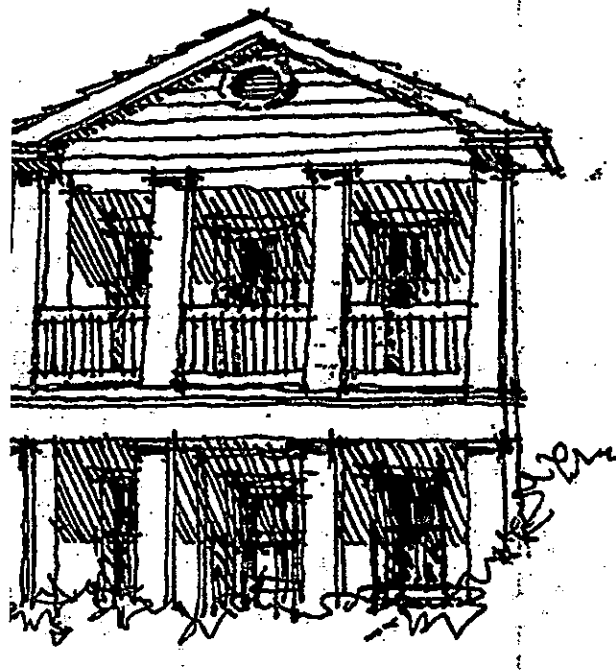


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### 4.5.3 AMERICAN TRADITIONAL

#### IDENTIFYING CHARACTERISTICS

- Flat roof tiles
- Predominant front porch or entry
- Traditional columns or posts
- Generous use of siding or brick
- Decorative Elements, such as window boxes and oculi.



---

### 4.5.3 AMERICAN TRADITIONAL

#### BUILDING FORM

Formal box-like massing

#### ROOFS

Roof Form: Predominantly gable framed front to back. Front facing cross-gables permitted

Roof Material: Flat concrete or metal tiles

Minimum Overhangs: 12" or greater

Roof Slope: 4:12 to 6:12

#### WALLS

The predominant material on front elevations shall be cementitious siding or brick. If stucco is used, it shall not comprise more than 50% of the front elevation wall surface

Stucco Walls: Light lace or smoother

Trim, Eaves, Etc.: Stucco; sand or smoother  
Wood; painted or stained

#### WINDOWS

At least one principal window with a minimum recess or surround of 6".

Principal window treatment to feature traditionally detailed trim element

All other windows on front and visible side and rear elevations to have trim surrounds, or headers and sills

#### DOORS

Entry door shall be a raised panel design or other traditionally detailed door

Entry shall be formal with traditional detailing

#### DETAIL ELEMENTS

The following elements in the next column describe typical elements characteristic of American Traditional architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Master Developer.

Three or more of these elements are required on front elevations:

- ✓ Color blocking on front elevation
- ✓ Dash or sand finish on stucco surfaces
- ✓ Entry door with a minimum recess or surround of 12"
- ✓ Use of sidelights
- ✓ Traditionally detailed square columns or posts on front elevation
- ✓ Traditionally detailed headers in conjunction with 12" projecting window boxes
- ✓ Picket fence elements connected to/close relation to the front elevation of home
- ✓ At least 2 segmented arch elements
- ✓ Panel or louver shutters proportional in size to window opening.
- ✓ Traditional detail elements such as oculii, gable end vents, etc.

Two or more of these elements are required on front elevations:

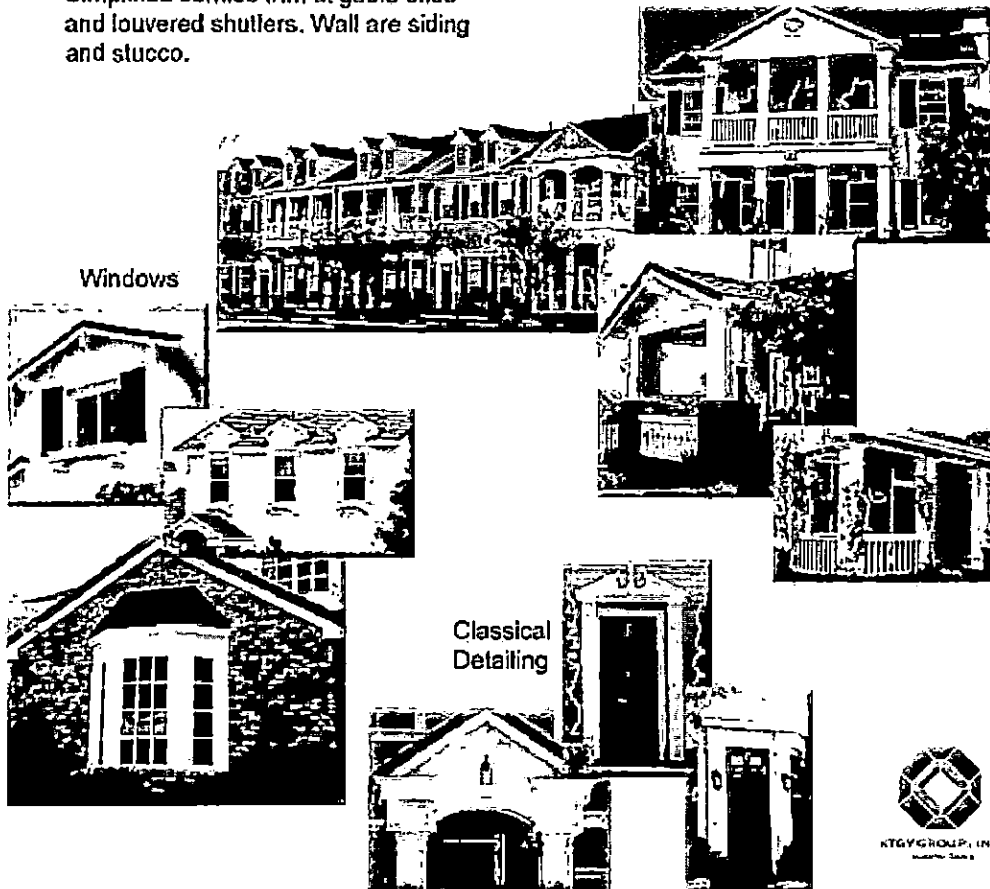
- ✓ Over scaled front porch supported by traditionally detailed square posts or columns (2 story porch heights permitted)
- ✓ Over scaled entry featuring classical detailing
- ✓ Pediment columns
- ✓ Window dormers on the roof or breaking the eave line
- ✓ Exposed rafter tails
- ✓ Wall plane offset of at least 2' vertical or horizontal
- ✓ Entry door of upgraded detail and design consistent with the architectural style
- ✓ Garage door of upgraded detail and design consistent with the architectural style
- ✓ Smooth steel trowel finish on stucco surfaces
- ✓ Additional use of upgraded stone on front elevation, 25% minimum
- ✓ Substantially enhanced front landscaping, submitted with elevations, to be approved by the Master Developer



## AMERICAN TRADITIONAL

Asymmetrical massing with wood porches and classical square railings. Simplified cornice trim at gable ends and louvered shutters. Wall are siding and stucco.

Front Porches and Accentuated Entries

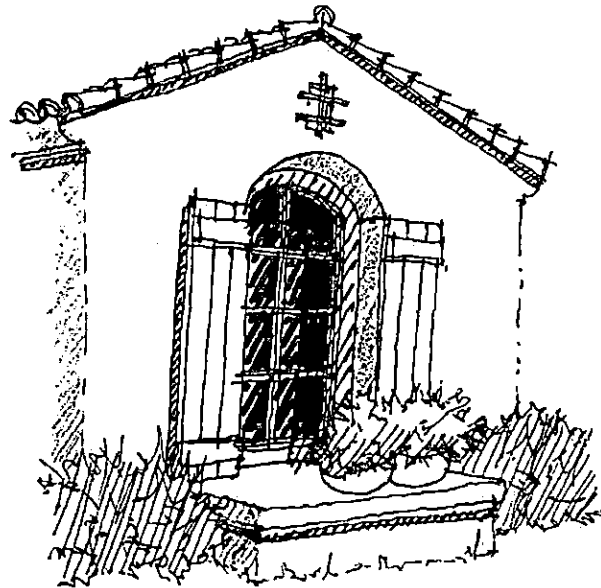


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## 4.5.4 SPANISH COLONIAL

### IDENTIFYING CHARACTERISTICS

- Red Barrel Tile Roofs
- Fully Rounded Arch Elements
- Entry Courtyards with Gates
- Arcades
- Deep Recessed Windows/Doors
- Decorative Elements, including Wrought Iron, Clay Vents, Ceramic Tiles, Etc.



---

## 4.5.4 SPANISH COLONIAL

### BUILDING FORM

Asymmetrical 1 and/or 2 story building forms

### ROOFS

Roof Form: Primarily gable with at least one intersecting gable or hip element

Roof Material: Clay or Concrete Barrel or "S" tiles only

| Minimum Overhangs | <u>Rakes</u> | <u>Eaves</u> |
|-------------------|--------------|--------------|
| Estate Lots       | 12"          | 18"          |
| Standard Lots     | 12"          | 12"          |
| Compact Lots      | 12"          | 12"          |

Roof Slope: 4:12 Preferred. 5:12 Maximum

### WALLS

:

Primary Walls: Light lace or smoother

Trim, Stucco Eaves, Etc.: Sand or smoother

### WINDOWS

At least one principal window with a minimum recess or surround of 12"

All other windows on front and visible side and rear elevations to have header, sill, or trim surrounds

Generally, windows on front elevations should have a tall, narrow appearance

Grid or horizontal mullion patterns appropriate

### ENTRIES

Entry should be articulated through the use of a porch, tower element, courtyard, arch or other similar element to accentuate the sense of arrival

### DOORS

If entry is not covered, the front door should have a minimum recess or surround of 12"

### DETAIL ELEMENTS

The front elevation shall feature fully rounded arch element in conjunction with the entry door, porch element, principal window, or garage. Minimum requirements are as follows:

|               |                          |
|---------------|--------------------------|
| Estate Lots   | At least 3 arch elements |
| Standard Lots | At least 2 arch elements |
| Compact Lots  | At least 1 arch element  |

An arcade of arches is encouraged in conjunction with a porch or courtyard

The use of shutters is required as described below. All shutters shall be plank, consistent with this architectural style.

|               |                  |
|---------------|------------------|
| Estate Lots   | At least 3 pairs |
| Standard Lots | At least 2 pairs |
| Compact Lots  | At least 1 pair  |

Decorative iron shall be used on front elevations and may include wrought iron railing or decorative iron grille-work. Railings shall have simple straight or curved vertical pickets, consistent with Spanish Colonial architecture  
Front elevations shall feature decorative clay vents at gable ends or decorative grid design (recessed or projecting) on wall planes.

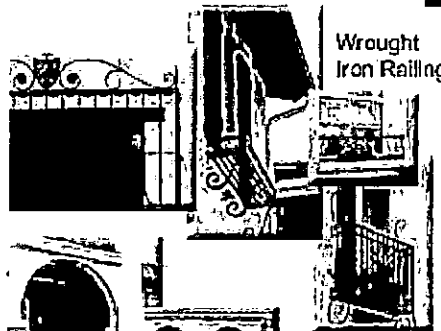
### COLORS

Light stucco body colors with contrasting trim and accent colors..

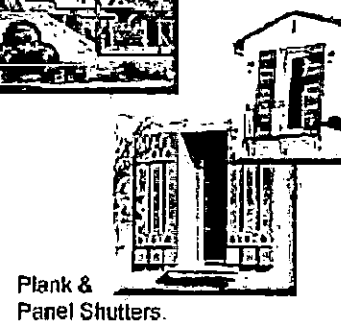


### SPANISH COLONIAL

This style is defined by fully round arch elements, red barrel tile roofs and entry courtyards with gate. Details the facade include colonnaded arcades, deep recessed primary windows or doors as well as wrought iron, clay vents and ceramic tiles.



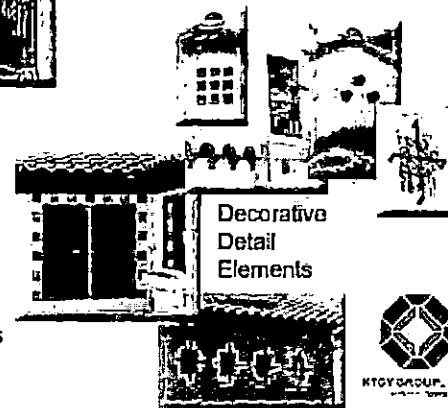
Wrought  
Iron Railing



Plank &  
Panel Shutters.



Rounded  
Arch  
Elements



Decorative  
Detail  
Elements

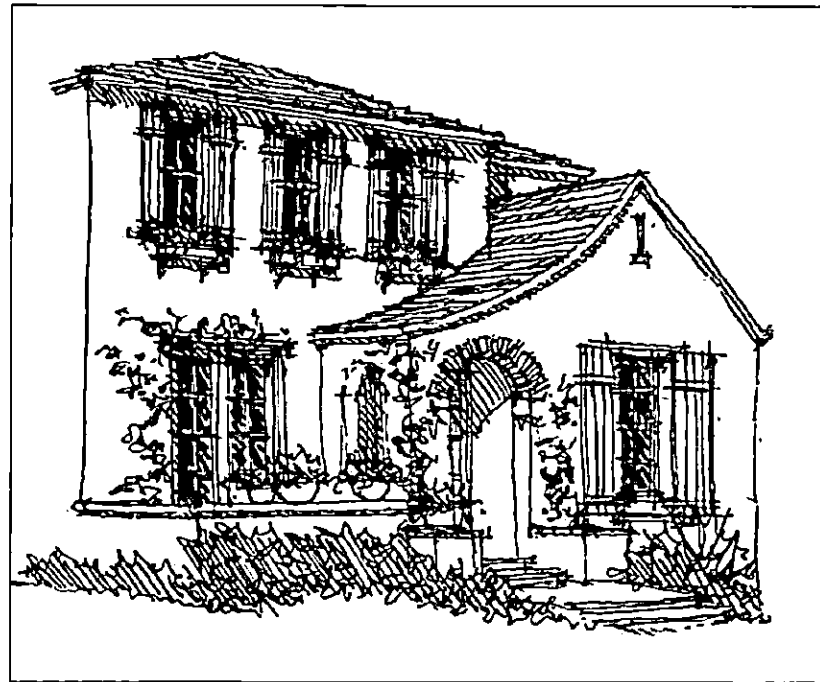


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## 4.5.5 COUNTRY EUROPEAN

### IDENTIFYING CHARACTERISTICS

- Informal arrangement of building forms
- Predominantly flat tile roof
- Mostly hip roofs, with cross gables
- Rural character through use of fieldstone and rustic materials
- Rich earthy color tones
- 



## 4.5.5 COUNTRY EUROPEAN

### BUILDING FORM

Asymmetrical 1 and 2 story massing with both vertical and horizontal breaks

### ROOFS

Roof Form: main roof hip or gable with intersecting hip or gable secondary roofs.

Rooflines sloping down from second story to first story at front elevation are typical

Roof Material: Flat concrete roof tiles

Roof Slope: Varies from 5:12 to 12:12

A minimum 6:12 roof slope required on a portion of the elevation. This may occur on the entire roof form, or on a significant portion of the roof visible from the street, such as at an entry element, projecting wing, etc.

| Minimum Overhangs | <u>Rakes*</u> | <u>Eaves</u> |
|-------------------|---------------|--------------|
| Estate Lots       | 12" +         | 24"          |
| Standard Lots     | 12" +         | 18"          |
| Compact Lots      | 8" +          | 12"          |

\*Tight rakes are allowed as long as they are compatible with the design of the building; otherwise 8" or 12" as described above.

### WALLS

Stucco, when used, shall be as follows

Primary Walls: Light lace or smoother

Trim, Stucco Eaves, Etc: Sand or smoother

A portion of the front wall plane shall consist of stone or brick as follows:

Estate Lots 30% of the front wall plane\*

Standard Lots 20% of the front wall plane\*

Compact Lots 10% of the front wall plane\*

\*Excludes the area devoted to windows and doors

### WINDOWS

At least one principal window with a minimum recess or surround of 12"

All other windows on front and visible side and rear elevations to have header, sill, or trim surrounds

Segmented arches at special openings

Bay window as a feature element

### ENTRIES

Entry should be sufficiently articulated to accentuate the sense of arrival.

### DOORS

If entry is not covered, the front door should have a minimum recess or surround of 12"

### DETAIL ELEMENTS

Soft arch elements in conjunction with the front entry door, porch, or feature window.

Quoins and keystones are typically used

Reverse arch shutters

Decorative wrought iron balcony railings

Window boxes or plant ledges projecting at least 12" from the wall plane.

Wrought iron or wooden window boxes

Chimneys, when used, with simple tapered lines

Use of turrets and dormer windows

### COLORS

Light body colors with contrasting trim.



## COUNTRY EUROPEAN

Informal arrangement of building forms and the use of fieldstone and other rustic materials creates a rural character for this style. Mainly hipped roofs with steep stantling cross gables are topped with predominantly flat tile roofs on homes with rich earthy color tones.

Bay Windows & Dormers



Steeper Roof Pitches on all or Portions of Roof



Segmented Arches



Accentuated Openings



Turret or Tower Element



Reverse Arch Shutters

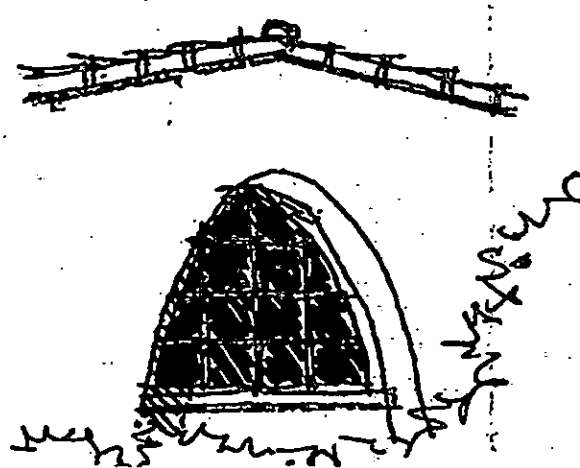


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SINCE 1888

## 4.5.6 Andalusian

### IDENTIFYING CHARACTERISTICS

- Asymmetrical building masses
- Entry forecourts or courtyards
- Ogee shaped trim elements
- Abundant use of colorful tile accents



## 4.5.6 ANDALUSIAN

### BUILDING FORM

Asymmetrical building forms; occasional 2nd floor cantilevered elements

### ROOFS

Roof Form: Hip, gable or a combination of both

Roof Material: Clay or Concrete Barrel or "S" tiles only

Minimum Overhangs

Rakes 0" or 6"

Eaves 6" or greater

Roof Slope: 4:12 to 5½:12

### WALLS

Primary Walls: Stucco; light lace or smoother

Trim, Eaves, Etc.: Stucco; sand or smoother  
Wood; painted or stained

### WINDOWS

At least one feature window with a minimum recess or surround of 6", or as described in Section 3.1.3

All visible side and rear elevations shall have trim surrounds, or headers and sills

### DETAIL ELEMENTS

The following elements below and in the next column describe typical elements characteristic of Andalusian architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Master Developer.

Three or more of these (A category) elements are required on front elevations:

- ✓ Use of a parabolic shaped feature window
- ✓ The use of an ogee-shaped surround or comparably ornate element on an entry, door opening, feature window, or etc.
- ✓ Use of colorful decorative tile in such elements as trims and decorative recesses
- ✓ Fully round or segmented arch elements, required in conjunction with porch or second story windows

- ✓ Use of round and arched stacked tile accents, especially as wall accents or at gabled ends
- ✓ Over scaled stucco trim surround for emphasis, particularly on feature windows, minimum surround width 8"
- ✓ Dash or sand finish on stucco surfaces
- ✓ Color blocking on front elevation

Two or more of these elements are required on front elevations:

- ✓ Projecting balcony supported on large corbels or brackets
- ✓ Use of square columns on balcony or porch elements, minimum 18" square stucco columns
- ✓ Balustrades with an "X" motif of clay tiles used on balcony or porch rails and repeated as decorative ornamentation on other elements or wall surfaces as appropriate
- ✓ Exterior staircase with "stepped" balustrades
- ✓ A small "Mirador" or covered 2nd outdoor room set in a square tower form
- ✓ Entry door of upgraded detail and design or fully round arched entry door
- ✓ Entry articulated as a focal element through the use of a courtyard, portico, tower element, or other element to accentuate the sense of arrival
- ✓ Wall plane offset of at least 2' vertical or horizontal
- ✓ Over scaled precast trim surround for emphasis, particularly on feature windows, minimum surround width 8"
- ✓ Courtyard space defined by low courtyard walls consistent with architectural style
- ✓ Decorative tile on exterior stair risers
- ✓ Awnings with decorative/substantial supports and brackets.
- ✓ Entry door of upgraded detail and design consistent with the architectural style
- ✓ Garage door of upgraded detail and design consistent with the architectural style
- ✓ Smooth steel trowel finish on stucco surfaces
- ✓ Substantially enhanced front landscaping, submitted with elevations, to be approved by the Master Developer



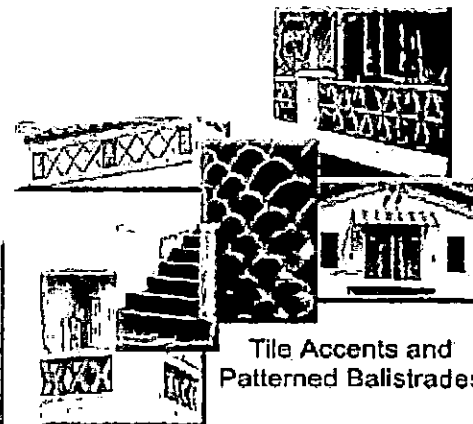
## ANDALUSIAN

Asymmetrical one and two story buildings are the basis for this style. Entries are monumented by forecourts or courtyard with shaped trim elements. Abundant use of colorful tile accents nicely details the style.



Parabolic Accented Windows & Doors

Large Corbels or Brackets



Tile Accents and  
Patterned Balustrades



Stepped Balustrades  
on Staircase

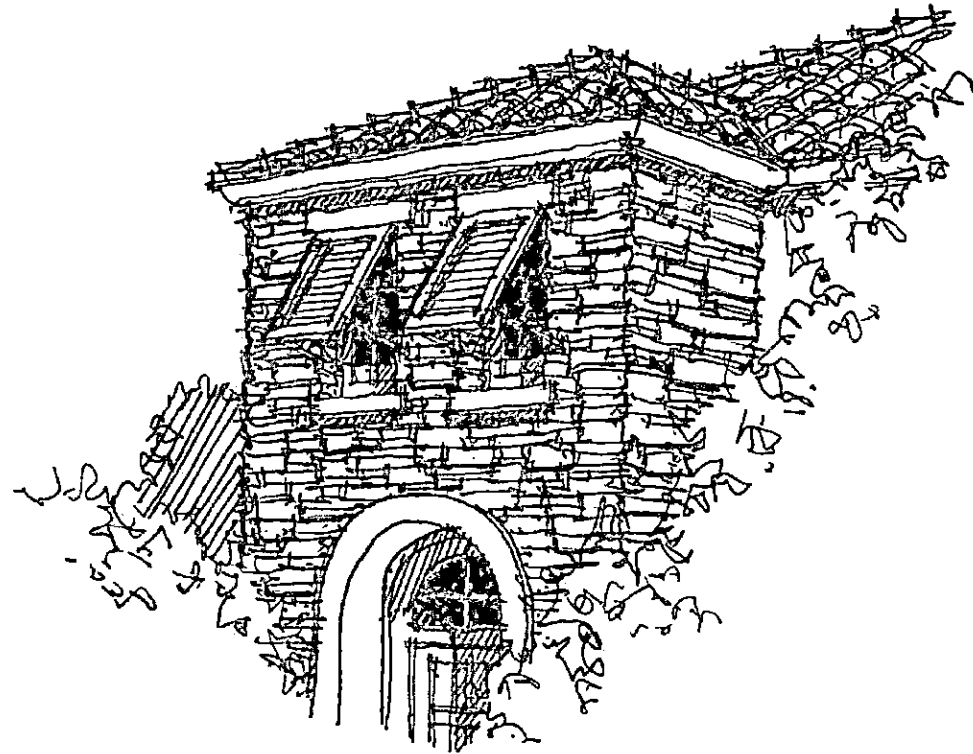


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## 4.5.7 Tuscan

### IDENTIFYING CHARACTERISTICS

- Informal arrangement of building forms
- Mostly hip roofs with occasional gable or cross gables
- Predominantly barrel tile roofs
- Rural character through the use of fieldstone or other rustic materials
- Rich earthy color tones



## 4.5.7 TUSCAN

### BUILDING FORM

Informal, asymmetrical arrangement of one and two story building forms.

### ROOFS

Roof Form: Primarily hipped with secondary cross gables or hips

Roof Material: Clay or Concrete barrel or "S" tiles

Minimum Overhang: Rake or Eave

Estate: 18"

Standard: 12"

Small: 12"

Roof Slope: 4:12 to 5:12

### WALLS

Use of fieldstone is required on 25% of the front elevation

Primary Walls: Stucco; light lace or smoother

Trim, Eaves, Etc.: Stucco; sand or smoother  
Wood; painted or stained

### WINDOWS

At least one feature window with a minimum recess or surround of 12" or as described in Section 3.1.3

All other windows on front and visible side and rear elevations shall have trim surround or header and sill

Window mullions, if used, shall be grid pattern

### DETAIL ELEMENTS

The following elements below and in the next column describe typical elements characteristic of Tuscan architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Master Developer.

Three or more of these (A category) elements are required on front elevations:

- ✓ Fully rounded or segmented arch elements on front elevation
- ✓ "Lacy" wrought iron grille work
- ✓ Entry door with a minimum recess or surround of 24"

- ✓ Plank shutters
- ✓ Two or more exaggerated vertical windows, 1: 2½ proportion (width/height)
- ✓ Enhanced stucco trim element
- ✓ Decorative column detail at window, door, porch, or garage door
- ✓ Enhanced stucco trim elements
- ✓ Dash or sand finish on stucco surfaces
- ✓ Color blocking on front elevation

ONE or more of these (B category) elements are required on front elevations:

- ✓ Bermuda style shutters
- ✓ Entry articulated as a focal element through the use of a porch, courtyard, tower element, arch, strong surround, or other element to accentuate the sense of arrival
- ✓ Header or sill in conjunction with a 2" recess on all front elevation windows
- ✓ Precast stone or concrete trim element
- ✓ Additional use of upgraded stone on front elevation, 50% minimum
- ✓ Entry door of upgraded detail and design consistent with the architectural style
- ✓ Garage door of upgraded detail and design consistent with the architectural style
- ✓ Smooth steel trowel finish on stucco surfaces
- ✓ Substantially enhanced front landscaping, submitted with elevations, to be approved by the Master Developer
- ✓ Wall plane offset of at least 2' vertical or horizontal
- ✓ Juliet or false balconies on second story windows with ornamental iron work



## TUSCAN

Informal arrangement of building forms with mostly hipped roof, accented by the occasional gable or cross-gable. Red tile roofs above tall narrow windows with or without shutters. Use of fieldstone or other rustic material completes the rural appearance of this style.



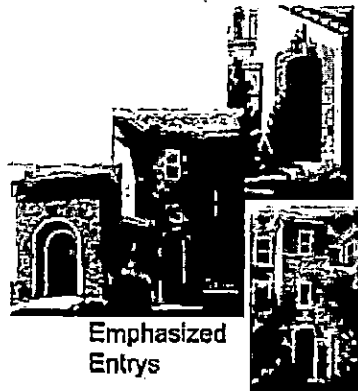
Use of  
Field Stone



Decorative Wrought  
Iron Railing



Detail  
Elements



Emphasized  
Entrys



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## 4.5.8 MEDITERRANEAN

### IDENTIFYING CHARACTERISTICS

- Asymmetrical building masses
- Refined use of details and materials
- Low pitched red tile roofs
- Use of arch elements at doors or feature windows



#### 4.5.8 MEDITERRANEAN

##### BUILDING FORM

Asymmetrical building forms

Often "L" or "U" shape to form an entry courtyard

Height of 1<sup>st</sup> floor plate should be proportionately taller than the 2<sup>nd</sup> floor plate

Characteristically features a turret or tower element with separate roof

##### ROOFS

Roof Form: Combination of hip and gable roofs

Roof Material: Clay or Concrete Barrel or "S" tiles only

Minimum Overhangs

Rakes 0" or 12"

Eaves 12" or greater

Roof Slope: 4:12 to 5:12

##### WALLS

Primary Walls: Stucco; light lace or smoother

Trim, Eaves, Etc.: Stucco; sand or smoother  
Wood; painted or stained

##### WINDOWS

At least one feature window with a minimum recess or surround of 12".

Windows on front elevations shall have a tall, narrow appearance

Windows should be grouped to achieve a classic rhythm. Window groupings should be connected with implied columns and strong, continuous sills

##### DETAIL ELEMENTS

The following elements below and in the next column describe typical elements characteristic of Mediterranean architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Master Developer.

Three or more of these (A category) elements are required on front elevations:

- ✓ Entry door with a minimum recess or surround of 24"
- ✓ Decorative wrought iron railing or decorative grille-work. (Standard tubular steel is not considered decorative.)

- ✓
- ✓ Use of colorful decorative tile in such elements as trims and decorative recesses
- ✓ Over scaled stucco trim surround for emphasis, particularly on feature windows, minimum surround width 8"
- ✓ Fully round or segmented arch windows on second floor
- ✓ Front facing gable ends detailed with elements such as decorative clay vents, recessed or projecting stucco grid, ceramic tiles, etc.
- ✓ Panel or plank shutters
- ✓ Dash or sand finish on stucco surfaces
- ✓ Color blocking on front elevation

Two or more of these (B category) elements are required on front elevations:

- ✓ A significantly scaled wood or iron balcony, minimum depth 2'
- ✓ Fully round arch elements in conjunction with the entry door, porch element, principal window.
- ✓ Decorative tile on exterior stair risers
- ✓ Over scaled precast trim surround for emphasis, particularly on feature windows, minimum surround width 8"
- ✓ Entry articulated as a focal element through the use of a porch, courtyard, tower (round or square) element, arch, strong surround, or other element to accentuate the sense of arrival
- ✓ Bermuda shutters or awnings with decorative/substantial supports and brackets
- ✓ Header or sill in conjunction with a 2" recess or surround on all front or visible front elevation windows
- ✓ Entry door of upgraded detail and design consistent with the architectural style
- ✓ Garage door of upgraded detail and design consistent with the architectural style
- ✓ Smooth steel trowel finish on stucco surfaces
- ✓ Substantially enhanced front landscaping, submitted with elevations, to be approved by the Master Developer
- ✓ Wall plane offset of at least 2' vertical or horizontal
- ✓ Juliet or false balconies on second story windows

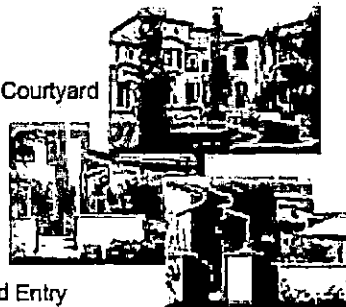


### MEDITERANEAN

Asymmetrical combination of 1 and 2 story building masses articulated with lower elements or arcades. Low pitched gable roof forms are predominant with occasional hips done in red tile. Use of arch elements at doors or featured windows and abundant use of decorative elements such as patterned tiles, grille work and shutters.



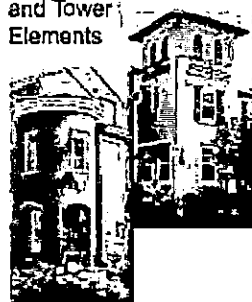
Entry Courtyard



Vertically Proportional  
& Rounded Windows



Accentuated Entry  
and Tower  
Elements



Decorative Tile

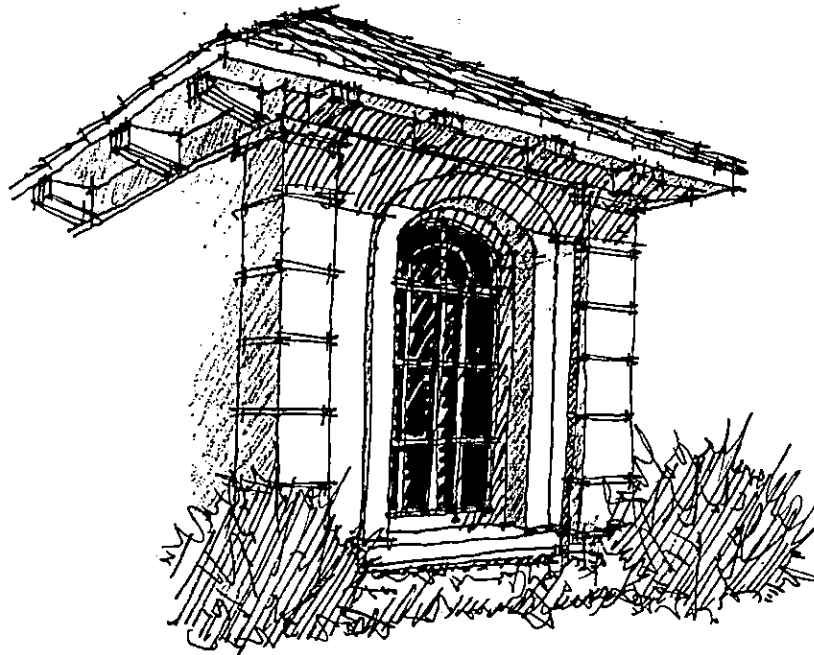


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## 4.5.9 Southern Italian

### IDENTIFYING CHARACTERISTICS

- Formal box-like massing
- Low-pitched hipped roofs with barrel shaped or flat tiles
- Wide overhangs w/ decorative brackets
- Arched windows & doors common on 1st floor
- Entry columns accentuated with classic



## 4.5.9 SOUTHERN ITALIAN

### BUILDING FORM

Formal, symmetrical nature to front facade

### ROOFS

Roof Form: Primarily hipped

Roof Material: Clay or concrete barrel or "S" tiles or flat tiles

| Minimum Overhang | <u>Rake or Eave</u> |
|------------------|---------------------|
|------------------|---------------------|

|              |     |
|--------------|-----|
| Estate Lots: | 18" |
|--------------|-----|

|               |     |
|---------------|-----|
| Standard Lots | 12" |
|---------------|-----|

|               |     |
|---------------|-----|
| Compact Lots: | 12" |
|---------------|-----|

|             |              |
|-------------|--------------|
| Roof Slope: | 4:12 to 5:12 |
|-------------|--------------|

### WALLS

|                |                                |
|----------------|--------------------------------|
| Primary Walls: | Stucco; light lace or smoother |
|----------------|--------------------------------|

|                   |                                                      |
|-------------------|------------------------------------------------------|
| Trim, Eaves, Etc. | Stucco; sand or smoother<br>Wood; painted or stained |
|-------------------|------------------------------------------------------|

### WINDOWS

At least one feature window with a minimum recess or surround of 12 or as described in Section 3.1.3

All other windows on front and visible side and rear elevations shall have trim surround or header and sill

Windows shall be tall and narrow in proportion

### DETAIL ELEMENTS

The following elements below and in the next column describe typical elements characteristic of Southern Italian architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Master Developer.

Three or more of these elements are required on front elevations:

- ✓ Recessed or projecting round stucco accents in conjunction with windows or doors
- ✓ Entry door with a minimum recess or surround of 12"

- ✓ Grouping of windows (2 or 3) with strong horizontal projecting sills
- ✓ Quoins Enhanced horizontal banding at first and second story plate height, cast concrete appearance
- ✓ Two or more exaggerated vertical windows, 1:2½ proportion (width/height)
- ✓ Palladian windows
- ✓ Use of shutters
- ✓ Arched windows, fully round or segmented
- ✓ Decorative column detail at window, door, porch, or garage door
- ✓ Dash or sand finish on stucco surfaces
- ✓ Color blocking on front elevation

Two or more of these elements are required on front elevations:

- ✓ Stucco soffits with paired eave brackets or dentil detailing
- ✓ Entry articulated as a focal element through the use of a courtyard, portico, tower element, or other element to accentuate the sense of arrival
- ✓ Header or sill in conjunction with a 2" recess on all front elevation windows
- ✓ Entry door of upgraded detail and design consistent with the architectural style
- ✓ Garage door of upgraded detail and design consistent with the architectural style
- ✓ Smooth steel trowel finish on stucco surfaces
- ✓ Substantially enhanced front landscaping, submitted with elevations, to be approved by the Master Developer
- ✓ Wall plane offset of at least 2' vertical or horizontal



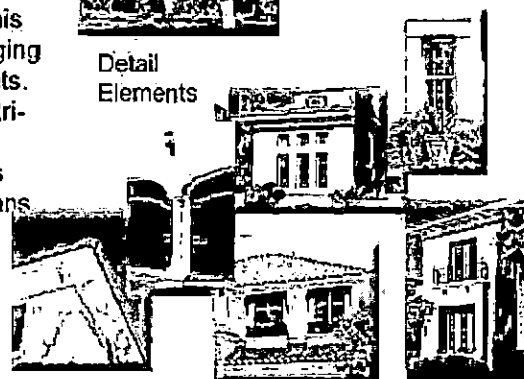
### SOUTHERN ITALIAN

This style begins with formal box-like massing topped with low-pitched hip roof with barrel shaped or flat roof tiles. This roof line spills over with wide overhanging eaves supported by decorative brackets. Facade treatment is generally symmetrical with arched windows and doors common on the first floor. The entry is often accentuated with classical columns.

Accentuated Entry



Detail Elements



Rounded Arch Elements



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## 4.5.10 Brownstone

### IDENTIFYING CHARACTERISTICS

- Streetscape vista as important as individual house
- Simple building forms enhanced with bold elements
- Recessed entry doors
- Projecting stoops/ stairs
- Elaborate cornice



---

## BUILDING FORM

- Symmetrical building forms up to 3 stories
- Architectural massing and building elements should create a sense of symmetry and rhythm to the streetscene
- Main living floor plate height should be at least 1' greater in height than upper floors

### ROOFS

- Roof Form: Generally low pitch or flat roofs with parapets on front elevation
- Hip roof with tight eaves strong detailing of cornice permitted
- Boldly protruding cornice, supported by brackets. Minimal change in cornice elevation from house to house (site grades permitting).
- Clay or concrete barrel or "S" tiles or flat tiles on pitched roofs  
(Low Profile "S" tiles permitted on Village and Garden Homes only)

### Walls

- Primary wall material shall be dark colored brick or stone. (Stone should have an appearance of cut stone. Fieldstone is not permitted).
- Stucco, if used shall be light lace or smoother
- Trim, Eaves, Etc.:
  - Stucco; sand or smoother
  - Wood; painted or stained
  - Pre-cast veneer
  - Cut-stone veneer

### DETAIL ELEMENTS

The next column describe typical elements characteristic of Brownstone architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Design Review Committee.

Three or more of these (A category) elements are required on front elevations:

- Belt course of stone or brick between 2nd and 3rd floor on 3 story buildings
- Two or more exaggerated vertical windows, 1: 2½ proportion (width/ height)
- Entry featuring transom or fanlight over door
- Front doorway recessed from the adjacent wall plane a minimum of 24"
- Stoop at raised entry, where feasible
- Segmented arch elements
- Panel shutters
- Header and window box on upper floors
- Enhanced flat work (brick or paving) at entry walk
- Dash or sand finish on stucco surfaces
- Color blocking on front elevation

Two or more of these (B category) elements are required on front elevations:

- Vertically proportioned bay windows contributing to the overall symmetry of the streetscene
- Entry elaborately detailed with a door hood or pediment supported by corbels
- Traditionally detailed columns on front elevation
- Stoop railing of decorative iron or concrete balustrade
- Elaborate cornices
- Exposed rafter tails
- Added stone or brick braces under cantilevered balcony
- Interior window coverings on front elevations; 2" wood blinds, plantation shutters or equivalent
- Entry door of upgraded detail and design consistent with the architectural style
- Garage door of upgraded detail and design consistent with the architectural style
- Smooth steel trowel finish on stucco surfaces
- Substantially enhanced front landscaping, submitted with elevations, to be approved by the Design Review Committee
- Wall plane offset of at least 2' vertical or horizontal



### BROWNSTONE

This style relies on a streetscape vista that is as important as the individual house. Simple building forms are enhanced with bold elements and recessed entry doors. Stoops and stairs project in a symmetrical repeating pattern. Elaborate cornices top off the details.

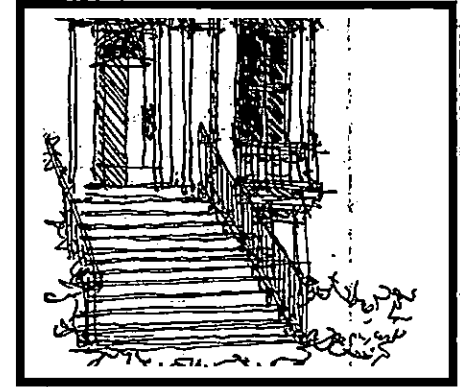


WISYGROUP, INC.

### 3.2.11 Contemporary

#### IDENTIFYING CHARACTERISTICS

- A contemporary adaptation of traditional vernaculars, executed with a fresh, contemporary approach
- Exploration of modern architectural vocabulary that best embodies a unique urban character



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## BUILDING FORM

- Asymmetrical arrangement of multiple story building forms

## ROOFS

- Roof Form: Strong use of the roof as a design statement, including shed roof forms, flat roofs, parapets, along with over-scaled gable or hip roof forms.
- Roof Material: Clay or concrete flat or "S" tiles, metal seam
- Minimum Overhangs: 0" at rake or eave. Broad overhangs encouraged to highlight unique building form or design element (30" or more) with stylized external supports if necessary.
- Roof Slope: Varies from flat with parapet to 12:12

## Walls

A mix of materials is encouraged on each residence or building, including but not limited to:

- Stucco
- Brick
- Stone
- Metal
- Cementitious Siding
- Concrete

## Windows

- Contemporary architecture features generous use of glazing
- At least one window or window grouping should be significantly larger than the other windows on the elevation
- Commercial grade window and door systems are encouraged
- Windows shall be recessed a minimum of 2" have or have a trim element with a minimum 2" reveal
- Large scale window panes with minimal use of mullions

## DETAIL ELEMENTS

The next column describe typical elements characteristic of Contemporary architecture. Elevations will be designed using combinations of these elements as indicated. Other elements (combination of elements), meeting the intent of the style may be used subject to approval by the Design Review Committee.

Three or more of these (A category) elements are required on front elevations:

- Metal rails, and/or screens on porch or balconies
- Cable rails
- Metal rails with mesh infill
- Other metal rails or infill panels with contemporary flavor
- Metal awnings-cable or brace supported
- Creative solutions for shading glazed surfaces
- Bold use of color to accentuate building forms and elements (subject to Material and Color Palette Schedule)
- Use of reveals or riglets on wall surfaces

Two or more of these (B category) elements are required on front elevations:

- Unique composition of multiple building forms
- Finished floor elevation of the first raised 30" minimum above finish grade or sidewalk to create a raised stoop at the entry
- Seam metal roof on at least 25% of the visible roof
- Over-scaled roof overhangs on all or significant portion of the building
- Operable windows that are other than standard sliders or single/double hung.
- Use of commercial grade window and door system



## CONTEMPORARY

A contemporary adaptation of traditional vernaculars, executed with a fresh, contemporary approach.

Contemporary architecture is an exploration of modern architectural vocabulary that best embodies a unique urban character.



Metal Railing and Window Shade Structures



KTY GROUP, INC.  
ARCHITECTURE



Bold Building Form, Wall Materials, & Color



## SECTION 5

### Landscape Guidelines

#### INTRODUCTION

The landscape guidelines consist of three zones, each with its own palette of desert adaptive plant materials:

- Residential Streetscapes
- Residential Neighborhoods
- Multi-Family Developments

All landscaping materials used in Kyle Canyon will be selected from a list of plants that are drought-tolerant or adapted to the desert climate (See Master Plant Palette, Section 5.7.10). The landscaping of all public areas will be designed to minimize the use of precious water resources.

All landscaping improvements in Kyle Canyon will comply with the Southern Nevada Water Authority's Water Smart Home Standards.

All landscaping in Kyle will be installed and maintained to comply with City of Las Vegas street visibility standards described in Section 6.

#### 5.1. RESIDENTIAL STREETSCAPES CRITERIA

All Neighborhood Streets shall include a landscape area with five -foot sidewalk. The area from back of curb to sidewalk is referred to here as the "Residential Streetscape". The width of the Residential Streetscape varies as shown in the Street Sections described in Section 6 below. The maximum slope in the Residential Streetscape is 4:1.

Builders will develop a master street tree program for the Residential Streetscapes using the Master Plant Palette. The Residential Streetscapes are to be designed and installed as one system that will be maintained by the Master HOA. The trees will be placed at regular

intervals of not more than 30'-0" on center, centered in the Residential Streetscape between curb and sidewalk. Tree spacing in excess of 30' on center will only be allowed when hardscape structures and or utility services impede the maximum tree spacing interval. In no case shall any tree be installed closer than 15' on center.

Builders will be responsible for the procurement and installation of the Residential Streetscapes including the necessary irrigation systems. The Master HOA will accept and maintain all Residential Streetscapes.

The palette of shrub species on any block face of a Neighborhood Street will be limited to twelve different species in order to encourage plant massings and well-designed simplicity. Special attention should be paid to layering of differing heights and textures of plants to create an interesting composition. Turf will not be allowed in any form (artificial or real) in the Residential Streetscapes.

Builders will be required to submit planting plans to the Master Developer for approval based on the attached exhibits and plant palettes. Calculations showing the proper density must be provided on the plans.

Shrubs may not be planted closer than one foot (1') from adjacent concrete sidewalk or back of curb.

The following are the minimum requirements for Residential Streetscapes:

|                   |                                                                                                                |
|-------------------|----------------------------------------------------------------------------------------------------------------|
| Street Trees      | 24" box, 30'-0" o.c. (centered between back of curb and sidewalk)                                              |
| Shrub density     | 1 plant per 15 square feet<br>5-gallon (75%)<br>1-gallon (25%)                                                 |
| Concrete Sidewalk | 5'-0" min                                                                                                      |
| Turf              | Not allowed                                                                                                    |
| Mulch             | Full coverage of granite mulch, pavers, stamped concrete or other suitable materials per drainage requirements |

## **5.2 RESIDENTIAL LOT CRITERIA**

### **5.2.1 ARCHITECTURAL COMPATIBILITY**

The planting associated with individual home lots is to be dictated by the architectural forms and by the surrounding parks and streetscapes.

### **5.2.2 PLANTING DESIGN**

The front yards are intended to be an extension of the houses. Outdoor living environments should be created to enhance this experience. The use of smaller, pedestrian friendly plantings and limited hardscapes are encouraged.

While there are several approaches to take with the residential planting, the main principle is to reinforce the urban feel of the community with the use of complementary plantings that define the neighborhoods.

Trees should be spaced at least 15 feet apart. If trees need to be spaced more closely, they should be of the same small tree species. Trees must be set back a minimum of three feet on center from hardscape structures such as sidewalks, curbs, driveways, fences and walls.

Flower beds or planting beds requiring overhead sprays shall be limited to rear yards only or in pots on drip irrigation systems.

Informal plantings are appropriate in typical front yards; however, plant selections should be based on massing and layering. Species should be selected to provide layers of structure and accents with densities that are consistent with the neighboring parks and residences.

### **5.2.3 MASSING/LAYERING**

The massing of planting is encouraged to create more structure within the yards. The landscape designs should incorporate grouping of similar plant materials and layering shrubs and accents based on heights, color and texture to create sweeping forms and plant hierarchy.

A combination of planting techniques should be utilized in the planting designs. Screen planting incorporates hedges and espaliers to provide relief to large expanses of hardscape, as well as to provide separation or privacy from neighboring uses. Mass planting of one species is used to create fields of color or texture. Planting will be required to screen the areas of the house just above the finished grade as well as large expanses of wall.

### **5.2.4 TURF**

Natural turf is limited to rear yards only and will meet the Water Smart standards of the SNWA. The minimum dimensions for back yard natural turf areas are six feet width and ten feet length. Natural turf shall be kept at least three feet (3') from a building face or wall, including side yard retaining walls.

Only artificial turf will be allowed in the front yards. SynLawn products or an alternate equal will be submitted to the Master Developer for review.

All turf, natural or artificial, must be bordered with a product that ties into the architectural detailing. This border should be a minimum four inches of either concrete, grouted stone, masonry product or steel edging that is flush to grade.

### **5.2.5 BOULDERS/COBBLE**

Boulders and cobble can provide interesting accents to a desert landscape. They are to be used in natural patterns and clusters to accent grade changes and land patterns. Boulders shall be set two-thirds of their height in the ground to appear as natural as possible. The use of manufactured or faux boulders is not allowed in the front yards.

Boulders and river/cobble beds will not be allowed in the multi-family zones or along Connector Streets as they are not consistent with the formal garden character that is being emphasized in these locations as well as the limited planting areas.

#### **5.2.6 INERT MATERIALS**

The minimum width of an entry walk and the minimum separation from a building is defined in Sections 5.2.14 through 5.2.17. Entry walks must be separated from a building wall by a planting strip that is fully planted unless geotechnical analysis prohibits irrigation. In such case, the separation will be treated with pavers or stamped concrete in a contrasting color from the walkway.

All planting areas must have a decomposed granite cover of 2" minimum. The Master Developer will establish the allowable granite colors. Granite colors are to maintain consistency between lots and neighborhoods. If an adjacent property has an existing granite color, this color must be maintained until there is a natural transition formed by a hardscape feature such as a street or sidewalk. Concrete headers are not allowed to separate granite colors from lot to lot. Rear yard granite colors may vary. River rock beds are discouraged; using alternates such as natural granite cobble is encouraged.

#### **5.2.7 LANDSCAPE GRADING**

Drainage patterns established by the engineering requirements, shall be maintained, but shaped into natural forms when possible. Lots located within urban areas will need to follow a more simplistic grading approach with flat levels and architectural grade changes and subsurface drainage where appropriate. The maximum allowable slope on a residential lot is 2:1.

Treatment of the area where the landscapes of two lots abut should be similar; to create a unified and more expansive landscape feeling. Hard edges (i.e. mow strips, edging, walls, etc.) between lots will not be allowed except where needed for grading conditions.

Where drainage swales are required along the side yards of adjacent lots, the two swales should be joined into a single swale that is less noticeable. Planting or hardscape shall not impede drainage patterns. Cross lot drainage is permitted subject to a reciprocal use easement (see Section 3.5).

#### **5.2.8 POTS AND PLANT CONTAINERS**

Pots and planters provide a good location for color and accents as well as structure in the landscape. All pots and plant containers shall be selected in colors and materials that complement the architecture and hardscape forms. Irrigation must be provided to pot locations with the use of drip irrigation.

#### **5.2.9 LANDSCAPE INSTALLATION AND MAINTENANCE**

All landscaping shall be installed according to sound nursery practices in a manner designed to encourage vigorous growth. All visible landscape material and irrigation improvements shall be in place prior to issuance of the final certificate of occupancy.

Either the Master HOA or the homeowner, based on the ownership of the property, will be required to do regular maintenance of all landscaping and irrigation improvements. Regular maintenance includes: weeding, watering, fertilizing, pruning, mowing, edging, mulching, and keeping the landscape areas free from disease, pests, and weeds.

#### 5.2.10 CORNER LOTS

Corner lots shall be landscaped as an extension of the front yard zone. Consistent plant species and densities should be used including the extension of artificial turf, where used, to wrap the corner. All exposed walls must be screen planted to break up expanses of the wall.

#### 5.2.11 ALLEY ZONE

For purposes of this section, an "Alley" is any road that meets the cross section definition of an Alley in Section 6 and the "Alley Zone" is the landscapeable common area (excludes garage aprons and areas required for utility boxes and equipment) adjacent to such road. All areas between a product and Alley shall be planted using a palette consistent with the parcel theme, and using plants shown in the Alley Zone on the Master Plant Palette (Section 5.7.10). Screen planting shall be used whenever possible to hide expanses of walls with hedging and espaliers.

The lot owner or a homeowners' association must maintain landscape areas between walls and edge of pavement. This planting area must be irrigated by the individual lot irrigation system. All landscape in the Alley Zone must be designed and installed on each lot prior to close of escrow.

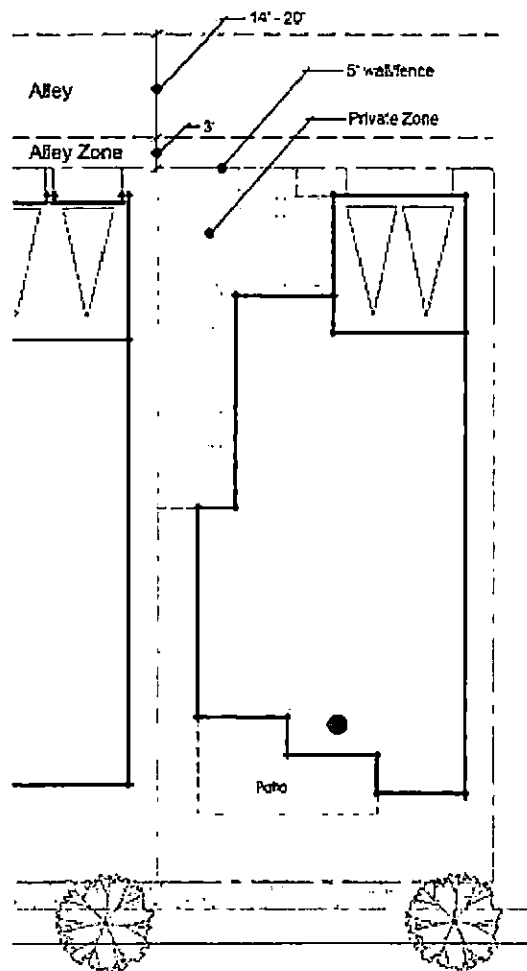
Minimum requirements for the Alley Zone are as follows, subject to the requirements of a builder's geotechnical report and recommendations:

- Shrub Density: 1 plant per 20 square feet. 5-gallon (25%). 1-gallon (75%).
- Lawn: Not allowed
- 18" Maximum height groundcovers in first three feet adjacent to alley
- Full coverage of granite mulch, paver or stamped concrete

#### 5.2.12 PRIVATE ZONE

The Private Zone is a private use area of an individual dwelling enclosed by a 5' minimum wall that is not visible from public areas, and is for the private use and enjoyment of occupant(s). Private zone planting is encouraged, but not required, to follow the approved Master Plant Palette. Areas with view fencing are not included in private zones, and must follow the same criteria for front yards. Any plants in the private zones that will grow to a height of six feet at maturity shall be selected from the Typical Front Yard palette.

Turf areas located in rear yards must be setback from adjacent walls by a minimum of five feet in order to minimize damage to neighbor walls. The aggregate size of the turf area and surface area of swimming pools may not exceed 40% of the rear yard area or 1,000 square feet, whichever is less. Trees must be set back a minimum of three feet from sidewalks, curbs, driveways, fences and walls.



### 5.2.13 FRONT YARD LANDSCAPING

To ensure similar coverage of plant materials and smooth transitions between streetscapes and adjacent lots, planting densities are based on landscapable areas, not including artificial turf areas. In order to

achieve this effect, the palette of plant species is limited to no less than five and no more than ten.

### 5.2.14 FRONT YARD- ESTATE LOTS

- 24" Large Tree:
  - 2 per lot
- Shrub Density:
  - 1-5 gallon plant per 40 square feet.
  - 1-1 gallon plant per 40 square feet.
  - 1-1 gallon accent plant per 125 square feet
- Entry Walk:
  - 4'-0" min with 5'-0" max. Minimum 2'-0" off set from house.
- Lawn:
  - Artificial turf only in areas that are 250 s.f. minimum
- Full coverage of granite mulch.
- Maintain access to rear yards at side yards.
- Trees must be set back a minimum of 3 feet from sidewalks, curbs, driveways, fences and walls

### 5.2.15 FRONT YARD- STANDARD LOTS, COMPACT LOTS, CLUSTER HOMES

- 24" Large Tree:
  - 1 per lot.
- 15 gallon Small Tree:
  - 1 per lot + 1 per lot on corner lots.
- Shrub Density:
  - 1-5 gallon plant per 100 square feet.
  - 1-1 gallon plant per 75 square feet.
  - 1-1 gallon accent plant per 170 square feet.
- Entry Walk:
  - 3'-0" min with 5'-0" max. Minimum 2'-0" off set from house.
- Lawn:
  - Artificial turf only in areas that are 250 s.f. minimum.

- Full coverage of granite mulch.
- Maintain access to rear yards at side yards.
- Plantings to be clustered in public spaces. Areas between units can be left open if edges are screened with plantings.
- Trees must be set back a minimum of 3 feet from sidewalks, curbs, driveways, fences and walls.

#### 5.2.16 GARDEN COURT

- 24" Large Tree:
  - 24" box: 0 per lot
- 15 gallon Small Tree:
  - 2 per lot + 1 per lot on corner lots
- Shrub Density (lot):
  - 5 gallon plant: 1 per 100 square feet.
  - 1 gallon plant: 1 per 75 square feet.
  - 1 gallon accent: 1 per 170 square feet.
- Shrub/Tree Density (common area):
  - 24" box tree: 1 per 750 square feet.
  - 15 gallon tree: 1 per 750 square feet.
  - 5 gallon plant : 1 per 125 square feet.
  - 1 gallon plant: 1 per 100 square feet.
  - 1 gallon accent: 1 per 175 square feet.
- Entry Walk:
  - 3'-0" min with 5'-0" max. Minimum 2'-0" off set from house.
- Lawn:
  - Artificial turf only in areas that are 250 s.f. minimum.
- Full coverage of granite mulch.
- Maintain access to rear yards at side yards.
- Plantings to be clustered in public spaces. Areas between units can be left open if edges are screened with plantings
- All utilities and irrigation equipment must be screened
- Trees must be set back a minimum of 3 feet from sidewalks, curbs, driveways, fences and walls

#### 5.2.17 MANSION HOMES

- Large Tree:
  - 36" box: 1 per 1,000 square feet.
  - (Alley Loaded) 24" box: 1 per 650 square feet
- Small Tree:
  - 15 gallon: 1 per 250 square feet.
  - (Alley Loaded): 24" box: 1 per 500 square feet
- Shrub Density:
  - 5 gallon plant: 1 per 100 square feet
  - 1 gallon plant : 1 per 75 square feet
  - 1 gallon accent: 1 per 170 square feet
- Entry Walk:
  - 4'-0" min with 5'-0" max
  - Minimum 2'-0" off set from house
- Lawn:
  - Artificial turf only in areas that are 250 s.f. minimum
- Full coverage of granite mulch.
- Maintain access to rear yards at side yards, where accessible.
- Trees must be set back a minimum of 3 feet from sidewalks, curbs, driveways, fences and walls

#### 5.2.18 FRONT YARD- TOWNHOME

- Large Tree:
  - 24" box: 0 per lot
- Small Tree;
  - 15 gallon: 1 per lot (small patio type tree)
- Shrub Density:
  - 5 gallon plant: 1 per 60 square feet
  - 1 gallon plant: 1 per 17 square feet.
- Lawn;
  - None allowed
- Full coverage of granite mulch.
- Maintain access to rear yards at side yards.
- Trees must be set back a minimum of 3 feet from sidewalks, curbs, driveways, fences and walls. Trees may be planted in paving areas with tree grates.

### 5.3 NEIGHBORHOOD LANDSCAPING REQUIREMENTS

#### 5.3.1 OPEN SPACE LANDSCAPE

Any interior areas within individual builder parcels will need to be landscaped and tied to a main Master HOA irrigation system. These areas should follow the streetscape and front yard characteristics. They may also allow for pocket parks that include items such as shade ramadas, tot lots, open turf play areas, benches, barbeques, and other similar amenities. Planting selections should follow those of the Residential Streetscape Palette. These areas will need to be designed and submitted for review by the Master Developer with the following standards:

- Shade Trees:
  - 1-24" box tree per 650 square feet.
- Shrub Density:
  - 1 plant per 20 square feet.
  - 5-gallon (50%).
  - 1-gallon (50%).
- Lawn:
  - Common area turf is allowed only in functional recreational areas that are at least 50' wide
  - Sprinkler system must meet a distribution uniformity standard of 65%
  - No turf within five feet of a building face or wall
  - No turf within eighteen inches of back of curb.
  - Full coverage of granite mulch.
- Streetscape section must remain consistent across open space frontage
- Trees must be set back a minimum of three feet from sidewalks, curbs, fences and walls.
- An automatic irrigation system with an irrigation meter, power source and controller

#### 5.3.2 MODEL COMPLEXES

Model home landscape areas shall be consistent with the parcel theme and must follow the restrictions and intent of the residential guidelines. Builders are encouraged to maximize landscape quantity and size in a manner that doesn't distract from the model's architecture. This criteria applies to both single family and multi-family developments.

#### 5.3.3 SWIMMING POOLS

Back yard swimming pools are subject to the following requirements:

- An enclosed sewer cleanout must be provided with convenient access and clearly marked as the appropriate location for pool drainage.
- The combined pool and spa surface area will be deducted from the maximum back yard turf area
- Pools may not feature decorative water features that drop or propel water more than 24-inches above the main water surface

#### 5.3.4 ROCK MULCH

Rock and granite mulch will be at least 2-inches (2") deep and in one of the approved colors selected by the Master Developer. Different sizes of the same rock color are encouraged. In general, sizes ranging from 3/8 inch to 3/4 inch are most appropriate. All landscape areas will contain either vegetative cover or granite mulch; no bare dirt is allowed.

## 5.4 MULTI-FAMILY PARCELS

### 5.4.1 PARKING LOTS

Parking lots within multi-family parcels shall be landscaped to reduce their visual impact. Landscape in and around parking lots shall consist of two categories:

A. Perimeter landscape that surrounds the interior parking lots to an average depth of ten feet (10') and a minimum depth of two feet (2'), including walks. A minimum of one 24-inch box tree shall be planted for every 400 s.f. of landscape area and no less than 30' O.C.

B. Interior landscape within parking lots that reduces the paving mass of a parking lot and provides shade. A minimum of one 24-inch box tree shall be planted for every six parking spaces in a manner that accomplishes this goal either in landscape islands or in a planter extending the length of the parking row. Interior parking lot trees will be canopy trees that provide maximum shade and not accent trees. Each parking island shall be planted with one 24" box tree and 50% minimum vegetative cover at the ground plane and rock mulch.

All non-paved areas within the perimeter and interior of parking lots shall be landscaped with a combination of plant materials and rock mulch. These plant materials shall be selected from the palette applicable to the zone they are planted in. Turf will not be allowed in parking lots.

Parking lot tree requirements must be met even when covered shade structures are used. Accent trees may be substituted for canopy trees next to covered shade structures.

Parking Adjacent to and Visible from a Public Place shall be screened with a combination of berms, low walls or landscape areas. Low walls and berms shall be a maximum height of three feet from the top of curb of the parking area. The wall style and color are subject to approval of the Master Developer.

### 5.4.2 AMENITY AND OPEN SPACE LANDSCAPING

Recreation areas shall be landscaped to the following minimum requirements:

- One 24" box tree for every 600 square feet of total landscape area.
- 50% minimum vegetative cover for all non-paved areas
- Turf, when used, may not exceed 40% of the total landscape area and is allowed only in functional recreational areas that are at least 50' wide and the sprinkler system must meet a distribution uniformity standard of 65%
- Swimming pools may not exceed 20 square feet per dwelling unit (or a minimum of 1000 square feet if less than 50 dwelling units)

Open space areas other than parking lots, street frontage areas and recreation areas shall be landscaped to the following minimum standards:

- One 24" box tree for every 750 square feet of total landscape area.
- 50% minimum vegetative cover for all non-paved areas
- Turf is not allowed except as provided above for recreation areas
- Decorative fountains are not permitted

## **5.5 COMMUNITY LIGHTING, TELECOMMUNICATION FACILITIES, AND PUBLIC UTILITIES**

### **5.5.1 COMMUNITY LIGHTING**

Lighting shall be designed to provide functional illumination in an aesthetically pleasing and visually unobtrusive manner.

Light fixtures with cutoff or concealed light sources are preferred. This type of fixture may include wall sconces, recessed lighting, soffit lighting, and directional lighting. Lighting which produces excessive glare or shines on an adjacent lot will not be allowed.

Every light fixture over seven feet from grade to its highest point (either on a light pole or attached to a structure), shall be designed to reduce illumination spilling beyond sidewalk and road areas and to protect the view of the night sky.

#### **5.5.1.1 STREET LIGHTING**

Lighting systems shall be designed and installed in a manner that promotes the convenience of pedestrian and vehicular movement. Area illumination must be provided for alley, parking areas, entry areas, walkways, and other people gathering areas.

Street pole fixtures will be selected to compliment the community theme. These fixtures will be used on all Residential Streetscapes and within the individual builder parcels. Any fixture, other than the standard styles selected by the Master Developer, must be approved by the Master Developer. See Section 6 for requirements for street lights on public streets dedicated to the City.

#### **5.5.1.2 LANDSCAPE LIGHTING**

The use of landscape lighting is encouraged. Lighting that will cause glare or discomfort, or disrupts the visual environment of neighboring units or adjacent parcels, is not permitted. Floodlights are also prohibited.

Fixtures shall be constructed and mounted to withstand and discourage abuse. Above-ground plastic housings and connections are prohibited.

### **5.5.2 TELECOMMUNICATION TOWERS AND ANTENNAS**

Free-standing telecommunication towers and antennas are discouraged. Rather such facilities shall be designed in conjunction with project architectural elements such as:

- Building architecture, i.e., worship site steeples, etc.
- Project monumentation or signage elements
- Landscape elements

If used as a landscape element, the tower should be designed as part of an overall landscape plan, using trees of the same species and relative height of the tower and antenna.

Ground equipment related to the telecommunication facility must be screened from view with walls that are compatible in design and materials with the architecture of the surrounding area. Such walls shall be of sufficient height to completely screen the equipment from view. Walls in excess of 6' in height shall be landscaped with shrub plantings.

### **5.5.3 PUBLIC UTILITIES**

The following requirements apply to every utility box and above-ground utility structure, other than utility poles, exceeding 27 cubic feet in volume ("Utility Structure"). Utility Structures abutting public right of way or common element areas adjacent to Neighborhood Streets and Village Streets are subject to the following requirements:

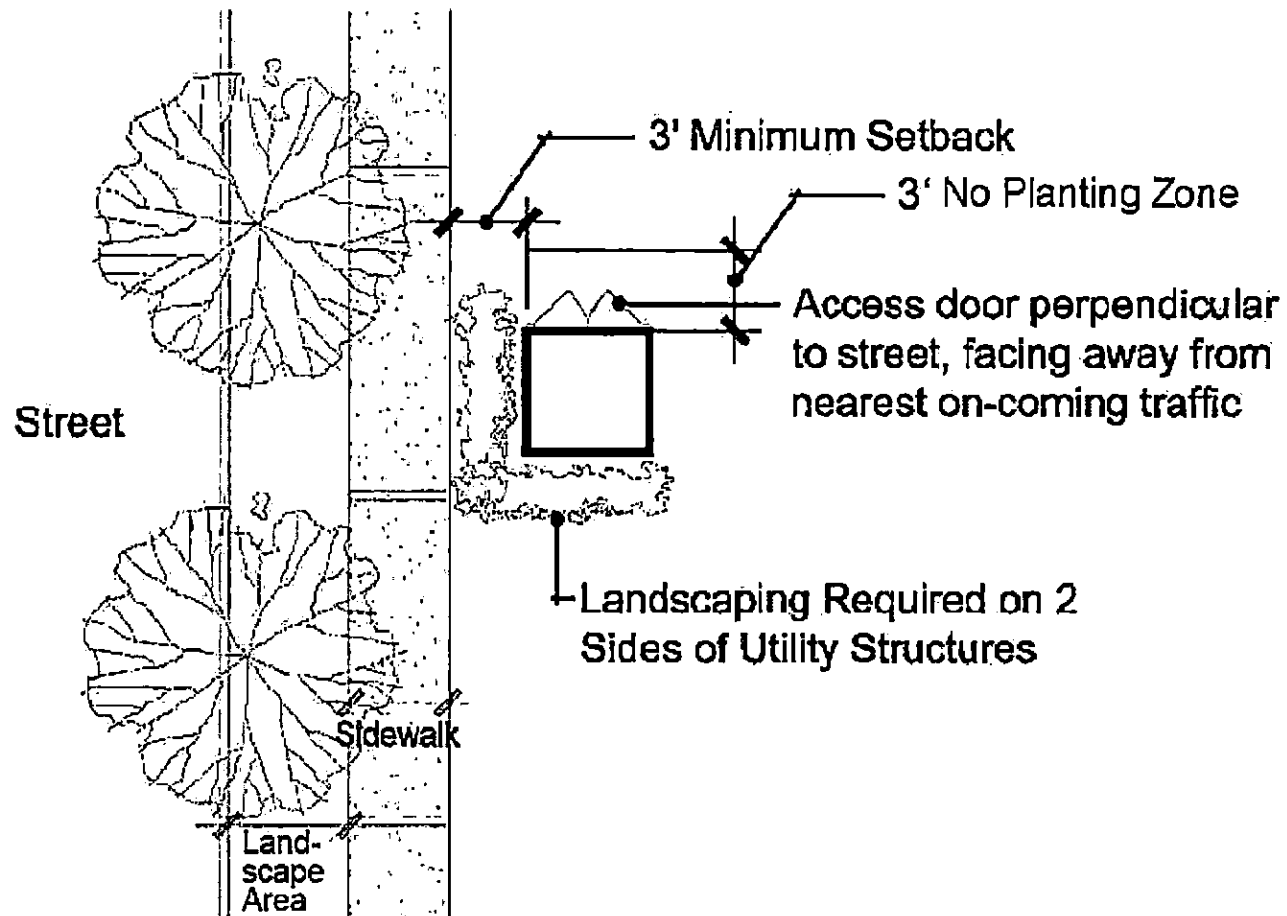
1. A landscape area not less than three feet (3') in width shall be provided between any sidewalk or trail and the Utility Structure.
2. A second landscape area not less than three feet (3') in width shall be provided along the side of the Utility Structure facing toward the nearest on-coming traffic on the street.
3. The side of the Utility Structure facing away from the nearest on-coming traffic on the street shall be available for access by the utility

companies. Access doors shall be placed on this side of the Utility Structure with the doors installed perpendicular to the street. No landscape plantings (trees or shrubs) are permitted within three feet (3') of the Utility Structure access doors. One species of the shrub selected from the shrub palette listed below must be used to screen the Utility Structure on two sides. Upon completion of planting installation, 75% of the area of the two sides of the Utility Structure must be screened from view from the street. Within one year of installation, 100% of the area of the two sides of the Utility Structure shall be screened from view from the street.

The following plants constitute the approved shrub palette for Utility Structure screening

| Botanical Name                                | Common Name           |
|-----------------------------------------------|-----------------------|
| • <i>Dodonaea viscosa</i>                     | Hopseed Brush         |
| • <i>Nerium oleander</i> 'Petite Pink'        | Dwarf Oleander 'Pink' |
| • <i>Rosmarinus officinalis</i> 'Tuscan Blue' | Rosemary              |
| • <i>Senna nemophila</i>                      | Desert Cassia         |
| • <i>Simmondsia chinensis</i>                 | Jojoba                |
| • <i>Vauquelinia californica</i>              | Arizona Rosewood      |

## UTILITY STRUCTURE SCREENING



## 5.6 KYLE WALL STANDARDS

### 5.6.1 VILLAGE WALLS

Village Walls are the walls abutting common areas adjacent to any of the Village Streets, as shown on Figure 6-1. Village Walls are subject to the following requirements:

1. The minimum landscape area from back of curb is 5'
2. The maximum slope within the landscape areas, including planter areas and the landscape area adjacent to on-street parking is 4:1. (Refer to Figures 5-1 and 5-2).
3. The solid block portion of a Village Wall shall not exceed an exposed height of seven feet, four inches (7'4"), of which six feet (6') maximum is screen wall or two feet (2') maximum is retaining wall. (Refer to Figure 5-1)
4. In the event that the elevation difference from back of sidewalk to the finished pad elevation of the adjacent parcel is such that more than two feet (2') of retaining is required, a planter wall that may not exceed five feet (5') in height may be used to take up grade. If more than seven feet (7') of retaining is required in addition to the grade that can be made up in the landscaping area between the sidewalk and planter wall (at 4:1 slope), then all or a portion of the 7'4" exposed Village Wall may be used as retaining wall and a wrought iron view fence may be placed on top of the Village Wall. The wrought iron view fence must be 5'4" tall when abutting residential parcels and may be a maximum of 5'4" tall (or shorter) when abutting non-residential parcels. Wherever a wrought iron view fence is placed on top of a Village Wall, the Village Wall shall extend not more than eighteen inches (18") higher than the finished pad elevation. (Refer to Figure 5-2).
5. Additional grade may be taken up with planter walls that may not exceed five feet (5') in height.
6. Planter walls must be offset a minimum of four feet (4') from the front face of the planter wall to the front face of the Village Wall. (Refer to Figure 5-2). Planter walls may be used in tandem to take up additional grade subject to the same limitations on height and offset between walls.
7. Village Walls and planter walls must be separated from public sidewalks by at least five feet (5'). (Refer to Figure 5-2).
8. If a planter wall is used to take up grade, the first (lowest) planter wall and planter area between walls may be constructed in the Master HOA common area. All other planter walls and planter areas between walls will be located within the boundaries of a Development Parcel. (Refer to Figure 5-2).
9. In all circumstances, pilasters may exceed the maximum wall or wrought iron view fence height by up to two feet (2') and may encroach up to 18" into the set back areas described above in 5.6.1.6 and 7. (Refer to Figure 5-3).
10. One or more Wall Palettes, including pilaster design and spacing, will be approved by the Master Developer to achieve and maintain a complimentary design throughout the Community.

### 5.6.2 PRODUCT WALLS

Product Walls are all of the walls in the project other than the Village Walls, including common walls between subdivisions, all walls interior to a subdivision, walls between home lots, side yard return walls, walls adjacent to public facilities and walls between subdivisions, pods and/or parcels. One or more Wall Palettes will be approved by the Master Developer to achieve and maintain a complementary design throughout the Community, while allowing for individuality of certain districts, villages or Development Parcels. Wall Palettes will specify pilaster spacing and design. Product Walls are subject to the following requirements:

1. Except as noted below where alternate standards apply, the exposed solid portion of a Product Wall shall not exceed fourteen feet (14'), of which six feet (6') maximum may be solid block screen wall and eight feet (8') maximum may be retaining wall. (Refer to Figure 5-4). Alternatively, a Product Wall may consist of a five foot four inch (5'4") wrought iron view fence and a maximum of ten feet (10') of retaining wall (Refer to Figure 5-5). Under particular circumstances described in subsections 5.6.2.2B and 2C below, additional grade may be taken up with planter walls.
2. In the following circumstances Product Walls will be subject to the following alternate standards:

- A) Where Adjacent to and Facing a Public Place, the height of side yard return walls and the side yard walls of corner lots shall not exceed ten (10) feet, of which five feet four inches (5'4") maximum is solid block screen wall and four feet eight inches (4'8") maximum is retaining wall. (Refer to Figure 5-6).
- B) With respect only to Product Walls that separate two Development Parcels, the exposed solid portion of the Product Wall may be up to eighteen feet (18'), of which six feet (6') maximum is solid block screen wall and twelve feet (12') maximum is retaining wall. (Refer to Figure 5-7). Planter Walls and/or a 2:1 slope may be used in addition to the eighteen foot Product Wall, provided the Planter Walls are subject to subsection 5.6.2.3 below.
- C) With respect only to Product Walls that separate two adjacent rear yards of home lots, the exposed solid portion of the Product Wall may be up to fourteen feet (14'), of which six feet (6') maximum is solid block screen wall and eight feet (8') maximum is retaining wall. (Refer to Figure 5-8). This subsection 2C does not, however, apply to Product Walls that separate two Development Parcels as described in subsection 2B above. Planter Walls and/or a 2:1 slope may be used in addition to the fourteen foot Product Wall, provided the Planter Walls are subject to subsection 5.6.2.3 below.
- D) Except as set forth in subsections 2B and 2C above, where a Product Wall and/or a 2:1 slope is constructed between two adjacent home lots the maximum height of the retaining portion of such Product Wall shall vary in relation to the width (or the maximum width in the case of an irregularly shaped lot) of the home lot at the lower elevation of two adjacent home lots (i.e., the lot to which the retaining portion of the wall is visible) as follows:

| Width of Lower Lot (in feet) |       | Max Retaining (in feet) |
|------------------------------|-------|-------------------------|
| at least                     | up to |                         |
| ---                          | 30    | 2.00                    |
| 30                           | 45    | 3.00                    |
| 45                           | 60    | 4.00                    |
| 60                           | 80    | 5.00                    |
| 80                           | ---   | 6.00                    |

The maximum solid block screen wall between two adjacent home lots is six (6) feet on top of the retaining wall. The foregoing restriction does not apply to the side yard wall of a home lot that abuts the back yard wall of an adjacent home lot, the maximum height of which will be as described in subsections 2B or 2C above, as the case may be.

- E) On a common boundary between Development Parcels any retaining wall exceeding three feet must be approved by the owner of the adjacent parcel prior to design acceptance by the Master Developer. This requirement does not apply if the owner of the adjacent parcel is a public, governmental or quasi-governmental agency or a public utility.

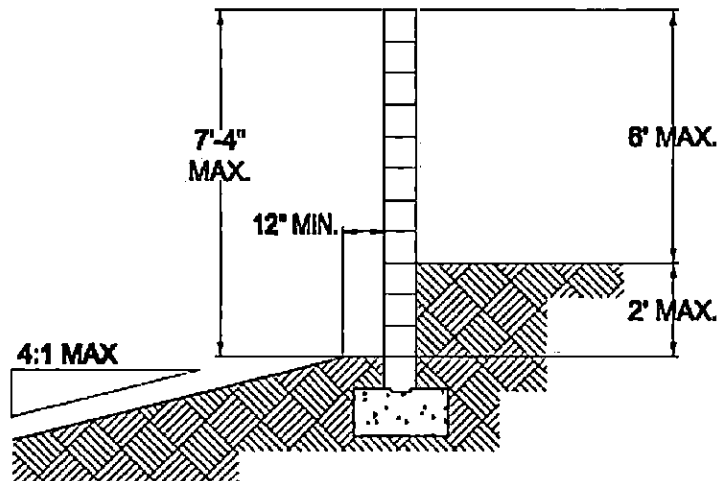
3. Additional grade may be taken up with planter walls that may not exceed five (5) feet in height and a minimum of four (4) feet from front face of planter wall to front face of Product Walls. (Refer to Figure 5-9)
4. Planter walls may be used in tandem to take up additional grade subject to the same limitations on height and offset between walls.
5. The maximum slope within the landscape area between a planter wall and a Product Wall is 3:1
6. In all circumstances, pilasters may exceed the maximum wall or wrought iron view fence height by up to two (2) feet) and may encroach up to 18" into the set back areas described herein.

### 5.6.3. FRONT YARD WALLS

The following three alternate treatments are acceptable for walls located in or abutting the front yards of residences shall be subject to the following requirements:

1. A wall not exceeding thirty- inches (30") in height may be constructed to abut the back of sidewalk. All of the 30" height may be used as retaining. (Refer to Figure 5-10).
2. A wall not exceeding five feet, four inches (5'4") in height may be constructed at least three feet (3') from the back of sidewalk. In such case the wall may consist of a solid block wall up to 30" used for retaining and the balance of the wall may be a balustrade or railing. The slope between the retaining wall and the sidewalk may not exceed 3:1. (Refer to Figure 5-11).

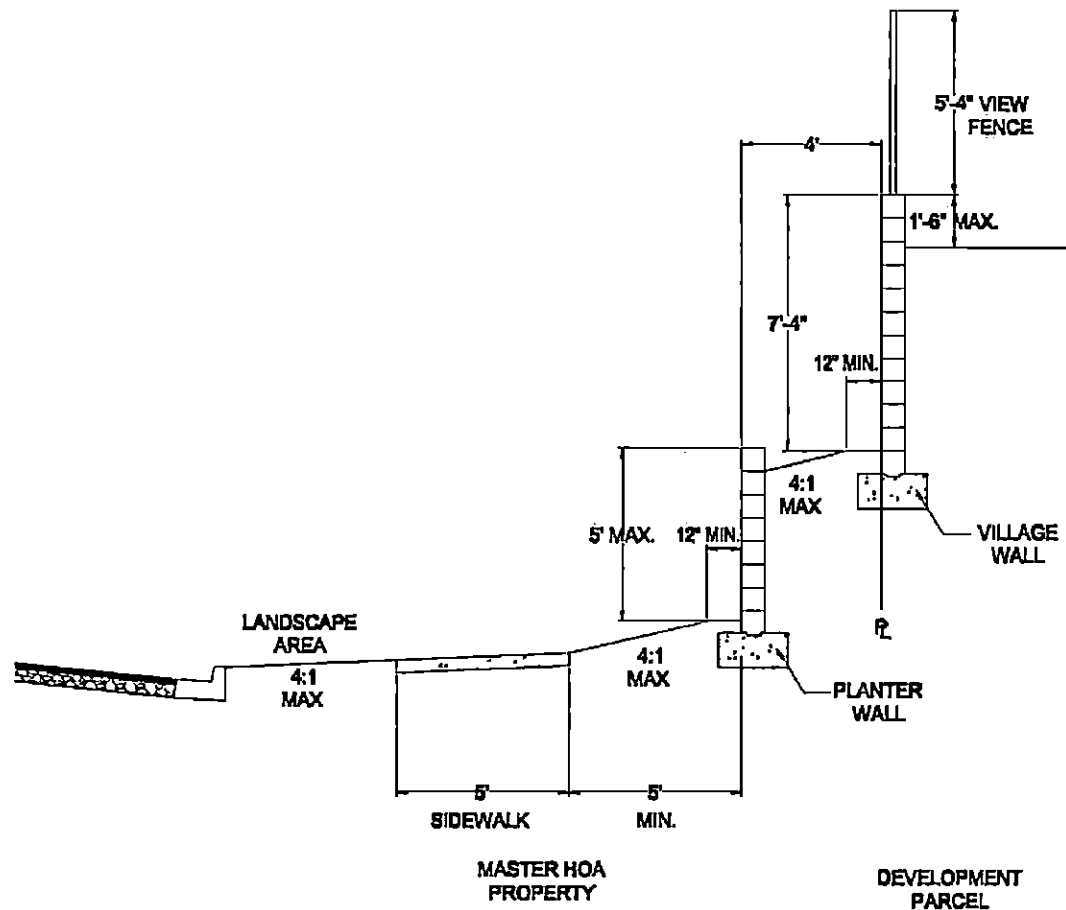
3. A wall not exceeding five feet, four inches (5'4") in height may be constructed at least 5 feet behind the back of sidewalk, in which case all of the wall may be used for retaining. The slope between the retaining wall and the sidewalk may not exceed 3:1. When the retaining wall exceeds thirty inches (30") in height a wrought iron view fence forty-two inches (42") in height must be placed on top of the retaining wall (Refer to Figure 5-12).



## **FIGURE 5-1 VILLAGE WALLS**

N.T.S.

**FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.**

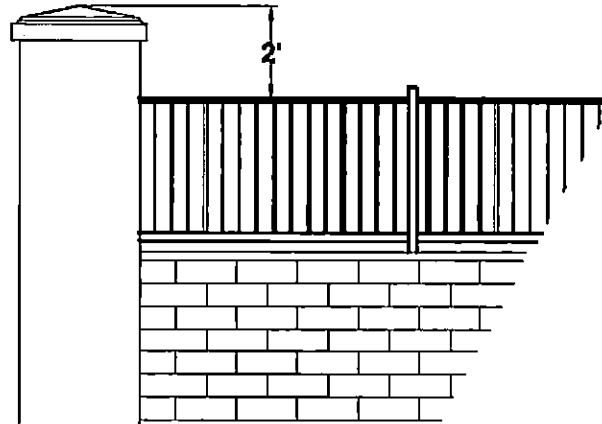


## **FIGURE 5-2 VILLAGE WALLS**

N.T.B.

FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.

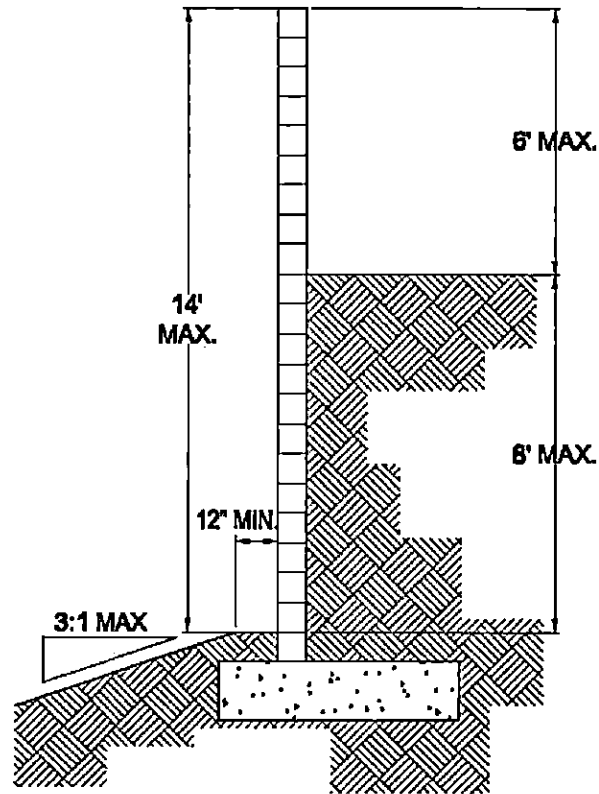
IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL OR TOP OF VIEW FENCE MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION



## **FIGURE 5-3 VILLAGE WALLS**

**N.T.S.**

**FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT  
NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL  
DIMENSIONS AND NOTES ARE REQUIREMENTS.**

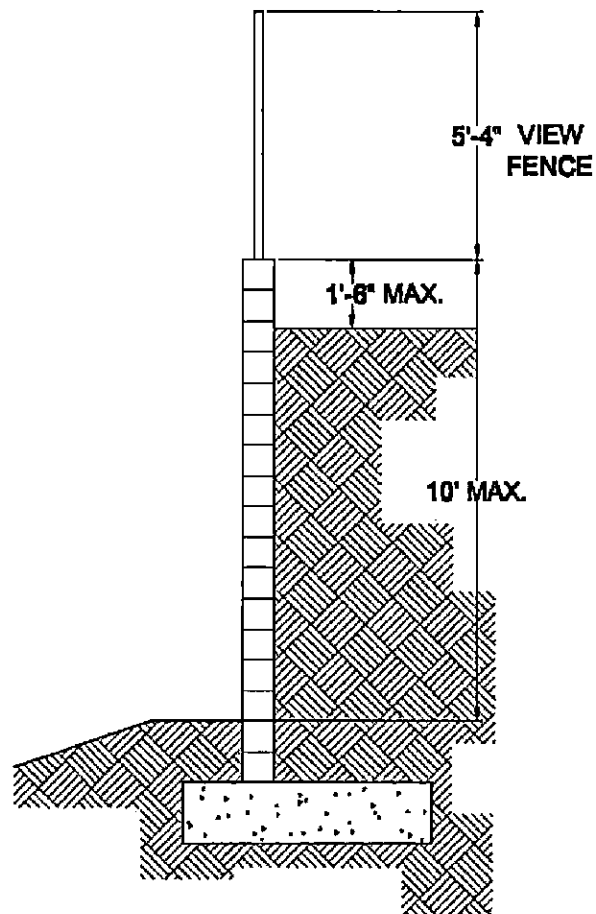


## **FIGURE 5-4 STANDARD PRODUCT WALLS**

**N.T.S.**

**FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.**

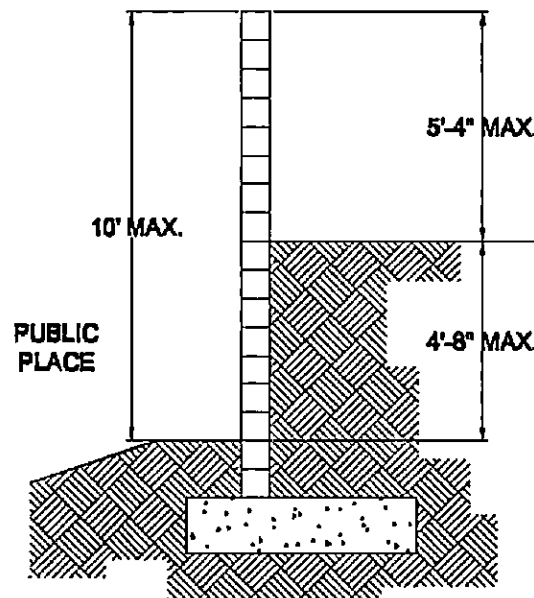
**IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION**



**FIGURE 5-5 PRODUCT WALLS**

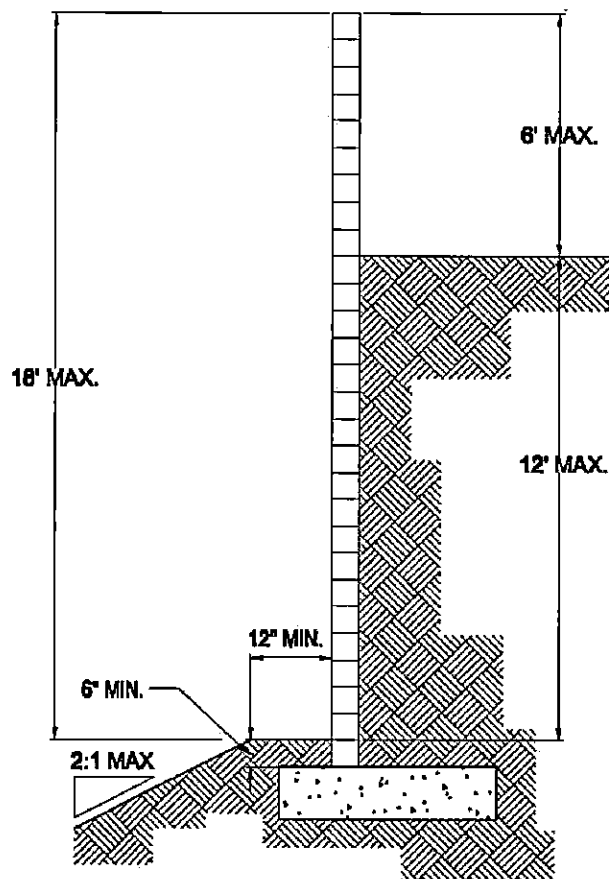
**N.T.S.**

**FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.**



**FIGURE 5-6 PRODUCT WALLS ADJACENT TO AND  
FACING A PUBLIC PLACE** N.T.S.

FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.  
IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION

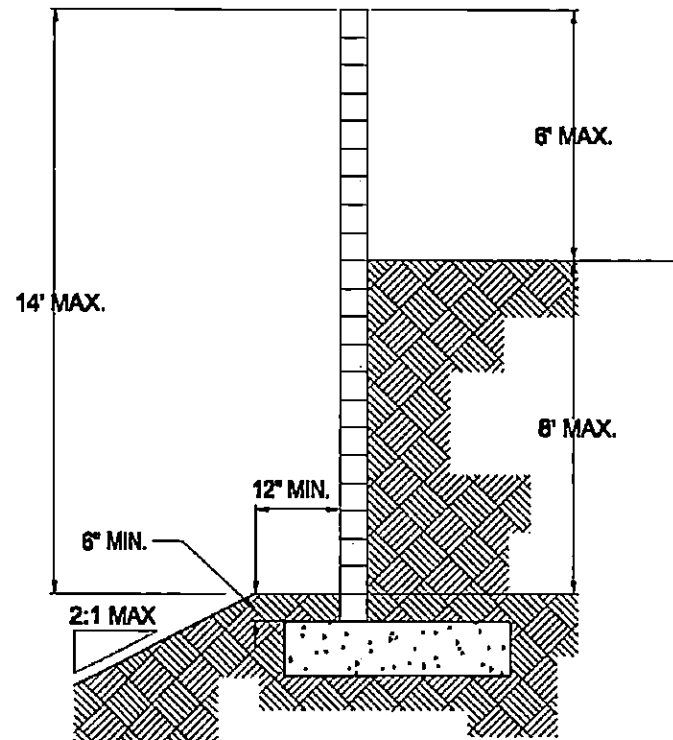


**FIGURE 5-7 PRODUCT WALLS BETWEEN  
TWO DEVELOPMENT PARCELS**

N.T.S.

FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.

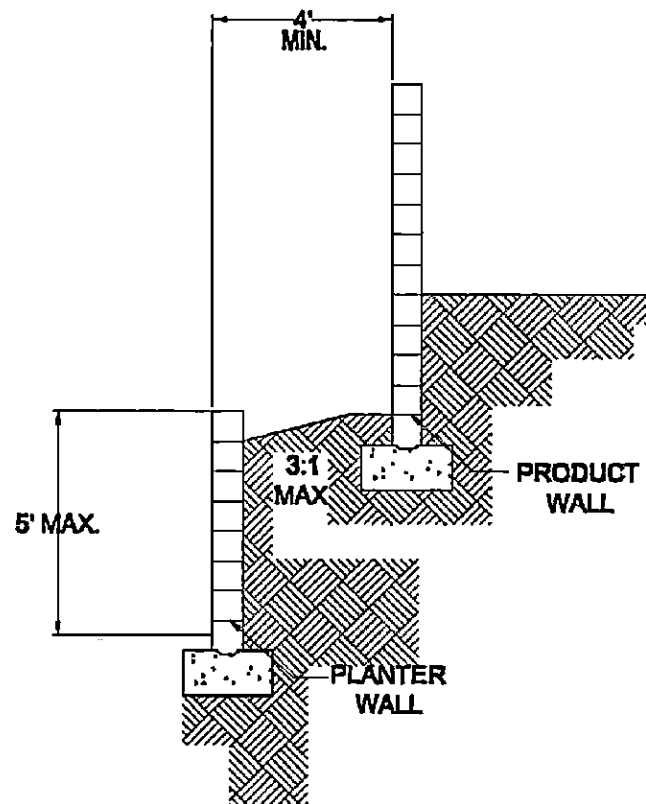
IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION



**FIGURE 5-8 PRODUCT WALLS BETWEEN  
TWO ADJACENT BACK YARDS**

N.T.S.

FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.  
IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION

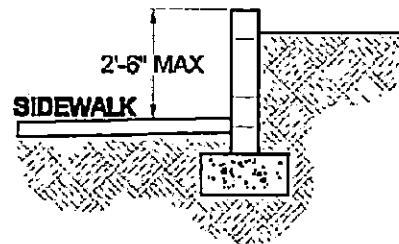


## **FIGURE 5-9 PLANTER WALLS**

**N.T.S.**

**FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.**

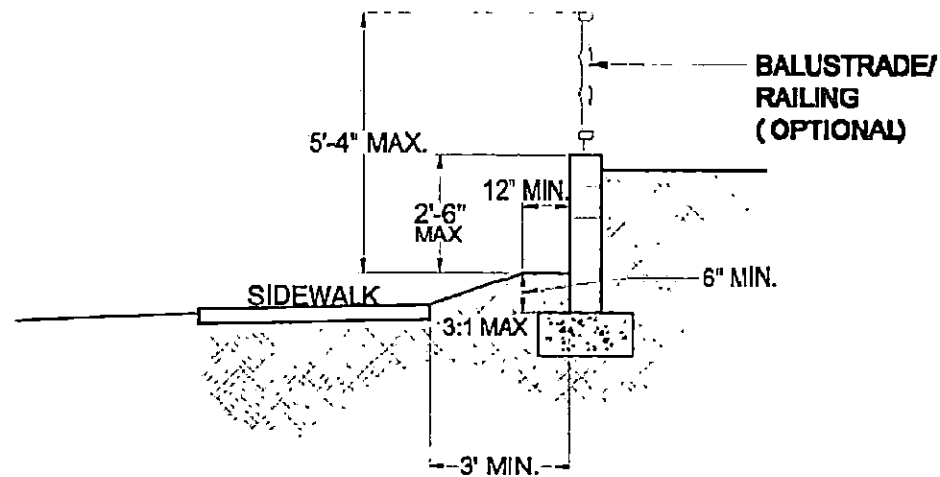
**IF MORE THAN 2'-6" OF WALL IS USED FOR RETAINING, THEN TOP OF WALL MUST BE AT LEAST 3'-6" ABOVE THE FINISHED PAD ELEVATION**



## FIGURE 5-10 FRONT YARD WALLS

N.T.S.

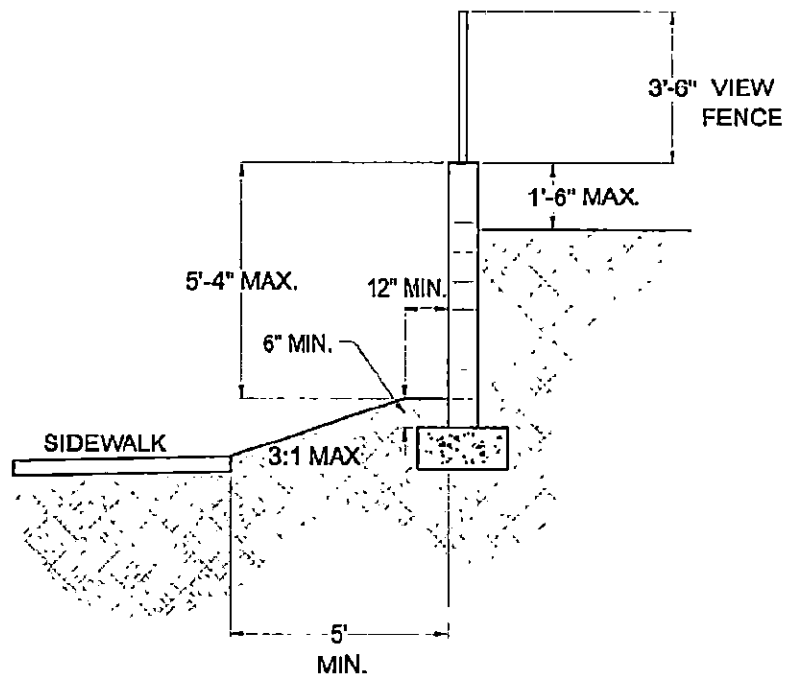
FOOTING DESIGNS AND DIMENSIONS ARE CONCEPTUAL AND DO NOT NECESSARILY ACCURATELY DEPICT ACTUAL CONSTRUCTION. ALL DIMENSIONS AND NOTES ARE REQUIREMENTS.



## FIGURE 5-11 FRONT YARD WALLS

N.T.S.

FDOTING DESIGNS AND DIMENSIONS ARE  
CONCEPTUAL AND DO NOT NECESSARILY  
ACCURATELY DEPICT ACTUAL CONSTRUCTION.  
ALL DIMENSIONS AND NOTES ARE  
REQUIREMENTS.



## **FIGURE 5-12 FRONT YARD WALLS**

**N.T.S.**

FOOTING DESIGNS AND DIMENSIONS ARE  
CONCEPTUAL AND DO NOT NECESSARILY  
ACCURATELY DEPICT ACTUAL CONSTRUCTION.  
ALL DIMENSIONS AND NOTES ARE  
REQUIREMENTS.

### **5.6.3 MATERIALS**

The exterior face of Product Walls shall be of a type specified in the Wall Palette. Wrought iron view fencing will be allowed on Community and Product Walls subject to the standards herein.

### **5.6.4 PRODUCT WALL HEIGHTS AND STEPS**

In all cases, wall heights and wrought iron view fences are measured from finished grade on the lowest (most exposed) side of the fence or wall to the top of the fence or wall.

The maximum step along the top of walls is sixteen inches with a minimum of thirty-two inches horizontal area between steps.

### **5.6.5 PRODUCT WALL TO VILLAGE WALL CONNECTIONS**

Where a Product Wall meets a Village Wall, the Product Wall must meet the elevation of the Village Wall at the point of connection or be lower than the Village Wall. Taller Product Walls shall be held at the Village Wall elevation for at least eight feet back from the Village Wall before stepping up to the Product Wall elevation.

### **5.6.8 WATERPROOFING**

All retaining walls must be designed to minimize the transition of water through the walls. Walls must also be adequately drained on the surcharge side in accordance with the written recommendations of a geotechnical or structural engineer.

### **5.6.9 ACCEPTABLE MATERIALS**

All Product Walls that front and are adjacent to roadways and/or common elements must be designed and built with materials and colors that complement the architecture of the homes. Both faces of a Product Wall must be of one of the following materials or finishes:

- integral color split faced block
- integral color smooth faced block
- stone or faux stone
- painted or integral color stucco
- wrought iron view fencing as described below in Section 5.6.11.

### **5.6.10 PROHIBITED MATERIALS**

Unfinished or painted concrete block, wood, vinyl and chain link fence are not permitted.

### **5.6.11 VIEW FENCES**

All view fences will be constructed of wrought iron in a color and finish approved by the Master Developer. All wrought iron view fencing abutting residential parcels will be 5'4" in height except for Front Yard Walls where the view fence is 3'6" in height. Where abutting a non-residential parcel, the view fence may be any height up to but not exceeding 5'4". Where a Product Wall meets a Village Wall that consists of wrought iron view fencing, the Product Wall must also consist of wrought iron view fencing at the same height as the Village Wall for a distance of at least five feet from the junction of the two walls.

## **5.7 COMMUNITY IRRIGATION STANDARDS**

The main principle behind the landscape and irrigation of the Kyle Canyon Master Plan is to incorporate principals based on water conservation and water harvesting techniques. Therefore, a highly efficient automatic irrigation system will be required for all planting areas. Spray irrigation may only be used on natural turf areas, where permitted; however, subsurface irrigation is preferred.

### **5.7.1 WATER DEMAND**

Peak flow demands shall be based on applying peak weekly irrigation requirements in six hours (12:00am-6:00am). Design shall be based on available static pressure minus 10% for fluctuations.

### **5.7.2 WATER APPLICATION**

Natural turf will only be allowed in the rear yards of residential lots and in highly usable common areas associated with parks and playing fields. Usable turf areas should be at least 50' in width.

Front yards will have drought tolerant plantings. Artificial turf will be allowed as a substitute for natural turf in front yards.

Annual plantings must be placed in potted planters and small-contained areas. Drip or underground irrigation shall be used for these areas.

Overhead and drip irrigation systems must be zoned for exposure (south and west exposures together, north and east exposures together), topography, and varying water requirements of the plant material. Trees, shrubs and potted planters shall be on separate valves.

Overhead sprays are to be used interior to parcels in pocket park areas or residential rear yard lots on natural turf only.

#### **5.7.3 OVERHEAD IRRIGATION**

Spray heads on natural turf next to roadways and walkways must have low angle (10%) nozzles. Pop-up heads must be a minimum of 4". Spray heads may not throw water directly onto any roadway, walkway or paved surface. Large radius rotor heads (twenty-five foot radius or greater) are not allowed abutting roadway or walkway edges.

All spray heads (fifteen foot radius or less) shall be spaced no further than 40% of the spray diameter to account for area wind conditions. Spacing for large radius rotors (twenty-five foot radius or greater) shall not exceed 60% of the spray diameter.

- Common area
- Spray irrigation is allowed only in functional recreational turf areas that are at least 50' wide and in which the sprinkler system meets a distribution uniformity standard of 65%

Overhead irrigation heads may not throw water directly onto any roadway, walkway, or paved surface.

#### **5.7.4 DRIP IRRIGATION**

Drip irrigation shall be used in all tree, shrub and groundcover areas except as noted above. The minimum quantity of emitters per plant

should be in accordance with the following table. Some variation may occur due to differences in water demand between plant materials.

| <b>Plant Size</b>  | <b>Emitter<br/>Volume</b> | <b>Quantity</b> |
|--------------------|---------------------------|-----------------|
| 1 gallon material  | 1 GPH                     | 1 each          |
| 5 gallon material  | ½-1 GPH                   | 2 each          |
| 15 gallon material | 2 GPH                     | 3-4 ea          |
| 24" box material   | 2 GPH                     | 4-5 ea          |
| 36" box material   | 2 GPH                     | 6-7 ea          |
| 48" box material   | 2 GPH                     | 7-8 ea          |
| 54" box material   | 2 GPH                     | 9-12 ea         |
| 60" box material   | 2 GPH                     | 12-16 ea        |

#### **5.7.5 ZONING**

Irrigation systems must be zoned for exposure (south and west exposures together, north and east exposures together), topography and varying water requirements of plant material. Turf, flower beds, shrubs, trees and decorative pots must be on separate valves.

#### **5.7.8 SUBTERRANEAN IRRIGATION**

Subterranean irrigation is encouraged in all turf areas in lieu of overhead irrigation.

#### **5.7.9 IRRIGATION CONTROL EQUIPMENT**

Irrigation controllers shall use a system based on evapo-transpiration rates or weather systems in order to respond to the climate and environmental factors. These controllers shall have the following minimum capabilities:

- three independent operating programs

- four start times per program.
- Station run times of 0-99 minutes in one-minute increments.
- Watering schedules that are selectable per program for any day of the week from daily to every fourteen days.
- Non-volatile memory for program data (no battery required to maintain the program).

#### **5.7.10 Community Plant Materials**

The following list represents the different amenity areas and neighborhood zones within the Kyle Canyon Master Plan. The trees on this list are the only allowable species to be used in any public or private area. The Master Developer must approve any variations. The shrubs on this list are the only allowable species to be used in public areas. Private areas may have variations, but only if the variations are approved by the Master Developer.

#### **PROHIBITED PLANT MATERIALS LIST**

Baccharis sarothroides/Desert Broom

Olea europea/Olive (fruit producing)

Pennisetum setaceum/Fountain Grass (green variety)

Morus alba/Fruiting Mulberry

Tamrix spp./Tamarisk

Palm Trees (all species)

| Master Plant Palette           |                          | Resid. Street-scapes | Front Yard | Alleys |
|--------------------------------|--------------------------|----------------------|------------|--------|
| BOTANICAL NAME                 | COMMON NAME              |                      |            |        |
| <b>Trees</b>                   |                          |                      |            |        |
| Acacia aneura                  | Mulga Tree               | X                    | X          | X      |
| Acacia jenerae                 | Coonivitta Wattle        | X                    | X          | X      |
| Acacia pendula                 | Weeping Acacia           | X                    | X          | X      |
| Acacia salicina                | Willow Acacia            | X                    | X          | X      |
| Acacia schaffneri              | Twisted Acacia           | X                    | X          | X      |
| Acacia smallii (farnesiana)    | Sweet Acacia             | X                    | X          | X      |
| Acacia stenophylla             | Shoestring Acacia        | X                    | X          | X      |
| Arbotos onedo                  | Strawberry Tree          | X                    | X          |        |
| Bauhinia congesta              | Orchid Tree              | X                    | X          |        |
| Cercidium floridum             | Blue Palo Verde          | X                    | X          | X      |
| Cercidium hybrid               | Palo Verde Hybrid        | X                    | X          | X      |
| Cercidium microphyllum         | Foothills Palo Verde     | X                    | X          | X      |
| Cercidium parkinsonian         | Desert Museum Palo Verde | X                    | X          | X      |
| Cercidium praecox              | Palo Brea                | X                    | X          | X      |
| Chilopsis linearis             | Desert Willow            | X                    | X          | X      |
| Chilopsis linearis             | 'Lucretia Hamilton'      | X                    | X          | X      |
| Chitalpa tashkentosis          | Chitalpa                 | X                    | X          | X      |
| Cordia boissieri               | Texas Olive              | X                    | X          | X      |
| Cupressus glabra               | Smooth Arizona Cypress   | X                    | X          |        |
| Eleocarpus decipens            | Japanese Blueberry       | X                    | X          |        |
| Feijoa sellowiana              | Pineapple Guava          | X                    | X          |        |
| Fraxinus oxycarpa 'Raywood     | Raywood Ash              | X                    | X          |        |
| Fraxinus velutina 'Rio Grande' | Fan-Tex Ash              | X                    | X          |        |
| Fraxinus velutina 'Fan West    | Fan-West Ash             | X                    | X          |        |
| Olea 'Swan Hill' or 'Wilsonii' | Fruitless Olive          | X                    | X          |        |
| Pinus eldarica                 | Mondel Pine              | X                    | X          | X      |
| Pinus halepensis               | Aleppo Pine              | X                    | X          | X      |

| Master Plant Palette                    |                            | Resid. Street-<br>scapes | Front Yard | Alleys |
|-----------------------------------------|----------------------------|--------------------------|------------|--------|
| <i>Pinus pinea</i>                      | Stone Pine                 | X                        | X          | X      |
| <i>Pinus roxburghii</i>                 | Chir Pine                  | X                        | X          | X      |
| <i>Pistacia chinensis</i>               | Chinese Pistache           | X                        | X          |        |
| <i>Pithecellobium flexicaule</i>        | Texas Ebony                | X                        | X          | X      |
| <i>Pithecellobium mexicanum</i>         | Mexican Ebony              | X                        | X          | X      |
| <i>Platanus racemosa</i>                | California Sycamore        | X                        | X          | X      |
| <i>Prosopis alba</i>                    | Argentine Mesquite         | X                        | X          | X      |
| <i>Prosopis alba</i>                    | Colorado Mesquite          | X                        | X          | X      |
| <i>Prosopis chilensis</i>               | Thornless Chilean Mesquite | X                        | X          | X      |
| <i>Prosopis glandulosa</i>              | Texas Honey Mesquite       | X                        | X          | X      |
| <i>Prosopis glandulosa</i>              | Western Honey Mesquite     | X                        | X          | X      |
| <i>Prosopis hybrid</i>                  | Mesquite hybrids           | X                        | X          | X      |
| <i>Prosopis pubescens</i>               | Screwbean Mesquite         | X                        | X          | X      |
| <i>Prosopis velutina</i>                | Velvet Mesquite            | X                        | X          | X      |
| <i>Prunus caroliniana</i>               | Carolina Cherry Laurel     | X                        | X          |        |
| <i>Prunus cerasifera</i>                | Cherry Plum                | X                        | X          |        |
| <i>Prunus cerasifera</i> 'Atropurpurea' | Purple Leaf Plum           | X                        | X          |        |
| <i>Pyrus kawakamii</i> 'Bradford'       | Bradford Pear              | X                        | X          |        |
| <i>Quercus ilex</i>                     | Holly Oak                  | X                        | X          |        |
| <i>Quercus muhlenbergia</i>             | Chinquapin Oak             | X                        | X          | X      |
| <i>Quercus texana</i>                   | Texas Red oak              | X                        | X          |        |
| <i>Quercus virginiana</i>               | Southern Live Oak          | X                        | X          | X      |
| <i>Rhus lancea</i>                      | African Sumac              | X                        | X          | X      |
| <i>Sophora secundiflora</i>             | Texas Mountain Laurel      | X                        | X          | X      |
| <i>Ulmus parvifolia</i>                 | Evergreen Elm              | X                        | X          |        |
| <i>Vitex agnus-castus</i>               | Monks Pepper               | X                        | X          | X      |
| <b>Shrubs</b>                           |                            |                          |            |        |
| <i>Acacia greggii</i>                   | Cat-Claw Acacia            |                          |            |        |
| <i>Alyogyne huegelii</i>                | Blue Hibiscus              | X                        | X          | X      |

| Master Plant Palette              |                          | Resid. Street-scapes | Front Yard | Alleys |
|-----------------------------------|--------------------------|----------------------|------------|--------|
| Ambrosia deltoidea                | Triangle Leaf Bursage    |                      |            | X      |
| Anisacanthus quadrifidus-wrightii | Mexican Flame            | X                    | X          | X      |
| Aristida purpurea                 | Purple Three Awn         | X                    | X          | X      |
| Atriplex canescens                | Four Wing Saltbush       |                      |            |        |
| Buddleia marrubifolia             | Wooly Butterfly Bush     |                      |            | X      |
| Caesalpinia cacalaco              | Cascalote                |                      |            | X      |
| Caesalpinia gilliesii             | Yellow Bird of Paradise  | X                    | X          | X      |
| Caesalpinia mexicana              | Mexican Bird of Paradise | X                    | X          | X      |
| Caesalpinia pulcherrima           | Red Bird of Paradise     | X                    | X          | X      |
| Calliandra californica            | Baja Fairy Duster        |                      |            | X      |
| Calliandra eriophylla             | Native Fairy Duster      |                      |            | X      |
| Calylopus hartwegii               | Sierra Sundrop           | X                    | X          | X      |
| Celtis pallida                    | Desert Hackberry         |                      |            |        |
| Chrysothamnus nauseosus           | Golden Rabbit Brush      |                      |            |        |
| Cordia boissieri                  | Texas Olive              | X                    | X          | X      |
| Cordia parvifolia                 | Little Leaf Cordia       | X                    | X          | X      |
| Cottoneaster lacteus              | Red Clusterberry         | X                    | X          |        |
| Dalea bicolor                     | Silver Dalea             | X                    | X          | X      |
| Dalea frutescens                  | Black Dalea              | X                    | X          | X      |
| Dalea pulchra                     | Indigo Bush              |                      |            |        |
| Dietes bicolor                    | Fortnight Lily           | X                    | X          |        |
| Dodonea viscosa                   | Purple Hopseed Bush      | X                    | X          | X      |
| Elaeagnus ebbingei                | Ebbings's Silverberry    | X                    | X          | X      |
| Encelia farinosa                  | Brittlebush              | X                    | X          | X      |
| Ephedra nevadensis                | Morman Tea               |                      |            | X      |
| Eremophila species                | 'Summertime Blue'        | X                    | X          | X      |
| Eremophila species                | Valentine                | X                    | X          | X      |
| Ericameria laricifolia            | Turpentine Bush          | X                    | X          | X      |
| Eupatorium greggii                | 'Boothill' Eupatorium    |                      |            | X      |

| Master Plant Palette                    |                       | Resid. Street-<br>scapes | Front Yard | Alleys |
|-----------------------------------------|-----------------------|--------------------------|------------|--------|
| Fraxinus greggii                        | Gregg Ash             | X                        | X          | X      |
| Gaura lindheimeri                       | Gaura                 | X                        | X          | X      |
| Hemerocallis                            | Daylily               | X                        | X          | X      |
| Justicia californica                    | Chuparosa             |                          |            |        |
| Justicia spicigera                      | Mexican Honeysuckle   | X                        | X          | X      |
| Larrea tridentata                       | Creosote              |                          |            |        |
| Leucophyllum candidum                   | Sierra Boquet         | X                        | X          | X      |
| Leucophyllum candidum                   | Silver Cloud          | X                        | X          | X      |
| Leucophyllum frutescens 'Compacta'      | Compact Texas Ranger  | X                        | X          | X      |
| Leucophyllum frutescens 'Green Cloud'   | Green Cloud Sage      | X                        | X          | X      |
| Leucophyllum laevigatum                 | Chihuahuan Sage       | X                        | X          | X      |
| Leucophyllum langmaniae 'Rio Bravo'     | Rio Bravo Ranger      | X                        | X          | X      |
| Leucophyllum pruniosum 'Sierra Bouquet' | Sierra Boquet         | X                        | X          | X      |
| Leucophyllum revolutum 'Sierra Magic'   | Sierra Magic Mix      | X                        | X          | X      |
| Leucophyllum x Heavenly Cloud           | Heavenly Cloud Sage   | X                        | X          | X      |
| Leucophyllum zygophyllum                | Blue Ranger           | X                        | X          | X      |
| Leucophyllum zygophyllum 'Cimarron'     | Cimarron              | X                        | X          | X      |
| Myrtus communis 'Boetica'               | Twisted Myrtle        | X                        | X          | X      |
| Myrtus communis 'Compacta'              | Compact Myrtle        | X                        | X          | X      |
| Nandina domestica                       | Heavenly Bamboo       | X                        | X          |        |
| Nandina domestica 'Nana'                | Dwarf Heavenly Bamboo | X                        | X          | X      |
| Nerium oleander 'Petite Pink'           | Dwarf Oleander 'Pink' | X                        | X          | X      |
| Pittosporum tobira varieties            | Mock Orange           | X                        | X          | X      |

|                                             |                         |   |   |   |
|---------------------------------------------|-------------------------|---|---|---|
| <i>Rhus microphylla</i>                     | Little Leaf Sumac       | X | X | X |
| <i>Rhus trilobata</i>                       | Squaw Bush              | X | X | X |
| <i>Rosmarinus officinalis</i> 'Tuscan Blue' | Tuscan Blue Rosemary    | X | X | X |
| <i>Ruellia brittonia</i>                    | Ruellia                 | X | X | X |
| <i>Salvia clevelandii</i>                   | Chaparral Sage          | X | X | X |
| <i>Salvia coccinea</i>                      | Scarlet Sage            | X | X | X |
| <i>Salvia greggii</i>                       | Autumn Sage             | X | X | X |
| <i>Senna artemisioides</i>                  | Feathery Cassia         | X | X | X |
| <i>Senna nemophila</i>                      | Desert Cassia           | X | X | X |
| <i>Senna phyllodenea</i>                    | Silver leaf Cassia      | X | X | X |
| <i>Tecoma Stans</i>                         | 'Gold Star' Yellowbells | X | X | X |
| <i>Tecoma</i> x 'Sunrise'                   | <i>Tecoma</i> x Sunrise | X | X | X |
| <i>Vauquelinia californica</i>              | Arizona Rosewood        | X | X | X |
| <i>Viquiera deltoidea</i>                   | Goldeneye               | X | X | X |
| <i>Zauschneria californica</i>              | Hummingbird Flower      | X | X | X |
| <i>Zinnia grandiflora</i>                   | Prarie Zinnia           | X | X | X |
| <b>Groundcovers</b>                         |                         |   |   |   |
| <i>Acacia redolens</i> 'Desert Carpet'      | Desert Carpet Acacia    | X | X | X |
| <i>Baccharis</i> 'Centennial'               | Centennial Coyote Bush  | X | X | X |
| <i>Baileya multiradiata</i>                 | Desert Marigold         | X | X | X |
| <i>Chrysactinia mexicana</i>                | Damianita               | X | X |   |
| <i>Convolvulus cneorum</i>                  | Bush Morning Glory      | X | X | X |
| <i>Dalea capitata</i> 'Sierra Gold'         | Sierra Gold Dalea       | X | X | X |
| <i>Dalea greggii</i>                        | Prostrate Indigo Dalea  |   |   | X |
| <i>Dyssodia pentachaeta</i>                 | Golden Dyssodia         | X | X | X |
| <i>Gazania rigins</i>                       | Gazania                 | X | X | X |
| <i>Hymenoxys acaulis</i>                    | Angelita Daisy          | X | X | X |
| <i>Lantana montevidensis</i>                | Trailing Lantana        | X | X | X |
| <i>Lantana</i> sp 'New Gold'                | New Gold Lantana        | X | X | X |
| <i>Liriope muscari</i>                      | Liriope                 | X | X |   |
| <i>Lonicera japonica</i> 'Halliana'         | Hall's Honeysuckle      | X | X | X |
| <i>Melampodium leucanthum</i>               | Blackfoot Daisy         | X | X | X |

|                                     |                          |   |   |   |
|-------------------------------------|--------------------------|---|---|---|
| Oenothera berlandieri               | Mexican Evening Primrose | X | X | X |
| Oenothera caespitosa                | White Evening Primrose   | X | X | X |
| Penstemon baccharifolius            | Del Rio Penstemon (Red)  | X | X | X |
| Penstemon cobaea                    | Foxglove (White)         | X | X | X |
| Penstemon eatonii                   | Firecracker (Red)        | X | X | X |
| Penstemon palmeri                   | Scented (Light Pink)     | X | X | X |
| Penstemon parryi                    | Parry Penstemon (Pink)   | X | X | X |
| Penstemon pseudospectabilis         | Canyon (Rose)            | X | X | X |
| Penstemon strictus                  | Rocky Mountain (Blue)    | X | X | X |
| Psilostrophe cooperi                | Paper Flower             | X | X | X |
| Pyracantha koidsumii 'Santa Cruz'   | Santa Cruz Pyracantha    | X | X | X |
| Rosa banksiae                       | Lady Bank's Rose         | X | X | X |
| Rosmarinus officinalis 'Prostratus' | Trailing Rosemary        | X | X | X |
| Ruellia brittonia 'Katie'           | Dwarf Ruellia            | X | X | X |
| Teucrium chamaedrys                 | Germander                | X | X | X |
| Verbena gooddingii                  | Gooddingii Verbena       | X | X | X |
| Verbena rigida                      | Sandpaper Verbena        | X | X | X |
| <b>Accents</b>                      |                          |   |   |   |
| Agave Americana                     | Century Plant            | X | X | X |
| Agave colorata                      | Mexcal Ceniza            | X | X | X |
| Agave geminiflora                   | Twin Flowered Agave      | X | X | X |
| Agave murpheyi                      | Murphy's Agave           | X | X | X |
| Agave parryi-huachucensis           | Parry's Agave            | X | X | X |
| Agave vilmoriniana                  | Octopus Agave            | X | X | X |
| Agave weberi                        | Weber's Agave            | X | X | X |
| Dasyliro acrotriche                 | Green Desert Spoon       | X | X | X |
| Dasyliro longissimum                | Mexican Grass Tree       | X | X | X |
| Dasyliro wheeleri                   | Desert Spoon             | X | X | X |
| Euphorbia rigida (biglandulosa)     | Gopher Plant             | X | X | X |
| Ferocactus acanthodes               | Compass Barrell          |   |   | X |
| Ferocactus wislizenii               | Fishhook Barrell         |   |   | X |
| Fouqueria splendens                 | Ocotillo                 |   |   |   |

|                                      |                         |   |   |   |
|--------------------------------------|-------------------------|---|---|---|
| <i>Hesperaloe parviflora</i>         | Red Yucca               | X | X | X |
| <i>Hesperaloe parviflora</i>         | Yellow Yucca            | X | X | X |
| <i>Muhlenbergia capillaris</i>       | Regal Mist Deer Grass   | X | X | X |
| <i>Muhlenbergia lindheimeri</i>      | Autumn Glow Deer Grass  | X | X | X |
| <i>Muhlenbergia rigens</i>           | Deer Grass              | X | X | X |
| <i>Nolina microcarpa</i>             | Bear Grass              | X | X | X |
| <i>Opuntia basilaris</i>             | Beavertail Prickly Pear |   |   |   |
| <i>Opuntia microdasys</i>            | Bunny Ears Prickly Pear | X | X |   |
| <i>Opuntia violacea</i> 'santa rita' | Purple Pancake          | X | X |   |
| <i>Pedilanthus macrocarpus</i>       | Slipper Plant           | X | X | X |
| <i>Yucca baccatta</i>                | Banana Yucca            |   |   |   |
| <i>Yucca brevifolia</i>              | Joshua Tree             |   |   |   |
| <i>Yucca elata</i>                   | Soaptree Yucca          |   |   |   |
| <i>Yucca rigida</i>                  | Blue Yucca              |   |   |   |
| <i>Yucca schidigera</i>              | Mojave Yucca            |   |   |   |
| <i>Yucca schottii</i>                | Yucca                   |   |   |   |
| <i>Yucca rostrata</i>                | Beaked Yucca            |   |   |   |
| <b>Vines</b>                         |                         |   |   |   |
| <i>Antigonon leptopus</i>            | Queen's Wreath          | X | X |   |
| <i>Campsis radicans</i>              | Common Trumpet Creeper  | X | X | X |
| <i>Feijoa sellowiana</i>             | Pineapple Guava         | X | X | X |
| <i>Gelsemium sempervirens</i>        | Carolina Jasmine        | X | X | X |
| <i>Hardenbergia violacea</i>         | Lilac Vine              | X | X | X |
| <i>Jasminum mesnyi</i>               | Primrose Jasmine        | X | X | X |
| <i>Lonicera japonica</i> 'Halliana'  | Hall's Honeysuckle      | X | X | X |
| <i>Macfadyena unguis-cati</i>        | Cat's Claw              | X | X | X |
| <i>Pyracantha coccinea</i>           | Firethorn               | X | X | X |
| <i>Pyracantha graberii</i>           | Pyracantha              | X | X | X |
| <i>Rosa banksiae</i>                 | Lady Bank's Rose        | X | X | X |
| <i>Solanum jasminoides</i>           | Potato Vine             | X | X | X |
| <i>Trachelospermum jasminoides</i>   | Star Jasmine            | X | X | X |

## **Section 6 – STREET SYSTEM, DRAINAGE & INFRASTRUCTURE DEVELOPMENT**

The network of walkable streets at Kyle Canyon will form the connective tissue of the community's public realm. Consequently, there will be no "back-on" streets in Kyle Canyon except as shown on Figure 3-15. Typical streets will have sidewalks, planting strips, on-street parking, and buildings with front doors, windows and porches that face onto the street. All these features help to create an environment that encourages walking and bicycling for short local trips as well as recreation.

A hierarchy of streets of different characters will ensure efficient circulation that balances the needs of all modes of travel - auto, pedestrian, bicycle and transit. The "Village Streets" consist of Boulevard Arterials, Arterial Streets and Frontage Roads, Boulevards, and Connectors (Figure 6-1). The following pages contain descriptions of the street classifications, specifications of the street dimensions, and illustration of typical street landscaping concepts.

### **6.1 ROADWAY CLASSIFICATIONS**

**Boulevard Arterials** are major regional arterials and will have a boulevard treatment. Horse Drive and Hualapai Way will have two travel lanes in each direction and will be separated by a landscaped median. The median width will also provide for future expansion of the roadway to accommodate potential increase in traffic. Residential buildings will face onto Horse and Hualapai with windows and front entries facing the street. Parking for these residences will be accessed from side streets or rear alleys, since curb cuts will be minimized. On-street parking, landscaping and sidewalks will contribute to the pedestrian-friendly environment by

buffering pedestrians from moving cars and providing guest parking and walking access to residences. (Refer to Figure 6-2)

**Arterial Streets and Frontage Roads** will form the perimeter streets of the Community. These roadways four or six travel lanes with a 14' shared outside travel lane to accommodate bicycles. Shoulders 10' wide are provided on Fort Apache and an equestrian trail will be constructed on the north side of Grand Teton. Landscape areas and a sidewalk or multi-use trail will provide a buffer between these high volume streets and residential areas. (Refer to Figure 6-3).

**Boulevards** will form important connections between activity centers and open spaces at Kyle Canyon. These community roadways will include single or multiple travel lanes and a landscaped median. Landscaping and sidewalks will contribute to the pedestrian-friendly environment by providing walking access to residences. (Refer to Figure 6-4)

**Connector Streets** relieve the arterials of local trips. Connector streets have two travel lanes and on-street parking. Where they run alongside the arroyos or other open space, connector streets will have homes facing or siding onto them on one side of the street, with a detached sidewalk, landscaping, and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows access to open space for all residents. In other areas where the Connector is not adjacent to the arroyos or open space, homes can face the road on both sides of the street with a detached sidewalk, landscaping, and on-street parking. (Refer to Figure 6-5).

**Neighborhood Streets** within the Neighborhood Residential Districts are planned with sidewalks on both sides, landscaping and pedestrian-scaled street lighting.

Alongside parks and open spaces, Neighborhoods Streets will have front doors facing onto them on one side of the street, with a detached sidewalk, landscaping and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows views of the open space for all residents as they travel through the community. (Refer to Figure 6-6).

Alleys shall be provided, in conformance with the standards set forth in the design guidelines. If alleys are provided in residential developments, they shall be in accordance with the alley cross sections provided in this Section. All alleys shall be mapped as a common element and privately maintained, unless they meet the criteria for public alleyways as established by the City of Las Vegas. Generally alleys will have 14' to 20' of continuous pavement in a right-of-way up to 26' in width, with garages set back an additional 3' (minimum) on each side to permit landscaping as required by Section 5.2.11. (Refer to Figure 6-7).

Access Road configuration within the Mountain Edge Parkway Right of Way, east of the existing US-95 will be provided. This access road will provide circulation for the proposed school site and an alternate route for east/west travel.

## **6.2 TRAFFIC STUDY**

A Master Traffic Study has been completed which evaluated the adequacy of the proposed street system and the surrounding streets. This analysis established criteria, for roadway and intersection geometrics, traffic control, and parcel entrances. The Master Traffic Study identified the necessary roadway alignments and cross-sections for the infrastructure streets, including block lengths controls for builder streets within the project. Individual neighborhood street networks, land uses, and final pod densities have not been specifically identified. Updates to the Master Traffic

Study may be required, based on individual site plans and land use information submitted as the development progresses.

Where pod development is determined to be in conformance with the recommendation and assumptions in the Master Traffic Study no additional site specific traffic study is required. If the builder's density is significantly greater than what was assumed, or access to the Village Streets significantly deviates from the Master Study, then that builder shall be responsible for a site specific traffic study which shall be processed and approved by the City of Las Vegas.

## **6.3 STREET OFF-SETS**

Neighborhood streets shall not have centerline intersection offsets of less than 100' unless approved by the Master Developer.

## **6.4 DRAINAGE**

A Master Drainage Study has been completed which evaluates the required storm drain infrastructure based on a proposed street network and development plan. The Master Drainage Study identifies drainage flows that impact the Community and how those flows should be routed through and around the site in accordance with local design criteria. Technical Drainage Studies will be completed per phase, utilizing the Master Drainage Study as a basis to refine the drainage infrastructure requirements.

Builders will be required to submit site specific Technical Drainage Studies for review and approval through the City of Las Vegas. The builder will reference the Master Technical Drainage Study as a basis of design. Updates to the Master Technical Drainage Study shall be required if the builder substantially deviates from the assumptions that are approved within the Master Technical Study. Technical Drainage Studies or updates shall be processed through the City of Las Vegas for approval.

Drainage Facilities shall be designed to meet criteria as outlined in the "Clark County Regional Flood Control District Hydrologic Criteria and Drainage Design Manual", unless otherwise detailed in the design guidelines. Facilities shall also be in accordance with the Kyle Master Drainage Study and all addendums.

#### **6.4.1 VALLEY GUTTERS**

Valley gutters with a minimum width of 6 feet shall be constructed across street intersections where required by drainage requirements. Valley gutters will not be allowed to cross roadways shown on the City's Master Streets and Highways Plan. In addition, valley gutters will typically not be allowed to occur in absence of stop control and thus, proper planning and design is necessary to insure that valley gutters occur in conjunction with stop controlled intersections. For private alleys and commercial driveways, valley gutters with a minimum width of 4 feet are allowed. The construction shall comply

with the area standards and the details included in the design guidelines with exception of noted widths.

#### **6.4.2 DRAINAGE EASEMENTS**

Public drainage easements ten feet (10') wide are permitted for flows of less than 20 cfs, if privately maintained.

#### **6.4.3 FINISHED FLOOR ELEVATION**

Finished Floor elevations of buildings in non special flood hazard zones shall be set a minimum of 6 inches above the highest adjacent top of curb for which lots front or twice the depth of flow in the gutter for the 100 yr storm event, whichever is greater to a maximum of 18 inches above the water surface.

#### **6.5 ENGINEERED DRAWINGS**

The Engineered Drawings included in this Section have been developed to fulfill the needs and conditions unique to this Community. Unless otherwise allowed by the design guidelines and where practical, the Uniform Standards Drawings for Public Works; Construction, Off-Site Improvements, Clark County Area, Nevada, Volumes I and II, Uniform Designs and Construction Standards for Potable Water Systems (2003), Design and Construction Standards for Wastewater Collection System (1997), and Nevada Department of Transportation (NDOT) Standard Plans (2003) will be used

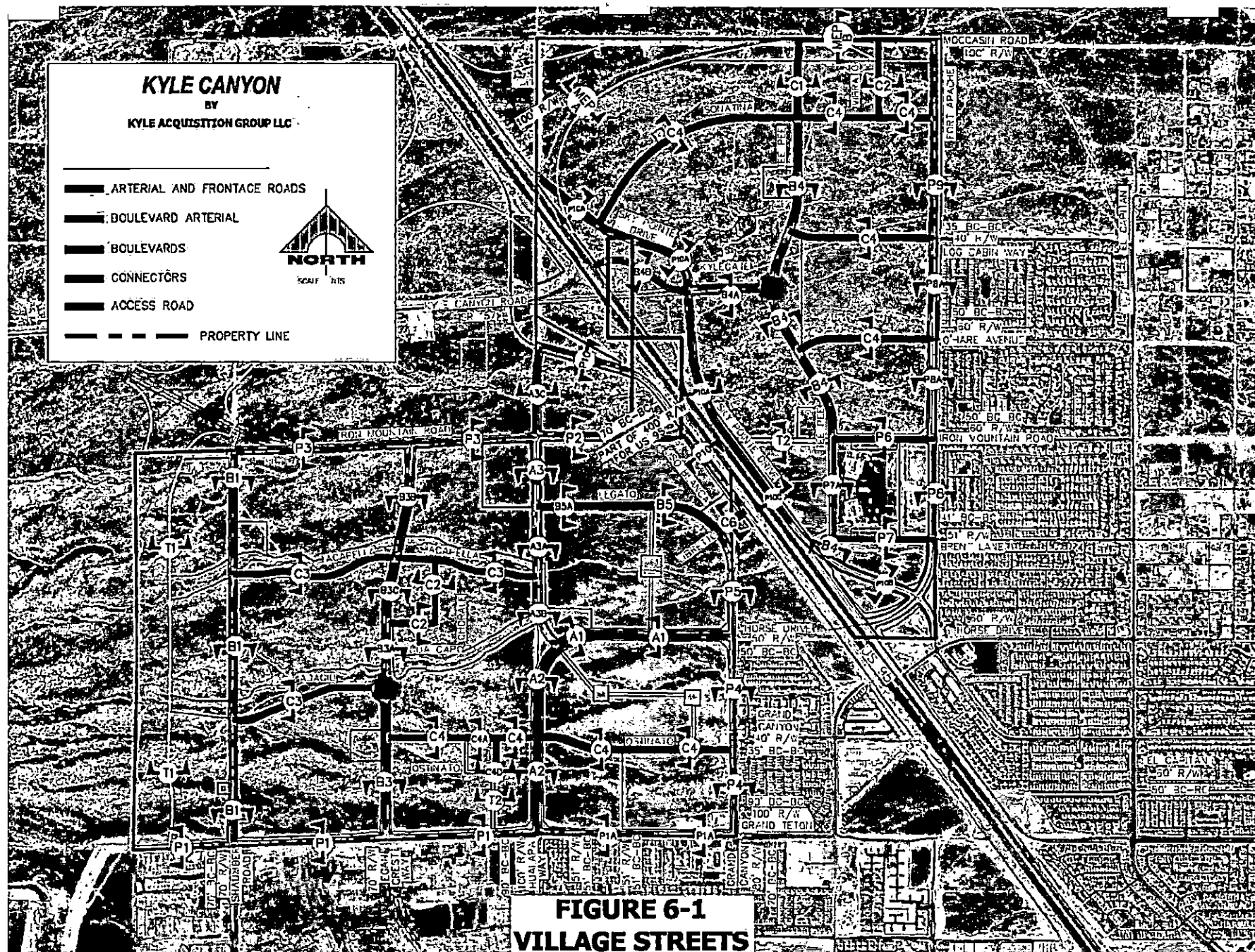
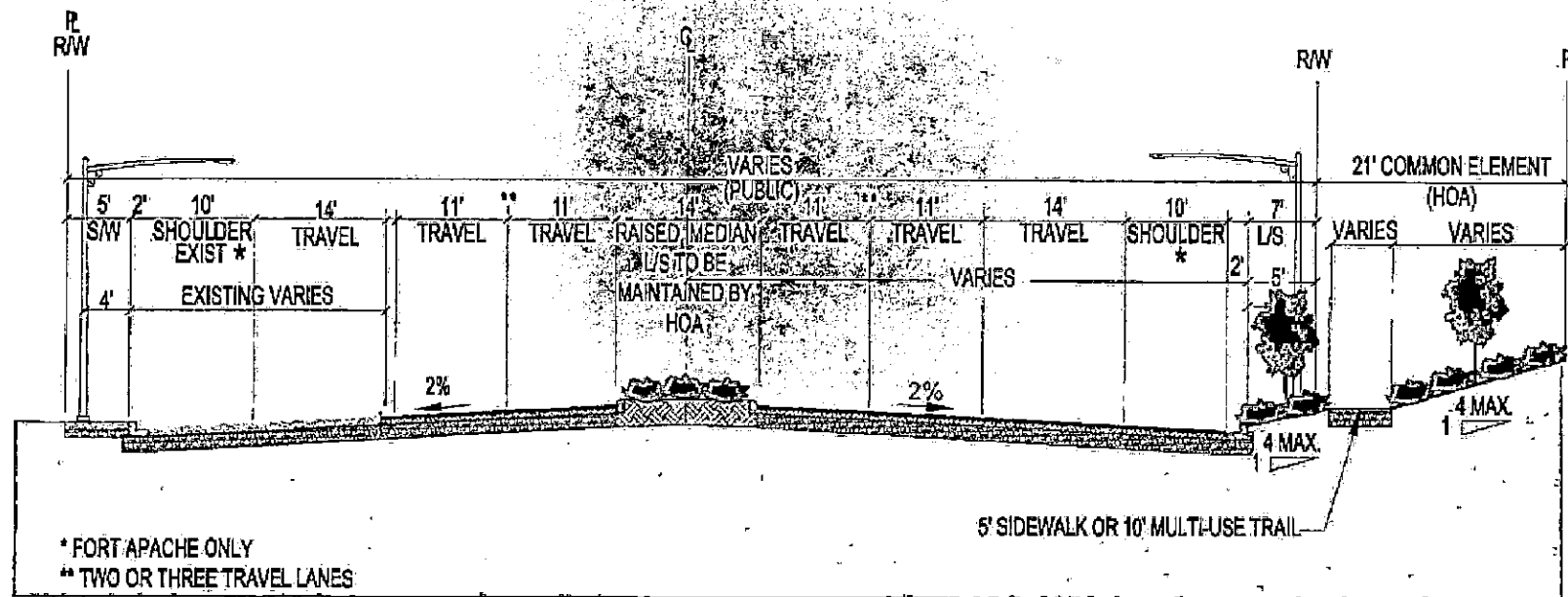


Figure 6-1 VILLAGE STREETS

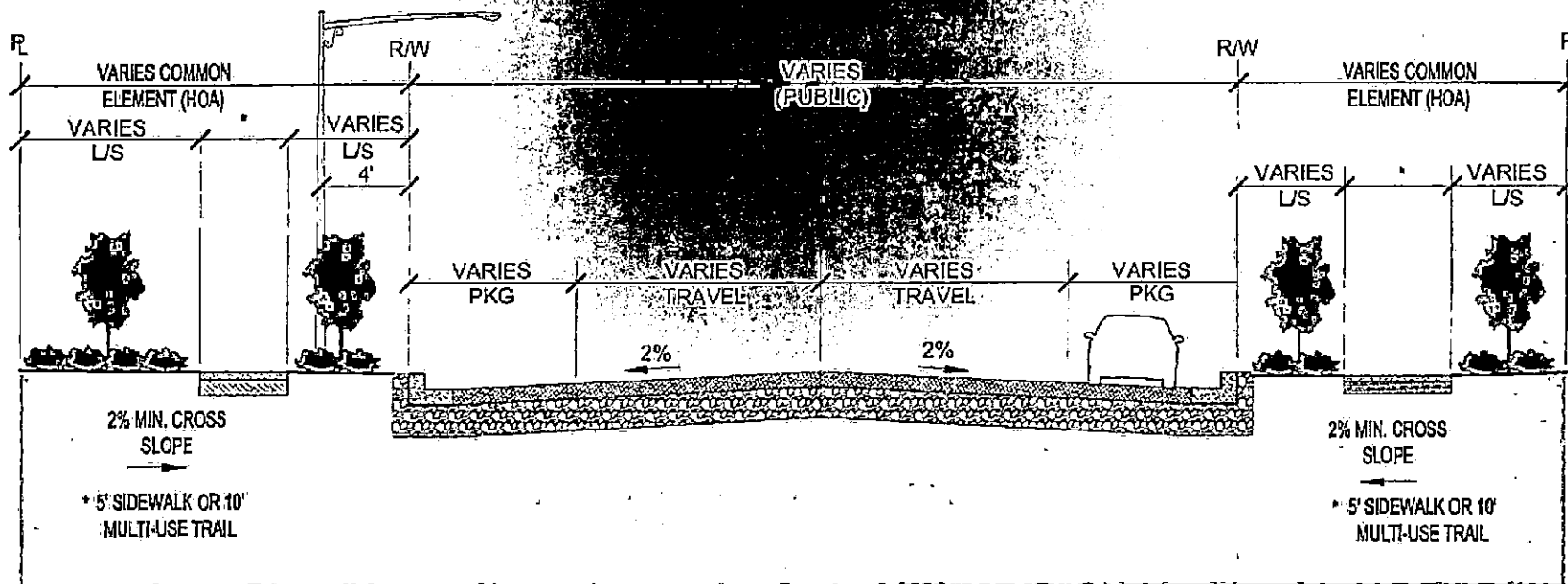




**FIGURE 6-3**  
**ARTERIAL STREETS AND**  
**FRONTAGE ROADS**

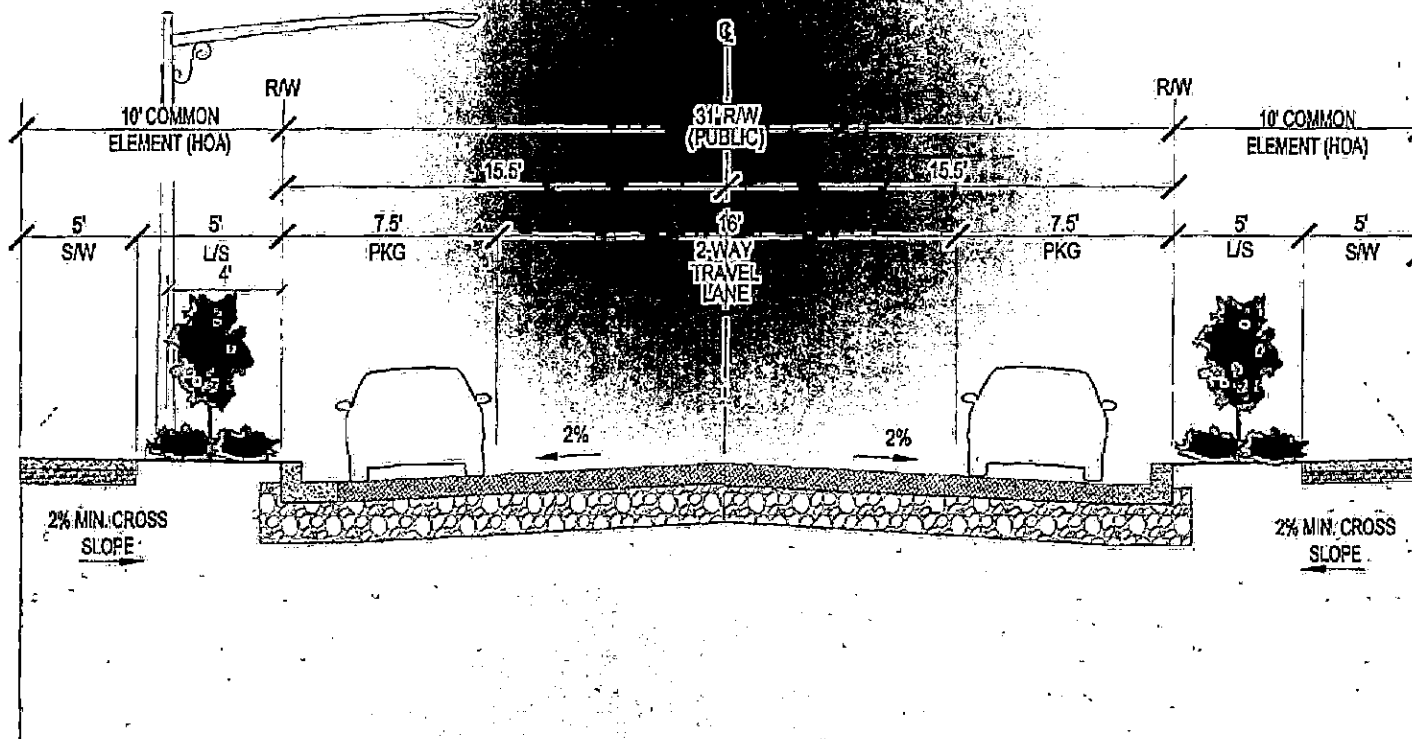
Arterial Streets and Frontage Roads will form the perimeter streets of the Community. These roadways four or six travel lanes with a 14' shared outside travel lane to accommodate bicycles. Shoulders 10' wide are provided on Fort Apache and an equestrian trail will be constructed on the north side of Grand Teton. Landscape areas and a sidewalk or multi-use trail will provide a buffer between these high volume streets and residential areas.





**FIGURE 6-5**  
**CONNECTOR STREETS**

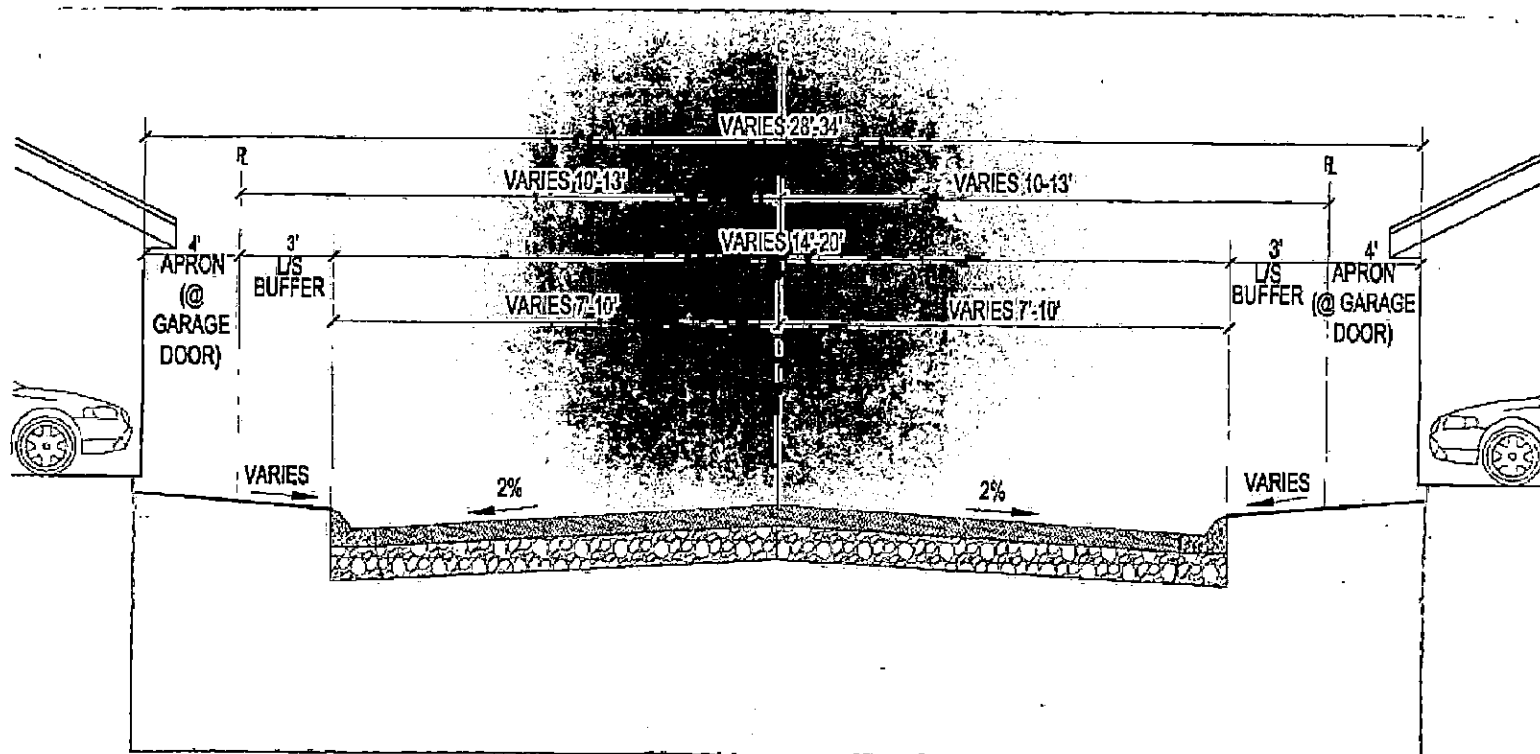
Connector Streets relieve the materials of local trips. Connector streets have two travel lanes and on-street parking. Where they run alongside the arroyos or other open space, connector streets will have homes facing or siding onto them on one side of the street, with a detached sidewalk, landscaping, and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows access to open space for all residents. In other areas where the Connector is not adjacent to the arroyos or open space, homes can face the road on both sides of the street with a detached sidewalk, landscaping, and on-street parking.



**FIGURE 6-6**  
**NEIGHBORHOOD STREETS**

Neighborhood Streets within the Neighborhood Residential Districts are planned with sidewalks on both sides, landscaping and pedestrian-scaled street lighting.

Alongside parks and open spaces, Neighborhoods Streets will have front doors facing onto them on one side of the street, with a detached sidewalk, landscaping and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows views of the open space for all residents as they travel through the community.



**FIGURE 6-7**

## ALLEYS

Alleys shall be provided, in conformance with the standards set forth in the design guidelines. If alleys are provided in residential developments, they shall be in accordance with the alley cross sections provided in this Section. All alleys shall be mapped as a common element and privately maintained, unless they meet the criteria for public alleyways as established by the City of Las Vegas. Generally alleys will have 14' to 20' of continuous pavement in a right-of-way up to 28' in width, with garages set back an additional 3' (minimum) on each side to permit landscaping as required by Section 5.2.11.

**KYLE CANYON GATEWAY**  
**Supplement to Clark County Area**  
**Uniform Standard Drawings**

| <b><u>NUMBER</u></b> | <b><u>STREET SECTIONS</u></b>                                                         |
|----------------------|---------------------------------------------------------------------------------------|
| DG-S-A1              | Horse Drive – 106' Section (Public) Hualapai to Grand Canyon                          |
| DG-S-A2              | Hualapai Way – 107.5' Section (Public) Grand Teton to Horse                           |
| DG-S-A3              | Hualapai Way – 85.5' Section (Public) Legato to Iron Mountain                         |
| DG-S-A3A             | Hualapai Way – 85.5' Section (Public) Acapella to Legato                              |
| DG-S-A3B             | Hualapai Way – 85.5' Section (Public) Horse to Acapella                               |
| DS-S-A3C             | Hualapai Way – 75' Section (Public) Iron Mountain to Oso Blanca                       |
| DG-S-B1              | Shaumber Road – 62' Section (Public)                                                  |
| DG-S-B3              | Egan Crest Way – 69.5' Section (Public) Grand Teton to Adagio                         |
| DG-S-B3A             | Egan Crest Way – 69.5' Section (Public) Adagio to Da Capo                             |
| DG-S-B3B             | Egan Crest Way – 69.5' Section (Public) Acapella to Iron Mountain                     |
| DG-S-B3C             | Egan Crest Way – 69.5' Section (Public) De Capo to Acapella                           |
| DG-S-B4              | Boulevard Tee Pee – 55' Section (Public) Iron Mountain to Sonatina-Brent to Sky Point |
| DG-S-B4A             | Kylegate – 68' Section (Public) Tee Pee to Sky Pointe                                 |
| DG-S-B4B             | Boulevard Kylegate Street 68' Section (Public) US-95 to Sky Pointe                    |
| DG-S-B5              | Connector Street – 70' Section (Public) Paseo to Libretto                             |
| DG-S-B5A             | Connector Street – 70' Section (Public) Hualapai to Paseo                             |
| DG-S-C1              | Connector Street – 38' Section (Public)                                               |
| DG-S-C2              | Connector Street – 38' Section (Public)                                               |
| DG-S-C3              | Connector Street – 53' Section (Public) Adjacent to Arroyo                            |
| DG-S-C4              | Connector Street – 53' Section (Public) W/2-Way Left Turn                             |
| DG-S-C4A             | Connector Street – 53' Section (Public) At Substation                                 |
| DG-S-C4D             | Connector Street – 41' Section (Public) At Substation                                 |
| DG-S-C6              | Connector Street – 80' Section (Public) Libretto                                      |
| DG-S-D1              | Neighborhood Street – 31' Section (Public)                                            |
| DG-S-D2              | Loop Street – 28' Section (Public) At Arroyos/Internal Parks                          |
| DG-S-D3              | Court Street – 32' Section (Private)                                                  |
| DG-S-D4              | Motor Court Street – 24' Section (Private)                                            |
| DG-S-E1              | Alley – (Private)                                                                     |
| DG-S-E2              | Alley – (Private)                                                                     |
| DG-S-E3              | Alley – (Private)                                                                     |
| DG-S-P1              | Grand Teton Drive – 95' Section (Public) Mountain Edge to Hualapai                    |
| DG-S-P1A             | Grand Teton Drive – 95' Section (Public) Hualapai to Grand Canyon                     |
| DG-S-P2              | Iron Mountain Road – 90' Section (Public) East of Hualapai                            |
| DG-S-P3              | Iron Mountain Road – 95' Section (Public) West of Hualapai                            |

|            |                                                                            |
|------------|----------------------------------------------------------------------------|
| DG-S-P4    | Grand Canyon Drive – 75' Section (Public) Grand Teton to Horse             |
| DG-S-P5    | Grand Canyon Drive – 75' Section (Public) Horse to Libretto                |
| DG-S-P6    | Iron Mountain Road – 75' Section (Public) Fort Apache to Tee Pee           |
| DG-S-P7    | Brent Lane – 58' Section (Public) Adjacent to Existing Elementary School   |
| DG-S-P7A   | Tee Pee Lane – 60' Section (Public) Iron Mountain to Brent                 |
| DG-S-P8    | Fort Apache Road – 120' Section (Public) South of Iron Mountain            |
| DG-S-P8A   | Fort Apache Road – 120' Section (Public) Iron Mountain to Log Cabin        |
| DG-S-P9    | Fort Apache Road – 120' Section (Public) North of Log Cabin                |
| DG-S-P10   | Frontage Road (Oso Blanca) – 75' Section (Public)                          |
| DG-S-P10A  | Frontage Road (Sky Pointe) – 80' Section (Public) North of Iron Mountain   |
| DG-S-P10B  | Frontage Road (Sky Pointe) – 80' Section (Public) Tee Pee to Fort Apache   |
| DG-S-P10C  | Frontage Road (Sky Pointe) – 80' Section (Public) Iron Mountain to Tee Pee |
| DG-S-T1    | Trail Section – Mountain Edge Parkway                                      |
| DG-S-T2    | Paso Trail Section                                                         |
| DG-S-MEP-A | Mountain Edge Parkway Access Road (Public) (Alt. A)                        |
| DG-S-MEP-B | Mountain Edge Parkway Access Road (Public) (Alt. B)                        |

**KYLE CANYON GATEWAY**  
**Supplement to Clark County Area**  
**Uniform Standard Drawings**

**NUMBER**

DG-1  
 DG-2  
 DG-3  
 DG-4  
 DG-5  
 DG-6  
 DG-7

**INTERSECTION GEOMETRICS**

Minimum Back of Curb Radius  
 "T" Intersection w/Parking on Mainline  
 "T" Intersection w/No Parking  
 "T" Intersection w/Parking on both Legs  
 4 – Way Intersection w/Parking all Legs  
 4 – Way Intersection w/Parking on 3 Legs  
 "T" Intersection w/Parking on Leg

**NUMBER**

DG-8  
 DG-8.1  
 DG-8.2  
 DG-9  
 DG-10  
 DG-11  
 DG-12  
 DG-13  
 DG-14  
 DG-15  
 DG-16  
 DG-17  
 DG-18.1  
 DG-18.2  
 DG-19.1  
 DG-19.2  
 DG-19.3  
 DG-20  
 DG-20.1  
 DG-21  
 DG-22  
 DG-23  
 DG-24  
 DG-25  
 DG-25.1  
 DG-25.2  
 DG-25.3  
 DG-25.4  
 DG-26

**MISCELLANEOUS**

Sidewalk Ramp at Returns  
 Sidewalk Trail Connection – Option A  
 Sidewalk Trail Connection – Option B  
 Sidewalk Ramp at Mid Block  
 Parkway/Landscape Sidewalk Underdrain  
 30" Wedge Curb and Gutter  
 Parking Tree Well  
 Dry Utility Trench Location  
 Utility Pad Location (Residential Subdivision)  
 Landscape Irrigation Sleeving  
 Fire Hydrant Location (At Intersection)  
 Fire Hydrant Location (Along Roadway)  
 Driveway Approach – Residential (Option "A")  
 Driveway Approach – Residential (Option "B")  
 Driveway Approach – Commercial (Option "A")  
 Driveway Approach – Commercial (Option "B")  
 Driveway Approach – Alley  
 Traffic Signal Equipment – (Located at Intersection)  
 Traffic Signal Pole Size  
 Neighborhood Street-Bulb Out Detail  
 RTC Bus Turnout Adjacent to Parking Areas  
 Neighborhood Street – Cut-De-Sac  
 Neighborhood Loop Street – Knuckle  
 Typical Street Light  
 Streetlight Location  
 Streetlight Location at Intersections \* 1, 4/2 Right of Way  
 Streetlight Location at Intersections \*1, 3/3 Right of Way  
 Streetlight Location at Intersections \* 2/3 Right of Way  
 Typical Builder Entry

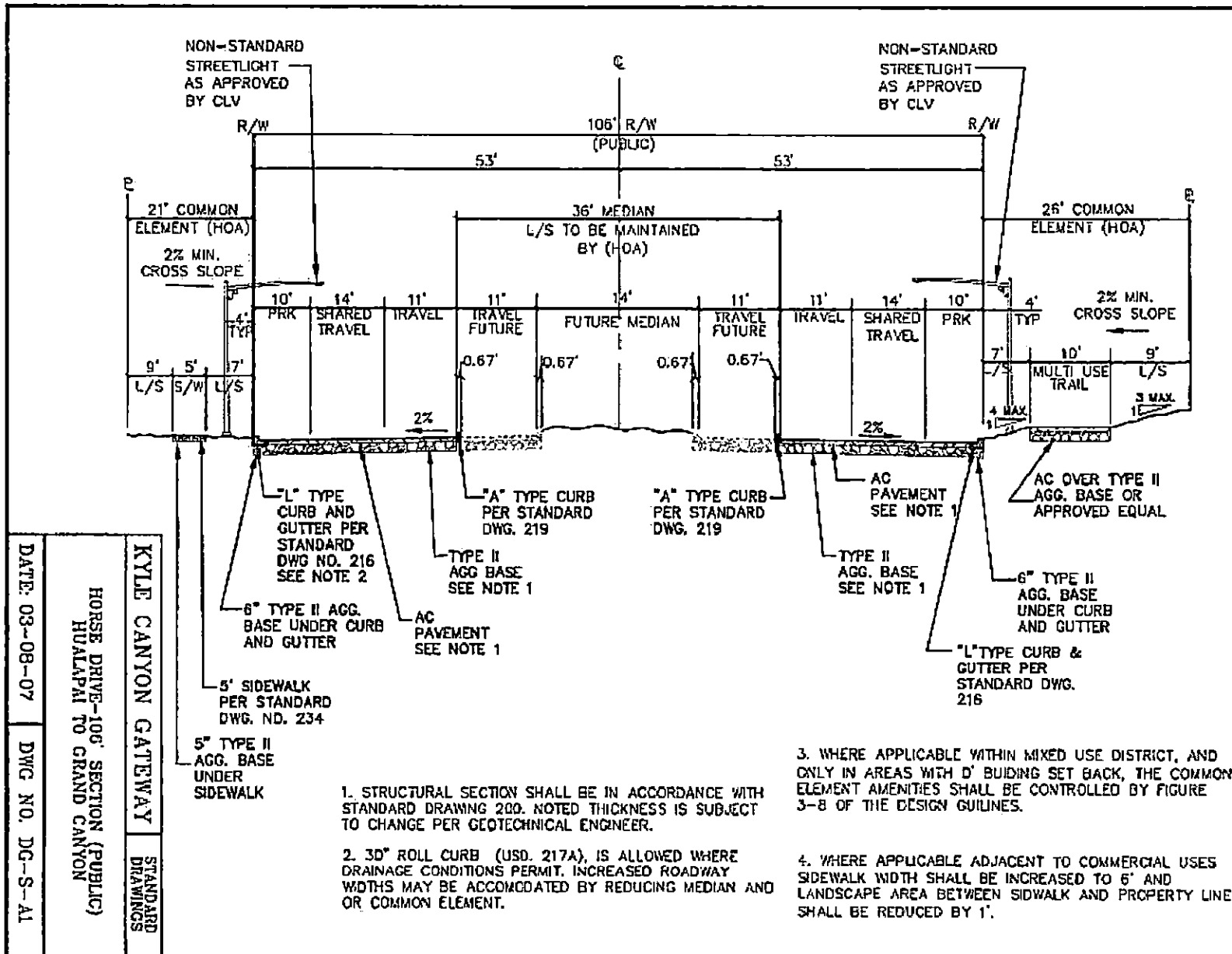
## PREFACE

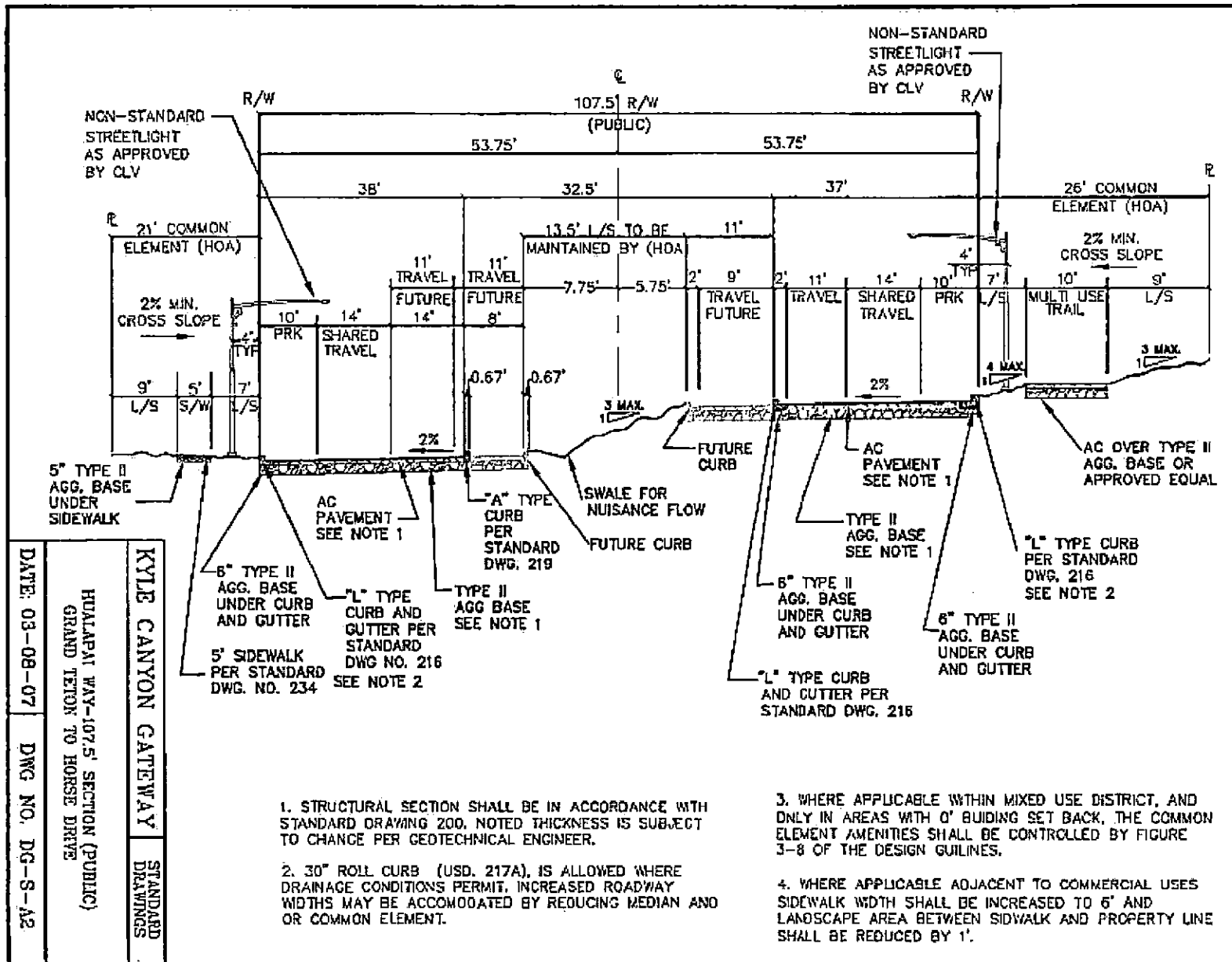
The intent of this document is to establish a Supplement to Clark County Area Uniform Standard Drawings (USD) for the design and construction of improvements within the Kyle Canyon Gateway Development. These standards should be used as a guideline for the design and preparation of engineering drawings for roadways, drainage facilities, utilities, and other related improvements within the planned community.

Where practical, the *Uniform Standard Drawings for Public Works; Construction, Off-Site Improvements, Clark County Area, Nevada, Volumes I and II, Uniform Design and Construction Standards for Potable Water Systems (2003), Design and Construction Standards for Wastewater Collection Systems (1997)*, Clark County Regional Flood Control District's *Hydrologic Criteria and Drainage Design Manual (1999)* and Nevada Department of Transportation (NDOT) Standard Plans (2003) will be used. Standards that have been modified to fulfill the needs of the planned community have been reviewed and approved.

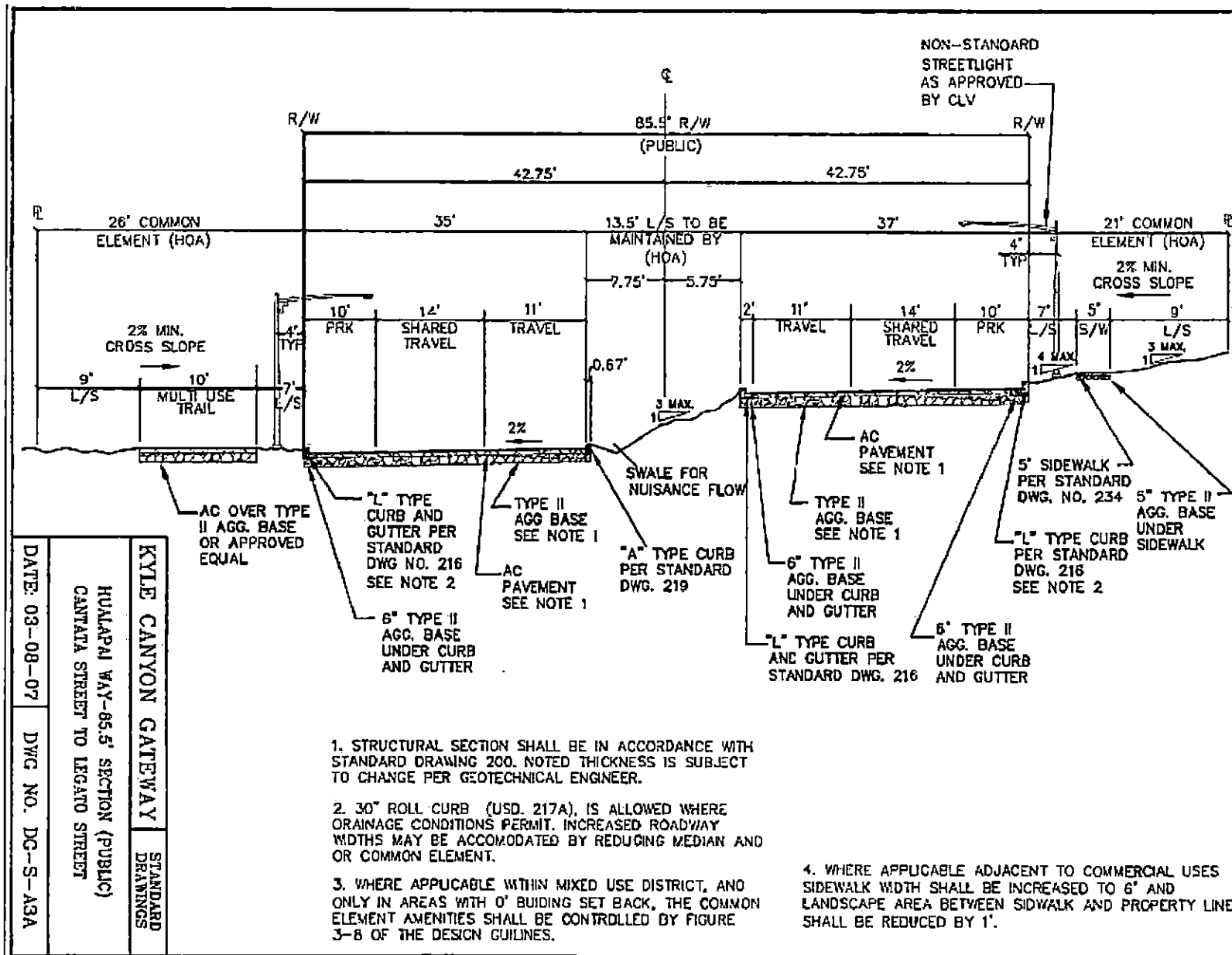
Although it is not possible to anticipate all circumstances and conflicts that may occur while implementing these standards, acceptable engineering practice has been used to resolve all known issues. If it should become necessary to modify these standards, they may be modified or amended through future submittals to the City of Las Vegas during Development Plan submittals or separately through use permits.

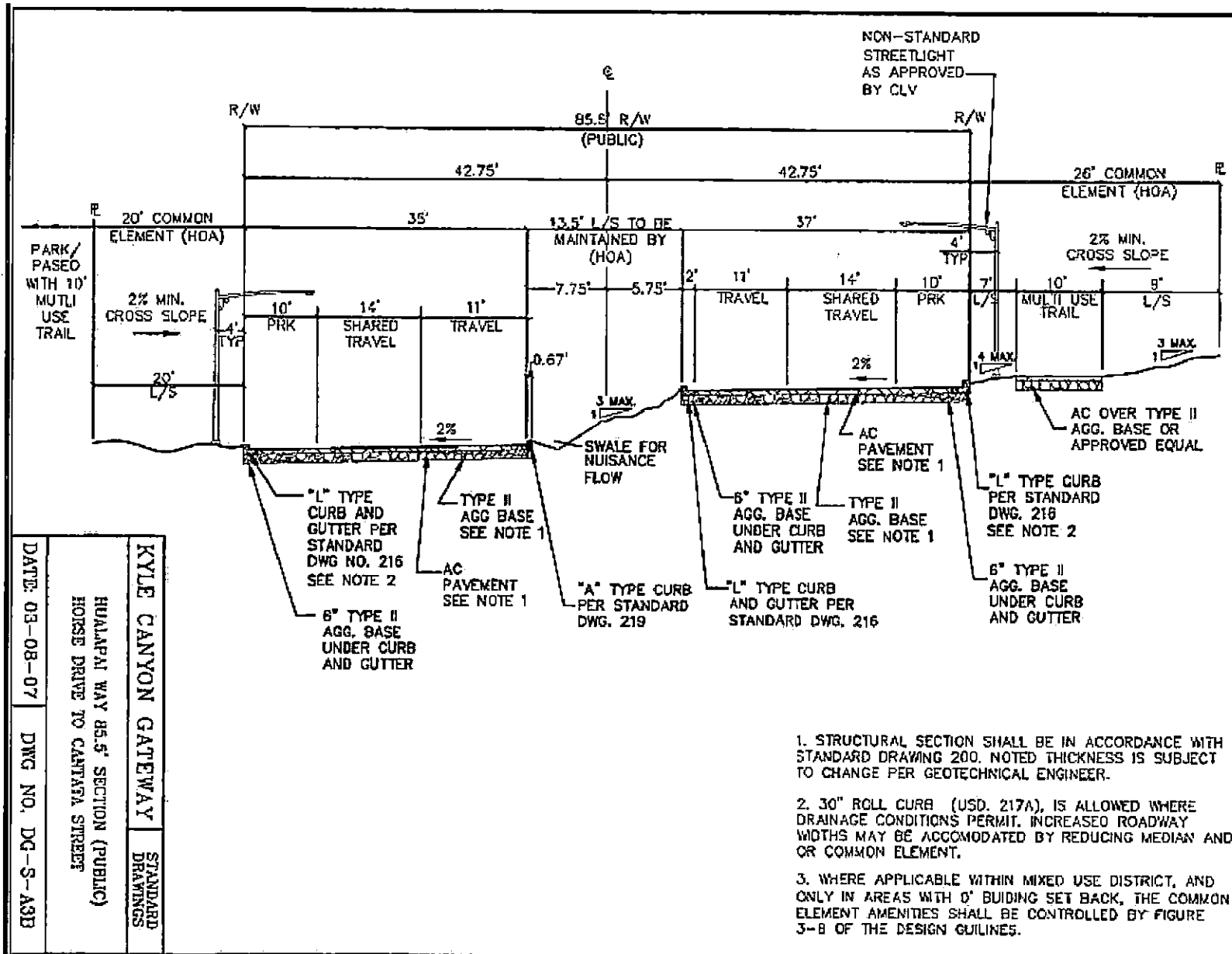
Note: These Supplements to Clark County Area Uniform Standard Drawings are exhibits and are not to scale.

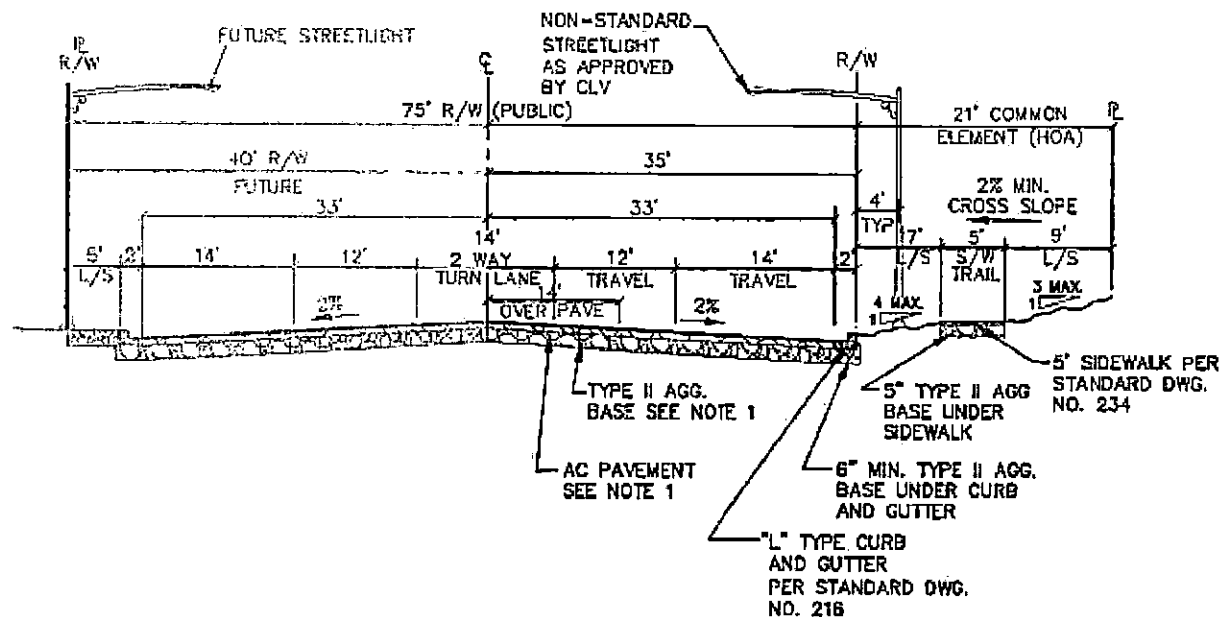












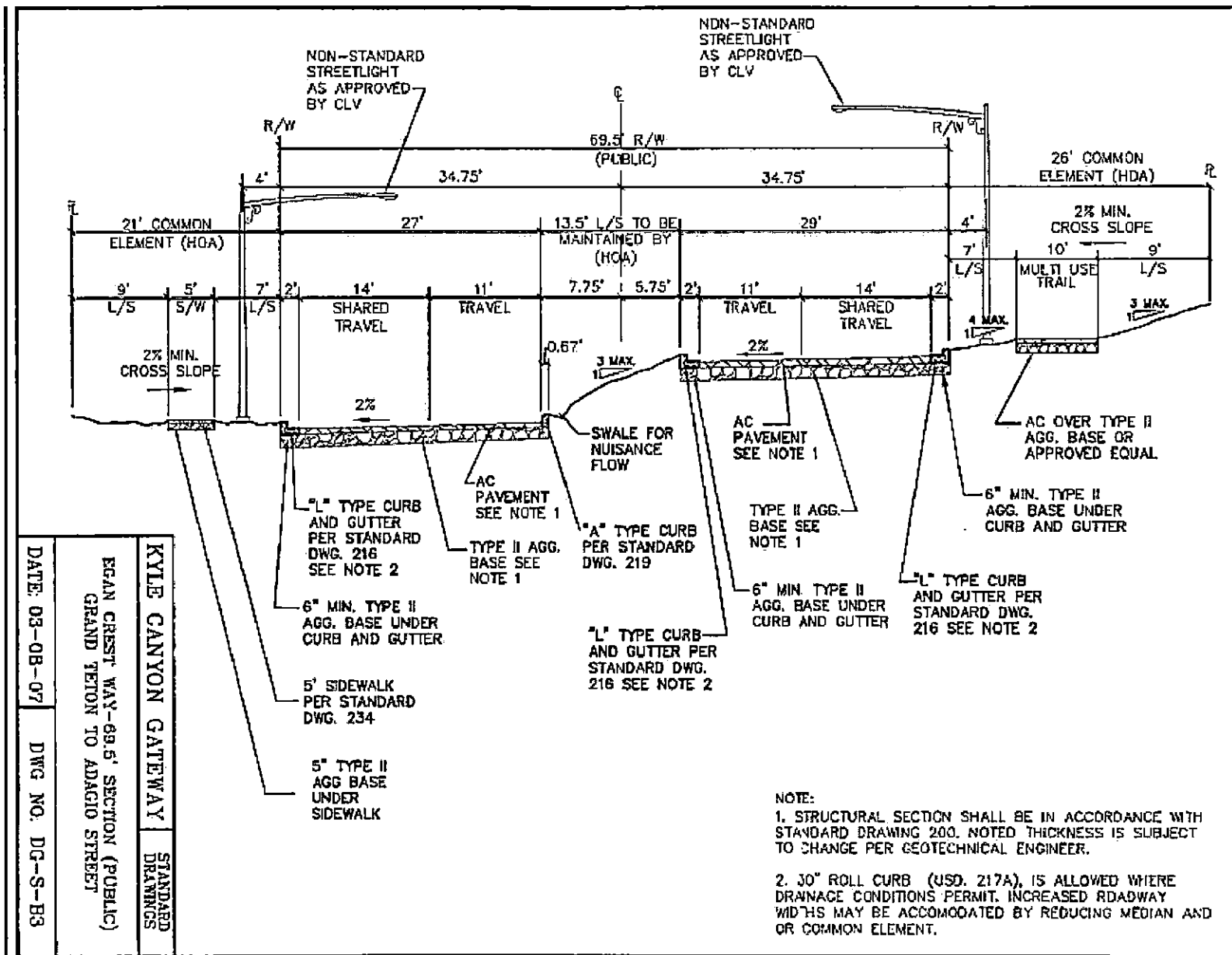
NOTE:

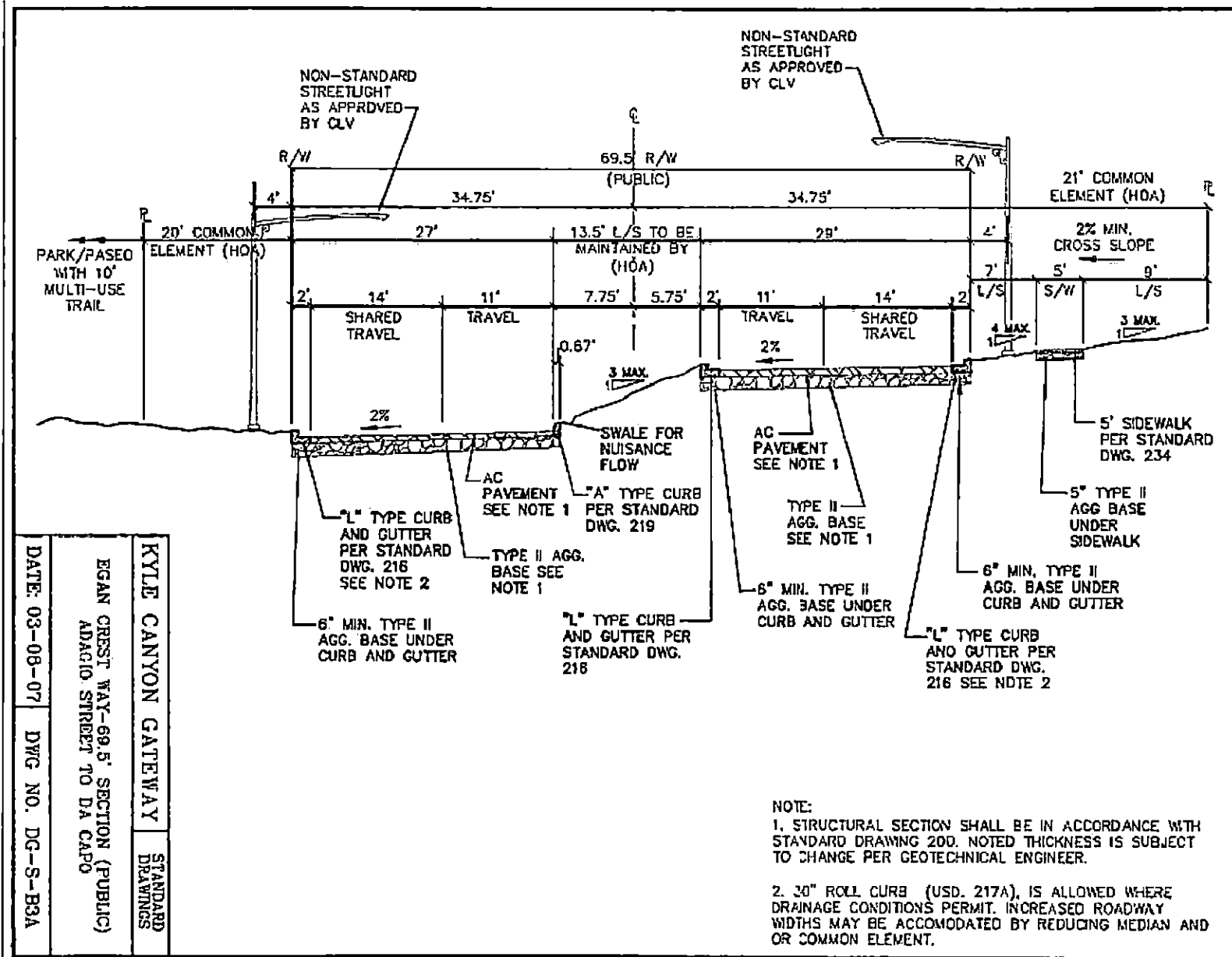
1. STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH STANDARD DRAWING 200. NOTED THICKNESS IS SUBJECT TO CHANGE PER GEOTECHNICAL ENGINEER.

2. WHERE APPLICABLE ADJACENT TO COMMERCIAL USES SIDEWALK WIDTH SHALL BE INCREASED TO 6' AND LANDSCAPE AREA BETWEEN SIDEWALK AND PROPERTY LINE SHALL BE REDUCED BY 1'.

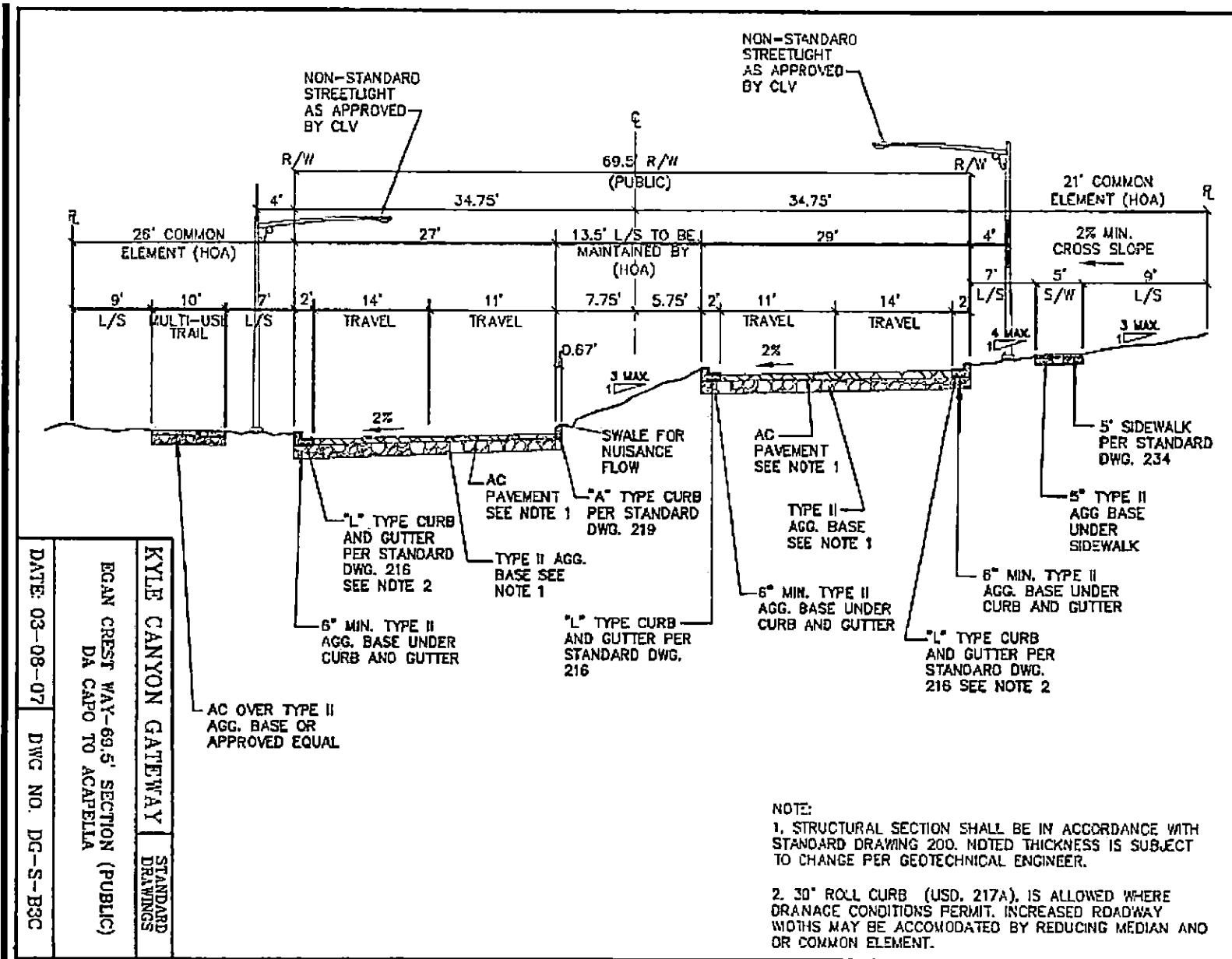
|                                   |                             |
|-----------------------------------|-----------------------------|
| STANDARD<br>DRAWINGS              | KYLE CANYON GATEWAY         |
| DATE: 03-08-07                    | DWG NO. DG-S-43C            |
| HUALAPAI WAY-75' SECTION (PUBLIC) | IRON MOUNTAIN TO OSO BLANCA |



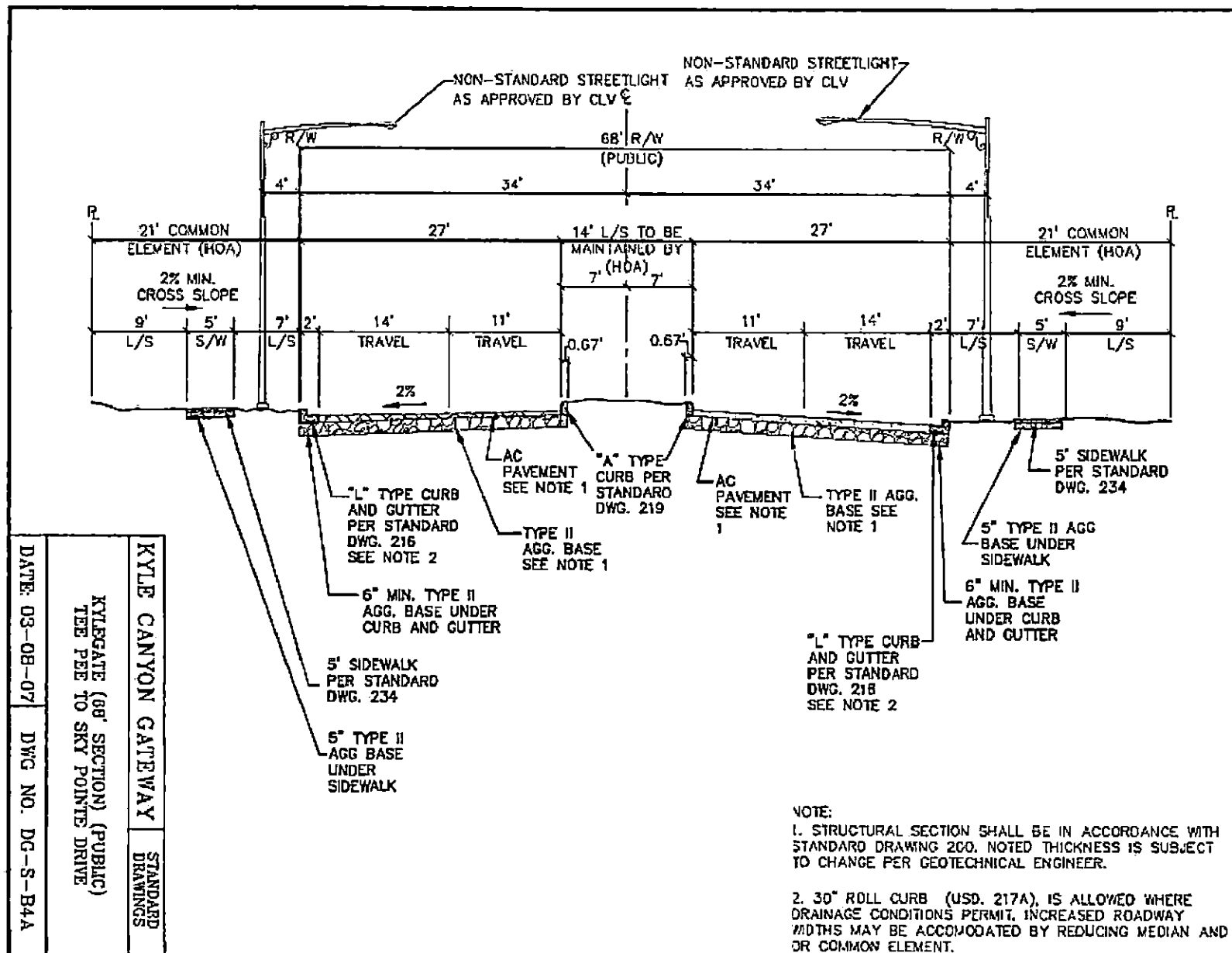


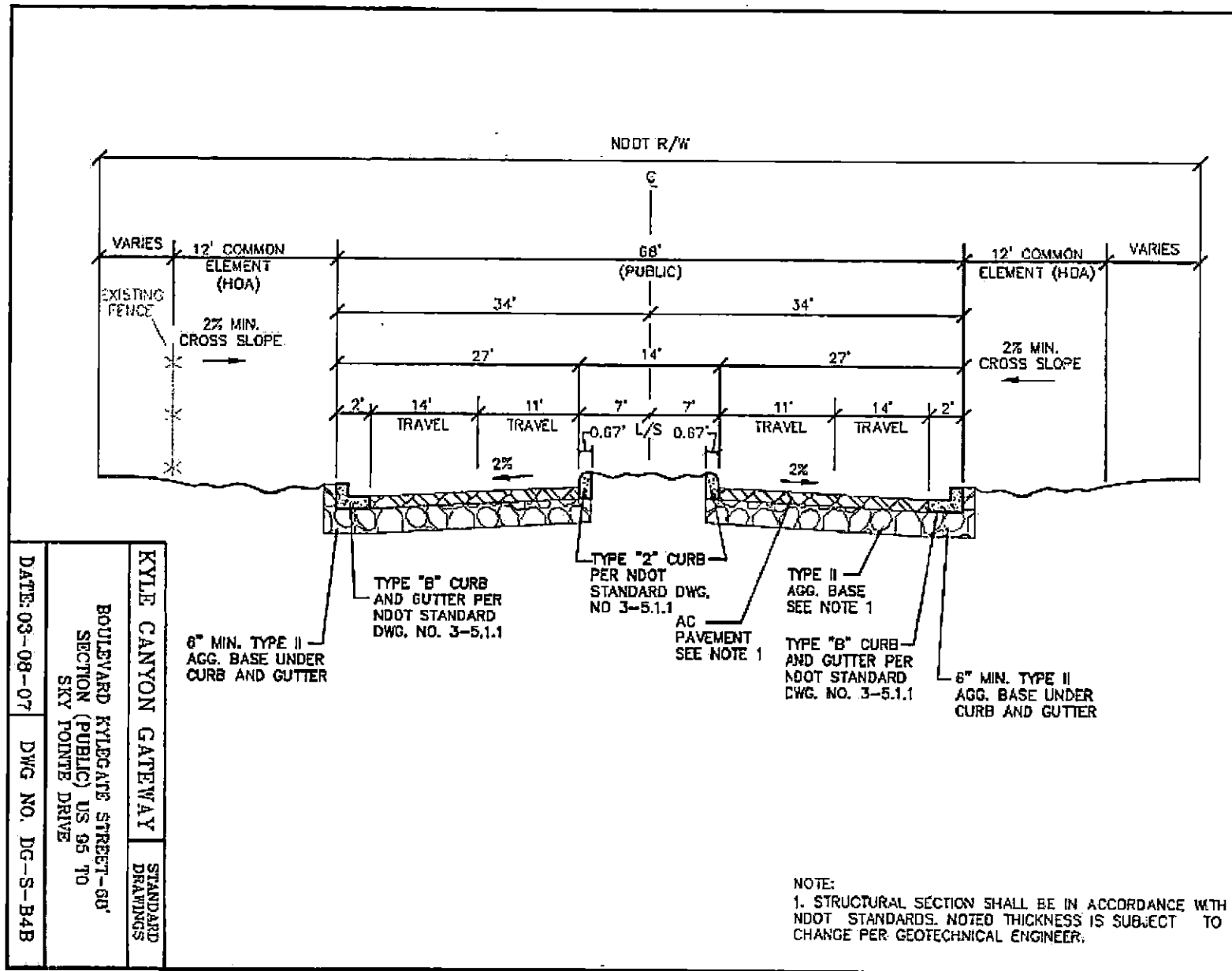


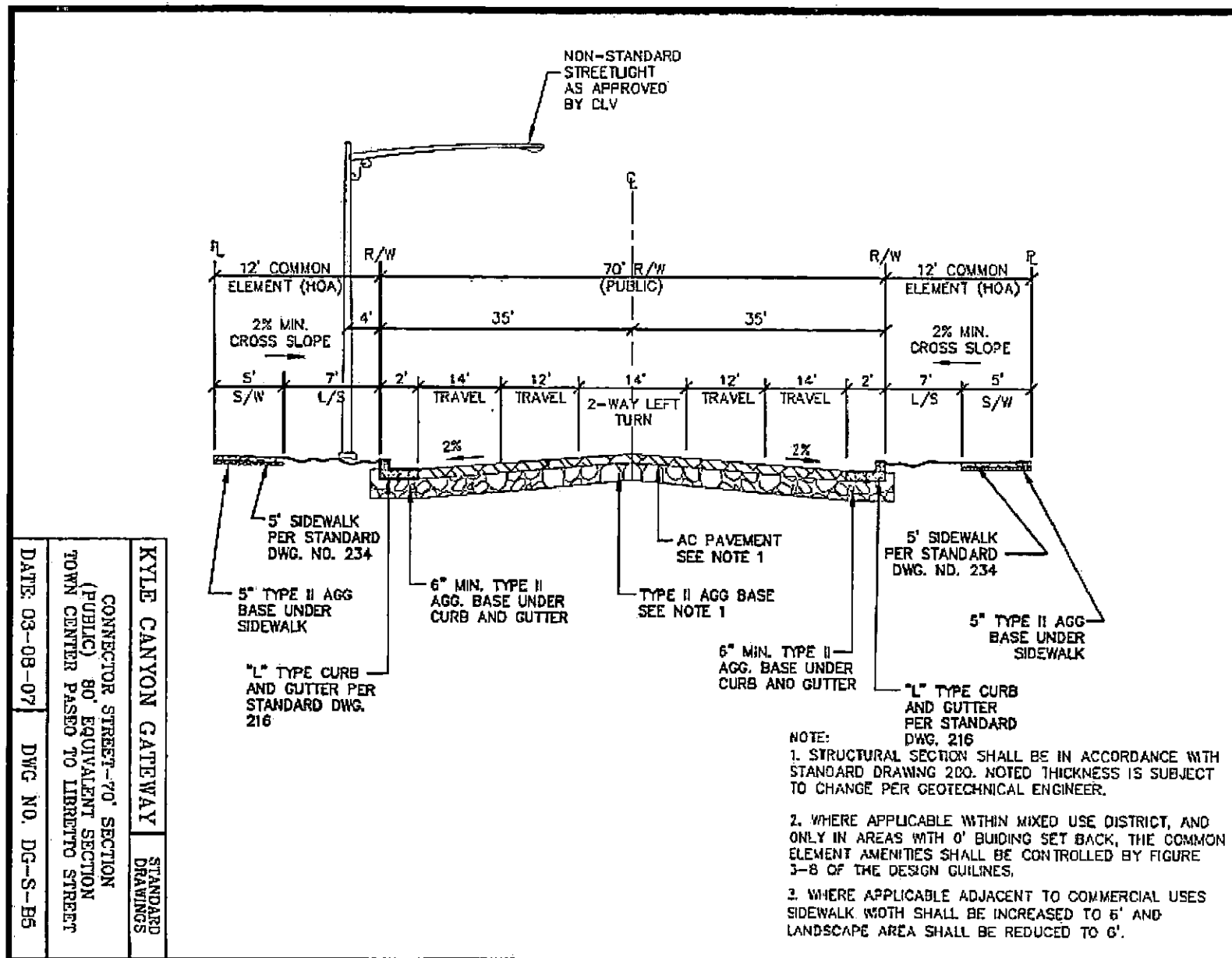


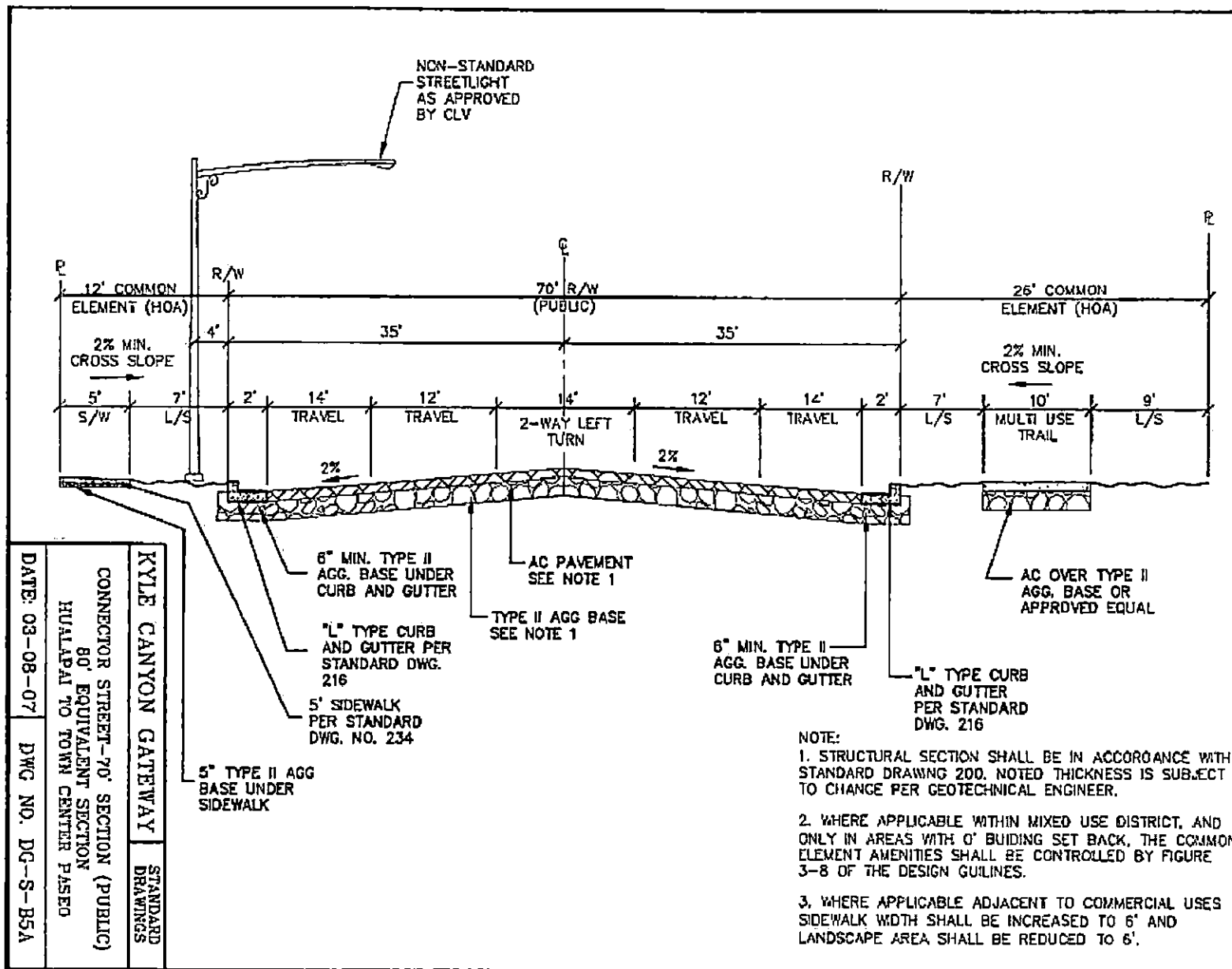


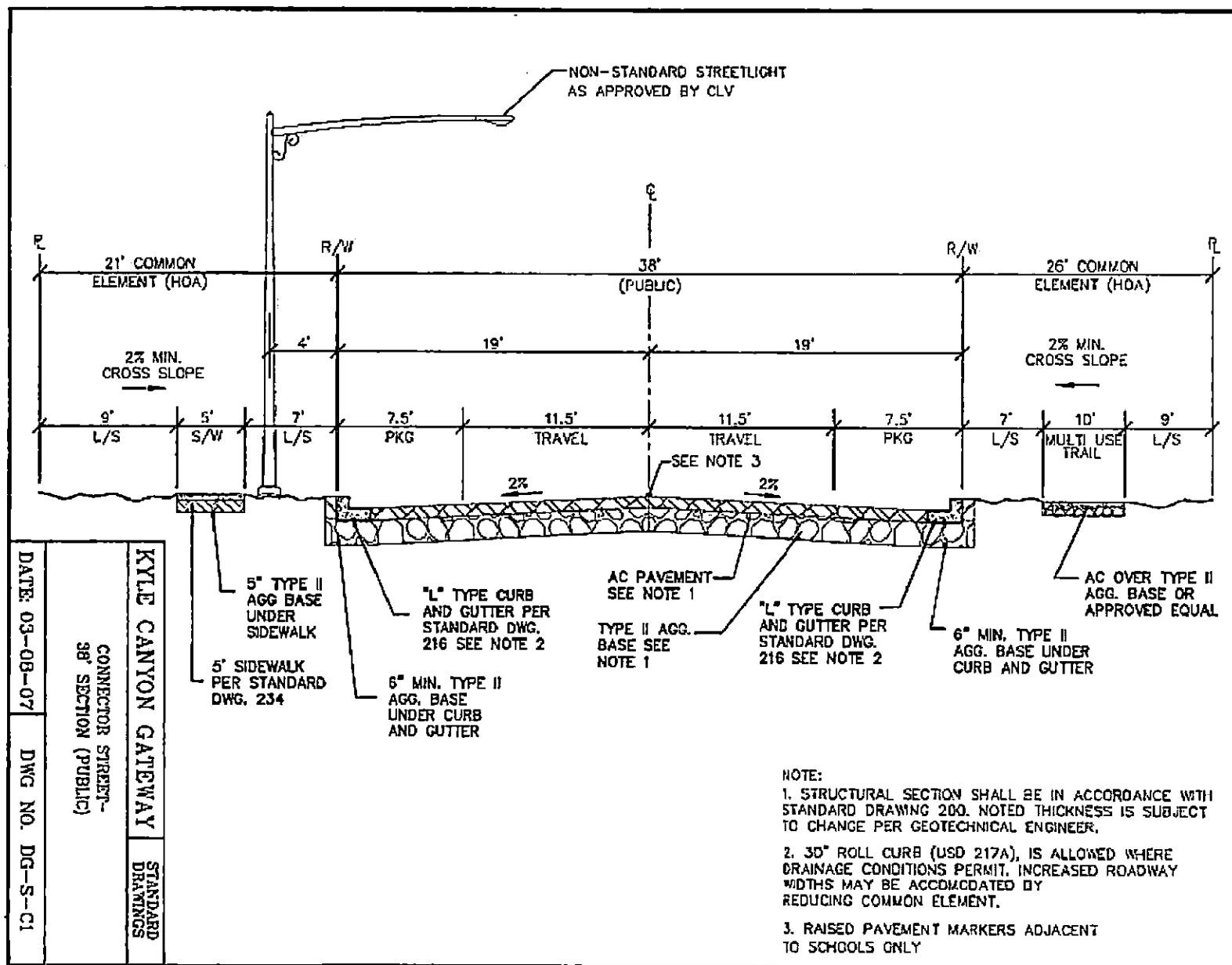


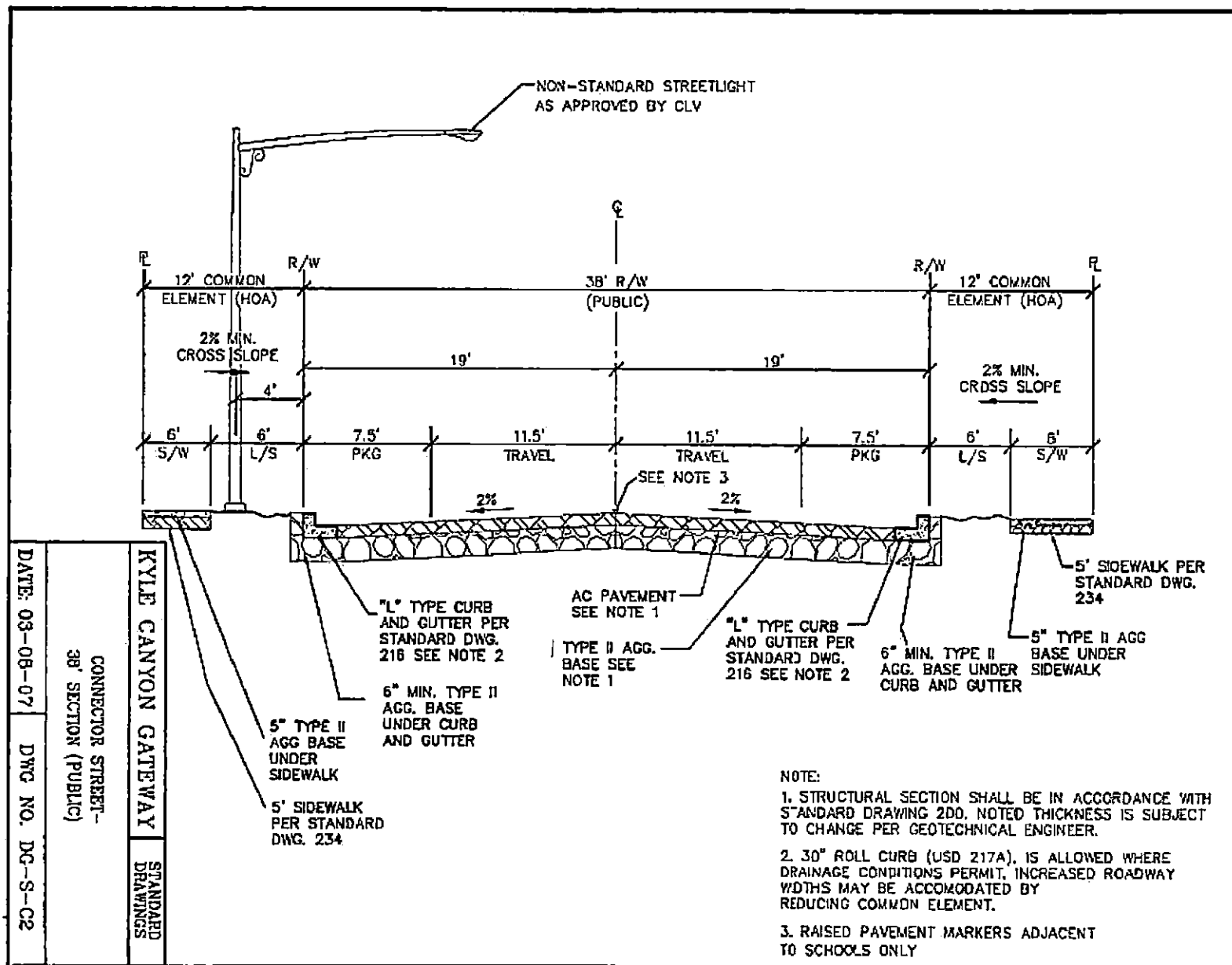


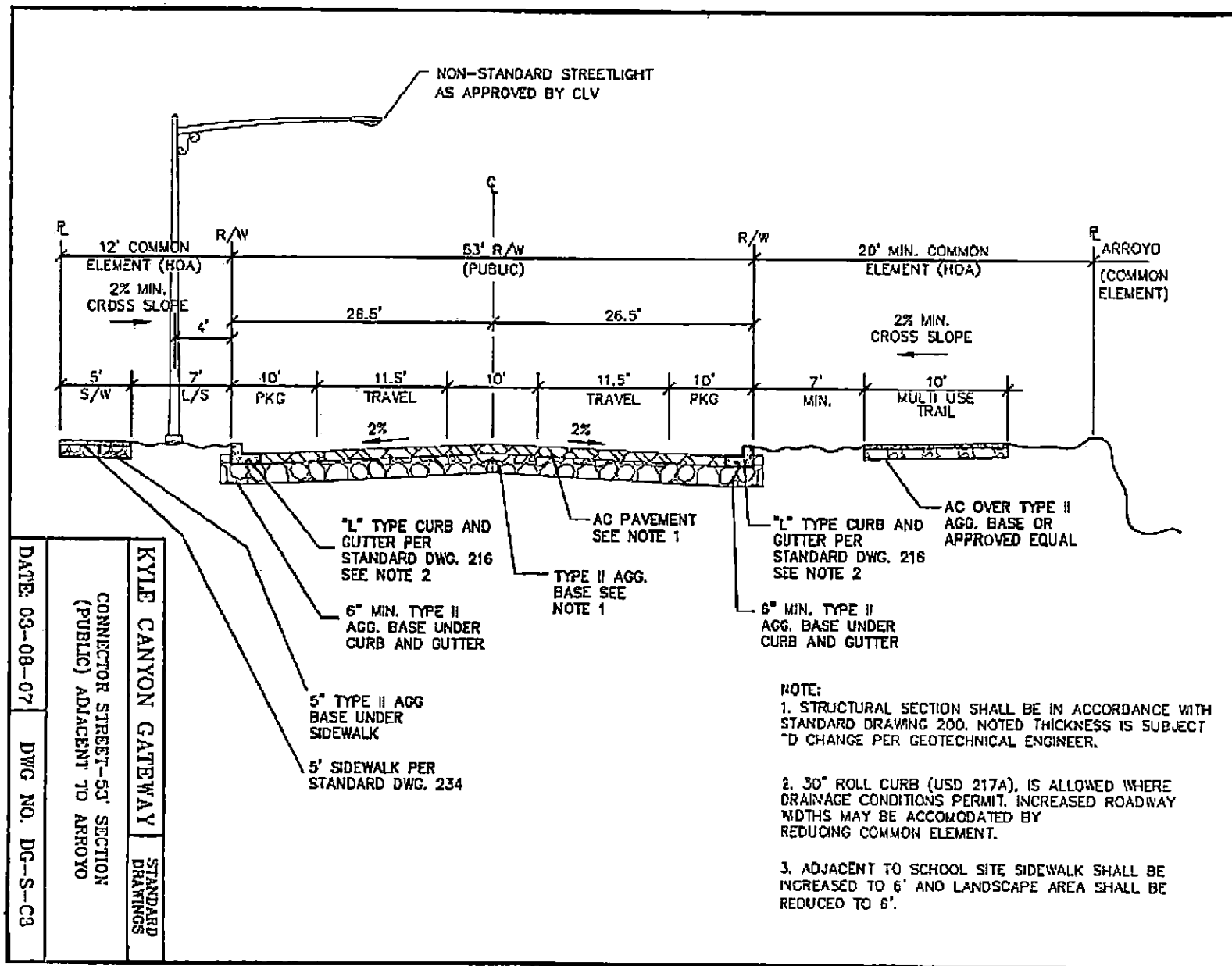


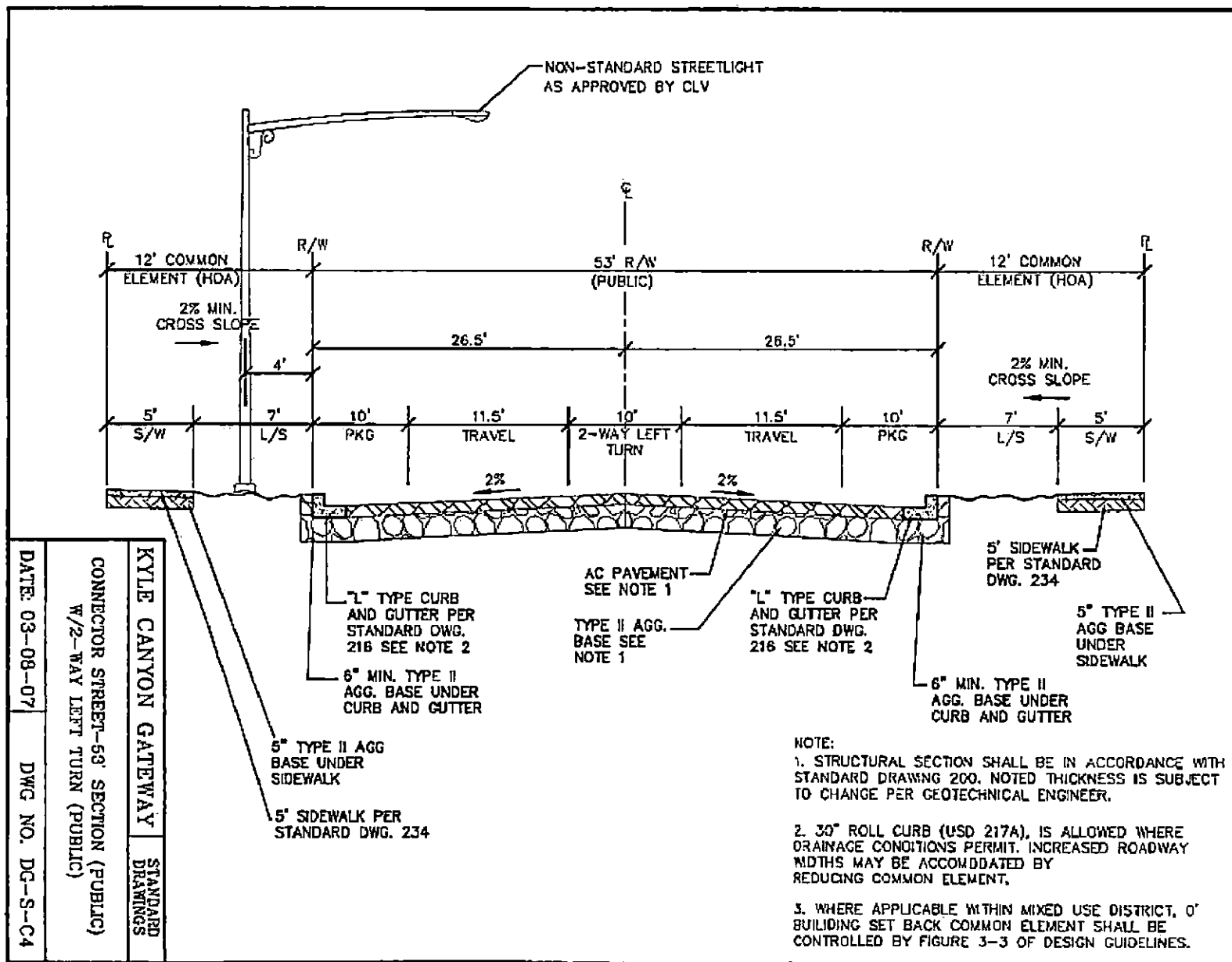








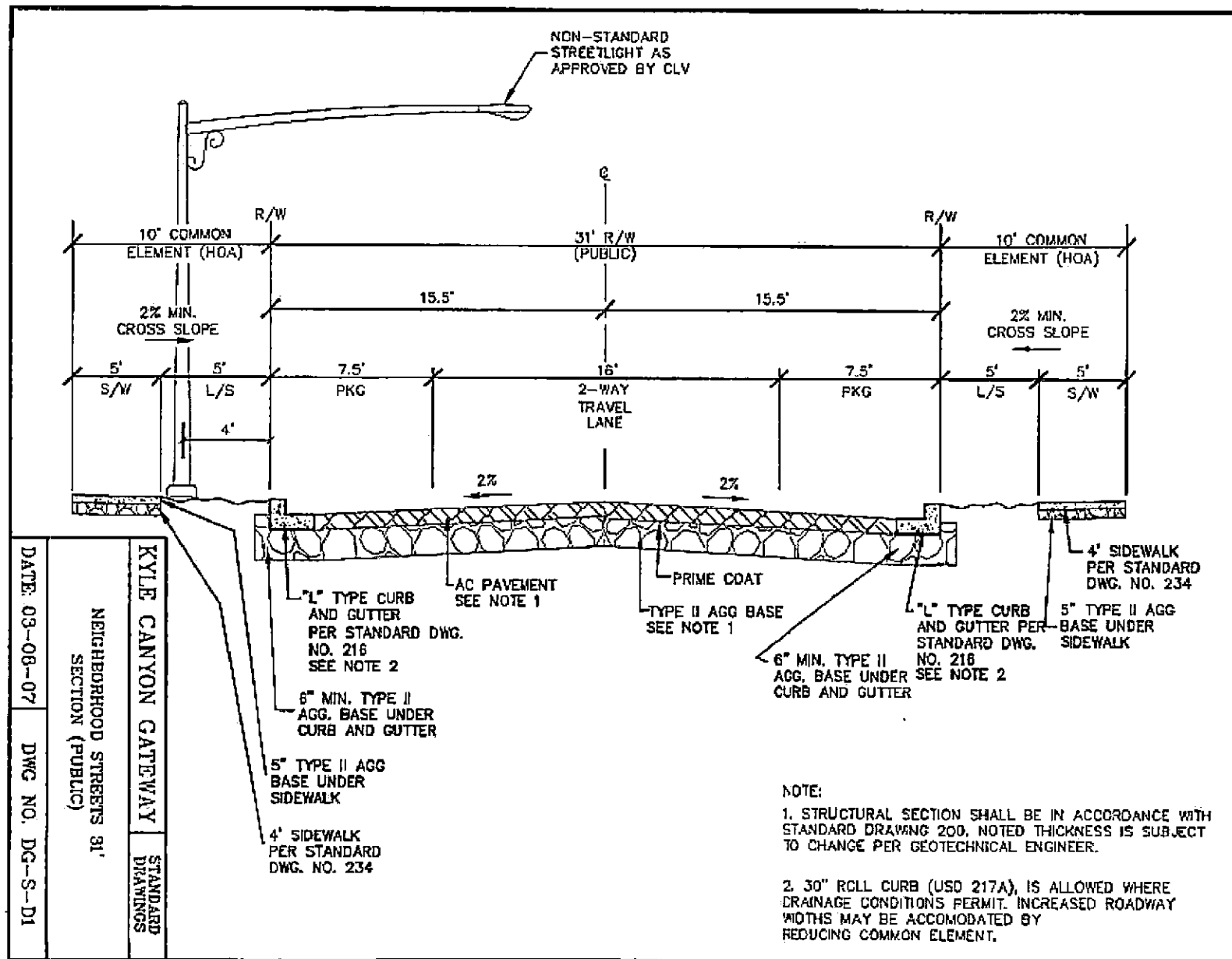


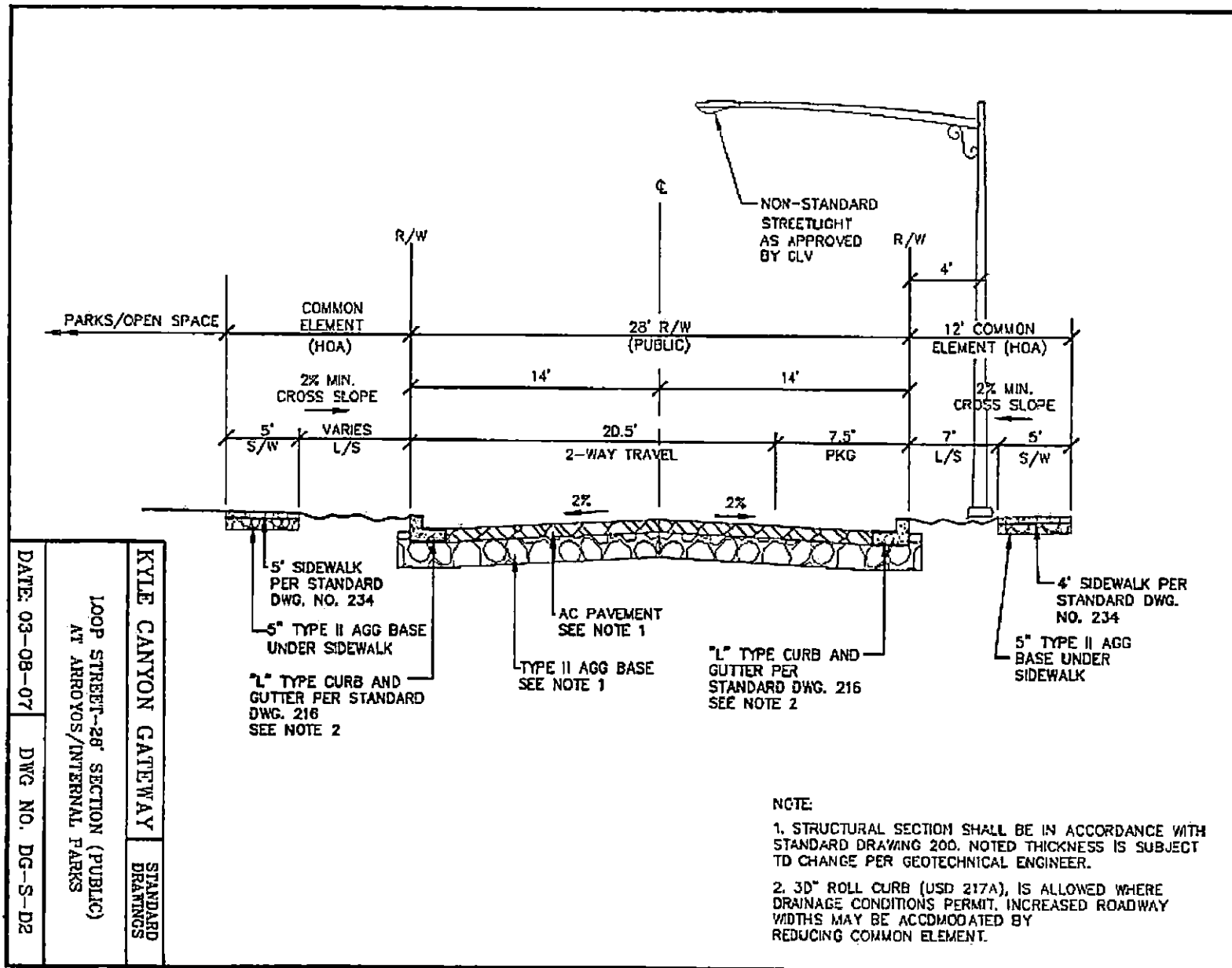


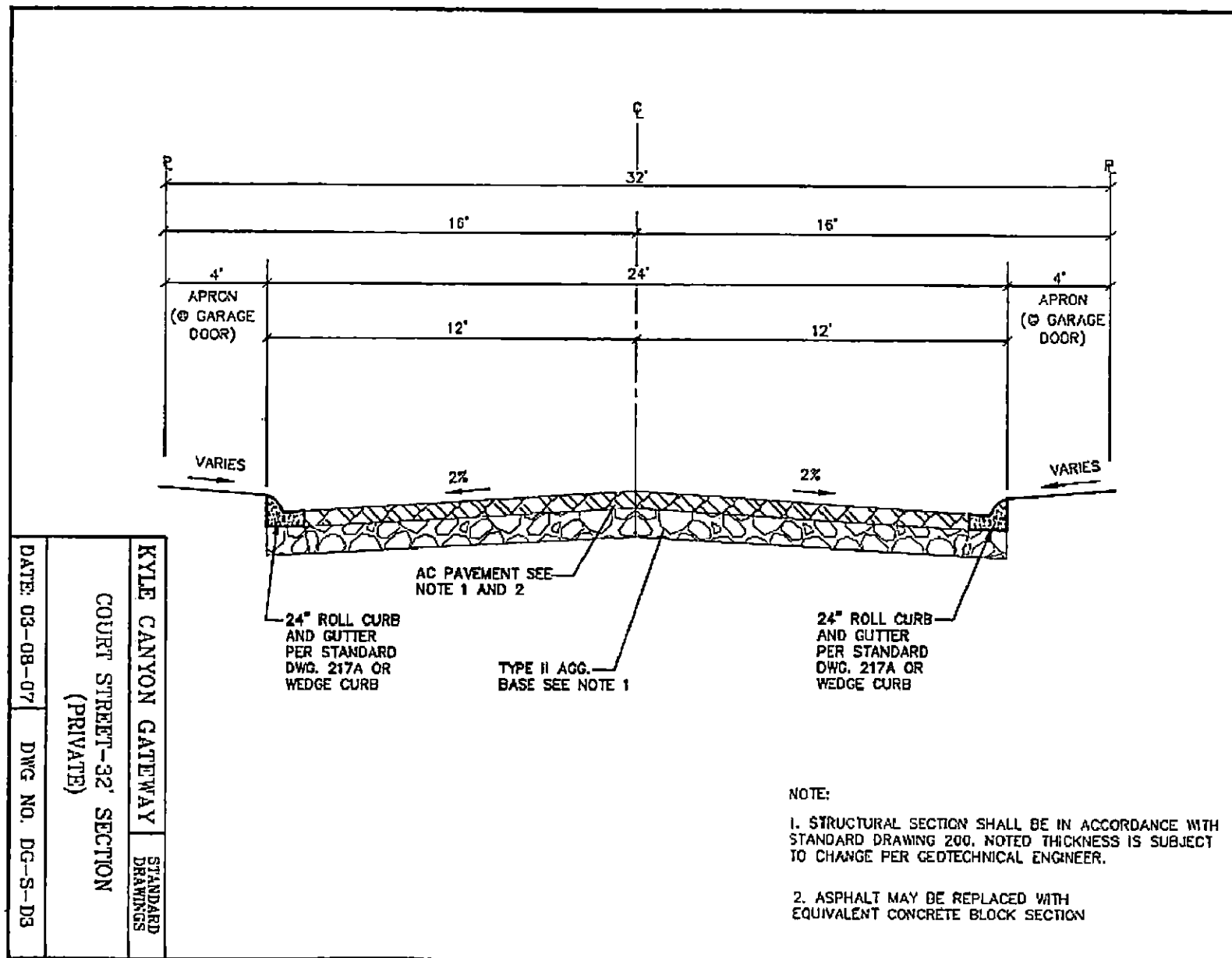


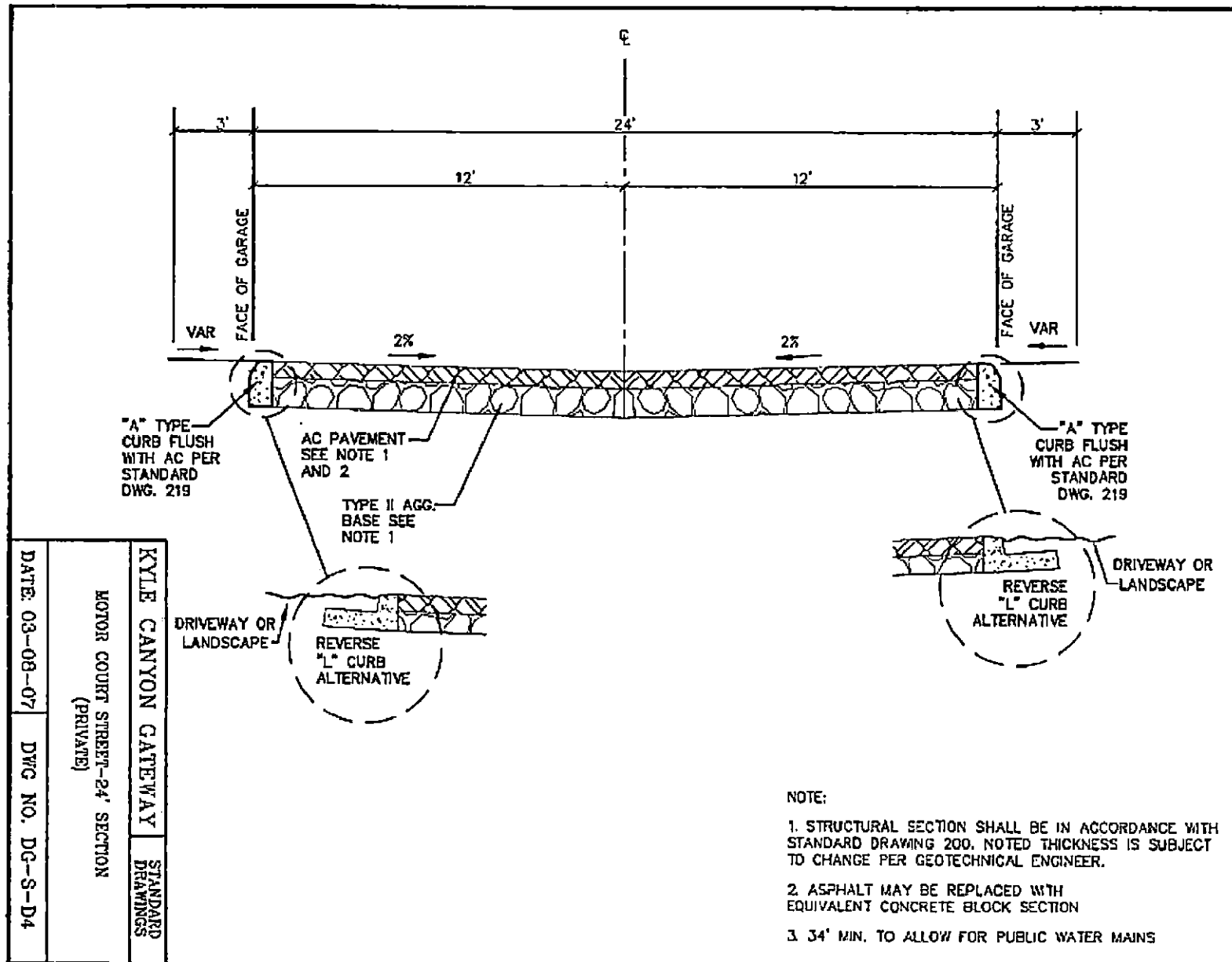


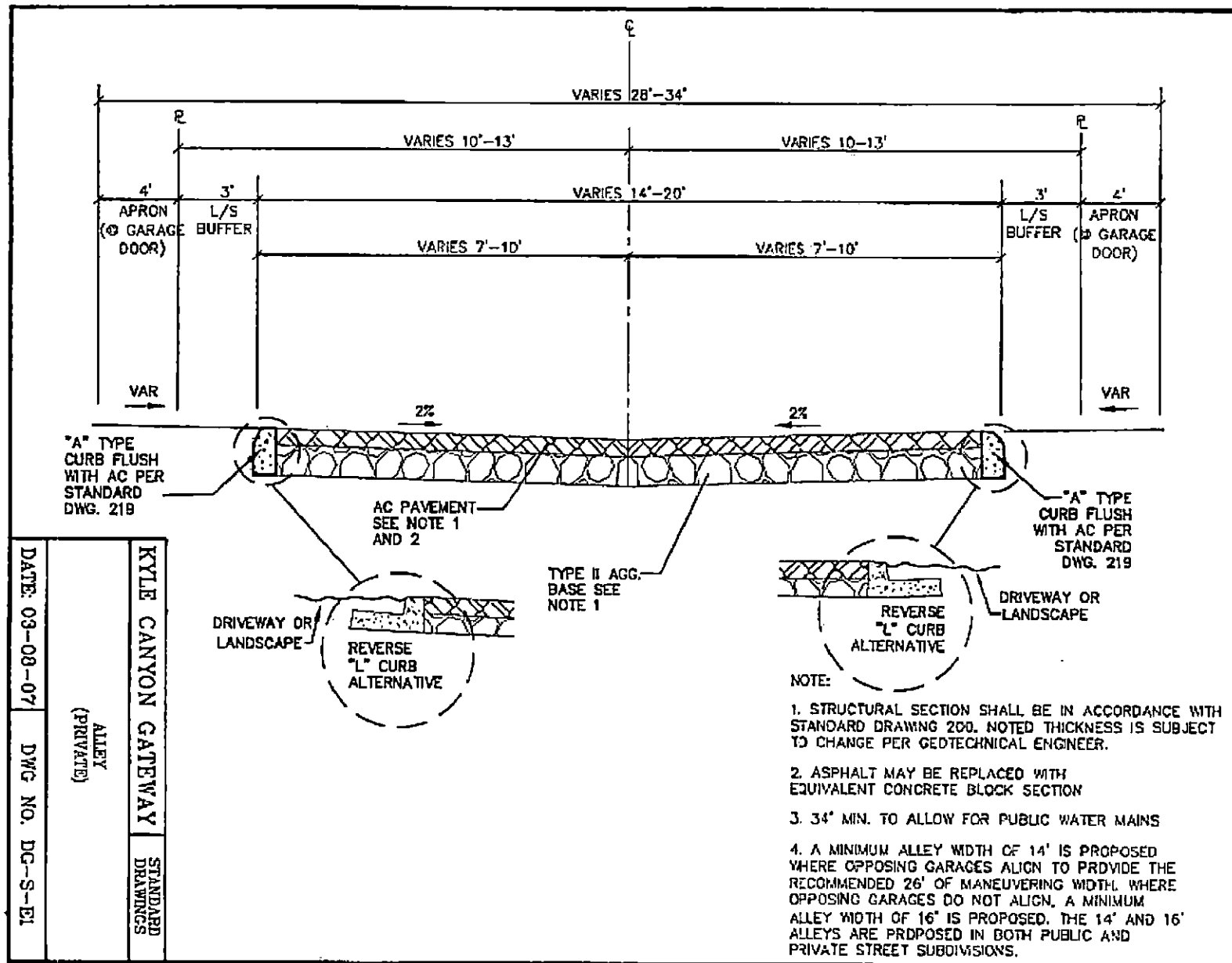


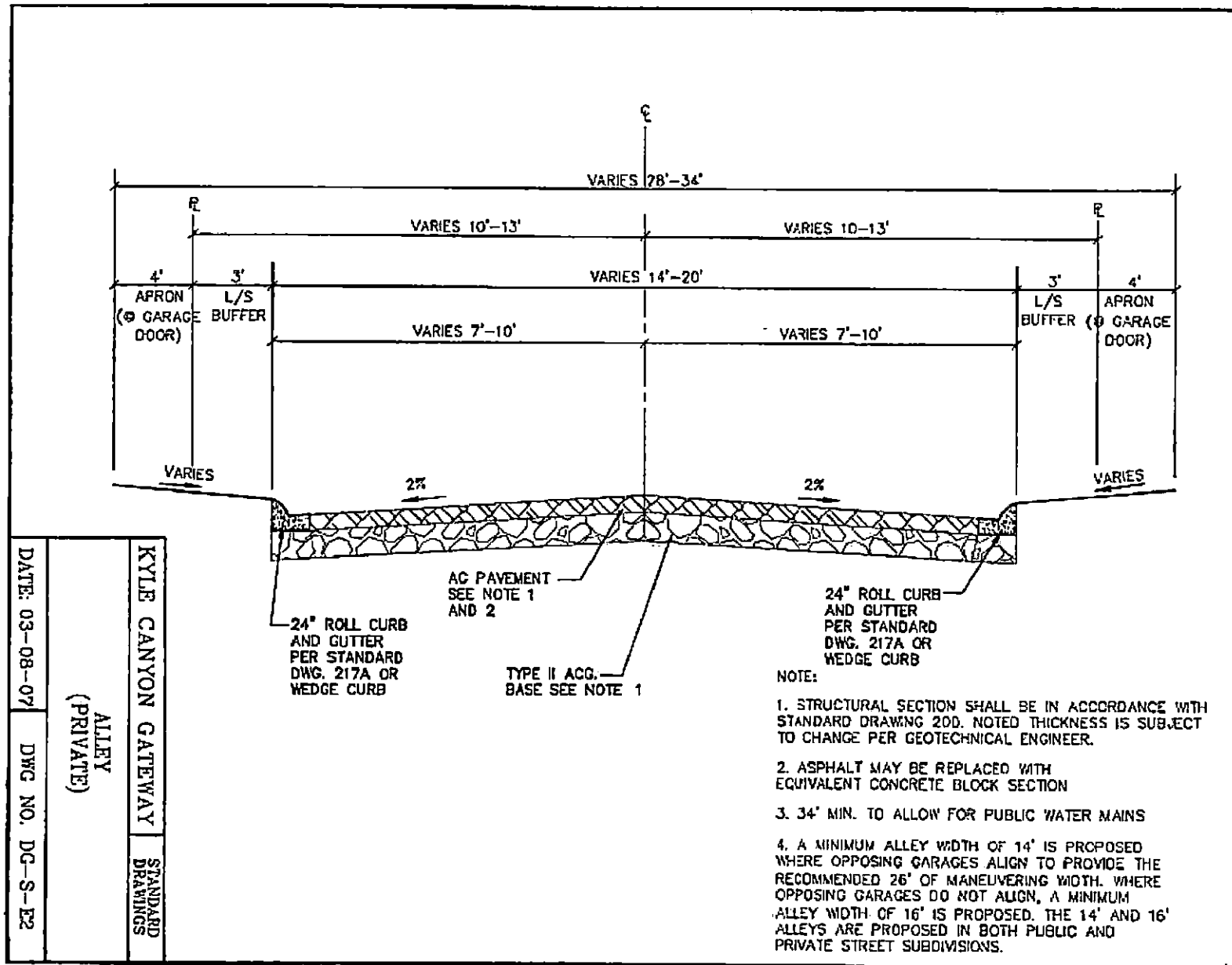


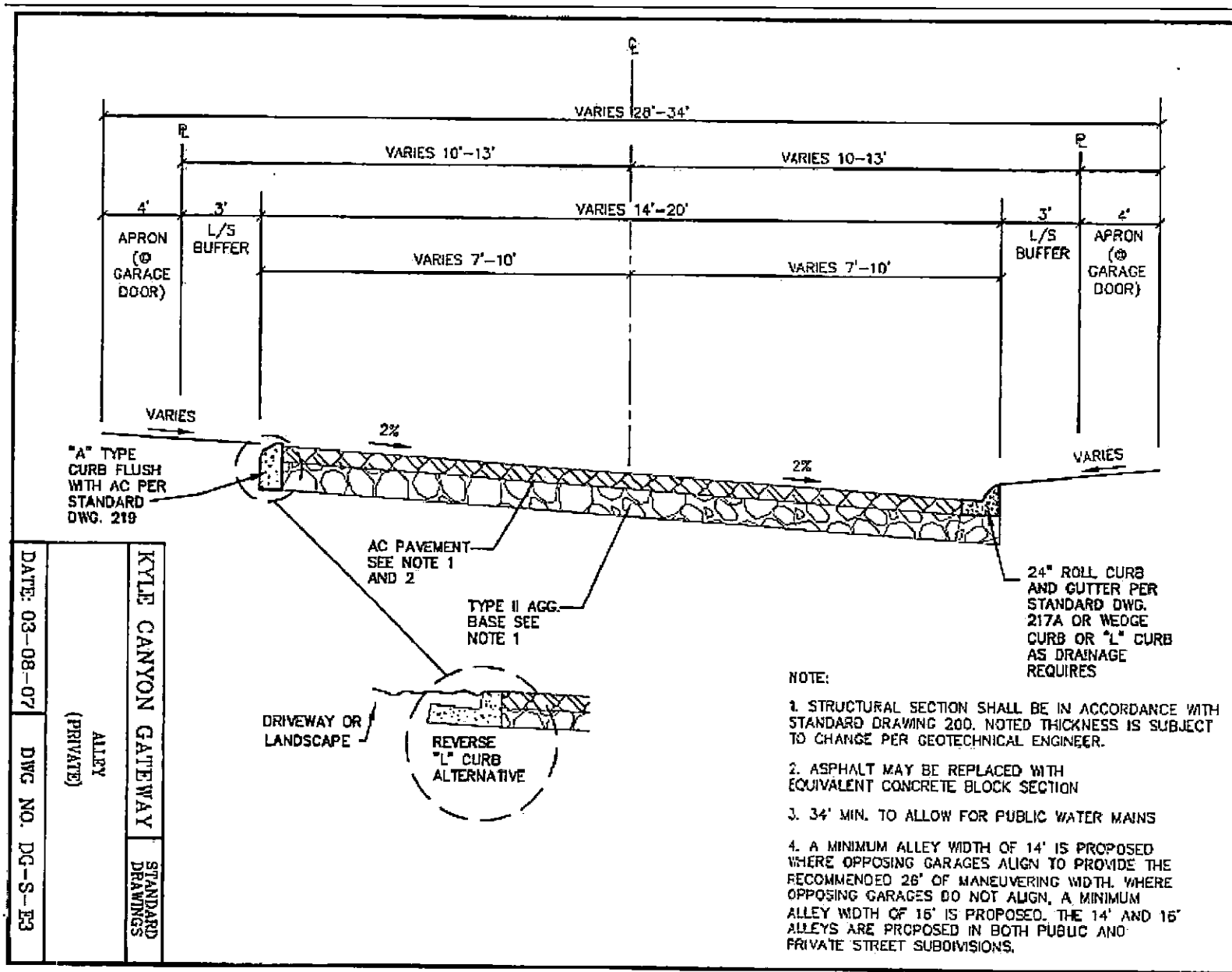




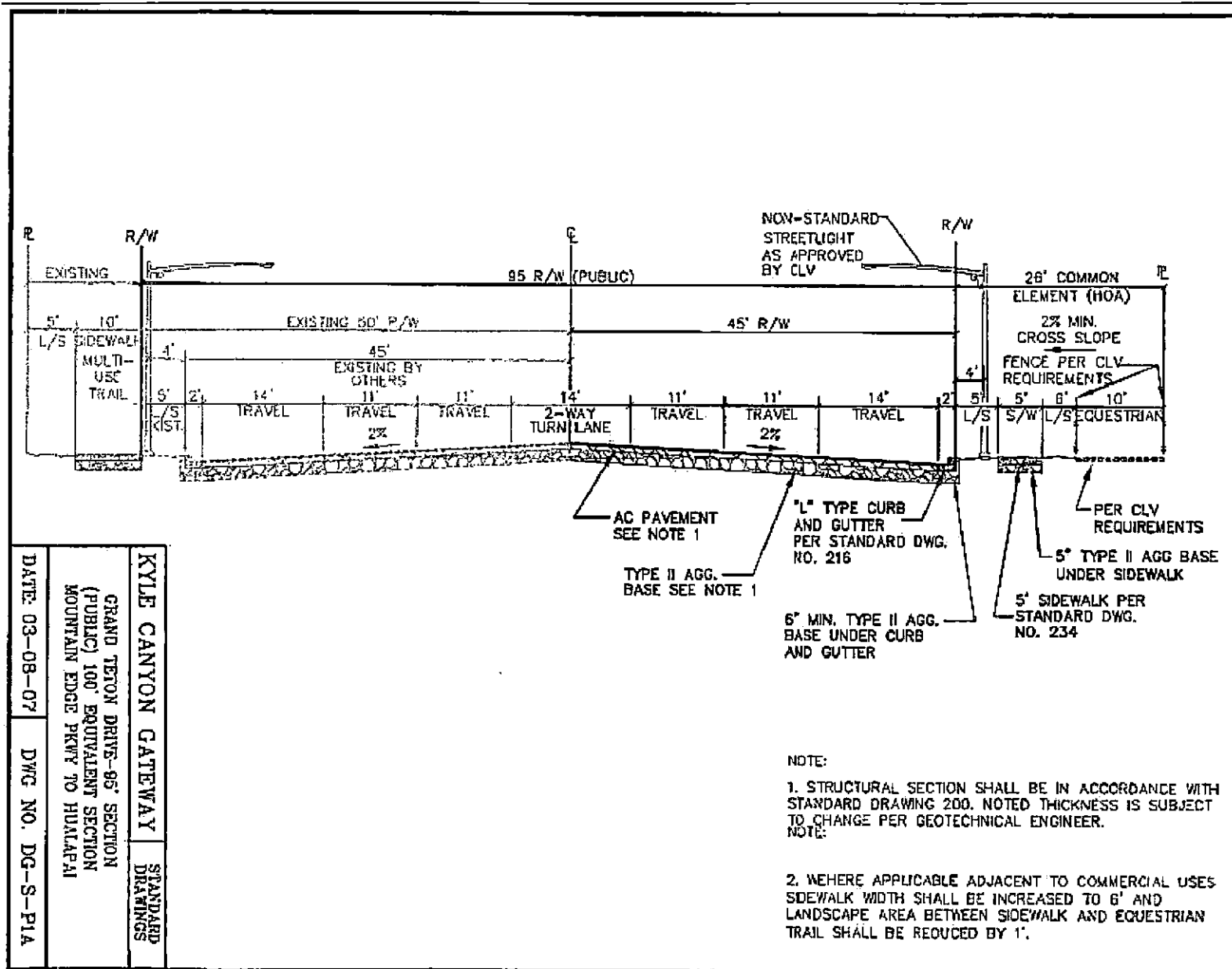






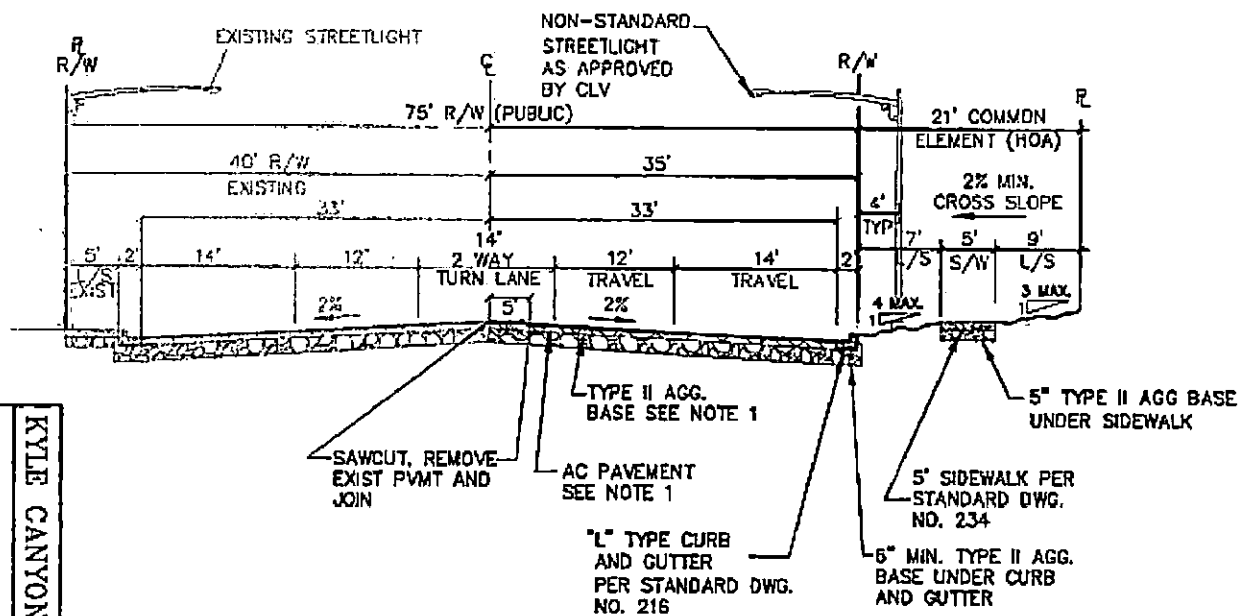










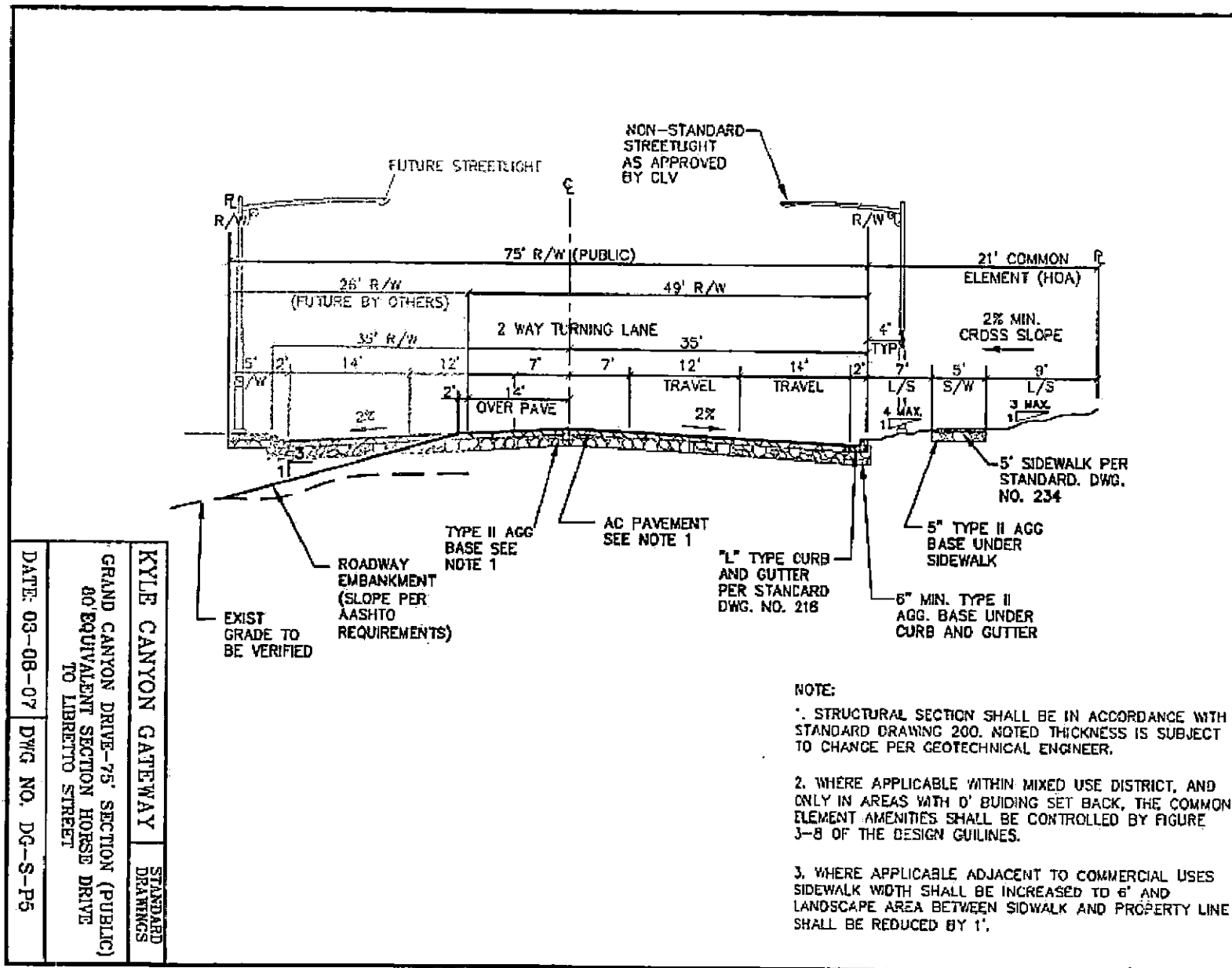


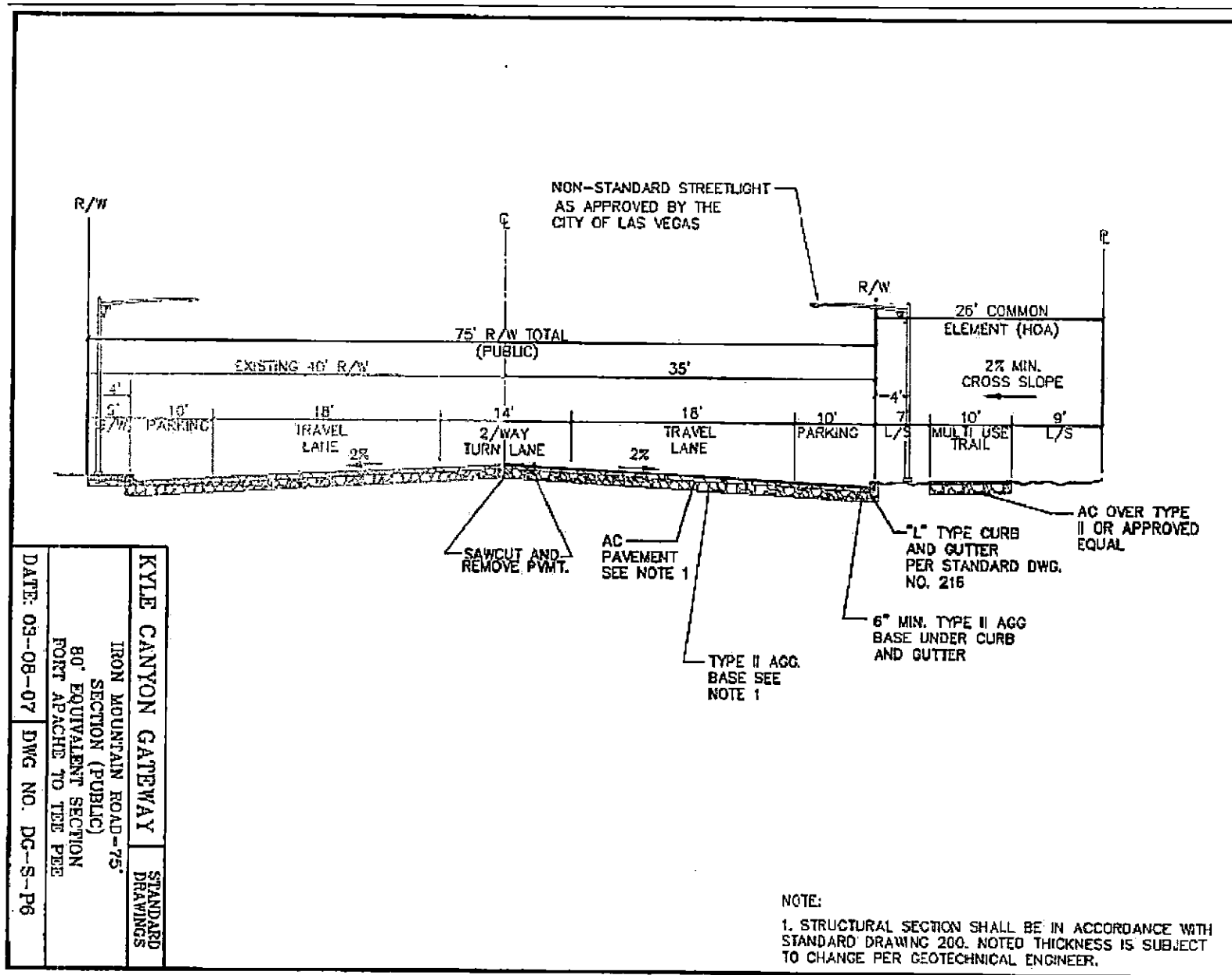
**NOTE:**

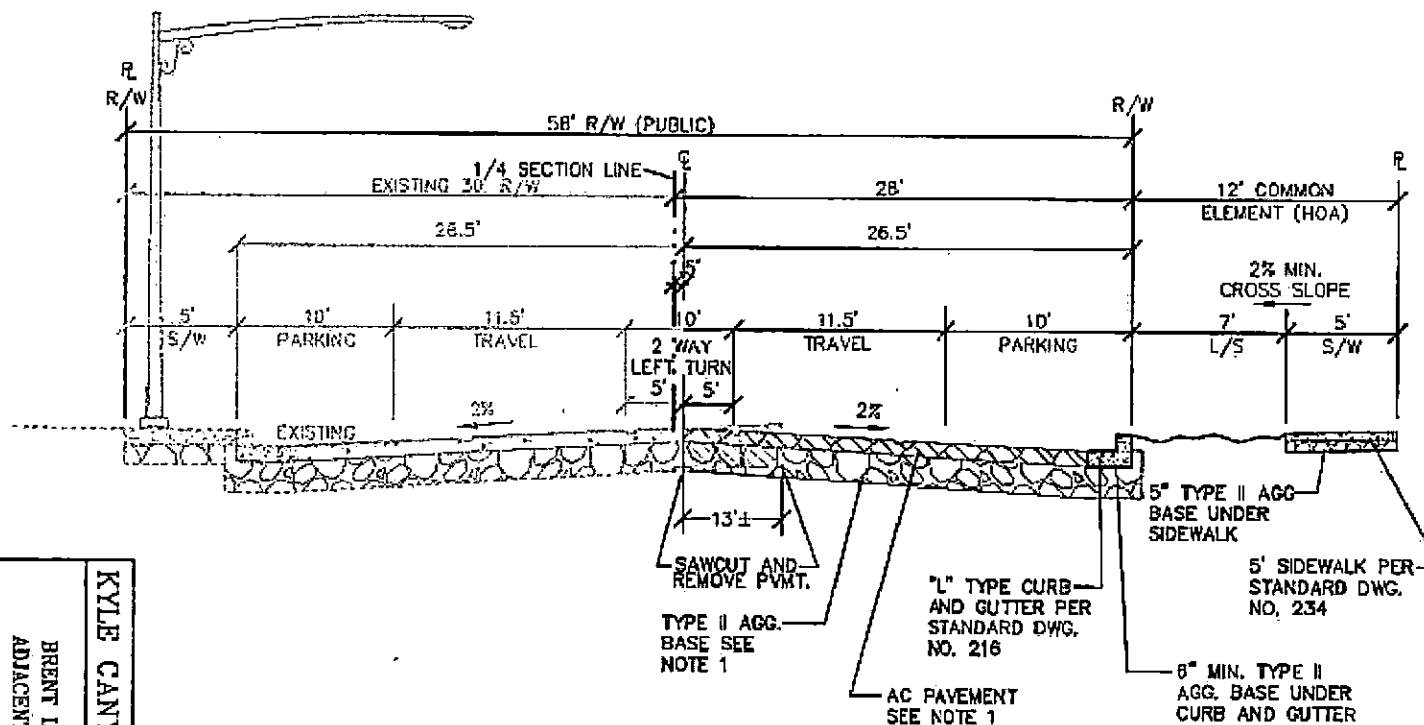
1. STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH STANDARD DRAWING 200. NOTED THICKNESS IS SUBJECT TO CHANGE PER GEOTECHNICAL ENGINEER.

2. WHERE APPLICABLE ADJACENT TO COMMERCIAL USES SIDEWALK WIDTH SHALL BE INCREASED TO 6' AND LANDSCAPE AREA BETWEEN SIDEWALK AND PROPERTY LINE SHALL BE REDUCED BY 1'.

**KYLE CANYON GATEWAY**  
**GRAND CANYON DRIVE-75' SECTION**  
**(PUBLIC) 80' EQUIVALENT SECTION**  
**GRAND TETON DRIVE TO HORSE DRIVE**  
**DATE: 03-08-07**  
**DWG NO. DG-S-P4**



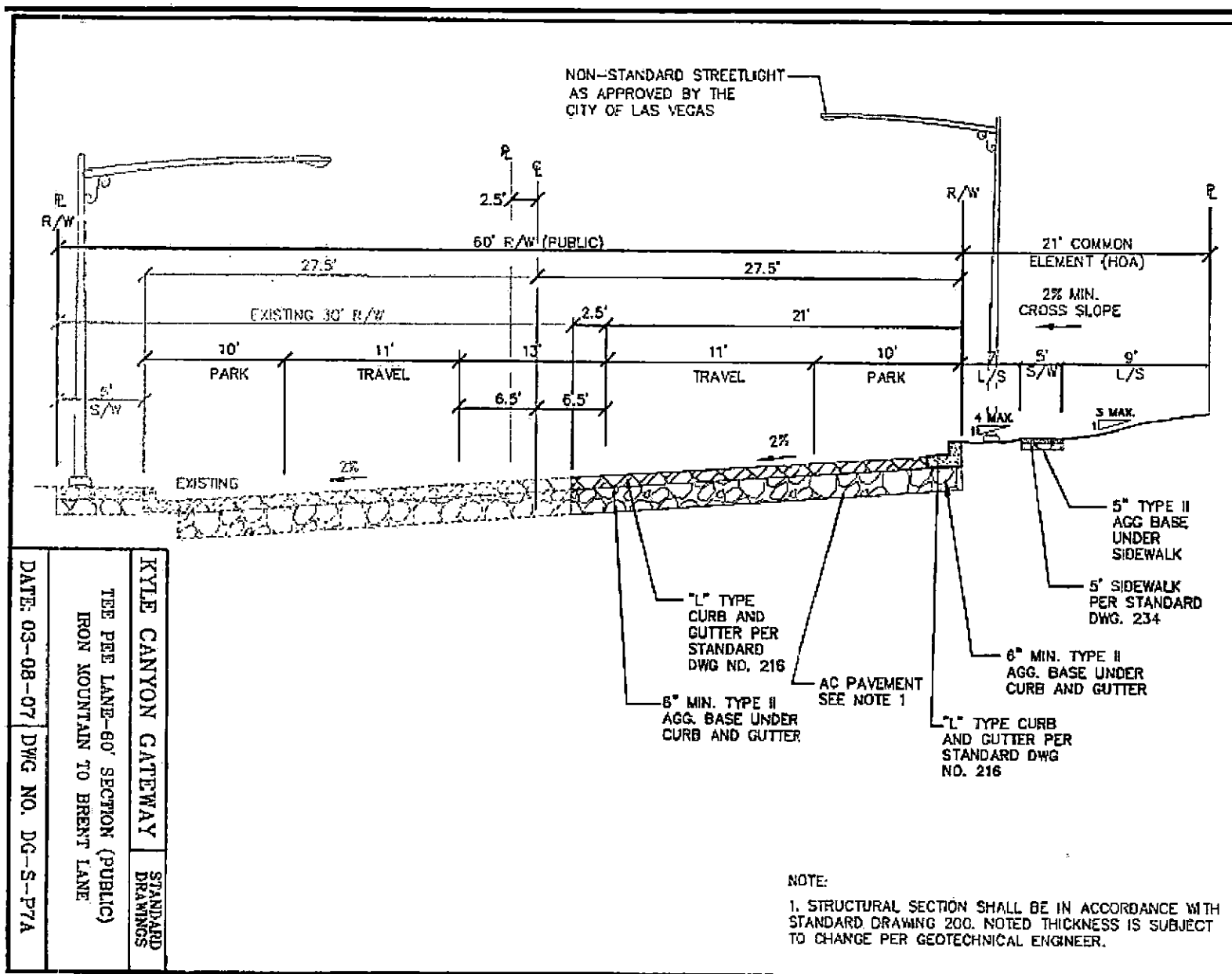




NOTE:

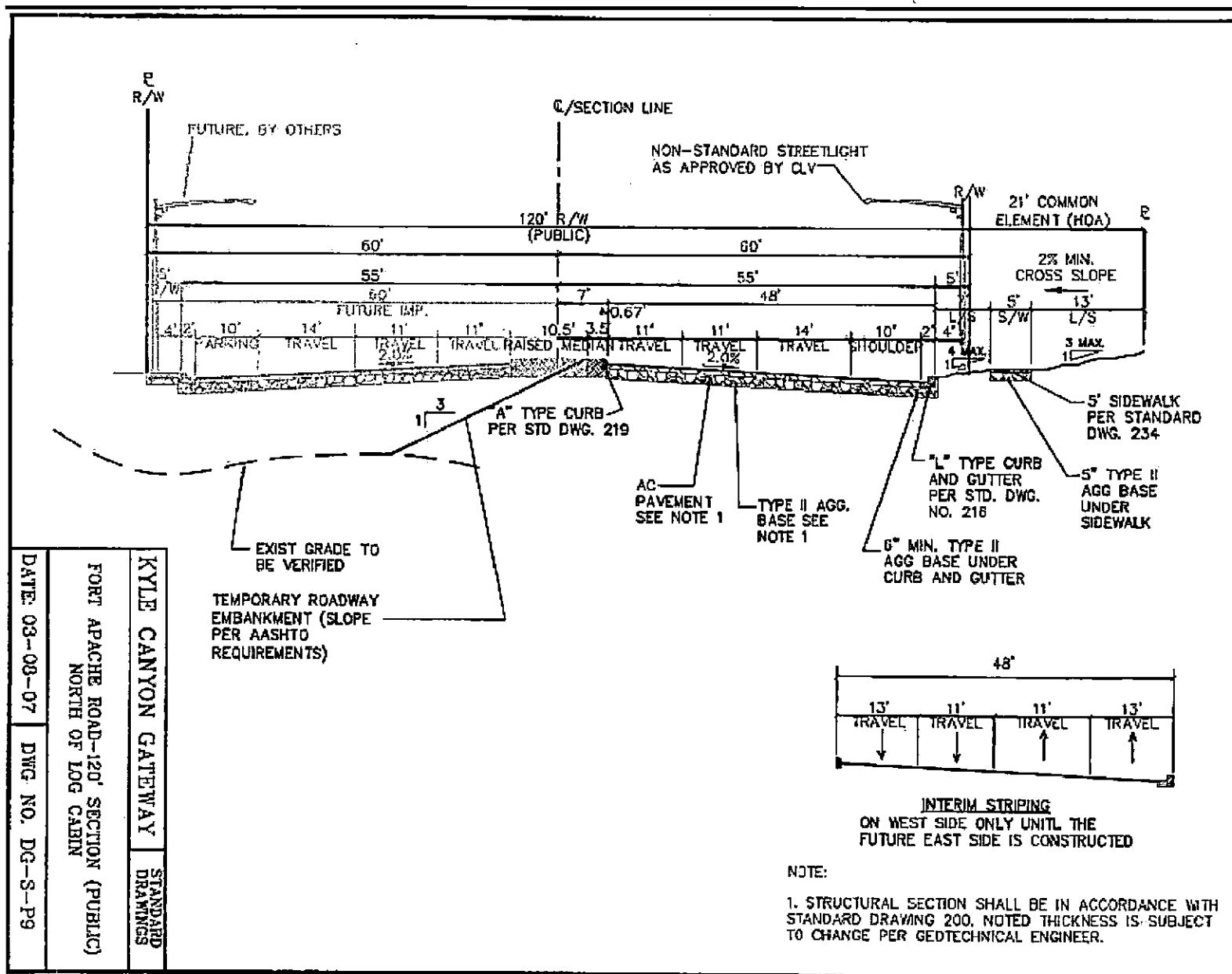
1. STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH STANDARD DRAWING 200. NOTED THICKNESS IS SUBJECT TO CHANGE PER GEOTECHNICAL ENGINEER.

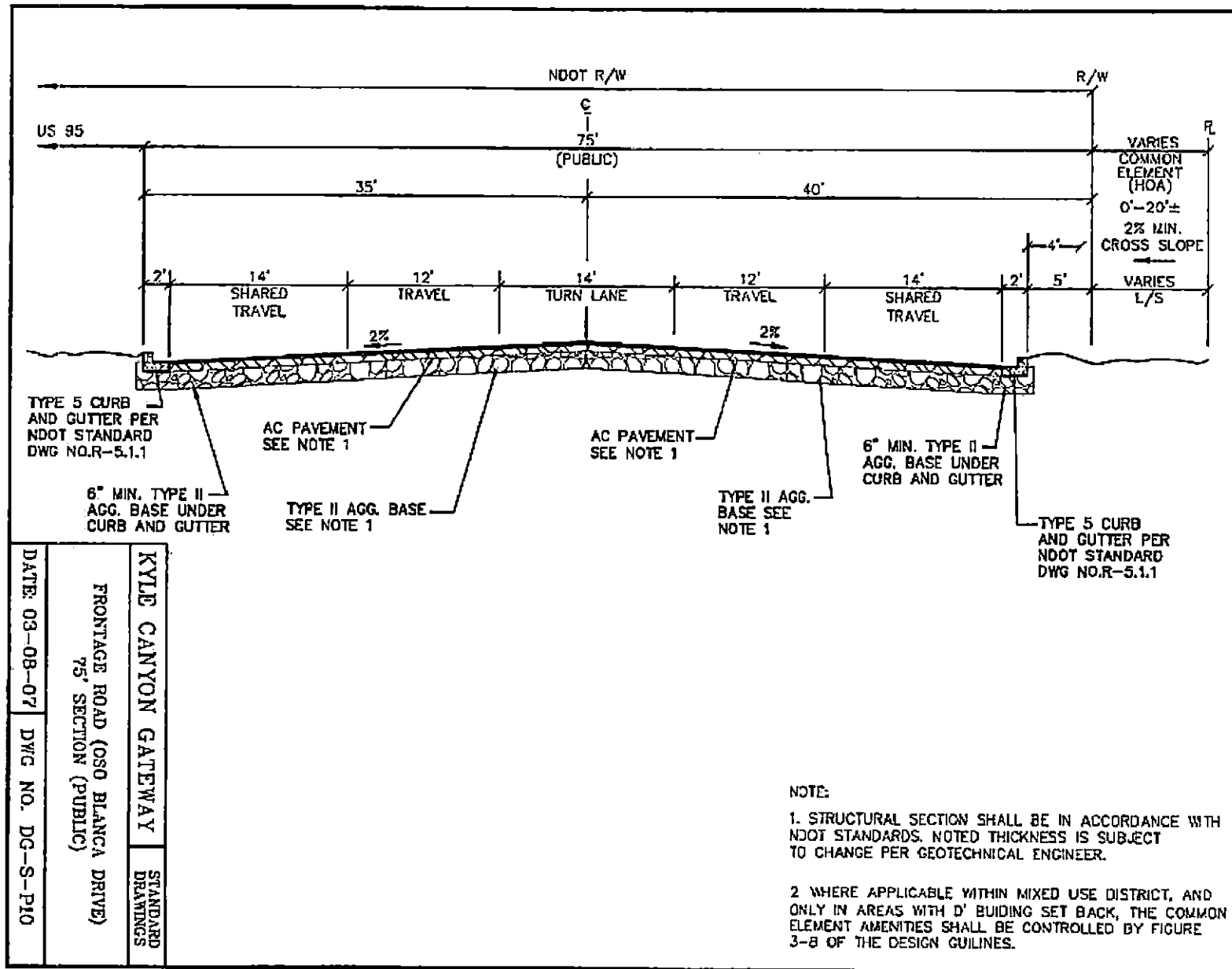
|                                                                    |                   |
|--------------------------------------------------------------------|-------------------|
| KYLE CANYON GATEWAY                                                | STANDARD DRAWINGS |
| BRENT LANE-66' SECTION (PUBLIC)<br>ADJACENT TO EXIST. ELEM. SCHOOL |                   |
| DATE: 03-08-07                                                     | DWG NO. DG-S-P7   |

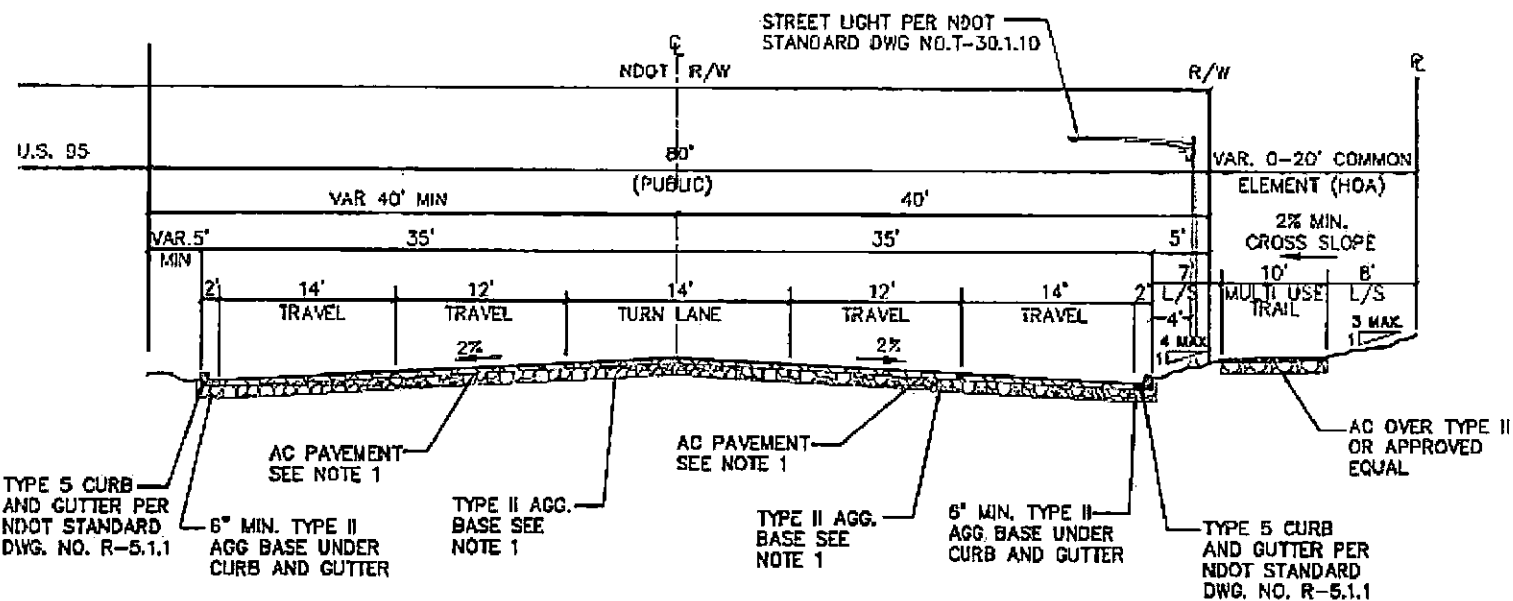












KYLE CANYON GATEWAY

FRONTAGE ROAD (SKY POINTE DR)

80' SECTION (PUBLIC)

NORTH OF IRON MOUNTAIN

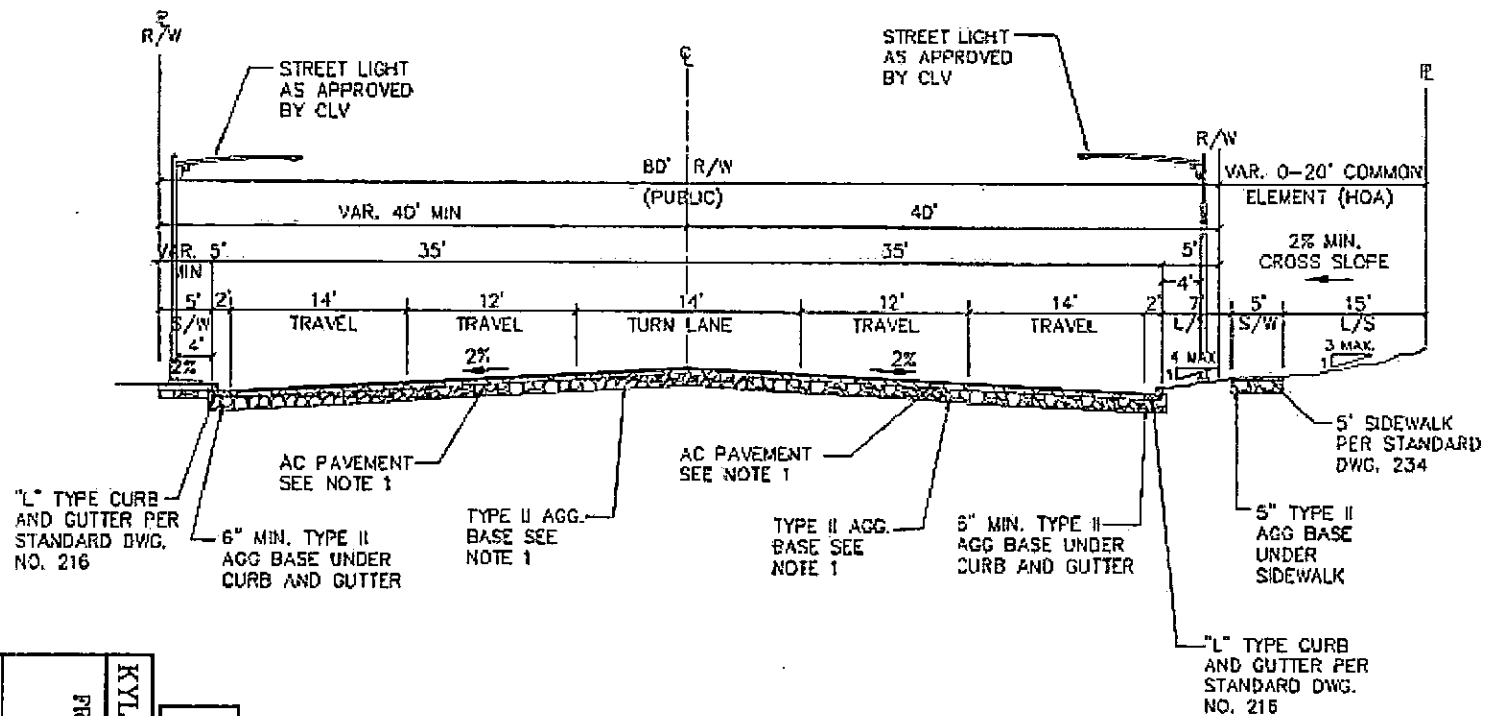
DATE: 03-08-07

DWG NO. DG-S-PI0A

STANDARD DRAWINGS

NOTE:

1. STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH NDOT STANDARDS. NOTED THICKNESS IS SUBJECT TO CHANGE PER GEOTECHNICAL ENGINEER.

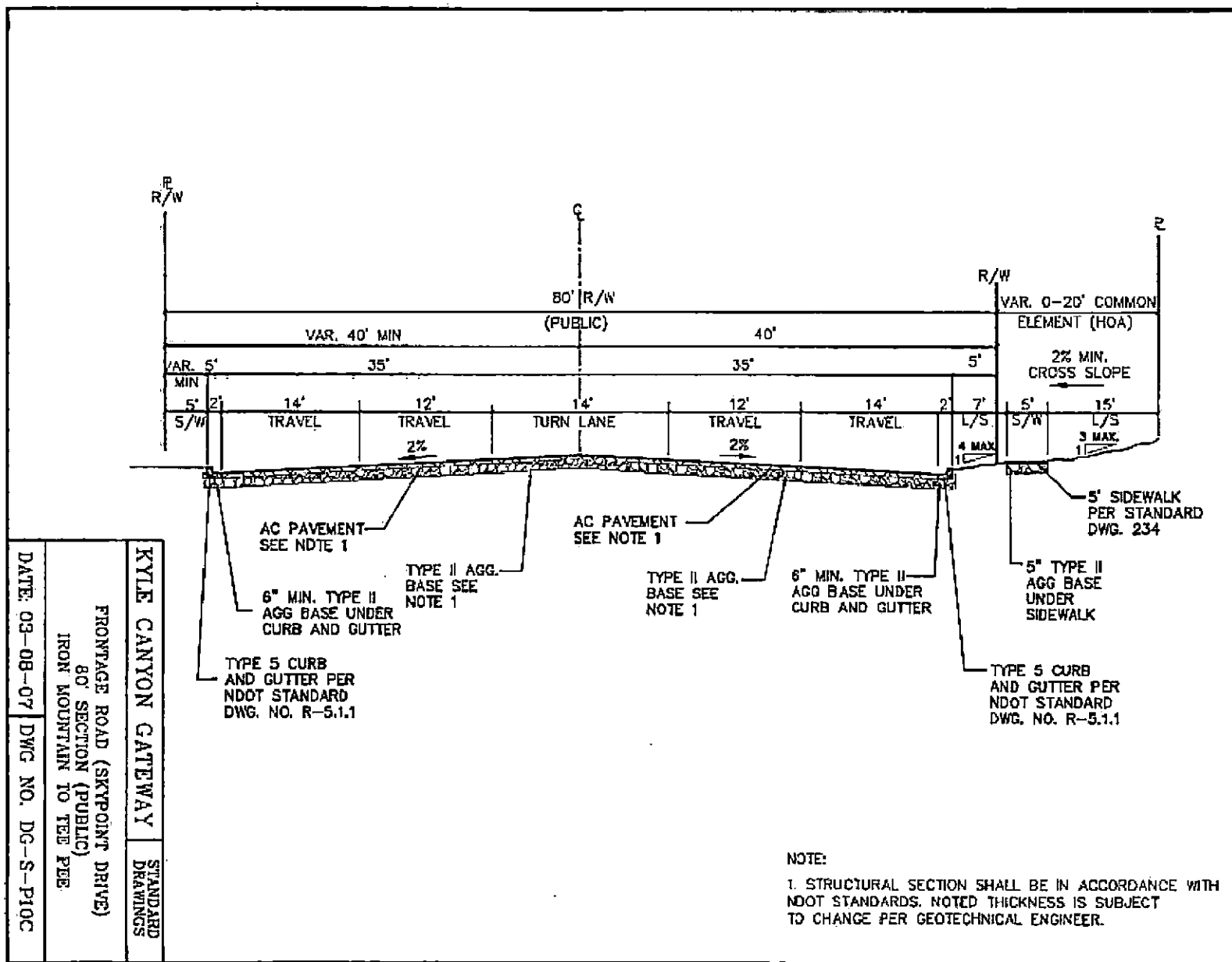


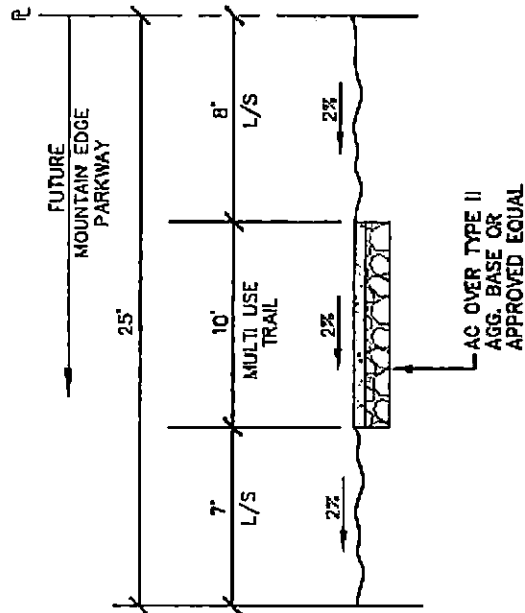
TO BE CONSTRUCTED BY THE CITY  
OF LAS VEGAS ALONG WITH THE  
HORSE INTERCHANGE IMPROVEMENTS

KYLE CANYON GATEWAY STANDARD  
DRAWINGS

FRONTAGE ROAD (SKYPOINT DRIVE)-60' (PUBLIC)  
60' SECTION (PUBLIC)  
TEE FEE TO PORT APACHE

DATE: 03-08-07 DWG NO. DG-S-P10B

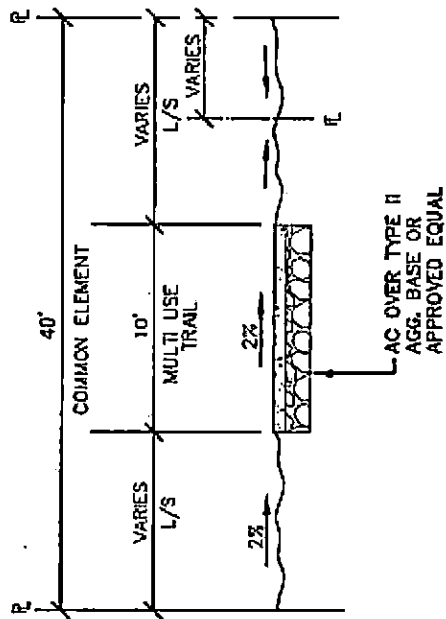




|                     |                   |
|---------------------|-------------------|
| KYLE CANYON GATEWAY | STANDARD DRAWINGS |
|---------------------|-------------------|

|                                        |
|----------------------------------------|
| TRAIL SECTION<br>MOUNTAIN EDGE PARKWAY |
|----------------------------------------|

|                |                 |
|----------------|-----------------|
| DATE: 03-08-07 | DWG NO. DG-S-T1 |
|----------------|-----------------|



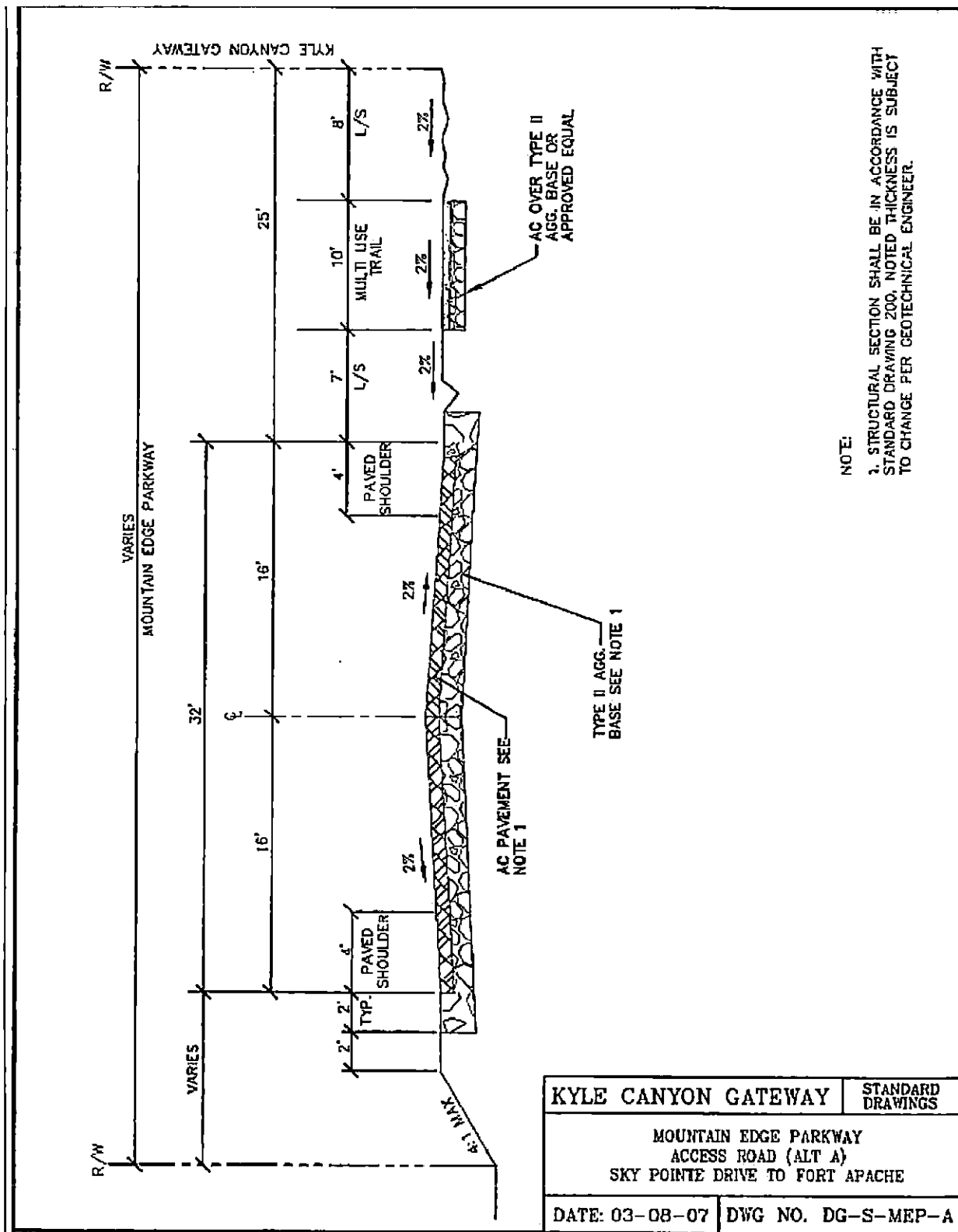
KYLE CANYON GATEWAY

STANDARD  
DRAWINGS

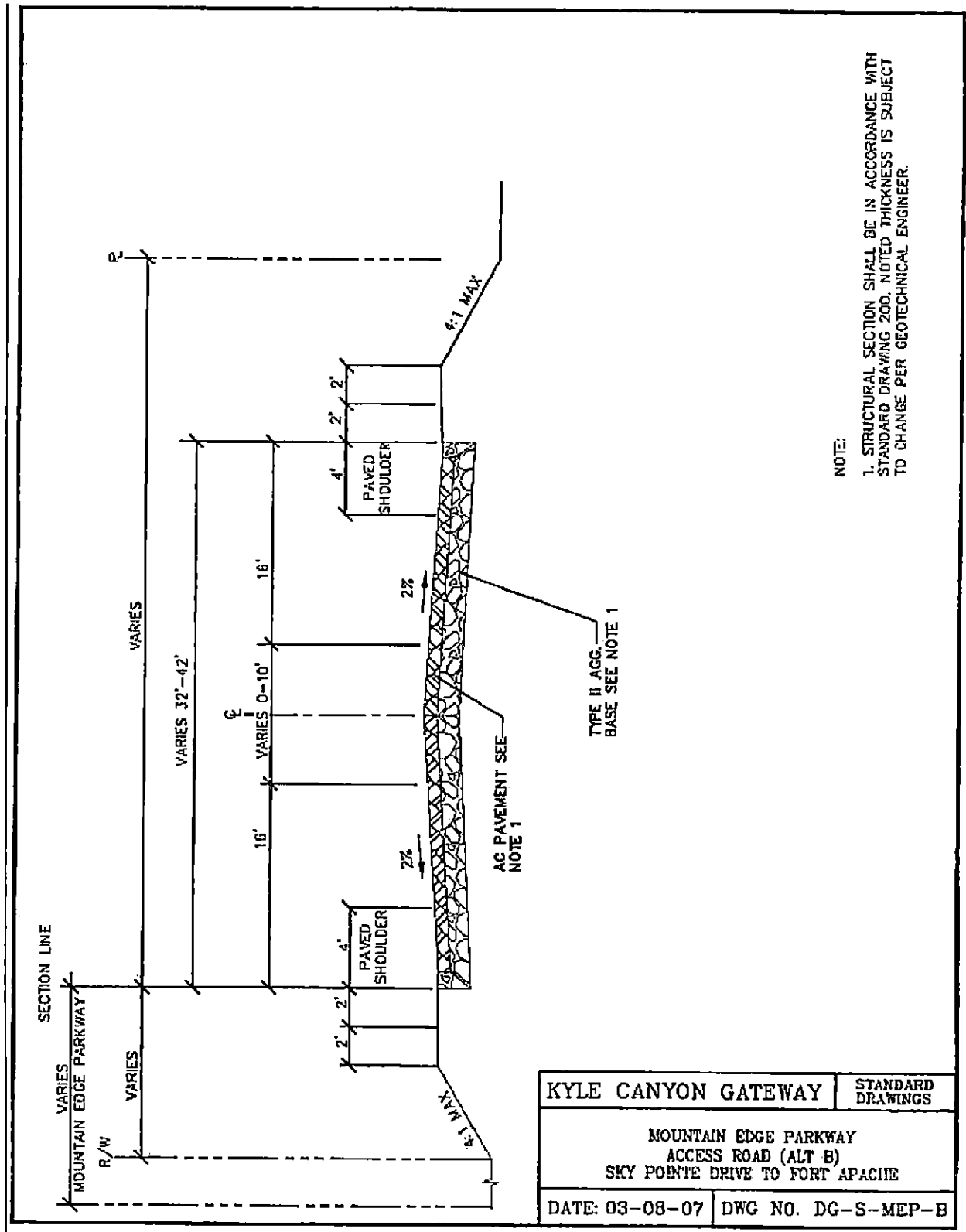
PASEO TRAIL SECTION

DATE: 03-08-07

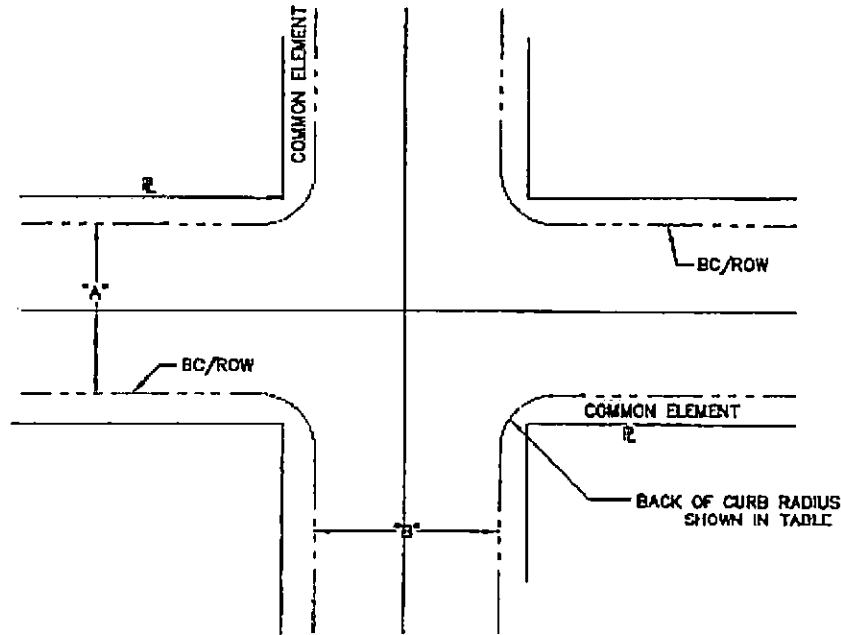
DWG NO. DG-S-T2



|                                                                                  |                    |
|----------------------------------------------------------------------------------|--------------------|
| KYLE CANYON GATEWAY                                                              | STANDARD DRAWINGS  |
| MOUNTAIN EDGE PARKWAY<br>ACCESS ROAD (ALT A)<br>SKY POINTIE DRIVE TO FORT APACHE |                    |
| DATE: 03-08-07                                                                   | DWG NO. DG-S-MEP-A |



NOTE:  
1. STRUCTURAL SECTION SHALL BE IN ACCORDANCE WITH  
STANDARD DRAWING 200. NOTED THICKNESS IS SUBJECT  
TO CHANGE PER GEOTECHNICAL ENGINEER.

STREET CLASSIFICATION

1. MULTI-LANE BOULEVARD
2. MULTI-LANE BOULEVARD
3. MULTI-LANE BOULEVARD
4. TWO LANE BOULEVARD
5. MULTI-LANE BOULEVARD
6. MULTI-LANE COLLECTOR
7. TWO LANE CONNECTOR
8. THREE LANE CONNECTOR
9. CONNECTOR STREET AT SUBSTATION
10. CONNECTOR STREET
11. NEIGHBORHOOD STREET
12. NEIGHBORHOOD STREET AT PARKS
13. ARTERIAL AND FRONTAGE ROADS

STREET SECTIONS

- HORSE DRIVE (A1)  
 NORTH HUALAPAI WAY (A2)  
 HUALAPAI WAY (A3)(A3A)(A3B)  
 TEE FEE LANE (P7A)(B4)  
 SHALMBER ROAD (B1)  
 BRENT LANE (P7)  
 IRON MOUNTAIN (P6)  
 EGAN CREST (B5)(B3A)(B3B)  
 KYLEGATE (B4)(B4B)  
 (B5)(B5A)(A3C)  
 NORTH TEE FEE LANE (C1)  
 VIBRATO (C2)  
 (C3)(C4)  
 O'HARE (C4)  
 LOG CABIN DRIVE (C4)  
 (C4D)  
 (C6)  
 WITHIN NEIGHBORHOODS (D1)  
 WITHIN NEIGHBORHOODS (D2)  
 GRAND TETON (P1)(P1A)  
 IRON MOUNTAIN (P2)(P3)  
 GRAND CANYON (P4)(P5)  
 FORT APACHE (P8)(P8A)(P9)  
 OSO BLANCA (P10)  
 SKY POINTE (P10A)(P10B)(P10C)

|                       |                                         | STREET CLASSIFICATION |                         |       |
|-----------------------|-----------------------------------------|-----------------------|-------------------------|-------|
| STREET CLASSIFICATION | <div><div>"B"</div><div>"A"</div></div> | 7, 8,<br>9, 11,<br>12 | 2, 3,<br>4, 5,<br>6, 10 | 1, 13 |
|                       | 7, 8,<br>9, 11,<br>12                   | 20'                   | 25'                     | 30'   |
|                       | 2, 3,<br>4, 5,<br>6, 10                 | 25'                   | 30'                     | 30'   |
|                       | 1, 13                                   | 30'                   | 30'                     | 30'   |

KYLE CANYON GATEWAY

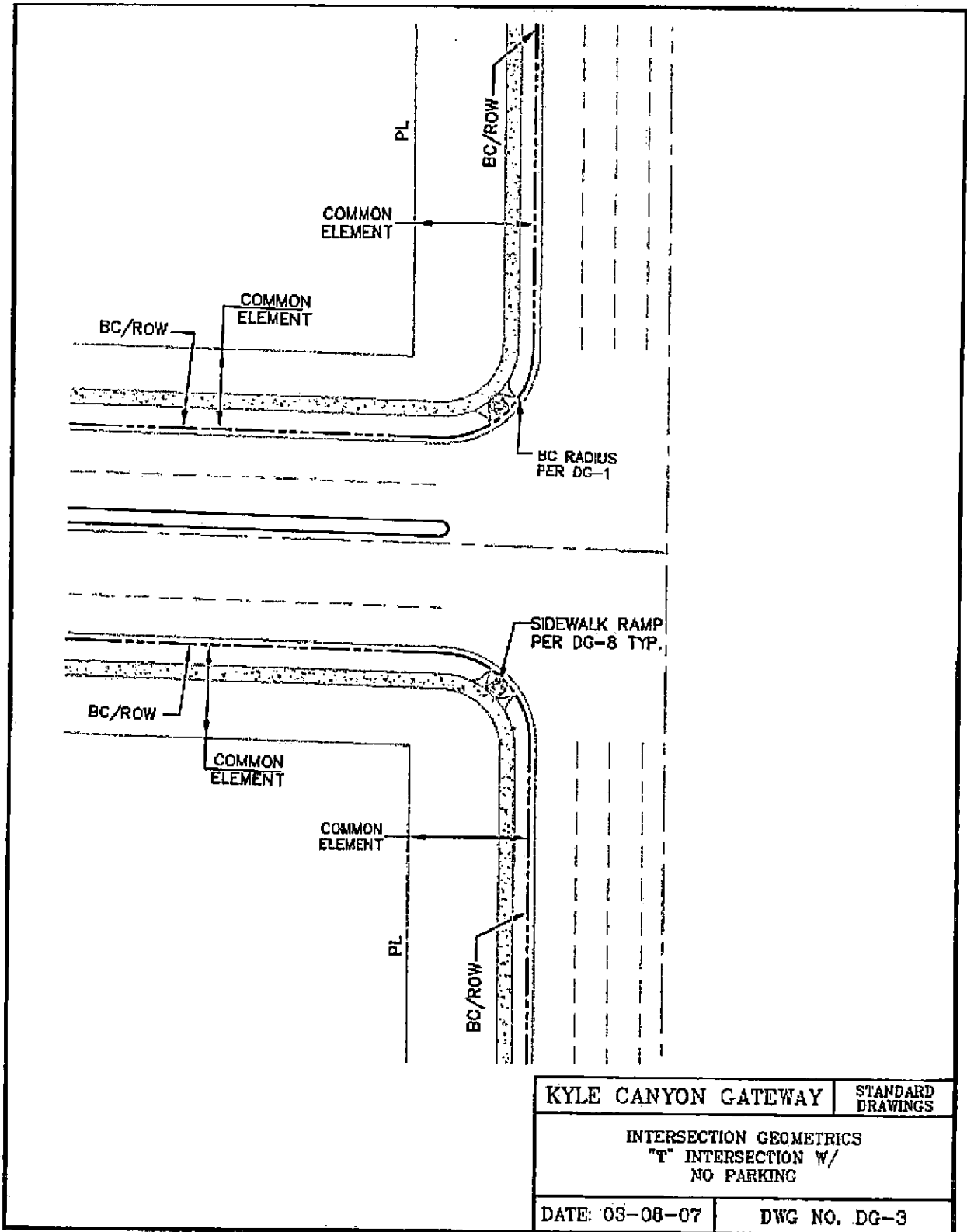
STANDARD  
DRAWINGS

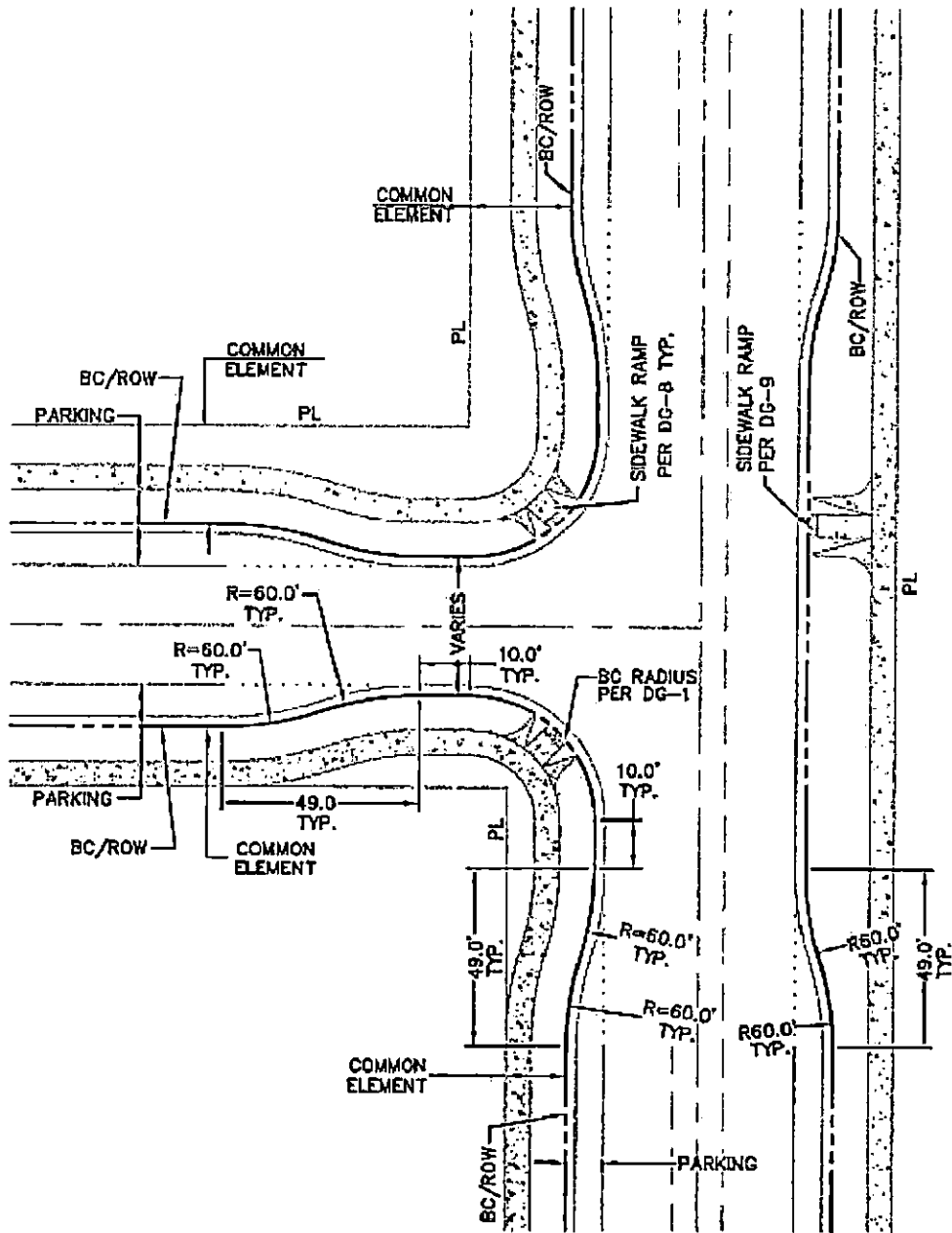
MINIMUM BACK OF CURB RADIUS

DATE: 03-08-07

DWG NO. DG-1







KYLE CANYON GATEWAY

STANDARD  
DRAWINGSINTERSECTION GEOMETRICS  
"T" INTERSECTION W/  
PARKING ON BOTH LEGS

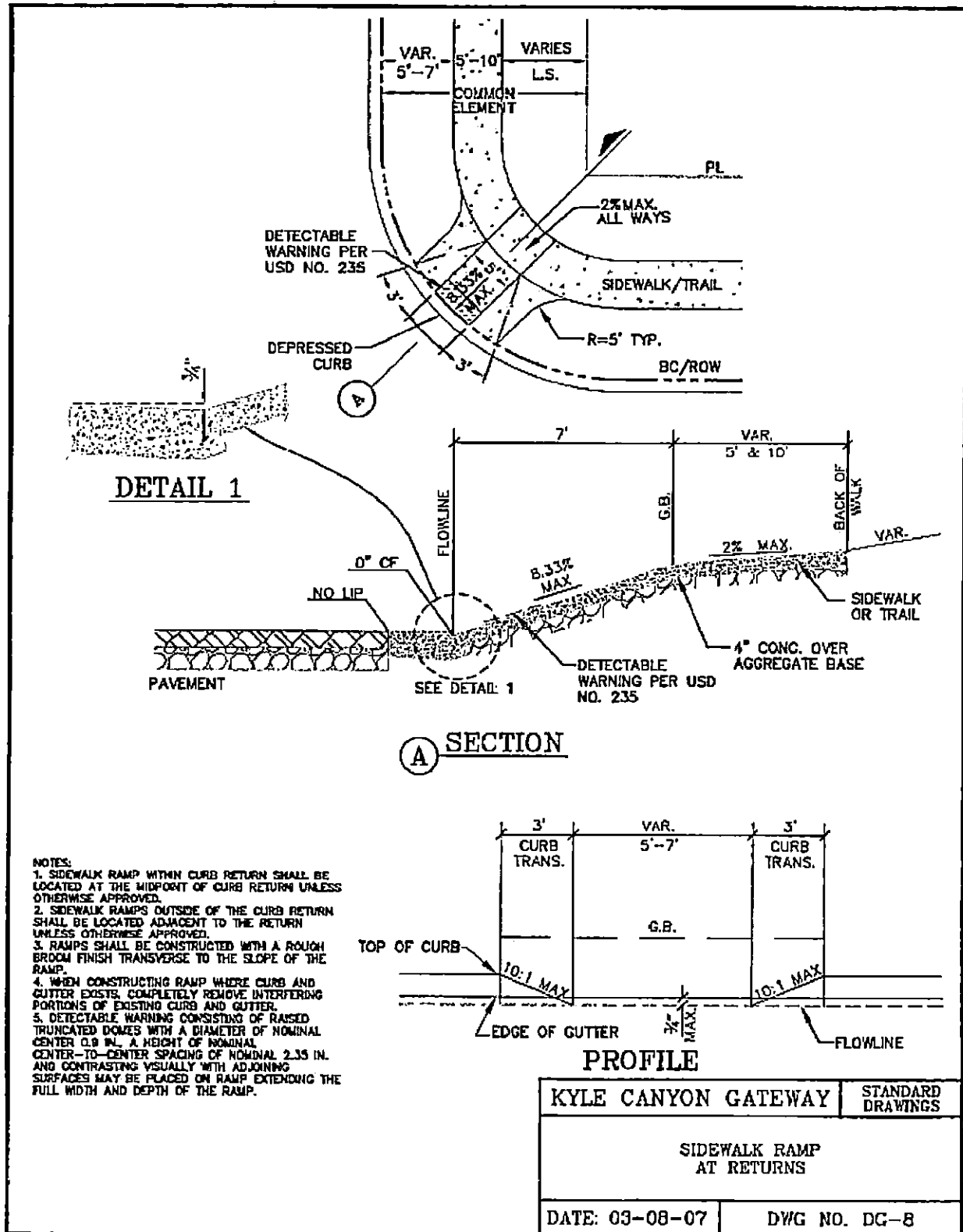
DATE: 03-08-07

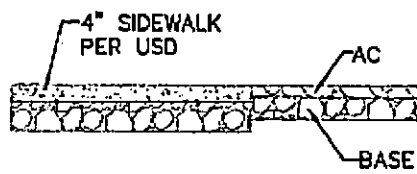
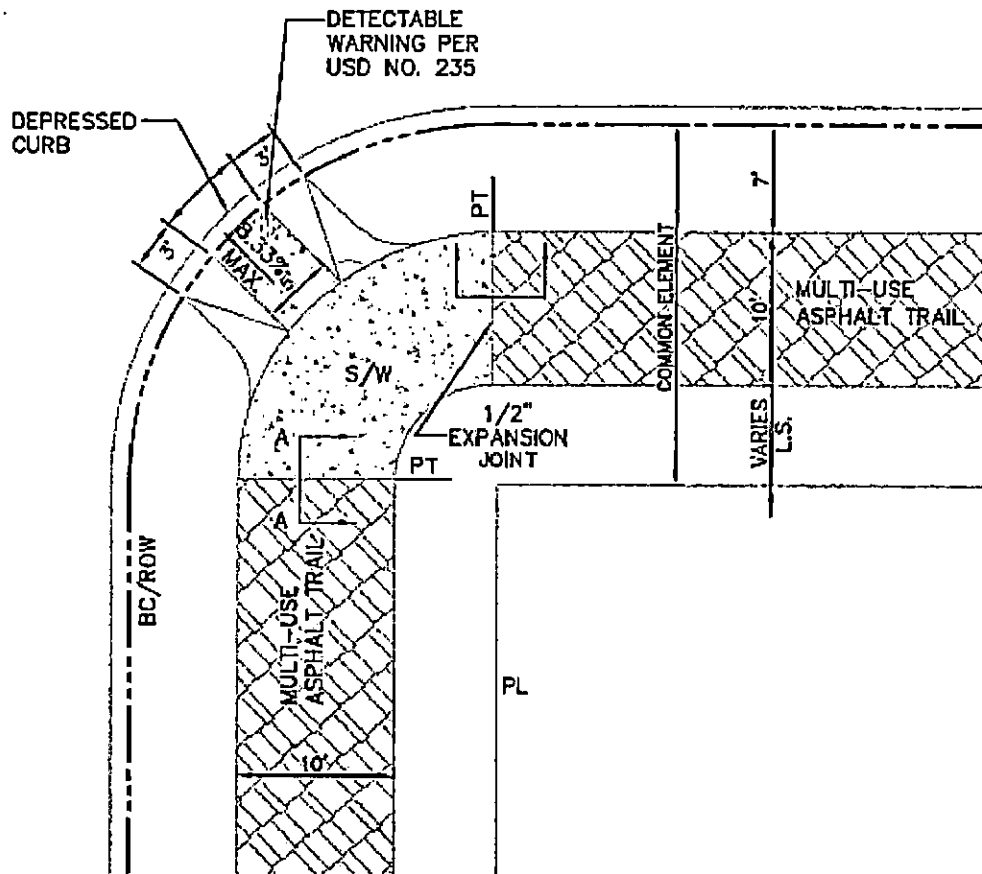
DWG NO. DG-4





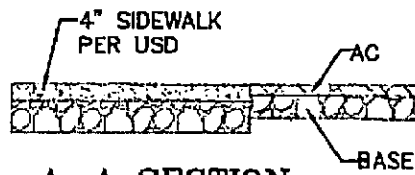
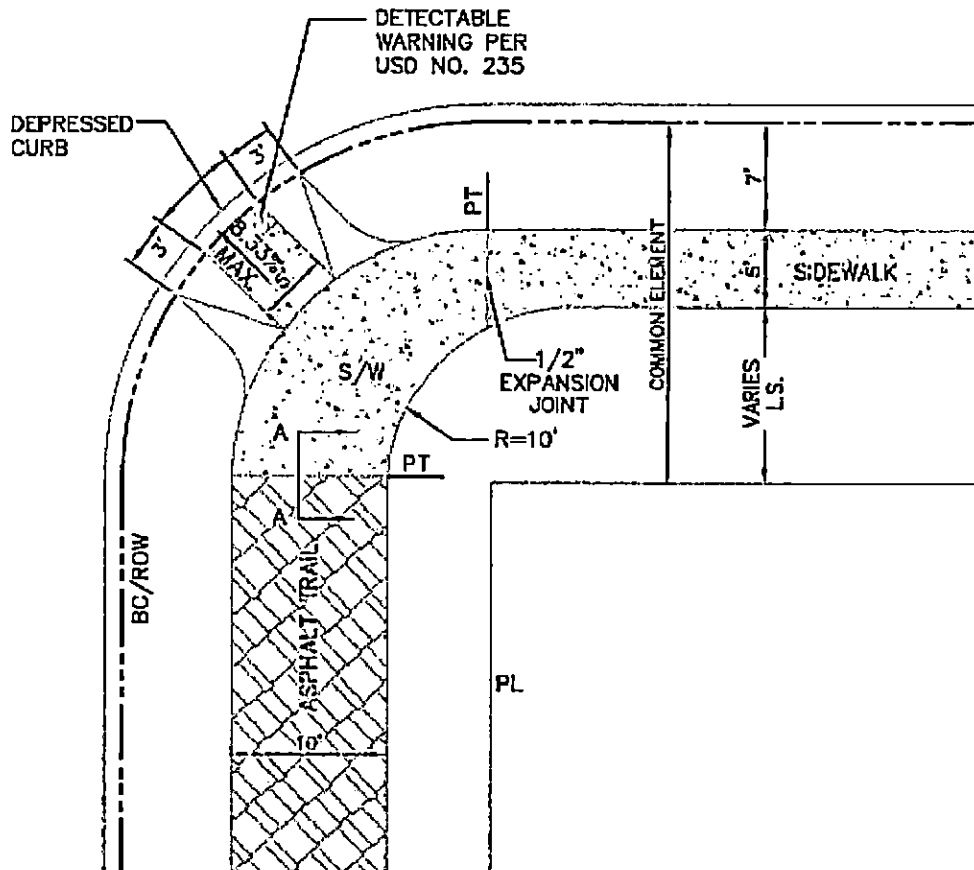






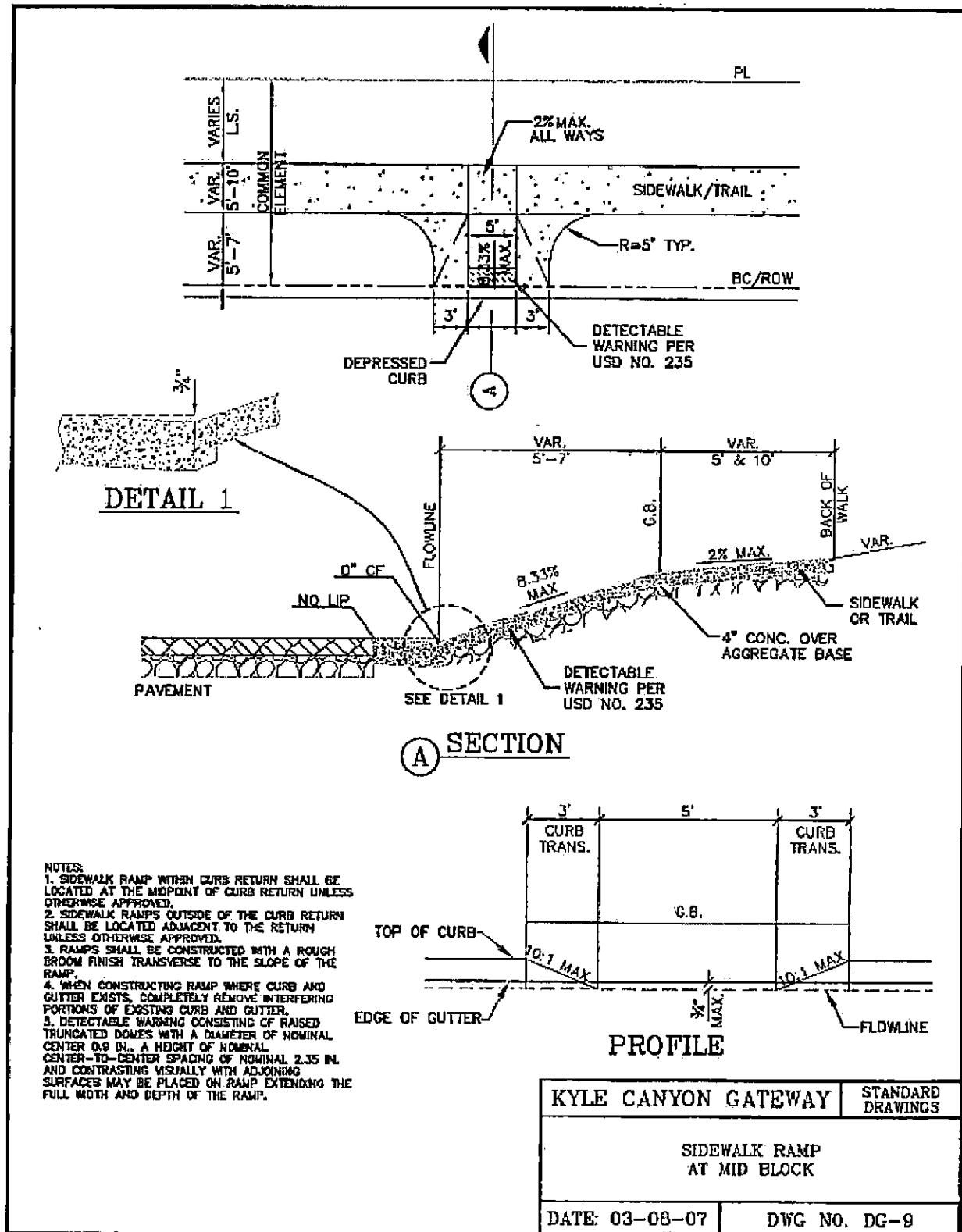
A-A SECTION

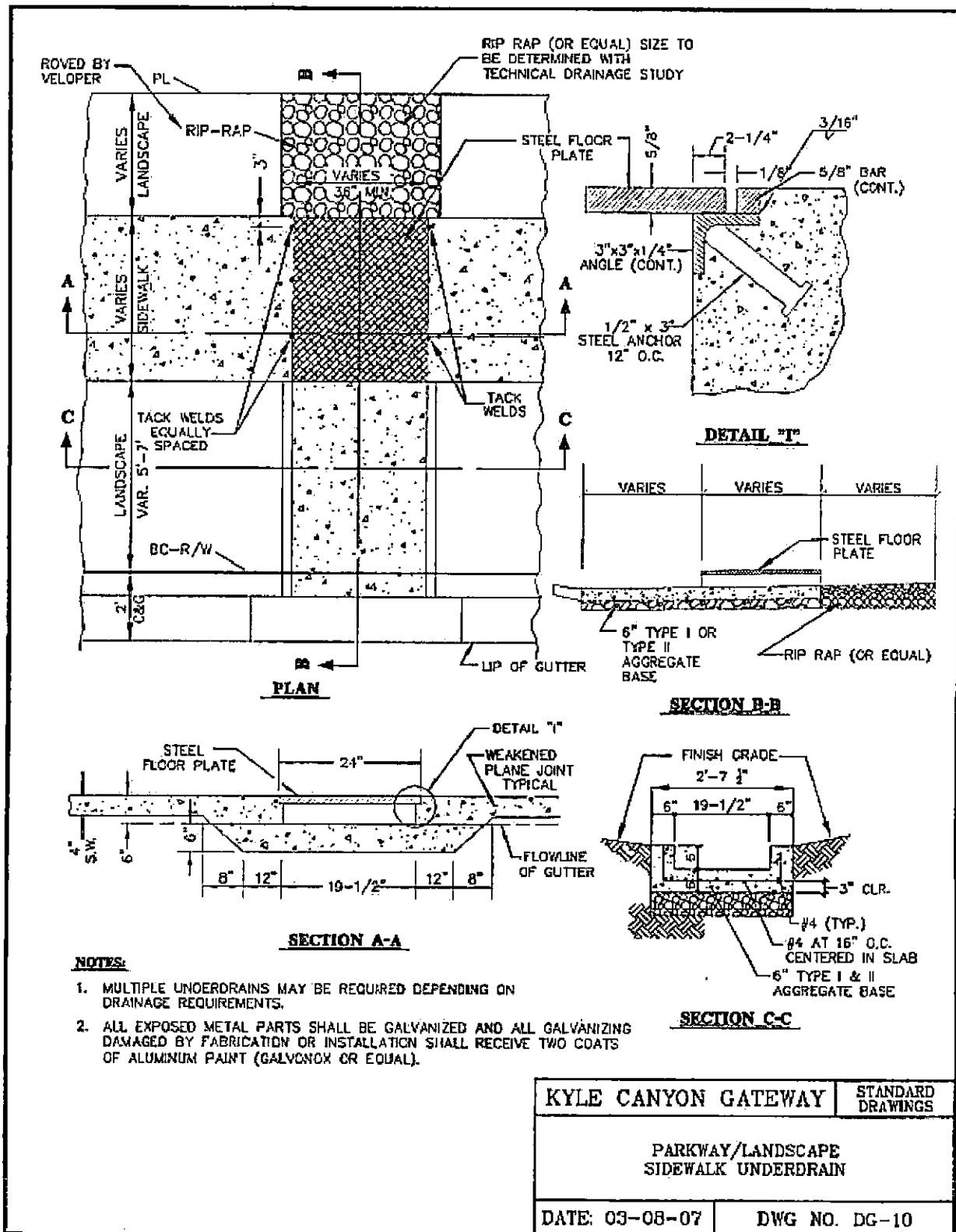
|                                       |                      |
|---------------------------------------|----------------------|
| KYLE CANYON GATEWAY                   | STANDARD<br>DRAWINGS |
| SIDEWALK/TRAIL CONNECTION<br>OPTION A |                      |
| DATE: 03-08-07                        | DWG NO. DC-8.1       |

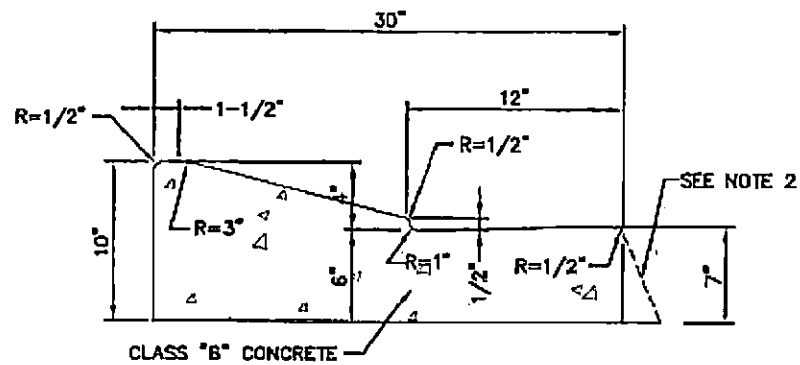


A-A SECTION

|                                       |                      |
|---------------------------------------|----------------------|
| KYLE CANYON GATEWAY                   | STANDARD<br>DRAWINGS |
| SIDEWALK TRAIL CONNECTION<br>OPTION B |                      |
| DATE: 03-08-07                        | DWG NO. DG-8.2       |







**NOTES:**

1. CONSTRUCT 1/2" EXPANSION JOINT AT ALL COLD JOINTS, AT BEGINNING AND END OF CURB RETURNS, AND AT 300 FT. MAX. INTERVALS FOR FORMED CURB. FOR JOINT DETAILS, SEE USD DWG. NO. 234.
2. ONE INCH BATTER AT CURB FACE IS OPTIONAL.
3. INSTALL 6" TYPE II AGGREGATE BASE UNDER CURB AND GUTTER, TYP.

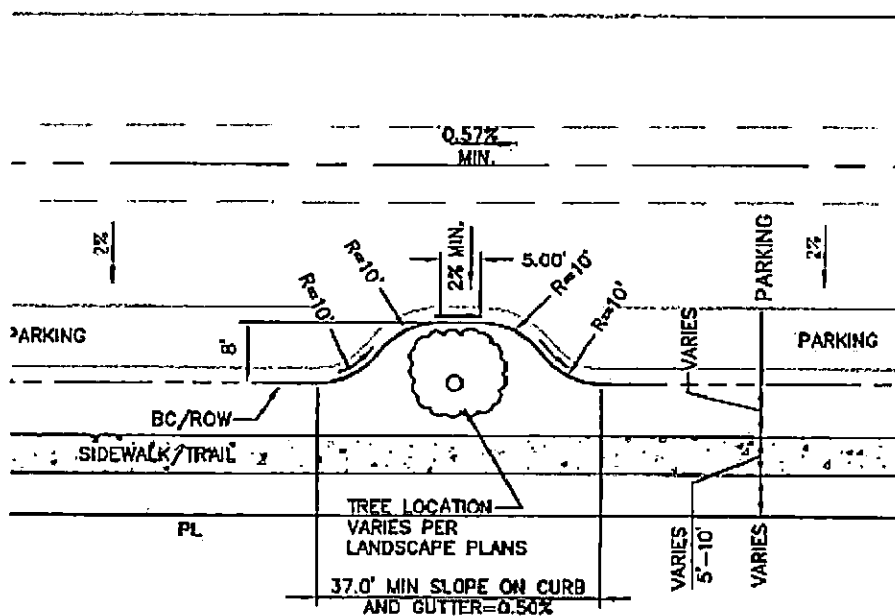
KYLE CANYON GATEWAY

STANDARD  
DRAWINGS

30" WEDGE CURB  
AND GUTTER

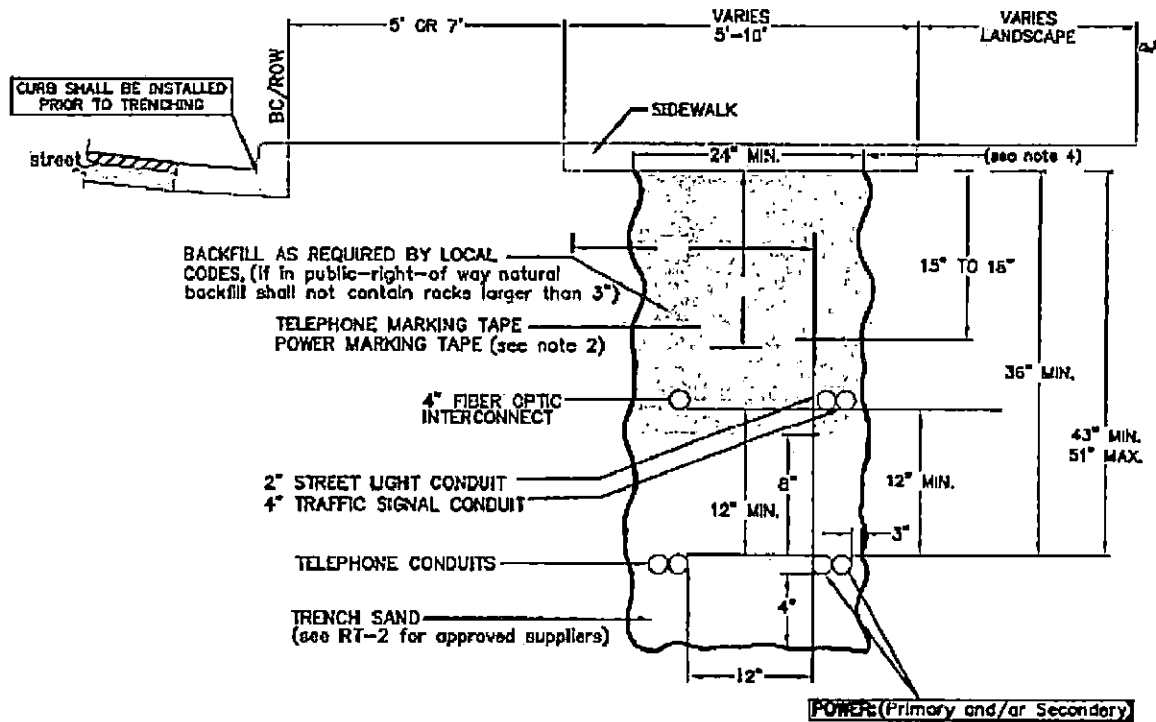
DATE: 03-08-07

DWG NO. DG-11



**NOTE:**  
MIN. STREET GRADE WHERE TREE  
WELLS ARE ALLOWED IS 0.57%

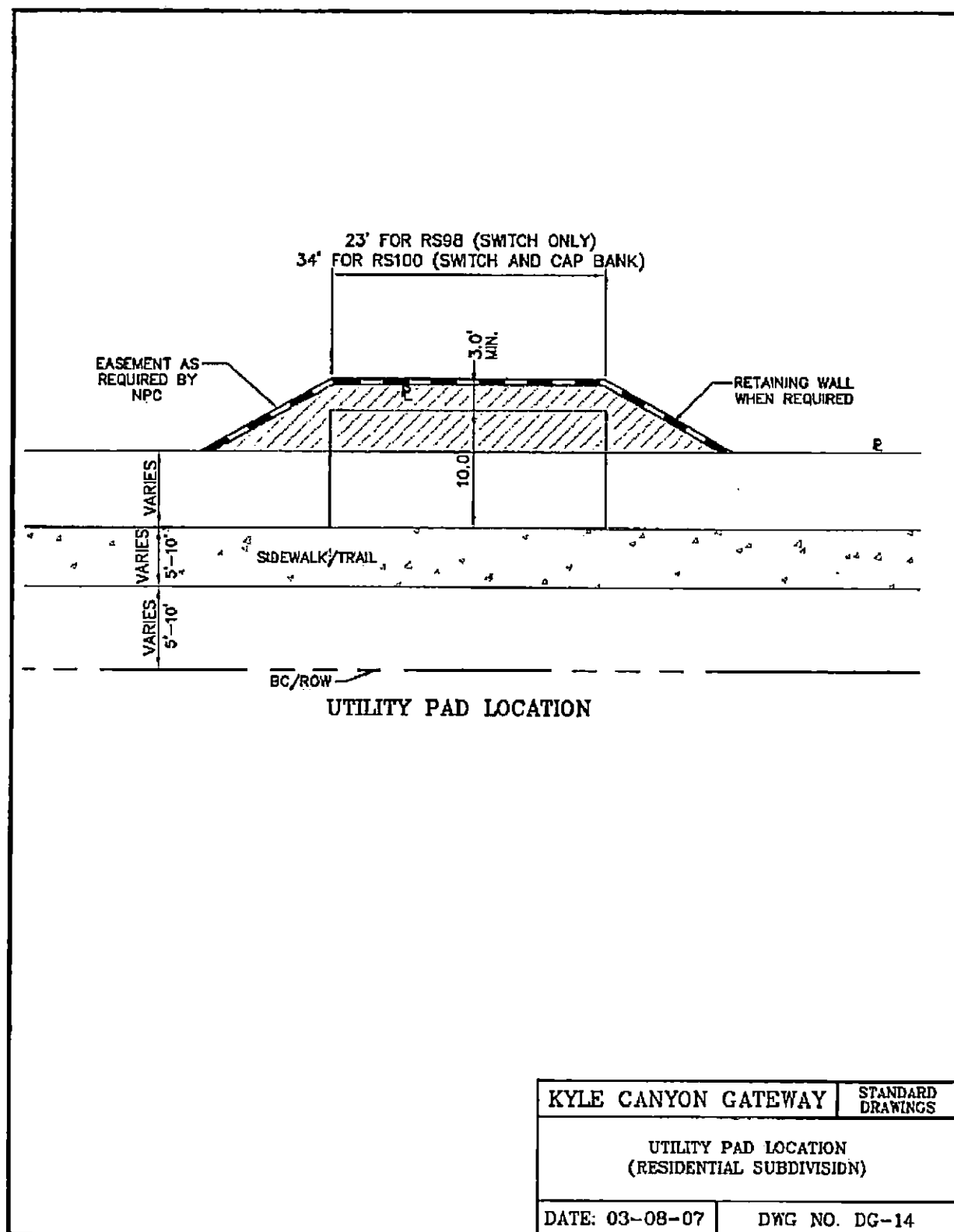
|                     |                      |
|---------------------|----------------------|
| KYLE CANYON GATEWAY | STANDARD<br>DRAWINGS |
| PARKING TREE WELL   |                      |
| DATE: 03-08-07      | DWG NO. DG-12        |



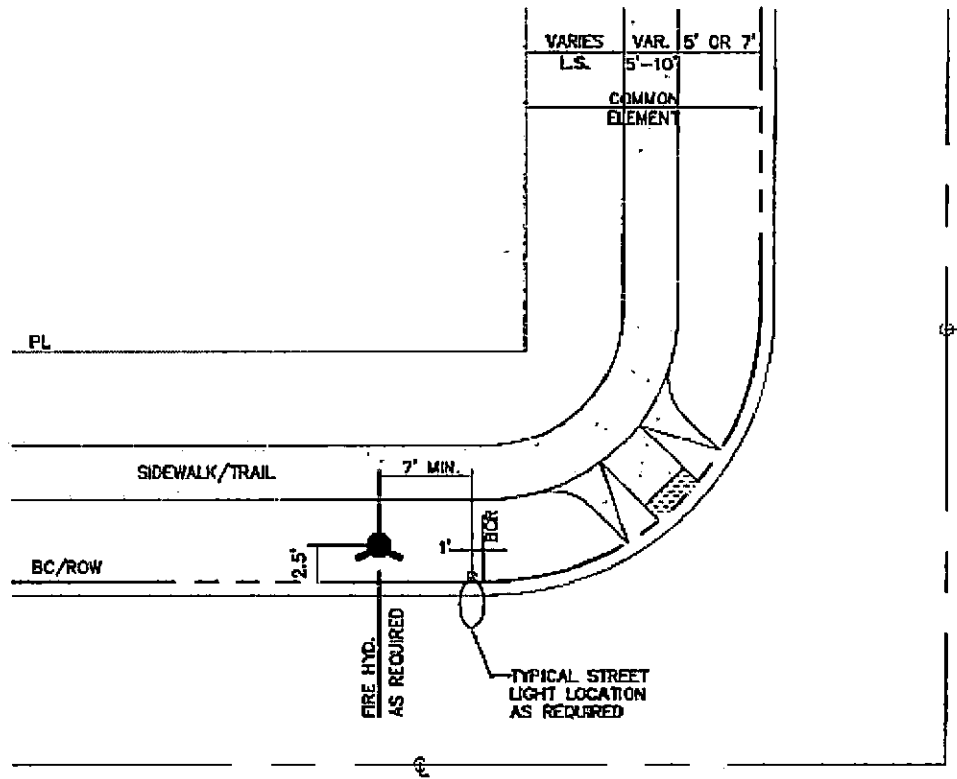
#### NOTES:

1. See RT-G for general requirements.
2. Vinyl marking tape is provided as supplemental protection because NPC cannot control the final grade elevation due to possible future surface grade changes by the developer or owner.
3. Excavated material shall be placed a minimum of two feet from both edges of the trench to prevent material from falling into the open trench.
4. Edges of trench shall be a minimum of 36" from edge of Water, Gas or Sewer pipes.
5. Refer to Nevada Power RT-7

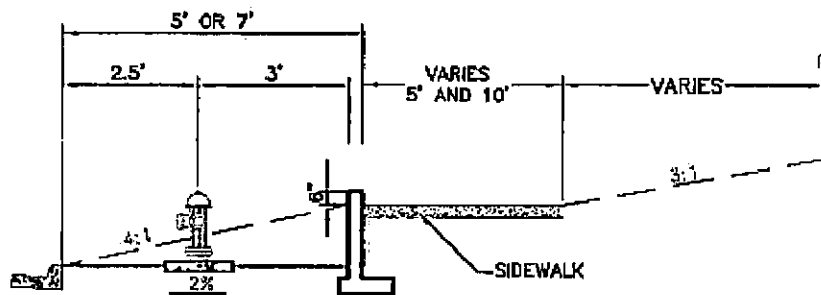
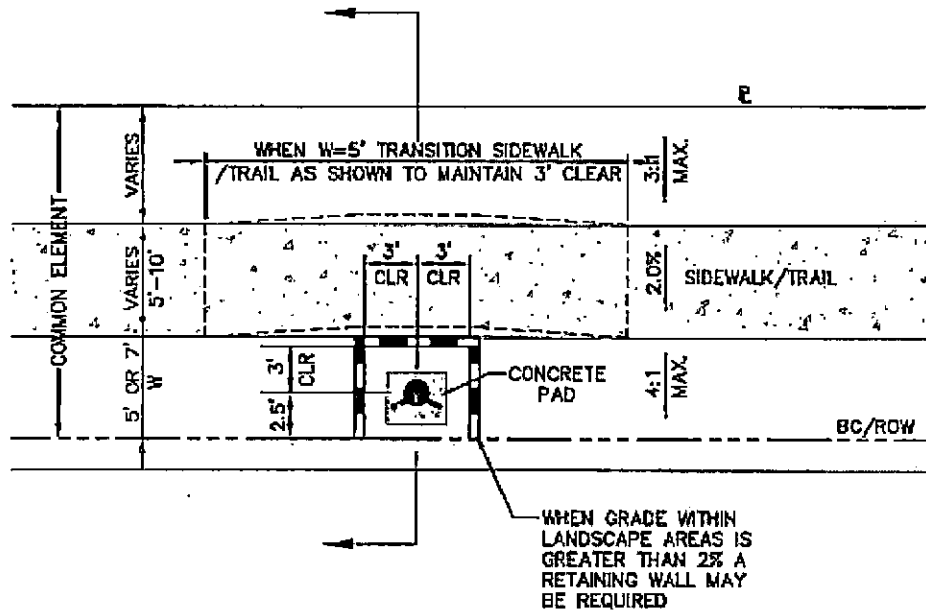
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| DRY UTILITY TRENCH LOCATION |                   |
| DATE: 03-08-07              | DWG NO. DG-13     |



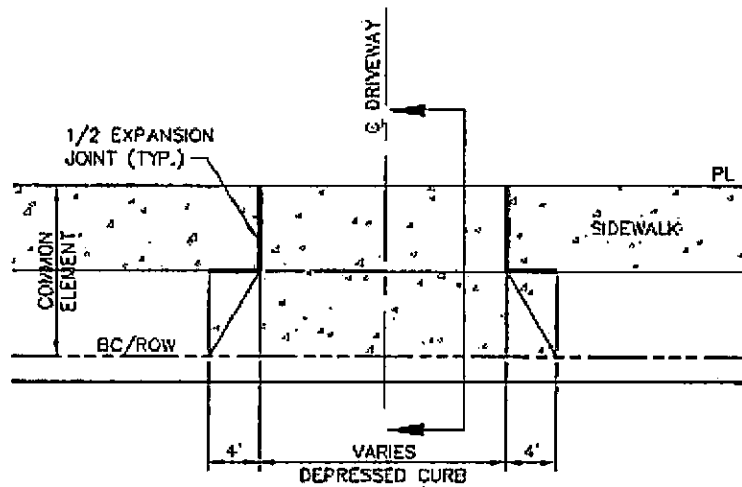




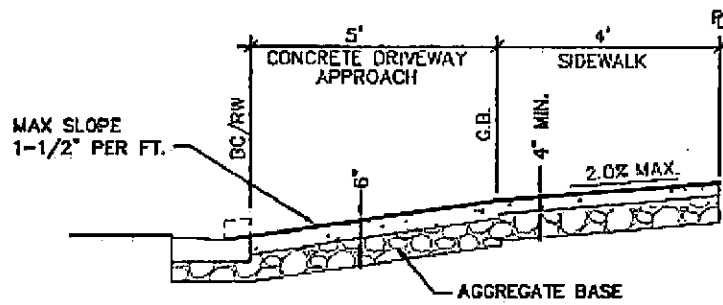
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| FIRE HYDRANT LOCATION (AT INTERSECTION) |                   |
| DATE: 03-08-07                          | DWG NO. DC-16     |



|                                          |                   |
|------------------------------------------|-------------------|
| KYLE CANYON GATEWAY                      | STANDARD DRAWINGS |
| FIRE HYDRANT LOCATION<br>(ALONG ROADWAY) |                   |
| DATE: 03-08-07                           | DWG NO. DG-17     |



PLAN



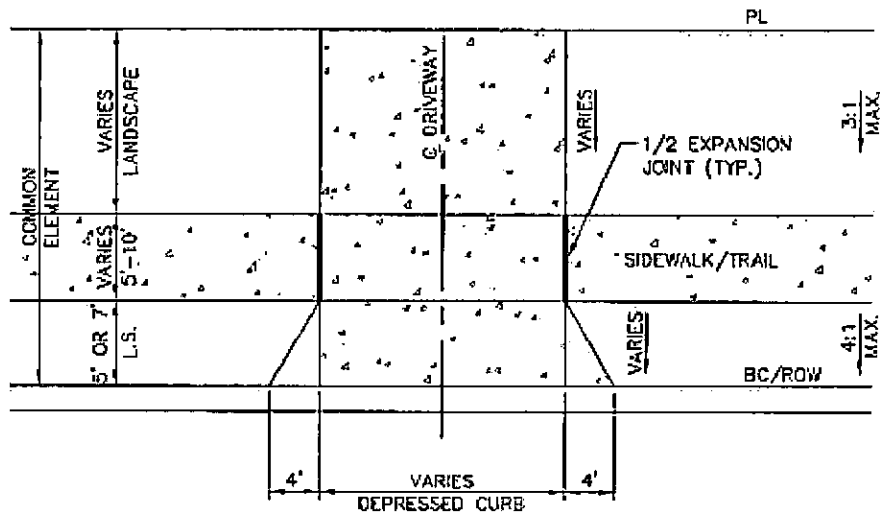
SECTION

|                     |                      |
|---------------------|----------------------|
| KYLE CANYON GATEWAY | STANDARD<br>DRAWINGS |
|---------------------|----------------------|

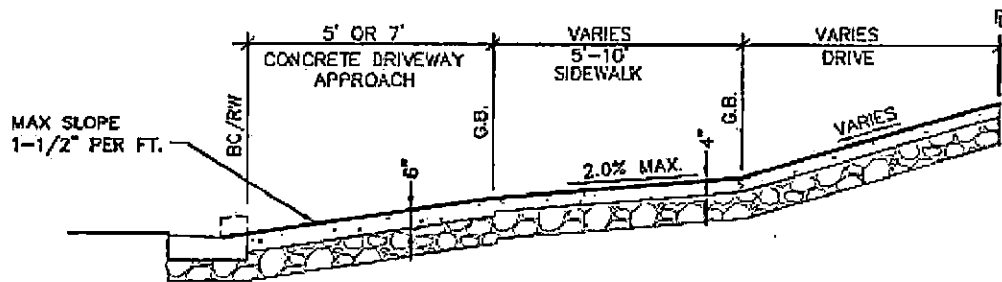
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| DRIVEWAY APPROACH - RESIDENTIAL<br>(OPTION "A")<br>(REFER TO USD #223) |
|------------------------------------------------------------------------|

DATE: 03-08-07

DWG NO. DG-18.1

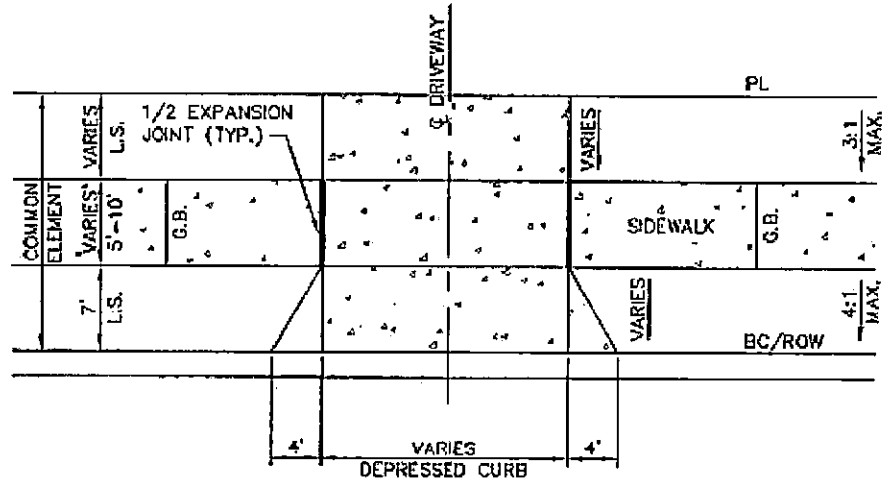


PLAN

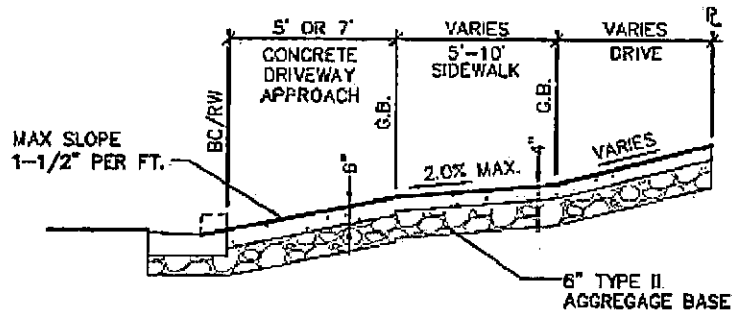


SECTION

|                                                                        |  |                   |
|------------------------------------------------------------------------|--|-------------------|
| KYLE CANYON GATEWAY                                                    |  | STANDARD DRAWINGS |
| DRIVEWAY APPROACH - RESIDENTIAL<br>(OPTION "B")<br>(REFER TO USD #223) |  |                   |
| DATE: 03-08-07                                                         |  | DWG NO. DG-18.2   |

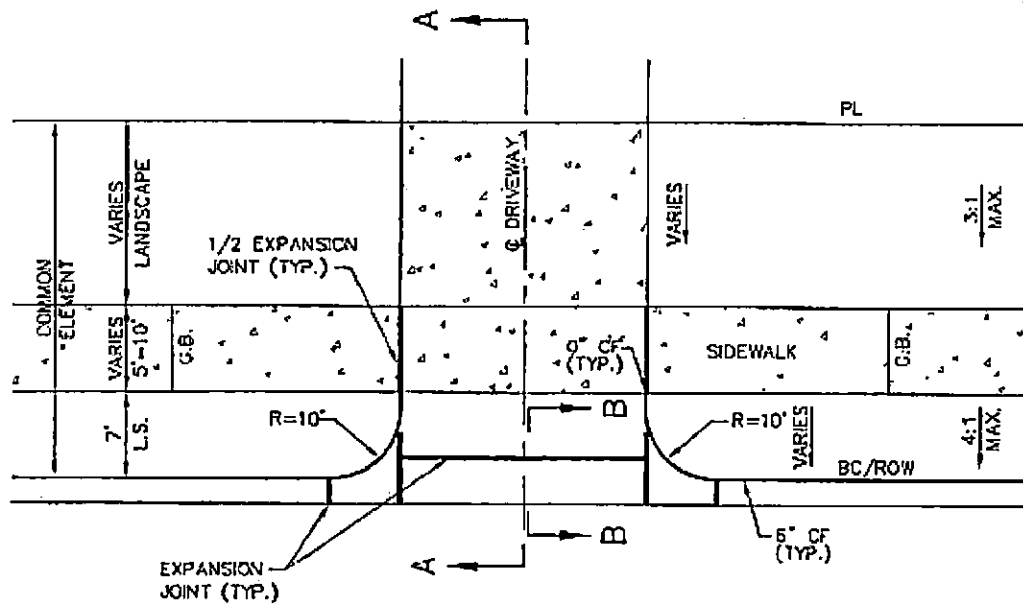


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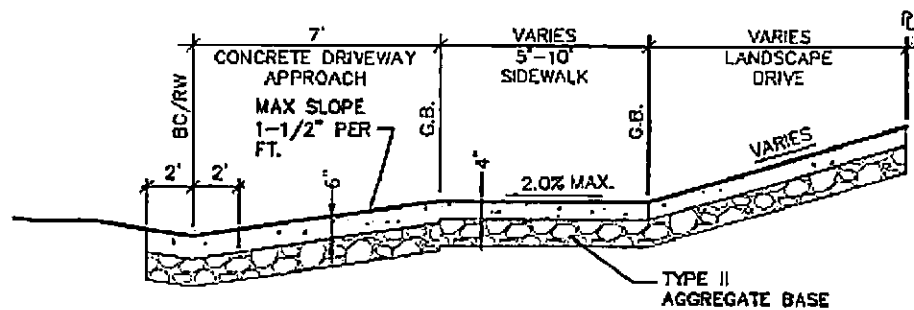


SECTION

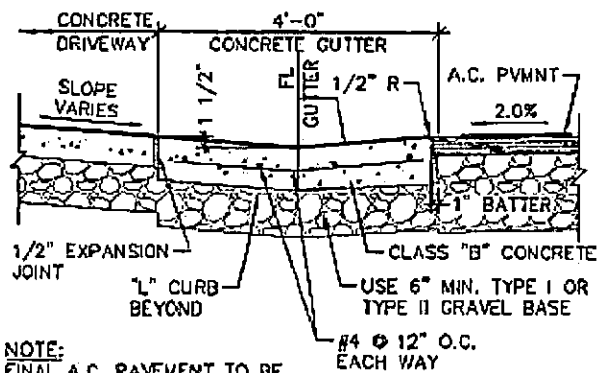
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| KYLE CANYON GATEWAY                                                   | STANDARD DRAWINGS |
| DRIVEWAY APPROACH - COMMERCIAL<br>(OPTION "A")<br>(REFER TO USD #223) |                   |
| DATE: 03-08-07                                                        | DWG NO. DG-19.1   |



PLAN



SECTION A



NOTE:  
FINAL A.C. PAYEMENT TO BE  
FLUSH WITH LIP OF GUTTER  
AFTER COMPACTION

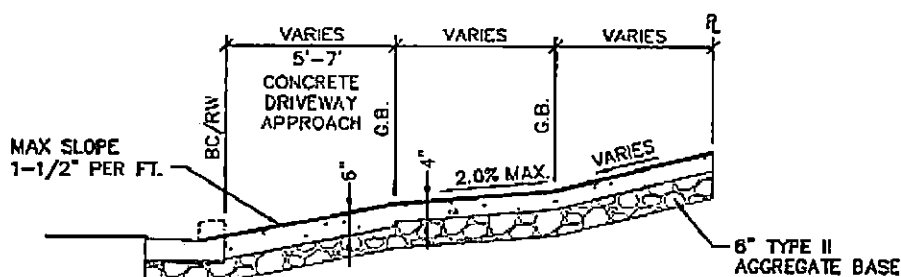
SECTION B

KYLE CANYON GATEWAY

STANDARD  
DRAWINGSDRIVEWAY APPROACH - COMMERCIAL  
(OPTION "B")

DATE: 03-08-07

DWG NO. DG-19.2

[illegible]

\*INDICATES UPSTREAM FLOW  
\*\*INDICATES DOWNSTREAM FLOW

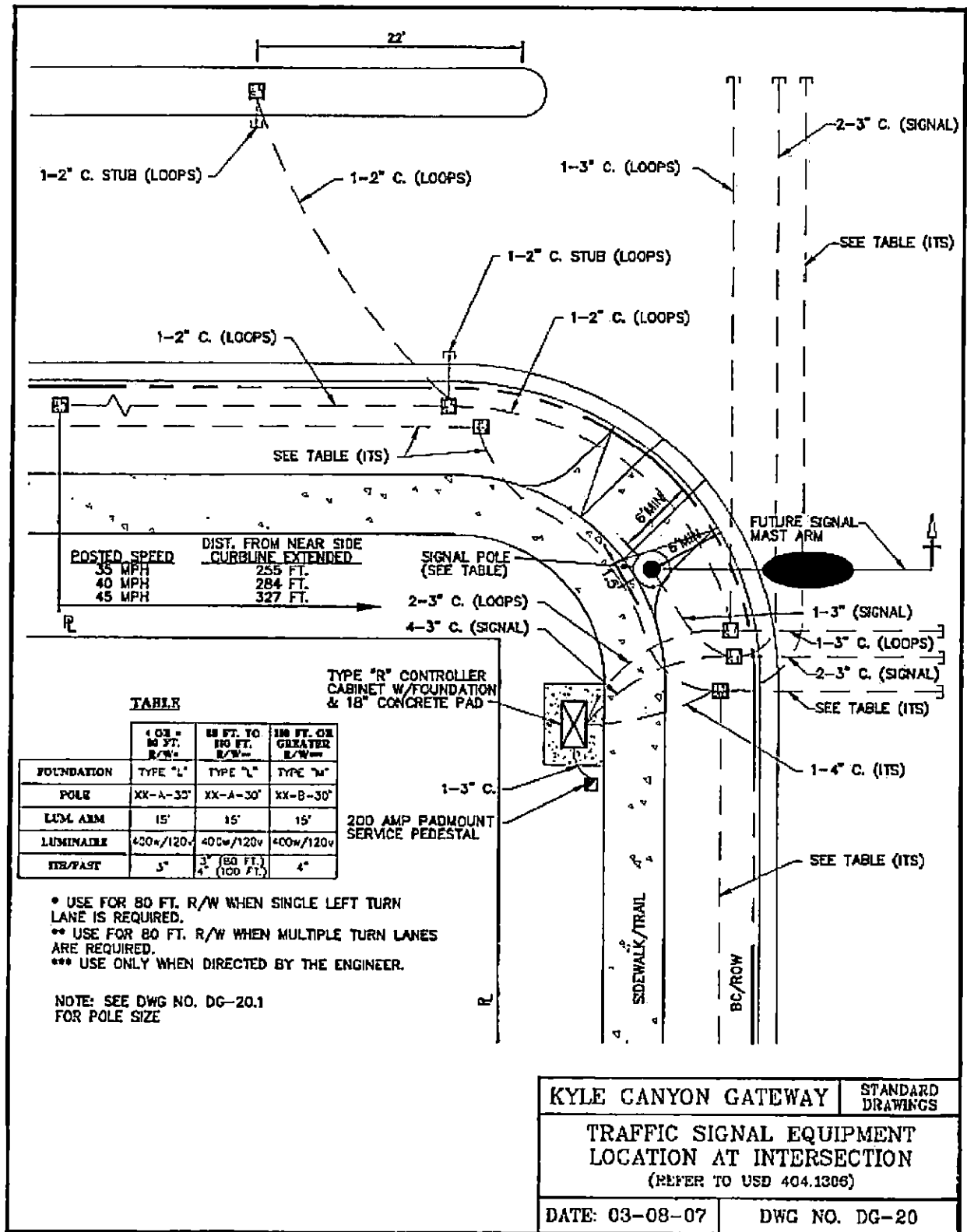
| ROW       |            | RADIUS |     |
|-----------|------------|--------|-----|
| C         | D          | *A     | **B |
| 20' ALLEY | 37' STREET | 15'    | 15' |
| 20' ALLEY | 31' STREET | 15'    | 15' |
| 14' ALLEY | 37' STREET | 15'    | 15' |
| 14' ALLEY | 31' STREET | 25'    | 15' |
| 20' ALLEY | 20' STREET | 10'    | 10' |
| 14' ALLEY | 14' STREET | 30'    | 30' |

|                     |                      |
|---------------------|----------------------|
| KYLE CANYON GATEWAY | STANDARD<br>DRAWINGS |
|---------------------|----------------------|

DRIVEWAY APPROACH  
ALLEY

DATE: 03-08-07

DWG NO. DG-19.3



| Intersection                         | Pole Size |      |      |      | RW Width (ft) |           |
|--------------------------------------|-----------|------|------|------|---------------|-----------|
|                                      | NW        | NE   | SW   | SE   | North/South   | East/West |
| Cantata & Hualapai                   | XX-A      | -    | XX-A | XX-A | 84            | 53        |
| Grand Teton & Egan Crest             | XX-A      | XX-A | BO   | BO   | 73            | 95        |
| Grand Teton & Grand Canyon           | XX-A      | BO   | BO   | BO   | 75            | 95        |
| Grand Teton & Hualapai               | XX-A      | XX-B | BO   | BO   | 107           | 95        |
| Grand Teton & Shaumber               | XX-A      | XX-A | BO   | BO   | 62            | 95        |
| Horse & Btwn. Grand Canyon/Hualapai  | XX-B      | XX-A | XX-A | XX-B | -             | 117       |
| Horse & Grand Canyon                 | XX-B      | XX-A | XX-A | XX-A | 75            | 117       |
| Horse & Hualapai                     | XX-A      | -    | XX-A | XX-B | 84            | 117/107   |
| Horse & US95 SPU                     | SP        | SP   | SP   | SP   |               |           |
| Horse/Fort Apache & Sky Pointe       | XX-B      | XX-A | XX-A | XX-A | 80            | 130       |
| Iron Mountain & Egan Crest           | BO        | BO   | XX-A | XX-A | 73            | 95        |
| Iron Mountain & Fort Apache          | XX-A      | BO   | XX-B | BO   | 120           | 75        |
| Iron Mountain & Oso Blanca           | -         | XX-A | XX-A | XX-A | 75            | 90        |
| Kyle Canyon & Sky Pointe             | XX-A      | XX-A | XX-A | XX-A | 80            | 73/56     |
| Legato & Btwn. Grand Canyon/Hualapai | XX-A      | XX-A | XX-A | XX-A | -             | 70        |
| Legato & Hualapai                    | XX-A      | XX-A | XX-A | -    | 84            | 70        |
| Libretto & Grand Canyon              | XX-A      | XX-A | XX-A | -    | 70/75         | 80        |
| Libretto & Oso Blanca                | -         | XX-A | XX-A | XX-A | 75            | 80        |
| Log Cabin & Fort Apache              | XX-A      | BO   | XX-A | BO   | 120           | 53        |
| Ostinato & Hualapai                  | XX-A      | XX-A | XX-A | XX-A | 107           | 53        |
| Sonatina & Sky Pointe                | XX-A      | XX-A | XX-A | -    | 80            | 53        |
| Tee Pee & Sky Pointe                 | XX-A      | XX-A | XX-A | -    | 80            | 78        |

BO = By others

SP = Special overhead design

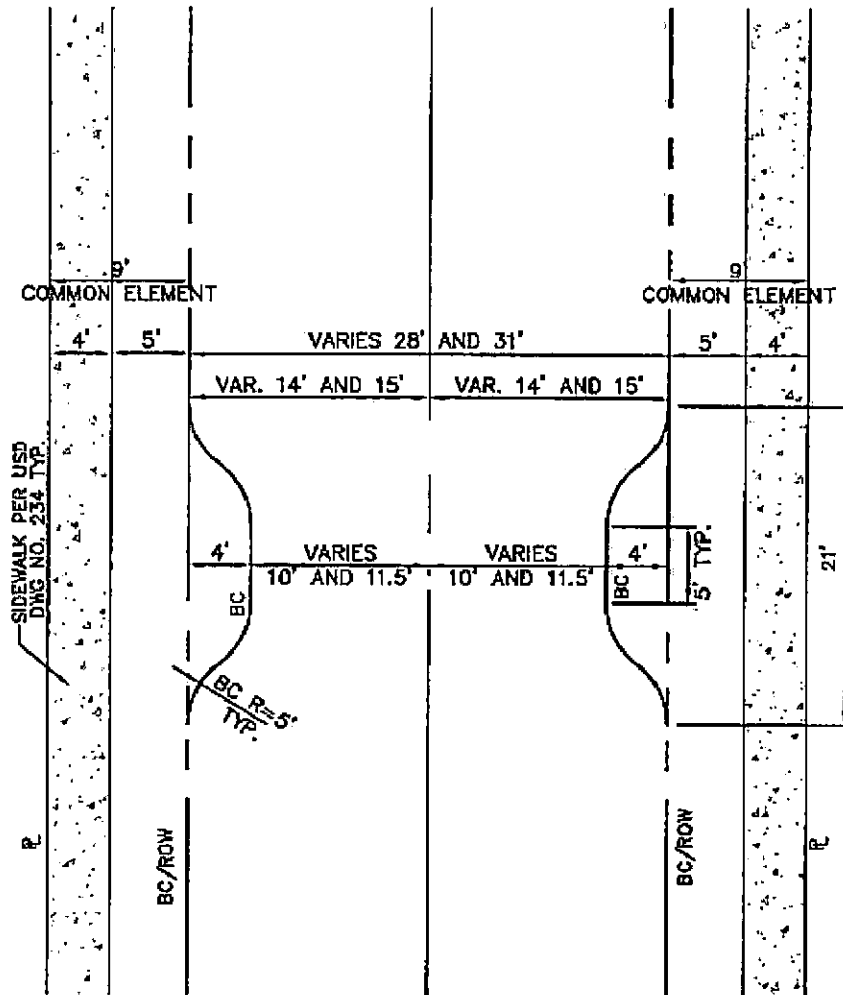
KYLE CANYON GATEWAY

STANDARD  
DRAWINGS

TRAFFIC SIGNAL POLE SIZE

DATE: 03-08-07

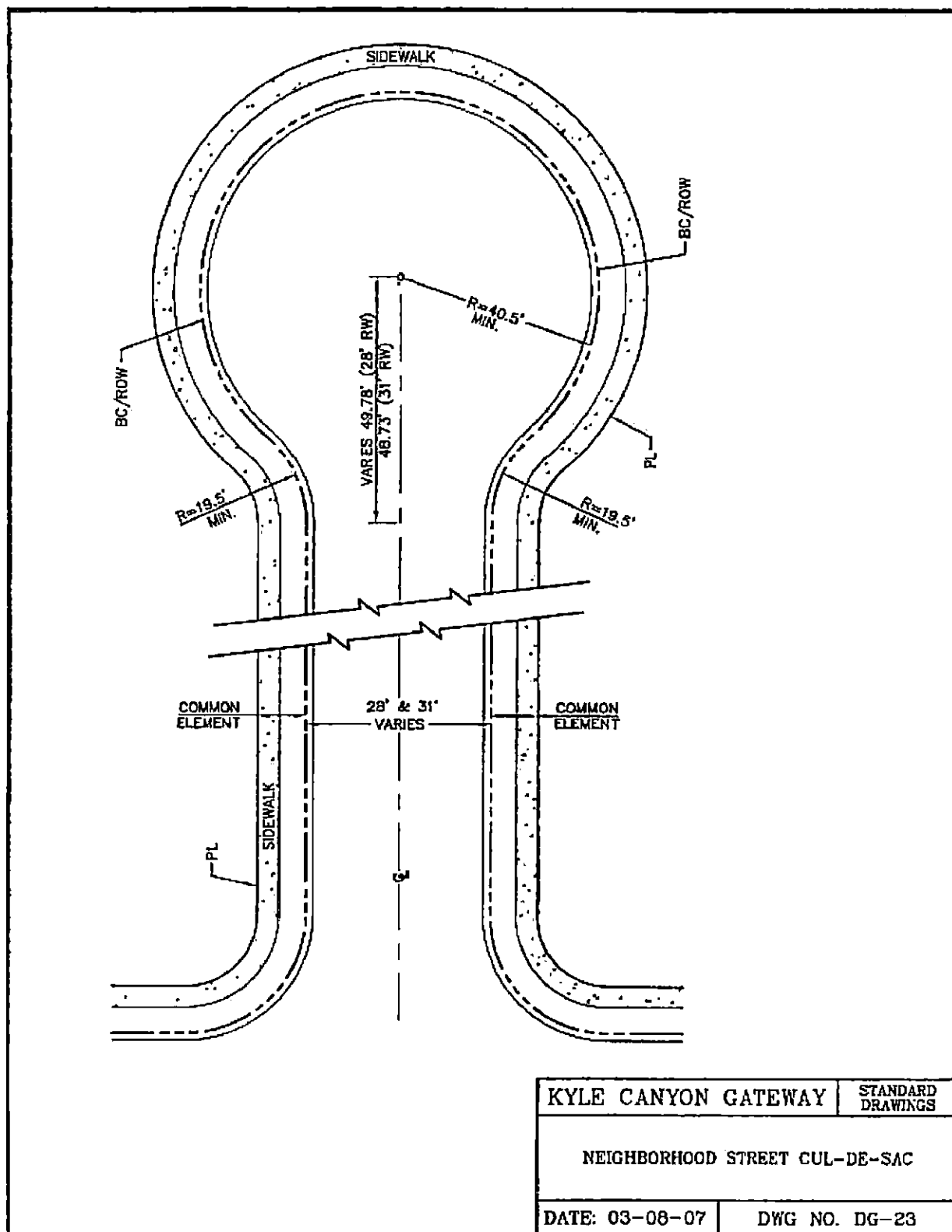
DWG NO. DG-20.1

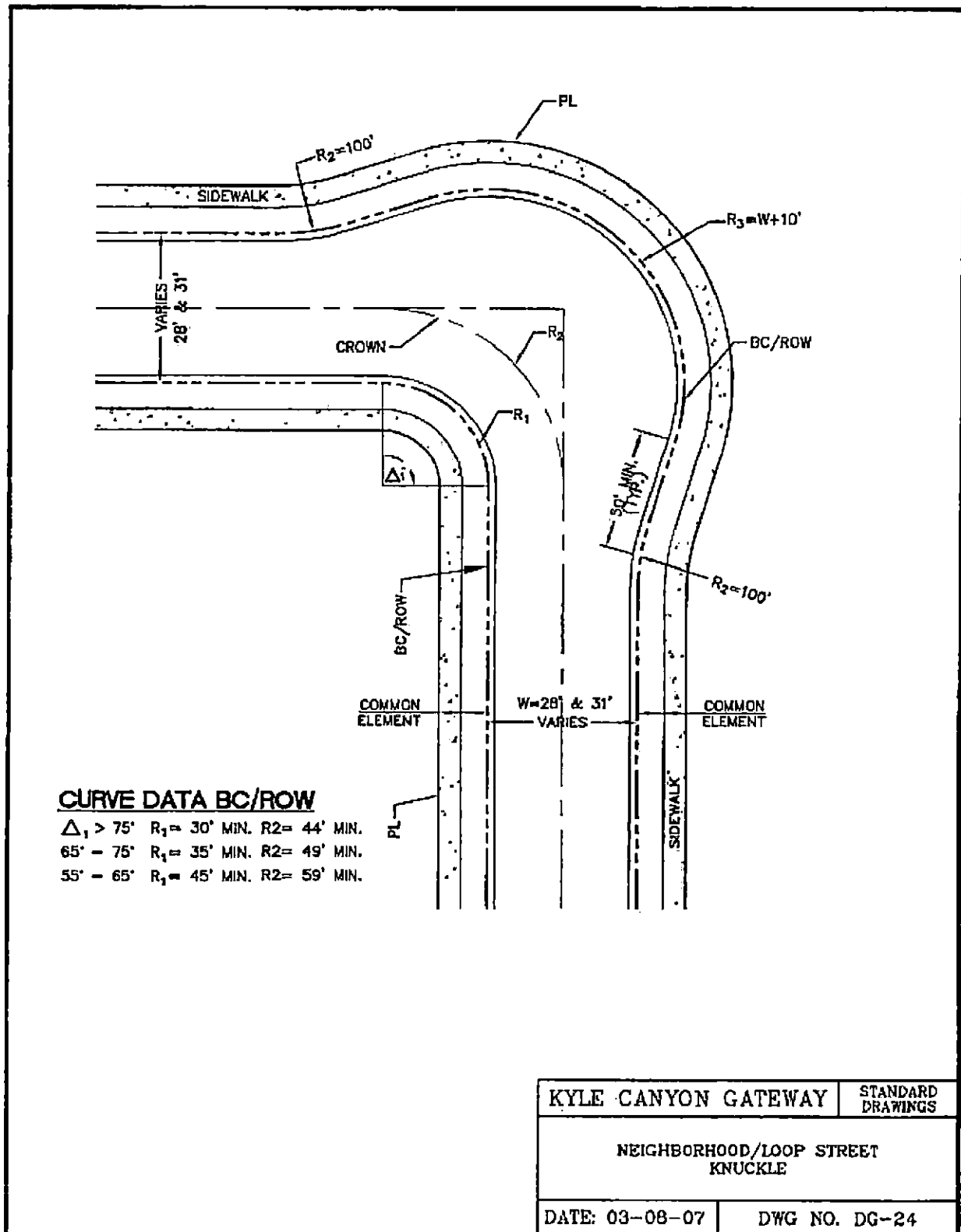


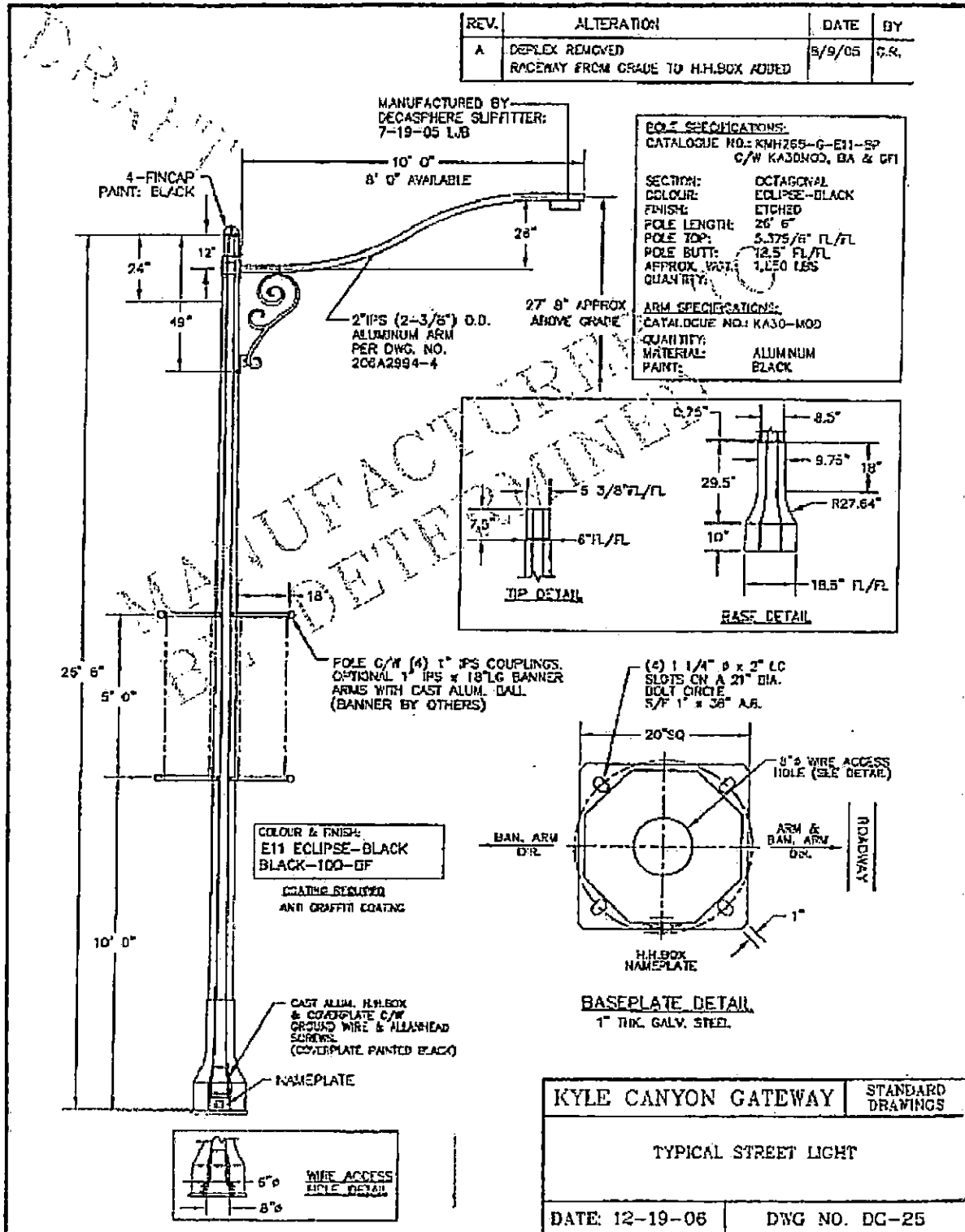
LOCATION TO BE DETERMINED BY  
DESIGN GUIDELINES

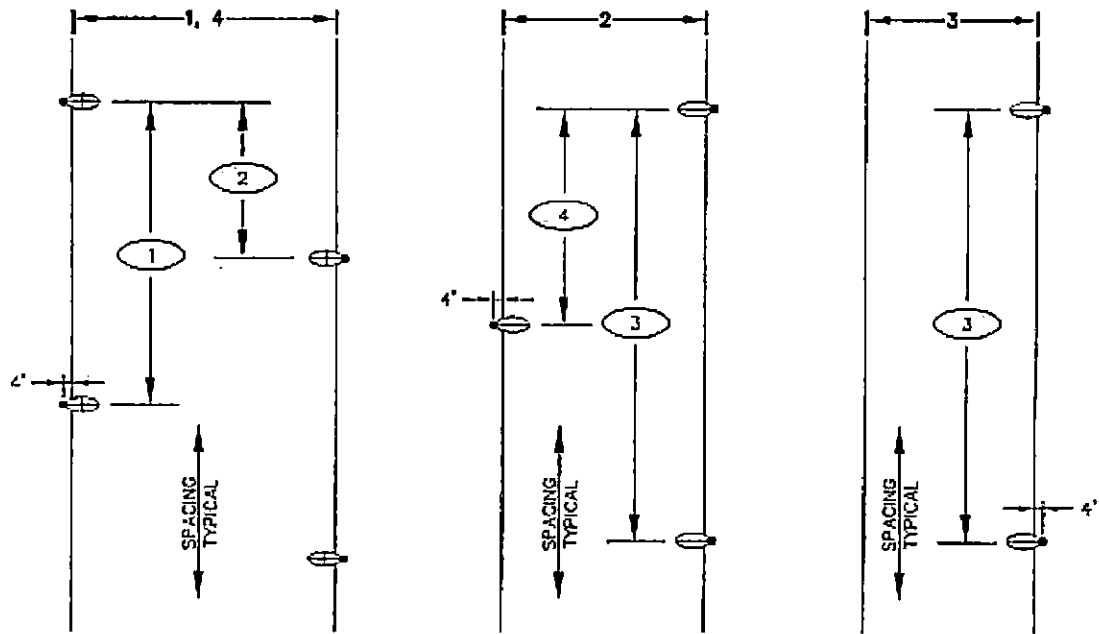
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|----------------------------------------|----------------------|
| KYLE CANYON GATEWAY                    | STANDARD<br>DRAWINGS |
| NEIGHBORHOOD STREET BULB<br>OUT DETAIL |                      |
| DATE: 03-08-07                         | DWG NO. DG-21        |











### STREET CLASSIFICATION

|   | STREET SECTION                   | ROW WIDTH     | CLASSIFICATION     |
|---|----------------------------------|---------------|--------------------|
| 1 | HORSE DRIVE (A1)                 | 106'          | BOULEVARD ARTERIAL |
|   | HUALAPAI WAY (A2)                | 107.5'        | BOULEVARD ARTERIAL |
| 2 | SHAUMBER ROAD (B1)               | 62'           | BOULEVARD          |
|   | EGAN CREST WAY (B3) (B3A) (B3B)  | 69.5'         | BOULEVARD          |
|   | HUALAPAI WAY (A3) (A3A) (A3B)    | 85.5'         | BOULEVARD          |
|   | TEE PEE LANE (B4)                | 55'           | BOULEVARD          |
|   | KYLEGATE (B4A)                   | 62'           | BOULEVARD          |
|   | IRON MOUNTAIN ROAD (P6)          | 75'           | CONNECTOR          |
|   | (P10B)                           | 80'           | FRONTAGE           |
| 3 | (C6)                             | 80'           | CONNECTOR          |
|   | (C2) (C3) (C4A) (C4D)            | 38', 53', 41' | CONNECTOR          |
|   | BRENT LANE (P7)                  | 58'           | CONNECTOR          |
|   | (B5) (B5A)                       | 70'           | CONNECTOR          |
|   | TEE PEE LANE (C1) (P7A)          | 38', 60'      | CONNECTOR          |
|   | CHARE AVENUE (C4)                | 53'           | CONNECTOR          |
|   | LOG CABIN WAY (C4)               | 53'           | CONNECTOR          |
| 4 | (D1) (D2)                        | 31', 28'      | NEIGHBORHOOD       |
|   | GRAND TETON DRIVE (P1) (P1A)     | 95'           | ARTERIAL           |
|   | IRON MOUNTAIN ROAD (P2) (P3)     | 90', 95'      | ARTERIAL           |
|   | GRAND CANYON ROAD (P4) (P5)      | 75'           | ARTERIAL           |
|   | FORT APACHE ROAD (P8) (P8A) (P9) | 120'          | ARTERIAL           |

| POLE LOCATION TABLE |      |
|---------------------|------|
| KEYED NOTE          |      |
| 1                   | 160' |
| 2                   | 80'  |
| 3                   | 170' |
| 4                   | 85'  |

### NOTES:

1. SEE GENERAL NOTES STANDARD DRAWING NO. 300.
2. AN APPROVED LIGHTING STUDY PER NOTE 2, STANDARD DRAWING NO. 300, IS REQUIRED FOR RIGHT-OF-WAY GREATER THAN 100 FEET.

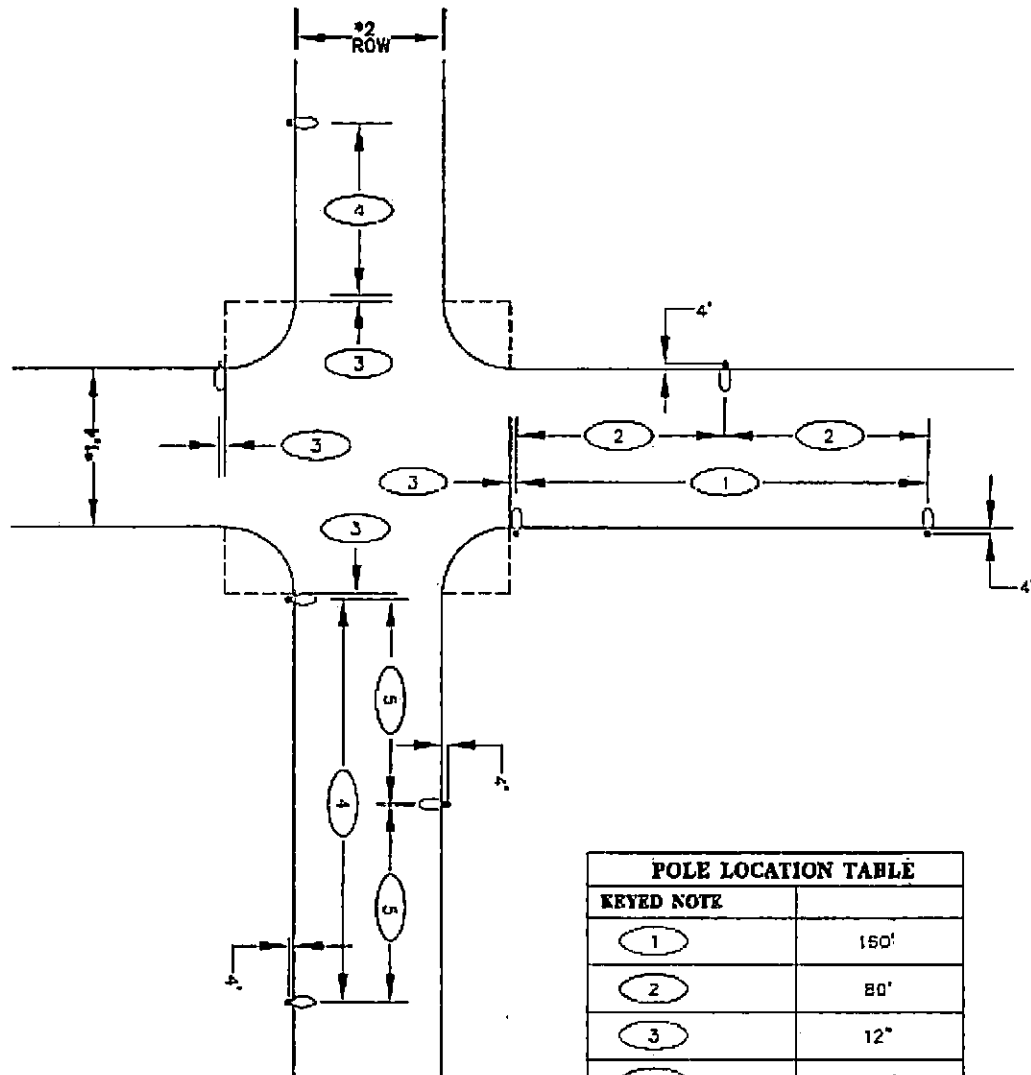
KYLE CANYON GATEWAY

STANDARD  
DRAWINGS

### STREETLIGHT LOCATION MAXIMUM SPACING

DATE: 03-08-07

DWG NO. DG-25.1

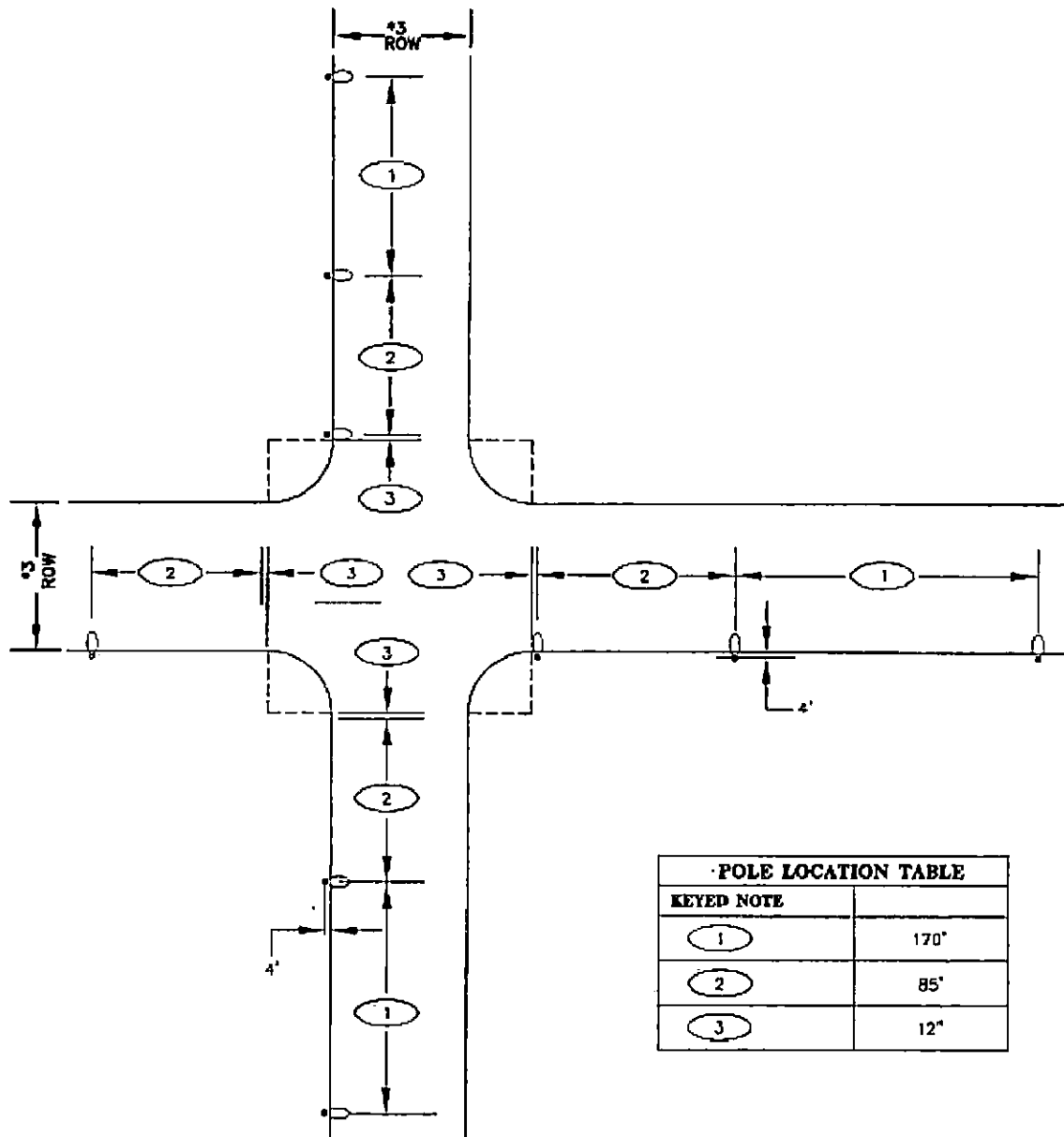


| POLE LOCATION TABLE |      |
|---------------------|------|
| KEYED NOTE          |      |
| (1)                 | 150' |
| (2)                 | 80'  |
| (3)                 | 12"  |
| (4)                 | 170' |
| (5)                 | 65'  |

#### NOTES:

1. SEE GENERAL NOTES STANDARD DRAWING NO. 300.
2. AN APPROVED LIGHTING STUDY PER NOTE 2, STANDARD DRAWING NO. 300, IS REQUIRED FOR RIGHT-OF-WAY GREATER THAN 100 FEET.
3. \*SEE DG-25.1 FOR STREET CLASSIFICATION

|                                                                 |                      |
|-----------------------------------------------------------------|----------------------|
| KYLE CANYON GATEWAY                                             | STANDARD<br>DRAWINGS |
| STREETLIGHT LOCATION<br>AT INTERSECTIONS<br>*1/4/2 RIGHT OF WAY |                      |
| DATE: 03-08-07                                                  | DWG NO. DG-25.2      |

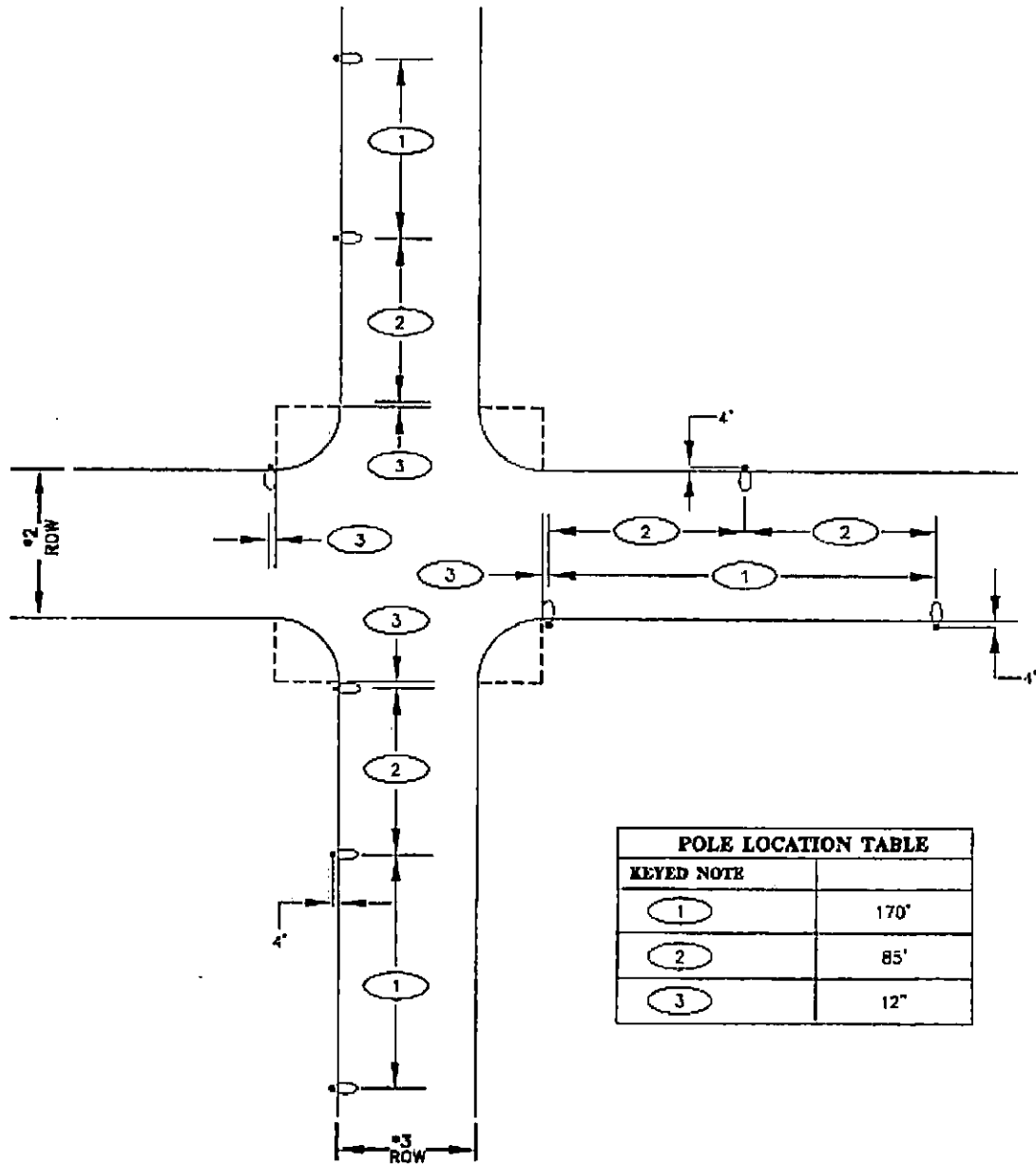


| POLE LOCATION TABLE |      |
|---------------------|------|
| KEYED NOTE          |      |
| 1                   | 170' |
| 2                   | 85'  |
| 3                   | 12'  |

# NOTES:

1. SEE GENERAL NOTES STANDARD DRAWING NO. 300.
2. AN APPROVED LIGHTING STUDY PER NOTE 2, STANDARD DRAWING NO. 300, IS REQUIRED FOR RIGHT-OF-WAY GREATER THAN 100 FEET.
3. \*SEE DG-25.1 FOR STREET CLASSIFICATION

|                                                               |                      |
|---------------------------------------------------------------|----------------------|
| KYLE CANYON GATEWAY                                           | STANDARD<br>DRAWINGS |
| STREETLIGHT LOCATION<br>AT INTERSECTIONS<br>*3/3 RIGHT OF WAY |                      |
| DATE: 03-08-07                                                | DWG NO. DG-25.3      |

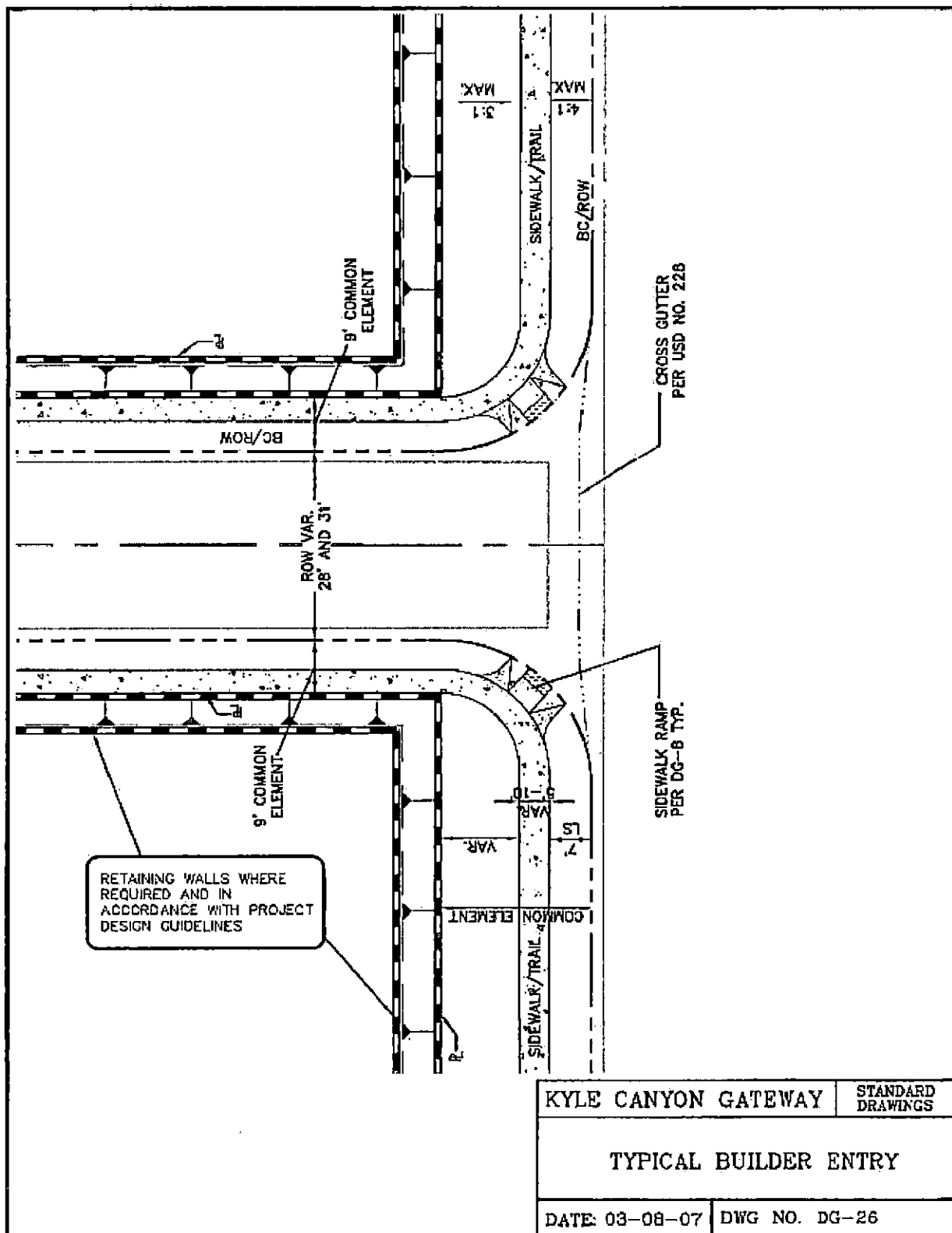


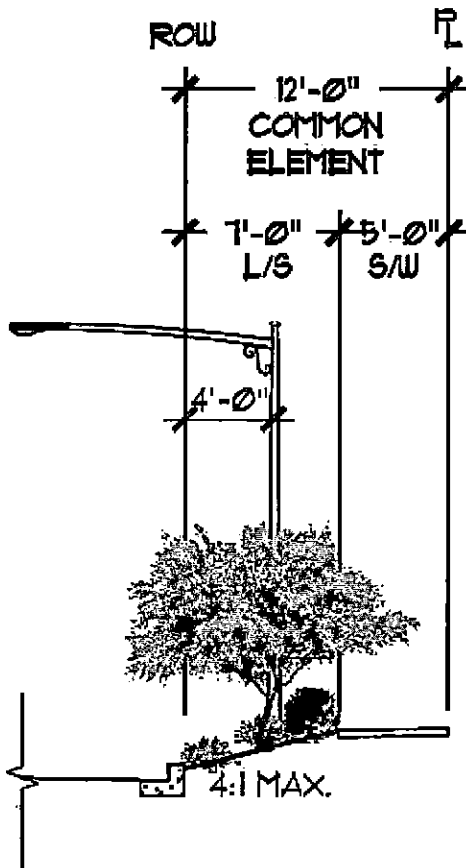
| POLE LOCATION TABLE |      |
|---------------------|------|
| KEYED NOTE          |      |
| 1                   | 170' |
| 2                   | 85'  |
| 3                   | 12"  |

# NOTES:

1. SEE GENERAL NOTES STANDARD DRAWING NO. 300.
2. AN APPROVED LIGHTING STUDY PER NOTE 2, STANDARD DRAWING NO. 300, IS REQUIRED FOR RIGHT-OF-WAY GREATER THAN 100 FEET.
3. \*SEE DG-25.1 FOR STREET CLASSIFICATION

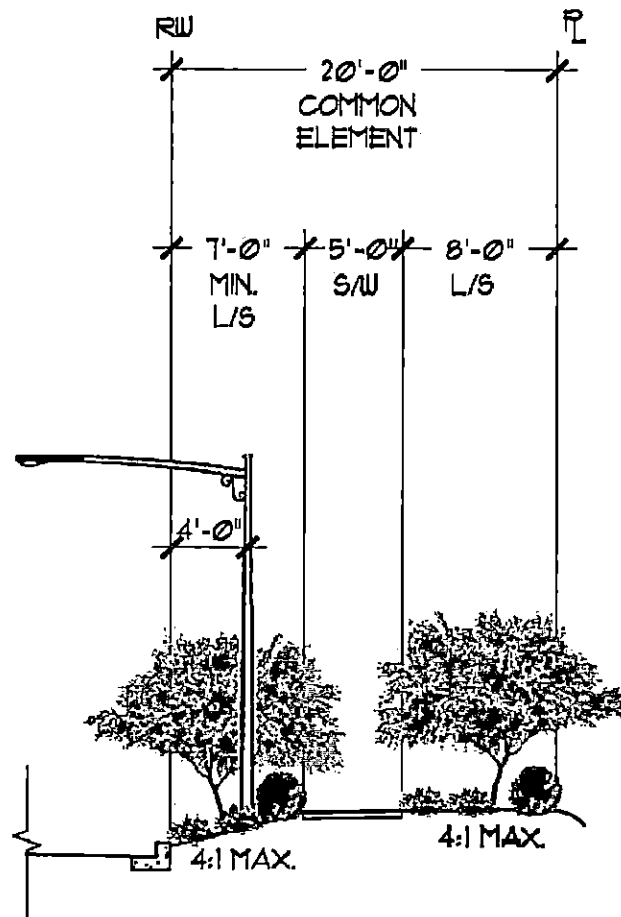
|                                                               |                   |
|---------------------------------------------------------------|-------------------|
| KYLE CANYON GATEWAY                                           | STANDARD DRAWINGS |
| STREETLIGHT LOCATION<br>AT INTERSECTIONS<br>*2/3 RIGHT OF WAY |                   |
| DATE: 03-08-07                                                | DWG NO. DG-25.4   |





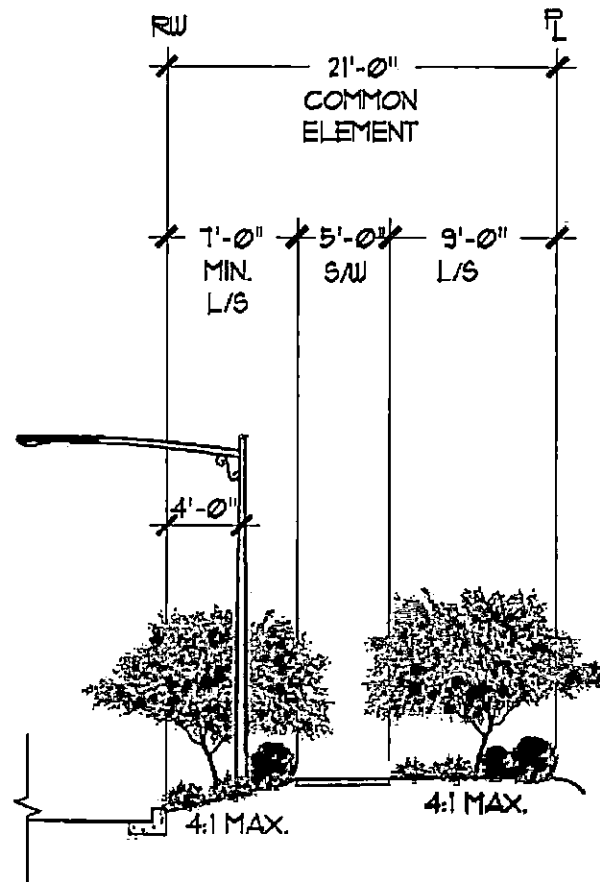
## **12' COMMON ELEMENT**

**NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MAINTAINED BY HOA**



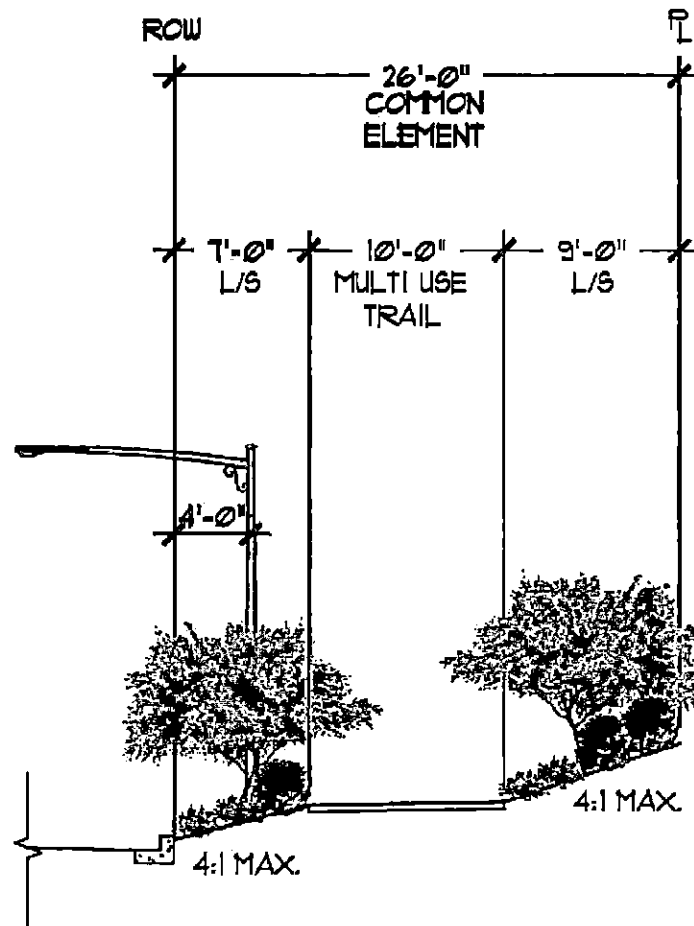
## **20' COMMON ELEMENT**

NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MAINTAINED BY HOA



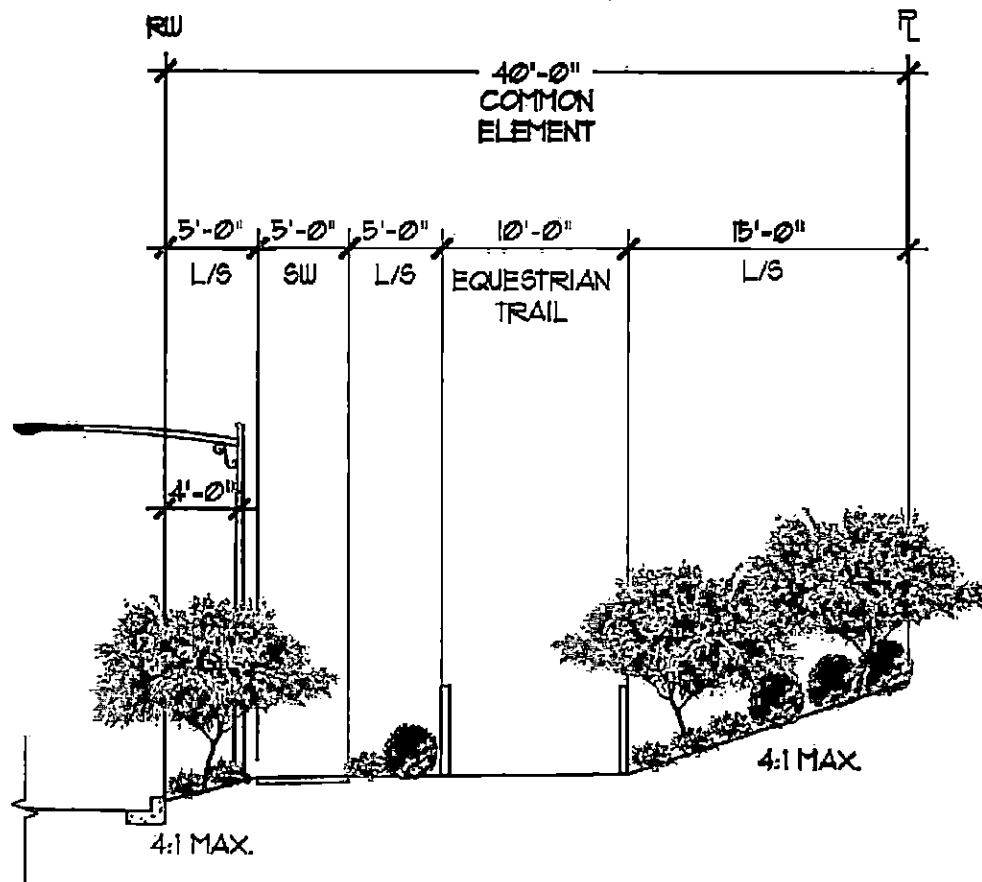
## **21' COMMON ELEMENT**

**NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MAINTAINED BY HOA**



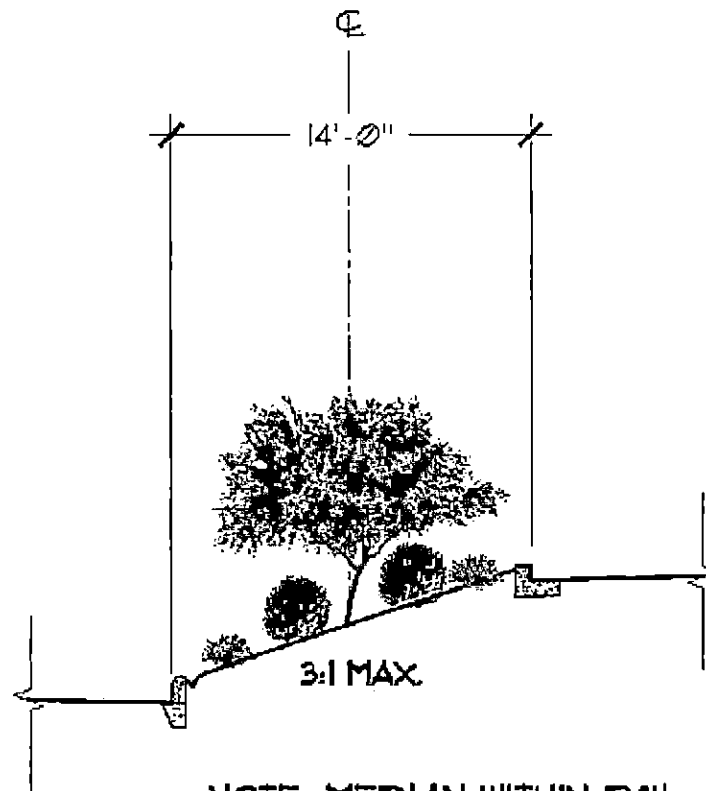
## **26' COMMON ELEMENT**

NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MAINTAINED BY HOA



## **40' COMMON ELEMENT**

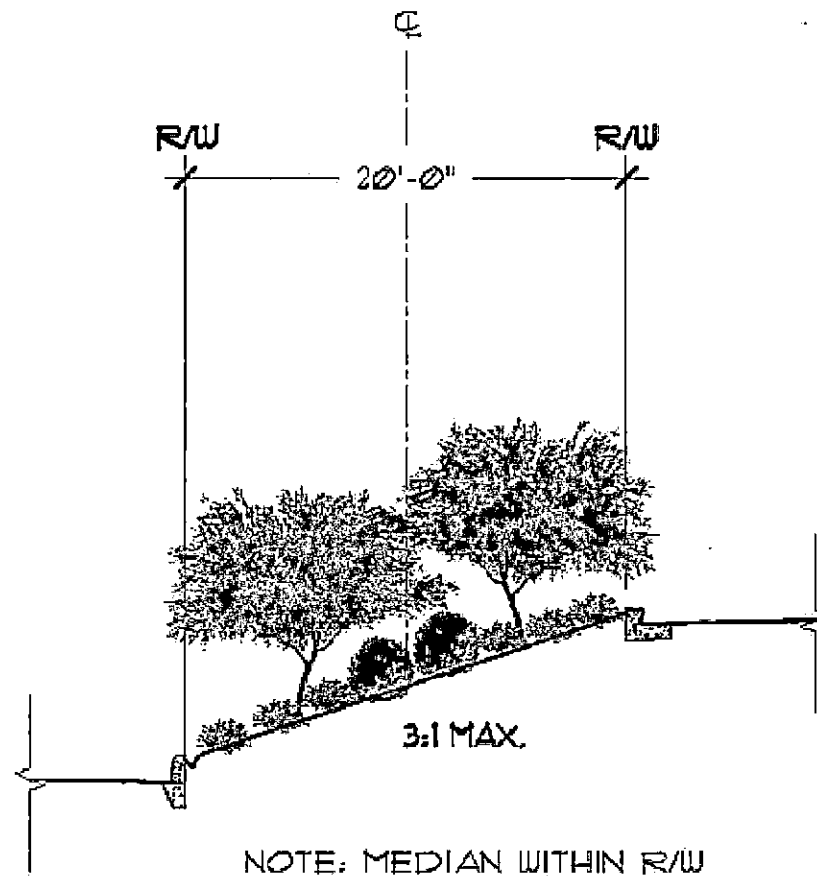
**NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MAINTAINED BY HOA**



NOTE: MEDIAN WITHIN R/W

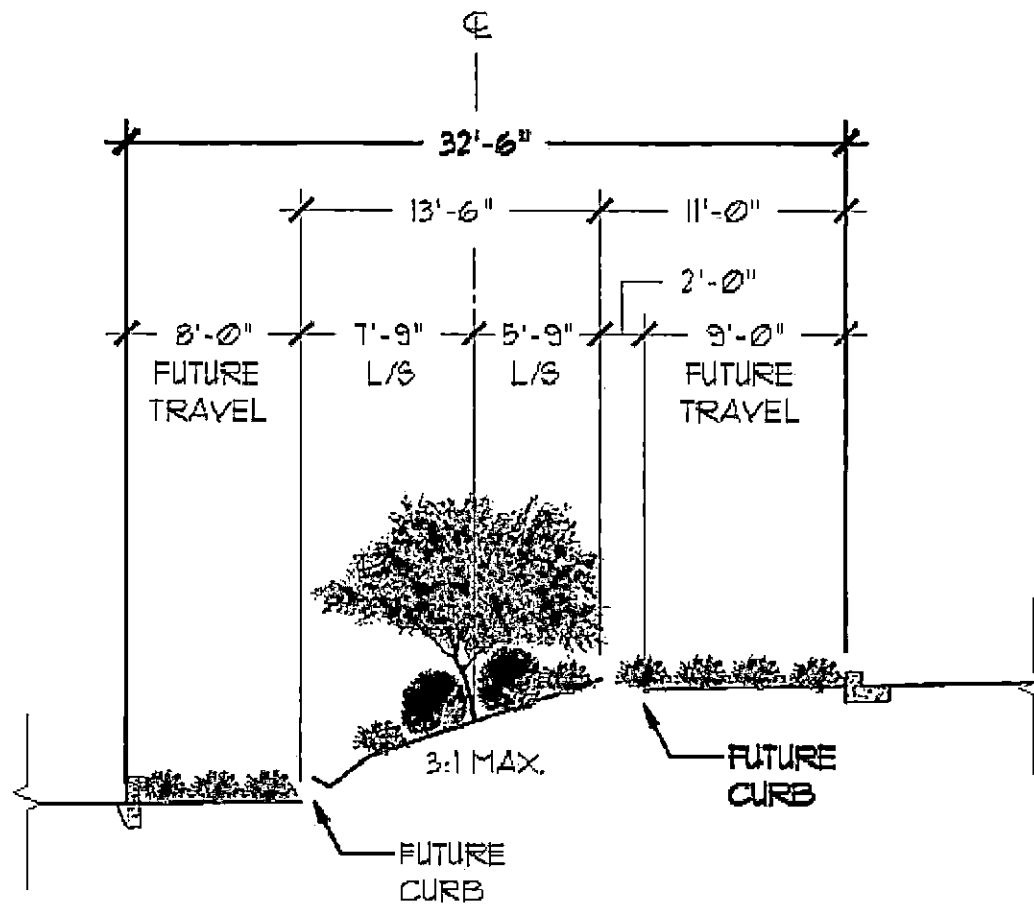
## 14' MEDIAN

NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MEDIAN MAINTAINED BY HOA



## 20' MEDIAN

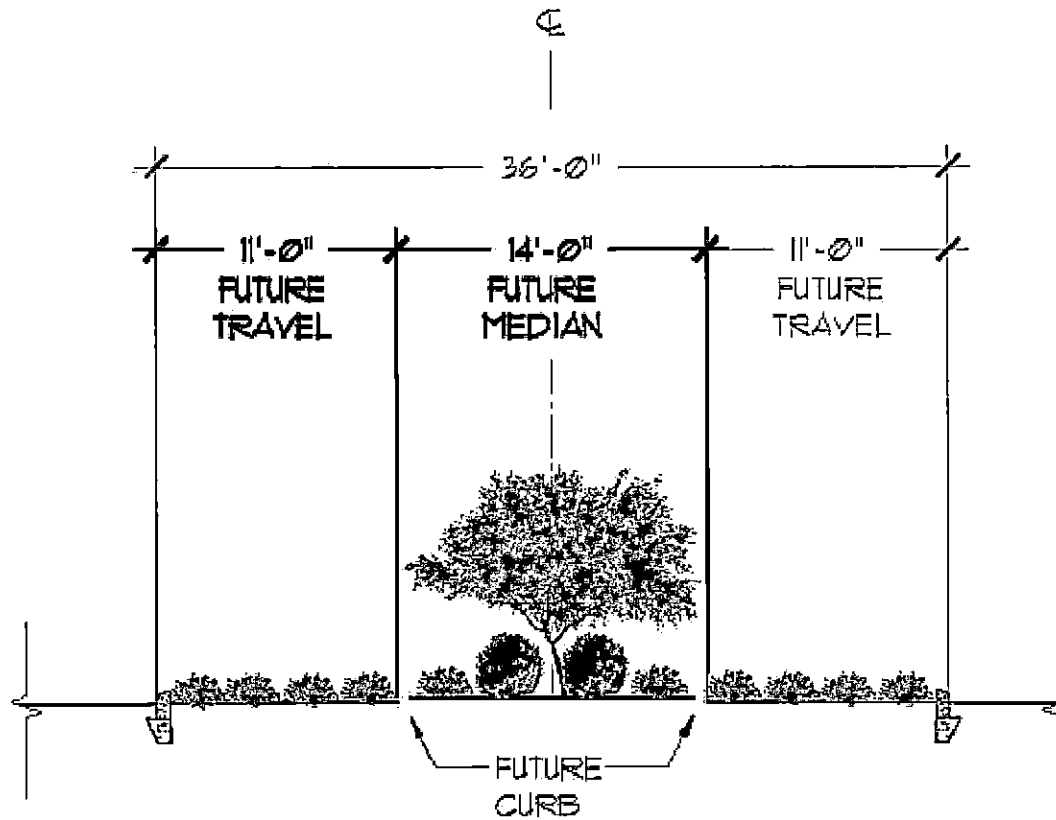
**NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MEDIAN MAINTAINED BY HOA**



NOTE: MEDIAN WITHIN R/W

## 32.5' MEDIAN

NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MEDIAN MAINTAINED BY HOA



NOTE: MEDIAN WITHIN RAW

## 36' MEDIAN

NTS. ILLUSTRATION OF CONCEPTUAL LANDSCAPE DESIGN  
IN COMMON ELEMENT MEDIAN MAINTAINED BY HOA

## Section 7

### Color

#### 7.1 COMMUNITY COLOR PROGRAM

The community color program contains a distinctive color and materials palette that enhances the architectural character of the community's neighborhoods. All color and materials selected respond to the surrounding desert environment by virtue of lower (darker) light reflectance values (LRV) and the use of desert appropriate shades.

Each color palette contains approved roof and paint colors. Approved masonry colors have been provided where appropriate to the architectural style. A full schedule of color palettes can be found at the end of this section.

Specific manufacturers have been listed within the approved palettes for roof, paint, stone and brick. They are all locally available and therefore are listed for the user's convenience. Alternative colors and manufacturers may be presented to the Master Developer for consideration if they are clearly within the color and value range shown in the approved palettes and are appropriate to the identified architectural style.

#### 7.2 COLOR DESIGN FAN DECKS

An individual "Color Design Fan Deck" (Design Deck) has been created for each of the permitted architectural styles. The Design Decks shall be used for all residential projects within Kyle Canyon. Each style's Design Deck contains actual color chips in palette groups for field, fascia and accent colors as well as listings of all

approved roof and masonry colors. Dunn-Edwards Paint was selected for use in the Design Decks due to its strong selection of architectural colors. The back of each color chip in the fan deck is marked with its reference number, name and light reflectance value (LRV). The Design Decks can be checked-out from the Master Developer. The parcel Builder should inform the Master Developer as to which styles they plan to work with so a customized color design kit can be prepared.

#### 7.3 COLOR & MATERIALS - SELECTION & APPLICATION

The following guidelines will assist in the proper selection and application of colors and materials appropriate to the architectural styles permitted within the development.

Each color palette was developed in accord with the following governing criteria:

- Roof colors shall be in a medium range of light reflectance.
- Field colors shall have a light reflectance value (LRV) appropriate to the style of the architecture.
- Trim and fascia colors shall have a light reflectance value (LRV) of 75 or less and the color shall be appropriate to the style of the architecture.
- Accent colors shall have a light reflectance value (LRV) appropriate to the architectural style.

##### 7.3.1 ROOF MATERIALS

All roof colors shall be selected from the Roof Color Palettes provided for each style. Specific roof profiles are designated for each style.

Metal roofing used on architectural accent elements, if approved by the Master Developer, shall have an LRV between 30% and 50% and be in muted tones.

Flat roofing material contained within parapets shall be similar to the color of any pitched roof used on the same residence. The finish material of the flat roof shall have an LRV of 50% or less.

### **7.3.2 FIELD COLORS**

All field colors shall be selected from the Field Color Palettes provided for each style. The full range of value and color exhibited in each style's palette shall be utilized within each projects' color package to ensure a dynamic street scene.

At least one color scheme with an LRV of 36 or less shall be modeled.

Any field color used at the base of the building shall continue down to the finish grade.

### **7.3.3 MULTIPLE FIELD COLORS**

Field color blocking, or the use of multiple field colors, may be used only if it is integral to the design of the architecture and on style-appropriate applications, such as wainscots on Spanish Colonial elevations. Color blocking should be incorporated into the preliminary architectural design so thoughtful color use is integrated with the architecture and logical color termination points are identified early on. Color changes should occur at inside corners only.

- No more than two field colors may be used per color scheme.
- Primary field colors with an LRV between 70% and 83% may be used on only one scheme in a nine to eleven-scheme color package or two schemes in a twelve-scheme package.
- Primary field colors shall not be darker than 20% LRV.
- Secondary field colors shall have an LRV of 65% or less.
- If the primary field color has an LRV of 30% or less, the secondary field color shall be lighter than the primary field color.

- The LRV between the primary and secondary field colors in any color scheme shall be within a range of 15% to 35%.

### **7.3.4 FASCIA COLORS**

Fascia colors shall be selected from the Fascia Color Palette provided for each style. Each Fascia Color Palette contains colors with an LRV range of 75 or less, however stucco fascias shall have an LRV of not less than 15%.

Stucco fascias, if colored different than the field color, should be clearly discernible from the primary field color but without extreme contrast.

Wood fascias shall be a different color than the field color and the color shall be clearly discernible from the primary field color. Other types of exposed woodwork, beams, posts, railings, etc. should be colored to match the wood fascia.

### **7.3.5 TRIM COLORS**

Trim colors may be selected from the shades found in the Field or Fascia Color Palettes; however, extremely dark shades are not appropriate for use as stucco trim. Stucco trim shall have an LRV of 15% or greater. The Builder may also propose alternative trim colors for consideration if they are appropriate to the architectural style.

Trim color should be used judiciously on understated window trim and recessed window areas. Wood trim colors should be discernible from the field color but without extreme contrast. Stucco trim, if colored different from the field, should be discernible from the field color but without extreme contrast.

Painted-over stucco trim shall terminate at inside corners only.

### **7.3.6 GARAGE DOOR COLORS**

Garage Door colors shall be selected from any of the colors found within the style's Field, Fascia or Trim color categories that have a LRV of 60% or less.

#### **7.3.7 ACCENT COLORS**

Accent colors may be selected from the colors provided in the Accent Color Palettes or the Builder may propose alternate colors for consideration if they are appropriate to the architectural style.

Accent colors should be used on ornamentation elements, railings, shutters and front doors. However, front doors may also be colored with shades more reminiscent of wood stain colors selected from the Fascia Color Palette within the same style.

#### **7.3.8 WINDOW FRAMES**

Window frame and mullion colors shall be in white, bone, taupe or tan. Black or brown colors are not acceptable.

#### **7.3.9 MASONRY**

Masonry veneer of brick and stone may be used in applications that are appropriate to the architectural styles that allow them. See each style's color palette schedule for approved masonry colors and materials.

Masonry elements, when used, must be integral to the architecture and not merely applied features. Masonry shall wrap columns and porches in their entirety. Masonry columns at garage corners shall have a return dimension equal to or greater than the width of the material on the front elevation. Masonry returns at areas around front doors or windows should end at logical termination points related to rooflines or building massing when they are available, otherwise returns shall be 3 feet minimum.

Both natural or faux stone veneer may be used. Appropriate grout types have been identified for each type of stone profile. Grout colors shall harmonize and blend with the colors found in the stone rather than contrast with it.

Brick veneer shall be in warm or neutral muted shades with modeled faces. Combed or raked surfaces are not allowed. "Weeping mortar" joints are not permitted.

Concrete slump block may be used for Spanish Colonial courtyard walls or pilasters if covered with a stucco slurry coat and colored to match a field color of the house.

#### **7.4 COLOR PLOTTING CRITERIA**

The two houses on either side of a specific lot and the lot across from it must all use different color schemes than that specific lot. This requirement applies to all detached neighborhoods.

#### **7.5 COLOR PACKAGE EVALUATION**

All schemes within a color package will be evaluated for:

- Harmonious color combinations
- Contrast and interest
- Liberal use of the color and value ranges provided in the approved color palettes
- Compliance with the requirements of this section.

#### **7.6 COLOR PACKAGE SUBMITTAL**

See Section 9 for materials and color submittal requirements. Included with the submittal of the color and materials board(s) shall be all elevations, noted or color coded, indicating where fascia, trim, accent and any secondary field colors will be located. All elevations, front, sides and rear, shall be shown. Incomplete submittals will be returned.

## SCHEDULE 1



### *Craftsman Color Palette*

#### ROOF COLORS - Approved Profile: Shake

##### Monier Lifetile

###### **Standard Shake**

- 1SOCB3233, Brown Blend
- 1SOCB1430, Charcoal Blend
- 1SOCB1132, Charcoal Brown Blend
- 1SOCB3156, Desert Breeze

##### Eagle Roofing Tile

###### **Cityscapes - Shake**

- SCP 8801, New Orleans
- SCP 8802, Nantucket
- SCP 8803, Arlington

###### **American Heirloom - Shake**

- SCP 8804, Hershey
- SHP 8705, Coastal Blend
- SHP 8706, Cascade Blend
- SHP 8707, Sierra Blend

###### **Ponderosa - Standard Shake**

- 5501, Oakwood
- 5502, Arcadia
- 5504, New Cedar
- 5552, Canyon Gray
- 5557, Live Oak

**Ponderosa- Shake Ranges**

5678, Light Brown Range

5687, Gray Brown Range

5689, Brown Range

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| C715 | C750 | C759 | 6060 | 6061 | 6067 | 6068 | 6069 | 6072 |
| 6075 | 6097 | 6110 | 6115 | 6116 | 6122 | 6123 | 6124 | 6129 |
| 6131 | 6135 | 6137 | 6143 | 6151 | 6173 | 6192 | 6207 | 6208 |
| 6213 | 6214 | 6215 | 6222 | 6229 | 6278 |      |      |      |

**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A148 | A158 | C712 | C756 | 6037 | 6057 | 6063 | 6077 | 6069 |
| 6122 | 6124 | 6125 | 6126 | 6216 | 6219 | 6229 | 6231 | 6279 |
| 6280 | 6308 | 6312 | 6313 | 6328 | 6335 | 6340 | 6341 | 6362 |
| 6365 | 6376 | 6378 | 6391 | 6392 | 6393 | 6399 |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A135 | A148 | A158 | A175 | A183 | C712 | C756 | 6028 | 6056 |
| 6314 | 6334 | 6342 | 6385 |      |      |      |      |      |

SCHEDULE 1 – CONT.

*Craftsman Color Palette*

**MASONRY COLORS**

Eldorado Stone – Faux Stone (Allied Building Product's)

| <u>Style Type</u>                      | <u>Color</u>                              | <u>Grout Type</u> |
|----------------------------------------|-------------------------------------------|-------------------|
| <b>Rustic Ledge:</b>                   | Sequoia, Sawtooth, Cascade,<br>Saddleback | Drystack          |
| <b>Weather Edge:</b>                   | Napa, Calistoga, Wisconsin                | Std./Overgrout    |
| <b>River Rock:</b>                     | American Blend                            | Std./Overgrout    |
| <b>Rustic Ledge W/ Country Rubble:</b> | Cascade, Chateau, Tuscany                 | Std./Overgrout    |

Cultured Stone – Faux Stone (Rinker Materials, Inc.)

| <u>Style Type</u>                              | <u>Color</u>                                                                              | <u>Grout Type</u> |
|------------------------------------------------|-------------------------------------------------------------------------------------------|-------------------|
| <b>Southern Ledge:</b>                         | Walnut, Fog, Buck's County                                                                | Drystack          |
| <b>River Rock:</b>                             | Lake Tahoe, Lakeshore                                                                     | Std./Overgrout    |
| <b>Weather Edge Ledge:</b>                     | Fox Valley, Wisconsin,<br>Silverado                                                       | Std./Overgrout    |
| <b>Dressed Fieldstone &amp; Southernledge:</b> | Rustic/Brandywine,<br>Buck's County/Buck's County,<br>Chardonnay/Chardonnay,<br>Fog/Aspen | Std./Overgrout    |

| <i><b>Style Type</b></i>                            | <i><b>Color</b></i>                                                           | <i><b>Grout Type</b></i> |
|-----------------------------------------------------|-------------------------------------------------------------------------------|--------------------------|
| <b>Dressed Fieldstone &amp; Country LedgeStone:</b> |                                                                               |                          |
|                                                     | Caramel/Brandywine,<br>Honey/Brandy,<br>Chardonnay/Chardonnay,<br>Aspen/Aspen | Std./Overgrout           |

***Robinson Rock – Natural Stone Thin Veneer (Rinker Materials , Inc.)***

**Colors:** Elk Horn, Coppercliff, Indian Summer, Cotswold,  
Kensington, Adirondack

***Robinson Brick - Full Brick (Rinker Materials , Inc.)***

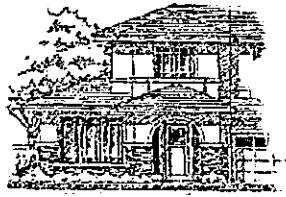
**Designer**

**Classics:** Cajun, Carbondale, Charleston, Heritage 441, Stoneybrook,  
Tularosa, Waterlodge, Heritage Antique, Barnwood,  
Old Chicago

**New**

**Traditions:** Confetti, Old Charleston, Old Chestnut, Old Delaware,  
Old Georgetown, Old Stoneybrook, Santarosa, Mesquite,  
Sonoma

## SCHEDULE 2



### *Prairie Ranch Color Palette*

#### **ROOF COLORS -Approved Profile: Slate**

##### **MonierLifetile**

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###### **Standard Slate**

1STCS3233, Brown Blend  
1STCS6464, California Mission Blend  
1STCS1132, Charcoal Brown Blend  
1STCS4598, Forest Green  
1STCS0026, Sandstorm  
1STCS3958, Smokey

##### **Eagle Roofing Tile**

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###### **Bel Air – Slate**

4502, Arcadia  
4553, Sandstone Flashed  
4576, Topanga

###### **Bel Air – Slate Ranges**

4606, Vallejo Range  
4687, Gray Brown Range  
4689, Brown Range

###### **Bel Air – Slate Blends**

4626, Rancho Cordova Blend  
4646, Sunset Blend  
4684, San Raphael Blend

**FIELD COLORS – Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6057 | 6066 | 6067 | 6068 | 6069 | 6075 | 6076 | 6083 | 6097 |
| 6115 | 6117 | 6118 | 6122 | 6123 | 6124 | 6131 | 6136 | 6138 |
| 6143 | 6144 | 6145 | 6157 | 6163 | 6172 | 6194 | 6208 | 6214 |
| 6215 | 6221 | 6222 | 6228 | 6242 | 6243 | 6393 |      |      |

**FASCIA COLORS – Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6056 | 6057 | 6062 | 6063 | 6075 | 6076 | 6084 | 6098 | 6119 |
| 6205 | 6209 | 6216 | 6217 | 6228 | 6229 | 6230 | 6231 | 6273 |
| 6280 | 6315 | 6363 | 6371 | 6376 |      |      |      |      |

**ACCENT COLORS – Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A135 | A148 | A157 | A160 | A163 | A174 | A175 | A176 | A181 |
| A184 | A186 | A188 | C798 | C799 | 5713 | 6028 | 6091 |      |

SCHEDULE 2 – CONT.

*Prairie Ranch Color Palette*

**MASONRY COLORS**

Eldorado Stone – *Faux Stone (Allied Building Products)*

| <u>Style Type</u>     | <u>Color</u>                                               | <u>Grout Type</u> |
|-----------------------|------------------------------------------------------------|-------------------|
| <b>Mt. Ledge:</b>     | Smokey, China, Warm Springs,<br>Copper, Sycamore, Buckskin | Drystack          |
| <b>Stacked Stone:</b> | Desert Shadow, Slate Gray,<br>Mountain Blend, Oakwood      | Drystack          |
| <b>Cliffstone:</b>    | Lantana, Mesquite, Ponderosa,<br>Manzanita, Cambria        | Drystack          |

Cultured Stone – *Faux Stone (Rinker Materials, Inc.)*

| <u>Style Type</u>          | <u>Color</u>                                                            | <u>Grout Type</u>        |
|----------------------------|-------------------------------------------------------------------------|--------------------------|
| <b>Pro-Fit:</b>            | Gray, Shale, Autumn, Mojave,<br>Platinum                                | Drystack                 |
| <b>Drystack Ledge:</b>     | Chardonnay, Cedar, Mist,<br>Caramel                                     | Drystack                 |
| <b>Country LedgeStone:</b> | Eucalyptus, Chardonnay, Aspen,<br>Caramel, Buck's County, Shale, Mojave | Drystack/Std. /Overgrout |

**Robinson Rock** - *Natural Stone Thin Veneer (Rinker Materials, Inc.)*

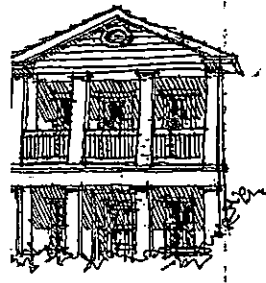
**Colors:** Rosa, Sierra, Regatta, Mesa Ridge, Arrowhead,  
Sand Dune

**Robinson Brick** - *Full Brick or brick veneer (Rinker Materials, Inc.)*

**Designer**

**Classics:** Brimstone, Cajun, Cardondale, Charleston, Chestnut,  
Thundercloud, Waterlodge, Barnwood, Heritage Antique

### SCHEDULE 3



### *American Traditional Color Palette*

#### ROOF COLORS - Approved Profile: Slate

##### Monier Lifetile

##### **Standard Slate**

1STCS3233R, Brown Blend  
1STCS6464, California Mission Blend  
1STCS1132, Charcoal Brown Blend  
1STCS4598, Forest Green  
1STCS0026, Sandstorm  
1STCS3958, Smokey

##### Eagle Roofing Tile

##### **Bel Air - Slate**

4502, Arcadia  
4553, Sandstone Flashed

##### **4576, Topanga**

##### **Bel Air - Ranges**

4606, Vallejo Range  
4687, Gray Brown Range  
4689, Brown Range

##### **Bel Air - Blends**

4626, Rancho Cordova Blend  
4646, Sunset Blend  
4684, San Raphael Blend

**FIELD COLORS – *Dunn-Edwards***

|      |      |      |      |      |       |      |      |      |
|------|------|------|------|------|-------|------|------|------|
| 5325 | 5373 | 6052 | 6053 | 6061 | 6064  | 6065 | 6067 | 6095 |
| 6097 | 6102 | 6111 | 6115 | 6116 | 61117 | 6125 | 6128 | 6130 |
| 6131 | 6137 | 6150 | 6151 | 6152 | 6158  | 6164 | 6165 | 6166 |
| 6170 | 6173 | 6179 | 6180 | 6192 | 6194  | 6199 | 6201 | 6205 |
| 6207 | 6213 | 6215 | 6226 | 6227 | 6229  | 6249 | 6255 | 6257 |
| 6270 | 6275 | 6276 | 6277 | 6290 | 6291  | 6299 | 6310 | 6312 |
| 6313 | 6326 | 6332 | 6339 | 6346 |       |      |      |      |

**FASCIA COLORS – *Dunn-Edwards***

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6057 | 6058 | 6059 | 6066 | 6121 | 6122 | 6124 | 6125 | 6140 |
| 6143 | 6129 | 6211 | 6213 | 6216 | 6227 | 6229 | 6230 | 6231 |
| 6258 | 6274 | 6279 | 6293 | 6311 | 6313 | 6369 | 6372 |      |

**ACCENT COLORS – *Dunn-Edwards***

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A158 | A187 | A181 | A183 | A186 | 6293 | 6335 | 6378 | 6315 |
| 6290 |      |      |      |      |      |      |      |      |

SCHEDULE 3 – CONT.

*American Traditional Color Palette*

MASONRY COLORS

Robinson Brick or brick veneer – (Rinker Materials, Inc.)

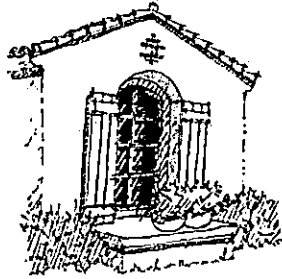
Designer

Classics:       Brimstone, Cajun, Cardondale, Charleston, Chestnut,  
Thundercloud, Waterlodge, Barnwood,  
Heritage Antique

New

Traditions:    Confetti, Old Charleston, Old Chestnut,  
Old Delaware, Old Georgetown, Old Stoneybrook,  
Santarosa, Mesquite, Sonoma

#### SCHEDULE 4



#### *Spanish Colonial Color Palette*

**ROOF COLORS** - Approved Profiles: Barrel, "S" & low profile "S" tile

##### **Monier Lifetile**

###### **Espana - Standard**

1ESCS6160, Autumn Blend  
1ESCS6464, California Mission Blend  
1ESCS6676, Desert Sunset  
1ESCS6142, Rio Grande Blend  
1ESCS0026, Sandstorm  
1ESCS6100, Terra Cotta

###### **Espana - Premium**

1ESCS3940, Cliffside  
1ESCS0939, Toast

###### **Villa - Standard**

1VICS6464, California Mission Blend  
1VICS6169, Casa Grande Blend  
1VICS0024, Desert Sage  
1VICS7221, Redwood Blend

**Eagle Roofing Tile**

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**Camino Real - Premium**

SMC8401, San Miguel

SMC8402, Mission Santa Cruz

SMC8403, Mission Santa Barbara

SMC8404, Mission San Juan

SMC8645b, Mission San Diego Brushed

SMC8807b, Mission Carmel Brushed

**Cityscapes - Premium**

SCC 8807, Monterey

**American Heirloom - Premium**

SHC 8708, Del Oro Blend

SHC8709, El Morado Blend

SHC 8710, Ladera Blend

SHC 8711, Puesta Del Sol Blend

**Capistrano - Standard**

3520, Weathered Terracotta Flashed

3522, Terracotta Flashed

3553, Sandstone Flashed

3576, Topanga

**Capistrano - Blends**

3605, San Benito Blend

3645, Sunrise Blend

3646, Sunset Blend

SCHEDULE 4 – CONT.

*Spanish Colonial Color Palette*

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6060 | 6065 | 6068 | 6072 | 6073 | 6074 | 6075 | 6095 | 6096 |
| 6097 | 6108 | 6109 | 6110 | 6111 | 6116 | 6117 | 6121 | 6122 |
| 6123 | 6124 | 6128 | 6129 | 6130 | 6131 | 6136 | 6141 | 6142 |
| 6143 | 6150 | 6214 |      |      |      |      |      |      |

**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6056 | 6062 | 6063 | 6070 | 6075 | 6076 | 6077 | 6084 | 6097 |
| 6097 | 6098 | 6112 | 6126 | 6294 | 6313 | 6321 | 6362 | 6368 |
| 6313 | 6355 | 6390 | 6391 |      |      |      |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A148 | A187 | 5719 | 5747 | 5774 | 5775 | 5796 | 5797 | 5817 |
| 6028 | 6083 | 6091 | 6105 | 6306 | 6314 | 6385 | 6399 |      |

## SCHEDULE 5



### *Country European Color Palette*

#### ROOF COLORS - Approved Profiles - Shake or Slate

##### Monier Lifetile

###### **Slate - Standard**

1STCS3233, Brown Blend  
1STCS1132, Charcoal Brown Blend  
1STCS3374, Earth Brown  
1STCS0026, Sandstorm  
1STCS3958, Smokey

##### Eagle Roofing Tile

###### **Bel Air - Standard Slate**

4502, Arcadia  
4576, Topanga

###### **Bel Air - Slate Ranges**

4687, Gray Brown Range  
4689, Brown Range

##### **FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 5224 | 6033 | 6059 | 6060 | 6066 | 6068 | 6069 | 6073 | 6075 |
| 6120 | 6122 | 6123 | 6135 | 6141 | 6145 | 6149 | 6150 | 6199 |
| 6213 | 6215 | 6219 | 6229 | 6326 | 6375 | 6382 | 6393 |      |

##### **FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6034 | 6057 | 6060 | 6062 | 6072 | 6074 | 6076 | 6125 | 6211 |
|------|------|------|------|------|------|------|------|------|

6213 6215 6277 6280 6292 6294 6375 6376 6378  
6389 6397

**ACCENT COLORS – *Dunn-Edwards***

A135 A147 A148 A152 A183 A187 A188 A189 C705  
6021 6057 6211 6294 6322

**Eldorado Stone – Faux Stone (Allied Building Materials)**

| <i>Style Type</i>    | <i>Color</i>                  | <i>Grout Type</i> |
|----------------------|-------------------------------|-------------------|
| <b>Rustic Ledge:</b> | Cascade, Saddleback, Sawtooth | Drystack          |
| <b>Field Ledge:</b>  | Meseta, Andante, Umbria,      | Overgrout         |
| <b>Limestone:</b>    | York, San Marino, Savannah    | Overgrout         |

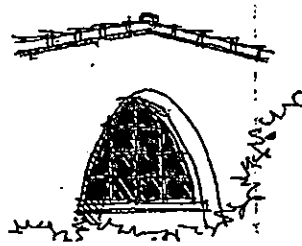
**Cultured Stone – Faux Stone (Rinker Materials, Inc.)**

| <i>Style Type</i>                              | <i>Color</i>                                                              | <i>Grout Type</i> |
|------------------------------------------------|---------------------------------------------------------------------------|-------------------|
| <b>Country Ledge:</b>                          | Chardonnay, Aspen, Mojave, White Oak,<br>Eucalyptus, Buck's County, Shale | Overgrout/Std.    |
| <b>Old Country Fieldstone:</b>                 | Chardonnay, Romana, Riviera, Piedmont                                     | Overgrout/Std.    |
| <b>Dressed Fieldstone:</b>                     | Aspen, Cedar                                                              | Overgrout         |
| <b>Country Ledge &amp; Dressed Fieldstone:</b> | Chardonnay & Chardonnay, Aspen & Aspen                                    | Overgrout         |
| <b>European Castle Stone:</b>                  | Buck's County, Chardonnay                                                 | Overgrout/Std.    |

**Robinson Rock – Natural Stone Thin Veneer (Rinker Materials, Inc.)**

**Colors:** Canterbury, Tuscany, Grey Castle, Seabed, Cotswold,  
Irish Barn

## SCHEDULE 6



### *Andalusian Color Palette*

#### ROOF COLORS

Approved Profiles: Barrel, "S" and low profile "S" tiles

##### MonierLifetile

###### **Espana - Standard Color-Thru**

- 1ESCS6160, Autumn Blend
- 1ESCS6464, California Mission Blend
- 1ESCS6676, Desert Sunset
- 1ESCS6142, Rio Grande Blend
- 1ESCS0026, Sandstorm
- 1ESCS6100, Terra Cotta
- 1ESCS3940, Cliffside
- 1ESCS0939, Toast

###### **Villa - Standard Color-Thru**

- 1VICS6464, California Mission Blend
- 1VICS6169, Casa Grande Blend
- 1VICI0024, Desert Sage
- 1VICI7221, Redwood Blend

##### Eagle Roofing Tile

###### **Camino Real - Premium**

- SMC8401, San Miguel
- SMC8402, Mission Santa Cruz
- SMC8403, Mission Santa Barbara
- SMC8404, Mission San Juan

SMC8645b, Mission San Diego Brushed  
 SMC8807b, Mission Carmel Brushed  
**Cityscapes -- Premium**  
 SCC 8807, Monterey

**American Heirloom -- Premium**  
 SHC 8708, Del Oro Blend  
 SHC8709, El Morado Blend  
 SHC 8710, Ladera Blend  
 SHC 8711, Puesta Del Sol Blend

**Capistrano -- Standard**  
 3520, Weathered Terracotta Flashed  
 3522, Terracotta Flashed  
 3553, Sandstone Flashed  
 3576, Topanga

**Capistrano - Blends**  
 3605, San Benito Blend  
 3645, Sunrise Blend  
 3646, Sunset Blend

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6060 | 6065 | 6068 | 6072 | 6073 | 6074 | 6095 | 6096 | 6108 |
| 6109 | 6110 | 6116 | 6117 | 6121 | 6122 | 6123 | 6124 | 6128 |
| 6129 | 6130 | 6131 | 6136 | 6141 | 6142 | 6143 | 6150 | 6214 |

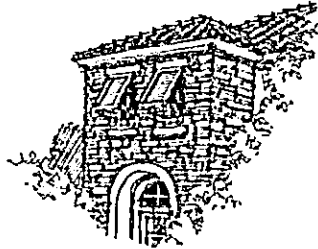
**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6056 | 6062 | 6063 | 6070 | 6075 | 6076 | 6077 | 6084 | 6097 |
| 6097 | 6098 | 6112 | 6126 | 6294 | 6313 |      |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A148 | A187 | 5719 | 5747 | 5774 | 5775 | 5796 | 5817 | 6028 |
| 6083 | 6091 | 6105 | 6306 | 6314 | 6385 | 6399 |      |      |

**SCHEDULE 7**



***Tuscan Color Palette***

**ROOF COLORS** -Approved Profiles: Barrel, "S" & low profile "S" tiles.

**Monier Lifetile**

**Espana Standard Color-Thru**

- 1ESCS6160, Autumn Blend
- 1ESCS6464, California Mission Blend
- 1ESCS6142, Rio Grande Blend
- 1ESCS6676, Desert Sunset
- 1ESCS7185, Washed Gold

**Espana Premium Color-Thru**

- 1ESCS3940, Cliffside
- 1ESCS0939, Toast

**Villa - Standard Color-Thru**

- 1VICS6464, California Mission Blend
- 1VICS6169, Casa Grande Blend
- 1VICS0024, Desert Sage
- 1VICS7221, Redwood Blend

Eagle Roofing Tile

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**Camino Real - Premium**

SMC8402, Mission Santa Cruz  
SMC8403, Mission Santa Barbara  
SMC8645, Mission San Diego  
SMC8807, Mission Carmel

**American Heirloom - Premium**

SHC 8708, Del Oro Blend  
SHC 8709, El Morado Blend  
SHC 8710, Ladera Blend  
SHC 8711, Puesta Del Sol Blend

**Capistrano - Standard Integrals**

3520, Weathered Terracotta Flashed  
3522, Terracotta Flashed  
3530, Weathered Adobe  
3576, Topanga

**Capistrano - Blends**

3605, San Benito Blend  
3645, Sunrise Blend  
3646, Sunset Blend

**Malibu - Standard Integrals**

2520, Weathered Terracotta Flashed  
2522, Terracotta Flashed  
2576, Topang  
549, Santa Paula  
2553, Sandstone Flashed

**Malibu - Blends**

2646, Sunset Blend

SCHEDULE 7- CONT.

*Tuscan Color Palette*

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 5325 | 5326 | 5359 | 5264 | 5265 | 6097 | 6111 | 6117 | 6118 |
| 6130 | 6131 | 6136 | 6137 | 6138 | 6139 | 6142 | 6143 | 6144 |
| 6150 | 6151 | 6152 | 6157 | 6164 | 6179 | 6193 | 6194 | 6207 |
| 6215 |      |      |      |      |      |      |      |      |

**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6070 | 6076 | 6077 | 6098 | 6105 | 6112 | 6119 | 6140 | 6147 |
| 6126 | 6196 | 6215 | 6216 | 6217 | 6223 | 6231 | 6245 | 6279 |
| 6294 | 6392 |      |      |      |      |      |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A158 | A159 | A187 | 5922 | 6070 | 6217 | 6236 | 6265 | 6266 |
| 6278 | 6280 | 6294 | 6320 | 6334 | 6378 | 6355 |      |      |

**MASONRY COLORS**

Eldorado Stone – Faux Stone (Allied Building Materials)

| <i>Style Type</i>  | <i>Color</i>                             | <i>Grout Type</i> |
|--------------------|------------------------------------------|-------------------|
| <b>Fieldledge:</b> | Meseta, Veneto, Andante,<br>Umbria       | Overgrout         |
| <b>Hillstone:</b>  | Lucero, Milano, Bergamo,<br>Verona       | Overgrout         |
| <b>Limestone:</b>  | York, Savannah, Castillo, Shilo          | Overgrout         |
| <b>Cliffstone:</b> | Lantana, Mesquite,<br>Manzanita, Cambria | Drystack          |

Cultured Stone – *Faux Stone (Rinker Materials, Inc.)*

| <u>Style Type</u>       | <u>Color</u>                             | <u>Grout Type</u> |
|-------------------------|------------------------------------------|-------------------|
| Old Country Fieldstone: | Chardonnay, Riviera, Romana,<br>Piedmont | Overgrout/Std.    |

Robinson Rock – *Natural Stone Thin Veneer (Rinker Materials, Inc.)*

**Colors:** Tuscany, Elk Horn, Seabed, Coppercliff, Kensington,  
Indian Summer

## SCHEDULE 8



### *Mediterranean Color Palette*

**ROOF COLORS** - Approved Profiles: Barrel, "S" & low profile "S" tiles

#### *MonierLifetile*

##### **Espana - Standard Color-Thru**

1ESCS6160, Autumn Blend  
1ESCS6464, California Mission Blend  
1ESCS6676, Desert Sunset  
1ESCS6142, Rio Grande Blend  
1ESCS0026, Sandstorm  
1ESCS6100, Terra Cotta  
1ESCS3940, Cliffside  
1ESCS0939, Toast

##### **Villa - Standard Color-Thru**

1VICS6464, California Mission Blend  
1VICS6169, Casa Grande Blend  
1VICI0024, Desert Sage  
1VICI7221, Redwood Blend

#### *Eagle Roofing Tile*

##### **Camino Real - Premium**

SMC8401, San Miguel  
SMC8402, Mission Santa Cruz  
SMC8403, Mission Santa Barbara  
SMC8404, Mission San Juan  
SMC8645b, Mission San Diego Brushed  
SMC8807b, Mission Carmel Brushed

**Cityscapes - Premium**

SCC 8807, Monterey

**American Heirloom - Premium**

SHC 8708, Del Oro Blend

SHC8709, El Morado Blend

SHC 8710, Ladera Blend

SHC 8711, Puesta Del Sol Blend

**Capistrano - Standard Integrals**

3520, Weathered Terracotta Flashed

3522, Terracotta Flashed

3553, Sandstone Flashed

3576, Topanga

**Capistrano - Blends**

3605, San Benito Blend

3645, Sunrise Blend

3646, Sunset Blend

**FIELD COLORS - Dunn-Edwards**

5263 5325 5326 5366 5367 6058 6064 6066 6073

6081 6095 6096 6108 6109 6110 6129 6137 6150

6151 6157 6164 6165 6179 6198 6200 6214

**FASCIA COLORS - Dunn-Edwards**

6057 6063 6070 6075 6076 6084 6097 6097 6098

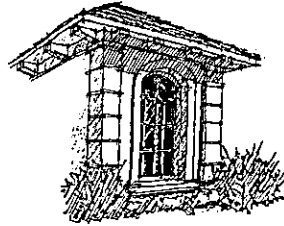
6112 6121 6126 6294 6313 6362 6368 6355 6390

**ACCENT COLORS - Dunn-Edwards**

A148 A187 5719 5747 5774 5775 5796 5797 5817

6028 6083 6091 6105 6306 6314 6385 6399

## SCHEDULE 9



### *Southern Italian Color Palette*

**ROOF COLORS** - Approved Profiles: Barrel, "S", flat tiles & low profile "S" tiles

#### **Monier Lifetile**

##### **Espana - Standard**

1ESCS6160, Autumn Blend  
1ESCS6464, California Mission Blend  
1ESCS7185, Washed Gold  
1ESCS6142, Rio Grande Blend

##### **Espana - Premium**

1ESCS3940, Cliffside  
1ESCS0939, Toast

##### **Villa - Standard**

1VICS3233, Brown Blend  
1VICS6464, California Mission Blend  
1VICS6169, Casa Grande Blend  
1VICS7221, Redwood Blend

##### **Slate - Standard**

1SMCS3233, Brown Blend  
1SMCS6464, California Mission Blend  
1SMCS6101, Desert Terra Cotta

##### **Slate - Premium**

1STCS0939, Toast

#### **Eagle Roofing Tile**

**Camino Real - Premium**

SMC 8402, Mission Santa Cruz

SMC 8403, Mission Santa Barbara

SMC 8403b, Mission Santa Barbara Brushed

SMC 8807b, Mission Carmel Brushed

**American Heirloom - Premium**

HC 8709, El Morado Blend

SHC 8710, Ladera Blend

SHC 8711, Puesta Del Sol Blend

**Capistrano - Standard**

3530, Weathered Adobe

3520, Weathered Terra Cotta Flashed

3576, Topanga

**Capistrano - Blends**

3605, San Benito Blend

3646, Sunset Range

3645, Sunrise Blend

**Malibu - Standard**

2520, Weathered Terra Cotta Fl

2522, Terra Cotta Flashed

2530, Weathered Adobe

**Malibu - Ranges**

2687, Gray Brown Range

**Malibu - Blends**

2645, Sunrise Blend

**Bel-Air ?????**

**SCHEDULE 9-CONT.**

***Southern Italian Color Palette***

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| C708 | 6053 | 6060 | 6066 | 6067 | 6068 | 6074 | 6075 | 6082 |
| 6083 | 6089 | 6090 | 6097 | 6103 | 6104 | 6110 | 6111 | 6123 |
| 6124 | 6129 | 6136 | 6137 | 6138 | 6150 | 6151 | 6152 | 6172 |
| 6173 |      |      |      |      |      |      |      |      |

**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6040 | 6057 | 6061 | 6062 | 6067 | 6068 | 6069 | 6074 | 6075 |
| 6076 | 6077 | 6123 | 6124 | 6125 | 6142 | 6143 | 6210 | 6212 |
| 6213 | 6320 | 6230 | 6231 | 6348 | 6355 | 6356 | 6368 | 6374 |
| 6376 | 6386 | 6390 | 6391 | 6397 | 6398 |      |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| A183 | A188 | 5748 | 5776 | 5797 | 5824 | 5873 | 6013 | 6014 |
| 6048 | 6054 | 6056 | 6308 | 6341 | 6349 | 6363 | 6378 | 6392 |
| 6398 |      |      |      |      |      |      |      |      |

## MASONRY COLORS

### Eldorado Stone – Faux Stone (Allied Building Materials)

| <u>Style Type</u>      | <u>Color</u>                                          | <u>Grout Type</u> |
|------------------------|-------------------------------------------------------|-------------------|
| <b>Limestone:</b>      | York, San Marino                                      | Overgrout         |
| <b>Fieldledge:</b>     | Meseta, Andante                                       | Overgrout         |
| <b>Cliffstone:</b>     | Lantana, Ponderosa, Manzanita                         | Drystack          |
| <b>Country Rubble:</b> | Tularosa, Tuscany, Cognac, Capri,<br>Serrano, Palermo | Flush Grout       |

### Cultured Stone – Faux Stone (Rinker Materials, Inc.)

| <u>Style Type</u>                               | <u>Color</u>                                    | <u>Grout Type</u> |
|-------------------------------------------------|-------------------------------------------------|-------------------|
| <b>Dressed Fieldstone:</b>                      | Aspen, Buck's County,<br>Brandywine, Chardonnay | Flush Grout       |
| <b>Dressed Fieldstone &amp; Country Ledge:</b>  | Chardonnay, Aspen,<br>Caramel & Brandywine      | Flush Grout       |
| <b>Dressed Fieldstone &amp; Southern Ledge:</b> | Chardonnay, Buck's County                       | Flush Grout       |

### Robinson Rock – Natural Stone Thin Veneer (Rinker Materials, Inc.)

|                |                                                                   |
|----------------|-------------------------------------------------------------------|
| <b>Colors:</b> | Canterbury, Tuscany, Grey Castle, Seabed, Cotswold,<br>Irish Barn |
|----------------|-------------------------------------------------------------------|

**SCHEDULE 10**

***Brownstone Color Palette***

**ROOF COLORS - Approved Profile: Slate**

**MonierLifetile**

**Standard Slate**

1STCS3233, Brown Blend  
1STCS6464, California Mission Blend  
1STCS1132, Charcoal Brown Blend  
1STCS4598, Forest Green  
1STCS0026, Sandstorm  
1STCS3958, Smokey

**Eagle Roofing Tile**

**Bel Air – Standard Slate**

4502, Arcadia  
4553, Sandstone Flashed  
4576, Topanga

**Bel Air –Slate Ranges**

4606, Vallejo Range  
4687, Gray Brown Range  
4689, Brown Range

**Bel Air – Slate Blends**

4626, Rancho Cordova Blend  
4646, Sunset Blend  
4684, San Raphael Blend

**FIELD COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6034 | 6040 | 6047 | 6054 | 6060 | 6068 | 6075 | 6116 | 6117 |
| 6123 | 6125 | 6130 | 6135 | 6138 | 6139 | 6144 | 6153 | 6158 |
| 6173 | 6191 | 6193 | 6195 | 6206 | 6214 | 6215 | 6221 | 6229 |
| 6255 | 6277 | 6312 | 6374 |      |      |      |      |      |

**FASCIA COLORS - Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6057 | 6059 | 6061 | 6062 | 6068 | 6122 | 6123 | 6129 | 6144 |
| 6170 | 6172 | 6199 | 6208 | 6215 | 6216 | 6227 | 6228 | 6229 |
| 6277 | 6279 | 6314 | 6367 | 6376 | 6381 |      |      |      |

**ACCENT COLORS - Dunn-Edwards**

|      |      |      |      |      |
|------|------|------|------|------|
| A187 | A183 | A181 | A135 | 6329 |
|------|------|------|------|------|

SCHEDULE 10-CONT.

*Brownstone Color Palette*

MASONRY COLORS

Eldorado Stone – *Faux Stone (Allied Building Products)*

| <u>Style Type</u> | <u>Color</u>           | <u>Grout Type</u> |
|-------------------|------------------------|-------------------|
| Ashlar:           | Santa Barbara          | Std./Flush        |
| Coarsed Stone:    | Santa Barbara          | Std./Flush        |
| Limestone:        | Austin Cream, Pasadena | Std./Flush        |

Cultured Stone – *Faux Stone (Rinker Materials, Inc.)*

| <u>Style Type</u> | <u>Color</u>              | <u>Grout Type</u> |
|-------------------|---------------------------|-------------------|
| Cobblefield:      | Texas Cream, Austin, Ohio | Std./Flush        |
| Castle Stone:     | Golden Blend, Chardonnay  | Std./Flush        |

Robinson Rock – *Natural Stone Thin Veneer (Rinker Materials, Inc.)*

Colors: Mesa Ridge, Arrowhead, Sand Dune

Robinson Brick – *Full Brick (Rinker Materials, Inc.)*

Designer Classics: Brimstone, Cajun, Cardondale, Charleston, Chestnut, Thundercloud, Waterlodge, Barnwood, Heritage Antique

New Traditions Confetti, Old Charleston, Old Chestnut, Old Delaware, Old Georgetown, Old Stoneybrook, Santarosa, Mesquite, Sonoma

**SCHEDULE 11**

*Contemporary Color Palette*

**ROOF COLORS - Approved Profile: Slate**

**MonierLifetile**

**Standard Slate**

1STCS3233, Brown Blend  
1STCS6464, California Mission Blend  
1STCS1132, Charcoal Brown Blend  
1STCS4598, Forest Green  
1STCS0026, Sandstorm  
1STCS3958, Smokey

**Eagle Roofing Tile**

**Bel Air – Standard Slate**

4502, Arcadia  
4553, Sandstone Flashed  
4576, Topanga

**Bel Air –Slate Ranges**

4606, Vallejo Range  
4687, Gray Brown Range  
4689, Brown Range

**Bel Air – Slate Blends**

4626, Rancho Cordova Blend  
4646, Sunset Blend  
4684, San Raphael Blend

**FIELD COLORS – Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6034 | 6040 | 6047 | 6054 | 6060 | 6068 | 6075 | 6116 | 6117 |
| 6123 | 6125 | 6130 | 6135 | 6138 | 6139 | 6144 | 6153 | 6158 |
| 6173 | 6191 | 6193 | 6195 | 6206 | 6214 | 6215 | 6221 | 6229 |
| 6255 | 6277 | 6312 | 6374 |      |      |      |      |      |

**FASCIA COLORS – Dunn-Edwards**

|      |      |      |      |      |      |      |      |      |
|------|------|------|------|------|------|------|------|------|
| 6057 | 6059 | 6061 | 6062 | 6068 | 6122 | 6123 | 6129 | 6144 |
| 6170 | 6172 | 6199 | 6208 | 6215 | 6216 | 6227 | 6228 | 6229 |
| 6277 | 6279 | 6314 | 6367 | 6376 | 6381 |      |      |      |

**ACCENT COLORS – Dunn-Edwards**

|      |      |      |      |      |
|------|------|------|------|------|
| A187 | A183 | A181 | A135 | 6329 |
|------|------|------|------|------|

**MASONRY COLORS**

Eldorado Stone – Faux Stone (Allied Building Products)

| <u>Style Type</u>     | <u>Color</u>           | <u>Grout Type</u> |
|-----------------------|------------------------|-------------------|
| <b>Ashlar:</b>        | Santa Barbara          | Std./Flush        |
| <b>Coarsed Stone:</b> | Santa Barbara          | Std./Flush        |
| <b>Limestone:</b>     | Austin Cream, Pasadena | Std./Flush        |

Cultured Stone – Faux Stone (Rinker Materials, Inc.)

| <u>Style Type</u>    | <u>Color</u>              | <u>Grout Type</u> |
|----------------------|---------------------------|-------------------|
| <b>Cobblefield:</b>  | Texas Cream, Austin, Ohio | Std./Flush        |
| <b>Castle Stone:</b> | Golden Blend, Chardonnay  | Std./Flush        |

Robinson Rock – Natural Stone Thin Veneer (Rinker Materials, Inc.)

**Colors:** Mesa Ridge, Arrowhead, Sand Dune

## Section 8

### Permitted Uses

#### 8.1 GENERALLY

Building, structures and land shall be used in accordance with the uses permitted in Table 8-1 and 8-2.

TABLE 8-1

INTERPRETATION OF LAND USE TABLES

| Symbol             | Meaning                                                                                                                               |
|--------------------|---------------------------------------------------------------------------------------------------------------------------------------|
| P                  | The use is permitted in that district by right.                                                                                       |
| A                  | The use is permitted as an accessory use to a main use in the district.                                                               |
| C                  | The use is permitted subject to meeting specified conditions. These conditions are listed in Section 8.3.                             |
| S                  | The use is permitted in that district only after first obtaining a Special Use Permit (SUP) pursuant to the Las Vegas Municipal Code. |
| * (by name of use) | Base standards are required for this use. These standards are listed in Section 8.4.                                                  |
| T                  | The use is permitted on a temporary basis, subject to the provisions of Section 8.5.                                                  |
|                    | A blank square shall mean that the use is not allowed in that district.                                                               |

**TABLE 8-2**

**LAND USE TABLES**

TC= Town Center UMU= Urban Mixed-Use P= Parks NR= Neighborhood Residential

**DISTRICT**

| Permitted Uses                                           | TC | UMU | P | NR |
|----------------------------------------------------------|----|-----|---|----|
| Airport, Heliport or Landing Field                       |    |     |   |    |
| Amphitheater                                             | P  | P   | P |    |
| Animal Hospital, Clinic, or Shelter with Outside Pens    | P  | P   |   |    |
| Animal Hospital, Clinic, or Shelter without Outside Pens | P  | P   |   |    |
| Animal Keeping & Husbandry                               | A  | A   |   |    |
| Animal Keeping, Wild or Exotic                           |    |     |   |    |
| Animal Production                                        |    |     |   |    |
| Antique/Collectible Store                                | P  | P   |   |    |
| Asphalt or Concrete Batch Plant                          |    |     |   |    |
| Assisted Living Apartments                               | P  | P   |   | P  |
| Astrologer, Hypnotist, or Psychic Art and Science        | P  | P   |   |    |

| Permitted Uses                                       | TC | UMU | P | NR |
|------------------------------------------------------|----|-----|---|----|
| Auto Broker                                          | C  | C   |   |    |
| Auto Dealer Inventory Storage                        | S  | S   |   |    |
| Auto Paint & Body Repair Shop                        |    |     |   |    |
| Auto Parts (Accessory Installation)                  | C  | C   |   |    |
| Auto Parts (New & Rebuilt) (Accessory Sales Service) | C  | C   |   |    |
| Auto Repair Garage, Major                            | S* | S*  |   |    |
| Auto Repair Garage, Minor                            | C  | C   |   |    |
| Auto Smog Check                                      | C  | C   |   |    |
| Auto Title Loan                                      | S* | S*  |   |    |
| Automobile Rental                                    | C  | C   |   |    |
| Automobile Repossession Agency                       |    |     |   |    |
| Bailbond Service                                     |    |     |   |    |
| Banquet Facility                                     | P  | P   |   |    |
| Bed & Breakfast Inn                                  | S* | S*  |   |    |
| Beer/Wine/Cooler Off-Sale Establishment              | P  | C   |   |    |
| Beer/Wine/Cooler On-and Off- Sale Establishment      | P  | C   |   |    |

| Permitted Uses                                 | TC | UMU | P | NR |
|------------------------------------------------|----|-----|---|----|
| Beer/Wine/Cooler On-Sale Establishment         | P  | C   |   |    |
| Billiard Parlor or Pool Hall                   | P  | P   |   |    |
| Blood Plasma Donor Center                      |    |     |   |    |
| Boarding or Rooming House                      |    |     |   |    |
| Boat & Trailer Dealership (New and Used)       | S* | S*  |   |    |
| Building & Landscape Material/Lumber Yard      | P  | P   |   |    |
| Building Maintenance Service & Sales           | P  | P   |   |    |
| Bus Charter Service & Service Facility         |    |     |   |    |
| Business School                                | P  | P   |   |    |
| Car Wash (Full Service)                        | P  | P   |   |    |
| Car Wash, Self Service                         | C  | C   |   |    |
| Caretaker's Quarters/Domestic or Security Unit | C  | C   |   |    |
| Catering Service                               | P  | P   |   |    |
| Cemetery/Mausoleum                             |    |     |   |    |
| Child Care - Family Home (1-6 Children)        | S  | S   | P | S  |
| Child Care - Group Home (7-12 Children)        | S  | S   | P | S  |

| Permitted Uses                            | TC | UMU | P | NR |
|-------------------------------------------|----|-----|---|----|
| Child Care Center                         | P  | P   | P |    |
| Church/House of Worship                   | P  | P   |   |    |
| Cleaners, Commercial                      | A  |     |   |    |
| Cleaners, Commercial/Industrial           |    |     |   |    |
| Clinic                                    | P  | P   |   |    |
| Cold Storage Plant                        | A  | A   | A |    |
| College, University, or Seminary          | P  | P   |   |    |
| Commercial Amusement/Recreation (Indoor)  | P  | P   |   |    |
| Commercial Amusement/Recreation (Outdoor) | P  | P   | P |    |
| Community Center, Private (Accessory)     | P  | P   | P | P  |
| Community Recreational Facility, Public   | P  | P   | P | P  |
| Condominium                               | P  | P   |   | P  |
| Construction Material Supply Yard         | C  | C   | C | C  |
| Contractors Plant, Shop & Storage Yard    |    |     |   |    |
| Convalescent Care Facility/Nursing Home   | P  | P   |   |    |
| Convent or Monastery                      |    |     |   |    |

| Permitted Uses                                                                  | TC | UMU | P | NR |
|---------------------------------------------------------------------------------|----|-----|---|----|
| Copy Center                                                                     | P  | P   | P |    |
| Country Club, Private                                                           | P  | P   |   |    |
| Crematorium                                                                     |    |     |   |    |
| Crop Production                                                                 |    |     |   |    |
| Custom & Craft Work                                                             |    |     |   |    |
| Daily Labor Service                                                             | S* | S*  |   |    |
| Desktop Publishing                                                              | P  | P   |   |    |
| Dry Cleaners                                                                    | P  | P   | P |    |
| Electric Generating Plant                                                       |    |     |   |    |
| Electric Utility Substation                                                     | C  | C   | C | C  |
| Electrical, Watch, Clock, Jewelry & Similar Repair                              | P  | P   |   |    |
| Emergency Ambulance Services, Ground                                            | P  | P   |   |    |
| Employment Agency                                                               | P  | P   |   |    |
| Environmentally Hazardous Materials                                             |    |     |   |    |
| Escort Bureau                                                                   |    |     |   |    |
| Facility to Provide Testing, Treatment, or Counseling for Drug or Alcohol Abuse | S  | S   |   |    |

| Permitted Uses                                                  | TC | UMU | P | NR |
|-----------------------------------------------------------------|----|-----|---|----|
| Financial Institution, General with Drive-Through               | P  | P   |   |    |
| Financial Institution, General without Drive-Through            | P  | P   |   |    |
| Financial Institution, Specified                                | S* | S*  |   |    |
| Food Processing                                                 |    |     |   |    |
| Fraternity, Sorority House, or Private Dorm                     |    |     |   |    |
| Gaming Establishment, Non-restricted                            | P  |     |   |    |
| Gaming Establishment, Restricted License                        | A  | A   |   |    |
| Garden Supply/Plant Nursery                                     | P  | P   |   |    |
| General Personal Service                                        | P  | P   | S |    |
| General Retail Store, Other than Listed, 3500 Sq. Ft. or more   | P  | P   | S |    |
| General Retail Store, Other than Listed, Less than 3500 Sq. Ft. | P  | P   | P |    |
| Golf Driving Range                                              | S  | S   |   |    |
| Government Facility                                             | P  | P   | P |    |
| Group Residential Care Facility                                 | S  | S   |   |    |
| Guest House/Casita                                              |    |     |   | P  |

| Permitted Uses                                        | TC | UMU | P | NR |
|-------------------------------------------------------|----|-----|---|----|
| Gun Club, Skeet or Target Range (Indoor)              | S  | S   |   |    |
| Gun Club, Skeet or Target Range (Outdoor)             |    |     |   |    |
| Halfway House                                         |    |     |   |    |
| Health Club                                           | P  | P   | P |    |
| Heavy Construction Trade Yard                         |    |     |   |    |
| Heavy Machinery & Equipment (Rental, Sales & Service) |    |     |   |    |
| Helipad                                               | P  |     |   |    |
| Home Occupation                                       |    |     |   | C  |
| Horse Corral or Stable (Commercial)                   |    |     |   |    |
| Horse Corral or Stable (Private)                      |    |     |   |    |
| Hospice                                               | P  | P   |   |    |
| Hospital                                              | P  | P   |   |    |
| Hotel Lounge Bar                                      | P  | S   |   |    |
| Hotel or Motel                                        | P  | S   |   |    |
| Hotel, Residence                                      | P  | S   |   |    |
| Individual Residential Care Facility                  |    |     |   | P  |

| Permitted Uses                          | TC | UMU | P | NR |
|-----------------------------------------|----|-----|---|----|
| Jewelry Store, Class III                | S* | S*  |   |    |
| Jewelry Store, New                      | P  | P   |   |    |
| Keeping of Carrier or Racing Pigeons    |    |     |   |    |
| Laboratory, Medical or Dental           | P  | P   |   |    |
| Landfill                                |    |     |   |    |
| Laundry, Self Service                   | P  | P   | P |    |
| Library, Art Gallery or Museum (Public) | P  | P   | P |    |
| Light Assembly & Fabrication            | S* | S*  |   |    |
| Liquor Establishment (Tavern)           | P  | C   |   |    |
| Livestock Farming (Bovines/Horses)      |    |     |   |    |
| LPG Installation 288 Gallons or Less    | C  | C   |   |    |
| LPG Installation over 288 Gallons       | S  | S   |   |    |
| Manufactured Home                       |    |     |   |    |
| Manufacturing, Heavy                    |    |     |   |    |
| Manufacturing, Light                    |    |     |   |    |
| Massage Establishment                   | S* | S*  |   |    |

| Permitted Uses                                   | TC | UMU | P | NR |
|--------------------------------------------------|----|-----|---|----|
| Mining, Sand & Gravel Excavation                 | T  | T   | T | T  |
| Mini-warehouse                                   | C  | C   |   |    |
| Mixed Use                                        | P  | P   |   |    |
| Mobile Home                                      |    |     |   |    |
| Mobile Home Park                                 |    |     |   |    |
| Mobile Home/Trailer Sales Lot                    |    |     |   |    |
| Monorail                                         | S  | S   |   |    |
| Mortuary or Funeral Chapel                       | S  | S   |   |    |
| Motor Vehicle Sales (New)                        | S* | S*  |   |    |
| Motor Vehicle Sales (Used)                       | S* | S*  |   |    |
| Motorcycle/Motor Scooter Sales                   | C  | C   |   |    |
| Mounted Antenna of 15' or Less (Ultimate Height) | P  | P   | P |    |
| Mounted Antenna over 15' (Ultimate Height)       | S  | S   | S |    |
| Multi-Family                                     | P  | P   |   | P  |
| Museum or Art Gallery (Private)                  | P  | P   | P |    |
| Night Club                                       | P  | S   |   |    |

| Permitted Uses                         | TC | UMU | P | NR |
|----------------------------------------|----|-----|---|----|
| Off Premise Advertising Sign           | C  |     |   |    |
| Office, Medical                        | P  | P   |   |    |
| Office, Other Than Listed              | P  | P   |   |    |
| Open Air Vending/Transient Sales Lot   | P  | P   | P |    |
| Outcall Entertainment Referral Service |    |     |   |    |
| Outside Storage                        | S* | S*  |   |    |
| Package Liquor Off-Sale Establishment  | C  | C   |   |    |
| Parking Lot/Sidewalk Sale              | T  | T   | T |    |
| Parking, Commercial                    | P  | P   |   |    |
| Patio Cover                            | P  | P   |   | P  |
| Pawn Shop                              | P  | S   |   |    |
| Pawn, Auto                             | S* | S*  |   |    |
| Pet Boarding                           | C  | C   |   |    |
| Pet Shop                               | P  | P   |   |    |
| Post Office, Local Service             | P  | P   | P |    |
| Post Office, Regional                  | P  | P   |   |    |

| Permitted Uses                                | TC | UMU | P | NR |
|-----------------------------------------------|----|-----|---|----|
| Printing & Publishing                         | S  | S   |   |    |
| Prison/Custodial Institution                  |    |     |   |    |
| Private Club, Lodge or Fraternal Organization | S  | S   |   |    |
| Private Streets                               | P  | P   | P | P  |
| Psychology Practice                           | P  | P   | S |    |
| Public or Private School, Primary             | P  | P   |   |    |
| Public or Private School, Secondary           | P  | P   |   |    |
| Public Park or Playground                     | P  | P   | P | P  |
| Radio Broadcasting                            | P  | P   |   |    |
| Railroad Yard or Shop                         |    |     |   |    |
| Recording Studio                              | P  | P   |   |    |
| Recreational Vehicle and Boat Storage         | C  | C   |   |    |
| Recycling Collection Center                   | C  | C   |   |    |
| Rental Store, w/o Outside Storage             | P  | P   |   |    |
| Rental Store, w/Outside Storage               | S  | S   |   |    |
| Rescue Mission or Shelter for the Homeless    | S  | S   |   |    |

| Permitted Uses                                              | TC | UMU | P | NR |
|-------------------------------------------------------------|----|-----|---|----|
| Restaurant with Service Bar                                 | P  | C   |   |    |
| Restaurant, 2000 Sq. Ft. or more, w/Drive-Through           | P  | P   |   |    |
| Restaurant, 2000 Sq. Ft. or more, w/o Drive-Through         | P  | P   |   |    |
| Restaurant, Less than 2000 Sq. Ft., w/Drive-Through         | P  | P   |   |    |
| Restaurant, Less than 2000 Sq. Ft., w/o Drive-Through       | P  | P   | P |    |
| Retail Establishment with Accessory Package Liquor Off-Sale | C  | C   |   |    |
| Salvage or Reclamation of Products (Indoors)                |    |     |   |    |
| Salvage or Reclamation of Products (Outdoors)               |    |     |   |    |
| Seasonal Outdoor Sales                                      | T  | T   | T |    |
| Secondhand Dealer                                           | P  | P   |   |    |
| Senior Citizens Apartments                                  | P  | P   |   | P  |
| Service Station                                             | P  | P   |   |    |
| Sex Offender Counseling Facility                            |    |     |   |    |
| Sexually-Oriented Business                                  |    |     |   |    |
| Single Room Occupancy Residence                             |    |     |   |    |
| Slaughter and Processing of Live Poultry                    |    |     |   |    |

| Permitted Uses                                                     | TC | UMU | P | NR |
|--------------------------------------------------------------------|----|-----|---|----|
| Social Event with Alcoholic Beverage Sales                         | S  | S   |   |    |
| Social Service Provider, except Rescue Mission or Homeless Shelter | P  | P   | P |    |
| Sports Arena, Stadium or Track                                     | P  |     |   |    |
| Supper Club                                                        | P  | C   |   |    |
| Swap Meet                                                          | S* | S*  |   |    |
| Tattoo Parlor/Body Piercing Studio                                 | S  | S   |   |    |
| Tavern-Limited Establishment                                       | P  | C   |   |    |
| Taxicab/Limo Yard                                                  |    |     |   |    |
| Teen Dance Center                                                  | P  | S   |   |    |
| Temporary Contractor's Construction Yard                           | C  | C   | C | C  |
| Temporary Outdoor Commercial Event                                 | T  | T   | T |    |
| Temporary Real Estate Sales Office                                 | C  | C   | C | C  |
| Tennis Courts                                                      | P  | P   | P | P  |
| Thriftshop                                                         | S* | S*  |   |    |
| Thriftshop, Non-profit                                             | S* | S*  |   |    |
| Time Share Development                                             | P  | P   |   |    |

| Permitted Uses                                | TC | UMU | P | NR |
|-----------------------------------------------|----|-----|---|----|
| Towing & Impound Yard                         |    |     |   |    |
| Towing Service, No Storage                    |    |     |   |    |
| Trade School                                  | S  | S   |   |    |
| Trailer/RV Camp/Park                          | S* |     |   |    |
| Transit Passenger Facility                    | P  | S   |   |    |
| Transitional Living Group Home                | S  | S   |   |    |
| Truck Rental                                  | S  | S   |   |    |
| Trucking Company                              |    |     |   |    |
| TV Broadcasting & Other Communication Service | P  | P   |   |    |
| Urban Lounge                                  |    |     |   |    |
| Utility /Transmission Lines                   | C  | C   | C | C  |
| Utility Installation, Other than Listed       | C  | C   | C | C  |
| Valet Parking                                 | P  | P   |   |    |
| Warehouse/Distribution Center                 | S  | S   |   |    |
| Wedding Chapel                                | P  | P   |   |    |
| Welding Repair                                |    |     |   |    |

| Permitted Uses                                      | TC | UMU | P | NR |
|-----------------------------------------------------|----|-----|---|----|
| Wholesale Showroom Facility                         | S  | S   |   |    |
| Wireless Communication Facility, Non-Stealth Design | P  | P   | P |    |
| Wireless Communication Facility, Stealth Design     | P  | P   | P |    |

## **8.2 ACCESSORY USE STANDARDS**

[to be provided]

## **8.3 CONDITIONAL USE STANDARDS**

[to be provided]

## **8.4 SPECIAL USE STANDARDS**

[to be provided]

## **8.5 TEMPORARY USE STANDARDS**

[to be provided]

## Section 9

### Design Review

#### 9.1 INTRODUCTION

The Master Developer shall administer all project submittals and approvals for development within Kyle Canyon. The procedure described below shall be used to administer the implementation process.

As an expression of the Master Developer's vision for Kyle Canyon, the Design Guidelines are intended to provide builders, architects, civil engineers, and others an overall direction in the design process. The criteria contained within the Design Guidelines provides examples of ways in which the vision can be achieved, however, the Master Developer strongly encourages creativity, innovation, and variety throughout Kyle Canyon. Builders may propose other design solutions to project development, as long as the overall intent of the community vision and Design Guidelines is achieved.

All project submittals, whether designed in strict accordance with the design criteria contained herein or with other design solutions not specifically addressed in the Design Guidelines, will be reviewed by the Master Developer to ensure that all projects achieve the goals and objectives of the Master Developer's vision as expressed throughout the Design Guidelines document.

#### 9.2 IMPROVEMENTS REQUIRING REVIEW

All parcel improvements by the builder will require review and approval by the Master Developer. Improvements requiring review

include but are not limited to commercial and residential product including new construction, remodels, landscape, signage, and amenities such as parks, open play areas or community facilities and ancillary structures.

The Master Developer has the sole responsibility to enforce the Design Guidelines for all developments. The Master Developer shall review those developments and report to the City of Las Vegas prior to the City processing any building permit or subdivision map applications.

#### 9.3 MASTER DEVELOPER REVIEW

The Master Developer along with its architectural consultants, landscape consultants, and civil engineering consultants shall review each project submittal. In addition, the Master Developer may consult with other professional advisors as deemed appropriate. Projects for design review shall be submitted to the Master Developer on a form to be prepared and updated from time to time by the Master Developer.

#### 9.4 SUBMITTAL REQUIREMENTS

Two sets of the following items are required for submittal of production residential development plans prior to submittal to the City of Las Vegas. A Submittal Application and Checklist for Design Review must be submitted to the Master Developer (Refer to Figure 9-1).

##### **Preliminary Concept Site Plan** (Per Production Neighborhood; 1" = 40')

The purpose of this submittal is to ensure that the overall concept of the neighborhood design, particularly regarding the layout of proposed streets and lots, is consistent with the intent of the Design Guidelines *before* the builder begins preparation of tentative tract maps. The following are required elements of the Preliminary Concept Site Plan submittal:

- Conceptual street layout
- Conceptual lot layout

- Proposed pedestrian connections
- Adjacent streets and open space

#### **Detailed Development Plan (Per Production Phase; 1' = 40')**

- Proposed street locations and dimensions
- Proposed lot lines and dimensions
- Proposed pedestrian connections
- Pre-plotting of units along parcel edges that are Adjacent to and Visible from a Public Place
- Building footprints (Model and elevation must be specified)
- Driveway and/or alley placement
- Wall and Fence locations and heights
- Adjacent street(s) and open space
- Location of all required parking

#### **Architectural Plans**

- Floor plans with dimensions (1/8" = 1' - 0" or 1/4" = 1' - 0")
- Elevations for all four sides with dimensions (1/8" = 1' - 0" or 1/4" = 1' - 0"). Material call-outs and depth of recesses or pop-outs should be identified
- Floor area calculations including 1st floor living area, 2nd floor living area, and garage square footage
- Typical lot for each floor plan indicating building footprint, setback requirements, driveway locations, and sidewalk locations.

#### **Material and Color Sample Board (Maximum Size of Board(s): 11" x 17")**

Actual samples mounted on boards of the following:

- Primary stucco material sample and color(s)
- Secondary stucco material sample and color(s)
- Accent and trim material sample and colors

- Accent material samples (Stone, Brick, Masonry, Etc.)
- Roof tile (Material and Color)

#### **Landscape Plan (1" = 40')**

- Street tree species, size and location
- Neighborhood entries
- Planting and fencing details

Figure 9-1

| <b>SUBMITTAL APPLICATION AND CHECKLIST</b><br><b>Project Plan</b><br><b>For Kyle Canyon Design Review</b> |       |              |
|-----------------------------------------------------------------------------------------------------------|-------|--------------|
| <b>POD #/Name:</b>                                                                                        |       | <b>Date:</b> |
| <b>Builder:</b>                                                                                           |       |              |
| Contact Name                                                                                              |       |              |
| Address                                                                                                   |       |              |
| Telephone/Fax                                                                                             | (   ) | (   )        |
| Email                                                                                                     |       |              |
| <b>Architect:</b>                                                                                         |       |              |
| Contact Name                                                                                              |       |              |
| Address                                                                                                   |       |              |
| Telephone/Fax                                                                                             | (   ) | (   )        |
| Email                                                                                                     |       |              |
| <b>Civil Engineer:</b>                                                                                    |       |              |
| Contact Name                                                                                              |       |              |
| Address                                                                                                   |       |              |
| Telephone/Fax                                                                                             | (   ) | (   )        |
| Email                                                                                                     |       |              |
| <b>Landscape Architect:</b>                                                                               |       |              |
| Contact Name                                                                                              |       |              |
| Address                                                                                                   |       |              |
| Telephone/Fax                                                                                             | (   ) | (   )        |
| Email                                                                                                     |       |              |

- Please provide two (2) sets of each submittal along with this completed form and any other applicable documents to the address noted below.

|                   |
|-------------------|
| <b>Submit To:</b> |
|-------------------|

**Design Review Committee**

Focus Property Group . 3425 Cliff Shadows Parkway, Suite 110 Las Vegas, Nevada 89129 . Phone: (702) 242-4949 . Fax: (702) 568-2044

Figure 9-1

## SUBMITTAL APPLICATION AND CHECKLIST

### For Kyle Canyon Design Review

POD# \_\_\_\_\_ POD NAME: \_\_\_\_\_ PLAN DATE: \_\_\_\_\_

#### Detailed Development Plan

(Per Production Phase; 1' = 40')

##### Tentative Maps

- \_\_\_\_\_ Cross Section drawing that meets the requirements from the City of Las Vegas
- \_\_\_\_\_ Proposed street locations and dimensions
- \_\_\_\_\_ Proposed lot lines and dimensions
- \_\_\_\_\_ Proposed pedestrian connections
- \_\_\_\_\_ Sample building footprints (Model and elevation must be specified)
- \_\_\_\_\_ Sample driveway and/or alley placement
- \_\_\_\_\_ Wall and Fence locations and heights
- \_\_\_\_\_ Adjacent street(s) and open space
- \_\_\_\_\_ Location of all required parking
- \_\_\_\_\_ Proposed connections to water, sewer and storm drain facilities

##### Site Improvement Plan

- \_\_\_\_\_ Final grading
- \_\_\_\_\_ Grading details, all perimeter grading sections and details
- \_\_\_\_\_ Typical side corner grading sections on corner lots as appropriate to define all grading conditions
- \_\_\_\_\_ Storm drain improvements, storm drain inlet/outlet details along with any storm drain pipe profiles and wall/overflow opening details
- \_\_\_\_\_ Potable water improvements (Plan and profile)
- \_\_\_\_\_ Sanitary sewer improvements (Plan and profile)
- \_\_\_\_\_ Street lighting improvements
- \_\_\_\_\_ Paving plans with all appropriate street sections
- \_\_\_\_\_ Perimeter wall opening locations with dimensions
- \_\_\_\_\_ List of construction quantities
- \_\_\_\_\_ Final grading
- \_\_\_\_\_ Grading details, all perimeter grading sections and details
- \_\_\_\_\_ Typical side corner grading sections on corner lots as appropriate to define all grading conditions
- \_\_\_\_\_ Storm drain improvements, storm drain inlet/outlet details along with any storm drain pipe profiles and wall/overflow opening details
- \_\_\_\_\_ Potable water improvements (Plan and profile)
- \_\_\_\_\_ Sanitary sewer improvements (Plan and profile)
- \_\_\_\_\_ Street lighting improvements
- \_\_\_\_\_ Paving plans with all appropriate street sections
- \_\_\_\_\_ Perimeter wall opening locations with dimensions
- \_\_\_\_\_ List of construction quantities
- \_\_\_\_\_ Drainage study must be submitted with the first submittal of Improvement Plans.

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Figure 9-1

## SUBMITTAL APPLICATION AND CHECKLIST

### For Kyle Canyon Design Review

POD# \_\_\_\_\_ POD NAME: \_\_\_\_\_ PLAN DATE: \_\_\_\_\_

#### **Final Map**

(Please submit two (2) bond copies along with Mylar for approval)

\_\_\_\_\_ All information required by the City of Las Vegas as follows:

- Signed by owner and notarized
- Signed and stamped by Surveyor
- Name of proposed project
- Vicinity map
- Total acreage
- Total number of lots/lot & block numbers
- Lot sizes/dimensions/curve data information
- Street names/street widths
- Legend/north arrow/scale (each sheet)
- Adjacent Assessor's Parcel Numbers/record information/recorded dedications

\_\_\_\_\_ All necessary utility, ingress/egress, or sight visibility easements and right of way dedications across common lots. Final maps submitted for review without all appropriate easement/right-of-way information will be deemed incomplete.

\_\_\_\_\_ Any grant deeds required by the public agencies based upon information required in the preceding item.

#### **Recorded Final Map**

(Please submit documents below upon recordation)

\_\_\_\_\_ One (1) full sized copy of the Recorded Final Map

\_\_\_\_\_ Three (3) 11" x 17" copies of the Recorded Final Map

Three (3) copies of the addresses

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Figure 9-1

## SUBMITTAL APPLICATION AND CHECKLIST

### For Kyle Canyon Design Review

POD# \_\_\_\_\_ POD NAME: \_\_\_\_\_ PLAN DATE: \_\_\_\_\_

#### Plot Plan

#### Detailed Development Plan

(Per Production Phase; 1' = 40')

#### **Preliminary Plot Plan (Drawing must be scaled)**

- \_\_\_\_\_ Pre-plotting of units along parcel edges that are Adjacent to and Visible from a Public Place
- \_\_\_\_\_ Building footprints (typical, Model and elevation must be specified)
- \_\_\_\_\_ Setback requirements (typical)
- \_\_\_\_\_ Driveway locations and walls (typical)
- \_\_\_\_\_ Existing adjacent units with pad elevation and footprint/elevation identification
- \_\_\_\_\_ Legend or key diagram showing:
  - All different building footprints in project
  - Identification of each footprint by model number, one-story vs. two-story, plottable on corner lot or next to open space

#### **Final Plot Plan (required for all lots adjacent to community exterior roadway)**

(Please provide plot plans, approved pod final map base line work and associated x-ref's in DWG format as an electronic document to [cshukis@fcglv.com](mailto:cshukis@fcglv.com). If the file size is too large to email please send a copy of the documents on CD.)

- \_\_\_\_\_ Plot of individual lots or all lots showing:
  - Building footprint
  - Building identification
  - Pad elevation – Finished floor.
  - Grading
  - Setbacks/Building Envelope
  - Product walls
  - Retaining walls
  - Driveways
  - Sidewalks
  - Existing adjacent units with pad elevation and footprint/elevation identification
- \_\_\_\_\_ Legend or key diagram showing:
  - All different building footprints in project
  - Identification of each footprint by model number, one-story vs. two-story, plottable on corner lot or next to open space

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Figure 9-1

## SUBMITTAL APPLICATION AND CHECKLIST

### For Kyle Canyon Design Review

POD# \_\_\_\_\_ POD NAME: \_\_\_\_\_ PLAN DATE: \_\_\_\_\_

#### Architectural Plans

(Two (2) design submittal sets, each on a CD in a PDF format, and two (2) sets of hard-copies (half size 12"x18" sets 1/8" scale). Also include a copy of the approved site plan for reference.

|       |                                                                                                                                                                            |                              |
|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| _____ | Identify POD number on the title sheet of architectural package and/or on the title block of each page                                                                     | _____ of the submittal       |
| _____ | Provide separate submittal sets for each building type. (Minimum two (2) building types required for                                                                       | _____ Single Family)         |
| _____ | Identify building type (architectural style per plan) on the title sheet of each set and/or on each page of the submittal                                                  |                              |
| _____ | Floor plan of each residence with dimensions (1/8" scale preferred or 1/4"). Dimensioned unit floor plans and building composites for attached and multi-family products   |                              |
| _____ | Floor plan modifications (if any) per architectural style                                                                                                                  |                              |
| _____ | Wrap elevations with dimensions for each architectural style. (Label architectural style for each                                                                          | _____ elevation)             |
| _____ | Enhanced elevations for corner side and visible side and rear elevations                                                                                                   |                              |
| _____ | Elevation drawings for all four sides of each residence with material call-outs on all elevations                                                                          |                              |
| _____ | Photographs or sketches of front elevations (and side and rear elevations if visible from any street) of                                                                   | _____ each residence         |
| _____ | Material call-outs and depth of recesses or pop-outs should be identified                                                                                                  |                              |
| _____ | Floor area calculations (1 <sup>st</sup> floor, 2 <sup>nd</sup> floor, garage, porches, etc.) including living area per floor, total living area and garage square footage |                              |
| _____ | Typical lot for each floor plan indicating building footprint, setback requirements, driveway locations                                                                    | _____ and sidewalk locations |

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Figure 9-1

## SUBMITTAL APPLICATION AND CHECKLIST

### For Kyle Canyon Design Review

POD# \_\_\_\_\_ POD NAME: \_\_\_\_\_ PLAN DATE: \_\_\_\_\_

#### Landscape Plan

- \_\_\_\_\_ Street tree species, size and location
- \_\_\_\_\_ Entry Plan, Neighborhood Entries
- \_\_\_\_\_ Entry wall locations and identification signage
- \_\_\_\_\_ Planting and fencing details
- \_\_\_\_\_ Common Area Plan
- \_\_\_\_\_ Typical lot landscape including all corner lots
- \_\_\_\_\_ Model homes landscape
- \_\_\_\_\_ Section drawings through landscaped drainage ways
- \_\_\_\_\_ Existing vegetation to be preserved

#### Landscape Materials Sample Board

- \_\_\_\_\_ Color chips
- \_\_\_\_\_ Manufacturer's cut sheets
- \_\_\_\_\_ Photographs and/or material samples for all landscape materials including, without limitation, walls, fences, textured paving, gravel mulch, site furnishings, stucco, paint, stain, and other visible exterior finishes

#### Landscape Construction Drawings

- \_\_\_\_\_ Construction and Drainage Plans
- \_\_\_\_\_ Irrigation plans
- \_\_\_\_\_ Planting plans with botanical and common names
- \_\_\_\_\_ Construction details with dimensions and specifications
- \_\_\_\_\_ Points of connection for water
- \_\_\_\_\_ Points of connection for power

#### Material and Color Sample Board (Maximum Size of Board(s): 11" x 17") – Actual samples mounted on boards of the following:

- \_\_\_\_\_ *Actual* Color chips for all color schemes
- \_\_\_\_\_ Manufacturer's cut sheets
- \_\_\_\_\_ Photographs and/or material samples for all building materials
- \_\_\_\_\_ Material and Color Board (maximum size of board(s): 11" x 17", preferred size: 8 1/2" x 11")
- \_\_\_\_\_ Noted or color coded elevations (front, side and rear)
- \_\_\_\_\_ Primary stucco material sample and color(s) (actual paint chip)
- \_\_\_\_\_ Secondary stucco material sample and color(s) (actual paint chip)
- \_\_\_\_\_ Accent and trim material sample and color(s) (actual paint chip)
- \_\_\_\_\_ Accent material sample(s) (stone, brick, masonry, etc.) (Manufacturer's printed picture)
- \_\_\_\_\_ Roof tile(s) (actual material and color samples)

#### Marketing Signage Plan

- \_\_\_\_\_ Illustrate layout and design details for all informational, directional, temporary and construction signage
- \_\_\_\_\_ Site plan showing location of signage

Submit To:

Design Review Committee

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## KYLE CANYON

### TYPICAL RESIDENTIAL SUBMITTAL:

- ☐ Approved
- ☐ Approved with conditions
- ☐ Address Comments & Re-submit
- ☐ Incomplete
- ☐ Denied

POD: \_\_\_\_\_

PLAN DATE: \_\_\_\_\_

### PLEASE ADDRESS:

- ☐ Some plans listed are not on the approved plant palette. Please provide plant substitution/re-location requirements. Note: All trees and shrubs must be per the approved plant palette. If possible, coordinate with the adjacent streetscape planting.
- ☐ Provide botanical names for plant material.
- ☐ Identify/clarify irrigation controller location and any other above ground meters, transformers, etc.
- ☐ Drainage and grading is not indicated.
- ☐ Mound elevations must be shown on the plan.
- ☐ Boulder type should be specified on the plan.
- ☐ We strongly encourage the use of a xeriscape/drought tolerant palette.
- ☐ Only artificial turf allowed in front yards that are 250 sqft. minimum. Artificial turf must be Synlawn or an alternate must be submitted for review. Border should a minimum four inches of either concrete, grouted stone, masonry product or steel edging that is flush to grade. Specify materials on plan.
- ☐ Full coverage of granite mulch. Size and color must be indicated on plans. Granite colors to maintain consistent between lots and neighborhoods.
- ☐ River rock is discouraged and granite cobble is preferred.
- ☐ Two 24" box trees are required for each front yard.
- ☐ Trees should be spaced at least 15 feet apart, or if trees must be spaced closer, they should be the same small tree species.
- ☐ Trees to be set back a minimum of three feet on center from hardscape structures such as sidewalks, curbs, driveways, fences and walls.
- ☐ Shrub Density: 1-5 Gal and 1-1 Gal per 40 sqft. 1-1 Gal Accent per 125 sqft.
- ☐ Foundation planting must completely cover the visible portion of the houses base including all backflow preventer units. Planting to screen the areas of the house just above the finished grade as well as large expanses of wall.
- ☐ Each yard must contain at least five different plant species and no more than ten.
- ☐ Plants should be grouped and layered into flowing drifts to complement other plants of varying heights and textures.
- ☐ Access to rear yards at side yard must be maintained.
- ☐ Corner lots must have one 24" box tree per 30 linear feet along street and 60% plant coverage.
- ☐ Note total square footage of landscape area on plan.

### OTHER:

☐ \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## KYLE CANYON

### MULTI-FAMILY RESIDENTIAL SUBMITTAL:

POD: \_\_\_\_\_

- ☐ Approved
- ☐ Approved with conditions
- ☐ Address Comments & Re-submit
- ☐ Incomplete
- ☐ Denied

PLAN DATE: \_\_\_\_\_

### PLEASE ADDRESS:

- ☐ Some plans listed are not on the approved plant palette. Please provide plant substitution/re-location requirements. Note: All trees and shrubs must be per the approved plant palette. If possible, coordinate with the adjacent streetscape planting.
- ☐ Provide botanical names for plant material.
- ☐ Identify/clarify irrigation controller location and any other above ground meters, transformers, etc.
- ☐ Drainage and grading is not indicated.
- ☐ Mound elevations must be shown on the plan.
- ☐ Boulder type should be specified on the plan.
- ☐ River rock is discouraged and granite cobble is preferred.
- ☐ Identify view corridor triangles at all cross traffic locations.
- ☐ Granite size and color must be indicated on plans. Parcel interiors must specify consistent granite color for common areas and front yards.
- ☐ Lawn is only allowed in park and recreation areas. Lawn must have a minimum 18" setback from curb and minimum width of 10'.
- ☐ We strongly encourage the use of a xeriscape/drought tolerant palette.
- ☐ Palms are not allowed.
- ☐ A minimum of one 24" box tree is required every 30 l.f. on center within landscape area in common areas and one 24" box tree for every 750 sq. ft. in recreational areas.
- ☐ Common areas must have a minimum of 75% vegetative coverage with a minimum of 50% of that coverage consisting of 5-gallon material.
- ☐ Multi-family parking lots must have:
  - ☐ A planting perimeter of 10'-0"
  - ☐ Perimeter landscape a minimum of one 24" box tree for every 30 .f. of landscape area.
  - ☐ A minimum of one 24" box tree for every 8 parking spaces.
- ☐ Landscape islands in parking areas shall have a minimum of one 24" box tree per parking stall depth.
- ☐ All non-paved areas within the perimeter and interior of parking lots shall be landscaped with a combination of plant materials and rock mulch.
- ☐ Parking visible from roadways and community open space shall be screened with a combination of berms, low walls or landscape. Maximum height of berms, walls and landscaping shall be 3'0" from the top of curb of the parking area for safety.

### OTHER:

- ☐ \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## **9.5 DESIGN REVIEW AND APPROVAL PROCESS**

The Master Developer shall review each project submittal. The Master Developer shall make the final decision regarding approval of the submittal.

The Master Developer shall review each submission for the design's commitment to overall community development and adherence to these Design Guidelines. The Master Developer is not responsible for the review of submissions to determine conformance to any applicable codes and standards established by public agencies.

Submittals that are "Approved" by the Master Developer may then be submitted to the City of Las Vegas, if required. The Master Developer expects that its Development Agreement with the City will require city review of multi-family and commercial projects. Submittals that are "Approved with Conditions" or "Denied" shall be revised as necessary and re-submitted to the Master Developer for approval. All submittals must be approved by the Master Developer prior to submission to the City of Las Vegas or other public agencies.

## **9.6 ADMINISTRATION**

### **9.6.1 AMENDMENT**

The Design Guidelines may be amended from time to time by the Master Developer in accordance with the approved Development Agreement.

### **9.6.2 PREVALENCE OF DEVELOPMENT DECLARATION**

In the event of any conflict between the provisions of the Design Guidelines and the Development Declaration, the most restrictive shall prevail.

### **9.6.3 MISCELLANEOUS**

All items submitted during the review process shall become the property of the Master Developer. Changes to the approved plans shall be re-submitted to the Master Developer for approval and shall clearly identify the revision(s).

### **9.6.4 PROSECUTION OF WORK AFTER APPROVAL**

After approval of the final plans by the Master Developer, the construction, alteration or other work described therein shall be commenced and completed in accordance with the rules set forth in these Design Guidelines and the Development Declaration. The Master Developer or its representative has the right to enter the lot or premises and to inspect the project for compliance with the Design Guidelines or Development Declaration at any time, without advance notice to the lot owner nor fear of trespass and liability.

### **9.6.5 VIOLATIONS**

Construction deemed by the Master Developer to be in violation of approved drawings, the Design Guidelines, or the Development Declaration shall be corrected as described in the Development Declaration.

### **9.6.6 RECORDATION OF NOTICE**

Upon approval of the final plans, the Master Developer shall, upon written request from the applicant, provide a statement of approval in a form appropriate for recordation. The Master Developer may also record a notice to reflect any work which has not been approved or any approval previously given which has been revoked.

### **9.6.7 RULE MAKING AUTHORITY**

The Master Developer adopts these Design Guidelines for the purpose of interpreting, applying, supplementing and implementing the provisions of the Development Declaration pertaining to the design of site improvements. A copy of the Design Guidelines as from time to time adopted, amended or

repealed, shall be maintained in the office of the Master Developer and the City of Las Vegas, and shall be available for inspection during normal business hours by any applicant or any architect or agent of any such applicant. It shall be the responsibility of the applicant or architect or agent of any such applicant to inform themselves as to any and all such changes of these Design Guidelines.

**9.6.8            LIABILITY OF COMMITTEE**

Provided that the Master Developer acts in good faith, neither the Master Developer nor any representative thereof shall be liable to any applicant or any other person for any damage, loss or prejudice suffered or claimed on account of the review of any plans, specifications or materials. The review and delivery of a form of approval or disapproval is not to be considered an opinion as to whether or not the plans are defective or whether the construction methods or performance of the work proposed therein is defective, or whether the facts therein are correct or meet Las Vegas Building Codes.

**9.6.9            PROFESSIONAL ADVICE**

The Master Developer may employ the services of an architect, attorney, land planner, landscape architect or engineer to render professional advice and may charge the cost for services of such a professional to the applicant, but only after the applicant has been informed in advance such compensation shall be so charged.

## Section 10

### Glossary

As used in these Design Guidelines the following terms will have the definitions ascribed below:

Adjacent to and Visible from a Public Place means, with respect to any object, that such object is located within a parcel that abuts a Public Place and can be seen readily by a person of average height standing on the ground in a Public Place without the assistance of any optical aid such as a telescope or binoculars.

Alley means a road, whether public or private, that serves primarily as an access to garages.

Alley Zone means the landscapeable common area adjacent to any Alley.

Arroyo means the area shown on Figure 2-3, in which the natural washes will be preserved and enhanced.

Builder means the owner of any parcel within Kyle Canyon that proposes or commences any construction on such parcel. The term Builder refers to both Residential Builders and Non-Residential Builders.

Carriage Unit means living space on one or more floors immediately above a garage.

City means the City of Las Vegas.

Community Parks means the areas identified on Figure 2-3, which are to contain various recreational amenities.

Development Agreement means an agreement between the Master Developer and the City of Las Vegas regarding the development of Kyle Canyon, entered into pursuant to NRS 278.

Development Declaration means a Declaration of Development Restrictions recorded against a parcel of land within Kyle Canyon that imposes restrictions on the development of such land in favor of the Master Developer.

Development Parcel means each of the parcels shown on Figure 2-1, which are intended to be created as legal parcels.

Front-Drive Garage means a garage facing the street with a minimum recess of 5' from the façade of the principal building.

Master Developer means Kyle Acquisition Group, LLC.

Master HOA means a homeowner's association, the members of which shall be all owners of residential property within Kyle Canyon.

Mirador means a second story roofed living space that is integral to the floor plan. A roof element must cover 100% of the mirador floor area and shall consist of forms and materials that match the residence.

Multi-Family Home means a dwelling unit within a structure that is divided into more than one dwelling unit and in which one family or

household lives above another or in which dwelling units do not have separate outside entrances.

Residential Parcel means each of the Neighborhood Residential Parcels, Urban Mixed-Use Parcels, and Town Center Mixed-Use Parcels shown on Figure 2-1 and any legal parcels created by a further subdivision of any such Residential Parcels that are intended to be developed into two or more residences or one or more non-residential structures by a single Builder.

Master CC&Rs means the Master Declaration of Covenants, Conditions & Restrictions for Kyle Canyon.

Neighborhood Streets means all of the roads within Kyle Canyon, whether public or private, other than the Village Streets. The Neighborhood Streets are to be constructed by the Builder of the Parcel.

Public Place means the right-of-way of a public street or sidewalk or a park area open to the general public.

Single Family Home means a dwelling unit for one household or family. The structure may be detached or attached to another dwelling unit. Attached dwelling units are considered Single Family Homes as long as the unit itself is not divided into more than one housing unit and has an independent outside entrance. Attached dwelling units that meet the foregoing definition are considered single family regardless of the legal form of ownership, whether condominium, cooperative or other form of ownership.

SNWA means the Southern Nevada Water Authority.

Story means the enclosed portion of a building between the surface of any floor and the surface of the floor next above it; or if there is not

floor above it, then the space between the floor and the ceiling next above. Rooftop decks (covered or uncovered) shall not be considered a "story."

Town Center means the retail and mixed use areas within the West Side Urban District.

Village Streets means all of the roads within Kyle Canyon depicted on Figure 6-1 that are to be constructed by the Master Developer. The Village Streets are contrasted with the "Neighborhood Streets," which are to be constructed by the individual builders within each Neighborhood.

## **Section 11**

### **Exhibits**

- A. WATER SMART HOME STANDARDS**
- B. INTERNATIONAL ENERGY CONSERVATION CODE**

**EXHIBIT A**  
**WATER SMART HOME STANDARDS**

**SOUTHERN NEVADA WATER AUTHORITY**



**Water Smart Homes Program  
Homebuilder Participation Agreement**

This Agreement is made this \_\_\_\_\_ day of \_\_\_\_\_,  
20\_\_\_\_, by and between The Southern Nevada Water Authority  
and \_\_\_\_\_.  
(Homebuilder Company Name)

**WHEREAS:**

The Southern Nevada Water Authority (the "Authority")  
offers a promotional program for Water Smart Homes  
("Program"), and

The purposes of the Program are to establish minimum  
voluntary standards for water efficiency in new residential  
homes and communities and encourage consumers to select such  
homes, and

The homebuilder (Contractor) wishes to participate in the  
Program.

**THEREFORE:**

In consideration of the principles of the Program and of the  
mutual promises and agreements set forth in this Agreement  
and referenced addendums, the parties agree as follows:

**GENERAL PROVISIONS**

**1. Commencement and Expiration of Agreement**

The terms of this Agreement shall commence on the date of  
acceptance. The agreement shall be perpetual unless cancelled  
by written notice by either party. If there is an existing Water  
Smart Home Program agreement between the parties, this  
agreement will serve to supercede it.

**2. Termination of Agreement**

This Agreement may be terminated by either party, with or  
without cause by providing not less than thirty (30) days written  
notice to the other party of its intention to terminate.  
Contractor's sole remedy for any alleged breach of this  
agreement is termination pursuant to this provision.

**3. Governing Laws**

This Agreement and all rights, duties and obligations hereunder  
shall be governed by the laws of the state of Nevada and the city  
and/or county jurisdiction where the home design and  
construction is performed.

**4. Assignment**

The Contractor may not assign nor delegate any portion of this  
Agreement to a third party.

**5. Indemnity**

5.1 Contractor shall protect the property of the homebuyer and  
others at the work site or in the proximity of the work site.  
Contractor shall take all necessary precautions for the safety of  
employees at the work site. Contractor shall comply with all

applicable provisions of federal, state and local safety laws and regulations to prevent accidents or injuries to persons or damage to property on or about or adjacent to the premises where the work is being performed.

5.2 Contractor agrees to indemnify and hold harmless any and all directors, officers, employees and agents of the Authority and any of its member agencies against all claims and demands arising out of:

a. Injuries to persons, including deaths resulting therefrom and damage to property occurring at anytime during the term of this Agreement as direct or indirect result of the design and/or installation by Contractor, or negligence or omission by Contractor, its subcontractors, agents, employees.

b. Contractor's fraudulent use or misrepresentation of this Program.

#### 6. Independent Contractor

Contractor's participation in the Program shall be as an independent contractor and not as an agent or employee of the Authority or any of its member agencies.

#### 7. Waiver

The failure or election of the Authority to enforce the terms and conditions of this Agreement or to exercise any right or privilege therein shall not be construed as a waiver of any other terms, conditions, rights or privileges.

#### 8. Entire Agreement

8.1 This Agreement along with any and all documents incorporated by reference herein shall constitute the sole and entire Agreement and understanding between the parties as to the subject matter.

8.2 Any prior understandings, commitments or representations, expressed or implied between the parties shall not be construed to alter or waive any part of this Agreement.

### PROGRAM PROVISIONS

#### 9. Contractor as Principal

Contractor shall retain sole and principle responsibility for any and all work performed by subcontractors of Contractor pursuant to this Agreement.

#### 10. License and Permit Requirements

10.1 Contractor shall hold all necessary licenses from all appropriate entities and governmental agencies in the state of Nevada, and applicable city and/or county jurisdictions as required.

10.2 Contractor warrants all such licenses are now and shall remain current and in good standing during the term of this Agreement.

10.3 Contractor shall obtain any and all permits or authorizations required to design and/or construct all homes, landscapes and relevant facilities.

#### 11. Equipment and Performance Standards

The Contractor agrees to abide by all requirements and standards set forth in Agreement Addendum A and further agrees that the Authority may revise the requirements and standards by providing written notice to the contractor not less than 90 days prior to the effective date of the new requirements and standards. In the event the requirements and standards are changed during the construction of a project, the Contractor may elect to abide by either the requirements and standards in effect

on the date the project was submitted to the Authority for inclusion in the Program, or by the standards in effect on the date of completion.

## 12. Training

12.1 The Contractor agrees to designate a primary designee as a point of contact. The designee and the following additional parties will be required to attend a program orientation of not more than two (2) hours. The Authority will determine class content.

- All construction managers
- All superintendents
- A representative from each plumbing and landscape subcontractor

At the Contractor's request, the Authority will provide supplemental training for the Contractor's sales and/or customer service representatives.

12.2 The Contractor's designee agrees to arrange and participate in a minimum of three mock inspections at three completed, unoccupied homes constructed by the Contractor. The appropriate construction manager or superintendent for the project must also attend. If any features fail in a mock inspection, an additional mock inspection will be required. This training requirement will be fulfilled when three successful inspections are recorded. There will be no charge for up to ten training inspections, after which, the Contractor will be charged the normal inspection fee.

12.3 At the Authority's discretion, the Contractor's designee may be required to attend an annual refresher training of not more than two (2) hours. The Authority will determine class content.

12.4 Costs incurred by Contractor for staff training (i.e. salaries, transportation) will be the sole responsibility of Contractor and will not be reimbursed by the Authority.

## 13. Use of SNWA's Water Smart Home Program Name and Logo

13.1 Only participating Contractors that have successfully completed training requirements in Section 12 may use the Program logo and materials in their advertising.

13.2 Use of the Program name, logo and materials does not constitute an endorsement of the Contractor.

13.3 No changes are permitted to the Program name and logo without express approval from the Authority.

13.4 All advertising by Contractor must include the State of Nevada Contractor's license number (Nevada Revised Statute 624.720(2)).

13.5 Upon termination of this Agreement by either party, Contractor must immediately cease and desist use of the Program name, logo and materials in their advertising.

13.6 Should this agreement be terminated for any reason, Contractor agrees that the SNWA may seek extraordinary relief in the form of a temporary restraining order, preliminary or permanent injunction requiring Contractor to cease use of SNWA program name and logo, and agrees that all legal conditions for that relief are met, including specifically a showing of irreparable harm to SNWA.

#### 14. Customer Solicitation

14.1 The Authority will not provide any of its member agencies' customer information to Contractor for the purpose of solicitation or advertisement.

14.2 At its discretion, the Authority will provide promotional and advertising support through mediums such as but not limited to its web site, newsletters, news releases, decals, and collateral materials for Contractor to promote their participation in the Program.

#### 15. Customer Disputes

15.1 At its discretion, the Authority may investigate Contractor compliance with the Requirements and standards set forth in Addendum A of this Agreement.

15.2 Contractor shall be solely responsible for the resolution of any and all disputes between customer and Contractor. Failure to resolve disputes may result in removal of Contractor from the Program.

#### 16. Exclusive Benefit of the Parties

16.1 This Agreement is not intended to create any rights, powers or interest in any third party and is made and entered into for the exclusive benefit of "the Authority" and "SNWA".

#### 17. Non-discriminatory Employee Practices

17.1 The Contractor shall not employ discriminatory practices in the provision of services, employment of personnel, or in any other respect on the basis of race, color, religion, sex, national origin, ancestry, or physical or mental handicap. During the performance of this Agreement the Contractor agrees as follows:

No person in the United States shall, on the grounds of race, color, religion, national origin, sex or sexual preference, be excluded from participation in, be denied the benefits of, or be subject to discrimination under any program or activity made possible by or resulting from this Agreement.

The Contractor will not discriminate against any employee or applicant for employment because of race, color, religion, sex, sexual preference, national origin, ancestry, or physical or mental handicap. The Contractor shall take affirmative action to ensure that applicants are employed, and the employees are treated during employment, without regard to their race, color, religion, sex, national origin, ancestry, or physical or mental handicap. Such action shall include, but not be limited to, the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provision of this nondiscrimination clause.

The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, religion, sex, sexual preference, national origin, ancestry, or physical or mental handicap.

The Contractor will send to each labor union or representative of workers with which it has a collective bargaining agreement or other contract or understanding, a notice advising the said labor union or workers representatives of the Contractor's commitment under this Section and shall post copies of the notice in conspicuous places available to employees and applicants for employment.

Contractor

\_\_\_\_\_  
Contractor License Number

\_\_\_\_\_  
Contractor Company Name

\_\_\_\_\_  
Representative Name

\_\_\_\_\_  
Representative Title

\_\_\_\_\_  
Representative Signature

\_\_\_\_\_  
Date:

Southern Nevada Water Authority

\_\_\_\_\_  
Representative Name

\_\_\_\_\_  
Representative Title

\_\_\_\_\_  
Representative Signature

\_\_\_\_\_  
Date:

## Agreement Addendum A Water Smart Home Program

### Annual Fee

To participate, Contractor must pay an annual fee based upon the number of homes built in the calendar year preceding the effective date of the agreement. The annual fee schedule is as follows:

\$2,000 per Contractor, plus

\$5 per home sale transaction closed the previous calendar year. Only dwellings with land use codes 110 and 160 will be used in calculating the fee.

The fee is payable on or before the effective date of this agreement. The annual fee shall be for the period of March 1 through February 28 (or February 29, when appropriate). In the event a contractor enrolls in the program after the year has commenced, the fee shall be prorated based upon the number of days remaining. Notices of fee renewal shall be issued in March of each year. Payment is due 30 days from the invoice date.

All annual fees will be used to market the program. The annual fee is not refundable if the Contractor elects to terminate the agreement. In the event the Authority terminates the agreement, the Contractor will receive a pro-rated refund based upon the number of days remaining in the agreement period.

### Inspections and Inspection Fees

For the purpose of inspecting for Program compliance, the Contractor agrees to allow the Authority reasonable access to any home, structure or landscape area submitted to receive a Water Smart designation. The Contractor may request a

compliance inspection at any point in the construction process provided that all of the required items are completed and functional at the time of inspection.

The Authority reserves the right to select a sample of homes and/or common areas for inspection. The quantity of homes inspected will comprise not less than ten percent (10%) of the total number of homes submitted by the Contractor in any subdivision or subdivision phase. If two to ten homes are submitted, at least two shall be inspected. If only one home is submitted it will be inspected. All community buildings will be required to be inspected in addition to the required home inspections.

The Contractor agrees to pay the Authority \$100.00 for each home or community structure inspected. The Authority will bill the Contractor for inspections on a quarterly basis. Payment is due 30 days from the invoice date. If payment is not received within 35 days, a second notice shall be issued. If payment is not received within 60 days of the first invoice, inspections shall be suspended and the Contractor may be suspended from the program until the account is paid in full.

Any home that fails to meet the program requirements shall be subject to reinspection by the Authority at the Contractor's expense.

### Program Participant Designations

There are two designations:

Water Smart Home  
Water Smart Neighborhood

The participating homebuilder may use either of the two designations by meeting the qualifying standards for each.

Water Smart Home – A single-family home or townhome constructed by a participating builder that is built to meet the minimum standards established by SNWA.

Water Smart Neighborhood– A multi-home development of homes and/or townhomes constructed by a participating builder wherein all of the dwellings are Water Smart Homes and the common area landscapes and structures meet minimum standards established by SNWA.

Technical Standards for Single-Family Homes and Townhomes Water and Sewer Service

Water Smart Homes must meet all the following prerequisites:

- Single-family homes and townhomes with Land Use Codes of 110 and 160.
- Individually metered to receive water from a member agency of the Southern Nevada Water Authority.
- Discharge all wastewater to a public sewer system.

#### Quality of installation

All components must be properly installed. The Authority may reject or require corrective action on any home with devices improperly installed, or where any components are determined to be defective or malfunctioning prior to occupancy. The Authority may reject any home where it is determined that a leak, seen or unseen, exists in the plumbing system at the time of inspection.

#### Landscape Design

All landscapes and irrigation work performed by the homebuilder or their subcontractor is guaranteed to comply with applicable laws and codes in effect at the time of installation.

No turf will be used in front yards. If the builder offers backyard landscaping, turf will not exceed 50 percent of the total

landscapable area of the back yard, or 1,000 square feet, whichever is less. If a pool and/or spa are installed prior to owner occupancy, the water surface area will be deducted from the turf allowance. Homebuyers will have an option to select turf varieties with greater water efficiency, such as improved varieties of Bermuda, Zoysia, Buffalo and other warm-season grasses. Ryegrass, Bluegrass, Bentgrass and Dichondra lawns are prohibited.

Builders will not install or facilitate installation of ornamental water features except as allowable components of a swimming pool or spa.

#### Irrigation System Standards

The Contractor guarantees that all irrigation systems, if properly operated and maintained, can sustain the landscape without creating flow or spray that leaves the property. Irrigation systems shall meet the following standards:

Compliance Criteria for Irrigation Systems

| Type of irrigation system      | Minimum continuous operating duration without generating spray or flow off property |
|--------------------------------|-------------------------------------------------------------------------------------|
| Pop-up, fixed-spray sprinklers | 7 minutes                                                                           |
| Rotor sprinkler heads          | 20 minutes                                                                          |
| Drip irrigation                | 30 minutes                                                                          |
| Subsurface irrigation          | 10 minutes                                                                          |
| Flood bubblers                 | 10 minutes                                                                          |

On all new landscape installations, separate control zones (valves) will be used for each type of watering device. For example, drip emitters will be operate separately from sprinkler heads.

Sprinkler heads will be used only to water turfgrass (where allowed) and will have a 4" or greater pop-up height and matched precipitation nozzles.

Drip irrigation systems will be equipped with a pressure regulator, filter, flush end assembly and any other appropriate components. Components will be accessible for maintenance.

Contractor-provided irrigation controllers will have the following minimum features:

- Two or more programs
- Three or more start times per program
- One-minute incremental watering time
- Even/odd day scheduling
- Day interval scheduling
- Day of week scheduling
- Capable of accepting external soil moisture and/or rain sensors
- Non-volatile memory or self-charging battery circuit

A seasonal watering schedule for each zone will be posted at the controller.

An owner's manual will be provided for all irrigation controllers and other irrigation components.

Non-turf areas will include a minimum 2-inch layer of mulching material. If weed barrier fabric is used, it will be permeable to air and water. Permeable grade artificial turf may be used to meet the mulch requirement.

A one-year limited warranty will be offered on builder-installed landscaping. Terms of the warranty are at the discretion of the builder. The warranty must be provided to the homebuyer.

### Swimming Pools and Spas

Even if no pool or spa is installed by the builder, all homes must be equipped to facilitate the draining of pool and spa water to the sanitary sewer.

Each dwelling shall have an exterior sewer cleanout downstream of all other sewer connections for the structure and located inside an enclosure. Enclosures must be adequately sized and shaped to allow reasonable access to use tools to remove the cap from the pipe. The enclosure lid must be clearly and permanently marked "SEWER." The words "POOL DRAIN" may be added at the Contractor's discretion.

Pool and spa water surface areas will be deducted from the maximum allowable turf area. The combined area of turf and open water may not exceed 1,000 square feet.

Pools may not feature decorative water features that drop or propel water more than 24 inches above the main water surface.

### Minimum Plumbing Standards

Service pressure for all uses (indoor and outdoor) must be 60 psi or less. Compliance may be achieved by use of a pressure-regulating valve (PRV) downstream of the water meter. In the event static water pressure is at or below 60 psi, no PRV is necessary. All fixtures and irrigation system connections must be downstream of the pressure regulator.

All plumbing fixtures must be UPC approved.

High-efficiency indoor plumbing fixtures

Toilets 1.6 gallons maximum per flush.

Kitchen faucets 2.2 gallons per minute (gpm) maximum

Bathroom faucets 1.5 gallons per minute (gpm) maximum

Shower fixtures – Total water output for shower heads and similar devices may not exceed 2.5 gallons per minute (gpm) maximum. If the device has multiple nozzles (such as a body spray unit), the collective volume of all nozzles the user may operate simultaneously may not exceed 2.5 gallons per minute. If the contractor intends to design a shower facility for more than one person, the design and fixtures must be reviewed and approved by the Authority. Under no circumstance will any facility be approved where water flow may exceed 2.5 gpm per user.

Hot water recirculating systems, point of use water heating devices, or manifold systems are required to minimize water loss during hot water delivery.

#### Appliance Standards

If the following types of appliances are offered, financed, installed, or sold as upgrades through the Contractor, they must meet these standards:

Dishwasher – May not exceed 7.0 gallons per normal cycle. Effective January 1, 2007, the maximum water use will be 6.5 gallons per normal cycle;

Washing Machines – Must be high-efficiency models with an Energy Star water factor (WF) not to exceed 8.5 gals per cubic foot capacity. Effective January 1, 2007 the maximum allowable WF will be 7.0.

Water Softener – All devices must be certified to meet the NSF/ANSI 44 standard. All water softeners must be demand-initiated regeneration. Devices that use autoinitiated regeneration (fixed schedule) are prohibited. If the device uses an ion exchange technology, it must be capable of using potassium rather than sodium salt.

Drinking Water Treatment – Drinking water treatment systems using distillation, adsorption, reverse osmosis or ultraviolet processes must be certified to meet applicable NSF/ANSI certifications. Such systems must have an efficiency rate of not less than 85 percent (minimum of 85 gallons of water available for beneficial use within the home for every 100 gallons of water input to the device). Discharge water diverted for another code-approved use within the home may be considered a beneficial use at the discretion of the Authority.

#### Air Conditioning Systems

All air conditioning systems must be non-evaporative systems with zero net consumptive water use.

#### Standards for Water Smart Neighborhoods

All homes and community buildings must meet the applicable minimum standards for Water Smart Homes.

In addition to meeting the standards of a Water Smart home, common area landscapes are also subject to the following provisions:

Turf will be used only in functional community recreational areas that meet the following minimum standards:

1. No turf areas of less than 50 feet in any dimension.
2. At the Contractor's expense, sprinkler irrigation systems must be validated to meet an average minimum distribution

uniformity of 65 percent. All testing and verification shall be conducted by an independent Certified Landscape Irrigation Auditor with credentials from the Irrigation Association. Documentation is required.

The combined surface area of community pools and spas may be up to 20 square feet for each dwelling with pool access.

Communities of 50 dwellings or less may have community pool facilities with a combined surface area of up to 1,000 square feet.

Recreational water features, such as water play facilities, must be user-activated and may not be single-pass use (water used going directly to sewer). The area of such features will be deducted from the allowable surface area of swimming pools.

#### Compliance With Code

In the event that any standard or requirement in this agreement conflicts with local code requirements, the local code shall prevail.

## **EXHIBIT B**

### **INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF LAS VEGAS**

- A) The publication entitled "International Energy Conservation Code, 2006 Edition," as published by the International Code Council, and
- B) The document entitled "Southern Nevada Amendments to the 2006 International Energy Conservation Code," which adds to, deletes from and amends the "International Energy Conservation Code, 2006 Edition."

(Available on CD)

*Kyle Canyon*

*Development Standards*

*and*

*Design Guidelines*

*Executive Summary*

Submitted at Planning Commission

Date 4/12/07 Item #85

# **Kyle Canyon Development Standards and Design Guidelines**

## **Executive Summary**

### **Background**

In 2004 the City of Las Vegas developed a plan for approximately 1,700 acres controlled by the Bureau of Land Management (BLM) in the vicinity of the intersection of Kyle Canyon Road (State Route 157) and U.S. 95. The purpose of this plan was to develop policies and guidelines that foster more sustainable, energy efficient and environmentally compatible development. An ordinance adopting key components of that plan was approved by the City of Las Vegas in 2004. The land was then acquired at auction from the BLM in 2005 by a consortium of builders lead by Focus Property Group.

### **Kyle Master Plan**

Working collaboratively with the City of Las Vegas, the consortium has developed the master plan for the Kyle Canyon project that includes development standards and design guidelines.

The Design Guidelines contain standards for setbacks, lot size and bulk criteria similar to those found in Title 19, the Zoning Code for the City of Las Vegas. However, where they differ is in the type of development permitted. Kyle Canyon will have a mix of housing and building types within its neighborhoods. The intent of the variety in residential building types is to allow a wide segment of the diverse, growing population of the City of Las Vegas to find a home that serves its needs.

The Design Guidelines contain provisions intended to create:

- an area with diversity in land uses and residents;
- walkability, connectivity, and a strong sense of community;
- enhanced architectural styles producing a high-quality streetscape and individuality of homes and businesses, while maintaining a common thread of cohesion;
- energy efficient development, reductions in water usage and improvements in air quality;
- conservation and preservation of natural resources and environmentally sensitive areas within the plan;
- usable open spaces and an overall trail network contributing to a better quality of life.

An extraordinary amount of time, resources, and capital will be expended to develop infrastructure, landscaping and other site improvements at Kyle Canyon that are integral to the creation of a strong sense of identity. The Design Guidelines are intended to provide a vehicle to protect and maintain the long-term quality and value of the community.

Following are a series of examples from the Design Guidelines that illustrate key components of the master plan.





# LEGEND

- A** PLANNING AREA
- CC** COMMUNITY CENTER
- PLANNING AREA
- SFD-L** Single Family Detached - Large Lot  
Estate Lot  
Standard Lot
- SFD-S** Single Family Detached - Small Lot  
Compost Lot
- SFD-CC** Single Family Detached - Court and Cluster  
Green Court  
Paseo Court  
Cluster Single Family
- SFA-MF** Attached Single Family and Multi-Family  
Manse Home  
Townhome  
Tuckunder Multi-Family  
Embraced Garage Multi-Family

## KYLE CANYON RESIDENTIAL LAND USE

| PLANNING AREA | TOTAL RESIDENTIAL UNITS* | MAXIMUM PERCENTAGE OF TOTAL RESIDENTIAL UNITS |       |        |        |
|---------------|--------------------------|-----------------------------------------------|-------|--------|--------|
|               |                          | SFD-L                                         | SFD-S | SFD-CC | SFA-MF |
| A             | 2000                     | 25                                            | 40    | 40     | 55     |
| B             | 2200                     | 25                                            | 45    | 40     | 50     |
| C             | 1050                     | 45                                            | 20    | 20     | 75     |
| D             | 4500                     | 0                                             | 30    | 30     | 100    |
| E             | 1750                     | 0                                             | 30    | 30     | 100    |
| F             | 2850                     | 20                                            | 55    | 40     | 45     |
| G             | 1850                     | 20                                            | 40    | 50     | 50     |

\*Up to 10 percent of the Total Residential Units in each Planning Area may be shifted to other Planning Areas.

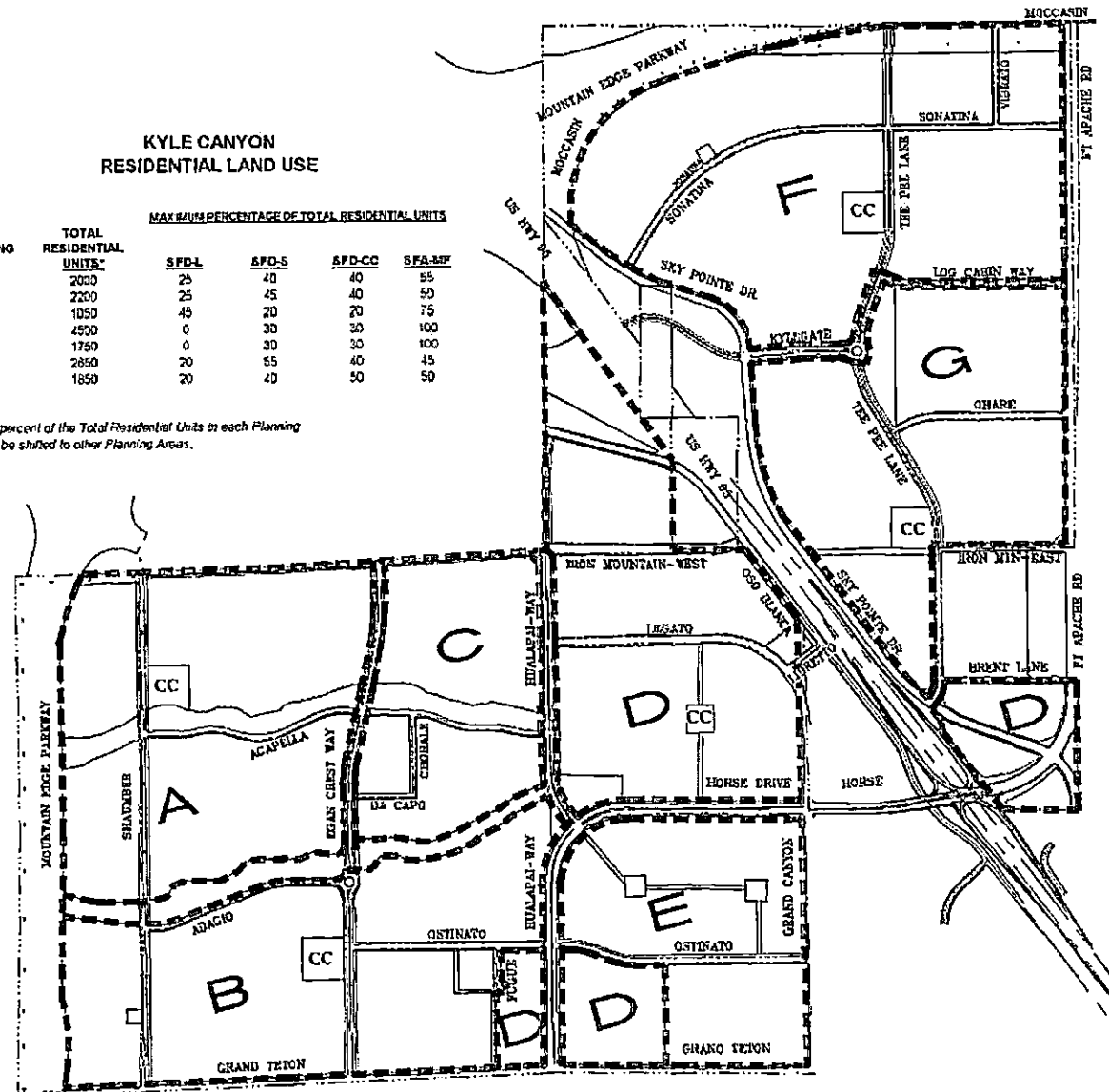


FIGURE 2-2 KYLE CANYON PLANNING AREAS KYLE CANYON  
AND RESIDENTIAL LAND USE



**LEGEND:**

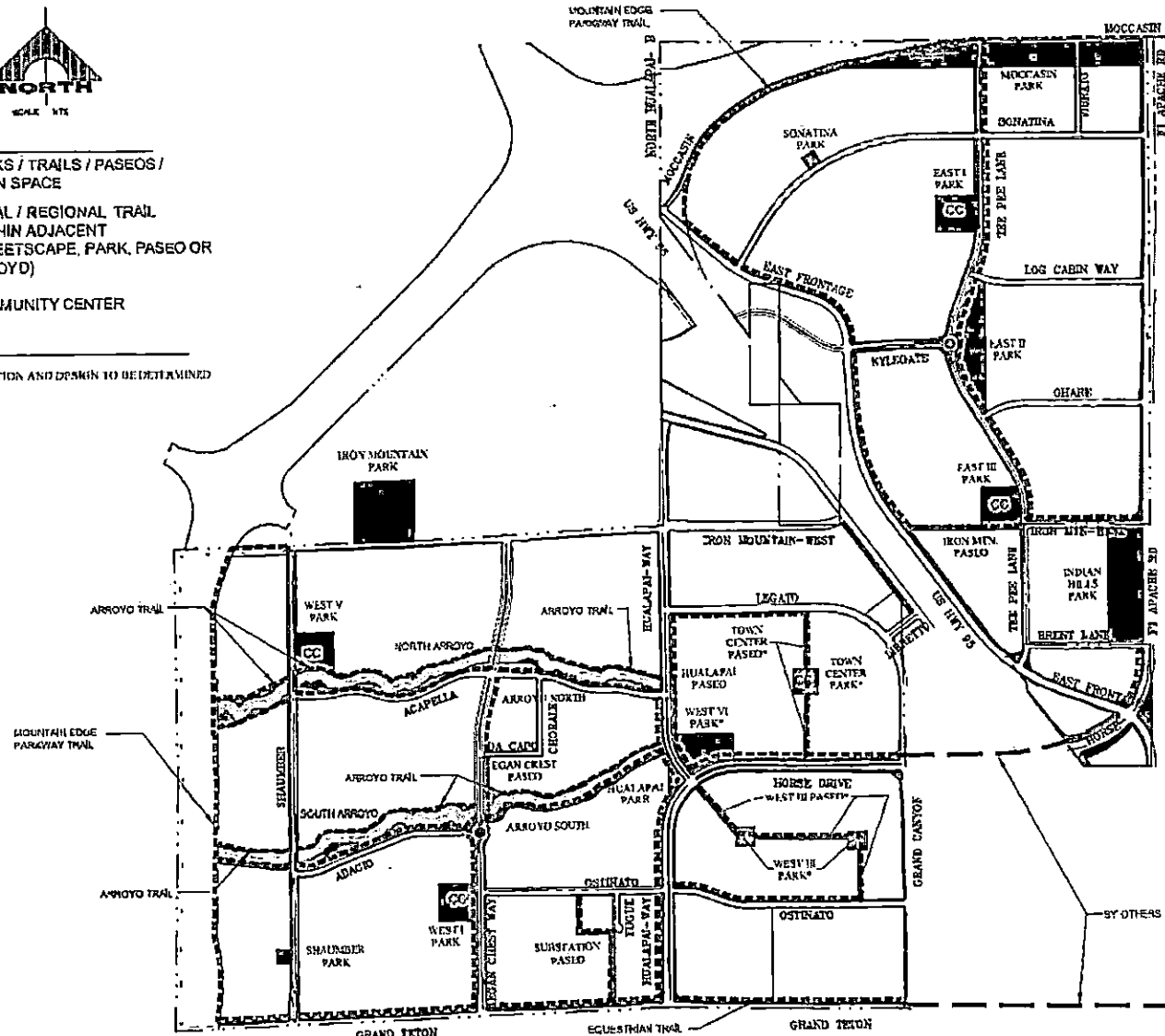
PARKS / TRAILS / PASEOS / OPEN SPACE

LOCAL / REGIONAL TRAIL  
(WITHIN ADJACENT  
STREETSCAPE, PARK, PASEO OR  
ARROYO)

COMMUNITY CENTER

**NOTES:**

- LOCATION AND DESIGN TO BE DETERMINED



**FIGURE 2-3 KYLE CANYON PARKS, TRAILS, AND OPEN SPACE PLAN**

### ALLOWABLE RESIDENTIAL BUILDING TYPES

|                              | Neighborhood Residential |                 | Urban Mixed-Use     |                 | Town Center Mixed-Use |                |
|------------------------------|--------------------------|-----------------|---------------------|-----------------|-----------------------|----------------|
| Building Type                | Neighborhood Street      | Village Street  | Neighborhood Street | Village Street  | Neighborhood Street   | Village Street |
| Estate Lot                   | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Standard Lot                 | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Compact Lot                  | 3 Stories Max.           | 3 Stories Max.  |                     |                 |                       |                |
| Green Court                  | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Paseo Court                  | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Cluster Single Family        | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  |                       |                |
| Mansion Home                 | 3 Stories Max.           | 3 Stories Max.  | 3 Stories Max.      | 3 Stories Max.  | 3-5 Stories           | 3-5 Stories    |
| Townhome                     | 4 Stories Max.           | 4 Stories Max.  | 4 Stories Max.      | 4 Stories Max.  | 3-5 Stories           | 3-5 Stories    |
| Tuckunder Multi-Family       | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
| Podium Multi-Family          | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
| Embedded Garage Multi-Family | 4 Stories Max.           | 5 Stories Max.* | 4 Stories Max.      | 5 Stories Max.* | 110' Max.             | 110' Max.      |
|                              |                          |                 |                     |                 |                       |                |

\* Must Be Adjacent to or Directly Accessible From a Village Street. See Figure 3-14 for an example of a building location that is directly accessible from a Village Street.

**Residential Building Types Table. The following Table summarizes the permitted Residential Building Types.**

| Single<br>or<br>Multi-<br>Family | Attached<br>/Detached | Residential Building Type | Garage Placement<br>Options | Permitted                               | Maximum Heights |
|----------------------------------|-----------------------|---------------------------|-----------------------------|-----------------------------------------|-----------------|
| Single                           | Detached              | Estate Lot                | Alley-Loaded                | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Estate Lot                | Side Drive                  | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Estate Lot                | Side Drive<br>Detached      | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Estate Lot                | Front Drive                 | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Standard Lot              | Alley-Loaded                | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Standard Lot              | Side Drive                  | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Standard Lot              | Side Drive<br>Detached      | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Standard Lot              | Front Drive                 | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Compact Lot               | Alley-Loaded                | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Compact Lot               | Side Drive                  | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Compact Lot               | Side Drive<br>Detached      | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |
| Single                           | Detached              | Compact Lot               | Front Drive                 | All Neighborhood Residential<br>Parcels | 3 Stories 45'   |

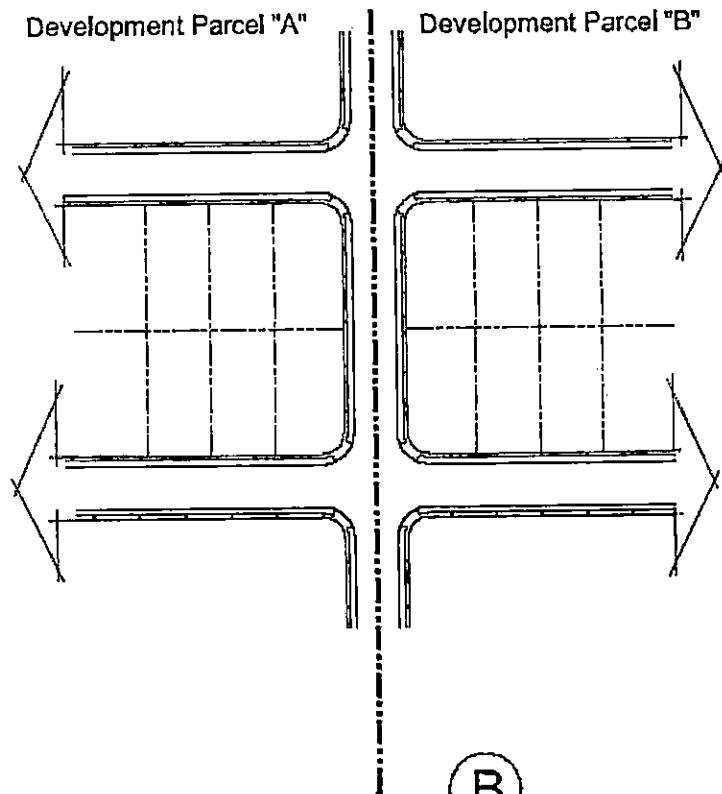
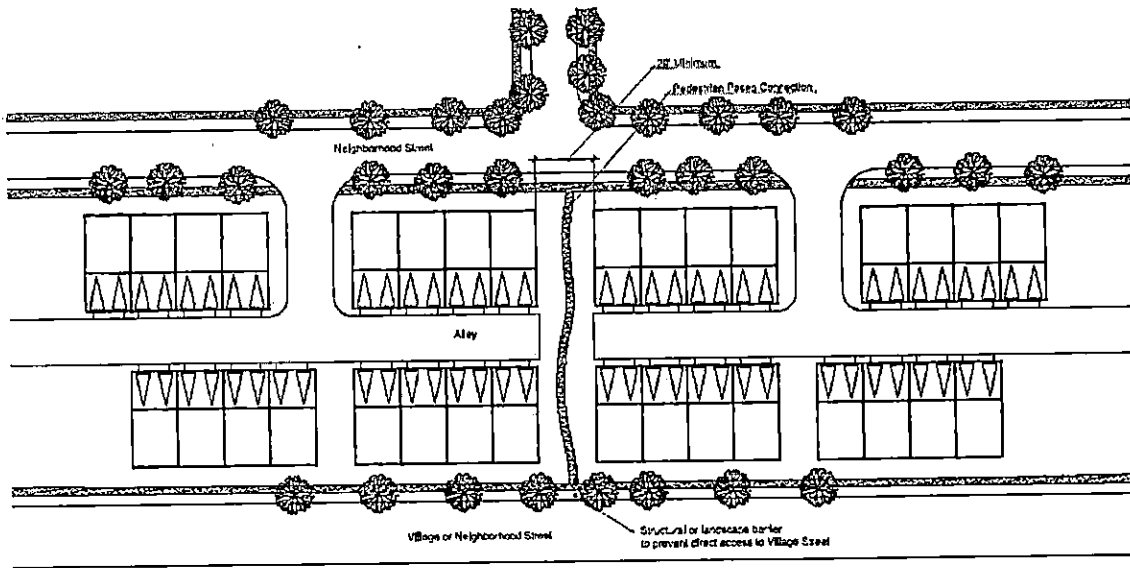
| Building Type | Neighborhood Street | Village Street                             | Neighborhood Street | Village Street                                           | Neighborhood Street |
|---------------|---------------------|--------------------------------------------|---------------------|----------------------------------------------------------|---------------------|
| Single        | Detached            | Green Court                                | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Detached            | Paseo Court                                | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Detached            | Cluster Single Family                      | Alley-Loaded        | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
| Single        | Attached            | Mansion Home                               | Alley-Loaded/Court  | All Neighborhood Residential and Urban Mixed-Use Parcels | 3 Stories 45'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhomes, Standard Width, Attached Garage |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhome, Standard Width, Detached Garage  |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |
| Single        | Attached            | Townhome, Narrow Lot, Tandem Garage        |                     | All Neighborhood Residential and Urban Mixed-Use Parcels | 4 Stories 60'       |
|               |                     |                                            |                     | All Town Center Mixed-Use Parcels if at least 3 stories  | 5 Stories 75'       |

| Building Type | Neighborhood Street | Village Street  | Neighborhood Street | Village Street                                            | Neighborhood Street                                                                         |
|---------------|---------------------|-----------------|---------------------|-----------------------------------------------------------|---------------------------------------------------------------------------------------------|
| Multi         | Attached            | Tuckunder       |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels.                        | 110'                                                                                        |
| Multi         | Attached            | Podium          |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels                         | 110'                                                                                        |
| Multi         | Attached            | Embedded Garage |                     | All Neighborhood and Urban Mixed-Use Residential Parcels. | 4 Stories 60' or 5 Stories 75' if adjacent to or directly accessible from a Village Street. |
|               |                     |                 |                     | All Town Center Mixed-Use Parcels.                        | 110'                                                                                        |

# SUMMARY OF RESIDENTIAL DIVERSITY

| DIVERSITY ELEMENT        | DIVERSITY MEASUREMENT                                                   | PERMITTED                           | REQUIRED | NOTES                                                                                                                                                                                                 |
|--------------------------|-------------------------------------------------------------------------|-------------------------------------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Building Product Type    | 15 Single Family Detached<br>4 Single Family Attached<br>3 Multi-Family | Permitted<br>Permitted<br>Permitted |          | All Building Product Types Allowed in All Neighborhood Residential Parcels.<br>All Building Product Types Except Single Family Detached Allowed in All Mixed-Use Parcels (See Figures 3-19 and 3-20). |
| Building Product Mix     | 2 (Minimum)                                                             |                                     | Required | Section 4.2.1                                                                                                                                                                                         |
| Architectural Styles     | 11                                                                      | Permitted                           |          | Section 4.1                                                                                                                                                                                           |
| Plan Variation           | 3 (Minimum)                                                             |                                     | Required | Section 4.2.2                                                                                                                                                                                         |
| Architectural Treatments | 3 (Minimum)                                                             |                                     | Required | Section 4.2.5                                                                                                                                                                                         |
| Garage Placement         | 2 (Minimum)                                                             |                                     | Required | 4.3.2                                                                                                                                                                                                 |
| Color Schemes            | 6 (Minimum)                                                             |                                     | Required | 4.2.6 (B)                                                                                                                                                                                             |
| Roof Colors              | 4 (Minimum)                                                             |                                     | Required | 4.2.6 (C)                                                                                                                                                                                             |
| Building Colors          | 4 (Minimum)                                                             |                                     | Required | 4.2.6 (D)                                                                                                                                                                                             |
|                          |                                                                         |                                     |          |                                                                                                                                                                                                       |

## Examples of Connectivity



B

Vehicular Connection

## Examples of Architectural Styles



### AMERICAN TRADITIONAL

Asymmetrical massing with wood porches and classical square railings. Simplified cornice trim at gable ends and louvered shutters. Wall are siding and stucco.

Front Porches and Accentuated Entries



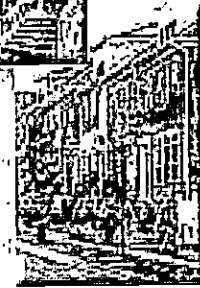
Windows



Classical  
Detailing

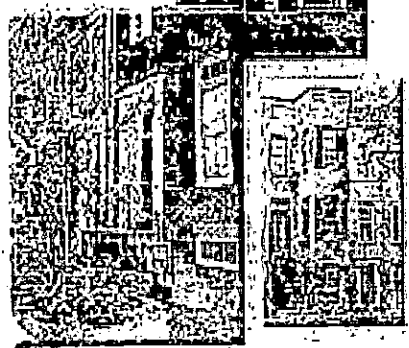
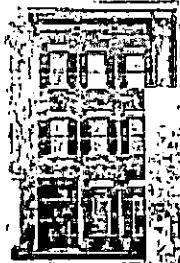


KTG GROUP, INC.  
www.ktg.com

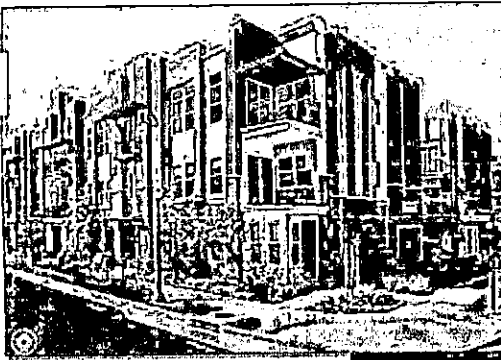


## BROWNSTONE

This style relies on a streetscape vista that is as important as the individual house. Simple building forms are enhanced with bold elements and recessed entry doors. Sloops and stairs project in a symmetrical repeating pattern. Elaborate cornices top off the details.



NYNY GROUP, INC.



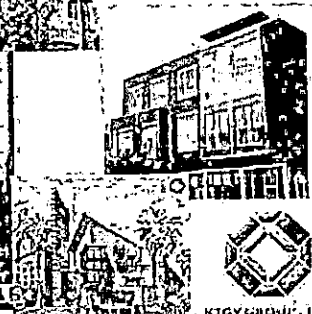
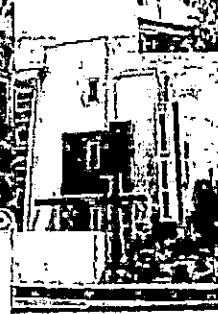
## CONTEMPORARY

A contemporary adaptation of traditional vernaculars, executed with a fresh, contemporary approach.

Contemporary architecture is an exploration of modern architectural vocabulary that best embodies a unique urban character.



Metal Railing and Window Shade Structures

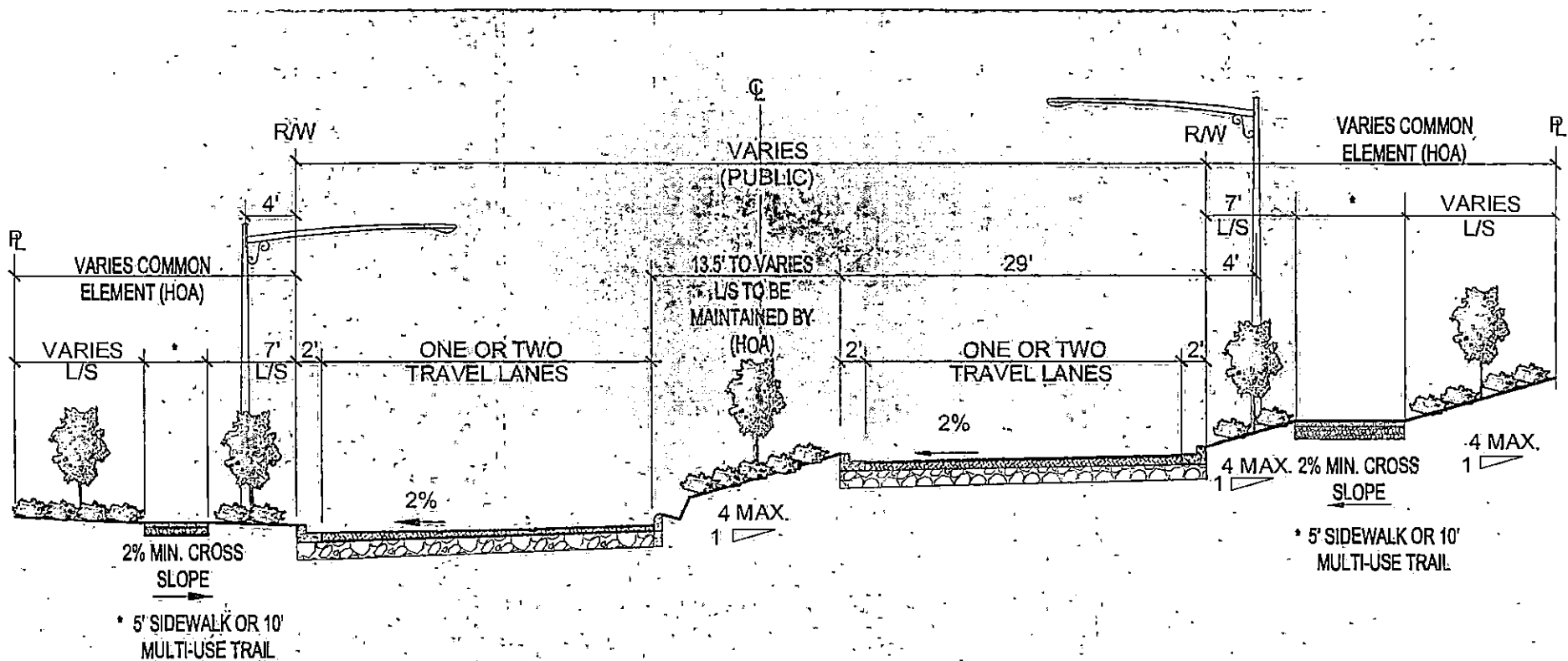


Bold Building Form, Wall Materials, & Color.



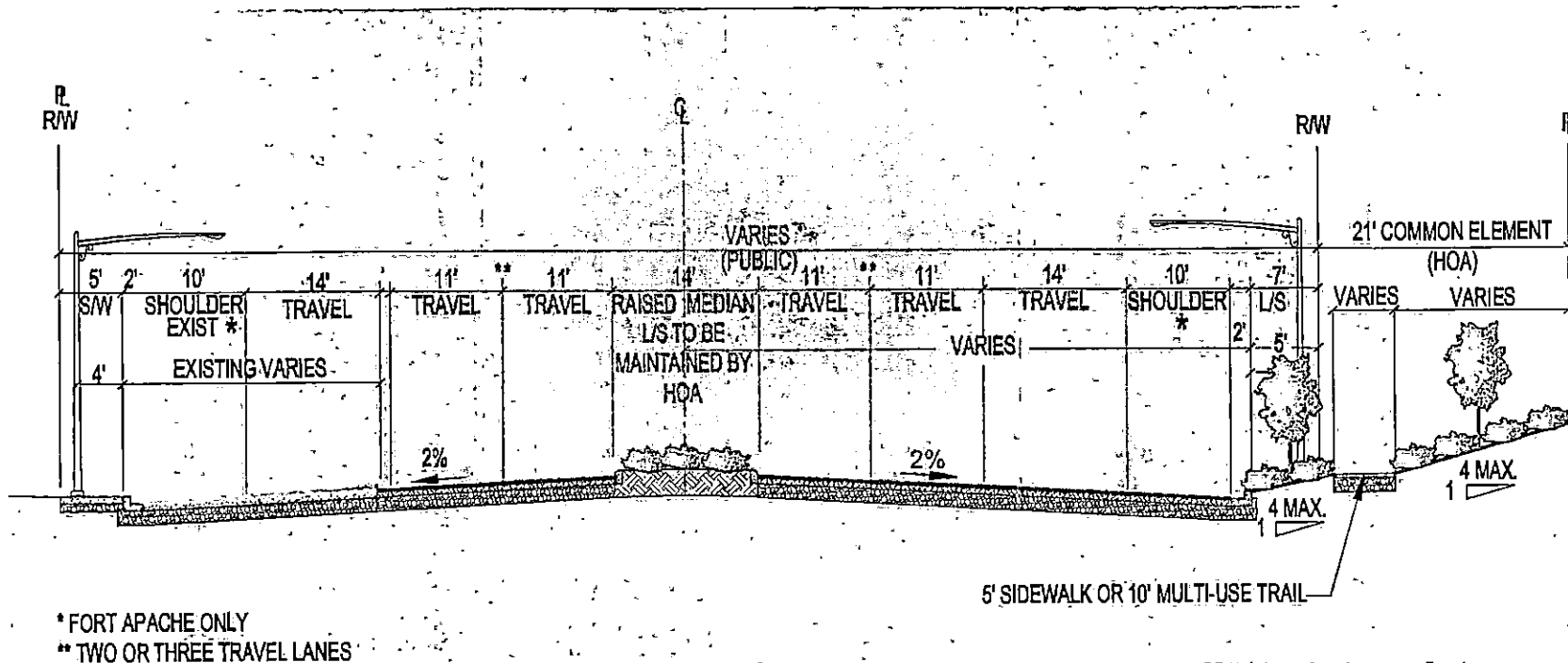
KTG GROUP, INC.  
ARCHITECTS





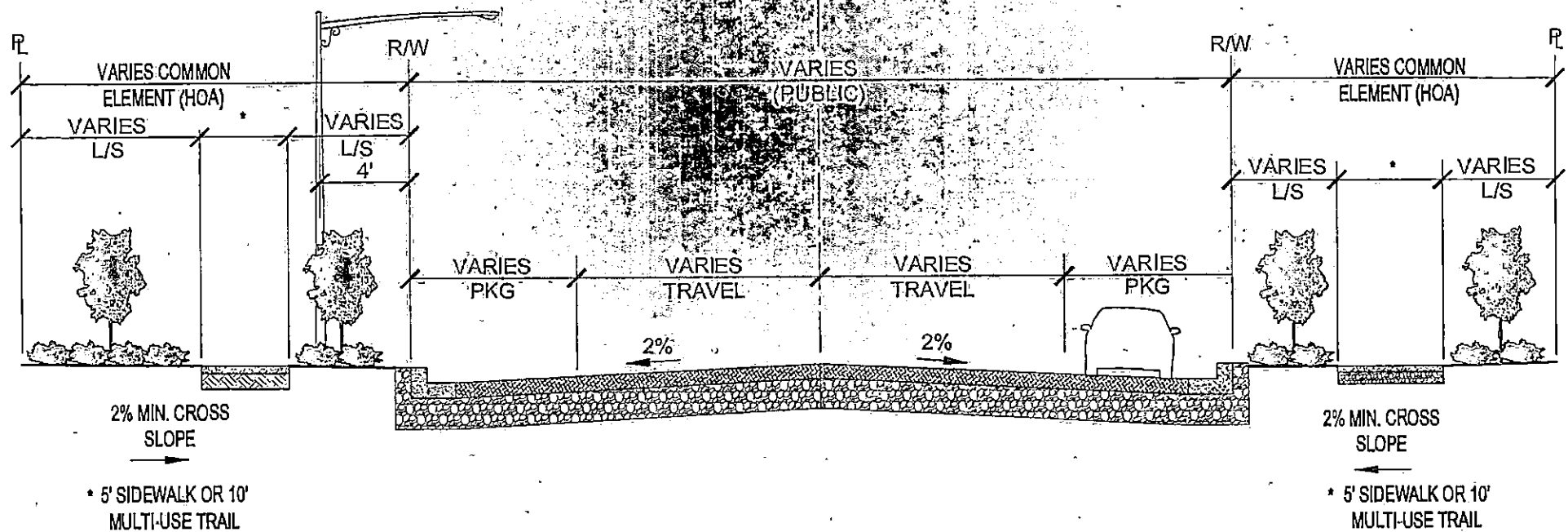
**FIGURE 6-4**  
**BOULEVARDS**

Boulevards will form important connections between activity centers and open spaces at Kyle Canyon. These community roadways will include single or multiple travel lanes and a landscaped median. Landscaping and sidewalks will contribute to the pedestrian-friendly environment by providing walking access to residences.



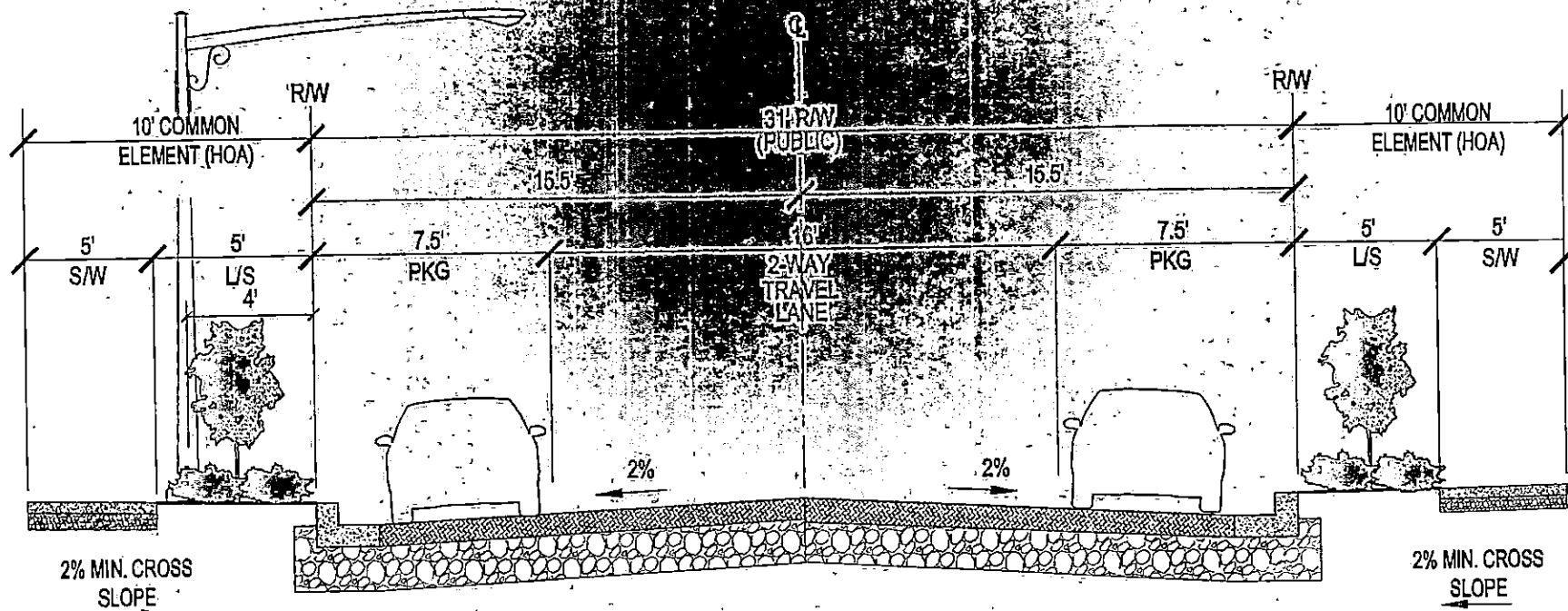
**FIGURE 6-3**  
**ARTERIAL STREETS AND**  
**FRONTAGE ROADS**

Arterial Streets and Frontage Roads will form the perimeter streets of the Community. These roadways four or six travel lanes with a 14' shared outside travel lane to accommodate bicycles. Shoulders 10' wide are provided on Fort Apache and an equestrian trail will be constructed on the north side of Grand Teton. Landscape areas and a sidewalk or multi-use trail will provide a buffer between these high volume streets and residential areas.



## FIGURE 6-5 CONNECTOR STREETS

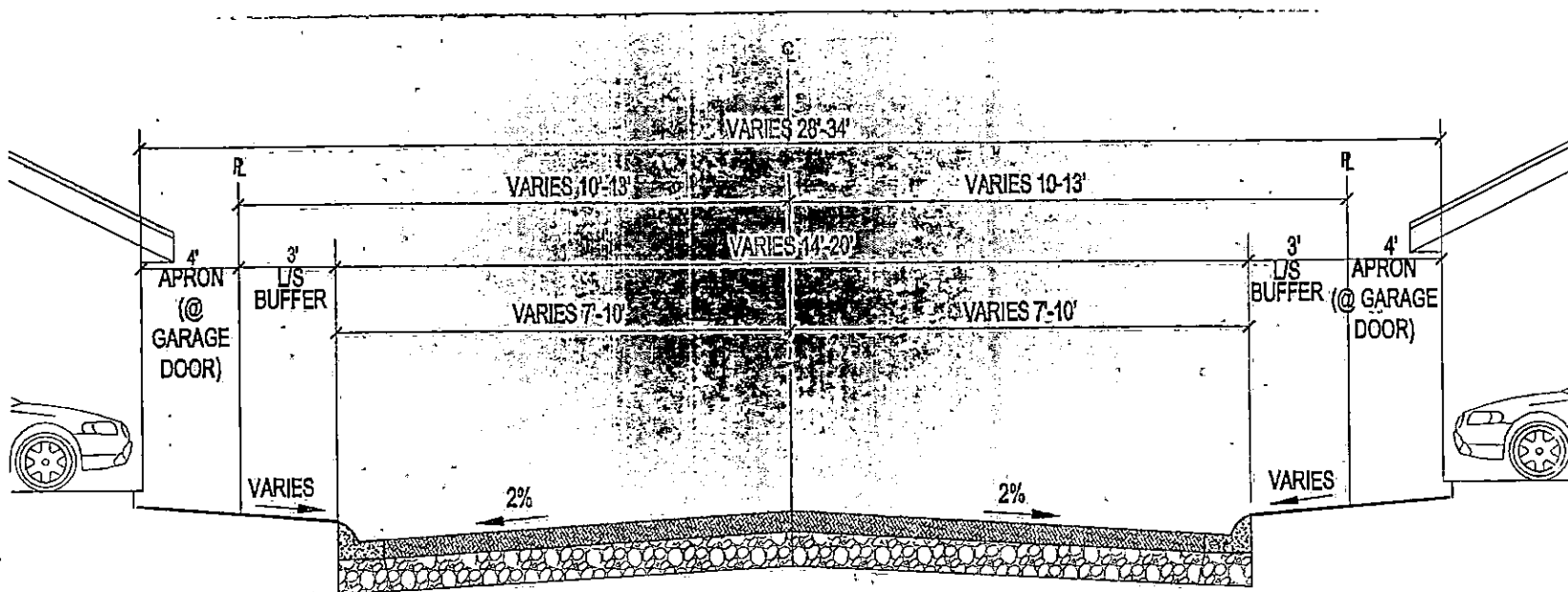
Connector Streets relieve the arterials of local trips. Connector streets have two travel lanes and on-street parking. Where they run alongside the arroyos or other open space, connector streets will have homes facing or siding onto them on one side of the street, with a detached sidewalk, landscaping, and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows access to open space for all residents. In other areas where the Connector is not adjacent to the arroyos or open space, homes can face the road on both sides of the street with a detached sidewalk, landscaping, and on-street parking.



**FIGURE 6-6**  
**NEIGHBORHOOD STREETS**

Neighborhood Streets within the Neighborhood Residential Districts are planned with sidewalks on both sides, landscaping and pedestrian-scaled street lighting.

Alongside parks and open spaces, Neighborhoods Streets will have front doors facing onto them on one side of the street, with a detached sidewalk, landscaping and on-street parking. On the opposite side, pedestrian and bicycle paths will run through the open space. This configuration provides a premium location for homes facing onto the open space and also allows views of the open space for all residents as they travel through the community.



**FIGURE 6-7**

## ALLEYS

Alleys shall be provided, in conformance with the standards set forth in the design guidelines. If alleys are provided in residential developments, they shall be in accordance with the alley cross sections provided in this Section. All alleys shall be mapped as a common element and privately maintained, unless they meet the criteria for public alleyways as established by the City of Las Vegas. Generally alleys will have 14' to 20' of continuous pavement in a right-of-way up to 26' in width, with garages set back an additional 3' (minimum) on each side to permit landscaping as required by Section 5.2.11.

# City of Las Vegas

## **PLANNING COMMISSION AGENDA** **PLANNING COMMISSION MEETING OF: APRIL 12, 2007**

### **CITIZENS PARTICIPATION:**

ITEMS RAISED UNDER THIS PORTION OF THE PLANNING COMMISSION AGENDA CANNOT BE ACTED UPON BY THE PLANNING COMMISSION UNTIL THE NOTICE PROVISIONS OF THE OPEN MEETING LAW HAVE BEEN COMPLIED WITH. THEREFORE, ACTION ON SUCH ITEMS WILL HAVE TO BE CONSIDERED AT A LATER TIME.

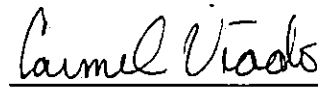
### **MINUTES:**

None.

**MEETING ADJOURNED AT 11:53 P.M.**

Respectfully submitted:

  
ANGELA CROLLI, DEPUTY CITY CLERK

  
CARMEL VIADO, DEPUTY CITY CLERK