Agenda City of Las Vegas

PLANNING COMMISSION MEETING

FEBRUARY 8, 2007

Council Chambers 400 Stewart Avenue
Phone 229-6301 TDD 386-9108 http://www.lasvegasnevada.gov

Las Vegas City Council

Mayor Oscar B. Goodman

Mayor Pro-Tem Gary Reese, Ward 3
Councilman Larry Brown, Ward 4
Councilman Lawrence Weekly, Ward 5
Councilman Steve Wolfson, Ward 2
Councilwoman Lois Tarkanian, Ward 1
Councilman Steven D. Ross, Ward 6
City Manager, Douglas Selby

Commissioners

Leo Davenport, Chairperson
Byron Goynes, Vice-Chairperson
Richard Truesdell
Steven Evans
David W. Steinman
Glenn E. Trowbridge
Sam C. Dunnam

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE. UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

CALL TO ORDER: 6:00 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ROLL CALL:

ANNOUNCEMENT: Compliance with the Open Meeting Law

NOTICE: This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2nd Floor Skybridge
Clark County Government Center, 500 South Grand Central Parkway
Las Vegas Library, 833 Las Vegas Boulevard North
Grant Sawyer Building, 555 East Washington Avenue
Bulletin Board, City Hall Plaza (next to Metro Records)

MINUTES: Approval of the January 11, 2007 Planning Commission Meeting minutes by reference (____vote)

ACTIONS: ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.

2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.

3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.

4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.

5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.

6. After all objectors' input has been received; the applicant will be invited to respond to any new issues raised.

7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.

8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

CONSENT ITEMS:

CONSENT ITEMS ARE CONSIDERED ROUTINE BY THE PLANNING COMMISSION AND MAY BE ENACTED BY ONE MOTION. HOWEVER, ANY ITEM MAY BE DISCUSSED IF A COMMISSION MEMBER OR APPLICANT SO DESIRES.

1. EOT-18804 - EXTENSION OF TIME - VARIANCE - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC - Request for an Extension of Time of an approved Variance (VAR-5548) TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE THREE FEET IS REQUIRED FOR ACCESSORY STRUCTURES (SIX COVERED PARKING GARAGES) AND A VARIANCE TO ELIMINATE THE SIX-FOOT WIDE LANDSCAPE PLANTER AND REQUIRED TREES IN THE LOCATION OF THE ACCESSORY STRUCTURES IN CONJUNCTION WITH A PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT adjacent to the east side of Rainbow Boulevard, approximately 350 feet south of Lone Mountain Road (APN 138-02-101-016), R-E (Residence Estates) and C-2 (General Commercial) Zones under Resolution of Intent to R-3 (Medium Density Residential), Ward 6 (Ross).

ONE MOTION – ONE VOTE:

THE FOLLOWING ARE ITEMS THAT MAY BE CONSIDERED IN ONE MOTION/ONE VOTE. THEY ARE CONSIDERED ROUTINE NON-PUBLIC AND PUBLIC HEARING ITEMS THAT HAVE NO PROTESTS OR CONDITION CHANGES BY THE APPLICANT OR STAFF. ALL PUBLIC HEARINGS AND NON-PUBLIC HEARINGS WILL BE OPENED AT ONE TIME. ANY PERSON REPRESENTING AN APPLICATION OR A MEMBER OF THE PUBLIC OR A MEMBER OF THE PLANNING COMMISSION NOT IN AGREEMENT WITH THE CONDITIONS AND ALL STANDARD CONDITIONS FOR THE APPLICATION RECOMMENDED BY STAFF, SHOULD REQUEST TO HAVE THAT ITEM REMOVED FROM THIS PART OF THE AGENDA.

2. ZON-18972 - REZONING - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - OWNER: MAX JONES PROFESSIONAL PLAZA - Request for a Rezoning FROM O (OFFICE) TO C-1 (LIMITED COMMERCIAL) on 0.85 acres at 1506 South Jones Boulevard (APN-163-01-201-006), Ward 1 (Tarkanian).

3. **VAR-18973 - VARIANCE RELATED TO ZON-18972 - PUBLIC HEARING APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA** - Request for a Variance TO ALLOW A FRONT SETBACK OF 15 FEET WHERE 20 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED 21,551 SQUARE-FOOT OFFICE BUILDING on 0.85 acres at 1506 South Jones Boulevard (APN-163-01-201-006), O (Office) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).

4. **SUP-18927- SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC** - Request for a Special Use Permit FOR A RESTAURANT WITH SERVICE BAR at the northeast corner of Sky Pointe Drive and North Cimarron Road (APN 125-21-313-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

5. **SDR-18926 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18927 - PUBLIC HEARING - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC** - Request for a Site Development Plan Review FOR A 9,831 SQUARE-FOOT RESTAURANT AND RETAIL BUILDING on 1.73 acres at the northeast corner of Sky Pointe Drive and North Cimarron Road (APN 125-21-313-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

PUBLIC HEARING ITEMS:

6. **ABEYANCE - ZON-17248 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), Ward 6 (Ross).

7. **ABEYANCE - SDR-17249 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17248 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Site Development Plan Review FOR A PROPOSED NINE-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

8. **ABEYANCE - ZON-17693 - REZONING - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS** - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

9. **ABEYANCE - SDR-17694 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17693 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS** - Request for a Site Development Plan Review FOR A 58 LOT SINGLE FAMILY DEVELOPMENT on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), R-E (Residence Estates) Zone [PROPOSED: R-PD8 (Residential Planned Development - 8 Units Per Acre)], Ward 6 (Ross).

10. **ABEYANCE - ZON-18196 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI** - Request for a Rezoning FROM R-E (RESIDENCE ESTATES) under Resolution of Intent to R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) on 2.18 acres on the north side of the Centennial Parkway Alignment approximately 360 feet east of Leon Avenue (APN-125-24-404-007), Ward 6 (Ross).

11. **ABEYANCE - SDR-17727 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-18196 - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI** - Request for a Site Development Plan Review FOR AN EIGHT-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 2.18 acres adjacent to the north side of Centennial Parkway, approximately 360 feet east of Leon Avenue (APN 125-24-404-007), R-E (Residence Estates) Zone under Resolution of Intent to R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 6 (Ross).

12. **ABEYANCE - WVR-18085 - WAIVER - PUBLIC HEARING - APPLICANT/OWNER: JOSE LOPEZ** - Request for a Waiver to Title 18.12.160 TO ALLOW 180 FEET BETWEEN STREET INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED at the southeast corner of Maverick Street and Jo Marcy Drive (APN 125-14-506-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

13. **ABEYANCE - SUP-18084 - SPECIAL USE PERMIT RELATED TO WVR-18085 - PUBLIC HEARING - APPLICANT/OWNER: JOSE LOPEZ** - Request for a Special Use Permit FOR PRIVATE STREETS at the southeast corner of Maverick Street and Jo Marcy Drive (APN 125-14-506-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

14. **ABEYANCE - VAR-18346 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST** - Request for a Variance TO ALLOW 32 PARKING SPACES WHERE 33 ARE REQUIRED FOR AN APPROVED TWO STORY, 9,805 SQUARE FOOT OFFICE BUILDING on 0.40 acres at 703 South Eighth Street (APN 139-34-810-042), P-R (Professional Office and Parking) Zone, Ward 3 (Reese).

15. **ABEYANCE - SUP-18347 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC** - Request for a Special Use Permit FOR A PROPOSED 800 SQUARE FOOT CAR WASH, FULL SERVICE on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Lirnited Commercial), Ward 6 (Ross).

16. **ABEYANCE - SUP-18630 - SPECIAL USE PERMIT RELATED TO SUP-18347 - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC** - Request for a Special Use Permit FOR A BEER/WINE/COOLER OFF-SALE ESTABLISHMENT IN A PROPOSED SERVICE STATION WITHOUT AUTOMOTIVE REPAIR on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial), Ward 6 (Ross).

17. **ABEYANCE - SDR-18349 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18347 AND SUP-18630 - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LLC** - Request for a Major Amendment to an approved Site Development Plan Review FOR A PROPOSED 4,056 SQUARE-FOOT SERVICE STATION WITHOUT AUTOMOTIVE REPAIR, AN 800 SQUARE FOOT CAR WASH, FULL SERVICE, AND A 2,700 SQUARE FOOT RESTAURANT WITH DRIVE-THROUGH on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial), Ward 6 (Ross).

18. **ABEYANCE - SUP-18691 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC** - Request for a Special Use Permit FOR A PROPOSED AUTO TITLE LOAN ESTABLISHMENT AND A WAIVER OF THE 1,000-FOOT DISTANCE SEPARATION REQUIREMENT FROM ANOTHER FINANCIAL INSTITUTION, SPECIFIED at 7350 West Cheyenne Avenue, Suite #111 and #112 (APN 138-10-403-031), C-1 (Limited Commercial) Zone, Ward 4 (Brown).

19. **ABEYANCE - ROC-17721 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT/OWNER: CARS-DB4, LP** - Request for a Review of Condition #3 of an approved Rezoning (Z-0099-96) WHICH REQUIRES THAT THE NORTH 200 FEET OF THE SITE SHALL BE LIMITED TO THE PARKING OF VEHICLES at 6300 West Sahara Avenue (APN 163-02-801-005), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

20. **ABEYANCE - SDR-17720 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ROC-17721 - PUBLIC HEARING - APPLICANT/OWNER: CARS-DB4, LP.** - Request for a Site Development Plan Review FOR A 41,680 SQUARE FOOT EXPANSION TO AN EXISTING AUTOMOTIVE DEALERSHIP AND A WAIVER TO ALLOW ZERO FEET OF LANDSCAPE BUFFER ALONG THE WESTERN PERIMETER WHERE EIGHT FEET IS REQUIRED on 8.76 acres at 6300 West Sahara Avenue (APN 163-02-801-005), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

21. **GPA-16294 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: JOHN HERNANDEZ** - Request to Amend a portion of the Southeast Sector Plan of the Master Plan FROM: L (LOW DENSITY RESIDENTIAL) TO: O (OFFICE) on 0.17 acres at 410 Spencer Street (APN 139-35-413-125), Ward 3 (Reese).

22. **ZON-16296 - REZONING RELATED TO GPA-16294 - PUBLIC HEARING - APPLICANT/OWNER: JOHN HERNANDEZ** - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: P-R (PROFESSIONAL OFFICE AND PARKING) on 0.17 acres at 410 Spencer Street (APN 139-35-413-125), Ward 3 (Reese).

23. **SDR-16292 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-16294 AND ZON-16296 - PUBLIC HEARING - APPLICANT/OWNER: JOHN HERNANDEZ** - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF A SINGLE-FAMILY RESIDENCE TO AN OFFICE AND A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER IN THE FRONT YARD WHERE A 15-FOOT LANDSCAPE BUFFER IS THE MINIMUM REQUIRED, TO ALLOW NO PERIMETER LANDSCAPE BUFFER IN THE SIDE YARD WHERE AN EIGHT-FOOT LANDSCAPE BUFFER IS THE MINIMUM REQUIRED, AND TO ALLOW A TWO-FOOT LANDSCAPE BUFFER IN THE REAR YARD WHERE EIGHT FEET IS THE MINIMUM REQUIRED on 0.17 acres at 410 Spencer Street (APN 139-35-413-125), R-1 (Single Family Residential) Zone [PROPOSED: P-R (Professional Office and Parking) Zone], Ward 3 (Reese). NOTE: THIS IS AMENDED TO ALLOW NO PERIMETER LANDSCAPE BUFFER IN A PORTION OF THE SIDE YARD WHERE AN EIGHT-FOOT LANDSCAPE BUFFER IS THE MINIMUM REQUIRED AND TO ALLOW A THREE-FOOT LANDSCAPE BUFFER IN THE REAR YARD WHERE EIGHT FEET IS THE MINIMUM REQUIRED.

24. **VAR-18790 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: WENDELL D. AND LINDA G. GENTRY** - Request for a Variance TO ALLOW A NON-HABITABLE ACCESSORY STRUCTURE TO BE 1,831 SQUARE FEET WHERE 1,148 SQUARE FEET IS THE MAXIMUM ALLOWED on 0.52 acres at 5306 Hickam Avenue (APN: 138-01-702-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

25. **SUP-18789 - SPECIAL USE PERMIT RELATED TO VAR-18790 - PUBLIC HEARING - APPLICANT/OWNER: WENDELL D. AND LINDA G. GENTRY** - Request for a Special Use Permit FOR A NON-HABITABLE ACCESSORY STRUCTURE at 5306 Hickam Avenue (APN: 138-01-702-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

26. **VAR-19208 - VARIANCE - PUBLIC HEARING - APPLICANT: LANDBARON INVESTMENTS - OWNER: MONTECITO IMAGING LLC** - Request for a Variance TO ALLOW A 196.5 FOOT HIGH OFFICE BUILDING 382 FEET FROM RESIDENTIAL PROPERTY WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE 590 FEET on 3.27 acres located at the southwest corner of Deer Springs Way and Riley Street (APN: 125-20-710-006), T-C (Town Center) Zone [Mixed-Use Commercial - Montecito Town Center Special Land Use Designation], Ward 6 (Ross).

27. **SDR-18870 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-19208 - PUBLIC HEARING - APPLICANT: LANDBARON INVESTMENTS - OWNER: MONTECITO IMAGING LLC** - Request for a Site Development Plan Review FOR A 150,000 SQUARE-FOOT, 12-STORY OFFICE BUILDING WITH A FIVE LEVEL PARKING STRUCTURE AND A WAIVER OF TOWN CENTER CORE BUILD-TO-LINE REQUIREMENTS on 3.27 acres located at the southwest corner of Deer Springs Way and Riley Street (APN: 125-20-710-006), T-C (Town Center) Zone [Mixed-Use Commercial - Montecito Town Center Special Land Use Designation], Ward 6 (Ross).

28. **WVR-18830 - WAIVER - PUBLIC HEARING - APPLICANT/OWNERS: BENITO AQUINO, AUGUSTO GABORRO, AND TRINIDAD CASTILLO** - Request for a Waiver of Title 19.12.040 TO ALLOW A ZERO FOOT PERIMETER LANDSCAPE BUFFER ADJACENT TO PUBLIC RIGHTS-OF-WAY WHERE A SIX FOOT LANDSCAPE BUFFER IS THE MINIMUM REQUIRED on 2.5 acres at 2400 North Michael Way (APN: 138-13-403-001), R-E (Residence Estates) [PROPOSED: R-PD6 (Residential Planned Development - 6 Units Per Acre)] Zone, Ward 5 (Weekly).

29. **SUP-18902 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PAWN PLUS - OWNER: CHRISTENSEN BROTHERS LLC** - Request for a Special Use Permit FOR A PAWN SHOP AND A WAIVER TO ALLOW A 685 FOOT SEPARATION FROM AN EXISTING FINANCIAL INSTITUTION, SPECIFIED WHERE A 1,000 FOOT DISTANCE SEPARATION IS REQUIRED at 854 and 856 East Sahara Avenue (APN 162-03-801-108, 162-03-801-109 and 162-03-801-078), C-1 (Limited Commercial) Zone [C (Commercial) General Plan Designation], Ward 3 (Reese).

30. **SUP-18910 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: TERRIBLE HERBST, INC.** - Request for a Special Use Permit FOR A LIQUOR STORE IN CONJUNCTION WITH AN APPROVED CONVENIENCE STORE WITH FUEL PUMPS on 0.91 acres on the east side of Desert Foothills Drive approximately 280 feet north of Charleston Boulevard (APN 137-34-818-003), P-C (Planned Community) Zone, Ward 2 (Wolfson).

31. **SDR-15357 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: GREAT AMERICAN CAPITAL - OWNER: SEA BREEZE VILLAGE II** - Request for a Site Development Plan Review FOR A 5,000 SQUARE FOOT BANK on 7.76 acres on the northeast corner of Vegas Drive and Buffalo Drive (APN 138-22-418-011), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

32. **SDR-18894 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR. OBTEEN NASSARI - OWNER: 2111 SOUTH MARYLAND LLC** - Request for a Site Development Plan Review FOR A PROPOSED 3,530 SQUARE-FOOT, SINGLE-STORY OFFICE BUILDING WITH A WAIVER TO ALLOW A ONE-FOOT WIDE PERIMETER LANDSCAPE BUFFER ALONG A PORTION OF THE NORTH PROPERTY LINE WHERE EIGHT FEET IS REQUIRED AND A FOUR-FOOT WIDE PERIMETER LANDSCAPE BUFFER ALONG THE EAST PROPERTY LINE WHERE EIGHT FEET IS REQUIRED AND A WAIVER TO ALLOW A SEVEN-FOOT WIDE PERIMETER LANDSCAPE BUFFER ALONG A PORTION OF THE SOUTH PROPERTY LINE WHERE A 15 FEET IS REQUIRED on .33 acres at 2111 South Maryland Parkway and 1205 Exley Avenue (APNs 162-02-410-071 and 072), P-R (Professional Office and Parking) Zone, Ward 3 (Reese).

DIRECTOR'S BUSINESS:

33. **DIR-18616 - DIRECTOR'S BUSINESS - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - OWNER: JUNIOR LEAGUE** - Request to designate a parcel of land as an Historic Property within the City of Las Vegas on 0.51 acres at 861 Bridger Avenue (APN 139-34-701-002), Ward 5 (Weekly).

CITIZENS PARTICIPATION:

PUBLIC COMMENT DURING THIS PORTION OF THE AGENDA MUST BE LIMITED TO MATTERS WITHIN THE JURISDICTION OF THE PLANNING COMMISSION. NO SUBJECT MAY BE ACTED UPON BY THE PLANNING COMMISSION UNLESS THAT SUBJECT IS ON THE AGENDA AND IS SCHEDULED FOR ACTION. IF YOU WISH TO BE HEARD, GIVE YOUR NAME FOR THE RECORD. THE AMOUNT OF DISCUSSION ON ANY SINGLE SUBJECT, AS WELL AS THE AMOUNT OF TIME ANY SINGLE SPEAKER IS ALLOWED, MAY BE LIMITED.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at (702) 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is (702) 386-9108.

AFFIDAVIT OF MAILING

(Mailing required under the provisions of NRS Chapter 241)

STATE OF NEVADA)
) ss
COUNTY OF CLARK)

I **Dorothy Marsili**, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the **2nd** day of **February 2007**, a copy of the **February 8, 2007** Planning Commission Agenda, the attached of which is a true and correct copy, was deposited in the United States Mail, Postage prepaid, First Class Mail, to each person and/or organization whose name appears on the list maintained in the Department of Planning and Development, Current Planning Division.

Dorothy Marsili

SIGNATURE

Planning and Development Department

Subscribed and sworn to before me this

2nd day of February, 2007

Nora Lares

NOTARY PUBLIC in and for said County and State

Notary Public - State of Nevada
COUNTY OF CLARK
NORA LARES
No. 06-103908-1 My Appointment Expires Nov. 9, 2009

AFFIDAVIT OF POSTING

(Posting required under the provision of NRS 241, Sec. 1.3 and 1.5)

State of Nevada)
)
County of Clark)
)
City of Las Vegas)

I ED OAKLEY, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the 2nd day of February 2007, at the hour of 2:00 PM, there were posted copies of the February 8, 2007 Planning Commission Agenda, the attached of which is a true and correct copy, at the following locations:

1. In the Clark County Government Center
   500 South Grand Central Parkway

2. In the Las Vegas Library
   833 Las Vegas Boulevard North

3. In the Grant Sawyer Building
   555 East Washington Boulevard

4. City Clerk's Bulletin Board
   400 Stewart Avenue, 2nd Floor Skybridge
   (In the walkway area next to the entrance to Human Resources)

5. Bulletin Board, City Hall Plaza
   400 Stewart Avenue
   (next to Metro Records)

(Signature)

Planning and Development Department

Subscribed and sworn to before me

This 2nd day of February 2007.

Notary Public - State of Nevada
COUNTY OF CLARK
NORA LARES
No. 06-103906-1 My Appointment Expires Nov. 9, 2009

Notary Public in and for said County and State

City of Las Vegas

PLANNING COMMISSION AGENDA
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE.

THESE PROCEEDINGS ARE BEING PRESENTED LIVE ON KCLV, CABLE CHANNEL 2. THE PLANNING COMMISSION MEETING, AS WELL AS ALL OTHER KCLV PROGRAMMING, CAN BE VIEWED ON THE CITY'S INTERNET AT www.kclv.tv. THE PROCEEDINGS WILL BE REBROADCAST ON KCLV CHANNEL 2 AND THE WEB SATURDAY AT 10:00 AM, THE FOLLOWING MONDAY AT MIDNIGHT AND TUESDAY AT 5:00 PM.

PLEDGE OF ALLEGIANCE was led by CHAIRMAN DAVENPORT.

CALL TO ORDER: 6:04 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ANNOUNCEMENT RE: COMPLIANCE WITH OPEN MEETING LAW

MINUTES:

PRESENT: CHAIRMAN LEO DAVENPORT, MEMBERS BYRON GOYNES, RICHARD TRUESDELL, STEVEN EVANS, DAVID STEINMAN, GLENN TROWBRIDGE AND SAM DUNNAM

STAFF PRESENT: MARGO WHEELER – PLANNING & DEVELOPMENT DEPT., DOUG RANKIN – PLANNING & DEVELOPMENT DEPT., JOHN KORKOSZ – PLANNING & DEVELOPMENT DEPT., BART ANDERSON – PUBLIC WORKS, VICTOR BALANOS – PUBLIC WORKS, JAMES LEWIS – CITY ATTORNEY'S OFFICE, YDOLEENA YTURRALDE – CITY CLERK'S OFFICE, CARMEL VIADO – CITY CLERK'S OFFICE

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

SUBJECT:
Approval of the minutes of the January 11, 2007 Planning Commission Meeting

MOTION:
GOYNES - APPROVED – UNANIMOUS

MINUTES:
There was no discussion.

(6:05)
1-45

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
JOHN KORKOSZ, Planning and Development Department, stated that the applicants for the following items requested the items be withdrawn without prejudice, held in abeyance or tabled. Letters are on file for each of the requests.

Item 6 [ZON-17248]	WITHDRAWN WITHOUT PREJUDICE
Item 7 [SDR-17249]	WITHDRAWN WITHOUT PREJUDICE
Item 12 [WVR-18085]	Abeyance to 2/22/2007 Planning Commission Meeting
Item 13 [SUP-18084]	Abeyance to 2/22/2007 Planning Commission Meeting
Item 14 [VAR-18346]	WITHDRAWN WITHOUT PREJUDICE
Item 19 [ROC-17721]	TABLED
Item 20 [SDR-17720]	TABLED

MR. KORKOSZ stated that the applicant has requested that Item 6 [ZON-17248] and Item 7 [SDR-17249] be withdrawn without prejudice.

Regarding Item 12 [WVR-18085] and Item 13 [SUP-18084], MR. KORKOSZ stated that the applicant has requested these items be held in abeyance to the 02/22/2007 Planning Commission meeting.

MR. KORKOSZ stated that the applicant has requested Item 14 [VAR-18346] be withdrawn without prejudice.

MINUTES – Continued:

With respect to Item 19 [ROC-17721] and Item 20 [SDR-17720], MR. KORKOSZ stated the applicant has requested to table those items.

LISA MAYO-DORISO and JACK WEINSTEIN requested that Item 29 [SUP-18902] be held in abeyance because they felt the public hearing signage posted on the site was inadequate.

DOUG RANKIN, Planning and Development Department, informed COMMISSIONER TRUESDELL that public hearing signs are posted by a subcontractor who then submits a photograph of the posted sign to staff.

DEPUTY CITY ATTORNEY JAMES LEWIS observed that buildings with mailing addresses on Sahara Avenue may not actually be located on the street.

CHAIRMAN DAVENPORT expressed his preference to hear Item 29 as scheduled and address the legal notification concerns at that time.

(6:06 – 6:12)

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

CHAIRMAN DAVENPORT announced the subdivision items could be appealed by the applicant or aggrieved person or a review requested by a member of the City Council.

ACTIONS:
ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

CHAIRMAN DAVENPORT read the statement on the order of the items and the time limitations on persons wishing to be heard on an item.

ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDA ITEM.

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

CHAIRMAN DAVENPORT noted the Rules of Conduct.

PLANNING COMMISSION MEETING RULES OF CONDUCT.

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.

2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.

3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.

4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.

5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.

6. After all objectors' input has been received, the applicant will be invited to respond to any new issues raised.

7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.

8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

City of Las Vegas

Agenda Item No.: 1

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [X] **CONSENT** [ ] **DISCUSSION**

SUBJECT:
EOT-18804 - EXTENSION OF TIME - VARIANCE - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC - Request for an Extension of Time of an approved Variance (VAR-5548) TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE THREE FEET IS REQUIRED FOR ACCESSORY STRUCTURES (SIX COVERED PARKING GARAGES) AND A VARIANCE TO ELIMINATE THE SIX-FOOT WIDE LANDSCAPE PLANTER AND REQUIRED TREES IN THE LOCATION OF THE ACCESSORY STRUCTURES IN CONJUNCTION WITH A PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT adjacent to the east side of Rainbow Boulevard, approximately 350 feet south of Lone Mountain Road (APN 138-02-101-016), R-E (Residence Estates) and C-2 (General Commercial) Zones under Resolution of Intent to R-3 (Medium Density Residential), Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Planning Commission Approval for VAR-5548
4. Justification Letter

MOTION:
GOYNES – APPROVED subject to conditions – UNANIMOUS

This is Final Action

City of Las Vegas

Agenda Item No.: 1

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 1 – EOT-18804

MINUTES:

Subsequent to the motion, DOUG RANKIN, Planning and Development Department, corrected the record to reflect that this approval is Planning Commission Final Action.

(6:12 – 6:13/6:14 – 6:15)

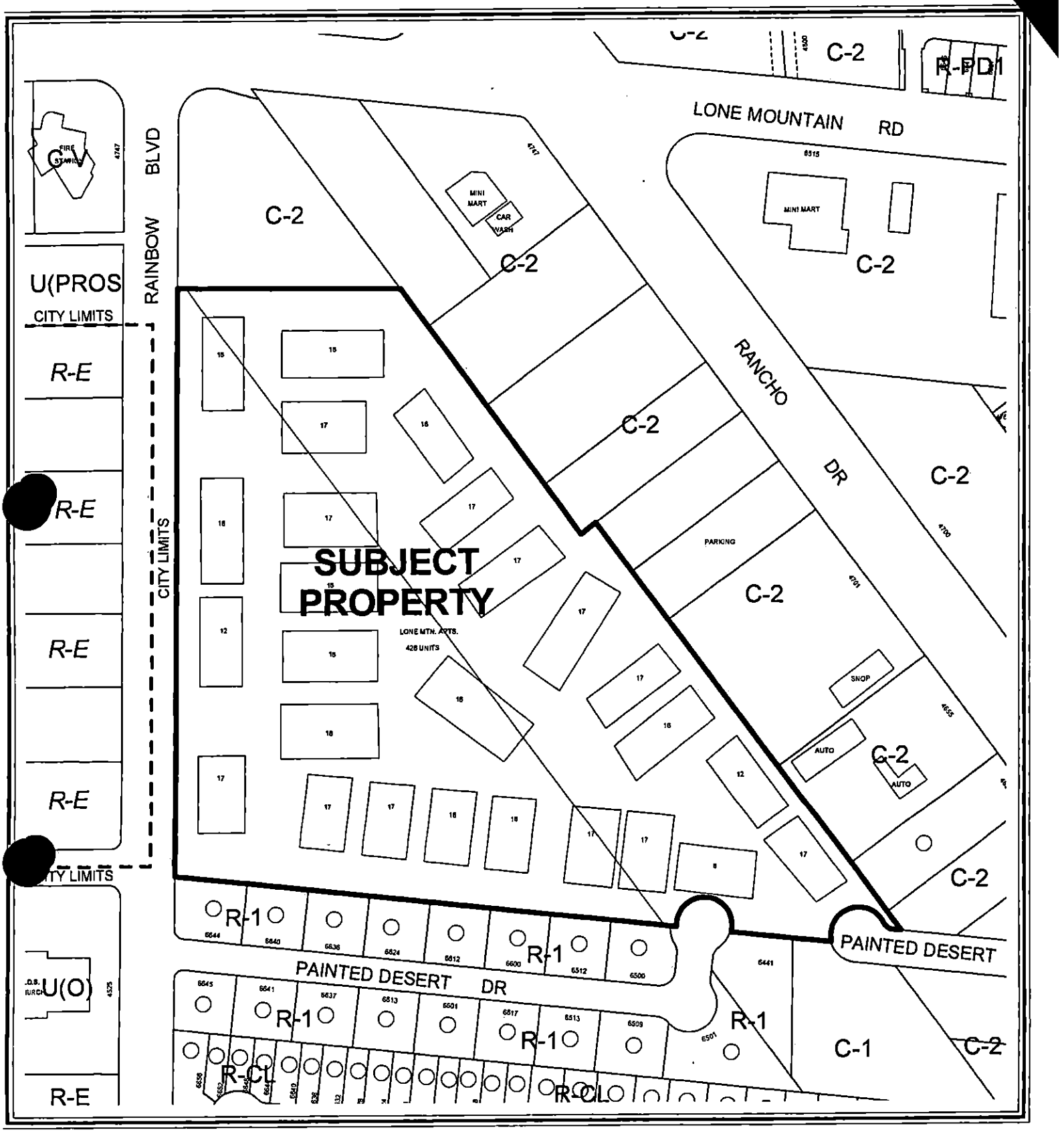
1-236/1-331

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-3486), Site Development Plan Review (SDR-3490), and Variance (VAR-5548).

2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

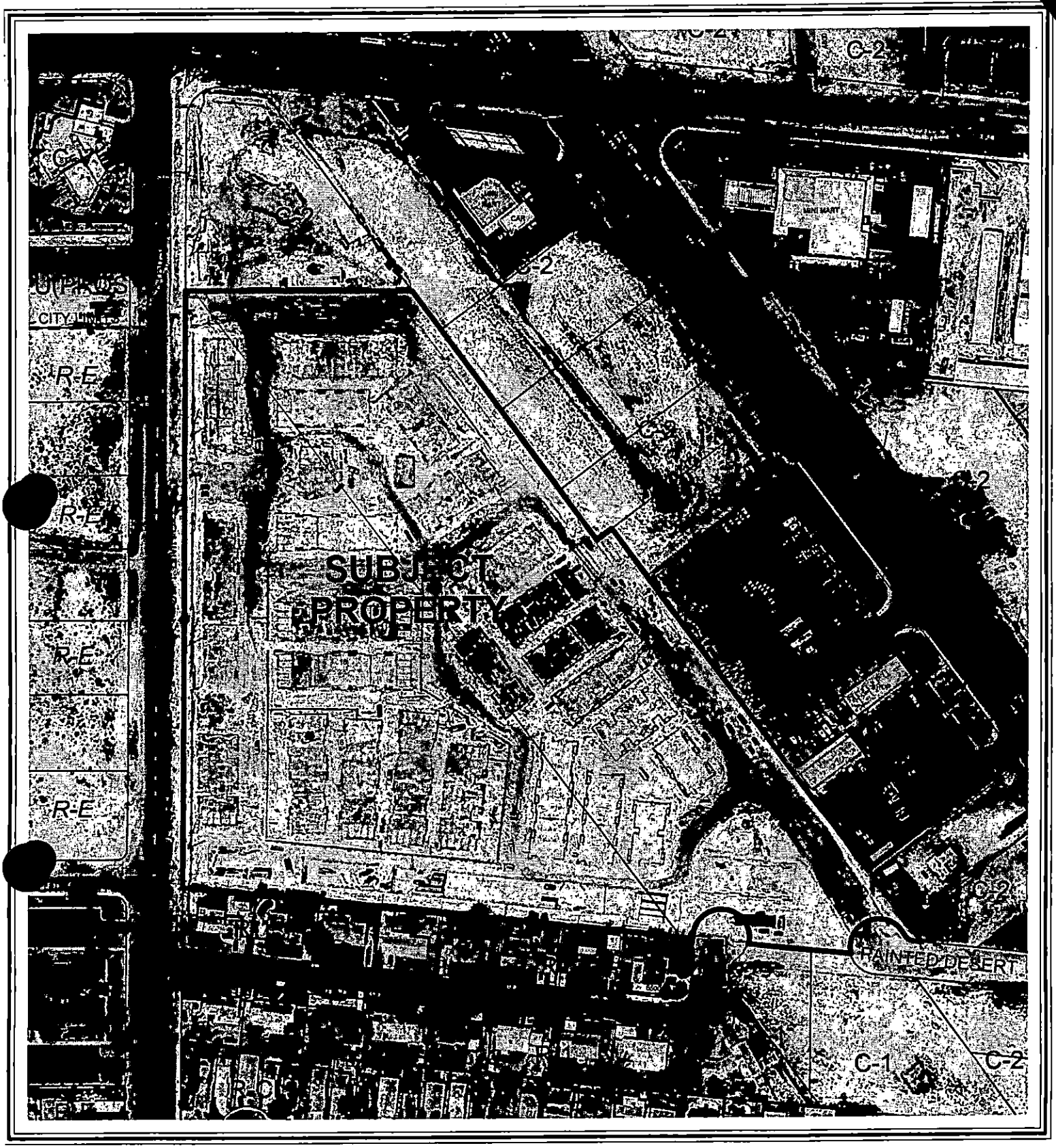


0 300 600 Feet

CASE: **EOT-18804**

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENTIAL ESTATES) AND C-2 (GENERAL COMMERCIAL) UNDER RESOLUTION OF INTENT TO R-3 (MEDIUM DENSITY RESIDENTIAL)

N



0 300 600 Feet

CASE: **EOT-18804**

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENTIAL ESTATES) AND C-2 (GENERAL COMMERCIAL) UNDER RESOLUTION OF INTENT TO R-3 (MEDIUM DENSITY RESIDENTIAL)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: EOT-18804 - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL,** subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-3486), Site Development Plan Review (SDR-3490), and Variance (VAR-5548).

2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

LHM

EOT-18804 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This request for an Extension of Time of an approved Variance (VAR-5548) and is required pursuant to Title 19.18 which states a variance is exercised upon the approval of a final inspection. The applicant states in the Justification letter submitted with the Extension of Time application, the six (6) garages are under construction and requests the Variance be extended for one (1) year to allow time to complete the project and receive a final inspection.

The approved Variance allowed a zero-foot rear yard setback where three (3) feet is required for six (6) parking garages, to eliminate the six-foot wide landscape planter and required trees in the location of the accessory structures and to allow the back wall of the garages to serve as the perimeter wall for the project, in conjunction with a multi-family residential development. The applicant indicates that the garages will not have any detrimental affect on any surrounding residents, as the garages are intentionally placed adjacent to commercial property.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
Month/date/year	Action
01/13/05	The Planning Commission approve VAR-5548
Related Building Permits/Business Licenses	
Month/date/year	Description
11/21/05	Building Permit for 6 garages – Permit # 5008158, 59, 50,61,62 & 63 (Open)
Renew 7/12/06	Building Permit for 6 garages - (Open)
12/27/06	Building Permit for garages (C-216-04) Electrical Permit #6007491 (Open)
01/16/07	Inspection (extends permits for 180 days)

Details of Application Request	
Site Area	
Net Acres	17.80

EOT-18804 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Multi-Family	M (Medium Density Residential)	R-E (Residence Estates) and C-2 (General Commercial) under Resolution of Intent to R-3 (Medium Density Residential)
North	Undeveloped/Commercial	SC (Service Commercial)	C-2(General Commercial)
South	Single-family	L(Low Density Residential	R-1(Single Family Residential)
East	Commercial	GC(General Commercial)	C-2(General Commercial)
West	Undeveloped /Public Facility	O(office); PF(Public Facilities); PR-OS (Park, Recreation, and Open Space)	C-V (Civic); U (Undeveloped) zone [PR (Park and Recreation) General Plan designation]; and R-E (Rural Estates) [Clark County designation]

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	N/A
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts			
A-O Airport Overlay District	X		Y
Trails		X	NA
Rural Preservation Overlay District		X	NA
Development Impact Notification Assessment		X	NA
Project of Regional Significance		X	NA

LHM

DEVELOPMENT STANDARDS

Pursuant to Title 19.08, the following Development Standards and an approved Site Development Plan (SDR-3490), the following standards apply to the subject proposal:

Standard	*Required/Allowed*	*Provided*	*Compliance*
Min. Lot Size	6,500 S.F.	17.80 Ac	Y
Min. Lot Width	N/A	N/A	Y
Min. Setbacks • Front • Side • Corner • Rear	20 Feet 5 Feet 5 Feet 20 Feet	20 Feet 5 Feet 5 Feet 20 Feet	Y
Min. Distance Between Buildings	10 Feet	10 Feet	Y
Max. Lot Coverage	N/A	NA	Y
Max. Building Height	2 Stories / 35 Feet	2 Stories / 35 Feet	Y

The subject request is not a request to vary the development standards above. However, accessory structures in the R-3 (Medium Density Residential) Zone are required to have a three-foot setback from side and rear property lines. The Variance request was to vary this setback to zero feet for the proposed garages.

ANALYSIS

A Site Development Plan Review (SDR-3490) was approved on 11/02/04 by the City Council for a 426 unit multi-family residential development on the subject site. Garages were not proposed for the development nor included in that SDR. The applicant wants to provide garages for some of the tenants and to situate the garages along the northeasterly (rear) property line of the proposed development. Commercial property is located on the other side of the property line from where the garages are proposed. To locate the garages along the northeasterly property line would require the approval of a Variance to reduce the required three-foot setback from property lines for accessory buildings and a Variance in the Landscape, Wall and Buffer Standards of Title 19 to eliminate the required planting island and trees where the garages would be placed.

An Extension of Time is required for a Variance if it has not been exercised upon by the approval of a business license or upon the issuance of a certificate of occupancy or approval of a final inspection.

The individual garages are to have a shed roof that slopes inward to the property with a 20-foot wall height abutting the property line. The actual roofline is 2.5 feet below the top of the wall to meet building code requirements. All drainage would be directed inward from the property line.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 9

ASSEMBLY DISTRICT N/A

SENATE DISTRICT N/A

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0

LHM

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: EOT-18804 APN: 138-02-101-016

Name of Property Owner: Lone Mountain Apts I LLC

Name of Applicant: Ovation Development

Name of Representative: VPoint - Gary Stockhoff, P.E.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes ✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Alan L Molasky

Print Name: Alan L Molasky

Subscribed and sworn before me

This 11th day of December, 2006

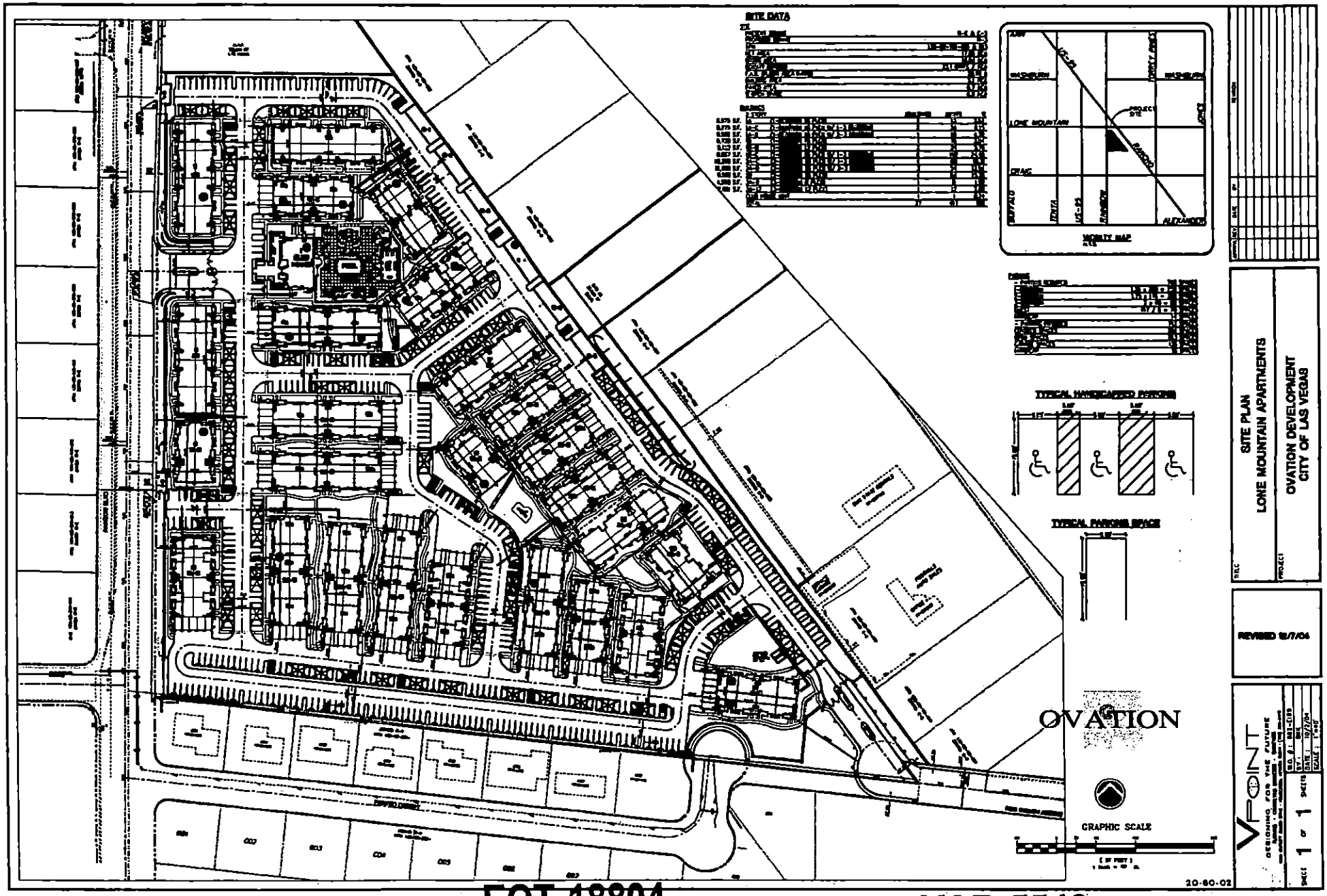
Sunny M. Souza

Notary Public in and for said County and State

SUNNY M. SOUZA
Notary Public, State of Nevada
Appointment No. 06-106976-1
My Appt. Expires May 25, 2010

RECEIVED

DEC 0 8 2004



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EOT-18804

02/08/07

REVISED 12.8.04

VAR-5548

12/16/04 PC

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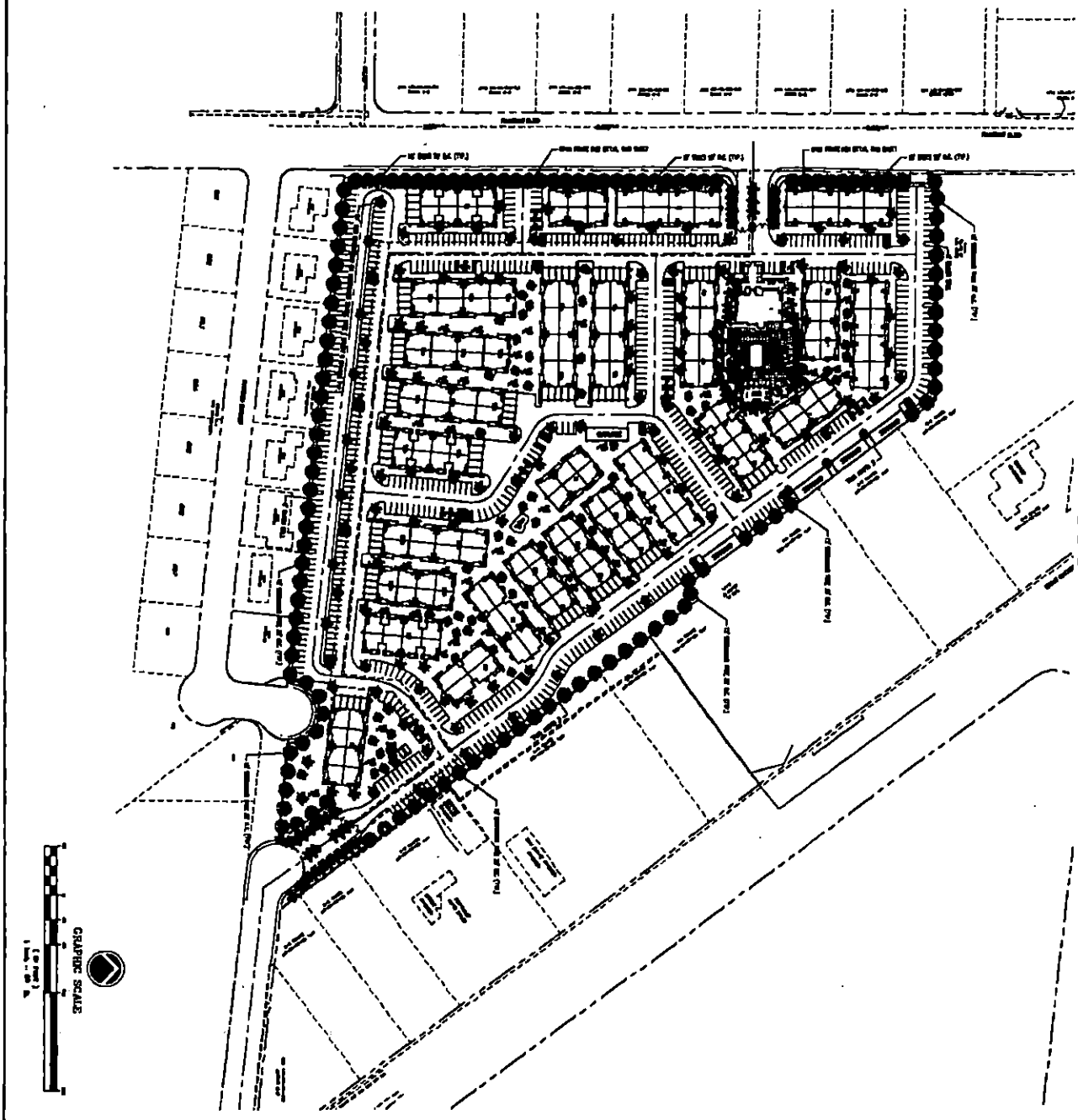
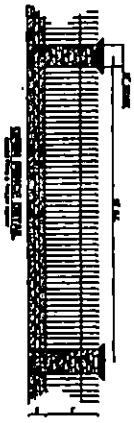
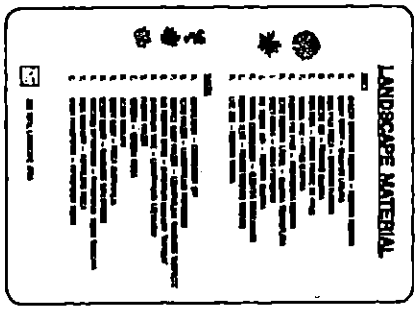
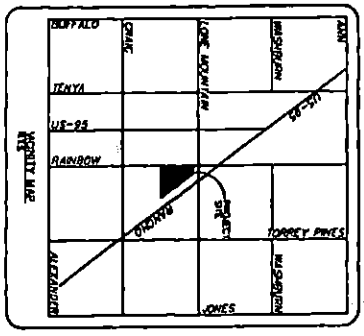








VAR-5548 12/16/04 PC

EOT-18804 02/08/07

20-09-02

VPOINT
DESIGNING FOR THE FUTURE

SHEET 1 OF 1 SHEETS	W.O. # : 662-0765
	BY : BCI
	DATE : OCT 2004
	SCALE : 1"=60'

TITLE: CONCEPTUAL LANDSCAPE PLAN

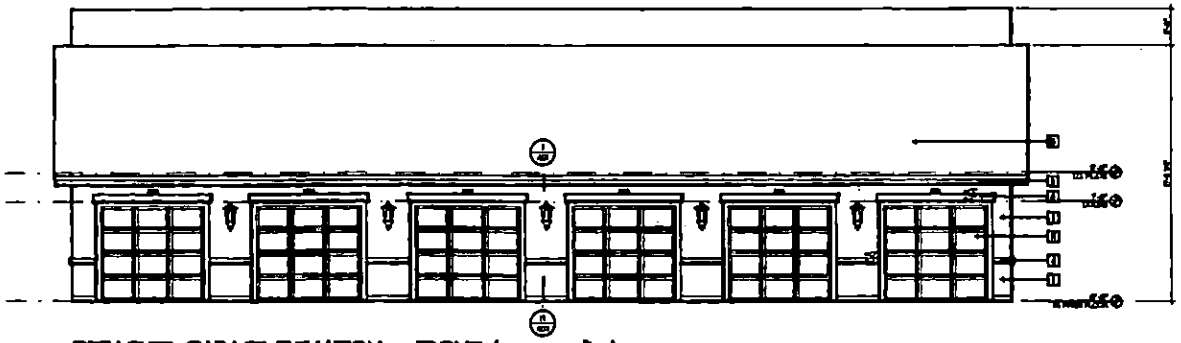
PROJECT: LONE MOUNTAIN/RAINBOW

APPROVED	REV	DATE	BY	REVISION

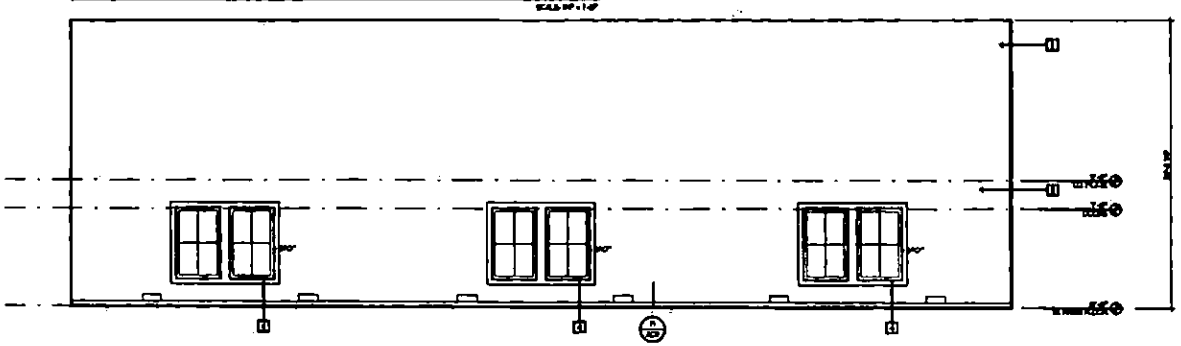
VAR-5548
12/16/04 PC

RECEIVED
NOV 9 . 2004

DETACHED GARAGE



DETACHED GARAGE ELEVATION – FRONT (property line)



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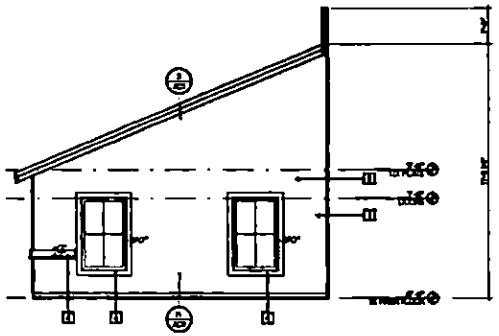
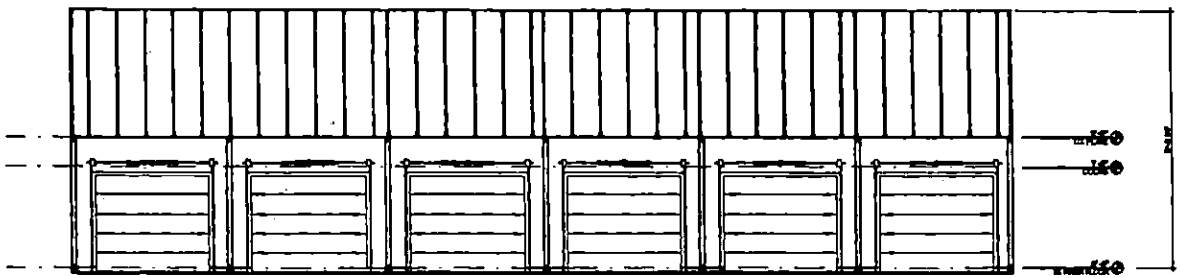
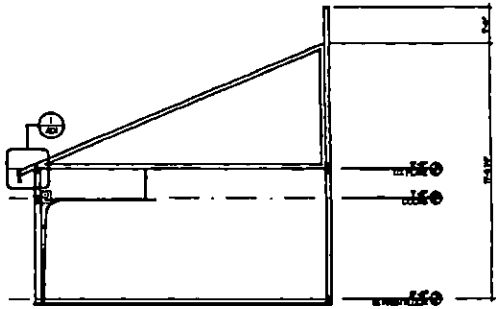


DETACHED GARAGE ELEVATION – SIDES



A/A7.6 DETACHED GARAGE – SECTION (property line)



B/A7.6 DETACHED GARAGE ELEVATION – SIDES (property line)

EOT-18804
02/08/07

ELEVATION KEY NOTES

01	DECORATION – TYPICAL BUILDINGS

SCOTT L. BAKER, ARCHITECT, INC.

OVATION
LONE MOUNTAIN PROJECT
RANCHO AND LONE MOUNTAIN
CITY OF LAS VEGAS, NEVADA

PRELIMINARY SET

DETACHED GARAGE ELEVATIONS & SECTIONS
A7.6
OF

VAR-5548
12/16/04 PC

RECEIVED
NOV 0 1 2004

DETACHED GARAGE

ELEVATION KEY NOTES

1	DESCRIPTION – TYPICAL BUILDINGS
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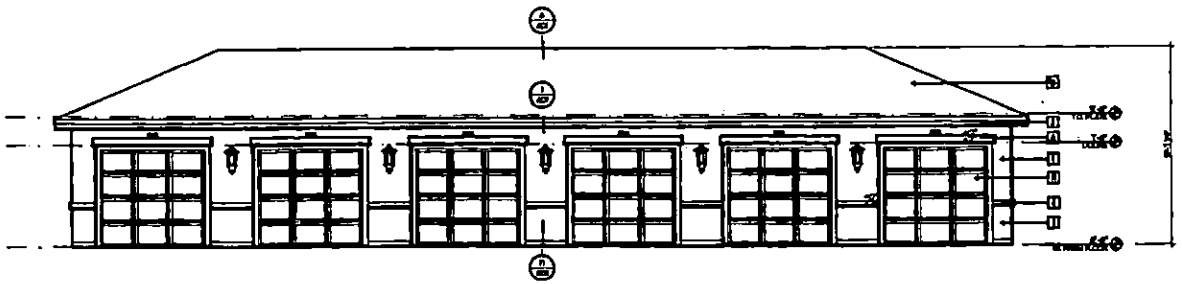
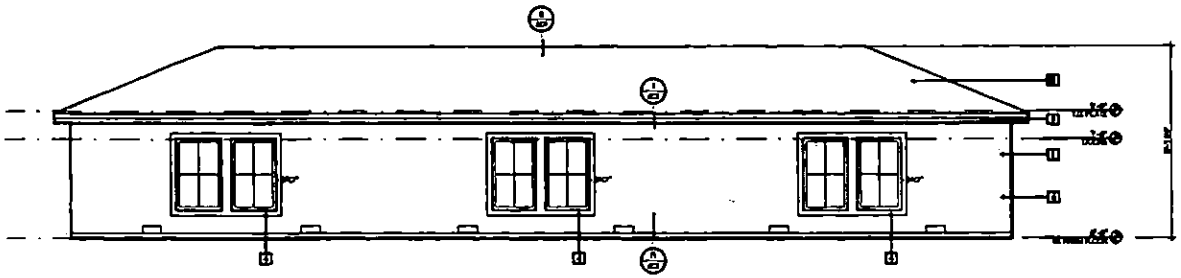


DETACHED GARAGE ELEVATION – FRONT (On Site)



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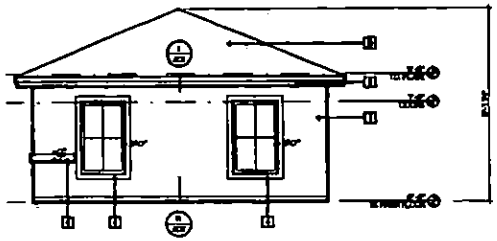
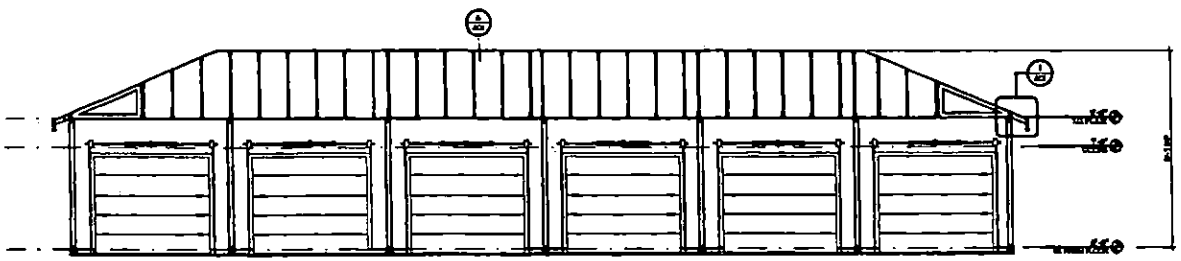


DETACHED GARAGE ELEVATION – SIDES (On Site)



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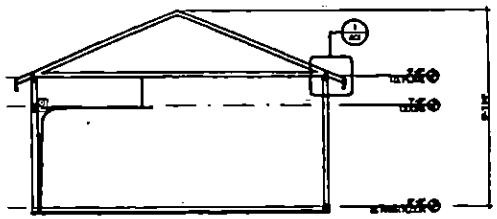


B/A15 DETACHED GARAGE ELEVATION – SIDES (On Site)

EOT-18804
02/08/07

SCOTT L. BAKER, ARCHITECT, INC.

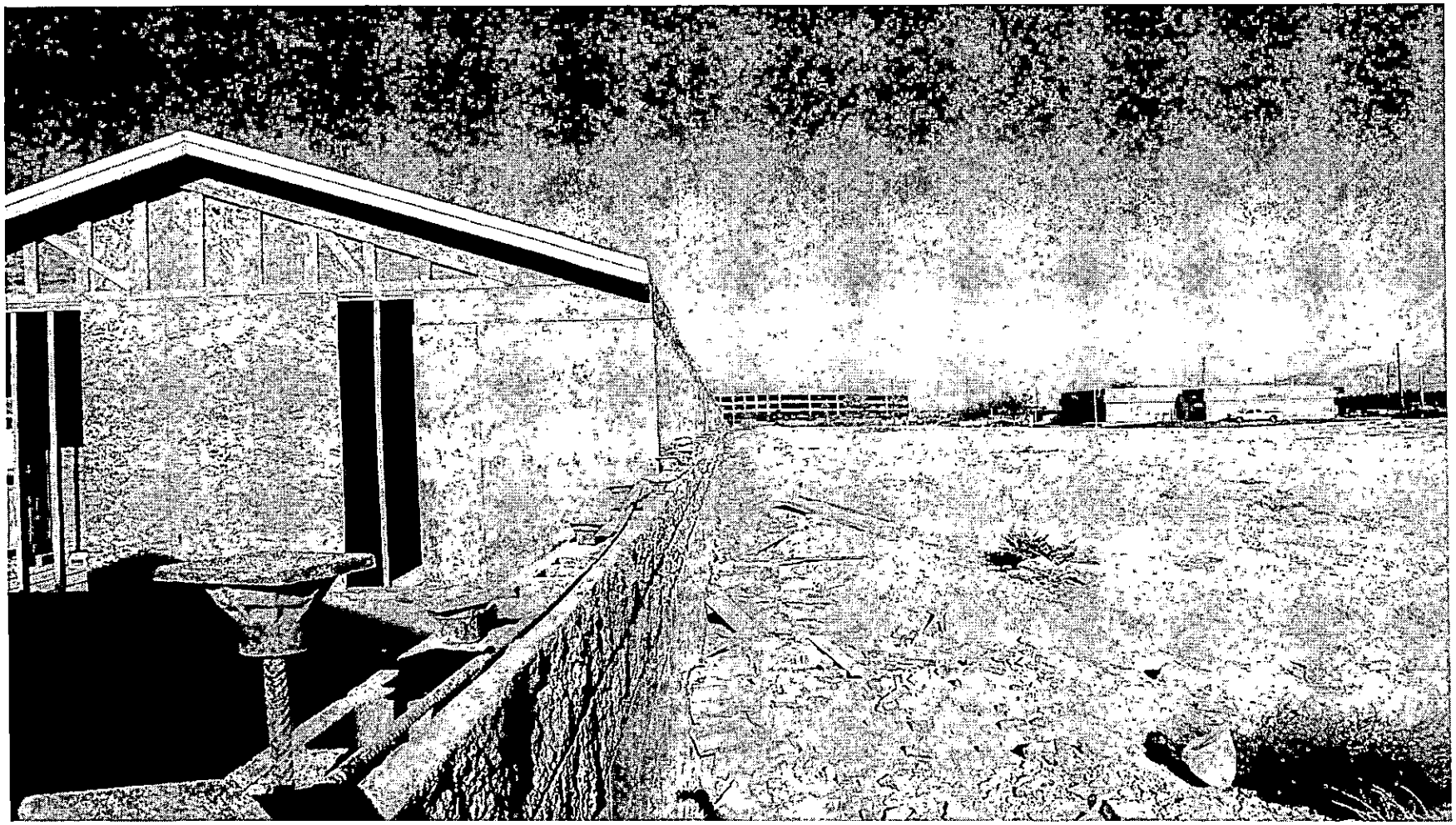
OVATION
LONE MOUNTAIN PROJECT
RANCHO AND LONE MOUNTAIN
CITY OF LAS VEGAS, NEVADA

PRELIMINARY SET

DETACHED GARAGE ELEVATIONS & SECTIONS

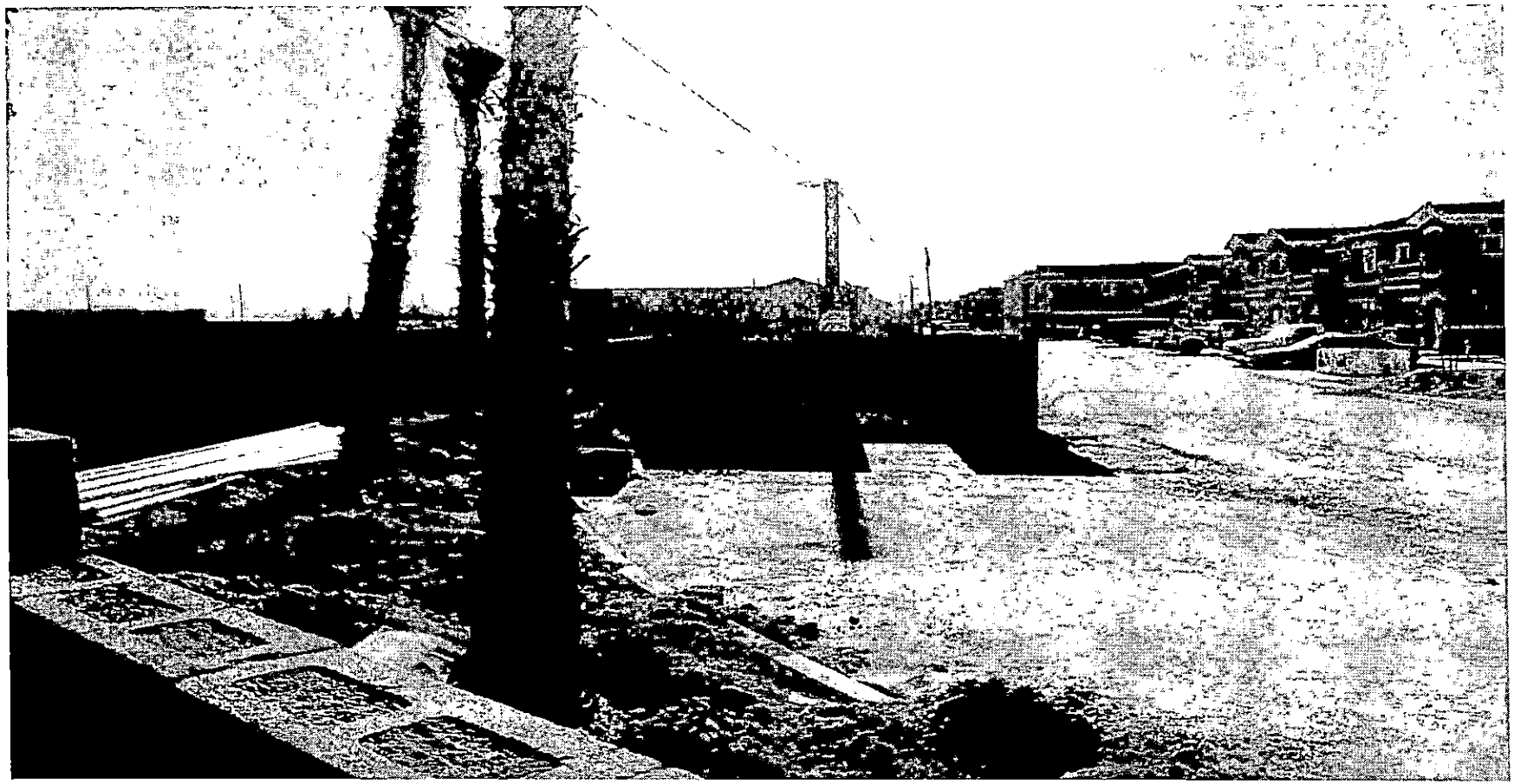
A7.5

SHEET ___ OF ___



EOT-18804 - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC
ADJACENT TO THE EAST SIDE OF RAINBOW BOULEVARD, APPROXIMATELY 350 FEET SOUTH OF LONE MOUNTAIN ROAD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/16/07



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FEBRUARY 8, 2007 PLANNING COMMISSION

01/16/07

EOT-18804 - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC
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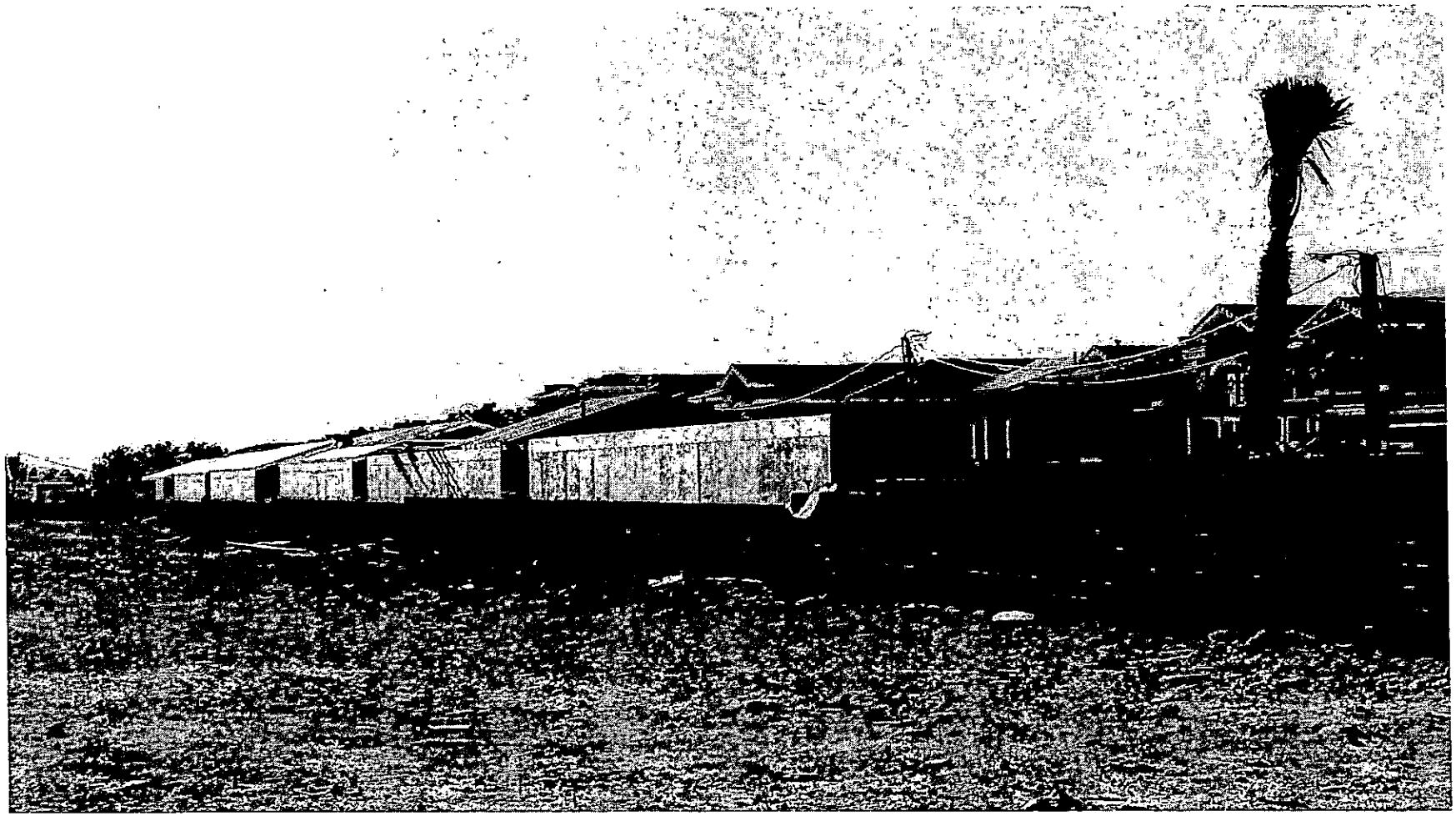
FEBRUARY 8, 2007 PLANNING COMMISSION

01/16/07



EOT-18804 - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APTS. I, LLC
ADJACENT TO THE EAST SIDE OF RAINBOW BOULEVARD, APPROXIMATELY 350 FEET SOUTH OF LONE MOUNTAIN ROAD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/16/07

062-E169(A)

PLANNING & DEVELOPMENT

Development Services Center
731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108
Voice:
Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
www.lasvegasnevada.gov

January 14, 2005

Mr. Alan Molasky
Lone Mountain Apartments, LLC
1175 American Pacific Drive, Suite F
Henderson, Nevada 89074

RE: ABEYANCE - RENOTIFICATION - VAR-5548 - VARIANCE

Dear Mr. Molasky:

Your request for a Variance TO ALLOW A ZERO FOOT REAR YARD SETBACK WHERE THREE FEET IS REQUIRED FOR ACCESSORY STRUCTURES (SIX COVERED PARKING GARAGES) AND A VARIANCE OF LANDSCAPE STANDARDS FOR A PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT adjacent to the east side of Rainbow Boulevard, approximately 350 feet south of Lone Mountain Road (APN 138-02-101-001 and 013), R-E (Residence Estates) and C-2 (General Commercial) Zones under Resolution of Intent to R-3 (Medium Density Residential) Zone, Ward 6 (Mack), was considered by the Planning Commission on January 13, 2005.

The Planning Commission voted to ***APPROVE*** your request, subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-3490).
2. The structures shall comply with all the provisions of the Building Code.
3. The garages shall be constructed according to the elevation drawings date stamped 11/01/04 and the site plans date stamped 12/08/04.
4. These Variances shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on January 14, 2005.

Sincerely,

Gary M. Lebold, Planning Supervisor
Planning and Development Department
Current Planning Division

GL:clc

Enclosure

cc: Pete Lass

cc: Mr. Thomas Amick
KKB&R
3800 Howard Hughes Parkway, 7th Floor
Las Vegas, Nevada 89109

07101-001-07-04

EOT-18804
02/08/07

VPOINT
Planners - Engineers - Surveyors
A TRC Company
Customer-Focused Solutions

December 13, 2006
W. O. # 662-E169

CITY OF LAS VEGAS
PLANNING & DEVELOPMENT
731 S. Fourth Street
Las Vegas, NV 89101

RE: LONE MOUNTAIN APARTMENTS VAR-5548

To Whom It May Concern:

VPoint, on behalf of Ovation Development, respectfully requests an extension of time for the variance on the above-referenced project. The variance was to allow a zero foot rear yard setback where three feet is required for accessory structures (six covered parking garages) and a variance of landscape standards for a proposed multi-family residential development. The applicant is requesting that these applications be extended for an additional year from the expiration date of January 13, 2007.

Although nearly complete, the project will not be completed prior to the January 13, 2007 expiration date. Commencement of work on the project was delayed due to approvals required from the Department of Housing and Urban Development (HUD). Work could not begin until said HUD approvals were secured. Additionally, a secondary review on the six covered parking garages was subsequently requested after initial approval was obtained, which further delayed the start of work on the garages.

If you have any questions or comments, please contact me at 248-6415.

Sincerely,
VPOINT

Gary Stockhoff, P.E.
Project Manager
n:\proces\letters\E169016ltr

EOT-18804
02/08/07

City of Las Vegas

Agenda Item No.: 2

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ZON-18972 - REZONING - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - OWNER: MAX JONES PROFESSIONAL PLAZA - Request for a Rezoning FROM O (OFFICE) TO C-1 (LIMITED COMMERCIAL) on 0.85 acres at 1506 South Jones Boulevard (APN-163-01-201-006), Ward 1 (Tarkanian).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter by John Wightman
6. Submitted after final agenda – condition conformation letter by P. Regeski and letter of opposition by Robert L. Moore

MOTION:
GOYNES – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open for Item 2 [ZON-18972] and Item 3 [VAR-18973].

Item 2 [ZON-18972] and Item 3 [VAR-18973] were under the Consent portion of the agenda and were brought forward for discussion at JOHN KORKOSZ'S request, Planning and Development Department.

MINUTES – Continued:

PHILLIP REGESKI, P.R. Engineering, 10225 Schuster Street, appeared on behalf of the applicant and explained this application had been requested by staff. He agreed to all conditions.

MR. KORKOSZ explained that this parcel had been annexed into the City from Clark County and this rezoning would bring the parcel into compliance with the City's master plan. He noted the parcel's difficult topography justified the need for the variance and recommended approval.

MR. KORKOSZ informed CHAIRMAN DAVENPORT that the Limited Commercial (C-1) zoning designation would conform to the City's master plan and that the applicant had already obtained entitlements for an office building.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 2 [ZON-18972] and Item 3 [VAR-18973].

(6:13 – 6:18)

1-283

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-14311) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.

4. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

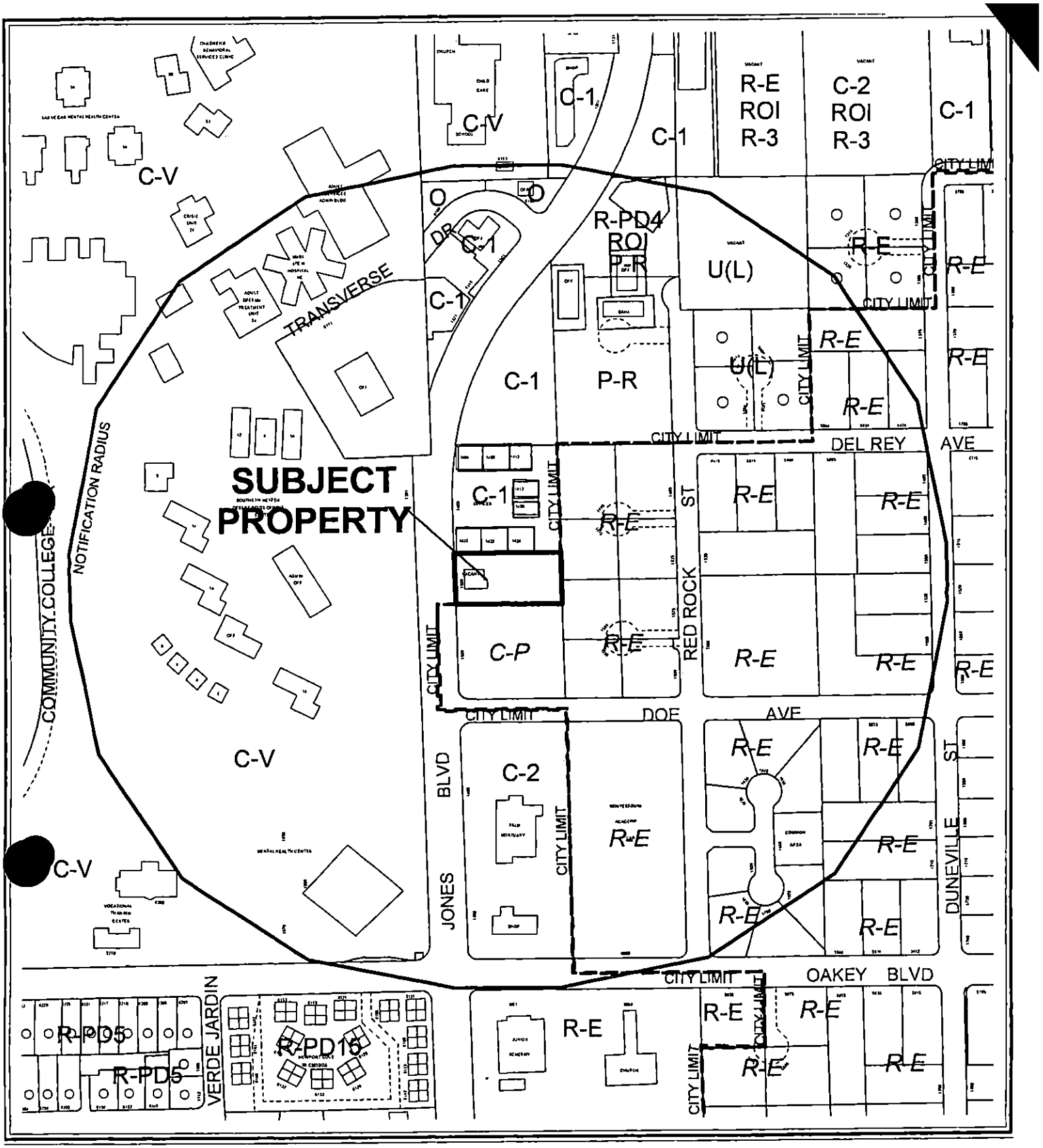
5. Landscape and maintain all unimproved right-of-way, if any, on Jones Boulevard adjacent to this site.

CONDITIONS – Continued:

6. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Jones Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.

7. This site shall connect to the City of Las Vegas public sewer system at a location acceptable to the City Engineer.

8. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.



0 200 400 Feet

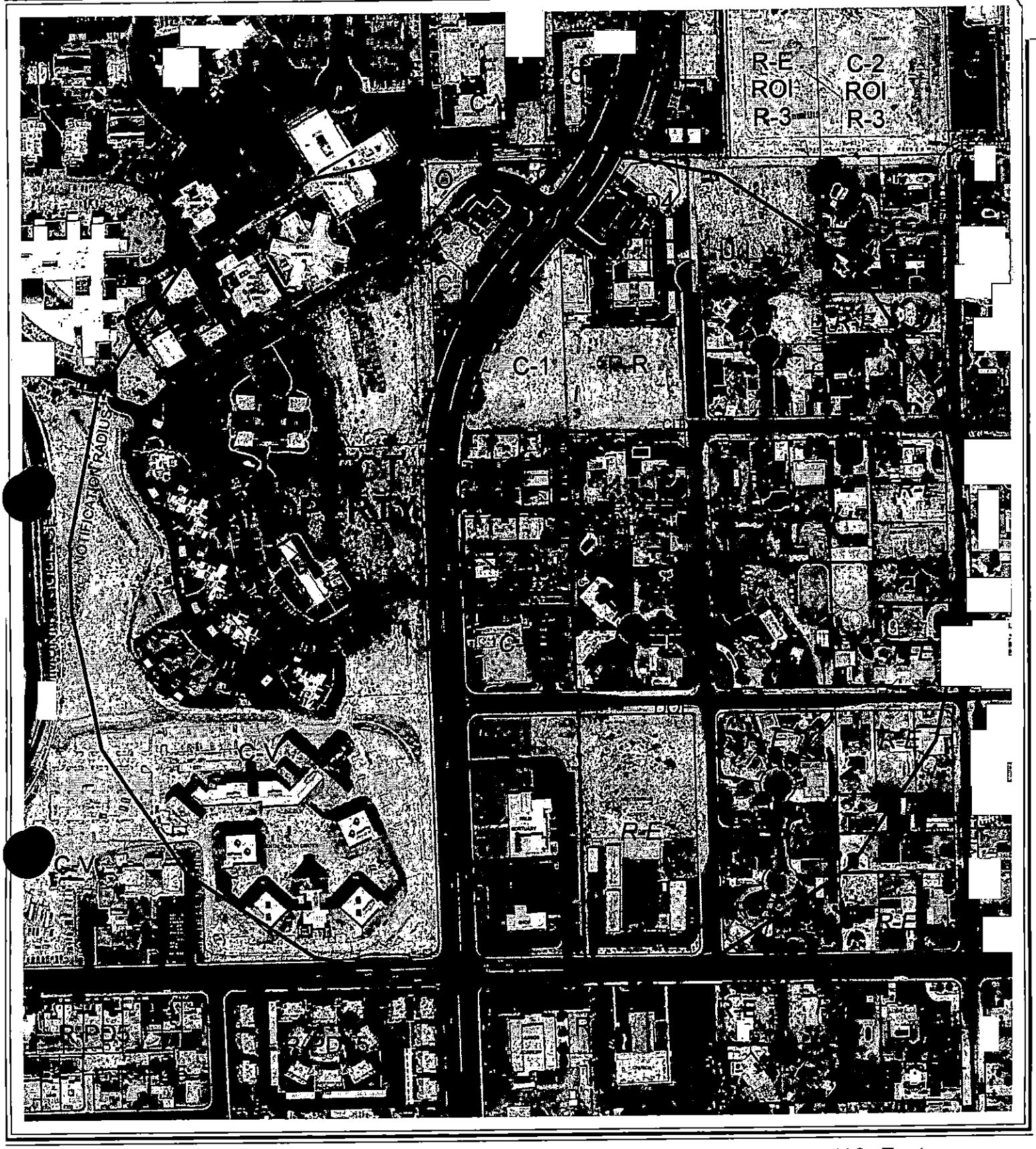
CASE: ZON-18972

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

N



0 200 400 Feet

CASE: **ZON-18972**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ZON-18972 - APPLICANT: CITY OF LAS VEGAS - OWNER: MAX JONES PROFESSIONAL PLAZA

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL,** subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-14311) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.

4. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

5. Landscape and maintain all unimproved right-of-way, if any, on Jones Boulevard adjacent to this site.

6. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Jones Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.

7. This site shall connect to the City of Las Vegas public sewer system at a location acceptable to the City Engineer.

8. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

JK

ZON-18972 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Rezoning from O (Office) to C-1 (Limited Commercial) on 0.85 acres at 1506 South Jones Boulevard. A companion variance (VAR-18973) for reduced front setback will be heard concurrently with this request.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
7/19/06	The City Council approved a Petition to Annex (ANX-12916) the subject property. The annexation became effective on 8/11/06.
10/18/06	The City Council approved a Site Development Plan Review (SDR-14311) and a Variance (VAR-14313) for a 21,551 square-foot, two-story office building with a waiver of the perimeter landscape buffer and reduced residential adjacency. The Planning Commission and Staff recommended approval.
Pre-Application Meeting	
12/27/06	At the pre-application meeting the applicant was informed about the requirements for submitting a Zone Change and a Variance and that the project would be required to conform to SDR-14311.
Neighborhood Meeting	
A meeting for this application type is not required, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	0.85 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single Family Residence	SC (Service Commercial)	O (Office)
North	Offices	SC (Service Commercial)	C-1 (Limited Commercial)
South	Offices	SC (Service Commercial)	R-E (Residential Estates) Clark County
East	Single Family Residences	DR (Desert Rural Density Residential)	R-E (Residential Estates) Clark County
West	Southern Nevada Desert Development Center	PF (Public Facilities)	C-V (Civic)

JK

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	N/A
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District	X		Y*
Development Impact Notification Assessment			N/A
Project of Regional Significance			N/A

* This parcel is located within the 330-foot street buffer for a Rural Preservation Neighborhood.

ANALYSIS

This parcel was annexed into the City of Las Vegas on August 13, 2006. This property is flanked by commercial land uses, office and retail to the north and south along Jones Boulevard. The Southern Nevada Desert Development Center is also located to the west, across Jones Boulevard.

The General Plan designates this land as SC (Service Commercial) and the O (Office) zone is not a permitted zoning category in SC (Service Commercial) land-use designation. A condition of approval was added to SDR-14311 requiring this property to be rezoned to a category that is permitted in the SC (Service Commercial) land use designation. The C-1 (Limited Commercial) zoning district is a supported zoning category within the SC (Service Commercial) land-use designation. Therefore, staff supports this request.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

   This request conforms to the General Plan and is a requirement of the approval of SDR-14311.

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

   The uses permitted in the C-1 (Limited Commercial) zoning district are consistent and compatible with the existing land uses located along Jones Boulevard.

JK

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

   Because the C-1 (Limited Commercial) zoning district is a supported zoning category in the SC (Service Commercial) land-use category and the uses within the C-1 (Limited Commercial) zoning district are consistent with the surrounding land uses along Jones Boulevard, this request for a rezoning is appropriate.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

   Jones Boulevard is listed as a 100-foot Primary Arterial on the Master Plan of Streets and Highways and can adequately handle the traffic generated by the proposed development.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 10

ASSEMBLY DISTRICT 3

SENATE DISTRICT 8

NOTICES MAILED 72 (Mailed with VAR-18973)

APPROVALS 0

PROTESTS 1

JK

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-18972 APN: 163-01-201-006

Name of Property Owner: MAX JONES PROFESSIONAL PLAZA LLC

Name of Applicant: DENNIS IWASAKA

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes ✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: SUNNY LAU

Subscribed and sworn before me

This 28 day of DEC, 2006

_____

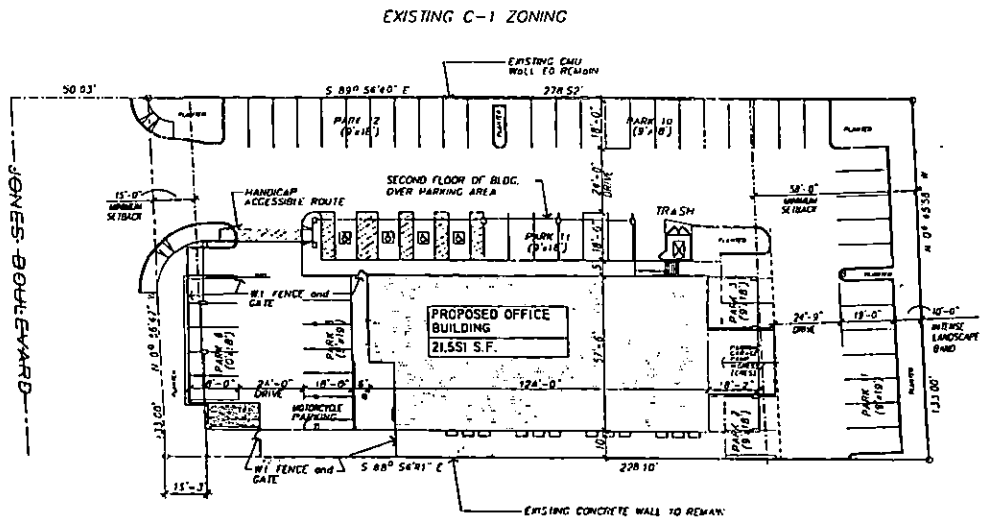
Notary Public in and for said County and State

PHILLIP REGESKI
Notary Public, State of Nevada
Appointment No. 01684691
My Appt. Expires Jun. 20, 2009

SITE DATA	
LOT AREA GROSS TOTAL:	43,644 S.F.
RIGHT-OF-WAY AREA	6,450 S.F.
EXISTING ZONING	R-E
PROPOSED ZONING	C-P
DESCRIPTION	AREA
PROPOSED	
OFFICE BUILDING	21,551 S.F. TOTAL
BASEMENT PARKING GARAGE	11,252 S.F. TOTAL

PARKING REQUIRED	
OFFICE	21,551 S.F. @ 4/1000 = 89 SPACES
TOTAL PARKING REQUIRED (4 HANDICAPPED SPACES)	89 SPACES
TOTAL PARKING PROVIDED 60 SPACES ABOVE GROUND (INCLUDES 4 HANDICAPPED SPACES) 30 SPACES BASEMENT GARAGE	90 SPACES

2 LOCATION MAP
NOT TO SCALE



1 SITE PLAN
SCALE 1/16" = 1'-0"

MARK ROSS HOLLBROOK ARCHITECT

PROPOSED OFFICE BUILDING
A.P.N. #163-01-201-006
1506 S. JONES BLVD.
FOR: MAP REALTY & ASSOC

Date 09-6-05

PROJECT NUMBER 200510

A-1.1

ZON-18972
VAR-18973
02/08/07 PC

RECEIVED
DEC 28 2006

JUSTIFICATION LETTER FOR ~~VARIANCE~~ ZONE CHANGE FOR JONES OFFICE AT APN 163-01-201-006.
12/27/06

This is a request for a ~~Variance~~ ZONE CHANGE for the above stated project at 1506 S. Jones Blvd. in the City of Las Vegas. The property will be used for a professional office building.

~~We are asking for a waiver for ZONE CHANGE THE building offset along Jones where 20 feet is required and 15 feet is provided. The existing project to the north has provided 5 feet of offset. The waiver is justified because it is in conformance with the adjacent projects and the narrow parcel makes the required offset a hardship.~~

WE ARE ASKING FOR A ZONE CHANGE TO MEET THE CITY'S MASTER PLAN. WE ARE CHANGING THE ZONING FROM O TO CL.

File: 9101-justification4

ZON-18972
VAR-18973
02/08/07 PC

Jones Professional Center, LLC
1301 S. Jones Blvd.
Las Vegas, Nevada 89146

Tel: (702) 878-0959
Fax (702) 878-1325

January 30, 2007

Planning and Development Department
Current Planning Division
Development Services Center
731 South Forth Street
Las Vegas, Nevada 89101

RE: VAR-18973 and ZON-18972 Objection

Regarding the above noted Zoning and Variance requests for the property located at 1506 S. Jones Blvd., I am a Managing Member of Jones Professional Center, LLC whose address is 1301 S. Jones Blvd., Las Vegas, NV 89146 and I am opposed to both requests on the following basis:

1. The current development of this particular corridor of Jones Blvd has been mostly professional office space. This is consistent with the current zoning for the existing parcel and will provide for stable appreciation and consistent construction of this and the surrounding land. A modification of the existing zoning to C-1 (limited commercial) will disrupt the future continued development of the Jones corridor from an improving professional corridor to one that may represent the Charleston commercial corridor which is significantly less attractive for professionals. Our recent addition of 9,000 square feet as well as our original 5,000 square feet of development was done consistent with this zoning requirement, and I strongly oppose any zoning modifications.
2. The requested variance to reduce the front setback from 20 feet to 15 feet is no doubt to provide for additional parking as the applicant/owner appears to be attempting to overbuild the site by putting 21,551 square feet of office on such a small parcel. As the set back is to protect the aesthetics and safety of the entire corridor, I am opposed to this request as well. In addition to the aesthetics and safety factors that are created as a result of a reduction of the required set back, this will also disrupt the current development of this area, which in recent years has been steadily improving and will reduce the value of the property surrounding this development. Accordingly, I am strongly opposed to this variance.

Sincerely,

John Wightman
Manager/Member

ITEM # 2 & 3
CASE # ZON-18972 & VAR-18973
PC MTG 2-8-07

CITY OF LAS VEGAS

ONE MOTION / ONE VOTE

Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: ZON-18972 - APPLICANT: CITY OF LAS VEGAS - OWNER: MAX JONES PROFESSIONAL PLAZA

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the ***February 8, 2007*** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Dorothy Marsili at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.

Signature

2-3-07
Date

P. REGESKI
Please print name

P.R. ENGINEERING
Company Name

Sincerely,

John Korkosz
Planning Supervisor
Current Planning Division

Submitted after final agenda
Date 2/8/07 Item # 2

BURNHAM
REAL ESTATE

RECEIVED
CITY CLERK

2007 FEB -8 P 4: 29

February 8, 2007

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

RE: APN 163-01-201-006

To Whom It May Concern,

My client, Richard T. Crawford dba Green Valley Grocery would like to go on record and object to the zone change to CI regarding this future development. This is the only objection we have against this development.

I would appreciate that this letter be referenced in any City Council Meeting in regards to this matter. If you would like any further comment from me, I can be reached at 702.221.7000

Sincerely,
Burnham Real Estate

Robert L. Moore

Robert L. Moore, CPM
Managing Partner
as agent for Richard T. Crawford
dba Green Valley Grocery

CC: RTC

Submitted after final agenda

Date 2/8/07 Item #2.

City of Las Vegas

Agenda Item No.: 3

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
VAR-18973 - VARIANCE RELATED TO ZON-18972 - PUBLIC HEARING APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA - Request for a Variance TO ALLOW A FRONT SETBACK OF 15 FEET WHERE 20 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED 21,551 SQUARE-FOOT OFFICE BUILDING on 0.85 acres at 1506 South Jones Boulevard (APN-163-01-201-006), O (Office) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter by John Wightman
6. Submitted after final agenda – condition conformation letter by P. Regeski

MOTION:
GOYNES – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
See Item 2 for related discussion and backup.
(6:13 – 6:18)

City of Las Vegas

Agenda Item No.: 3

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 3 – VAR-18973

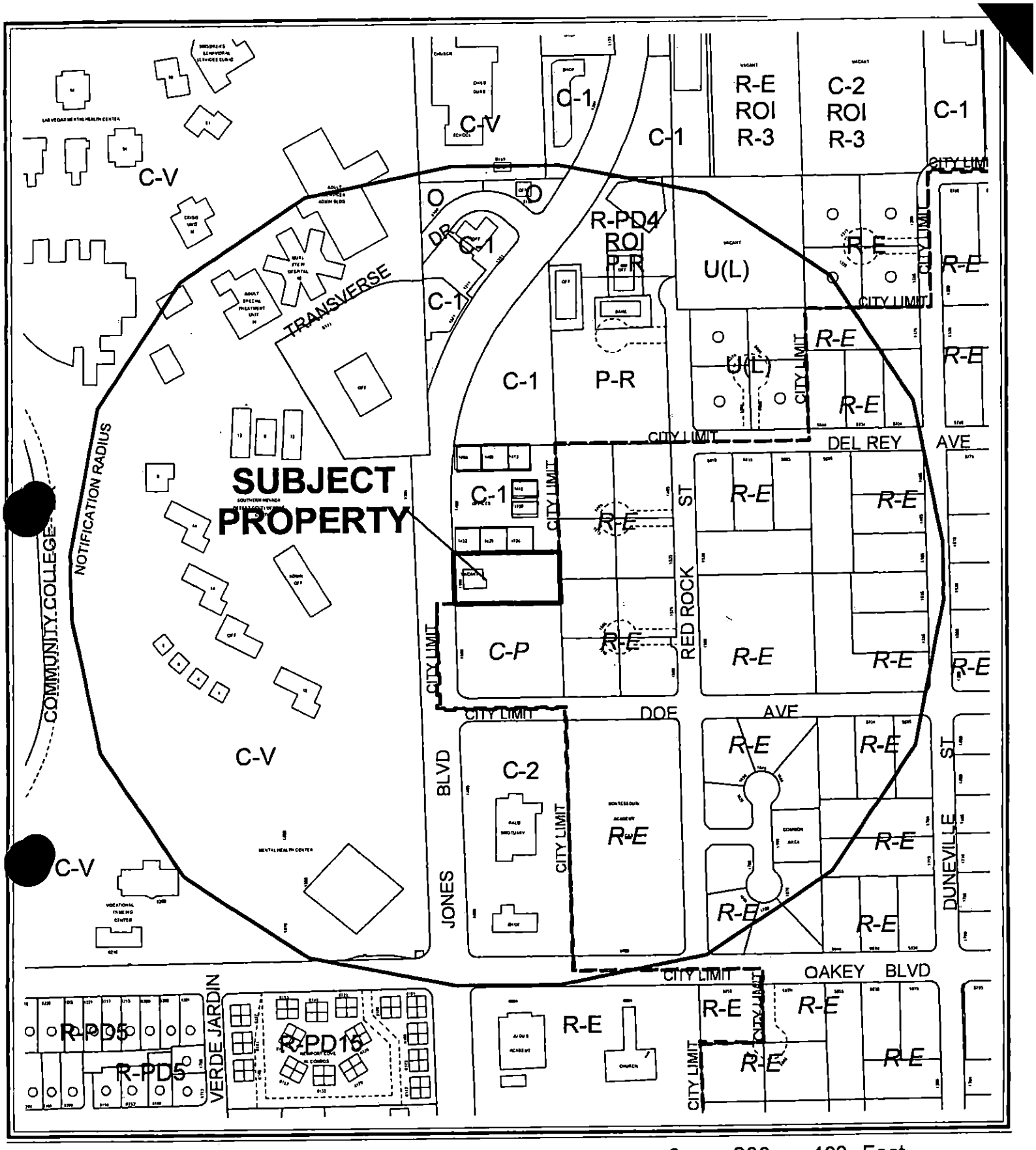
CONDITIONS:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18972), Site Development Plan Review (SDR-14311), and Variance (VAR-14313), if approved.

2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. The applicant shall provide two loading spaces as required by code.



0 200 400 Feet

CASE: **VAR-18973**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: VAR-18973 - APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL**, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18972), Site Development Plan Review (SDR-14311), and Variance (VAR-14313), if approved.

2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. The applicant shall provide two loading spaces as required by code.

JK

VAR-18973 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a variance (VAR-18973) for reduced front setback for a proposed 21,551 square-foot office on 0.85 acres at 1506 South Jones Boulevard. A companion Rezoning from O (Office) to C-1 (Limited Commercial) will be heard concurrently with this request.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
7/19/06	The City Council approved a Petition to Annex (ANX-12916) the subject property. The annexation became effective on 8/11/06.
10/18/06	The City Council approved a Site Development Plan Review (SDR-14311) and a Variance (VAR-14313) for a 21,551 square-foot, two-story office building with a waiver of the perimeter landscape buffer and reduced residential adjacency. The Planning Commission and Staff recommended approval.
Pre-Application Meeting	
12/27/06	At the pre-application meeting the applicant was informed about the requirements for submitting a Zone Change and a Variance and that the project would be required to conform to SDR-14311.
Neighborhood Meeting	
A meeting for this application type is not required, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	0.85 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single Family Residence	SC (Service Commercial)	O (Office)
North	Offices	SC (Service Commercial)	C-1 (Limited Commercial)
South	Offices	SC (Service Commercial)	R-E (Residential Estates) Clark County
East	Single Family Residences	DR (Desert Rural Density Residential)	R-E (Residential Estates) Clark County
West	Southern Nevada Desert Development Center	PF (Public Facilities)	C-V (Civic)

JK

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District	X		Y*
Development Impact Notification Assessment			N/A
Project of Regional Significance			N/A

* This parcel is located within the 330-foot street buffer for a Rural Preservation Neighborhood.

DEVELOPMENT STANDARDS

Per Title 19.08 the following development standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	0.85	N/A
Min. Lot Width	100 Feet	133 Feet	Y
Min. Setbacks			
• Front	20 Feet	15 Feet	N
• Side	10 Feet	10 Feet	Y
• Corner	N/A	N/A	N/A
• Rear	20 Feet	53 Feet	Y
Min. Distance Between Buildings	N/A	N/A	N/A
Max. Lot Coverage	50 %	49%	Y
Max. Building Height	N/A	N/A	N/A
Trash Enclosure	50 Feet	78 Feet	Y
Mech. Equipment	Screened	Screened	Y

Please review notes related to residential and commercial/industrial development standards in Title 19.08.

Review the following from Title 19.08.060

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	105 Feet	53 Feet	N*
Trash Enclosure	50 Feet	78 Feet	Y

* The reduced residential adjacency for this project was addressed via the approval of VAR-14313

JK

VAR-18973 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Per Title 19.12 the following parking and landscaping standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Trees/ 6 Spaces	15 Trees	5 Trees	N*
Buffer: Min. Trees	1 Tree/20 Linear Feet	7 Trees	13 Trees	Y
TOTAL		22 Trees	18 Trees	Y
Min. Zone Width	Eight Feet		Zero Feet on North Property Line.	N*
Wall Height	6 Feet		6 Feet	Y

* The waivers of landscaping were addressed via the approval of SDR-14311.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
		Required			Provided		Compliance
			Parking		Parking		
Use	Gross Floor Area	Parking Ratio	Regular	Handi-capped	Regular	Handi-capped	
Office (other than listed)	21,551	1:300	69	3	86	4	Y
TOTAL (including handicap)			72		90		Y
Loading Spaces			2		Zero		N*

* A condition has been imposed requiring two loading spaces.

ANALYSIS

The request for a 15-foot front setback for this proposed office on property may be appropriate due to topographic changes from west to east at this location. There was a prior approval for this project via SDR-14311 and VAR-14313. However, the need for a variance for the front setback was not identified through the prior applications. At ground-level, the front of the building will be covered parking and the actual building will extend into the required front setback at the second story of the building. Only the supporting columns for the second story will extend into the required front setback at ground-level. No changes have been made to the building and all aspects of the project are the same as they were under the prior applications. However, after reviewing the plans in the prior applications and this application, staff has identified that no loading zones have been provided where two loading spaces are required. A condition of approval requiring two loading spaces will address this deficiency.

JK

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:
"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

Topographic changes on the site may provide evidence of a unique or extraordinary circumstance. Therefore, it is concluded that the applicant's hardship may not be self-imposed, and it may be within the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 10

ASSEMBLY DISTRICT 3

SENATE DISTRICT 8

NOTICES MAILED 72 (Mailed with ZON-18972)

APPROVALS 0

PROTESTS 1

JK

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-18973** APN: 163-01-201-006

Name of Property Owner: MAX JONES PROFESSIONAL PLAZA LLC

Name of Applicant: DENNIS IWASAKA

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes ✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: SUNNY LAU

Subscribed and sworn before me

This 28 day of DECEMBER, 2006

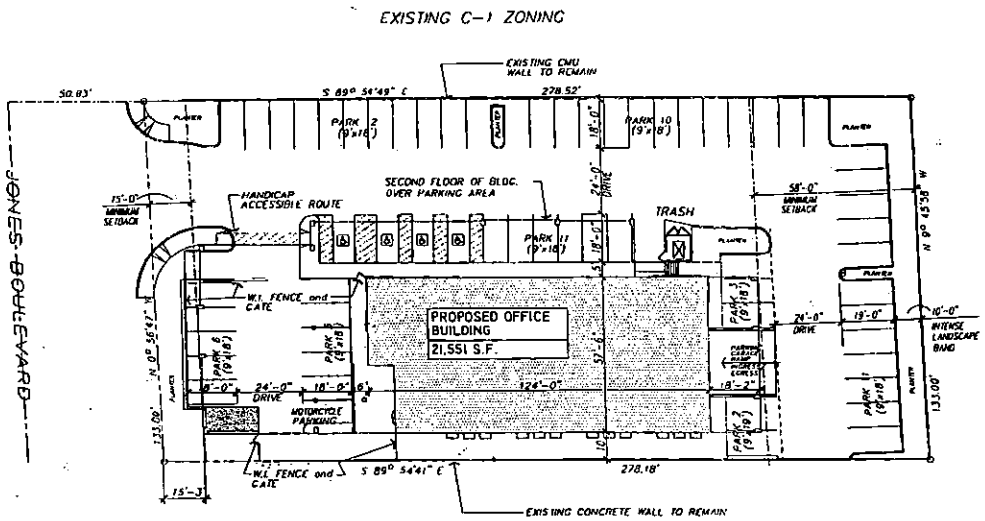
PHILLIP REGESKI
Notary Public, State of Nevada
Appointment No. 01684691
My Appt Expires Jun. 20, 2009

Notary Public in and for said County and State

SITE DATA	
LOT AREA GROSS TOTAL:	43,644 S.F.
RIGHT-OF-WAY AREA:	6,650 S.F.
EXISTING ZONING:	R-E
PROPOSED ZONING:	C-P
DESCRIPTION	AREA
PROPOSED	
OFFICE BUILDING:	21,551 S.F. TOTAL
BASEMENT PARKING GARAGE:	11,732 S.F. TOTAL

PARKING REQUIRED	
OFFICE:	21,551 S.F. @ 4/1000 = 89 SPACES
TOTAL PARKING REQUIRED: (4 HANDICAPPED SPACES)	89 SPACES
TOTAL PARKING PROVIDED	90 SPACES
60 SPACES ABOVE GROUND (INCLUDES 4 HANDICAPPED SPACES)	
30 SPACES BASEMENT GARAGE	

MARK ROSS JOHNSON ARCHITECT



1 SITE PLAN
SCALE: 1/16" = 1'-0"

2 LOCATION MAP
NOT TO SCALE

PROPOSED OFFICE BUILDING
A.P.N. #163-01-201-006
1506 S. JONES BLVD.
FOR: MAK REALTY & ASSOC.
LAS VEGAS, NEVADA

Date: 09-8-05

PROJECT NUMBER 200510

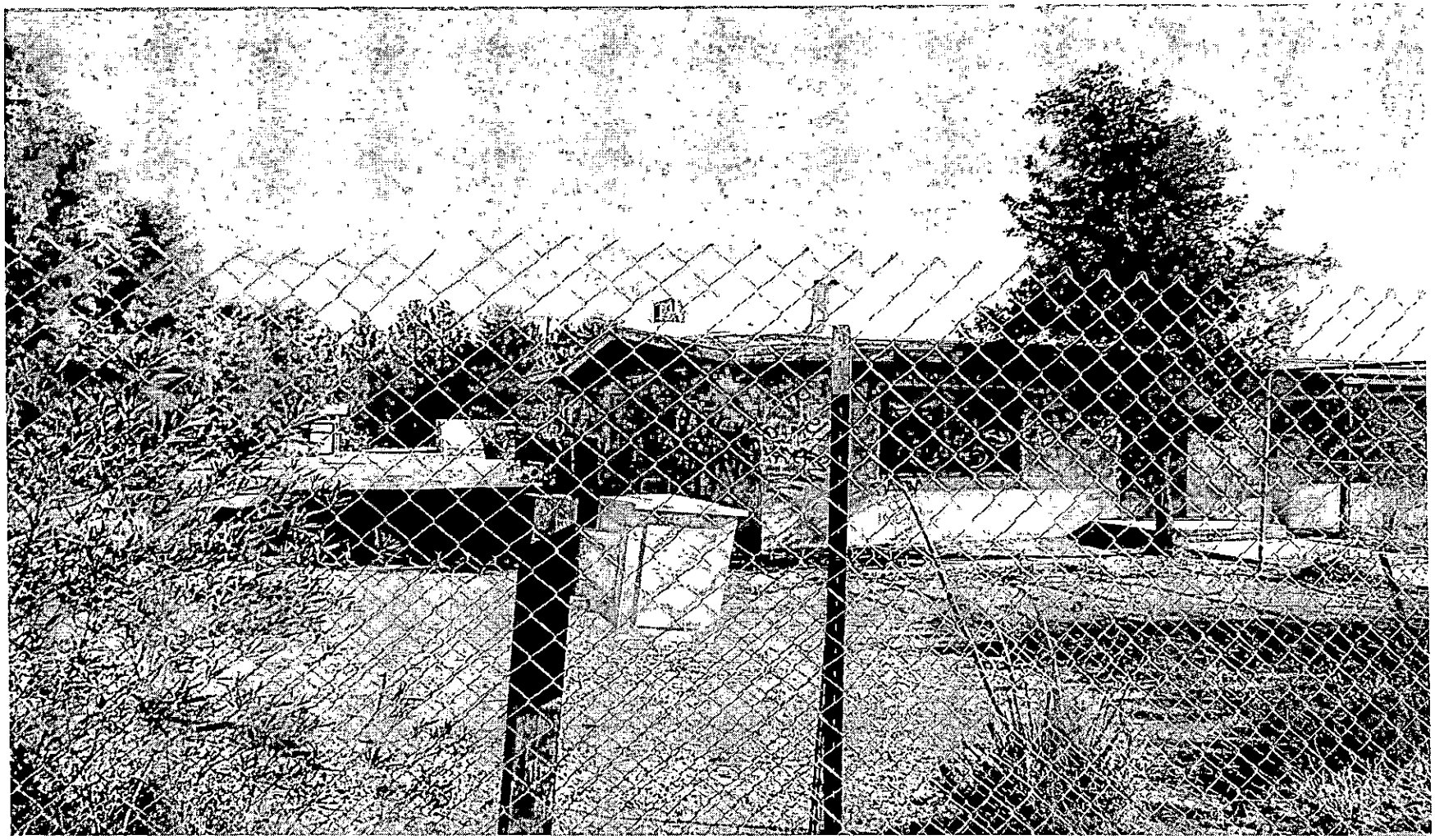
A-1.1

ZON-18972
VAR-18973
02/08/07 PC

RECEIVED
DEC 28 2006

ZON-18972 AND VAR-18973 - APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA
1506 SOUTH JONES BOULEVARD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/08/07



ZON-18972 AND VAR-18973 - APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA
1506 SOUTH JONES BOULEVARD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/08/07

ZON-18972 AND VAR-18973 - APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA
1506 SOUTH JONES BOULEVARD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/08/07

JUSTIFICATION LETTER FOR VARIANCE FOR JONES OFFICE AT APN 163-01-201-006.
12/27/06

This is a request for a Variance for the above stated project at 1506 S. Jones Blvd. in the City of Las Vegas. The property will be used for a professional office building.

We are asking for a waiver for building offset along Jones where 20 feet is required and 15 feet is provided. The existing project to the north has provided 5 feet of offset. The waiver is justified because it is in conformance with the adjacent projects and the narrow parcel makes the required offset a hardship.

File: 9101-justification4

ZON-18972
VAR-18973
02/08/07 PC

Jones Professional Center, LLC
1301 S. Jones Blvd.
Las Vegas, Nevada 89146

Tel: (702) 878-0959
Fax (702) 878-1325

January 30, 2007

Planning and Development Department
Current Planning Division
Development Services Center
731 South Forth Street
Las Vegas, Nevada 89101

RE: VAR-18973 and ZON-18972 Objection

Regarding the above noted Zoning and Variance requests for the property located at 1506 S. Jones Blvd., I am a Managing Member of Jones Professional Center, LLC whose address is 1301 S. Jones Blvd., Las Vegas, NV 89146 and I am opposed to both requests on the following basis:

1. The current development of this particular corridor of Jones Blvd has been mostly professional office space. This is consistent with the current zoning for the existing parcel and will provide for stable appreciation and consistent construction of this and the surrounding land. A modification of the existing zoning to C-1 (limited commercial) will disrupt the future continued development of the Jones corridor from an improving professional corridor to one that may represent the Charleston commercial corridor which is significantly less attractive for professionals. Our recent addition of 9,000 square feet as well as our original 5,000 square feet of development was done consistent with this zoning requirement, and I strongly oppose any zoning modifications.
2. The requested variance to reduce the front setback from 20 feet to 15 feet is no doubt to provide for additional parking as the applicant/owner appears to be attempting to overbuild the site by putting 21,551 square feet of office on such a small parcel. As the set back is to protect the aesthetics and safety of the entire corridor, I am opposed to this request as well. In addition to the aesthetics and safety factors that are created as a result of a reduction of the required set back, this will also disrupt the current development of this area, which in recent years has been steadily improving and will reduce the value of the property surrounding this development. Accordingly, I am strongly opposed to this variance.

Sincerely,

John Wightman
Manager/Member

ITEM # 2 + 3
CASE # ZON-18972 + VAR-18973
PC MTG 2-8-07

CITY OF LAS VEGAS

ONE MOTION / ONE VOTE

Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: VAR-18973 - APPLICANT/OWNER: MAX JONES PROFESSIONAL PLAZA

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the ***February 8, 2007*** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Dorothy Marsili at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.

Signature

2-3-07
Date

P. REGESKI
Please print name

P. R. ENGINEERING
Company Name

Sincerely,

John Korkosz
Planning Supervisor
Current Planning Division

Submitted after final agenda

Date 2/8/07 Item #3

City of Las Vegas

Agenda Item No.: 4

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
SUP-18927- SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC - Request for a Special Use Permit FOR A RESTAURANT WITH SERVICE BAR at the northeast corner of Sky Pointe Drive and North Cimarron Road (APN 125-21-313-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	1	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter by Lincoln and Kacey Judd
6. Submitted after final agenda – condition conformation letter by Sam J. Facchini

MOTION:
EVANS – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open for Item 4 [SUP-18927] and Item 5 [SDR-18926].

Item 4 [SUP-18927] and Item 5 [SDR-18926] were under the Consent portion of the agenda and were brought forward for discussion at JOHN KORKOSZ'S request, Planning and Development Department.

MINUTES – Continued:

MR. KORKOSZ stated the proposed restaurant meets all relevant development standards; therefore, he recommended approval as the request is appropriate for the area. He noted the protest letter only pertained to the service bar.

SAM FACCHINI, 34 Fayette Drive, owner of Metro Pizza, agreed to all conditions of approval. At COMMISSIONER GOYNES' request, MR. FACCHINI clarified that the restaurant would not be a bar or tavern and that there would not be drive-through service. He explained that the service bar was intended to provide restaurant patrons with beer or wine in conjunction with their meals and pointed out liquor would not be served.

COMMISSIONER EVANS complimented MR. FACCHINI on the food served at his restaurants and noted the business is well-managed and has received numerous awards. He emphasized the service bar is an incidental use and stated his support.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 4 [SUP-18927] and Item 5 [SDR-18926].

(6:18 – 6:22)

1-443

CONDITIONS:

Planning and Development

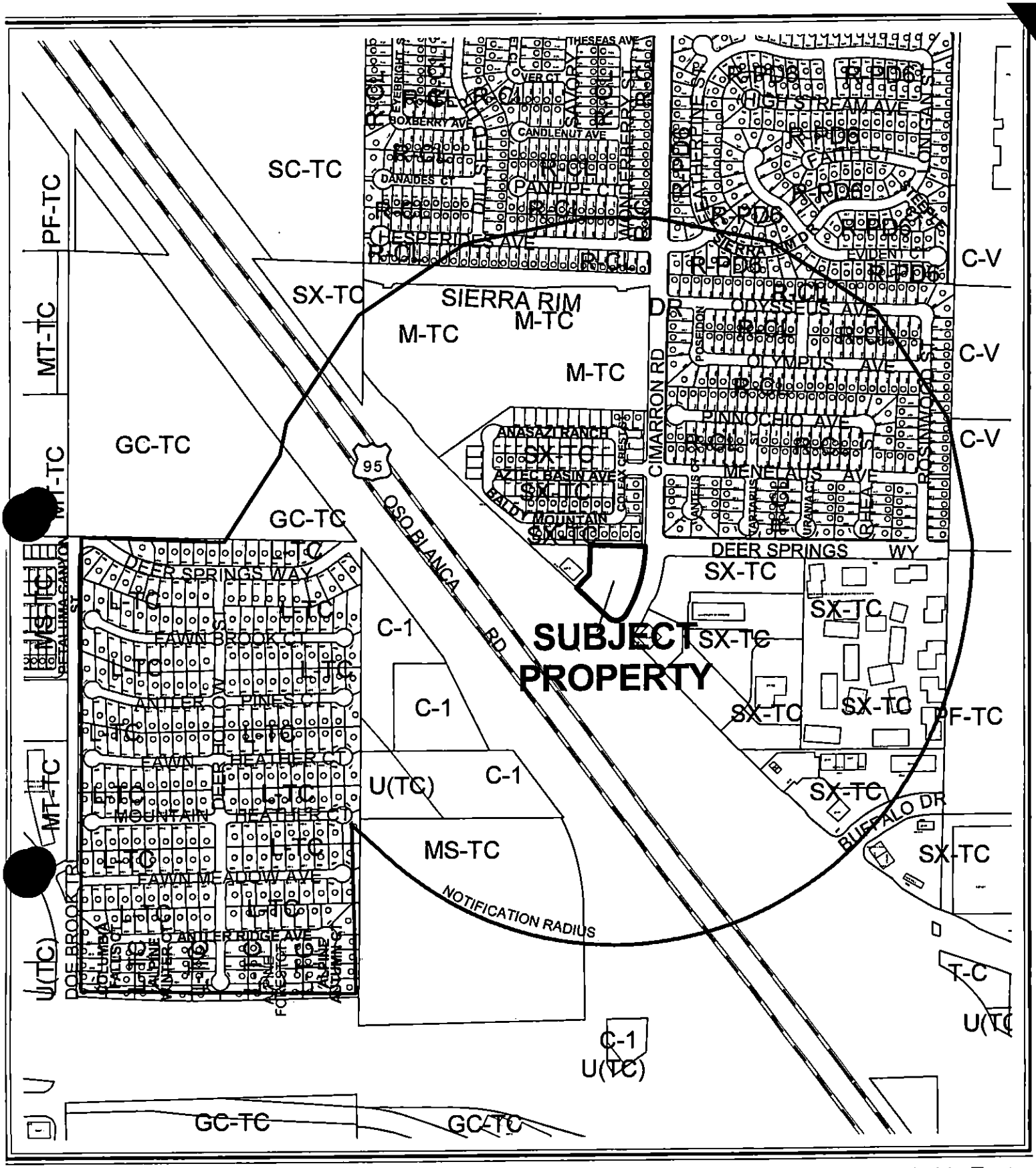
1. Conformance to the conditions for Rezoning (Z-0076-98) and Site Development Plan Review (SDR-18926) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Approval of this Special Use Permit does not constitute approval of a liquor license.

4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



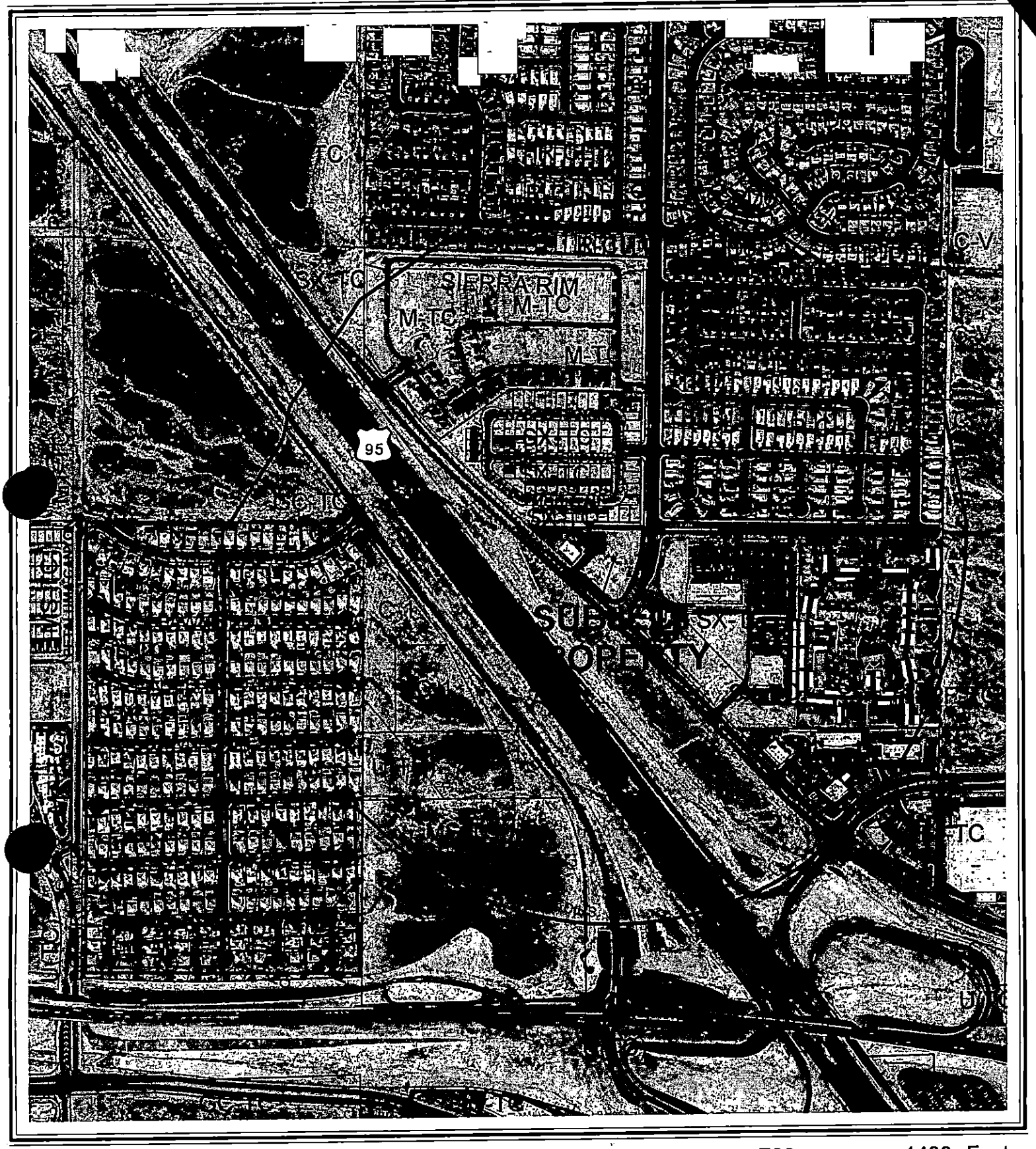
0 700 1400 Feet

CASE: **SUP-18927**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]



0 700 1400 Feet

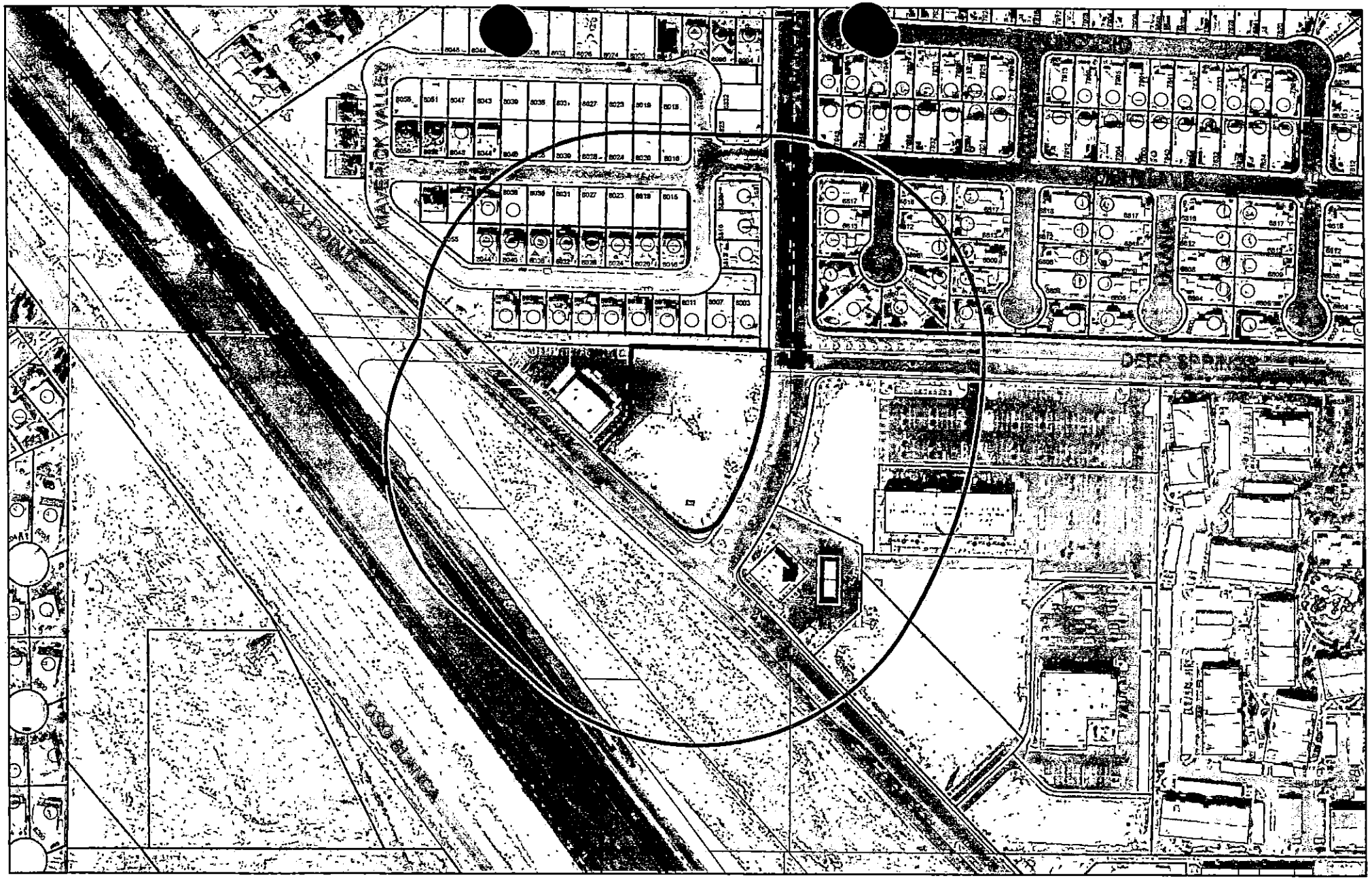
CASE: **SUP-18927**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]

N



SUP-18927

Protected Landuses

- CITY PARKS
- RELIGIOUS
- SCHOOLS

Business Licenses

- Tavern
- Child Care/ Children Facility
- Supper Club/ Restaurant Service Bar

- Subject Property
- 400 foot buffer

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: SUP-18927- APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL,** subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0076-98) and Site Development Plan Review (SDR-18926) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Approval of this Special Use Permit does not constitute approval of a liquor license.

4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

JK

SUP-18927 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Special Use Permit for a restaurant with service bar on 1.73 acres at the northeast corner of Sky Pointe Drive and North Cimarron Road. A companion application for a Site Development Plan Review for a 9,831 square-foot restaurant and retail building will be heard concurrently with this request.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg, etc.	
Month/date/year	Action
09/14/98	The City Council approved a General Plan Amendment (GPA-0030-98), which established the detailed land-use plan for Town Center. The Planning Commission recommended approval.
09/09/98	The City Council approved a Rezoning (Z-0036-98). The Planning Commission recommended denial.
12/07/98	The City Council approved a Rezoning (Z-0076-98) for this property and other properties in Town Center to T-C (Towncenter). The Planning Commission and staff recommended approval.
Pre-Application Meeting	
12/14/06	At the pre-application meeting, the applicant was informed that offsite improvements are to be completed, an updated drainage study is necessary, the trash enclosure must be 50 feet from residential, build-to-line requirements must be met, handicapped parking per code is required, as is a proper loading zone, and Town Center landscaping standards. Building and Safety indicated that a full sprinkler system is necessary, as is an ADA accessible route. Traffic stated that driveways to be right in and right out only and to replace substandard improvements.
Neighborhood Meeting	
A neighborhood meeting is not required for this application, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	1.73 acres

JK

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
North	Single-family Residential	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
South	Retail Center	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
East	US-95	T-C (Town Center)	MS-TC (Main Street Mixed-Use)
West	Single-family Residential	T-C (Town Center)	SX-TC (Suburban Mixed-Use)

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan			
T-C Town Center District	X		N*
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

* A condition has been added to require trees within the landscaping areas per Town Center Standards on the companion Site Development Plan Review.

DEVELOPMENT STANDARDS

The following development standards apply per the Town Center Development Standards:

Standard	*Required/Allowed*	*Provided*	*Compliance*
Min. Lot Size	N/A	1.73 acres	N/A
Min. Lot Width	N/A	230 feet	N/A
Min. Setbacks			
• Front	15 Feet	20 Feet	Y
• Side	N/A	N/A	N/A
• Corner	15 Feet	15 Feet	Y
• Rear	20 Feet	185 Feet	Y
Min. Distance Between Buildings	N/A	N/A	N/A
Max. Lot Coverage	N/A	N/A	N/A
Max. Building Height	N/A	N/A	N/A
Trash Enclosure	50 Feet	175 Feet	Y
Mech. Equipment	Screened	Screened	Y

JK

SUP-18927 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Per Title 19.08.060 the following residential adjacency standards apply:

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	72 Feet	185 Feet	Y
Adjacent development matching setback	15 Feet	15 Feet	Y
Trash Enclosure	50 Feet	175 Feet	Y

Per Title 19.12 the following Parking Lot Landscaping Standards Apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	24 Trees	23 Trees	N*
Buffer: Min. Trees	1 Tree/30 Linear Feet & 1 Tree/ 20 Linear Feet	31 Trees	46 Trees	N**
TOTAL		55 Trees	69 Trees	Y
Min. Zone Width	Eight Feet		10 Feet	Y
Wall Height	6-foot		6-foot Existing wall	Y

* A condition has been added to require an additional landscape finger for the parking area along Sky Pointe Drive in the companion Site Development Plan Review.
** A condition has been added to require 36-inch box trees along the street frontages in the companion Site Development Plan Review.

The following streetscape standards apply within Town Center:

Streetscape Standards	Required	Provided	Compliance
1 Tree/ 30 Linear Feet	15 Trees	17 Trees	Y

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
			Required		Provided		Compliance
			Parking		Parking		
Use	Gross Floor Area	Parking Ratio	Regular	Handi-capped	Regular	Handi-capped	
Total Area	9,831 sq. ft						
Restaurant							
• Dining	3,943 sq. ft.	1:50	78.86				
• Other	5,102 sq. ft.	1:200	25.51				
Retail	1,200 sq. ft.	1:175	6.85				
SubTotal			107	5	110	5	
TOTAL (including handicap)			112		115		Y
Loading Spaces			1		1		Y

JK

ANALYSIS

Pursuant to its general authority to regulate the sale of alcoholic beverages, the Las Vegas City Council declares that the public health, safety and general welfare of the Town Center are best promoted and protected by requiring that:

a. No restaurant service bar shall be located within 400 feet of any church, synagogue, school, child care facility licensed for more than twelve children or city park.

b. Uses licensed as Restaurant with Service Bar or other comparable establishments, shall have no specific spacing requirements between similar uses. However, the Las Vegas City Council may consider the concentration and spacing of such uses as part of its deliberation and approval of any requests for such establishments.

c. The distances referred to in paragraphs (a) and (b) shall be measured in a straight line from the property line of the church, synagogue, school, child care facility, or from the nearest property line of a city park to the property line of the proposed tavern to the property line of an existing tavern or comparable establishment, disregarding all intervening obstacles.

d. All businesses that sell alcoholic beverages shall conform to the provisions of LVMC 6.50

There are no protected uses within 400 feet of this property. Two hundred and fifty feet to the west is a University of Phoenix campus (SDR-2310), which is listed in the Title 19 Use Table as a College/University or Seminary, which is a different use than the protected use of Public or Private School, Primary/Secondary.

The nearest child care facility is located more than 2,600 feet to the west, across US-95. The nearest school and park is Cadwallader Middle School located 2,200 feet to the northeast. The closest church or synagogue is 4,800 feet to the north.

FINDINGS (SUP)

The following findings must be made for a Special Use Permit:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

   The proposed use can be conducted in a manner that is compatible with the surrounding land uses and future land uses projected by the general plan.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

   The proposed site for this use meets all setback, parking, and landscaping requirements and the use itself is physically suitable for the type and intensity of land use proposed.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

   This site is serviced by two 80-foot rights-of-way and is located within 1,500 feet from US-95. Therefore, the street and highway facilities providing access to this use will be of adequate size to support this use.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

   The proposed restaurant with service bar is consistent with commercial corridors and its adjacency to residential developments to the north and east provide a needed commercial service within a short driving distance, which will not compromise the public health, safety, welfare, or the overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

   The proposed use meets all of the requirements of Title 19.04 as well as the Town Center special use requirements.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 11

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 775 (Mailed with SDR-18926)

APPROVALS 0

PROTESTS 1

JK

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18927** APN: 125-21-313-003

Name of Property Owner: CIMARRON-FRONTAGE, LLC

Name of Applicant: SAM J. FACCHINI (METRO PIZZA-NORTHWEST)

Name of Representative: TERRE GROVE (GROVE, INC.)

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

[X] **Yes** [ ] **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: MAYOR OSCAR GOODMAN

Partner(s): DAVID CARVER KEVIN PARKINSON

APN: APEX INDUSTRIAL PARK

Signature of Property Owner: [signature]

Print Name: Kevin M. Parkinson

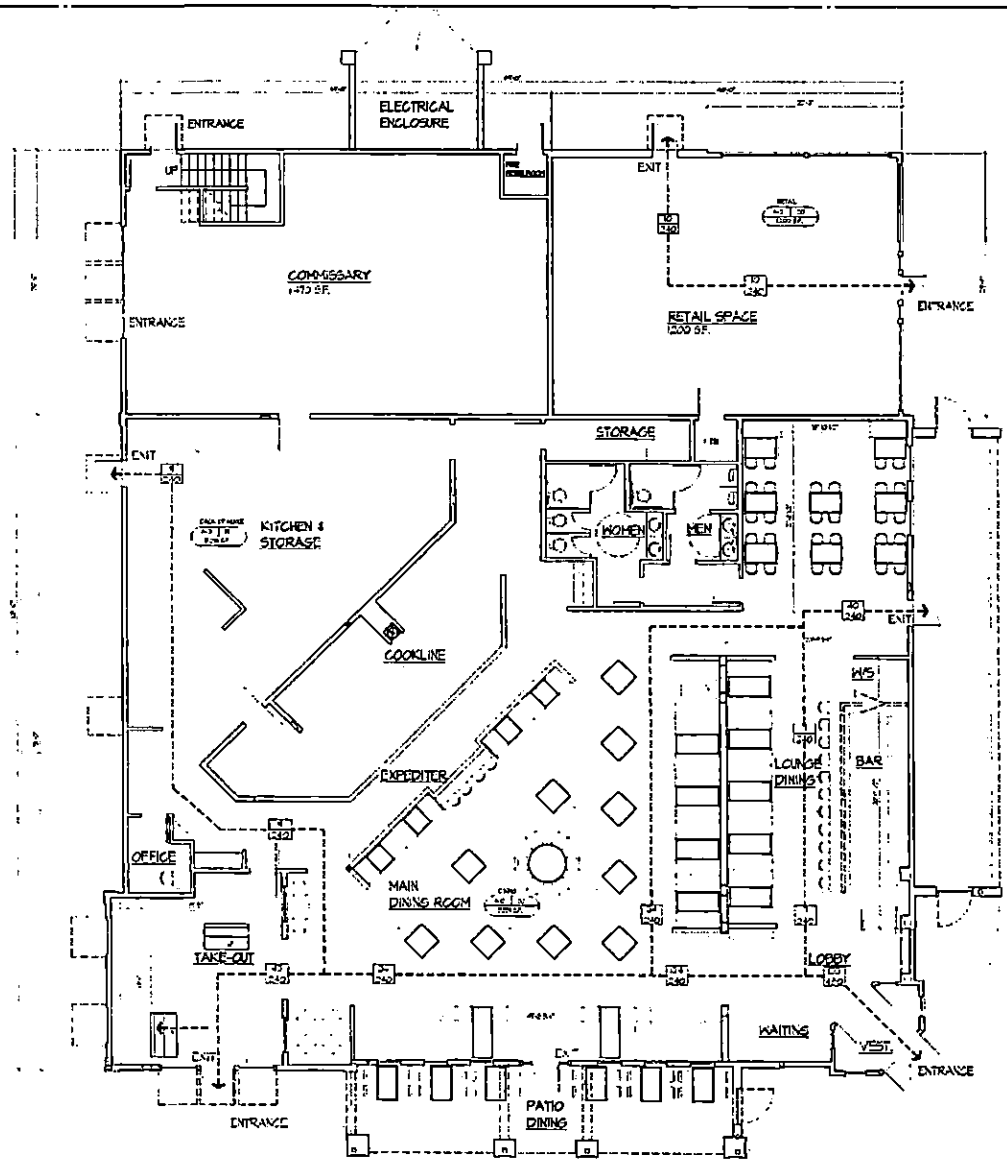
Subscribed and sworn before me

This 26 day of December, 2006

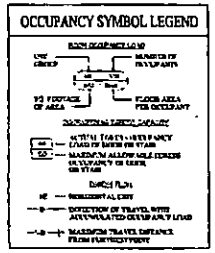
[signature]

Notary Public in and for said County and State

JENNIFER L. DUDLEY
NOTARY PUBLIC
STATE OF NEVADA
County of Clark
Date Appointment Exp: 7/30/2010
Certificate No: 02-77219-1



OCCUPANCY SYMBOL LEGEND



EGRESS WIDTH PER OCCUPANT	
WITH SPRINKLER SYSTEM (INCHES PER PERSON)	
STAIRWAYS	DOORS, RAMPS AND CORRIDORS
.3	.2

GROUND FLOOR PLAN

	AREA	OCCUPANCY CALCULATION	OCCUPANCY/ SEATING
RESTAURANT			
DINING ROOM	3,331 S.F.	1/15 S.F. NET	223
BAR AREA	68 S.F.	1/5 S.F. NET	14
WAITING AREA	130 S.F.	1/5 S.F. NET	26
STAFF/BACK OF HOUSE	3,218 S.F.	1/200 S.F. GROSS	17
COMMISSARY/STORAGE	1,470 S.F.	1/500 S.F. GROSS	3
RETAIL	1,200 S.F.	1/60 S.F. GROSS	20
TOTAL AREA	8,417 S.F.		
OUTSIDE DINING	414 S.F.	1/15 S.F. NET	28
TOTAL OCCUPANCY/SEATING			331

CODE ANALYSIS

	AREA	ALLOWED/ REQUIRED	ACTUAL
USE GROUP A-2, TYPE 5 CONST.			
AREA ALLOWANCE	6,000 S.F.		
SPRINKLER INCREASE @ 200%	12,000 S.F.		
STREET FRONTAGE @ 60%	3,600 S.F.		
TOTAL AREA	21,600 S.F.		9,831 S.F.
EXITS (1 FROM UPPER LEVEL)		4	8
RESTROOMS (168 MEN, 166 WOMEN)	9,417 S.F.		
TOILETS (1 PER 75)	414 S.F.	3 EACH	3 EACH
LAVATORIES (1 PER 200)		1 EACH	2 EACH

SCALE: 1/8" = 1'-0"

"THIS IS THE PROPERTY OF JOHN F. ARENA, JR. AND SAM J. FACCHINI AND/OR THEIR ASSIGNS."

JGA

METRO PIZZA - NORTHWEST

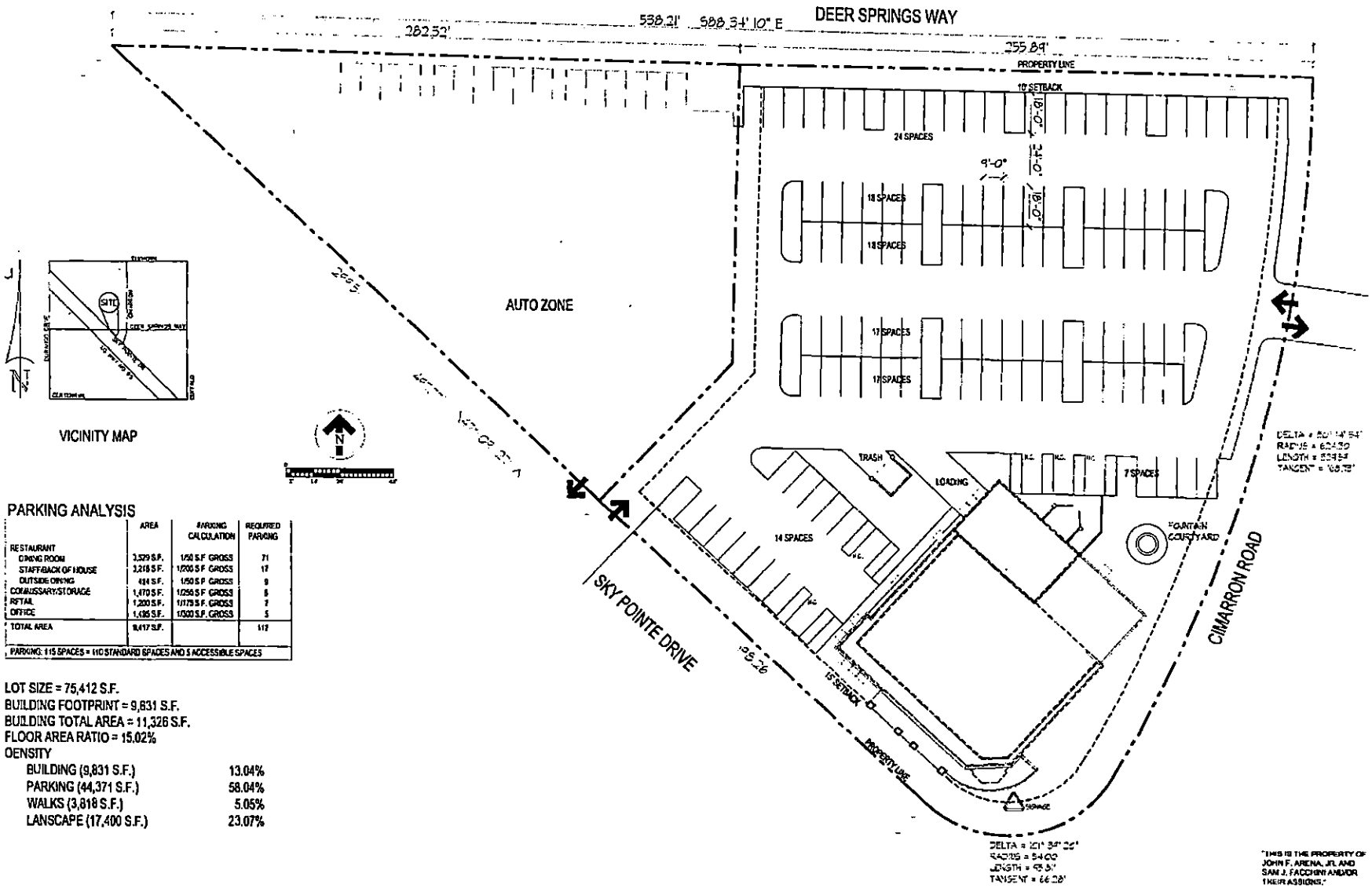
GROUND FLOOR PLAN

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

SUP-18927
SDR-18926
02/08/07 PC

RECEIVED
DEC 26 2006

P1-1-0667 22 DECEMBER, 2006



PARKING ANALYSIS

	AREA	PARKING CALCULATION	REQUIRED PARKING
RESTAURANT			
DINING ROOM	3,529 S.F.	1/50 S.F. GROSS	71
STAFF/BACK OF HOUSE	3,218 S.F.	1/200 S.F. GROSS	17
OUTSIDE DINING	494 S.F.	1/50 S.F. GROSS	9
COMMISSARY/STORAGE	1,470 S.F.	1/250 S.F. GROSS	6
RETAIL	1,200 S.F.	1/175 S.F. GROSS	7
OFFICE	1,495 S.F.	1/300 S.F. GROSS	5
TOTAL AREA	9,417 S.F.		117
PARKING: 115 SPACES = 110 STANDARD SPACES AND 5 ACCESSIBLE SPACES			

LOT SIZE = 75,412 S.F.
BUILDING FOOTPRINT = 9,831 S.F.
BUILDING TOTAL AREA = 11,326 S.F.
FLOOR AREA RATIO = 15.02%
DENSITY

BUILDING (9,831 S.F.)	13.04%
PARKING (44,371 S.F.)	58.04%
WALKS (3,818 S.F.)	5.05%
LANSCAPE (17,400 S.F.)	23.07%

JGA ARCHITECTURAL DESIGN

METRO PIZZA - NORTHWEST

SITE AND PARKING PLAN

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

SUP-18927
SDR-18926
02/08/07 PC

RECEIVED
PI-3-SITE-0667 22 DECEMBER, 2006

DEC 2 6 2006

Main Office
4420 S. Arville Street, #8
Las Vegas, Nevada 89103
Phone (702) 876-9727
Fax (702) 876-3444
www.metropizza.com

America's Neighborhood Pizzeria
Home of our Nation's Pizza Hall of Fame

December 1, 2006

City of Las Vegas
Planning and Development
731 S. Fourth Street
Las Vegas, NV 89101

Re: Parcel # 125-21-710-006

JUSTIFICATION LETTER

Gentlemen:

With regards to the above named parcel, located at the NE corner of Sky Pointe and Cimarron, our company intends to construct a building with overall dimensions of 90 ft. x 105 ft., for an overall footprint of approximately 9450 sq. ft.

Within that building our company intends to operate the following:

1) A Metro Pizza restaurant of approximately 6750 sq. ft.,
2) A retail breakfast café (yet unnamed) of approximately 1200 sq. ft.,
3) A commissary that services all 5 Metro Pizza restaurants of approximately 1500 sq. ft., and
4) Corporate offices of approximately 1500 sq. ft. located above the commissary.

Our company has operated continuously in Clark County for 26 ½ years and we recently opened a restaurant in Henderson. We look forward to proceeding with this development and beginning a long-lasting relationship with the City of Las Vegas.

Thank You in advance for accepting our application.

Sam J. Facchini
Co-founder/Co-owner

SUP-18927
SDR-18926
02/08/07 PC

Dorothy Marsili

From: Heather Curry
Sent: Monday, January 29, 2007 3:08 PM
To: Agenda Items
Cc: Carman Burney; Dorothy Marsili
Subject: FW: City of Las Vegas Web Site Feedback

Here's another one. Thanks.

-----Original Message-----
From: webmaster@lasvegasnevada.gov [mailto:webmaster@lasvegasnevada.gov]
Sent: Saturday, January 27, 2007 10:15 AM
To: DRiggleman@lasvegasnevada.gov
Cc: hcurry@lasvegasnevada.gov
Subject: City of Las Vegas Web Site Feedback

Comment Type: Complaint

Comment About: Other

Comments: This is in regards to the planning commission meeting on a site development plan: SDR-18927 regarding Metro Pizza Northwest on Cimmarron Rd. and Sky Pointe Dr. I would like to express my objection to the special permit request for a service bar. The restaurant is fine, but NOT the bar.....not that close to my home!!!!!! Please forward onto the appropriate division there at the city of Las Vegas. Thank you.

Are You A Resident: Yes

Other Resident:

First Name: Lincoln

Last Name: Judd

Street Address: 6809 Anteus Ct.

Address (Cont.):

City: Las Vegas

State: NV

Zip Code: 89131

Country: USA

Work Phone: 702-806-9909

Home Phone: 702-655-7819

Fax: 702-656-8936

Email: funjudds@yahoo.com

Date: 1/27/2007 10:15:26 AM

ITEM # 4
CASE # SUP-18927
PC MTG 2-8-07

Dorothy Marsili

From: Heather Curry
Sent: Monday, January 29, 2007 3:07 PM
To: Agenda Items
Cc: Carman Burney; Dorothy Marsili
Subject: FW: City of Las Vegas Web Site Feedback

Hi folks -

We received this protest regarding an upcoming Planning item via the city's Web site. I'm not sure who exactly in the world of agendas should get this so I'm sending it to all of you. I did send it CM's Ross office earlier today.

Thanks
Heather

-----Original Message-----
From: webmaster@lasvegasnevada.gov [mailto:webmaster@lasvegasnevada.gov]
Sent: Saturday, January 27, 2007 10:15 AM
To: DRiggleman@lasvegasnevada.gov
Cc: hcurry@lasvegasnevada.gov
Subject: City of Las Vegas Web Site Feedback

Comment Type: Complaint

Comment About: Website

Comments: This is in regards to the planning commission meeting on a site development plan: SDR-18927 regarding Metro Pizza Northwest on Cimmarron Rd. and Sky Pointe Dr. I would like to express my objection to the special permit request for a service bar. The restaurant is fine, but NOT the bar.....not that close to my home!!!!!! Please forward onto the appropriate division there at the city of Las Vegas. Thank you.

Are You A Resident: Yes

Other Resident:

First Name: Kacey

Last Name: Judd

Street Address: 6809 Anteus Ct.

Address (Cont.):

City: Las Vegas

State: NV

Zip Code: 89131

Country: USA

Work Phone: 702-806-9908

Home Phone: 702-655-7819

Fax: 702-656-8936

Email: kaceyjudd@yahoo.com

Date: 1/27/2007 10:14:43 AM

DUPLICATE ADDRESS
SDR-18927

CITY OF LAS VEGAS

ONE MOTION/ONE VOTE

Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: **SUP-18927 - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC**

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the ***February 8, 2007*** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Dorothy Marsili at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.

Signature — Date: 2-6-07

SAM J. FACCHINI
Please print name

Metro Pizza Northwest
Company Name

Sincerely,

John Korkosz
Planning Supervisor
Current Planning Division

ATTN: Dorothy Marsili

Submitted after final agenda

Date 2/8/07 Item #4

City of Las Vegas

Agenda Item No.: 5

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
SDR-18926 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18927 - PUBLIC HEARING - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC - Request for a Site Development Plan Review FOR A 9,831 SQUARE-FOOT RESTAURANT AND RETAIL BUILDING on 1.73 acres at the northeast corner of Sky Pointe Drive and North Cimarron Road (APN 125-21-313-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Ross).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
6. Submitted after final agenda – condition conformation letter by Sam J. Facchini

MOTION:
EVANS – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
See Item 4 for related discussion.

(6:18 – 6:22)

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 5 – SDR-18926

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0076-98), Special Use Permit (SUP-19927), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/26/06 except as amended by conditions herein.

4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: 1. All trees along the street frontages shall be 36-inch box trees. 2. All trees shall be either a Washingtonia Robusta Hybrid (Mexican Fan Palm), a Fraxinus Velutina Rio Grande (Rio Grande Ash), a Chitalpa Tashkentensis (Chitalpa), or a Robinia Ambigua "Purple Robe" (Purple Robe Locust.

5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of

CONDITIONS – Continued:

buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures..

10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

11. The water feature shall not be considered in this Site Development Plan Review and approval of a DIR shall be required prior to issuance of a building permit for the water feature.

Public Works

12. Construct all incomplete half-street improvements on Cimarron Road adjacent to this site concurrent with development of this site.

13. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current Town Center Design Standards concurrent with on-site development activities. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

14. Unless otherwise allowed by the City Engineer, construct sidewalk, where such does not exist, on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

15. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

16. This pad site must always allow for the perpetual common access between the various parcels/owners within the Cimarron Springs Ranch (Commercial Subdivision) area.

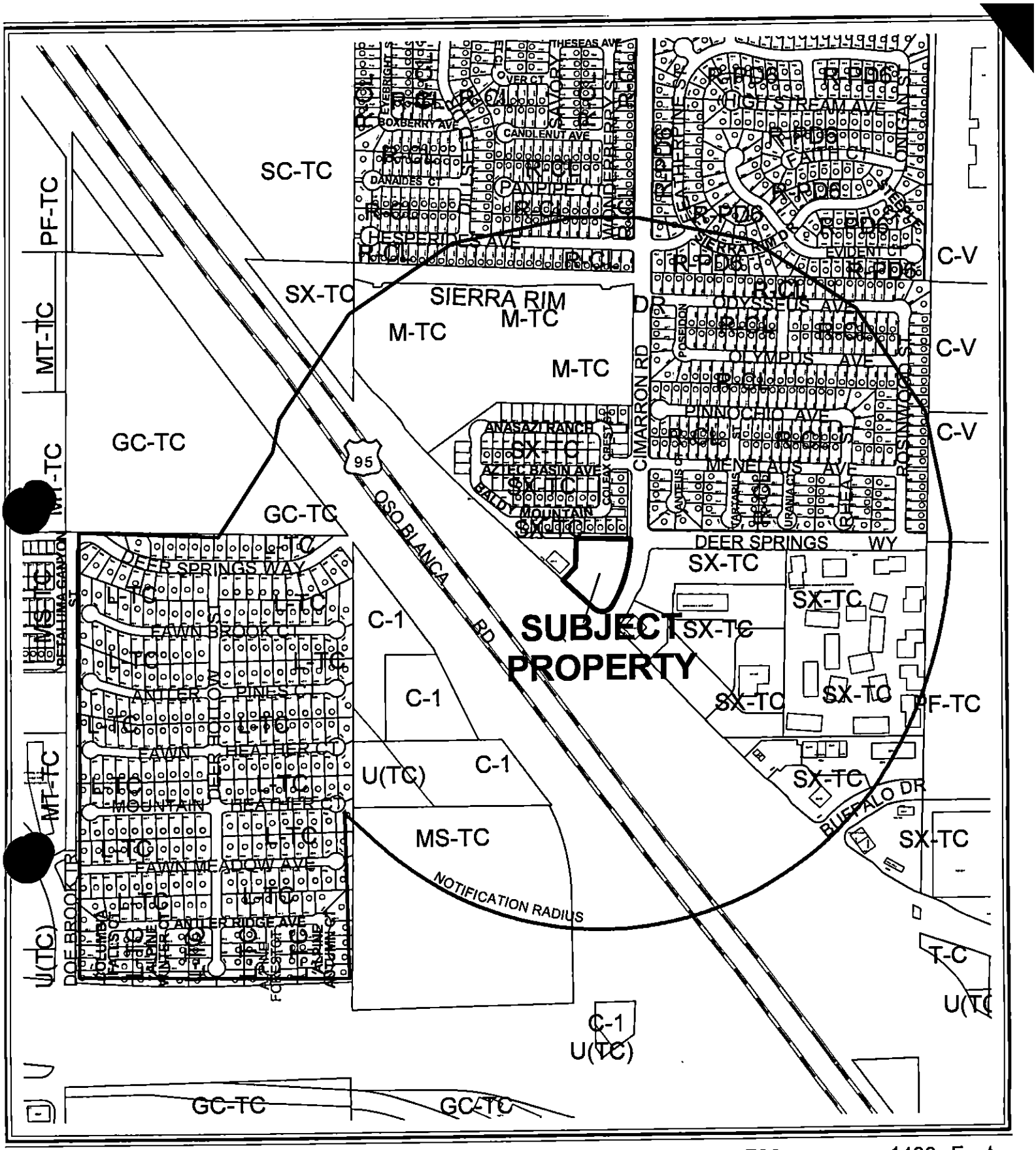
CONDITIONS – Continued:

17. Landscape and maintain all unimproved right(s)-of-way on Sky Pointe Drive and Cimarron Road adjacent to this site.

18. Submit an Encroachment Agreement for all landscaping and private improvements located in the Sky Pointe Drive and Cimarron Road public rights-of-way adjacent to this site prior to occupancy of this site.

19. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study update.

20. Site development to comply with all applicable conditions of approval for the Cimarron Springs Ranch (Commercial Subdivision), Zoning Reclassification Z-0076-98 and all other applicable site-related actions.

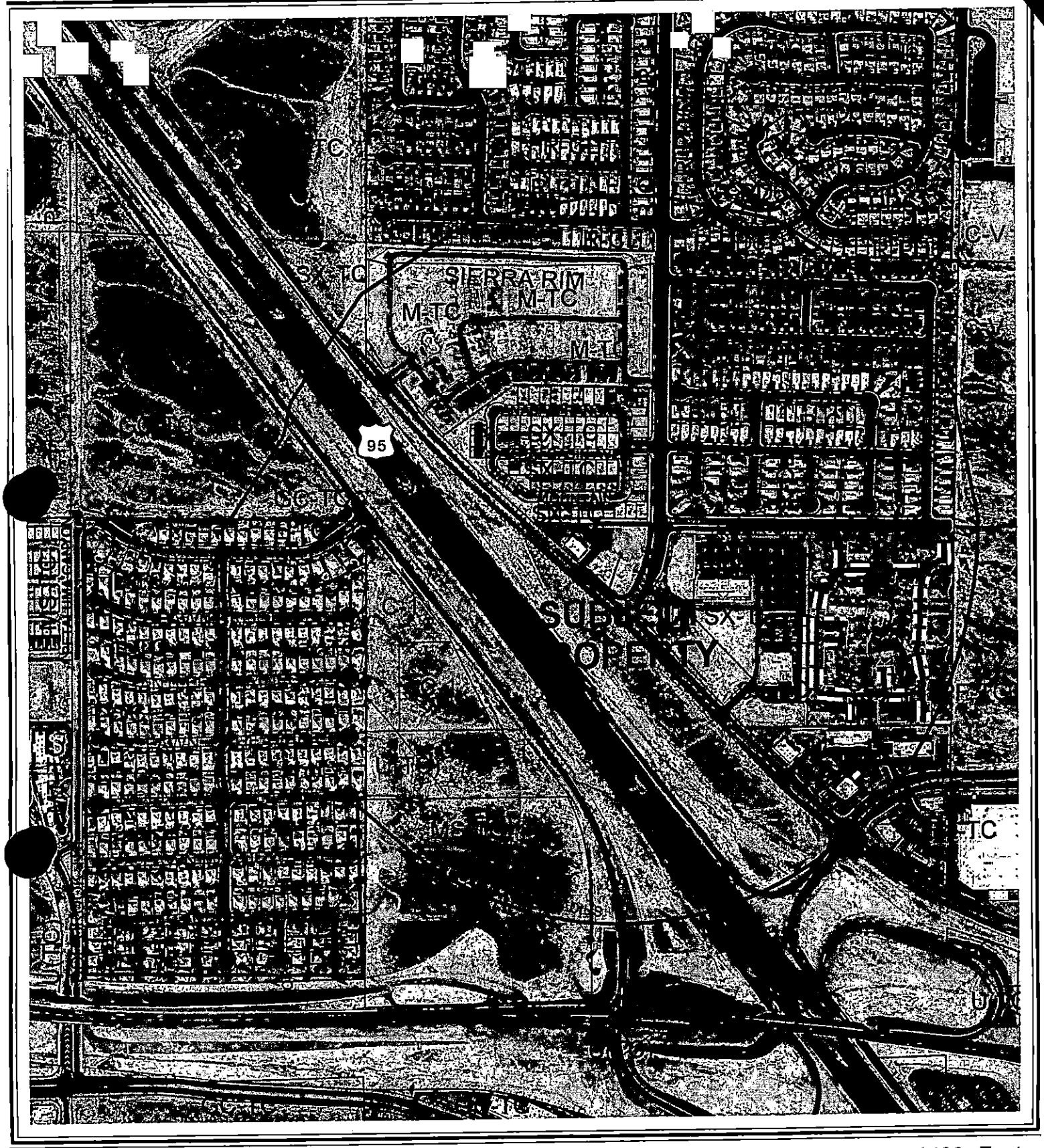


CASE: **SDR-18926**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]



CASE: **SDR-18926**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: SDR-18926 - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL**, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0076-98), Special Use Permit (SUP-19927), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/26/06 except as amended by conditions herein.

4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: 1. All trees along the street frontages shall be 36-inch box trees. 2. All trees shall be either a Washingtonia Robusta Hybrid (Mexican Fan Palm), a Fraxinus Velutina Rio Grande (Rio Grande Ash), a Chitalpa Tashkentensis (Chitalpa), or a Robinia Ambigua "Purple Robe" (Purple Robe Locust.

5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

JK

6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

11. The water feature shall not be considered in this Site Development Plan Review and approval of a DIR shall be required prior to issuance of a building permit for the water feature.

Public Works

12. Construct all incomplete half-street improvements on Cimarron Road adjacent to this site concurrent with development of this site.

13. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current Town Center Design Standards concurrent with on-site development activities. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

14. Unless otherwise allowed by the City Engineer, construct sidewalk, where such does not exist, on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

15. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

16. This pad site must always allow for the perpetual common access between the various parcels/owners within the Cimarron Springs Ranch (Commercial Subdivision) area.

17. Landscape and maintain all unimproved right(s)-of-way on Sky Pointe Drive and Cimarron Road adjacent to this site.

18. Submit an Encroachment Agreement for all landscaping and private improvements located in the Sky Pointe Drive and Cimarron Road public rights-of-way adjacent to this site prior to occupancy of this site.

19. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study update.

20. Site development to comply with all applicable conditions of approval for the Cimarron Springs Ranch (Commercial Subdivision), Zoning Reclassification Z-0076-98 and all other applicable site-related actions.

SDR-18926 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a 9,831 square-foot restaurant and retail building on 1.73 acres at the northeast corner of Sky Pointe Drive and North Cimarron Road. A companion Special Use Permit for a restaurant with service bar will be heard concurrently with this request.

BACKGROUND INFORMATION

Related/Relevant City Actions by P&D, Fire, Bldg., etc.	
Month/date/year	Action
09/14/98	The City Council approved a General Plan Amendment (GPA-0030-98), which established the detailed land-use plan for Town Center. The Planning Commission recommended approval.
09/09/98	The City Council approved a Rezoning (Z-0036-98). The Planning Commission recommended denial.
12/07/98	The City Council approved a Rezoning (Z-0076-98) for this property and other properties in Town Center to T-C (Towncenter). The Planning Commission and staff recommended approval.
Pre-Application Meeting	
12/14/06	At the pre-application meeting, the applicant was informed that offsite improvements are to be completed, an updated drainage study is necessary, the trash enclosure must be 50 feet from residential, build-to-line requirements must be met, handicapped parking per code is required, as is a proper loading zone, and Town Center landscaping standards. Building and Safety indicated that a full sprinkler system is necessary, as is a ADA accessible route. Traffic stated that driveways to be right in and right out only and to replace substandard improvements.
Neighborhood Meeting	
A neighborhood meeting is not required for this application, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	1.73 acres

JK

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
North	Single-family Residential	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
South	Retail Center	T-C (Town Center)	SX-TC (Suburban Mixed-Use)
East	US-95	T-C (Town Center)	MS-TC (Main Street Mixed-Use)
West	Single-family Residential	T-C (Town Center)	SX-TC (Suburban Mixed-Use)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan			
T-C Town Center District	X		N*
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

* A condition has been added to require trees within the landscaping areas per Town Center Standards.

DEVELOPMENT STANDARDS

The following development standards apply per the Town Center Development Standards:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	1.73 acres	N/A
Min. Lot Width	N/A	230 feet	N/A
Min. Setbacks			
• Front	15 Feet	20 Feet	Y
• Side	N/A	N/A	N/A
• Corner	15 Feet	15 Feet	Y
• Rear	20 Feet	185 Feet	Y
Min. Distance Between Buildings	N/A	N/A	N/A
Max. Lot Coverage	N/A	N/A	N/A
Max. Building Height	N/A	N/A	N/A
Trash Enclosure	50 Feet	175 Feet	Y
Mech. Equipment	Screened	Screened	Y

JK

SDR-18926 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Per Title 19.08.060 the following residential adjacency standards apply:

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	72 Feet	185 Feet	Y
Adjacent development matching setback	15 Feet	15 Feet	Y
Trash Enclosure	50 Feet	175 Feet	Y

Per Title 19.12 the following Parking Lot Landscaping Standards Apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	24 Trees	23 Trees	N*
Buffer: Min. Trees	1 Tree/30 Linear Feet & 1 Tree/ 20 Linear Feet	31 Trees	46 Trees	N**
TOTAL		55 Trees	69 Trees	Y
Min. Zone Width	Eight Feet		10 Feet	Y
Wall Height	6-foot		6-foot Existing wall	Y
Open Space	20% Walks and Landscaping		28.12%	Y

* A condition has been added to require an additional landscape finger for the parking area along Sky Pointe Drive.
** A condition has been added to require 36-inch box trees along the street frontages.

The following streetscape standard apply within Town Center:

Streetscape Standards	Required	Provided	Compliance
1 Tree/ 30 Linear Feet	15 Trees	17 Trees	Y

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
		Required			Provided		Compliance
			Parking		Parking		
Use	Gross Floor Area	Parking Ratio	Regular	Handi-capped	Regular	Handi-capped	
Total Area	9,831 sq. ft						
Restaurant							
• Dining	3,943 sq. ft.	1:50	78.86				
• Other	5,102 sq. ft.	1:200	25.51				
Retail	1,200 sq. ft.	1:175	6.85				
SubTotal			107	5	110	5	
TOTAL (including handicap)			112		115		Y
Loading Spaces			1		1		Y

JK

ANALYSIS

Land Use:

This site is located within the Town Center Plan area and has a Suburban Mixed-Use land-use designation, which permits commercial development like the proposed use. The Suburban Mixed Use District is intended to enable development with imaginative adjacency standards. Building and site designs which reflect a mixture of compatible land uses having either a vertical or horizontal character will maximize employment and housing opportunities. The proposed land-use is compatible with the surrounding land uses and is consistent with the Suburban Mixed-use land-use category.

Site Plan:

The site plan shows a 9,831 square-foot restaurant and retail building on a 1.73 acre parcel. The building is set back along the build-to-line requirement along the Sky Pointe Drive frontage. Along the Cimarron Road Frontage, the building is set back as close as 20 feet from the property line. Adjacent to the main entry to the building is a courtyard with a water fountain. A condition of approval has been included requiring the applicant to make a separate application with the City for a water feature. The entirety of the parking for this building is located behind the building. The trash enclosure and loading space are located within the rear of the building and are approximately 175 feet away from the single-family residential development to the north. The handicapped parking meets all code requirements and they are the closest spaces to the restaurant and retail entrances to this building.

Landscape Plan:

The landscape plan shows a site with extensive landscaping. Along the street frontages the applicant proposes to provide three more trees than required by code. However, the tree species and the size of the trees don't meet the Town Center standards. Therefore, a condition has been included to require 36-inch box trees along the street frontages and to incorporate the tree species permitted within Town Center. Along the north property line, adjacent to single-family residential, the applicant is proposing to plant 25 trees where 13 are required. In the parking area, the applicant has provided landscape fingers for every six parking stalls. However, along one row of parking, an additional landscape finger is required. Therefore, a condition has been included to require an additional landscape finger for the parking row along the Sky Point Drive frontage. The site has a total open space (landscaping and walkways/courtyards of 28.12%.

Elevation Plan:

The building elevations show the body of the building will have a light cream color and peach-colored stucco with a light-colored mocha watertable. The trim colors are red and a darker cream color. The entry columns are accented with black and white tiles. The maximum height of the building is 24 feet.

Floor Plan:

The floor plan shows an indoor and outdoor dining and bar seating capacity for 265 patrons. Because this location will be the corporate headquarters for this restaurant, a 1,470 square-foot commissary will house the products for the sister restaurants. A 1,200 square-foot retail space is also proposed for the retail sale of specialty Italian dry goods. A separate entrance for take-out orders is located along the Sky Pointe Drive frontage. There is also an indoor stairwell that connects to the buildings electrical and mechanical equipment enclosure which is in the rear of the building.

FINDINGS (SDR)

The following findings must be made for an SDR:

1. **The proposed development is compatible with adjacent development and development in the area;**

   The proposed development is compatible with the adjacent development.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

   The proposed development is consistent with the Town Center Land-use Plan and with the, if approved conditions will meet all code requirements.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

   The proposed development will not negatively impact adjacent roadways or neighborhood traffic.

4. **Building and landscape materials are appropriate for the area and for the City;**

   The building materials are appropriate for the area and are aesthetically pleasing. The (if approved) conditions address the deficiencies in the landscape materials and with the changes the landscape materials will meet the Town Center Development Standards.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

   The building elevations and design characteristics are not unsightly, undesirable or obnoxious in appearance and they create an orderly and aesthetically pleasing site that is compatible with the surrounding area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

   The proposed development will not have a negative impact upon the public health, safety, and general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED	11	
ASSEMBLY DISTRICT	13	
SENATE DISTRICT	9	
NOTICES MAILED	775	(Mailed with SUP-18927)
APPROVALS	0	
PROTESTS	0	

JK

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18926** APN: 125-21-313-003

Name of Property Owner: CIMARRON-FRONTAGE, LLC

Name of Applicant: SAM J. FACCHINI (METRO PIZZA - NORTHWEST)

Name of Representative: TERRE GROVE (GROVE, INC.)

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☒ Yes ☐ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: MAYOR OSCAR GOODMAN

Partner(s): DAVID CARVER KEVIN PARKINSON

APN: APEX INDUSTRIAL PARK

Signature of Property Owner:

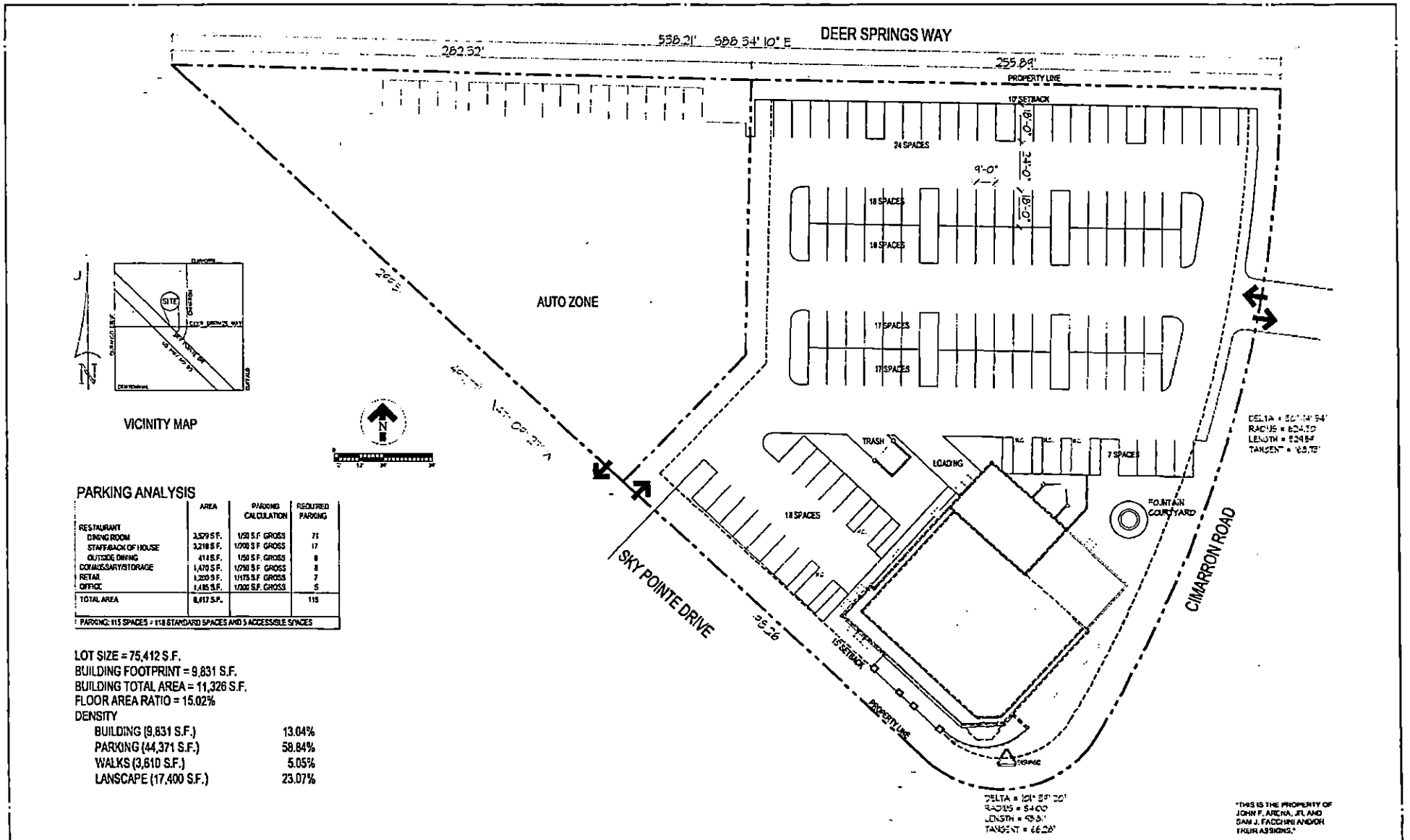
Print Name: Kevin M. Parkinson

Subscribed and sworn before me

This 26 day of December, 2006

Notary Public in and for said County and State

JENNIFER L. DUDLEY
NOTARY PUBLIC
STATE OF NEVADA
County of Clark
Date Appointment Exp: 7/30/2010
Certificate No: 02-77219-1



PARKING ANALYSIS

	AREA	PARKING CALCULATION	REQUIRED PARKING
RESTAURANT			
DINING ROOM	3,579 S.F.	1/50 S.F. GROSS	71
STAFF/BACK OF HOUSE	3,218 S.F.	1/200 S.F. GROSS	17
OUTSIDE DINING	414 S.F.	1/50 S.F. GROSS	8
COMMISSARY/STORAGE	1,470 S.F.	1/250 S.F. GROSS	6
RETAIL	1,200 S.F.	1/175 S.F. GROSS	7
OFFICE	1,485 S.F.	1/300 S.F. GROSS	5
TOTAL AREA	9,417 S.F.		115

PARKING: 115 SPACES = 110 STANDARD SPACES AND 5 ACCESSIBLE SPACES

LOT SIZE = 75,412 S.F.
BUILDING FOOTPRINT = 9,831 S.F.
BUILDING TOTAL AREA = 11,326 S.F.
FLOOR AREA RATIO = 15.02%
DENSITY

BUILDING (9,831 S.F.)	13.04%
PARKING (44,371 S.F.)	58.84%
WALKS (3,610 S.F.)	5.05%
LANSCAPE (17,400 S.F.)	23.07%

JGA ARCHITECTURAL DESIGN

METRO PIZZA - NORTHWEST

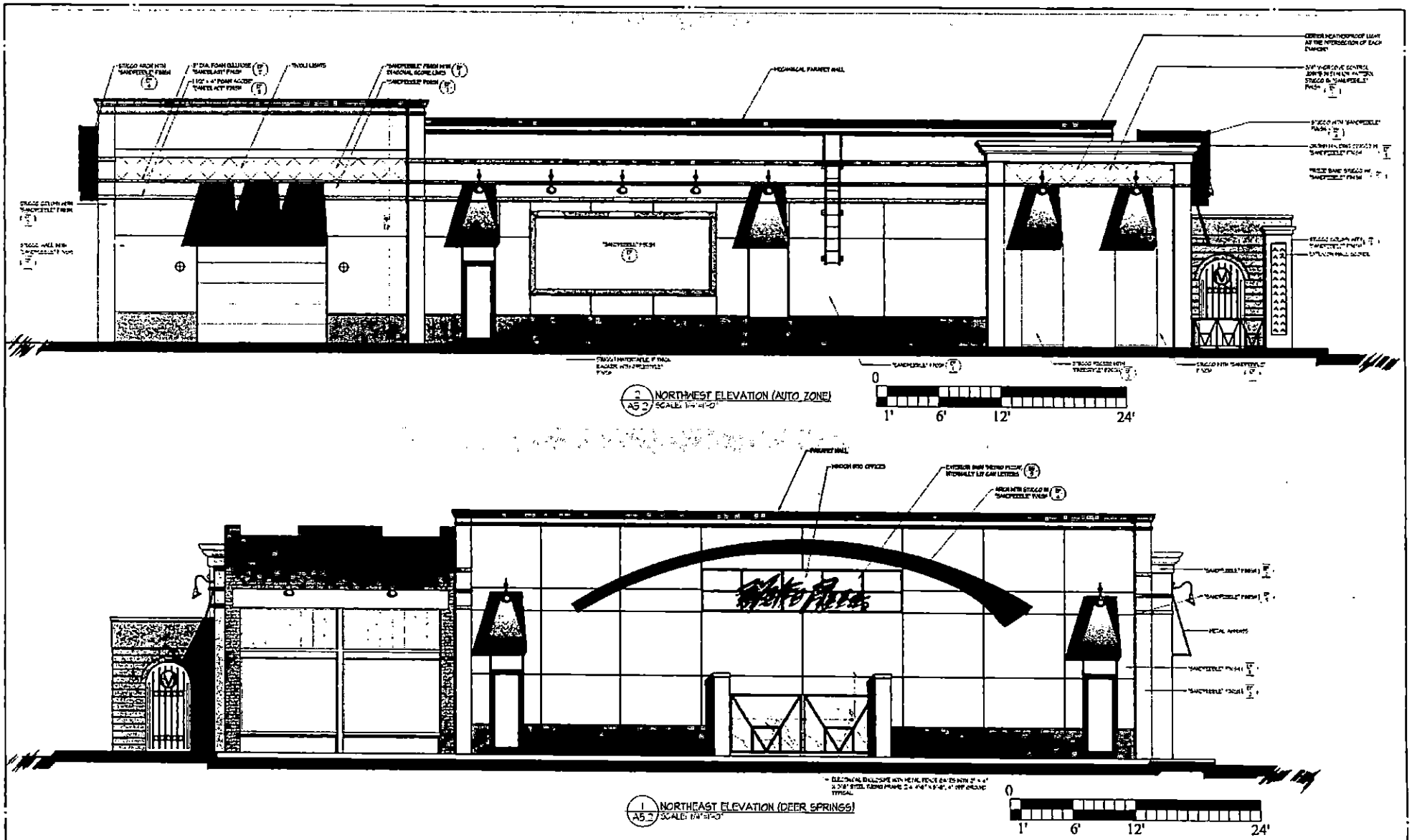
SITE AND PARKING PLAN

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

P1-3-SITE-[illegible] 22 DECEMBER 2006

RECEIVED
DEC 26 2006

SUP-18927
SDR-18926
02/08/07 PC



JGA ARCHITECTURAL DESIGN

METRO PIZZA - NORTHWEST

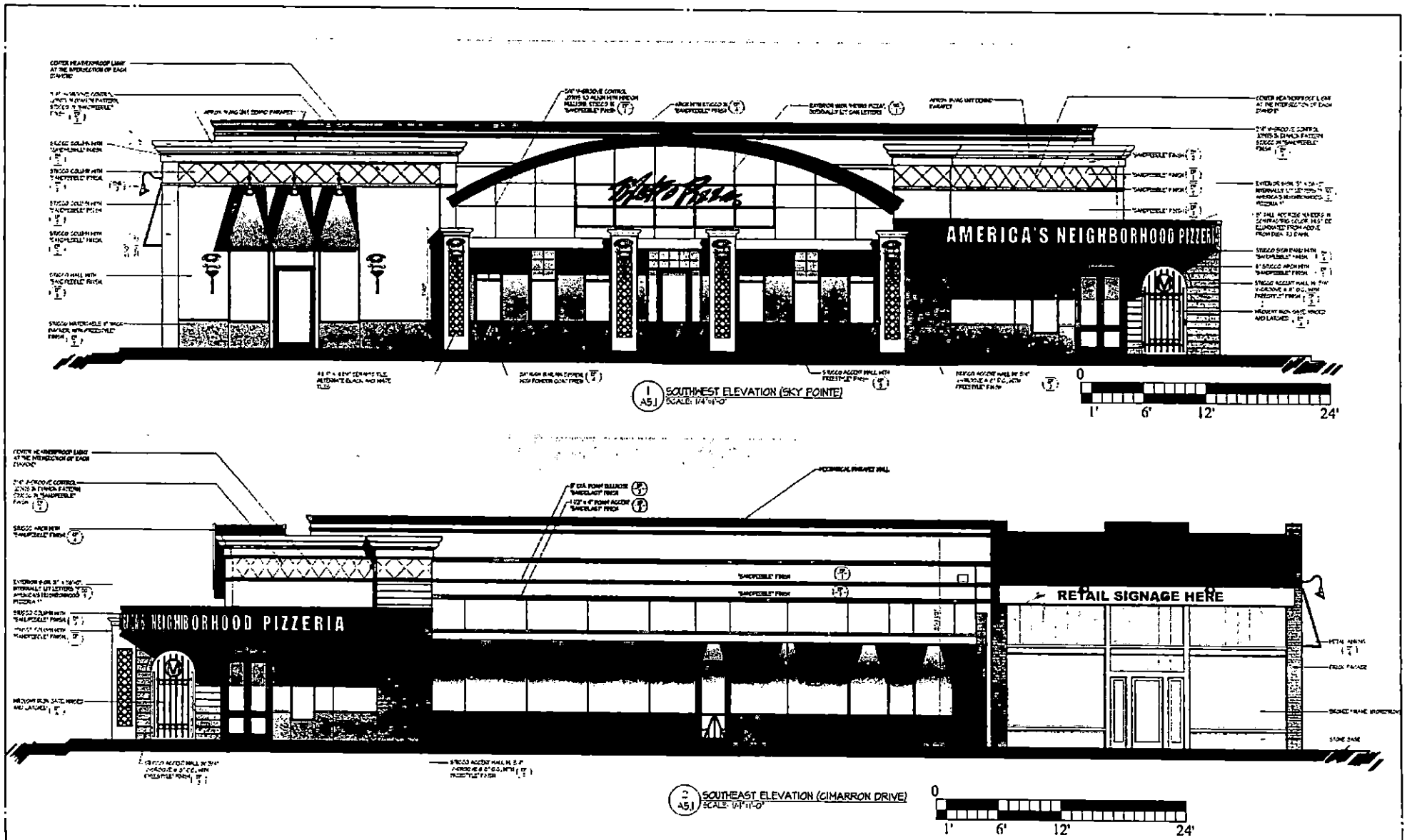
NORTHWEST AND NORTHEAST ELEVATIONS

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

SUP-18927
SDR-18926
02/08/07 PC

RECEIVED

PS-2-0667 7 DECEMBER 2006



JGA ARCHITECTURAL DESIGN

METRO PIZZA - NORTHWEST

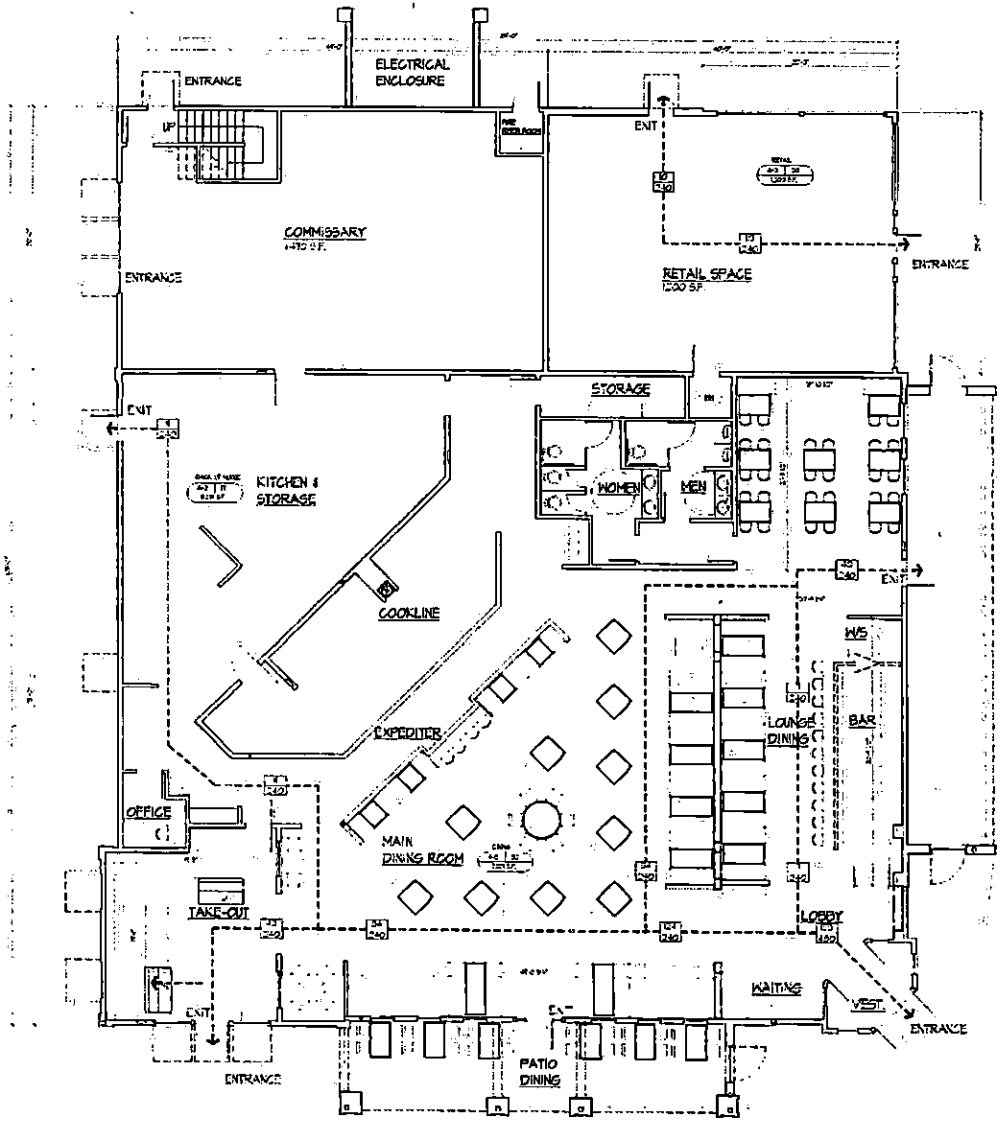
SOUTHWEST AND SOUTHEAST ELEVATIONS

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

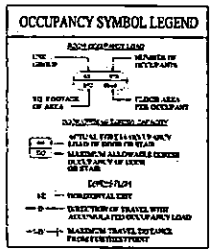
SUP-18927
SDR-18926
02/08/07 PC

P5-1-0667 7 DECEMBER 2006

RECEIVED
DEC 26 2006



OCCUPANCY SYMBOL LEGEND



EGRESS WIDTH PER OCCUPANT WITH SPRINKLER SYSTEM (INCHES PER PERSON)	
STAIRWAYS	DOORS RAMPS AND CORRIDORS
.3	.15

GROUND FLOOR PLAN

	AREA	OCCUPANCY CALCULATION	OCCUPANCY/ SEATING
RESTAURANT			
DINING ROOM	3,331 S.F.	1/15 S.F. NET	223
BAR AREA	68 S.F.	1/5 S.F. NET	14
WAITING AREA	130 S.F.	1/5 S.F. NET	26
STAFF/BACK OF HOUSE	3,218 S.F.	1/200 S.F. GROSS	17
COMMISSARY/STORAGE	1,470 S.F.	1/500 S.F. GROSS	3
RETAIL	1,200 S.F.	1/60 S.F. GROSS	20
TOTAL AREA	9,417 S.F.		
OUTSIDE DINING	414 S.F.	1/15 S.F. NET	28
TOTAL OCCUPANCY/SEATING			331

CODE ANALYSIS

	AREA	ALLOWED/ REQUIRED	ACTUAL
USE GROUP A-2, TYPE 5 CONST.			
AREA ALLOWANCE	6,000 S.F.		
SPRINKLER INCREASE @ 200%	12,000 S.F.		
STREET FRONTAGE @ 60%	3,600 S.F.		
TOTAL AREA	21,600 S.F.		9,831 S.F.
EXITS (1 FROM UPPER LEVEL)		4	6
RESTROOMS (168 MEN, 168 WOMEN)	9,417 S.F.		
TOILETS (1 PER 75)	414 S.F.	3 EACH	3 EACH
LAVATORIES (1 PER 200)		1 EACH	2 EACH

SCALE: 1/8" = 1'-0"

0 1' 6' 12' 24'

JGA

METRO PIZZA - NORTHWEST

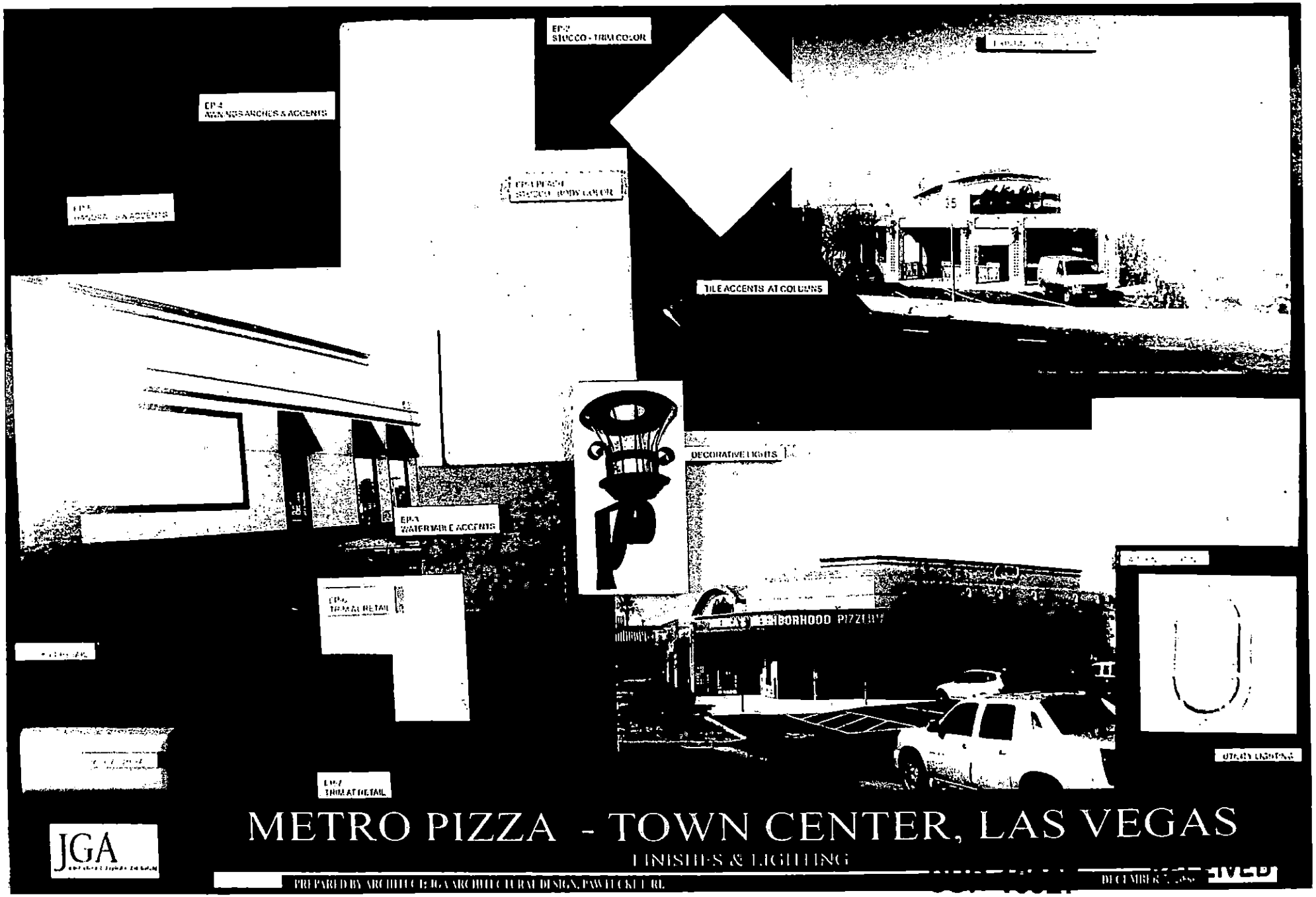
GROUND FLOOR PLAN

PREPARED BY ARCHITECT: J. G. A. ARCHITECTURAL DESIGN PAWTUCKET, RI

SUP-18927
SDR-18926
02/08/07 PC

RECEIVED
DEC 26 2006

P1-1-0667 22 DECEMBER, 2006



METRO PIZZA - TOWN CENTER, LAS VEGAS

FINISHES & LIGHTING

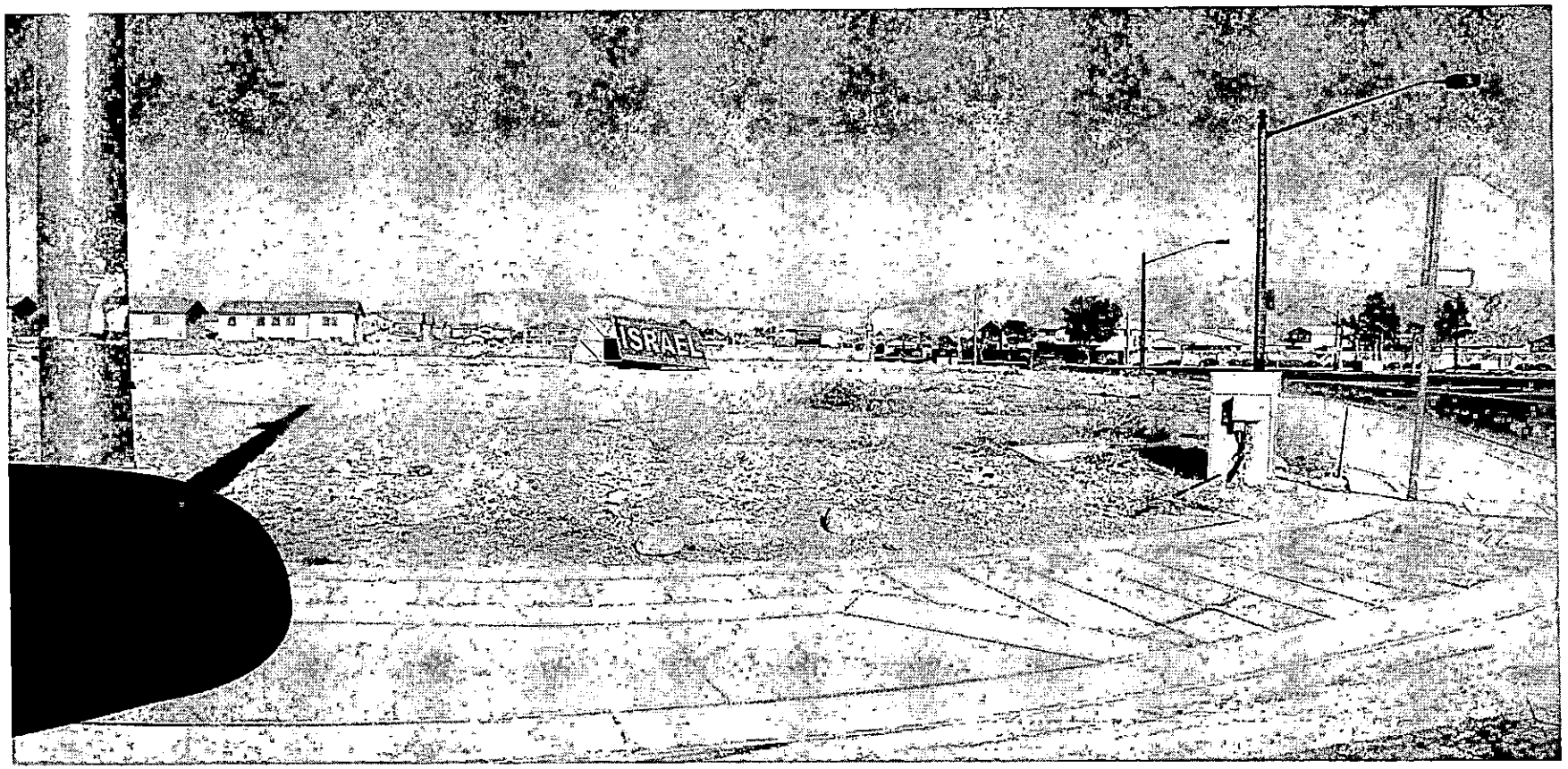
PREPARED BY ARCHITECTURA ARCHITECTURAL DESIGN, PAWEL CKEURL

DECEMBER

SDR-18926
02/08/07 PC

SDR 18926				
Sam J. Facchini				
NWC Sky Pointe & Cimarron				
Proposed 11.326 thousand square foot office building.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	HIGH-TURNOVER (SIT-DWN) RESTRNT [1000 SF]	8.631	127.15	**1,097**
AM Peak Hour			11.52	**99**
PM Peak Hour			10.92	**94**
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	1.2	42.94	**52**
AM Peak Hour			1.03	**1**
PM Peak Hour			3.75	**5**
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	1.495	11.01	**16**
AM Peak Hour			1.55	**2**
PM Peak Hour			1.49	**2**
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	MEDICAL-DENTAL OFFICE BUILDING [1000 SF]	11.326		**1,149**
AM Peak Hour				**101**
PM Peak Hour				**99**
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Sky Pointe Drive				
Average Daily Traffic (ADT)	9,047			
PM Peak Hour	724			
(heaviest 60 minutes)				

Cimarron Road				
Average Daily Traffic (ADT)	3,026			
PM Peak Hour	242			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Sky Pointe Drive	32,600			
Cimarron Road	32,600			
This project will add approximately 1,149 trips per day on Sky Pointe and				
Cimarron. This will increase expected volumes by about 13 percent on				
Sky Pointe and about 38 percent on Cimarron. Sky Pointe is at about 28				
percent of capacity and Cimarron is at about 9 percent of capacity.				
Based on Peak Hour use, this development will add roughly 99 additional				
car into the area; which works out to about three every two minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



SUP-18927 AND SDR-18926 - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC
NORTHEAST CORNER OF SKY POINTE DRIVE AND NORTH CIMARRON ROAD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/08/07

SUP-18927 AND SDR-18926 - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC
NORTHEAST CORNER OF SKY POINTE DRIVE AND NORTH CIMARRON ROAD
FEBRUARY 8, 2007 PLANNING COMMISSION

01/08/07

Main Office
4420 S. Arville Street, #8
Las Vegas, Nevada 89103
Phone (702) 876-9727
Fax (702) 876-3444
www.metropizza.com

America's Neighborhood Pizzeria
Home of our Nation's Pizza Hall of Fame

December 1, 2006

City of Las Vegas
Planning and Development
731 S. Fourth Street
Las Vegas, NV 89101

Re: Parcel # 125-21-710-006

JUSTIFICATION LETTER

Gentlemen:

With regards to the above named parcel, located at the NE corner of Sky Pointe and Cimarron, our company intends to construct a building with overall dimensions of 90 ft. x 105 ft., for an overall footprint of approximately 9450 sq. ft.

Within that building our company intends to operate the following:

1) **A Metro Pizza restaurant of approximately 6750 sq. ft.,**
2) **A retail breakfast café (yet unnamed) of approximately 1200 sq. ft.,**
3) **A commissary that services all 5 Metro Pizza restaurants of approximately 1500 sq. ft., and**
4) **Corporate offices of approximately 1500 sq. ft. located above the commissary.**

Our company has operated continuously in Clark County for 26 ½ years and we recently opened a restaurant in Henderson. We look forward to proceeding with this development and beginning a long-lasting relationship with the City of Las Vegas.

Thank You in advance for accepting our application.

Sam J. Facchini
Co-founder/Co-owner

SUP-18927
SDR-18926
02/08/07 PC

CITY OF LAS VEGAS

ONE MOTION/ONE VOTE

Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: **SDR-18926 - APPLICANT: METRO PIZZA NORTHWEST - OWNER: CIMARRON-FRONTAGE, LLC**

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the ***February 8, 2007*** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to Dorothy Marsili at 385-7268. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions.

Signature

2-6-07
Date

SAM J. FACCHINI
Please print name

Metro Pizza Northwest
Company Name

Sincerely,

John Korkosz
Planning Supervisor
Current Planning Division

ATTN: Dorothy Marsili

Submitted after final agenda

Date 2/8/07 Item #5

City of Las Vegas

Agenda Item No.: 6

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - ZON-17248 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	13	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

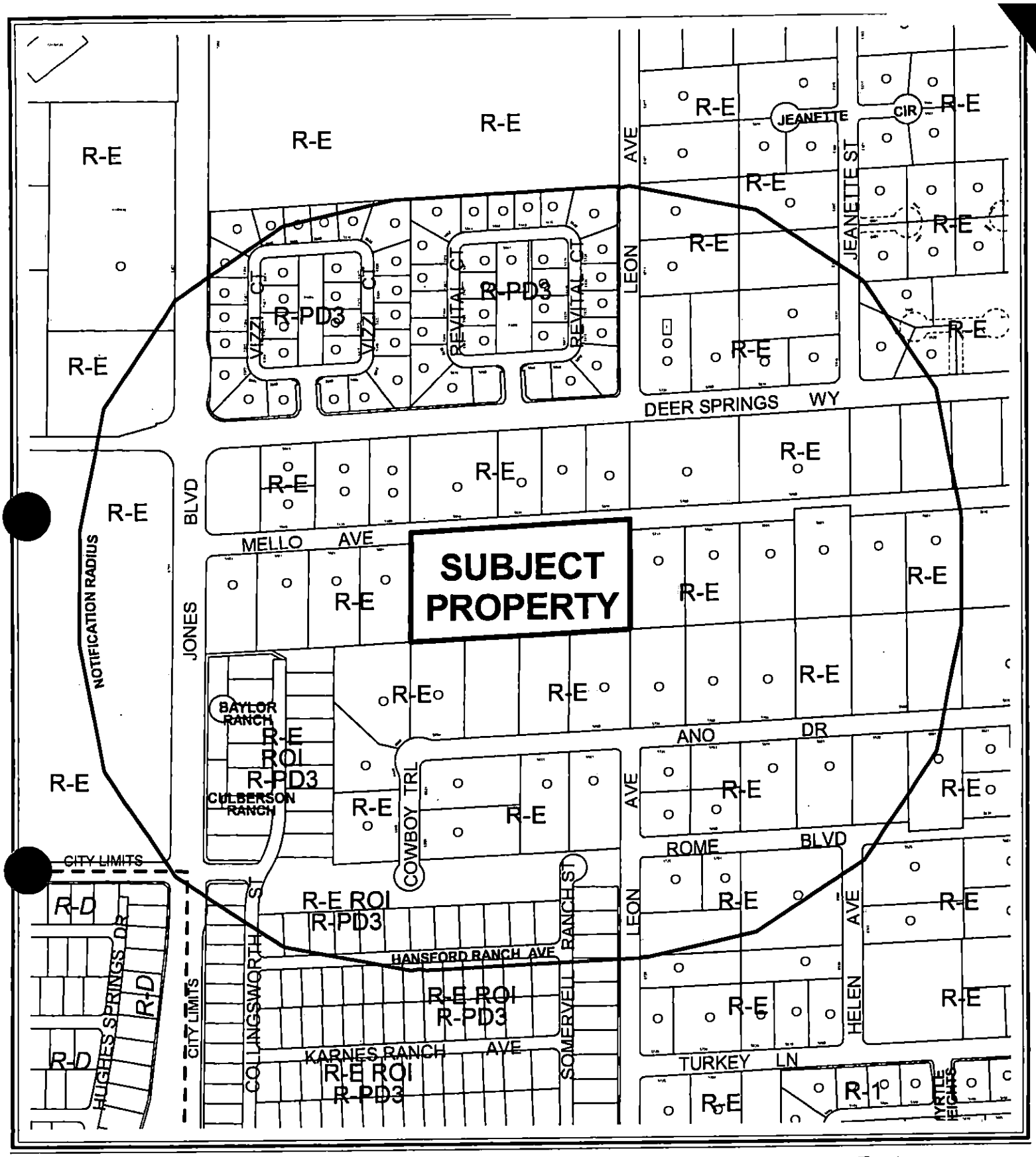
RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letters
6. Submitted after final agenda – Letter of withdrawal from David Clapsaddle for Items 6 and 7

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
JOHN KORKOSZ, Planning and Development Department, stated that the applicant has requested Item 6 [ZON-17248] and Item 7 [SDR-17249] be withdrawn without prejudice.

(6:06 – 6:12)



0 200 400 Feet

CASE: **ZON-17248**

RADIUS: 1000 FT

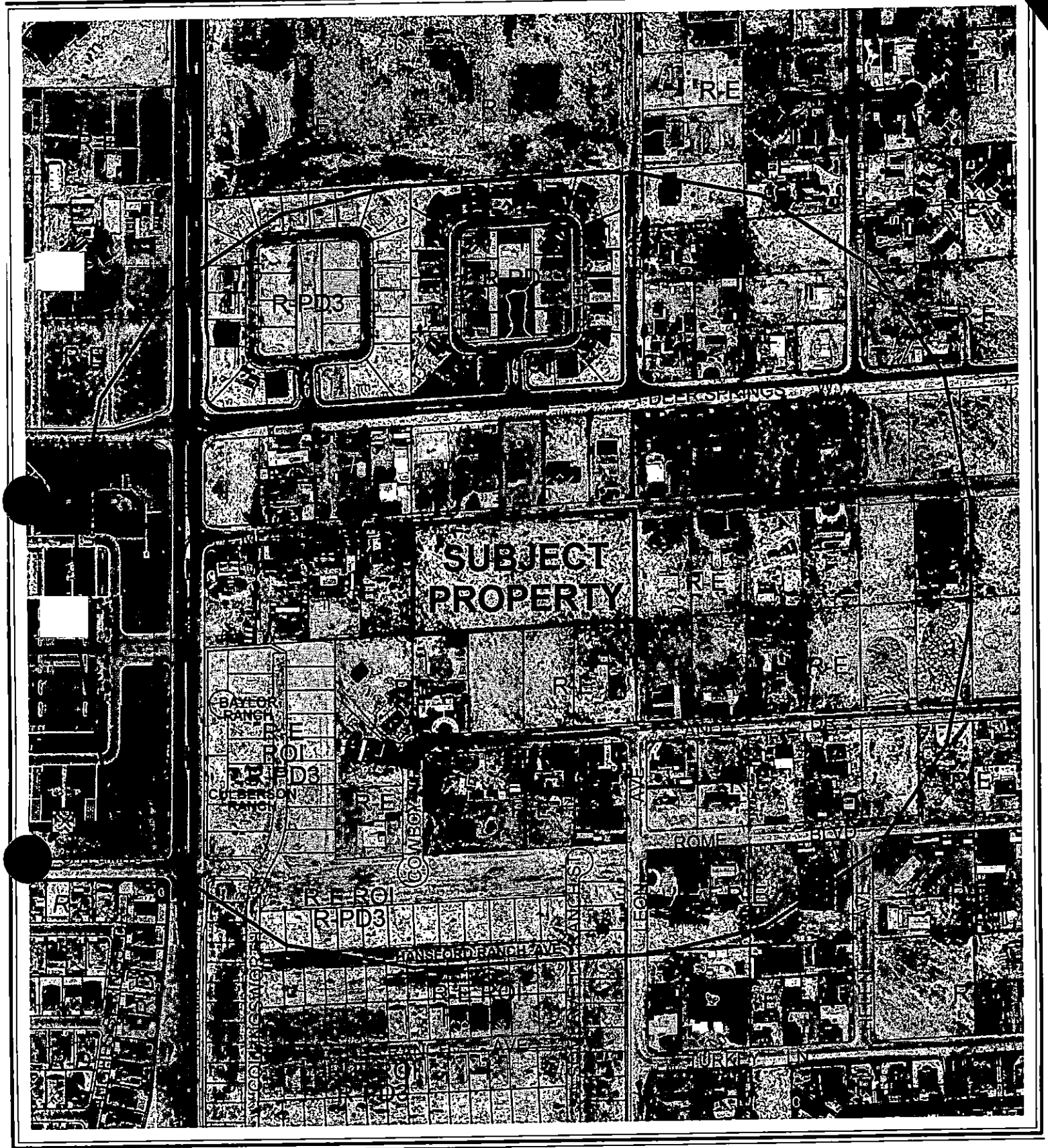
ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

N



0 200 400 Feet

CASE: **ZON-17248**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - ZON-17248 - APPLICANT/OWNER: TOUSA HOMES, INC.

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-17249) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate 30 feet of right-of-way adjacent to this site for Mello Avenue.

4. Construct half street improvements on Mello Avenue adjacent to this site concurrent with development of this site. Improvements shall consist of permanent asphalt pavement and 30-inch rolled curb; sidewalk installation may be deferred and decomposed granite provided in the area where sidewalk would normally be placed. Installation of streetlights may be deferred provided that exterior streetlighting shall be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location and the developer provide to the City such streetlights for the future installation. Alternatively, monies in lieu of such deferred streetlights, including bases, may be contributed to the City if allowed by the Department of Public Works. Coordinate with the Land Development Section of Public Works regarding streetlighting requirements prior to submittal of construction drawings. Sign and record a covenant running with the land for all urban improvements (L-curb, sidewalk and streetlights) not constructed at this time on Mello Avenue. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).

5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

6. Coordinate with the Collection Systems Planning Section of the Department of Public Works to extend public sanitary sewer in Mello Avenue to the west edge of this site at a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17248 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

The proposed rezoning to R-PD2 (Residential Planned Development – 2 Units per Acre) is not considered appropriate for this location. Some of the lot sizes that result from this rezoning are approximately 2,000 square feet smaller that what is currently permitted on this property but are only half the size of adjacent development. The setbacks that would result are more closely related to those of the R-D (Single-family Residential-Restricted) District than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

Related/Relevant City Actions by P&D, Fire, Bldg., etc.	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units Per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	This item and a companion Site Development Plan Review (SDR-17249) were held in abeyance at the request of the applicant.
01/25/07	This item and a companion Site Development Plan Review (SDR-17249) were held in abeyance to the 2/08/07 PC at the request of the applicant.
02/08/07	A companion Site Development Plan Review (SDR-17249) will be heard concurrently with this item.
Related Building Permits/Business Licenses	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
Pre-Application Meeting	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
Neighborhood Meeting	
A neighborhood meeting is nor required, nor was one held.	

Details of Application Request	
Site Area	
Gross Acres	5.06
Net Acres	5.03

NG

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
South	Undeveloped Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

Standard	*Provided*
Min. Lot Size	18,044 SF
Min. Lot Width	45.5 Feet
Min. Setbacks • Front • Side • Corner • Rear	 20 Feet 10 Feet 15 Feet 25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

NG

ZON-17248 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Per Title 19.08.060:

Residential Adjacency Standards
Residential Adjacency Standards do not apply to the proposed development.

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2 Units Per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	R (Rural Density Residential)	3.59 Units Per Acre

Open Space
Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirements
The project is required to provide a minimum of two parking spaces pre dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is considered inappropriate for this location. The site plan associated with the proposed rezoning contains lots that are approximately half the size of surrounding development at an average of 18,044 square feet. The proposed project would allow nine lots. Based on the average size of surrounding lots the property would have five lots if developed to match the existing conditions. The proposed rezoning is considered inappropriate and denial is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

The proposed R-PD2 (Residential Planned Development – 2 Units per Acre) District would be in compliance with the General Plan, which is R (Rural Density Residential). The area is primarily R-E (Residence Estates) zoned with lot sizes of over 30,000 square feet. This is more typical of the RNP (Rural Neighborhood Preservation) land use designation. While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes and through taking access via two cul-de-sacs rather than directly from Mello Avenue.

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

   The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller that adjacent lots that make the proposed project incompatible with the area.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

   Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining four lots over what would otherwise be appropriate for the area given the average lot size in the area.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

   The site gains access via two cul-de-sacs from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED	123 [Mailed with SDR-17249]
APPROVALS	0
PROTESTS	13

NG

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-17248 APN: 125-24-302-005

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN _____

Signature of Property Owner: Cheryl Kypreos

Print Name: Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September 2006

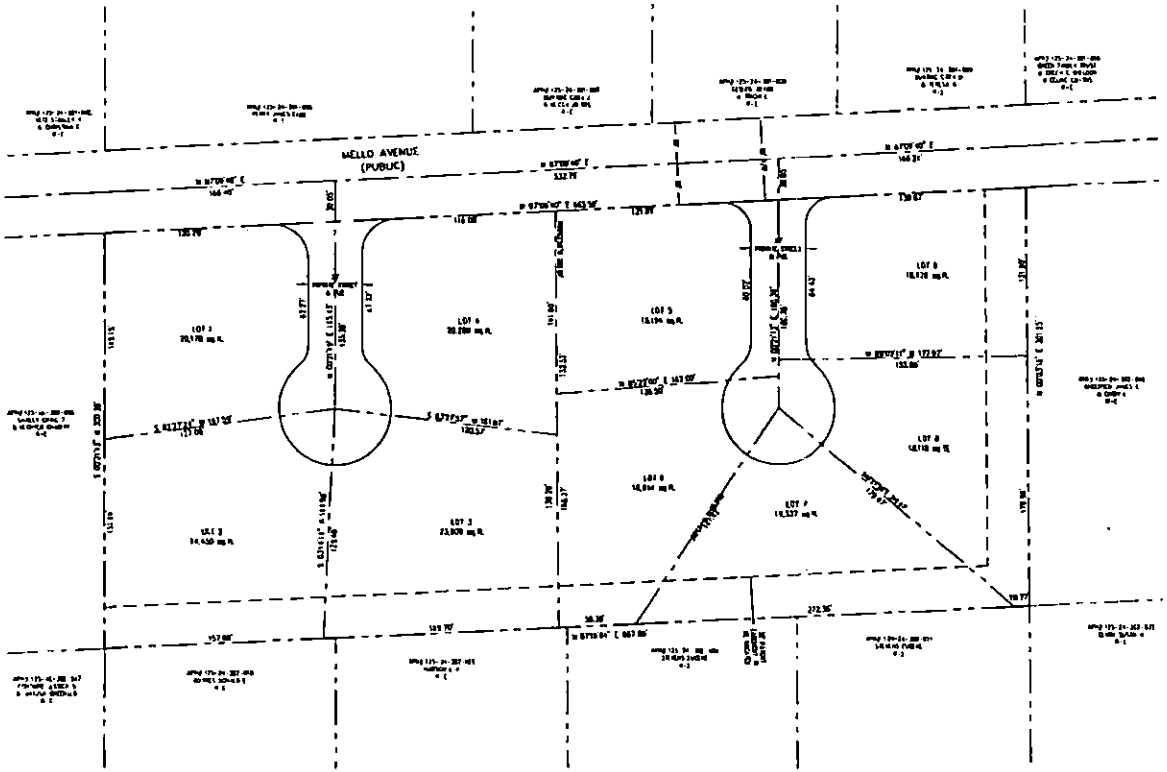
Dana Barragan

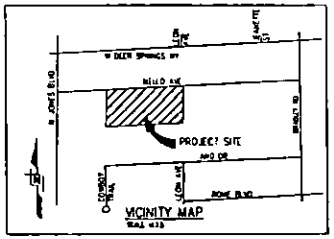
Notary Public in and for said County and State

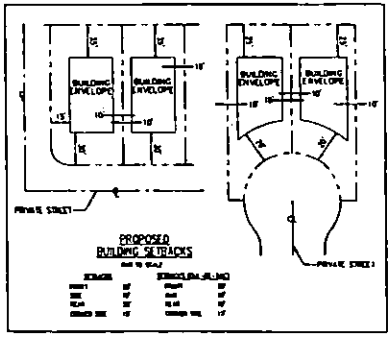
Notary Public - State of Nevada
County of Clark
DANA BARRAGAN
My Appointment Expires
No: 05-100083-1 October 4, 2009

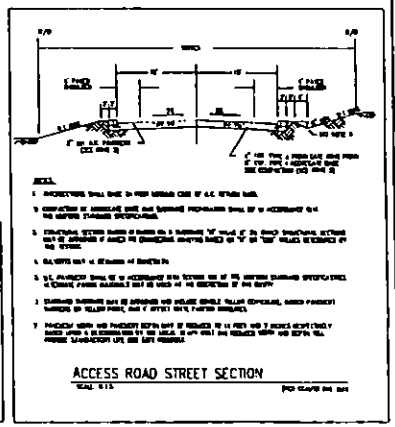
SITE PLAN
FOR
FALCON CREST UNIT 2
BY ENGLE HOMES

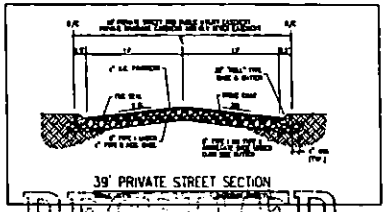
RE- RESIDENCE ESTATES DISTRICT
APN #125-24-302-005











SITE DATA	
ASSESSORS PARCEL NUMBER	125-24-302-005
CURRENT ZONING	R-E
GROSS ACRES	5.00
NUMBER OF LOTS	9
COMMON LOTS	3
DU/AC	1.80
AVERAGE LOT SIZE	18,372 SF

OWNER INFORMATION	DEVELOPER	ENGINEER
[illegible]	[illegible]	[illegible]

WRIGHT client driven

ENGLE HOMES

FALCON CREST UNIT 2

9 LOT SITE PLAN - MELLO AVE

SHEET S1

JAN 31 2007

ZON-17248 SDR-17249
REVISED 02/08/07 PC

WRIGHT
client driven

September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

02/08/07 PC

ZON-17248

January 10, 2007

Dear Mayor Goodman, Councilman Ross, and Planning Commissioners,

We the residents of Mello Avenue have had two community meetings concerning the 5 acres on Mello Avenue identified as APN# 125-24-302-005. The first meeting occurred in the later part of December, the discussion resulted in the resolution of the following issues:

1. Lot sizes to measure ½ acre net(not to the middle of the street)
2. Four houses to face Mello Avenue to create a community atmosphere.
3. The amount of homes should be established by the amount of net ½ acre lots not to exceed 9 dwellings.

The second meeting occurred on January 9, 2007 resulting in two concepts which we do not agree with whatsoever. Originally two story houses had been limited, during the second meeting they offered either 9 two story homes or 10 single story structures on lots measuring ½ acre to the middle of the street. We do not agree with either of their concepts that they have presented to us. The second meeting has brought into question their integrity and their ability to comply with the established ½ acre net lot parameters.

In summation the residents of Mello Avenue agree to the following:

1. Retain our R-E zoning
2. Retaining our horse zoning
3. Lot sizes measuring ½ acre net
4. 4 homes to face Mello
5. 2 entries into the development
6. No street lights
7. No side walks & curbs
8. No two story homes
9. Meet all elevation concerns and flood issues which may arise from the new elevations

In closing after the appropriate easements are taken into consideration and any other adjustments are made to the acreage, the lots will remain ½ acre net and the developer will decrease the amount of homes to accommodate the site. We will not agree to more than 9 houses or any two story dwellings.

We the residents of Mello Avenue unanimously agree to the above noted and hereby accept this by signing the attached page.

Thank You for your time and consideration on this topic,

The Residents of Mello Avenue

ZON-17248

13 P

R. E Lynn	Ray Lynn	5501 Mello Ave	645-5456
Maureen Lynn	Maureen Lynn	" " "	"
Michael L Hendricks	Michael L Hendricks	5940 Mello Ave	658-5251
Grace K Hendricks	Grace K Hendricks	5940 Mello Ave	658-9609
Stan Witz	Stan A Witz	5900 Mello Ave	222-9557
Christina R Witz	Christina R. Witz	5900 Mello	738-2502
Linda Suarez	Linda Suarez	5711 Mello Ave.	348-7335 cell
Andre Suarez	Andre Suarez	5711 Mello Ave	348-7542
Juan A Cosio	Juan A Cosio	5601 Mello Ave	645-3515
Barbara Cosio	Barbara Cosio	5601 Mello Ave	645-3515
George R Cole	George Cole II	5701 Mello Ave	207-2306
Lori Cole	Lori Cole	5701 Mello Ave	207-2306
[illegible]	G. Sheldon Green, M.D.	5700 Mello Ave	645-0375
Celino P Green	Celino P Green	5700 Mello Ave	645-0375
Esther P Green	Esther P. Green	5700 Mello Ave	243-2500
Adam Eckel	Adam Eckel	5800 Mello Ave	877-2192
Heidi Eckel	Heidi Eckel	5800 Mello Ave	877-2192
Tricia Geisler	Tricia Geisler	5810 Mello Ave	658-8624
Bryan Geisler	Bryan Geisler	5810 Mello Ave	658-8624
J Earl Perry	J. Earl Perry	5850 Mello Ave.	645-0310
Marcia Geil	Marcia Geil	5921 Mello Ave	658-9326
Robert G Geil	Robert G Geil	5921 Mello Ave	658-9326
Barbara Sue Geil	Barbara Sue Geil	5921 Mello Ave	658-9326
Valerie Schram	Valerie Schram	5600 Mello Ave	(c) 419-3193
Dennis Banto	Dennis Banto	5655 Mello Ave	658-5966
Sylvia Banto	Sylvia Banto	5655 Mello Ave	658-5966

February 1, 2007

Ms. Margo Wheeler
Director, Planning and Development
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

RE: Mello between Jones & Bradley (F2) (ZON-17248, SDR-17249)
APN: 125-24-302-005

Dear Margo:

Based on comments we received from our last neighborhood meeting and Councilman Ross's office, we see no reason to proceed with the above referenced applications. Therefore, we respectfully request that these items be withdrawn without prejudice.

Sincerely,

David Clapsaddle
Director of Planning

DWC: mw

RECEIVED
CITY CLERK
2007 FEB 27 P 1:08

GCGARCIA

Submitted after final agenda

Date 2/27/07 Item #6-7

[redacted]

City of Las Vegas

Agenda Item No.: 7

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SDR-17249 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17248 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED NINE-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 03/07/07

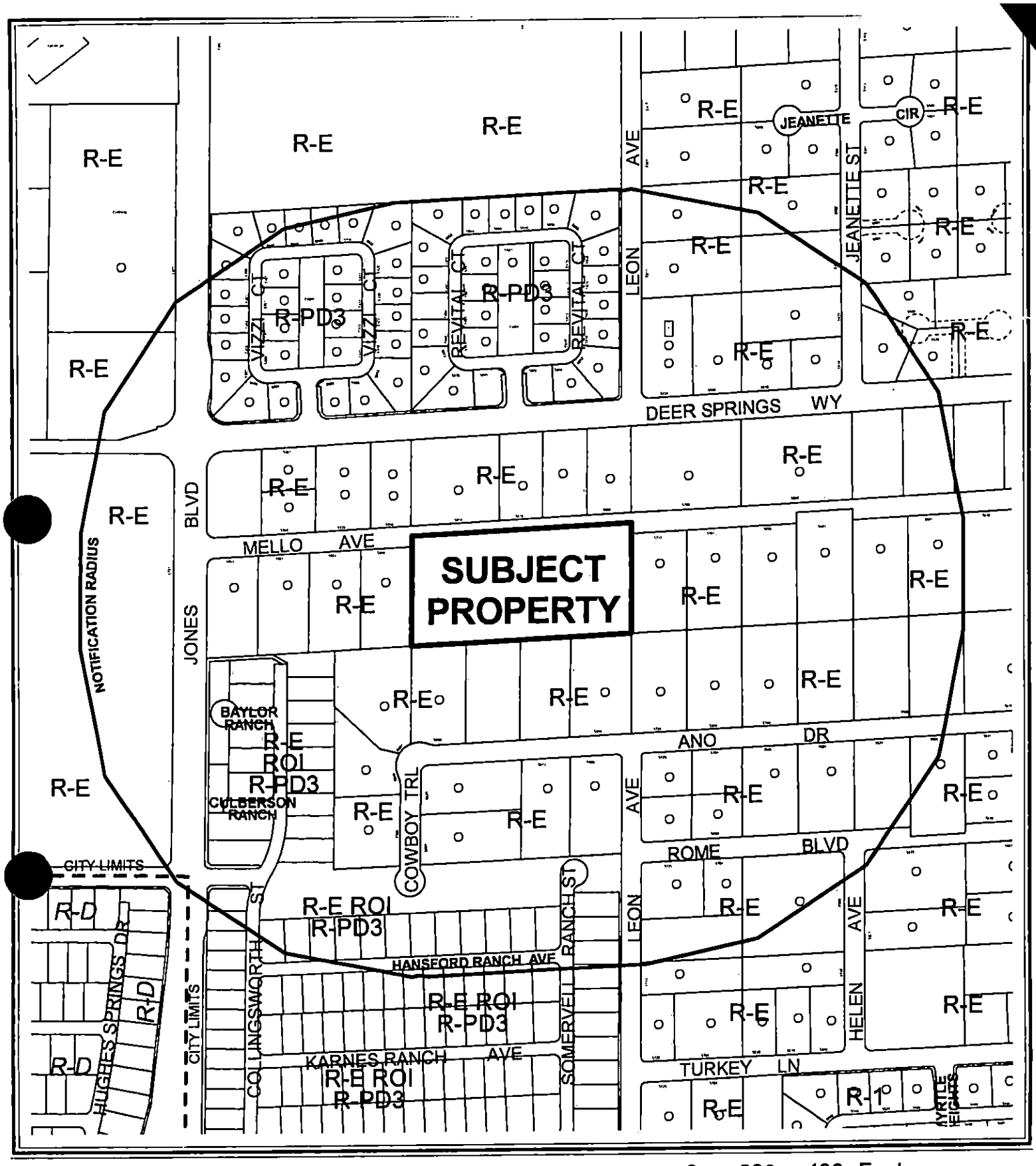
PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
See Item 6 for related discussion and backup.
(6:06 – 6:12)



0 200 400 Feet

CASE: **SDR-17249**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17248), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan date stamped 01/31/07, and building elevations, date stamped 10/02/06, except as amended by conditions herein.

4. The standards for this development shall include a Minimum lot size of 18,044 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.

5. The setbacks for this development shall be a minimum of 20 feet to the front of the house, as measured from back of sidewalk or from back of curb if no sidewalk is provided, 10 feet on the side, 15 feet on the corner side, and 25 feet in the rear.

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

9. Air conditioning units shall not be mounted on rooftops.

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

14. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17248 and all other applicable site-related actions.

15. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

16. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-17249 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

The proposed development is for a nine-lot single-family residential subdivision. Lot sizes, at an average of 20,127 square feet, are approximately half the size of adjacent lots. The site gains access from two cul-de-sacs where as adjacent development gains access directly from Mello Avenue. Due to the average lot size being considerably smaller than adjacent development the proposed development is considered to be incompatible with the area and denial of this request is recommended.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	This item and a companion Rezoning (ZON-17248) were held in abeyance at the request of the applicant.
01/25/07	This item and a companion Rezoning (ZON-17248) were held in abeyance at the request of the applicant.
02/08/07	A companion Rezoning (ZON-17248) was held in abeyance to the 2/8/07 PC.
Related Building Permits/Business Licenses	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
Pre-Application Meeting	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
Neighborhood Meeting	
A neighborhood meeting is nor required, nor was one held.	

Details of Application Request	
Site Area	
Gross Acres	5.06
Net Acres	5.03

NG

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
South	Undeveloped Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

Standard	*Provided*
Min. Lot Size	18,044 SF
Min. Lot Width	45.5 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

Per Title 19.08.060:

Residential Adjacency Standards
Residential Adjacency Standards do not apply to the proposed development.

Existing Zoning	*Permitted Density*	*Units Allowed*	*Proposed Zoning*	*Permitted Density*	*General Plan*	*Permitted Density*
R-E (Residence Estates)	2 Units per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – Two Units per Acre)	2.49 Units per Acre	R (Rural Density Residential)	3.59 Units per Acre

Open Space
Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement
The project is required to provide a minimum of two parking spaces pre dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development contains nine lots. These lots range from 18,044 square feet to 24,450 square feet. The minimum lot size for the surrounding R-E lots is 20,000 square feet. Five of these lots are slightly smaller than the minimum for the current R-E (Residence Estates) District. It is noted that adjacent lots are over 35,000 square feet with some as large as 90,000 square feet. Based on this comparison this site would hold approximately five lots and still remain compatible with adjacent development. The proposed development would not be compatible with the adjacent lot sizes.

The setbacks for the proposed development are most closely related to those required by the R-D (Single-family Residential-Restricted) District. Setbacks in the current R-E (Residence Estates) District are double what are proposed in the front yard and 10 feet greater in the rear yard. The development gains access from a "dog-bone" style cul-de-sac off Mello Avenue. The other homes in the area gain access directly from Mello Avenue rather than from cul-de-sacs.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

The proposed development contains nine lots and is not required to provide open space. It is also noted that streetscape is not required along Mello Avenue. There are two common lots provided as public drainage easements; however, these will not contain any significant landscaping.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

   The proposed development contains lots that are approximately half the size of adjacent development. Additionally the site would gain access from two cul-de-sacs. The surrounding lots all gain access directly form Mello Avenue. Adjacent development is primarily large lots with a rural character. The proposed development would not be compatible with these lots and denial of this request is recommended.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

   While the proposed development does not deviate from the requirements of Title 19 or the General Plan, the development is not considered compatible with the area. The lot sizes are considered too small compared to adjacent development and also do not front onto the Mello Avenue right-of-way.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

   The site gains access via two cul-de-sacs from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

4. **Building and landscape materials are appropriate for the area and for the City;**

   Building and landscape materials are appropriate for the area and the City of Las Vegas.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

   Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

   The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 123 [Mailed with ZON-17248]

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17249** APN: 125-24-302-005

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN _____

Signature of Property Owner: Cheryl Kypreos

Print Name: Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September 20 06

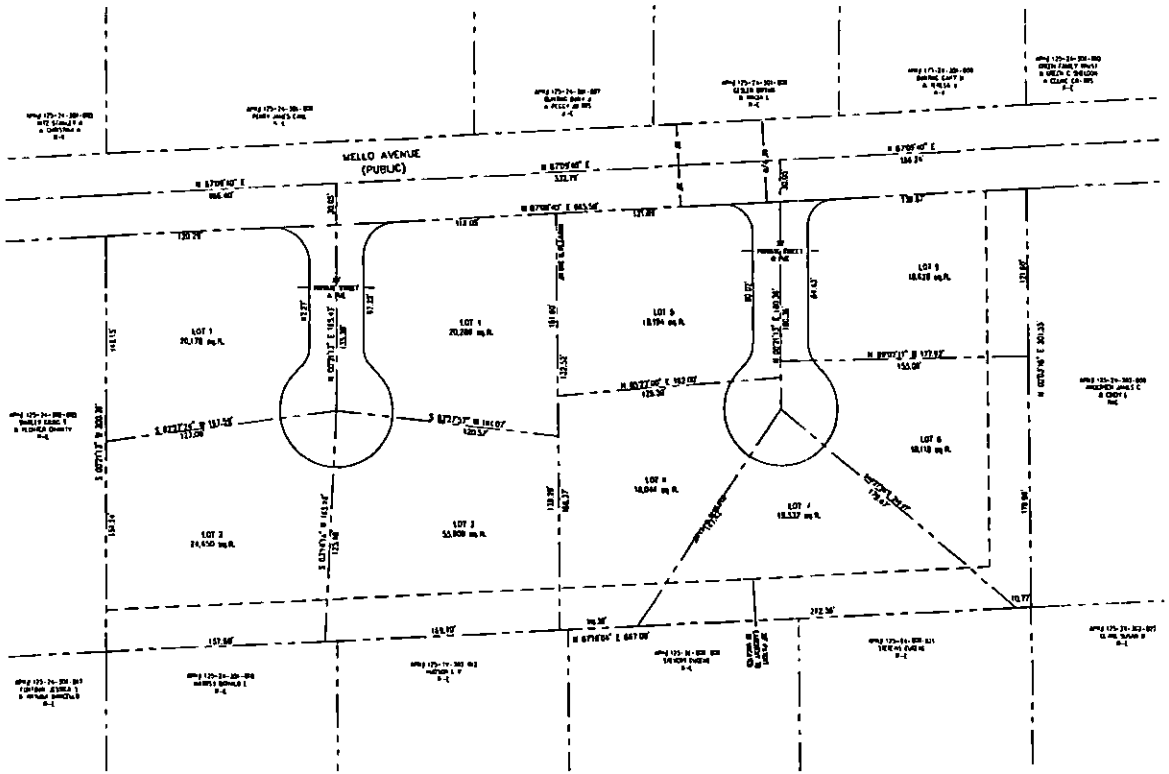
Dana Barragan

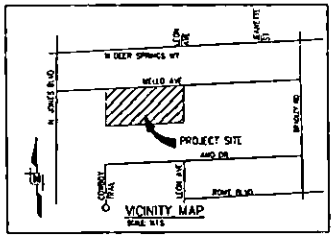
Notary Public in and for said County and State

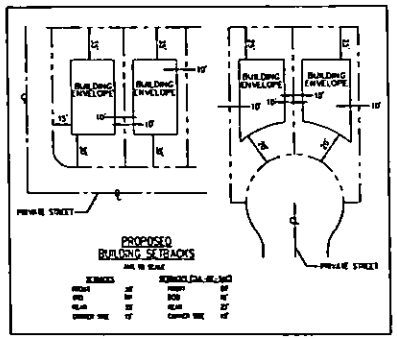
Notary Public - State of Nevada
County of Clark
DANA BARRAGAN
My Appointment Expires
No. 05-100093-1 October 4, 2009

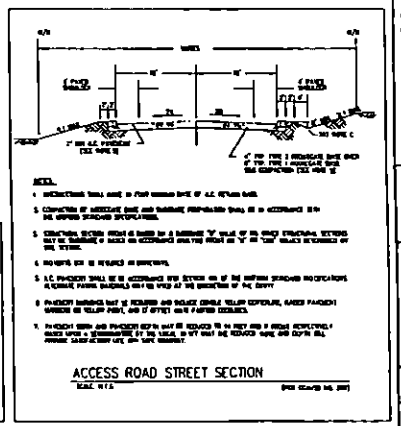
SITE PLAN
FOR
FALCON CREST UNIT 2
BY ENGLE HOMES

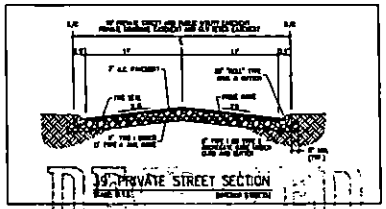
RE- RESIDENCE ESTATES DISTRICT
APN #125-24-302-005











SITE DATA	
ASSESSORS PARCEL NUMBER	125-24-302-005
CURRENT ZONING	R-E
GROSS ACRES	9.16
NUMBER OF LOTS	9
CORNER LOTS	3
DU/AC	1.00
MINIMUM LOT SIZE	24,372 SF

OWNER INFORMATION	DEVELOPER	ENGINEER
[illegible]	[illegible]	[illegible]

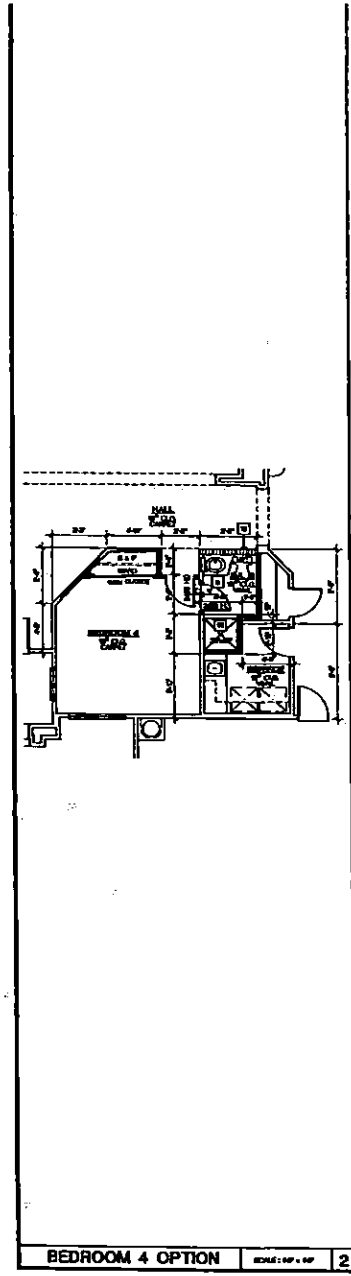
WRIGHT
client driven

ENGLE HOMES
FALCON CREST UNIT 2
9 LOT SITE PLAN -MELLO AVE

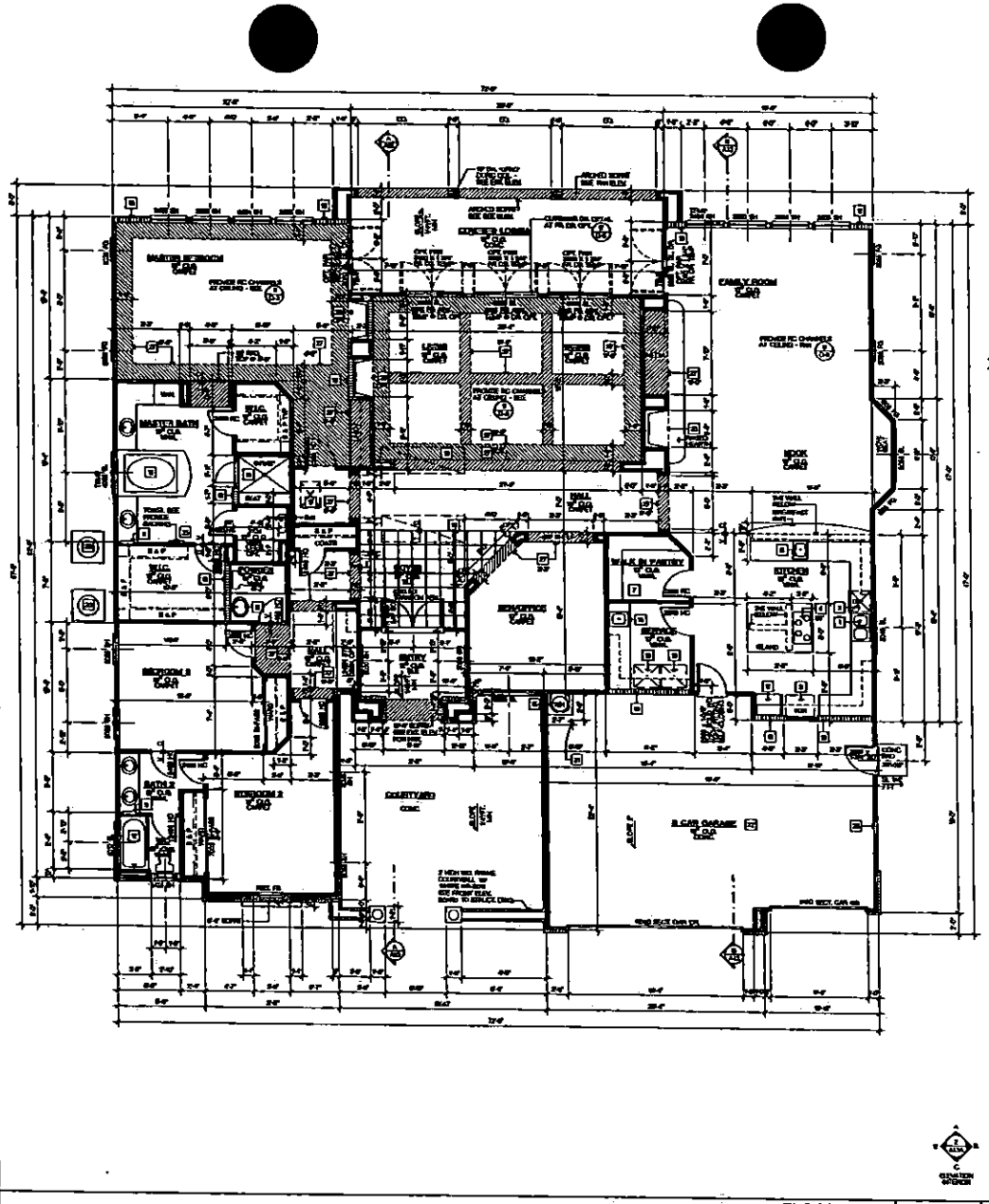
SHEET
S1

JAN 31 2007

ZON-17248 SDR-17249
REVISED 02/08/07 PC



BEDROOM 4 OPTION | SCALE: 1/4" = 1'-0" | 2



FLOOR PLAN | SCALE: 1/4" = 1'-0" | 1

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA

FLOOR	
TOTAL	
GARAGE	648 S.F.
ENTRY 7'6" ELEVATION	75 S.F.
ENTRY 10'0" ELEVATION	28 S.F.
ENTRY 11'0" ELEVATIONS	74 S.F.
COVERED LOGGIA	286 S.F.
PORTICO 11'0" ELEVATION	286 S.F.

No.	Date	Issue / Description
	3/16/05	BLDG. DEPT. SUBMITTAL
1	8/05/05	BLDG. DEPT. REVISIONS
2	8/23/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, Inc.
Architecture · Planning

License Stamp

Principal in Charge: J. TULLY
Project Director: M. FOWLER
Project Manager: N. SCIARRA
Project Designer: J. TEAM
Checked By:

Sheet Title:
PLAN 1
"A" FLOOR PLAN
AND OPTION

Sheet No.
A1.1

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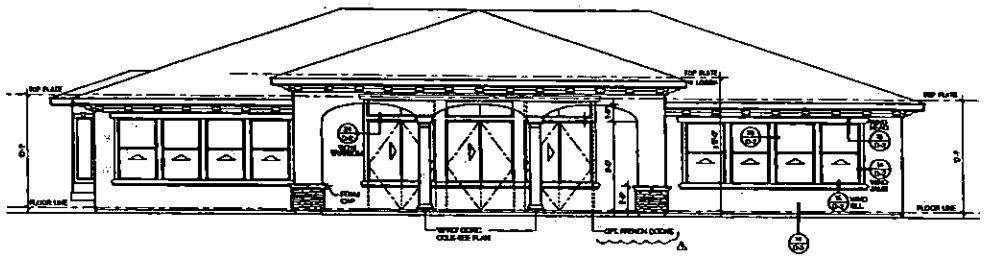
02/08/07 PC



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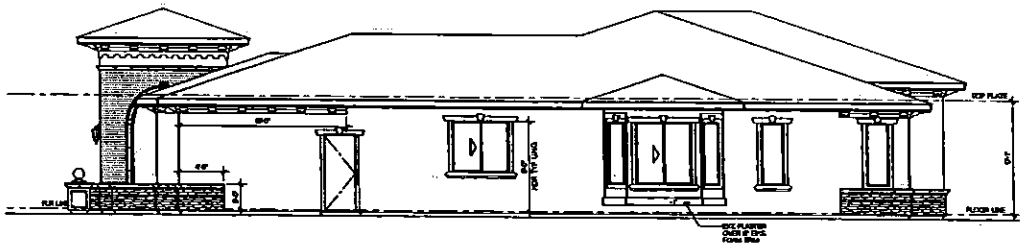

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No.	Date	Name / Description
	3/9/05	BLDG. DEPT. SUBMITTAL
1	6/23/05	BLDG. DEPT. REVISIONS
2	8/23/05	BLDG. DEPT. REVISIONS

Consultant

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, INC.

Licensee Stamp

Principal In Charge: J. TULLY
Project Director: M. POWLER
Project Manager: R. SCHARRA
Project Designer: J. TRAN
Checked By:

Sheet Title:
PLAN 1
"B" EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS | SCALE: 1/8" = 1'-0" | 1

Sheet No.: A1.6A

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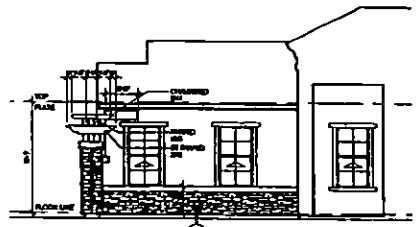

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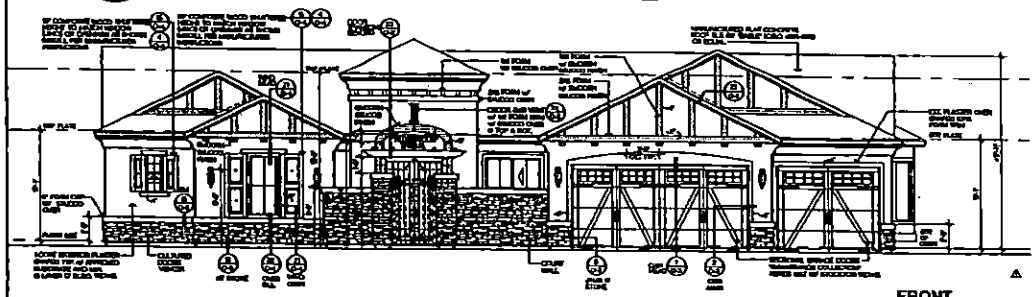

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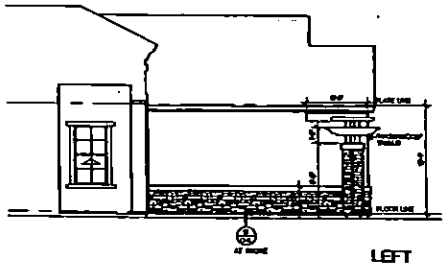

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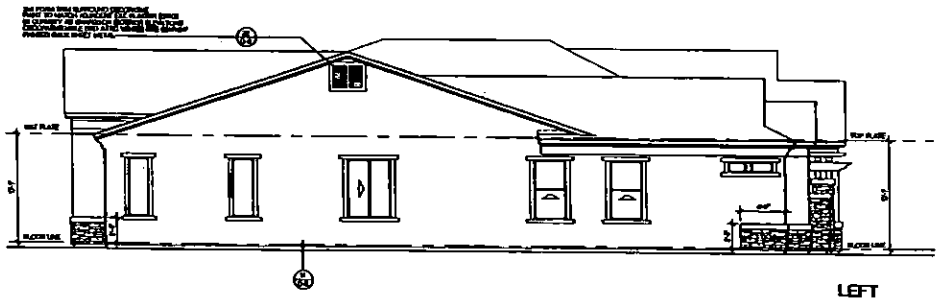
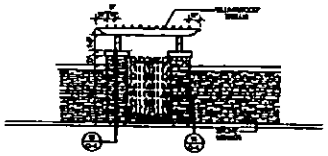


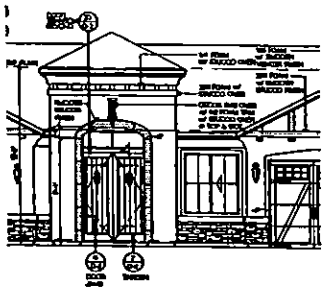
LEFT

FRONT PORCH PARTIAL ELEVATION | 3

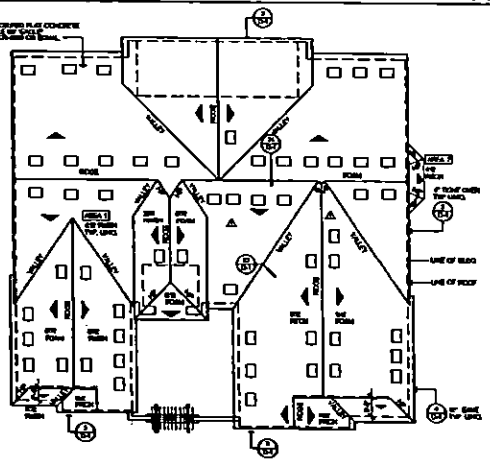
EXTERIOR ELEVATIONS | 1



TRELLIS FRONT ELEVATION | 5



FRONT ELEVATION w/o GARDEN WALL | 4



"C" ROOF PLAN | 2

ATTIC VENTILATION

No.	Date	Name / Description
3	3/29/05	BLDG. DEPT. SUBMITTAL
4	4/04/05	BLDG. DEPT. REVISIONS
5	5/12/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7472 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

KTGY GROUP, INC.

Licensee Stamp

Principal In Charge: J. TULLY
Project Architect: M. FOWLER
Project Manager: M. MOHAMMA
Project Designer: J. TYLER
Checked By:

Sheet Title:
PLAN 1
"C" EXTERIOR ELEVATIONS
"C" ROOF PLAN

Sheet No.:
A1.7

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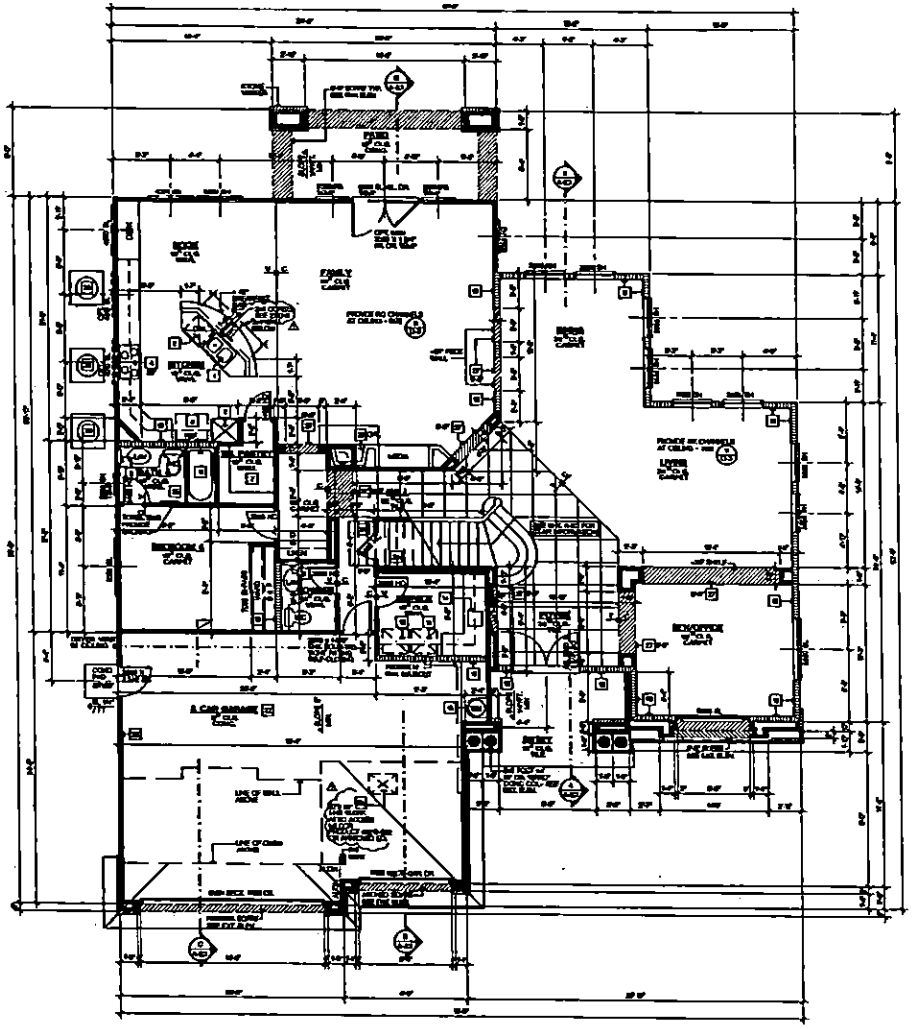

FLOOR PLANS

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	[illegible] S.F.
SECOND FLOOR	[illegible] S.F.
TOTAL	[illegible] S.F.
GARAGE	[illegible] S.F.
BACK DECK	[illegible] S.F.
PATIO	[illegible] S.F.
ENTRY NW ELEVATION	[illegible] S.F.
ENTRY NE ELEVATION	[illegible] S.F.
ENTRY CC ELEVATION	[illegible] S.F.
FRONT DECK CW ELEVATIONS	[illegible] S.F.
FRONT DECK NW ELEVATIONS	[illegible] S.F.
FRONT DECK NC ELEVATIONS	[illegible] S.F.

No.	Date	Issue / Description
3	3/8/06	BLDG. DEPT. SUBMITTAL
2	3/23/06	BLDG. DEPT. REVISIONS
1	4/28/06	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

KTGYGROUP, INC.
Architecture · Planning
[illegible]
Irvine, California

License Stamp

Principal In Charge: J. TULLY
Project Director: M. FOWLER
Project Manager: R. SCHURR
Project Designer: J. TRAN
Checked By:

Sheet Title:
PLAN 2
FIRST FLOOR PLAN

Sheet No.:
A2.1

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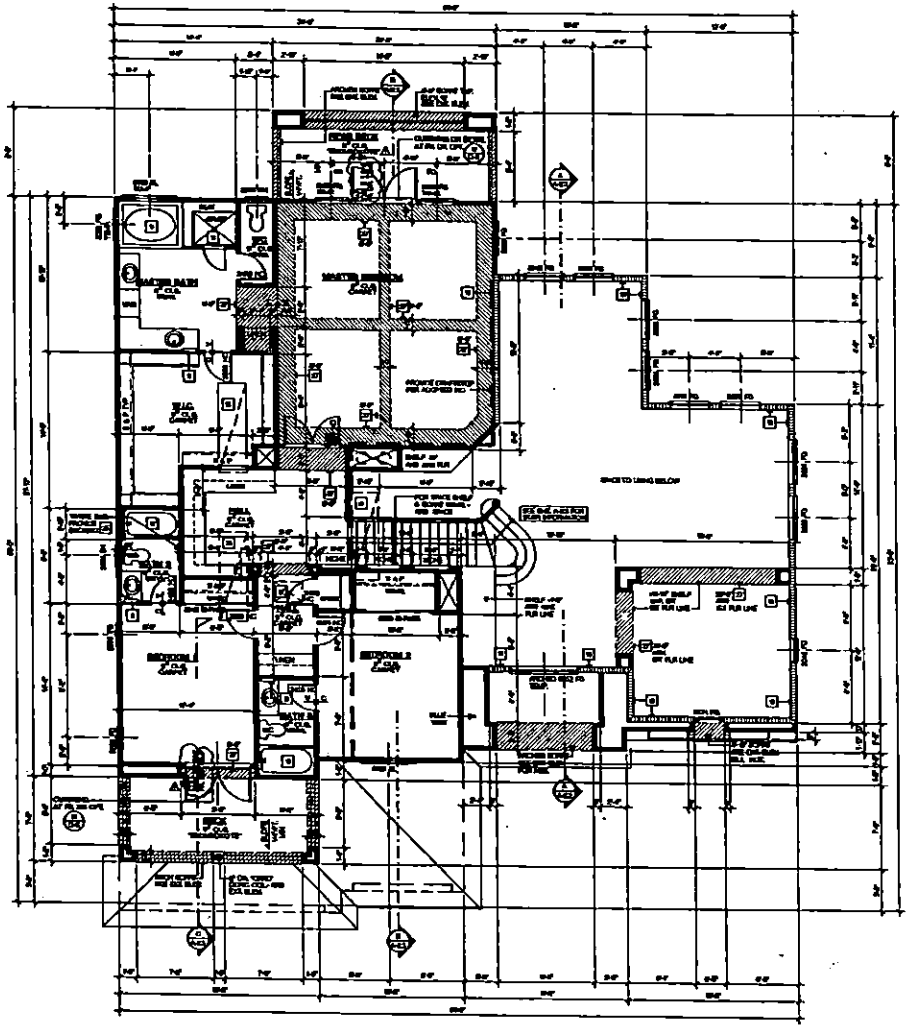
02/08/07 PC



SECOND FLOOR PLAN

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2222 S.F.
SECOND FLOOR	890 S.F.
TOTAL	[illegible] S.F.
GARAGE	778 S.F.
BACK DECK	152 S.F.
PATIO	152 S.F.
ENTRY 1'0" ELEVATION	84 S.F.
ENTRY 1'0" ELEVATION	77 S.F.
ENTRY 1'0" ELEVATION	84 S.F.
FRONT DECK 1'0" ELEVATION	144 S.F.
FRONT DECK 1'0" ELEVATION	144 S.F.
FRONT DECK 1'0" ELEVATION	143 S.F.

No.	Date	Issue / Description
3	3/08/05	BLDG. DEPT. SUBMITTAL
2	3/01/05	BLDG. DEPT. REVISIONS
1	3/01/05	BLDG. DEPT. REVISIONS

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7672 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, INC.

Principal In Charge: J. TILLY
Project Director: M. FOWLER
Project Manager: R. SCHAFER
Project Designer: J. TRAN
Checked By:

Sheet Title:
PLAN 2
SECOND FLOOR PLAN

Sheet No.:
A-2.1A

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SDR-17249

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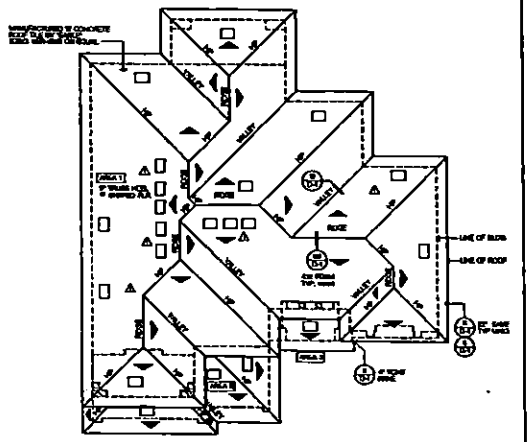
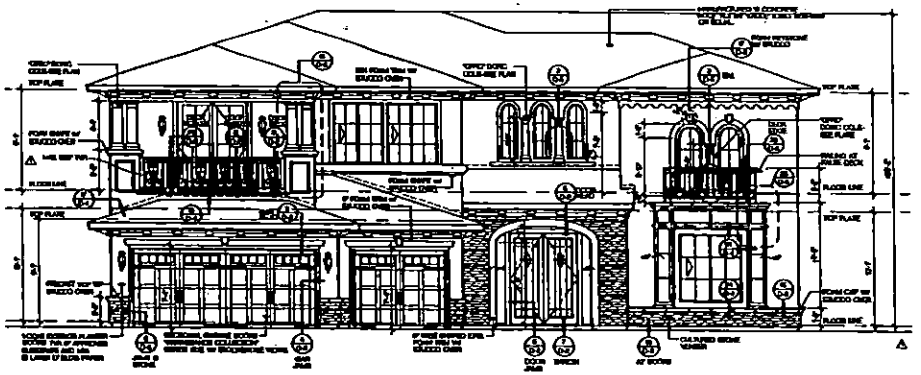
ATTIC VENTILATION



"B" ROOF PLAN | 2



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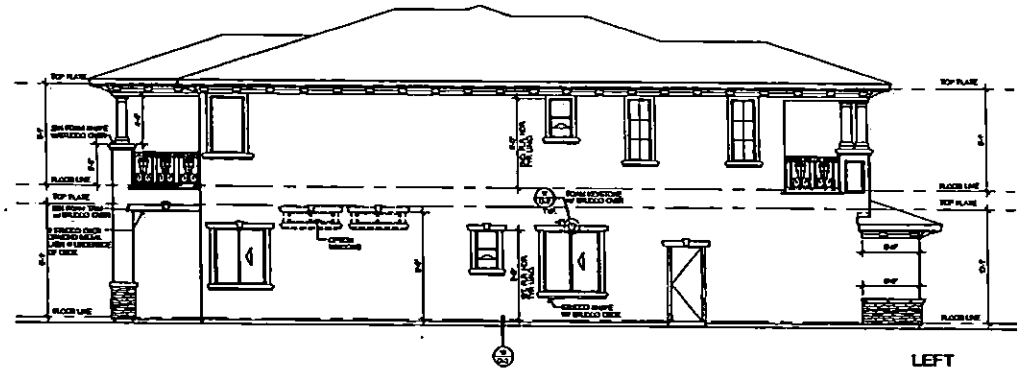

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EXTERIOR ELEVATIONS | 1

No.	Date	Issue / Description
	3/24/05	BLDG. DEPT. SUBMITTAL
1	10/24/05	BLDG. DEPT. REVISIONS
2	6/29/06	BLDG. DEPT. REVISIONS

Comments

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7672 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGY GROUP, INC.

Licensee Stamp

Principal In Charge: J. TRAY
Project Director: M. FOWLER
Project Manager: H. SCHMIRA
Project Designer: J. TRAN
Checked By:

Sheet Title:
PLAN 2
'B' EXTERIOR ELEVATIONS
'B' ROOF PLAN

Sheet No.:
A2.6

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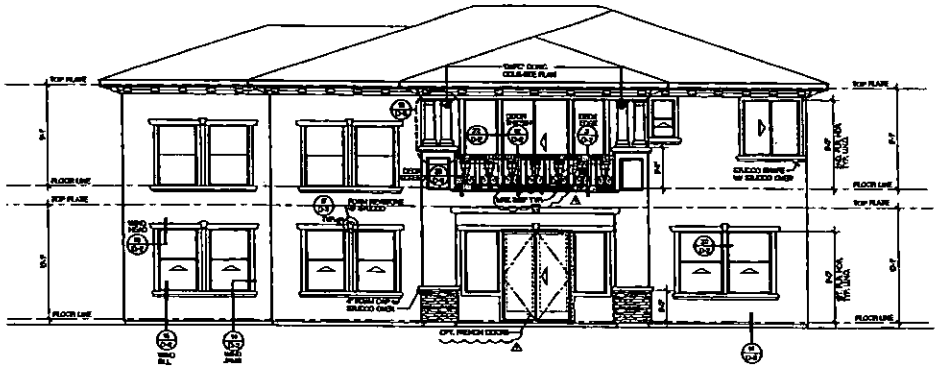

REAR

RIGHT

No.	Date	Issue / Description
	3/18/05	BLDG. DEPT. SUBMITTAL
4	8/25/05	BLDG. DEPT. REVISIONS
4	9/29/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7972 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGY GROUP, INC.

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Principal in Charge: J. TULLY
Project Director: M. FOWLER
Project Manager: R. SCHARRA
Project Designer: J. TSAI
Checked By:

Sheet Title:
PLAN 2
"B" EXTERIOR ELEVATIONS

Sheet No.:
A2.6A

EXTERIOR ELEVATIONS | SCALE: 1/4"=1'-0" | 1

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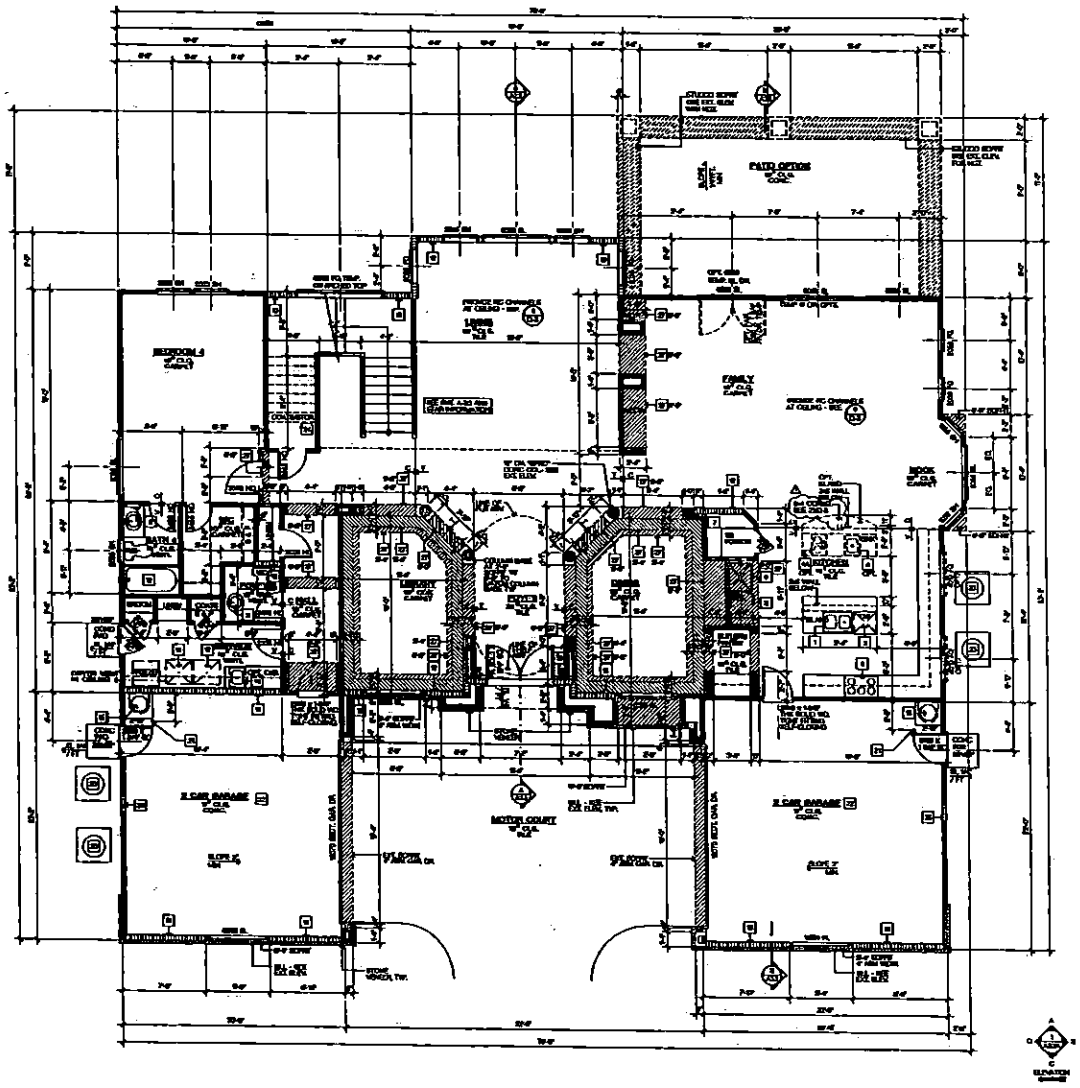

FIRST FLOOR PLAN AND OPTIONS

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2[illegible] S.F.
SECOND FLOOR	[illegible] S.F.
TOTAL	[illegible] S.F.
REAR PATIO	[illegible] S.F.
REAR DECK	[illegible] S.F.
GARAGE 1A 7'6" ELEVATION	[illegible] S.F.
GARAGE 2A 7'6" ELEVATION	[illegible] S.F.
GARAGE 1B 7'0" & 7'6" ELEVATIONS	[illegible] S.F.
GARAGE 2B 7'0" & 7'6" ELEVATIONS	[illegible] S.F.
GARAGE 1C 7'6" ELEVATION	[illegible] S.F.
GARAGE 2C 7'6" ELEVATIONS	[illegible] S.F.
GARAGE 1D 7'0" & 7'6" ELEVATIONS	[illegible] S.F.
GARAGE 2D 7'0" & 7'6" ELEVATIONS	[illegible] S.F.

No.	Date	Issue / Description
3	3/08/05	BLDG. DEPT. SUBMITTAL
4	5/05/05	BLDG. DEPT. REVISIONS
5	8/23/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7672 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, INC.

Principal In Charge: J. TULLY
Project Director: M. FOWLER
Project Manager: M. SCHARRA
Project Designer: J. TSAI
Checked By:

Sheet Title:
PLAN 3
"A" FIRST FLOOR PLAN AND OPTIONS

Sheet No.:
A3.1

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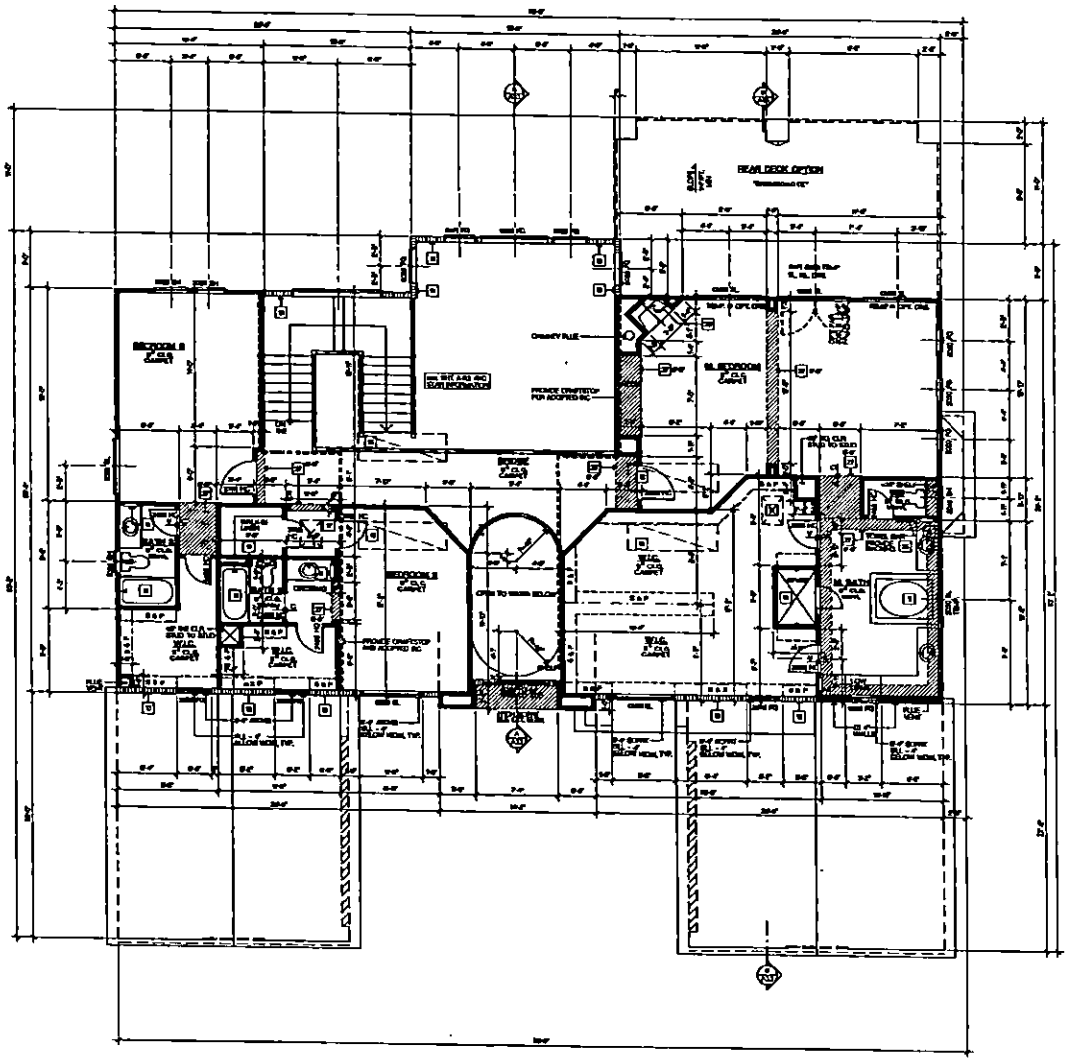

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2796 S.F.
SECOND FLOOR	[illegible] S.F.
TOTAL	[illegible] S.F.
REAR PATIO	[illegible] S.F.
REAR DECK	[illegible] S.F.
GARAGE 1b 1'A' ELEVATION	[illegible] S.F.
GARAGE 2A 1'A' ELEVATIONS	[illegible] S.F.
GARAGE 2A 1'B' & 'C' ELEVATIONS	[illegible] S.F.
GARAGE 2B 1'B' & 'C' ELEVATIONS	[illegible] S.F.
GARAGE 1B 1'A' ELEVATIONS	[illegible] S.F.
GARAGE 2B 1'A' ELEVATIONS	[illegible] S.F.
GARAGE 2B 1'B' & 'C' ELEVATIONS	[illegible] S.F.
GARAGE 2B 1'B' & 'C' ELEVATIONS	[illegible] S.F.

No.	Date	Issue / Description
1	3/15/05	BLDG DEPT. SUBMITTAL
2	8/25/05	BLDG. DEPT. REVISIONS
3	8/25/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

KTGYGROUP, inc.

Principal in Charge: J. TULLY
Project Director: M. FOWLER
Project Manager: E. SCHARRA
Project Designer: J. TRAN
Checked By:

Sheet Title:
PLAN 3
'A' SECOND FLOOR PLAN AND OPTION

Sheet No.:
A3.1A

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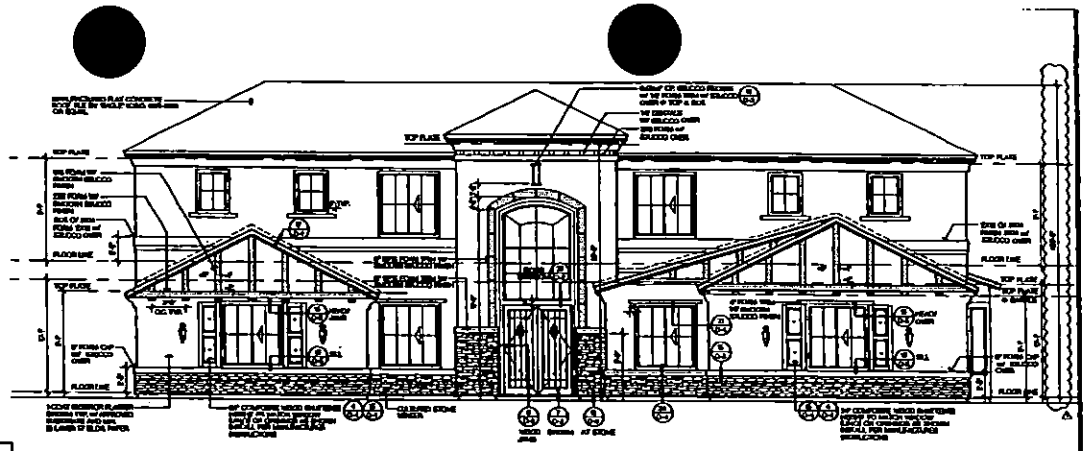
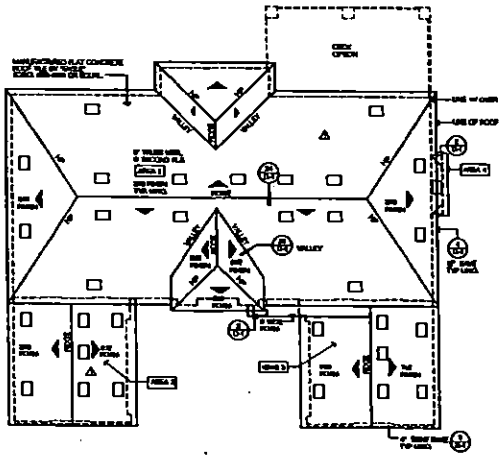


FRONT

LEFT

EXTERIOR ELEVATIONS | 1

ATTIC VENTILATION



"A" ROOF PLAN | 2

No.	Date	Issue / Description
1	3/9/05	BLDG. DEPT. SUBMITTAL
2	10/3/05	BLDG. DEPT. REVISIONS
3	8/23/06	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc., d.b.a.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, inc.
Architecture · Planning
CARL MARCHETTI, ARCHITECT
SACRAMENTO, CALIFORNIA 95825
(916) 929-9600
FAX (916) 929-9601
WWW.KTGYGROUP.COM
Sacramento, California

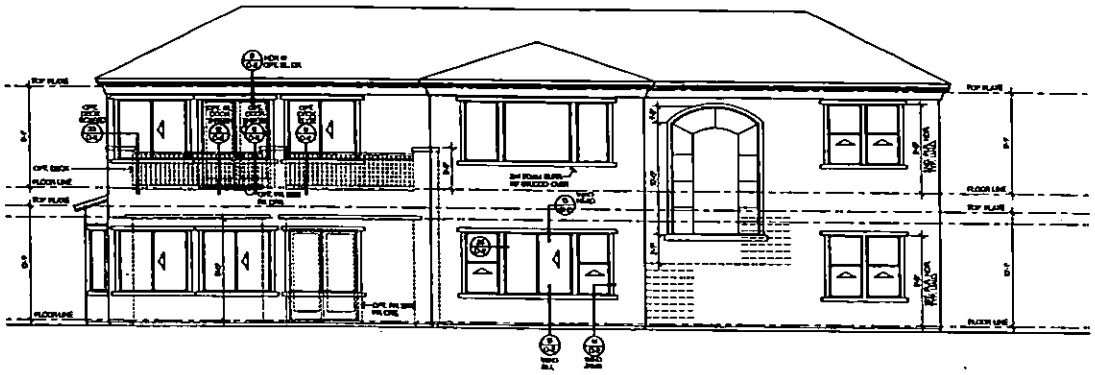
License Stamp

Principal In Charge:	J. TULLY
Project Director:	M. FOWLER
Project Manager:	H. SCHAIRA
Project Designer:	J. TRAN
Checked By:	

Sheet Title:
PLAN 3
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No.:
A3.4

02/08/07 PC RECEIVED
SDR-17249 OCT 0 2 2006



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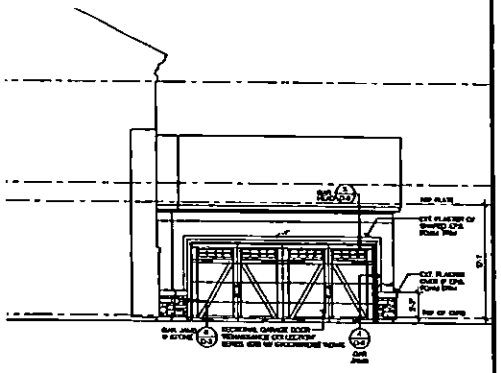
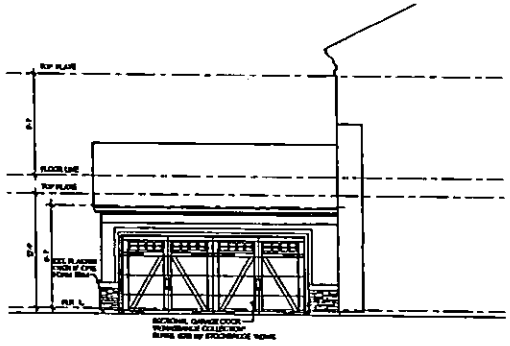


COURTYARD LEFT

RIGHT



COURTYARD RIGHT

EXTERIOR ELEVATIONS | 1

No.	Date	Issue / Description
1	3/9/05	BLDG DEPT. SUBMITTAL
2	8/25/05	BLDG DEPT. RESUBMIT
3	8/29/05	BLDG DEPT. RESUBMIT

Comments

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7972 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

KTGYGROUP, inc.

Licensee Stamp

Principal In Charge: J. TULLY
Project Director: M. POWLER
Project Manager: M. SCHAFFA
Project Designer: J. TSAI
Checked By:

Sheet Title:
PLAN 3
'A' EXTERIOR ELEVATIONS

Sheet No.:
A3.4A

02/08/07 PC
SDR-17240

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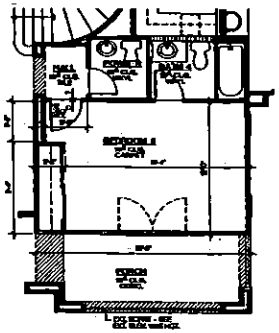
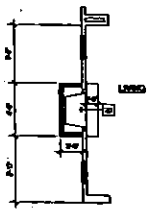
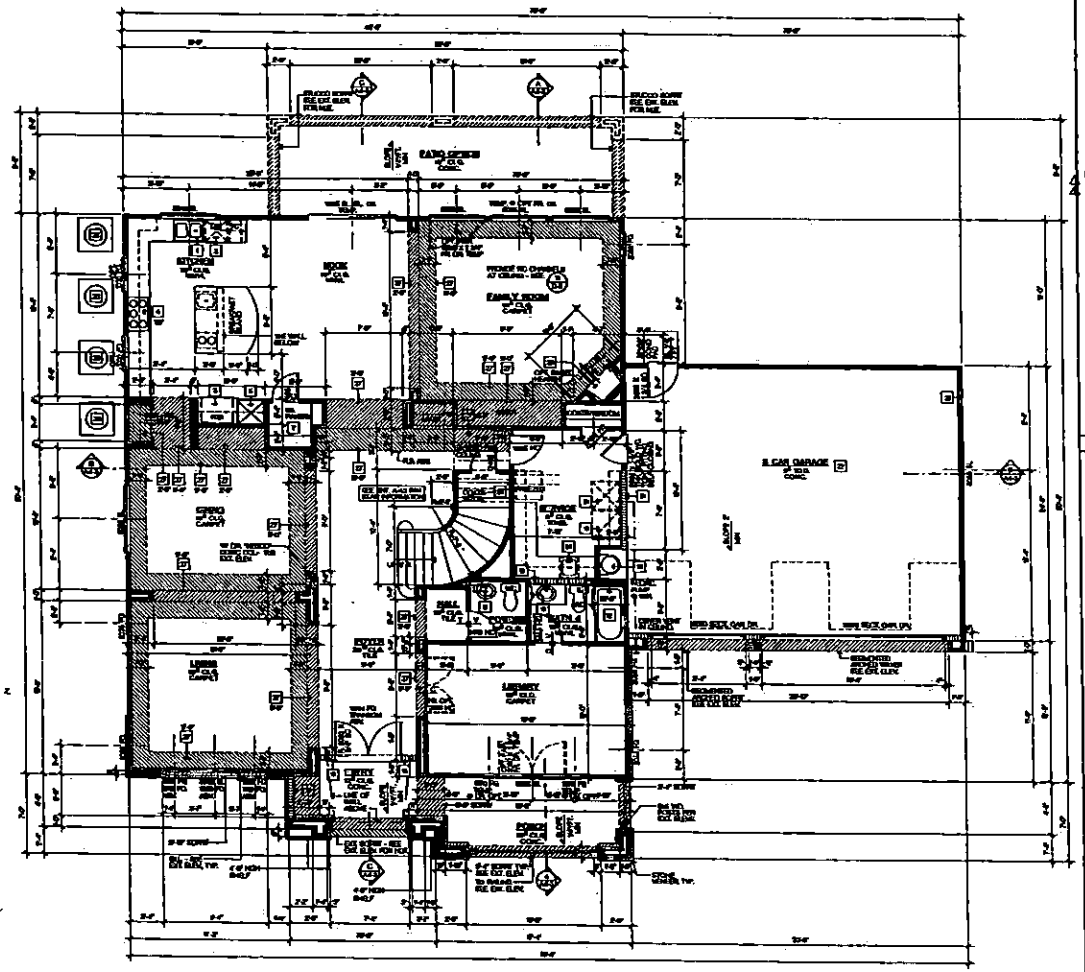


1 BEDROOM 5 OPTION



2 FIREPLACE OPTION



FIRST FLOOR PLAN AND OPTION

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	3238 S.F.
SECOND FLOOR	3370 S.F.
TOTAL	6608 S.F.
GARAGE	743 S.F.
REAR PATIO	594 S.F.
REAR DECK	386 S.F.
ENTRY = ELEV. 'A'	77 S.F.
ENTRY = ELEV. 'B'	103 S.F.
ENTRY = ELEV. 'C'	69 S.F.
PORCH = ELEV. 'A' & 'C'	57 S.F.
PORCH = ELEV. 'B'	69 S.F.

No.	Date	Issue / Description
	3/18/05	BLDG. DEPT. SUBMITTAL
1	6/15/05	BLDG. DEPT. REVISIONS
2	8/29/05	BLDG. DEPT. REVISIONS

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7472 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

ETGYGROUP, inc.

Principal In Charge: J. TULLY
Project Director: M. POWLEN
Project Manager: M. SHARMA
Project Designer: J. TRAI
Checked By:

Sheet Title:
PLAN 4
"A" FIRST FLOOR PLAN AND OPTION

Sheet No.:
A4.1

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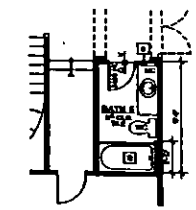
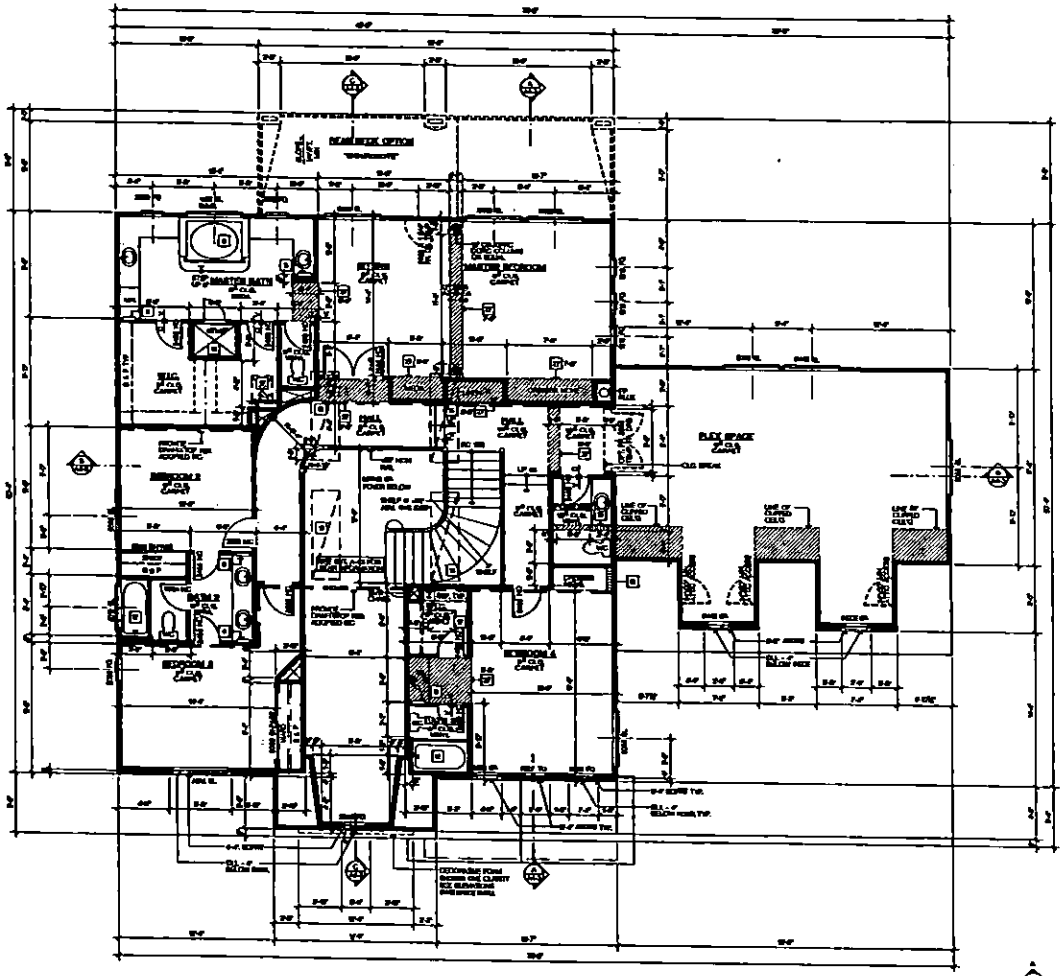
02/08/07 PC
SDR-17249



1 BATHROOM 5 OPTION



SECOND FLOOR PLAN AND OPTIONS

KEYNOTES

NOTES

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2778 S.F.
SECOND FLOOR	1679 S.F.
TOTAL	4458 S.F.
GARAGE	746 S.F.
REAR PATIO	288 S.F.
REAR CRCK	197 S.F.
ENTRY @ ELEV. "A"	74 S.F.
ENTRY @ ELEV. "B"	84 S.F.
ENTRY @ ELEV. "C"	89 S.F.
PORCH @ ELEV. "A" & "C"	187 S.F.
PORCH @ ELEV. "B"	88 S.F.

No.	Date	Name / Description
1	3/8/05	BLDG. DEPT. SUBMITTAL
2	3/25/05	BLDG. DEPT. REVISIONS
3	4/29/05	BLDG. DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENOLE HOMES
7672 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, INC.

Licensed Design

Principal In Charge: J. TULLY
Project Director: M. POWLER
Project Manager: R. SCIARRA
Project Designer: J. TRAN
Checked By:

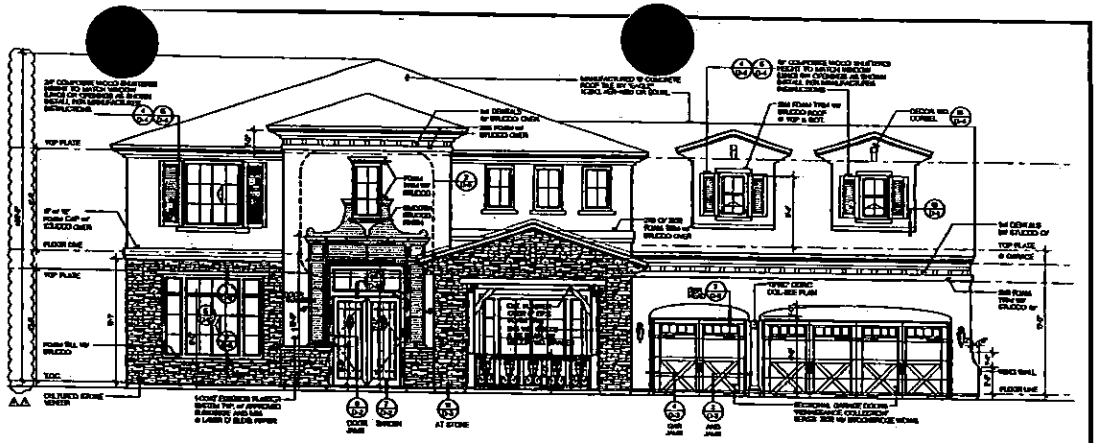
Sheet Title:
PLAN 4
"A" SECOND FLOOR PLAN AND OPTION

Sheet No.:
A4.1A

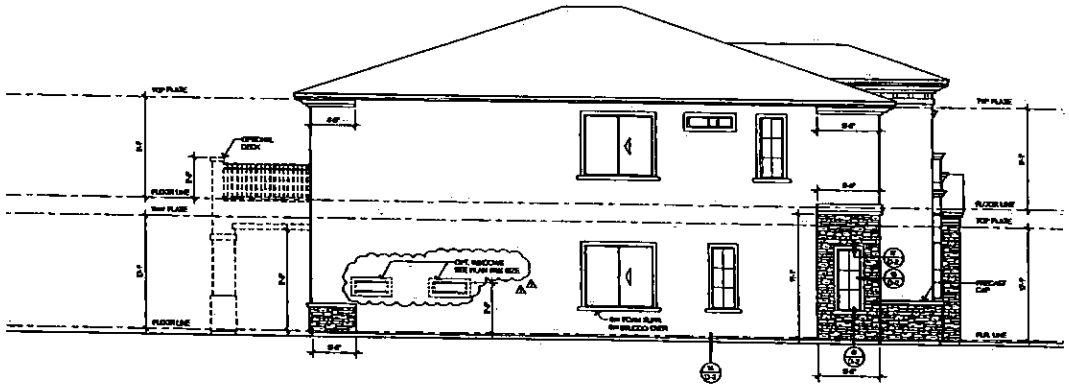
02/08/07 PC

SDR-17249

RECEIVED
- 9 2 2006



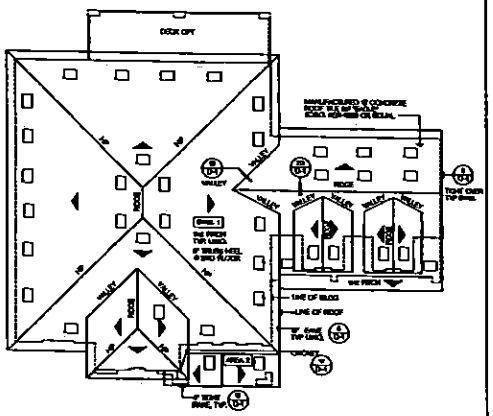
FRONT



LEFT

EXTERIOR ELEVATIONS | SCALE: 1/8" = 1'-0" | 1

ATTIC VENTILATION



"A" ROOF PLAN | SCALE: 1/8" = 1'-0" | 2

No.	Date	Issue / Description
1	3/9/05	BLDG. DEPT. SUBMITTAL
2	8/25/05	BLDG. DEPT. REVISIONS
3	9/29/05	BLDG. DEPT. REVISIONS

Comments

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
7672 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, INC.
Architecture · Planning
6080 MACARTHUR, SUITE 100
NEWPORT BEACH, CA 92660
Tel: 949-261-2000
Fax: 949-261-2020
Irvine, California

Licensee Stamp

Principal In Charge:	J. TILLY
Project Director:	M. FOWLER
Project Manager:	M. SCHAFER
Project Designer:	J. TRAN
Checked By:	

Sheet Title:
PLAN 4
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No.:
A4.4

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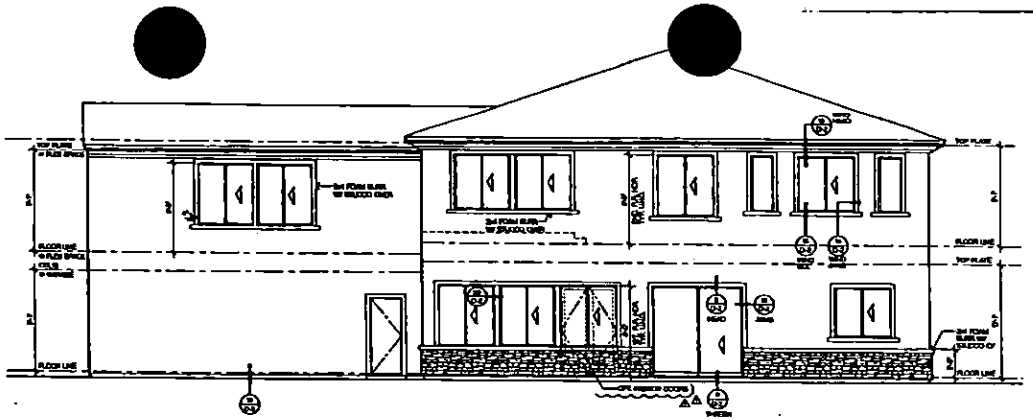

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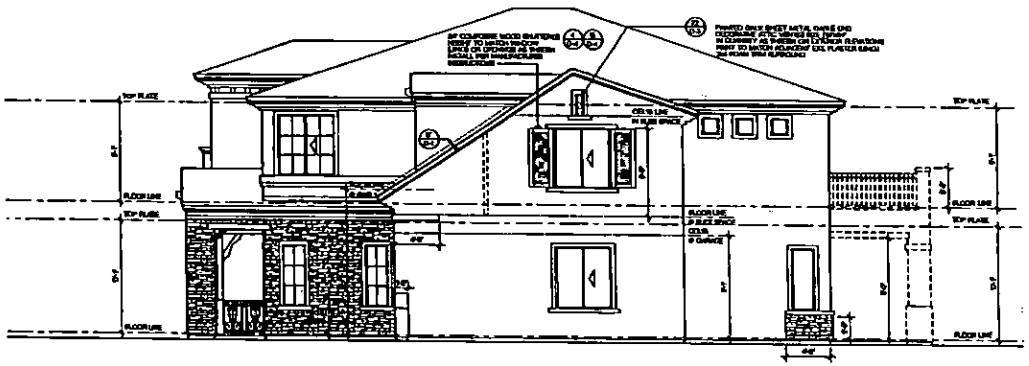
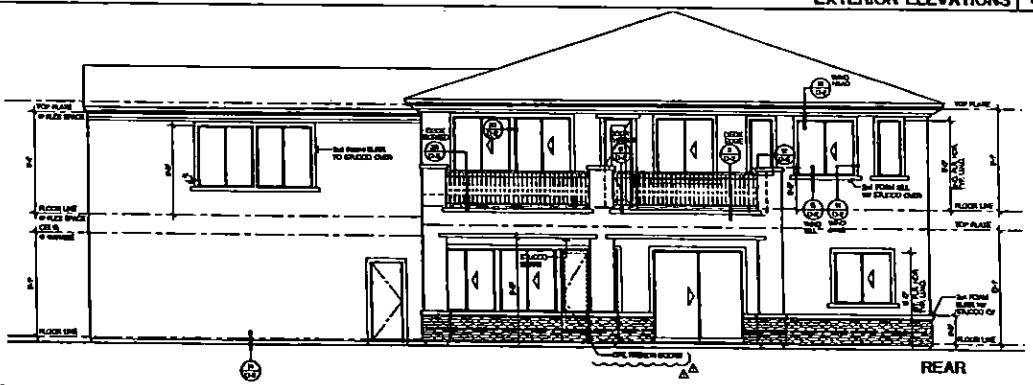


RIGHT

EXTERIOR ELEVATIONS | 1



REAR

DECK OPTION ELEVATION | 2

No.	Date	Issue / Description
3	3/16/05	BLDG DEPT. SUBMITTAL
2	6/06/05	BLDG DEPT. REVISIONS
1	8/08/05	BLDG DEPT. REVISIONS

Consultants

Project:
BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENOLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117

2004-0777

KTGYGROUP, inc.
Architecture · Planning
[illegible]
[illegible]
Irvine, California

License Stamp

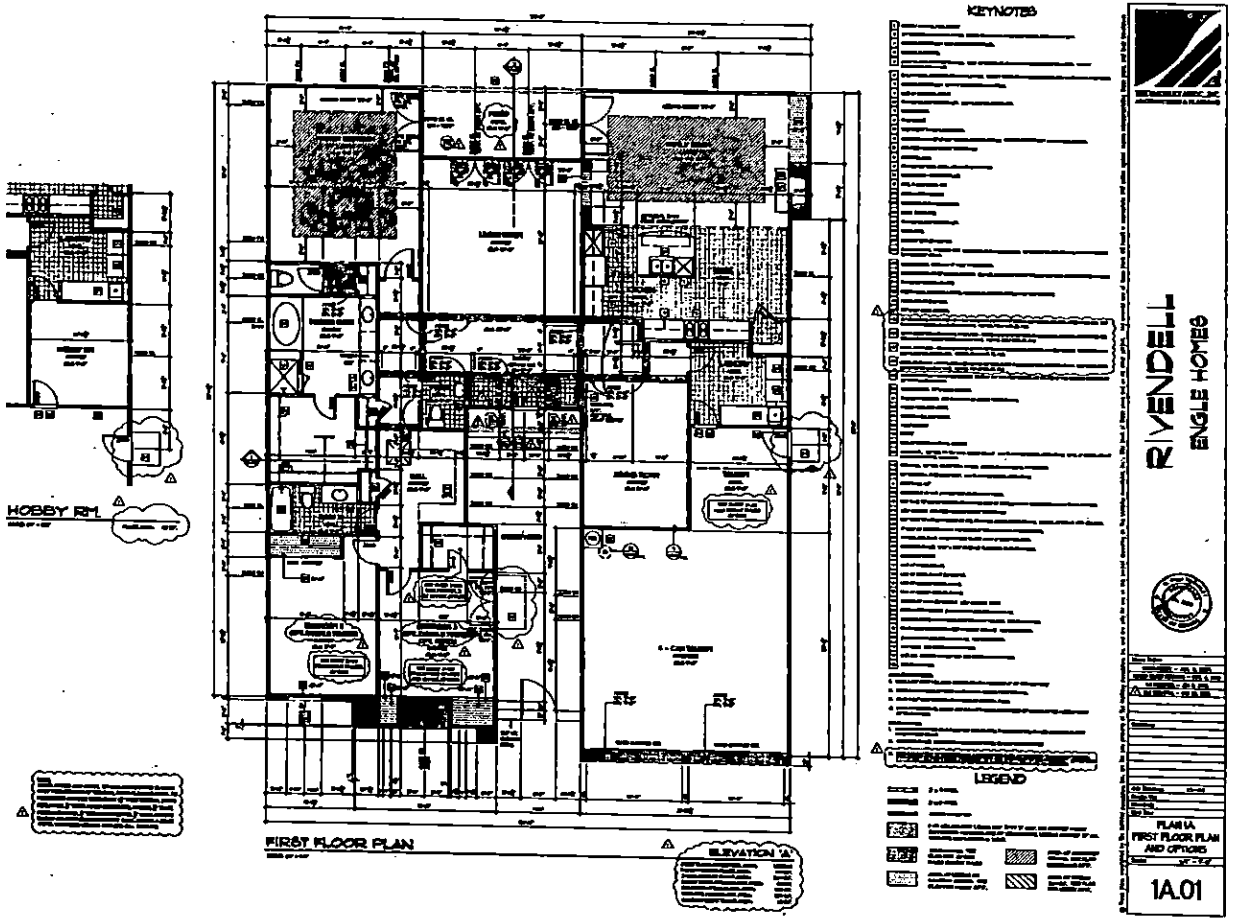
Principal In Charge:	J. TULLY
Project Director:	M. FOWLER
Project Manager:	R. SCHAIRA
Project Designer:	J. TRAN
Checked By:	

Sheet Title:
PLAN 4
"A" EXTERIOR ELEVATIONS

Sheet No.:
A4.4A

02/08/07 PC

SDR-17249



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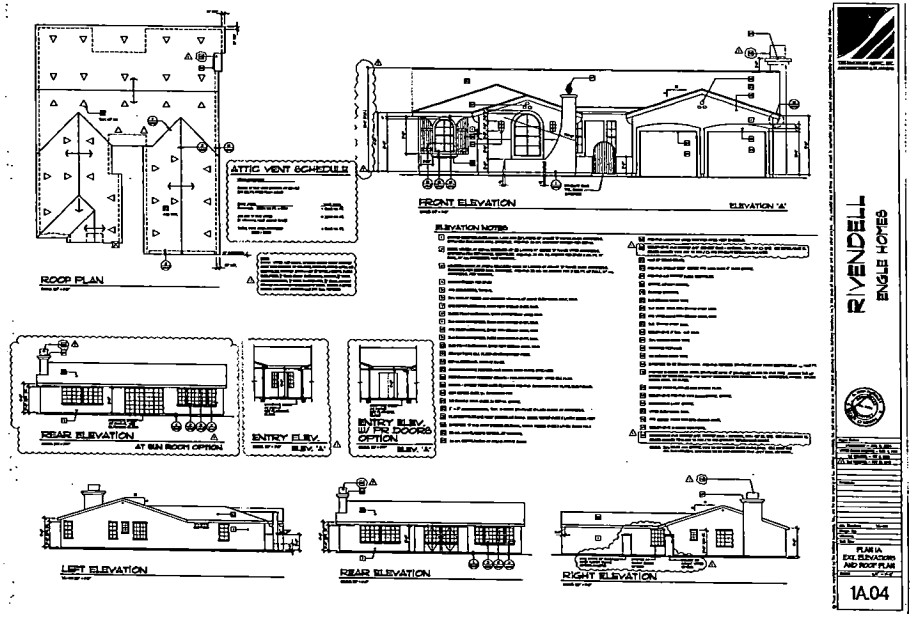

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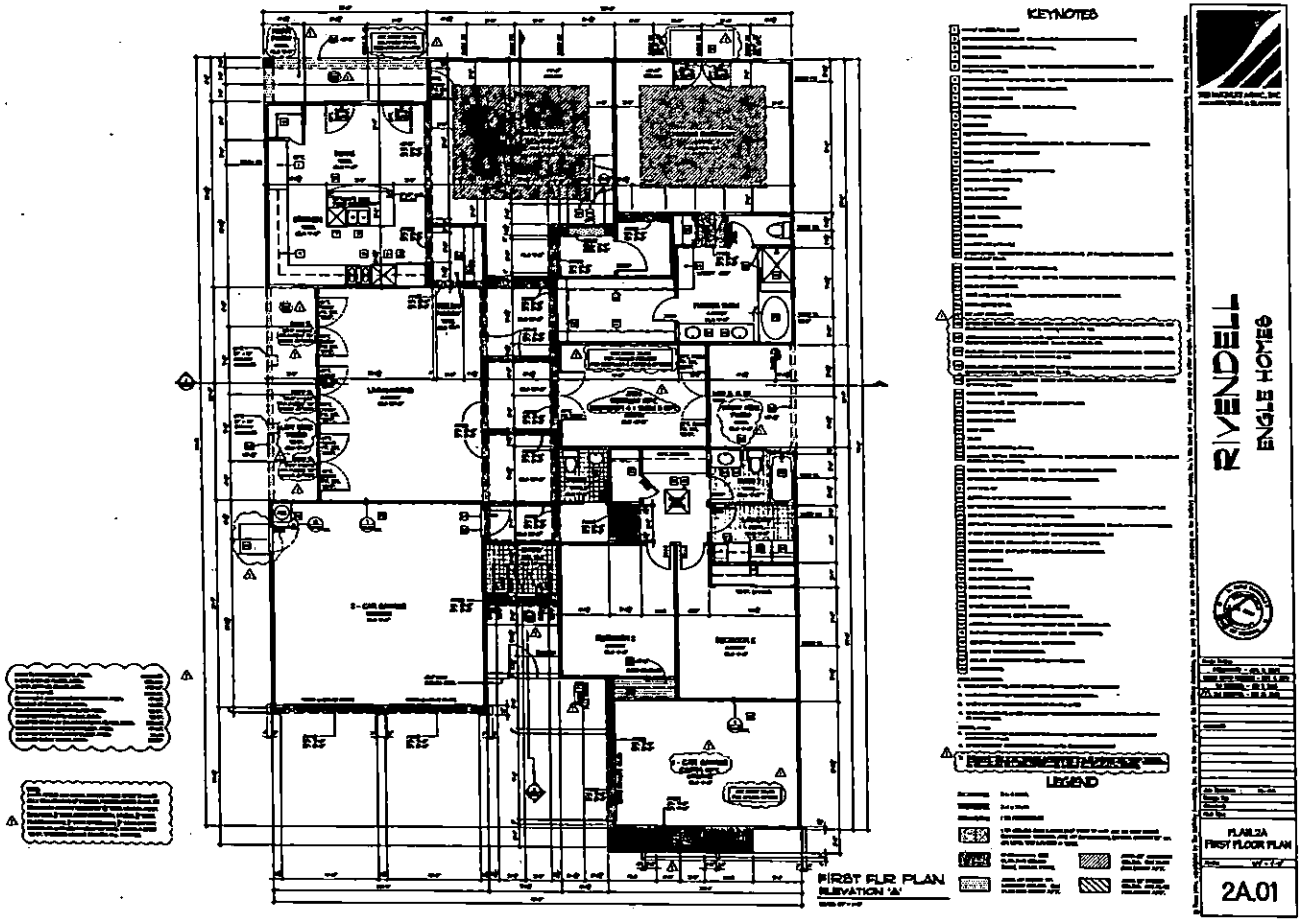
SDR-17249



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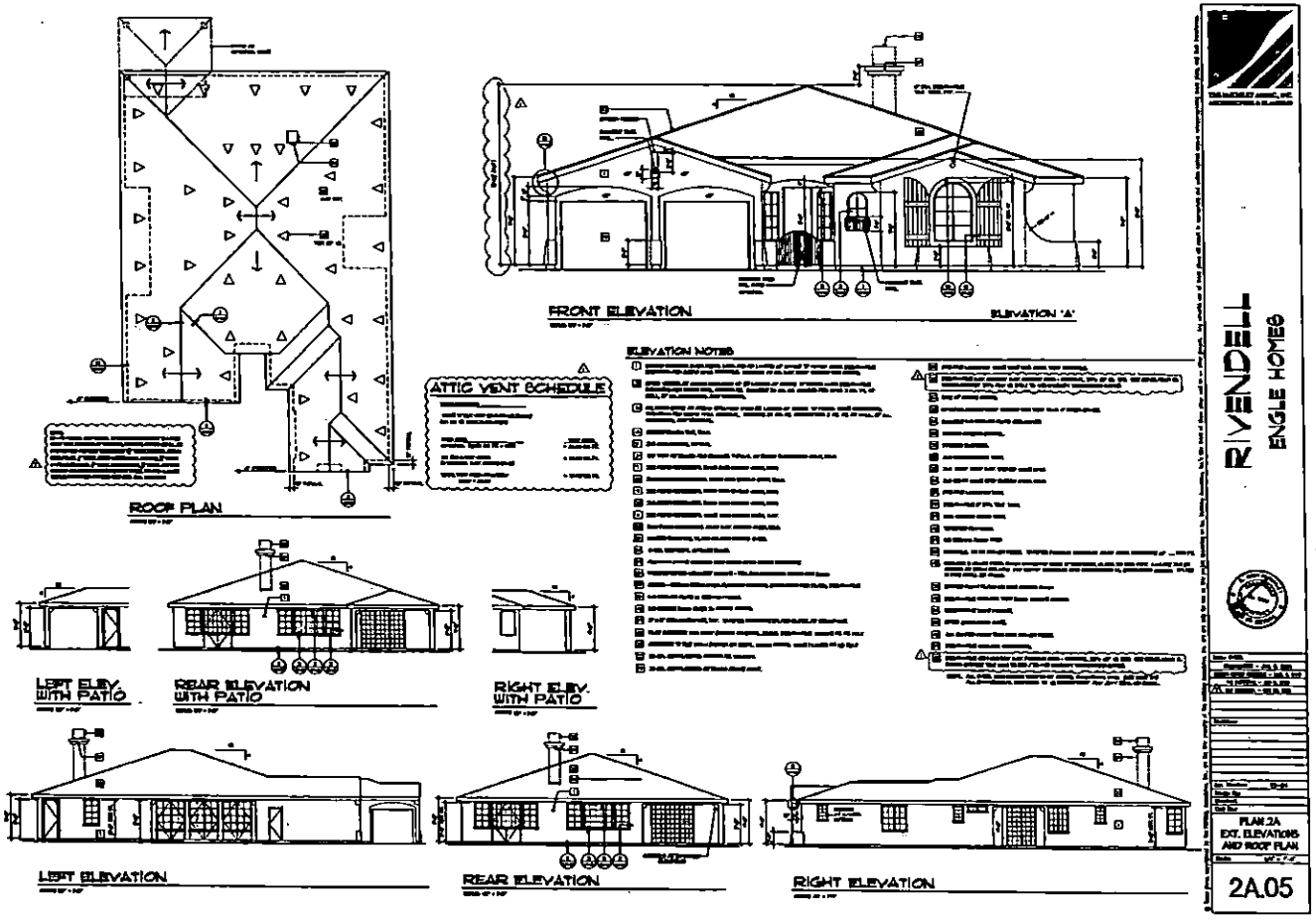
SDR-17249



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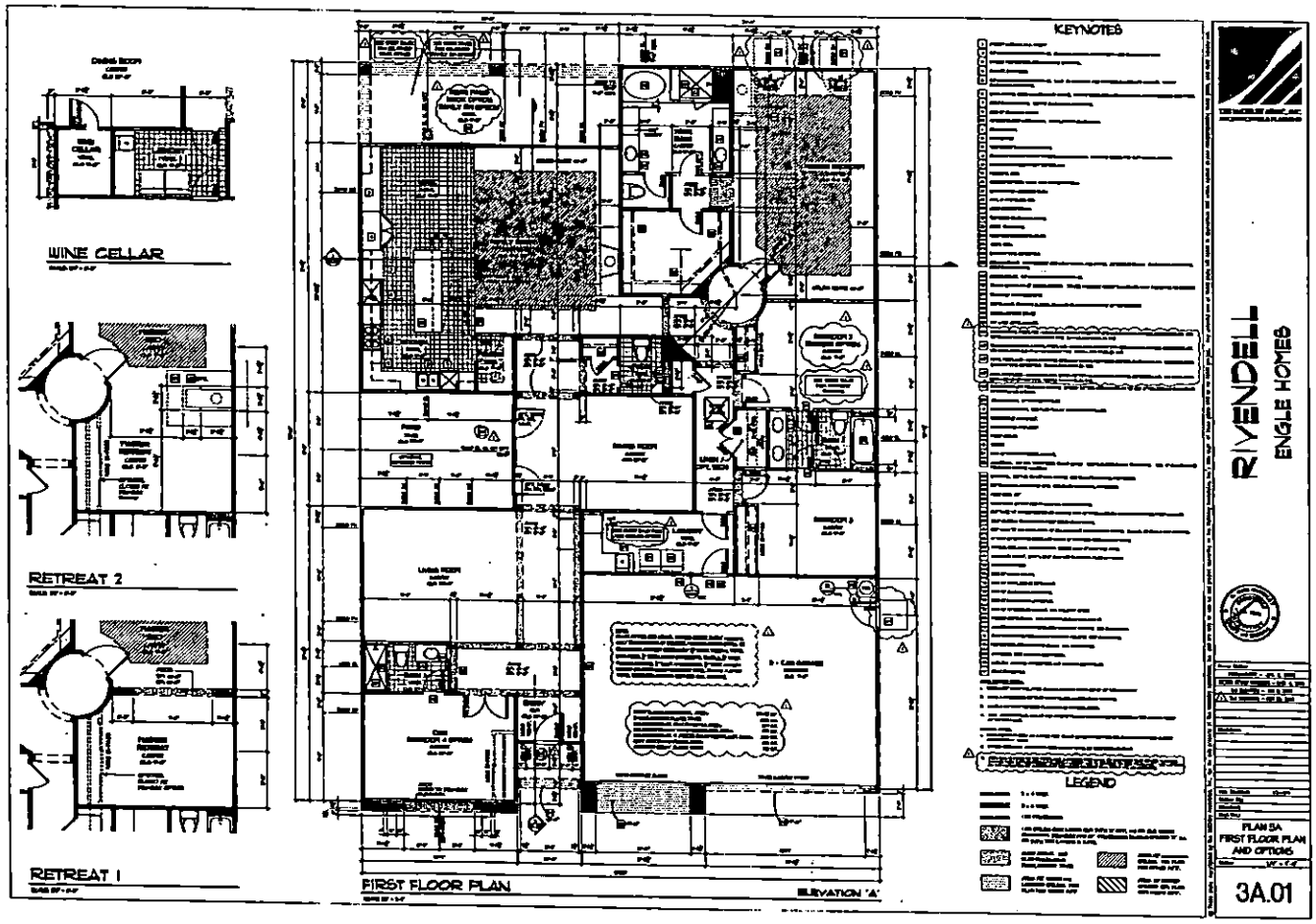
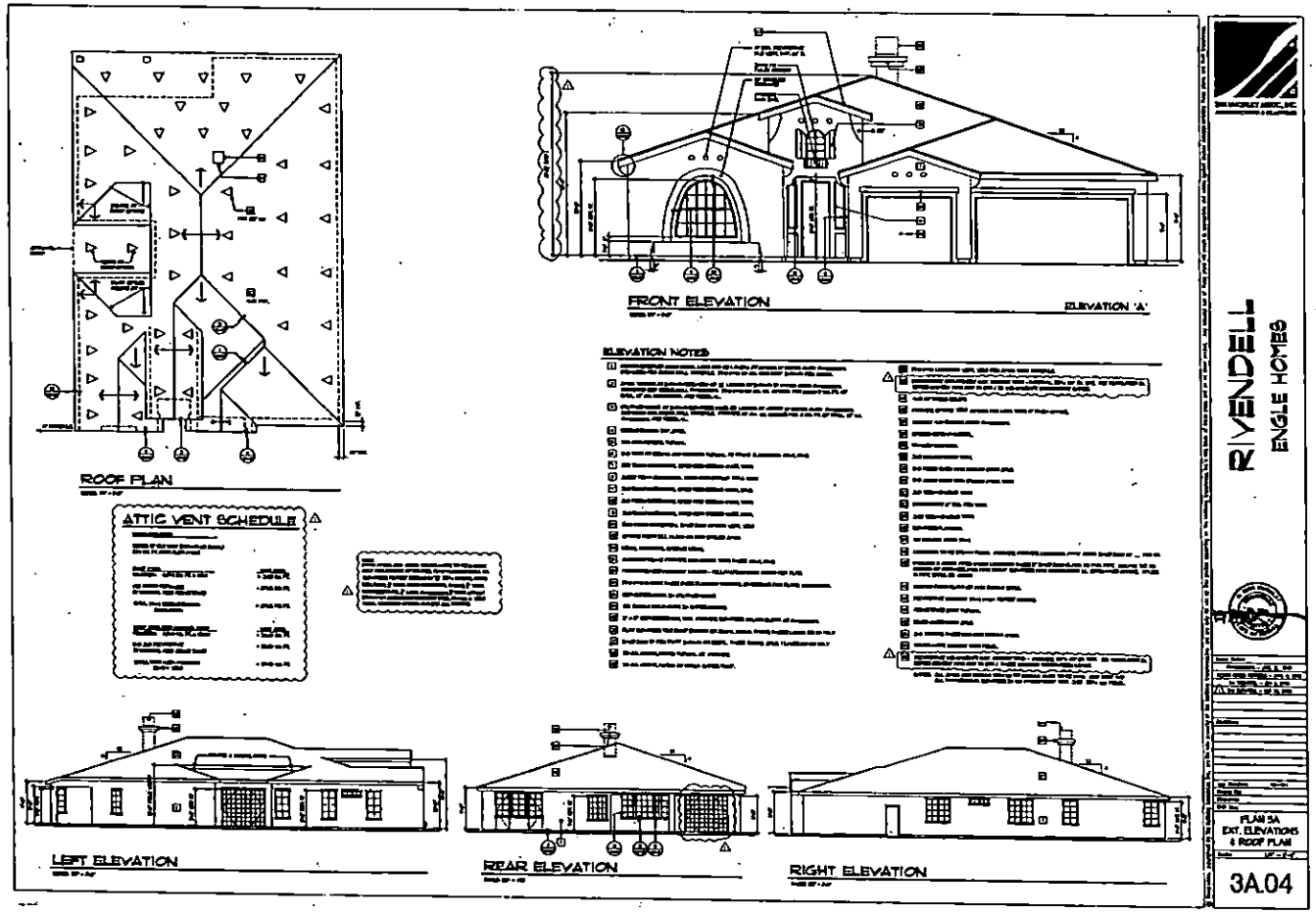
SDR-17249

02/08/07 PC



02/08/07 PC



SDR-17249

02/08/07 PC

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OCT 0 2 2006

SDR 17249

Wright Engineers

SS Mello, E of Jones

Proposed 9 lot single family development.

Traffic produced by proposed development:

	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	9	9.57	**86**
AM Peak Hour			0.75	**7**
PM Peak Hour			1.01	**9**
(heaviest 60 minutes)				

Existing traffic on all nearby streets: counts not available for Mello Avenue

Jones Boulevard	
Average Daily Traffic (ADT)	12,376
PM Peak Hour	990
(heaviest 60 minutes)	
Bradley Road	
Average Daily Traffic (ADT)	1,422
PM Peak Hour	114
(heaviest 60 minutes)	

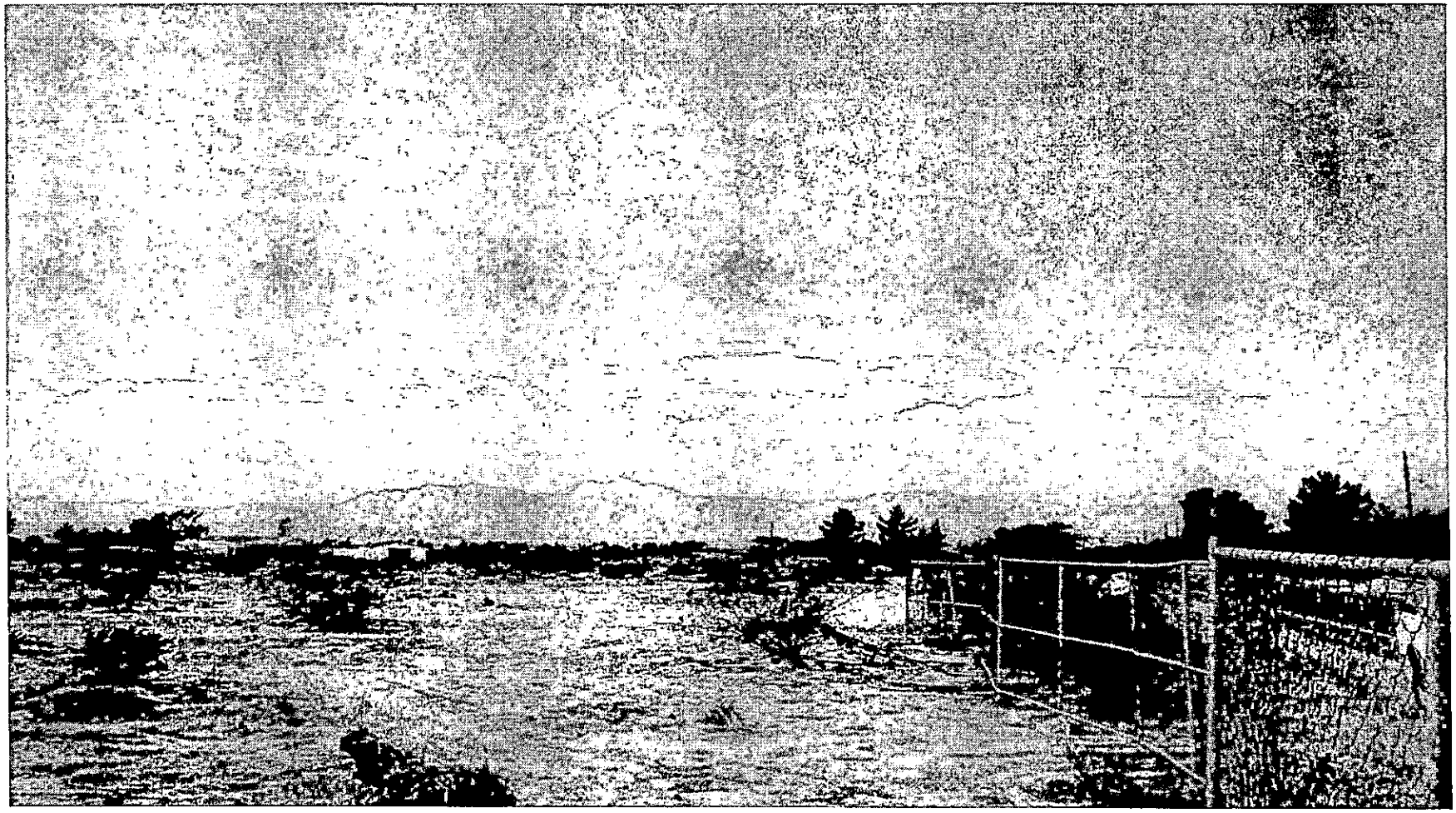
Traffic Capacity of adjacent streets:

	Adjacent street ADT Capacity
Jones Boulevard	49115
Bradley Road	16200

This project will add approximately 86 trips per day on Mello, Jones and Bradley. This will increase expected volumes by less than one percent on Jones and about six percent on Bradley. Jones is at about 25 percent of capacity and Bradley is at about 9 percent of capacity. Counts are not available for Mello, but it is believed to be under capacity.

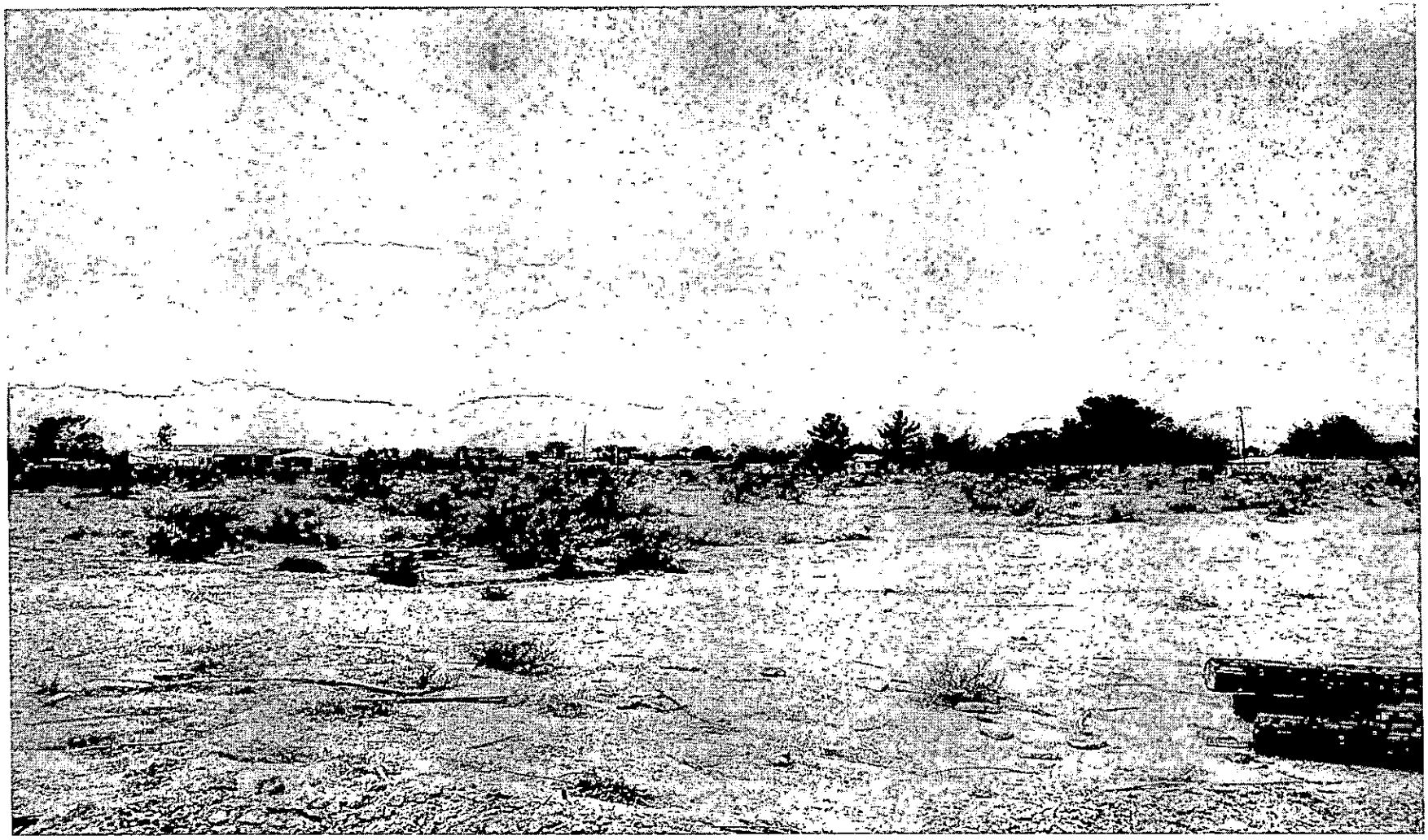
Based on Peak Hour use, this development will add roughly 9 additional cars into the area; which works out to about two every thirteen minutes.

Note that this report assumes all traffic from this development uses all named streets.



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
FEBRUARY 8, 2007 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
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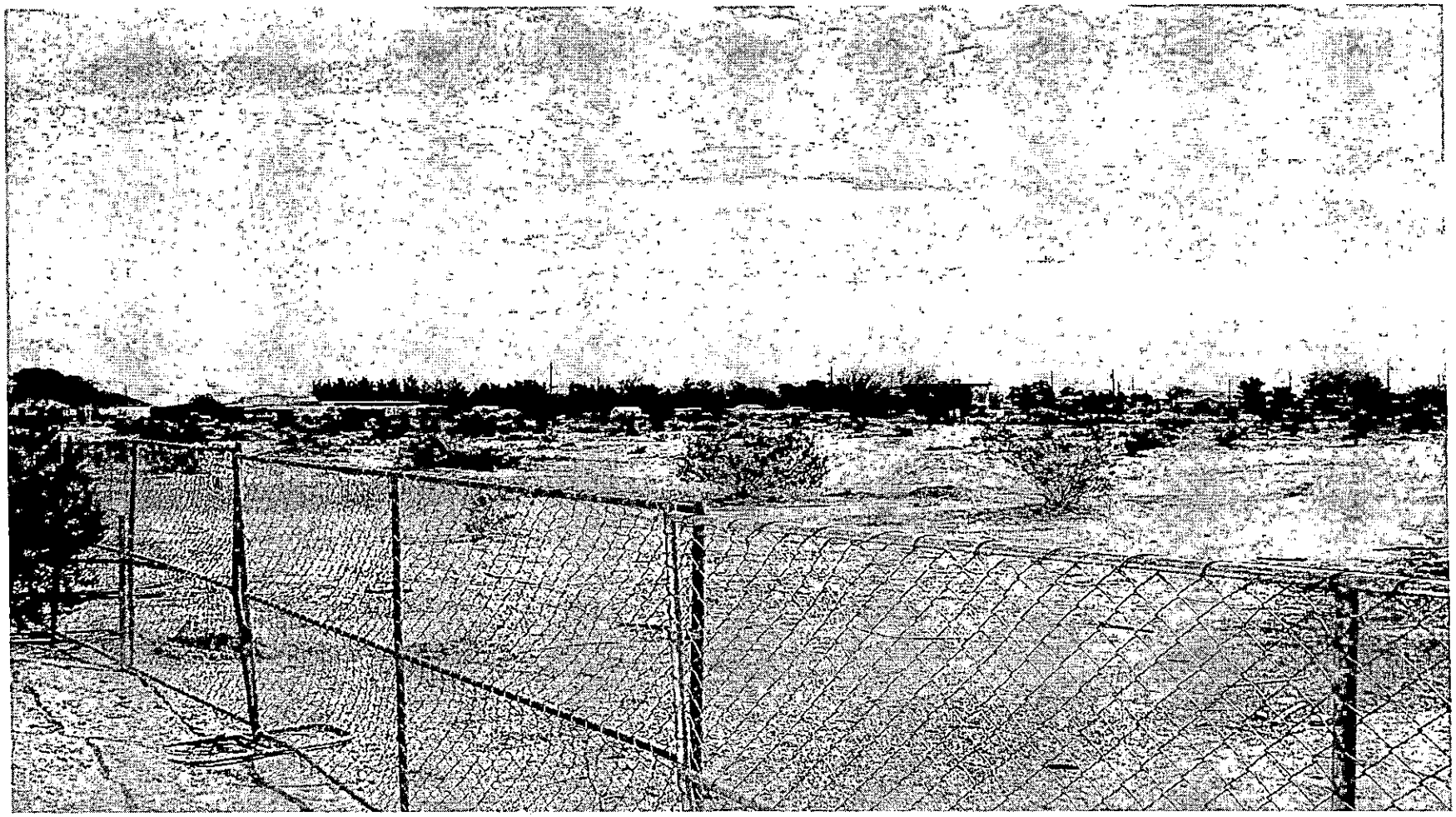
FEBRUARY 8, 2007 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
FEBRUARY 8, 2007 PLANNING COMMISSION

10/10/06

WRIGHT
client driven

September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
SURVEYING
TCEP
Las Vegas NV 89128
LAS VEGAS IRVINE PHOENIX

SDR-17249

02/08/07 PC

City of Las Vegas

Agenda Item No.: 8

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - ZON-17693 - REZONING - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	1	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter by Mike and Kathy Dunne

MOTION:
DUNNAM – APPROVED subject to conditions and adding the following condition:
– The approval shall be for an R-PD5 with a maximum of 40 lots.
– UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open for Item 8 [ZON-17693] and Item 9 [SDR-17694].

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, noted these applications had been held in abeyance in order to allow the applicant to revise the plans. Despite revisions to reduce the project's density, he recommended denial of the rezoning. He also recommended denial of the site plan because the open space lacks an adjoining sidewalk. and noted the Commissioners do have the ability to modify an application to a lesser density.

ATTORNEY STEPHANIE ALLEN, 3800 Howard Hughes Parkway, appeared on behalf of the applicant and noted the applicant was amending the application from RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE (R-PD8) to Residential Planned Development – 5 Units per Acre (R-PD5). She briefly described the proposal, the subject site and the surrounding development. She emphasized and described the developer's efforts to work with the neighbors to ensure this project would not negatively impact the area's quality of life. ATTORNEY ALLEN also read the conditions agreed upon by the developer and the neighbors and respectfully requested approval.

BRENT CONRAD, 5336 Elkhorn Road, emphasized he could only support this project if all the conditions arranged between the developer and the neighbors are enforced and thanked ATTORNEY ALLEN for working with the neighbors.

DON NEWBY, 5312 Elkhorn Road, also thanked ATTORNEY ALLEN and requested that efforts be made to protect the landscape buffer.

ATTORNEY ALLEN informed COMMISSIONER STEINMAN that a landscape easement was tentatively planned for the southerly property line rather than a common area and COMMISSIONER DUNNAM concurred.

COMMISSIONER STEINMAN expressed dissatisfaction with the lack of street lighting on the proposed private streets. BART ANDERSON, Public Works Department, explained that the Code does not require street lighting on private streets. MR. ANDERSON also stated that the Commissioners have the authority to require that the private streets be stubbed for street lighting. COMMISSIONER STEINMAN emphasized the need to provide for street lighting on the private streets and COMMISSIONER DUNNAM concurred.

ATTORNEY ALLEN informed CHAIRMAN DAVENPORT that she did not have the authority to agree to a condition requiring private streets be stubbed for street lighting, but DEPUTY CITY ATTORNEY JAMES LEWIS reminded the Commissioners that they have the authority to impose additional conditions without the applicant's agreement.

MINUTES – Continued:

CHAIRMAN DAVENPORT encouraged ATTORNEY ALLEN to meet with COUNCILMAN ROSS before the City Council meeting.

MR. ANDERSON observed that the City has a process and criteria regarding speed humps and noted this site may not be eligible. ATTORNEY ALLEN acknowledged that the installation of speed humps was dependent upon the approval of the City Engineer, but stated that the developer would make every attempt to meet the conditions requested by the neighbors and the neighbors were aware of the process.

COMMISSIONER DUNNAM recognized ATTORNEY ALLEN'S efforts to work with the neighbors and expressed his support of the conditions to which the developer and the neighbors had agreed. MARGO WHEELER, Director of Planning and Development Department, clarified the wording of the additional conditions during the crafting of the motions.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 8 [ZON-17693] and Item 9 [SDR-17694].

(6:22 – 6:48)

1-573

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-17694) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Coordinate with the City Surveyor to determine if mapping this site as a Merger and Resubdivision is appropriate; comply with the recommendations of the City Surveyor.

4. Dedicate an additional 5 feet of right-of-way for a total radius of 20 feet on the northeast and southeast corners of Bradley Road and Solar Avenue.

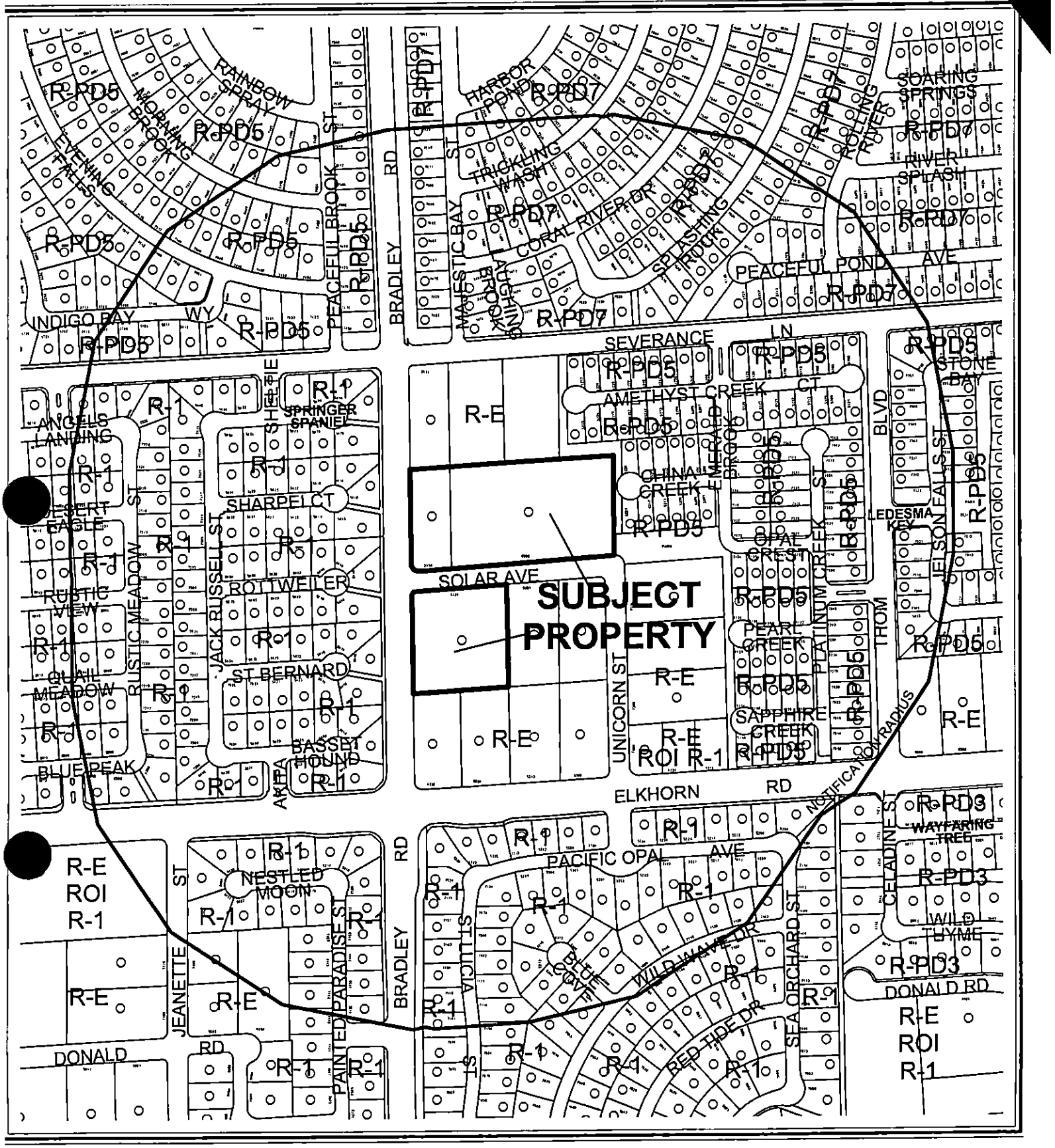
5. Construct half-street improvements on Bradley Road and half street and full width street improvements as appropriate on Solar Avenue, including transition paving, adjacent to this site concurrent with development of this site. Extend all required underground

CONDITIONS – Continued:

utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

6. A minimum of two lanes of asphalt pavement on the major access streets adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



0 200 400 Feet

CASE: **ZON-17693**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

N

0 200 400 Feet

CASE: **ZON-17693**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - ZON-17693 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-17694) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Coordinate with the City Surveyor to determine if mapping this site as a Merger and Resubdivision is appropriate; comply with the recommendations of the City Surveyor.

4. Dedicate an additional 5 feet of right-of-way for a total radius of 20 feet on the northeast and southeast corners of Bradley Road and Solar Avenue.

5. Construct half-street improvements on Bradley Road and half street and full width street improvements as appropriate on Solar Avenue, including transition paving, adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

6. A minimum of two lanes of asphalt pavement on the major access streets adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17693 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a rezoning from R-E (Residence Estates) to R-PD6 (Residential Planned Development - 6 Units Per Acre) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue. A related Site Development Plan Review (SDR-17694) will also be considered on this agenda.

The density of development that would be permitted by the proposed R-PD6 (Residential Planned Development - 6 Units Per Acre) is out of character with adjacent development and the property would be best used for development that is more compatible with nearby subdivisions.

BACKGROUND INFORMATION

Pre-Application Meeting	
10/04/06	Bradley Road Equestrian Trail and open space requirements discussed.
Neighborhood Meeting	
	A neighborhood meeting is not required for this type of application.

Previous city action	
12/07/06	The Planning Commission voted to hold this item in abeyance to allow the applicant to hold a neighborhood meeting.
01/11/07	The Planning Commission voted to hold this item in abeyance at the applicants request
01/25/07	The Planning Commission voted to hold this item in abeyance at the applicants request to the 2/8/07 meeting.

Details of Application Request	
Site Area	
Gross Acres	7.27 Acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Three single family dwellings	ML (Medium-Low Density Residential)	R-E (Residence Estates)
North	One single family dwelling, two vacant lots	ML (Medium-Low Density Residential)	R-E (Residence Estates)
South	Two single family dwellings	ML (Medium-Low Density Residential)	R-E (Residence Estates)

AR

East	Single family dwellings	ML (Medium-Low Density Residential)	R-PD5 (Residential Planned Development – 5 Units Per Acre)
West	Single family dwellings	L (Low Density Residential)	R-1 (Single Family Residential)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	

DEVELOPMENT STANDARDS

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E	2 du/ac	16	R-PD6	6.49 du/ac – 47 units	ML	8.49 du/ac 61 units for this site

Per 19.06 Open Space

Total Acreage	Density	Provided		Required		Compliance
		Percent	Area	Percent	Area	
7.27 acres	5.5 du/ac	10.6 %	33,706 sf	9 %	28,739 sf	Y

ANALYSIS

Pursuant to Title 19.06; The R-PD District is intended to provide for flexibility and innovation in residential development, with emphasis on enhanced residential amenities, efficient utilization of open space, the separation of pedestrian and vehicular traffic, and homogeneity of land use patterns. As with previous versions of this Title, the R-PD District represents an exercise of the City Council's general zoning power as set forth in NRS Chapter 278. The density allowed in the R-PD District shall be reflected by a numerical designation for that district. The minimum site area that is eligible for rezoning to the R-PD zoning district is five acres. The applicant is seeking a change to an R-PD6 (Residential Planned Development - 6 Units Per Acre) zone.

This site is currently developed with three dwellings in an R-E (Residence Estates) zoning district. The applicant proposes to demolish those structures and redevelop the parcels with a 40-lot residential subdivision. The lot sizes range from 4,241 square feet to 7,193 square feet. Access to the subdivision will be provided by Bradley Road. Lots will front on one of three 39-foot wide private streets or on Solar Avenue, a 60-foot wide public right-of-way which bisects the site. As required by the Recreation Trails Element of the Master Plan, a 30-foot wide equestrian trail is shown along the west edge of the site, adjacent to Bradley Road. The elevations depict two-story stucco buildings with a maximum height of 30 feet.

Common lot areas with landscaping and walkways are proposed. However per Title 19.06.040 (G)(5); a sidewalk system shall be provided to connect all residential areas to required open space and common recreational facilities. Common lots A and B have no sidewalk to them making them inaccessible except from the private street.

The proposed change in density is significant, as the typical size of the lots that border the subject site to the east are 4,500 square feet, and the typical size of the lots on the west side of Bradley Road are 6,500 square feet.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

   The subject proposal complies with the density requirements of the ML (Medium-Low Density Residential) land use designation. However, Program B1.4 of the Centennial Hills Sector Plan is intended to "Encourage the development of random vacant infill lots in substantially developed, single-family neighborhoods at densities similar to existing development. The densities proposed for the subject site are not similar to existing development and; therefore, do not comply with the intent of the Centennial Hills Sector Plan.

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

   The proposed project calls for the development of a 40 lot dwelling subdivision with a proposed density of 5.5 units per acre in an area best suited for lower density residential use. The proposed project is out of character with adjacent development and the property would be best used for development that more closely matches the density of existing development. In addition the project does not meet the standards of Title 19.06.04 (G) (6) for open space. Therefore, denial of this request is recommended.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

   While the growth that the city of Las Vegas faces indicates the need for this type of development, staff finds that the location of such a development would be better suited for an area currently zoned for medium to high density residential uses.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

   The site will receive adequate access from Bradley Road, an 80-foot wide local street.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED	6
ASSEMBLY DISTRICT	13
SENATE DISTRICT	9
NOTICES MAILED	521 (Mailed with SDR-17694)
APPROVALS	0
PROTESTS	1

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-17693 APN: 125-13-801-006

Name of Property Owner: Sharon Turbiville

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Sharon Turbiville

Print Name: Sharon Turbiville

Subscribed and sworn before me

This 2nd day of October, 2006

Ronaldo Acevedo

Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
RONALDO ACEVEDO
No: 05-94984-1
My Appointment Expires Feb. 7, 2009

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-17693 APN: 125-13-801-005

Name of Property Owner: Delmar Dinkins

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Delmar Dinkins

Print Name: _____

Subscribed and sworn before me

This 28 day of September, 20 06

Virginia Jauregui

Notary Public in and for said County and State

VIRGINIA JAUREGUI
Notary Public State of Nevada
No. 98-2698-1
My appt. exp. Feb. 5, 2008

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-17693 APN: 125-13-802-001

Name of Property Owner: Terry & Kathryn Karas

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Terry Karas Kathryn Karas

Print Name: Terry Karas Kathryn Karas

Subscribed and sworn before me

This 2nd day of October 06

Jana Shore

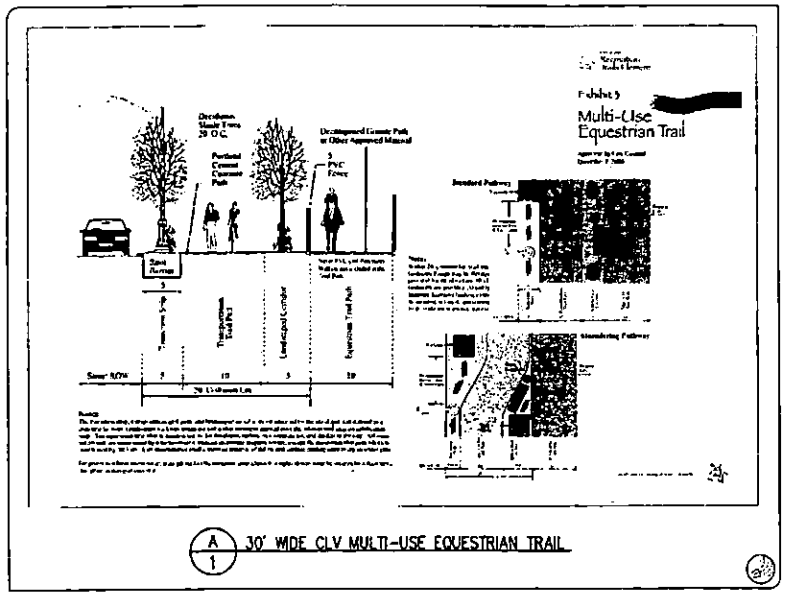
Notary Public in and for said County and State

JANA SHORE
Notary Public, State of Nevada
Appointment No. 01716021
My Appt Expires Sept. 13, 2009

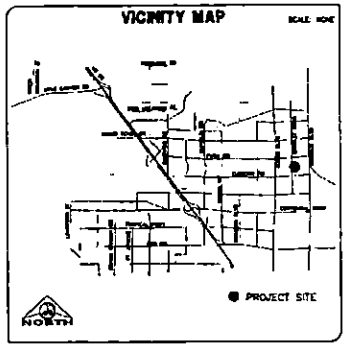
Revised 12-03-04

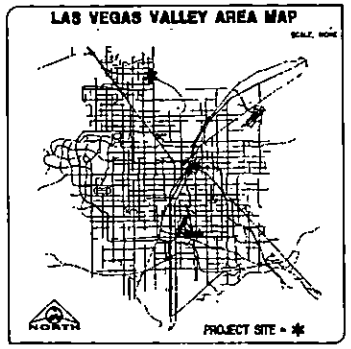
SITE PLAN
OF
BRADLEY / SOLAR

A PORTION OF THE SOUTHEAST QUARTER (SE¼), OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA.



A/1 30' WIDE CLV MULTI-USE EQUESTRIAN TRAIL





LEGAL DESCRIPTION

[illegible]

ASSESSOR'S PARCEL NUMBER

[illegible]

SHEET INDEX

1. COVER SHEET
2. SITE PLAN

SETBACK REQUIREMENTS

PRESENT ZONING	R-E
PROPOSED ZONING	RPD-5
TYPICAL LOT SIZE (SF)	4,700 SF
FRONT TO BUILDING	15' MIN
FRONT TO GARAGE	18' MIN
SIDE TO BUILDING W/ ROOF EAVE	5' MIN
SIDE ON CORNER	10' MIN
REAR	10' MIN
SIDE TO PATIO	5' MIN

ENGINEER

TRITON ENGINEERING
3757 N. CHARLESTON BLVD., SUITE B
LAS VEGAS, NV 89115
OFFICE: (702) 294-1607
FAX: (702) 294-2063

OWNERS

[illegible]

DEVELOPER

RICHMOND AMERICAN HOMES OF NEVADA, INC
2460 PARKS VOICE PARKWAY, SUITE 120
HENDERSON, NV 89074
OFFICE: (702) 617-8400

SURVEYOR

[illegible]

BENCHMARK

CITY OF LAS VEGAS STREET AND ROADWAY PLAN IN MALBOX P.M. NORTHWEST CORNER OF ELDORADO ROAD AND TURKEY PRICE DRIVE. STAMPED [illegible]

ELEVATION: [illegible] FEET (NAVD88)
[illegible] METERS (NAVD88)

CLARK COUNTY VERTICAL CONTROL [illegible] BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

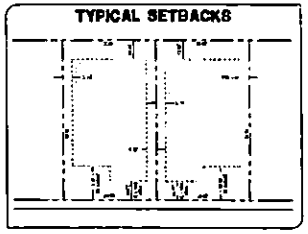
BASIS OF BEARING

NORTH [illegible] EAST, BASED THE BEARING OF THE CENTERLINE OF ELDORADO ROAD AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN FILE 92, PAGE 74 OF SURVEYS.

COMMON LOT AREAS

COMMON LOT 'A'	[illegible] SF
COMMON LOT 'B'	1,331 SF
COMMON LOT 'C'	7,113 SF
COMMON LOT 'D'	[illegible] SF
COMMON LOT TOTAL	17,505 SF
NOISE TRAIL TOTAL	16,201 SF (LOT LINE TO R/W)
TOTAL	[illegible] SF

TYPICAL SETBACKS



LAND USE TABULATION

LAND USE DESIGNATION

PRESENT ZONING	R-E (RESIDENTIAL ESTATE DISTRICT)
PROPOSED ZONING	RPD-5 (RESIDENTIAL PLANNED DEVELOPMENT DISTRICT)

SITE SUMMARY

TOTAL UNITS	[illegible] LOTS
SUBSTANDARD UNITS	NONE
GROSS ACREAGE	7.27 ACRES
DENSITY (GROSS)	[illegible] LOTS / ACRE

OPEN SPACE

TOTAL REQUIRED	[illegible] SF
TOTAL PROVIDED	[illegible] SF

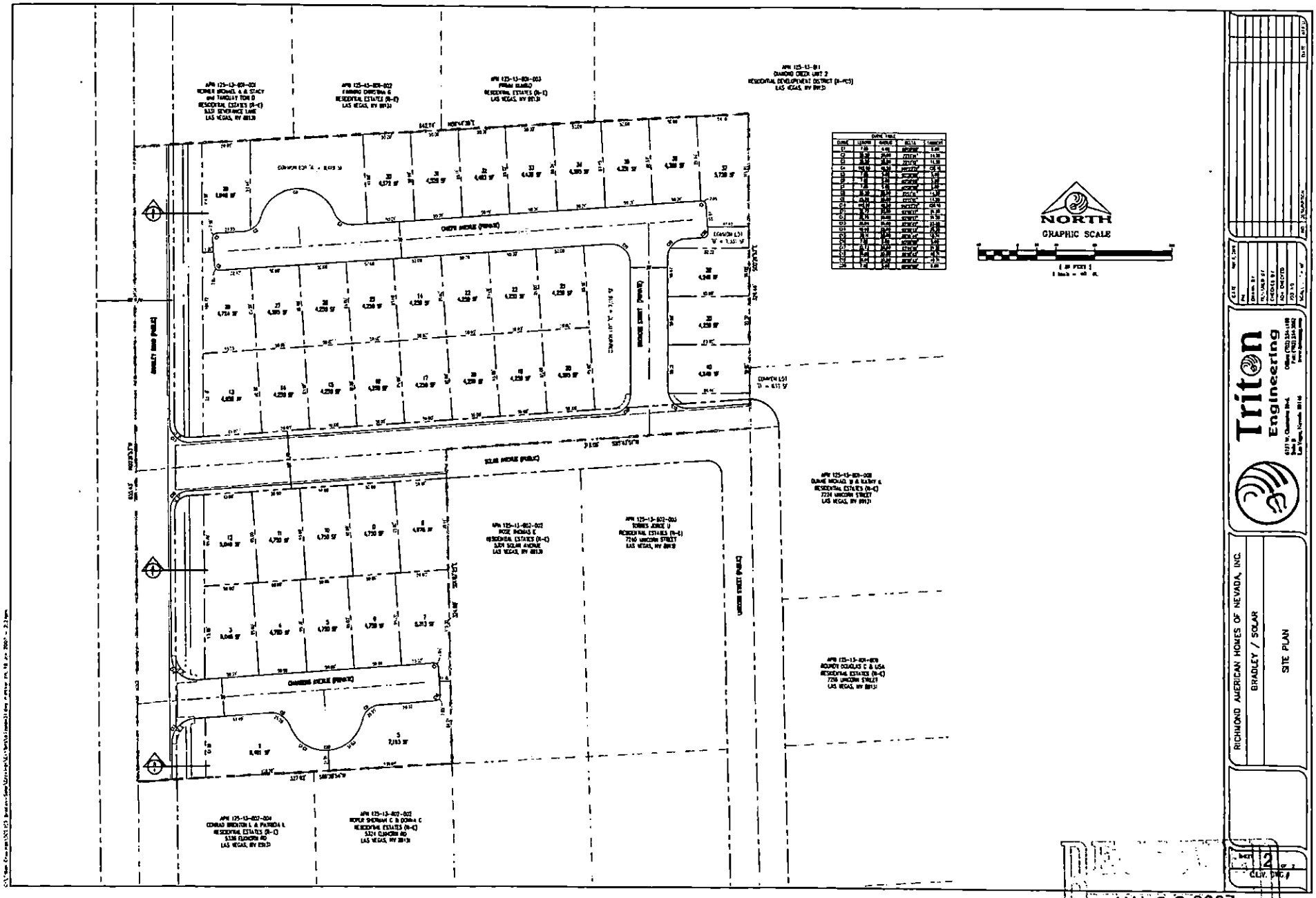
Triton Engineering
[illegible]

RICHMOND AMERICAN HOMES OF NEVADA, INC.
BRADLEY / SOLAR
COVER SHEET

SHEET 1 OF [illegible]

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED JAN 2 2 2007



JAN 2 2 2007

ZON-17693 SDR-17694
REVISED 02/08/07 PC

Triton
Engineering

January 19, 2007

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

Reference: **Request for Re-zoning**
Bradley / Solar
APN # 125-13-802-001; 125-13-801-005; 006
ZON# 17693

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 40 lot single family project called "Bradley / Solar".

The applicant is requesting that the zoning on this parcel be changed from R-1 to RPD-6 for a proposed 40 lot single-family residential development on 7.27 acres (5.50 d/ua). Parcels adjacent to the proposed site have the following zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

Richmond American Homes believes that requesting a RPD-6 zoning will compliment the area and would be consistent with the zoning that is currently surrounding the subject parcels.

We believe that the addition of single family homes at this location will increase traffic slightly, but any traffic concerns will be addressed either by submittal of a traffic study or through a traffic mitigation agreement.

Please place the attached request on the February 8, 2007 Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,

Kris Givant
Project Coordinator

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED
JAN 2 1 2007

6757 W. Charleston Blvd., Suite B • Las Vegas, Nevada 89146
Office: (702) 254-1480 • Fax: (702) 254-3062 • www.tritoneng.com

January 6, 2007

Dear Planning Commission:

Our names are Kathy and Mike Dunne and live at 7224 Unicorn St. in Las Vegas. We have watched our area grow from a rural to a residential planned development. Our little pocket of 1+ acre homes is being gobbled up by developers. We ask that you keep the homes to a minimum of three homes per acre for CASE: ZON-17693. If this development does go through, we request:

- the street be cut off at Unicorn and Solar
- no two story homes
- all homes enclosed in the subdivision – no front yards facing the street
- and of course, no more than three homes per acre.

Please drive by and notice that the front of our home faces a brick wall. This is due to Pulte Homes. The value of our home just keeps going down and down because of developers. When we first move into the area, every one had to be on an acre. We followed the rules. Now, no one is protecting us or the property around us.

Please consider our request.

Sincerely,

Kathy Dunne — Jan. 6, 2007

Kathy Dunne — Date

Mike Dunne — Jan 6, 2007

Mike Dunne — Date

ITEM # 12.
CASE # ZON 17693
PC MTG 1-11-07

City of Las Vegas

Agenda Item No.: 9

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SDR-17694 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17693 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Site Development Plan Review FOR A 58 LOT SINGLE FAMILY DEVELOPMENT on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), R-E (Residence Estates) Zone [PROPOSED: R-PD8 (Residential Planned Development - 8 Units Per Acre)], Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
DUNNAM – APPROVED subject to conditions and adding the following conditions:
– There shall be a minimum 15 feet landscape setback on the southerly property line of the project.
– The south and east property lines, south of Solar Avenue, shall have walls of eight feet in height.
– The southernmost two homes and the northwest home shall be limited to one story in height.
– There shall be one consolidated open space area, minimum 33,706 square feet.

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 9 – SDR-17694

MOTION – Continued:
– There shall be notification to the buyers that there shall be equestrian uses and other agricultural uses and lighting surrounding this property.
– The private streets shall be stubbed for future street lighting.
– There shall be an application for speed humps.
– UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
See Item 8 for related discussion.

(6:22 – 6:48)
1-573

CONDITIONS:
Planning and Development

1. Conformance to the conditions for Rezoning (ZON-17693) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan and landscape plan, date stamped 11/15/06 and building elevations date stamped 10/23/06, except as amended by conditions herein.

4. The standards for this development shall indicate that building heights shall not exceed two stories or 35 feet, whichever is less.

5. The setbacks for this development shall be a minimum of 5 feet to the front of the house, 18 feet to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, 3 feet on the side, 6 feet on the corner side, 10 feet in the rear for lots not on a cul-de-sac bulb, and 5 feet in the rear for lots on a cul-de-sac bulb.

6. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a tentative map, to reflect that the ten-foot wide equestrian path located within the trail is defined as a separate lot as required by the Recreation Trails Element of the Master Plan

CONDITIONS – Continued:

7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

8. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

9. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

10. Air conditioning units shall not be mounted on rooftops.

11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. The private entry street shall not be gated.

15. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

16. Landscape and maintain all unimproved right-of-way, if any, on Bradley Road adjacent

CONDITIONS – Continued:

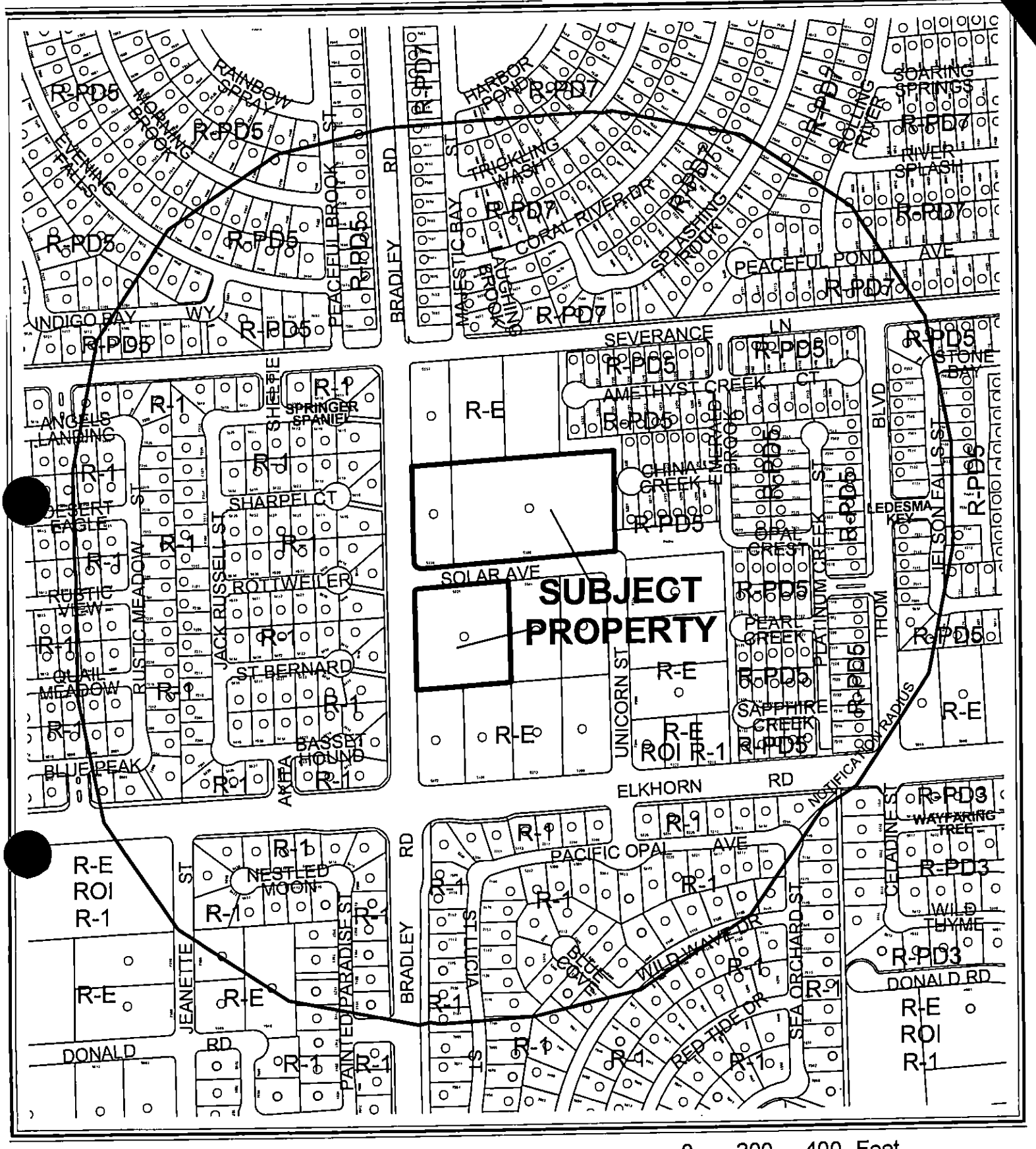
to this site. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

17. Submit an Encroachment Agreement for all landscaping, if any, located in the Bradley Road public right-of-way adjacent to this site prior to occupancy of this site.

18. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

19. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17693 and all other applicable site-related actions.

20. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.



CASE: **SDR-17694**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SDR-17694 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-17693) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan and landscape plan, date stamped 1/22/07 and building elevations date stamped 1/22/07 and 1/25/07, except as amended by conditions herein.

4. The standards for this development shall indicate that building heights shall not exceed two stories or 35 feet, whichever is less.

5. The setbacks for this development shall be a minimum of 10 feet to the front of the house, 18 feet to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, 5 feet on the side, 6 feet on the corner side, 10 feet in the rear for lots not on a cul-de-sac bulb, and 10 feet in the rear for lots on a cul-de-sac bulb.

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

9. Air conditioning units shall not be mounted on rooftops.

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

14. Landscape and maintain all unimproved right-of-way, if any, on Bradley Road adjacent to this site.

15. Submit an Encroachment Agreement for all landscaping, if any, located in the Bradley Road public right-of-way adjacent to this site prior to occupancy of this site.

16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

17. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17693 and all other applicable site-related actions.

18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

19. Submit an application to the Land Development Section of the Department of Public Works for a Deviation from Standard Drawing No. 212 for the proposed private street cul-de-sac terminations. The Deviation shall be approved prior to submittal of a Tentative Map for this site; alternatively the site shall be designed to meet current City Standards.

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a 40-lot, single-family development on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue. A related rezoning (ZON-17693) will also be considered on this agenda.

The lots sizes and setbacks of the proposed project are out of character with adjacent development and the property would be best used for development similar to that which exists in the area.

BACKGROUND INFORMATION

Pre-Application Meeting	
10/04/06	Bradley Road Equestrian Trail and open space requirements discussed.
Neighborhood Meeting	
	A neighborhood meeting is not required for this type of application.
Previous City Action	
12/07/06	The Planning Commission voted to hold this item in abeyance to allow the applicant to hold a neighborhood meeting.
01/11/07	The Planning Commission voted to hold this item in abeyance at the applicants request
01/25/07	The Planning Commission voted to hold this item in abeyance at the applicants request to the 2/8/07 meeting.

Details of Application Request	
Site Area	
Gross Acres	7.27 Acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Three single family dwellings	ML (Medium-Low Density Residential)	R-E (Residence Estates)
North	One single family dwelling, two vacant lots	ML (Medium-Low Density Residential)	R-E (Residence Estates)
South	Two single family dwellings	ML (Medium-Low Density Residential)	R-E (Residence Estates)

East	Single family dwellings	ML (Medium-Low Density Residential)	R-PD5 (Residential Planned Development – 5 Units Per Acre) R-E (Residence Estates)
West	Single family dwellings	ML (Low Density Residential)	R-1 (Single Family Residential)

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	

DEVELOPMENT STANDARDS

Per Title 19.06, the applicant proposes to establish the following development standards:

Standard	*Provided*
Min. Lot Size	3,000 square feet
Min. Lot Width	40 feet
Min. Setbacks • Front (building) • Front (garage) • Side • Corner • Rear (non cul-de-sac) • Rear (cul-de-sac)	 • 10 feet • 5 feet or more than 18 feet • 5 feet • 6 feet • 10 feet • 10 feet
Max. Building Height	30 Feet

Existing Zoning	*Permitted Density*	*Units Allowed*	*Proposed Zoning*	*Permitted Density*	*General Plan*	*Permitted Density*
R-E	2 du/ac	16	R-PD6	6.49 du/ac – 47 units	ML	8.49 du/ac 61 units for this site

Per Title 19.12, the following standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Buffer: Min. Trees	1Tree/30 Linear Feet along Bradley Road	23 Trees	26 Trees	Y
Min. Zone Width	6 Feet along Bradley Road		15 Feet – includes a portion of the Equestrian Trail	Y

Total Acreage	Density	Provided		Required		Compliance
		Percent	Area	Percent	Area	
7.27 acres	5.5 du/ac	10.6 %	33,706 sf	9 %	28,739 sf	Y

ANALYSIS

This site is currently developed with three dwellings in an R-E (Residence Estates) zoning district. The applicant proposes to demolish those structures and redevelop the parcels with a 40-lot residential subdivision. The lot sizes range from 4,241 square feet to 7,193 square feet. Access to the subdivision will be provided by Bradley Road. Lots will front on one of three 39-foot wide private streets or on Solar Avenue, a 60-foot wide public right-of-way which bisects the site. As required by the Recreation Trails Element of the Master Plan, a 30-foot wide equestrian trail is shown along the west edge of the site, adjacent to Bradley Road. The elevations depict two-story stucco buildings with a maximum height of 30 feet.

The applicant is seeking a change to an R-PD6 (Residential Planned Development - 6 Units Per Acre) zone. The R-PD District is intended to provide for flexibility and innovation in residential development, with emphasis on enhanced residential amenities, efficient utilization of open space, the separation of pedestrian and vehicular traffic, and homogeneity of land use patterns.

Common lot areas with landscaping and walkways are proposed. However per Title 19.06.040 (G)(5); a sidewalk system shall be provided to connect all residential areas to required open space and common recreational facilities. Common lots A and B have no sidewalk to them making them inaccessible except from the private street.

The proposed change in density is significant, as the typical size of the lots that border the subject site to the east are 4,500 square feet, and the typical size of the lots on the west side of Bradley Road are 6,500 square feet.

Additionally, the minimum setback requirements (10 feet in the front, 10 feet in the rear and five feet in the side) for the proposed development are substantially less than what is required (20 feet front, 15 feet rear, 15 feet corner side, and five feet to the side) in the R-1 (Single Family Residential) district on the west side of Bradley Road and the setbacks (18 feet front, 10 feet rear, and 5 foot side) of the development to the east. This means that if approved the development would be more compact and would not be consistent with existing development in the area.

FINDINGS

The following findings must be made for a Site Development Plan Review:

1. The proposed development is compatible with adjacent development and development in the area;

2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;

3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;

4. Building and landscape materials are appropriate for the area and for the City;

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

In regard to "1": The proposed development is not compatible with development in the area. The lot sizes and setbacks proposed as part of this development are significantly smaller than the adjacent single-family development.

In regard to "2": The subject proposal complies with the density requirements of the ML (Medium Low Density Residential) land use designation. However, Program B1.4 of the Centennial Hills Sector Plan is intended to "Encourage the development of random vacant infill lots in substantially developed, single-family neighborhoods at densities similar to existing development. The densities proposed for the subject site are not similar to existing development and therefore do not comply with the intent of the Centennial Hills Sector Plan. In addition the project does not meet the standards of Title 19.06.04 (G) (6) for open space.

In regard to "3": The site gains access from Bradley Road, an 80-foot wide local street. This street will provide adequate access to and from the subject property.

In regard to "4": Building and landscape materials are appropriate for the area and the city of Las Vegas.

In regard to "5": The elevation plans show two-story homes with a maximum height of approximately 30 feet. The floor plans depict three and four bedroom models. The design features are not unsightly nor are they undesirable; however, the development is considered out of character as the lot sizes and overall density of the project are not appropriate for this location.

In regard to "6": The proposed development will not endanger the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 521 (Mailed with ZON-17693)

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-17694 APN: 125-13-801-006

Name of Property Owner: Sharon Turbiville

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Sharon Turbiville

Print Name: Sharon Turbiville

Subscribed and sworn before me

This 2nd day of October, 2006

Ronaldo Acevedo

Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
RONALDO ACEVEDO
No: 05-94984-1
My Appointment Expires Feb. 7, 2009

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-17694 APN: 125-13-802-001

Name of Property Owner: Terry & Kathryn Karas

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Terry Karas Kathryn Karas

Print Name: Terry Karas Kathryn Karas

Subscribed and sworn before me

This 2nd day of October, 2006

Jana Shore

Notary Public in and for said County and State

JANA SHORE
Notary Public, State of Nevada
Appointment No. 01716021
My Appt. Expires Sept. 13, 2009

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-17694 APN: 125-13-801-005

Name of Property Owner: Delmar Dinkins

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Delmar Dinkins

Print Name: _____

Subscribed and sworn before me

This 28 day of September, 20 06

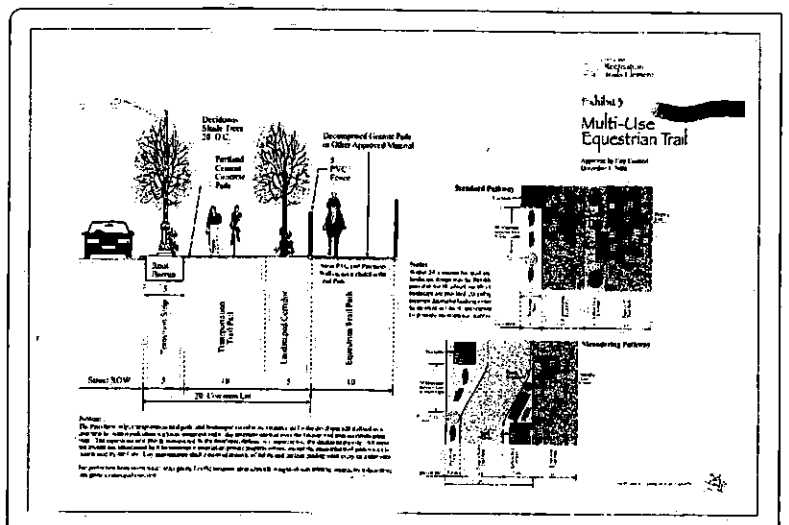
Virginia Jauregui

Notary Public in and for said County and State

VIRGINIA JAUREGUI
Notary Public State of Nevada
No. 98-2698-1
My appt. exp. Feb. 5, 2008

SITE PLAN
OF
BRADLEY / SOLAR

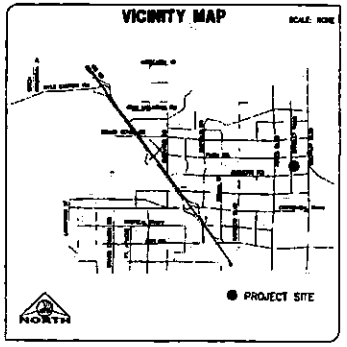
A PORTION OF THE SOUTHEAST QUARTER (SE¼), OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA.



A/1 30' WIDE CLV MULTI-USE EQUESTRIAN TRAIL

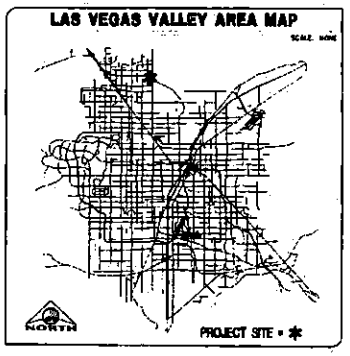
VICINITY MAP

SCALE: NONE



LAS VEGAS VALLEY AREA MAP

SCALE: NONE



LEGAL DESCRIPTION

[illegible]

ASSESSOR'S PARCEL NUMBER

[illegible]

SHEET INDEX

1. COVER SHEET
2. SITE PLAN

SETBACK REQUIREMENTS

PRESENT ZONING	R-E
PROPOSED ZONING	RPD-4
TYPICAL LOT SIZE (SF)	4,200 SF
FRONT TO BUILDING	15' MIN
FRONT TO GARAGE	18' MIN
SIDE TO BUILDING 2ND ROOF EAVE	5' MIN
SIDE AS CORNER	10' MIN
REAR	10' MIN
REAR TO PATIO	5' MIN

ENGINEER

TRITON ENGINEERING
6757 W. CHARLESTON BLVD., SUITE B
LAS VEGAS, NV 89146
OFFICE: (702) 254-1480
FAX: (702) 254-3062

OWNERS

TERRY & KATHRYN KURAS (125-13-601-003)
5325 SOLAR AVENUE
LAS VEGAS NV. 89131

SHARON RUSSELLE (125-13-601-002)
5309 SOLAR AVENUE
LAS VEGAS NV. 89131

GERMAN GIRONS (125-13-601-026)
5330 SOLAR AVENUE
LAS VEGAS NV. 89131

DEVELOPER

RICHMOND AMERICAN HOMES OF NEVADA, INC
2490 PASEO VERDE PARKWAY, SUITE 130
HENDERSON, NV 89074
OFFICE: (702) 617-8400

SURVEYOR

TRI-CORE SURVEYING
6755 W. CHARLESTON BLVD., SUITE 4
LAS VEGAS, NV 89146
OFFICE: (702) 821-1804
FAX: (702) 476-4378

BENCHMARK

CITY OF LAS VEGAS RIVET AND ROUND PLUG IN HANDICAP PAD, NORTHWEST CORNER OF CLARK 5072 ROAD AND TORREY PINES DRIVE. STATION 2L#001A54.

ELEVATION: 2342.3378 FEET (NAVD88)
713.8148 METERS (NAVD88)

CLARK COUNTY VERTICAL CONTROL v.2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

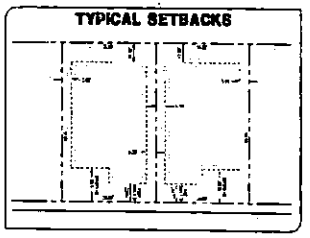
BASIS OF BEARING

NORTH 00°00'14" EAST, BEING THE BEARING OF THE CENTERLINE OF DURANGO ROAD AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN FILE 92, PAGE 70 OF SURVEYS.

COMMON LOT AREAS

COMMON LOT 'A'	6,419 SF
COMMON LOT 'B'	1,331 SF
COMMON LOT 'C'	7,118 SF
COMMON LOT 'D'	630 SF
COMMON LOT TOTAL	17,508 SF
NOISE TRAIL TOTAL	19,201 SF (LOT LINE TO R/W)
TOTAL	33,918 SF

TYPICAL SETBACKS



LAND USE TABULATION

LAND USE DESIGNATION

PRESENT ZONING: R-E (RESIDENTIAL ESTATES DISTRICT)
PROPOSED ZONING: RPD-4 (RESIDENTIAL PLANNED DEVELOPMENT DISTRICT)

SITE SUMMARY

TOTAL UNITS	40 LOTS
SUBSTANDARD UNITS	NONE
GROSS ACREAGE	7.27 ACRES
DENSITY (GROSS)	5.5 LOTS / ACRE

OPEN SPACE

TOTAL REQUIRED	20,790 SF
TOTAL PROVIDED	[illegible]

Triton Engineering
6757 W. Charleston Blvd.
Las Vegas, Nevada 89146
Office: (702) 254-1480
Fax: (702) 254-3062

No.	Date	Revision

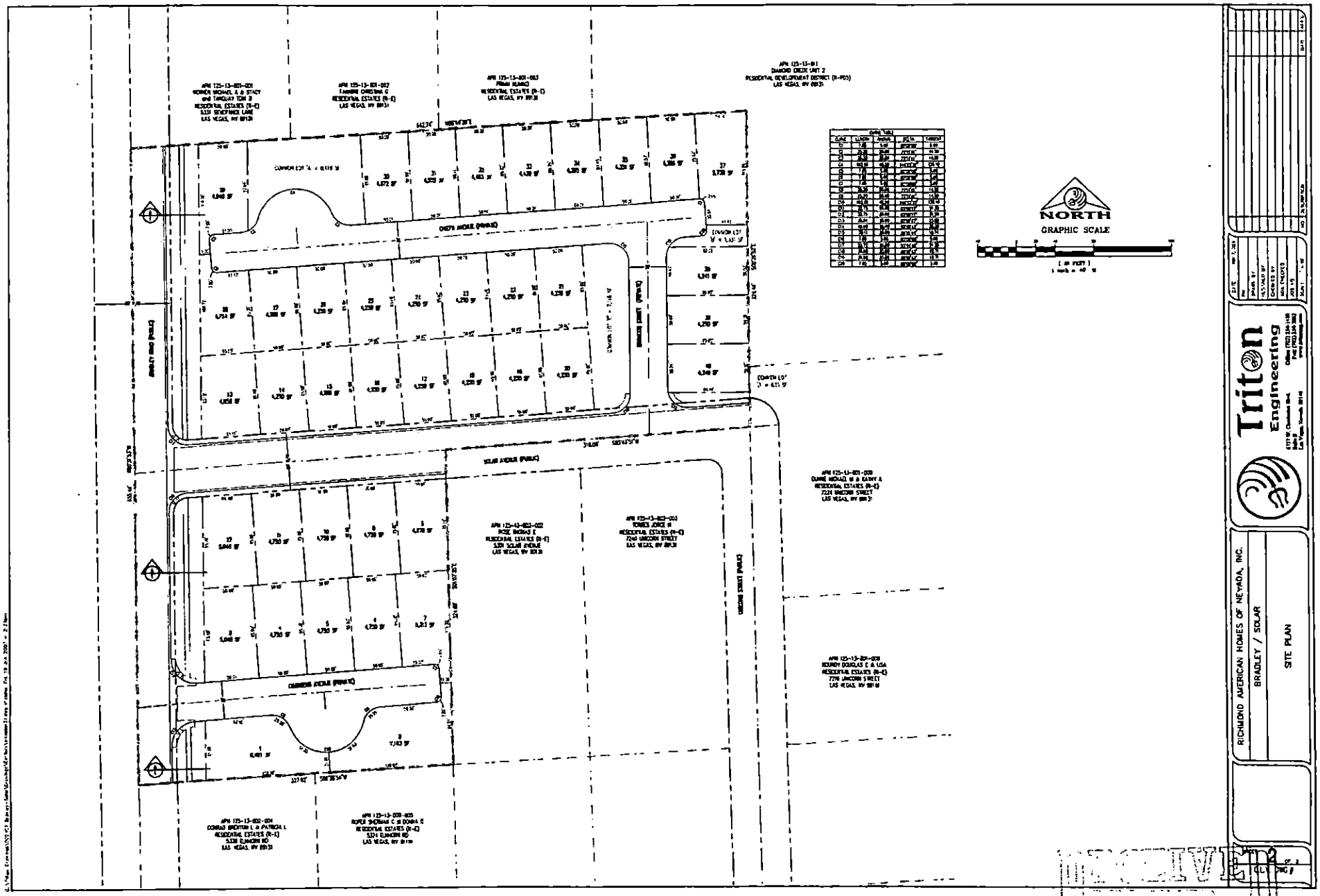
DATE: [illegible]
REVISED BY:
DRAWN BY:
JOB NO.: [illegible]
FILE NO.: [illegible]

RICHMOND AMERICAN HOMES OF NEVADA, INC.
BRADLEY / SOLAR
COVER SHEET

SHEET 1 OF 1
C.L.V. DWG. #

RECEIVED JAN 2 2 2007

ZON-17693 SDR-17694
REVISED 02/08/07 PC



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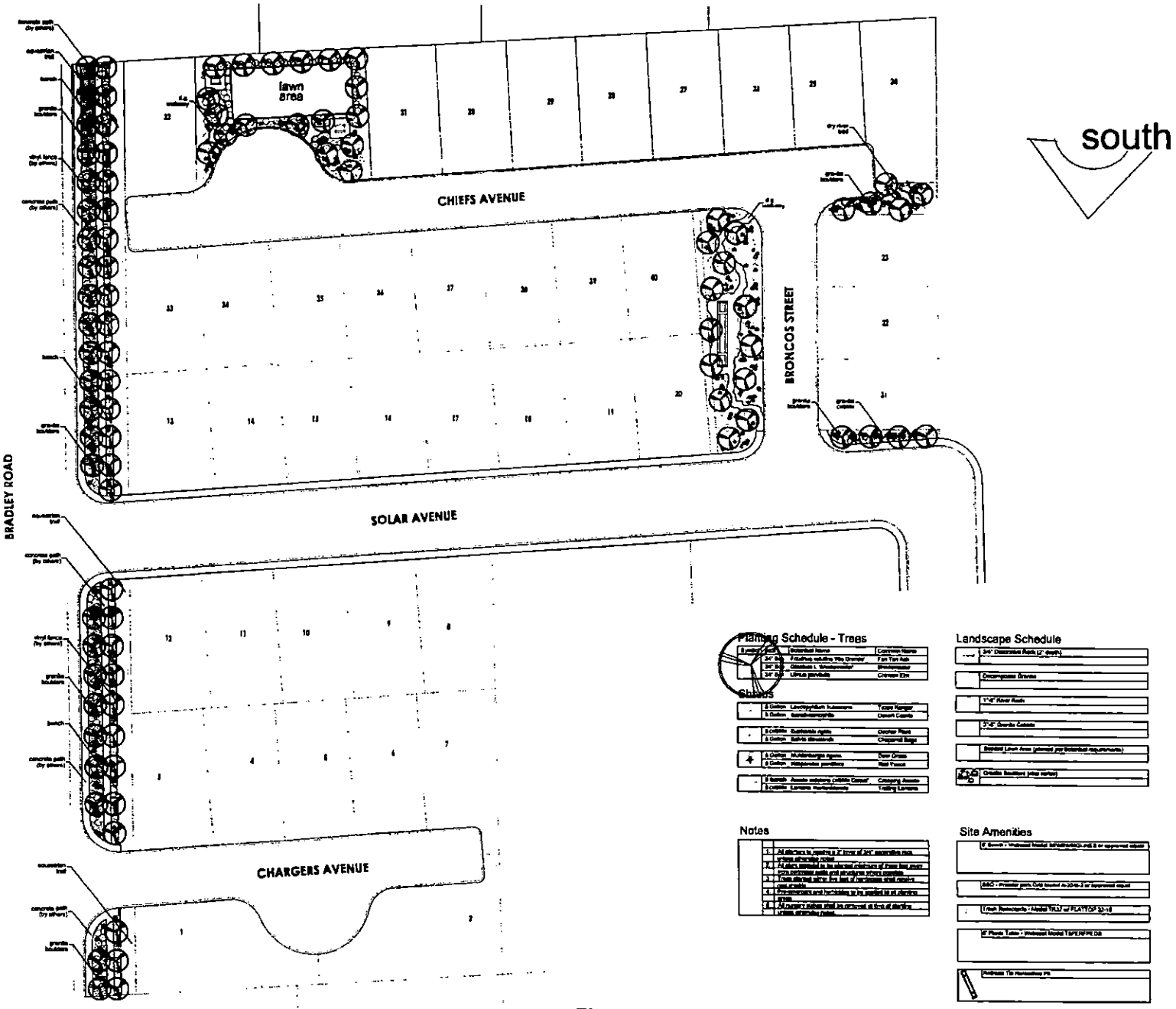
JAN 2 2 2007

ZON-17693 SDR-17694
REVISED 02/08/07 PC



Planting Schedule - Trees

Shrubs

Notes

Landscape Schedule

Site Amenities

ZON-17693 SDR-17694
REVISED 02/08/07 PC

landaco landscaping and grading
design build landscape architecture
4880 South Polaris Las Vegas NV 89103
702.895.7881 fax 702.895.7886

Project Name:
Bradley and Solar
Richmond American Homes
Las Vegas, Nevada

#	Revisions:	Date:	By:
1	engineering	10-14-06	kd
2	grail	10-27-06	mh
3	engineering	11-14-06	mh
3	engineering	01-22-07	kv

This landscape drawing is for design/build use by Landaco Landscaping and Grading only. Landaco Landscaping and Grading does not assume any responsibility for projects installed by any contractor other than Landaco Landscaping and Grading

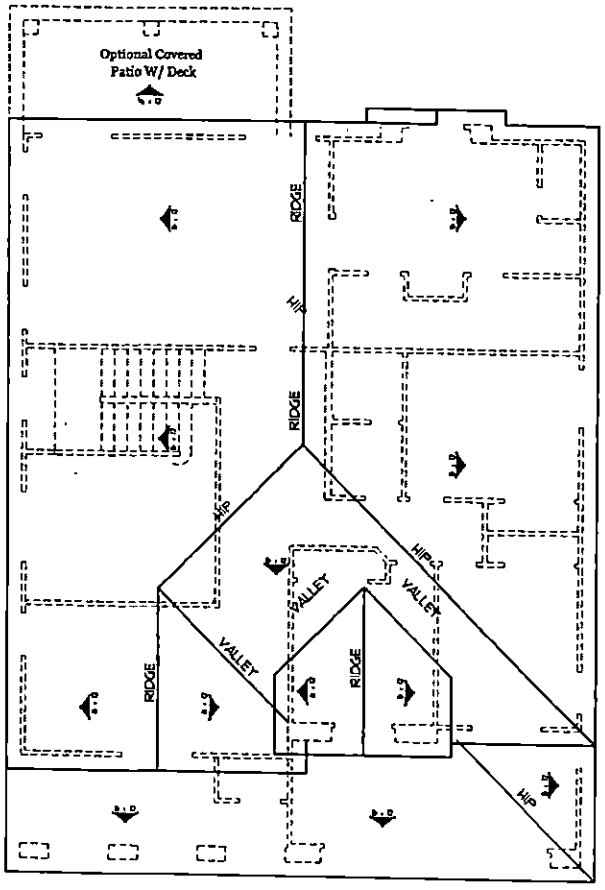
Drawing:
Common Area Landscape Plan

Date: 09.25.06
Scale: 1"=30'-0"
Drawn By: mh
Checked By: kny

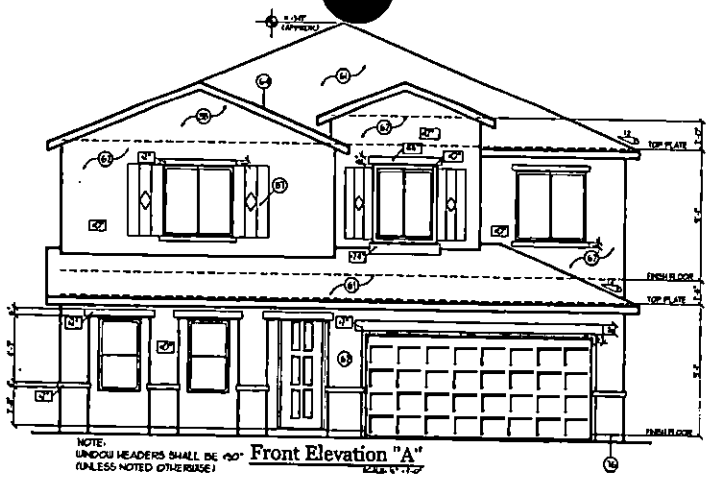
Sheet Number:
1 of 1

L-1

RECEIVED

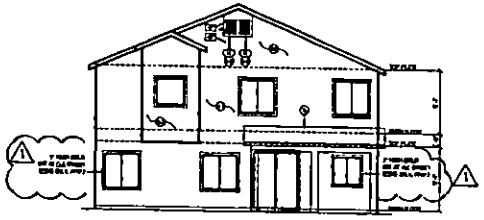


Roof Plan - Elevation "A"

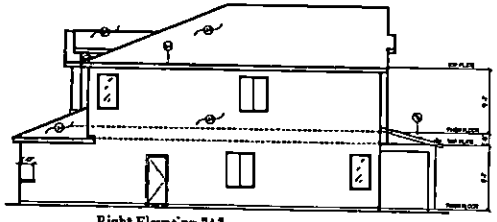


NOTE:
WINDOW HEADERS SHALL BE 6'0"
(UNLESS NOTED OTHERWISE)

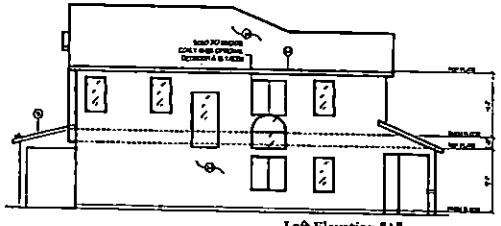
Front Elevation "A"



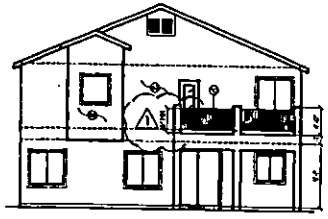
Typical Rear Elevation



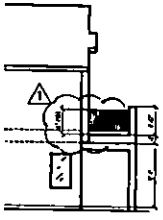
Right Elevation "A"



Left Elevation "A"



Rear Elevation (Deck Option)



Right Elevation (Deck Option)

KEYNOTES

1. FOAM APPLICATIONS SHALL COMPLY PER IRC
2. WINDOW HEADERS SHALL BE @ 7'-6" (UNLESS NOTED OTHERWISE)
3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS

VENT SCHED.

1. ROOF VENTILATION SHALL COMPLY PER IRC
- SEE COVER SHEET FOR INFORMATION ON REQUIRED ATTIC VENTILATION

A	8"x16"	B	8"x16"	C	16"x16"	D	16"x24"
E	14"x30"	F	16"x24"	G	8"x16"	H	8"x24"
I	30"x30"	J	30"x36"	K	24"x30"	L	30"x30"
M	30"x36"	N	36"x36"	O	6" TRI	P	8" TRI
Q	8" ROUND	R	10" ROUND	S	8" HALF ROUND	T	10" HALF ROUND
U	DORMER VENT	V	CUPOLA FILE	W	1-7/8 BIRD BLK	X	2-7/8 BIRD BLK
Y	4-7/8 BIRD BLK	Z	7"x27" SCREEN				

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE (0026417)
DIVISION PRESIDENT
ERNEST J. BELAIR, JR.

ROOF FRAMING FRONT, REAR & SIDE OF ELEVATION "A"

R.M.O.
04/22/04

REV. No.	DATE
2	10/15/04
3	08/03/04
4	
5	
6	

PLAN # 2781

SUBDIVISION BRIGHTON

27/00A2A

SHEET NO. A2.A

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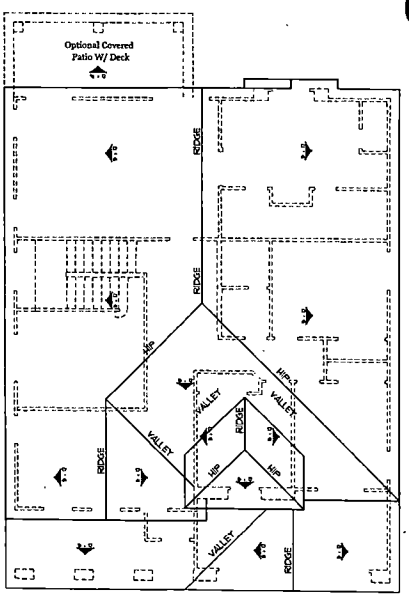
JAN 22 2007

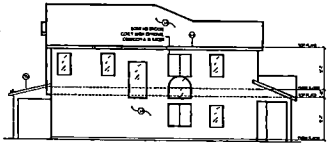
ZON-17693 SDR-17694
REVISED 02/08/07 PC



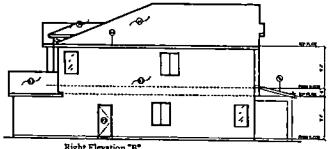
Roof Plan - Elevation "B"

NOTE:
WINDOW HEADERS SHALL BE 80" (UNLESS NOTED OTHERWISE)

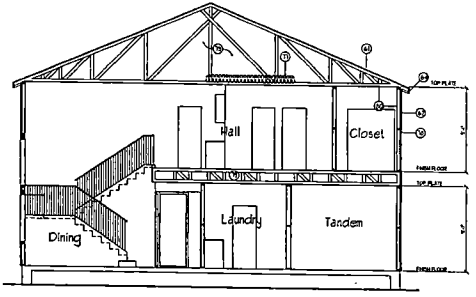
Front Elevation "B"



Left Elevation "B"



Right Elevation "B"



Typical Section Cut

LAS VEGAS DIVISION
7259 West Peak, Suite 212
LAS VEGAS, NV. 89129 (702) 249-5600

RICHMOND
AMERICAN HOMES
CLARK COUNTY - HENDERSON
LAS VEGAS & NORTH LAS VEGAS

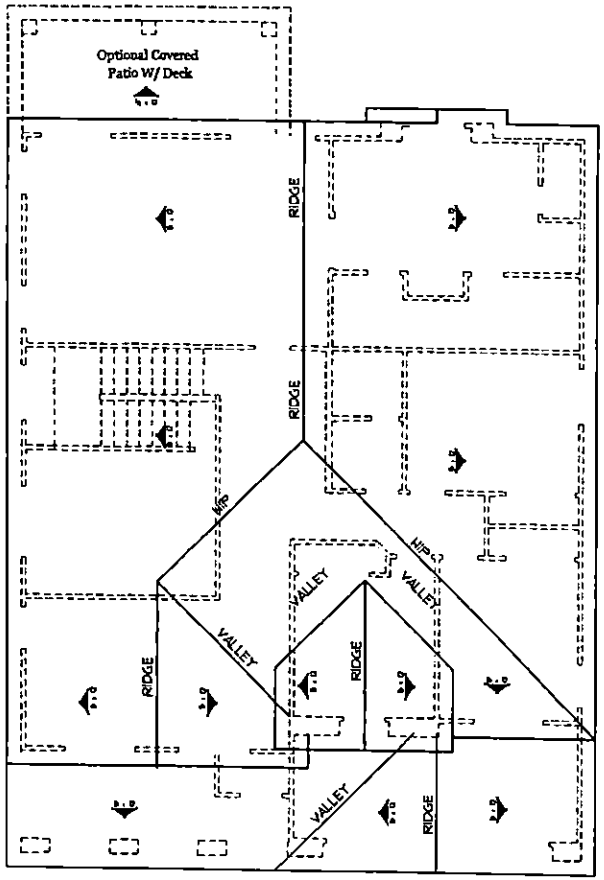
ROOF FRAMING FRONT, REAR & SIDE
OF ELEVATION "B" SECTION CUT

2781

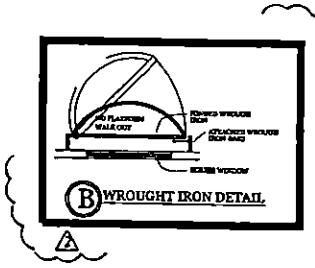
Brighton

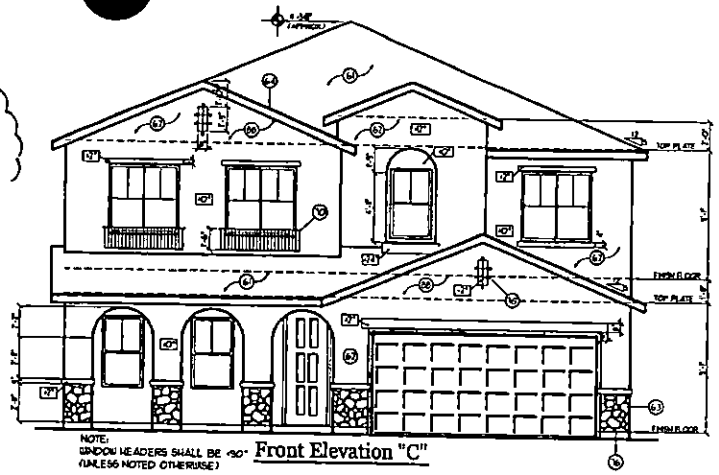
A2.B

ZON-17693 SDR-17694
REVISED 02/08/07 PC

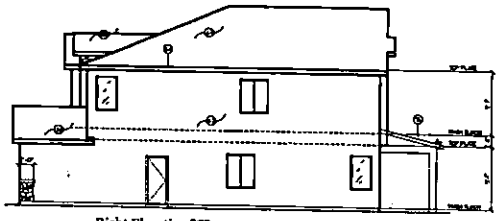


Roof Plan - Elevation "C"

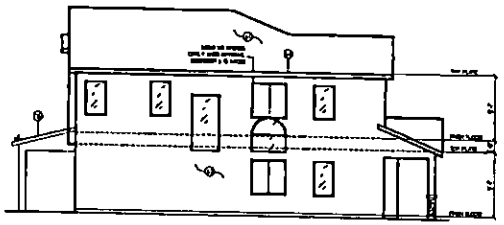




Front Elevation "C"



Right Elevation "C"



Left Elevation "C"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5000

RICHMOND AMERICAN HOMES
STATE CONTRACTOR'S LICENSE DIVISION PKS0061 (0025417)

PENCIL FOR ... 10

THE ROOF FRAMING, FRONT, REAR & SIDE OF ELEVATION "C"

DRAWN BY R.M.O.
DATE 04/22/04

REV.	DATE
A	06/15/04
B	08/11/04
1	
2	
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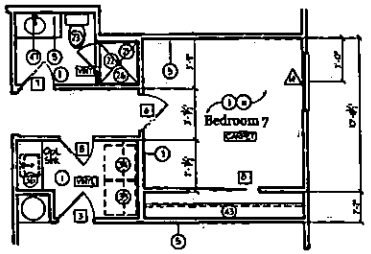
PLAN NO. 2781

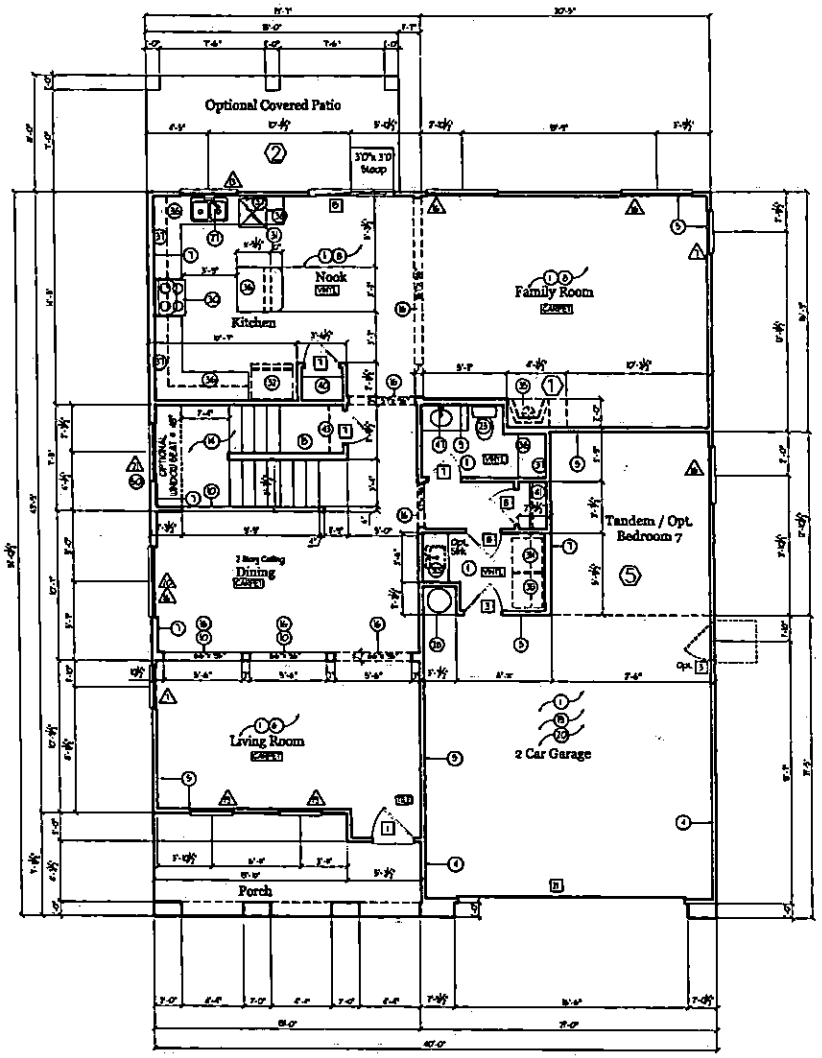
SUBDIVISION BRIGHTON

SHEET NO. A2.C

ZON-17693 SDR-17694
REVISED 02/08/07 PC



Optional Bedroom 7 in lieu of Tandem Garage



1st Floor Plan

KEYNOTES

Framing - Drywall

Plumbing Fixtures

Appliances

Cabinets - Shelves

Foundations - Finishes - Misc.

DOOR SCHED.

GENERAL DOOR TYPES

DOUBLE RATING FOR DOORS

No.	TYPE	SIZE	FUNCTION
1	B	[illegible]	SWING
2	A	[illegible]	SWING
3	W	[illegible]	SWING
4	C	[illegible]	SWING
5	C	[illegible]	SWING
6	C	[illegible]	SWING
7	C	[illegible]	SWING
8	C	[illegible]	SWING
9	C	[illegible]	SWING
10	C	[illegible]	SWING
11	C	[illegible]	BI-PASS
12	C	[illegible]	BI-PASS
13	C	[illegible]	BI-PASS
14	D	[illegible]	SLIDING
15	D	[illegible]	SLIDING
16	E	[illegible]	SWING-FRENCH
17	E	[illegible]	SWING-FRENCH
18	C	[illegible]	BI-FOLD
19	C	[illegible]	BI-FOLD
20	F	[illegible]	ROLL - UP
21	F	[illegible]	ROLL - UP
22	C	[illegible]	POCKET

WDW. SCHED.

A = ALUMINUM FRAME, PROVIDE CLEAR GLAZING AND POSITIVE LOCKING MECHANISM.
B = SAME AS "A", TEMPERED GLASS.
C = SAME AS "A", TEMPERED GLASS BOTTOM SASH ONLY.

NOTE: THE ACTIVE PANE OF ALL WINDOWS INDICATED "•" LOCATED IN BEDROOMS SHALL HAVE A MIN NET CLEAR OPENABLE AREA OF 5.7 SQUARE FT. OPENABLE HGT. OF 24" OPENABLE WIDTH OF 20", AND THE FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FINISHED FLOOR.

LIGHT AND VENTILATION REQUIREMENTS FOR ALL WINDOWS ARE TO COMPLY WITH IBC

DOUBLE RATING FOR WINDOWS

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
CLARK COUNTY, HENDERSON, LAS VEGAS, & NORTH LAS VEGAS

TITLE: FLOOR PLAN (1st Floor)

DRAWN BY: R.M.O.
DATE: 04/22/02

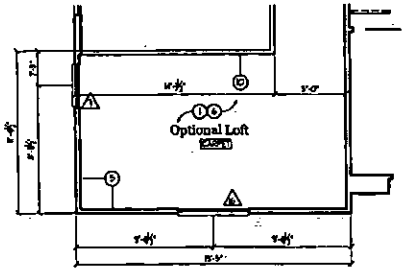
PLAN #: 2781

SUBDIVISION: Brighton
2700A1

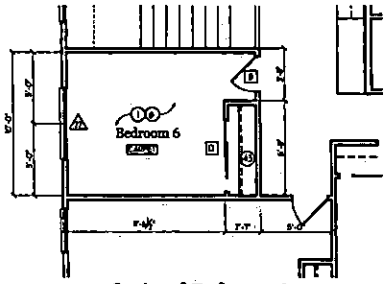
SHEET NO.: A1.0

ZON-17693 SDR-17694
REVISED 02/08/07 PC

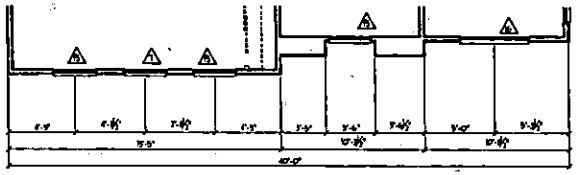
RECEIVED
JAN 22 2007



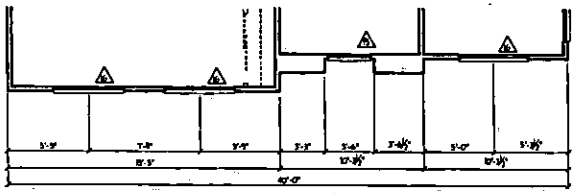
Optional Loft in lieu of Bedroom 5



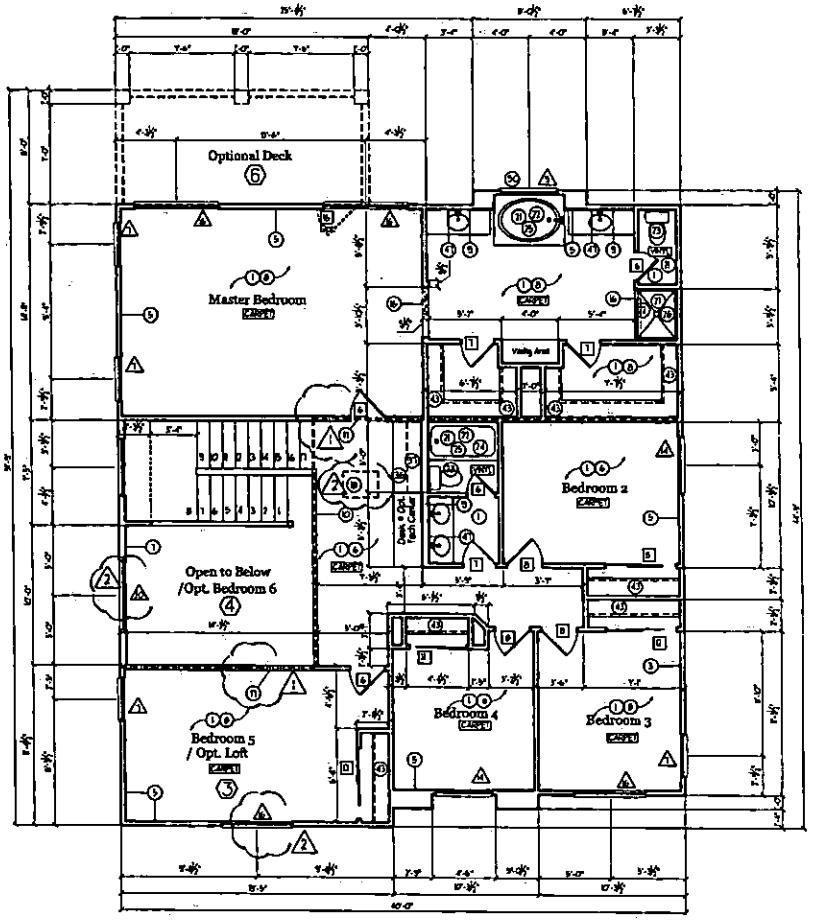
Optional Bedroom 6



2nd Floor - Elevation "B"



2nd Floor - Elevation "C"



2nd Floor Plan

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0026417
DIVISION PRESIDENT
ERNEST J. BELAIR, JR.

FLOOR PLAN
2nd Floor

DRAWN BY: R.M.O.
DATE: 04/22/04

REV	DATE
1	06/15/04
2	06/13/04
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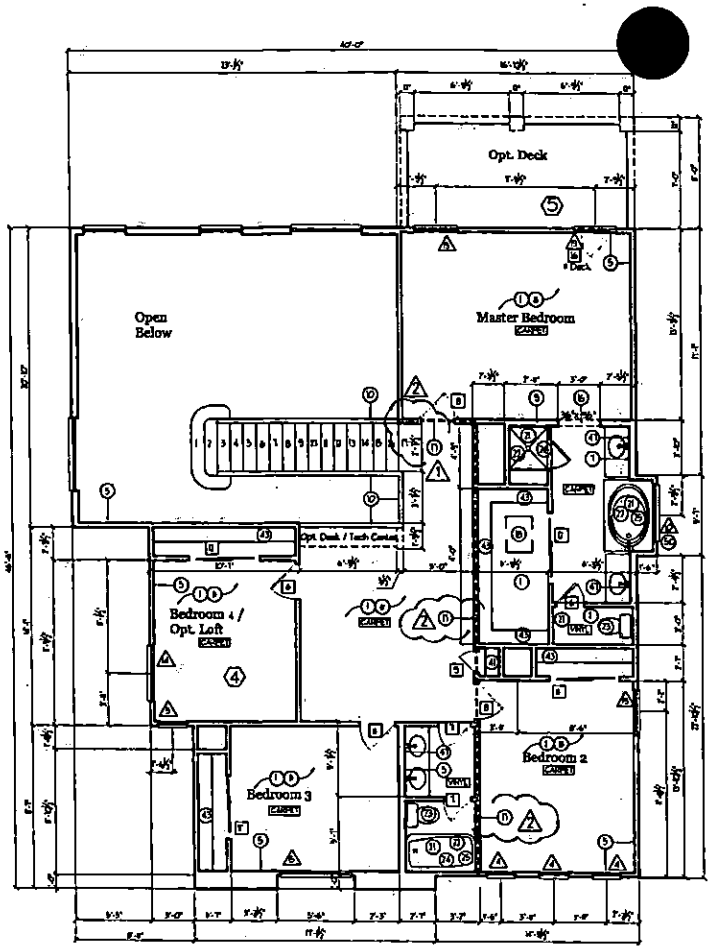
JOB # 2781

SUBDIVISION: BRIGHTON
2700A12

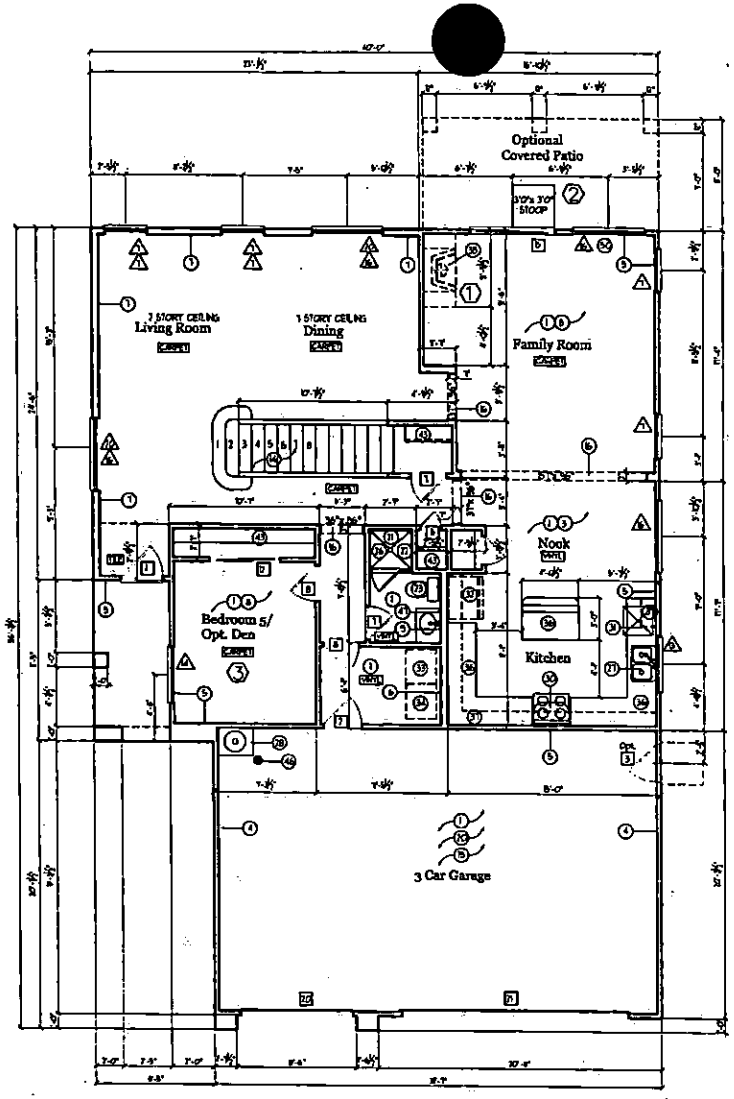
SHEET NO.: A1.2

ZON-17693 SDR-17694
REVISED 02/08/07 PC

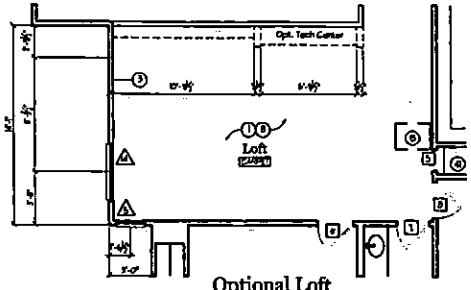
RECEIVED
JAN 2 2 2007



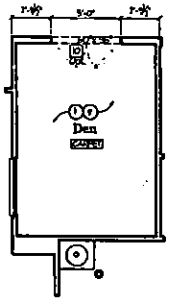
2nd Floor Plan



1st Floor Plan



Optional Loft



Optional Den

Optional Tech Center at Loft

KEYNOTES

GENERAL FLOOR PLAN NOTES

Framing - Drywall

Plumbing Fixtures

Appliances

Cabinets - Shelves

Foundations - Finishes - Misc

DOOR SCHED.

GENERAL DOOR TYPES

NO.	TYPE	SIZE	FUNCTION
1	B	7'-0" x 8'-0"	SWING
2	A	7'-0" x 8'-0"	SWING
3	B	7'-0" x 8'-0"	SWING
4	C	7'-0" x 8'-0"	SWING
5	C	1'-0" x 7'-0"	SWING
6	C	7'-0" x 8'-0"	SWING
7	C	7'-0" x 8'-0"	SWING
8	C	7'-0" x 8'-0"	SWING
9	C	3'-0" x 7'-0"	SWING
10	C	7'-0" x 8'-0"	SWING
11	C	4'-0" x 8'-0"	BI-PASS
12	C	7'-0" x 8'-0"	BI-PASS
13	C	4'-0" x 8'-0"	BI-PASS
14	D	3'-0" x 8'-0"	SLIDING
15	D	6'-0" x 8'-0"	SLIDING
16	B	7'-0" x 8'-0"	SWING-FRENCH
17	B	7'-0" x 8'-0"	SWING-FRENCH
18	C	3'-0" x 8'-0"	BI-FOLD
19	C	6'-0" x 8'-0"	BI-FOLD
20	F	8'-0" x 7'-0"	ROLL - UP
21	F	6'-0" x 7'-0"	ROLL - UP
22	C	7'-0" x 8'-0"	POCKET

WDW. SCHED.

NO.	TYPE	SIZE	AMOUNT	NOTE
1	A	1'-0" x 1'-0"	FIXED	40"
2	A	1'-0" x 4'-0"	FIXED	40"
3	A	7'-0" x 7'-0"	FIXED	40"
4	A	7'-0" x 4'-0"	FIXED	40"
5	A	7'-0" x 5'-0"	FIXED	40"
6	A	3'-0" x 4'-0"	FIXED	40"
7	A	3'-0" x 7'-0"	FIXED	40"
8	A	4'-0" x 7'-0"	FIXED	40"
9	A	3'-0" x 7'-0"	FIXED	40"
10	A	4'-0" x 5'-0"	FIXED	40"
11	A	7'-0" x 1'-0"	FIXED	40"
12	A	7'-0" x 3'-0"	FIXED	40"
13	A	3'-0" x 4'-0"	FIXED	40"
14	A	4'-0" x 3'-0"	FIXED	40"
15	A	3'-0" x 3'-0"	FIXED	40"
16	A	3'-0" x 1'-0"	FIXED	40"
17	A	3'-0" x 3'-0"	FIXED	40"
18	A	3'-0" x 3'-0"	FIXED	40"
19	A	3'-0" x 3'-0"	FIXED	40"
20	A	3'-0" x 3'-0"	FIXED	40"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR'S LICENSE #0026417
DIVISION PRESIDENT

BRYCE T. BELAIR, JR.

FLOOR PLAN
(1st & 2nd Floor)

DRAWN BY R.M.O.
DATE 04/22/04

REV. No.	DATE
3	06/15/04
4	08/13/04
5	
6	

PLAN # 2526

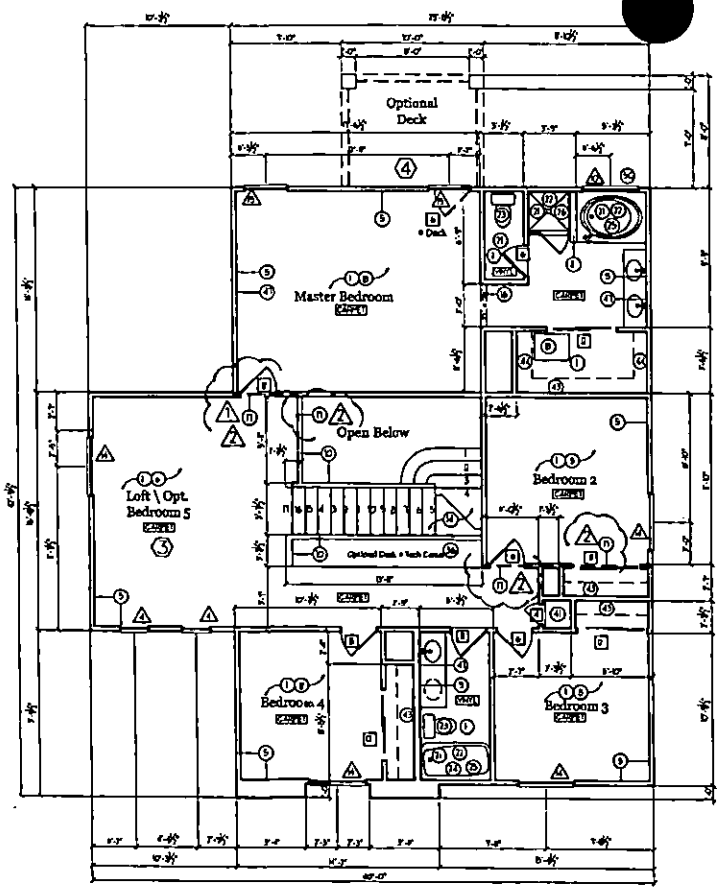
SUBDIVISION BRIGHTON

25046I

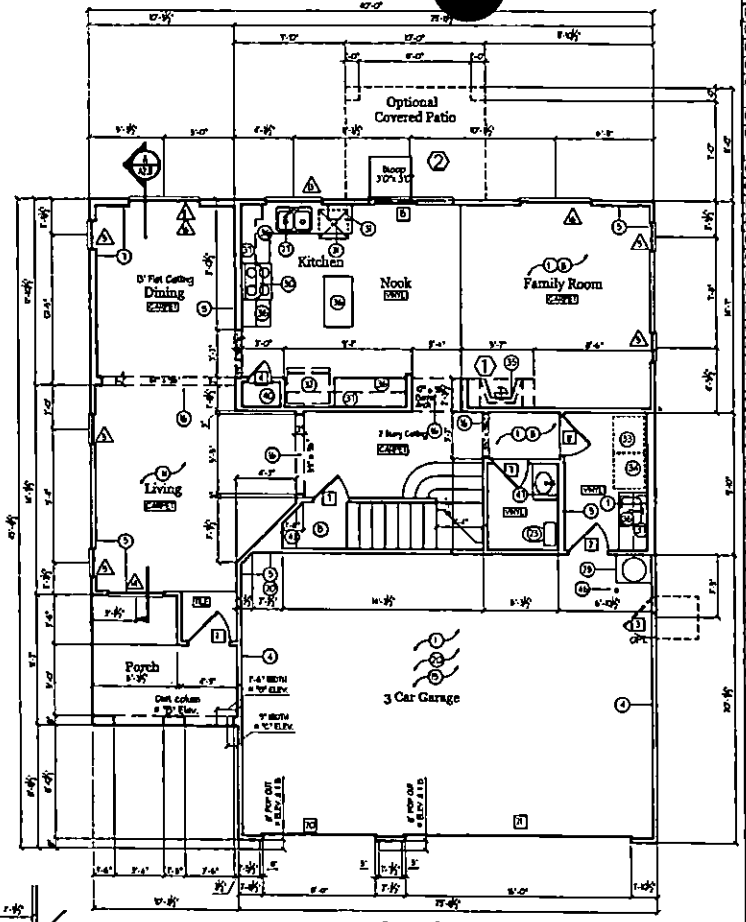
SHEET NO. A1

ZON-17693 SDR-17694
REVISED 02/08/07 PC

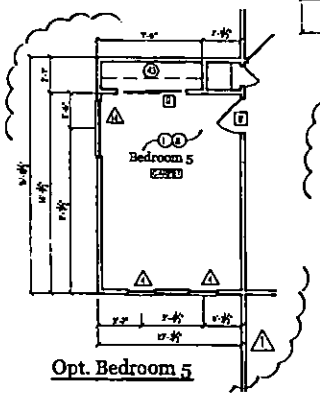
RECEIVED
JAN 2 2 2007



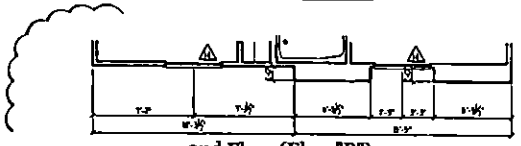
2nd Floor (Elev. "A")



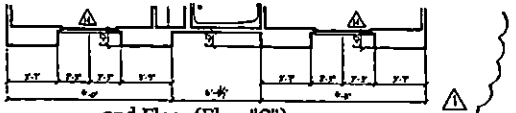
1st Floor Plan



Opt. Bedroom 5



2nd Floor (Elev. "B")



2nd Floor (Elev. "C")

KEYNOTES

DOOR SCHED.

WDW. SCHED.

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 00128 (702) 240-5800

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE DIVISION PRESIDENT
ERNEST J. BELAIR, JR.

FLOOR PLAN
1st & 2nd Floor

DRAWN BY R.M.O.
DATE 04/22/04

REV. 1 08/13/04
REV. 2 08/17/04

PLAN # 2314

ELEVATION BRIGHTON

230001

SHEET A1

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED
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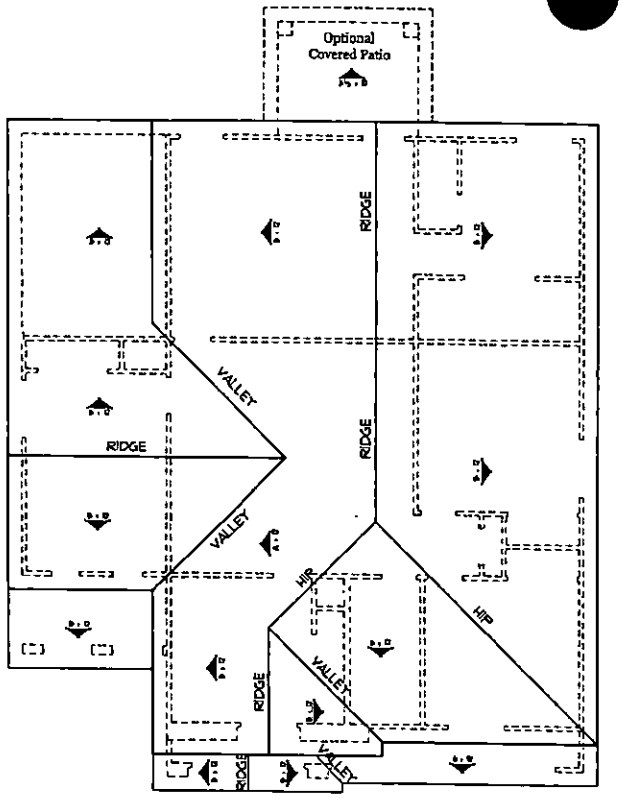
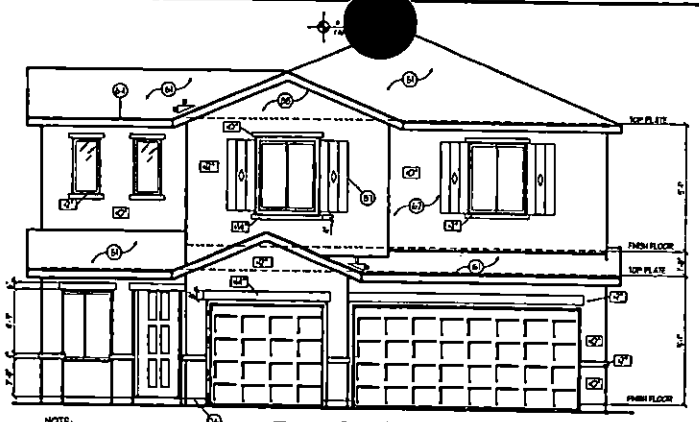
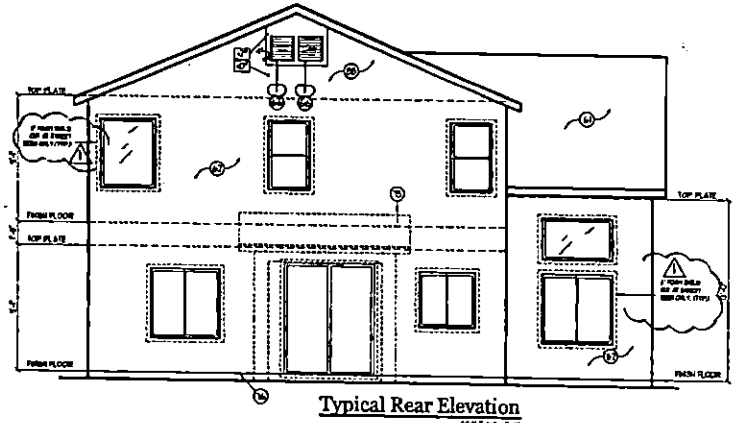


Roof Plan - Elevation "A"

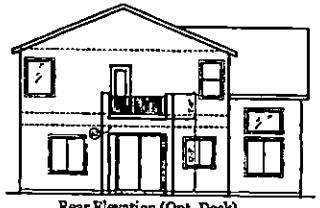


NOTE:
WINDOW HEADERS SHALL BE 4"x6"
(UNLESS NOTED OTHERWISE)

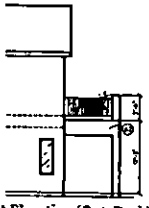
Front Elevation "A"



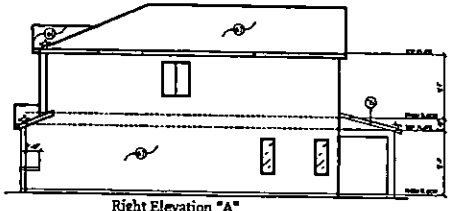
Typical Rear Elevation



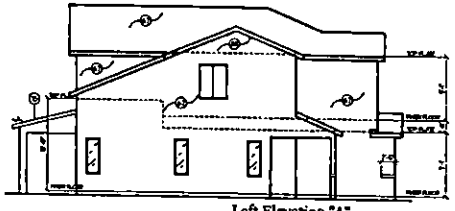
Rear Elevation (Opt. Deck)



Right Elevation (Opt. Deck)



Right Elevation "A"



Left Elevation "A"

KEYNOTES

GENERAL ELEVATION NOTES

1. FOAM APPLICATIONS SHALL COMPLY PER IRC.
2. WINDOW HEADERS SHALL BE 4"x6" (UNLESS NOTED OTHERWISE)
3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS

01	FLAT CONCRETE TILE W/ TYPE 30 FELT SIDE LAPPED 2" (5.0cm) END LAPPED 6" (15.0cm) 3/4" THK. OSB (TYP)
02	STUCCO W/FOAM BONDED U.B.C. 1603.6 NON MATERIAL BARRIER (EFM INDEX OF 0)
03	STONE VENEER - APPLICATION SHALL COMPLY TO IRC.
04	2x6 ROUGH SAWN FASCIA
05	TEMPERED GLASS (PAINTED BLACK) FOR DECORATIVE PURPOSES ONLY
06	PROVIDE CORROSION RESISTANT METAL MESH W/ FINE OPENINGS OF 1/4" (6.4mm) IN DIMENSION
07	ADDRESS PLATE - 4x6" W/ OPT. COACH LEAF - 4x4"
08	FIRE BLOCKING - 4x6" - TYPICAL
09	ALL BOARD - ATTIC AREAS ABOVE PLATE HEIGHT
10	DECORATIVE WROUGHT IRON BARS - WROUGHT IRON GATE - 8 FOOT WALL - OPT. COURTYARD ONLY. *SEE DETAIL 1/7 ON SHEET (A2.0)
11	CHALLENGE ROOF TO BOTTOM OF WALLS
12	LINE OF CEILING
13	CONTINUE STUCCO TO WALKS
14	DECORATIVE 6" ROUND CLAY PIPES
15	OPT. PATIO COVER WITH 8" BOX COLUMNS - ROOF SLOPED 3/4" EVERY 8'
16	PROVIDE No. 26 GALVANIZED SHEET GAGE CORROSION RESISTANT METAL SCREEDS 1" ABOVE EARTH, 2" ABOVE PAVED
17	R-30 INSULATION
18	2x4'S @ 16" O.C. - TYP. @ EXTERIOR LIVABLE WALL - R-13 BATT AND FACING - PROVIDE 1 FIREBLOCKING WHERE REQUIRED
19	PREFABRICATED TRUSSES @ 24" O.C. - SEE TRUSS CALCULATIONS FOR CONCERNING INFORMATION
20	5/8" GYPSUM BOARD
21	8-12"x8" SCREENED COMBUSTIBLE AIR VENTS - LOCATE PER IRC.
22	CHAMPAGNE COLORED VENT TILE (MANUFACTURED BY CLAY TILE) - SEE ROOF LAYOUT FOR LOCATIONS - INSTALL PER TILE SPECS.
23	OPT. SERVICE DOOR
24	DECORATIVE GARAGE ROLLD DOORS - SEE SPECIFICATIONS - OPT. DECORATIVE FRONT DOOR TO MATCH GARAGE
25	PRE FABRICATED DECORATIVE IRON SPIRE
26	PRE FABRICATED METAL ROOF STYLE IRON SPIRE
27	SHUTTERS (TYP. @ WINDOWS) - SEE SPECIFICATIONS
28	PROVIDE CORROSION RESISTANT SHEET METAL THAT HOLDS PLASTIC INSULATION IS NOT EXPOSED - ATTIC AT 0.016 THICK (PER IRC)
29	WHERE EXTERIOR WALL FRAMING IS NOT EXPOSED - CONCRETE BLOCK NET FINISH AND A PROVIDE IMPROVED ACCEPTABLE FINISH
30	ROOF VALLEY FLASHING SHALL NOT BE PROVIDED (IF LESS THAN 0.016") CORROSION RESISTANT METAL
31	.
32	.
33	.

VENT SCHED.

GENERAL ATTIC VENT NOTES

1. ROOF VENTILATION SHALL COMPLY PER IRC
- SEE COVER SHEET FOR INFORMATION ON REQUIRED ATTIC VENTILATION

A	8"x12"	B	12"x18"	C	12"x24"	D	14"x24"
E	14"x30"	F	16"x22"	G	18"x24"	H	18"x27"
I	20"x20"	J	20"x28"	K	24"x30"	L	30"x30"
M	30"x36"	N	36"x36"	O	6" TRI	P	8" TRI
Q	8" ROUND	R	10" ROUND	S	8" HALF ROUND	T	10" HALF ROUND
U	DORMER VENT	V	CLOAKED TILE	W	2-2"x7" BIRD BLK	X	2-1"x7" BIRD BLK
Y	4-2"x7" BIRD BLK	Z	1"x12" SCREEN				

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128
(702) 240-5600

RICHMOND AMERICAN HOMES
CLARK COUNTY - HENDERSON
LAS VEGAS & NORTH LAS VEGAS

TITLE: ROOF FRAMING FRONT, REAR, & SIDE ELEVATION "A"

DRAWN BY: R.M.O.
DATE: 04/23/03

REV.	DATE
1	8/03/04
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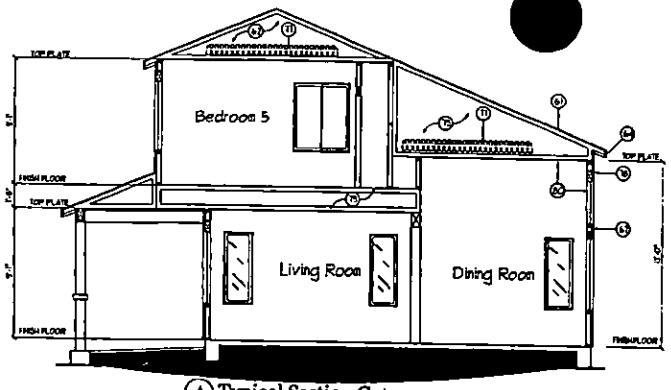
JOB #: 2314

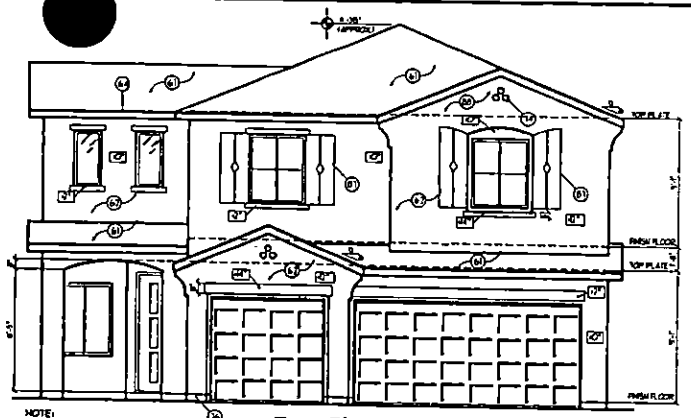
SUBDIVISION: Brighton

SHEET NO.: A2.A

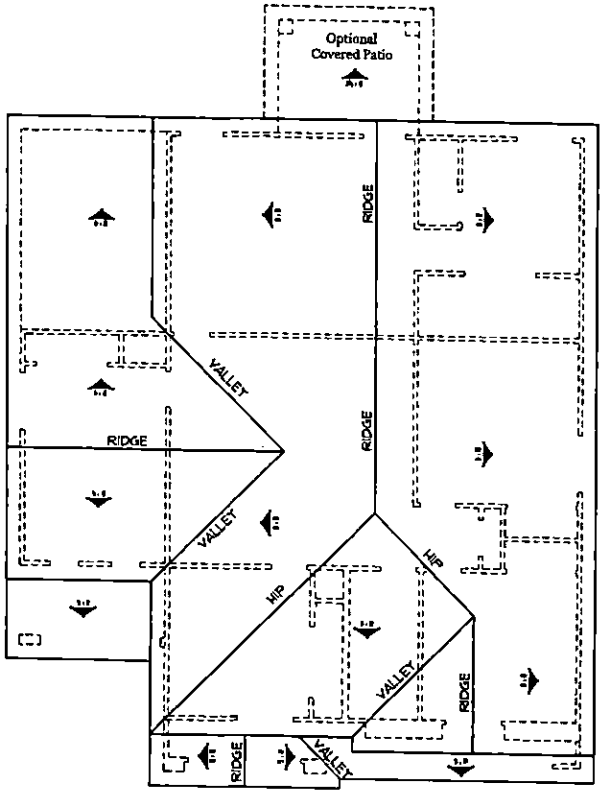
ZON-17693 SDR-17694
REVISED 02/08/07 PC



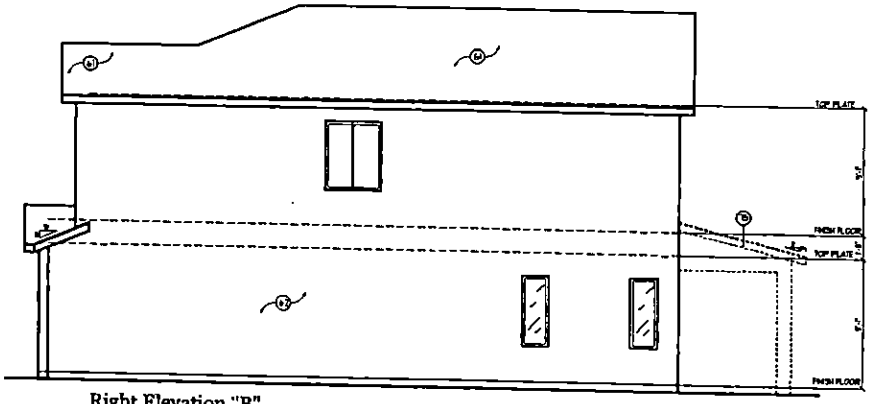
Ⓐ Typical Section Cut



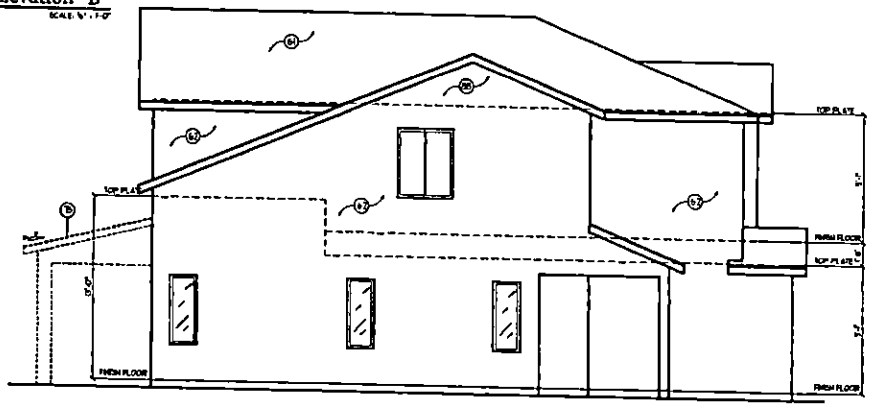
Front Elevation "B"



Roof Plan - Elevation "B"



Right Elevation "B"



Left Elevation "B"

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LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
CLARK COUNTY, HENDERSON, LAS VEGAS, & NORTH LAS VEGAS

TITLE: ROOF FRAMING, FRONT, REAR, & SIDE ELEVATION "B"

DRAWN BY: R.M.O.
DATE: 04/23/04

REV. No.	DATE
1	
2	
3	
4	
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6	

JOB # 2314

SUBDIVISION: Brighton

SHEET No.: A2.B

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED
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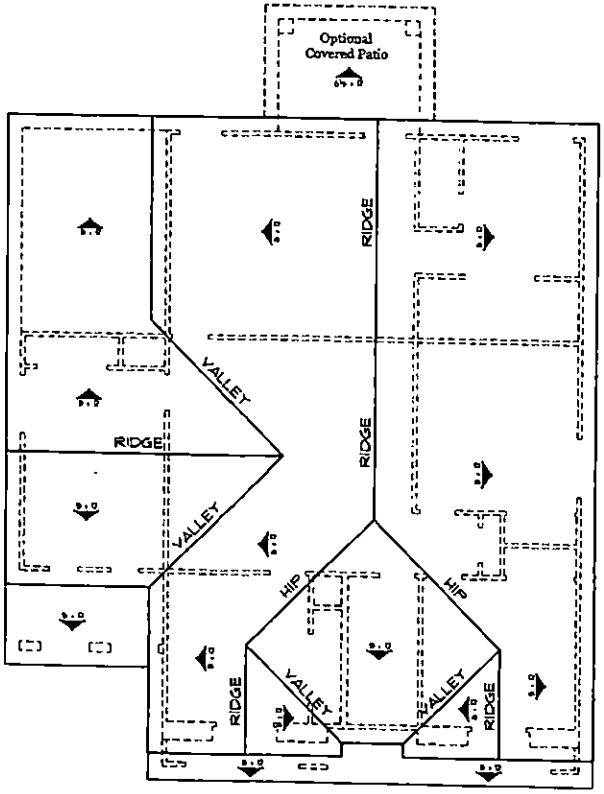
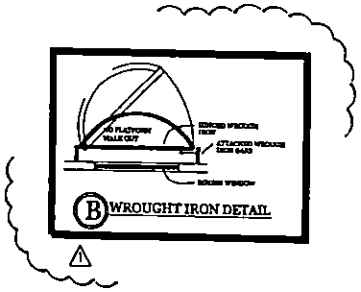
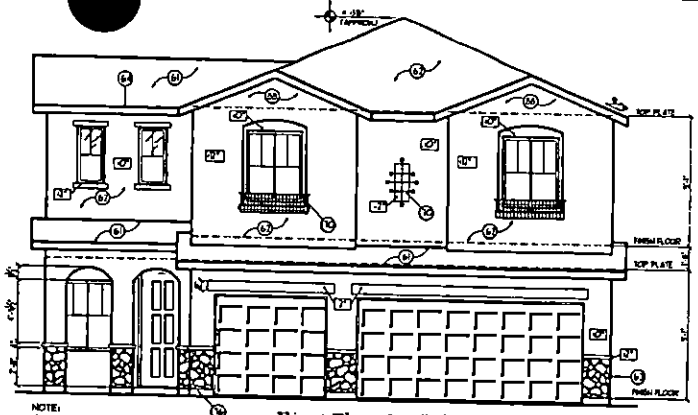


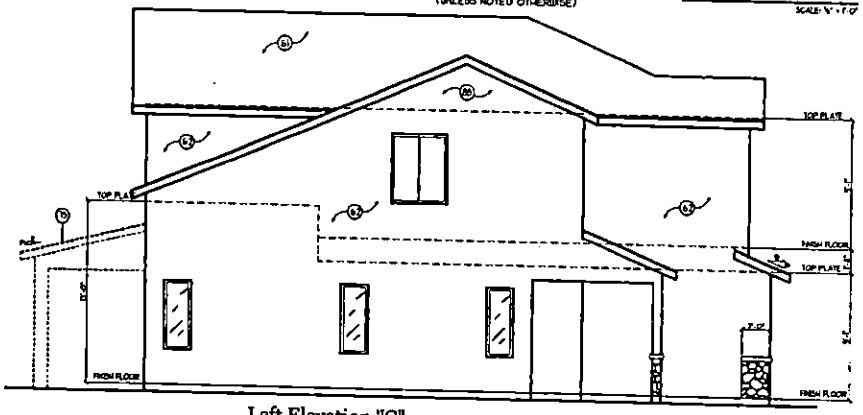
Roof Plan - Elevation "C"





NOTE:
WINDOW HEADERS SHALL BE 4'-0"
(UNLESS NOTED OTHERWISE)

Front Elevation "C"



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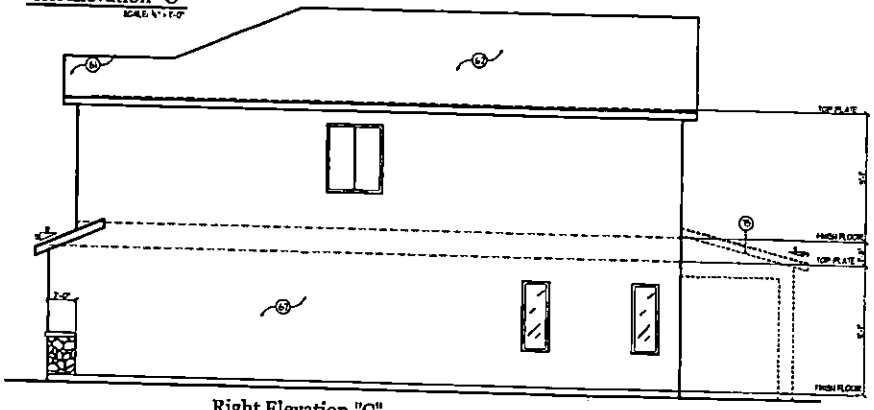

Right Elevation "C"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
CLARK COUNTY
LAS VEGAS & NORTH LAS VEGAS

ROOF FRAMING, FRONT, REAR & SIDE ELEVATION "C"

DRAWN BY: R.M.D.
DATE: 04/23/04

REV. NO.	DATE
1	8/25/04
2	
3	
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PLAN # 2314

SUBDIVISION: Brighton

PLAN NO. A2.C

ZON-17693 SDR-17694
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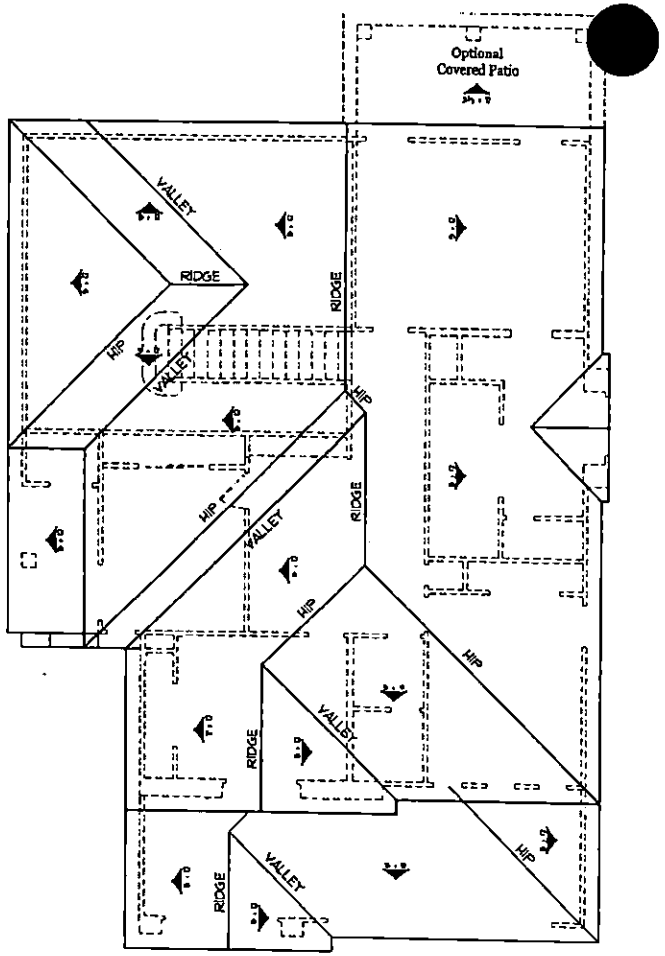
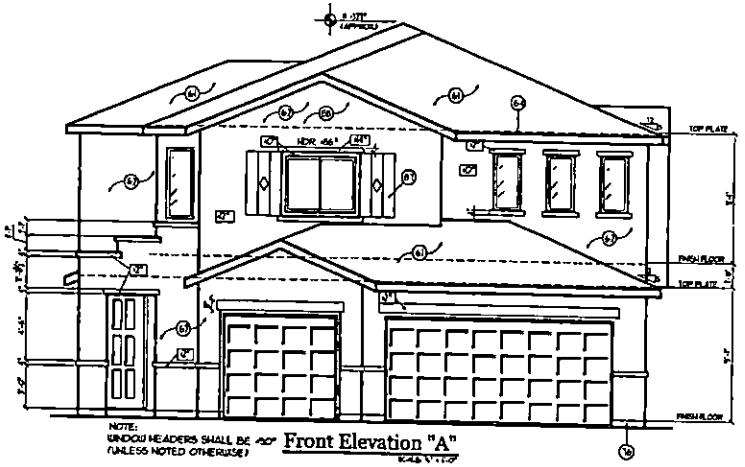
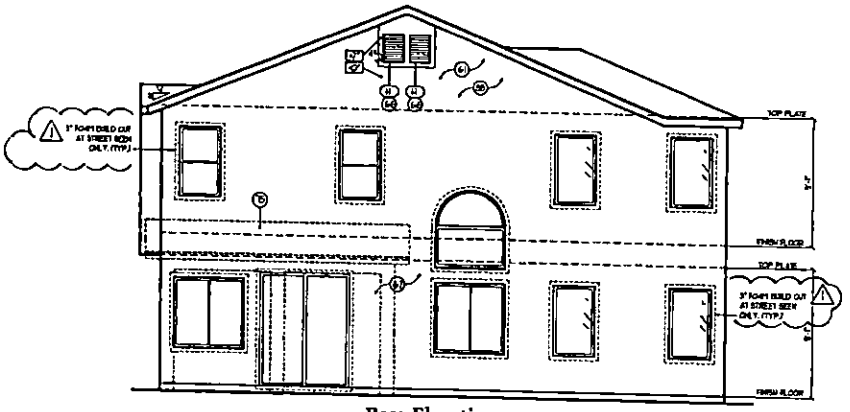


Roof Plan - Elevation "A"

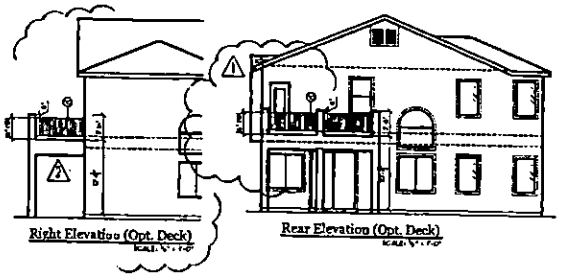


NOTE:
WINDOW HEADERS SHALL BE 6'-0" (UNLESS NOTED OTHERWISE)

Front Elevation "A"

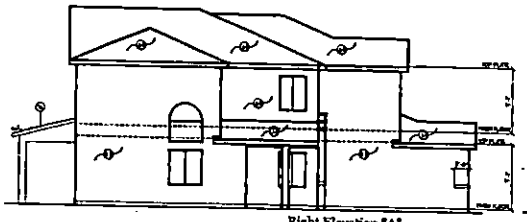


Rear Elevation

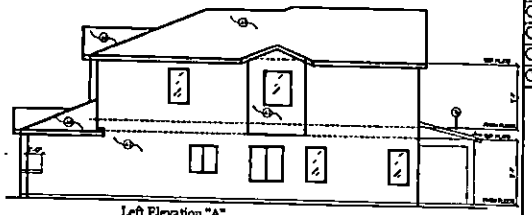


Right Elevation (Opt. Deck)

Rear Elevation (Opt. Deck)



Right Elevation "A"



Left Elevation "A"

KEYNOTES

GENERAL ELEVATION NOTES

1. FOAM APPLICATIONS SHALL COMPLY PER IRC
2. WINDOW HEADERS SHALL BE 6'-0" (UNLESS NOTED OTHERWISE)
3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS

6.1 FLAT CONCRETE TILE W/ TYPE 30 FELT (NON LAPPED 3" TRANS) (END LAPPED 6") (19.1mm) (457" TRS. CRS) (TYP.)
6.2 STUCCO (PORTLAND BOARD W.B.D. 14004 OTHERWISE BARRIER WITH INDEX OF 8)
6.3 STONE VENEER - APPLICATION SHALL COMPLY IRC
6.4 1x6 ROUGH SAWN FASCIA
6.5 TEMPERED GLASS (PAINTED BLACK) FOR DECORATIVE PURPOSES ONLY
6.6 PROVIDE CORROSION RESISTANT METAL FLASH W/ FRESH OPENINGS OF 1/4" (6.4mm) IN DIMENSION
6.7 ADDRESS PLATE - 6" W/ OPT. COACH LIGHT - 4'-6"
6.8 FIREBLOCKING - 48" - TYPICAL
6.9 ALL BOARD - ATTIC AREAS ABOVE PLATE REAR
6.10 DECORATIVE WROUGHT IRON BARS / WROUGHT IRON GATE GATE - PONY WALL - OPT. COURTYARD ONLY. SEE DETAIL "B", SHEET 4C2
11 BALLOON FRAME TO BOTTOM OF TRUSS
12 LINE OF CEILING
13 CONTINUE STUCCO TO SLAB
14 DECORATIVE 6" ROUND CLAY PIPES
15 OPT. PATIO COVER WITH 8" BOX COLUMNS - ROOF SLOPED 3/4" EVERY 12"
16 PROVIDE No. 26 GALVANIZED SHEET GAGE CORROSION RESISTANT DEEP SCREED 4" ABOVE EARTH, 2" ABOVE PAVED
17 R-30 INSULATION
18 2x4's @ 16" O.C. - TYP. - EXTERIOR LOAD BEARING WALL - R-13 BATT with FACING - PROVIDE FIREBLOCKING WHERE REQUIRED
19 PREFABRICATED TRUSSES @ 24" O.C. - SEE TRUSS CALCULATIONS FOR CONFLICTING INFORMATION
20 1/2" GYPSUM BOARD
21 1-3/16" - SCREENED COMBUSTIBLE AIR VENTS - LOCATE PER MFG. INSTALL
22 CHANCAY CLOSED VENT 16.8 (NUMERICAL 1000-0.6) - SEE ROOF LAYOUT FOR LOCATIONS - INSTALL PER PLANS SPECIFICATIONS
23 OPT. SERVICE DOOR
24 DECORATIVE GARAGE WOOD DOORS - SEE SPECIFICATIONS - OPT. DECORATIVE FRONT DOOR TO MATCH GARAGE
25 PRE FUNFAC-TURED DECORATIVE ROOF SPINE
26 PRE FUNFAC-TURED METAL ROOF WITH ROOF SPINE
27 SHUTTERS (FOR w/ WOOD) - SEE SPECIFICATIONS
28 PROVIDE CORROSION-RESISTANT SHEET METAL FLASH FOR PLASTIC WHILE A TION IS NOT EXPOSED - ATTIC FIRE T 3x20.41
29 IN THE EVENT THAT PRUNING PERMITS - GABLE AREA BLOCK NET FREE AREA PROVIDE REQUIRED ACCEPTABLE PRUNING
30 ROOF VALLEY FLASHING SHALL NOT BE PROVIDED OF LESS THAN 20 GA. CORROSION-RESISTANT METAL.
31
32
33
34
35

VENT SCHED.

GENERAL ATTIC VENT NOTES

1. ROOF VENTILATION SHALL COMPLY PER IRC.
- SEE COVER SHEET FOR INFORMATION ON REQUIRED ATTIC VENTILATION

A	8"x12"	B	12"x18"	C	16"x18"	D	16"x24"
E	16"x30"	F	18"x27"	G	18"x36"	H	18"x24"
I	20"x30"	J	20"x36"	K	24"x30"	L	20"x36"
M	20"x36"	N	36"x36"	O	8" TRI	P	8" TRI
Q	8" ROUND	R	10" ROUND	S	8" HALF ROUND	T	10" HALF ROUND
U	CORNER VENT	V	CLOSED VENT	W	2-7-1 GABLE VENT	X	2-7-1 GABLE VENT
Y	4-7-1 GABLE VENT	Z	5"x12" SCREEN				

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR'S LICENSE #0026417
DIVISION PRESIDENT
ERNESTO BELAIR, JR.

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "A"

Drawn by: R.M.Q.
Date: 04/22/04

REV.	DATE
A	08/13/04
A	08/13/04
3	
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5	
6	

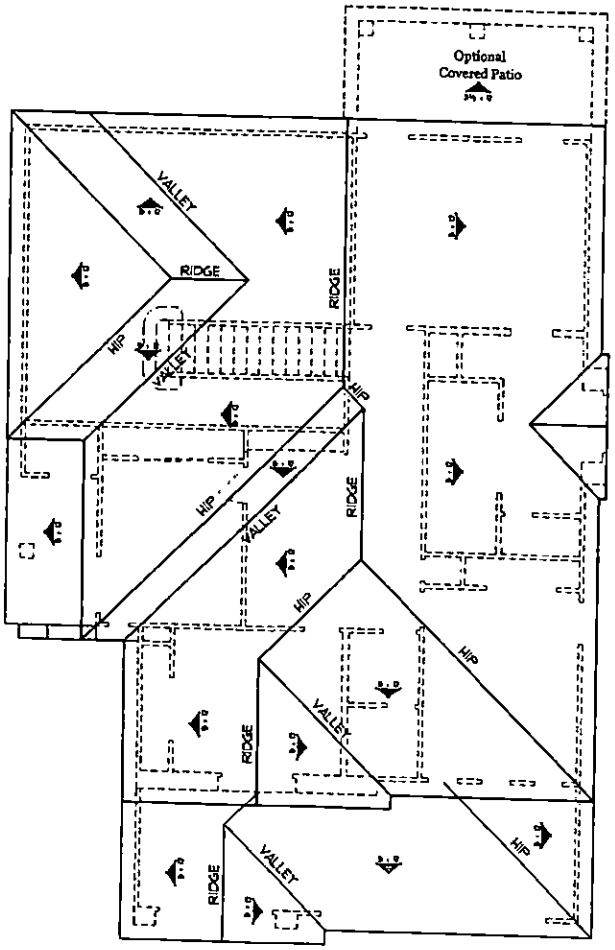
JOB No. 2526

SUBDIVISION: BRIGHTON
2504-02A

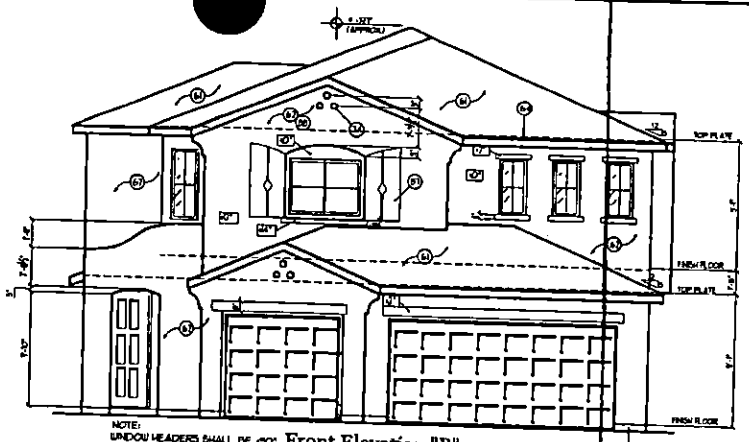
SHEET No. A2.A

ZON-17693 SDR-17694
REVISED 02/08/07 PC

JAN 2 2 2007

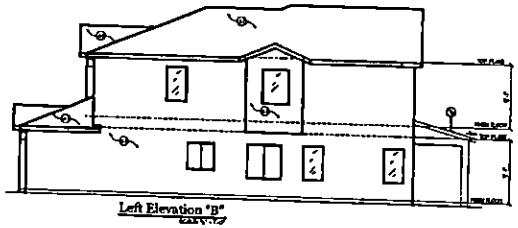


Roof Plan - Elevation "B"



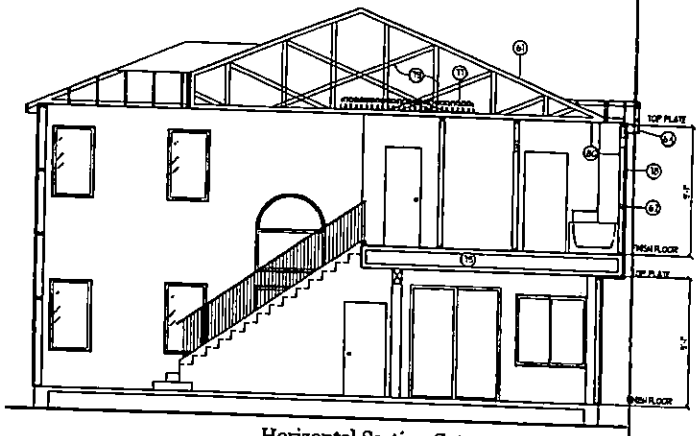
NOTE:
WINDOW HEADERS SHALL BE 4'-0" (UNLESS NOTED OTHERWISE)

Front Elevation "B"
SCALE: 1/4" = 1'-0"



Left Elevation "B"

Right Elevation "B"



Horizontal Section Cut
SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
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LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
CLARK COUNTY - HENDERSON
LAS VEGAS, N. NORTH LAS VEGAS

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "B"

R.M.O.
REV. 04/22/02

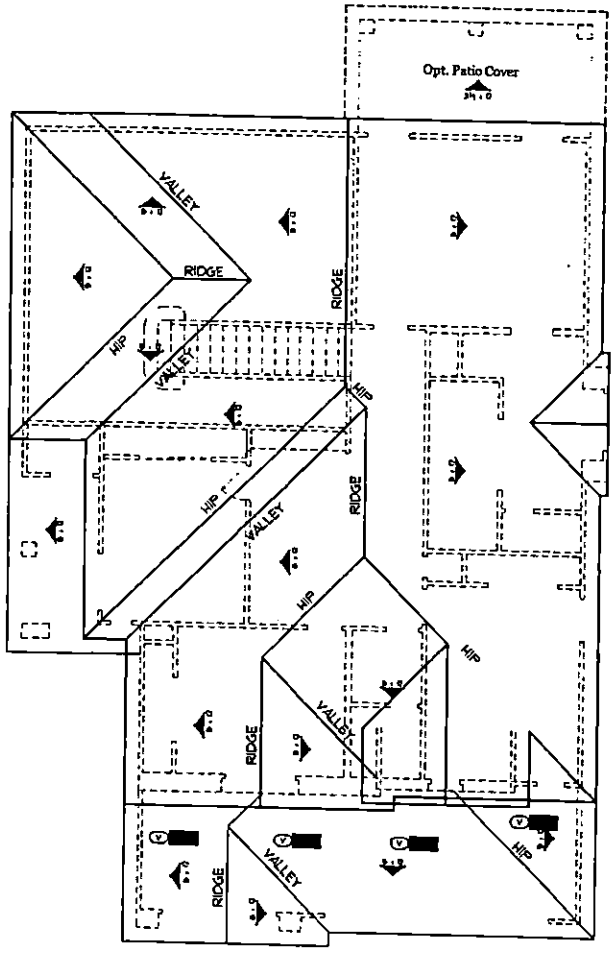
2526

Brighton

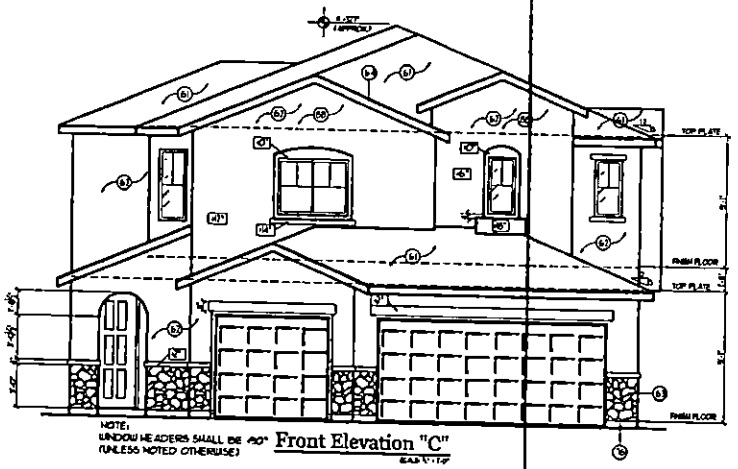
A2.B

RECEIVED
JAN 2 2 2007

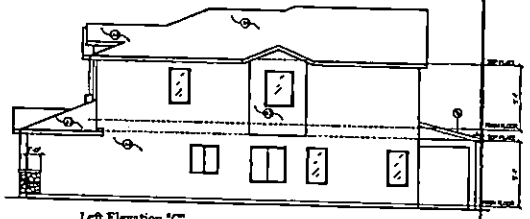
ZON-17693 SDR-17694
REVISED 02/08/07 PC



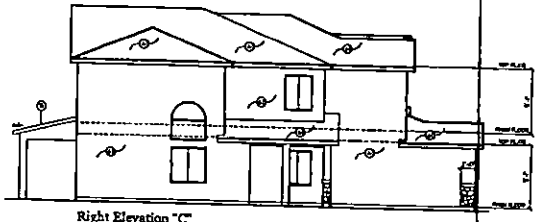
Roof Plan - Elevation "C"



Front Elevation "C"



Left Elevation "C"



Right Elevation "C"

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RICHMOND AMERICAN HOMES
CLARK COUNTY - HENDERSON
LAS VEGAS & NORTH LAS VEGAS

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "C"

R.M.O.
04/22/02

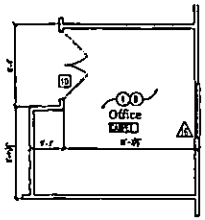
2526

Brighton

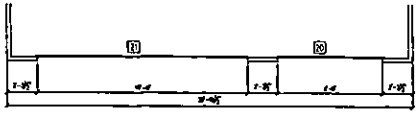
A2.C

ZON-17693 SDR-17694
REVISED 02/08/07 PC

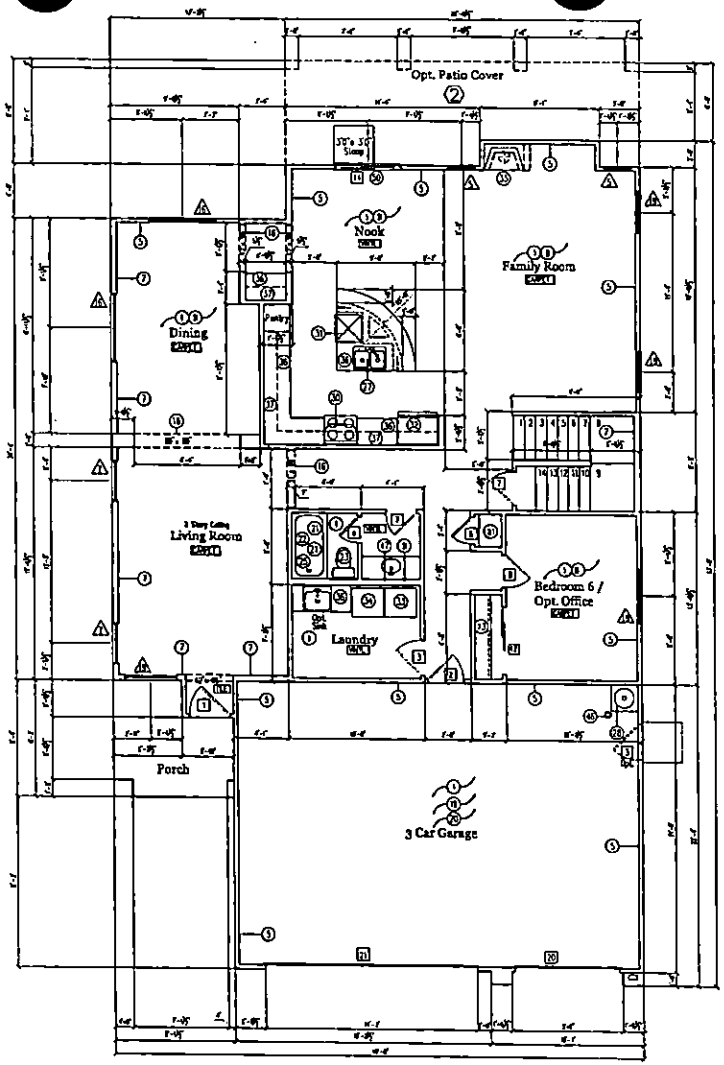
JAN 2 2 2007



Optional Office



1st Floor Plan - Elevation "C"



1st Floor Plan - Elevations "A"

KEYNOTES

Framing - Drywall

Plumbing Fixtures

Appliances

Cabinets - Shelves

Foundations - Finishes - Misc.

DOOR SCHED.

A = HOLLOW CORE, OF 1 3/8" SOLID CORE WITH SELF CLOSER AND TIGHT FITTING THRESHOLD. ONE-HOUR FIRE-RESISTIVE MATERIAL ON GARAGE SIDE

B = SOLID CORE -
C = HOLLOW CORE
D = TEMPERED GLASS
E = TEMPERED GLASS - 1-LITE FRENCH SWING DOOR
F = GARAGE DOOR (SEE ELEV. APPEARANCE) (SEE DETAIL C/D11 FOR GARAGE DOOR JAMB)

No.	TYPE	SIZE	FUNCTION
1	A	8'-0" x 7'-0"	SWING
2	A	7'-0" x 6'-0"	SWING
3	B	2'-6" x 7'-0"	SWING
4	-	-	-
5	-	-	-
6	C	2'-6" x 6'-0"	SWING
7	C	2'-6" x 7'-0"	SWING
8	E	2'-6" x 7'-0"	SWING
9	-	-	-
10	C	2'-6" x 7'-0"	SWING
11	-	-	-
12	C	2'-6" x 6'-0"	BI-PASS
13	-	-	-
14	C	2'-6" x 6'-0"	SWING
15	-	-	-
16	E	2'-6" x 6'-0"	SWING-FRENCH
17	-	-	-
18	-	-	-
19	-	-	-
20	E	2'-6" x 7'-0"	ROLL - UP
21	E	16'-0" x 7'-0"	ROLL - UP
22	-	-	-

WDW. SCHED.

A = ALUMINUM FRAME, MOVABLE GLASS GLAZING AND POSITIVE LOCKING MECHANISM
B = SAME AS "A", TEMPERED GLASS
C = SAME AS "A", TEMPERED GLASS WITH SAFETY SILL

NOTE: THE ACTIVE PANE OF ALL WINDOWS INDICATED "A" LOCATED IN BEDROOMS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQUARE FT. OPENABLE HGT. OF 24" OPENABLE WIDTH OF 20", AND THE FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE FINISHED FLOOR

LIGHT AND VENTILATION REQUIREMENTS FOR ALL WINDOWS ARE TO COMPLY WITH IRC

GLASS IN HAZARDOUS AREAS AND ALL GLASS IN WITHIN 18" OF THE FLOOR SHALL BE SAFETY GLASS WITH IRC

NO.	TYPE	SIZE	FUNCTION	HGT.
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	1	5'-0" x 5'-0"	FIX	44"
5	2	5'-0" x 5'-0"	FIX	44"
6	-	-	-	-
7	3	5'-0" x 5'-0"	FIX	44"
8	4	5'-0" x 5'-0"	FIX	44"
9	4	5'-0" x 5'-0"	FIX	44"
10	-	-	-	-
11	-	-	-	-
12	5	5'-0" x 5'-0"	FIX	44"
13	2	5'-0" x 5'-0"	FIX	44"
14	-	-	-	-
15	-	-	-	-
16	5	5'-0" x 5'-0"	FIX	44"
17	6	5'-0" x 5'-0"	FIX	44"

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR'S LICENSE #0024417
DIVISION PRESIDENT
BRYCE T. BELSER, JR.

FLOOR PLAN
(1st Floor)

DRAWN BY: E.O.H.
DATE: 07/22/04

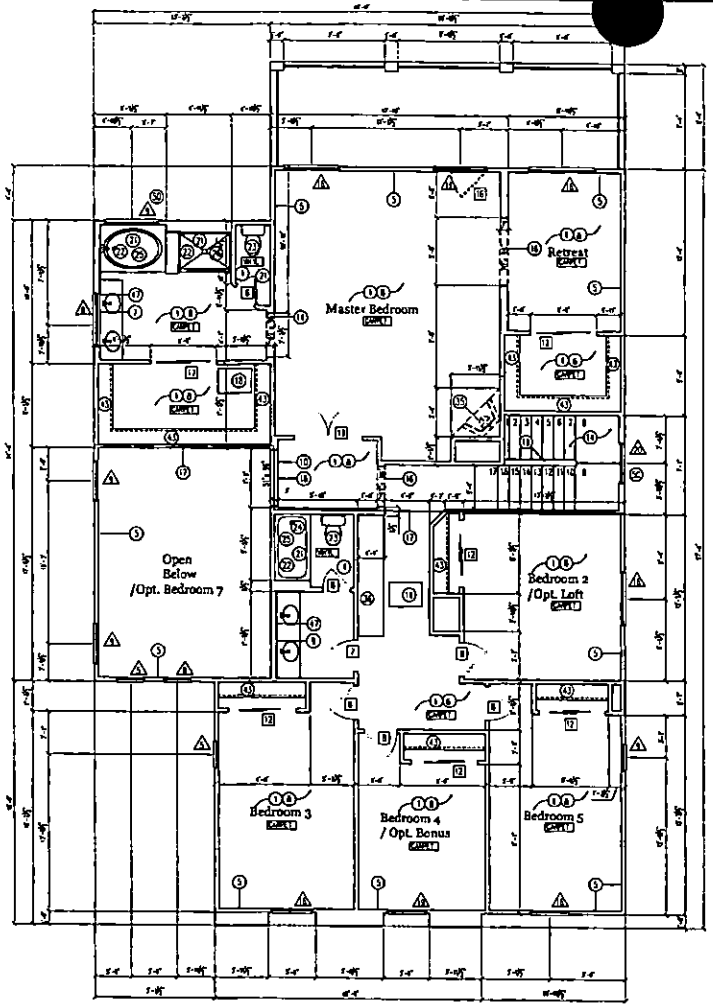
REV. NO.	DATE
1	03/14/05
2	03/16/05
3	09/09/05
4	
5	
6	

PLAN # 3241

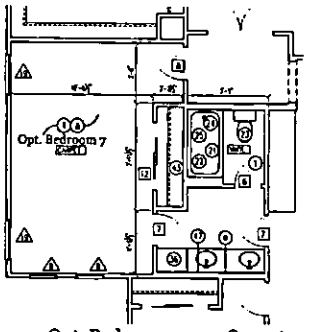
SUBDIVISION: SHADOW BROOK 2700A1

SHEET No. A1.0

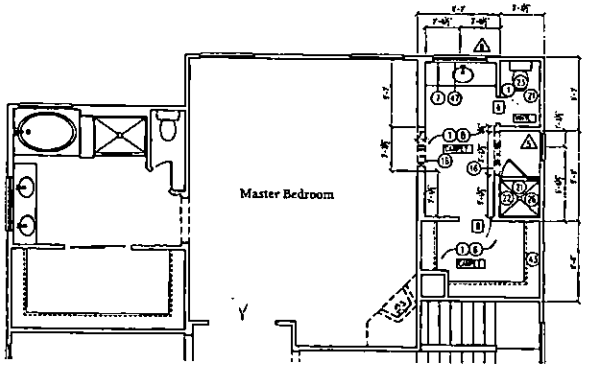
ZON-17693 SDR-17694
REVISED 02/08/07 PC



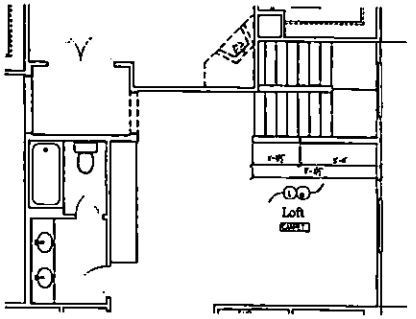
2nd Floor Plan - Elevation "A"



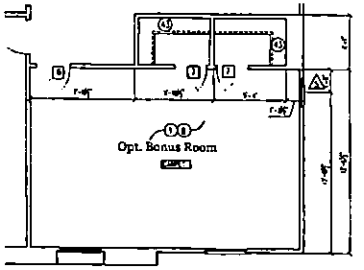
Opt. Bedroom 7 over Open Area



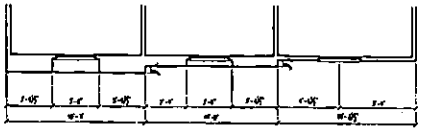
Opt. Dual Master Bath



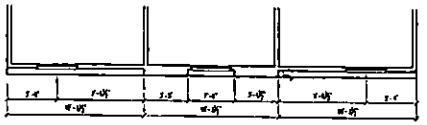
Opt. Loft in leiu of Bedroom 2



Opt. Bonus Room in leiu of Bedroom 4 & 5



2nd Floor Plan - Elevation "B"



2nd Floor Plan - Elevation "C"

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89120 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0028417
B VISION PROPERTY
ERNEST J. BELAIR JR.

FLOOR PLAN
2nd Floor

E.O.T.
03/23/06

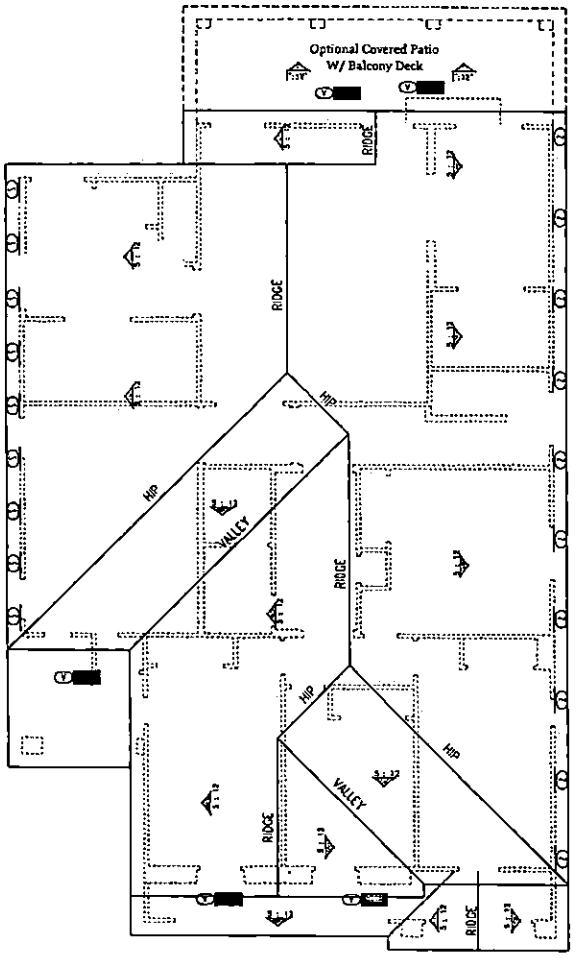
REV.	DATE
1	03/16/06
2	05/16/06
3	08/04/06
4	
5	
6	

3241

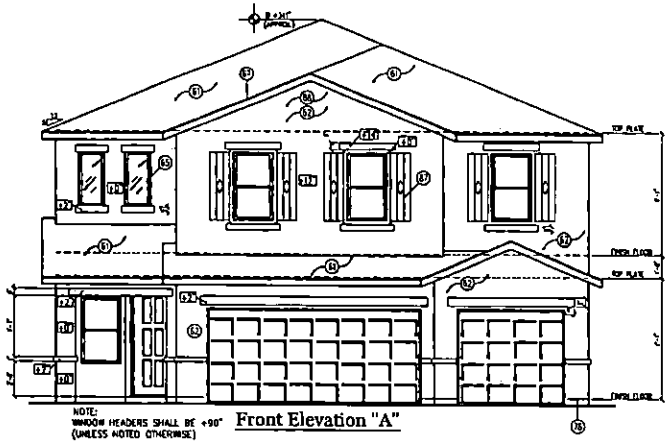
SHADOW BROOK
3241A12

A1.2

ZON-17693 SDR-17694
REVISED 02/08/07 PC

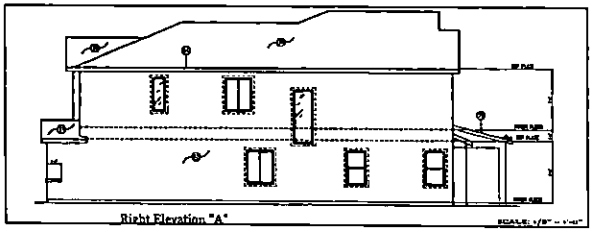


Roof Plan - Elevation "A"

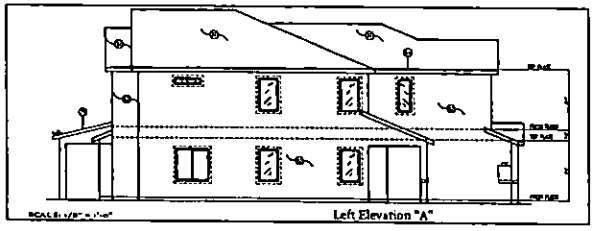


NOTE:
WINDOW HEADERS SHALL BE +90"
(UNLESS NOTED OTHERWISE)

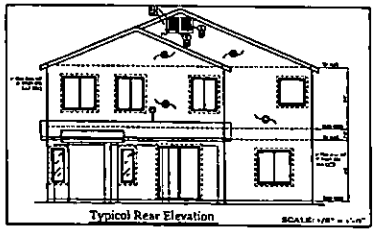
Front Elevation "A"



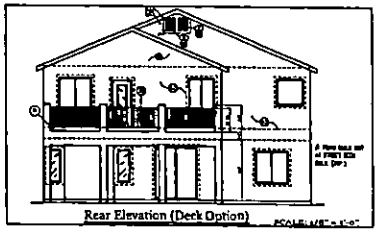
Right Elevation "A"



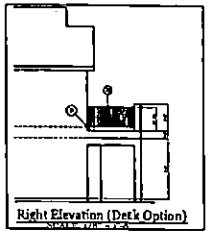
Left Elevation "A"



Typical Rear Elevation



Rear Elevation (Deck Option)



Right Elevation (Deck Option)

SCALE: 1/4" = 1'-0"

KEYNOTES

1. FOAM APPLICATIONS SHALL COMPLY PER IRC
2. WINDOW HEADERS SHALL BE @ 7'-6" (UNLESS NOTED OTHERWISE)
3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS

VENT SCHED.

1. ROOF VENTILATION SHALL COMPLY PER IRC

- SEE COVER SHEET FOR INFORMATION ON REQUIRED ATTIC VENTILATION

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5800

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0026447
DIVISION PRESIDENT
ERNEST J. DELAIN JR.

FILE: ROOF FRAMING / FRONT, REAR, & SIDE OF ELEVATION "A"

DRAWN BY: E.D.J.
DATE: 07/22/04

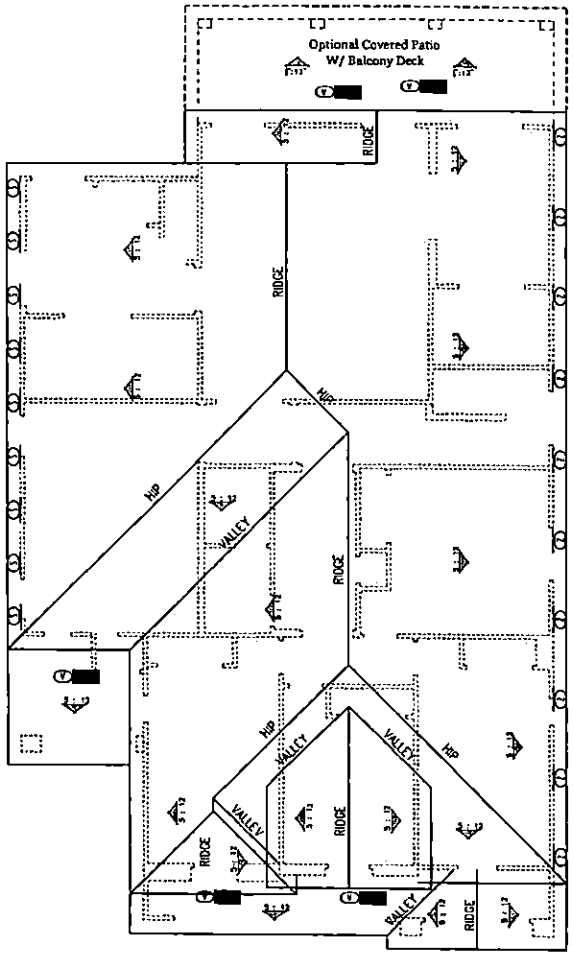
REV No.	DATE
1	03/08/05
2	05/16/05
3	06/06/05
4	
5	
6	

PLAN # 3241

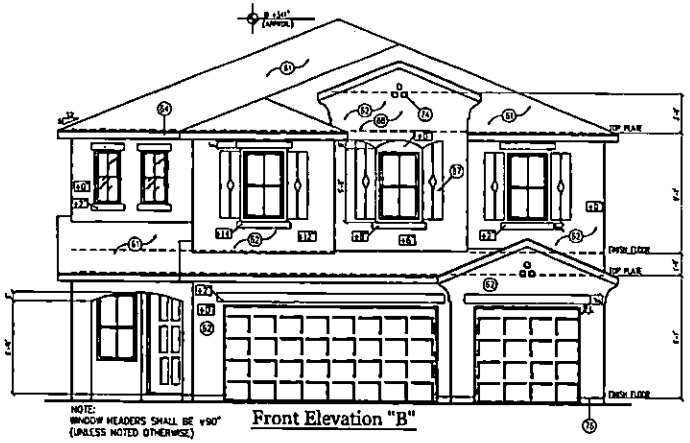
SUBDIVISION: SHADOW BROOK 3241A2A

SHEET No. A2.A

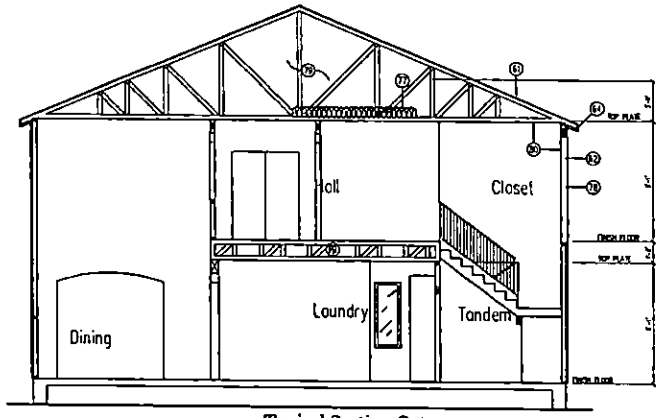
ZON-17693 SDR-17694
REVISED 02/08/07 PC



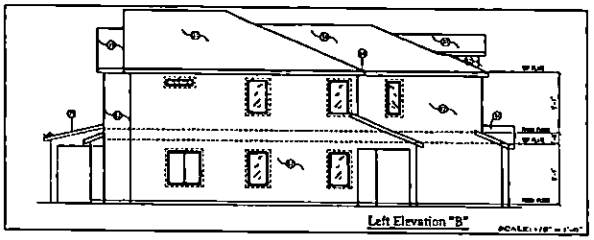
Roof Plan - Elevation "B"



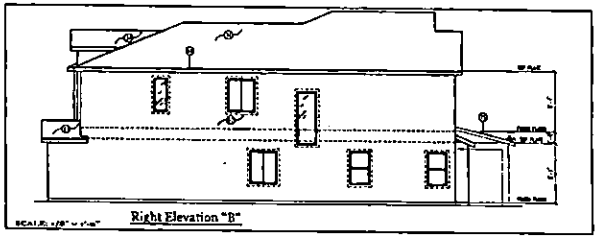
Front Elevation "B"



Typical Section Cut



Left Elevation "B"



Right Elevation "B"

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0026417
DIVISION PRESIDENT
ERNEST J. BELCASTRO, III

TITLE: ROOF FRAMING / FRONT, REAR, & SIDE OF ELEVATION "B" / SECTION CUT

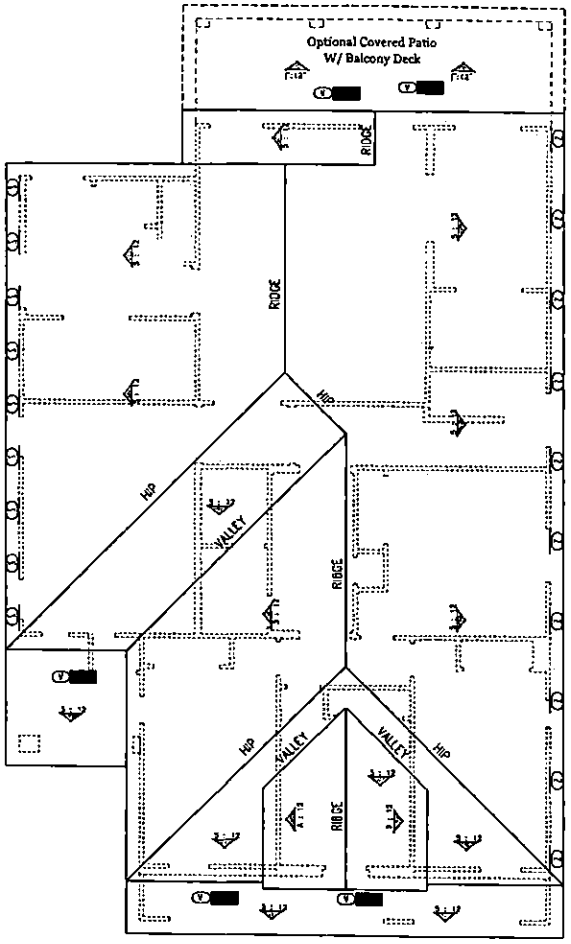
Drawn By	M.O.T.
Date	07/22/04
1	03/16/05
2	05/16/05
3	08/04/05

Plan # 3241

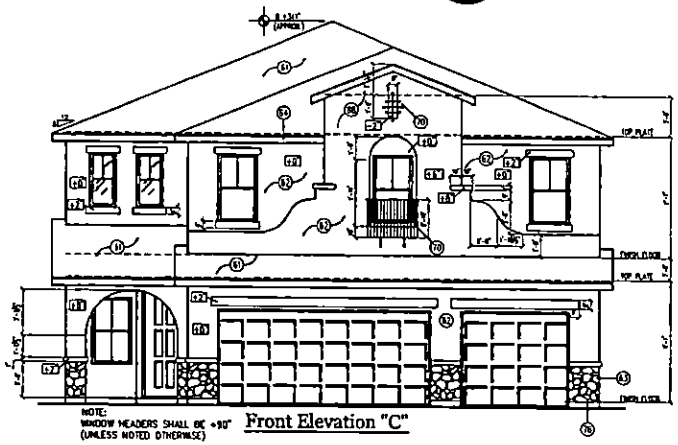
SUBDIVISION: SHADOW BROOK
3241A2B

SHEET No. A2.B

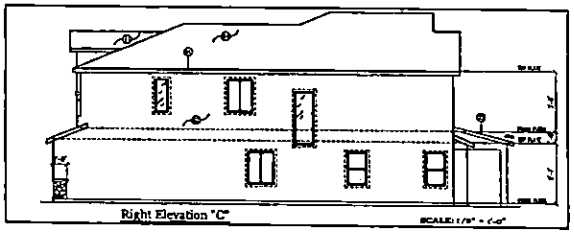
ZON-17693 SDR-17694
REVISED 02/08/07 PC



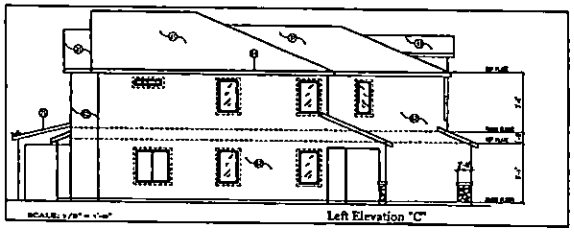
Roof Plan - Elevation "C"



Front Elevation "C"



Right Elevation "C"



Left Elevation "C"

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV. 89178 (702) 240-5600

RICHMOND AMERICAN HOMES
STATE CONTRACTOR LICENSE #0026417
DIVISION PRESIDENT
ERNEST I. BELAIR, JR.

ROOF FRAMING / FRONT, REAR & SIDE
OF ELEVATION "C"

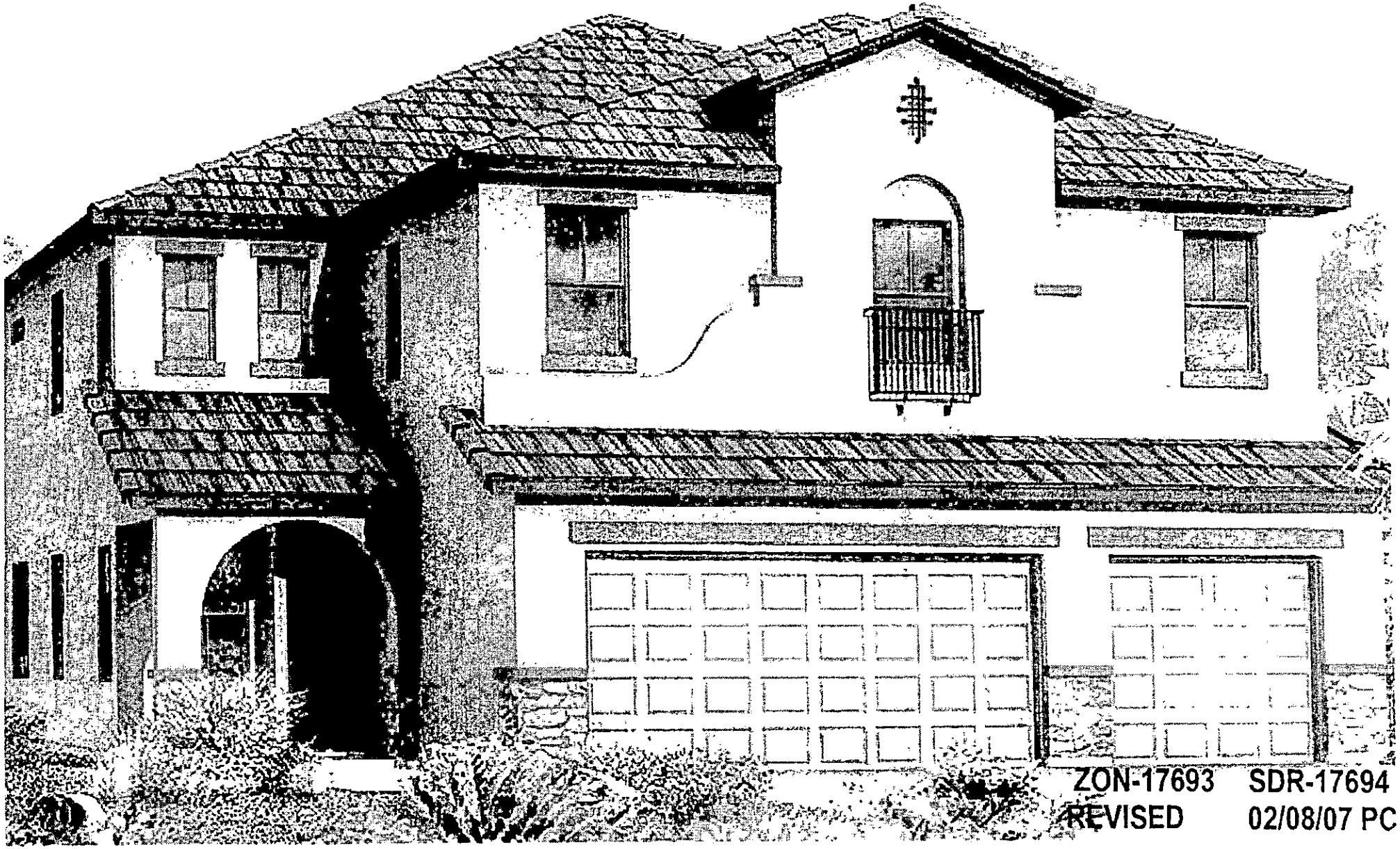
		C.O.H.
		01/22/04
		01/26/05
A		02/08/05
	1	03/08/05
	2	03/09/05
	3	03/09/05
	4	
	5	

3241

SHADOW BROOK

A2.C

ZON-17693 SDR-17694
REVISED 02/08/07 PC

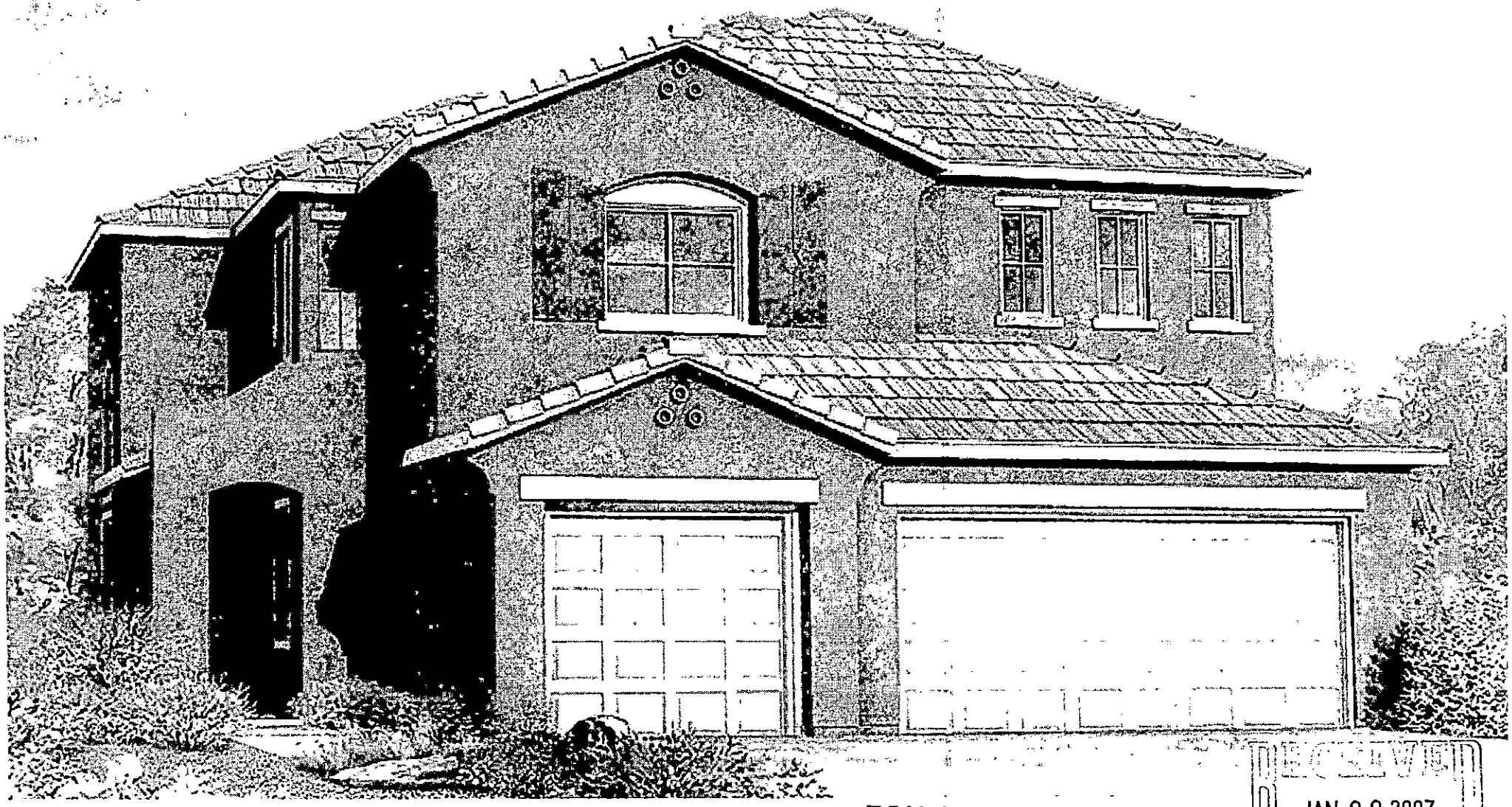


ZON-17693 SDR-17694
REVISED 02/08/07 PC

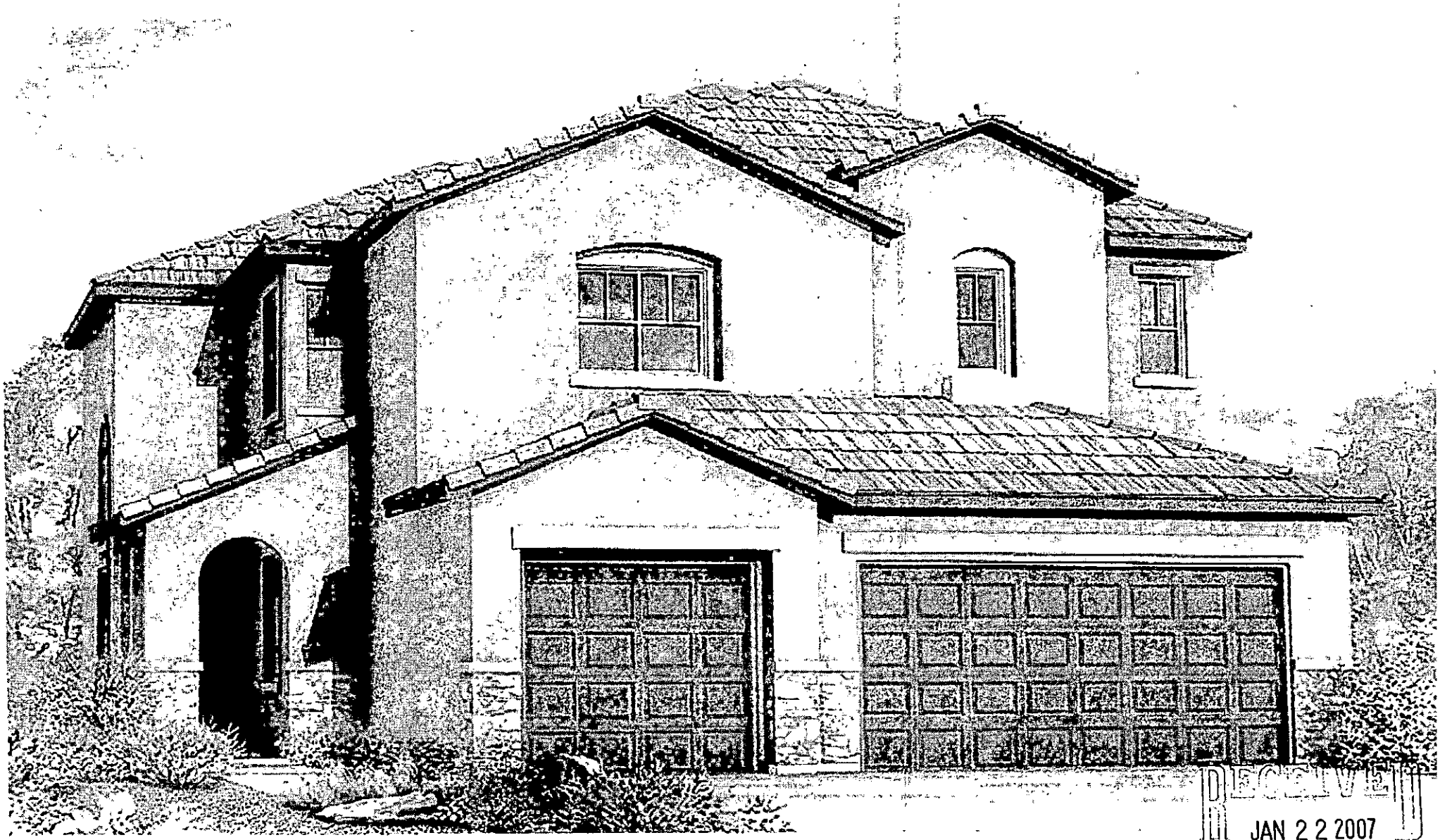
ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694 JAN 2 2 2007
REVISED 02/08/07 PC



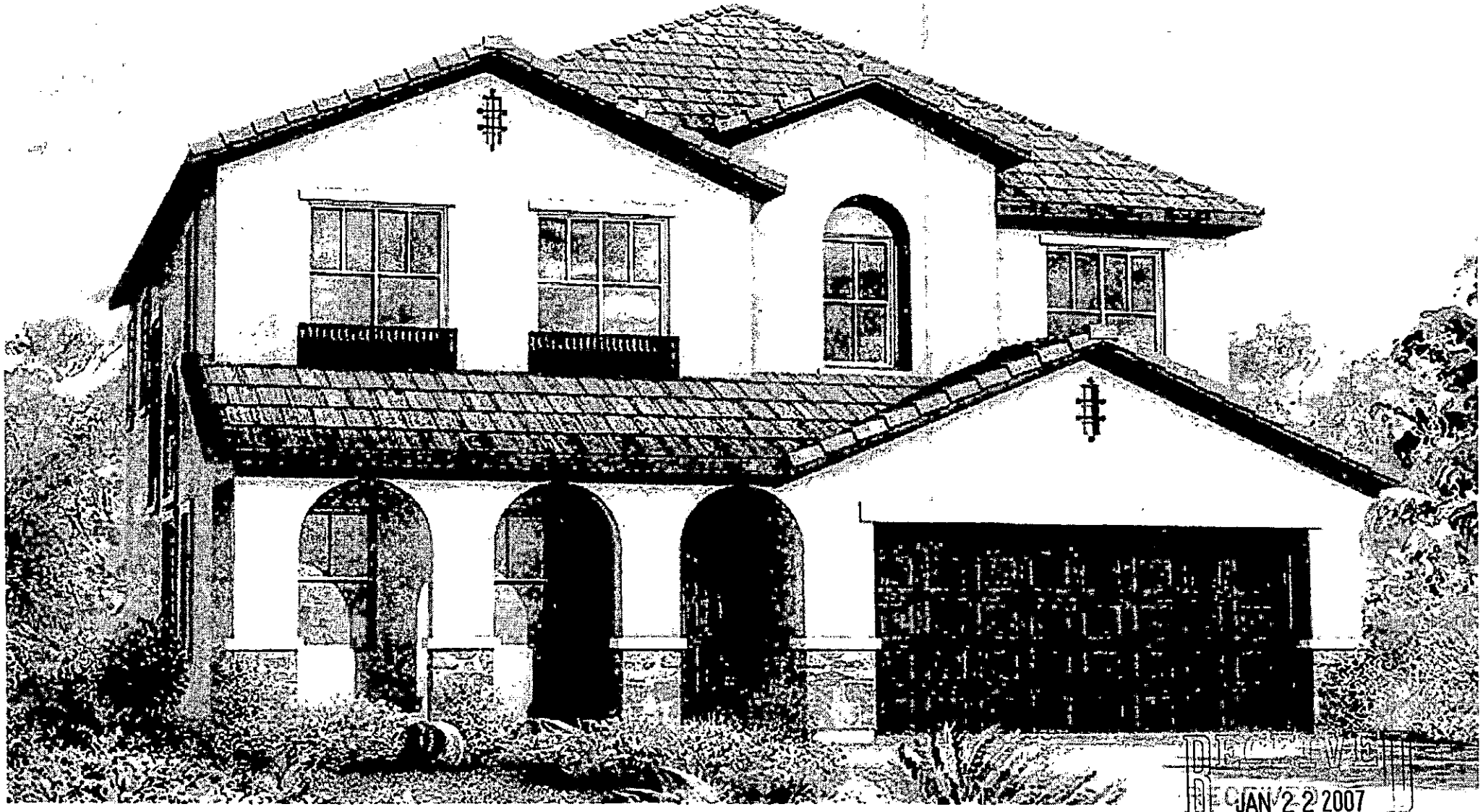
ZON-17693 SDR-17694
REVISED 02/08/07 PC



ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC



ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC

ZON-17693 SDR-17694
REVISED 02/08/07 PC

Color Scheme Document

Design for **RICHMOND AMERICAN HOMES**

SAPPHIRE SPRINGS

Color A	Scheme #1	Scheme #2	Scheme #3	Scheme #4	Scheme #5	Scheme #6	Scheme #7	Scheme #8
Lightest Stucco & Trim Color	CZ 15 11283	CZ 15 10497	8233M CRISP KHAKI	CZ 15 11520	351 MESA TAN	CZ 15 9361	8683W TINDERBOX	CZ 15 8506
Medium Stucco & Trim Color	525 BAJA BEIGE	CZ 15 12768	CZ 15 9508	CZ 15 12094	CZ 15 8286	CZ 15 6683	CZ 15 12772	CZ 15 11856
Darkest Stucco & Trim Color	CZ 15 8111	CZ 15 10150	CZ 15 8109	CZ 15 12481	CZ 15 12130	CZ 15 12771	CZ 15 10436	CZ 15 12774
Trim & Accent Color #1	CZ 15 7897	CZ 15 11868	CZ 15 7399	CZ 15 12769	8825D JACARANDA BROWN	CZ 15 6306	CZ 15 10733	CZ 15 10144
Trim & Accent Color #2	8745A KAYAK BROWN	CZ 15 8700	CZ 15 9838	CZ 15 12770	8746N TIMBER TRAIL	CZ 15 10188	CZ 15 12773	CZ 15 12775
Trim & Accent Color #3	540 GABLES	8656N GREEK OLIVE	8316N BLACK BURGUNDY	8296N TREASURE CHEST	8796N BLACK METAL	8696N TWISTED BRANCH	8816N BURNT HICKORY	8646N BLACKENED BEAN

JAN 2 2 2007

ZON-17693 SDR-17694
REVISED 02/08/07 PC

SDR 17693

Sharon Turbiville, Delmar Dinkins and Terry & Kathryn Karas

NE & SECs Solar & Bradley

Proposed 59 unit single-family development.

Traffic produced by proposed development:

	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	59	9.57	**565**
AM Peak Hour			0.75	**44**
PM Peak Hour			1.01	**60**
(heaviest 60 minutes)				

Existing traffic on all nearby streets: No counts available for Solar or Unicorn

Bradley Road	
Average Daily Traffic (ADT)	1,422
PM Peak Hour	114
(heaviest 60 minutes)	
Elkhorn Road	
Average Daily Traffic (ADT)	3,255
PM Peak Hour	260
(heaviest 60 minutes)	

Traffic Capacity of adjacent streets:

	Adjacent street ADT Capacity
Bradley Road	16200
Elkhorn Road	31730

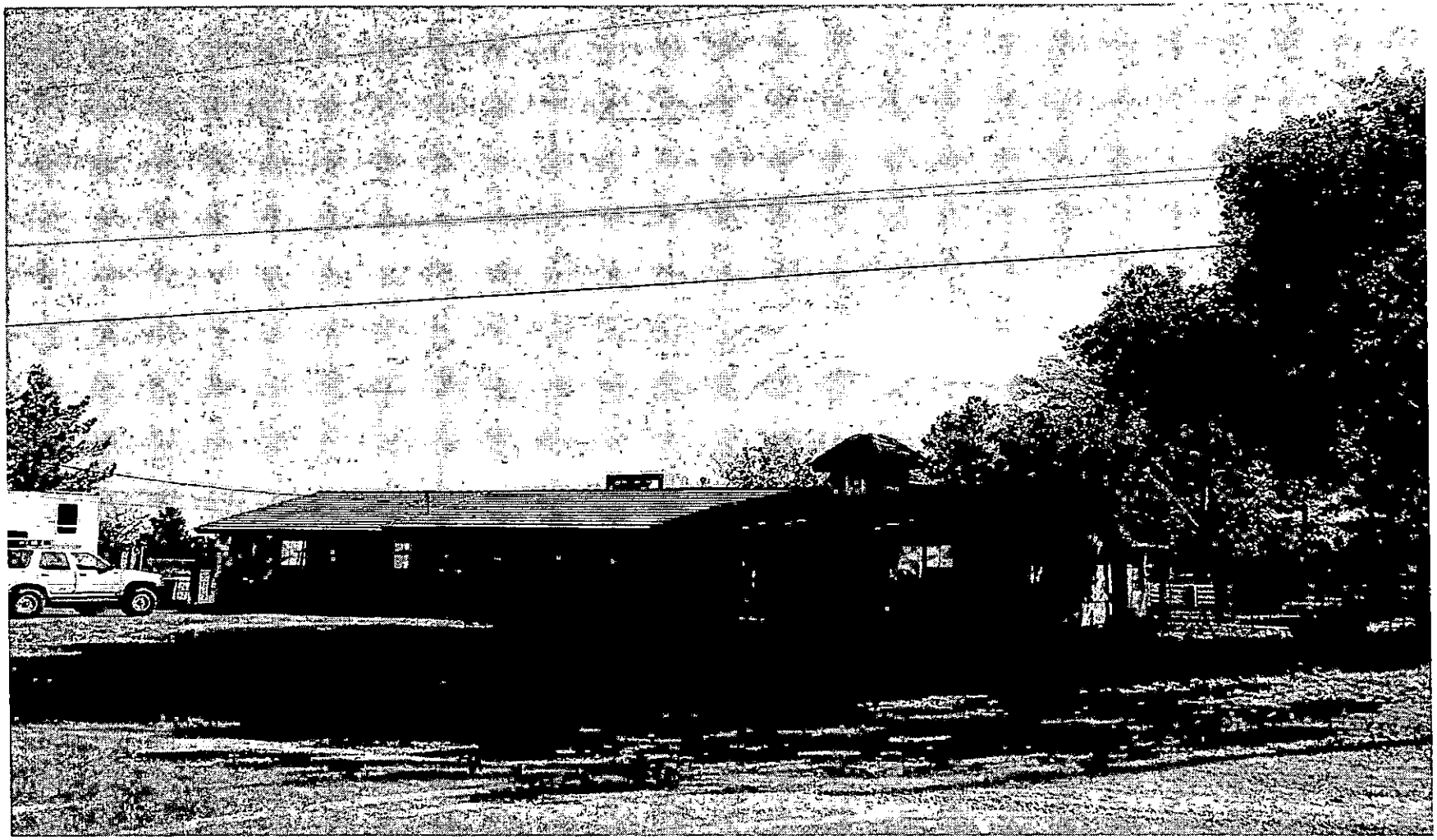
This project will add approximately 565 trips per day on Bradley, Solar, Unicorn and Elkhorn. This will increase expected volumes by about 40 percent on Bradley and 17 percent on Elkhorn. Bradley is at about 9 percent of capacity and Elkhorn at about 10 percent of capacity. Counts are not available for Solar or Unicorn, but they are believed to be under capacity.

Based on Peak Hour use, this development will add roughly 60 additional cars into the area; which works out to about one every minute.

Note that this report assumes all traffic from this development uses all named streets.

ZON-17693 AND SDR-17694 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS
ADJACENT TO THE NORTHEAST AND SOUTHEAST CORNER OF BRADLEY ROAD AND SOLAR AVENUE
FEBRUARY 8, 2007 PLANNING COMMISSION

11/06/06



ZON-17693 AND SDR-17694 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS
ADJACENT TO THE NORTHEAST AND SOUTHEAST CORNER OF BRADLEY ROAD AND SOLAR AVENUE
FEBRUARY 8, 2007 PLANNING COMMISSION

11/06/06

Triton
Engineering

January 19, 2007

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

Reference: **Request for Site Development Review**
Bradley / Solar
APN # 125-13-801-001; 125-13-801-005; 006
SDR# 17694

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Site Development Review request for a proposed 40 lot single family project called "Bradley / Solar".

The applicant is requesting a Site Development Review for a proposed 40 lot single-family residential development on 7.27 acres (5.50 u/ac). Parcels adjacent to the proposed site have the following land use and zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE –R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

We are requesting the following setbacks for the RPD-6;

Typical Lot Size:	4,200 sq ft
Front to Building:	10' Minimum
Front to Garage:	18' plus Minimum
Side Yard to side of building or roof edge:	3' feet Minimum
Side on Corner to Side of building	10' feet Minimum
Rear Yard	10' feet Minimum

Richmond American Homes believes that requesting RPD-6 zoning will compliment the area and would provide affordable housing.

Please place the attached request on the February 8, 2007 Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,

Kris Givant
Project Coordinator

ZON-17693 SDR-17694
REVISED 02/08/07 PC

RECEIVED

6757 W. Charleston Blvd., Suite B • Las Vegas, Nevada 89146
Office: (702) 254-1480 • Fax: (702) 254-3062 • www.tritoneng.com

City of Las Vegas

Agenda Item No.: 10

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - ZON-18196 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI - Request for a Rezoning FROM R-E (RESIDENCE ESTATES) under Resolution of Intent to R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) on 2.18 acres on the north side of the Centennial Parkway Alignment approximately 360 feet east of Leon Avenue (APN-125-24-404-007), Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	1
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
TRUESDELL – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open for Item 10 [ZON-18196] and Item 11 [SDR-17727].

JOHN KORKOSZ, Planning and Development Department, stated the revised site plan is an improvement over the previously approved site plan due to the reconfiguration of the lots and drives and he recommended approval. He also noted revisions to Conditions 3, 4, and 5 of Item 11 [SDR-17727].

MINUTES – Continued:

ROBERT CUNNINGHAM, 4445 South Jones Boulevard, appeared on behalf of the applicant. He explained that this application had been held at the previous Planning Commission meeting in order to work with the neighbors and stated the revised plans addressed their concerns. MR. CUNNINGHAM agreed to all conditions and amendments.

RICK PLUMMER, 5404 Verbena Creek Court, thanked the applicant for his efforts to work with the homeowner's association which he represents, Master Park North, and expressed his support for the revised plans.

COMMISSIONER TRUESDELL commended the applicant for working with the neighbors and addressing their concerns.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 10 [ZON-18196] and Item 11 [SDR-17727].

(6:48 – 6:53)
1-1407

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-17727) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

3. Conformance to the conditions for Variance (VAR-6276), and Site Development Plan Review (SDR-17727), if approved.

Public Works

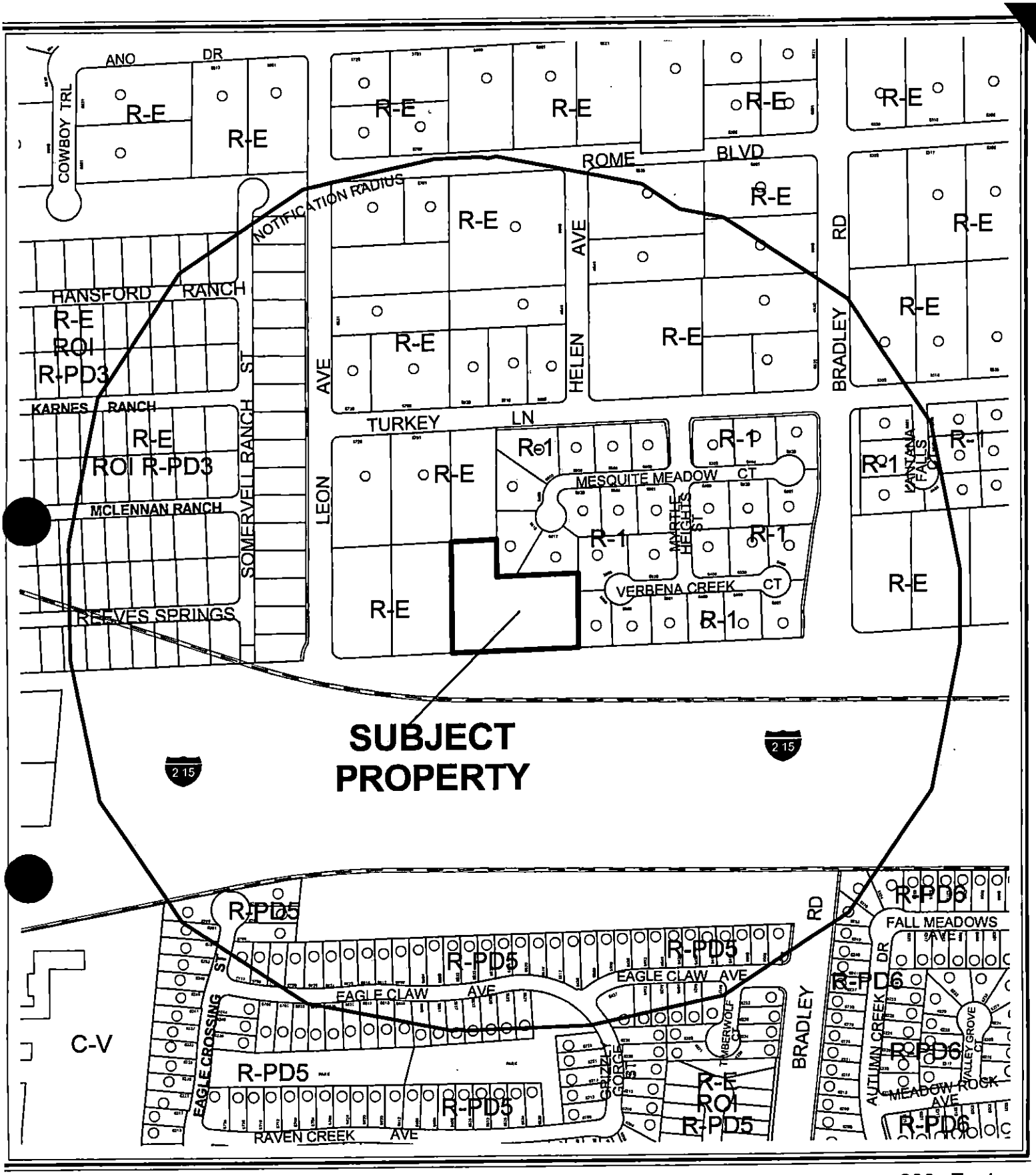
4. Construct rural street improvements on Centennial Parkway adjacent to this site concurrent with development of this site. Rural improvements shall be constructed within the existing 50-foot right-of-way and shall consist of a total width of 39-feet (34-feet of asphalt) and 30-inch rolled curb on both sides of the street. The exterior streetlighting will be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location, but the installation of the streetlights shall be deferred provided that the developer provide to the City such streetlights for the future installation; alternatively, monies in lieu of such streetlights, including bases, may

CONDITIONS – Continued:

be contributed to the City if allowed by the Department of Public Works. Sign and record a covenant running with the land for all urban improvements not constructed at this time on Centennial Parkway. Also, extend a minimum of two lanes of paving in the Centennial Parkway alignment westerly to tie into Leon Avenue.

5. Extend public sewer to the west edge of this site to a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



0 300 600 Feet

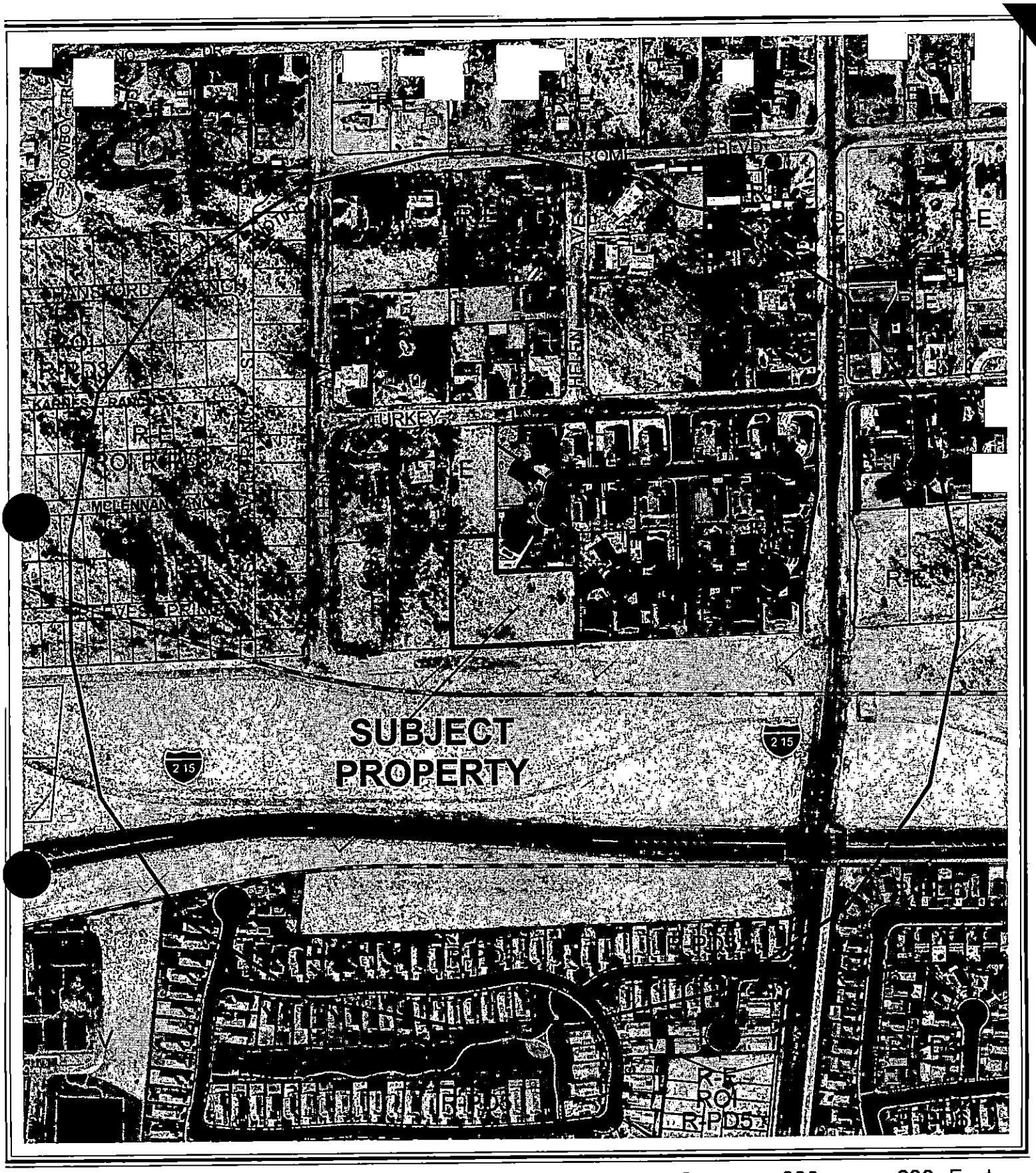
CASE: **ZON-18196**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:
R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

N



0 300 600 Feet

CASE: **ZON-18196**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:
R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - ZON-18196 - APPLICANT/OWNER: BARBARA L. FARMANALI

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL,** subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.

2. A Site Development Plan Review (SDR-17727) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

3. Conformance to the conditions for Variance (VAR-6276), and Site Development Plan Review (SDR-17727), if approved.

Public Works

4. Construct rural street improvements on Centennial Parkway adjacent to this site concurrent with development of this site. Rural improvements shall be constructed within the existing 50-foot right-of-way and shall consist of a total width of 39-feet (34-feet of asphalt) and 30-inch rolled curb on both sides of the street. The exterior streetlighting will be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location, but the installation of the streetlights shall be deferred provided that the developer provide to the City such streetlights for the future installation; alternatively, monies in lieu of such streetlights, including bases, may be contributed to the City if allowed by the Department of Public Works. Sign and record a covenant running with the land for all urban improvements not constructed at this time on Centennial Parkway. Also, extend a minimum of two lanes of paving in the Centennial Parkway alignment westerly to tie into Leon Avenue.

5. Extend public sewer to the west edge of this site to a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-18196 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This request is for a rezoning from R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development - 4 Units Per Acre) to R-PD4 (Residential Planned Development - 4 Units Per Acre) for an eight-lot, single-family subdivision on the north side of Centennial Parkway approximately 350 feet east of Leon Avenue. This proposal is related to Site Development Plan Review (SDR-17727).

BACKGROUND INFORMATION

Related/Relevant City Actions by P&D, Fire, Bldg, etc.	
06/01/05	The City Council approved a Rezoning (ZON-6274) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Variance (VAR-6276) in the minimum area for formation of a R-PD zoning district, and a Site Development Plan Review (SDR-6275) for an 8-lot single-family subdivision. A related Waiver to Title 18 Standards (WVR-6277) was withdrawn without prejudice. The Planning Commission recommended approval of all items, including the Waiver on 04/28/05. Staff recommended denial of all items.
01/11/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision.
01/25/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision.
02/08/07	The Planning Commission will consider a related Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision. Staff recommends approval of both items.
Related Building Permits/Business Licenses	
	No Building Permits or Business Licenses have been issued for the subject site.
Pre-Application Meeting	
10/05/06	A pre-application meeting was held to discuss the requirements for the Site Development Plan Review.
10/24/06	A pre-application meeting was held to discuss the requirements for the Rezoning.
Neighborhood Meeting	
	A neighborhood meeting is not required for this application, nor was one held.

RL

ZON-18196 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

Details of Application Request	
Site Area	
Gross Acres	2.18
Net Acres	1.74

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	L (Low Density Residential)	R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units per Acre)
North	Undeveloped, Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential) and R-E (Residence Estates)
South	Undeveloped,	Right-of-way	Right-of-way
East	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
West	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

RL

DEVELOPMENT STANDARDS

Per Title 19.06, the Development Standards for a Residential Planned Development are as provided in the Site Plan:

Standard	Provided
Min. Lot Size	5,580 Square Feet
Min. Lot Width	55 Feet
Min. Setbacks	
• Front	18 Feet
• Side	3.5 Feet
• Corner	3.5 Feet
• Rear (lots 1-3)	5 Feet*
• Rear (lots 4-8)	10 Feet
Max. Lot Coverage	50%
Max. Building Height	35 Feet/2-Stories

* The optional balcony, if built, on lots 1, 2, and 3 will be set back 5 feet from the rear property line. The rear wall of these houses, as well as the setback on all other lots will be 10 feet from the rear property line.

Per Title 19.08.060

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2.8 du/acre 6 Units on subject site	6 Units	R-PD4 (Residential Planned Development – 4 Units per Acre)	4 du/acre 8 units on subject site	L (Low Density Residential)	5.49 du/acre 11 units on subject site

Per Title 19.12

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Buffer: Min. Trees	1 Tree/30 Linear Feet	9 Trees	10 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 – 8 Feet		6 Feet	Y

Open Space – R-PD only							
Total Acreage	Density	Required			Provided		Compliance
		Ratio	Percent	Area	Percent	Area	
2.18	4 du/acre	1.65	N/A*	N/A*	6.4%	4,824 SF	Y

RL

*A Residential Planned Development of fewer than 12 units is not required to provide open space under the requirements of Title 19.06. However, at this density, if open space was required, the proposed subdivision would be subject to 6.1% or 4,630 square feet. The applicant provides 6.4% or 4,824 square feet of open space, more than would be required.

ANALYSIS

The subject site is designated L (Low Density Residential), on the Centennial Hills Interlocal Land Use Map of the General Plan. Residential development and related uses are allowed in this category up to 5.49 units per gross acre. The proposed development on this site will have a density of 3.67 units per gross acre in conformance to the L (Low Density Residential), designation.

The property is currently located in the R-E (Residence Estates) zoning district under a Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units Per Acre). The Resolution of Intent is under approved Rezoning (ZON-6274) which was approved by the City Council in 2005 along with Variance (VAR-6276) to allow R-PD (Residential Planned Development) zoning on less than five acres, and a Site Development Plan Review (SDR-6275) for an eight-lot residential subdivision. The current application is a major modification of the previous approval. Under the new proposal, the applicant proposes slightly larger lot sizes, and less private roadway. The new request will also reduce the number of intersections between the interior roadway and Centennial Parkway from two to one. The site plan further indicates 4,284 square feet of open space, although no open space is required in an R-PD (Residential Planned Development) zone with fewer than 12 lots. The Variance (VAR-6276) remains current through 06/01/07; however, an Extension of Time will be necessary if the Variance is not exercised by that date. Further, as this modification is for a less intense use than what was previously submitted, staff recommends approval of this Rezoning and its companion application.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

   The General Plan designates the subject property as L (Low Density Residential), which allows densities of up to 5.49 Units Per Acre. The proposed zoning district would allow a density of up to 4.49 Units Per Acre, in conformance to the existing L (Low Density Residential) designation; however the requested application seeks a density of 3.67 Units Per Acre, well within the limits of the zoning district and land use designation.

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

   The proposed rezoning is compatible with surrounding land uses and zoning districts. Immediately surrounding the subject site are parcels that are designated in the R-E (Residence Estates) and R-1 (Single Family Residential) zones. However, nearby property to the west and south include R-PD3 (Residential Planned Development – 3 Units Per Acre), R-PD5 (Residential Planned Development – 5 Units Per Acre) and R-PD6 (Residential Planned Development – 6 Units Per Acre) zoning. The overall density is only slightly higher than the immediate surroundings and comparable to the overall development in its general area. The proposed two-story elevations have been previously approved for the subject site and are now on slightly larger lots.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

   This proposed Rezoning is appropriate as the proposed density on this site will not change from the previous approval, and there is a need for housing at this density in the Centennial Hills Sector.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

   The property is served by Centennial Parkway, a 100-foot Primary Arterial on the Master Plan of Streets and Highways. Appropriate off-site improvements will be required with any proposed development of the site. Once completed, this roadway will be adequate to meet the demands of the proposed R-PD4 (Residential Planned Development – 4 Units Per Acre) zoning district.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 7

ASSEMBLY DISTRICT 13

SENATE DISTRICT	9	
NOTICES MAILED	128	(Mailed with SDR-17727)
APPROVALS	0	
PROTESTS	0	

RL

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-18196 APN: 125-24-404-007

Name of Property Owner: Barbara L. Farmanali

Name of Applicant: Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Barbara Farmanali

Print Name: Barbara Farmanali

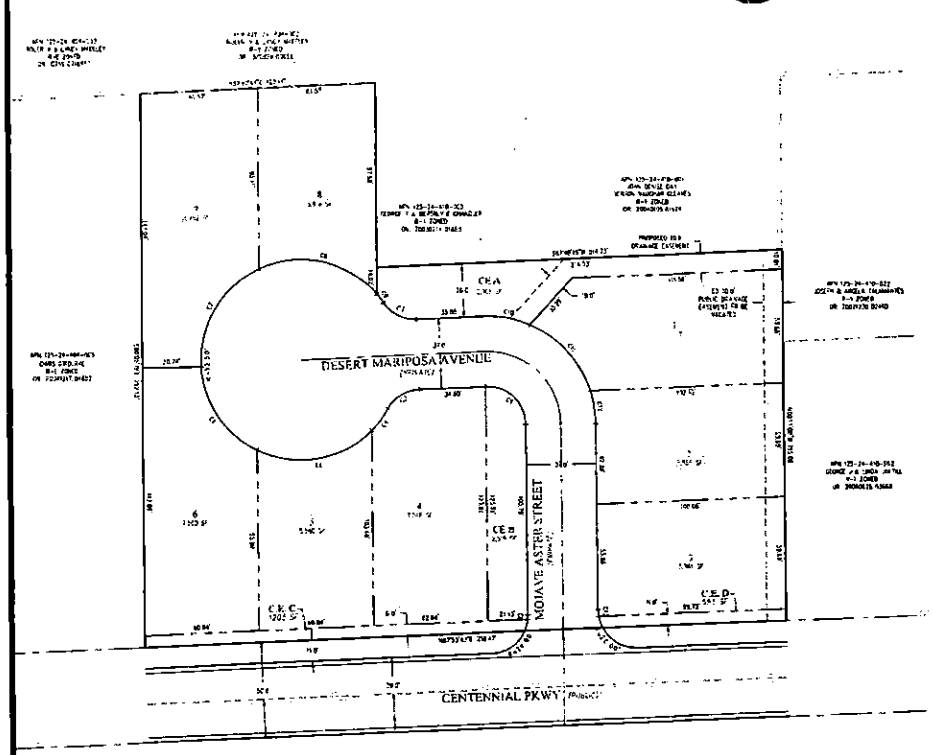
Subscribed and sworn before me

This 25 day of October, 2006

Rachelle A. Juarez

Notary Public in and for said County and State

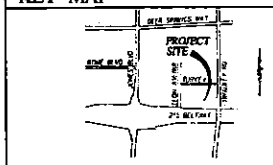
Rachelle A. Juarez
Notary Public
State of Nevada
My appt. exp. June 12, 2008
Certificate No. 96-2998-1



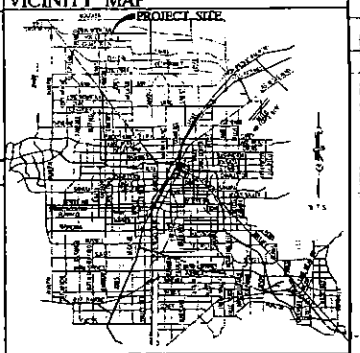
LEGEND

SUBDIVISION MAP
BOUNDARY LINE
PROPERTY LINE
EASEMENT
STREET CENTERLINE
LOT NUMBER
MATCH LINE
TIMBER LINE W/ BARRIER
EDGE OF PAVEMENT

KEY MAP



VICINITY MAP



DEVELOPMENT STANDARDS

PER TITLE 19 (SECTION 19.06.040) FOR R2-4 ZONING
DENSITY ALLOWED - 4 UNITS/GROSS ACRE
MIN LOT SIZE - 4200 SF
MAX LOT COVERAGE - 50%
MAX HEIGHT - 35 FEET

SCALE

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

UTILITY LOCATIONS

WATER - THE NEAREST WATER CONNECTION IS AN EXISTING 24" PUBLIC MAIN IN BRADLEY ROAD-OF-WAY 675-FT EAST OF THE PROJECT SITE - LAS VEGAS VALLEY WATER DISTRICT IS THE PURVEYOR

SEWER - THE NEAREST SEWER CONNECTION IS AN EXISTING 8" SEWER PROVIDED IN CENTENNIAL ROW-OF-WAY ADJACENT TO THE PROJECT SITE. CITY OF LAS VEGAS IS THE PURVEYOR

UTILITY COMPANIES

NEVADA POWER COMPANY
6226 W. SAHARA AVE 367-5555

SOUTHWEST GAS CORP
4300 W. TROPICANA AVE. 365-2111

REPUBLIC SERVICES (SOLID WASTE DISPOSAL)
202 E. SAHARA AVE 255-5151

CITY OF LAS VEGAS (SEWER)
731 S. 4TH STREET 229-7163

LAS VEGAS VALLEY WATER DISTRICT (WATER)
1001 SOUTH VALLEY VIEW BLVD 870-2011

SETBACKS

FRONT YARD - 15 FEET TO FRONT OF GARAGE ABSOLUTE FROM BC
INTERIOR SIDE YARD - 3.5 FEET
STREET CORNER SIDE YARD - 5.5 FEET
REAR YARD - 10 FEET

SEWER CONTRIBUTION

8 LOTS x 250 GPD/LOT = 2,000 GPD (AVERAGE)
8 LOTS x 250 GPD/LOT x 2.5 PEAK FACTOR = 5,000 GPD (PEAK)

SITE INFORMATION

ASSESSORS PARCEL NUMBER	123-24-404-007
PROPOSED USE OF PROPERTY	SINGLE FAMILY RESIDENTIAL SUBDIVISION
EXISTING ZONING	R-PD (RESIDENTIAL ESTATES DISTRICT)
PROPOSED ZONING (ZON-18276)	R-PD (RESIDENTIAL PLANNED DEVELOPMENT DISTRICT)
TOTAL PROPOSED LOTS	5 LOTS
GROSS ACREAGE	2.19 ac
NET ACREAGE	1.39 ac
DENSITY (BASED ON GROSS ACREAGE)	3.67 LOTS/ACRE
PARKING REQUIRED	3 PER UNIT = 16 SPACES
PARKING PROVIDED	16 SPACES IN 2 CAR GARAGES, DRIVEWAYS, AND ON-STREET PARKING
USABLE OPEN SPACE REQUIRED (TITLE 19, SECTION 19.06.040 C)	9 SF
USABLE OPEN SPACE PROVIDED	4,824 SF
LANDSCAPED AREA	1,782 SF
AVERAGE LOT SIZE	8,938 SF
SMALLEST LOT SIZE	5,516 SF
LARGEST LOT SIZE	7,742 SF

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF LAS VEGAS STANDARDS AND SPECIFICATIONS
2. UTILITY EASEMENTS TO BE DEDICATED TO RESPECTIVE AGENCIES
3. THIS DEVELOPMENT IS SHOWN IN ITS ENTIRETY AND IS NOT PART OF ANY MASTER PLAN.
4. FIRM PANEL 32003C0162 J DATED SEPTEMBER 23, 2002 ENTIRE AREA WITHIN FEMA ZONE "X".
5. NO RESTRICTIVE COVENANTS OR DEED RESTRICTIONS ARE PLANNED
6. THERE ARE NO KNOWN EXISTING FAULTS OR FISSURES ON THE SITE
7. GROUND WATER IS LOCATED AT A DEPTH GREATER THAN 200-FEET
8. PERIMETER AND INTERIOR LANDSCAPE AREAS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION
9. THERE ARE NO EXISTING STRUCTURES LOCATED ON THE SITE
10. LANDSCAPING TO BE PROVIDED PER CITY OF LAS VEGAS REQUIREMENTS
11. NO AREA SHALL BE RESERVED OR DEDICATED FOR PARKS, SCHOOLS, OR OTHER PUBLIC OR QUASI-PUBLIC USES
12. THERE ARE NO EXISTING OR PROPOSED STORM DRAINS ON THIS PROPERTY
13. A VARIANCE TO ALLOW A R-PD ZONING DISTRICT ON 1.39 ACRES WHERE 5.0 ACRES IS THE MINIMUM REQUIRED WAS HEARD AND DENIED FOR (VAR-6276)
14. THERE IS AN EXISTING 10 WIDE DRAINAGE EASEMENT WITH THIS SITE PROPOSED TO BE VACATED.

LEGAL DESCRIPTION

LOT 245 AS SHOWN ON SURVEY FILE 52, PAGE 72, LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 24, T 19 S, R 61 E, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

BASIS OF BEARINGS

SOUTH 87°53'42" WEST, ALONG THE CENTERLINE OF CENTENNIAL PARKWAY FROM LEON AVENUE TO BRADLEY ROAD AS SHOWN IN FILE 52, PAGE 99 OF SURVEYS

BENCHMARK

BM#LVVC2024 - CITY OF LAS VEGAS BRASS DISK IN CONCRETE SIDEWALK PAD, NORTHWEST CORNER OF DEER SPRINGS WAY AND JONES BLVD

ELEVATION = 747.74M/2320.08FT(NAVD 88 DATUM)

DEVELOPER

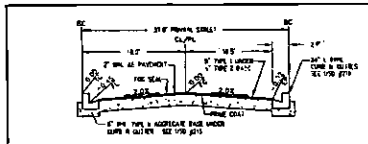
APN: 123-24-404-007
NATIONAL HOMES CORPORATION
4495 SOUTH BUFFALO DRIVE
LAS VEGAS, NV 89147
371-3337 OFFICE

OWNER

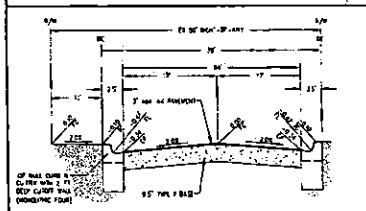
APN: 123-24-404-007
FARRANKAJ BARBARA L
4331 N PLANKINGO RD
LAS VEGAS, NV 89129-7982

CURVE DATA

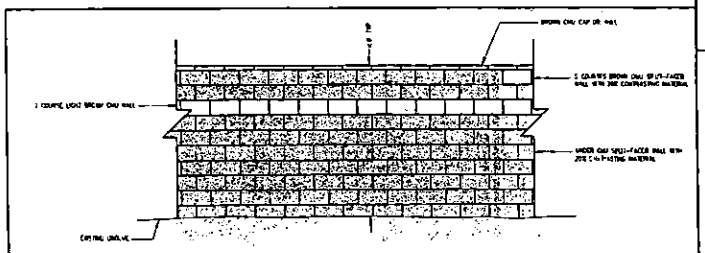
CURVE TABLE				
CURVE	Radius	Delta	Length	Arc Length
C1	15.00'	90°27'52"	23.67'	24.01'
C2	15.00'	90°44'36"	23.92'	23.97'
C3	23.00'	57°52'29"	22.22'	23.23'
C4	55.00'	24°22'25"	23.73'	23.83'
C5	20.00'	87°41'19"	27.25'	27.95'
C6	50.00'	28°19'49"	12.38'	12.51'
C7	11.00'	93°05'47"	9.22'	10.12'
C8	21.00'	73°53'31"	14.97'	15.47'
C9	32.00'	10°08'23"	3.52'	3.54'
C10	57.25'	25°29'13"	25.28'	25.93'
C11	37.00'	50°53'36"	33.57'	35.02'
C12	47.00'	37°47'25"	12.08'	12.43'
C13	15.00'	109°46'48"	2.38'	2.87'



TYPICAL 37-FT WIDE PRIVATE DRIVE
PER CLARK COUNTY AREA USD #210



CENTENNIAL PARKWAY - 50-FT R/W
PRIVATE STREET SECTION



PERIMETER DECORATIVE BLOCK WALL SECTION

Call Two Working Days Before You Dig!
Dig | Safely. Dig | Safely
1-800-227-2600

NATIONAL HOMES CORPORATION
4495 S. BUFFALO DRIVE
LAS VEGAS, NEVADA 89147
(702) 871-3337

TANEY ENGINEERING
4445 S. JONES BLVD SUITE 1
LAS VEGAS, NEVADA 89103
(702) 252-9670 FAX (702) 871-3307
CERTIFICATE OF AUTHORITY NO. 3231

NO.	DESCRIPTION	DATE
	REVISIONS	

CENTENNIAL AND LEON
A RESIDENTIAL SUBDIVISION

SITE PLAN

ENGINEER'S SEAL

DATE: 10.17.06
SCALE: 1"=30'
JOB NO: NTN-06-002
DESIGNED BY: RMM
DRAWN BY: RMM
SHEET NAME: S1
SHEET 1 OF 1

ZON-18196
02/08/07 PC

TANEY ENGINEERING

4445 S. JONES #1
LAS VEGAS, NEVADA 89103
TELEPHONE: (702) 362-8844
FAX: (702) 362-5233

December 26, 2006

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Attn: Rob Levrant

Re: Floor Plan Clarification For Centennial And Leon
APN 125-24-404-006

Dear Mr. Levrant:

As per our phone conversation in the morning of Tuesday, December 26, 2006, please remove floor plan 302 from the submittal package for Site Development Review (SDR-17727) and Rezoning (ZON-18196). The floor plans being use for this project is Floor Plan 5503 and Floor Plan 3396.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

RECEIVED
DEC 26 2006

ZON-18196
SDR-17727
02/08/07 PC

TANEY ENGINEERING

4445 S. JONES #1
LAS VEGAS, NEVADA 89103
TELEPHONE: (702) 362-8844
FAX: (702) 362-5233

January 5, 2007

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Re: Site Development Review for Centennial and Leon

To Whom It May Concern:

On behalf of our client, National Homes Corporation, we are proposing an R-PD4 on approximately 2.18 gross acres that is currently zoned R-E. The project site is bounded by existing homes (R-E and R-1) on the north and east, a future home (R-E) west and Centennial Parkway on the south. The proposed subdivision consists of 8 lots with a gross density of 3.67 dwelling units per acre. The project site is proposed to have the following setbacks:

Front – 18-ft from back of curb
Side and Side Corner – 3.5-ft
Rear – 10-ft
Patio Cover (12-ft or less in Height) – 5-ft
Maximum Building Height is 35-ft
Minimum Lot Size 4200 SF

On lots 1, 2 and 3 along the east property line, Balcony/Deck is being proposed as an option on these footprints. Therefore, we are asking the setback to the rear property line for these three (3) lots to be 5-feet to accommodate the Balcony/Deck.

The proposed development will consist of all a mix of one and two story homes ranging in size from the mid 2,635-SF to the mid 5,503-SF size. All homes have a standard tow to three-car garage accessed from a 37-ft wide private street servicing the subdivision. Approximately 5,609 SF of open space has been provided, however is not required as the subdivision is less than 12 lots. Perimeter landscaping will be provided abutting Centennial Parkway in conformance with City of Las Vegas Standards.

Site Development Plan Review, SDR-6275, has also previously been filed for this project site. Please note that the setbacks, maximum building height and minimum lot size listed above correspond with the conditions listed for SDR-6275.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

ZON-18196 SDR-17727
02/08/07 PC REVISED

City of Las Vegas

Agenda Item No.: 11

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SDR-17727 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-18196 - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI - Request for a Site Development Plan Review FOR AN EIGHT-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 2.18 acres adjacent to the north side of Centennial Parkway, approximately 360 feet east of Leon Avenue (APN 125-24-404-007), R-E (Residence Estates) Zone under Resolution of Intent to R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
TRUESDELL – APPROVED subject to conditions and amending Condition 3, 4 and 5 as follows:
3. All development shall be in conformance with the landscape plan date stamped 10/24/06 and site plan and building plan dated 2/7/07, except as amended herein by condition.
4. The standards for this development shall include a minimum lot size of 6,616 square feet and a building height of not more than one story.
5. The setbacks for this development shall be a minimum of 18 feet to the front of the house, 18 feet to the front of the garage as measured from back of curb, three and a half feet on the side, three and a half feet on the corner side, and 10 feet in the rear.
And adding the following condition:

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 11 – SDR-17727

MOTION – Continued:
– Expunge ZON-6274 and SDR-6275.
– UNANIMOUS

To be heard by City Council on 3/7/2007

MINUTES:
See Item 10 for related discussion.

(6:48 – 6:53)
1-1407

CONDITIONS:
Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18196) and Variance (VAR-6276), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.

4. The standards for this development shall include a Minimum lot size of 5,580 square feet and Building height shall not exceed two stories or 35 feet, whichever is less.

5. The setbacks for this development shall be a minimum of 18 feet to the front of the house, 18 feet to the front of the garage as measured from back of curb, 3.5 feet on the side, 3.5 feet on the corner side, 5 feet in the rear on lots 1-3, and 10 feet in the rear on lots 4-8.

6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

CONDITIONS – Continued:

7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

9. Air conditioning units shall not be mounted on rooftops.

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

14. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

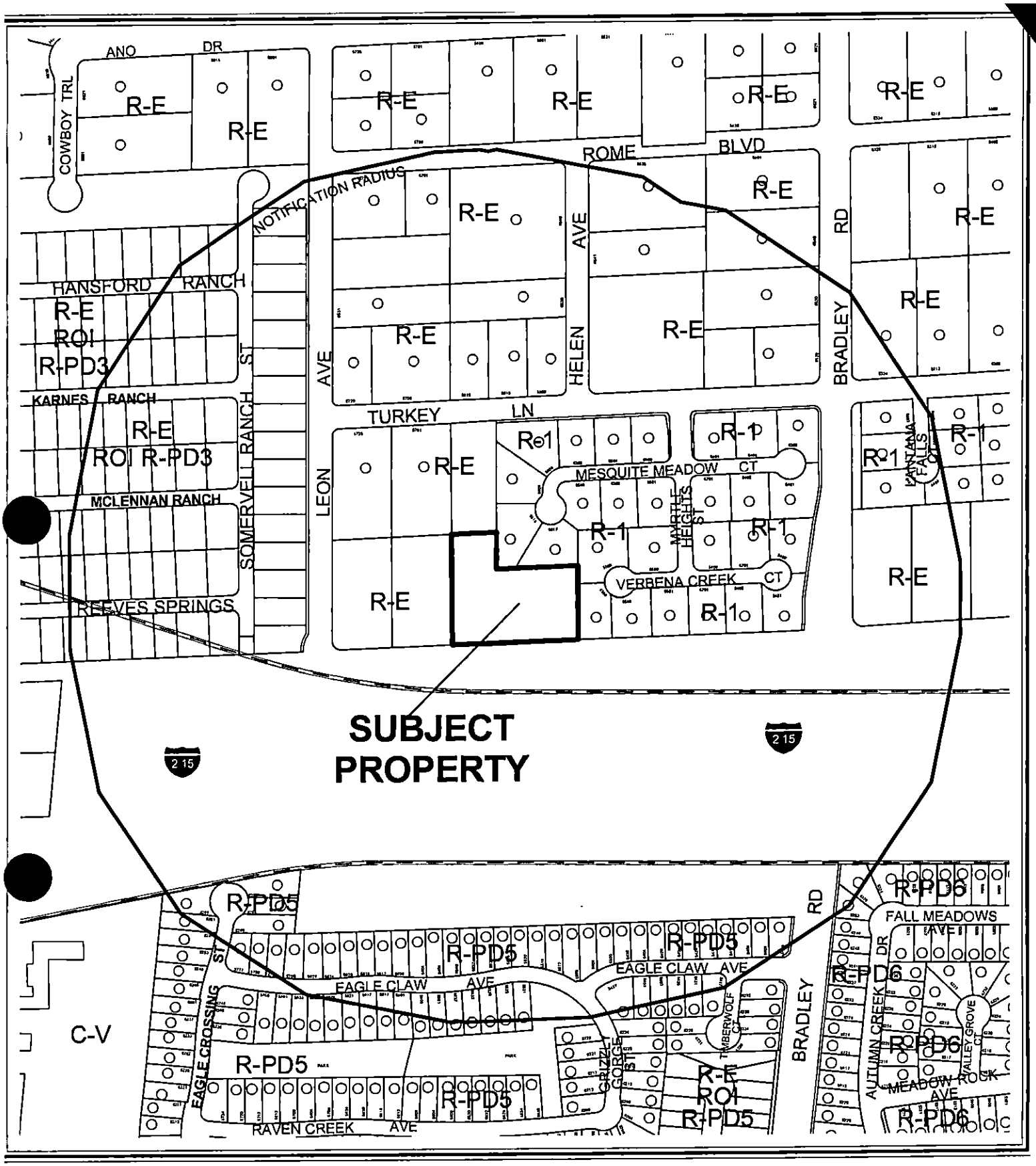
15. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

CONDITIONS – Continued:

16. Site development to comply with all applicable conditions of approval for ZON-18196 and all other applicable site-related actions.

17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first. We note that the proposed private street has been designed without a knuckle.



0 300 600 Feet

CASE: **SDR-17727**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:
R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL**, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18196) and Variance (VAR-6276), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.

4. The standards for this development shall include a Minimum lot size of 5,580 square feet and Building height shall not exceed two stories or 35 feet, whichever is less.

5. The setbacks for this development shall be a minimum of 18 feet to the front of the house, 18 feet to the front of the garage as measured from back of curb, 3.5 feet on the side, 3.5 feet on the corner side, 5 feet in the rear on lots 1-3, and 10 feet in the rear on lots 4-8.

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12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

14. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

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SDR-17727 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This proposal is a request for a Site Development Plan Review for an eight-lot single-family residential subdivision on 2.18 acres adjacent to the north side of Centennial Parkway, approximately 350 feet east of Leon Avenue. This is related to Rezoning (ZON-18196), and a previously approved Variance (VAR-6276) grants permission for a Residential Planned Development on less than five acres at the subject site.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg, etc.	
06/01/05	The City Council approved a Rezoning (ZON-6274) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Variance (VAR-6276) in the minimum area for formation of a R-PD zoning district, and a Site Development Plan Review (SDR-6275) for an 8-lot single-family subdivision. A related Waiver to Title 18 Standards (WVR-6277) was withdrawn without prejudice. The Planning Commission recommended approval of all items, including the Waiver on 04/28/05. Staff recommended denial of all items.
01/11/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 Units Per Acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision. Staff recommended approval of both items.
01/25/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 Units Per Acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision. Staff recommended approval of both items.
02/08/07	The Planning Commission will consider a related Rezoning (ZON-18196) from R-E (Residential Estates) to R-PD4 (Residential Planned Development – 4 Units Per Acre). Staff recommended approval of both items.
Related Building Permits/Business Licenses	
	No Building Permits or Business Licenses have been issued for the subject site.
Pre-Application Meeting	
10/05/06	A pre-application meeting was held to discuss the requirements for the Site Development Plan Review
10/24/06	A pre-application meeting was held to discuss the requirements for the Rezoning.

Neighborhood Meeting	
	A neighborhood meeting is not required for this application, nor was one held.

RL

Details of Application Request			
Site Area			
Gross Acres	2.18		
Net Acres	1.74		
Surrounding Property	**Existing Land Use**	**Planned Land Use**	**Existing Zoning**
Subject Property	Undeveloped	L (Low Density Residential)	R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units Per Acre)
North	Undeveloped, Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential) and R-E (Residence Estates)
South	Undeveloped,	Right-of-way	Right-of-way
East	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
West	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	N/A
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Per Title 19.06, the Development Standards for a Residential Planned Development are as provided in the Site Plan:

Standard	*Provided*
Min. Lot Size	5,580 Square Feet
Min. Lot Width	55 Feet
Min. Setbacks	
• Front	18 Feet
• Side	3.5 Feet
• Corner	3.5 Feet
• Rear (lots 1-3)	5 Feet*
• Rear (lots 4-8)	10 Feet
Max. Lot Coverage	50%
Max. Building Height	35 Feet/2-Stories

RL

* The optional balcony, if built, on lots 1, 2, and 3 will be set back 5 feet from the rear property line. The rear wall of these houses, as well as the setback on all other lots will be 10 feet from the rear property line.

Per Title 19.08.060

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2.8 du/acre 6 Units on subject site	6 Units	R-PD4 (Residential Planned Development – 4 Units per Acre)	4 du/acre 8 units on subject site	L (Low Density Residential)	5.49 du/acre 11 units on subject site

Per Title 19.12

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Buffer: Min. Trees	1 Tree/30 Linear Feet	9 Trees	10 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 – 8 Feet		6 Feet	Y

Open Space – R-PD only							
Total Acreage	Density	Required			Provided		Compliance
		Ratio	Percent	Area	Percent	Area	
2.18	4 du/acre	1.65	N/A*	N/A*	6.4%	4,824 SF	Y

*A Residential Planned Development of fewer than 12 units is not required to provide open space under the requirements of Title 19.06. However, at this density, if open space was required, the proposed subdivision would be subject to 6.1% or 4,630 square feet. The applicant provides 6.4% or 4,824 square feet of open space, more than would be required.

ANALYSIS

- Zoning

  Property to the north and east of the subject property is zoned and developed for single-family residences and property to the west has a land use designation that permits up to 5.5 dwelling units per acre. The applicant proposes to develop the subject property with eight single-family residences on lots that would be approximately 5,580 to 7,782 square feet in size. The uses at this density are compatible to the adjoining properties.

- Site Plan

  The applicant is proposing an eight-lot subdivision for single-family homes at a density of 3.67 dwelling units per gross acre. The lots proposed would be from 5,580 to 7,782 square feet in size. The interior street that serves the development is proposed to be a private 37-foot wide street that accesses Centennial Parkway.

  Since the subject property is 2.18 acres in size, it is not large enough for the formation of a R-PD (Residential Planned Development) zoning district. The district requires a minimum of five acres for its formation; however, an approved Variance (VAR-6276) allows the requested R-PD (Residential Planned Development) zoning on the subject site.

- Waivers

  No Waivers have been requested; however, as discussed above, a Variance (VAR-6276) has been approved for the formation of a R-PD (Residential Planned Development) zoning district on the subject site.

- Landscape Plan

  The landscape plan shows perimeter landscaping along Centennial Parkway in compliance with the requirements of Title 19.12.

- Elevation

  Plans for two-story homes were submitted with the application. The illustrations and conceptual floor plans appear to be harmonious and compatible with development in the area. On lots 1, 2, and 3 along the east property line, a balcony is available as an option on the building footprints. As a result, the rear setback will be five feet from the rear property line on these lots only. Lots 4 through 8 will be set back 10 feet from the rear property line.

- Floor Plan

  Two floor plans were submitted with the application. The first home, including garage area, is a two-story, 3,181 square-foot home with a footprint of 67 feet by 40 feet, three bedrooms and a three car garage. The second is a two-story, 3,396 square-foot home with a footprint of 65 feet by 40 feet, five bedrooms and a two car garage, including one bedroom on the first floor. The floor plans are typical of homes of the size proposed.

FINDINGS

To approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

   Property to the north and east of the subject property is zoned and developed for single-family residences and property to the west has a land use designation that permits up to 5.5 dwelling units per acre. The applicant proposes to develop the subject property with eight single-family residences on lots that would be approximately 5,580 to 7,782 square feet in size. The proposed single-family homes at this density are compatible to the adjoining properties.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

   The proposed development is consistent with the General Plan, Title 19 and other adopted City plans, policies and standards.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

   The subject property fronts on Centennial Parkway, which according to the Master Plan of Streets and Highways, is designed for a right-of-way width of 100 feet. At this location, the street will provide access to property only on the north side and should provide adequate access without negatively impacting adjacent roadways or neighborhood traffic.

4. **Building and landscape materials are appropriate for the area and for the City;**

   Building and landscape materials are appropriate for the area.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

   Plans for two 2-story homes were submitted with the application. The homes range in size from a 3,181 square feet to 3,396 square feet. All homes have a standard two or three car garage.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

   Because the site would be subject to ongoing inspection, the public health, safety, and public welfare would not be compromised.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 128 (Mailed with ZON-18196)

APPROVALS 0

PROTESTS 0

RL

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17727** APN: 125-24-404-007

Name of Property Owner: Barbara L. Farmanali

Name of Applicant: Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN 125-24-404-007

Signature of Property Owner: Barbara L. Farmanali

Print Name: Barbara Farmanali

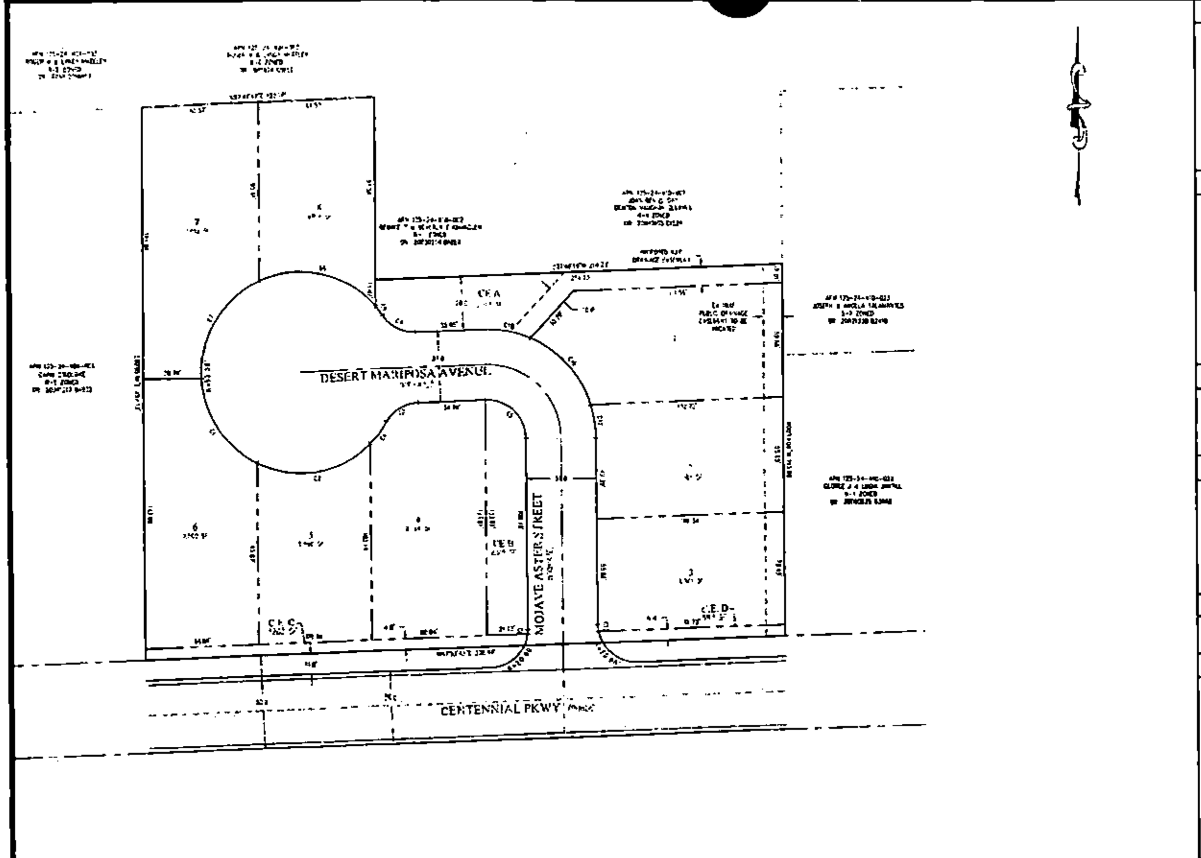
Subscribed and sworn before me

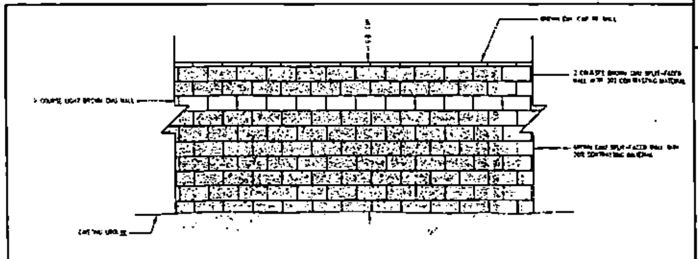
This 25 day of September 20 06

Matthew Murphy

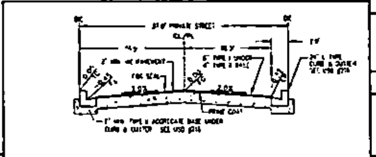
Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
MATTHEW MURPHY
No: 06-103594-1
My Appointment Expires Mar. 8, 2010



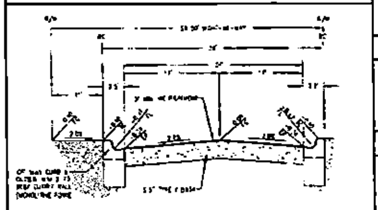


PERIMETER DECORATIVE BLOCK WALL SECTION



TYPICAL 37-FT WIDE PRIVATE DRIVE

PER CLARK COUNTY AREA USD #210



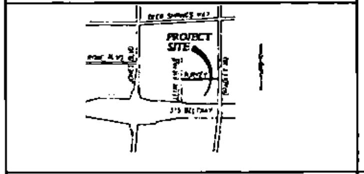
CENTENNIAL PARKWAY - 50-FT R/W

RURAL STREET SECTION

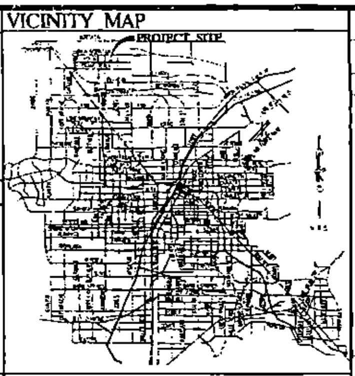
LEGEND

RIGHT-OF-WAY
BOUNDARY LINE
PROPERTY LINE
EASEMENT
STREET CENTERLINE
LOT NUMBER
WATER LINE
SEWER LINE W/ MANHOLE
EDGE OF PAVEMENT

KEY MAP



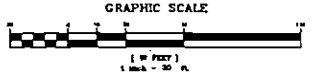
VICINITY MAP



DEVELOPMENT STANDARDS

PER TITLE 19 (SECTION 19.06.040) FOR R-PD4 ZONING
DENSITY MAXIMUM = 4 UNITS/GROSS ACRE
MIN. LOT SIZE = 3200 SF
MAX. LOT COVERAGE = 50%
MAX. HEIGHT = 35 FEET

SCALE



UTILITY LOCATIONS

WATER = THE NEAREST WATER CONNECTION IS AN EXISTING 24" PUBLIC MAIN IN BRADLEY RIGHT-OF-WAY 575-FT EAST OF THE PROJECT SITE - LAS VEGAS VALLEY WATER DISTRICT IS THE PURVEYOR

SEWER = THE NEAREST SEWER CONNECTION IS AN EXISTING 8" SEWER PROVIDED IN CENTENNIAL RIGHT-OF-WAY ADJACENT TO THE PROJECT SITE. CITY OF LAS VEGAS IS THE PURVEYOR

UTILITY COMPANIES

NEVADA POWER COMPANY
6226 W. SAHARA AVE. 227-5556

EMBARQ TELEPHONE COMPANY
330 S. VALLEY VIEW BLVD. 244-2400

COX COMMUNICATIONS
121 S. MARTIN L. KING BLVD. 383-2700

SOUTHWEST GAS CORP.
4300 W. TROPICANA AVE. 365-2111

REPUBLIC SERVICES (SOLID WASTE DISPOSAL)
770 E. SAHARA AVE. 735-5151

CITY OF LAS VEGAS (SEWER)
261 S. 4TH STREET 229-6145

LAS VEGAS VALLEY WATER DISTRICT (WATER)
1001 SOUTH VALLEY VIEW BLVD. 870-2011

SETBACKS

FRONT YARD = 16 FEET TO FRONT OF GARAGE MEASURED FROM BC
INTERIOR SIDE YARD = 3.5 FEET
STREET CORNER SIDE YARD = 5 FEET
REAR YARD = 10 FEET

SEWER CONTRIBUTION

8 LOTS × 250 GPD/LOT = 2,000 GPD (AVERAGE)
8 LOTS × 250 GPD/LOT × 3.0 PEAK FACTOR = 6,000 GPD (PEAK)

SITE INFORMATION

ASSESSORS PARCEL NUMBER	125-34-404-003
PROPOSED USE OF PROPERTY	SINGLE FAMILY RESIDENTIAL SUBDIVISION
EXISTING ZONING	R-E (RESIDENTIAL ESTATES DISTRICT)
PROPOSED ZONING (ZON-[illegible])	R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT DISTRICT)
TOTAL PROPOSED LOTS	8 LOTS
GROSS ACREAGE	2.16±
NET ACREAGE	1.75±
DENSITY (BASED ON GROSS ACREAGE)	3.67 LOTS/ACRE
PARKING REQUIRED	2 PER UNIT = 16 SPACES
PARKING PROVIDED	16 SPACES IN 2 CAR GARAGES, DRIVEWAYS, AND ON-STREET PARKING
USABLE OPEN SPACE REQUIRED (TITLE 19, SECTION 19.06.040 G)	0 SF
USABLE OPEN SPACE PROVIDED	4,474 SF
LANDSCAPED AREA	1,196 SF
AVERAGE LOT SIZE	6,930 SF
SMALLEST LOT SIZE	3,596 SF
LARGEST LOT SIZE	3,782 SF

LEGAL DESCRIPTION

LOT 2 AS SHOWN IN SURVEY FILE 53, PAGE 70, LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 24, T. 19 S., R. 60 E., M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

BASIS OF BEARINGS

SOUTH 87-53-43 WEST, BEING THE CENTERLINE OF CENTENNIAL PARKWAY FROM LEON AVENUE TO BRADLEY ROAD AS SHOWN IN FILE 56, PAGE 50 OF SURVEYS

BENCHMARK

BENCHMARK - CITY OF LAS VEGAS [illegible] ROUND PLATE IN CONCRETE MONUMENT NORTHWEST CORNER OF DEER SPRINGS WAY AND JONES BLVD

ELEVATION = [illegible]

DEVELOPER

APN: 125-34-404-007
NATIONAL HOMES CORPORATION
4465 SOUTH BUFFALO DRIVE
LAS VEGAS, NV 89147
871-3333 OFFICE

OWNER

APN: 125-34-404-007
[illegible]
LAS VEGAS, NV [illegible]

CURVE DATA

[illegible]

GENERAL NOTES

1. ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF LAS VEGAS STANDARDS AND SPECIFICATIONS
2. UTILITY EASEMENTS TO BE DEDICATED TO RESPECTIVE AGENCIES
3. THIS DEVELOPMENT IS SHOWN IN ITS ENTIRETY AND IS NOT PART OF ANY MASTER PLAN
4. FIRM PANEL 32003C[illegible] C DATED SEPTEMBER 27, 2002. ENTIRE AREA WITHIN FEMA ZONE "X"
5. NO PROTECTIVE COVENANTS OR DEED RESTRICTIONS ARE PLANNED
6. THERE ARE NO KNOWN EXISTING FAULTS OR FISSURES ON THE SITE
7. GROUND WATER IS LOCATED AT A DEPTH GREATER THAN [illegible] FEET
8. PERIMETER AND INTERIOR LANDSCAPE AREAS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION
9. THERE ARE NO EXISTING STRUCTURES LOCATED ON THE SITE
10. LANDSCAPING TO BE PROVIDED PER CITY OF LAS VEGAS REQUIREMENTS
11. NO AREA SHALL BE RESERVED OR DEDICATED FOR PARKS, SCHOOLS, OR OTHER PUBLIC OR QUASI-PUBLIC USES
12. THERE ARE NO EXISTING OR PROPOSED STORM DRAINS WITHIN THIS PROPERTY
13. A VARIANCE TO ALLOW A R-PD ZONING DISTRICT ON [illegible] ACRES WHERE [illegible] ACRES IS THE MINIMUM [illegible] HAS BEEN APPLIED FOR (VAR-[illegible])
14. THERE IS AN EXISTING [illegible] DRAINAGE EASEMENT WITHIN THE SITE PROPOSED TO BE VACATED

LEGEND

AC	ASPHALTIC CONCRETE	R	RIGHT
BC	BACK OF CURB	R/W	RIGHT-OF-WAY
BCR	BACK OF CURB RADIUS	SS	SANITARY SEWER
BVC	BEGINNING OF VERTICAL CURVE	SW	SIDEWALK
BM	BENCH MARK	STA	STATION
CATV	CABLE TELEVISION	SD	STORM DRAIN
CL	CENTERLINE	STD	STANDARD
[illegible]	[illegible]	[illegible]	[illegible]

Call Two Working Days Before You Dig!

Dig Safely. Dig Safely.
1-800-227-2600

NATIONAL HOMES CORPORATION
4465 S. BUFFALO DRIVE
LAS VEGAS, NEVADA 89147
702-871-3333 FAX 702 481-3303

TANEY ENGINEERING
6445 S. JONES BLVD, SUITE #1
LAS VEGAS, NV 89118
(702) 362-8844 FAX (702) 362-5233

**CENTENNIAL AND LEON
A RESIDENTIAL SUBDIVSION**

SITE PLAN

ENGINEER'S SEAL

DATE	10.17.06
SCALE	1"=30'
JOB NO.	NTN-06-002
DESIGNED BY	RMM
DRAWN BY	RMM
SHEET NAME	S1
SHEET	1 OF 1

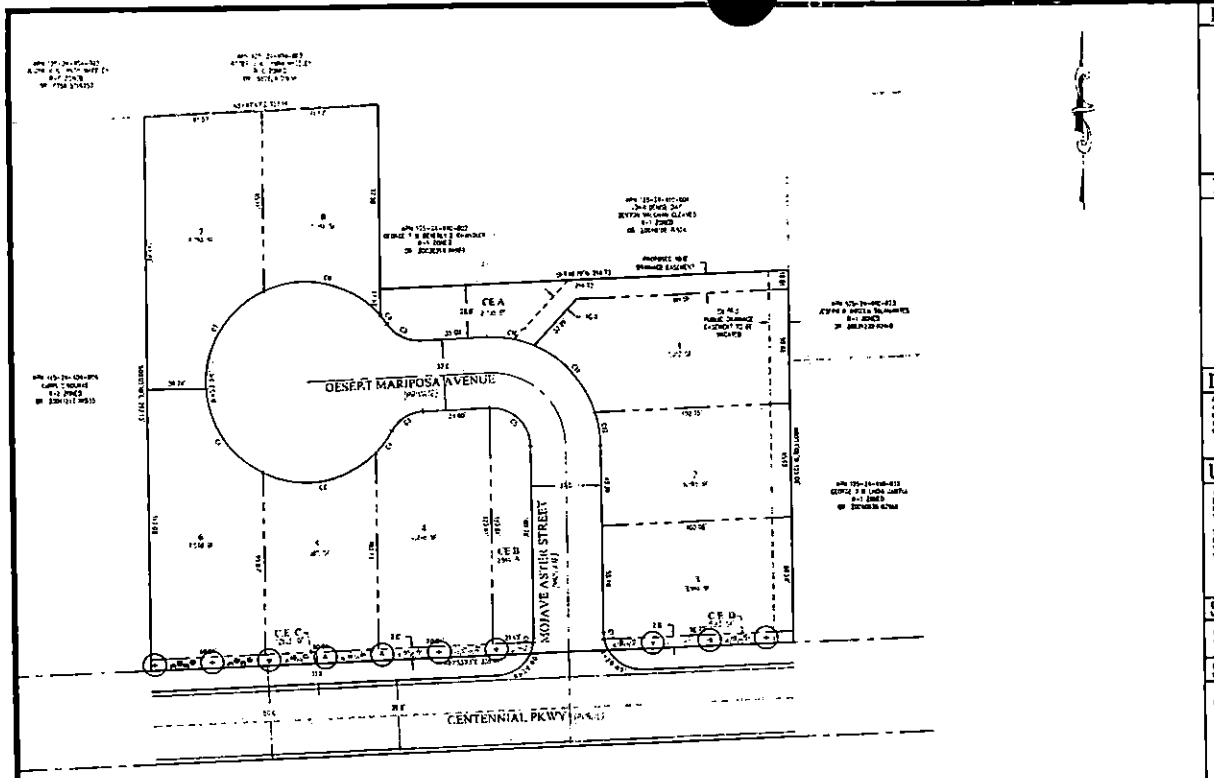
NO.	DESCRIPTION	DATE

REVISIONS

SDR-17727

RECEIVED
OCT 2 4 2006

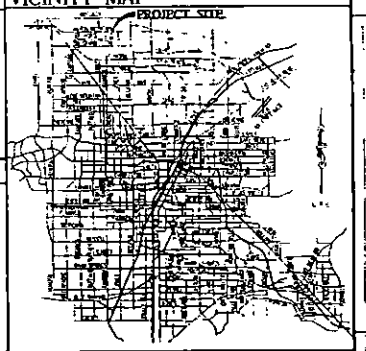
02/08/07 PC



LEGEND

KEY MAP

VICINITY MAP



DEVELOPMENT STANDARDS

SCALE

GRAPHIC SCALE

UTILITY LOCATIONS

UTILITY COMPANIES

SETBACKS

SEWER CONTRIBUTION

SITE INFORMATION

GENERAL NOTES

LEGAL DESCRIPTION

BASIS OF BEARINGS

BENCHMARK

DEVELOPER

CURVE DATA

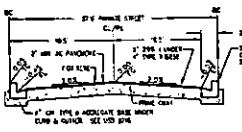
OWNER

LEGEND

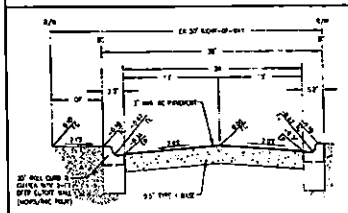
LANDSCAPING REQUIREMENTS

TREE / PLANT SCHEDULE

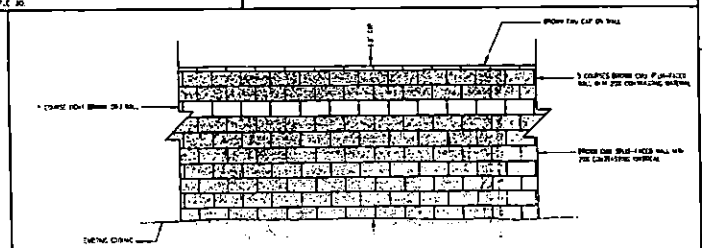
SYM	QTY	SIZE	SPACING	COMMON NAME	BOTANICAL NAME
	PER PLAN	24" Box	30' On Center	MONDEL PINE OR COUNTY APPROVED EQUIVALENT	Pinus pigra
	PER PLAN	1 - 5 Gallon	N/A	DESERT BROOM OR COUNTY APPROVED EQUIVALENT	Baccharis



TYPICAL 37-FT WIDE PRIVATE DRIVE



CENTENNIAL PARKWAY - 50-FT R/W



PERIMETER DECORATIVE BLOCK WALL SECTION

NATIONAL HOMES CORPORATION

CENTENNIAL AND LEON
A RESIDENTIAL SUBDIVISION

LANDSCAPE PLAN

REVISIONS

Cal Two Working Days Before You Dig!

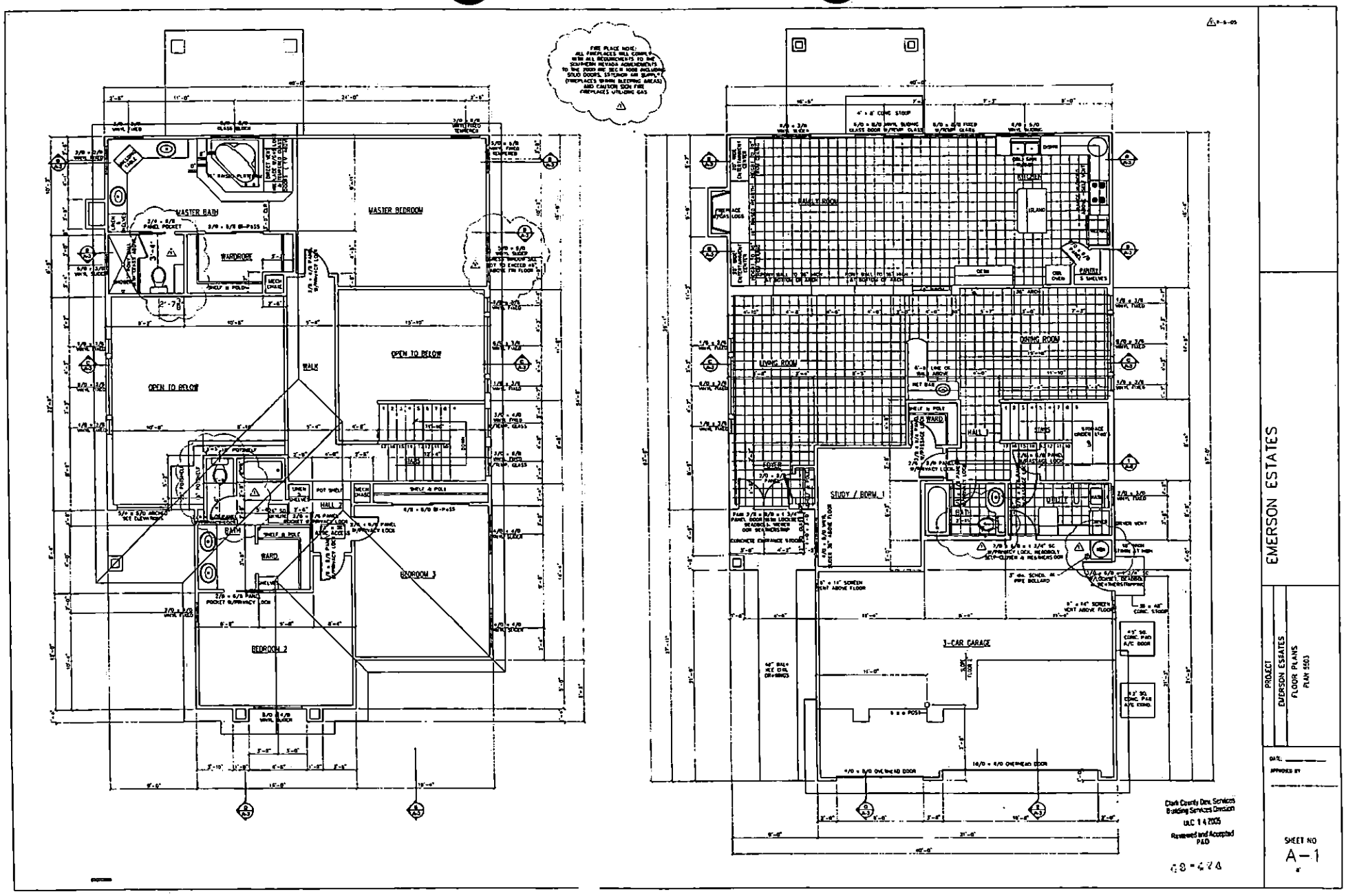
Dig Safely. Dig Safely
1-800-227-2600

DATE 10.17.06
SCALE 1"=30'
JOB NO NTN-06-002
DESIGNED BY RMM
DRAWN BY RMM
SHEET NAME LS1
SHEET 1 OF 1

02/08/07 PC

SDR-17727

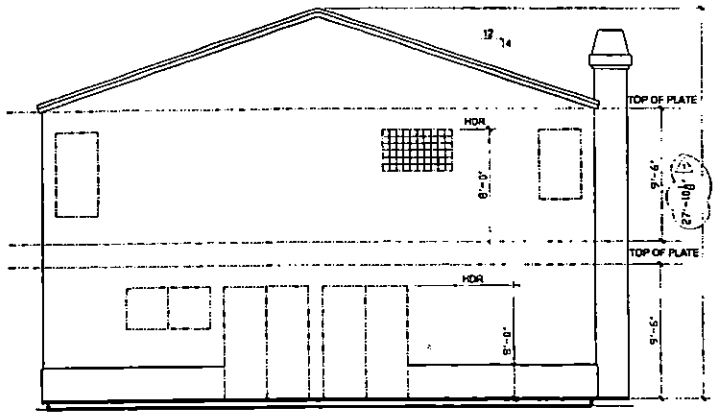
RECEIVED
OCT 24 2006



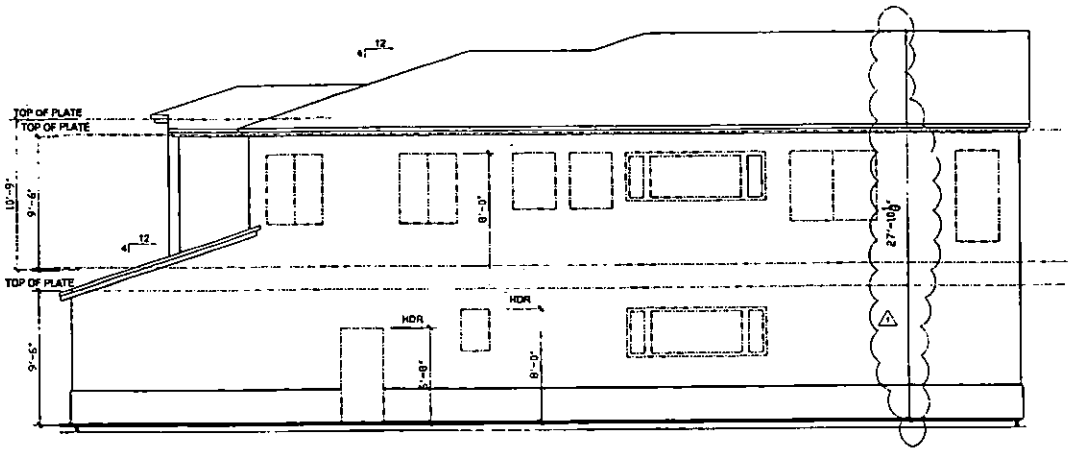
02/08/07 PC

SDR-17727

RECEIVED
OCT 24 2006



REAR ELEVATION
SCALE: ¼" = 1'0"



RIGHT ELEVATION
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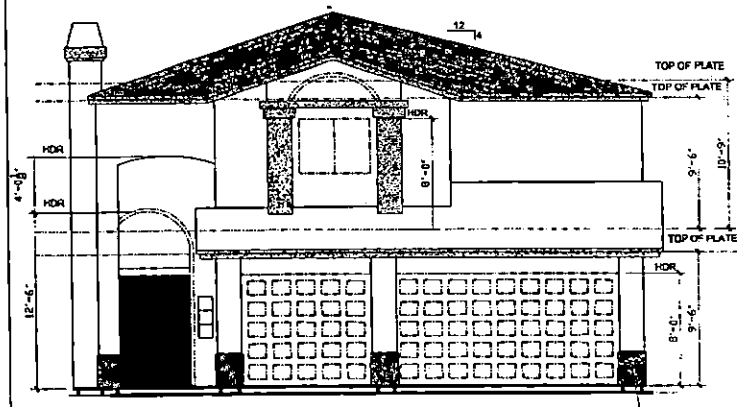
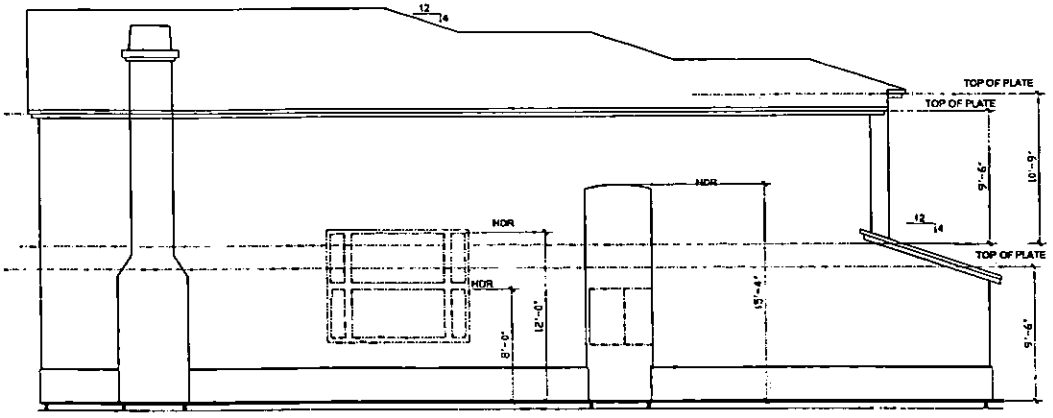
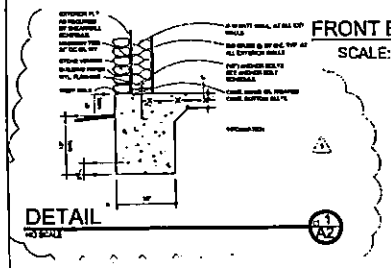


FRONT ELEVATION
SCALE: ¼" = 1'0"



LEFT ELEVATION
SCALE: ¼" = 1'0"



DETAIL
NO SCALE
1/A2

Clark County Dev. Services
Building Services Division
DEC 1 4 2006
Reviewed and Accepted
P&D

06-474

EMERSON ESTATES

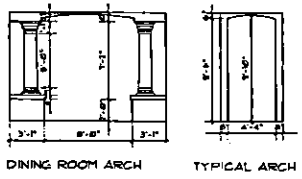
PROJECT
EMERSON ESTATES
FLOOR PLANS
PLAN 5503

DATE:
APPROVED BY:

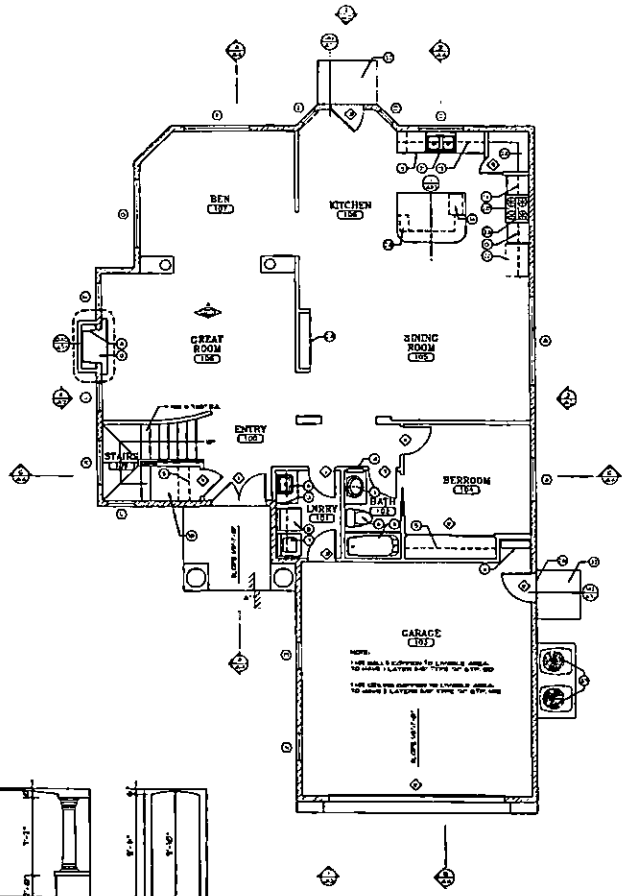
SHEET NO.
A-2
OF

02/08/07 PC SDR-17727

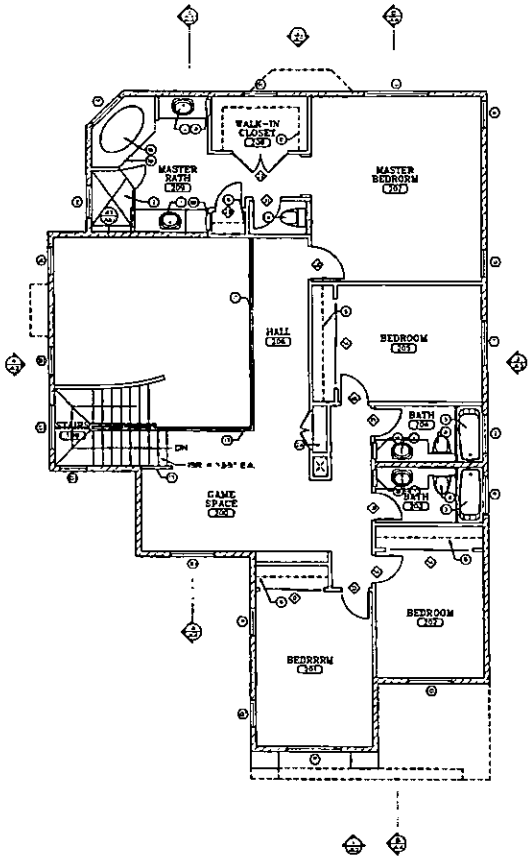
RECEIVED
OCT 2 4 2006



INTERIOR ELEVATION



FIRST FLOOR PLAN



SECOND FLOOR PLAN

KEYNOTES

GENERAL NOTES

sca design

PLAN 3390

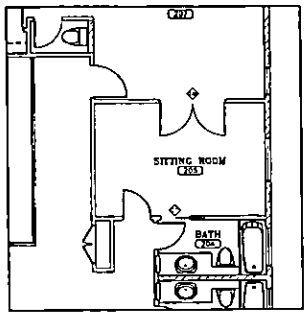
FIRST FLOOR PLAN AND SECOND FLOOR PLAN

A1.1

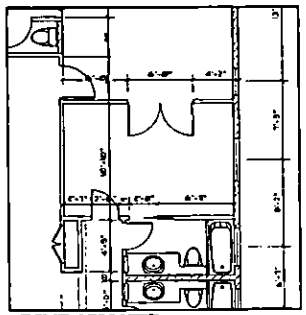
02/08/07 PC

SDR-17727

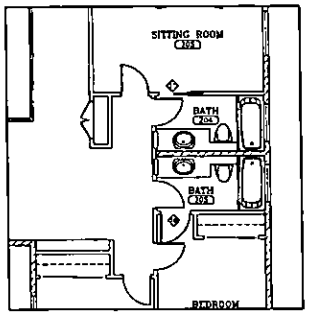
RECEIVED
OCT 24 2006



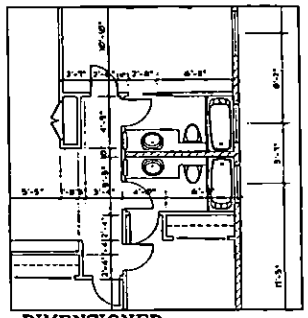
OPTIONAL SITTING AREA



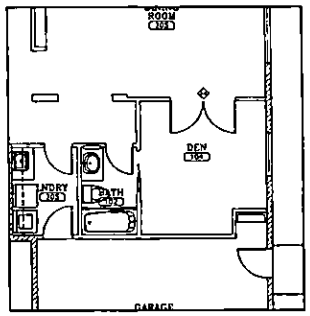
DIMENSIONED
OPTIONAL SITTING AREA



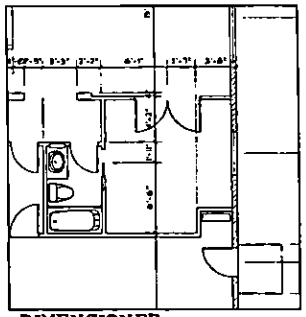
DOOR. OPTIONS



DIMENSIONED
DOOR OPTIONS



OPTIONAL DEN



DIMENSIONED
OPTIONAL DEN

KEYNOTES

GENERAL NOTES

sca design

Project PLAN 3396

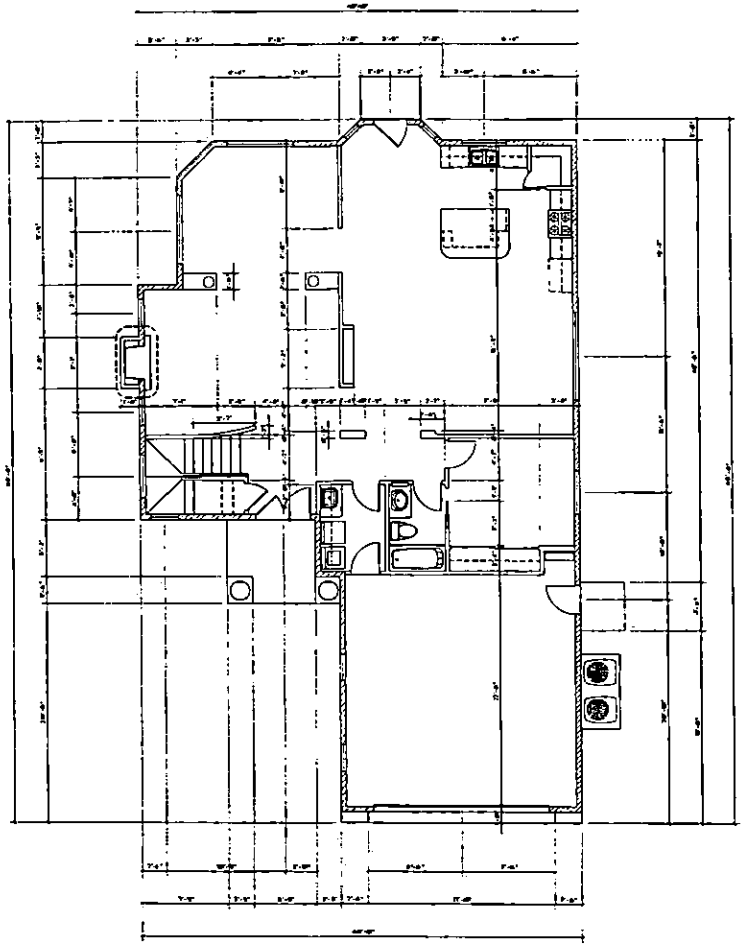
FLOOR PLAN OPTIONS

A1.3

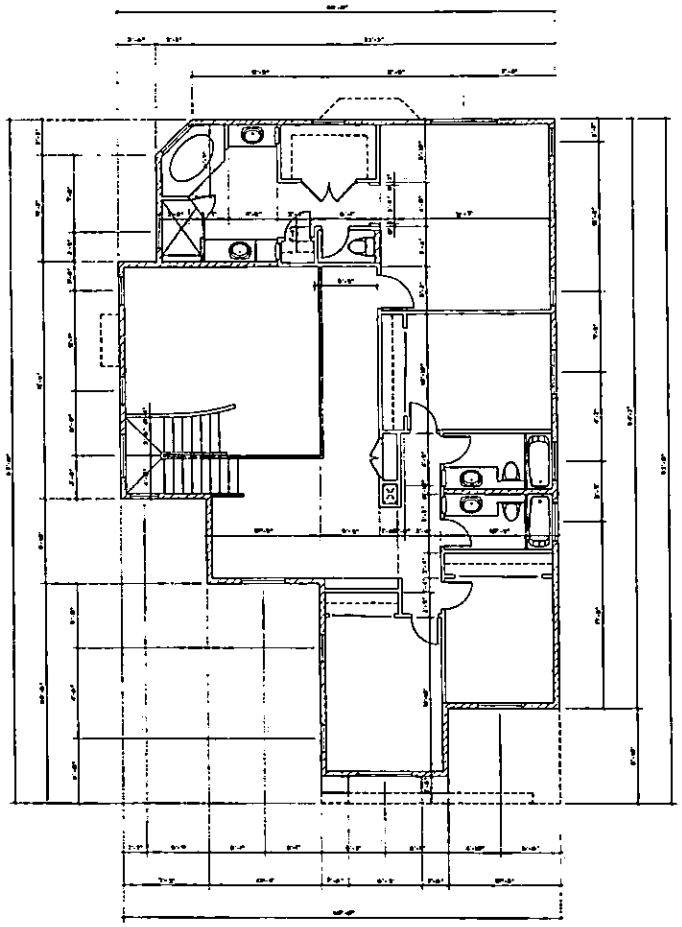
SDR-17727

02/08/07 PC

RECEIVED
OCT 24 2006



DIMENSIONED
FIRST FLOOR PLAN



DIMENSIONED
SECOND FLOOR PLAN

KEYNOTES ⊙

GENERAL NOTES

sca design

PLAN 3386

FIRST FLOOR AND SECOND FLOOR DIMENSIONAL PLAN

A1.2

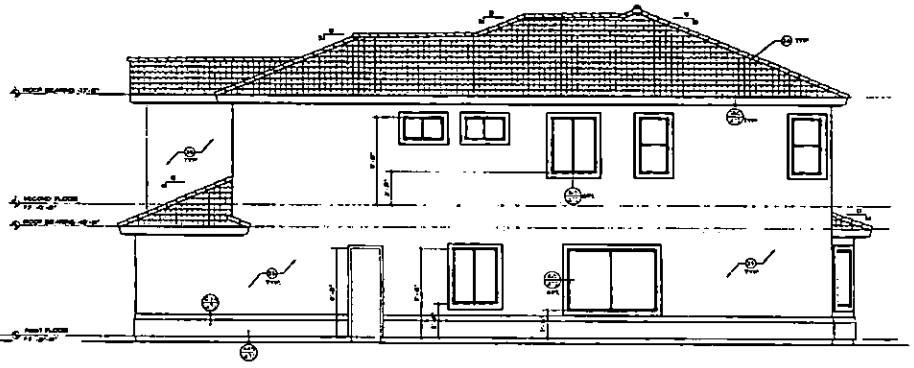
02/08/07 PC

SDR-17727

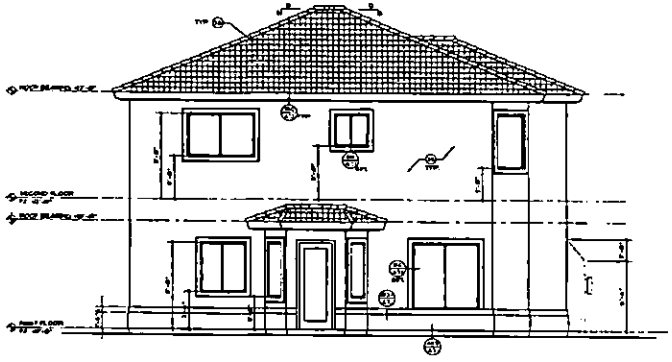
KEYNOTES

GENERAL NOTES

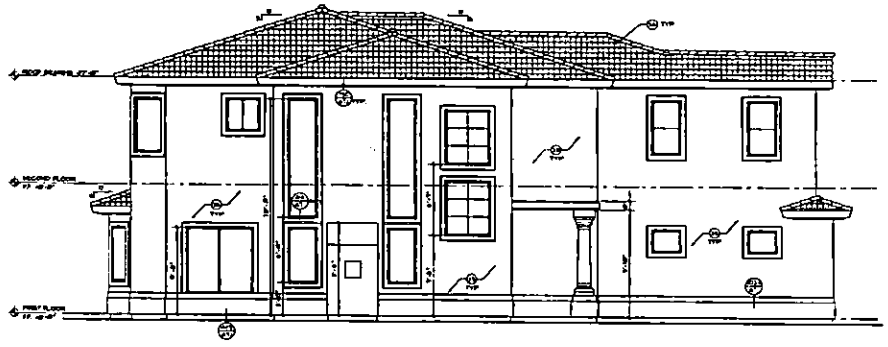
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

sca design

Project PLAN 3388

Sheet Title EXTERIOR ELEVATIONS

Date 2/28/2006

Drawn by PBA

Checked by PBA

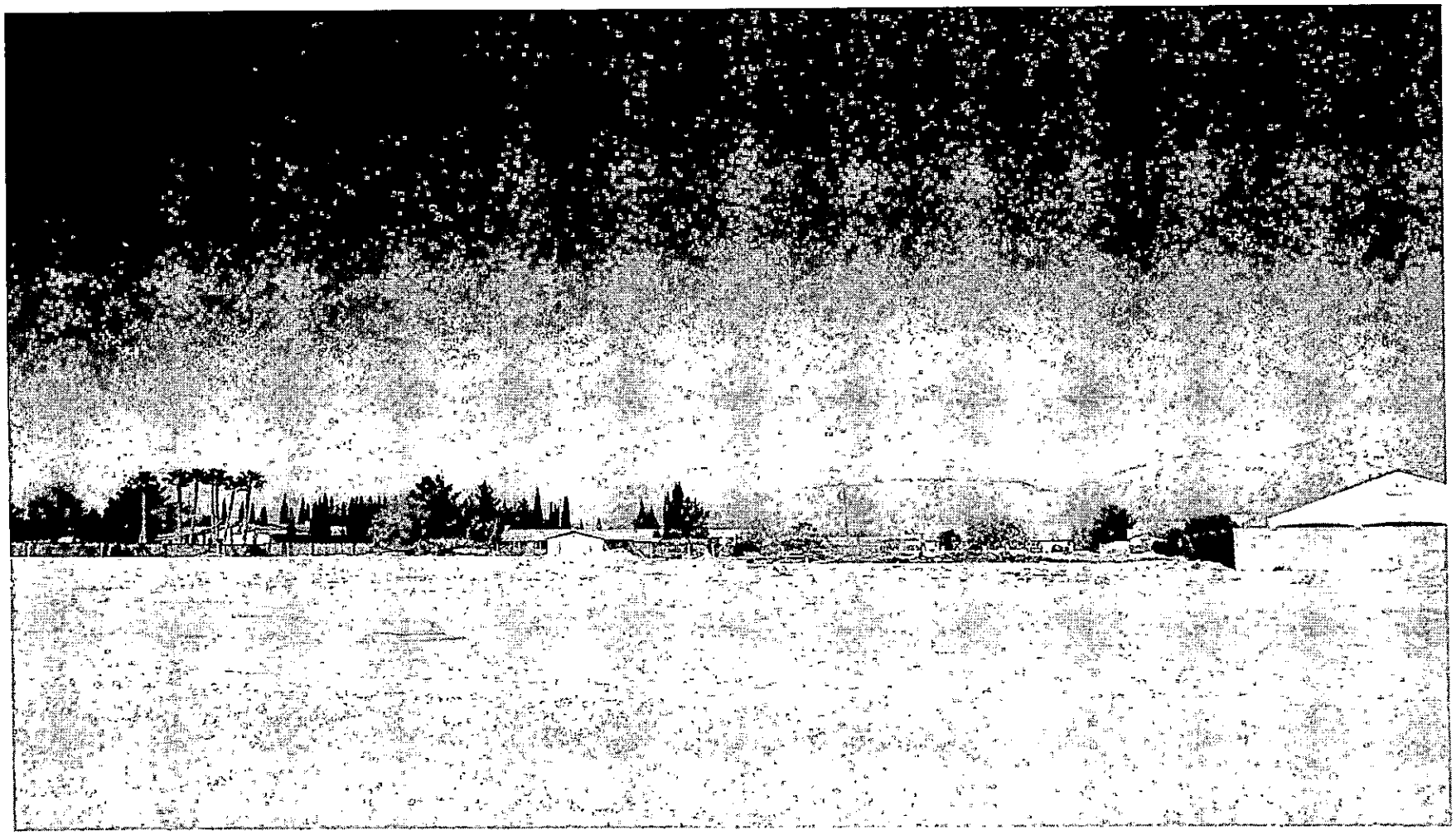
A2.1

02/08/07 PC

SDR-17727

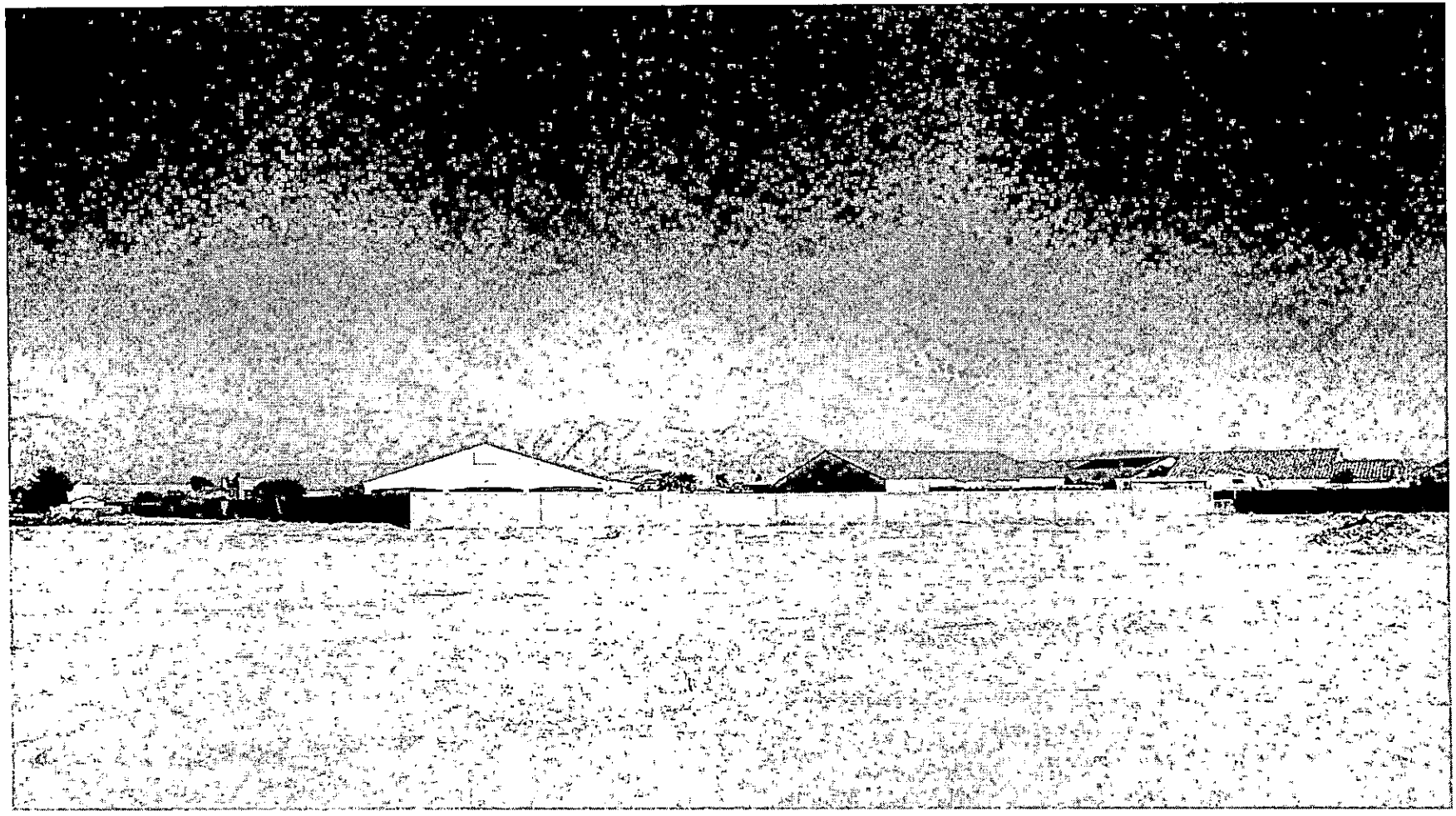
RECEIVED

OCT 24 2006



ZON-18196 AND SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON AVENUE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06



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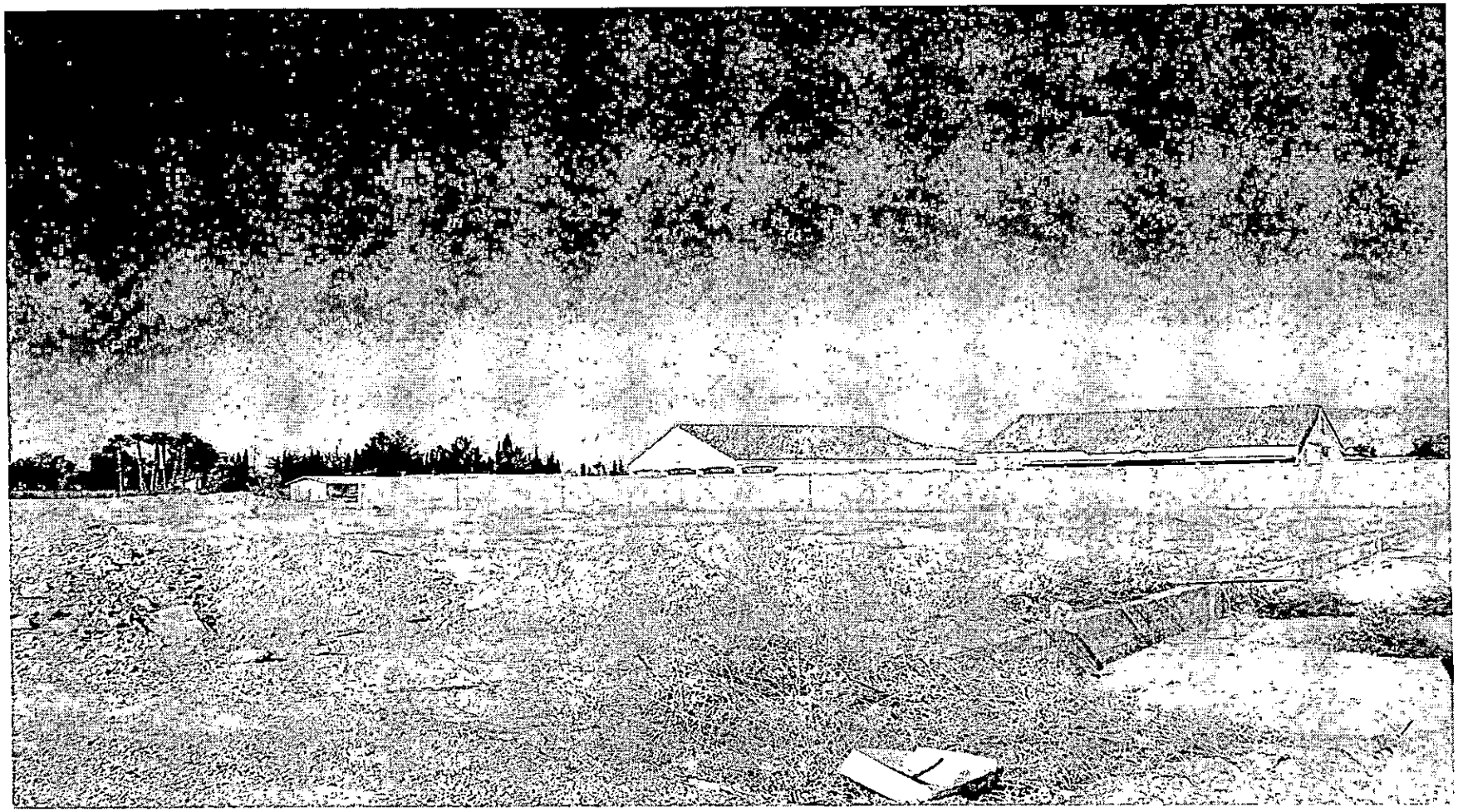
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON AVENUE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06



ZON-18196 AND SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON AVENUE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06

TANEY ENGINEERING

4445 S. JONES #1
LAS VEGAS, NEVADA 89103
TELEPHONE: (702) 362-8844
FAX: (702) 362-5233

December 26, 2006

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Attn: Rob Levrant

Re: Floor Plan Clarification For Centennial And Leon
APN 125-24-404-006

Dear Mr. Levrant:

As per our phone conversation in the morning of Tuesday, December 26, 2006, please remove floor plan 302 from the submittal package for Site Development Review (SDR-17727) and Rezoning (ZON-18196). The floor plans being use for this project is Floor Plan 5503 and Floor Plan 3396.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

RECEIVED
DEC 26 2006

ZON-18196
SDR-17727
02/08/07 PC

TANEY ENGINEERING

4445 S. JONES #1
LAS VEGAS, NEVADA 89103
TELEPHONE: (702) 362-8844
FAX: (702) 362-5233

January 5, 2007

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Re: Site Development Review for Centennial and Leon

To Whom It May Concern:

On behalf of our client, National Homes Corporation, we are proposing an R-PD4 on approximately 2.18 gross acres that is currently zoned R-E. The project site is bounded by existing homes (R-E and R-1) on the north and east, a future home (R-E) west and Centennial Parkway on the south. The proposed subdivision consists of 8 lots with a gross density of 3.67 dwelling units per acre. The project site is proposed to have the following setbacks:

Front – 18-ft from back of curb
Side and Side Corner – 3.5-ft
Rear – 10-ft
Patio Cover (12-ft or less in Height) – 5-ft
Maximum Building Height is 35-ft
Minimum Lot Size 4200 SF

On lots 1, 2 and 3 along the east property line, Balcony/Deck is being proposed as an option on these footprints. Therefore, we are asking the setback to the rear property line for these three (3) lots to be 5-feet to accommodate the Balcony/Deck.

The proposed development will consist of all a mix of one and two story homes ranging in size from the mid 2,635-SF to the mid 5,503-SF size. All homes have a standard tow to three-car garage accessed from a 37-ft wide private street servicing the subdivision. Approximately 5,609 SF of open space has been provided, however is not required as the subdivision is less than 12 lots. Perimeter landscaping will be provided abutting Centennial Parkway in conformance with City of Las Vegas Standards.

Site Development Plan Review, SDR-6275, has also previously been filed for this project site. Please note that the setbacks, maximum building height and minimum lot size listed above correspond with the conditions listed for SDR-6275.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

ZON-18196 SDR-17727
REVISED 02/08/07 PC

City of Las Vegas

Agenda Item No.: 12

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - WVR-18085 - WAIVER - PUBLIC HEARING - APPLICANT/OWNER: JOSE LOPEZ - Request for a Waiver to Title 18.12.160 TO ALLOW 180 FEET BETWEEN STREET INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED at the southeast corner of Maverick Street and Jo Marcy Drive (APN 125-14-506-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

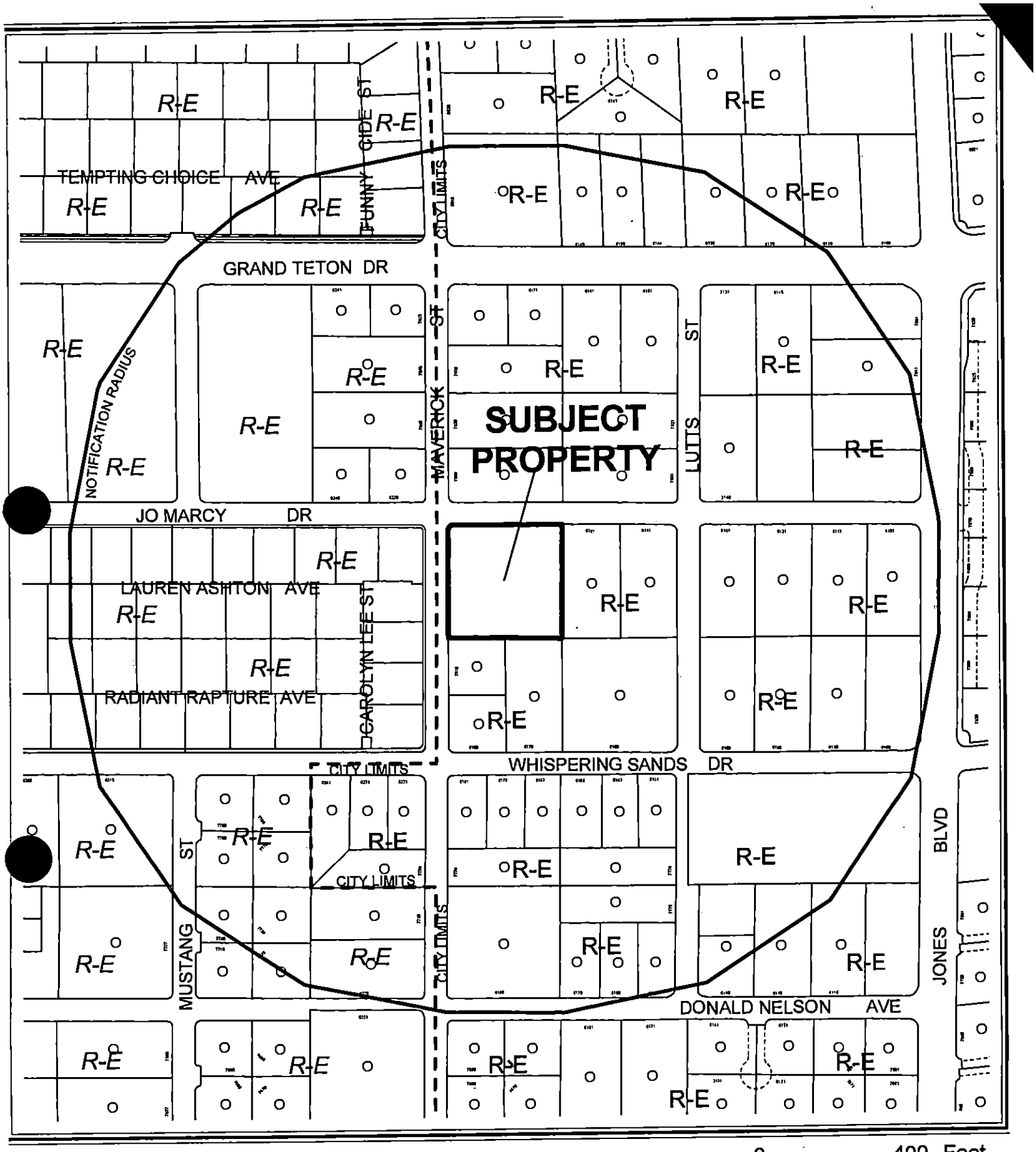
RECOMMENDATION:
Staff recommends **APPROVAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
Regarding Item 12 [WVR-18085] and Item 13 [SUP-18084], MR. KORKOSZ stated that the applicant has requested these items be held in abeyance to the 02/22/2007 Planning Commission meeting.

(6:06 – 6:12)



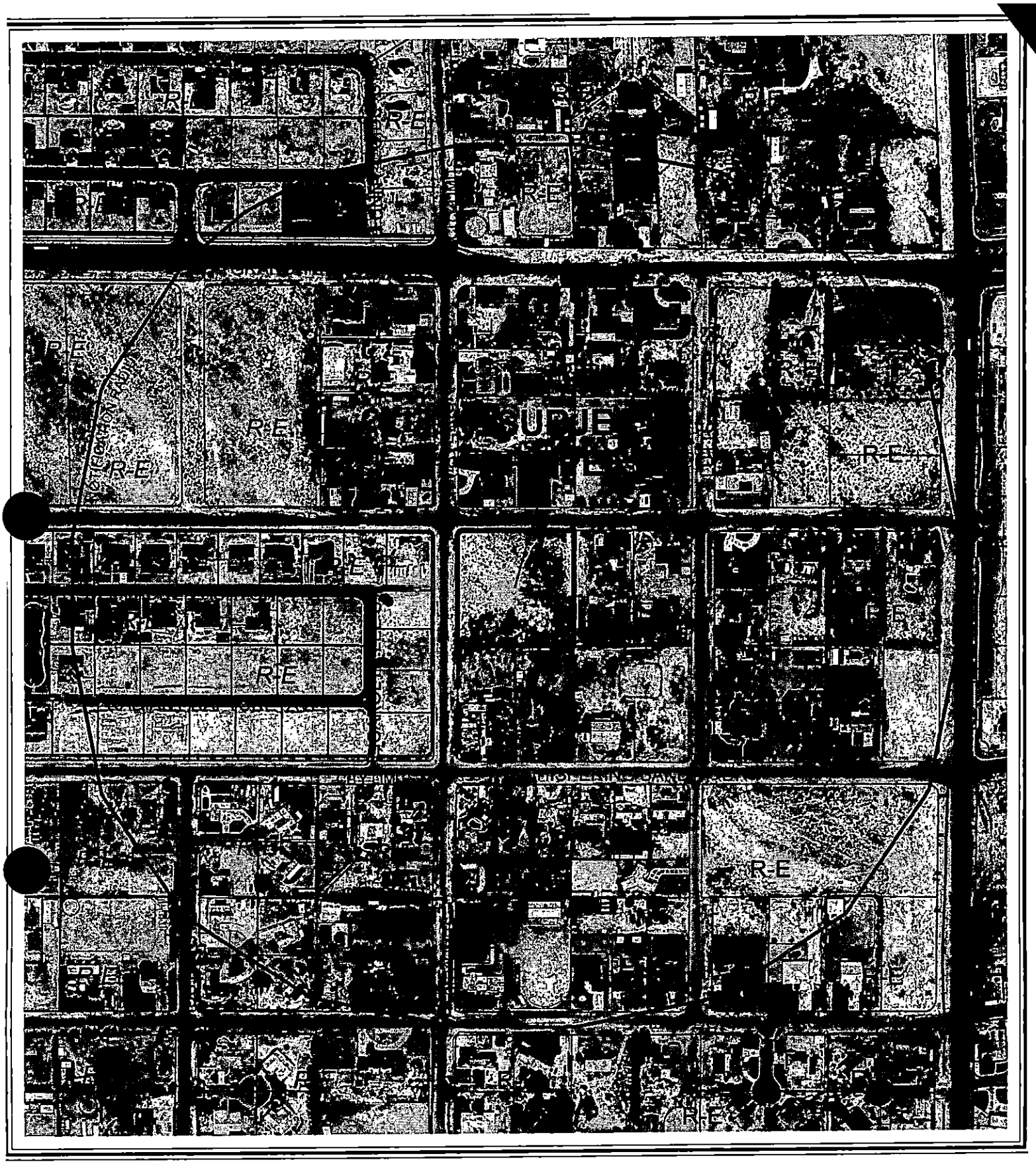
0 400 Feet

CASE: **WVR-18085**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

N



CASE: **WVR-18085**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: WVR-18085 – APPLICANT/OWNER: JOSE LOPEZ

** CONDITIONS **

STAFF RECOMMENDATION: **APPROVAL,** subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Special Use Permit (SUP-18084) shall be required, if approved.

2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

RTS

WVR-18085 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Waiver to Title 18.12.160 to allow approximately 180 feet between street intersections where 220 feet is the minimum distance separation required adjacent to the southeast comer of Maverick Street and Jo Marcy Drive. This intersection is needed to provide the entrance to a four-lot single-family residential subdivision.

The applicant indicates that the proposed entrance from Maverick Street would be compatible with the rural area and the limited scope of this project. Staff is recommending approval.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
05/09/06	Staff received a Parcel Map (PMP-13512) for review for a four lot parcel map. This is an administrative review pending approval of this wavier of Title 18.12.160 and a Special Use Permit (SUP-18084) for private streets.
01/25/07	The Planning Commission held this application and a companion Special Use Permit (SUP-18084) in abeyance until the 2/8/07 PC.
Related Building Permits/Business Licenses	
This is an undeveloped lot with no building permits or business licenses related to this project approved or under review.	
Pre-Application Meeting	
09/05/06	A pre-application was held and elements of this application were discussed. It was noted that the justification letter should include specifics about the intersection separation and that it should indicate whether the wavier is acceptable to Traffic Engineering and Fire Engineering. Submittal requirements were discussed.
Neighborhood Meeting	
A neighborhood meeting is not required nor was one held.	

Details of Application Request	
Site Area	
Net Acres	2.08

RTS

WVR-18085 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-Family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-Family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
East	Single-Family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
West	Single-Family Residential	Clark County (RNP)	Clark County

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	n/a
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	n/a
Trails		X	n/a
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	n/a
Project of Regional Significance		X	n/a

DEVELOPMENT STANDARDS

Pursuant to Title 19.08, the following development standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	20,000 SF	21,084 SF	Y
Min. Lot Width	100 Feet	141 Feet	Y
Min. Setbacks			
• Front	35 Feet *	>35 Feet	Y
• Side	10 Feet	>10 Feet	Y
• Corner	15 Feet	>15 Feet	Y
• Rear	35 Feet	>35 Feet	Y
Max. Building Height	2 Stories/35 Feet	2 Stories/35 Feet	Y

* Lots which front onto a public street shall maintain a minimum front yard setback of fifty feet. The minimum front setback for an attached, open porte-cochere is thirty feet. Lots which front onto a private street or a private access easement shall maintain a minimum setback of thirty feet from the edge of the private street access easement; provided, however, where such lots are located on a cul-de-sac or a street knuckle, the minimum front yard setback shall be twenty feet from the edge of the private street or access easement.

WVR-18085 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Existing Zoning	Permitted Density	Units Allowed
R-E (Residence Estates)	2.0 Units Per Acre	4 Units
Proposed Zoning	**Permitted Density**	**Units Allowed**
R-E (Residence Estates)	2.0 Units Per Acre	4 Units
General Plan	**Permitted Density**	**Units Allowed**
DR (Desert Rural Density Residential)	2.49 Units Per Acre	5 Units

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
		Required			Provided		Compliance
			Parking		Parking		
Use	Number of Units	Parking Ratio	Regular	Handi-capped	Regular	Handi-capped	
Single-Family Residential	4	2 Spaces/Dwelling Unit	8 Spaces	0 Spaces	8 Spaces	0 Spaces	Y
TOTAL (including handicap)	4	2 Spaces/Dwelling Unit	8 Spaces		8 Spaces		Y

Waivers		
Request	Requirement	Staff Recommendation
Wavier of Title 18.12.160: To allow 180 feet btw intersections	220 feet btw intersections	PW Recommends – Approval

ANALYSIS

This request is not a Zoning Code compliance issue but a request for a Waiver in Title 18.12.160 of the Subdivision Ordinance to allow approximately 180 feet between street intersections where 220 feet is the minimum distance separation.

Specifically, Title 18.12.160 states:

> "Any intersection of any street that provides external access from a subdivision to any existing or planned street abutting the subdivision which has a right-of-way of sixty feet or more shall be offset from any other intersection by at least two hundred and twenty feet, measured from centerline to centerline. Intersections of streets providing service internally within a subdivision, where they do not intersect arterial or major streets, shall be offset a minimum of one hundred twenty five feet."

Public Works has no objection to the request for a Waiver of Title 18.12.160 to allow 180 feet between street intersections where 220 feet is the minimum distance separation required for property located on the southeast corner of Maverick Street and Jo Marcy Drive.

Public Works notes that this site is the subject of a Special Use Permit (SUP-18084); all site-related conditions of approval are addressed with those actions. Staff is recommending approval as Public Works has no objection to this request.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:
"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

The proposed design does not appear to present turn conflicts, nor is it expected to hinder area traffic flows. The hardship generating the request for the Waiver is real, given the shape and location of the parcel and scale of the project; therefore, approval of the Waiver is recommended.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 12

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED	92 [Mailed with SUP-18084]
APPROVALS	0
PROTESTS	0

RTS

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **WVR-18085** APN: 125-14-506-001

Name of Property Owner: Jose Lopez

Name of Applicant: Lana Manning-Civilworks, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Jose Gilbardo Lopez

Print Name: Jose Lopez

Subscribed and sworn before me

This 18 day of September 20 06

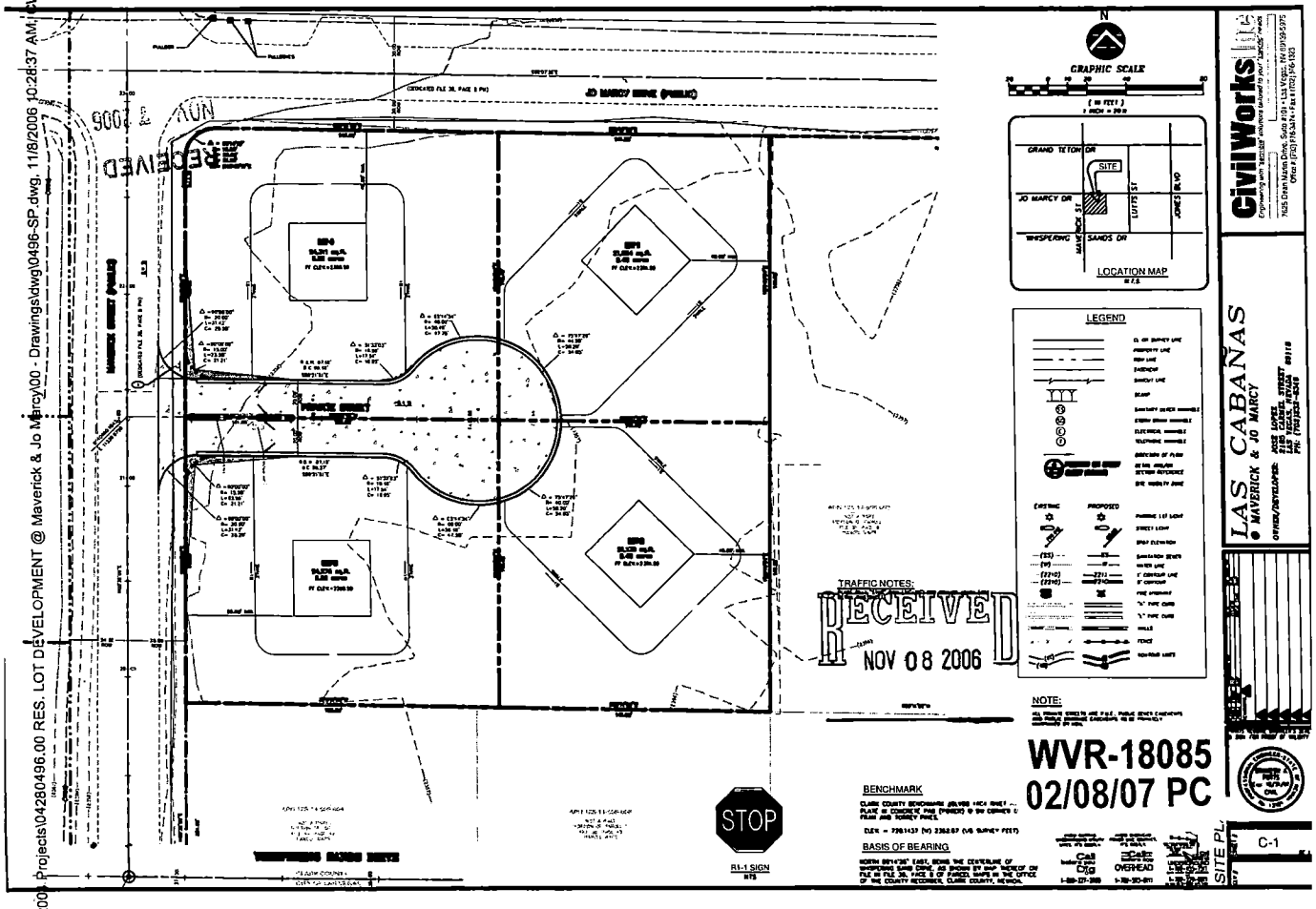
Cassidy Syphus

Notary Public in and for said County and State

CASSIDY SYPHUS
Notary Public - State of Nevada
Appointment Recorded in Clark County
No. 06-107398-1 Expires June 16, 2010

CASSIDY SYPHUS
Notary Public - State of Nevada
Appointment Recorded in Clark County
No. 06-107398-1 Expires June 16, 2010

X:\2006 Projects\04280496.00 RES. LOT DEVELOPMENT @ Maverick & Jo Mercy\00 - Drawings\dwg\0496-SP.dwg, 11/8/2006 10:28:37 AM, CWI, CW



November 6, 2006

City of Las Vegas Planning and Development Department
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

SUBJECT: REQUEST FOR WAIVER OF DEVELOPMENT STANDARDS
APN#-125-14-506-001

To Whom It May Concern:

We respectfully respect your consideration for approval for the above-referenced application. This is a proposed 4 lot residential subdivision situated on approximately 2.08 acres, located at cross streets Jo Marcy and Maverick. The current zoning on this parcel is RE, which shall remain.

We are requesting a Waiver of Development Standards of Title 18, Section 18.12.160 Intersections-Length- Any intersection of any street that provides external access from a subdivision to any existing or planned street abutting the subdivision which has a right-of-way of sixty feet or more shall be offset from any other intersection by at least two hundred twenty feet from centerline to centerline. We are requesting an approval of a street length of 180' where 220' is required. City of Las Vegas Traffic and Fire are in support of this application. Given the size and shape of the subject parcel as well as the rural setting, conforming to this standard would place an undue burden on our Client.

Accompanying this application is also a Special Use Permit application and a Deviation from Standards.

Thank you for your consideration, please contact me at 876-3474 if you need additional information.

Respectfully,

CIVILWORKS, INC.

Lana Manning
Agency Processor

LJM:iam

RECEIVED
NOV 08 2006

CivilWorks
Engineering with "sensible" solutions tailored to your "specific" needs
7625 Dean Martin Drive, Suite #101 • Las Vegas, NV 89139-5975
Office: 702.876.3474 • Fax: 702.876.1323

WVR-18085
02/08/07 PC

City of Las Vegas

Agenda Item No.: 13

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SUP-18084 - SPECIAL USE PERMIT RELATED TO WVR-18085 - PUBLIC HEARING - APPLICANT/OWNER: JOSE LOPEZ - Request for a Special Use Permit FOR PRIVATE STREETS at the southeast corner of Maverick Street and Jo Marcy Drive (APN 125-14-506-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

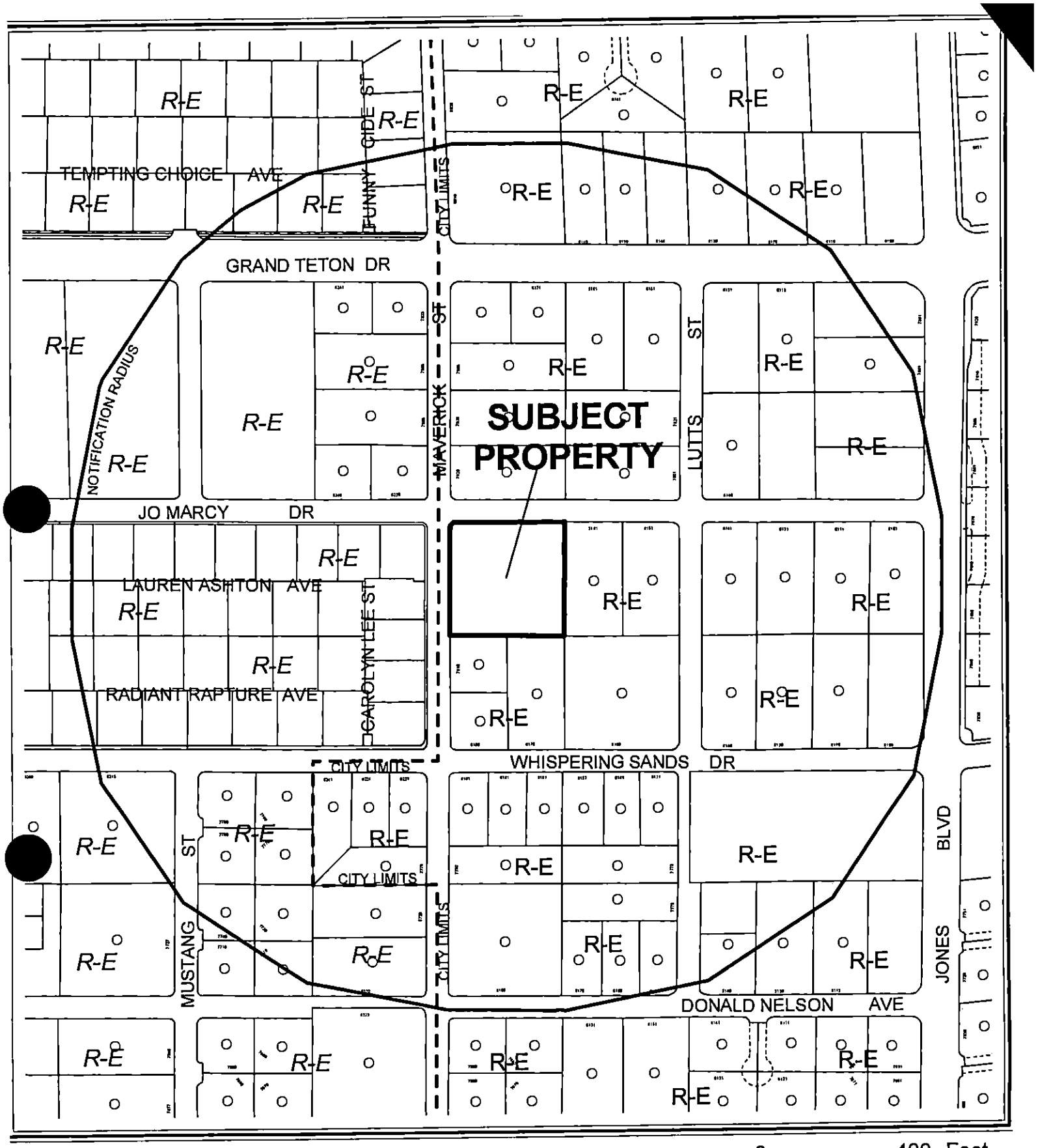
RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
Regarding Item 12 [WVR-18085] and Item 13 [SUP-18084], MR. KORKOSZ stated that the applicant has requested these items be held in abeyance to the 02/22/2007 Planning Commission meeting.

(6:06 – 6:12)



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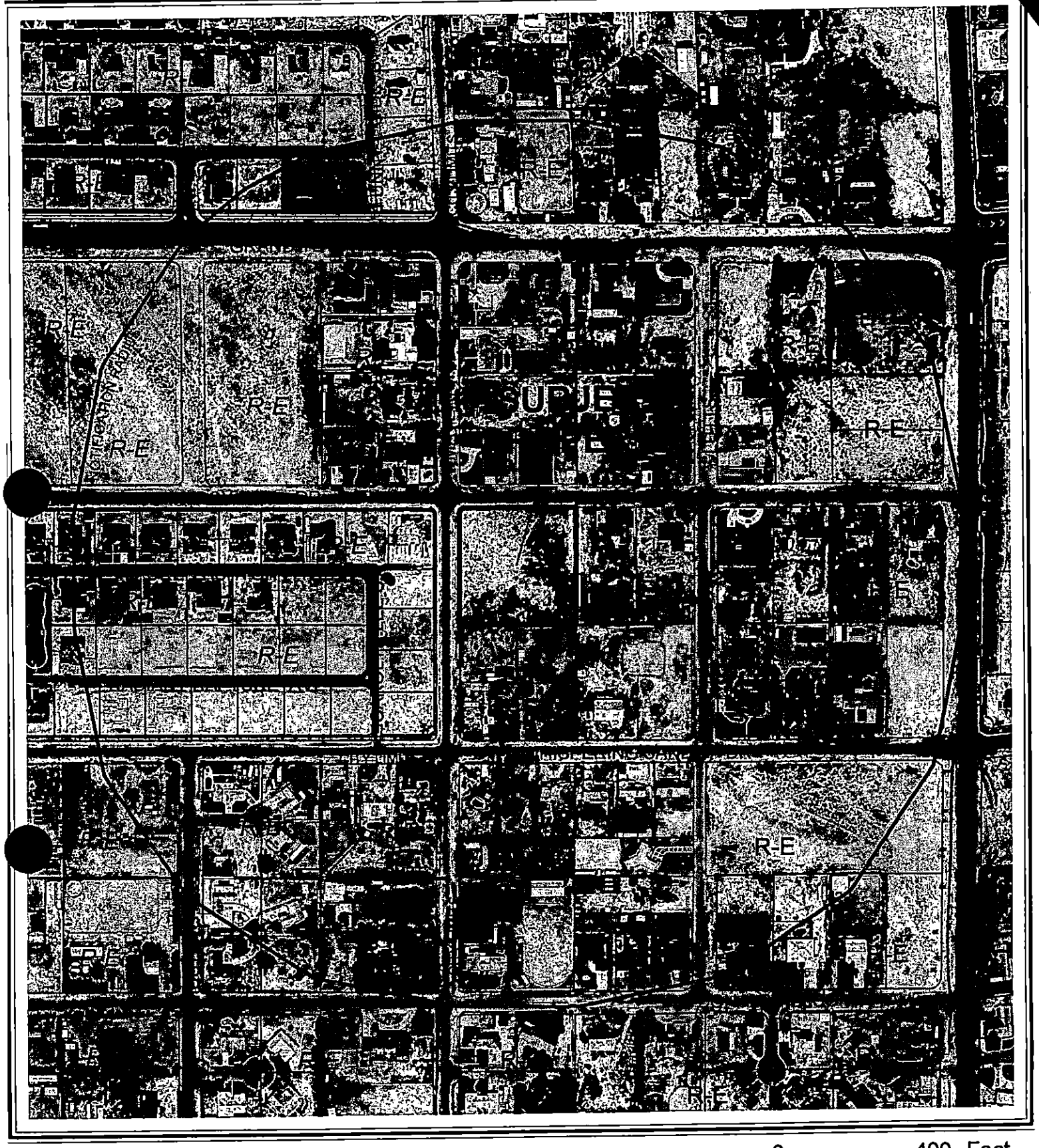
CASE: **SUP-18084**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

N



0 400 Feet

CASE: **SUP-18084**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: SUP-18084 – APPLICANT/OWNER: JOSE LOPEZ

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04 for Private Streets use.

2. Approval of and conformance to the Conditions of Approval for Waiver (WVR-18085) and Parcel Map (PMP-13512) shall be required.

3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Public Works

5. The private street shall be granted as a public utility easement (P.U.E), City of Las Vegas public sewer easement and public drainage easement to be privately maintained by the Homeowners' Association.

6. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

7. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

SUP-18084 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Special Use Permit for Private Streets in a single-family subdivision adjacent to the southeast corner of Maverick Street and Jo Marcy Drive. The project would create a four-lot single-family subdivision with access from Maverick Street.

This is a proposal for a new development with no existing streets and therefore unlike the conversion to private streets within an existing residential subdivision which is a Conditional Use, a Special Use Permit is required. The Private Streets use is not compatible with adjacent development, and therefore denial is recommended.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
05/09/06	Staff received a Parcel Map (PMP-13512) for review for a four lot parcel map. This is an administrative review pending approval of this Special Use Permit to allow the Private Streets use and a Wavier of Title 18.12.160 (WVR-18085).
01/25/07	A companion Wavier of Title 18.12.160 (WVR-18085) will be heard concurrently with this item.
Related Building Permits/Business Licenses	
This is an undeveloped lot with no building permits or business licenses related to this project approved or under review.	
Pre-Application Meeting	
09/05/06	A pre-application was held and elements of this application were discussed. It was noted that a wavier for intersection offsets was needed due to the 180 feet proposed offset where 220 feet is required. Additionally, it was noted that Traffic Engineering had no problem with the wavier of intersection separation and that the applicant must work with Fire Engineering regarding the gating of the private street. Further, Land Development discussed a drainage study and half-street improvements. Submittal requirements were discussed.
Neighborhood Meeting	
A neighborhood meeting is not required nor was one held.	

Details of Application Request	
Site Area	
Net Acres	2.08

RTS

SUP-18084 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural)	R-E (Residence Estates)
North	Single-Family Residential	DR (Desert Rural)	R-E (Residence Estates)
South	Single-Family Residential	DR (Desert Rural)	R-E (Residence Estates)
East	Single-Family Residential	DR (Desert Rural)	R-E (Residence Estates)
West	Single-Family Residential	Clark County (RNP)	Clark County

Existing Zoning	*Permitted Density*	*Units Allowed*
R-E (Residence Estates)	2.0 DUA	4 Units
Proposed Zoning	*Permitted Density*	*Units Allowed*
R-E (Residence Estates)	2.0 DUA	4 Units
General Plan	*Permitted Density*	*Units Allowed*
DR (Desert Rural)	2.49 DUA	5 Units

Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Area Plan		X	N/A
Special Districts/Zones	*Yes*	*No*	*Compliance*
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	N/A
Project of Regional Significance	X		Y

INTERAGENCY ISSUES

Pursuant to Ordinance No. 5477, the proposed project is deemed to be a "Project of Regional Significance" for the following reasons:

1) Any Special Use Permit within 500'of the City Boundary

An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities for the mandated 15-day period. A summary of the comments received, including recommendation for mitigation measures is as follows:

1) Flood Control requires a technical drainage study of the subject project to address and mitigate the drainage impact to the vicinity areas. The drainage study must be prepared by a Nevada registered civil engineer and submitted to the City of Las Vegas Flood Control Division for review and approval.

2) Las Vegas Valley Water District has determined that the project will not have a significant impact on the capacity of the District's water supply system.
3) Wastewater collection system has determined that the project will have minimal impacts.

The Planning Commission shall consider the Environmental Impact Assessment and the proposed mitigation measures prior to make a decision on the proposal.

DEVELOPMENT STANDARDS

Pursuant to Title 19.08, the following development standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	20,000 SF	21,084 SF	Y
Min. Lot Width	100 Feet	141 Feet	Y
Min. Setbacks			
• Front	35 Feet *	>35 Feet	Y
• Side	10 Feet	>10 Feet	Y
• Corner	15 Feet	>15 Feet	Y
• Rear	35 Feet	>35 Feet	Y
Max. Building Height	2 Stories/35 Feet	2 Stories/35 Feet	Y

* Lots which front onto a public street shall maintain a minimum front yard setback of fifty feet. The minimum front setback for an attached, open porte-cochere is thirty feet. Lots which front onto a private street or a private access easement shall maintain a minimum setback of thirty feet from the edge of the private street access easement; provided, however, where such lots are located on a cul-de-sac or a street knuckle, the minimum front yard setback shall be twenty feet from the edge of the private street or access easement.

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2.0 Units/Acre	4 Units	R-E (Residence Estates)	2.0 Units/Acre	DR (Desert Rural)	2.49 Units/Acre

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
		Required			Provided		Compliance
			Parking		Parking		
Use	Number of Units	Parking Ratio	Regular	Handicapped	Regular	Handicapped	
Single-Family Residential	4	2 Spaces Per Unit	8 Spaces	0 Spaces	8 Spaces	0 Spaces	Y
TOTAL (including handicap)	4	2 Spaces Per Unit	8 Spaces		8 Spaces		Y

RTS

SUP-18084 - Staff Report Page Four
February 8, 2007 - Planning Commission Meeting

Waivers		
Request	Requirement	Staff Recommendation
Wavier of Title 18.12.160: To allow 180 feet btw intersections	220 feet btw intersections	PW Recommends - Approval

ANALYSIS

This is a request for a Special Use Permit for Private Streets use in a single-family subdivision adjacent to the southeast corner of Maverick Street and Jo Marcy Drive. The conversion to private streets within an existing residential subdivision is a Conditional Use; however, because the proposed project is a new development with no existing streets, a Special Use Permit is required.

The project would create a four-lot single-family subdivision with entry to the site via a proposed private, gated entrance accessed from Maverick Street. The proposed internal street is a 40-foot wide private cul-de-sac.

The subject site is located within the Centennial Hills Sector of the General Plan. The site is categorized as DR (Desert Rural) under the General Plan with an R-E (Residence Estates) zoning designation. The DR (Desert Rural) designation allows a maximum of 2.49 dwelling units per gross acre. This category is a generally rural environment that permits greater privacy and some non-commercial rising of domestic animals. The zoning of R-E (Residence Estates) is in conformance with the DR (Desert Rural Density Residential) land use designation.

The site is located within the Rural Preservation Overlay District buffer area. The Rural Preservation Overlay District allows for a density of two units per acre. This project has a land use designation of DR (Desert Rural Density Residential), which allows a density of up to 2.49 units per acre. However, R-E (Residence Estates) zoning only allows a density of up to two units per acre which is in conformance with the provisions of this overlay district and is in keeping with the nature of the buffer area.

There are no Minimum Separation Distance Requirements in the Zoning Code that apply to the proposed Private Streets use. In the area, there are no existing gated private streets. Further, the Private Streets use is not compatible with adjacent development. Staff is recommending denial because of the incompatibility of the Private Streets use with adjacent development.

Conditions:

Private Streets [All Residential Districts]

(1) Eligibility as Conditional Use. Private streets are permitted pursuant to the following provisions only if:

(a) The streets are public streets within an existing subdivision that are proposed to be converted to private streets; and
(b) All the lots within the subdivision conform to the minimum lot size requirements of Title 19.

(2) Design and Construction Standards. Unless otherwise approved by the City Council or otherwise provided by means of a specific regulation governing private streets, every private street shall conform to the same standards that govem the design and construction of public streets.

(3) Access Restrictions. The entrances to all private streets must be marked with a sign stating that it is a private street. Guard houses, access control gates and cross arms may be constructed. All restricted access entrances shall be manned twenty-four hours every day or provide an altemative means of ensuring access to the subdivision by the City and other emergency and utility service providers with appropriate identification. If the association fails to maintain reliable access as required to provide City services, the City may enter the subdivision and remove any gate or device which is a barrier to access at the sole expense of the association. The association documents shall contain provisions in conformity with this paragraph which may not be amended without the written consent of the City.

(4) Access Restricted Entrance Design Standards. Any private street which has access control gates or cross arms must be of a break-away design. A turn-around space must be located in front of any restricted access entrance to allow vehicles denied access to safely exit onto public streets. Any guardhouse, or other entry feature designed as a drive-through, must have a minimum clearance of fourteen feet in height above the road surface.

(5) Streets Excluded. Streets shown on the Master Plan of Streets and Highways shall not be used, maintained, or constructed as private streets. Also, the department may deny the creation of any other private street if it is determined that the private street would have any of the following effects:
(a) Negatively affect traffic circulation on public streets;
(b) Impair access to property either on-site or off-site to the subdivision;
(c) Impair access to or from public facilities including schools, parks and libraries; or
(d) Delay the response time of emergency vehicles.

(6) Property Owners' Associations Required. Subdivisions developed with private streets must have a mandatory property owners' association which includes all property served by private streets. The association shall own and be responsible for the maintenance of private streets and appurtenances. The association documents must establish a reserve fund for the maintenance of streets and other improvements. Such documents are subject to review and approval by the City to ensure that adequate provision for maintenance has been made.

(7) Private Street Requirements. Private streets must be located on property that is separately owned by a property owners' association or is subject to perpetual access easements running in favor of the owners of lots within the subdivision. Private streets must include provision for appropriate easements to be granted to the City and to other utility providers allowing necessary use and access for utilities and the maintenance thereof. The easements must also provide the City and protective service providers with the same right of access they would have if the streets were public streets.

(8) Waiver of Services. The subdivision final map, property deeds and property owners association documents shall note that certain City services shall not be provided on private streets. Among the services which will not be provided are: routine police patrols, enforcement of traffic and parking ordinances, preparation of accident reports and other services which may not be reasonably or properly available within a particular development. All private regulatory signs shall conform to State of Nevada regulations.

(9) Special Use Permit. In cases where a Special Use Permit is required to allow private streets that do not conform to the provisions of Paragraphs (1) through (5) above, the provisions of Paragraphs (1) through (8) above are minimum standards that shall presumptively apply to a Special Use Permit for this use. The prohibitions and requirements in Paragraphs (5) through (8) are not waivable in connection with a Special Use Permit approval.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

   There are no existing gated private streets in the area. The 40-foot private street is not compatible with existing surrounding land uses.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

   The subject site is suitable for the forty foot (40') wide private street within the proposed four-lot residential subdivision.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

   The proposed development will have access from Maverick Street, a 55-foot local street right-of-way, which will provide adequate ingress/egress for the proposed single-family development.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

   The proposed private streets will be subject to inspections for compliance to Title 18 (Subdivision Ordinance) requirements and to City design standards and therefore will not compromise the public health, safety and welfare or the overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 12

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 92 [Mailed with WVR-18085]

APPROVALS 0

PROTESTS 0

RTS

PLANNING & DEVELOPMENT

DEVELOPMENT SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18084** APN: 125-14-506-001

Name of Property Owner: Jose Lopez

Name of Applicant: Lana Manning-Civilworks, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Jose Guadalupe Lopez

Print Name: Jose Lopez

Subscribed and sworn before me

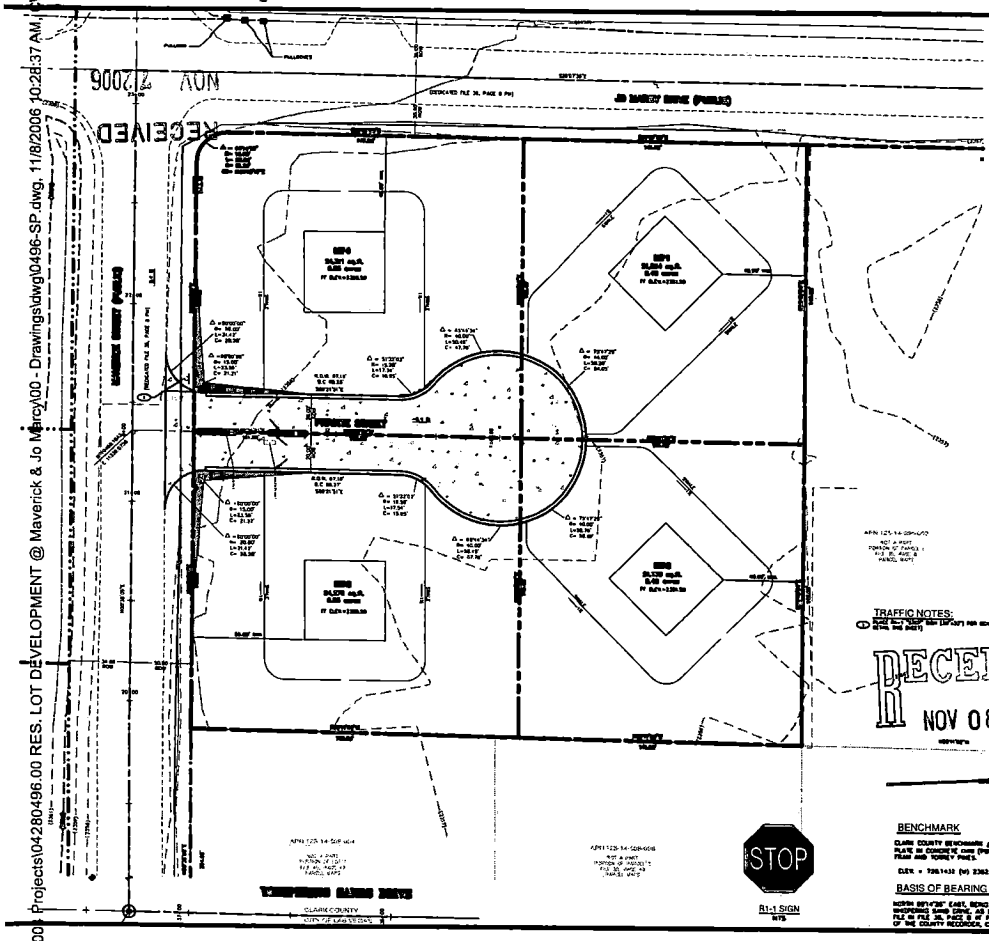
This 18 day of September, 2006

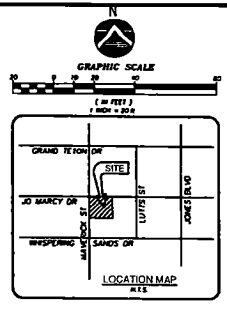
Cassidy Syphus

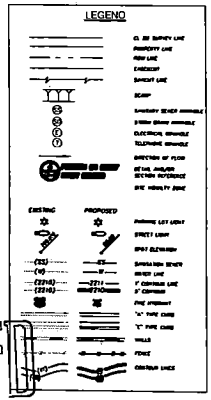
Notary Public in and for said County and State

CASSIDY SYPHUS
Notary Public - State of Nevada
Appointment Recorded in Clark County
No. 06-107398-1 Expires June 16, 2010

X:\2006 Projects\04280496.00 RES. LOT DEVELOPMENT @ Maverick & Jo Marcy\00 - Drawings\dwg\0496-SP.dwg, 11/8/2006 10:28:37 AM, CWI,CW







NOTE:

RECEIVED
NOV 08 2006

SUP-18084
02/08/07 PC

BENCHMARK

BASIS OF BEARING

CivilWorks

LAS CABAÑAS
• MAVERICK & JO MARCY

OWNER/DEVELOPER:

C-1

WVR-18085 & SUP-18084 - APPLICANT/OWNER: JOSE LOPEZ
SOUTHEAST CORNER OF MAVERICK STREET AND JO MARCY DRIVE
FEBRUARY 8, 2007 PLANNING COMMISSION

11/20/06

November 7, 2006

City of Las Vegas Planning and Development Department
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

SUBJECT: REQUEST FOR SPECIAL USE PERMIT
APN#-125-14-506-001

To Whom It May Concern:

We respectfully respect your consideration for approval for the above-referenced application. This is a proposed 4 lot residential subdivision situated on approximately 2.08 acres, located at cross streets Jo Marcy and Maverick. The current zoning on this parcel is RE, which shall remain.

On behalf of our Client, we are requesting a Special Use Permit to allow construction of a Private Street within a proposed gated subdivision. This being a gated community with access limited to the Homeowners and their guests, traffic on this street will be very minimal as there is no through access. We are requesting this Special Use Permit because we are not in conformance of the provisions outlined in Title 19.04 – Private Streets, paragraphs 1-5. Emergency vehicle access has been addressed through meetings with City of Las Vegas Fire Chief who is in agreement with this request.

Accompanying this application is a Waiver Of Development Standards application and a Deviation from Standards.

Thank you for your consideration, please contact me at 876-3474 if you need additional information.

Respectfully,

CIVILWORKS, INC.

Lana Manning
Agency Processor

LJM:lam

RECEIVED
NOV 08 2006

Civil Works
Engineering with "sensible" solutions tailored to your "specific" need
7625 Dean Martin Drive, Suite #101 • Las Vegas, NV 89139-59
Office: 702.876.3474 • Fax: 702.876.1323

SUP-18084
02/08/07 PC

City of Las Vegas

Agenda Item No.: 14

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - VAR-18346 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST - Request for a Variance TO ALLOW 32 PARKING SPACES WHERE 33 ARE REQUIRED FOR AN APPROVED TWO STORY, 9,805 SQUARE FOOT OFFICE BUILDING on 0.40 acres at 703 South Eighth Street (APN 139-34-810-042), P-R (Professional Office and Parking) Zone, Ward 3 (Reese).

C.C.: 03/07/07

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	0	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

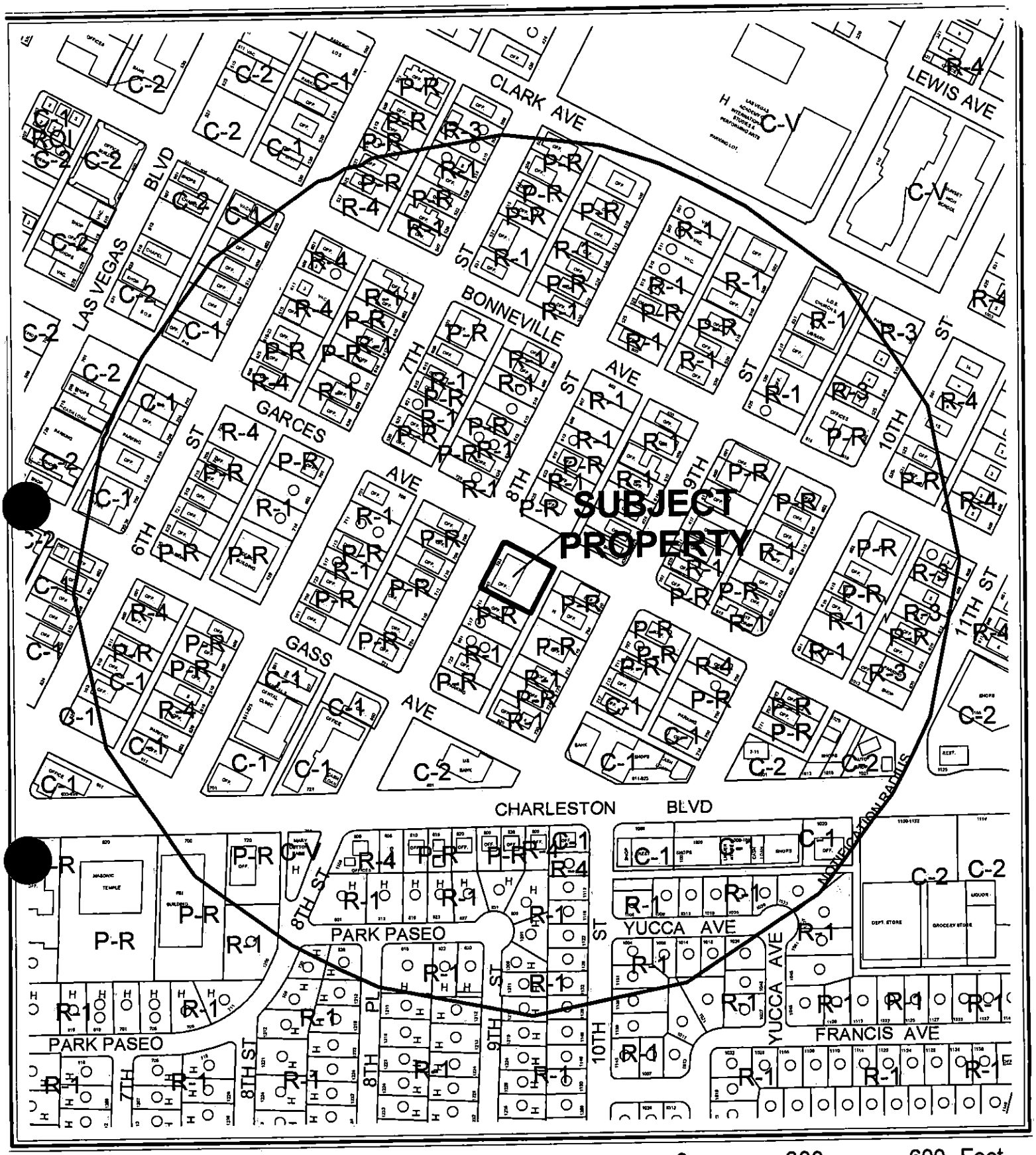
RECOMMENDATION:
Staff recommends this item be Withdrawn Without Prejudice

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

MOTION:
GOYNES – WITHDRAW WITHOUT PREJUDICE Item 6 [ZON-17248], Item 7 [SDR-17249] and Item 14 [VAR-18346]; HOLD IN ABEYANCE Item 12 [WVR-18085] and Item 13 [SUP-18084] to 2/22/2007; and TABLE Item 19 [ROC-17721] and Item 20 [SDR-17720] – UNANIMOUS

MINUTES:
JOHN KORKOSZ, Planning and Development Department, stated that the applicant has requested Item 14 [VAR-18346] be withdrawn without prejudice.

(6:06 – 6:12)

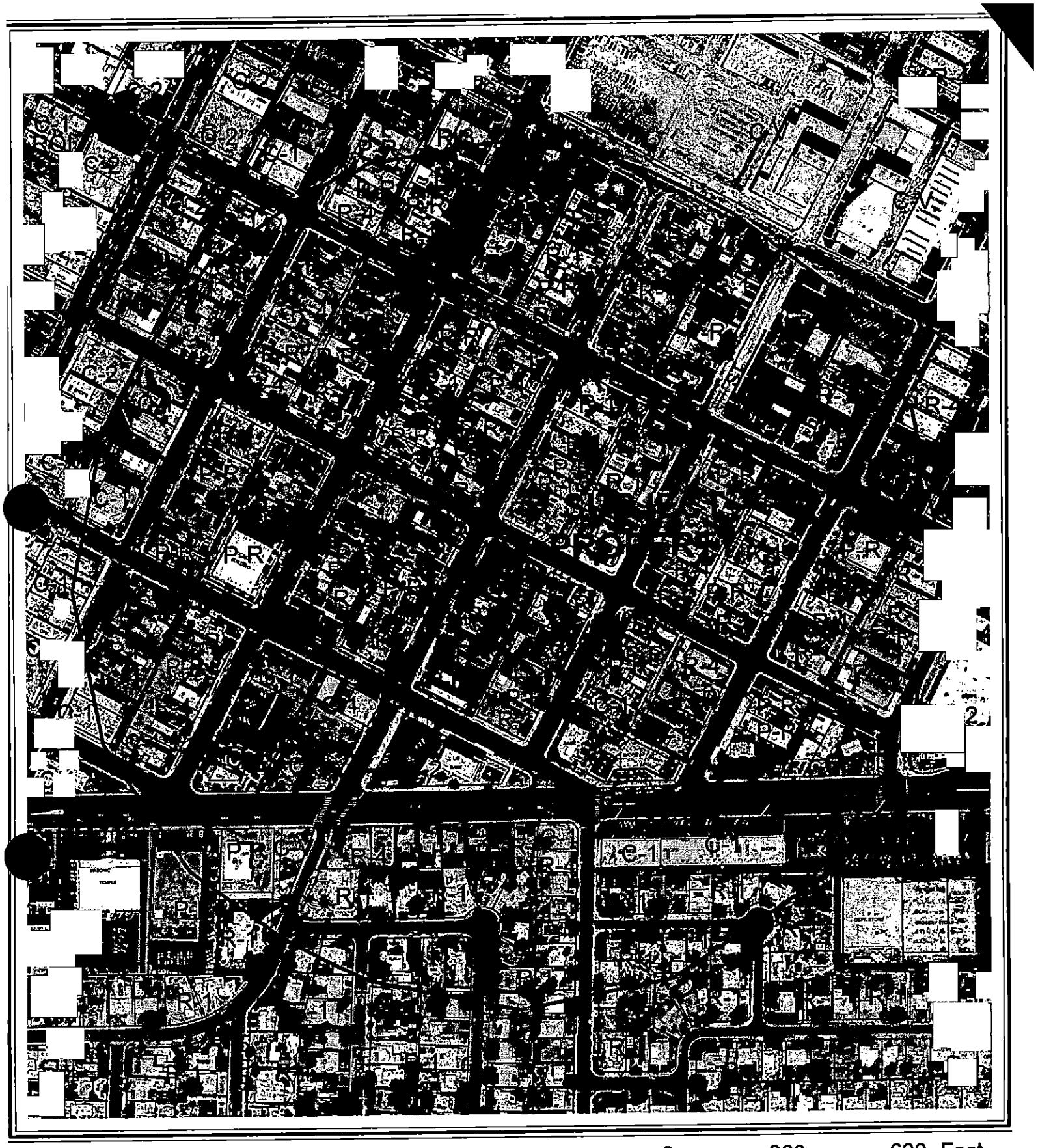


CASE: **VAR-18346**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: P-R (PROFESSIONAL OFFICE AND PARKING)

N



0 300 600 Feet

CASE: **VAR-18346**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: P-R (PROFESSIONAL OFFICE AND PARKING)

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST

APPLICANT REQUESTS THIS ITEM BE WITHDRAWN WITHOUT PREJUDICE

MEMO 13: Withdraw Letter

Project Name: 2-Story Law Office	*Date:* 07DEC06	*Project #:* 12680427.03
Location: @ 703 South 8th Street, Las Vegas, NV.	*Page:* 1 of 1	*Architect Phase #:* 06

Type: ☐ Conference ☐ Teleconference ☐ Research Report ■ Other: Withdraw

Attn: City of Las Vegas, Planning & Development Department

Fax: 702-385-7268

Re: VAR-18346

Please note the following:

On behalf of the Applicant for **VAR-18346** we are requesting this parking variance be withdrawn without prejudice from the February 8, 2007 agenda (Held in Abeyance from the January 11, 2007 agenda) and any/all fees reimbursed if possible.

If you have any questions or concerns please call to discuss.

Thank you

Distribution:	Fax:	Date:	Initial:	Signed by:
CLV	385-7268			Name: Mark V. Martino
				Title: Project Manager
				Last printed: 17-Jan-07 11:22 AM
☐ Mail	■ Please reply			Reviewed By:
■ Fax	☐ No Reply Necessary Unless Exception Taken			■ Project Files ☐ H.R.M. Files
☐ Deliver				☐ Account Files ☐ Other:

architecture/engineering/site planning/interiors
GARY GUY WILSON AIA STUDIOS...
7625 Dean Martin Drive, Suite #100 Las Vegas, NV 89139-5975
professional corporation • certified n.c.a.r.b. 702.876.0668 • info@ggwarchitects.com

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-18346 APN: 139.34.810.042

Name of Property Owner: AMESBURY VILLEGAS TRUST

Name of Applicant: DAVID C. AMESBURY

Name of Representative: GARY GUY WILSON ARCHITECTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ **Yes** ☒ **No**

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: David C. Amesbury

Print Name: David C. Amesbury

Subscribed and sworn before me

This 28th day of November, 2006

Marj Perrin

Notary Public in and for said County and State

MARJ PERRIN
Notary Public State of Nevada
No. 94-2060-1
My appt. exp. Sept. 13, 2010

SITE DEMOLITION NOTES:

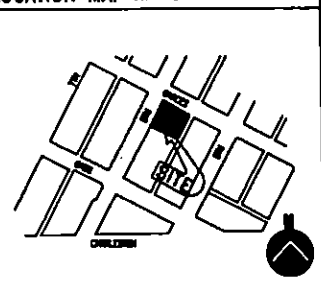
1. ALL DEMOLISHED CLDG. MATERIAL TO BE REMOVED FROM SITE
2. NO BURNING OF MATERIALS TO BE ALLOWED ON SITE.
3. CONTRACTOR TO COORDINATE UTILITY REMOVAL WITH ASSOCIATED UTILITY COMPANIES & OWNER. CAP ALL UTIL. TO DEMOLISHED BLDG. @ 3'-0" BELOW GRADE.
4. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO DEMOLITION & NEW CONSTRUCTION. IF A CONFLICT EXISTS IN FIELD, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT AND/OR OWNER IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK.
5. PATCH, REPAIR & REFINISH SURFACES AT DEMOLISHED AND NEW CONSTRUCTION THROUGHOUT

NOTE: CONTRACTOR TO PROVIDE AS-BUILT PLANS DOCUMENTING/LISTING ALL PLUMBING FIXTURES AND DRAINS THAT ARE DEMOLISHED DURING CONSTRUCTION FOR OWNERS RECORDS

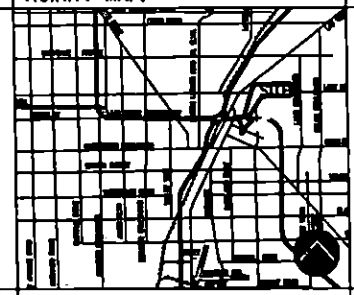
SITE NOTES:

1. ALL WALKWAYS SHALL NOT EXCEED A SLOPE OF 1:20 (5%) & CROSS SLOPE OF 2% U.N.O.
2. SEE CIVIL DRAWINGS FOR ADDITIONAL ON & OFF-SITE WORK. CONFIRM SITE W/CIVIL FOR DIMENSIONS AND BEARINGS
3. MARKED HCCP. CROSSWALK(S) SHALL NOT EXCEED A 5% RUNNING SLOPE AND A 2% CROSS SLOPE.
4. CONSTRUCTION MUST MEET ALL REQUIREMENTS OF ADA GUIDELINES AND CURRENT UBC.

LOCATION MAP SC: NONE



VICINITY MAP: SC: NONE



KEYNOTES: THIS SHEET ONLY

- 2200 EXISTING SIDE WALK TO REMAIN
- 2201 NEW LANDSCAPE AREA, SEE LANDSCAPE PLAN.
- 2203 NEW CMU WALL TO BE PROVIDED, SEE DETAIL 12/A1.3
- 2204 NEW PARKING AND DRIVING ACCESS TO ADDITIONAL PARKING UNDER 2ND FLOOR
- 2205 NEW ADA ACCESSIBLE CONCRETE WALK, 4'X6'-0" W. 7/A1.3
- 2206 OUTLINE OF EXISTING STRUCTURE(S) TO BE DEMOLISHED
- 2207 NEW ADA ACCESSIBLE CONCRETE WALK 4" X 10'W WALK TO WRAP AROUND EX. TREE W/ MIN. 4'-0" WIDE WALK; SCORE PATTER AS SHOWN
- 2208 TRASH ENCLOSURE, SEE SHEET A1.4
- 2209 NEW 5-8 CONC SIDEWALK SEE CIVIL
- 2502 TYPICAL 9X18 PARKING STALLS, SEE FIRST FLOOR PLAN.
- 1820 NPC TRANSFORMER, SEE ELEC., VERIFY EXACT LOCATION
- 7110 EXISTING CURB CUT TO BE REMOVED AND REPLACED, SEE CIVIL
- 7102 NEW A.C. PAVING & PAINTED STRIPING

PROJECT DATA:

CODE ANALYSIS: CITY OF LAS VEGAS, NEVADA

1. TYPE OF CONSTRUCTION: I-B @ OPEN PARKING; V-B @ OFFICES
2. OCCUPANCY CLASSIFICATION: S-2 @ OPEN PARKING GARAGE; B @ OFFICES
3. AREA:
   - ACTUAL AREA UNDER S-2: 10,360 SF
   - BASIC ALLOWABLE S-2 AREA: UNLIMITED
   - ACTUAL AREA UNDER B: 9,828 SF
   - BASIC ALLOWABLE B AREA: 9,000 SF
   - PERIMETER OF BLDG: 403 FT
   - PART FRONTING YARD >30 FT: 306 FT
   - AREA INCREASE ALLOWABLE DUE TO FRONTAGE: (306/403-0.25)9000 SF =4583 SF
   - TOTAL B AREA ALLOWABLE: 9000+4583=13,583 SF
   - 9828 SF < 13583 SF; THEREFORE, ACTUAL ALLOWABLE
4. HEIGHT: ACTUAL 34'-0"; ALLOWABLE 35'-0"
5. STORIES: ACTUAL 2 STORIES; ALLOWABLE 2 STORIES
6. OCCUPANT LOAD:
   - OFFICE AREA: 8750 SF @ 100 SF/P =88 P
   - CONF. AND BREAK RM AREA: 1088 SF @ 15 SF/P = 72 P
   - SUBTOTAL—UPPER FLOOR: 160 OCCUPANTS
   - PARKING GARAGE AREA: 10360 SF @ 200 SF/P = 52 P
   - TOTAL OCCUPANT LOAD: 10360 SF @ 200 SF/P = 212
7. EXITS: REQUIRED: 2; PROVIDED: 3
8. FIRE RATINGS, WALLS

	I-B	V-B
STRUCTURAL FRAME	2	0 HR
EXT. BEARING WALLS	2	0 HR
INT. BEARING WALLS	2	0 HR
NON BEARING WALLS	0	0 HR

9. FIRE SEPARATION: REQUIRED 2 HR BTWN B & S-2 W/ SPRINKLERS
10. SPECIAL INSPECTIONS: PER CODE
11. CODES: IBC 2003
12. FIRE SPRINKLERS: REQUIRED
    NOTE: BUILDING SPRINKLERED; EXTERIOR OPENINGS OF 25% OF WALL AREA ALLOWED @ 5'-10" FROM PROPERTY LINE

ZONING ANALYSIS:
CURRENT ZONING: PR
PROPOSED ZONING: PR
CURRENT GENERAL PLAN: MXU
PROPOSED GENERAL PLAN: MXU
REMARKS: 1. A WAIVER FOR LOT COVERAGE AND LANDSCAPING ALONG THE SOUTH PROPERTY LINE REQUESTED, AND APPROVED. SDR-6260.

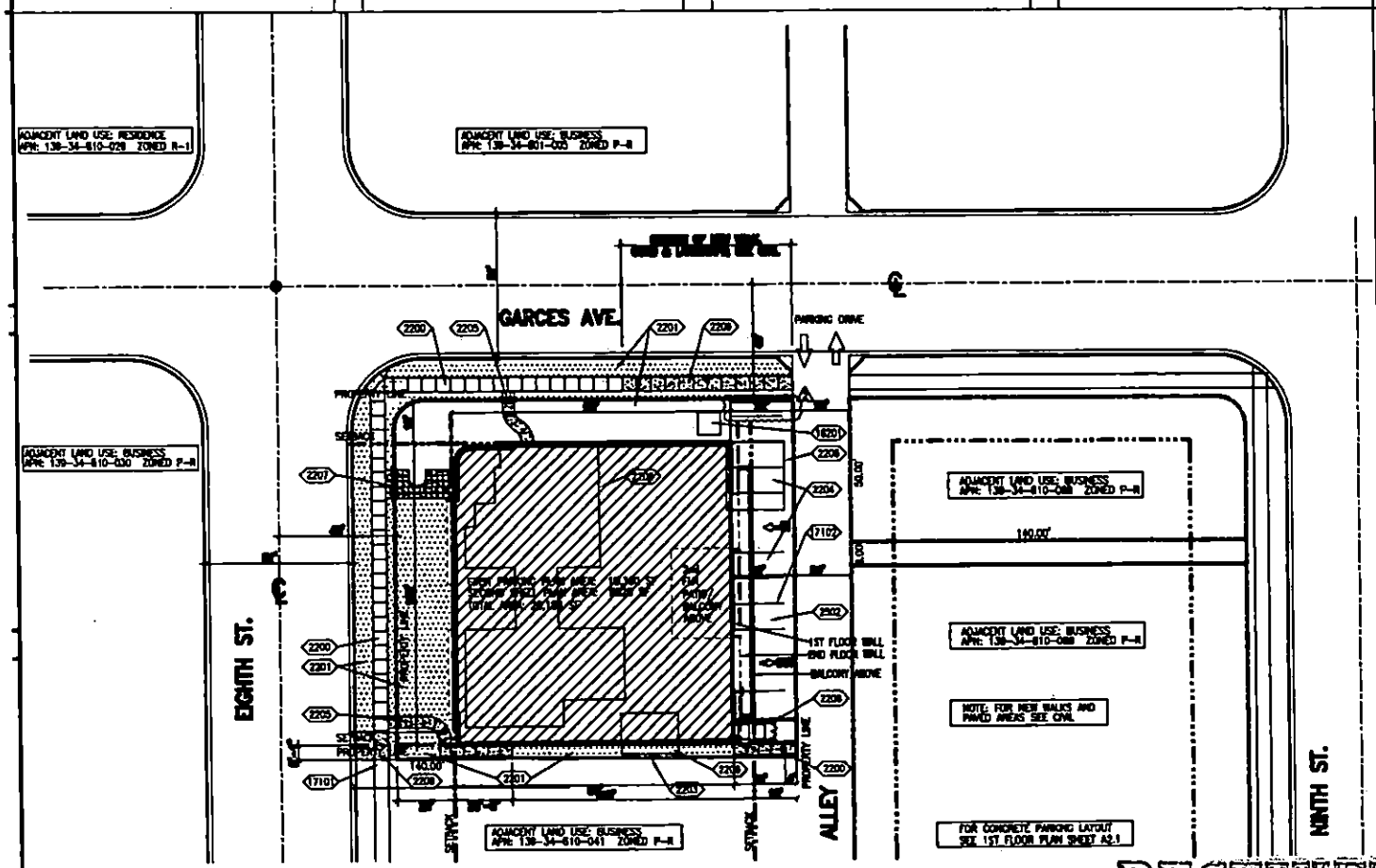
SITE
GROSS AREA: 0.46 ACRES (20188 SF)
% BLDG ALLOWED = 50% PROVIDED 50%

BUILDING SETBACKS:
- FRONT 20'
- INTERIOR SIDE 5'
- REAR 15'
- CORNER SIDE 15'

PARKING SETBACKS:
- FRONT 0'
- INTERIOR SIDE 0'
- REAR 0'
- CORNER SIDE 0'

PARKING:
- REQUIRED: 1 STALLS/300 SF 33 STALLS
- TOTAL PARKING PROVIDED 33 STD & 1 MOTORCYCLE
- HCCP. PKG. REQUIRED 2 STALLS
- HCCP. PKG. PROVIDED 2 STALLS
- LOADING REQUIRED 0 STALLS
- LOADING PROVIDED 0 STALLS

A.P.N. 139-34-810-042



RECEIVED NOV 2 8 2006

VAR 1810

02/08/07 PC

GARY GUY WILSON ARCHITECTS, PC
CONSULTANTS:
CIVIL: CIVILWORKS, INC
STRUCT.: WRIGHT ENGINEERS
ELEC.: PROFESSIONAL DESIGN ASSOC.
MECH.: PROFESSIONAL DESIGN ASSOC.

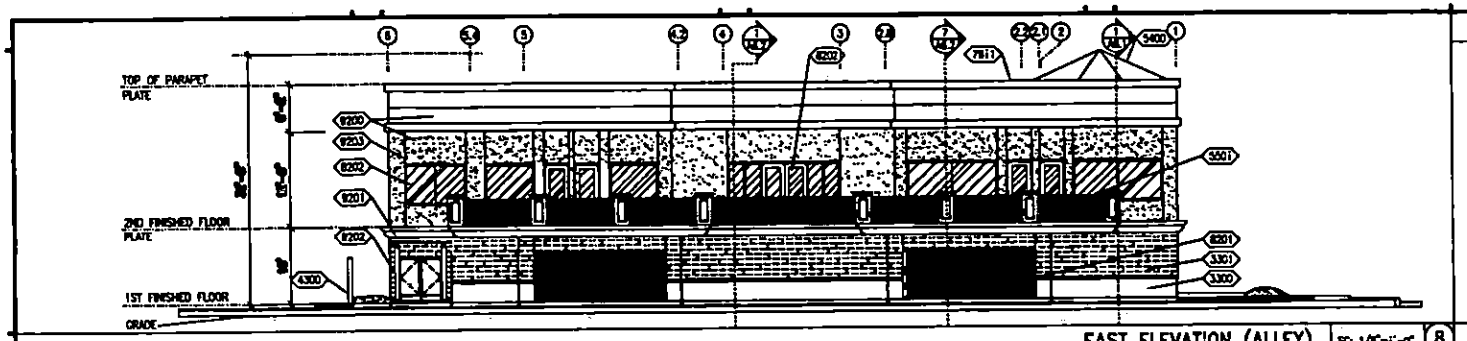
TWO STORY LAW OFFICES
SHELL BUILDING & TENANT IMPROVEMENTS
703 SOUTH EIGHTH STREET
LAS VEGAS, NEVADA

PROJ.NO.	1249/0407.03
DRAWN	C.C.W./SOM/AA
REVIEWED	RGW
QUA.CNTL	TM
TECH'N	CRP/ JMW
WORK.DWG	RGW
PH.1/A	09MAR05
PH.2	28MAR05
PH.3	11SEP06

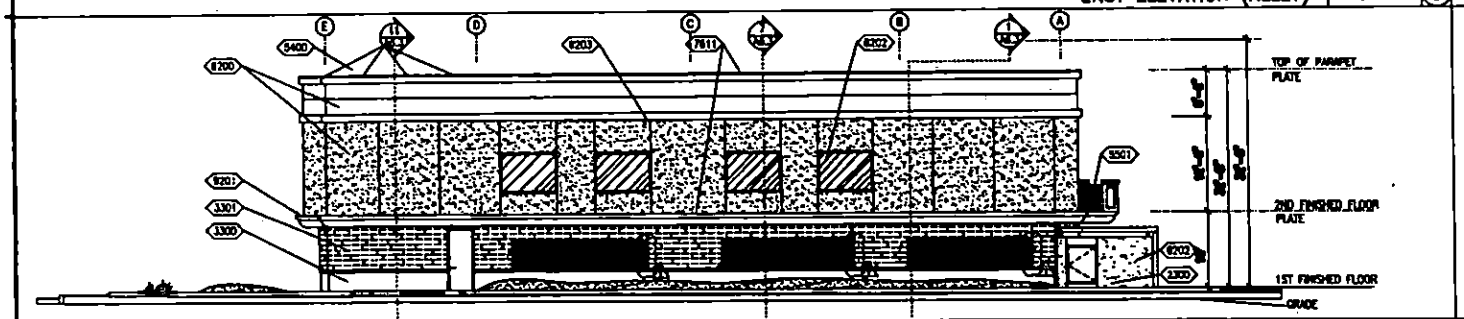
REVISIONS
- PLN CHK 22MAR06
- PLN CHK 18APR06

SITE PLAN / PROJ. DATA

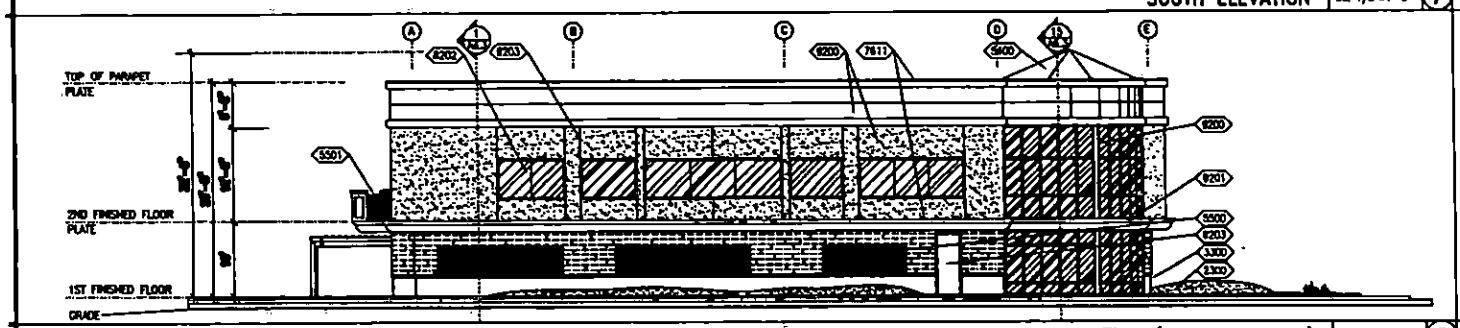
SHT.NO. A1.2



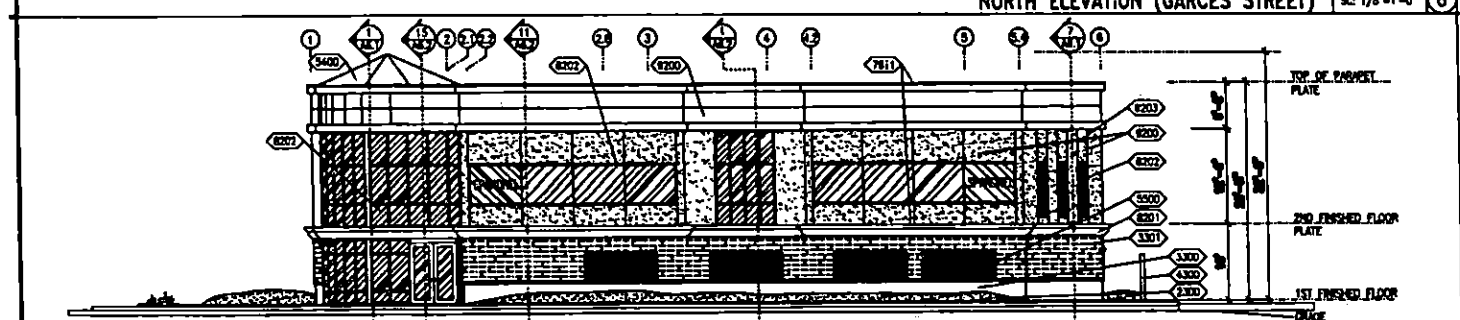
EAST ELEVATION (ALLEY) SC: 1/8"=1'-0" 8



SOUTH ELEVATION SC: 1/8"=1'-0" 7



NORTH ELEVATION (GARCES STREET) SC: 1/8"=1'-0" 6



WEST ELEVATION (EIGHTH STREET) SC: 1/8"=1'-0" 5

KEYNOTES: THIS SHEET ONLY

- 2300 LANDSCAPING BERM, SEE SITE PLAN & CIVIL DRAWINGS.
- 3300 CONCRETE WALL PAINTED (COLOR: TIMBER TRAIL) (SACK SMOOTH FINISH)
- 3301 STONE VENEER FINISH (COLOR: NATURAL BLEND)
- 4300 6'-0" HIGH PERIMETER WALL, SEE SITE PLAN.
- 5400 DECORATIVE METAL ROOF STRUCTURE BY SIGN COMPANY, SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- 5500 DECORATIVE WROUGHT IRON SECURITY BARS, PAINTED
- 5501 DECORATIVE BALCONY C.I. RAIL W/STUCCOED PILASTERS, SEE DET
- 7611 24 G.A. G.I. CAP/PARAPET FLASHING.
- 8201 AUTOMATIC OVERHEAD METAL ROLL UP SECURITY DOOR
- 8202 ALUMINUM STOREFRONT SYSTEM, SEE SCHEDULES.
- 8203 EXTERIOR DOOR, SEE SCHEDULES.
- 9200 STUCCO FINISH, PAINTED (COLORS: ENCHILADA & NATURAL ECHO)
- 9201 DECORATIVE STUCCO BUILD-OUT, PAINTED. (COLOR: NEW PENNY)
- 9202 TINISH ENCLOSURE WITH STUCCO FINISH AND PAINTED METAL GATES, SEE SITE PLAN
- 9203 STUCCO CONTROL JOINT, KICINE #15.

NOTES:

1. ALL EXTERIOR SIGNAGE TO BE PROVIDED BY OTHERS. PROVIDE J-BOXES IN PARAPETS FOR FUTURE SIGNAGE.
2. ALL EXPOSED STUCCO CORNERS TO HAVE RIGHT ANGLE STUCCO CORNER BEADS.
3. ALSO SEE SECTIONS, SCHEDULES AND M, P & E SHEETS FOR ADDITIONAL INFORMATION.
4. MECHANICAL EQUIPMENT TO BE LOCATED ON ROOF & SCREENED FROM VIEW.
5. ALL EXPOSED MATERIALS TO BE PRE-FINISHED OR PAINTED IN FIELD. MULTIPLE COLORS TO BE AS SELECTED BY ARCHITECT.

RECEIVED
NOV 28 2006

VAR-18346
02/08/07 PC

GARY GUY WILSON ARCHITECTS, PC
CLCD: PROFESSIONAL DESIGN ASSOC.
MECH: PROFESSIONAL DESIGN ASSOC.
CONSULTANTS:
CIVIL: CIVILWORKS, INC
STRUCTL: WRIGHT ENGINEERS

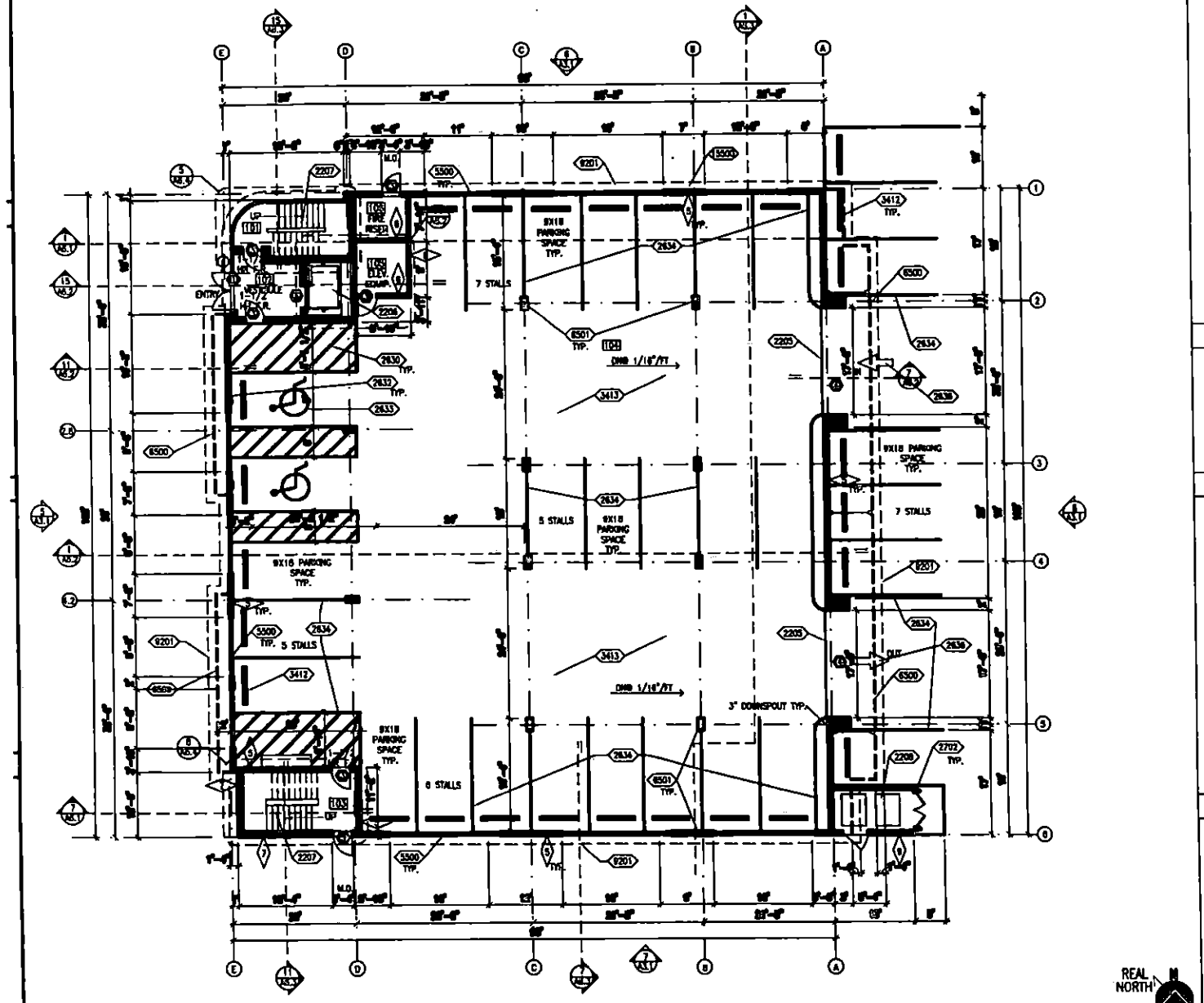
TWO STORY LAW OFFICES
SHELL BUILDING & TENANT IMPROVEMENTS
@ 703 SOUTH EIGHTH STREET
FOR: ARCHBURY & SCHUTT, ATTN DAVID C. ARCHBURY

PROJ NO	12A06407.01
PROJ MGR	G.G.WILSON/AIA
PROJ MGR	WVM
DOB CAPT	TTO
DRWN	LSN/AVB
ARCH CHK	GGW
PH-2 & 3	06JUN06
PH-4	28JUL06
PH-5	11SEP06

REVISIONS
PLN CHK 22MAR06

EXTERIOR ELEVATIONS

SHT NO A3.1



FIRST FLOOR PLAN SC: 1/8"=1'-0" 5

KEYNOTES: THIS SHEET ONLY

- 2205 AUTOMATIC ROLL UP ACCESS/ SECURITY GATES
- 2206 ELEVATOR ACCESS TO 2ND FLOOR
- 2207 STAIR ACCESS/ EXIT ENCLOSURE
- 2208 TRASH ENCLOSURE, SEE
- 2630 PAINTED HOOP ACCESS ISLE
- 2632 HOOP PARKING SIGN TYP. EA. STALL SEE
- 2633 HOOP PARKING SYMBOL TYP. EA. STALL SEE
- 2634 TYP. 3" PAINT STRIPING
- 2636 PAINTED ARROW AND TEXT
- 2702 STEEL PIPE BOLLARD, SEE
- 3412 TYP. 6'-0" LONG PRE-CAST CONC., TIRE STOP. TYP. ALL EXTERIOR STALLS
- 3413 TYP. CONC. SLAB/PARKING, SEE STRUCTURAL.
- 5500 DECORATIVE W.I. SECURITY BARS, PAINTED
- 6500 OUTLINE OF SECOND FLOOR ABOVE
- 6501 CONCRETE COLUMNS, SEE STRUCTURAL DRAWINGS
- 9201 DECOR STUCCO BUILD-OUT @ SECOND FLOOR LINE ABOVE
- 15500 SWITCH GEAR, SEE ELECTRICAL

SOUTH WALL AREA ANALYSIS

GROSS INSIDE AREA OF SOUTH WALL: 95.5' X 9.3' = 888 SF
25% OF WHICH IS 222 SF
TOTAL AREA OF OPENINGS, WINDOWS AND DOOR:
=[(163.3)' X 4'] + (3.3 X 0.3) = 210.38 SF
210.38 < 222 SF, THEREFORE MEETS IBC 2003 TABLE 704.8

WALL TYPE LEGEND

5 — 6" CONCRETE WALL W/PAINT LOWER PORTION AND STONE VENEER UPPER FOR TYPICAL EXTERIOR WALL. SEE FINISH SCHEDULE FOR INTERIOR WALLS & ELEVATIONS FOR DETAILS, ALSO SEE STRUCT INTERIOR WALL REQUIRED TO BE 2-HR FIRE RATED
2003 IBC TAB 720.1(2) ITEM #4-1.1
SEE EXTRACT @ 6/A7.2

6 — TYP. INTERIOR WALL - 6" STEEL STUDS AT 16" O.C. W/5/8" TYPE "X" GYPBD. BOTH SIDES AND R-19 BATT INSUL., TAPED AND TEXTURED TO CONC. DECK. ABOVE

7 — 10" CONCRETE WALL W/PAINT LOWER PORTION AND STONE VENEER UPPER FOR TYPICAL SOUTH STAIR EXT. WALLS, SEE FINISH SCHEDULE FOR INTERIOR WALLS & ELEVATIONS FOR DETAILS, ALSO SEE STRUCTURAL. FINISH INSIDE W/ONE LAYER OF 5/8" GYP. BD., PAINTED.

8 — 8" CONCRETE BLOCK WALL, GROUT FILLED W/ STUCCO FINISH EXTERIOR SURFACE.

GENERAL NOTES:

1. ALL INTERIOR PARTITIONS TO RECEIVE FULL THICK BATT INSULATION.
2. ALL PARTITIONS TO EXTEND TO 6" ABOVE FINISHED CEILING, UNLESS NOTED OTHERWISE (U.N.O.)
3. ALL DIMENSIONS ARE SHOWN TO THE FACE OF CONC. BLOCK OR STUD WALL.
4. TYP. MINIMUM DIMENSION @ HINGE SIDE DOOR JAMB IS 5" U.N.O.
5. TYP. WALL TO BE TYPE 5 U.N.O.

RECEIVED NOV 28 2006

VAR-18346
02/08/07 PC

GARY GUY WILSON ARCHITECTS, PC
7625 South Tacoma Way, Suite 100, Lakewood, WA 98499
(253) 581-2448 FAX (253) 581-2449
CONSULTANTS:
CIVIL: CIVILWORKS, INC
STRUCTL: WRIGHT ENGINEERS
ELEC: PROFESSIONAL DESIGN ASSOC.
MECH: PROFESSIONAL DESIGN ASSOC.

TWO STORY LAW OFFICES
SHELL BUILDING & TENANT IMPROVEMENTS
@ 703 SOUTH EIGHTH STREET
FOR: MESSLEY & SCHMIT, ATTN DAVID C. MESSLEY
TACOMA, WASHINGTON

PROJ.NO.	124004407.03
DRAWN BY	G.G.WILSON AIA
PROJ.MGR	WAH
JOB CAPT	TBD
TECH'N	GRP/JWP
ARCH.GRD	SGW
PH-2/3	06JUN05
PH-4	25JUL05
PH-5	11SEP05

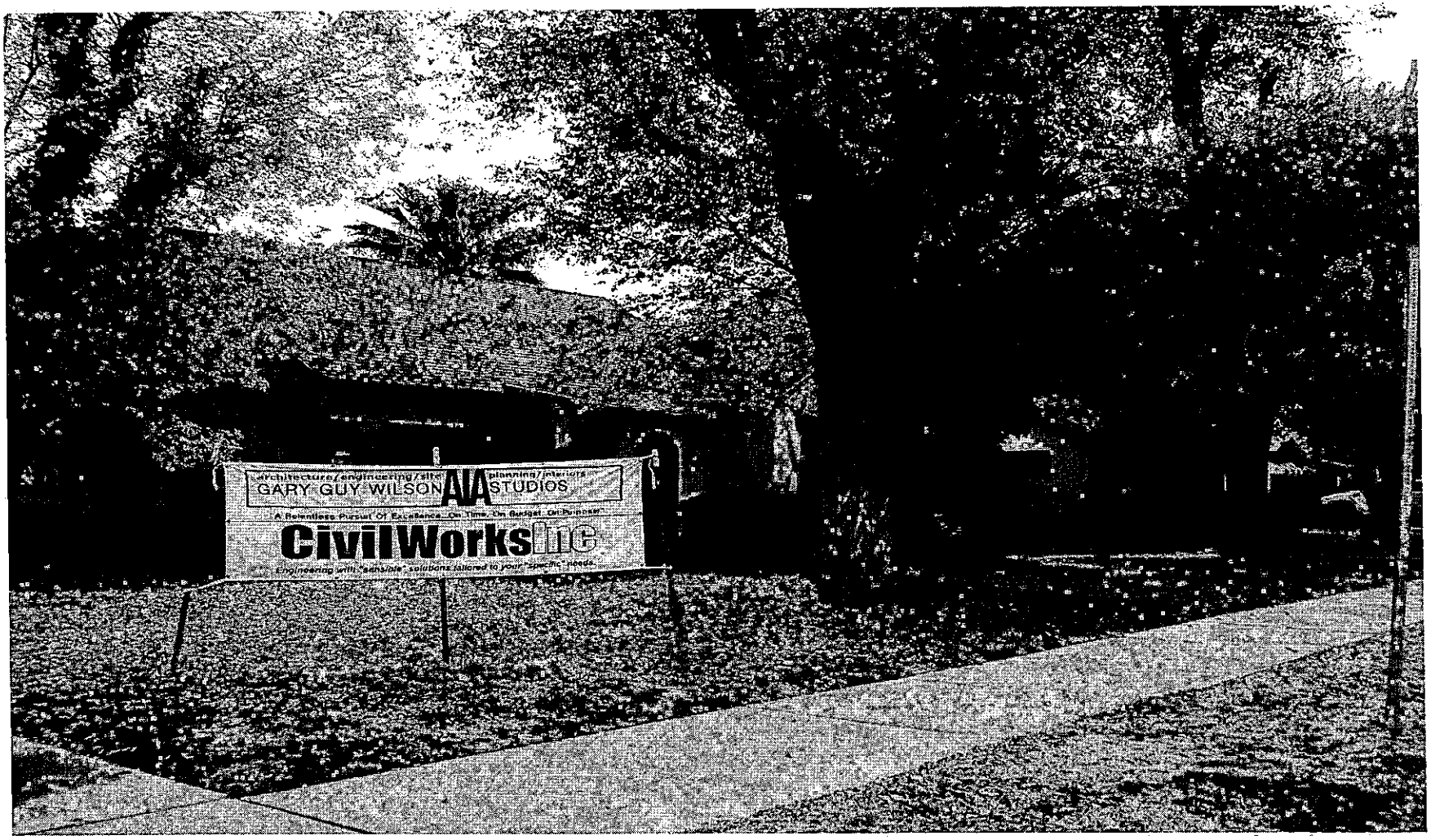
REVISIONS

FIRST FLOOR PLAN

SHT.NO. A2.1

VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST
703 SOUTH EIGHTH STREET
FEBRUARY 8, 2007 PLANNING COMMISSION

12/12/06



VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST
703 SOUTH EIGHTH STREET
FEBRUARY 8, 2007 PLANNING COMMISSION

12/12/06

VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST
703 SOUTH EIGHTH STREET
FEBRUARY 8, 2007 PLANNING COMMISSION

12/12/06

VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST
703 SOUTH EIGHTH STREET
FEBRUARY 8, 2007 PLANNING COMMISSION

12/12/06

VAR-18346 - APPLICANT/OWNER: AMESBURY VILLEGAS TRUST
703 SOUTH EIGHTH STREET
FEBRUARY 8, 2007 PLANNING COMMISSION

12/12/06

MEMO 11:

Project Name: 2-Story Law Office SDR	*Date:* 28NOV06	*Project #:* 12680427.03
Location: @ 703 South 8th Street., Las Vegas, NV.	*Page:* 1 of 1	*Architect Phase #:* 06

Type: ☐ Conference ☐ Teleconference ☐ Research Report ■ Other:

Justification Letter:

Mr. David C. Amesbury requests a Waiver to a previously submitted Site Development Plan Review (SDR-6260) for the property located at 703 South 8th Street for the following reasons:

1. Mr. Amesbury wishes to expand the law offices currently located at this address by constructing a new building on the site. The Existing single story building will be demolished for a new 2-story professional office building. Parking will be located on the ground floor with one story of office space above. Access to parking will be from the existing alley way to the east and to the professional offices above utilizing stair and elevator access along the west facade.

2. The original SDR-6260 indicated that thirty-three (33) parking stalls were required for this project and that thirty-three (33) would be provided.

   During the course of building plans check, one stall was eliminated due to design issues required for building life safety and by trash removal preferences. Trash was originally going to be stored within the garage below and transported to the alleyway by the owners. The current design indicates a trash enclosure to Republic Services standards located at the Alleyway, thus eliminating one parking stall. Due to the small lot and tight parking we would like to request a waiver for one required parking stall.

   Required parking is thirty-three stalls and this project would have thirty-two parking stalls and one five foot wide motorcycle stall for this project.

VAR-18346
02/08/07 PC

Distribution:	Fax:	Date:	Initial:	Signed by:
City of Las Vegas				Name: Mark V. Martino
				Title: Project Manager
				Last printed: 28-Nov-06 11:12 AM
☐ Mail	☐ Please reply			Reviewed By:
☐ Fax	■ No Reply Necessary Unless Exception Taken			■ Project Files ☐ H.R.M. Files
■ Deliver				☐ Account Files ☐ Other:

architecture / engineering / site
GARY GUY WILSON
7625 S. Industrial Rd., #100, Las Vegas, NV 89139
professional corp./certified n.c.a.r.b.
AIA
planning / interior design
STUDIOS...
(702) 876-0668

City of Las Vegas

Agenda Item No.: 15

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SUP-18347 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC - Request for a Special Use Permit FOR A PROPOSED 800 SQUARE FOOT CAR WASH, FULL SERVICE on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial), Ward 6 (Ross).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter from Gary Kronenberg

MOTION:
GOYNES – APPROVED subject to conditions – Motion carried with TROWBRIDGE voting NO and DUNNAM abstaining as he is the engineer of record for the tavern

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open for Item 15 [SUP-18347], Item 16 [SUP-18630] and Item 17 [SDR-18349].

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 15 – SUP-18347

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, stated the proposed development is not compatible or harmonious with current development in the area and recommended denial.

ATTORNEY J.T. MORAN, III, Moran Law Firm, appeared with RICHARD GALLEGOS, Pacific Design Concepts, 3005 West Horizon Ridge Parkway, on behalf of the applicant. He stated the car wash and package beer and wine special use permits were requested in conjunction with the proposed convenience store. He emphasized that this application has no zone change or waiver requests and there would be no auto repair at this location. ATTORNEY MORAN pointed out the subject site is located at the intersection of two major arterials and added the proposal exceeds the residential adjacency and parking requirements and respectfully requested approval.

JENNIFER TAYLOR, 8158 Hawk Clan Court, appeared in opposition and stated this use is incompatible with the neighborhood.

ATTORNEY MORAN explained that the developer had made every effort to address the neighbors' concerns and noted the lack of opposition as evidence of the developer's success.

COMMISSIONER TROWBRIDGE expressed concern with the traffic patterns associated with the car wash and drive-through as well as the location of the vacuums and squawk box. MR. GALLEGOS described the traffic flow patterns and acknowledged the problems regarding the exiting drive-through traffic. He suggested a condition requiring a parking and circulation analysis be approved by staff to address that concern. MR. GALLEGOS noted the squawk box and the drive-through would be directed away from the neighbors would which would mitigate any noise and exhaust issues. COMMISSIONER TROWBRIDGE questioned the viability of a drive-through queue which can only accommodate one vehicle. Regarding vehicles exiting the car wash, MR. GALLEGOS stated bumpers could be installed in the parking area to prevent cars from traveling through that area. COMMISSIONER TROWBRIDGE suggested reworking the site plan, but ATTORNEY MORAN emphasized the applicant's eagerness to move forward.

COMMISSIONER STEINMAN expressed concern with the lack of parking provided for the fast food restaurant and the lack of accommodation for pedestrian traffic. He stated he could support the proposed uses, but suggested the site design be reworked as the proposed traffic patterns appeared unsafe and unworkable.

ATTORNEY MORAN emphasized the many hours invested in developing this site plan and asserted that patrons would be able to access the site with few problems.

MINUTES – Continued:

COMMISSIONER GOYNES stated he could support the proposal if minor changes were applied to the plan and MR. RANKIN stated that any minor changes could be approved administratively. ATTORNEY MORAN expressed his willingness to further revise the plans.

DEPUTY CITY ATTORNEY JAMES LEWIS stated additional conditions regarding administrative approval were not necessary, but warned the applicant that major changes would require another hearing before the Planning Commission. MR. GALLEGOS acknowledged the limitations of an administrative approval.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 15 [SUP-18347], Item 16 [SUP-18630] and Item 17 [SDR-18349].

(6:53 – 7:15)

1-1661

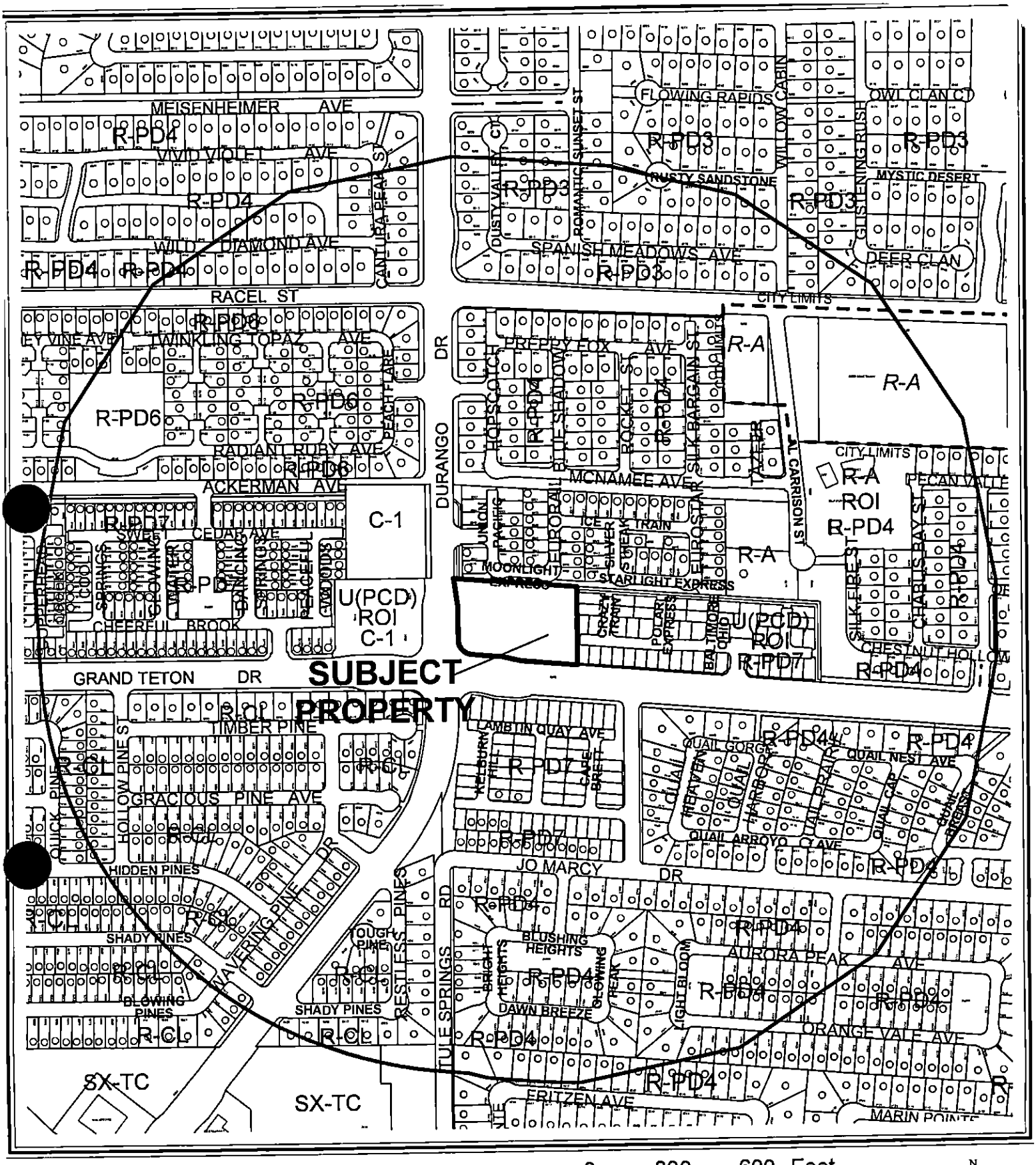
CONDITIONS:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-18349) and Special Use Permit (SUP-18630) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



0 300 600 Feet

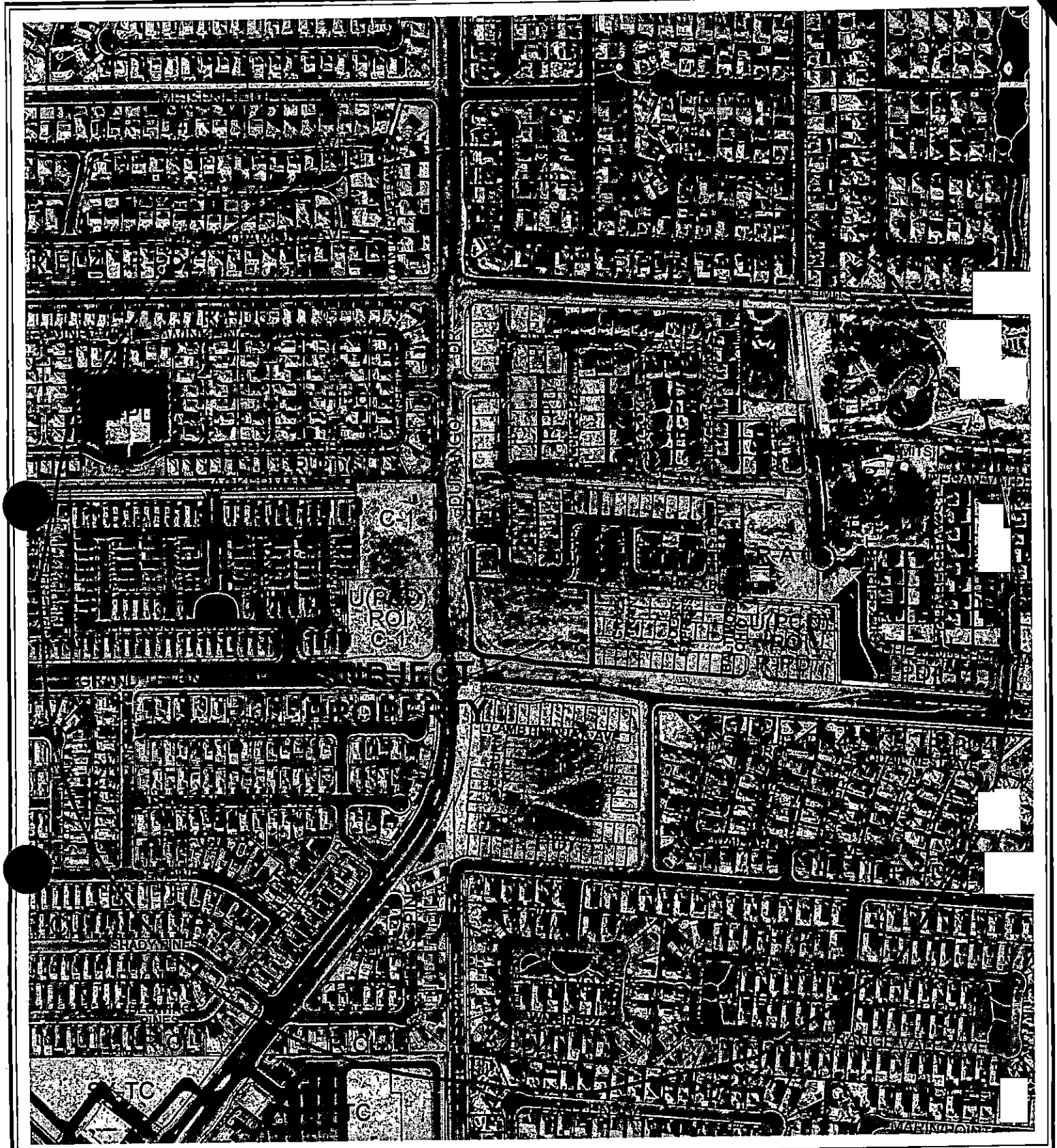
N

CASE: **SUP-18347**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)



0 300 600 Feet

N

CASE: **SUP-18347**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SUP-18347 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-18349) and Special Use Permit (SUP-18630) if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

RL

SUP-18347 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This application is a request for a Special Use Permit for a proposed 800 square foot Car Wash, Full Service at the northeast corner of Grand Teton Drive and Durango Drive. An accompanying Special Use Permit (SUP-18630) for a Beer/Wine/Cooler Off-sale Establishment and a Site Development Plan Review (SDR-18349) for the Car Wash, a Service Station without automotive repair and a fast-food restaurant will be considered. An approved tavern is under construction at the subject site as well.

BACKGROUND INFORMATION

Related/Relevant City Actions by P&D, Fire, Bldg, Etc.	
3/17/99	The Board of County Commissioners approved the rezoning (ZC-1702-98) of the northeast corner of Durango Drive and Grand Teton Drive.
6/08/99	The City Council approved the annexation [A-28-99(A)] of the subject site. The effective date of the annexation was September 24, 1999.
6/21/00	The City Council approved a Special use Permit (U-0011-00) for a tavern at the subject site. The Planning Commission and staff recommended approval.
7/17/02	The City Council approved of an Extension of Time [U-0011-00(1)] for the approved Tavern. The Planning Commission and staff recommended approval.
03/17/04	The City Council approved a General Plan Amendment application (GPA-3483) from PCD (Planned Community Development) to SC (Service Commercial), a Rezoning (ZON-3509) from U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) and U (Undeveloped) [PCD (Planned Community Development) General Plan Designation], and a Review of Condition (ROC-2671) to remove a condition that restricted commercial development to the western portion of the subject site. The Planning Commission recommended approval of the GPA, ZON and ROC on 1/22/04 and tabled requests for a Special Use Permit (SUP-3513) for a proposed mini-warehouse facility, and a Site Development Plan Review application (SDR-3511) for a proposed 71,570 square foot office, tavern, mini-storage development. Staff recommended approval for all five applications.

SUP-18347 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

04/06/05	The City Council approved a Special Use Permit (SUP-5691) for a Tavern and a Waiver from the distance separation requirements from an existing park, a Variance (VAR-5694) to allow a 24-foot setback where residential adjacency standards require a minimum of 73 feet, a Variance (VAR-5693) a Variance to allow 132 parking spaces where 148 spaces are the minimum required, and a Site Development Plan Review (SDR-5689) for a 6,115 square-foot tavern and a Waiver of trash enclosure separation. The Planning Commission recommended approval on 03/10/05 and staff recommended denial.
01/11/07	The Planning Commission held in abeyance a Special Use Permit (SUP-18347) for a proposed 800 square foot Car Wash, Full Service; a Special Use Permit (18630) for a proposed Beer/Wine/Cooler Off-sale Establishment and a Site Development Plan Review (SDR-18349) for the Car Wash, a Service Station without automotive repair and a fast-food restaurant with a drive-through. Staff recommended denial.
Related/Relevant City Actions by P&D, Fire, Bldg., etc.	
12/09/05	Business License L16-266-4-1214 issued for a Tavern issued to Tomfoolery, inactive effective 06/07/06.
06/07/06	Pending Business License requests created for The Lodge at Grand Teton including C05-96168-0-107791 for Tobacco Retailer, C08-96164-0-107791 for Coin Operated Amusements, C20-96167-7-850 for Convention Hall Gaming Tax, G01-96166-4-850 for Gaming-Restricted, and R09-96163-0-107791 for a Restaurant.
08/18/06	Building Permit C-0189-05 issued for a trash enclosure, on-site improvements and a Certificate of Occupancy for a tavern on the subject site.
Pre-Application Meeting	
11/13/06	At a Pre-application meeting, the applicant was told of the requirements for a site development plan review and the requirements for a special use permit. Additional detail was given regarding landscaping and parking requirements particular to the subject site.

SUP-18347 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/02/06	A neighborhood meeting was held at the Silverstone Golf Club 8600 Cupp Drive at 6:00 p.m. Attendance included three members of the development team, nine members of the public and one member of the Planning & Development staff. The following concerns were brought up by members of the public: • Concerns about the speaker box of the fast food pad • Area over saturated by alcohol uses • Request for a family restaurant • No 24 hrs uses Concerns about Day Care use at 7955 Quail Heaven being too close to uses.

Details of Application Request	
Site Area	
Gross Acres	2.71

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Tavern, Undeveloped	SC (Service Commercial)	U(SC) Undeveloped (Service Commercial) under Resolution of Intent to C-1 (Limited Commercial)
North	Single Family	PCD (Planned Community Development)	R-PD6 (Residential Planned Community – 6 Units per Acre)
South	Single Family (under construction)	PCD (Planned Community Development)	R-PD7 (Residential Planned Community – 7 Units per Acre)
East	Single Family (under construction)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to R-PD7 (Residential Planned Community – 7 Units per Acre)
West	Undeveloped (proposed retail)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to C-1 (Limited Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails	X		Y*
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A

* The Trail Requirements related to the subject site are fully addressed in the companion application for Site Development Plan Review (SDR-18349).

DEVELOPMENT STANDARDS

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	115,730 Square Feet	Y
Min. Lot Width	100 Feet	220 Feet	Y
Min. Setbacks • Front • Side • Corner • Rear	 20 Feet 10 Feet 15 Feet 20 Feet	 25 Feet 16 Feet 24 Feet 80 Feet	 Y Y Y Y
Max. Lot Coverage	50%	12%	Y
Max. Building Height	N/A	32.75 Feet	Y
Trash Enclosure	50 Feet from residential uses	62 Feet	Y
Mech. Equipment	Screened	Screened	Y
Residential Adjacency Standards	**Required/Allowed**	**Provided**	**Compliance**
3:1 proximity slope	79.5 Feet	105 Feet	Y
Adjacent development matching setback	10 Feet	80 Feet	Y
Trash Enclosure	50 Feet from residential uses	73 Feet	Y

SUP-18347 - Staff Report Page Five
February 8, 2007 - Planning Commission Meeting

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces 1 Finger/6 Spaces	22	23	Y N*
Buffer:				
Min. Trees				
North	1 Tree/20 Feet	21	20	N*
East	1 Tree/20 Feet	14	12	N*
South	1 Tree/30 Feet	13	18	Y
West	1 Tree/30 Feet	9	9	Y
TOTAL		79	82	Y
Min. Zone Width				
• East	15 Foot Buffer		15 Foot	Y
• North	8 Foot Buffer		10 Foot	Y
• West	8 Foot Buffer		8 Feet	Y
• South	15 Foot Buffer		20 Feet	Y

* Additional trees and parking lot fingers to be required by condition on related Site Development Plan Review (SDR-18349).

Standards	Required	Provided	Compliance
Wall Height			
East Property Line	Minimum 6 Feet, Maximum 8 Feet	8 Foot Block Wall	Y
North Property Line	Minimum 6 Feet, Maximum 8 Feet	8 Foot Block wall	Y

RL

SUP-18347 - Staff Report Page Six
February 8, 2007 - Planning Commission Meeting

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Rate	Required Parking Regular	Required Parking Handicapped	Provided Parking Regular	Provided Parking Handicapped	Compliance
Tavern (Existing)	3,171 SF Public seating	1:50 SF	64				
	3,204 SF Remainder	1:200 SF	16				
Car Wash*	800 SF	NA	NA				
Service Station	4,056	1:250 SF	16				
Restaurant*	650 SF Public seating	1:50 SF	13				
	2,050 SF Remainder	1:200 SF	10				
Sub-Total			114	5	122	5	
TOTAL –Including Handicapped			119		127		Y

* The Restaurant Drive-Through and the Car Wash each provide six stacking spaces in addition to the above parking spaces provided.

ANALYSIS

- General

  The subject site is located in the SC (Service Commercial) General Plan designation in the Centennial Hills Sector of the Las Vegas 2020 Master Plan. The proposed Car Wash, Full Service use is compatible with the SC designation. The proposed use will be in conjunction with a Service Station without automotive repair. In addition, the development includes a proposed fast food restaurant and an approved tavern. The combination of these uses, however, are too intense for the site and staff recommends denial.

RL

- Zoning

  The subject property is located in the C-1 zone. The C-1 zone is intended to provide for a variety of commercial, retail, restaurant and office uses including the proposed Car Wash, subject to the approval of a Special Use Permit.

- Use

  Title 19.20 defines Car Wash (Full Service) as a car wash facility, typically operated in conjunction with a gas station, which customarily employs automatic or semiautomatic methods of cleaning. The proposed Car Wash, Full Service use is not compatible with the surrounding neighborhoods because of the type, intensity and number of uses proposed on this site, in combination with the approved tavern. Further, a condition of approval of a previously approved Site Development Plan Review (SDR-5689) read "No roll-up doors or drive-thru windows shall be allowed on this site." Therefore staff recommends denial.

- Conditions

  The proposed Car Wash (Full Service) use meets the requirement below, as per Title 19.04; however, the use, particularly in concentration with the other uses at the subject site, is too intense for this location.

  1. Each wash bay shall have a stacking lane that will accommodate at least six cars.

FINDINGS

The following findings must be made for a Special Use Permit:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

   The project is compatible with the General Plan land-use designation for the area and satisfies the requirements of the Zoning Code with respect to minimum separation distance requirements. The project, however, in combination with the other uses on this relatively small site is too intense for its location and not harmonious and compatible with the surrounding land uses. Therefore, staff recommends denial.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

   The intensity of the Car Wash, Full Service use, particularly in combination with the other proposed uses on this site are too intense in scope and number for the surrounding residential neighborhoods.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

   The proposed Car Wash, Full Service use will be accessed from Durango Drive and Grand Teton Drive, identified on the Master Plan of Streets and Highways as a 100-foot Primary Arterials and a 120-Foot Parkway Arterial, respectively. While these roads have adequate capacity, the proposed uses are too intense for this intersection.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

   The proposed Car Wash, Full Service use in combination with the other proposed and approved uses is too intense for the location; and therefore, staff finds that approval of the Special Use Permit will be inconsistent with the public health, safety, and welfare as well as the overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

   The subject site meets all applicable conditions for a Car Wash, Full Service as per the requirements of Title 19.04; however, for the aforementioned reasons, this use is not appropriate for the subject site.

SUP-18347 - Staff Report Page Nine
February 8, 2007 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED	16	
ASSEMBLY DISTRICT	13	
SENATE DISTRICT	9	
NOTICES MAILED	867	(Mailed with SUP-18630 and SDR-18349)
APPROVALS	0	
PROTESTS	1	

RL

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18347** APN: 125-09-401-031

Name of Property Owner: GRAND TETON LODGE LAND, LLC

Name of Applicant: GRAND TETON LODGE LAND, LLC

Name of Representative: PACIFIC DESIGN CONCEPTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: STUART Apolin

Subscribed and sworn before me

This 21st day of NOV, 20 06

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
PHYLLIS B. RICE
My Appointment Expires
May 31, 2009
No: 97-3245-1

Revised 11-14-06

f:\depot\Application Packet\Statement of Financial Interest.pdf

PROJECT DATA:

APPLICATION: [illegible]

LEGAL DESCRIPTION: THE SOUTH HALF (S1/2) OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION [illegible], TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. & M.

ASSESSOR PARCEL NUMBER: [illegible]

SITE AREA: [illegible] S.F. ([illegible] ACRES)

CURRENT ZONING: CI

LOT COVERAGE: [illegible] %

SETBACKS	REQUIRED:	PROVIDED:
FRONT:	[illegible]	[illegible]
SIDES:	[illegible]	[illegible]
REAR:	[illegible]	[illegible]
CORNER:	[illegible]	[illegible]

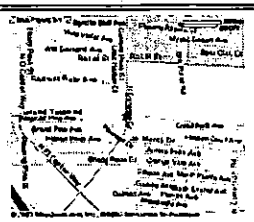
BUILDING AREA:	
CAR-WASH	[illegible] S.F.
C-STORE	[illegible] S.F.
FAST FOOD RESTAURANT	[illegible] S.F.
EXISTING LODGE / TAVERN	[illegible] S.F.

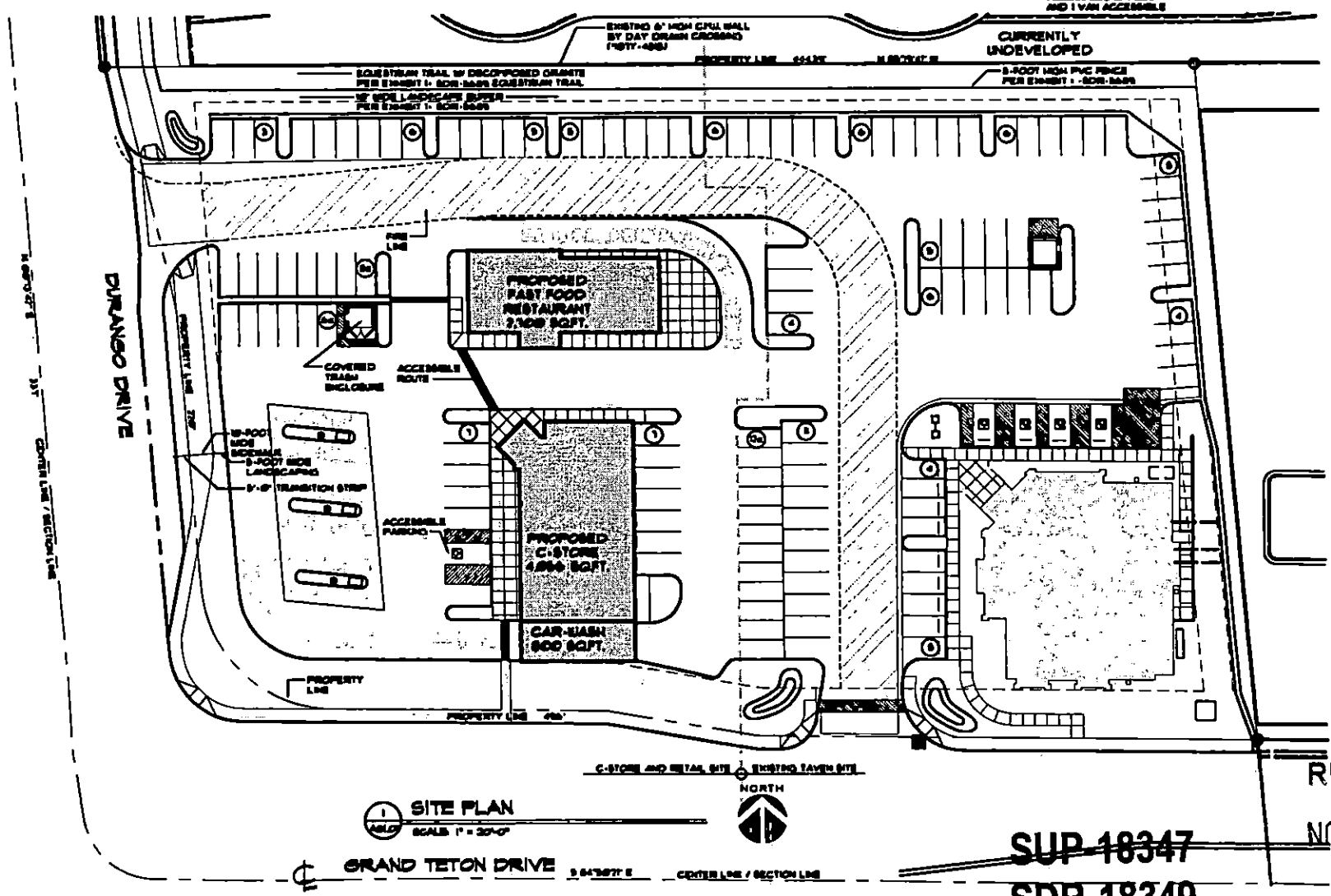
PARKING CALCULATIONS:

REQUIRED:

CAR WASH [illegible] S.F. 1 : [illegible]	[illegible] SPACES
C-STORE [illegible] S.F. 1 : [illegible]	[illegible] SPACES
FAST FOOD RESTAURANT	
PUBLIC SEATING AREA [illegible] S.F. 1 : [illegible]	[illegible] SPACES
REPAIRING AREA [illegible] S.F. 1 : [illegible]	[illegible] SPACES
EXISTING TAVERN	
TAVERN: 1 : [illegible] PUBLIC SEATING ([illegible] : 1)	[illegible] SPACES
1 : [illegible] SF FOR REST ([illegible] : 1)	[illegible] SPACES
TOTAL REQUIRED:	[illegible] SPACES INCLUDING [illegible] ACCESSIBLE SPACES
PROVIDED:	[illegible] SPACES INCLUDING 36 COMPACTS, 4 ACCESSIBLE SPACES AND 1 VAN ACCESSIBLE

PROJECT LOCATION:





SITE PLAN
SCALE: 1" = 30'-0"

RECEIVED
NOV 28 2006

SUP-18347
SDR-18349
02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title:
C-STORE AT GRAND TETON
GRAND TETON DR.&DURANGO DR.
LAS VEGAS, NEVADA

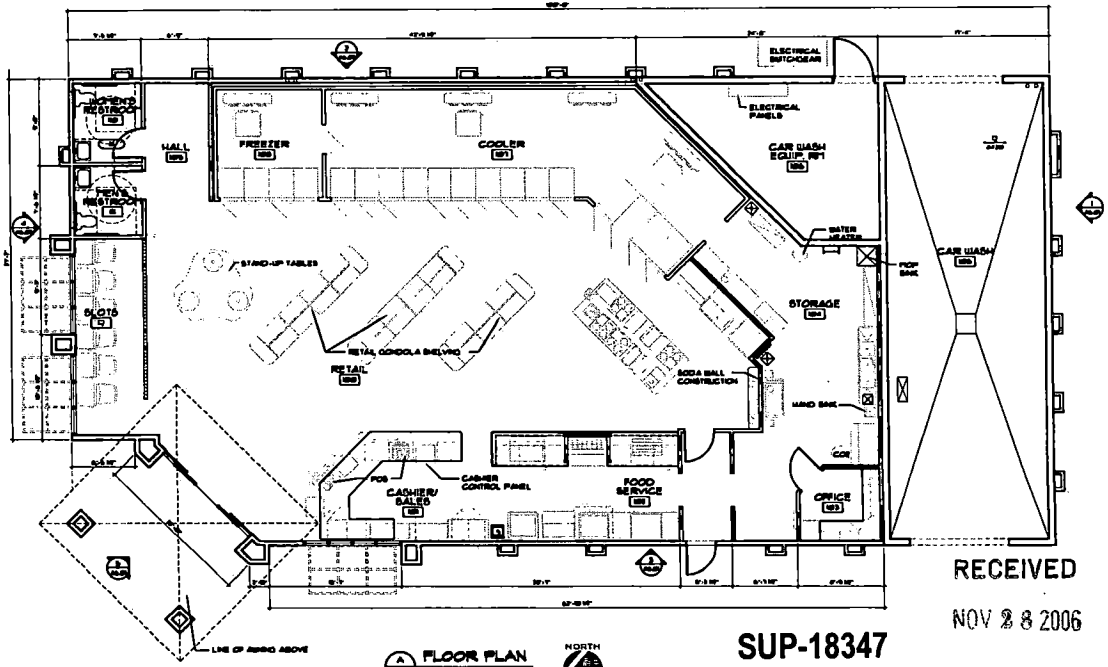
PRELIMINARY
NOT FOR CONSTRUCTION

sheet title:
ARCHITECTURAL SITE PLAN
LAND USE SUBMITTAL

AS1.01

GENERAL NOTES:

1. DIMENSIONS OR DRAWINGS ARE TO FACE OF STUDS AND/OR TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK.
3. PROVIDE CORNER GUARDS, FULL HEIGHT AT ALL INTERIOR CORNERS.
4. PROVIDE TRANSITION STRIPS AT ALL DIFFERENT FLOOR FINISHES. PROVIDE SPECIAL STRIPS AT TILE AND CONCRETE.
5. PROVIDE SOUND ATTENUATION BLANKETS IN WALLS SEPARATING THE TOILET ROOMS AND OTHER ADJACENT ROOMS.
6. CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK.
7. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE BACK OF PLUMBING FIXTURES SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYPSUM BOARD.



A1.01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

RECEIVED
NOV 28 2006

SUP-18347
SDR-18349
02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 434-5862 fax (702) 434-7642

PROJECT TITLE:
C-STORE AT GRAND TETON
ADDRESS
148 VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

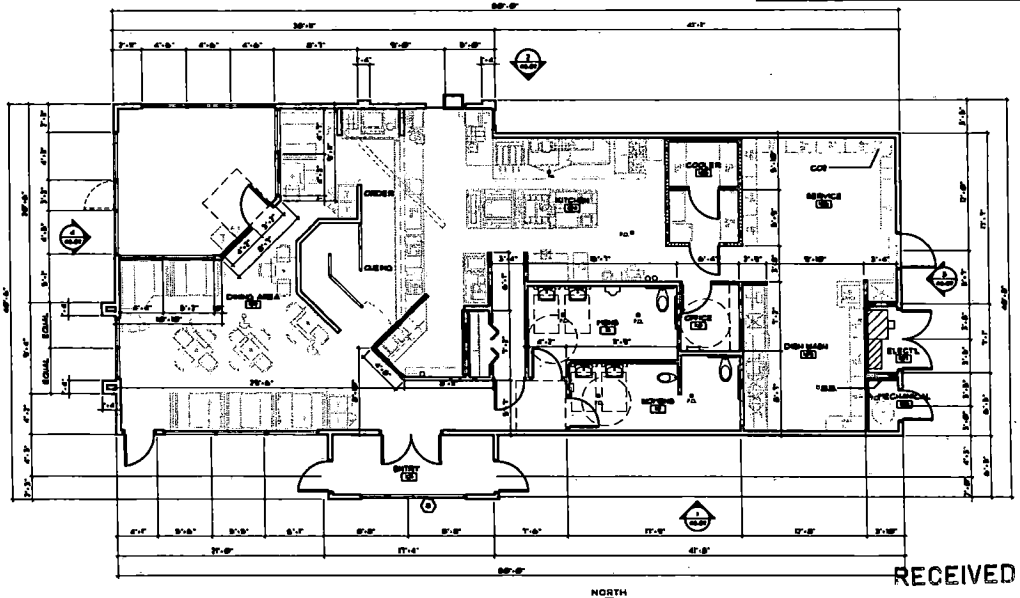
PROJ. TITLE:
C-STORE FLOOR PLAN

LAND USE SUBMITTAL

A1.01

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS AND CENTER LINE OF GRIDS AND COLUMNS, U.N.O.
2. FOR DOOR/ WINDOW TYPES AND SCHEDULE SEE SHEETS A2.01
3. FOR ROOM FINISH SCHEDULE SEE SHEET A2.01
4. SEE DETAILS A2.30 FOR INTERIOR WALL FRAMING DETAILS
5. USE MOISTURE RESISTANT GYPSUM BOARD AS REQUIRED AT WET LOCATIONS
6. PROVIDE SOUND BATT INSULATION AT ALL FULL HEIGHT WALLS
7. PROVIDE BACKING AS REQUIRED FOR CABINETRY, GRAB BARS, ETC
8. SEE EQUIPMENT PLAN A1.40 FOR KITCHEN EQUIPMENT AND FIXTURE IDENTIFICATION



1 A1.01 FLOOR PLAN
SCALE: 1/8"=1'-0"

NORTH

RECEIVED
NOV 28 2006

SUP-18347
SDR-18349

02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PROJECT TITLE:
C-STORE AT GRAND TETON
ADDRESS:
LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE:
FAST FOOD
FLOOR PLAN
LAND USE SUBMITTAL

A1.02

pacific design concepts, llc
3005 w. horizon ridge pkwy., #200, henderson, nv 89052 (702) 454-5842 fax (702) 454-7842

PDC

November 21, 2006

City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Attn: Planner

RE: C-STORE AT GRAND TETON
APN: 125-09-401-031
JUSTIFICATION LETTER

PROJECT NO: 06-182

Dear Planner,

We respectfully request favorable consideration for the above referenced project for a Special Use Permit.

The proposed Special Use Permit is to allow an automated car wash facility in conjunction with a convenience store with gas pumps.

The proposed special use permit is appropriate based on the following findings of facts;

A. The proposed use can be conducted in a manner. That is harmonious and compatible with existing surrounding land uses, and with future surrounding land use as projected by the General Plan;

B. The subject site is physically suitable for the type and intensity of land use being proposed;

C. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use;

D. Approval of the Special Use Permit at the site in question will be consistent with or compromise the public health, safety and welfare or the overall objectives of the General Plan.

Should you have any questions or require additional information please contact our office.

Sincerely,

Richard C. Gallegos
Principal

RCG/mt

Cc: 06-182.js.lt.sup.clv.cstore.grand.lelon

SUP-18347
SDR-18349
02/08/07 PC

NOTICE OF PUBLIC HEARING

Dec. 29, 06
I vote NO on
SUP-18347
Gary R. Kronenberg

SPECIAL USE PERMIT

Case: SUP-18347

12516110007
KRONENBERG GARY R
8316 BLUSHING HEIGHTS AVE
LAS VEGAS NV 89131-4610

MEETING: PLANNING COMMISSION
DATE: JANUARY 11, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SUP-18347

APPLICANT/OWNER: GRAND TETON LODGE LAND LLC - REQUEST FOR A SPECIAL USE PERMIT FOR A PROPOSED 800 SQUARE FOOT CAR WASH, FULL SERVICE ON 2.71 ACRES ON THE NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE (APN 125-09-401-031), U [(UNDEVELOPED) ZONE, SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL), WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 09, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. This request may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after discussion of the item. You will receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) http://www.lasvegasnevada.gov.

JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

ITEM # 34
CASE # SUP-18347
PC MTG 1-11-07

City of Las Vegas

Agenda Item No.: 16

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SUP-18630 - SPECIAL USE PERMIT RELATED TO SUP-18347 - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC - Request for a Special Use Permit FOR A BEER/WINE/COOLER OFF-SALE ESTABLISHMENT IN A PROPOSED SERVICE STATION WITHOUT AUTOMOTIVE REPAIR on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial), Ward 6 (Ross).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter from Gary Kronenberg

MOTION:
GOYNES – APPROVED subject to conditions – Motion carried with TROWBRIDGE voting NO and DUNNAM abstaining as he is the engineer of record for the tavern

To be heard by City Council on 3/7/2007

MINUTES:
See Item 15 for related discussion.

(6:53 – 7:15)

City of Las Vegas

Agenda Item No.: 16

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 16 – SUP-18630

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-18349), if approved.

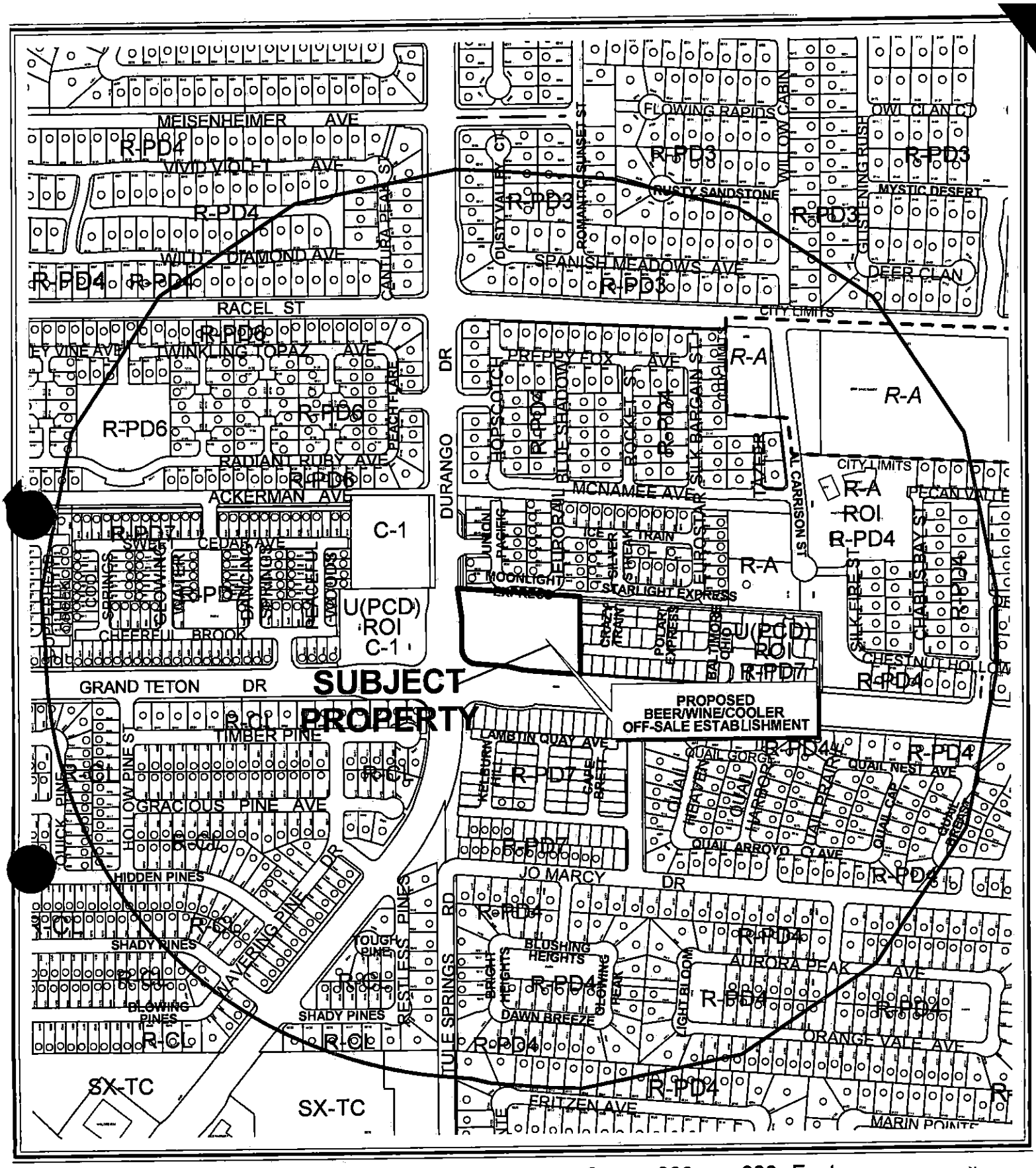
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Approval of this Special Use Permit does not constitute approval of a liquor license.

4. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.

5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

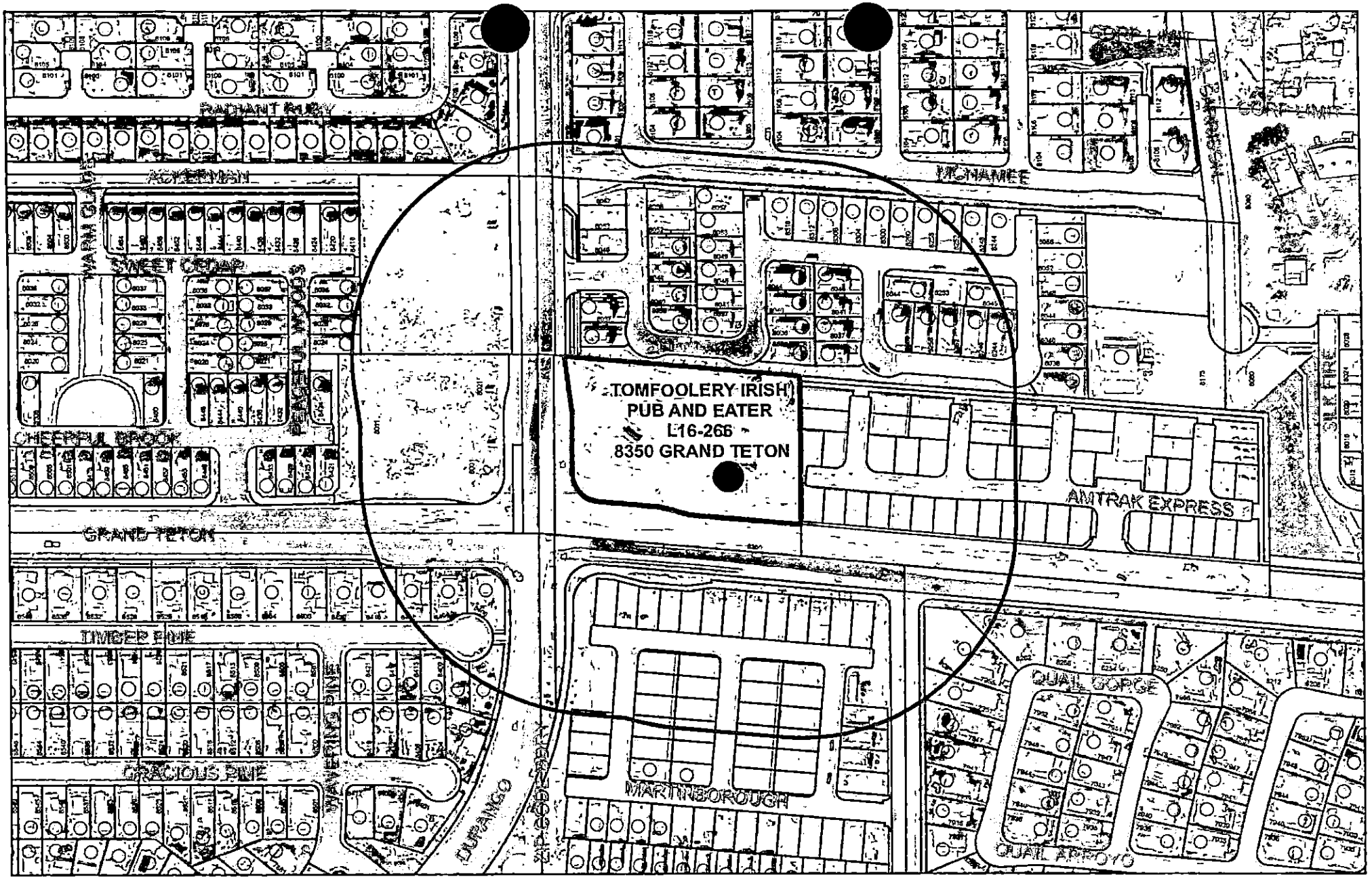


CASE: **SUP-18630**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)



SUP-18630

BEER/WINE/COOLER OFF-SALE

Business Licenses

- Child Care/ Children Facility
- Supper Club/ Restaurant Service Bar
- Tavern
- Liquor on/off Sales
- RELIGIOUS
- CITY PARKS
- SCHOOLS
- Subject Property
- 400 foot buffer

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SUP-18630 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-18349), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Approval of this Special Use Permit does not constitute approval of a liquor license.

4. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.

5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

RL

SUP-18630 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This application is a request for a Special Use Permit for a Beer/Wine/Cooler Off-Sale Establishment in a Proposed Service Station without Automotive Repair at the northeast corner of Grand Teton Drive and Durango Drive. This application is related to SUP-18347 and SDR-18349.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
3/17/99	The Board of County Commissioners approved the rezoning (ZC-1702-98) of the northeast corner of Durango Drive and Grand Teton Drive.
6/08/99	The City Council approved the annexation [A-28-99(A)] of the subject site. The effective date of the annexation was September 24, 1999.
6/21/00	The City Council approved a Special use Permit (U-0011-00) for a tavern at the subject site. The Planning Commission and staff recommended approval.
7/17/02	The City Council approved of an Extension of Time [U-0011-00(1)] for the approved Tavern. The Planning Commission and staff recommended approval.
03/17/04	The City Council approved a General Plan Amendment application (GPA-3483) from PCD (Planned Community Development) to SC (Service Commercial), a Rezoning (ZON-3509) from U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) and U (Undeveloped) [PCD (Planned Community Development) General Plan Designation], and a Review of Condition (ROC-2671) to remove a condition that restricted commercial development to the western portion of the subject site. The Planning Commission recommended approval of the GPA, ZON and ROC on 1/22/04 and tabled requests for a Special Use Permit (SUP-3513) for a proposed mini-warehouse facility, and a Site Development Plan Review application (SDR-3511) for a proposed 71,570 square foot office, tavern, mini-storage development. Staff recommended approval for all five applications.

SUP-18630 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

04/06/05	The City Council approved a Special Use Permit (SUP-5691) for a Tavern and a Waiver from the distance separation requirements from an existing park, a Variance (VAR-5694) to allow a 24-foot setback where residential adjacency standards require a minimum of 73 feet, a Variance (VAR-5693) a Variance to allow 132 parking spaces where 148 spaces are the minimum required, and a Site Development Plan Review (SDR-5689) for a 6,115 square-foot tavern and a Waiver of trash enclosure separation. The Planning Commission recommended approval on 03/10/05 and staff recommended denial.
01/11/07	The Planning Commission held in abeyance a Special Use Permit (SUP-18347) for a proposed 800 square foot Car Wash, Full Service; a Special Use Permit (18630) for a proposed Beer/Wine/Cooler Off-sale Establishment and a Site Development Plan Review (SDR-18349) for the Car Wash, a Service Station without automotive repair and a fast-food restaurant with a drive-through. Staff recommended denial.
02/08/07	The Planning Commission will consider concurrently a request for a Special Use Permit (SUP-18347) for a proposed 800 square foot Car Wash, Full Service and a Site Development Plan Review (SDR-18349) for the Car Wash, a Service Station without automotive repair and a fast-food restaurant with a drive-through on the subject site. Staff recommends denial

Related/Relevant City Actions by P&D, Fire, Bldg., etc.	
12/09/05	Business License L16-266-4-1214 issued for a Tavern issued to Tomfoolery, inactive effective 06/07/06.
06/07/06	Pending Business License requests created for The Lodge at Grand Teton including C05-96168-0-107791 for Tobacco Retailer, C08-96164-0-107791 for Coin Operated Amusements, C20-96167-7-850 for Convention Hall Gaming Tax, G01-96166-4-850 for Gaming-Restricted, and R09-96163-0-107791 for a Restaurant.
08/18/06	Building Permit C-0189-05 issued for a trash enclosure, on-site improvements and a Certificate of Occupancy for a tavern on the subject site.

Pre-Application Meeting	
11/13/06	At a Pre-application meeting, the applicant was told of the requirements for a site development plan review and the requirements for a special use permit. Additional detail was given regarding landscaping and parking requirements particular to the subject site.

RL

SUP-18630 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/02/06	A neighborhood meeting was held at the Silverstone Golf Club 8600 Cupp Drive at 6:00 p.m. Attendance included three members of the development team, nine members of the public and one member of the Planning & Development staff. The following concerns were brought up by members of the public: • Concerns about the speaker box of the fast food pad • Area over saturated by alcohol uses • Request for a family restaurant • No 24 hrs uses Concerns about Day Care use at 7955 Quail Heaven being too close to uses.

Details of Application Request	
Site Area	
Gross Acres	2.71

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Tavern, Undeveloped	SC (Service Commercial)	U(SC) Undeveloped (Service Commercial) under Resolution of Intent to C-1 (Limited Commercial)
North	Single Family	PCD (Planned Community Development)	R-PD6 (Residential Planned Community – 6 Units per Acre)
South	Single Family (under construction)	PCD (Planned Community Development)	R-PD7 (Residential Planned Community – 7 Units per Acre)
East	Single Family (under construction)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to R-PD7 (Residential Planned Community – 7 Units per Acre)
West	Undeveloped (proposed retail)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to C-1 (Limited Commercial)

SUP-18630 - Staff Report Page Four
February 8, 2007 - Planning Commission Meeting

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A

DEVELOPMENT STANDARDS

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	115,730 Square Feet	Y
Min. Lot Width	100 Feet	220 Feet	Y
Min. Setbacks • Front • Side • Corner • Rear	 20 Feet 10 Feet 15 Feet 20 Feet	 25 Feet 16 Feet 24 Feet 80 Feet	 Y Y Y Y
Max. Lot Coverage	50%	12%	Y
Max. Building Height	N/A	32.75 Feet	Y
Trash Enclosure	50 Feet from residential uses	62 Feet	Y
Mech. Equipment	Screened	Screened	Y

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	79.5 Feet	105 Feet	Y
Adjacent development matching setback	10 Feet	80 Feet	Y
Trash Enclosure	50 Feet from residential uses	73 Feet	Y

RL

SUP-18630 - Staff Report Page Five
February 8, 2007 - Planning Commission Meeting

Parking Requirement							
		Required			Proposed		Compliance
			Parking		Parking		
Use	Gross Floor Area or Number of Units	Parking Ratio	Regular	Handi-capped	Regular	Handi-capped	
Tavern (Existing)	3,171 SF Public seating	1:50 SF	64				
	3,204 SF Remainder	1:200 SF	16				
Car Wash*	800 SF	NA	NA				
Service Station	4,056	1:250 SF	16				
Restaurant*	650 SF Public seating	1:50 SF	13				
	2,050 SF Remainder	1:200 SF	10				
Sub-Total			114	5	122	5	
TOTAL –Including Handicapped			119		127		Y

* The Restaurant Drive-Through and the Car Wash each provide six stacking spaces in addition to the above parking spaces provided.

ANALYSIS

- **General Plan and Zoning**

  The subject site is located in the Centennial Hills Sector of the General Plan with a land-use designation of SC (Service Commercial). This designation allows for a variety of commercial uses that serve primarily local area patrons, including the proposed use. The subject site is under a Resolution of Intent to the C-1 (Limited Commercial) zoning district, within which the proposed Beer/Wine/Cooler Off-Sale Establishment use is permissible with a Special Use Permit.

RL

- **Use**

The sale of beer/wine/coolers for consumption off-premise in conjunction with a car wash is an allowed use within the C-1 (Limited Commercial) Zoning District with the approval of a Special Use Permit. The reason for a special use permit is to ensure that a proposed use conducted in a manner that is harmonious and compatible with uses located on the same or surrounding properties. The process recognizes that, within a given zoning district, certain uses may be appropriate and compatible in some locations but not in others.

The Special Use Permit process allows a site-specific inquiry into the compatibility of a proposed use at a particular location, taking into account: the characteristics of the site and the surroundings; the relevant zoning and planning principles; and the input of the Planning Commission, City Council and other interested parties. The proposed Beer/Wine/Cooler Off-Sale Establishment use is not compatible with the surrounding neighborhoods because of the type, intensity and number of uses proposed on this site, in combination with the approved tavern. Therefore staff recommends denial.

- **Conditions**

The submitted documents indicate that the proposed use meets all of the applicable requirements for this special use from Title 19.04 listed below; however, the Beer/Wine/Cooler Off-Sale Establishment use is not appropriate at this particular location because of the type, intensity and number of uses proposed on this site.

The following conditions apply to the proposed use:

8. Except as otherwise provided in this Chapter, no retail establishment with accessory package liquor off-sale (hereinafter "establishment") shall be located within four hundred feet of any church, synagogue, child care facility licensed for more than twelve children, or City park.
9. Except as otherwise provided in Paragraph 3 below, the distances referred to in Paragraph 1 shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed establishment which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed establishment. The distance shall be measured in a straight line without regard to intervening obstacles. For purpose of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:

a. Any leasehold parcel; or
b. Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Paragraph 1.

10. In the case of an establishment property to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Paragraph 1 shall be measured in a straight line:
    a. From the nearest property line of the existing use to the nearest portion of the structure in which the establishment will be located, without regard to intervening obstacles; or
    b. In the case of a proposed establishment which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property lines of a leasehold or occupancy parcel in which the establishment will be located, without regard to intervening obstacles.
11. When considering a Special Use Permit application for an establishment which also requires a waiver of the distance limitation in Paragraph 1, the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.
12. The minimum distance requirements in Paragraph 1 do not apply to:
    a. An establishment which has a nonrestricted gaming license in connection with a hotel having two hundred or more guest rooms on or before July 1, 1992 or in connection with a resort hotel having in excess of two hundred guest rooms after July 1, 1992; or
    b. A proposed establishment having more than fifty thousand square feet of retail floor space.
13. All businesses which sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.
14. The minimum distance requirements set forth in paragraph 1, which are otherwise nonwaivable under the provisions of this subdivision, maybe be waived:
    a. In accordance with the provisions of Section 19.040.050(A)(4) for any establishment which is proposed to be located on a parcel within the Downtown Casino Overlay District;
    b. In accordance with the applicable provisions of the "Town Center Development Standards Manual" for any establishment which is proposed to be located within the T-C (Town Center) Zoning District and which is designated MS-TC (Main Street Mixed Use) in the Town Center Land Use Plan; or

c. In connection with a retail establishment having less than twenty thousand square feet of retail floor space, if the area to be used for the sale, display or merchandising of alcoholic beverages and each use to be protected are separated by a highway or right-of-way with a width of at least one hundred feet.

FINDINGS

The following findings must be made for a Special Use Permit:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

   While the proposed project is compatible with the General Plan land-use designation for the area and satisfies the requirements of the Zoning Code with respect to minimum separation distance requirements, the intensity of a Beer/Wine/Cooler Off-sale Establishment use on this site in combination with an approved tavern is too intense to be harmonious and compatible with the surrounding area.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

   The intensity of the Beer/Wine/Cooler Off-Sale Establishment use, particularly in combination with the other proposed uses on this site are too intense in scope and number for the surrounding residential neighborhoods.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

   The proposed Beer/Wine/Cooler Off-Sale Establishment use will be accessed from Durango Drive and Grand Teton Drive, identified on the Master Plan of Streets and Highways as a 100-foot Primary Arterials and a 120-Foot Parkway Arterial, respectively. While these roads have adequate capacity, the proposed uses are too intense for this intersection.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

   The proposed Beer/Wine/Cooler Off-Sale Establishment use in combination with the other proposed and approved uses is too intense for the location; and therefore, staff finds that approval of the Special Use Permit will be inconsistent with the public health, safety, and welfare as well as the overall objectives of the General Plan.

5. **The use meets all of the applicable conditions per Title 19.04.**

   The subject site meets all applicable conditions for a Beer/Wine/Cooler Off-Sale Establishment as per the requirements of Title 19.04; however, for the aforementioned reasons, this use is not appropriate for the subject site.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED	16	
ASSEMBLY DISTRICT	13	
SENATE DISTRICT	9	
NOTICES MAILED	867	(Mailed with SUP-18347 and SDR-18349)
APPROVALS	0	
PROTESTS	1	

RL

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18630** APN: 125-09-401-031

Name of Property Owner: Grand Teton Lodge Land, LLC

Name of Applicant: Grand Teton Lodge Land, LLC - Stuart Apollo

Name of Representative: Pacific Design Concepts, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: STUART APOLLO

Subscribed and sworn before me

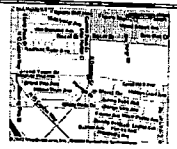
This 6TH day of DEC, 20 06

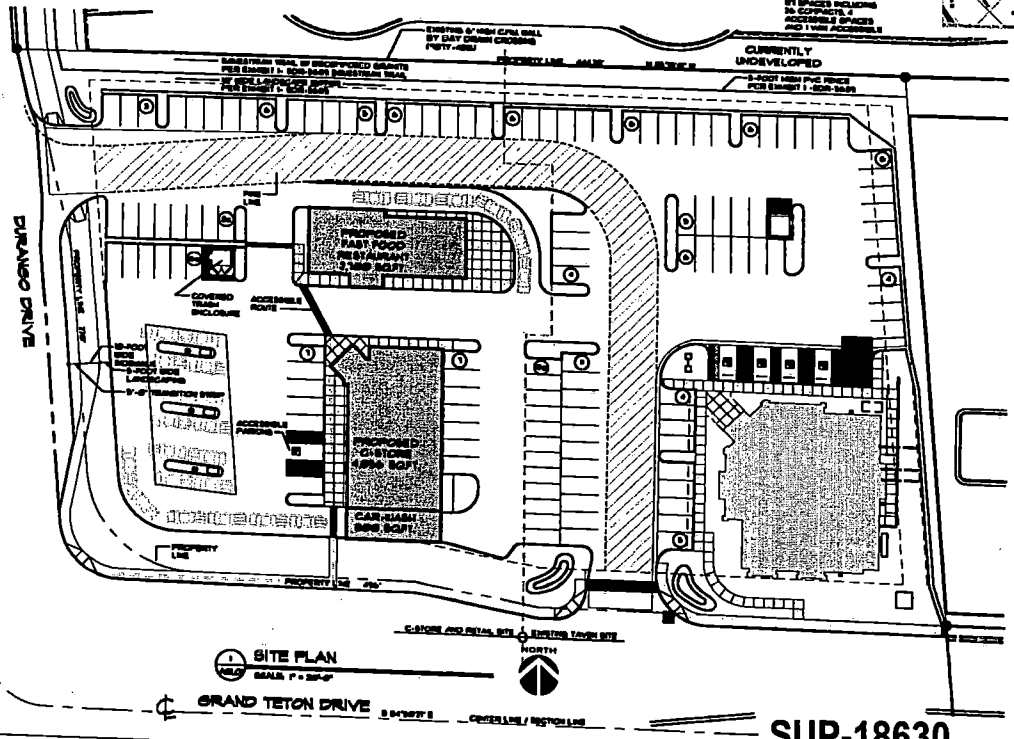
Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
PHYLLIS B. RICE
My Appointment Expires
May 31, 2009
No. 97-3245-1

PROJECT DATA:

PROJECT LOCATION:





SITE PLAN

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 434-3542 fax (702) 434-7842

project title:
C-STORE AT GRAND TETON
GRAND TETON DRIVE/DURANGO DR.
LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

ARCHITECTURAL SITE PLAN
LAND USE SUBMITTAL

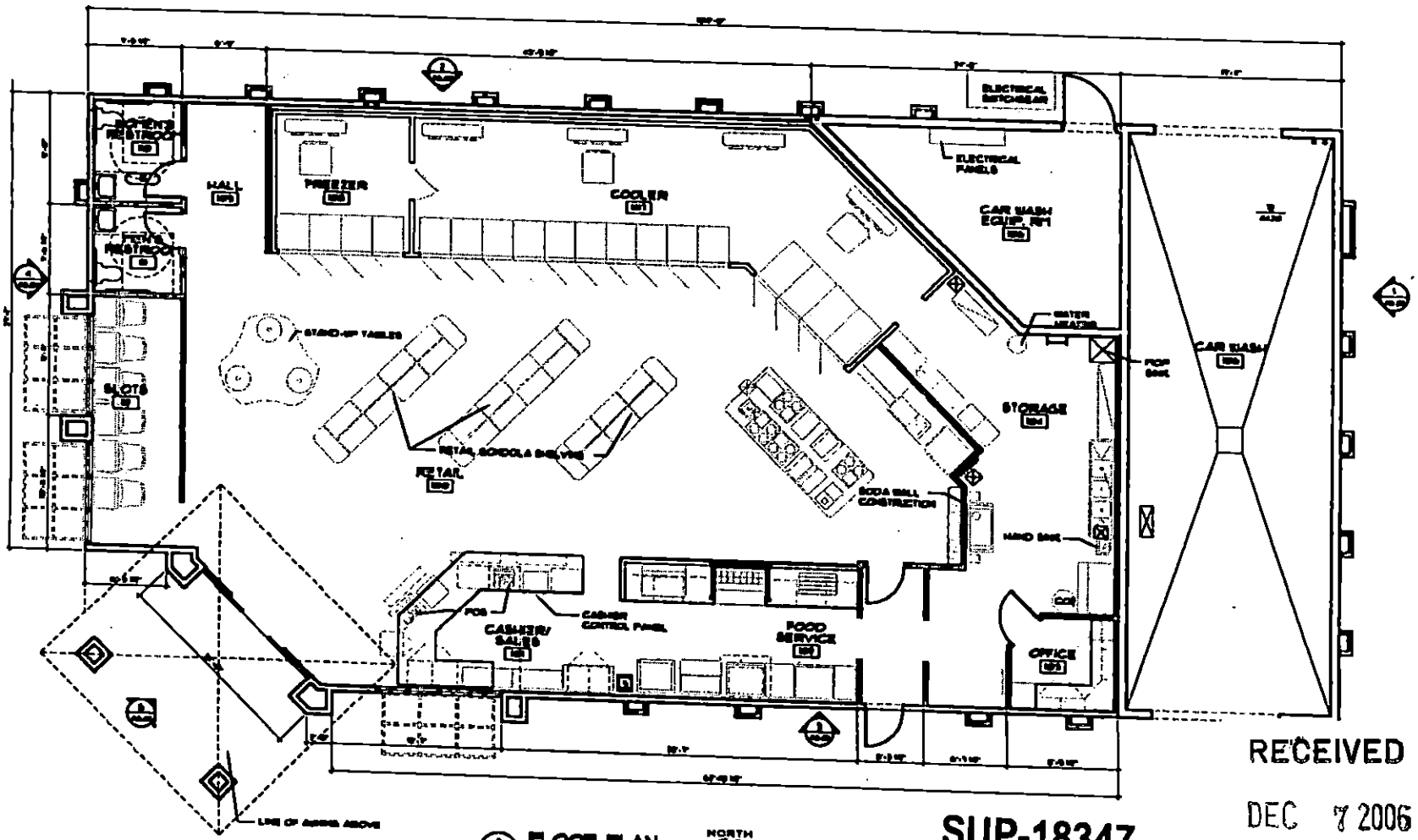
A5L01

RECEIVED
DEC 7 2006

SUP-18630
02/08/07 PC

GENERAL NOTES:

1. DIMENSIONS ON DRAWINGS ARE TO FACE OF GRIDS AND/OR TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE DRAWING WORK.
3. PROVIDE CORNER GUARDS, FULL HEIGHT AT ALL INTERIOR CORNERS.
4. PROVIDE TRANSITION STRIPS AT ALL DIFFERENT FLOOR FINISHES. PROVIDE SPECIAL STRIPS AT TILE AND CONCRETE.
5. PROVIDE SOUND ATTENUATION BLANKETS IN WALLS SEPARATING THE TOILET ROOMS AND OTHER ADJACENT ROOMS.
6. CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL, DUCTS, PLUMBING AND ELECTRICAL WORK.
7. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE BACK OF PLUMBING FIXTURES SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYPSUM BOARD.



FLOOR PLAN
SCALE: 1/8" = 1'-0"

NORTH

RECEIVED
DEC 7 2006

SUP-18347
SDR-18349 SUP-18630
02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-3842 fax (702) 454-7842

project title:
C-STORE AT GRAND TETON
ADDRESS
LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

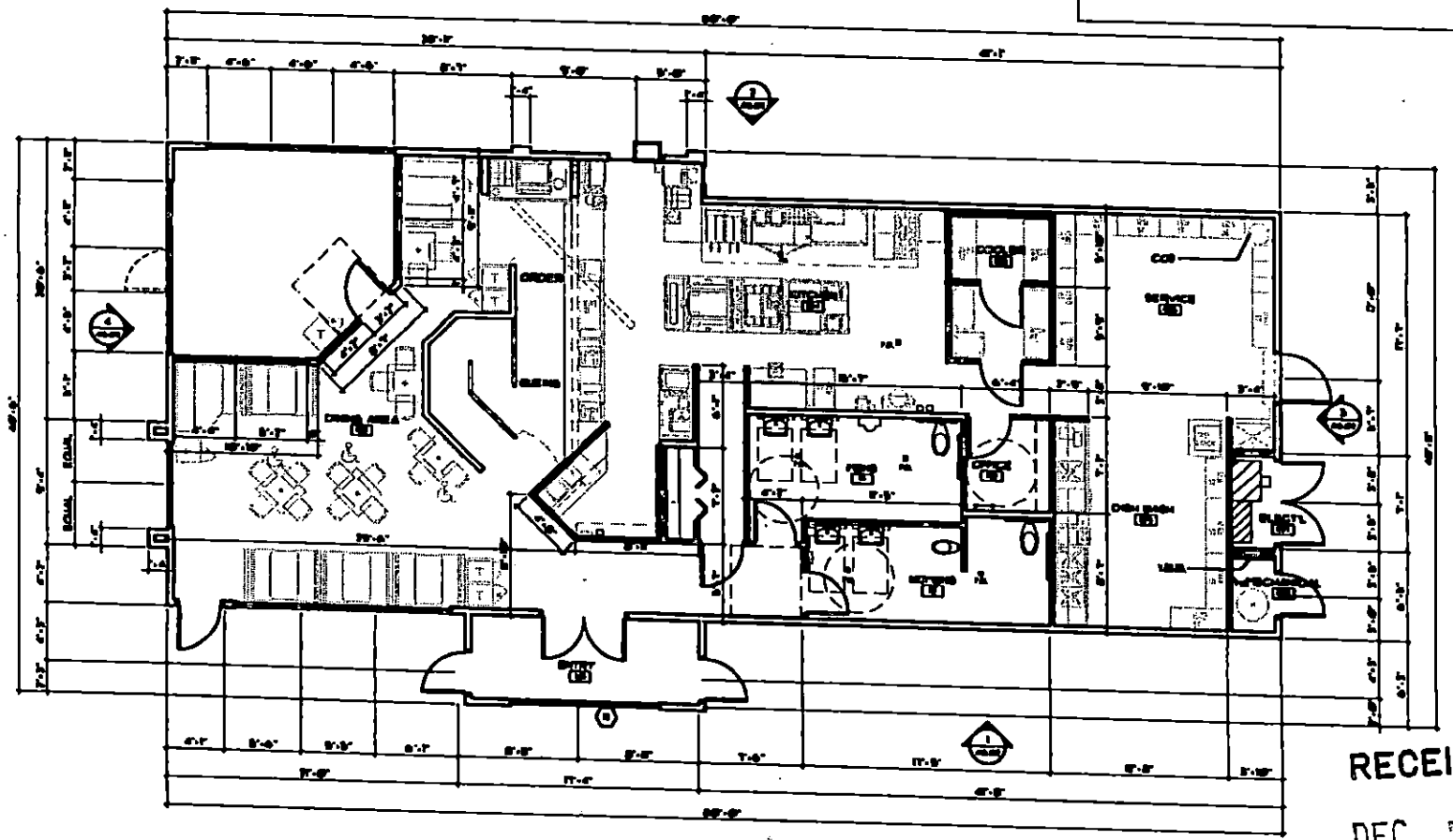
sheet title:
C-STORE FLOOR PLAN

LAND USE SUBMITTAL

A101

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS AND CENTER LINE OF STUDS AND COLUMNS, U.N.O.
2. FOR DOOR/ WINDOW TYPES AND SCHEDULE SEE SHEETS A7.01
3. FOR ROOM FINISH SCHEDULE SEE SHEET A7.01
4. SEE DETAILS A2.20 FOR INTERIOR WALL FRAMING DETAILS
5. USE MOISTURE RESISTANT GYPSUM BOARD AS REQUIRED AT WET LOCATIONS
6. PROVIDE SOUND BATT INSULATION AT ALL FULL HEIGHT WALLS
7. PROVIDE BACKING AS REQUIRED FOR CASEWORK, GRAB BARS, ETC
8. SEE EQUIPMENT PLAN A1.40 FOR KITCHEN EQUIPMENT AND FIXTURE IDENTIFICATION



1 A1.01 FLOOR PLAN
SCALE: 1/4"=1'-0"

RECEIVED
DEC 7 2006

SUP-18347
SDR-18349 SUP-18630
02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PROJECT TITLE:
C-STORE AT GRAND TETON
ADDRESS
LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE:
FAST FOOD
FLOOR PLAN
LAND USE SUBMITTAL

A1.02

pacific design concepts, llc
3005 w. horizon ridge pkwy., #200, henderson, nv 89052 (702) 454-5842 fax (702) 454-7842

PDC

December 1, 2006

City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Attn: Planner

RE: C-STORE AT GRAND TETON
APN: 125-09-401-031
JUSTIFICATION LETTER

PROJECT NO: 06-182

Dear Staff,

We respectfully request favorable consideration for the above referenced project for a Special Use Permit.

The proposed special use permit is to allow the sale of beer/wine/cooler off sale establishment in conjunction with a convenience store.

The proposed special use permit is appropriate based on the following findings of facts;

A. The proposed use can be conducted in a manner. That is harmonious and compatible with existing surrounding land uses, and with future surrounding land use as projected by the General Plan;

B. The subject site is physically suitable for the type and intensity of land use being proposed;

C. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use;

D. Approval of the Special Use Permit at the site in question will be consistent with or not compromise the public health, safety and welfare or the overall objectives of the General Plan.

E. This use is common with a convenience store and all separation distances have been met.

Should you have any questions or require additional information please contact our office.

Sincerely,

Richard C. Gallegos
Principal

RCG/mt

Cc: 06-182.js.lt.sup.clv.cstore.grand.teton

SUP-18630
02/08/07 PC

NOTICE OF PUBLIC HEARING

Dec. 29, 06
I vote NO on
SUP-18630.
Gary R. Kronenberg
GARY R. KRONENBERG
8316 BLUSHING HTS. AVE.
LAS VEGAS, NV. 89131

SPECIAL USE PERMIT

MEETING: PLANNING COMMISSION
DATE: JANUARY 11, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SUP-18630

APPLICANT/OWNER: GRAND TETON LODGE LAND LLC - REQUEST FOR A SPECIAL USE PERMIT FOR A BEER/WINE/COOLER OFF-SALE ESTABLISHMENT IN A PROPOSED SERVICE STATION WITHOUT AUTOMOTIVE REPAIR ON 2.71 ACRES ON THE NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE (APN 125-09-401-031), U [(UNDEVELOPED) ZONE, SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL), WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 09, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objection thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. This request may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after discussion of the item. You will receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) http://www.lasvegasnevada.gov.

CITY OF LAS VEGAS NEVADA

JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

ITEM # 35
CASE # SUP-18630
PC MTG 1-11-07

City of Las Vegas

Agenda Item No.: 17

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SDR-18349 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18347 AND SUP-18630 - PUBLIC HEARING - APPLICANT/OWNER: GRAND TETON LODGE LLC - Request for a Major Amendment to an approved Site Development Plan Review FOR A PROPOSED 4,056 SQUARE-FOOT SERVICE STATION WITHOUT AUTOMOTIVE REPAIR, AN 800 SQUARE FOOT CAR WASH, FULL SERVICE, AND A 2,700 SQUARE FOOT RESTAURANT WITH DRIVE-THROUGH on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive (APN 125-09-401-031), U [(Undeveloped) Zone, SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial), Ward 6 (Ross).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter from Gary Kronenberg

MOTION:
GOYNES – APPROVED subject to conditions – Motion carried with TROWBRIDGE voting NO and DUNNAM abstaining as he is the engineer of record for the tavern

To be heard by City Council on 3/7/2007

City of Las Vegas

Agenda Item No.: 17

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 17 – SDR-18349

MINUTES:

See Item 15 for related discussion.

(6:53 – 7:15)
1-1661

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-18347) and Special Use Permit (SUP-18630), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/28/06, except as amended by conditions herein.

4. A revised landscape plan shall be submitted prior to the time an application is made for a building permit depicting a total of twenty-one 24-inch box trees spaced 20 feet on center in the landscape perimeter buffer along the north side of the property, fourteen 24-inch box trees spaced 20 feet on center in the landscape perimeter buffer along the east property line, and one parking lot landscape finger for every six parking spaces.

5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

CONDITIONS – Continued:

8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. If not already constructed at time of development, construct half-street improvements on Durango Drive and Grand Teton Drive, including the widened median island on Grand Teton Drive, concurrent with development of this site. If applicable, extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

13. The required equestrian trail along the north side of this site shall be deeded to the City of Las Vegas within one year of completion of construction. The trail shall be privately maintained prior to conveyance. Coordinate with the right-of-way section of the Department of Public Works regarding the appropriate method to convey the trail to the City of Las Vegas; a parcel map or other map may be required to create the legal trail parcel.

14. The required multi-use transportation trail along Durango Drive shall be granted to the City of Las Vegas prior to the issuance of any permits and shall be designated as a multi-use transportation trail easement over its entirety to be privately maintained; coordinate the right-of-way section of the Department of Public Works regarding document preparation.

CONDITIONS – Continued:

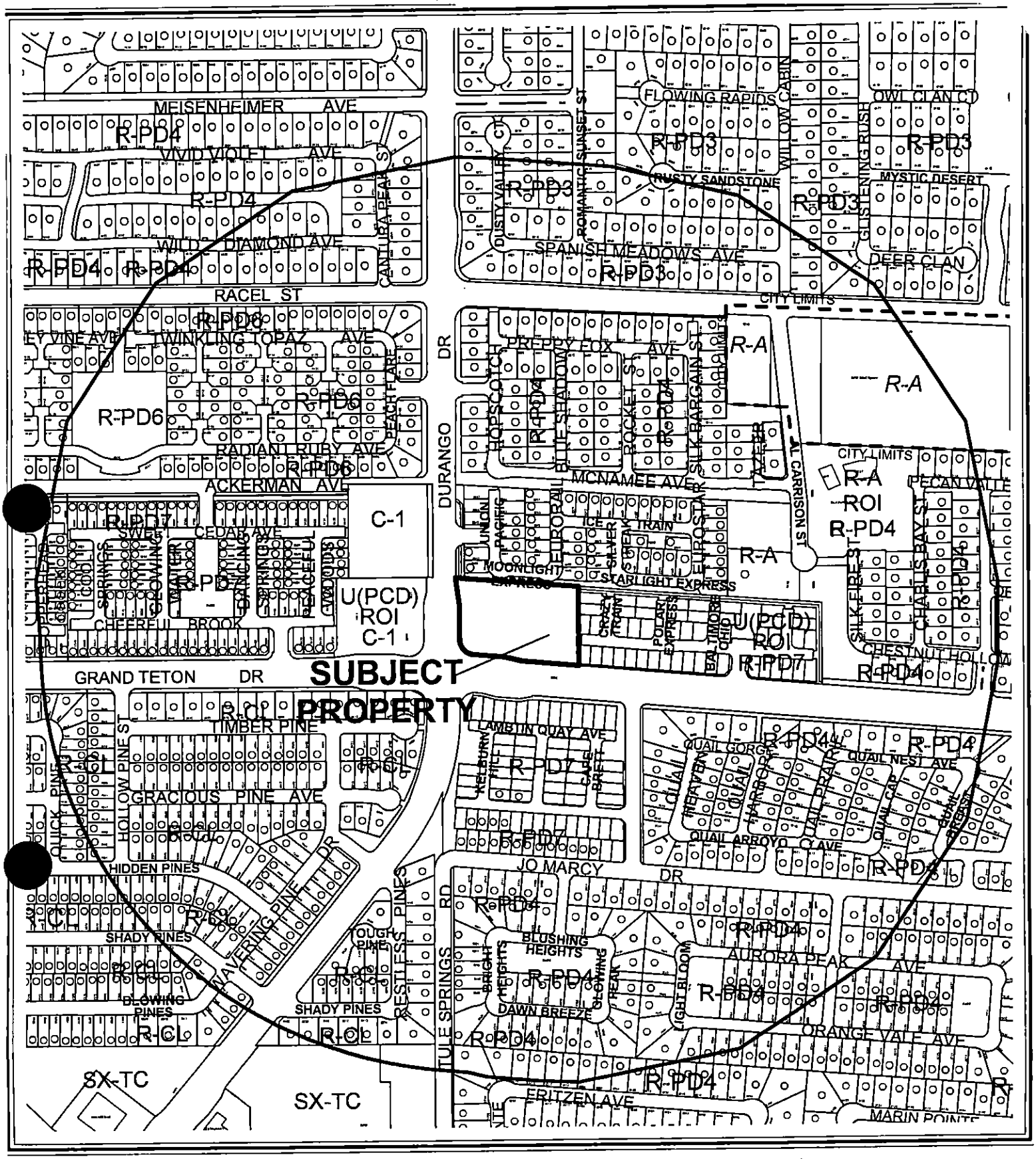
15. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

16. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

17. An update to the previously approved Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

19. Site development to comply with all applicable conditions of approval for ZON-3509 and all other applicable site-related actions.



0 300 600 Feet

N

CASE: **SDR-18349**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SDR-18349 - APPLICANT/OWNER: GRAND TETON LODGE LLC

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-18347) and Special Use Permit (SUP-18630), if approved.

2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/28/06, except as amended by conditions herein.

4. A revised landscape plan shall be submitted prior to the time an application is made for a building permit depicting a total of twenty-one 24-inch box trees spaced 20 feet on center in the landscape perimeter buffer along the north side of the property, fourteen 24-inch box trees spaced 20 feet on center in the landscape perimeter buffer along the east property line, and one parking lot landscape finger for every six parking spaces.

5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. If not already constructed at time of development, construct half-street improvements on Durango Drive and Grand Teton Drive, including the widened median island on Grand Teton Drive, concurrent with development of this site. If applicable, extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

13. The required equestrian trail along the north side of this site shall be deeded to the City of Las Vegas within one year of completion of construction. The trail shall be privately maintained prior to conveyance. Coordinate with the right-of-way section of the Department of Public Works regarding the appropriate method to convey the trail to the City of Las Vegas; a parcel map or other map may be required to create the legal trail parcel.

14. The required multi-use transportation trail along Durango Drive shall be granted to the City of Las Vegas prior to the issuance of any permits and shall be designated as a multi-use transportation trail easement over its entirety to be privately maintained; coordinate the right-of-way section of the Department of Public Works regarding document preparation.

15. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

16. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

17. An update to the previously approved Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

19. Site development to comply with all applicable conditions of approval for ZON-3509 and all other applicable site-related actions.

SDR-18349 - Staff Report Page One
February 8, 2007 - Planning Commission Meeting

** STAFF REPORT **

PROJECT DESCRIPTION

This application is for a Site Development Plan Review for a proposed 4,056 square-foot Service Station without Automotive Repair, an 800 square-foot Car Wash, and a 2,700 square-foot Restaurant with Drive-Through on 2.71 acres on the northeast corner of Grand Teton Drive and Durango Drive.

Related Relevant City Actions by P&D, Fire, Bldg, etc.	
3/17/99	The Board of County Commissioners approved the rezoning (ZC-1702-98) of the northeast corner of Durango Drive and Grand Teton Drive.
6/08/99	The City Council approved the annexation [A-28-99(A)] of the subject site. The effective date of the annexation was September 24, 1999.
6/21/00	The City Council approved a Special use Permit (U-0011-00) for a tavern at the subject site. The Planning Commission and staff recommended approval.
7/17/02	The City Council approved of an Extension of Time [U-0011-00(1)] for the approved Tavern. The Planning Commission and staff recommended approval.
03/17/04	The City Council approved a General Plan Amendment application (GPA-3483) from PCD (Planned Community Development) to SC (Service Commercial), a Rezoning (ZON-3509) from U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) and U (Undeveloped) [PCD (Planned Community Development) General Plan Designation], and a Review of Condition (ROC-2671) to remove a condition that restricted commercial development to the western portion of the subject site. The Planning Commission recommended approval of the GPA, ZON and ROC on 1/22/04 and tabled requests for a Special Use Permit (SUP-3513) for a proposed mini-warehouse facility, and a Site Development Plan Review application (SDR-3511) for a proposed 71,570 square foot office, tavern, mini-storage development. Staff recommended approval for all five applications.

SDR-18349 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

04/06/05	The City Council approved a Special Use Permit (SUP-5691) for a Tavern and a Waiver from the distance separation requirements from an existing park, a Variance (VAR-5694) to allow a 24-foot setback where residential adjacency standards require a minimum of 73 feet, a Variance (VAR-5693) a Variance to allow 132 parking spaces where 148 spaces are the minimum required, and a Site Development Plan Review (SDR-5689) for a 6,115 square-foot tavern and a Waiver of trash enclosure separation. The Planning Commission recommended approval on 03/10/05 and staff recommended denial.
01/11/07	The Planning Commission held in abeyance a Special Use Permit (SUP-18347) for a proposed 800 square foot Car Wash, Full Service; a Special Use Permit (18630) for a proposed Beer/Wine/Cooler Off-sale Establishment and a Site Development Plan Review (SDR-18349) for the Car Wash, a Service Station without automotive repair and a fast-food restaurant with a drive-through. Staff recommended denial.
02/08/07	The Planning Commission will consider concurrently a request for a Special Use Permit (SUP-18347) for a proposed 800 square foot Car Wash, Full Service and a Special Use Permit (SUP-18630) for a proposed Beer/Wine/Cooler Off-sale Establishment. Staff recommends denial

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
12/09/05	Business License L16-266-4-1214 issued for a Tavern issued to Tomfoolery, inactive effective 06/07/06.
06/07/06	Pending Business License requests created for The Lodge at Grand Teton including C05-96168-0-107791 for Tobacco Retailer, C08-96164-0-107791 for Coin Operated Amusements, C20-96167-7-850 for Convention Hall Gaming Tax, G01-96166-4-850 for Gaming-Restricted, and R09-96163-0-107791 for a Restaurant.
08/18/06	Building Permit C-0189-05 issued for a trash enclosure, on-site improvements and a Certificate of Occupancy for a tavern on the subject site.

Pre-Application Meeting	
11/13/06	At a Pre-application meeting, the applicant was told of the requirements for a site development plan review and the requirements for a special use permit. Additional detail was given regarding landscaping and parking requirements particular to the subject site.

RL

SDR-18349 - Staff Report Page Three
February 8, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/02/06	A neighborhood meeting was held at the Silverstone Golf Club 8600 Cupp Drive at 6:00 p.m. Attendance included three members of the development team, nine members of the public and one member of the Planning & Development staff. The following concerns were brought up by members of the public: • Concerns about the speaker box of the fast food pad • Area over saturated by alcohol uses • Request for a family restaurant • No 24 hrs uses Concerns about Day Care use at 7955 Quail Heaven being too close to uses.

Details of Application Request			
Site Area			
Gross Acres	2.71		
Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Tavern, Undeveloped	SC (Service Commercial)	U(SC) Undeveloped (Service Commercial) under Resolution of Intent to C-1 (Limited Commercial)
North	Single Family	PCD (Planned Community Development)	R-PD6 (Residential Planned Community – 6 Units per Acre)
South	Single Family (under construction)	PCD (Planned Community Development)	R-PD7 (Residential Planned Community – 7 Units per Acre)
East	Single Family (under construction)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to R-PD7 (Residential Planned Community – 7 Units per Acre)
West	Undeveloped (proposed retail)	PCD (Planned Community Development)	U(PCD) Undeveloped (Planned Community Development)under Resolution of Intent to C-1 (Limited Commercial)

SDR-18349 - Staff Report Page Four
February 8, 2007 - Planning Commission Meeting

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts		X	N/A
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A

DEVELOPMENT STANDARDS

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	115,730 Square Feet	Y
Min. Lot Width	100 Feet	220 Feet	Y
Min. Setbacks • Front • Side • Corner • Rear	 20 Feet 10 Feet 15 Feet 20 Feet	 25 Feet 16 Feet 24 Feet 80 Feet	 Y Y Y Y
Max. Lot Coverage	50%	12%	Y
Max. Building Height	N/A	32.75 Feet	Y
Trash Enclosure	50 Feet from residential uses	62 Feet	Y
Mech. Equipment	Screened	Screened	Y
Residential Adjacency Standards	**Required/Allowed**	**Provided**	**Compliance**
3:1 proximity slope	79.5 Feet	105 Feet	Y
Adjacent development matching setback	10 Feet	80 Feet	Y
Trash Enclosure	50 Feet from residential uses	73 Feet	Y

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces 1 Finger/6 Spaces	22	23	Y N*
Buffer: Min. Trees North East South West	 1 Tree/20 Feet 1 Tree/20 Feet 1 Tree/30 Feet 1 Tree/30 Feet	 21 14 13 9	 20 12 18 9	 N* N* Y Y

RL

SDR-18349 - Staff Report Page Five
February 8, 2007 - Planning Commission Meeting

TOTAL				
Min. Zone Width				
• East	15 Foot Buffer		15 Foot	Y
• North	8 Foot Buffer		10 Foot	Y
• West	8 Foot Buffer		8 Feet	Y
• South	15 Foot Buffer		20 Feet	Y
Wall Standards	*Required*		*Provided*	*Compliance*
Wall Height				
East Property Line	Minimum 6 Feet, Maximum 8 Feet		8 Foot Block Wall	Y
North Property Line	Minimum 6 Feet, Maximum 8 Feet		8 Foot Block wall	Y

** Additional trees to be required by Condition 4.

Parking Requirements							
		Required			*Provided*		*Compliance*
			Parking		*Parking*		
Use	*Gross Floor Area or Number of Units*	*Parking Ratio*	Regular	Handi-capped	Regular	Handi-capped	
Tavern (Existing)	3,171 SF Public seating	1:50 SF	64				
	3,204 SF Remainder	1:200 SF	16				
Car Wash*	800 SF	NA	NA				
Service Station	4,056	1:250 SF	16				
Restaurant*	650 SF Public seating	1:50 SF	13				
	2,050 SF Remainder	1:200 SF	10				
Sub-Total			114	5	122	5	
TOTAL –Including Handicapped			119		127		Y

* The Restaurant Drive-Through and the Car Wash each provide six stacking spaces in addition to the above parking spaces provided.

RL

SDR-18349 - Staff Report Page Six
February 8, 2007 - Planning Commission Meeting

Waivers		
Request	Requirement	Staff Recommendation
Landscape Island at end of 100 Foot Aisle.	1 Landscape Finger every 6 parking spaces.	Denial

ANALYSIS

The subject site is located in a C-1 (Limited Commercial) zone in the SC (Service Commercial) Land Use designation area within the Centennial Hills Sector of the Las Vegas 2020 Master Plan. The C-1 zone is intended to provide most retail shopping and personal services. This district should be on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors, such as Grand Teton Drive and Durango Drive. The property is not located within any special plan areas or overlay districts. The proposed restaurant and convenience store is appropriate and conforming to C-1 zone and the SC designation; however the proposed site plan is too intense for the specific location. The proposed site plan includes a full service car wash and a fast food restaurant with a drive through; however, a previously approved Site Development Plan Review (SDR-5689) on the site was approved with a condition "no roll-up doors or drive-thru windows shall be allowed on this site."

The proposed site plan depicts a proposed 2,700 square-foot fast food restaurant, a proposed 4,056 service station without automotive repair with an attached 800 square-foot full-service car wash, and an existing 6,375 square-foot tavern on a 115,730 square foot parcel. 127 parking spaces are provided where 125 are required. The site plan conforms to all Title 19 development standards including building setbacks, lot coverage, building height and screening. The proposed structures conform to the residential adjacency standards as required in Title 19 including proximity slope and residential equivalent setbacks. Both the tavern and the service station are oriented to the setback line at Grand Teton Drive, with the restaurant set behind the service station. Sufficient stacking for six vehicles is provided for both the car wash and for the restaurant drive-through. However, the combination of uses on this site is deemed too intense for the surrounding neighborhood, and staff; therefore, recommends denial.

A multi-use transportation trail runs along the west property line of the subject site along the Durango Drive right-of-way. Also, a multi-use equestrian trail runs along the north property line of the subject site. The latter is contained entirely in the subject site. The proposed site plan and landscape plan depict that the trails will be built to the standards as required by the Las Vegas 2020 Master Plan, as previously required by previously approved Site Development Plan Review (SDR-5689).

The perimeter landscape buffer widths comply with the Title 19 requirements; however, the plan shows a deficiency of one tree in the north buffer and two trees in the east buffer. The south buffer has five trees more than are required and a condition of approval has been added to require sufficient trees spaced 20 feet on center. The parking lot has a sufficient number of trees, but there are several spaces in which there are more than six spaces without a landscape finger or island. A condition has been added to provide a revised landscape plan prior to the issuance of building permits.

The elevations and floor plans depict structures which are consistent with Title 19 standards, and the colors and materials would be appropriate to the surrounding community at a more appropriate site.

FINDINGS

The following findings must be made for an SDR:

1. **The proposed development is compatible with adjacent development and development in the area;**

   While the proposed project is compatible with the General Plan land-use designation for the area and satisfies the requirements of the Zoning Code with respect to minimum separation distance requirements, the intensity of a Car Wash, Full Service use on this site in combination with an approved tavern and other proposed development is too intense to be harmonious and compatible with the surrounding area.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

   While the proposed uses are permitted under the General Plan, the proposed development on this lot, and the necessary Waiver of Parking Lot landscape standards, indicate that this request exceeds the intensity that is appropriate for the site and cannot be supported.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

   The site will be accessed from Durango Drive a (100-foot) Primary Arterial and Grand Teton Drive a (120-foot) Parkway Arterial as designated on the Master Plan of Streets and Highways. The on-site circulation is limited as a parking lot landscape waiver is necessary in order to accommodate the required number of parking spaces.

4. **Building and landscape materials are appropriate for the area and for the City;**

   The intensity of the uses, including a drive-through adjacent to Grand Teton Drive, indicates an attempt to exceed the intensity appropriate for the site that cannot be overlooked even though the materials and architectural features may be of appropriate quality for the area.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

   The building elevations depict design characteristics and other architectural and aesthetic features which are attractive and conducive to the locality, but the buildings themselves are inappropriate for the subject site.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

   While, the proposed development will be subject to the Uniform Building Code, the intensity of the proposed development may compromise the public health, safety or welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 16

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 867 (Mailed with SUP-18347 and SUP-18630)

APPROVALS 0

PROTESTS 1

RL

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18349** APN: 125-09-401-031

Name of Property Owner: GRAND TETON LODGE LAND, LLC

Name of Applicant: GRAND TETON LODGE LAND, LLC

Name of Representative: PACIFIC DESIGN CONCEPTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: _____

Print Name: STUART APOLLO

Subscribed and sworn before me

This 21st day of NOV, 20 06

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
PHYLLIS B. RICE
My Appointment Expires
May 31, 2009

Revised 11-14-06

f:\depot\Application Packet\Statement of Financial Interest.pdf

PROJECT DATA:

APPLICATION: [illegible]

LEGAL DESCRIPTION: THE SOUTH HALF (S1/2) OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 9, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. & M.

ASSESSOR'S PARCEL NUMBER: [illegible]

SITE AREA: [illegible] S.F. (1.65 ACRES)

CURRENT ZONING: CI

LOT COVERAGE: [illegible] %

SETBACKS:

	REQUIRED:	PROVIDED:
FRONT:	[illegible]	[illegible]
SIDES:	[illegible]	[illegible]
REAR:	[illegible]	[illegible]
CORNER:	[illegible]	[illegible]

BUILDING AREA:

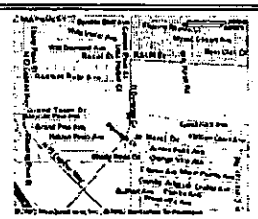
CAR WASH	[illegible] S.F.
C-STORE	[illegible] S.F.
FAST FOOD RESTAURANT	[illegible] S.F.
EXISTING LODGE / TAVERN	[illegible] S.F.

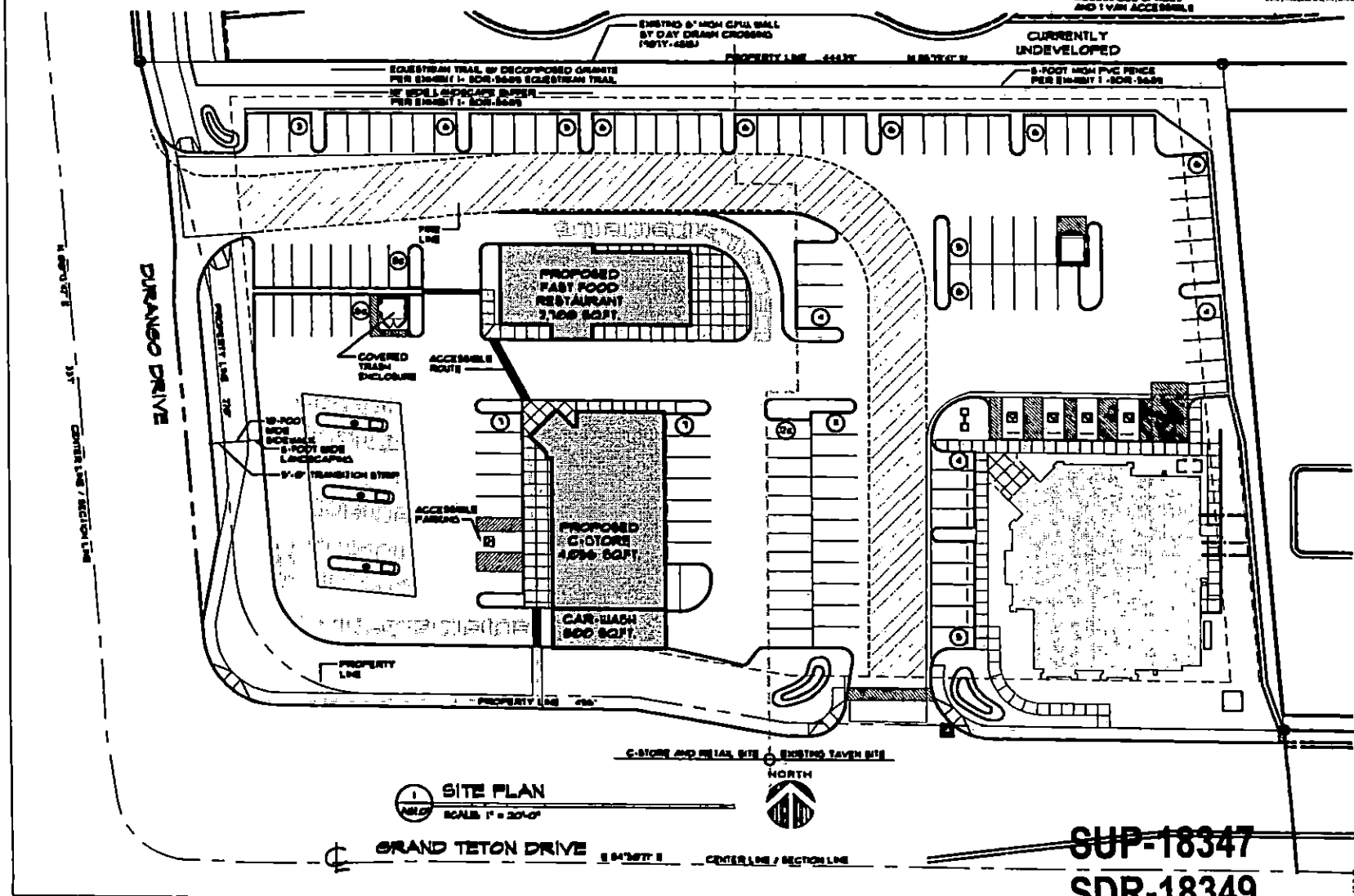
PARKING CALCULATIONS:

REQUIRED:

CAR WASH [illegible] S.F. / [illegible]	[illegible] SPACES
C-STORE [illegible] S.F. / [illegible]	[illegible] SPACES
FAST FOOD RESTAURANT:	
PUBLIC SEATING AREA [illegible] S.F. [illegible]	[illegible] SPACES
REMAINING AREA [illegible] S.F. [illegible]	[illegible] SPACES
EXISTING TAVERN:	
TAVERN & 50 PUBLIC SEATING ([illegible] / [illegible])	[illegible] SPACES
& [illegible] S.F. FOR REST ([illegible] / [illegible])	[illegible] SPACES
TOTAL REQUIRED:	[illegible] SPACES INCLUDING [illegible] ACCESSIBLE SPACES
PROVIDED:	[illegible] SPACES INCLUDING 36 COMPACTS, 4 ACCESSIBLE SPACES AND 1 VAN ACCESSIBLE

PROJECT LOCATION:





SITE PLAN
SCALE: 1" = 20'-0"

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02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PROJECT TITLE:
C-STORE AT GRAND TETON
GRAND TETON DR./DURANGO DR.
LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT TITLE:
ARCHITECTURAL SITE PLAN
LAND USE SUBMITTAL

A8L01

LANDSCAPE LEGEND

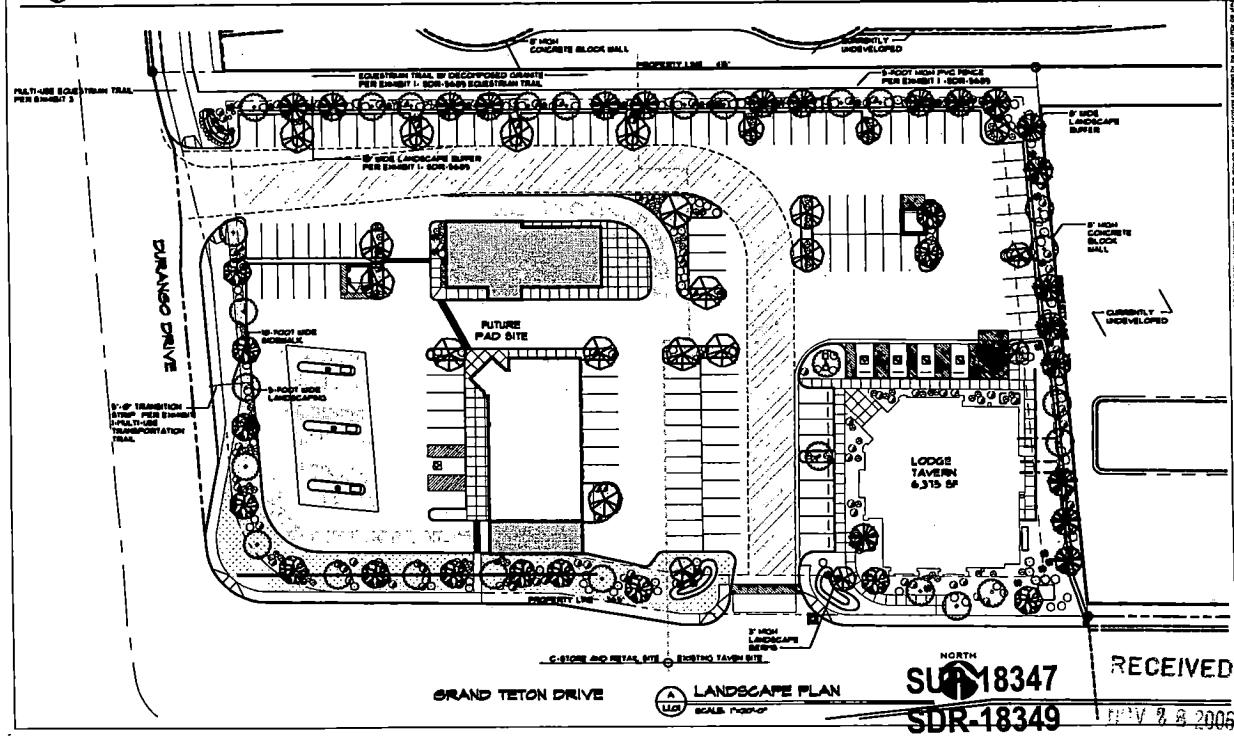
TREES	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	PINUS ELDARICA	MONDEL PINE	24" BOX	STANDARD TRUNK
	FRAXINUS VELUTINA	ARIZONA ASH	24" BOX	STANDARD TRUNK
	PROSOPIS GLANDULOSA	HONEY MESQUITE	24" BOX	STANDARD TRUNK
	RHUS LANCEA	AFRICAN SUMAC	24" BOX	STANDARD TRUNK

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
	BUXUS MICROPHYLLA J.	JAPANESE BOXWOOD	5 GAL.
	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL.
	RAPHIOLEPIS INDICA	INDIA HAWTHORN	5 GAL.
	PENNISETUM SETACEUM	FOUNTAIN GRASS	5 GAL.
	XYLOSMA CONGESTUM	XYLOSMA	5 GAL.

GROUNDCOVER & ACCENT			
	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL.
	LANTANA MONTEVIDENSIS	LANTANA	1 GAL.
	HYPOCYRTA PARVIFLORUM	AUSTRALIAN RACER	1 GAL.

General Notes

1. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. PLANT LIST IS INTENDED AS A REFERENCE ONLY.
2. LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
3. PLANT MATL. IS TO HAVE IDENTIFICATION TAGS ON 10% OF TOTAL QUANTITY OF EACH SPECIES. SHOWING GENUS, SPECIES, VARIETY, ETC.
4. PROVIDE MATCHING SIZES + FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
5. 3/4" DECORATIVE ROCK, COLOR TO BE SELECTED BY OWNER, 2" DEPTH TYP. IN ALL PLANTING BEDS.
6. SITE PLAN/LANDSCAPE PLAN DESIGNED PER TITLE 30 REQUIREMENTS.
7. ANY TREE WITHIN 5'-0" OF A SIDEWALK OR WALL SHALL BE PLANTED W/ A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.



A L1.01 LANDSCAPE PLAN
SCALE: 1"=20'-0"

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3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title: C-STORE AT GRAND TETON
address: LAS VEGAS, NEVADA

PRELIMINARY NOT FOR CONSTRUCTION

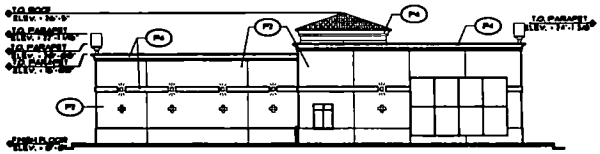
sheet title: LANDSCAPE PLAN
LAND USE SUBMITTAL

L1.01

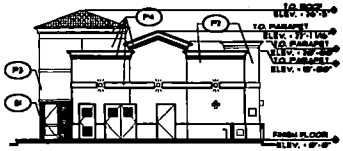
PAINT LEGEND

- (P1) PRIMARY COLOR
  PRAIZIE [illegible] • STRATA LIGHT OR EQUAL
- (P2) SECONDARY COLOR
  PRAIZIE [illegible] • TUCSON CLAY OR EQUAL
- (P3) ACCENT COLOR
  PRAIZIE [illegible] • TOPAMARK OR EQUAL
- (P4) DECORATIVE FASCIA COLOR
  PRAIZIE [illegible] • ROARING HEARTH OR EQUAL
- (S) CULTURED STONE • FOX VALLEY WEATHEREDGE
  LEDGESTONE (CSV • [illegible]) OR EQUAL
- (M) MINER LIFESTILE • CHARCOAL BROWN BLEND
  OR EQUAL

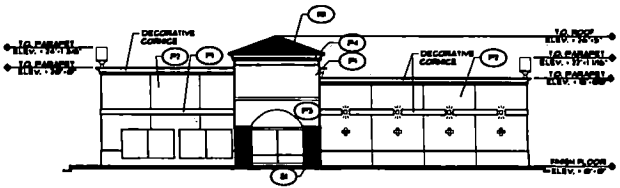
4 A8.02 LEFT ELEVATION
SCALE: 1/8"=1'-0"



3 A8.02 REAR ELEVATION
SCALE: 1/8"=1'-0"



2 A8.02 RIGHT ELEVATION
SCALE: 1/8"=1'-0"



1 A8.02 FRONT ELEVATION
SCALE: 1/8"=1'-0"

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henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PROJECT NAME:
C-STORE AT GRAND TETON
GRAND TETON DR.&DURANGO DR.
LAS VEGAS, NEVADA

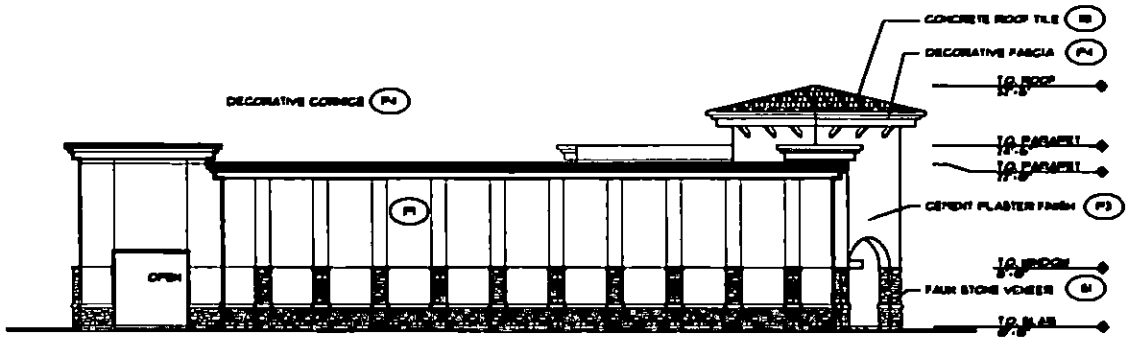
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE:
EXTERIOR ELEVATIONS
FAST FOOD RESTAURANT
LAND USE SUBMITTAL

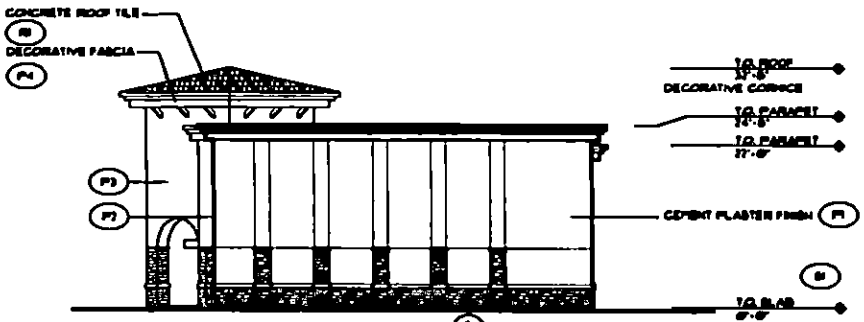
A8.02

PAINT LEGEND

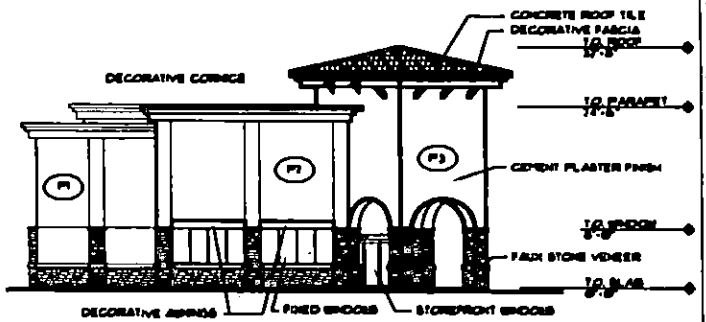
- (P1) PRIMARY COLOR
- (P2) SECONDARY COLOR
- (P3) ACCENT COLOR
- (P4) DECORATIVE FASCIA COLOR
- (P5) AWNING COLOR
- (S) CULTURED STONE - FOX VALLEY WEATHEREDGE LEDGESTONE
- (R) PIONEER LIFESTYLE - CHARCOAL BROWN BLEND OR EQUAL



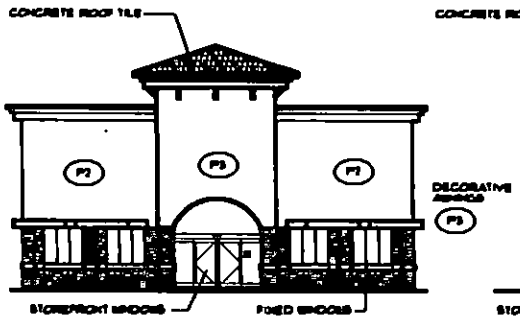
2 A6.01 EAST ELEVATION
SCALE: 1/8"=1'-0"



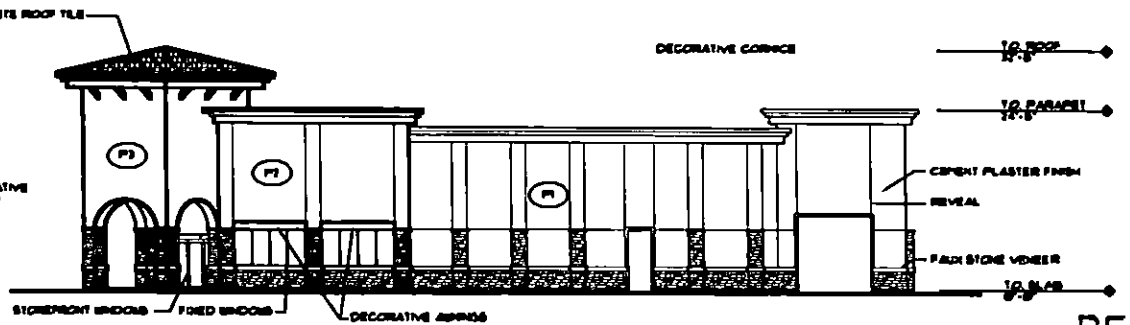
1 A6.01 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 A6.01 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 A6.01 ENTRANCE ELEVATION
SCALE: 1/8"=1'-0"



5 A6.01 WEST ELEVATION
SCALE: 1/8"=1'-0"

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3005 w. herizen ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

project title:
C-STORE AT GRAND TETON
ADDRESS
LAS VEGAS, NEVADA

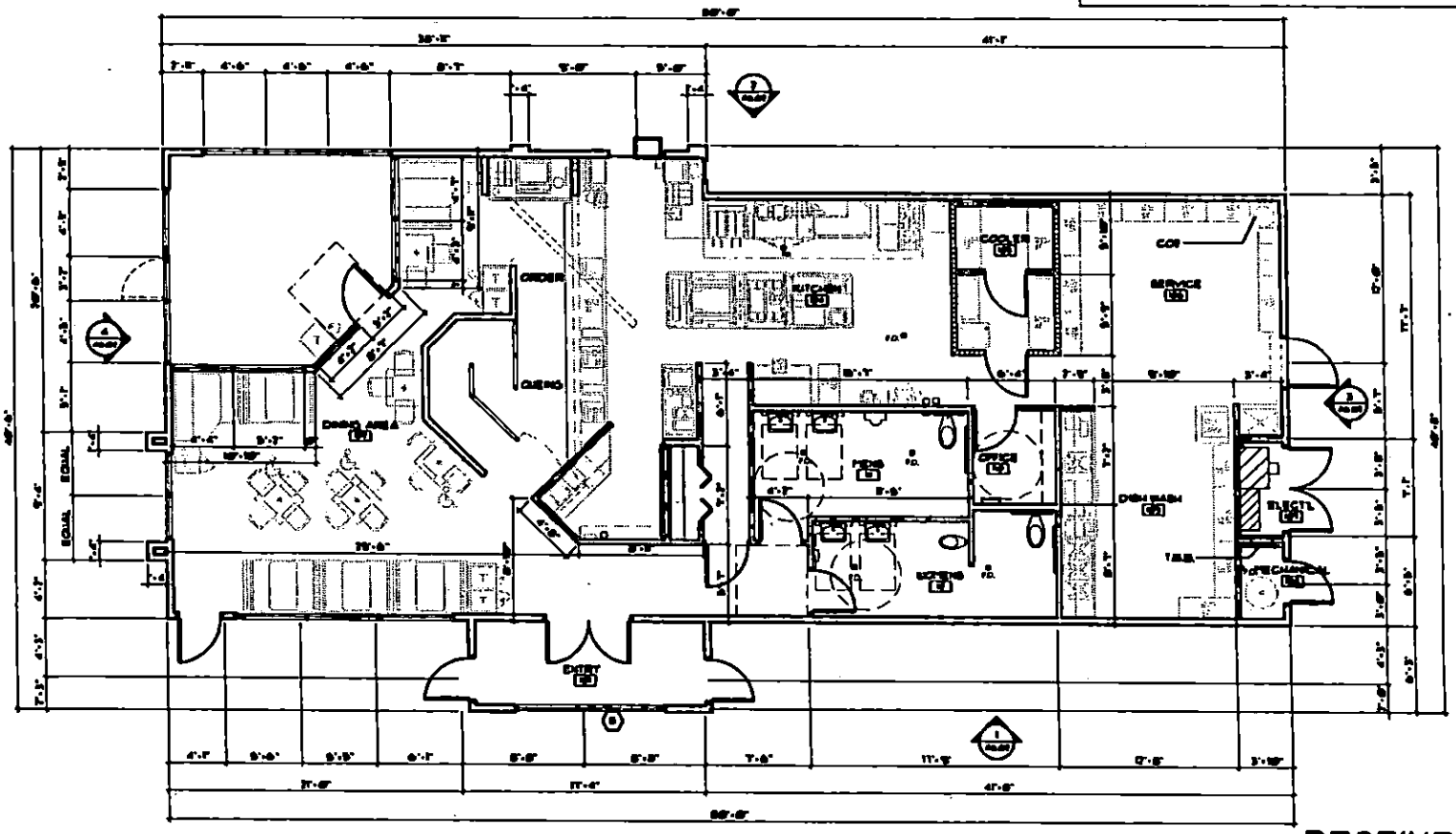
PRELIMINARY
NOT FOR CONSTRUCTION

project title:
EXTERIOR ELEVATIONS
C- STORE
LAND USE SUBMITTAL

A6.01

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS AND CENTER LINE OF GRIDS AND COLUMNS, U.N.O.
2. FOR DOOR/ WINDOW TYPES AND SCHEDULE SEE SHEETS A2.01
3. FOR ROOM FINISH SCHEDULE SEE SHEET A2.01
4. SEE DETAILS A2.20 FOR INTERIOR WALL FRAMING DETAILS
5. USE MOISTURE RESISTANT GYPSUM BOARD AS REQUIRED AT WET LOCATIONS
6. PROVIDE SOUND BATT INSULATION AT ALL FULL HEIGHT WALLS
7. PROVIDE BACKING AS REQUIRED FOR CASEWORK, GRAB BARS, ETC
8. SEE EQUIPMENT PLAN A1.40 FOR KITCHEN EQUIPMENT AND FIXTURE IDENTIFICATION



1 A1.01 FLOOR PLAN
SCALE: 1/4"=1'-0"

NORTH

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02/08/07 PC

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(702) 454-5842 fax (702) 454-7842

PROJECT TITLE:
C-STORE AT GRAND TETON
ADDRESS
LAS VEGAS, NEVADA

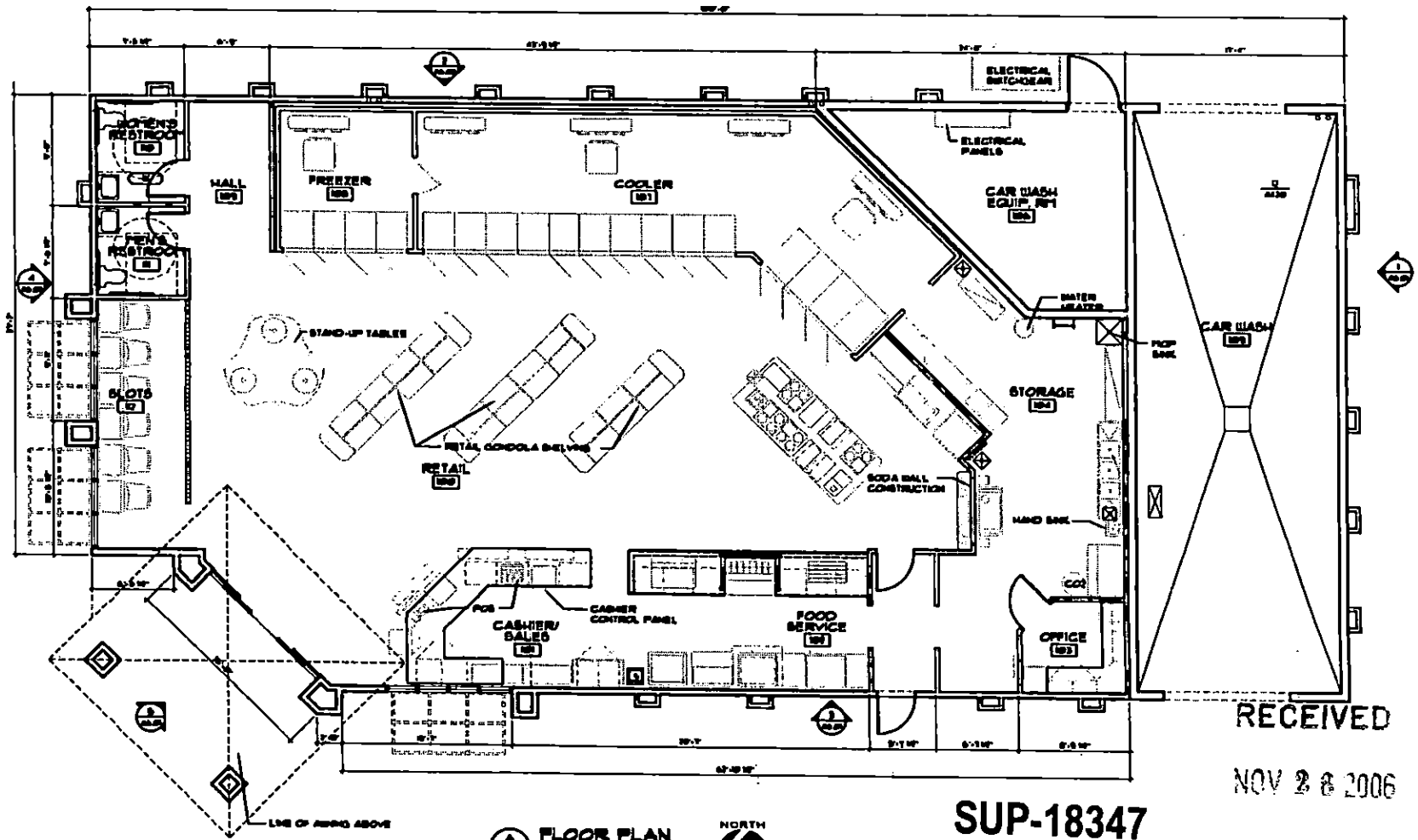
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE:
FAST FOOD FLOOR PLAN
LAND USE SUBMITTAL

A1.02

GENERAL NOTES:

1. DIMENSIONS ON DRAWINGS ARE TO FACE OF STUDS AND/OR TO FACE OF CONCRETE UNLESS OTHERWISE NOTED.
2. FIELD VERIFY ALL DIMENSIONS, CONDITIONS AT JOB SITE AND REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE BEGINNING WORK.
3. PROVIDE CORNER GUARDS, FULL HEIGHT AT ALL INTERIOR CORNERS.
4. PROVIDE TRANSITION STRIPS AT ALL DIFFERENT FLOOR FINISHES. PROVIDE SPECIAL STRIPS AT TILE AND CONCRETE.
5. PROVIDE SOUND ATTENUATION BLANKETS IN WALLS SEPARATING THE TOILET ROOMS AND OTHER ADJACENT ROOMS.
6. CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK.
7. ALL PARTITIONS ADJACENT TO OR LOCATED AT THE BACK OF PLUMBING FIXTURES SHALL BE CONSTRUCTED WITH MOISTURE RESISTANT GYPSUM BOARD.



A1.01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

NORTH

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SUP-18347
SDR-18349

02/08/07 PC

pacific design concepts, llc
3005 w. horizon ridge parkway, suite 200
henderson, nevada 89052
(702) 454-5842 fax (702) 454-7842

PROJECT TITLE: C-STORE AT GRAND TETON
ADDRESS: LAS VEGAS, NEVADA

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET TITLE: C-STORE FLOOR PLAN
LAND USE SUBMITTAL

A1.01

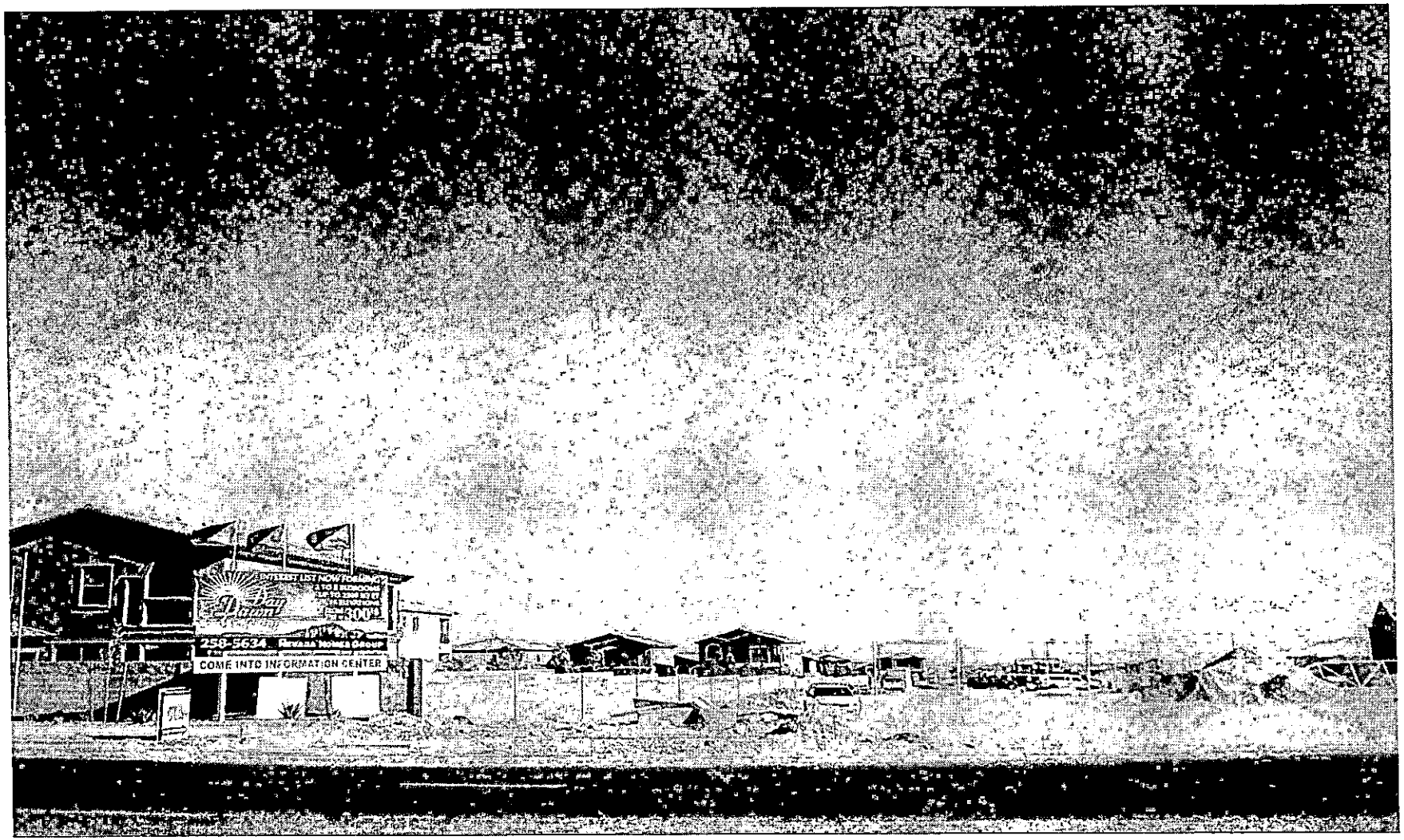
SDR 18349				
Grand Teton Lodge LLC				
NEC Grand Teton & Durango				
Proposed 7.556 thousand square foot expansion of a commercial development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	CONVENIENCE MARKET W/GAS [1000 SF]	4.856	845.60	4,106
AM Peak Hour			45.58	221
PM Peak Hour			60.61	294
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	2.7	496.12	1,340
AM Peak Hour			53.11	143
PM Peak Hour			34.64	94
(heaviest 60 minutes)				
Project Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	7.556		5,446
AM Peak Hour				365
PM Peak Hour				388
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Grand Teton Parkway				
Average Daily Traffic (ADT)	3,904			
PM Peak Hour	312			
(heaviest 60 minutes)				
Durango Drive				
Average Daily Traffic (ADT)	9,755			
PM Peak Hour	780			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			

	Capacity
Grand Teton Parkway	51700
Durango Drive	51700

This project will add approximately 5,446 trips per day on Grand Teton and Durango. This will increase expected volumes by about one hundred fifty four percent on Grand Teton and about sixty two percent on Durango. Grand Teton is at about 8 percent of capacity and Durango is at about 19 percent of capacity.

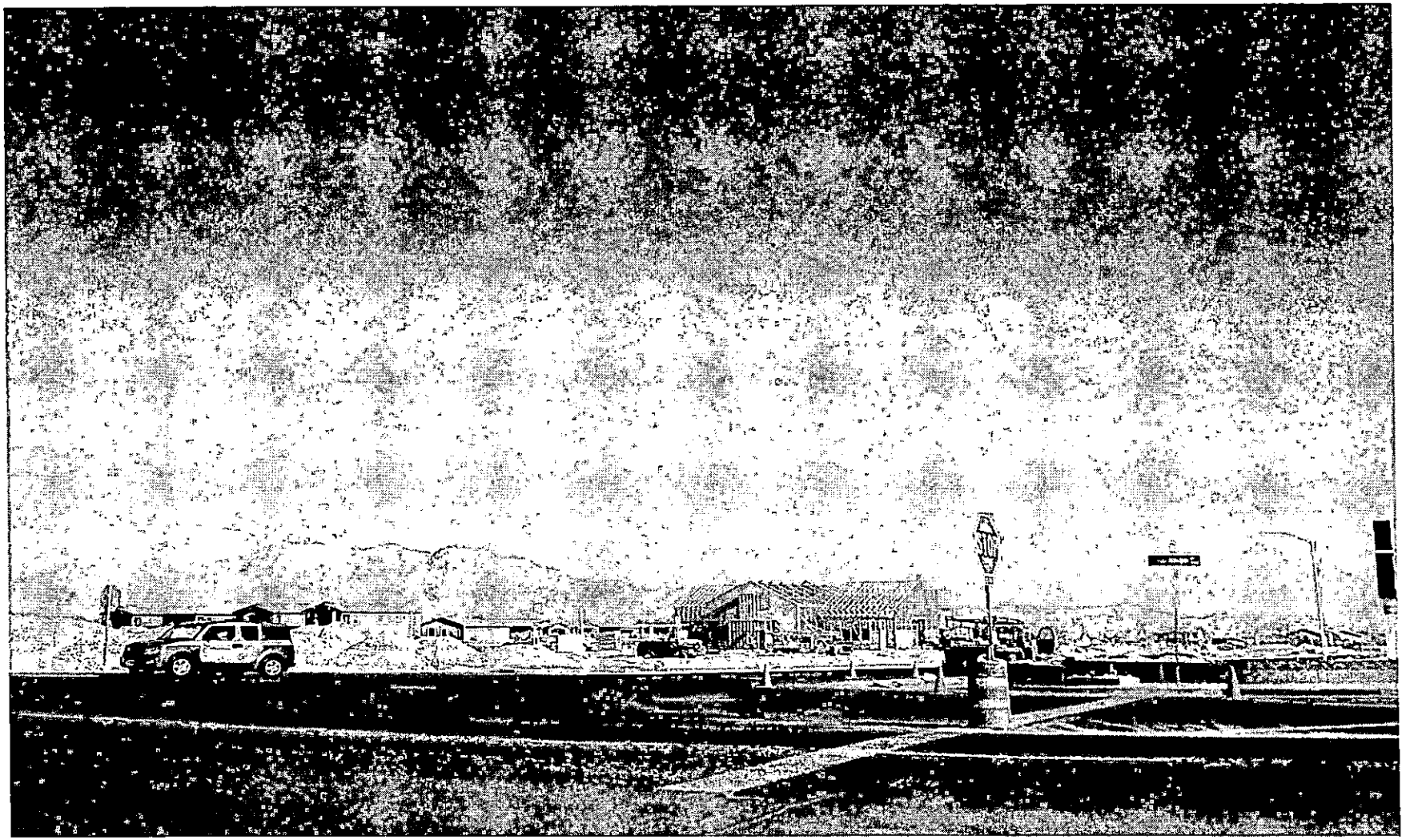
Based on Peak Hour use, this development will add roughly 388 additional cars into the area; which works out to about one every five minutes.

Note that this report assumes all traffic from this development uses all named streets.



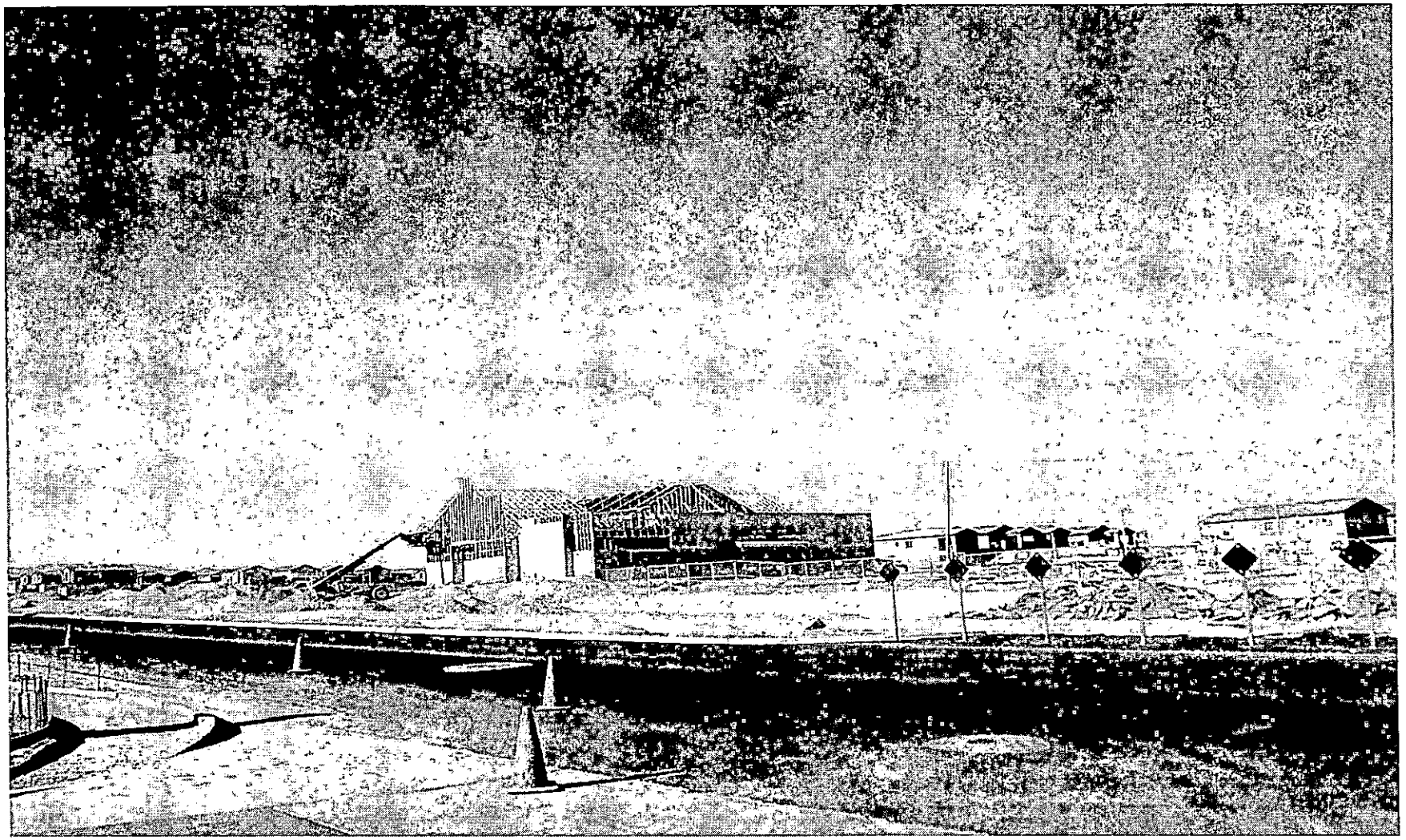
SUP-18347, SUP-18630 AND SDR-18349 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC
NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06



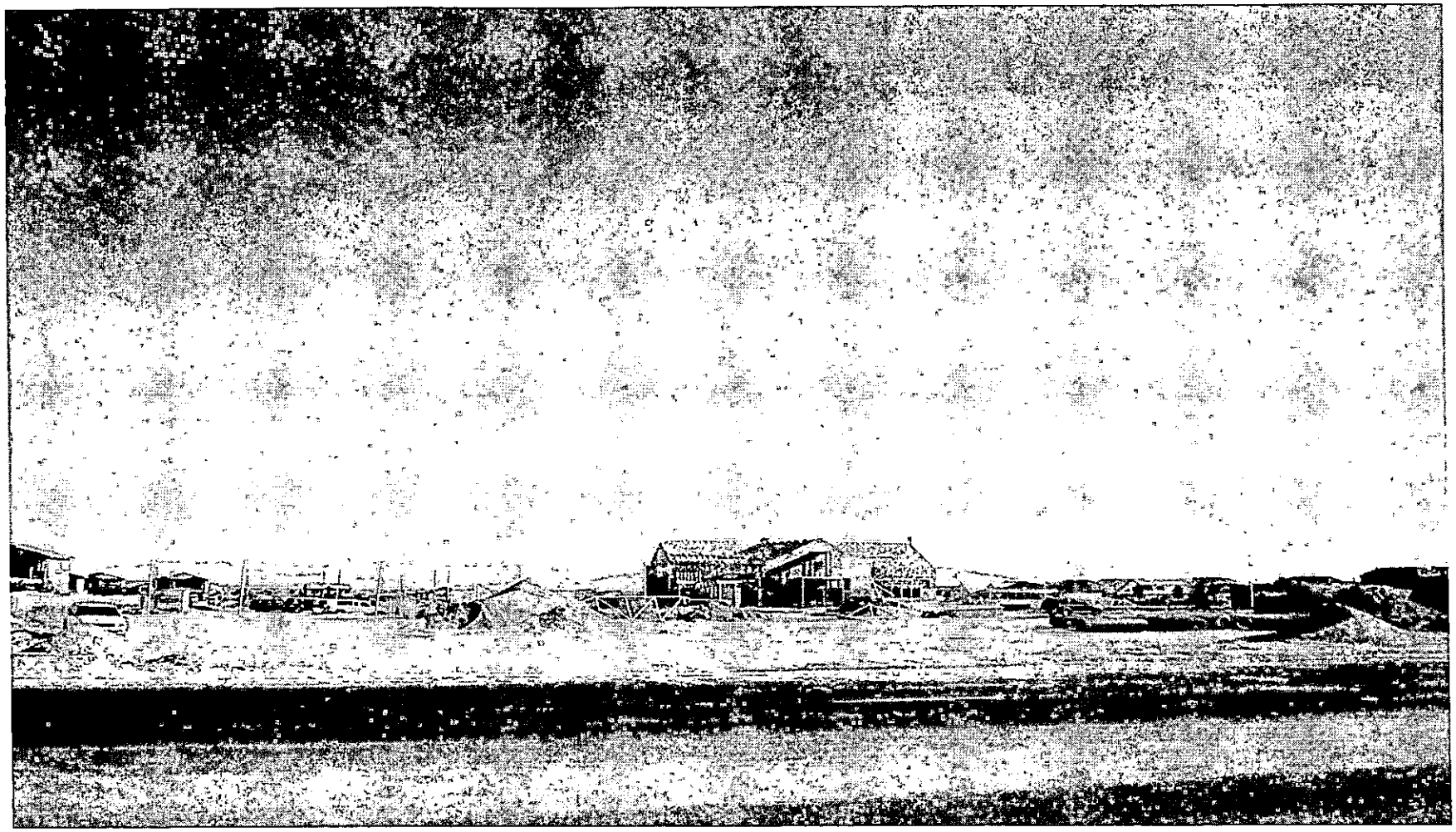
SUP-18347, SUP-18630 AND SDR-18349 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC
NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06



SUP-18347, SUP-18630 AND SDR-18349 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC
NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06



SUP-18347, SUP-18630 AND SDR-18349 - APPLICANT/OWNER: GRAND TETON LODGE LAND LLC
NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE
FEBRUARY 8, 2007 PLANNING COMMISSION

12/08/06

pacific design concepts, llc
3005 w. horizon ridge pkwy., #200, henderson, nv 89052 (702) 454-5842 fax (702) 454-7842

PDC

November 21, 2006

City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Attn: Planner

RE: C-STORE AT GRAND TETON
APN: 125-09-401-031
JUSTIFICATION LETTER

PROJECT NO: 06-182

Dear Planner,

We respectfully request favorable consideration for the above referenced project for a Site Development Review.

The proposed special use permit is to allow a single story 2,700 sq. ft. fast food convenience restaurant with a drive-thru lane and a single story 4,000 sq. ft. convenience store with gas pumps and a car wash.

This request is appropriate based on the following finding of the facts;

1. The proposed development is compatible with adjacent development and development in the area.
2. The proposed development is consistent with the General Plan, Title 19 and the Design Standards Manual, the landscape, Wall and buffer Standards, and other duly-adopted city plans, policies and standards.
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic.
4. Building and landscape materials are appropriate for the area and for the city.
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area.
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

Should you have any questions or require additional information please contact our office.

Sincerely,

Richard C. Gallegos
Principal

RCG/mt

Cc: 06-182.js.lt.sdr.clv.cstore.grand.teton

SUP-18347
SDR-18349
02/08/07 PC

NOTICE OF PUBLIC HEARING

Dec. 29, 06
I vote NO on
SDR-18349.
Gary R. Kronenberg
GARY R. KRONENBERG
8316 Blushing Hts. Ave.
Las Vegas, NV 89131

SITE DEVELOPMENT PLAN REVIEW

MEETING: PLANNING COMMISSION
DATE: JANUARY 11, 2007
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

SDR-18349

APPLICANT/OWNER: GRAND TETON LODGE LLC - REQUEST FOR A MAJOR AMENDMENT TO AN APPROVED SITE DEVELOPMENT PLAN REVIEW FOR A PROPOSED 4,056 SQUARE-FOOT SERVICE STATION WITHOUT AUTOMOTIVE REPAIR, AN 800 SQUARE FOOT CAR WASH, FULL SERVICE, AND A 2,700 SQUARE FOOT RESTAURANT WITH DRIVE-THROUGH ON 2.71 ACRES ON THE NORTHEAST CORNER OF GRAND TETON DRIVE AND DURANGO DRIVE (APN 125-09-401-031), U [(UNDEVELOPED) ZONE, SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL), WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHWEST QUARTER (SW¼) OF SECTION 09, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) http://www.lasvegasnevada.gov.

CITY OF LAS VEGAS NEVADA

JOHN KORKOSZ, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

ITEM # 36
CASE # SDR-18349
PC MTG 1-11-07

City of Las Vegas

Agenda Item No.: 18

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: FEBRUARY 8, 2007

DEPARTMENT: PLANNING & DEVELOPMENT
DIRECTOR: M. MARGO WHEELER, AICP [ ] CONSENT [X] DISCUSSION

SUBJECT:
ABEYANCE - SUP-18691 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC - Request for a Special Use Permit FOR A PROPOSED AUTO TITLE LOAN ESTABLISHMENT AND A WAIVER OF THE 1,000-FOOT DISTANCE SEPARATION REQUIREMENT FROM ANOTHER FINANCIAL INSTITUTION, SPECIFIED at 7350 West Cheyenne Avenue, Suite #111 and #112 (APN 138-10-403-031), C-1 (Limited Commercial) Zone, Ward 4 (Brown).

IF APPROVED: C.C.: 03/07/07
IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:		APPROVALS RECEIVED BEFORE:	
Planning Commission Mtg.	2	Planning Commission Mtg.	0
City Council Meeting		City Council Meeting	

RECOMMENDATION:
Staff recommends **DENIAL**

BACKUP DOCUMENTATION:
1. Location, Aerial and Special Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter from Craig Keough

MOTION:
STEINMAN – APPROVED subject to conditions – UNANIMOUS with DUNNAM abstaining as he has done some consulting work for the applicant

To be heard by City Council on 3/7/2007

MINUTES:
CHAIRMAN DAVENPORT declared the Public Hearing open.

PLANNING COMMISSION MEETING OF FEBRUARY 8, 2007
Planning and Development Department
Item 18 – SUP-18691

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, stated staff could not support the waiver and recommended denial.

SCOTT SABRAW, 8610 South Eastern Avenue, appeared on behalf of the applicant. He briefly described the location and displayed photographs of the building.

TODD FARLOW, 240 North 19th Street, appeared in opposition, stating two automotive title loan businesses in such close proximity is inappropriate.

MR. SABRAW explained that the majority of Check City's business is related check-cashing, payday loans, and wire transfers with auto title loans as an incidental use.

MR. RANKIN stated that vehicle storage would not be permitted at this location and was a condition of the business license. MR. SABRAW assured the Commissioners that repossessed vehicles would not be accepted or stored at this location.

CHAIRMAN DAVENPORT declared the Public Hearing closed.

(7:15 – 7:23)

1-2710

CONDITIONS:

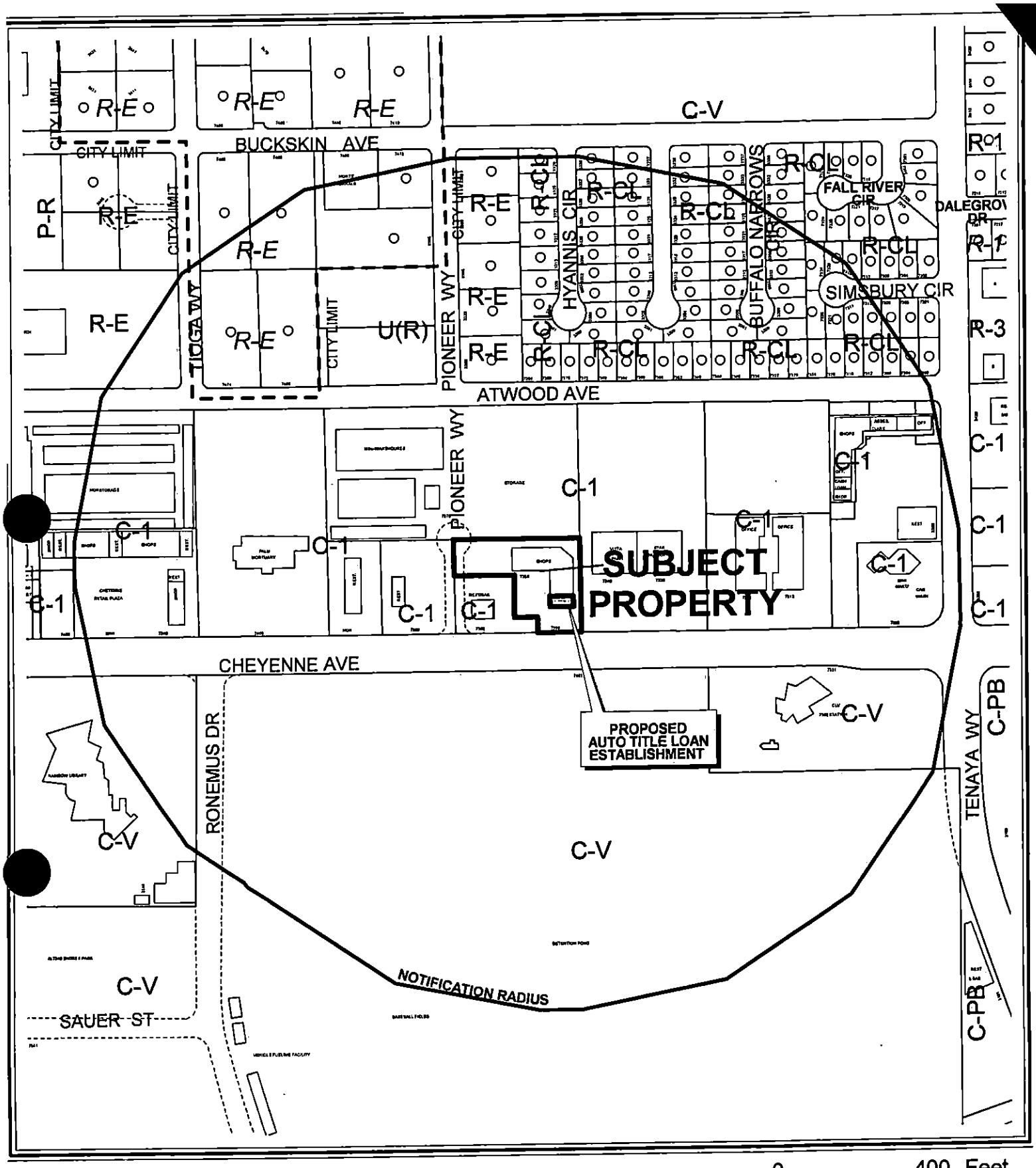
Planning and Development

1. Conformance to the Minimum Requirements of conditions one through six under LVMC Title 19.04.050 for Auto Title Loan use.

2. A Waiver is hereby approved to allow an Auto Title Loan to be located 660 feet from another financial institution where a 1,000-foot separation is the minimum required.

3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



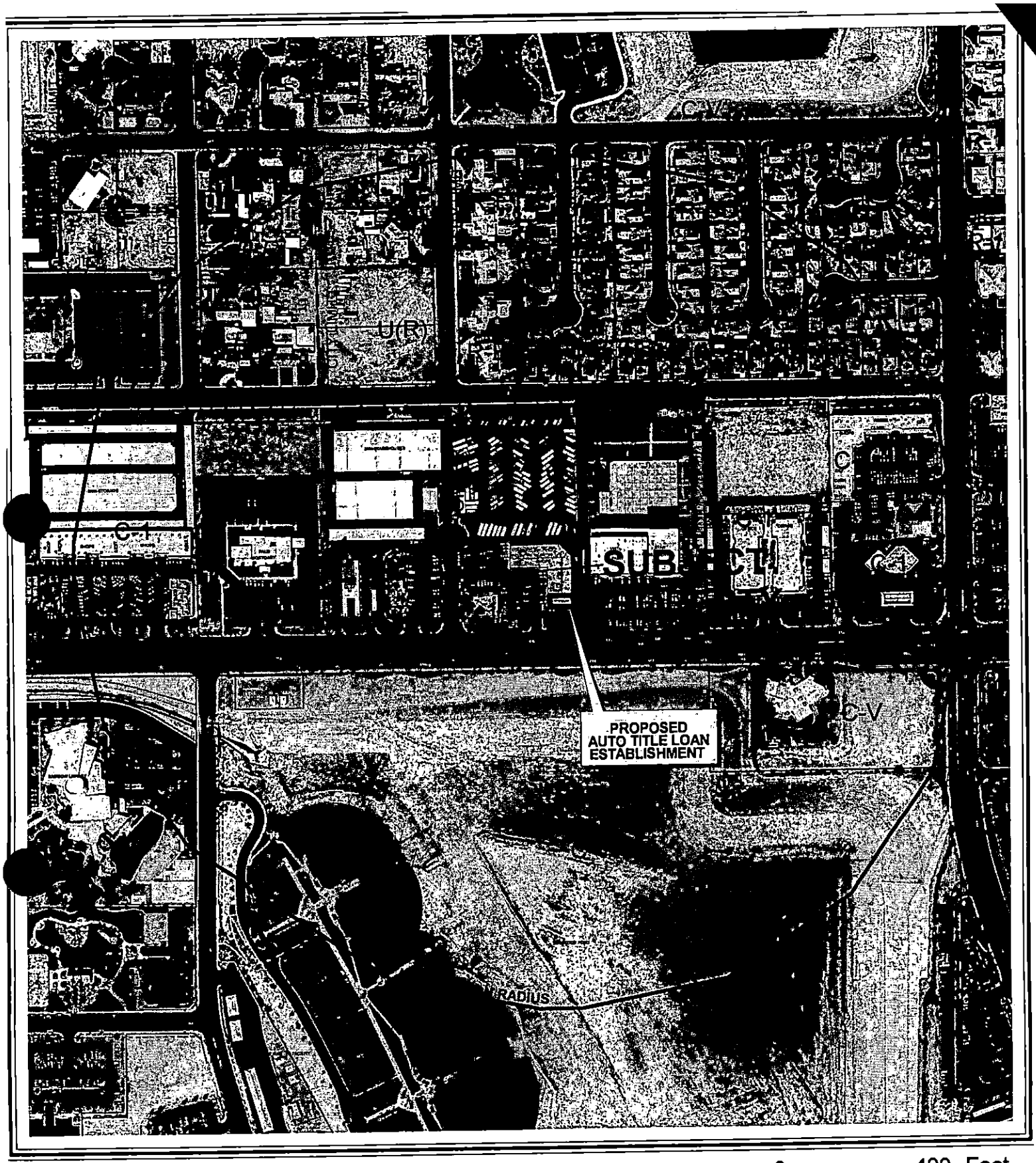
0 400 Feet

CASE: **SUP-18691**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

N



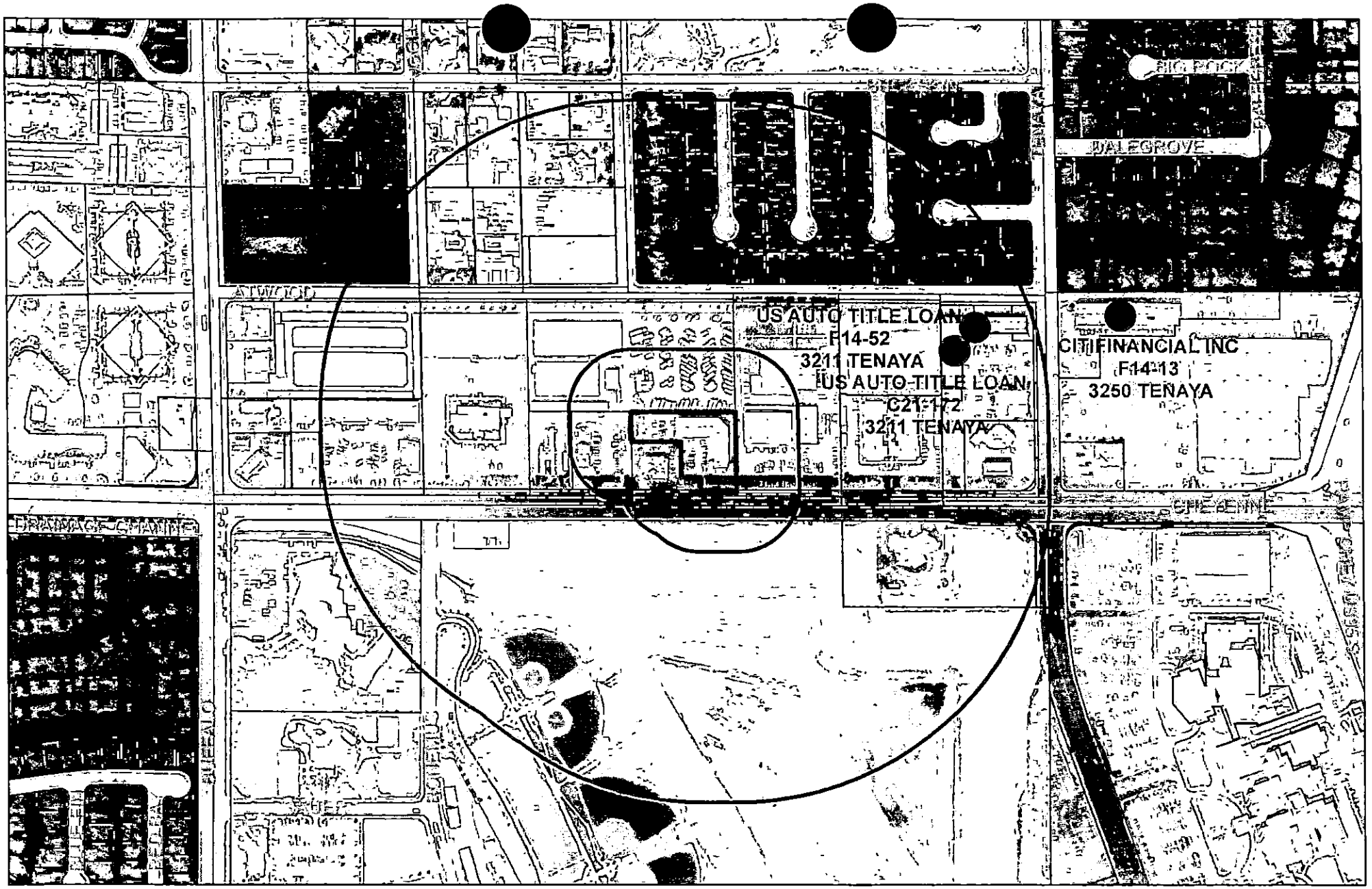
0 400 Feet

CASE: **SUP-18691**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

N



SUP-18691
Financial Institution

Financial Business Locations

- Finance Company
- Automobile Title Loan
- Auto Pawnbroker
- Financial Institution, Specified *(Check Cashing Service)*
- Financial Institution, Specified *(Check Cashing Service with Gross)*
- Check Cashing Service Limited

- Subject Property
- Residential Property
- Buffer

0 280 560 1,120 Feet

N

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: FEBRUARY 8, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: SUP-18691 - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC

** CONDITIONS **

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the Minimum Requirements of conditions one through six under LVMC Title 19.04.050 for Auto Title Loan use.

2. A Waiver is hereby approved to allow an Auto Title Loan to be located 660 feet from another financial institution where a 1,000-foot separation is the minimum required.

3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

JM

** STAFF REPORT **

PROJECT DESCRIPTION

This is a request for a Special Use Permit for a proposed Auto Title Loan establishment and a waiver of the 1,000-foot distance separation requirement from another financial institution, specified at 7350 West Cheyenne Avenue, Suite #111 and #112.

The proposed Auto Title Loan establishment is not considered compatible with the area as it requires a distance separation waiver from another financial institution. The proposed Auto Title Loan cannot be conducted in a manner that is harmonious and compatible with surrounding land uses. Denial of this Special Use Permit request is recommended.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
03/05/95	The Planning Commission approved a plot plan and building elevation review for a proposed retail commercial center on property at the northeast corner of Cheyenne Avenue and Pioneer Way. Staff recommended approval
04/25/95	The Board of Zoning Adjustment approved a Variance (V-0050-95) to allow 101 parking spaces where 138 parking spaces are the minimum required for a commercial property at this location. Staff recommended denial.
1/25/07	The Planning Commission held this application (SUP-18691) in abeyance until the 2/8/07 Planning Commission meeting because the applicant could not attend the meeting.
Related Building Permits/Business Licenses	
There are no permits or licenses related to this Special Use Permit request.	
Pre-Application Meeting	
11/14/06	A pre-application meeting was held. Submittal requirements were discussed, the applicant was informed that a detailed parking analysis would be required, and that photos would be required.
Neighborhood Meeting	
A neighborhood meeting is not required, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	1.30

JM

SUP-18691 - Staff Report Page Two
February 8, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
North	Outdoor Storage	SC (Service Commercial)	C-1 (Limited Commercial)
South	Park/Undeveloped	PF (Public Facilities)	C-V (Civic)
East	Retail	SC (Service Commercial)	C-1 (Limited Commercial)
West	Restaurant	SC (Service Commercial)	C-1 (Limited Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	**Yes**	**No**	**Compliance**
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails (Pedestrian Path)	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required Parking Ratio	Required Parking Regular	Required Parking Handi-capped	Provided Parking Regular	Provided Parking Handi-capped	Compliance
Furniture Store	2,000 SF	1:500	4				
General Retail	10,670 SF	1:175	61				
Sub-Total			65	3	73	3	Y
TOTAL			65		73		Y
Loading Spaces			2		Zero		N

JM

Waivers		
Request	**Requirement**	**Staff Recommendation**
To allow a distance separation of approximately 660 feet where a 1,000-foot distance separation is the minimum required.	No auto title loan use may be located closer than one thousand feet from any other auto title loan use, auto pawn use or specified financial institution use.	This waiver is not supported and therefore; denial of this request is recommended. If approved conditions have been added to permit this deviation from requirements, if approved.

ANALYSIS

- Zoning

  The C-1 (Limited Commercial) Zoning District is intended to provide most retail shopping and personal services, and may be appropriate for mixed-use developments. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. The C-1 (Limited Commercial) District is consistent with the SC (Service Commercial) Land Use category of the General Plan.

- Use

  The request is for a Special Use Permit for a proposed Auto Title Loan Establishment and a waiver of the 1000-foot separation requirement from an existing financial institution, specified.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

   The proposed Auto Title Loan establishment requires a waiver from Title 19.04 requirements and is therefore not consistent with the City of Las Vegas Zoning Code. The waiver is intended to prevent an over saturation of similar type uses that are considered intense in nature. The proposed Auto Title Loan is not harmonious and compatible with surrounding land uses due to the requested waiver and denial of this request is recommended.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

   The subject property is a small multi-tenant retail building and is suitable for this and other similar type development.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

   The proposed Auto Title Loan establishment is located in a multi-tenant retail development along Cheyenne Avenue. Cheyenne Avenue is a 100-foot Primary Arterial and will adequately meet the traffic requirements of the proposed use.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

   Approval of this Special Use Permit would create a saturation of similar uses in this area. This would be considered contrary to the overall objectives of the General Plan; therefore, denial of this application is recommended.

5. **The use meets all of the applicable conditions per Title 19.04.**

   AUTO TITLE LOAN [C-1]

   (*1) The use shall comply with all applicable requirements of LVMC Title 6.

   (*2) The building design and color scheme shall be subject to review by the Department to ensure that it will be harmonious and compatible with the surrounding area.

   (3) No temporary signs (as described in LVMC 19.14.090) such as balloons, inflated devices, searchlights, pennants, portable billboards, portable signs, streamers, trucks parked for signage purposes, or other similar devices are permitted, except that banners announcing a "grand opening" or that a business is "coming soon" may be approved administratively for a period not to exceed thirty days.

   (4) Window signs shall not:

   (a) Cover more than twenty percent of the area of all exterior windows;

   (b) Include flashing lights or neon lighting; or

   (c) Include any text other than text that indicates the hours of operation and whether the business is open or closed.

(5) The hours of operation shall not extend beyond the hours of eight a.m. to eleven p.m.

(6) The building or portion thereof that is dedicated to the use shall have a minimum size of one thousand five hundred square feet, and shall be designed to have sufficient interior space to provide for adequate customer waiting areas, customer queuing, and transaction space (such as "teller" windows or desks).

(7) No auto title loan use may be located closer than two hundred feet from any parcel used or zoned for residential use. In addition, no auto title loan use may be located closer than one thousand feet from any other auto title loan use, auto pawn use or specified financial institution use. For purposes of this Paragraph (7), distances shall be measured in a straight line from property line to property line, without regard to intervening obstacles. The term "property line" refers to property lines of fee interest parcels and not leasehold parcels.

The site does not meet with the distance separation requirements of #7 related to another financial institution, specified. A waiver has been requested to permit this deviation from standards, if approved.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 5

ASSEMBLY DISTRICT 37

SENATE DISTRICT 6

NOTICES MAILED 118

APPROVALS 0

PROTESTS 1

JM

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SUP-18691 APN: 138-10-403-031

Name of Property Owner: Freanel & Son Cheyenne LLC

Name of Applicant: Check City

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Frederick J. Stamm

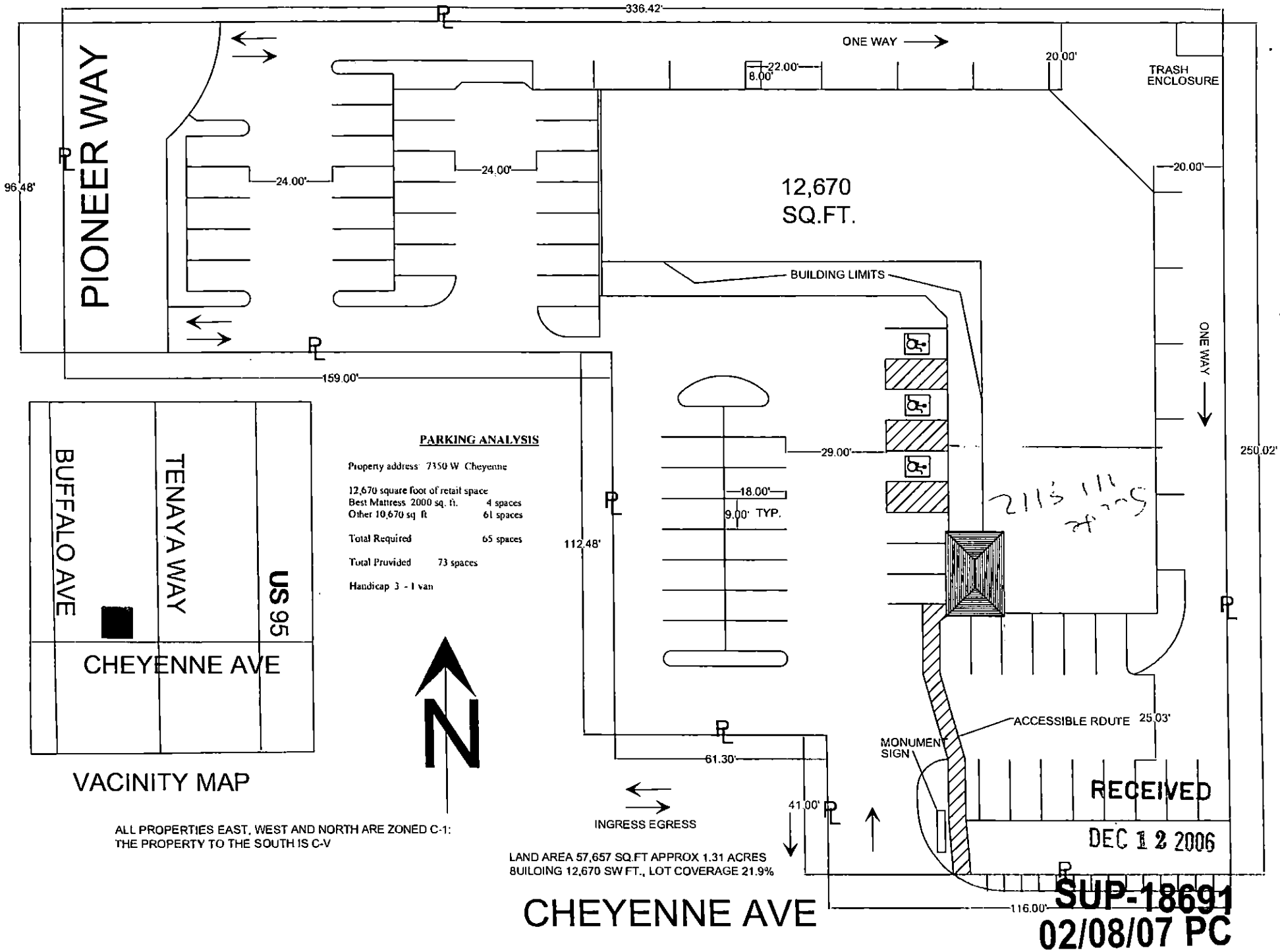
Print Name: FREDERICK J. STAMM

Subscribed and sworn before me

This 29th day of November, 2006

Sydney Dunn

Notary Public in and for said County and State



PARKING ANALYSIS

Property address 7350 W Cheyenne

12,670 square foot of retail space
Best Mattress 2000 sq. ft. 4 spaces
Other 10,670 sq ft 61 spaces

Total Required 65 spaces

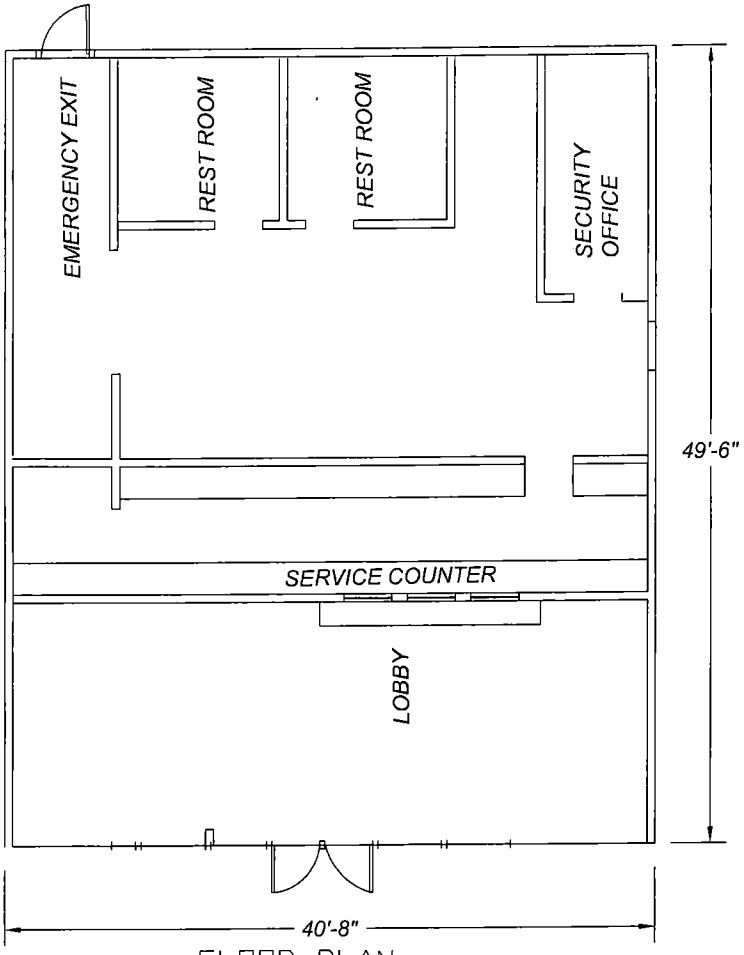
Total Pruvided 73 spaces

Handicap 3 - 1 van

ALL PROPERTIES EAST, WEST AND NORTH ARE ZONED C-1:
THE PROPERTY TO THE SOUTH IS C-V

LAND AREA 57,657 SQ.FT APPROX 1.31 ACRES
BUILDING 12,670 SW FT., LOT COVERAGE 21.9%

SUP-18691
02/08/07 PC

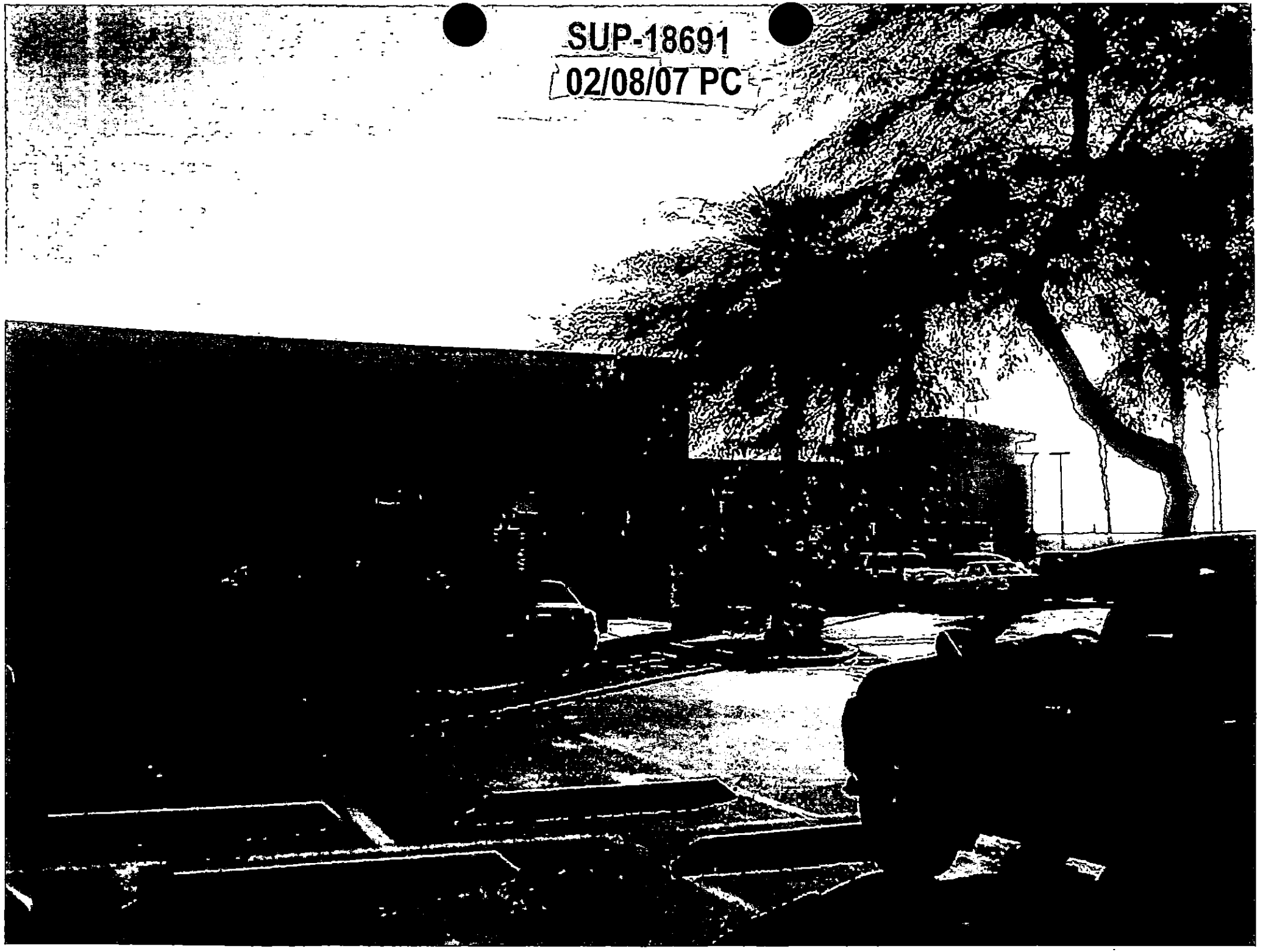


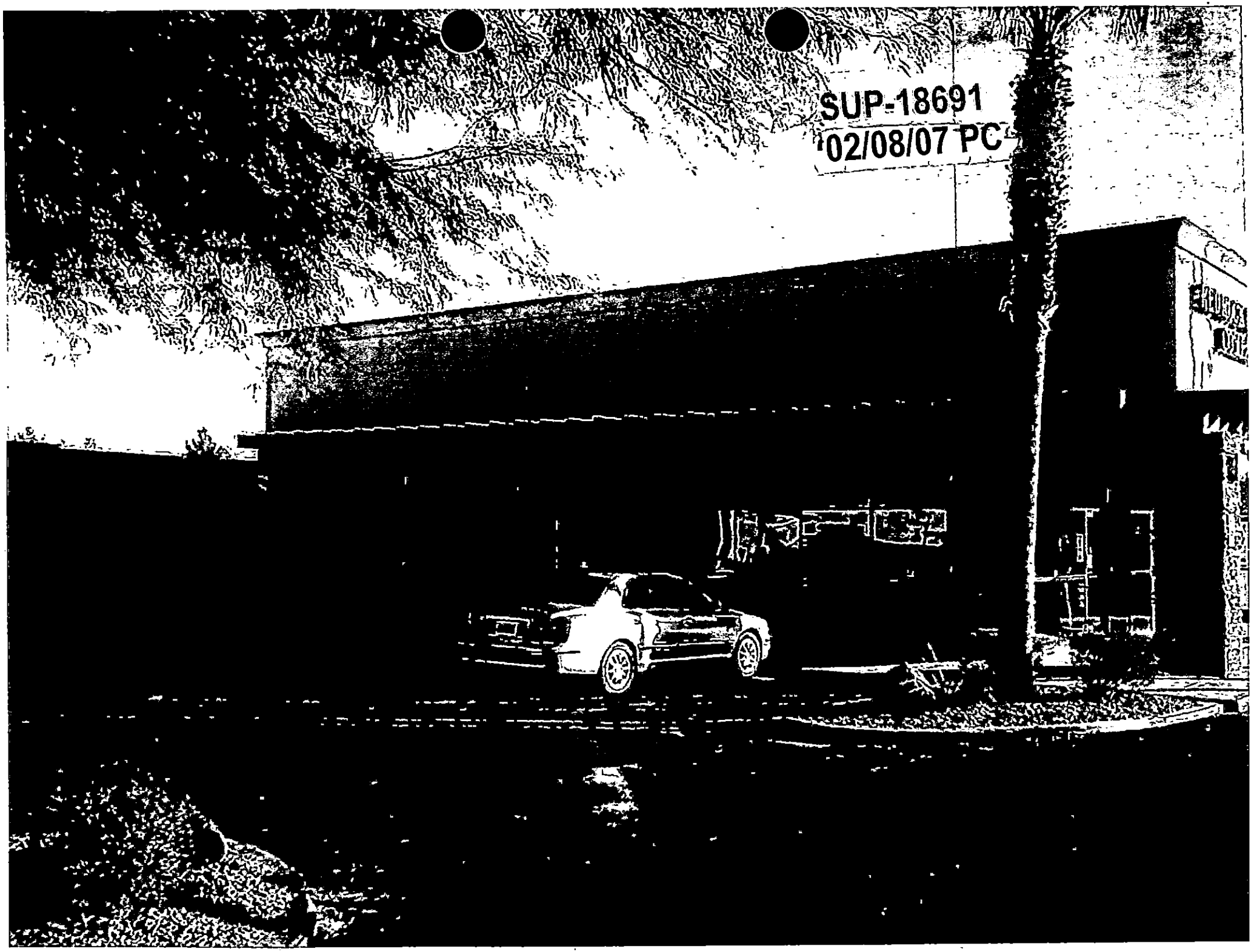
FLOOR PLAN
SCALE 1/8" - 1"-0"

7350 W CHEYENNE
AVE
SUITE 111 & 112

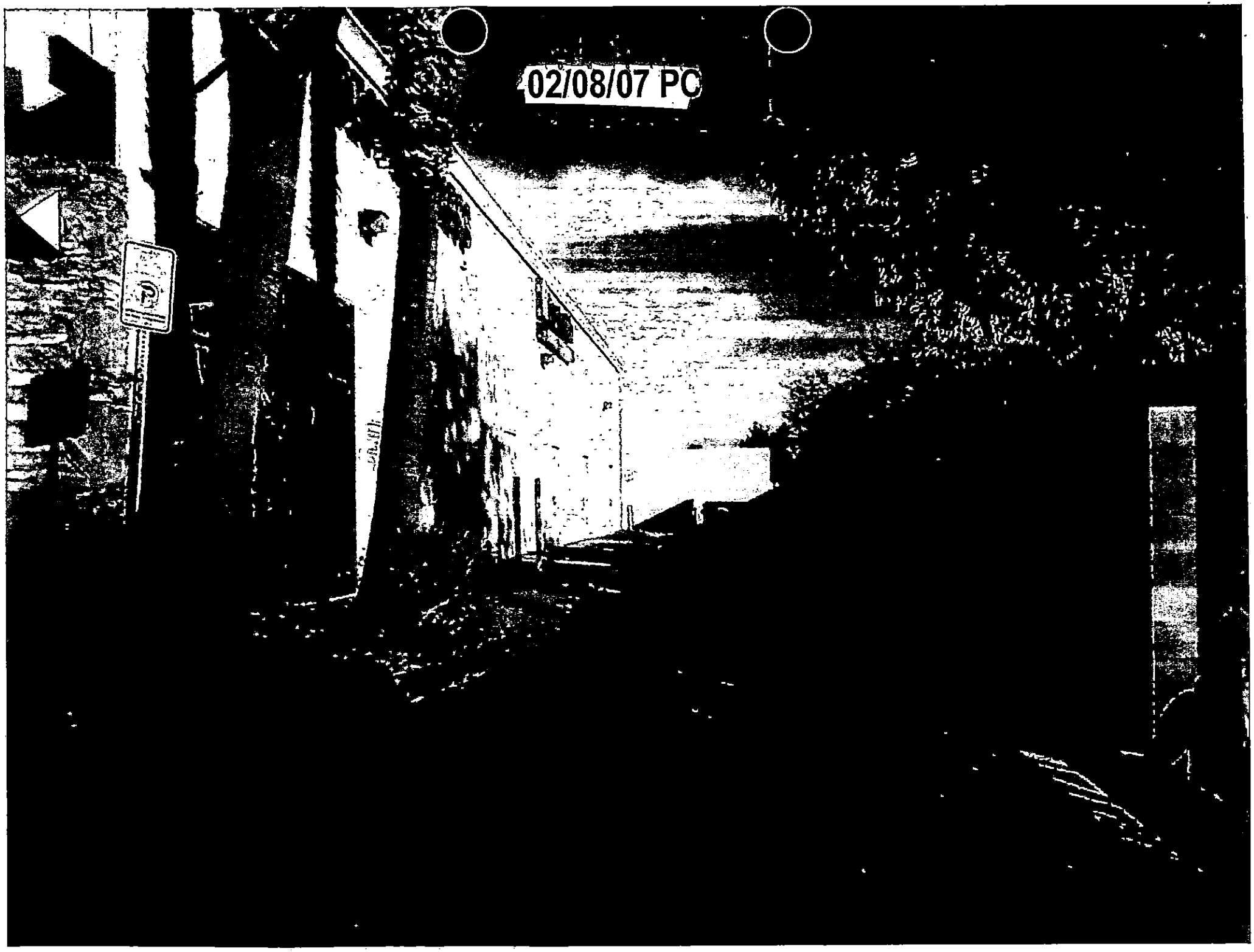
RECEIVED
DEC 12 2006

SUP-18691
02/08/07 PC



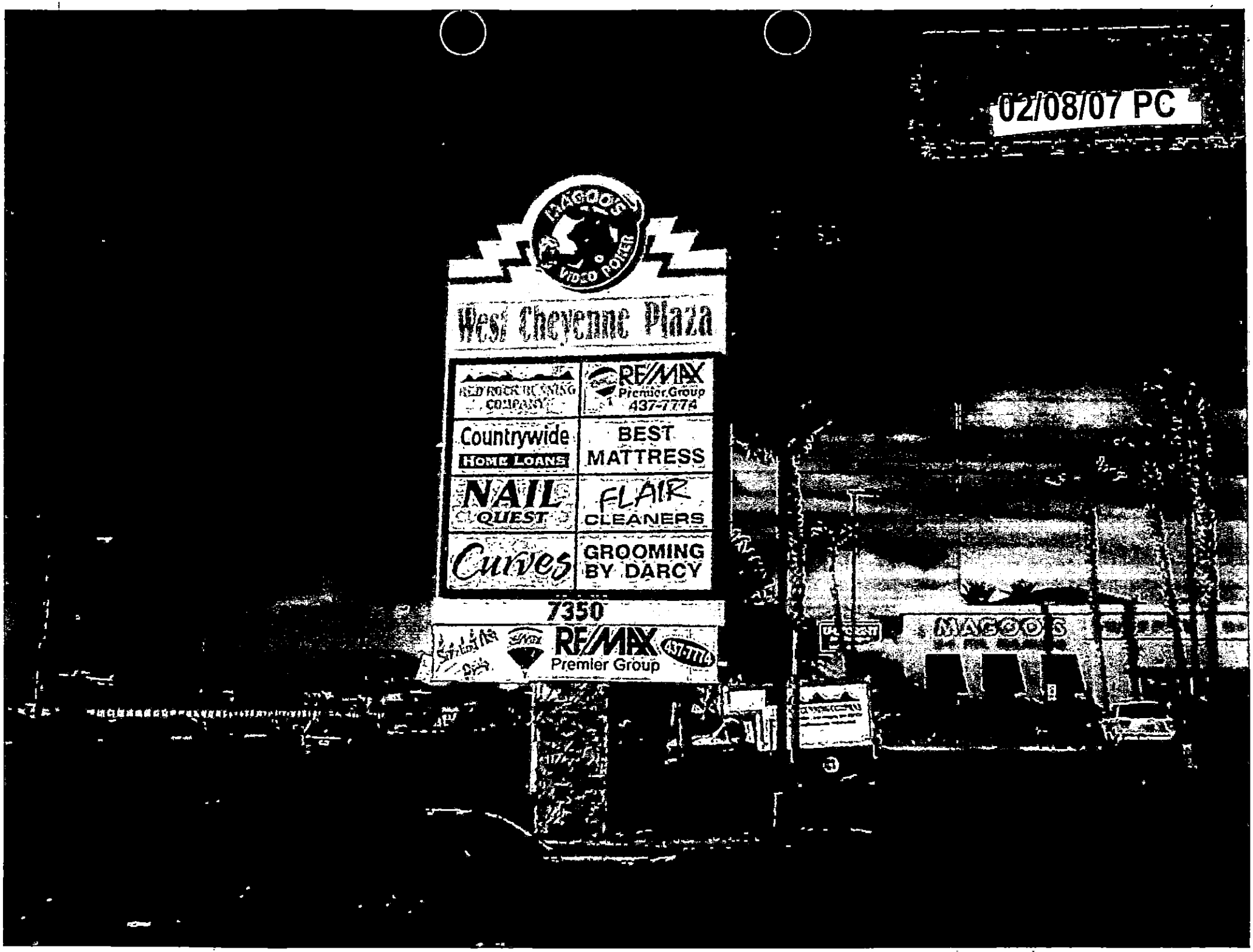

SUP-18691
02/08/07 PC


02/08/07 PC


02/08/07 PC


C-SUP 1869
02/08/07 PC
ME LOANS

02/08/07 PC


MAGOO'S
VIDEO POKER
West Cheyenne Plaza
RED ROCK LENDING COMPANY
RE/MAX Premier Group 437-7774
Countrywide HOME LOANS
BEST MATTRESS
NAIL QUEST
FLAIR CLEANERS
Curves
GROOMING BY DARCY
7350
RE/MAX Premier Group 437-7774
MAGOO'S

02/08/07 PC

SUP-18691 - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC
7350 WEST CHEYENNE AVENUE, SUITE #111 AND #112
FEBRUARY 8, 2007 PLANNING COMMISSION

12/22/06

SUP-18691 - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC
7350 WEST CHEYENNE AVENUE, SUITE #111 AND #112
FEBRUARY 8, 2007 PLANNING COMMISSION

12/22/06

SUP-18691 - APPLICANT: CHECK CITY - OWNER: FREANEL & SON CHEYENNE, LLC
7350 WEST CHEYENNE AVENUE, SUITE #111 AND #112
FEBRUARY 8, 2007 PLANNING COMMISSION

12/22/06

LAS Consulting, Inc.
856 E. Sahara #201
Las Vegas, NV 89104
(702) 499-6469-Cell
(702) 341-8489-fax

December 19, 2006

Nathan Goldberg
City of Las Vegas
Planning & Development
739 South Fourth Street
Las Vegas, NV. 89101

RE: APN 138-10-403-031
7350 W. Cheyenne #111 & 112 (revised)

Dear Sir or Madam:

Please accept this letter as our request for a use permit for an auto title loan/financial institution, located at 7350 W. Cheyenne #111 & 112. My client would like to convert an existing building (former mattress store) to a payday loan, check cashing, title loan business. The potential site needs a waiver to the separation requirement from another similar business because it is approximately 890 feet from another similar business. That business is oriented towards Tenaya while this [potential site is oriented to Cheyenne. This site meets the 200 ft requirement for a separation from residential. There is more than adequate parking within the shopping center, and this use will be a welcome addition to the area. Thank you for your consideration in this matter. Please contact me with any questions regarding this matter.

Yours truly,

Lucy Stewart
LAS Consulting, Inc.

SUP-18691
02/08/07 PC
REVISED

Star
NURSERY

125 Cassia Way
Henderson, NV 89014
(702) 568-7000
fax (702) 568-7001

January 25, 2007

Douglas J. Rankin, Current Planning Mgr.
Planning and Development Dept.
Current Planning Division
Development Services Center
731 So. Fourth Street
Las Vegas, NV 89101

RE: Special Use Permit Application **SUP-18691**
Planning Meeting: Jan. 25, 2007 6:00pm

Dear Mr. Rankin,

In reference to the above application for a Check City, I would like to state my objection to this type of establishment. I feel that there are enough issues in this vicinity.

Please accept this as my written objection regarding this permit.

Thank you for your time.

Sincerely,

Craig Keough, President
Star Nursery, Inc.

cc: Councilman Larry Brown
City of Las Vegas
City Hall, 10th Floor
400 Stewart Ave.
Las Vegas, NV 89101

ITEM # 18
CASE # SUP-18691
PC MTG 2-8-07