

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-18676 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17304 - PUBLIC HEARING - APPLICANT/OWNER: V.P. PROPERTIES, LLC, ET AL -
Request for a Site Development Plan Review FOR A LANDSCAPE MATERIAL/LUMBER YARD AND WAIVERS TO ALLOW A PERIMETER LANDSCAPE BUFFER TEN FEET IN WIDTH WHERE 15 FEET IS THE MINIMUM REQUIRED ADJACENT TO THE RIGHT-OF-WAY AND TO ALLOW A PERIMETER LANDSCAPE BUFFER ZERO FEET IN WIDTH WHERE EIGHT FEET IS THE MINIMUM REQUIRED ALONG A PORTION OF THE INTERIOR AND TO ALLOW NO SCREEN WALL WHERE AN EIGHT-FOOT SCREEN WALL IS THE MINIMUM REQUIRED FOR A PORTION OF THE EASTERN SIDE PROPERTY LINE on 2.67 acres at 2020 through 2022 West Bonanza Road and 715 Clarkway Drive (APNs 139-28-301-020 and 029), R-E (Residence Estates) and C-1 (Limited Commercial) Zones [PROPOSED: C-2 (General Commercial) Zone], Ward 5 (Weekly).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

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RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

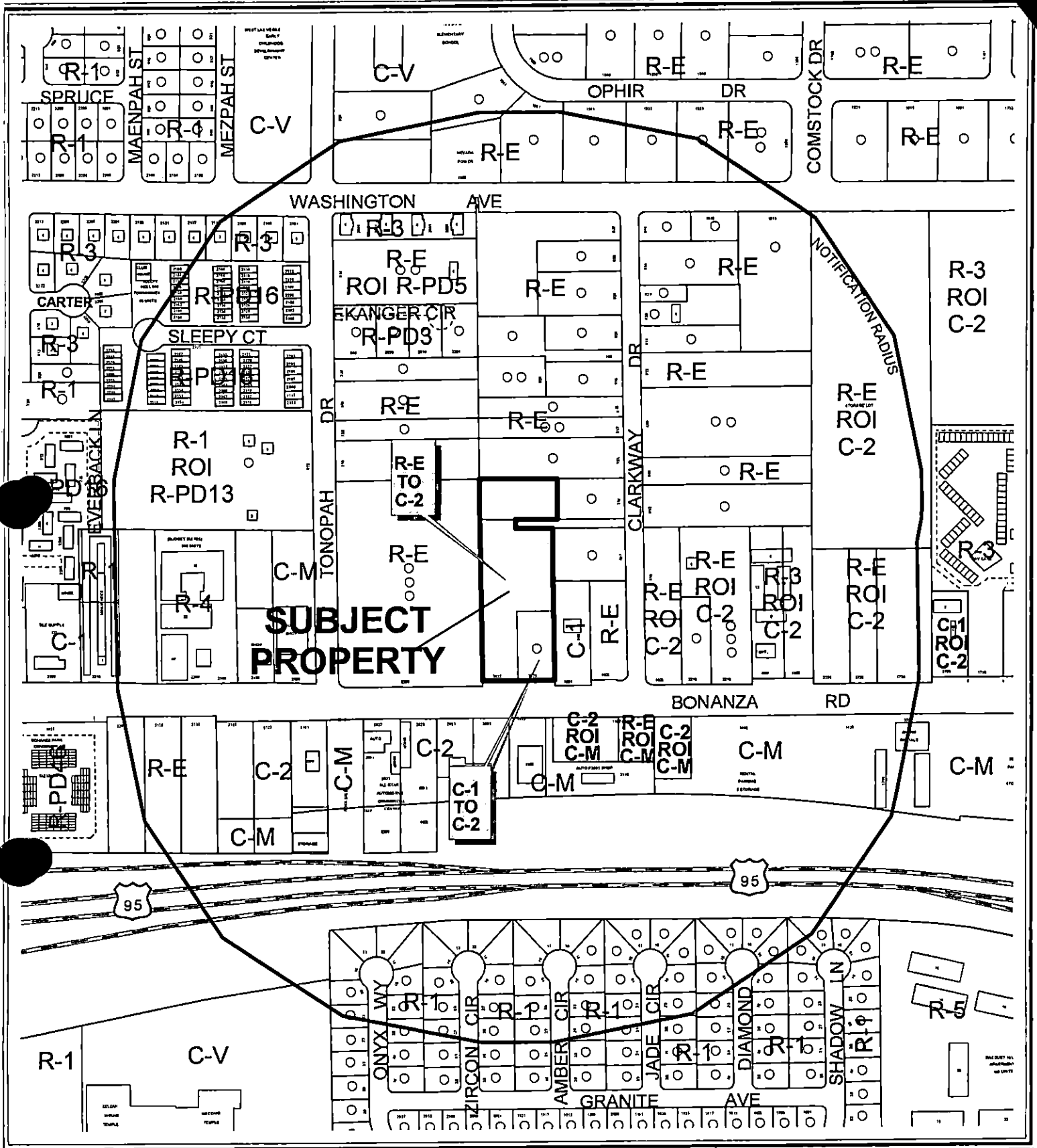
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 25 – SDR-18676

MINUTES:

Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] were requested to be held in abeyance to the 02/22/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: SDR-18676

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) AND C-1 (LIMITED COMMERCIAL)

PROPOSED ZONING OF SUBJECT PROPERTY:

C-2 (GENERAL COMMERCIAL)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-18676 - APPLICANT/OWNER: V.P. PROPERTIES, LLC
ET AL**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-17304) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the trash enclosure on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/12/06, except as amended by conditions herein.
4. The applicant shall remove all graffiti, razor wire, and trash from the site within 30 days of approval of this item.
5. The applicant shall remove the building in the far northeast corner of the site within 30 days of approval of this item.
6. All outside storage shall be screened from view of the adjacent properties and streets. The screening must be architecturally consistent with the principal dwelling in terms of materials, colors, and details.
7. The wall in the front yard shall be setback a minimum of 20 feet from the front property line.
8. No person shall be allowed to live on the subject property.
9. The construction trailer and temporary storage containers located on the property shall be removed from the site within 30 days of approval of this item.
10. A Waiver from perimeter landscape buffer requirements is hereby approved, to allow a perimeter landscape buffer width of 10 feet adjacent to the right-of-way where 15 feet is the minimum required.

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January 25, 2007 - Planning Commission Meeting

11. A Waiver from perimeter landscape buffer requirements is hereby approved, to allow no perimeter landscape buffer along the boundary with parcel 139-28-301-028 in the side yard where eight feet is the minimum required.
12. A Waiver from the required number of trees is hereby approved, to allow a total of 62 trees where 79 trees are the minimum required.
13. A Waiver from perimeter screen wall requirements is hereby approved, to allow a screen wall to be less than the required six feet around the perimeter of the site.
14. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
15. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
16. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
17. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
18. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
19. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
20. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

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Public Works

21. All new driveways or modifications to existing driveways shall be designed, located and constructed in accordance with Standard Drawing #222a unless a deviation from standards is approved by the City Engineer and shall also receive approval from the Nevada Department of Transportation.
22. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
23. Landscape and maintain all unimproved right-of-way, if any, on Bonanza Road adjacent to this site.
24. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
25. As appropriate, submit an Encroachment Agreement to the City of Las Vegas or obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Bonanza Road public right-of-way adjacent to this site prior to the issuance of any permits.
26. Site development to comply with all applicable conditions of approval for ZON-17304 and all other subsequent site-related actions.

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**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a Building Landscape Material/Lumber Yard and waivers to allow a perimeter landscape buffer ten feet in width where 15 feet is the minimum required adjacent to the right-of-way and to allow a perimeter landscape buffer zero feet in width where eight feet is the minimum required along a portion of the interior and to allow no screen wall where an eight-foot screen wall is the minimum required for a portion of the eastern side property line on 2.67 acres at 2020 through 2022 West Bonanza Road and 715 Clarkway Drive.

The use is currently operating on the site and the applicant is proposing to clean-up the site, however; due to the large quantity of waivers from Code requirements and continued work that is in violation of Code that is being conducted without permits, denial of this request is recommended. The sections of the Code that the applicant is requesting relief from are intended to assist in buffering the site from adjacent uses that are less intense.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/03/79	The City Council approved a rezoning request (Z-0053-79) from R-E (Residence Estates) to P-R (Professional Offices and Parking) and R-3 (Limited Multiple Residence) on the site. The Planning Commission had recommended approval. This action has expired.
12/05/80	The Board of Zoning Adjustment approved a Use Permit (U-0075-80) to allow a juvenile consulting center on the site.
10/05/88	The City Council approved a request for a variance (V-0096-88) to permit a homeless shelter on the site, where not permitted.
06/19/02	The City Council tabled a request for a Special Use Permit (U-0037-02) to allow a building and landscape material yard at this location. The Planning Commission and staff recommended denial of this request.
10/16/02	The City Council approved a request for a site development plan [Z-0067-02(1)] allowing the conversion of a 3,230 square foot existing single family residence into an office and a Rezoning (Z-0067-02) to C-1 (Limited Commercial). The Planning Commission and staff recommended approval.
01/25/07	A companion Rezoning (ZON-17304) will be heard concurrently with this item.

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Related Building Permits/Business Licenses	
05/29/97	A permit to construct a chain link fence around a well was issued. This permit expired on 11/29/97.
05/30/97	A permit to construct two 200 square-foot sheds was issued. This permit expired on 06/13/98.
11/12/97	A permit to construct a 640 square-foot shed was issued. This permit expired on 06/13/98.
06/25/01	A permit to construct a shed 20X20 was issued. This project was completed on 09/18/01.
06/10/02	A permit to re-roof a hen house/barn was issued. This permit expired on 12/07/02.
06/07/06	A Business License, category C 11 (Contractor), was issued for a concrete contracting company.
09/19/06	An application was made for a permit for a new garage. No permit has been issued.
05/29/97	A permit to construct a chain link fence around a well was issued. This permit expired on 11/29/97.

Pre-Application Meeting	
09/21/06	A pre-application meeting was held. It was noted that the requested change would bring the site up to current requirements as the current use is non-conforming. A reversionary map would be required and it was stated that Bonanza is a Nevada Department of Transportation (NDOT) right-of-way.
Neighborhood Meeting	
A neighborhood meeting is not required, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	2.67

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Office	MXU (Mixed-use)	R-E (Residence Estates)
	Outdoor Storage		C-1 (Limited Commercial)
North	Single-family Residential	MXU (Mixed-use)	R-E (Residence Estates)

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South	Office Commercial Storage	LI/R (Light Industry/Research)	C-2 (General Commercial) under Resolution of Intent to C-M (Commercial/industrial)
East	Commercial	MXU (Mixed-use)	R-E (Residence Estates) C-1 (Limited Commercial)
West	Single-family Residential	MXU (Mixed-use)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan			
Redevelopment Plan Area	X		Y
West Las Vegas Plan	X		Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (140-foot)	X		Y
Trails	X		Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Pursuant to Title 19.08:

<i>Standard Proposed C-2</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Width	100 Feet	192 Feet	Y
Min. Setbacks			
• Front	20 Feet	51 Feet	Y
• Side	10 Feet	14 Feet	Y
• Corner	15 Feet	N/A	N/A
• Rear	20 Feet	71 Feet	Y
Max. Lot Coverage	50 %	6 %	Y
Trash Enclosure	50 Feet from a protected property	76 Feet	Y
Mech. Equipment	Screened	Open Storage	N

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Per Title 19.12:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	12 Trees	Zero trees	N
	1 Tree/20 Linear Feet	58 Trees	48 trees	N
Buffer:				
Min. Trees	1 Tree/30 Linear Feet	9 Trees	14 trees	Y
TOTAL		79 Trees	62 Trees	N
	8 Feet interior		Zero Feet	N
Min. Zone Width	15 Feet right-of-way		10 Feet	N
Wall Height	6 to 8 Feet		4-8 Feet	N

Pursuant to Title 19.10, the following parking standards apply:

Pursuant to Title 19.10, the following parking standards apply:							
Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	2,476	1:300	9	1	7	1	N
Building & Landscape Material/ Lumber Yard	5,558	1:500	12	0	60	0	Y
Sub-Total			21	1	67	1	Y
TOTAL			21		67		Y
Loading Spaces			1		1		Y

Waivers		
Request	Requirement	Staff Recommendation
To allow a screen wall to be less than the required six feet around the perimeter of the site. The existing wall varies in height from four feet to seven feet, and in the front yard and a portion of the eastern side yard consists of chain link fence.	Commercial development requires a six to eight-foot screen wall from adjacent uses. Additionally, Chain link is a prohibited material.	The applicant is providing some of the screening, however; portions of this screening are as low as four feet and do not provide adequate screening from adjacent properties. Additionally, chain link is not considered an acceptable material and also does not provide proper screening. Due to the nature of the proposed use on the site this waiver request is not supported.

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To allow a perimeter landscape buffer width of 10 feet adjacent to the right-of-way where 15 feet is the minimum required.	A minimum perimeter landscape buffer with of 15 feet is required adjacent to the right-of-way for commercial development.	This landscaping is in place and includes the required bus stop. Expansion of this landscape buffer would encroach into the parking lot area for the office building and would make the drive aisle width too small to navigate. This waiver request is supported.
To allow no perimeter landscape buffer along a portion of the side yard where eight feet is the minimum required.	A minimum perimeter landscape buffer with of eight feet is required along interior lot lines for commercial development.	The lack of landscaping is only along the portion where a narrow parcel juts into the subject property. Providing landscaping along this parcel would not provide additional screening from adjacent uses. This parcel is a unique condition and this waiver request is supported.
The applicant is requesting to provide a total of 62 trees where 79 trees are the minimum required.	One tree for every six parking spaces in the parking lot area. In the perimeter one tree for every 20 lineal feet adjacent to residential use and one tree for every 30 lineal feet adjacent to commercial use.	The addition of 17 trees to meet the minimum number of trees required would enhance the property. The applicant is choosing not to provide these trees. There are no unique or extraordinary circumstances preventing the applicant from providing the required number of trees. This waiver is not supported.

ANALYSIS

The proposed changes to the site include adding additional parking, landscaping, constructing a trash enclosure, remove buildings that are currently in violation of Code, conduct a general clean-up on the site, and rezone the property to bring the use into compliance with requirements.

A total of 21 parking spaces are required based on Title 19.04 and Title 19.10 requirements. The applicant is depicting a total of 67 spaces on the submitted site plan. These spaces must meet Code requirements in that they must be paved, and that with 67 provided spaces a total of three handicapped accessible spaces must be provided.

The applicant is proposing to add additional landscaping to the property in the perimeter buffer area. The exception is along the boundary with the parcel that juts into the subject property. This is a unique circumstance and the requested waiver to provide relief from this requirement is supported.

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The site currently does not have a trash enclosure location. Trash is located throughout the site with dumpsters and stacks of left over materials out in the open. The applicant has agreed to construct a trash enclosure at a location that meets requirements and based on the sites layout is furthest away from all boundaries and is screened from the public right-of-way.

Part of the general clean-up on the site is to remove buildings at the rear of the property that are in violation of Code. One of these buildings has already been removed; however the concrete slab and auto lift that were inside remain and are now in plain view. A second building in the far northeast corner of the site is slated to be removed according to the site plan, however; a new roof is currently being put on the structure indicating that the building would be remaining, however; a building permit has not been issued for this work. A third building will be significantly reduced in size and it appears that it may currently be occupied as a residence. There are several large storage containers located throughout the site that are not permitted. Finally a construction trailer has been placed on the subject property without permits. Conditions of approval shall be added to ensure the proper changes take place. Additionally, conditions of approval shall be added to deal with the removal of razor wire, graffiti and trash from the subject property.

In regards to the screen wall around the perimeter of the property, the applicant has requested a waiver from the requirement. In the front yard a six-foot high chain link fence with a gate is provided, the fence contains slats to screen the site from the public right-of-way. This wall is located in the front yard setback and is only permitted to be five feet in height without a variance. The wall shall be moved back twenty feet from the property line to conform to standards. Along the western boundary of the site there is an existing block wall ranging from four to six feet in height. Along the rear yard there is an existing wall that is seven feet in height. The screening along the eastern boundary varies greatly. Along approximately the rear 110 feet of the eastern boundary there is a six-foot high block wall with an additional two feet of corrugated metal on top. This then stops where there is a narrow parcel jutting into the subject property. The same type of wall then continues for another 140 feet where it then transitions into a chain link fence.

The applicant has constructed a new chain link fence with razor wire, without obtaining the proper permits. This fence cuts off a portion of another person's property denying another property owner access to their own property.

The proposed changes would provide a certain level of improvement to the subject property. The applicant has requested several waivers to permit deviations from requirements. The majority of these waivers are from elements that help to provide screening and limit the effects of the use on neighboring properties. Based on the effect these waivers would have, if approved, and due to the quantity of waiver requested, denial of this project is recommended.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

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- 1. The proposed development is compatible with adjacent development and development in the area;**

The use on the site would not change, as the site is currently operating as a building landscape material/lumber yard, which is not currently permitted on this site and is not properly licensed. This application is meant to bring the site into conformance with Code requirements. The applicant has requested several waivers from these requirements and due to the quantity of these waivers the level of non-compliance remains too high to be considered appropriate. Therefore; this project is not considered compatible with the surrounding area and denial of this request is recommended.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is not consistent with Title 19. The use is currently operating on this site in a zoning district that does not conform to the use. Additionally, the applicant has requested waivers of several Code sections to provide relief from requirements for landscaping and screening.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Site access is provided from Bonanza Road a 100-foot Primary Arterial. This street is large enough to provide adequate access to and from the subject property.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building materials are not appropriate for the area and the City of Las Vegas. Per Title 19.04 the screen wall shall match the materials of the main building. The screen wall consists of cinder block in places, however; the wall also includes corrugated metal, chain link fence, and razor wire. These materials are not appropriate. The proposed landscape materials are appropriate for the area and the City of Las Vegas.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The buildings on the site are all existing. Two of these dwellings that do not meet Code requirements are being removed; a third is partially being removed. The main dwelling is used as the office for the business on the site and consists of stucco, Spanish tile and is appropriate.

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6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The site will be subject to inspections and licensing and will not endanger the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 17

ASSEMBLY DISTRICT 6

SENATE DISTRICT 4

NOTICES MAILED 428 [Mailed with ZON-17304]

APPROVALS 0

PROTESTS 1



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18676** APN: 139-28-301-029

Name of Property Owner: David Pawl

Name of Applicant: David Pawl

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

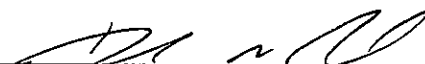
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

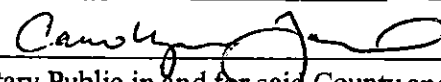
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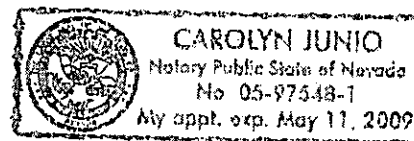
Signature of Property Owner: X 

Print Name: David Pawl

Subscribed and sworn before me

This 6th day of December, 2006


Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18676** APN: 139-28-301-020
Name of Property Owner: VP Properties LLC
Name of Applicant: David Pawl

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

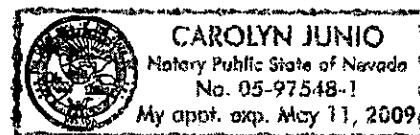
Signature of Property Owner: X *David Pawl*

Print Name: David Pawl

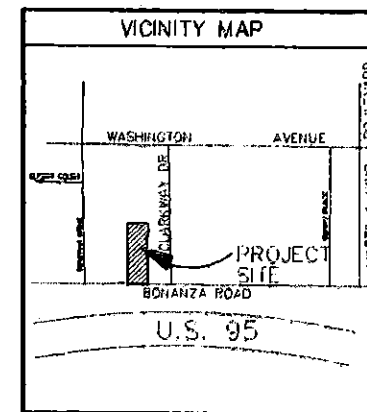
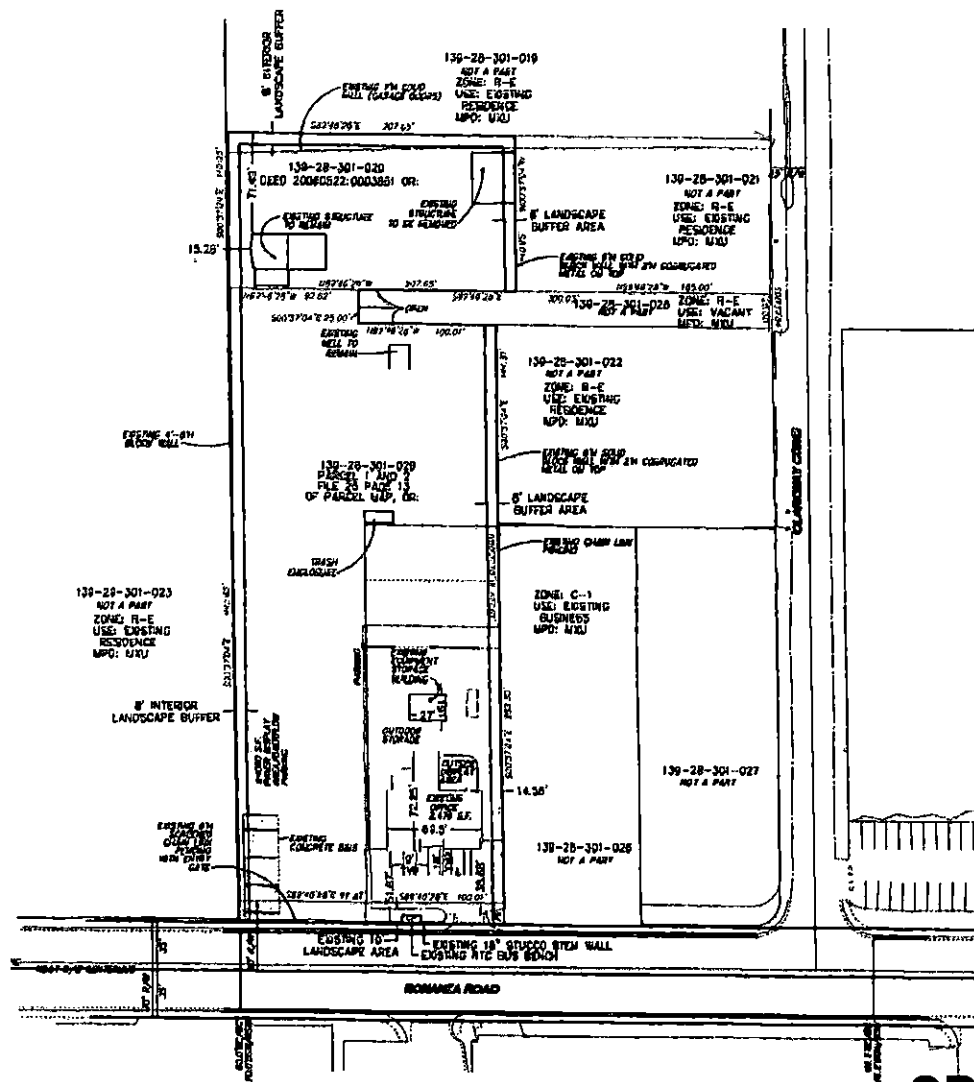
Subscribed and sworn before me

This 6th day of December, 2006

Carolyn Junio
Notary Public in and for said County and State



APN: 139-28-301-020, 029

[illegible]

NOTES

FOR: SOUTHWEST DESIGN

**MICHAEL POWEST
7040 DIVER AVENUE
NORTH LAS VEGAS, NV 89084
702-505-6451**

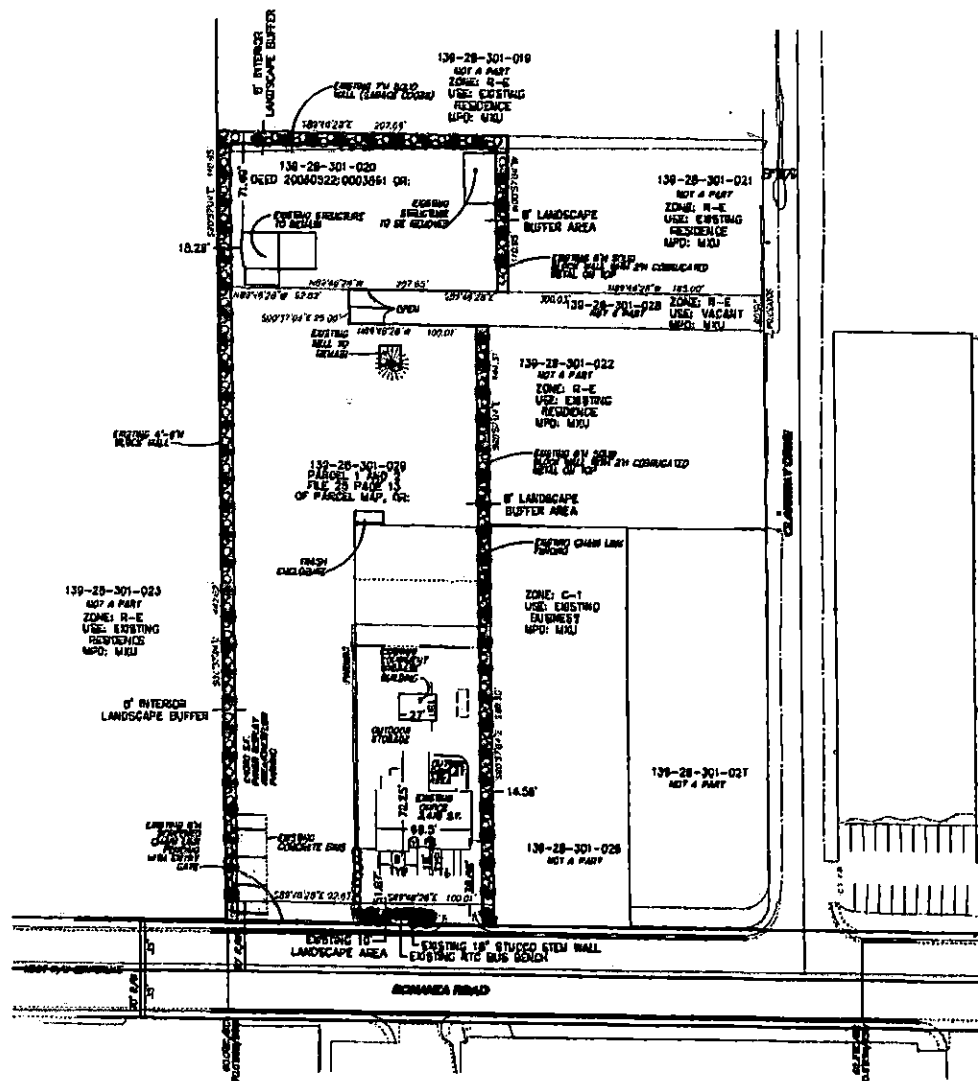
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SDR-18676

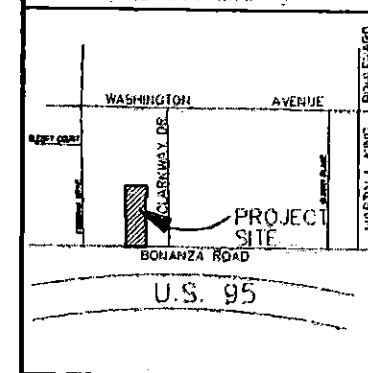
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APN: 139-28-301-020, 029



VICINITY MAP



SITE-DATA

STRECKING APPLICATION:

1/2" - 3/4" - 1" - 1 1/2" - 2" - 3" - 4" - 6" - 8" - 12" - 18" - 24" - 36" - 48" - 72" - 96" - 144" - 192" - 288" - 384" - 576" - 768" - 1152" - 1536" - 2304" - 3072" - 4608" - 6144" - 9216" - 12288" - 18432" - 24576" - 36864" - 49152" - 73728" - 98304" - 147456" - 196608" - 294912" - 393216" - 589824" - 786432" - 1179648" - 1572864" - 2359296" - 3145728" - 4718592" - 6291456" - 9437184" - 12582912" - 18874368" - 25165824" - 37748672" - 50331520" - 75497280" - 100663040" - 150994560" - 201326080" - 301989120" - 402652160" - 603978240" - 805304320" - 1207927040" - 1610549760" - 2415824640" - 3221100800" - 4831651200" - 6442201600" - 9663302400" - 12884403200" - 19326604800" - 25768806400" - 38653209600" - 51537612800" - 77306419200" - 103075225600" - 154612838400" - 206150451200" - 309225676800" - 412300800000" - 618451200000" - 824601600000" - 1236902400000" - 1649203200000" - 2473804800000" - 3298406400000" - 4947609600000" - 6596812800000" - 9895219200000" - 13193625600000" - 19790438400000" - 26387251200000" - 39580800000000" - 52774348800000" - 79161523200000" - 105548697600000" - 158323072000000" - 211097446400000" - 316646112000000" - 422194784000000" - 633292224000000" - 844389664000000" - 1266583680000000" - 1688777728000000" - 2533162496000000" - 3377547264000000" - 5066320000000000" - 6755092800000000" - 10132633600000000" - 13510174400000000" - 20265267200000000" - 27020360000000000" - 40530540800000000" - 54040721600000000" - 81061072000000000" - 108081424000000000" - 162122176000000000" - 216162928000000000" - 324244352000000000" - 432325776000000000" - 648488640000000000" - 864651520000000000" - 1296977280000000000" - 1729303040000000000" - 2593954560000000000" - 3458606080000000000" - 5187916800000000000" - 6917227520000000000" - 10375840000000000000" - 13823968000000000000" - 20735936000000000000" - 27647904000000000000" - 41471872000000000000" - 55295840000000000000" - 82943712000000000000" - 110591584000000000000" - 165887360000000000000" - 220183136000000000000" - 330274752000000000000" - 440366368000000000000" - 660549504000000000000" - 880732640000000000000" - 1321098944000000000000" - 1761465280000000000000" - 2642197760000000000000" - 3522930240000000000000" - 5284396800000000000000" - 7045863400000000000000" - 10568795200000000000000" - 14091727000000000000000" - 21137590400000000000000" - 28183453800000000000000" - 42275180800000000000000" - 56366907800000000000000" - 84550361600000000000000" - 112733815400000000000000" - 169100723200000000000000" - 225467631000000000000000" - 338201487000000000000000" - 450935343000000000000000" - 676392964000000000000000" - 891850585000000000000000" - 1337775878000000000000000" - 1783701171000000000000000" - 2675551756000000000000000" - 3567402341000000000000000" - 5351103510000000000000000" - 7134804680000000000000000" - 10702207020000000000000000" - 14269609360000000000000000" - 21404413740000000000000000" - 28539218120000000000000000" - 42808827380000000000000000" - 57078436640000000000000000" - 85617654960000000000000000" - 114156873280000000000000000" - 171235310080000000000000000" - 228313746880000000000000000" - 342470579200000000000000000" - 456627411600000000000000000" - 684941027200000000000000000" - 913254642800000000000000000" - 1369881964800000000000000000" - 1826509286800000000000000000" - 2739763929600000000000000000" - 3653018572400000000000000000" - 5479527859200000000000000000" - 7306037146000000000000000000" - 10959054720000000000000000000" - 14612072304000000000000000000" - 21918107648000000000000000000" - 29224142992000000000000000000" - 43836218336000000000000000000" - 58448293680000000000000000000" - 87672430400000000000000000000" - 116896567200000000000000000000" - 175344850560000000000000000000" - 233793133920000000000000000000" - 350689792000000000000000000000" - 467586450560000000000000000000" - 691483109120000000000000000000" - 915379767680000000000000000000" - 1373069625600000000000000000000" - 1830759483200000000000000000000" - 2746139136000000000000000000000" - 3661518788800000000000000000000" - 5492278080000000000000000000000" - 7323037376000000000000000000000" - 10984554752000000000000000000000" - 14646072128000000000000000000000" - 21968609504000000000000000000000" - 29291146880000000000000000000000" - 43936723200000000

TREE/PLANT SCHEDULE

SYM.	QTY.	SIZE	(SPECIES)	NAME
●	83	25" BOX	VAREB	ALBERT J.S.
○	2	VAREB	N/A	DAY PALS
○	123	8 GALLON	VAREB	CHAMBER BONNET
●	19	5 GALLON	VAREB	CHAMBER BONNET

GENERAL NOTES
1 The suggested landscaping and plants are suggestions only. A
detailed landscape plan will be prepared by a licensed
landscape architect as a part of the final engineering plan.
2 The number and sizes of plants may vary from the proposed
quantities.

CONCEPTUAL LANDSCAPE PLAN

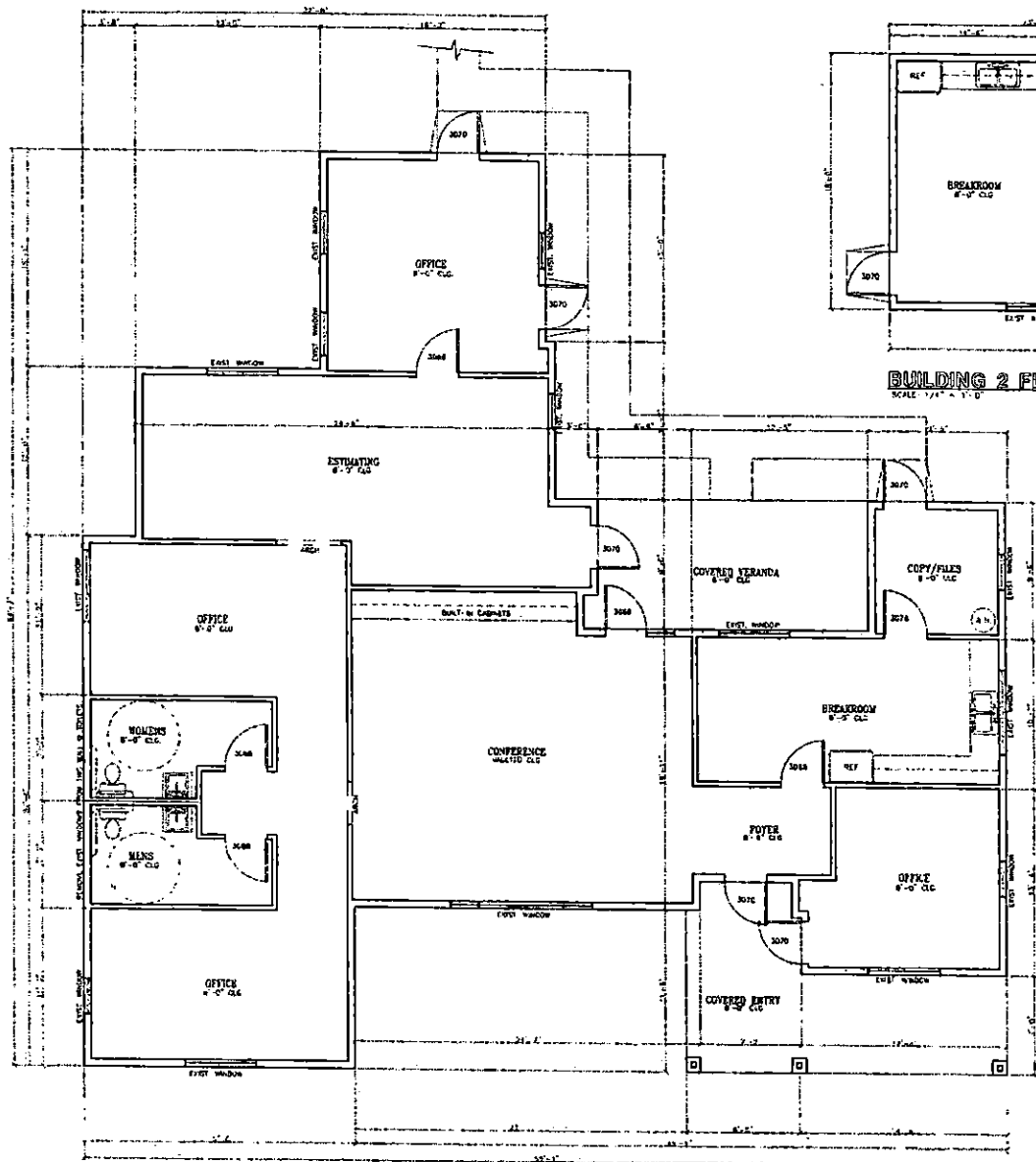
FOR: SOUTHWEST DESIGN

**MICHAEL POTRENT
7040 DEER AVENUE
NORTH LAS VEGAS, NV 89124
702-575-7121**

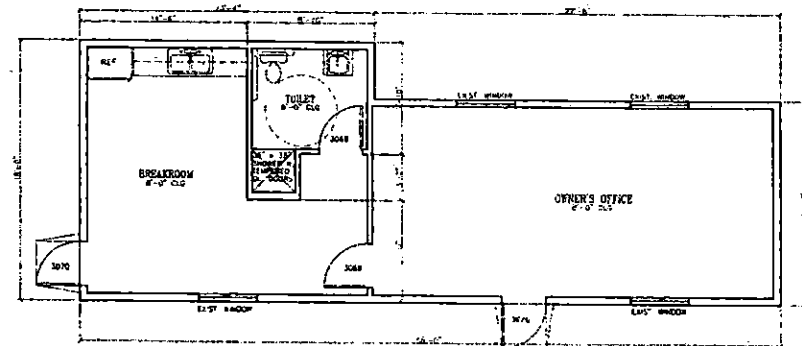
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DEC 12 2006



BUILDING 1 FLOOR PLAN 2479 J
SCALE: 1/4" = 1'-0"



BUILDING 2 FLOOR PLAN 2480 J
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ALL EXISTING WALLS ARE EXIST. UNLESS NOTED OTHERWISE.
2. ALL EXISTING FLOORS TO REMAIN UNLESS NOTED OTHERWISE.
3. EXISTING CEILING SHALL REMAIN UNLESS NOTED OTHERWISE.
4. ROOF IS EXIST. CONCRETE. THE OVER HANGING PART OVER THE
5. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
6. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
7. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
8. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
9. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
10. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
11. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.
12. PROVIDE 2" DIA. DRAINAGE THROUGHOUT.

SDR-18676
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RECEIVED
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STAFF

A-2

D.T.S.T.N.C.T.I.V.E
GENERAL CONTRACTING
PH. (702) 395 2307 LIC #45904

OFFICE RENOVATION PROJECT

THE SOUTHWEST DESIGN GROUP
LAS VEGAS, NEVADA

NO.	DATE	REVISION
1	01/25/07	ISSUED FOR PERMIT
2	01/25/07	ISSUED FOR PERMIT
3	01/25/07	ISSUED FOR PERMIT
4	01/25/07	ISSUED FOR PERMIT
5	01/25/07	ISSUED FOR PERMIT
6	01/25/07	ISSUED FOR PERMIT
7	01/25/07	ISSUED FOR PERMIT
8	01/25/07	ISSUED FOR PERMIT
9	01/25/07	ISSUED FOR PERMIT
10	01/25/07	ISSUED FOR PERMIT
11	01/25/07	ISSUED FOR PERMIT
12	01/25/07	ISSUED FOR PERMIT

A-2



01/25/07 PC



DEC 12 2006



DEC 12 2006

SDR 18676				
V.P. Properties, LLC				
2020 & 2022 W Bonanza				
Proposed 8.034 thousand square foot office/landscape yard development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	2.476	11.01	27
AM Peak Hour			1.55	4
PM Peak Hour			1.49	4
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	WAREHOUSE [1000 SF]	5.558	4.96	28
AM Peak Hour			0.45	3
PM Peak Hour			0.47	3
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	8.034		55
AM Peak Hour				6
PM Peak Hour				6
(heaviest 60 minutes)				
Existing traffic on all nearby streets: counts not available for Clarkway				
Bonanza Road				
Average Daily Traffic (ADT)	30,981			
PM Peak Hour	2478			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Bonanza Road	32100			
This project will add approximately 55 trips per day on Bonanza and Clarkway. This will increase expected volumes less than 1 percent on				

Bonanza. Bonanza is at about 97 percent of capacity. Counts are not available for Clarkway, but it is believed to be under capacity.			
Based on Peak Hour use, this development will add roughly 6 additional cars into the area; which works out to about one every ten minutes.			
Note that this report assumes all traffic from this development uses all named streets.			



ZON-17304 & SDR-18676 - APPLICANT: DAVID PAWL - OWNER: VP PROPERTIES, LLC
2020 THROUGH 2022 WEST BONANZA ROAD AND 719 CLARKWAY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17304 & SDR-18676 - APPLICANT: DAVID PAWL - OWNER: VP PROPERTIES, LLC
2020 THROUGH 2022 WEST BONANZA ROAD AND 719 CLARKWAY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17304 & SDR-18676 - APPLICANT: DAVID PAWL - OWNER: VP PROPERTIES, LLC
2020 THROUGH 2022 WEST BONANZA ROAD AND 719 CLARKWAY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17304 & SDR-18676 - APPLICANT: DAVID PAWL - OWNER: VP PROPERTIES, LLC
2020 THROUGH 2022 WEST BONANZA ROAD AND 719 CLARKWAY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06

Brent Wilson
2112 Conchita Street
Las Vegas, Nevada 89108
Phone: (702) 595-5228
E-Mail: wilson.76@cox.net

December 12, 2006

Mr. Nathan Goldberg
Planning and Development Department - Current Planning Division
City of Las Vegas Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

**RE: JUSTIFICATION FOR SITE DEVELOPMENT PLAN REVIEW ACCOMPANIED BY WAIVER
REQUESTS (RELATED TO ZON-17304)
APN's: 139-28-301-020 & 029
Southwest Design**

Dear Nathan,

The owner of the parcels listed above and proprietor of the licensed concrete contracting business, Mr. David Pawl, respectfully requests the City of Las Vegas to review the proposed site plan on approximately 2.67 gross (2.43 net) acres generally located at the northwest corner of Bonanza Road and Clarkway Drive within ward 5 of the City of Las Vegas. The Site Development Plan Review and waivers are being submitted as companion applications to ZON-17304. ZON-17304 is a proposed zone change to allow a building and landscape material/lumber yard in conjunction with the existing decorative concrete design office. No buildings are being added to the existing development at this time.

SITE DEVELOPMENT PLAN REVIEW

The applicant has submitted a proposed site plan for review. The plan consists of 2,476 square feet of office space and 5,558 square feet of building/landscape material yard customer display area. There are three existing assessorly structures that are used to screen and shelter concrete materials and paving stones. One of the assessorly structures that remains at the northeast corner of the property will be removed due to building code and setback violations.

WAIVER REQUESTS

19.08.050.D.1 – Wall Materials and Details

Walls surrounding the site are a mix of materials. The wall along the western boundary of the site consists of solid concrete block at varying heights between 4' and 6' on the vacant residentially zoned side. The wall along the northern boundary of the site encroaches onto the property a distance of between 8' and 14', consists primarily of reused garage door panels, and varies in height from 5' to 7'. The wall adequately screens both properties. The eastern boundary wall consists of different materials at different locations along the boundary of separate abutting parcels. It consists of a 6' CMU block wall with corrugated metal extending to 8' in height at the boundary abutting the existing residence (139-28-301-022). There are existing buildings crossing the eastern side property line on the rear parcel between 139-28-301-020 and 021 as this was formerly a combined parcel that has been subdivided and sold to the applicant. The buildings located on the applicant's property are being razed to alleviate the nonconformity. As a result, the present wall of buildings on the adjacent parcel will be the future screen wall between the parcels. Chain link fencing has been removed between the subject property and the vacant alleyway, parcel 139-28-

**SDR-18676
01/25/07 PC**

301-028. This parcel is a 25' wide "alley" that is not used for vehicular traffic and only serves as a well easement to convey water from the existing well on the applicant's property to properties on the east side of Clarkway Drive, a remnant from the rural condition of the area. The applicant prefers to leave this area open as the status of the parcel as an easement is unbuildable and will be part of an abutting development in the future. There is currently chain link fencing between parcels 139-28-301-029 & 026, which are both currently zoned C-1. The applicant proposes to leave the existing walls and fencing in the present condition as development in the foreseeable future would not warrant decorative pilasters and contrasting materials as required by code. All abutting properties are adequately screened with the perimeter walls that exist.

19.08.050.D.2 – Building Placement

The primary structure is located approximately 37' from the current City of Las Vegas right-of-way and 52' from the back of sidewalk abutting the existing Bonanza roadway. The building is currently being used as a landscape and decorative concrete design office that was renovated from a previous use as a single family home. Since the residential zoning has been changed and the structure remains, the building could not be reasonably placed next to the street frontage.

19.10 – Parking Lot Landscape Islands, Trees, Shrubs, and Ground Cover

The parking lot is located at the front of the building, between the primary structure and the bonanza frontage. In this area, there are parking spaces allowing one handicapped and seven standard parking spaces. The applicant has included parking on the presently R-E zoned portion of the parcel to accommodate 65 additional parking spaces. East and west of the office building are swinging gates that allow passage into the rear yard of the office facility. If landscape islands, trees, or shrubs were located where curbing and this plant material would be required, access to the rear of the building would not be possible. Visual enhancements to the front of the property include the addition of foundation landscaping where physically able and pavers to the parking area in front of the office building.

19.10 – Parking Lots shall not directly abut a building or must have a 5' sidewalk or landscaping
The parking lot is constructed and has been enhanced as indicated above. There is not a sidewalk constructed between the building and the entire parking area, but the applicant has agreed to place parking curb stops 5' from the building face in this area. With the limited distance constraints between the constructed building and the back-of-sidewalk, and a waiver for the width of the Bonanza Road landscape buffer zone being requested, there is only room between the existing building and the back of constructed sidewalk to accommodate 18' deep parking stalls, 24' drive aisle, and 10' landscaping. Due to the physical constraints of the site, the applicant feels that this waiver would be warranted.

19.12 – Landscape Buffer Zones – 15'8'

The Bonanza frontage improvements have been constructed. The applicant obtained the required approval from NDOT in order to place the entrance curb-cut where it is currently located. There is a 10' landscape planter located abutting the sidewalk along Bonanza Road with low-lying shrubs and rock mulch. With the 10' wide landscaping area, there is only enough room between the building and the landscape planter to provide two 12' wide travel lanes and the standard 18' depth parking stalls. The applicant requests a waiver to allow landscaping along the Bonanza Road frontage at a distance of 10' in width. The applicant also requests a waiver to allow a lack of landscaping buffer adjacent to the parcel protruding into the property (139-28-301-028), which makes the subject parcels an irregular shape. Again, due to the physical constraints of the site, the applicant feels that the waivers are warranted.

19.12 – Plant Materials

The applicant intends to buffer the interior of the property with an 8' landscape buffer per code, except where waivers would be applied. The existing 10' landscape planter abutting the bonanza right-of-way consists of ground shrubs and low-level plantings to allow the enhanced front of the office building to give

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the business street presence. Extensive improvements to the primary structure have been made to the facade which fronts Bonanza Road since the property was purchased in 2002. These improvements include the addition of stone veneer and fresh coats of paint to enhance the appearance of the building. Also added was the paving stone parking area located between the primary structure and the Bonanza Road frontage. The applicant wishes to waive the requirement for 24" box trees along the Bonanza frontage to allow the public to view the building from this right-of-way. The applicant agrees to obtain an encroachment agreement with the City to plant within the right-of-way.

In summary, the existing use of the property is a decorative concrete design office and decorative masonry/landscape materials yard. The portion of the parcel that is presently zoned R-E is being used primarily for employees of the concrete contracting business to park their vehicles during normal business hours (typically between 6a and 5p) with scattered building materials located throughout the area. The subject parcels comprise approximately 200' of Bonanza Road frontage of which 100' is decoratively landscaped with plant materials located in a 10' landscape area behind an approximately 18" high stem wall. The owner has enhanced the facade of the office building fronting Bonanza Road extensively from its condition when the property was purchased. The property was previously used as a homeless shelter and the owner has worked diligently to remove the refuse left over from this land use. The portion of property behind the office building is intended to be private with access only through the primary structure.

Properties surrounding the subject parcels are vacant or currently being used for similar businesses and land uses and are all master-planned MXU – Mixed Use, under the City's recently adopted addition to the Redevelopment Plan. The property to the west is famous locally for being the Binion Ranch, which is currently vacant. Abutting the north edge of the included parcel is a large single-family residential property's rear yard which is devoid of permanent built structures. Along the eastern edge of the subject site are four properties – two single-family residences, a vacant alley/well easement, and an office for a roofing company, which also fronts Bonanza. The alley is a 25' wide privately owned easement for the well located on the applicant's property to convey water to parcels on the east side of Clarkway Drive. The two occupied single family residences abutting the property will be adequately screened from the proposed and existing use of the subject property.

This portion of the City's Redevelopment Plan and the surrounding area, especially the Bonanza Road frontage is currently in a trend of development that is shifting from blighted, aging development including rural single-family residences to land uses of a more commercial and/or industrial nature. Due to the existing industrial nature of this transitional area of Las Vegas, the applicant feels that the proposed zoning and site plan are consistent and compatible with current and future development.

If you have any questions, comments, or concerns, please contact me at a number or address listed above.

Respectfully,


Brent Wilson

SDR-18676
01/25/07 PC

January 16, 2007

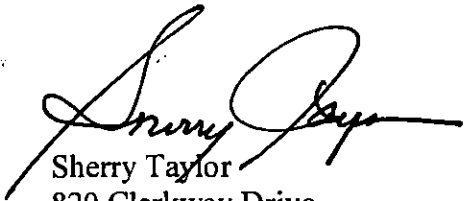
Planning and Development Department
Current Planning Division
Development Services Center
731 South Fourth Street
Las Vegas, Nv 89101

RE: SDR-18676 V P Properties LLC request for Perimeter Waivers

Please accept this as my OBJECTION to any and all waivers to be addressed. I expect this company to comply with ALL buffer requirements.

As I have stated in previous correspondence, I expect this company to be put under the same restrictions and requests that Mr. Donald Ahern of Ahern Equipment Rentals was subjected to by the surrounding residents.

Thank you for your attention to this matter.



Sherry Taylor
820 Clarkway Drive
Las Vegas, Nevada 89106-3610

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - ZON-17248 - REZONING - PUBLIC HEARING - APPLICANT/OWNER:
TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO:
R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 5.06 acres
adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard
(APN 125-24-302-005), Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

13

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letters
6. Submitted after final agenda – Abeyance request by Dave Clapsaddle for Items 26 and 27

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

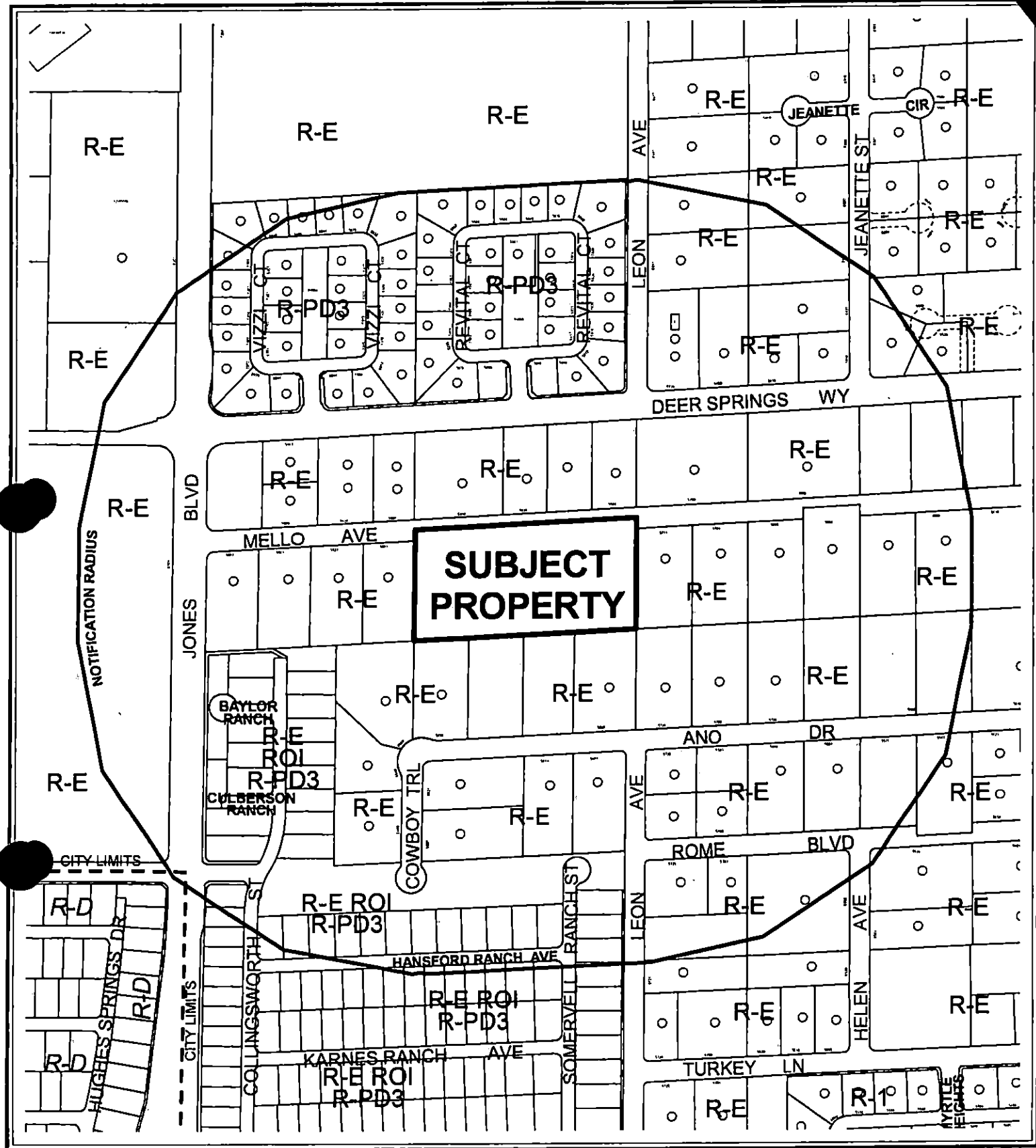
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 26 – ZON-17248

MINUTES:

Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: ZON-17248

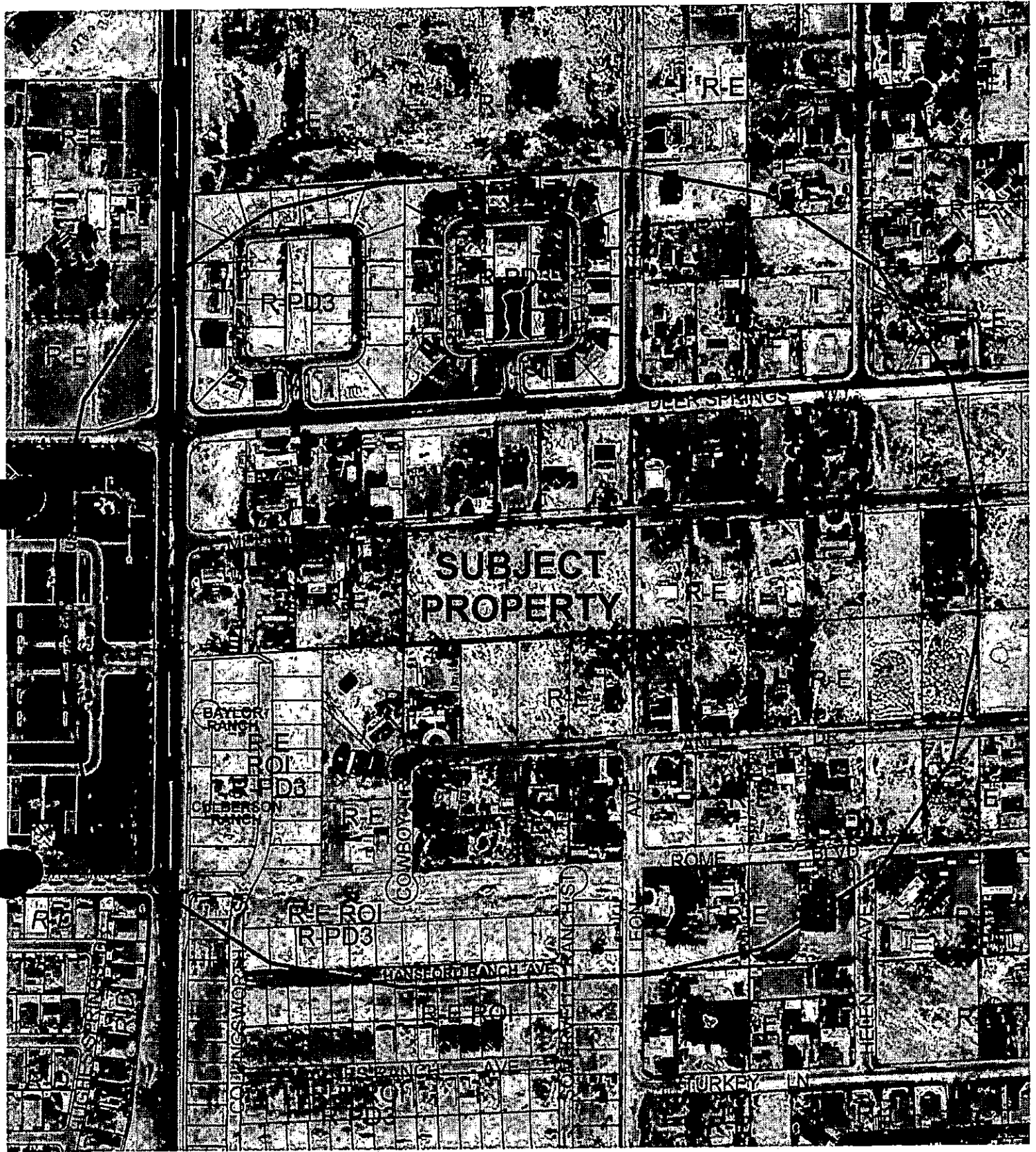
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)



CASE: **ZON-17248**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - ZON-17248 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17249) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate 30 feet of right-of-way adjacent to this site for Mello Avenue.
4. Construct half street improvements on Mello Avenue adjacent to this site concurrent with development of this site. Improvements shall consist of permanent asphalt pavement and 30-inch rolled curb; sidewalk installation may be deferred and decomposed granite provided in the area where sidewalk would normally be placed. Installation of streetlights may be deferred provided that exterior streetlighting shall be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location and the developer provide to the City such streetlights for the future installation. Alternatively, monies in lieu of such deferred streetlights, including bases, may be contributed to the City if allowed by the Department of Public Works. Coordinate with the Land Development Section of Public Works regarding streetlighting requirements prior to submittal of construction drawings. Sign and record a covenant running with the land for all urban improvements (L-curb, sidewalk and streetlights) not constructed at this time on Mello Avenue. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

ZON-17248 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

6. Coordinate with the Collection Systems Planning Section of the Department of Public Works to extend public sanitary sewer in Mello Avenue to the west edge of this site at a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17248 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed rezoning to R-PD2 (Residential Planned Development – 2 Units Per Acre) is not considered appropriate for this location. The lot sizes that result from this rezoning are approximately 1,500 square feet smaller than what is currently permitted on this property but are only half the size of adjacent development. The setbacks that would result are more closely related to those of the R-D (Single-family Residential-Restricted) District than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units Per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	This item and a companion Site Development Plan Review (SDR-17249) were held in abeyance at the request of the applicant.
01/25/07	A companion Site Development Plan Review (SDR-17249) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	5.06
Net Acres	5.03

ZON-17248 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
South	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
	Single-family Residential		
East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

Standard	Provided
Min. Lot Size	18,382 SF
Min. Lot Width	45.5 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

ZON-17248 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Per Title 19.08.060:

<i>Residential Adjacency Standards</i>
Residential Adjacency Standards do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	R (Rural Density Residential)	3.59 Units Per Acre

<i>Open Space</i>
Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

<i>Parking Requirement</i>
The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is considered inappropriate for this location. The site plan associated with the proposed rezoning contains lots that are approximately half the size of surrounding development at an average of 18,382 square feet. The proposed project would allow nine lots. Based on the average size of surrounding lots the property would have five lots if developed to match the existing conditions. The proposed rezoning is considered inappropriate and denial is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

ZON-17248 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

The proposed R-PD2 (Residential Planned Development – 2 Units Per Acre) District would be in compliance with the General Plan, which is R (Rural Density Residential). The area is primarily R-E (Residence Estates) zoned with lot sizes of over 30,000 square feet. This is more typical of the RNP (Rural Neighborhood Preservation) land use designation. While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes and through taking access via a cul-de-sac rather than directly from Mello Avenue.

2. **“The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”**

The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller than adjacent lots that make the proposed project incompatible with the area.

3. **“Growth and development factors in the community indicate the need for or appropriateness of the rezoning.”**

Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining four lots over what would otherwise be appropriate for the area given the average lot size in the area.

4. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district.”**

The site gains access via a cul-de-sac from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

ZON-17248 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

NOTICES MAILED 123 [Mailed with SDR-17249]

APPROVALS 0

PROTESTS 13



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17248** APN: 125-24-302-005
Name of Property Owner: Tousa Homes
Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

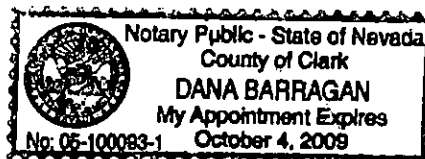
Signature of Property Owner: _____

Print Name: _____

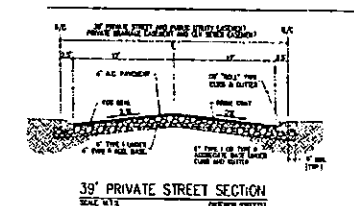
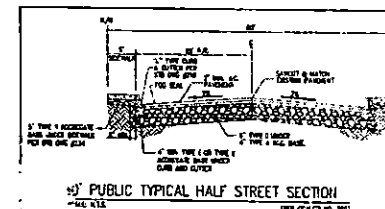
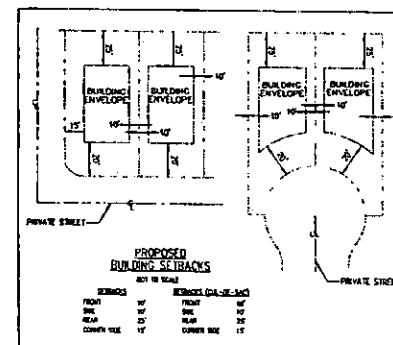
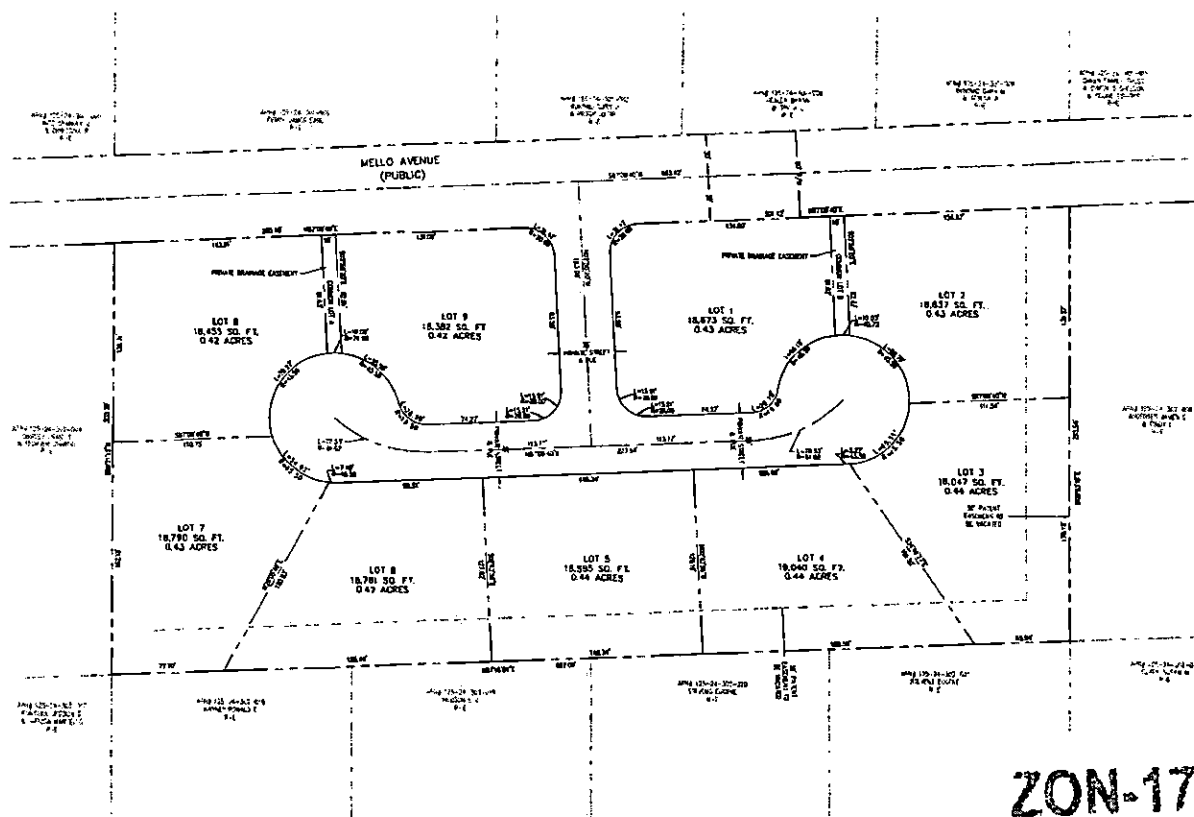
Cheryl Kypreas

Subscribed and sworn before me

This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State



SITE PLAN FOR FALCON CREST UNIT 2 BY ENGLE HOMES

[illegible]

ZON-17248
01/25/07 PC

SIL DATA	
ASSESSORS PARCEL NUMBER	125-24-302-00
CURRENT ZONING	R-1
PROPOSED ZONING	R-PD
GROSS ACRES	5.0
NUMBER OF LOTS	
COMMON LOTS	
DU/AC	2.7

WRIGHT
client driven

1923 PLAZA DRIVE LAS VEGAS, NEVADA 89102
P 702.933.2000 F 702.933.7007 FAX 702.933.7411
WWW.WRIGHTCLIENTS.COM

[illegible]

2140	1	ONE COPY
2141	1	ONE COPY

ENGLE HOMES	0
BALCON CREST UNIT 2	0
SITE PLAN -HELLO AVE	0

DATE 08/03/08
 OPERATOR
 PROJECT NO. CH2183
 SCALE 1"=10'



SHEET
 S1
 2 OF 1 SHEETS
 DRAWING NO.





September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

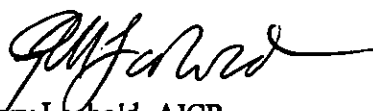
The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leibold, AICP
Director of Planning

ZON-17246
01/25/07 PC

January 10, 2007

Dear Mayor Goodman, Councilman Ross, and Planning Commissioners,

We the residents of Mello Avenue have had two community meetings concerning the 5 acres on Mello Avenue identified as APN# 125-24-302-005. The first meeting occurred in the later part of December, the discussion resulted in the resolution of the following issues:

1. Lot sizes to measure $\frac{1}{2}$ acre net(not to the middle of the street)
2. Four houses to face Mello Avenue to create a community atmosphere.
3. The amount of homes should be established by the amount of net $\frac{1}{2}$ acre lots not to exceed 9 dwellings.

The second meeting occurred on January 9, 2007 resulting in two concepts which we do not agree with whatsoever. Originally two story houses had been limited, during the second meeting they offered either 9 two story homes or 10 single story structures on lots measuring $\frac{1}{2}$ acre to the middle of the street. We do not agree with either of their concepts that they have presented to us. The second meeting has brought into question their integrity and their ability to comply with the established $\frac{1}{2}$ acre net lot parameters.

In summation the residents of Mello Avenue agree to the following:

1. Retain our R-E zoning
2. Retaining our horse zoning
3. Lot sizes measuring $\frac{1}{2}$ acre net
4. 4 homes to face Mello
5. 2 entries into the development
6. No street lights
7. No side walks & curbs
8. No two story homes
9. Meet all elevation concerns and flood issues which may arise from the new elevations

In closing after the appropriate easements are taken into consideration and any other adjustments are made to the acreage, the lots will remain $\frac{1}{2}$ acre net and the developer will decrease the amount of homes to accommodate the site. We will not agree to more than 9 houses or any two story dwellings.

We the residents of Mello Avenue unanimously agree to the above noted and hereby accept this by signing the attached page.

Thank You for your time and consideration on this topic,

The Residents of Mello Avenue

ZON-17248
13 P

R. E Lynn Ray Lynn 5501 Mello Ave 645-5456
 Maureen Lynn MAUREEN LYNN " " " "
 Michael L Hendrix MICHAEL L HENDRIX 5940 Mello Ave 658-5251
 Grace K Hendrix GRACE K HENDRIX 5940 Mello Ave 688-9609
 Stan A Witz STAN A WITZ 5900 Mello Ave 222-9557
 Christina R Witz CHRISTINA R. WITZ 5900 MELLO 738-2502
 Linda Suarez 5711 Mello Ave. — 348-7335 cell.
 Andree Suarez 5711 Mello Ave 348-7542
 Juan A Cosio 5601 Mello Ave 645-3515
 Barbara Cosio 5601 Mello Ave 645-3515
 George Cole II 5701 Mello Ave 207-2306
 Lori Cole 5701 Mello Ave 207-2306
 G. Sheldon Green, M.P. 5700 Mello Ave 645-0875
 Celino P Green 5700 Mello Ave 645-0875
 Esther P. Green 5700 Mello Ave 243-2500
 Adam Eckel 5800 Mello Ave 877-2192
 Heidi Eckel 5800 Mello Ave 877-2192
 TRICIA GERLEN 5810 Mello Ave 658-8624
 Bryan GERLEN 5810 Mello Ave 658-8624
 J. EARL PEFFY 5850 Mello Ave. 645-0310
 Marcia Geil 5921 Mello Ave 658-9326
 ROBERT G GEIL 5921 Mello Ave 658-9326
 Barbara Sue Geil 5921 Mello Ave 658-9326
 Valerie Schram 5600 Mello Ave (C) 419-3193
 DENNIS BANTO 5655 Mello Ave 658-5966
 SYLVIA BANTO 5655 Mello Ave 658-5966

RECEIVED
CITY CLERK

January 24, 2007

2007 JAN 24 P 4:44

Margo Wheeler, Director
Planning and Development
City of Las Vegas
731 S. Fourth Street
Las Vegas, NV 89101

RE: Falcon Crest 2; (ZON-17248 and SDR-17249)

Dear Margo:

On behalf of my client, Tousa Homes, I am submitting a request to have the above listed applications continued from the January 25, 2007 Planning Commission meeting to the meeting being held on February 8, 2007. We are requesting this continuance for the following reasons:

- 1) We have held two meetings with the neighbors and are revising plans to attempt to resolve issues relating to the number of lots and one vs. two-story homes. Providing the neighbors with more definitive alternative plans will help to reach a consensus.
- 2) We will provide staff and the neighbors with these revised designs in a timely manner so as not to require further delay.

This will be the third time this item is held, which requires the Planning Commission to find there is just cause to hold it in abeyance. The purpose of this request is not to wear down the neighbors, but rather to continue to work with the neighborhood to find a design that is compatible with the neighborhood and will add value to the neighborhood. It is a challenging parcel given the extension of utilities and infrastructure and past experience of the neighborhood with previous rezoning applications.

We respectfully request your favorable consideration of this request. We will continue to diligently work with our neighbors before coming back to the Planning Commission.

Sincerely,

Dave Clapsaddle
Director of Planning



GCGARCIA

Submitted after final agenda

Date 1/24/07 Item #26-127

A Planning & Development Services Corporation

1711 Whitney Mesa Drive, Suite 110, Henderson, Nevada 89015-1158

Telephone: 702 438 0000 Fax: 702 435 0457 E-Mail: ggc@ccgarcia.com

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17249 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17248 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED NINE-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Petition with 26 signatures

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

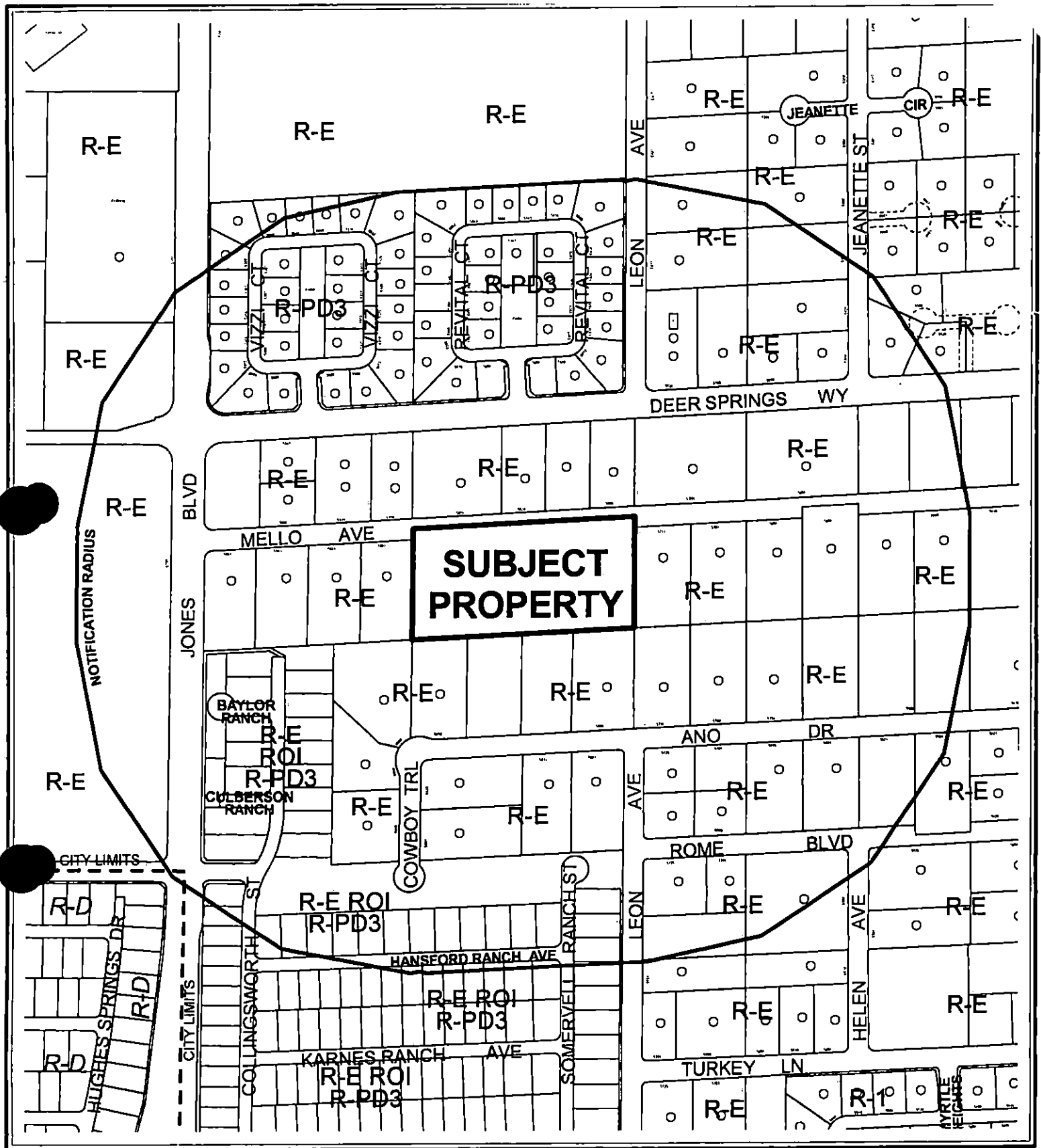
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 27 – SDR-17249

MINUTES:

MR. RANKIN stated that Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730], Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: **SDR-17249**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for Rezoning (ZON-17248), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 18,382 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 20 feet to the front of the house, as measured from back of sidewalk or from back of curb if no sidewalk is provided, 10 feet on the side, 15 feet on the corner side, and 25 feet in the rear.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Air conditioning units shall not be mounted on rooftops.

NG

SDR-17249 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. The private entry street shall not be gated.
14. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
15. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17248 and all other applicable site-related actions.
16. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
17. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-17249 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is for a nine-lot single-family residential subdivision. Lot sizes, at an average of 18,750 square feet, are approximately half the size of adjacent lots. The site gains access from a cul-de-sac where as adjacent development gains access directly from Mello Avenue. Due to the average lot size being considerably smaller than adjacent development the proposed development is considered to be incompatible with the area and denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	This item and a companion Rezoning (ZON-17248) were held in abeyance at the request of the applicant.
01/25/07	A companion Rezoning (ZON-17248) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is nor required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	5.06
Net Acres	5.03

SDR-17249 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
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East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

Standard	Provided
Min. Lot Size	18,382 SF
Min. Lot Width	45.5 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

SDR-17249 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Per Title 19.08.060:

Residential Adjacency Standards

Residential Adjacency Standards do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – Two Units per Acre)	2.49 Units per Acre	R (Rural Density Residential)	3.59 Units per Acre

Open Space

Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development contains nine lots. These lots range from 18,382 square feet to 19,047 square feet, which are slightly smaller than the minimum for the current R-E (Residence Estates) District. It is noted that adjacent lots are over 35,000 square feet with some as large as 90,000 square feet. Based on this comparison this site would hold approximately five lots and still remain compatible with adjacent development. The proposed development would not be compatible with the adjacent lot sizes.

The setbacks for the proposed development are most closely related to those required by the R-D (Single-family Residential-Restricted) District. Setbacks in the current R-E (Residence Estates) District are double what are proposed in the front yard and 10 feet greater in the rear yard. The development gains access from a “dog-bone” style cul-de-sac off Mello Avenue. The other homes in the area gain access directly from Mello Avenue rather than a cul-de-sac.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

SDR-17249 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

The proposed development contains nine lots and is not required to provide open space. It is also noted that streetscape is not required along Mello Avenue. There are two common lots provided as public drainage easements; however, these will not contain any significant landscaping.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development contains lots that are approximately half the size of adjacent development. Additionally the site would gain access from a cul-de-sac. The surrounding lots all gain access directly from Mello Avenue. Adjacent development is primarily large lots with a rural character. The proposed development would not be compatible with these lots and denial of this request is recommended.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

While the proposed development does not deviate from the requirements of Title 19 or the General Plan, the development is not considered compatible with the area. The lot sizes are considered too small compared to adjacent development and also do not front onto the Mello Avenue right-of-way.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access via a cul-de-sac from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

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January 25, 2007 - Planning Commission Meeting

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 123 [Mailed with ZON-17248]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17249** APN: 125-24-302-005

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

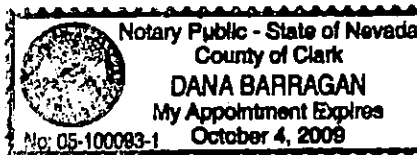
APN: _____

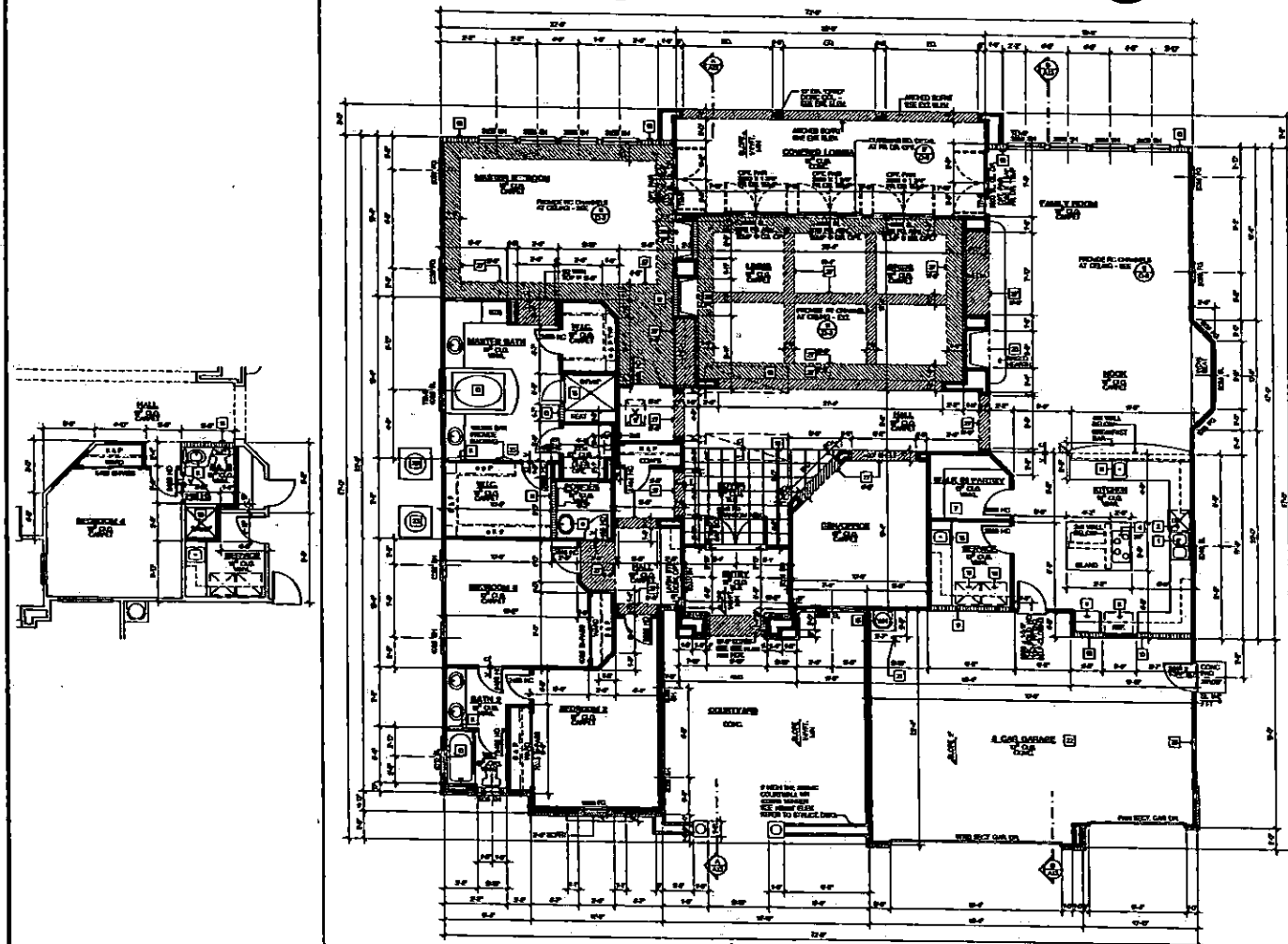
Signature of Property Owner: *Cheryl Kypreos*

Print Name: Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State





KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL WALLS ARE TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
4. ALL FLOORS ARE TO BE 4" THICK UNLESS NOTED OTHERWISE.
5. ALL ROOFS ARE TO BE 6" THICK UNLESS NOTED OTHERWISE.
6. ALL CEILING ARE TO BE 8" THICK UNLESS NOTED OTHERWISE.
7. ALL DOORS ARE TO BE 2" THICK UNLESS NOTED OTHERWISE.
8. ALL WINDOWS ARE TO BE 2" THICK UNLESS NOTED OTHERWISE.
9. ALL STAIRS ARE TO BE 10" THICK UNLESS NOTED OTHERWISE.
10. ALL ELEVATIONS ARE TO BE TO FINISH UNLESS NOTED OTHERWISE.
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NOTES

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20. ALL ELEVATIONS ARE TO BE TO FINISH UNLESS NOTED OTHERWISE.

SQUARE FOOTAGE

FLOOR AREA	FOOTAGE
TOTAL	2300 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.
ENTRY	100 S.F.

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba. ENGLE HOMES
 772 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777

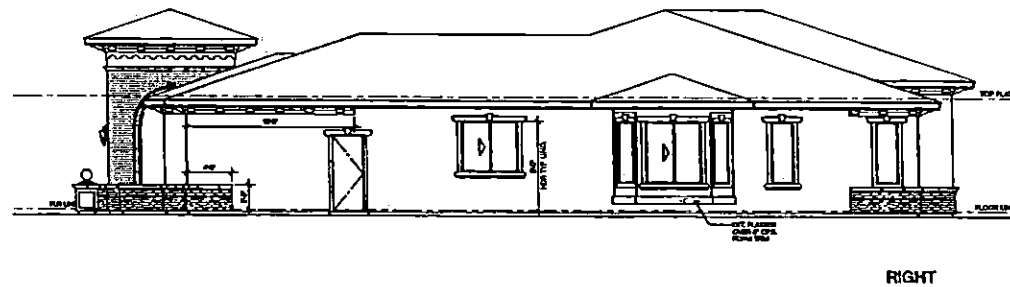
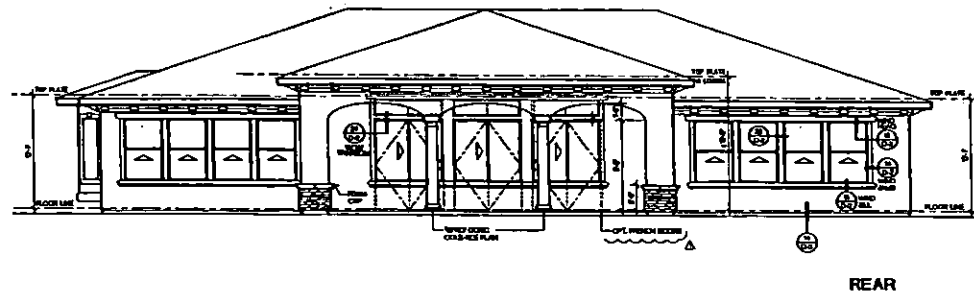
KTOYGROUP, INC.
 10000 S. RAYMOND AVE.
 SUITE 100
 LAS VEGAS, NV 89138

Prepared by: **J. TAYLOR**
 Project Manager: **M. FOWLER**
 Project Designer: **M. BOLAN**
 Checked by: **J. TAYLOR**

Sheet Title: **PLAN 1 'A' FLOOR PLAN AND OPTION**

Sheet No.: **A1.1**

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 SDR-17249
 01/25/07 PC
 OCT 02 2006

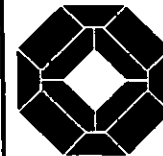


EXTERIOR ELEVATIONS 1/8" = 1'-0"

No.	Date	Revised / Description
1		3/10/06 10:00 DEPT. SUBMITTAL
2		3/10/06 10:00 DEPT. REVISIONS
3		3/10/06 10:00 DEPT. REVISIONS
4		3/10/06 10:00 DEPT. REVISIONS
5		3/10/06 10:00 DEPT. REVISIONS
6		3/10/06 10:00 DEPT. REVISIONS
7		3/10/06 10:00 DEPT. REVISIONS
8		3/10/06 10:00 DEPT. REVISIONS
9		3/10/06 10:00 DEPT. REVISIONS
10		3/10/06 10:00 DEPT. REVISIONS

Project: BENNINGTON PARK

TOUSA HOMES Inc., d/b/a
ENGLE HOMES
7772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, INC.
Architects
10000 SANDHILL DRIVE
SUNNYVALE, CA 94088
415.333.8888
www.ktoygroup.com
Sunnyvale, California

License: 000000

Prepared by: J. TULLY
Project Designer: M. POWELL
Project Manager: R. SCHUBERT
Project Designer: J. TULLY
Checked by:

Sheet Title:
PLAN 1
"B" EXTERIOR ELEVATIONS

Sheet No.:

A1.6A
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SDR-17249
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SCALE: 100 = 100

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[illegible]

FLOOR AREA	7272 S.F.
FIRST FLOOR	6952 S.F.
SECOND FLOOR	
TOTAL	6952 S.F.
GARAGE	728 S.F.
BLACK CROCK	153 S.F.
PATIO	62 S.F.
ENTRY 1st ELEVATION	74 S.F.
ENTRY 2nd ELEVATION	77 S.F.
ENTRY 3rd ELEVATION	74 S.F.
FRONT CROCK 1st ELEVATION	144 S.F.
FRONT CROCK 2nd ELEVATION	140 S.F.
FRONT CROCK 3rd ELEVATION	91 S.F.

Case study

**TOUSA HOMES Inc. dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**

[illegible]

Principal in Charge .	J. TULLY
Principal Director .	M. FOWLER
Principal Manager .	M. SCHUBA
Principal Designer .	J. TEAM

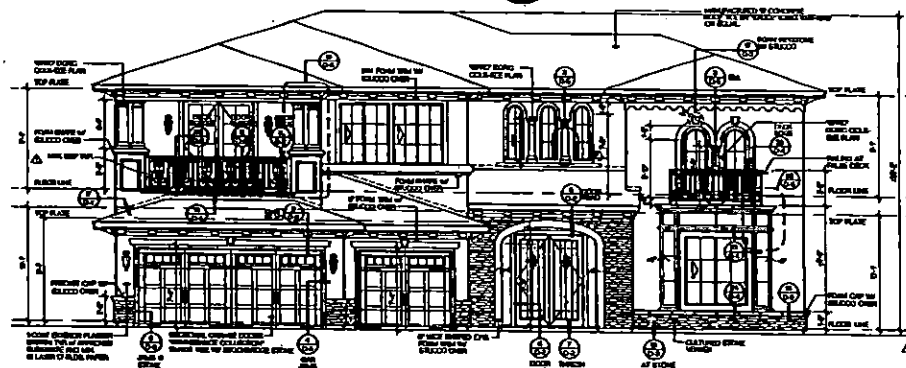
Sheet Title -
PLAN 2
SECOND FLOOR PLAN

Start Date:

A-2.1A

OCT 2 2006

01/25/07 PC



FRONT



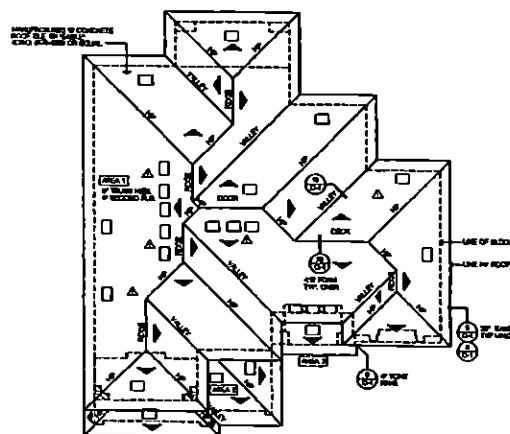
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ATTIC VENTILATION

[illegible]

DECLASSIFICATION
 AUTHORITY: 25 USC 552a, 552b (7) - (D)
 DATE: 01/15/2001

THE FOLLOWING INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT A CONTRACT. THE INFORMATION IS NOT A CONTRACT AND IS NOT A GUARANTEE OF ANY KIND. THE INFORMATION IS NOT A GUARANTEE OF ANY KIND. THE INFORMATION IS NOT A GUARANTEE OF ANY KIND.

[illegible]

***B* ROOF PLAN**

SCALE: WF = WF

2

EXTERIOR ELEVATIONS

SEALS: 100 = 100

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<u>3/8/65</u>	<u>BLDG. DEPT. DISMISSED</u>
<u>8/25/65</u>	<u>BLDG. DEPT. RE-ENTRY</u>
<u>8/29/65</u>	<u>BLDG. DEPT. RE-ENTRY</u>

**BENNINGTON
PARK**

**TOUSA HOMES Inc. d.b.a.
ENOLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117**

2004-0777

**KTGYGROUP, INC.**

HOW TO ORDER: Write to:

1995 AMERICAN WATER
WORKERS' UNION

Abstract

— 425 —

Irving, California

1. Introduction

Principal in Charge : J. FULLY
Project Director : M. POWELL
Project Manager : M. SCHAFER
Project Engineer : J. TEA

Sheet Title :
PLAN 2
"B" EXTERIOR ELEVATIONS
"B" ROOF PLAN

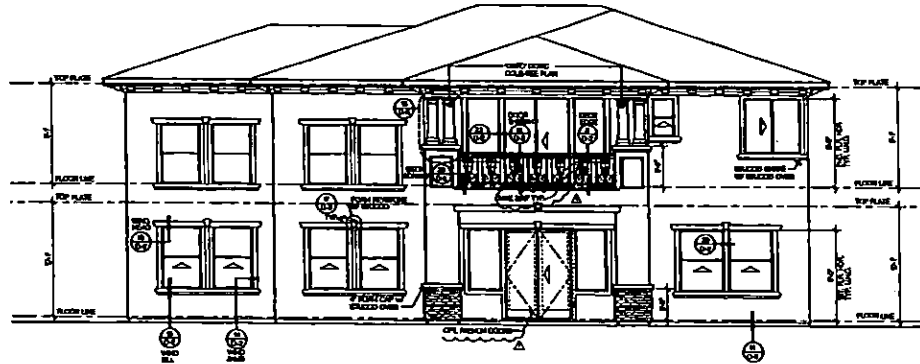
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A2.6

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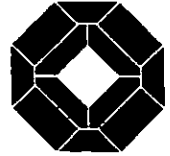
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EXTERIOR ELEVATIONS

No.	Date	Revised / Description
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2		2.0000 01/25/07 01/25/07
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19		19.0000 01/25/07 01/25/07
20		20.0000 01/25/07 01/25/07

BENNINGTON PARK

TOUSA HOMES Inc. d/b/a
ENGLE HOMES
7872 WEST SABARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, Inc.
OVERSIGHT GROUP
LAS VEGAS, NV 89117
KTOYGROUP.COM

Principal in Charge: J. TULLY
Project Designer: M. FOWLER
Project Manager: M. SCHMIDT
Project Engineer: A. TULLY
Checked By:

Sheet Title:
PLAN 2
EXTERIOR ELEVATIONS

A2.6A

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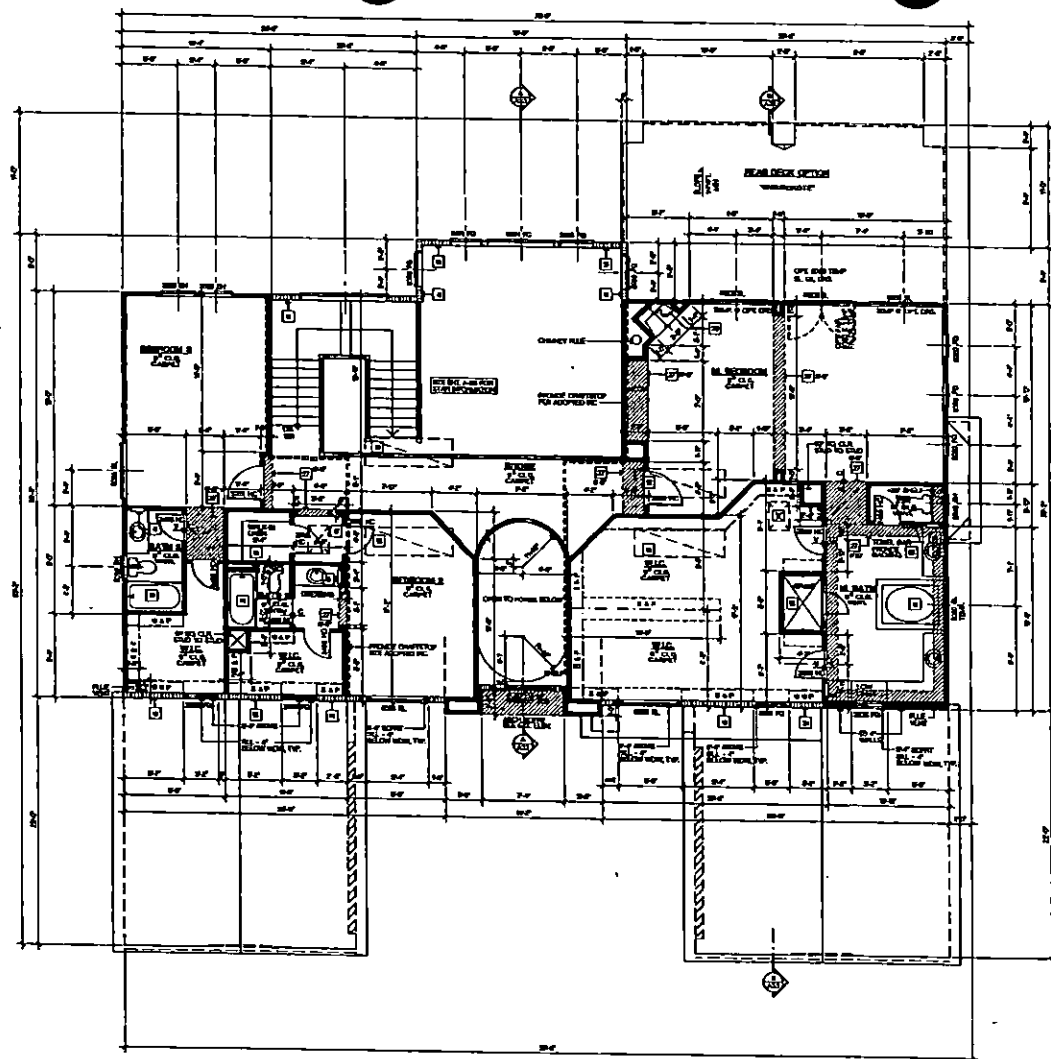
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01/25/07 PC



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SDR-17249
01/25/07 PC



SECOND FLOOR PLAN AND OPTION

SCALE: 1/8" = 1'-0"

KEYNOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY ENGINEER.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
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9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.
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NOTES

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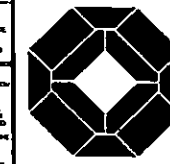
SQUARE FOOTAGE

FLOOR AREA	
FOOT FLOOR	2700 S.F.
SECOND FLOOR	1000 S.F.
TOTAL	3700 S.F.
DEAR PATIO	400 S.F.
DEAR PORCH	200 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.
GARAGE 10' X 10' ELEVATION	400 S.F.

Rev.	Date	Issued / Description
1	10/05/06	REVISIONS
2	10/05/06	REVISIONS
3	10/05/06	REVISIONS
4	10/05/06	REVISIONS
5	10/05/06	REVISIONS
6	10/05/06	REVISIONS
7	10/05/06	REVISIONS
8	10/05/06	REVISIONS
9	10/05/06	REVISIONS
10	10/05/06	REVISIONS

BENNINGTON PARK

TOUSA HOMES Inc. dba
ENGLE HOMES
7772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



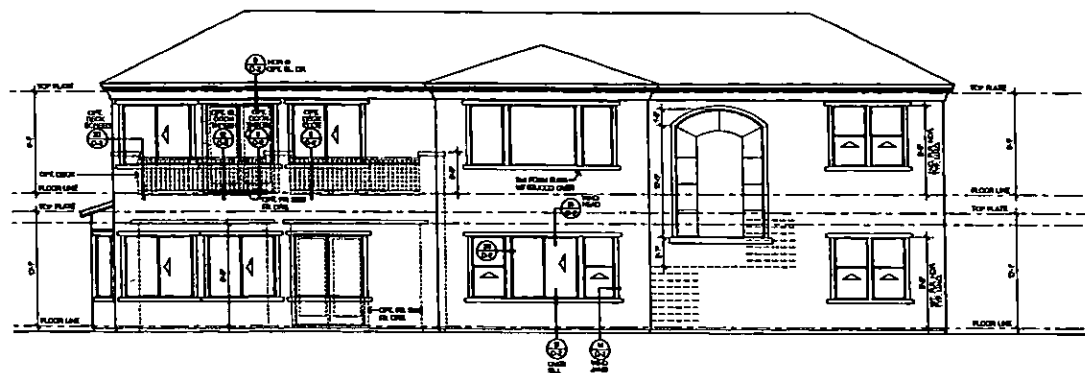
KTOYGROUP, INC.
10000 W. LAS VEGAS BLVD.
SUITE 100
LAS VEGAS, NV 89135
702.735.1111

Prepared by: J. TULLY
Project Director: M. POWERS
Project Designer: J. TAN

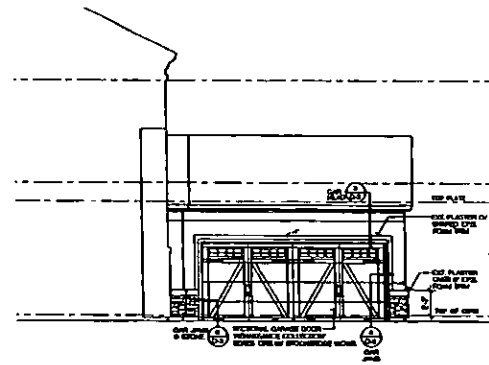
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PLAN 3
"A" SECOND FLOOR PLAN
AND OPTION

Sheet No. **A3.1A**

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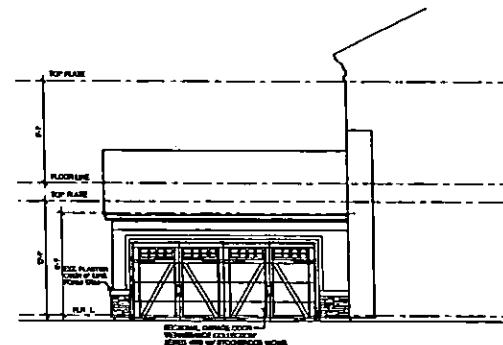
REAR



COURTYARD LEFT



RIGHT



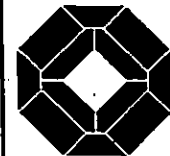
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EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

No.	Date	Revised / Description
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3		3/20/04 SDR-172A01 EXTERIOR ELEVATIONS
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9		3/20/04 SDR-172A01 EXTERIOR ELEVATIONS
10		3/20/04 SDR-172A01 EXTERIOR ELEVATIONS

Project: BENNINGTON PARK

TOUSA HOMES Inc. dba.
ENGLE HOMES
7872 WEST SARARA
LAS VEGAS, NV 89117
2004-0777



KTOY GROUP, INC.

10000 S. RIVINGTON AVE. SUITE 100

LAS VEGAS, NV 89117

Phone: (702) 735-1111

Fax: (702) 735-1112

License: 10000

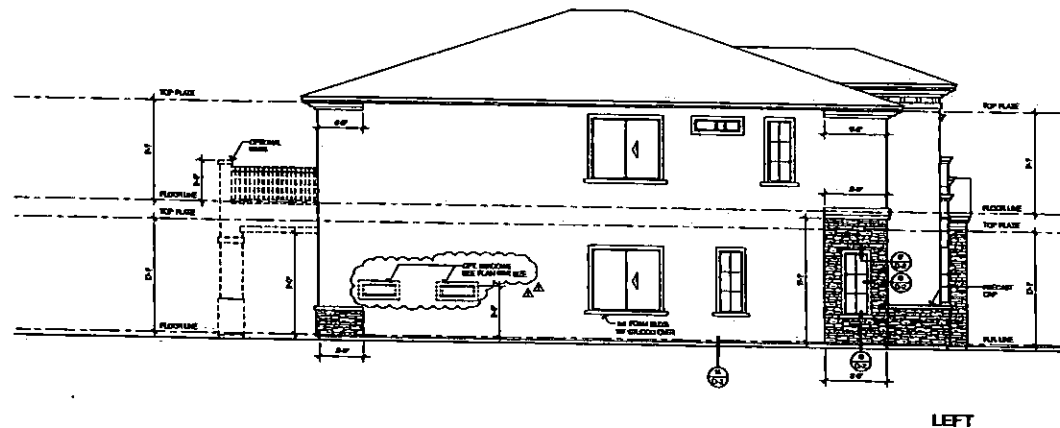
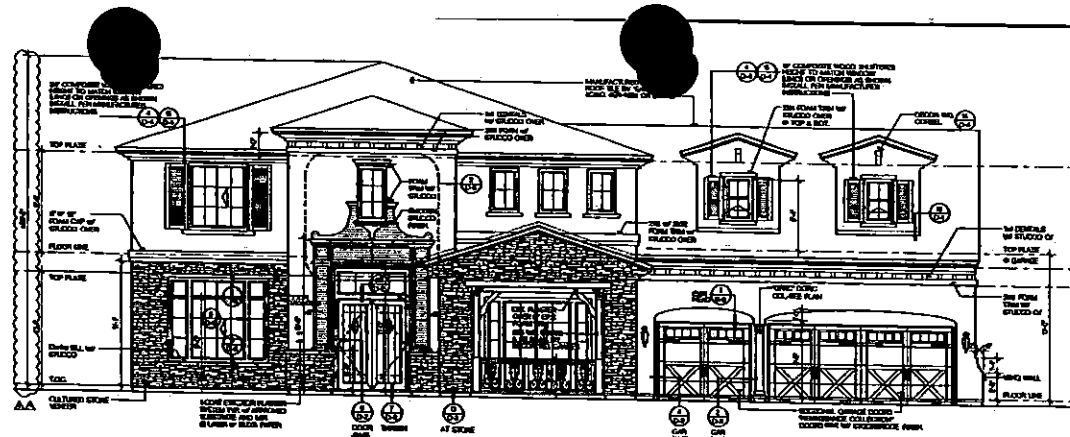
Prepared by: J. TULLY
Project Director: M. POWELL
Project Manager: A. BOWMAN
Project Designer: J. TULLY
Checked by: J. TULLY

Sheet Title:
PLAN 3
"A" EXTERIOR ELEVATIONS

Sheet No.: A3.4A

SDR-172A0
01/25/07 PC

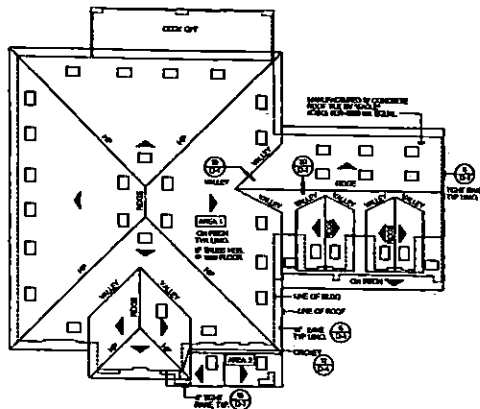
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ATTIC VENTILATION

ATTIC VENTILATION: THE ATTIC OF THIS HOUSE MUST HAVE ADEQUATE VENTILATION TO PREVENT CONDENSATION AND TO MAINTAIN PROPER DRYING OF THE ROOF AND INSULATION. THE FOLLOWING VENTILATION REQUIREMENTS MUST BE FOLLOWED:

VENTILATION	MIN. AREA	MAX. AREA
SOFFIT VENTILATION	1.00	1.00
ROOF VENTILATION	1.00	1.00
CEILING VENTILATION	1.00	1.00
FLOOR VENTILATION	1.00	1.00



'A' ROOF PLAN

SCALE: 1/4" = 1'-0"

2

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

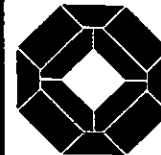
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No. Date Name / Description

3/2/05 1000 DEPT. SUBMITTAL
3/2/05 1000 DEPT. REVISIONS
3/2/05 1000 DEPT. REVISIONS

Product - BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, Inc.

1000 KENNEDY AVENUE
SUITE 100
BIRMINGHAM, AL 35202

205.961.1111
205.961.1112

Boston, Chattanooga

License: 1000

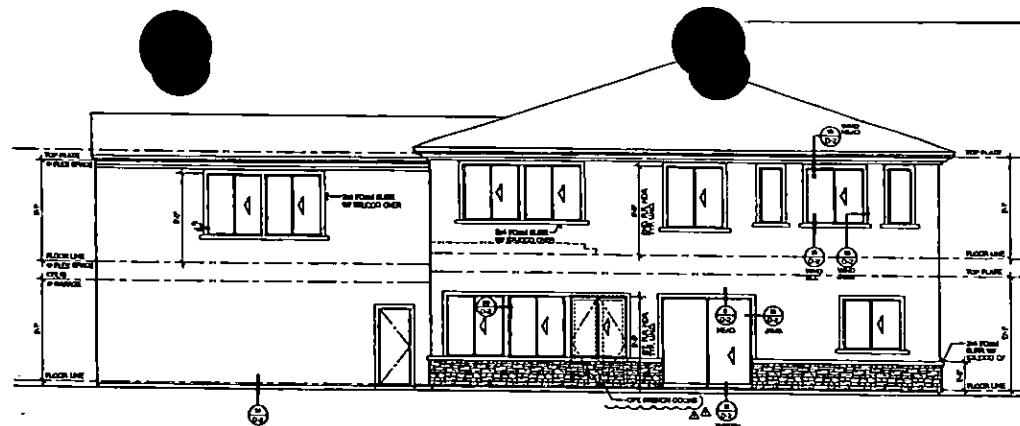
Principal in Charge - A. TULLY
Project Director - M. FOWLER
Project Manager - K. SCHMIDT
Project Designer - A. TAN
Checked By -

Sheet Title -
PLAN 4
'A' EXTERIOR ELEVATIONS
'A' ROOF PLAN

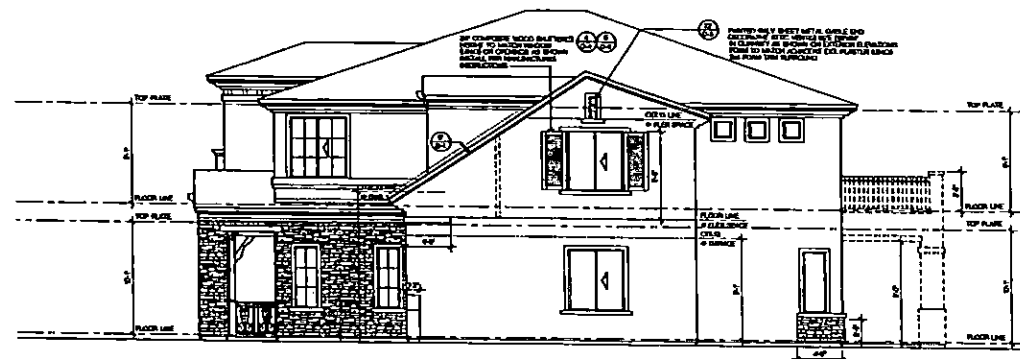
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A4.4

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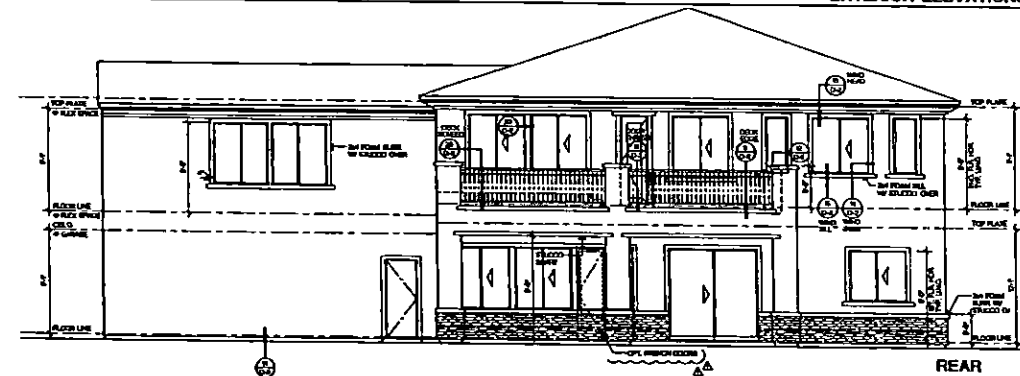


REAR



RIGHT

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1



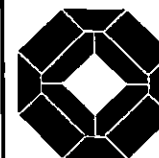
REAR

DECK OPTION ELEVATION SCALE: 1/4" = 1'-0" 2

No.	Date	Revised / Description
1	01/25/07	REVISION: 1.00
2	01/25/07	REVISION: 2.00
3	01/25/07	REVISION: 3.00
4	01/25/07	REVISION: 4.00
5	01/25/07	REVISION: 5.00
6	01/25/07	REVISION: 6.00
7	01/25/07	REVISION: 7.00
8	01/25/07	REVISION: 8.00
9	01/25/07	REVISION: 9.00
10	01/25/07	REVISION: 10.00

Project: BENNINGTON PARK

TOUSA HOMES Inc., dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, Inc.

2000 UNIVERSITY AVENUE
SUITE 200
DUBLIN, CA 94568
(916) 434-1000

License: 00000000

Project in Charge: J. TULLY
Project Designer: M. FOWLER
Project Manager: R. SCHUBERT
Project Designer: J. TULLY
Checked By:

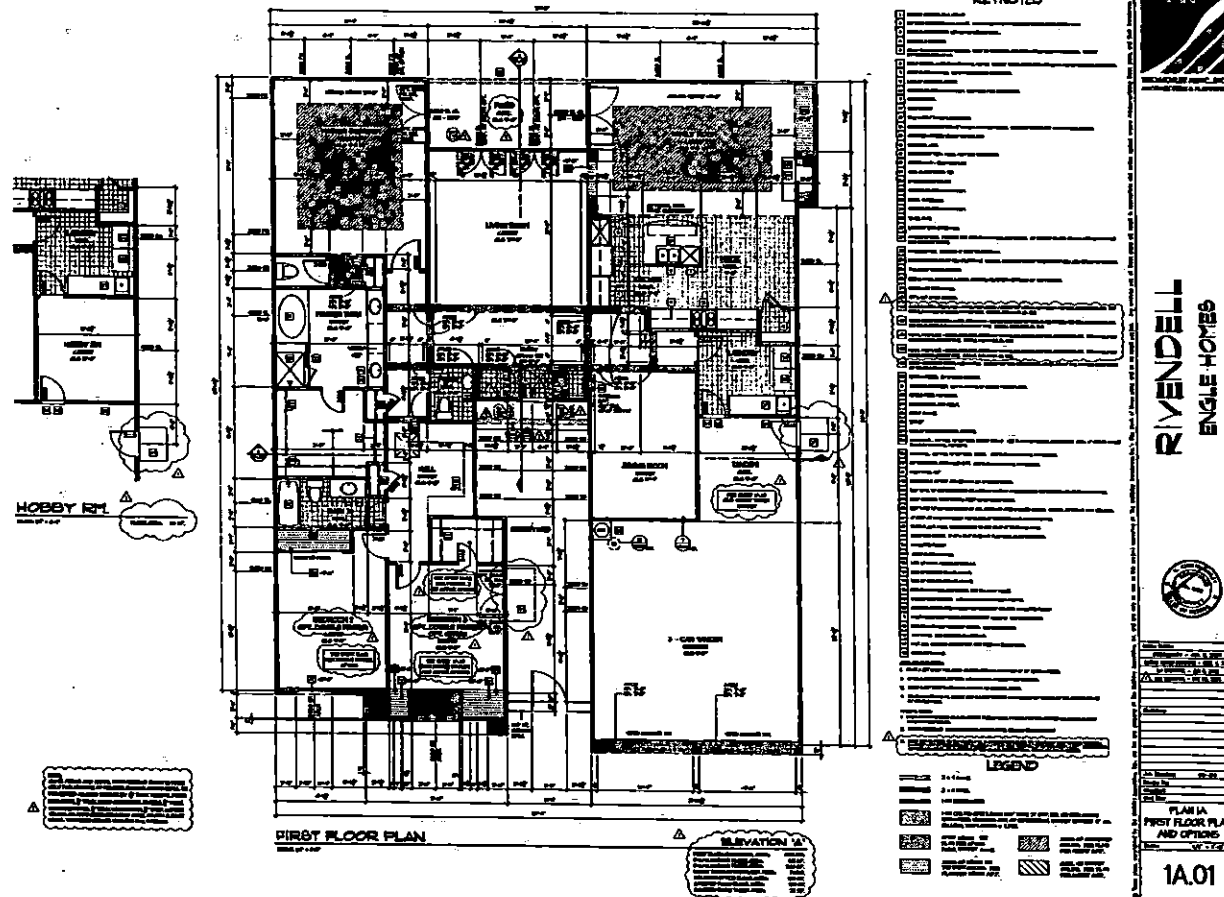
Sheet Title:
PLAN 4
"A" EXTERIOR ELEVATIONS

Sheet No.:

A4.4A

01/25/07 PC
SDR-17249

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CT 02 2006

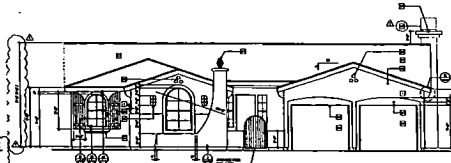
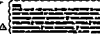


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ATTIC VENT SCHEDULE

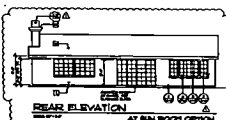
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FRONT ELEVATION

ELEVATION 'A'

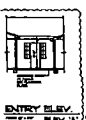
ELEVATION NOTES

- [illegible]



REAR ELEVATION

AT MIN BOTH ORION



ENTRY ELEV.

OPTION
TAXES

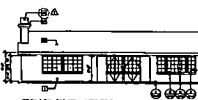


W/ FR DOORS
OPTION

1. **Introduction**



LEFT ELEVATION



REAR ELEVATION



RIGHT TO LIFE



ENGLE HONER
REVENUE



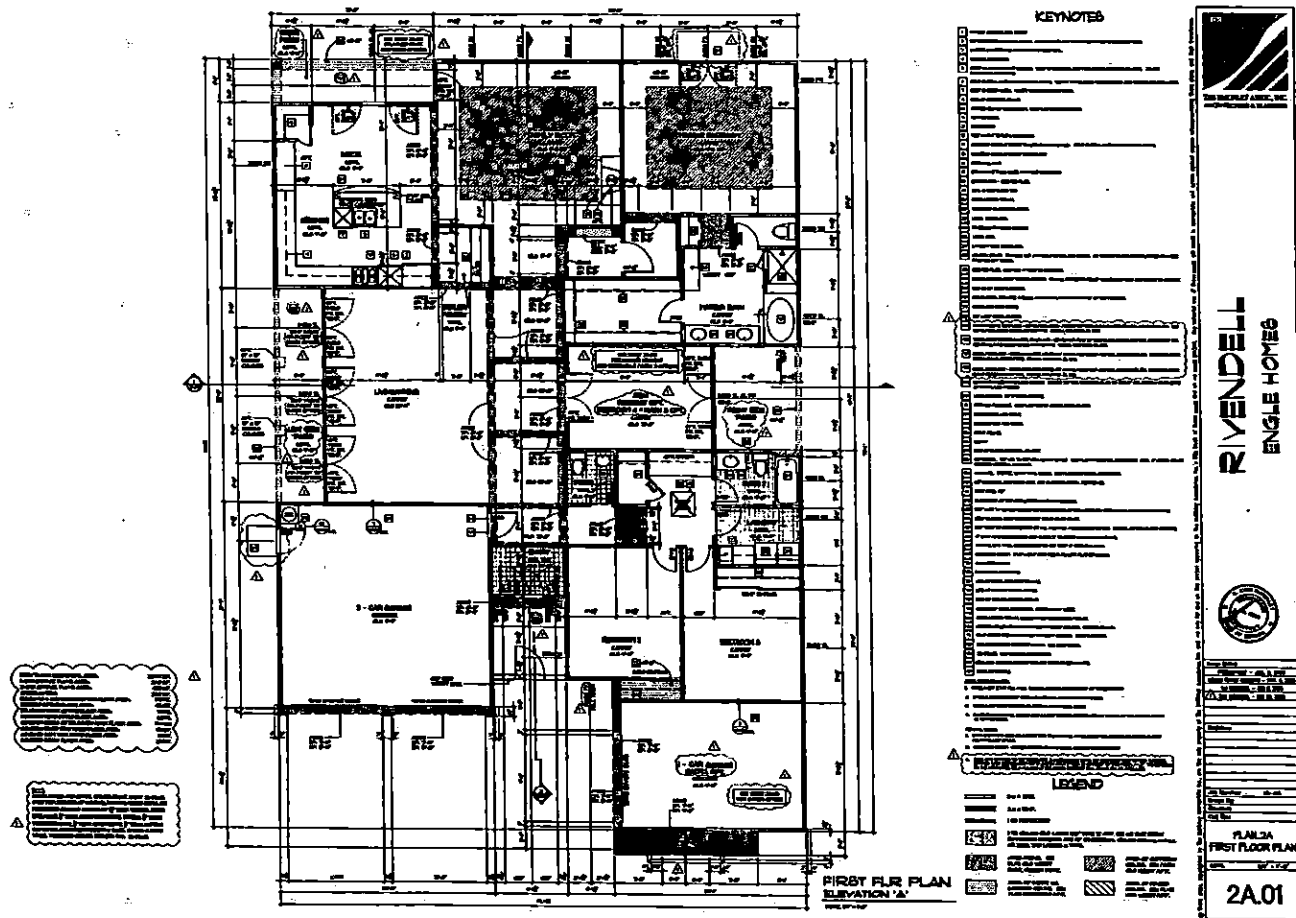
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 2. **Client:** [Client Name]
 3. **Project Manager:** [Project Manager Name]
 4. **Project Start Date:** [Project Start Date]
 5. **Project End Date:** [Project End Date]
 6. **Project Budget:** [Project Budget]
 7. **Project Status:** [Project Status]
 8. **Project Description:** [Project Description]
 9. **Project Objectives:** [Project Objectives]
 10. **Project Deliverables:** [Project Deliverables]
 11. **Project Risks:** [Project Risks]
 12. **Project Stakeholders:** [Project Stakeholders]
 13. **Project Communication:** [Project Communication]
 14. **Project Reporting:** [Project Reporting]
 15. **Project Approval:** [Project Approval]

**PLAN 1A
EXT. ELEVATIONS
AND ROOF PLAN**

1A.04

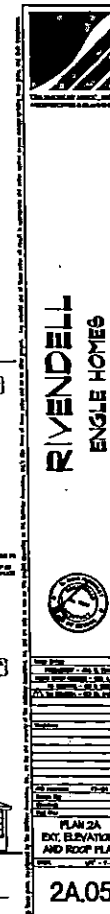
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SDR-17740

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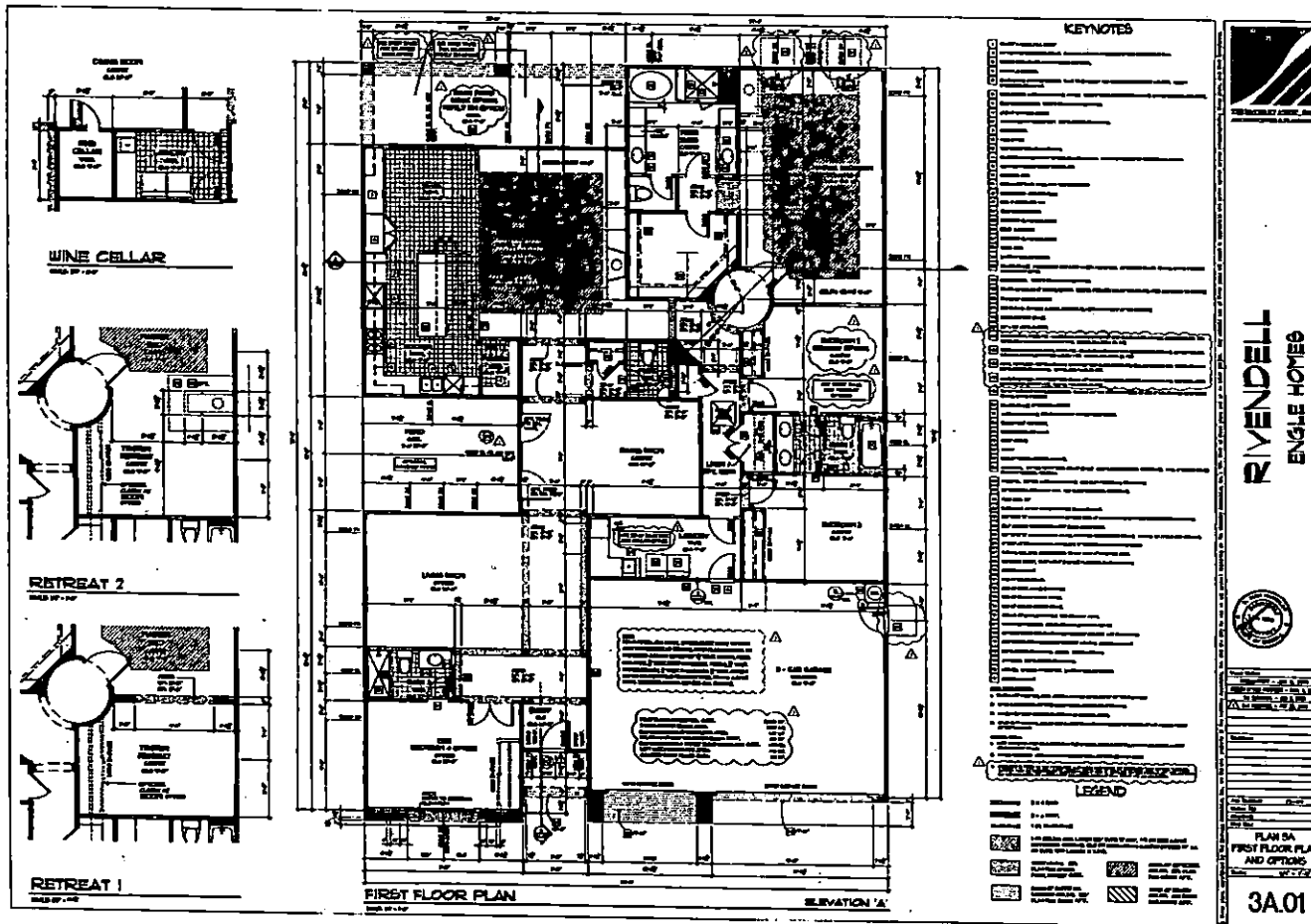


01/25/07 PC
SDR-17249

01/25/07
03/2006

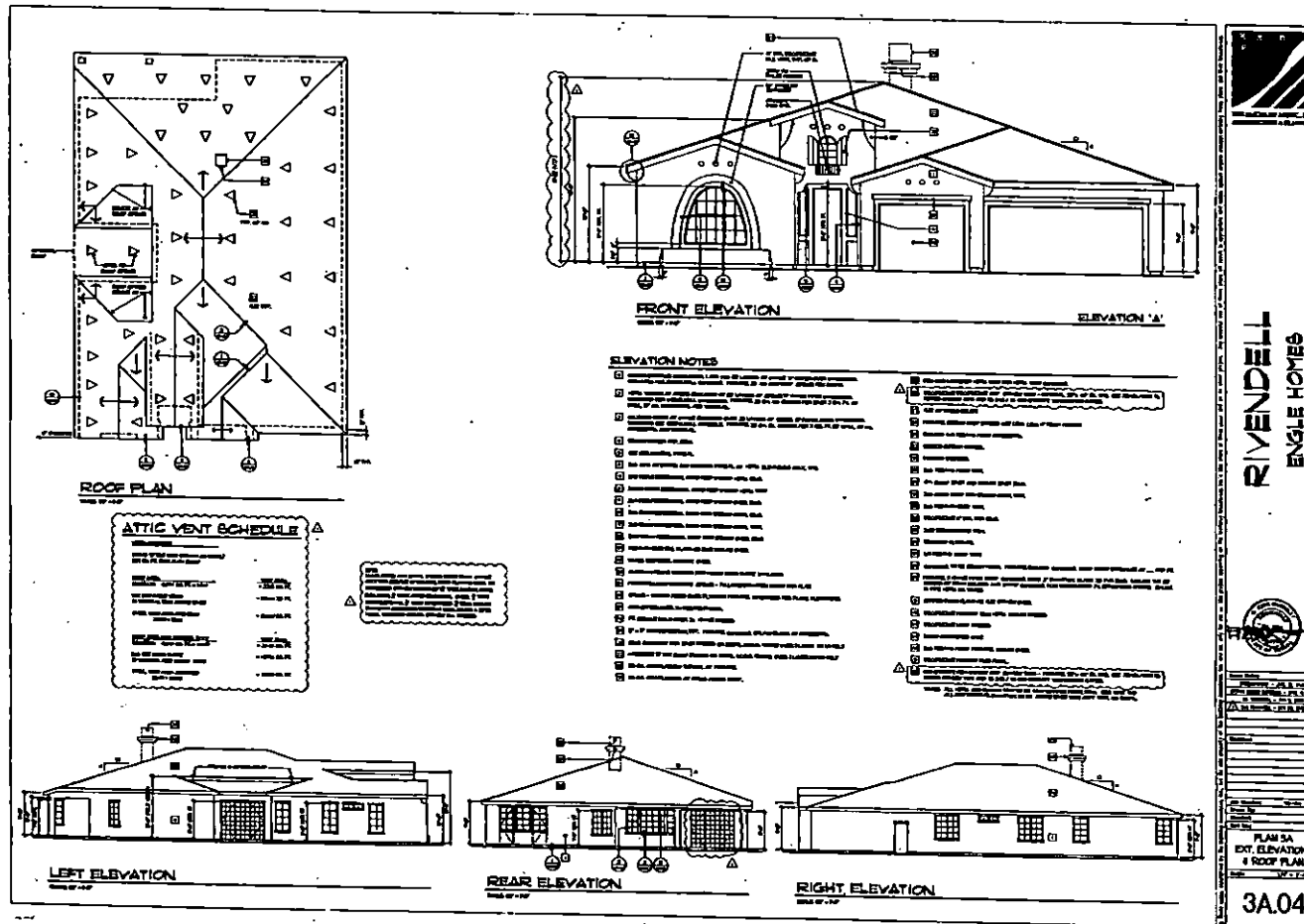


01/25/07 PC



SDR-17249
01/25/07 PC

REVISED
OCT 02 2006

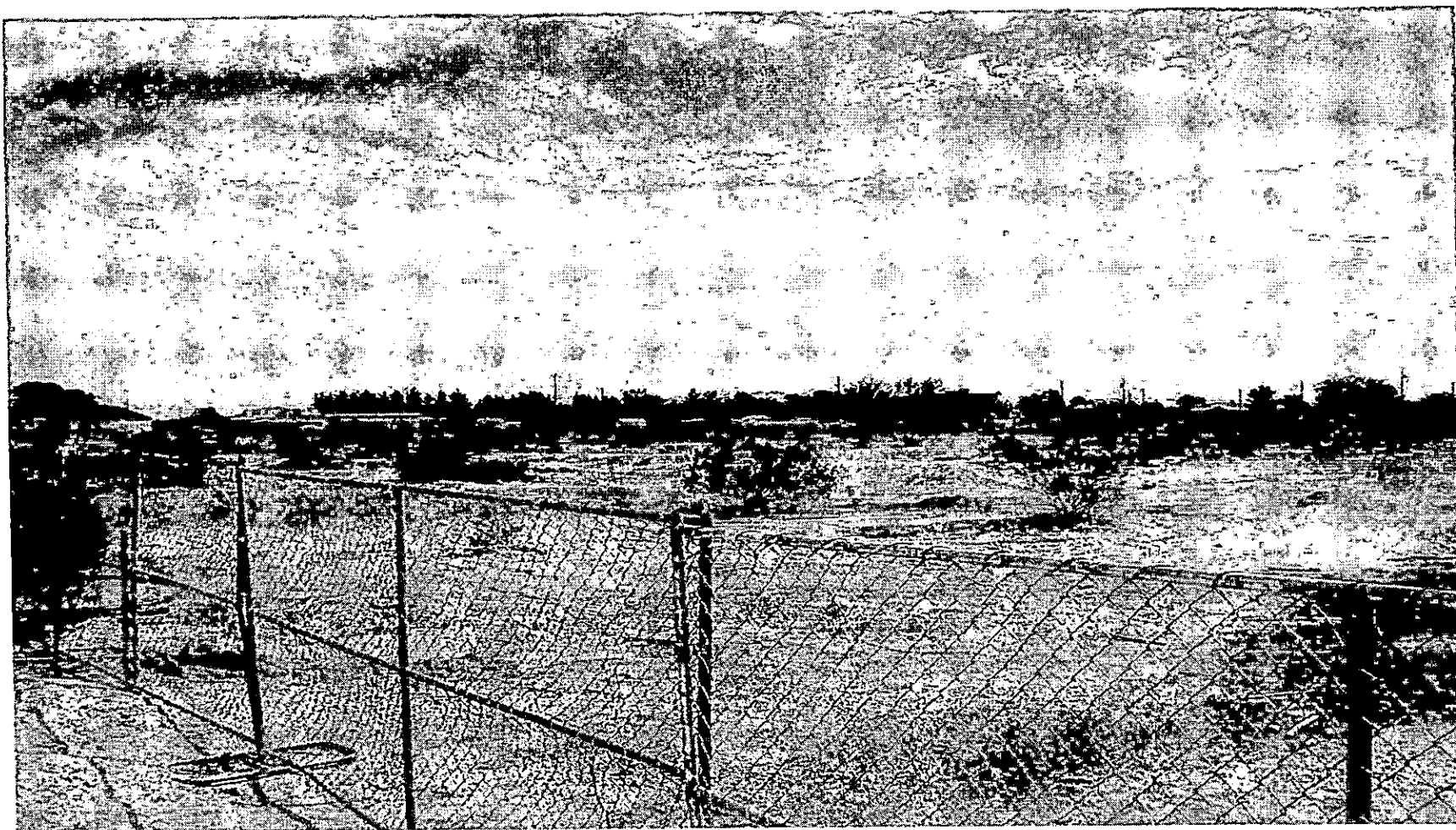


SNR-72AQ

01/25/07 PC

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SDR 17249				
Wright Engineers				
SS Mello, E of Jones				
Proposed 9 lot single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	9	9.57	86
AM Peak Hour			0.75	7
PM Peak Hour			1.01	9
(heaviest 60 minutes)				
Existing traffic on all nearby streets: counts not available for Mello Avenue				
Jones Boulevard				
Average Daily Traffic (ADT)	12,376			
PM Peak Hour	990			
(heaviest 60 minutes)				
Bradley Road				
Average Daily Traffic (ADT)	1,422			
PM Peak Hour	114			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
Adjacent street ADT				
Capacity				
Jones Boulevard	49115			
Bradley Road	16200			
This project will add approximately 86 trips per day on Mello, Jones and Bradley. This will increase expected volumes by less than one percent on Jones and about six percent on Bradley. Jones is at about 25 percent of capacity and Bradley is at about 9 percent of capacity. Counts are not available for Mello, but it is believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 9 additional cars into the area; which works out to about two every thirteen minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



September 28, 2006

CITY City of Las Vegas
PLANNING Planning and Development Department
STRUCTURAL 731 South 4th Street
MECHANICAL Las Vegas, Nevada
ELECTRICAL 89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

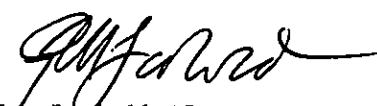
The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leibold, AICP
Director of Planning

SDR-17249

01/25/07 PC

January 10, 2007

Dear Mayor Goodman, Councilman Ross, and Planning Commissioners,

We the residents of Mello Avenue have had two community meetings concerning the 5 acres on Mello Avenue identified as APN# 125-24-302-005. The first meeting occurred in the later part of December, the discussion resulted in the resolution of the following issues:

1. Lot sizes to measure ½ acre net(not to the middle of the street)
2. Four houses to face Mello Avenue to create a community atmosphere.
3. The amount of homes should be established by the amount of net ½ acre lots not to exceed 9 dwellings.

The second meeting occurred on January 9, 2007 resulting in two concepts which we do not agree with whatsoever. Originally two story houses had been limited, during the second meeting they offered either 9 two story homes or 10 single story structures on lots measuring ½ acre to the middle of the street. We do not agree with either of their concepts that they have presented to us. The second meeting has brought into question their integrity and their ability to comply with the established ½ acre net lot parameters.

In summation the residents of Mello Avenue agree to the following:

1. Retain our R-E zoning
2. Retaining our horse zoning
3. Lot sizes measuring ½ acre net
4. 4 homes to face Mello
5. 2 entries into the development
6. No street lights
7. No side walks & curbs
8. No two story homes
9. Meet all elevation concerns and flood issues which may arise from the new elevations

In closing after the appropriate easements are taken into consideration and any other adjustments are made to the acreage, the lots will remain ½ acre net and the developer will decrease the amount of homes to accommodate the site. We will not agree to more than 9 houses or any two story dwellings.

We the residents of Mello Avenue unanimously agree to the above noted and hereby accept this by signing the attached page.

Thank You for your time and consideration on this topic,

The Residents of Mello Avenue

2007 JAN 17 P 2:03

CITY CLERK
RECEIVED
Submitted after final agenda

Date 1/17/07 Item #27

R. E Lynn Ray Lynn 5501 Mello Ave 645-5456
 Maureen Lynn MAUREEN Lynn " " " "
 Michael L Hendrix MICHAEL L HENDRIX 5940 Mello Ave 658-5251
 Grace K Hendrix GRACE K HENDRIX 5940 Mello Ave 645-9609
 Stan A Witz STAN A WITZ 5900 Mello Ave 222-9557
 Christina R. Witz CHRISTINA R. WITZ 5900 Mello 738-2502
 Linda Suarez LINDA SUAREZ 5711 Mello Ave. — 348-7335 cell.
 Andree Suarez Andree Suarez 5711 Mello Ave 348-7542
 Juan A Cosio JUAN A COSIO 5601 Mello Ave 645-3515
 Barbara Cosio BARBARA COSIO 5601 Mello Ave 645-3515
 George Cole II GEORGE COLE II 5701 Mello Ave 207-2306
 Lori Cole LORI COLE 5701 Mello Ave 207-2306
 G. Sheldon Green, M.D. G. SHELDON GREEN, M.D. 5700 Mello Ave 645-0325
 Celino P Green CELINO P GREEN 5700 Mello Ave 645-0375
 Esther P. Green ESTHER P. GREEN 5700 Mello Ave 243-2500
 Adam Eckel ADAM ECKEL 5800 Mello Ave 877-2192
 Heidi Eckel HEIDI ECKEL 5800 Mello Ave 877-2192
 TRICIA GERLEN TRICIA GERLEN 5810 Mello Ave 658-8624
 Bryan GERLEN BRYAN GERLEN 5810 Mello Ave 658-8624
 J. EARL PEFFY J. EARL PEFFY 5850 Mello Ave. 645-0310
 Marcia Geil MARCIA GEIL 5921 Mello Ave 658-9324
 ROBERT G GEIL ROBERT G GEIL 5921 Mello Ave 658-9326
 Barbara Sue Geil BARBARA SUE GEIL 5921 Mello Ave 658-9326
 Valerie Schram VALERIE SCHRAM 5600 Mello Ave (C) 419-3193
 Dennis Banto DENNIS BANTO 5655 Mello Ave 656-5966
 Sylvia Banto SYLVIA BANTO 5655 Mello Ave

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - ZON-17250 - REZONING - PUBLIC HEARING - APPLICANT/OWNER:
TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO:
R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 3.58 acres at
the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through
008), Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DUNNAM – APPROVED subject to conditions – UNANIMOUS

To be heard by the City Council on 2/21/2007

MINUTES:

CHAIRMAN DAVENPORT declared the Public Hearing open for Item 28 [ZON-17250], Item 29 [VAR-17253] and Item 30 [SDR-17254].

ANDY REED, Department of Planning and Development, stated that lot sizes and setbacks associated with the proposal are not compatible with existing development in the area and would allow six-foot high walls on Jo Marcy Drive where none currently exist. He recommended denial.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 28 – ZON-17250

MINUTES – Continued:

DAVE CLAPSADDLE, GC Garcia, 1711 Whitney Mesa Drive, Henderson, Nevada, appeared on behalf of the applicant and depicted the existing development pattern in the area. The site plan proposed reflected lots of at least 18,000 square feet. Two neighborhood meetings were held and as an outcome of concerns expressed, MR. CLAPSADDLE agreed to provide 24-inch boxed trees, 20 feet on center on the north and west property lines. He also agreed that no more than 50 percent of the homes would be two story and that horses would be allowed per City Code. He agreed to all conditions and respectfully requested approval.

VINCENT JAMES WALTER WALLEY, III, appeared to comment as the civil engineer of the project but MR. CLAPSADDLE indicated MR. WALLEY is not affiliated with the applicant.

TODD FARLOW, 240 North Nineteenth Street, disagreed with the idea to limit the subject parcel to only 50 percent two-story homes. It is in the City's best interest to promote sustainable housing and more energy efficient homes. He suggested that applicants be required to provide more energy efficient homes in exchange for approval of Variances.

MR. CLAPSADDLE acknowledged a letter submitted by two neighbors and confirmed that he had spoken with them and obtained their support of the project. In response to MR. FARLOW'S comments, he stated that the proposal has benefited the community since dialogue between the neighbors and developer has produced the aforementioned agreements. Had the project not required a public hearing and/or neighborhood meetings, two-story homes could have been erected without any neighborhood input.

COMMISSIONER GOYNES concurred with MR. FARLOW'S comments and suggested that all developers consider building energy efficient homes. COMMISSIONER TROWBRIDGE expressed support of Green Buildings but stated it would not be proper for the Commission to extort concessions from developers at this stage.

COMMISSIONER DUNNAM suggested adding a condition to require a landscape easement along the north and west property lines to ensure that the trees mentioned would be planted. MR. CLAPSADDLE agreed and clarified that it would be the responsibility of the developer to install proper landscaping rather than the homeowners of each lot.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 28 [ZON-17250] and Item 29 [VAR-17253] and Item 30 [SDR-17254].

(6:48 – 7:03)

1-1540

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 28 – ZON-17250

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17254) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

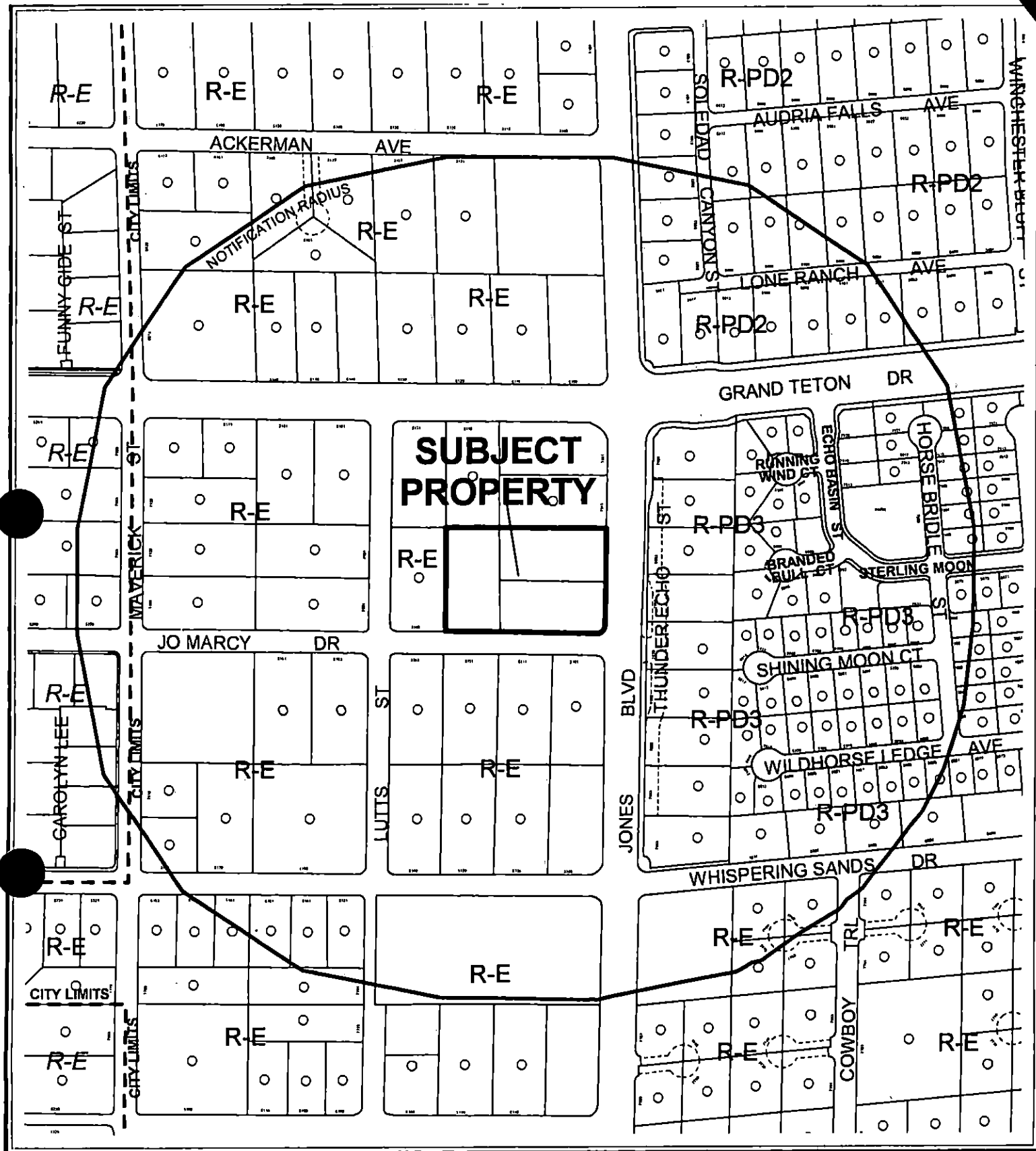
3. Dedicate the additional right-of-way necessary to complete the taper required by Standard Drawing #201.1 for the intersection of Jones Boulevard and Grand Teton Drive that extends along Jones Boulevard at the northeast corner of this site.
4. Construct half-street improvements including appropriate transition paving on Jo Marcy Drive and Jones Boulevard adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). Alternatively, if allowed by the City Engineer, offsite improvements on Jones Boulevard may be satisfied through participation in the Jones Boulevard – Elkhorn Road to Horse Drive public improvement project.
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.
6. Extend public sewer in Jo Marcy Drive to the western edge of this site at a size, depth and location acceptable to the Collection System Planning section of the Department of Public Works. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 28 – ZON-17250

CONDITIONS – Continued:

approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: **ZON-17250**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)



CASE: **ZON-17250**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - ZON-17250 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17254) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate the additional right-of-way necessary to complete the taper required by Standard Drawing #201.1 for the intersection of Jones Boulevard and Grand Teton Drive that extends along Jones Boulevard at the northeast corner of this site.
4. Construct half-street improvements including appropriate transition paving on Jo Marcy Drive and Jones Boulevard adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). Alternatively, if allowed by the City Engineer, offsite improvements on Jones Boulevard may be satisfied through participation in the Jones Boulevard – Elkhorn Road to Horse Drive public improvement project.
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

ZON-17250 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

6. Extend public sewer in Jo Marcy Drive to the western edge of this site at a size, depth and location acceptable to the Collection System Planning section of the Department of Public Works. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17250 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed rezoning to and R-PD2 (Residential Planned Development – 2 Units Per Acre) is not considered appropriate for this location. The parcel does not meet the minimum lot size for Residential Planned Development and a Variance (VAR-17253) is required. The lot sizes that result from this rezoning are approximately 1,500 square feet smaller than what is currently permitted on this property; however, the lot sizes are only half the size of the existing adjacent lots. The setbacks that would result are more closely related to those of higher density development rather than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

Related Relevant City Actions by P&D, Fire, Bldg., etc.	
12/21/06	This item and companion items for a Site Development Plan Review (SDR-17254) and a Variance (VAR-17253) were held in abeyance at the request of the applicant.
01/25/07	Companion items for a Site Development Plan Review (SDR-17254) and a Variance (VAR-17253) will be heard concurrently with this item.
Related Building Permits/Business Licenses	
There are no permits or licenses related to this development.	
Pre-Application Meeting	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
Neighborhood Meeting	
A neighborhood meeting is not required, nor was one held.	

Details of Application Request	
Site Area	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

NG

ZON-17250 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency requirements do not apply to the proposed development.

ZON-17250 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2 Units Per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	DR (Desert Rural Density Residential)	2.49 Units Per Acre

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces pre dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is not considered appropriate. The parcel does not meet the requirements of Title 19.06.040 for Residential Planned Development as it is less than five acres in area. The subject property is 28 percent deficient in area. This deviation requires a Variance (VAR-17253) and denial of that variance is recommended. It is further noted that this rezoning would permit the applicant to develop an additional three lots on the property than what adjacent development typically would have. The smaller lots create shorter setbacks which resemble a higher density development. Together these changes would make the site incompatible with the surrounding neighborhood. Denial of this request is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **“The proposal conforms to the General Plan.”**

While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes and the required Variance.

NG

ZON-17250 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

2. **“The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”**

The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller than adjacent lots and additional deviations from standards that make the proposed project incompatible with the area.

3. **“Growth and development factors in the community indicate the need for or appropriateness of the rezoning.”**

Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining additional lots over what would otherwise be permissible under the current zoning designation.

4. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district.”**

The site gains access via a cul-de-sac from Jo Marcy Drive. The addition of six lots will cause an increase in traffic on this portion of Jo Marcy Drive.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with VAR-17253 & SDR-17254]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17250** APN: 125-14-506-006, 007, and 008

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

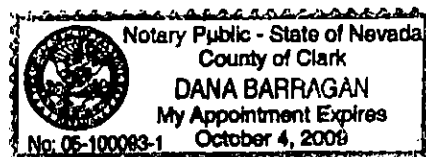
APN _____

Signature of Property Owner: Cheryl Ryz

Print Name: Cheryl Ryz

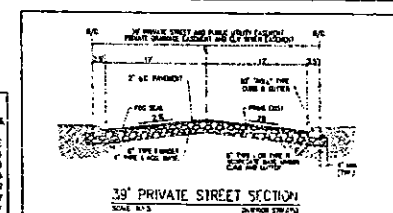
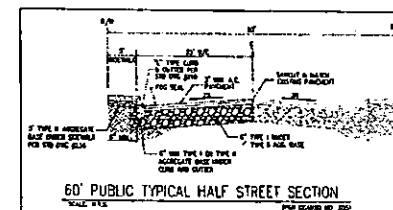
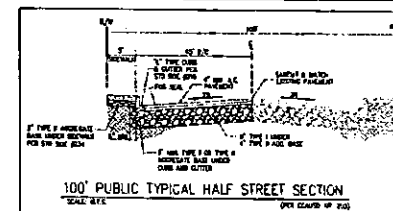
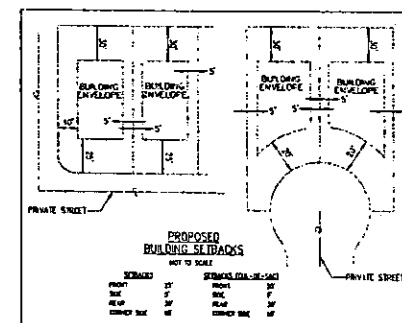
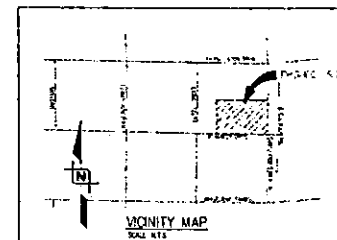
Subscribed and sworn before me

This 21st day of September, 2006
Dana Barragan
Notary Public in and for said County and State



SITE PLAN FOR FALCON CREST UNIT 3 BY ENGLE HOMES

**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT -2 UNITS PER ACRE)
APN #125-14-504-006, 007 & 008**



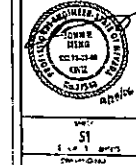
WRIGHT
client driven
PLANNING AND DESIGN
1400 CALIFORNIA STREET, SUITE 100
SAN FRANCISCO, CA 94109
415.774.8800
WWW.WRIGHTPLANNING.COM

DATE	BY	REVISION

DATE	BY	REVISION

DATE	BY	REVISION

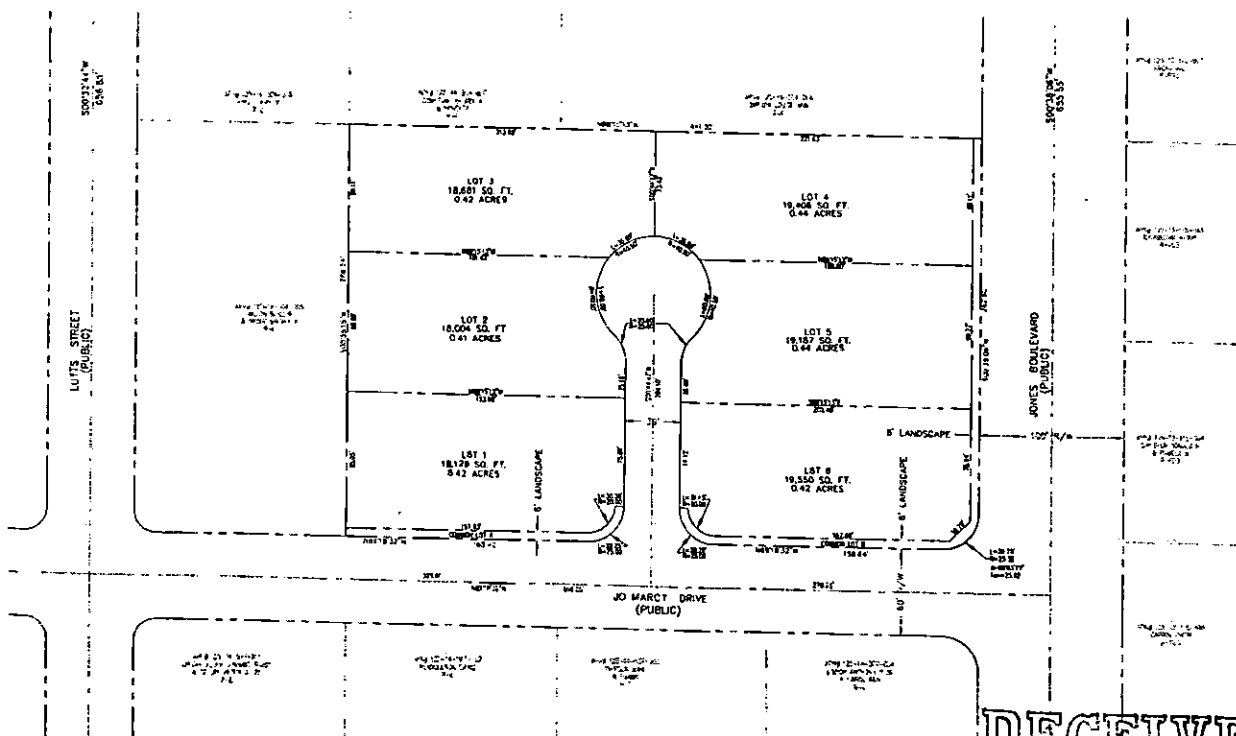
DATE	BY	REVISION



RECEIVED
01/25/07 PC
70N-17250
FEB 2 2006

SITE DATA	
APPROXIMATE PARCEL NUMBERS	125-14-504-006, 007 & 008
CURRENT ZONING	R-PD2
PROPOSED ZONING	R-PD2
GROSS ACRES	2.58
NUMBER OF LOTS	8
COMMON LOTS	1
SP/AC	14.7
UNPAVED LOT SIZE	18,000 SQ. FT.

ADDITIONAL INFORMATION	
ADDITIONAL INFORMATION	
ADDITIONAL INFORMATION	
ADDITIONAL INFORMATION	
ADDITIONAL INFORMATION	





September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Jones Boulevard and Jo Marcy Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

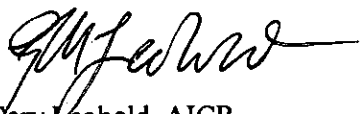
Our client intends to develop six single-family homes on the site. The site is currently designated DR (Desert Rural Density Residential) in the City's Master Plan, which allows for densities up to 2.49 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD developments; a request for a Variance to this requirement is also being filed.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,



Gary Leobold, AICP
Director of Planning

01/25/07 PC
ZON-17257

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - VAR-17253 - VARIANCE RELATED TO ZON-17250 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 3.58 ACRES WHERE 5.00 ACRES IS THE MINIMUM SITE AREA REQUIRED at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DUNNAM – APPROVED subject to conditions – UNANIMOUS

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 28 for related discussion.

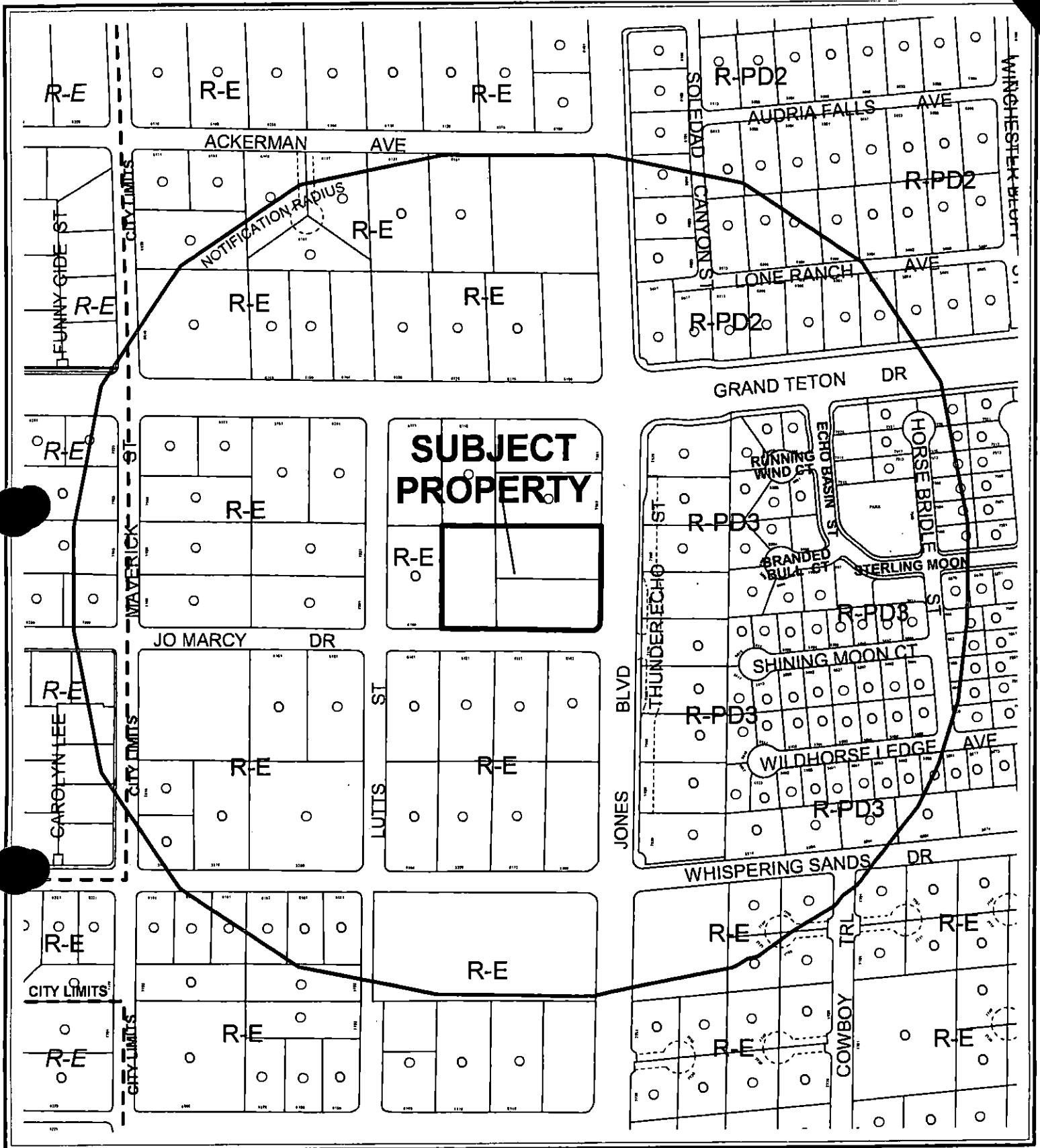
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1-1540

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 29 – VAR-17253

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17253) and Site Development Plan Review (SDR-17254), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



CASE: **VAR-17253**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-17253 - APPLICANT/OWNER: TOUSA HOMES, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17253) and Site Development Plan Review (SDR-17254), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17253- Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is located on 3.58 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 72 percent of the required area. This is a 28 percent deviation from Title 19.06.040 standards. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property; therefore, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/06	This item and companion items for a Rezoning (ZON-17250) and a Site Development Plan Review (SDR-17254) were held in abeyance at the request of the applicant.
01/25/07	Companion items for a Rezoning (ZON-17250) and a Site Development Plan Review (SDR-17254) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

NG

VAR-17253- Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

Residential Adjacency Standards

Residential Adjacency requirements do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	DR (Desert Rural Density Residential)	2.49 Units Per Acre

VAR-17253- Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development is located on 3.58 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 72 percent of the required area. This is a 28 percent deviation from Title 19.06.040 standards.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. This particular development is an infill parcel. The adjacent parcels are zoned R-E (Residence Estates). The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.040. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property; therefore, denial of this request is recommended.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

VAR-17253- Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through requesting a zoning district that does not meet Code requirements. Alternative zoning would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with ZON-17250 & SDR-17254]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17253** APN: 125-14-506-006, 007, and 008
Name of Property Owner: Tousa Homes
Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

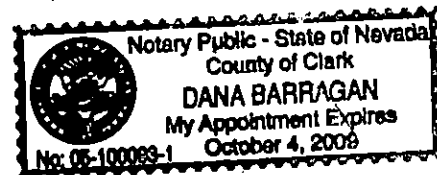
Signature of Property Owner: _____

Print Name: Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September, 20 06

Dana Barragan
Notary Public in and for said County and State





September 28, 2006

CIVIL City of Las Vegas
Planning and Development Department
STRUCTURAL 731 South 4th Street
Las Vegas, Nevada
MECHANICAL 89101

Dear Ladies/Gentlemen:

PLEASE ACCEPT THIS LETTER FROM WRIGHT ENGINEERS ON BEHALF OF OUR CLIENT, TOUSA HOMES, INC., AS THE justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Jones Boulevard and Jo Marcy Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

Our client intends to develop six single-family homes on the site. The site is currently designated DR (Desert Rural Density Residential) in the City's Master Plan, which allows for densities up to 2.49 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD developments; a request for a Variance to this requirement is also being filed.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

VAR-17253
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17254 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17250 AND VAR-17253 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED SIX-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 3.58 acres at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DUNNAM – APPROVED subject to conditions and adding the following conditions as read for the record:

- There shall be no more than 50 percent one-story homes and 50 percent two-story homes.
- 24-inch boxed trees, 20 feet on center, should be planted within a five foot landscape easement on the north and west property lines.
- **UNANIMOUS**

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 28 for related discussion.

(6:48 – 7:03)

1-1540

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 30 – SDR-17254

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17250) and Variance (VAR-17253, if approved).
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 18,004 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 25 feet to the front of the house, 20 feet if on a cul-de-sac, as measured from back of sidewalk or from back of curb if no sidewalk is provided, five feet on the side, ten feet on the corner side, and 30 feet in the rear.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Air conditioning units shall not be mounted on rooftops.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

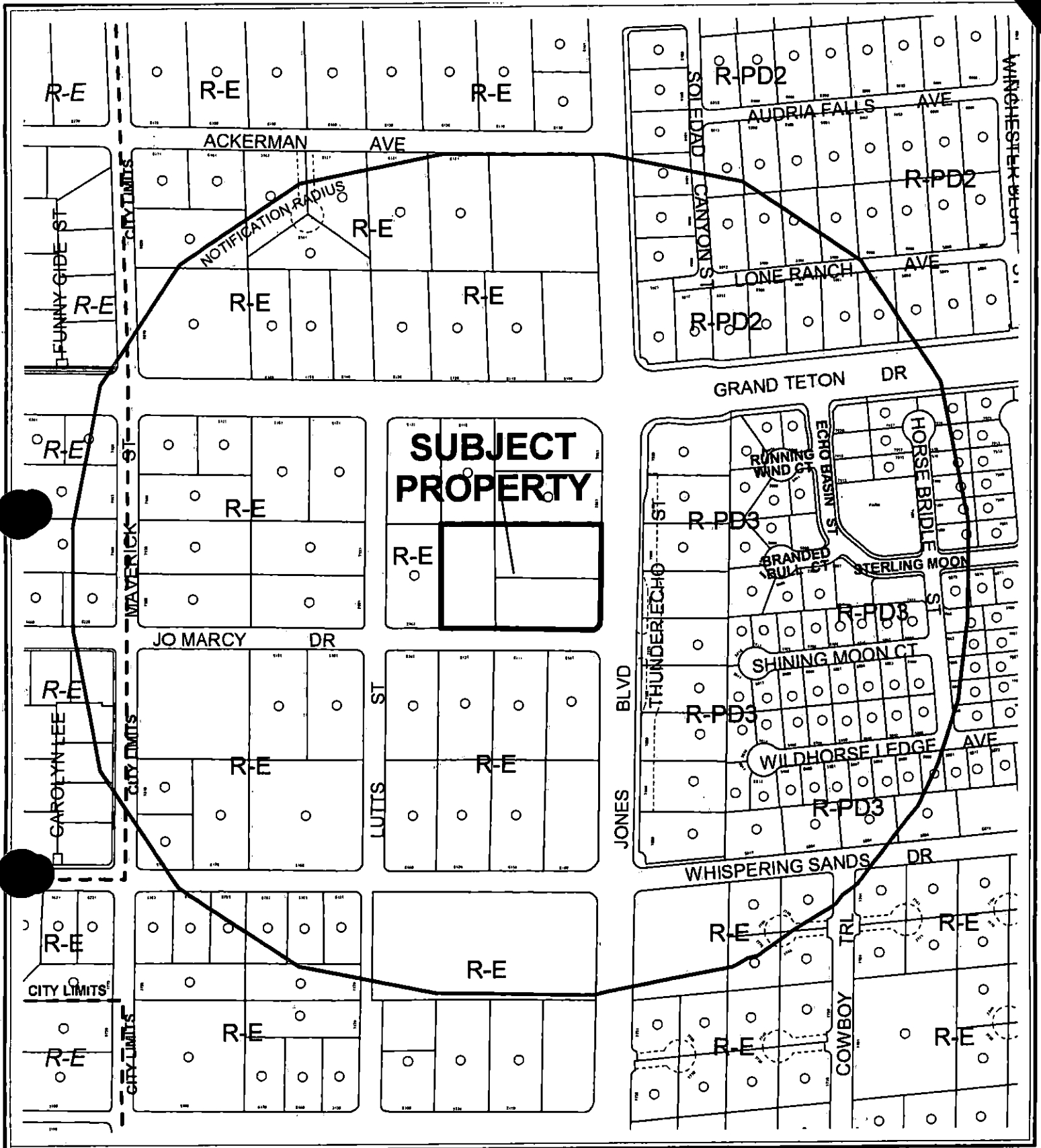
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 30 – SDR-17254

CONDITIONS:

11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. The Final Map for this site shall be labeled as a "Merger and Re-subdivision".
14. The private entry street shall not be gated.
15. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17250 and all other applicable site-related actions.
17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.



CASE: **SDR-17254**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: ABEYANCE - SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17250) and Variance (VAR-17253, if approved).
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 18,004 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
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7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

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SDR-17254 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

9. Air conditioning units shall not be mounted on rooftops.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

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13. The Final Map for this site shall be labeled as a "Merger and Re-subdivision".
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SDR-17254 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is for a six-lot single-family residential subdivision. The site would be accessed by a cul-de-sac off Jo Marcy Drive. The project requires a variance to allow a Residential Planned Development on less than five acres. This Variance (VAR-17253) is not supported as this is considered a self-imposed hardship. The proposed development standards more closely match that of higher density development rather than the R-E (Residence Estates) District that is currently in place on the site. The rezoning would permit six lots where three lots would be typical of adjacent development. Due to the deviations from standards and smaller lot sizes than the adjacent property, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/06	This item and companion items for a Rezoning (ZON-17250) and a Variance (VAR-17253) were held in abeyance at the request of the applicant.
01/25/07	Companion items for a Rezoning (ZON-17250) and a Variance (VAR-17253) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

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SDR-17254 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency requirements do not apply to the proposed development.

SDR-17254 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-E (Residence Estates)	2 units per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – Two Units per Acre)	2.49 Units per Acre	DR (Desert Rural Density Residential)	2.49 Units per Acre

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development would consist of six lots. The smallest lot is 18,004 square feet. The largest lot is 19,406 square feet. The current R-E (Residence Estates) zone permits a minimum lot size of 20,000 square feet; however, lot sizes in the area are over 40,000 square feet. Three lots would fit onto this property rather than the six that the applicant is proposing. The front and rear yard setbacks that are proposed are similar to the setbacks for the R-D (Single-family Residential-Restricted) District. The side yard setback is only five feet. This setback is typically reserved for the R-1 (Single-family Residential) and higher density districts.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. The adjacent parcels are zoned R-E (Residence Estates). The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.

SDR-17254 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
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SDR-17254 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

The proposed development would have six lots and would not require open space. The applicant is providing the required six-foot wide streetscape along both Jones Boulevard and Jo Marcy Drive. The site is located in a Rural Preservation Overlay District (RPOD), this allows a maximum of two dwelling units per acre. This proposed development as a density of 1.68 units per acre and is in compliance with the requirements of the RPOD.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

The proposed development is not compatible with the surrounding area. The development proposes six lots where adjacent lot sizes would indicate three lots would be typical of this area. The site gains access from a cul-de-sac from Jo Marcy Drive. Adjacent development takes access directly from the main street rather than a cul-de-sac. The setbacks that are proposed in the side yards reflect what is typical of higher density development. Due to the incompatibility with the surrounding area, denial of this request is recommended.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is not consistent with Title 19. The project requires a Variance (VAR-17253) to allow a Residential Planned Development on less than five acres. Additionally, the project does not meet the intent of the Residential Planned Development District as defined in Title 19.06.040. Due to these deviations from Title 19, denial of this request is recommended.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access via a cul-de-sac from Jo Marcy Drive. The addition of six lots will cause an increase in traffic on this portion of Jo Marcy Drive.

SDR-17254 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

4. Building and landscape materials are appropriate for the area and for the City;

Building and landscape materials are appropriate for the area and the City of Las Vegas.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with ZON-17250 & VAR-17253]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17254** APN: 125-14-506-006, 007, and 008

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: _____

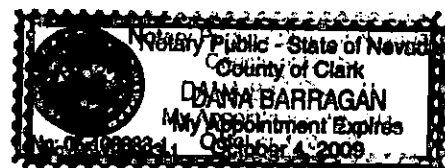
Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September 2006

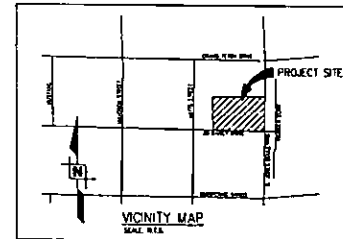
Dana Barragan

Notary Public in and for said County and State



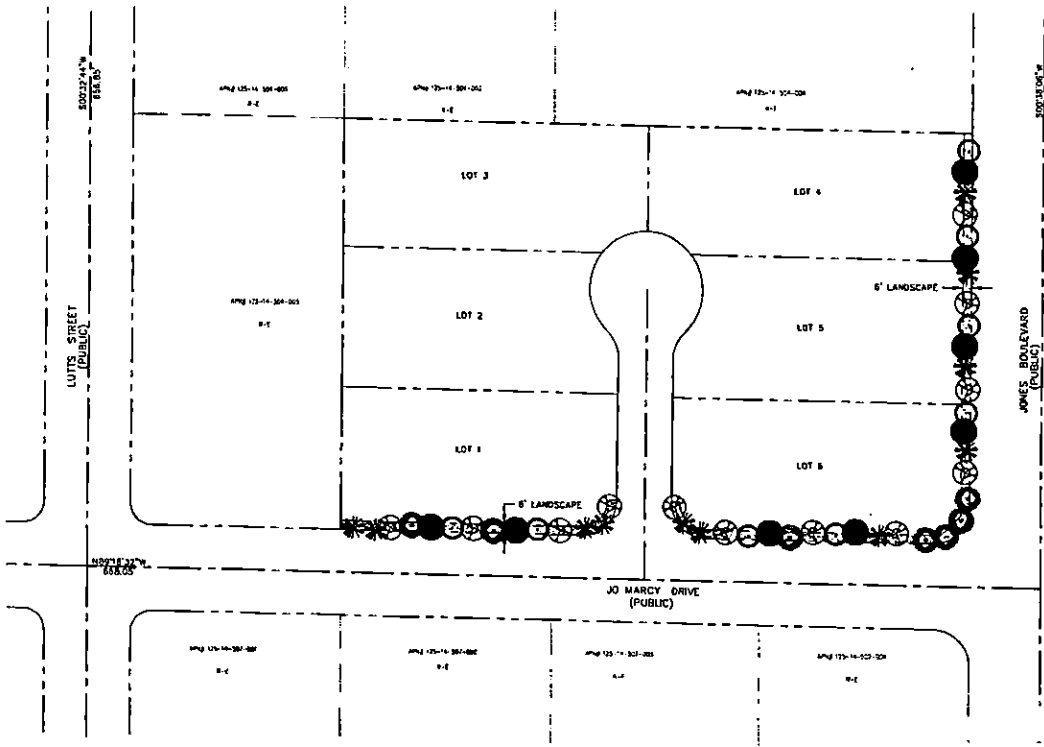
SITE PLAN FOR FALCON CREST UNIT 3 BY ENGLE HOMES

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT -2 UNITS PER ACRE)
APN #125-14-504-006, 007 & 008



WRIGHT
client driven
1411 W. LAS VEGAS BLVD., SUITE 100
LAS VEGAS, NV 89102
702.733.8888
WWW.WRIGHTDRIVE.COM

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PLANTING LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY
⊗	ACACIA BRUNEA SWEET ACACIA	24" BOX	12
●	CECROBIA SPINOSA DESERT MUSELY PLUM YUCCA	24" BOX	8
⊙	FOLIA BELLIDIANA PINK-LEAFED CACTUS	5 GAL	8
⊕	ROSEMARYS OFFICINALIS 'PROSTRATE' TRAILING ROSEMARY	5 GAL	7
✱	LANTANA NORTHERNSIDE TRAILING LANTANA	5 GAL	14
⊞	SANTA FE PINE DECOMPOSED GRASS	3/4"	4000 SF

NOTES:

- 1. WEEDS GRASS (WG) - INSTALL A 2" LAYER OF WEEDS GRASS CONTINUOUS TO ALL WITHIN LINE OF LANDSCAPE. UNDER ALL PLANT SHRUBS. COLOR TBS. BEFORE PLACING COMPACT SUB-GRADE TO BOX AND APPLY A 2" LAYER OF WEEDS GRASS TO SOIL. AFTER PLACING RAKE SMOOTH. SET TO ENTIRE DEPTH. ALLOW WITH LIGHTLY SCARIFY SURFACE WITH A LEAF. APPLY A SECONDARY APPLICATION OF WEEDS GRASS TO TOP OF GRANITE. KEEP "WHITE" 1" BELOW ADJACENT WALLS AND DO NOT ALLOW GRANITE TO TOUCH THE TRUNK LANE. INSTALL AFTER INSTALLATION OF PLANT. CONTRACTOR TO PROVIDE SAMPLE OF ROCK DONAL BY OWNER PRIOR TO INSTALLATION.

000-1725A
01/25/07 PC

BASES OF MAPS:
SOUTH 1/2 SECTION 14, TOWNSHIP 18 SOUTH, RANGE 80 EAST, N.M., CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS LOT 2, 3, AND 4 OF PARCEL MAPS FILE 36, PAGE 18.

LEGAL DESCRIPTION:
SITUATED IN THE NORTHWEST QUARTER (THE 1/4) OF SECTION 14, TOWNSHIP 18 SOUTH, RANGE 80 EAST, N.M., CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS LOT 2, 3, AND 4 OF PARCEL MAPS FILE 36, PAGE 18.

CLARK COUNTY: 1. THE ELEVATIONS SHOWN HEREON ARE BASED ON FEET.

Call before you OVERHEAD
1-702-227-2929

Call before you Dig.
1-800-227-2600

RECEIVED
OCT 02 2006
LST

BEDROOM 4 OPTION

SCALE: 1/8" = 1'-0"

2

FLOOR PLAN

SCALE: 1/8" = 1'-0"

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KEYNOTES

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SQUARE FOOTAGE

FLOOR AREA	BRK. S.F.
TOTAL	5000 S.F.
ENTRANCE	500 S.F.
ENTRANCE ELEVATION	75 S.F.
ENTRANCE ELEVATION	50 S.F.
ENTRANCE ELEVATION	75 S.F.
COVERED PORCH	500 S.F.
PORTICO ELEVATION	500 S.F.

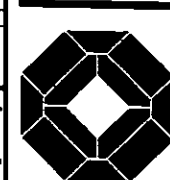
NOTE: SQUARE FOOTAGE SHOWN IN THIS PLAN IS BASED ON THE ASSUMPTION THAT ALL WALLS ARE 12" THICK AND ALL DOORS ARE 36" WIDE. SQUARE FOOTAGE SHOWN IN THIS PLAN IS BASED ON THE ASSUMPTION THAT ALL WALLS ARE 12" THICK AND ALL DOORS ARE 36" WIDE.

No.	Date	Revised / Description
1	3/28/05	ADD DEPT. 1000
2	4/28/05	ADD DEPT. 1000
3	5/28/05	ADD DEPT. 1000
4	6/28/05	ADD DEPT. 1000
5	7/28/05	ADD DEPT. 1000
6	8/28/05	ADD DEPT. 1000
7	9/28/05	ADD DEPT. 1000
8	10/28/05	ADD DEPT. 1000
9	11/28/05	ADD DEPT. 1000
10	12/28/05	ADD DEPT. 1000

Comments:

Project: BENNINGTON PARK

TOUSA HOMES Inc. dba
ENGLE HOMES
772 WEST SAHARA
LAS VEGAS, NV 89107
2004-0777



KTGY GROUP, Inc.
10000 W. Sahara Ave., Suite 100
Las Vegas, NV 89135
702.735.1234

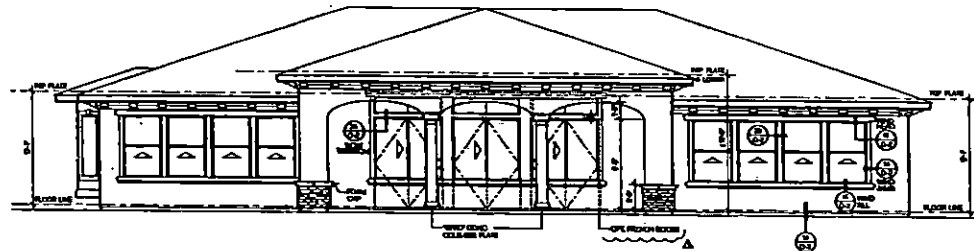
Project: Bennington Park
Project Director: J. TULLY
Project Manager: M. POWELL
Project Designer: J. TULLY

Sheet Title: PLAN 1
A' FLOOR PLAN AND OPTION

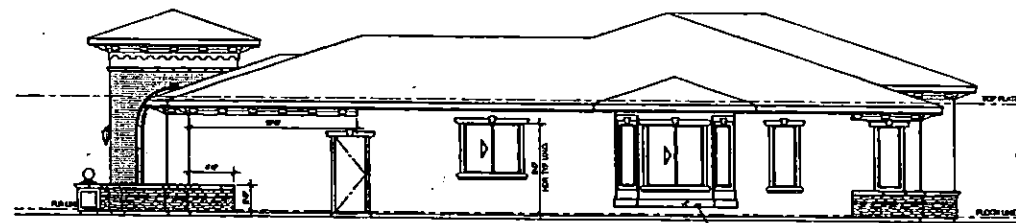
Scale: 1/8" = 1'-0"

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RIGHT

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0"

No.	Revised	Notes / Description
1		3/28/07 11:00 DEPT. CHARTER
2		3/28/07 11:00 DEPT. CHARTER
3		3/28/07 11:00 DEPT. CHARTER
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5		3/28/07 11:00 DEPT. CHARTER
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7		3/28/07 11:00 DEPT. CHARTER
8		3/28/07 11:00 DEPT. CHARTER
9		3/28/07 11:00 DEPT. CHARTER
10		3/28/07 11:00 DEPT. CHARTER

Project: **BENNINGTON PARK**
TOUSA HOMES Inc. d/b/a
ENGLE HOMES
772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOY GROUP, Inc.
 Architects • Builders
 1000 S. GARDEN AVENUE
 SUITE 100
 LAS VEGAS, NV 89102
 (702) 735-1111
 Fax: (702) 735-1112

Designed by: **CHONG** • **A. TSE**
 Project Manager: **M. POSENER**
 Project Designer: **M. SCHMIDT**
 Checked by: **A. TSE**

Sheet Title:
PLAN 1
1" EXTERIOR ELEVATIONS

Sheet No.: **A16A**

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FRONT PORCH PARTIAL ELEVATION

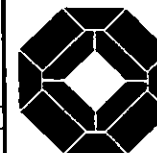


EXTERIOR ELEVATIONS



**BENNINGTON
PARK**

**TOUSA HOMES Inc. dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**



KTGY GROUP, INC.

JOHN HENRIKSEN, STAFF
SERVING, CA 94024

JOHN HENRIKSEN
JOHN HENRIKSEN

JOHN HENRIKSEN

Learning Objectives



FRONT ELEVATION w/o GARDEN WALL



ATTIC VENTILATION

[illegible]

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MAY 11 1987

4. **THE STATE OF TEXAS, COUNTY OF DALLAS, ss. I, _____, Clerk of the County Court, do hereby certify that the foregoing is a true and correct copy of the original of the same as the same is on file in my office.**

1997

References

WALL, G. L. & J. W. W. 1990. *Journal of the Royal Society of New Zealand* 10, 1-10.

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11. **Answer: A**—The passage states that the author is not sure whether the

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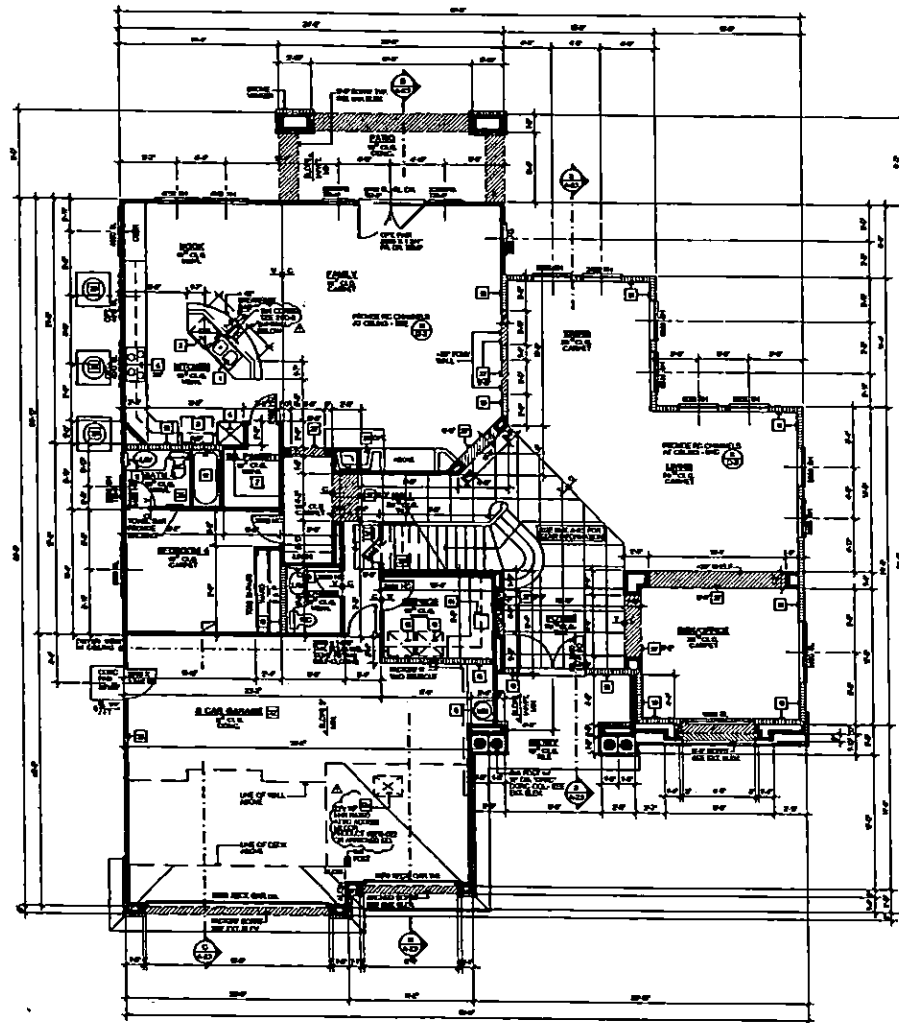
Prepared by: **CHARGE**
 Prepared by: **DESIGNER**
 Prepared by: **MANAGER**
 Prepared by: **ENGINEER**
 Checked by: **DATE**
 Sheet No. **PLAN 1**
"C" EXTERIOR ELEVATIONS
"C" ROOF PLAN

1999

A1.7

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FLOOR PLANS

SCALE: 1/8" = 1'-0"

KEYNOTES	
1	STAIRS AND ELEVATOR SHAFTS
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SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2223 S.F.
SECOND FLOOR	2223 S.F.
TOTAL	4446 S.F.
STAIRS	720 S.F.
BACK DECK	452 S.F.
WATER	452 S.F.
CORRY FAY ELEVATIONS	70 S.F.
CORRY WY ELEVATIONS	70 S.F.
CORRY CT ELEVATIONS	70 S.F.
FRONT DECK FAY ELEVATIONS	84 S.F.
FRONT DECK WY ELEVATIONS	84 S.F.
FRONT DECK CT ELEVATIONS	84 S.F.

Project: BENNINGTON PARK

Tousa Homes Inc. d.b.a. ENGLE HOMES
7712 WEST SARAH
LAS VEGAS, NV 89117
2004-0777

KTGYGROUP, INC.
KING TRAVIS
2004-0777

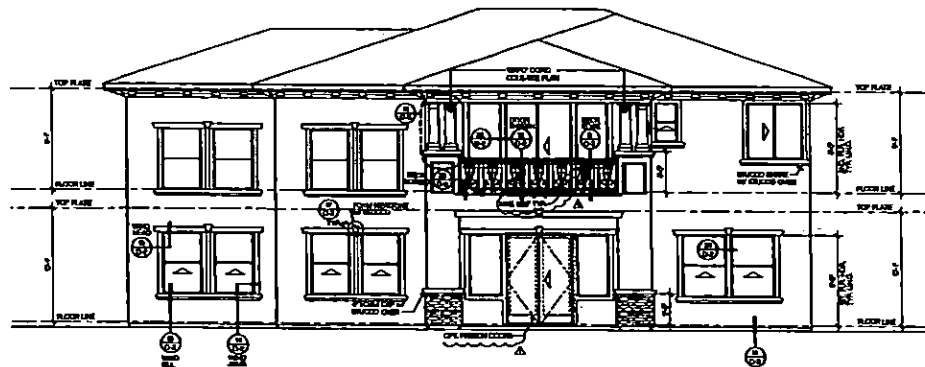
Project Manager: A. TRAY
Project Designer: M. FORSTER
Project Engineer: B. KILGUS
Contractor: A. TRAY

Sheet No.: A21

PLAN 2
FIRST FLOOR PLAN

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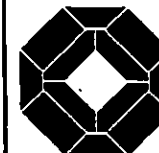
EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

No.	Revised	Quantity	Description
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9		1000	BRICK, RED, GLAZED
10		1000	BRICK, RED, GLAZED

Continued

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. d/b/a ENGLE HOMES
7712 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP

1000 WEST SAHARA, SUITE 100
LAS VEGAS, NV 89117
Phone: (702) 735-1111
Fax: (702) 735-1112

License: 00000000

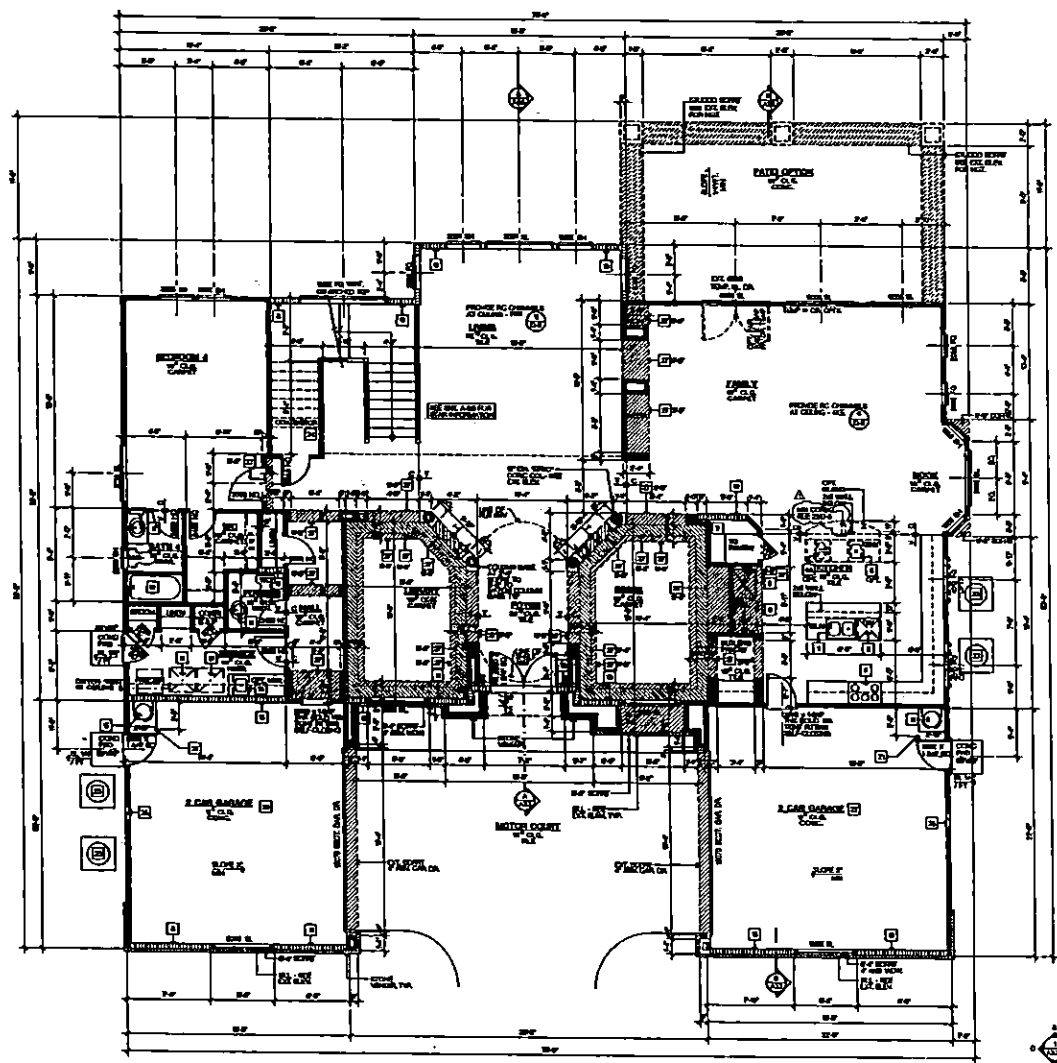
Printed in Charge: **A. TULLY**
Project Engineer: **M. FOWLER**
Project Manager: **M. SCARPA**
Project Designer: **A. TULLY**
Checked By: **A. TULLY**

Sheet Title:
PLAN 2
"R" EXTERIOR ELEVATIONS

Sheet No.:

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FIRST FLOOR PLAN AND OPTIONS

SCALE: 1/8" = 1'-0"

KEYNOTES

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. FINISHES: SEE SPECIFICATIONS.
- 3. FLOORING: SEE SPECIFICATIONS.
- 4. WALLS: SEE SPECIFICATIONS.
- 5. ROOFING: SEE SPECIFICATIONS.
- 6. PAINTS: SEE SPECIFICATIONS.
- 7. GLASS: SEE SPECIFICATIONS.
- 8. DOORS: SEE SPECIFICATIONS.
- 9. WINDOWS: SEE SPECIFICATIONS.
- 10. STAIRS: SEE SPECIFICATIONS.
- 11. ELEVATORS: SEE SPECIFICATIONS.
- 12. MECHANICAL: SEE SPECIFICATIONS.
- 13. ELECTRICAL: SEE SPECIFICATIONS.
- 14. PLUMBING: SEE SPECIFICATIONS.
- 15. FIRE PROTECTION: SEE SPECIFICATIONS.
- 16. SECURITY: SEE SPECIFICATIONS.
- 17. ACCESSIBILITY: SEE SPECIFICATIONS.
- 18. SCHEDULING: SEE SPECIFICATIONS.
- 19. MATERIALS: SEE SPECIFICATIONS.
- 20. CONSTRUCTION: SEE SPECIFICATIONS.

NOTES

- 1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
- 2. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL MATERIALS AND LABOR NOT SPECIFIED IN THE CONTRACT.
- 3. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL UTILITIES NOT SPECIFIED IN THE CONTRACT.
- 4. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL INSURANCE NOT SPECIFIED IN THE CONTRACT.
- 5. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL TAXES NOT SPECIFIED IN THE CONTRACT.
- 6. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL LEGAL FEES NOT SPECIFIED IN THE CONTRACT.
- 7. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHER FEES NOT SPECIFIED IN THE CONTRACT.
- 8. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL DELAYS NOT SPECIFIED IN THE CONTRACT.
- 9. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHERS NOT SPECIFIED IN THE CONTRACT.
- 10. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ALL OTHERS NOT SPECIFIED IN THE CONTRACT.

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2745 SF
SECOND FLOOR	1215 SF
TOTAL	4060 SF
REAR PATIO	402 SF
REAR DECK	402 SF
GARAGE 16 FT x 12 FT ELEVATION	402 SF
GARAGE 16 FT x 12 FT ELEVATION	402 SF
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GARAGE 16 FT x 12 FT ELEVATION	402 SF

Rev. Date: _____

Project: **BENNINGTON PARK**

Client: **TOUSA HOMES Inc. dba ENGLE HOMES**
 7772 WEST SAGARA
 LAS VEGAS, NV 89117
 2004-0777



KTOY GROUP, Inc.
 1000 S. RIVINGTON AVE.
 SUITE 100
 LAS VEGAS, NV 89101
 (702) 735-1111

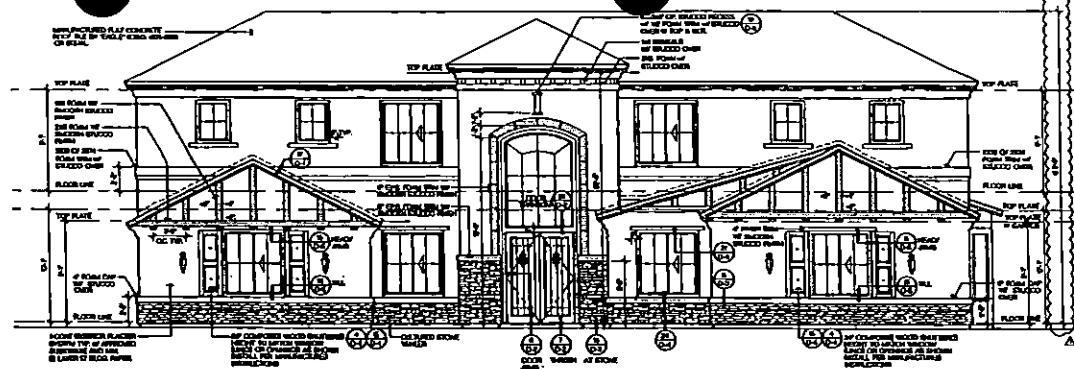
Prepared by: **A. TRAY**
 Project Engineer: **M. FORLIS**
 Project Manager: **M. SCHAFER**
 Checked by: **A. TRAY**

Drawn by: **PLAN 3**
"A" FIRST FLOOR PLAN AND OPTIONS

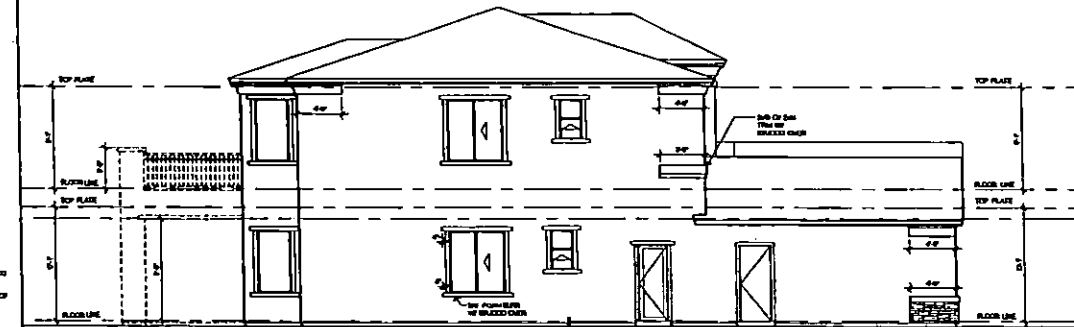
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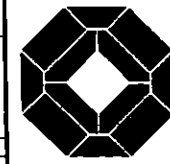
FRONT



LEFT

No.	Notes	Revision / Description
1	SPRINKLER	BLDG DEPTH 10.000000
2	SPRINKLER	BLDG DEPTH 10.000000
3	SPRINKLER	BLDG DEPTH 10.000000
4	SPRINKLER	BLDG DEPTH 10.000000
5	SPRINKLER	BLDG DEPTH 10.000000
6	SPRINKLER	BLDG DEPTH 10.000000
7	SPRINKLER	BLDG DEPTH 10.000000
8	SPRINKLER	BLDG DEPTH 10.000000
9	SPRINKLER	BLDG DEPTH 10.000000
10	SPRINKLER	BLDG DEPTH 10.000000

Project: **BENNINGTON PARK**
TOUSA HOMES Inc. d/b/a
ENGLE HOMES
 7872 WEST SAHARA
 LAS VEGAS, NV 89117
2004-0777



KTG GROUP, Inc.
 Architectural Division
 10000 SOUTHWEST AVE. SUITE 100
 MESA, AZ 85208
 (602) 944-1111
 Fax: (602) 944-1112
 Website: www.ktggroup.com

Prepared by: **A. RALLY**
 Project Director: **M. POWELL**
 Project Manager: **M. BOHANNAN**
 Project Engineer: **A. THAI**
 Checked by:

Sheet Title:
PLAN 3
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No.:

A3.4

ATTIC VENTILATION

Item	Description	Area (sq. ft.)	Notes
1	Attic Ventilation	10.00	See Notes
2	Attic Ventilation	10.00	See Notes
3	Attic Ventilation	10.00	See Notes
4	Attic Ventilation	10.00	See Notes
5	Attic Ventilation	10.00	See Notes
6	Attic Ventilation	10.00	See Notes
7	Attic Ventilation	10.00	See Notes
8	Attic Ventilation	10.00	See Notes
9	Attic Ventilation	10.00	See Notes
10	Attic Ventilation	10.00	See Notes

"A" ROOF PLAN

Scale: 1/8" = 1'-0"

"A" ROOF PLAN SCALE: 1/8" = 1'-0" 2

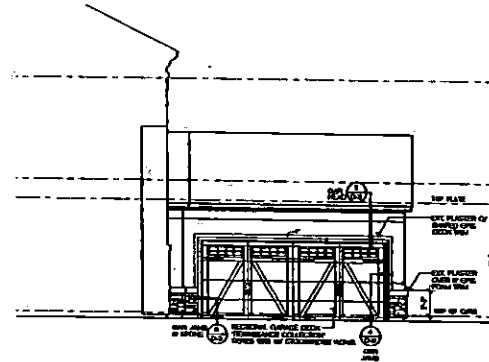
EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

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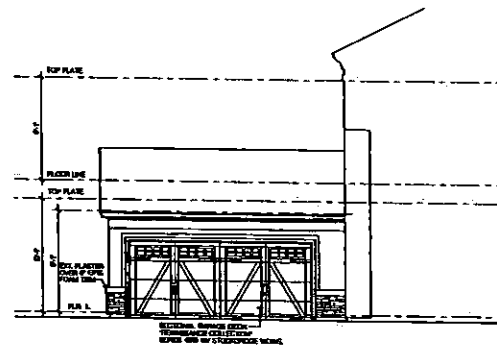
REAR



COURTYARD LEFT



RIGHT



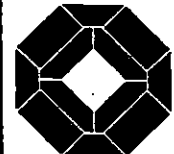
COURTYARD RIGHT

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

No.	Revised	Notes / Description
1		3/20/05 BLOCK DEPT. ELEVATIONS
2		3/20/05 BLOCK DEPT. ELEVATIONS
3		3/20/05 BLOCK DEPT. ELEVATIONS
4		3/20/05 BLOCK DEPT. ELEVATIONS
5		3/20/05 BLOCK DEPT. ELEVATIONS
6		3/20/05 BLOCK DEPT. ELEVATIONS
7		3/20/05 BLOCK DEPT. ELEVATIONS
8		3/20/05 BLOCK DEPT. ELEVATIONS
9		3/20/05 BLOCK DEPT. ELEVATIONS
10		3/20/05 BLOCK DEPT. ELEVATIONS
11		3/20/05 BLOCK DEPT. ELEVATIONS
12		3/20/05 BLOCK DEPT. ELEVATIONS
13		3/20/05 BLOCK DEPT. ELEVATIONS
14		3/20/05 BLOCK DEPT. ELEVATIONS
15		3/20/05 BLOCK DEPT. ELEVATIONS
16		3/20/05 BLOCK DEPT. ELEVATIONS
17		3/20/05 BLOCK DEPT. ELEVATIONS
18		3/20/05 BLOCK DEPT. ELEVATIONS
19		3/20/05 BLOCK DEPT. ELEVATIONS
20		3/20/05 BLOCK DEPT. ELEVATIONS

BENNINGTON PARK

TOUSA HOMES Inc. d/b/a
ENGLE HOMES
777 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTG GROUP, INC.
Architectural Firm

10000 AMERICA AVE
BIRMINGHAM, AL 35244

ONE BUILDING
ONE BIRMINGHAM PLAZA

Birmingham, Alabama

License Stamp

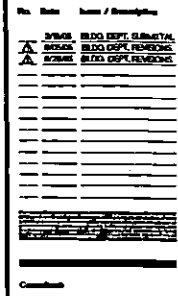
Prepared by: **A. TULLY**
Project Designer: **M. POWELL**
Project Manager: **M. SCHMIDT**
Project Designer: **A. TULLY**
Checked by: **A. TULLY**
Drawn by: **A. TULLY**
PLAN 3
"A" EXTERIOR ELEVATIONS

Sheet No.

A3.4A

SDR-17254
01/25/07 PC

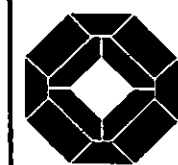
RECEIVED
1 OCT 02 2006



**BENNINGTON
PARK**



**TOUSA HOMES Inc. dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**



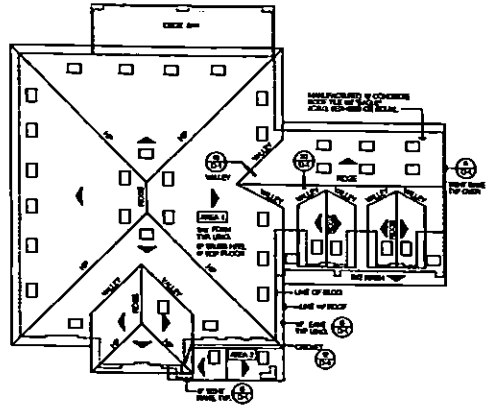
KTGY GROUP, INC.
 10000 Wilshire Blvd.
 Suite 1000
 Beverly Hills, CA 90210
 (310) 277-1000
 (310) 277-1001

Library Stamp

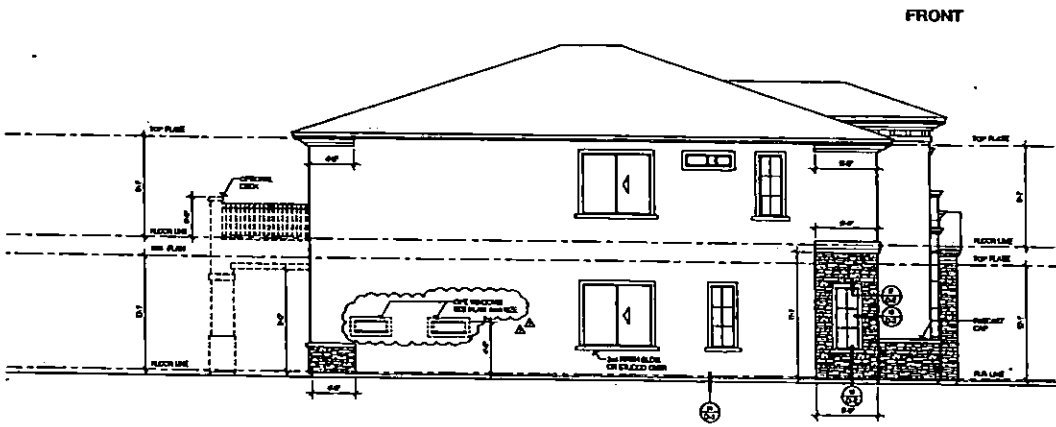
Principal in Charge • J. TULLY
 Project Director • M. FOSLER
 Principal Designer • M. SCHUBERT
 Project Designer • J. TULLY
 Checked By •
 Sheet Title •
PLAN 4
"A" EXTERIOR ELEVATION
"A" ROOF PLAN

Small City, n

A4.4

[illegible]

"A" ROOF PLAN	SCALE: 1/8" = 1'-0"	2
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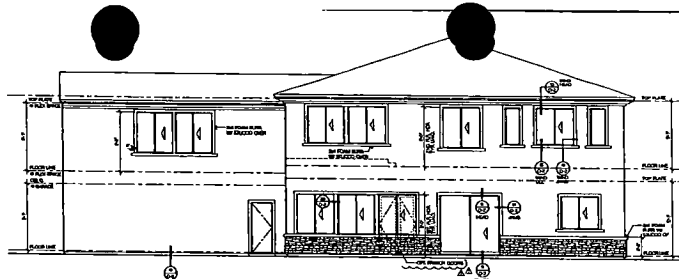


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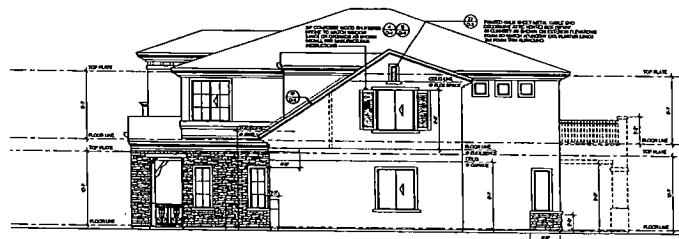
EXTERIOR ELEVATIONS

01/25/07 PC

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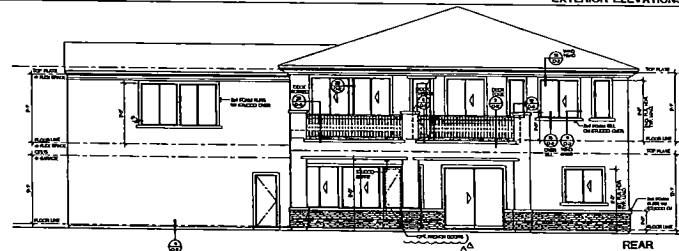
REAR



RIGHT

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



REAR

DECK OPTION ELEVATION

SCALE: 1/8" = 1'-0"

Rev. Date Reason / Description

1	01/25/07	SDR-17254
2	01/25/07	SDR-17254
3	01/25/07	SDR-17254
4	01/25/07	SDR-17254
5	01/25/07	SDR-17254
6	01/25/07	SDR-17254
7	01/25/07	SDR-17254
8	01/25/07	SDR-17254
9	01/25/07	SDR-17254
10	01/25/07	SDR-17254
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17	01/25/07	SDR-17254
18	01/25/07	SDR-17254
19	01/25/07	SDR-17254
20	01/25/07	SDR-17254

Comments

BENNINGTON PARK

TOUSA HOMES Inc. d.b.a.
ENGLE HOMES
 7872 WEST SARAH
 LAS VEGAS, NV 89117
2004-0777



KTOY GROUP, INC.

2000 W. WILLOW STREET
 SUITE 100
 BIRMINGHAM, ALABAMA 35202
 BIRMINGHAM, ALABAMA

License: 000000

Prepared By: A. TALL
 Prepared By: M. POWERS
 Prepared By: M. POWERS
 Prepared By: A. TALL
 Scale: 1/8" = 1'-0"
PLAN 4
"K" EXTERIOR ELEVATIONS

Notes:

A4.4A

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SDR-17254
01/25/07 PC



ATTIC VENT SCHEDULE

GENERAL INFORMATION

Owner: Mr. and Mrs. J. H. Smith, 123 Main St., Springfield, Ill. 62761
(312) 555-1234, Attn: Mr. Smith

VENT INFORMATION

Model: 1000-1000-1000
Size: 10" x 10" x 10"
Color: White
Material: Aluminum
Finish: Powder Coat

INSTALLATION

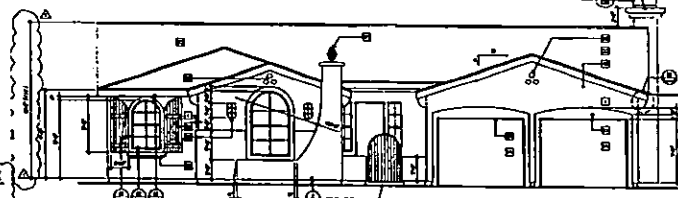
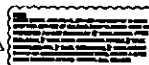
Location: Attic, near roof ridge
Orientation: North
Access: Easy access from inside house

WARRANTY

Manufacturer's warranty: 5 years
Installer's warranty: 1 year

NOTES

See also: 1000-1000-1000
1000-1000-1000

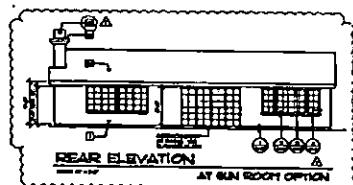


FRONT ELEVATION

ELEVATION 'A'

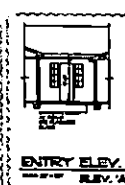
ELEVATION NOTES

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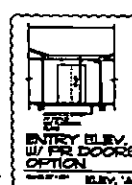


REAR ELEVATION:

AT SUN ROOM OPTION

**ENTRY ELEV**

REV. 2



ENTRY ELEV.
W/ FR DOOR
OPTION

12/15/84



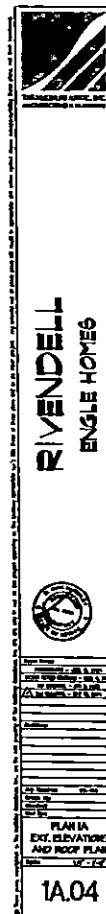
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



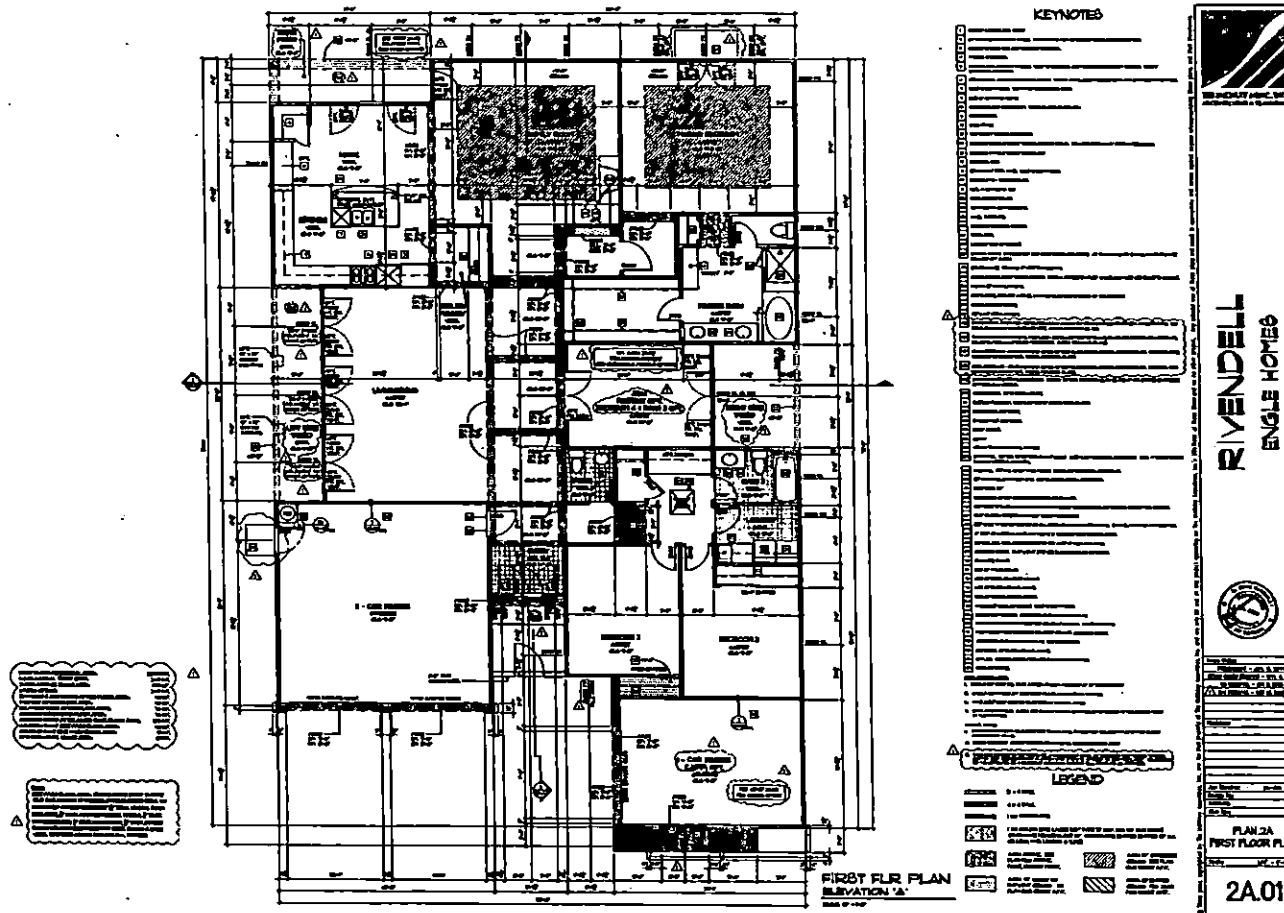
GEORGE HONNE
TECHNICAL



PLAN 1A
EXT. ELEVATIONS
AND ROOF PLAN
1A.04

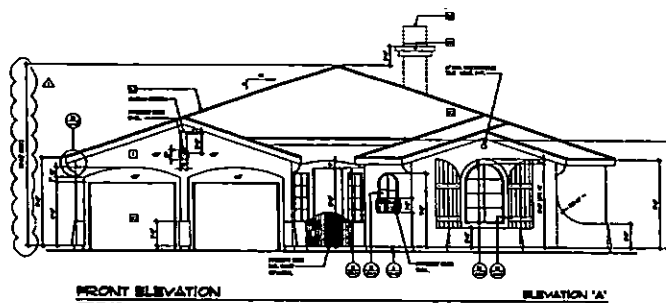
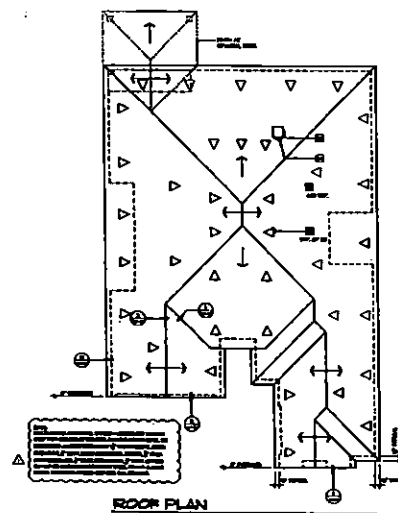
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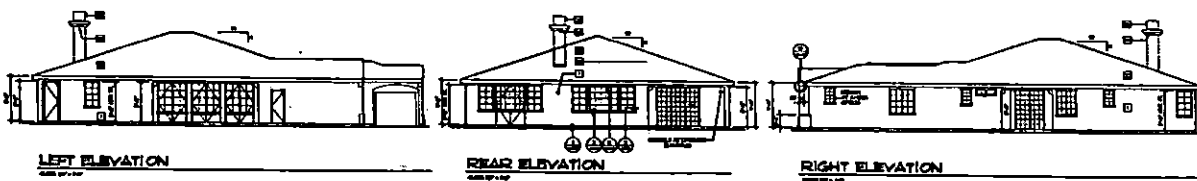
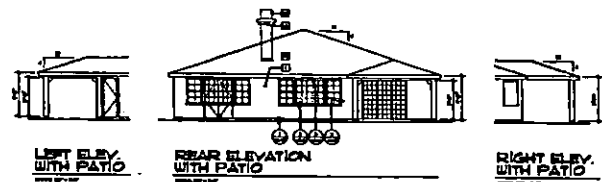


ATTIC VENT SCHEDULE

VENT TYPE	AREA (SQ. FT.)	LOCATION
1. Ridge Vent	1,200.00	Ridge
2. Soffit Vent	1,200.00	Soffit
3. Gable Vent	1,200.00	Gable
4. Attic Vent	1,200.00	Attic
5. Eave Vent	1,200.00	Eave
6. Hip Vent	1,200.00	Hip
7. Dormer Vent	1,200.00	Dormer
8. Skylight Vent	1,200.00	Skylight
9. Window Vent	1,200.00	Window
10. Door Vent	1,200.00	Door

ELEVATION NOTES

1. All exterior walls to be finished with 1/2" thick Type I Gypsum Board.
2. All exterior walls to be finished with 1/2" thick Type I Gypsum Board.
3. All exterior walls to be finished with 1/2" thick Type I Gypsum Board.
4. All exterior walls to be finished with 1/2" thick Type I Gypsum Board.
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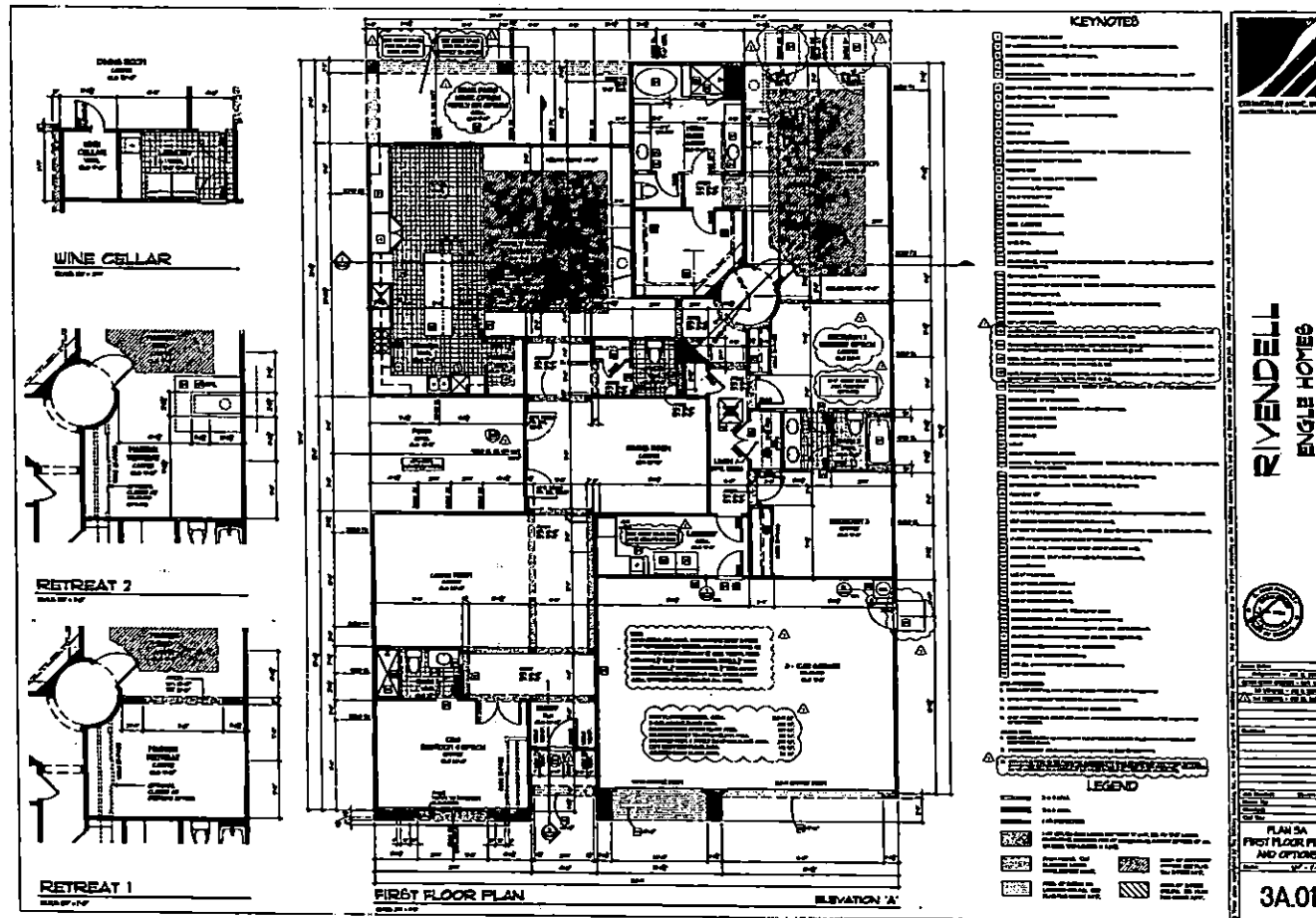


RIVENDELL
ENGINE HOMES

2A05

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01/25/07 PC



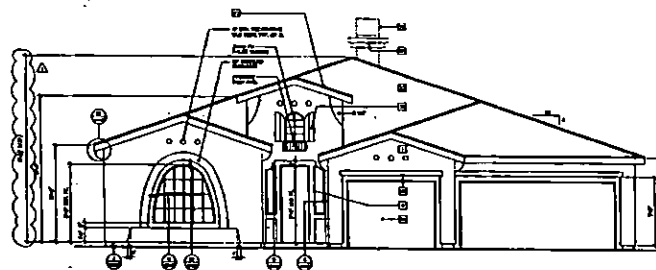
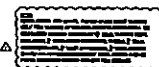
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SNR 47254
01/25/07 PC



ROOF PLAN

ATTIC VENT SCHEDULE

QUESTIONS TO ASK YOUR COUNSELLOR (Group) <i>(Group 1: 10 min. group work)</i>	
What group are you in?	• 10 min. 10%
What is the aim of the group?	• 10 min. 10%
What is the purpose of the group?	• 10 min. 10%
What is the structure of the group?	• 10 min. 10%
What is the role of the group?	• 10 min. 10%
What is the outcome of the group?	• 10 min. 10%
What is the feedback of the group?	• 10 min. 10%
What is the evaluation of the group?	• 10 min. 10%

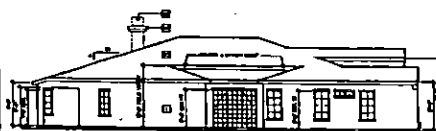


FRONT ELEVATION

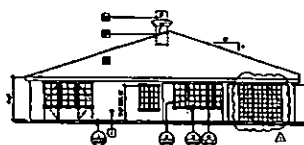
ELEVATION 'A'

ELEVATION NOTES

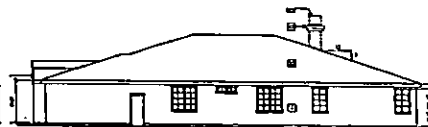
- [illegible]



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



**ENGINE HOMES
RIVENDELL**



Name: _____
 Address: _____
 City: _____
 State: _____
 Zip: _____
 Phone: _____
 E-mail: _____
 Date: _____
 Signature: _____
 Printed Name: _____
 Title: _____
 Organization: _____
 Address: _____
 City: _____
 State: _____
 Zip: _____
 Phone: _____
 E-mail: _____
 Date: _____
 Signature: _____
 Printed Name: _____
 Title: _____
 Organization: _____

PLAN SA
EXT. ELEVATION
1 ROOF PLAN

3A.04

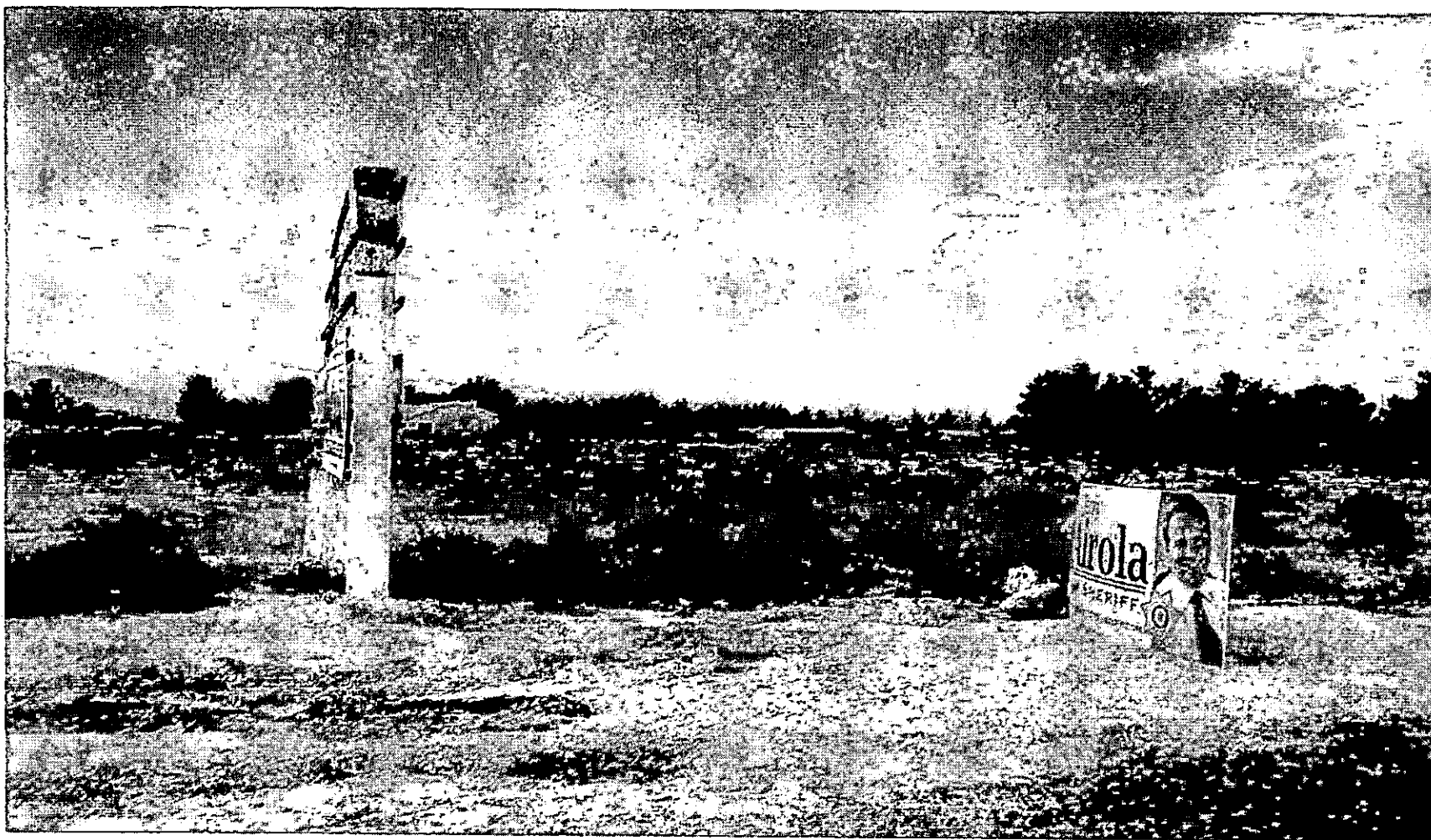
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OCT 02 2006

SECRET

01/25/07 PC

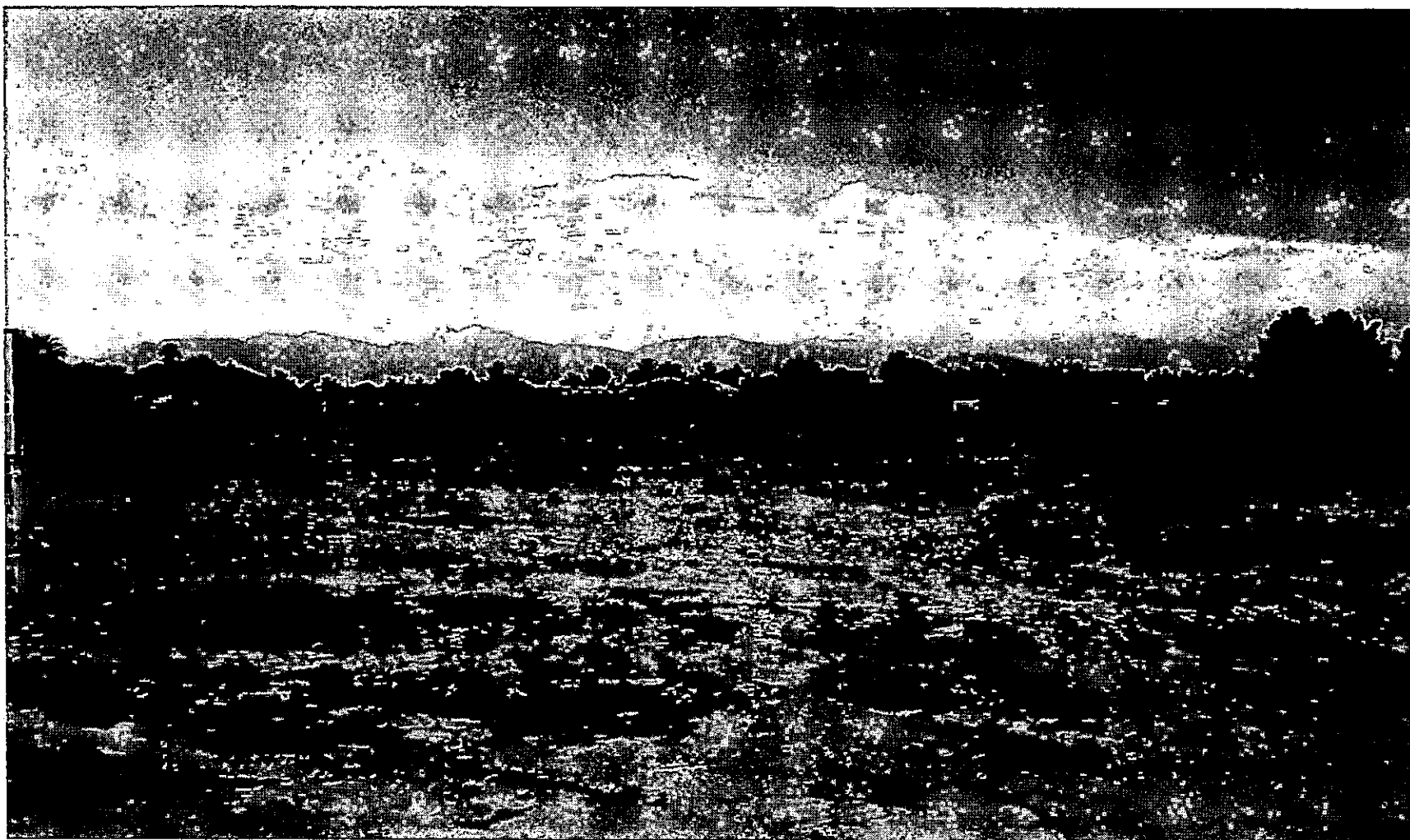
SDR 17254				
Wright Engineers				
NWC Jo Marcy & Jones				
Proposed 6 lot single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	6	9.57	57
AM Peak Hour			0.75	5
PM Peak Hour			1.01	6
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Jo Marcy Drive				
Average Daily Traffic (ADT)	541			
PM Peak Hour	43			
(heaviest 60 minutes)				
Jones Boulevard				
Average Daily Traffic (ADT)	8,188			
PM Peak Hour	655			
(heaviest 60 minutes)				
Grand Teton Drive				
Average Daily Traffic (ADT)	5,437			
PM Peak Hour	435			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Jo Marcy Drive	3000			
Jones Boulevard	16200			
Average Daily Traffic (ADT)	16200			
This project will add approximately 57 trips per day on Jo Marcy, Jones and Grand Teton. This will increase expected volumes by about eleven percent on Jo Marcy, and about one percent on Jones and Grand Teton. Jo Marcy is at about 18 percent of capacity, Jones is at about 51 percent of capacity and Grand Teton is at about 34 percent of capacity.				

Based on Peak Hour use, this development will add roughly 6 additional cars into the area; which works out to about one every ten minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



ZON-17250, VAR-17253 & SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF JONES BOULEVARD AND JO MARCY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



ZON-17250, VAR-17253 & SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF JONES BOULEVARD AND JO MARCY DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

10/10/06



September 28, 2006

CIVIL City of Las Vegas
Planning and Development Department
731 South 4th Street
STRUCTURAL Las Vegas, Nevada
MECHANICAL 89101
ELECTRICAL

Dear Ladies/Gentlemen:

PLUMBING Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the
SITE WORK justification for related requests for a Rezoning, a Variance and a Site Development Plan Review
for development of property located at the northwest corner of Jones Boulevard and Jo Marcy
Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

Our client intends to develop six single-family homes on the site. The site is currently designated
DR (Desert Rural Density Residential) in the City's Master Plan, which allows for densities up to
2.49 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2
(Residential Planned Development - 2 Units per Acre) on the subject site. Although the density
of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49
u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of
the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site
Development Plan Review for the project is also being submitted. This site plan fully conforms
to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD
developments; a request for a Variance to this requirement is also being filed.

The proposed rural density residential development will be compatible with surrounding
residential uses, and will be a logical and attractive use of an infill parcel that will be designed to
compliment the area.

Thank you for your consideration.

Sincerely,

Gary Leobold, AICP
Director of Planning

125-14-504-006
125-14-504-007
125-14-504-008
125-14-504-009
125-14-504-010
125-14-504-011
125-14-504-012

SDR-17254

01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - ZON-17693 - REZONING - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the February 8, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation – Not Applicable
4. Justification Letter
5. Protest Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

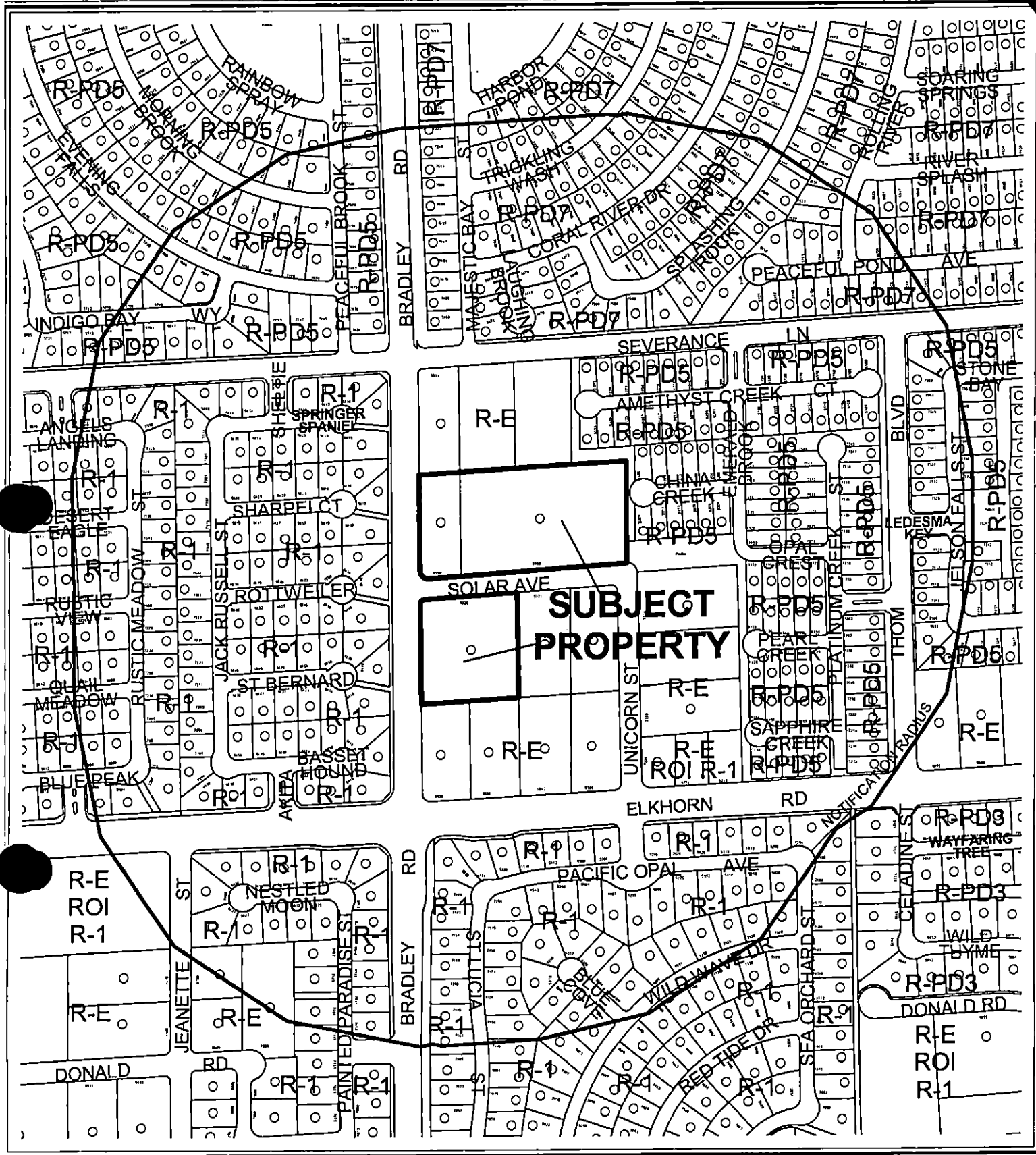
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 31 – ZON-17693

MINUTES:

Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: **ZON-17693**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

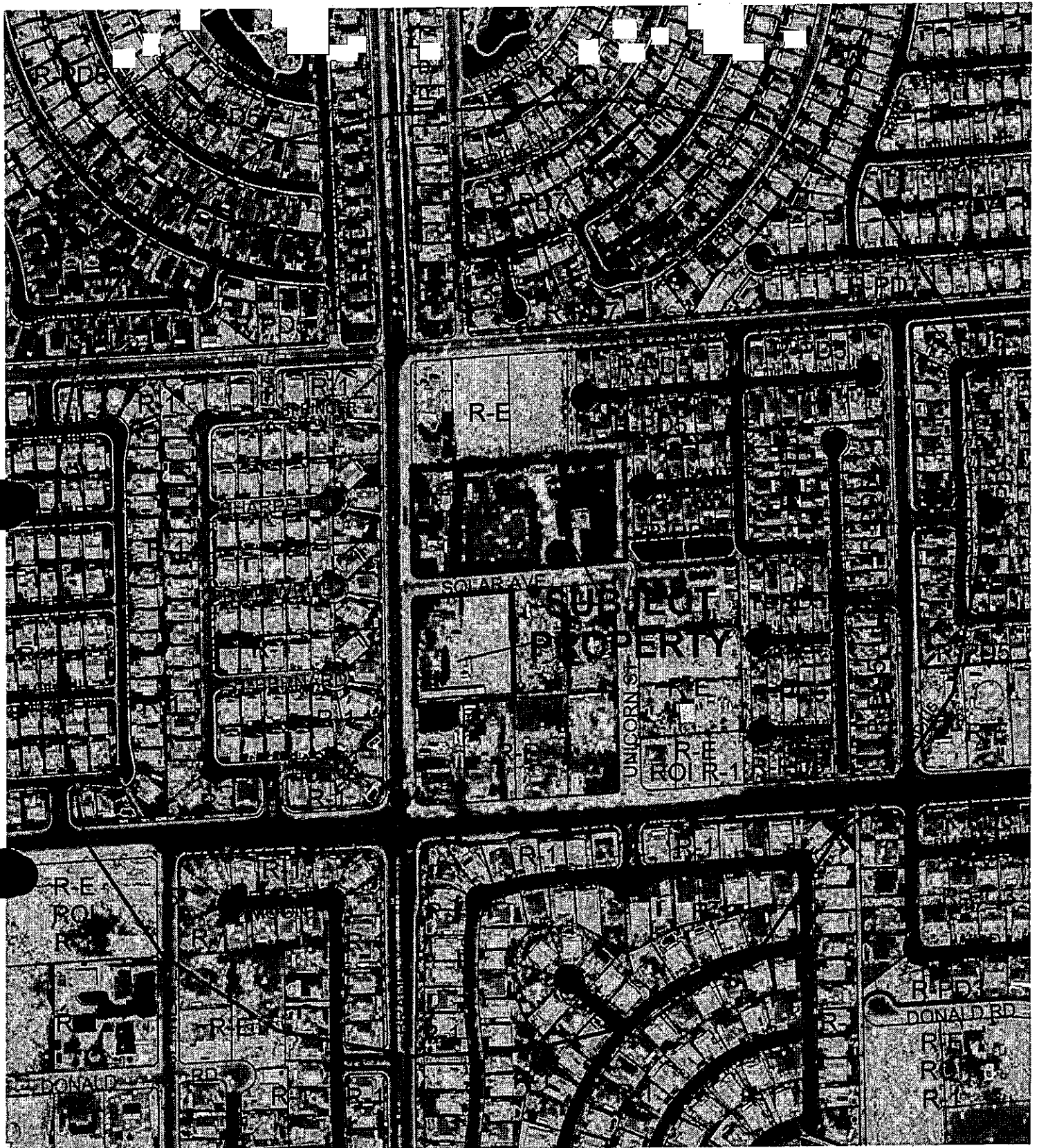
R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

0 200 400 Feet





CASE: **ZON-17693**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - ZON-17693 - APPLICANT: RICHMOND
AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND
TERRY & KATHRYN KARAS

***APPLICANT REQUESTS THIS ITEM BE HELD IN
ABEYANCE TO THE FEBRUARY 8, 2007
PLANNING COMMISSION MEETING***

Fax Transmittal**Triton Engineering, LLC**

To: City of Las Vegas

Sender: Kris Givant

Attention: John Korkosz/ Doug Rankin

Tel. No: (702) 254-1480

Fax No: 385-7268

Fax No: (702) 254-3062

Date: 1-12-07

1 page(s) total includes cover sheet

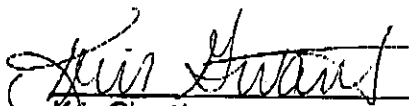
File: ZON-17693 / SDR-17694

Original will **NOT** follow by mail

The content of this fax is confidential. If the reader is not the intended recipient or its agent, be advised that any dissemination, distribution or copying of the content of this fax is prohibited. If you have received this fax in error, please notify us immediately and return the original fax to us by mail at our expense. Thank you.

Reference: Bradley / Solar

At this time Richmond American Homes would like to request that ZON-17693 and SDR-17694 be held in abeyance for two weeks which places these items on the **February 8, 2007 Planning Commission** instead of the January 25th, 2007 Planning Commission. Please make this change to your schedule and if you have any questions or concerns, please feel free to give me a call. Thank you.

TRITON ENGINEERING, LLC
Kris Givant
Project Coordinator



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17693** APN: **125-13-801-006**

Name of Property Owner: **Sharon Turbiville**

Name of Applicant: **Richmond American Homes**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

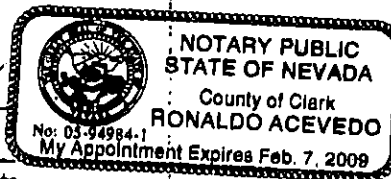
Signature of Property Owner: *Sharon Turbiville*

Print Name: **Sharon Turbiville**

Subscribed and sworn before me

This 2nd day of October, 2006
Ronald Acevedo

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: ZON-17693 APN: 125-13-801-005
Name of Property Owner: Delmar Dinkins
Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

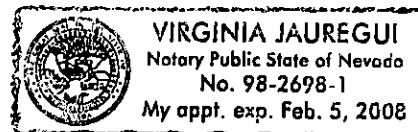
APN: _____

Signature of Property Owner: _____

Print Name: _____

Subscribed and sworn before me

This 28 day of September, 20 06
Virginia Jauregui
Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17693** APN: 125-13-802-001

Name of Property Owner: Terry & Kathryn Karas

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Terry Karas Kathryn Karas

Subscribed and sworn before me

This 3rd day of October 2006

Jana Shore
Notary Public in and for said County and State





RICHMOND AMERICAN HOMES OF NEVADA, INC.				Triton Engineering 6797 W. Charleston Blvd. Las Vegas, Nevada 89146 Phone (702) 735-1585 Telex 158500 Fax (702) 735-1586 www.tritoneng.com	
SHEET 1 OF 2 CLV. INC.		COVER SHEET BRADLEY / SOLAR		PROJECT NO. _____ DRAWN BY _____ CHECKED BY _____ DATE 12-10-97 JOB NO. 1 SCALE 1" = 8' DATE 12-10-97	

November 14, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Bradley / Solar
APN # 125-13-801-001; 125-13-801-005; 006**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Site Development Review request for a proposed 58 lot single family project called "Bradley / Solar".

The applicant is requesting a Site Development Review for a proposed 58 lot single-family residential development on 7.27 acres (7.98 u/ac). Parcels adjacent to the proposed site have the following land use and zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

We are requesting the following setbacks for the RPD-8;

Typical Lot Size:	3,000 sq ft
Front to Building:	5' Minimum
Front to Garage:	5' or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	6' feet
Rear Yard	10' feet
Rear Yard Cul-de-sac lots only	5' feet

Richmond American Homes believes that requesting RPD-8 zoning will compliment the area and would provide affordable housing.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,

Kris Givant
Project Coordinator

RECEIVED
NOV 14 2006

**ZON-17693 SDR-17694
REVISED 01/25/07 PC**

January 6, 2007

Dear Planning Commission:

Our names are Kathy and Mike Dunne and live at 7224 Unicorn St. in Las Vegas. We have watched our area grow from a rural to a residential planned development. Our little pocket of 1+ acre homes is being gobbled up by developers. We ask that you keep the homes to a minimum of three homes per acre for CASE: ZON-17693. If this development does go through, we request:

- the street be cut off at Unicorn and Solar
- no two story homes
- all homes enclosed in the subdivision – no front yards facing the street
- and of course, no more than three homes per acre.

Please drive by and notice that the front of our home faces a brick wall. This is due to Pulte Homes. The value of our home just keeps going down and down because of developers. When we first move into the area, every one had to be on an acre. We followed the rules. Now, no one is protecting us or the property around us.

Please consider our request.

Sincerely,

Kathy Dunne
Kathy Dunne

Jan. 6, 2007
Date

Mike Dunne
Mike Dunne

Jan 6, 2007
Date

ITEM # 12.
CASE # ZON 17693
PC MTG 1-11-07

2

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007**DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION****SUBJECT:**

ABEYANCE - SDR-17694 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17693 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS - Request for a Site Development Plan Review FOR A 58 LOT SINGLE FAMILY DEVELOPMENT on 7.27 acres adjacent to the northeast and southeast corners of Bradley Road and Solar Avenue (APNs 125-13-801-005, 125-13-801-006, and 125-13-802-001), R-E (Residence Estates) Zone [PROPOSED: R-PD8 (Residential Planned Development - 8 Units Per Acre)], Ward 6 (Ross).

C.C.: 02/21/07**PROTESTS RECEIVED BEFORE:**

Planning Commission Mtg.
City Council Meeting

0**APPROVALS RECEIVED BEFORE:**

Planning Commission Mtg.
City Council Meeting

0**RECOMMENDATION:**

Staff recommends this item be **HELD IN ABEYANCE** to the February 8, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation – Not Applicable
4. Justification Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

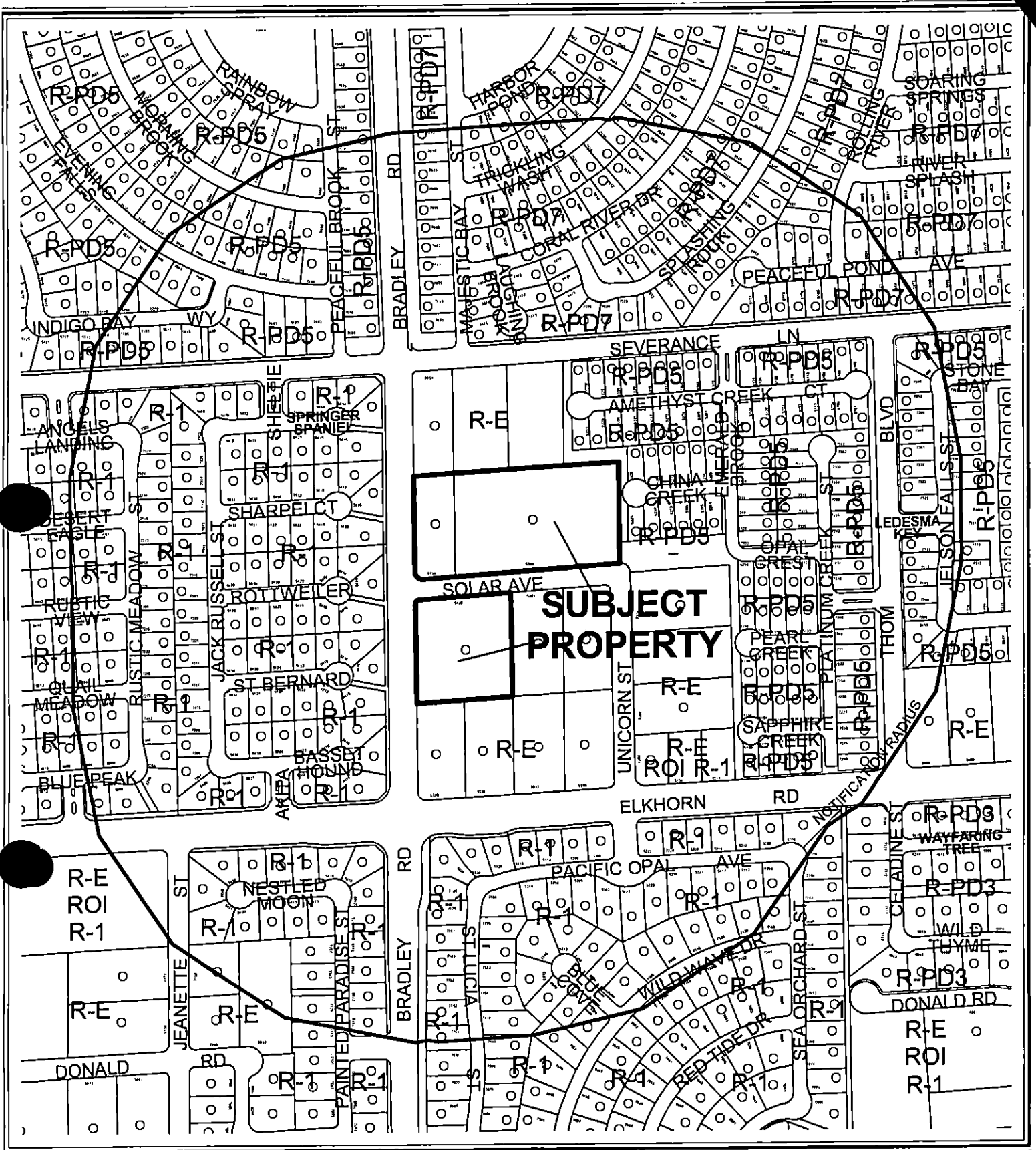
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 32 – SDR-17694

MINUTES:

Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: **SDR-17694**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SDR-17694 - APPLICANT: RICHMOND
AMERICAN HOMES - OWNERS: SHARON TURBIVILLE, DELMAR DINKINS, AND
TERRY & KATHRYN KARAS

***APPLICANT REQUESTS THIS ITEM BE HELD IN
ABEYANCE TO THE FEBRUARY 8, 2007
PLANNING COMMISSION MEETING***

Fax Transmittal**Triton Engineering, LLC**

To: City of Las Vegas

Sender: Kris Givant

Attention: John Korkosz/ Doug Rankin

Tel. No: (702) 254-1480

Fax No: 385-7268

Fax No: (702) 254-3062

Date: 1-12-07

1 page(s) total includes cover sheet

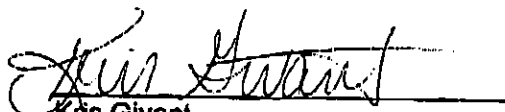
File: ZON-17693 / SDR-17694

Original will NOT follow by mail

The content of this fax is confidential. If the reader is not the intended recipient or its agent, be advised that any dissemination, distribution or copying of the content of this fax is prohibited. If you have received this fax in error, please notify us immediately and return the original fax to us by mail at our expense. Thank you.

Reference: Bradley / Solar

At this time Richmond American Homes would like to request that ZON-17693 and SDR-17694 be held in abeyance for two weeks which places these items on the **February 8, 2007 Planning Commission** instead of the January 25th, 2007 Planning Commission. Please make this change to your schedule and if you have any questions or concerns, please feel free to give me a call. Thank you.

TRITON ENGINEERING, LLC
Kris Givant
Project Coordinator



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17694** APN: 125-13-801-006Name of Property Owner: Sharon TurbivilleName of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

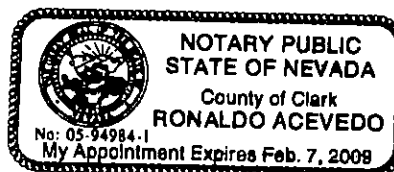
City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Sharon TurbivillePrint Name: Sharon Turbiville

Subscribed and sworn before me

This Two day of October, 2006Ronald Acevedo
Notary Public in and for said County and State



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17694**

APN: 125-13-802-001

Name of Property Owner: Terry & Kathryn Karas

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

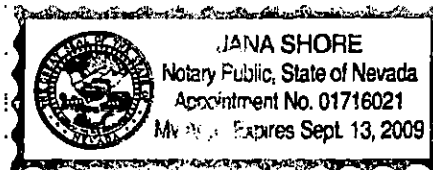
Signature of Property Owner: _____

Print Name: Terry Karas Kathryn Karas

Subscribed and sworn before me

This 2nd day of October, 2006

[Signature]
Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17694** APN: 125-13-801-005

Name of Property Owner: Delmar Dinkins

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: _____

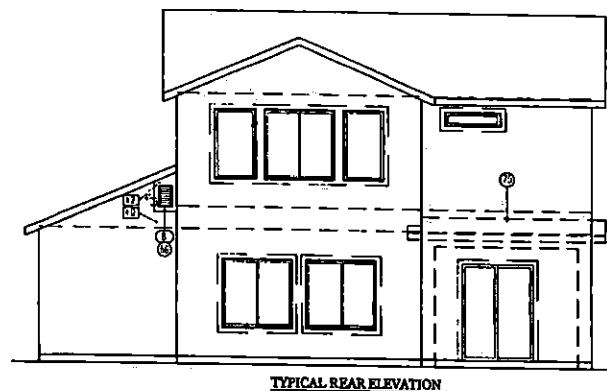
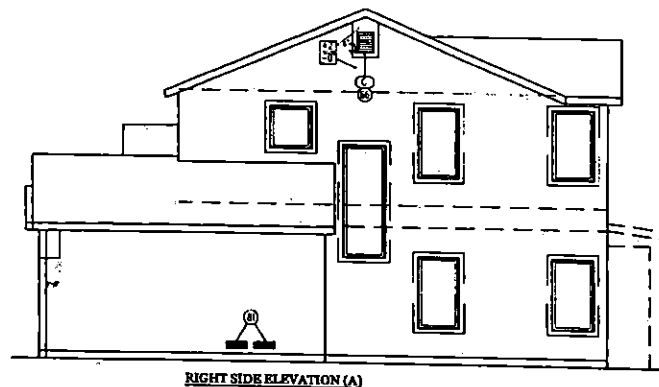
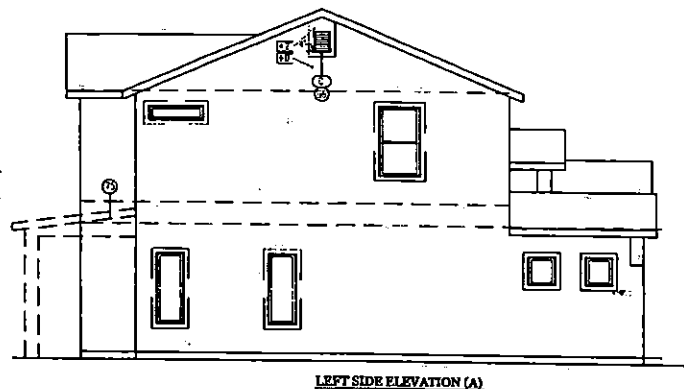
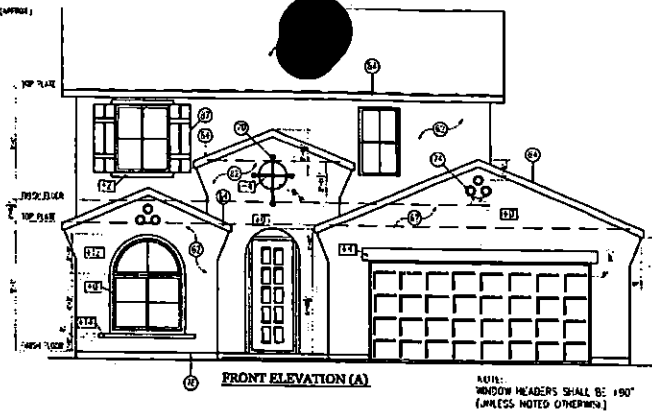
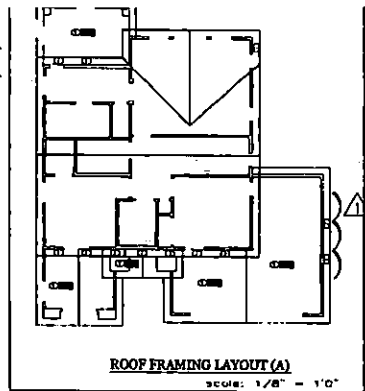
Subscribed and sworn before me

This 28 day of September, 2006
Virginia Jauregui
Notary Public in and for said County and State



VIRGINIA JAUREGUI
Notary Public State of Nevada
No. 98-2698-1
My appt. exp. Feb. 5, 2008



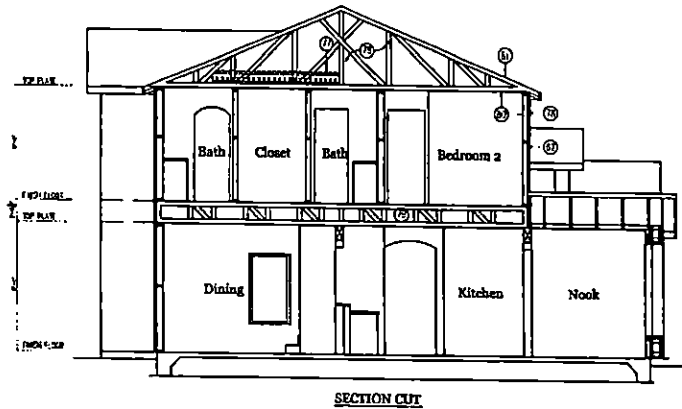
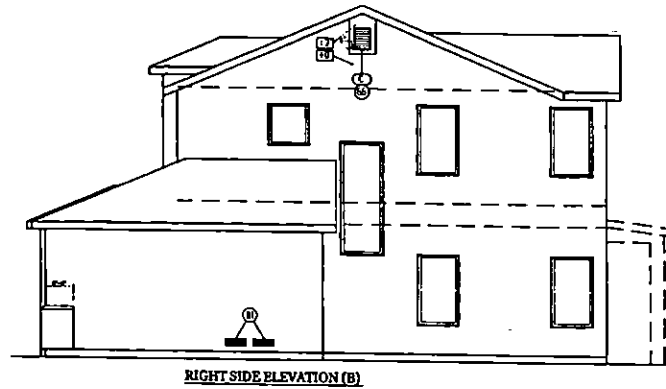
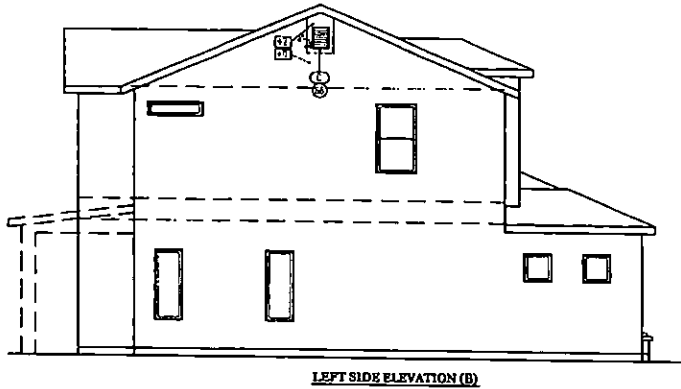
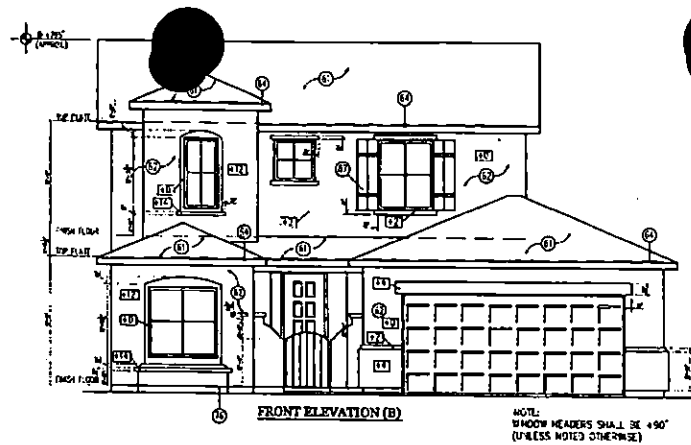
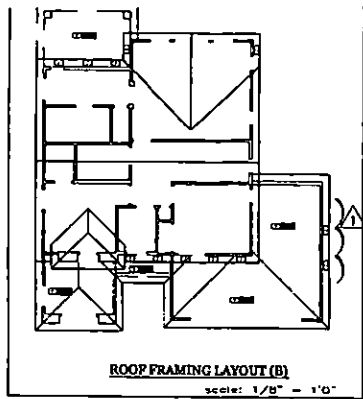


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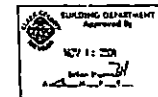
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3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS	
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05-45333	
REVISION NOV 14 2005 FOR THE CITY OF LAS VEGAS	
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ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006



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RICHMOND
AMERICAN HOMES
SINCE 1925
DIVISION

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV 89128 (702) 240-5688

ROOF, FRONT & SIDE OF ELEVATION - B

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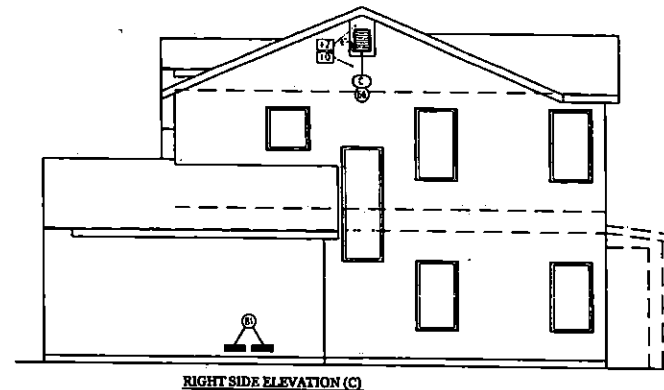
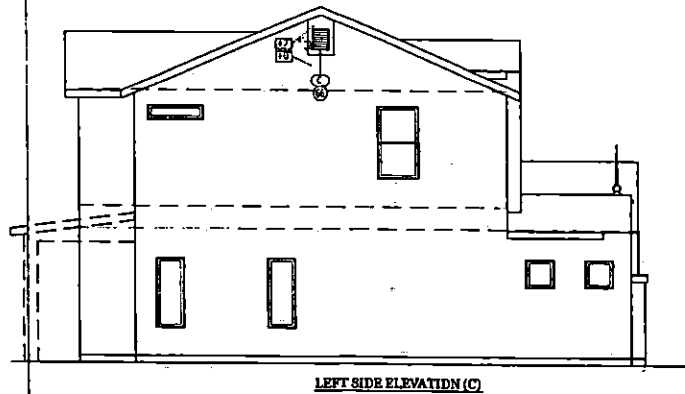
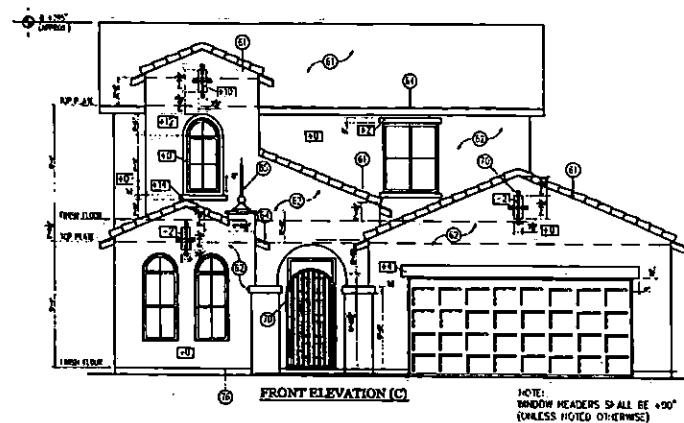
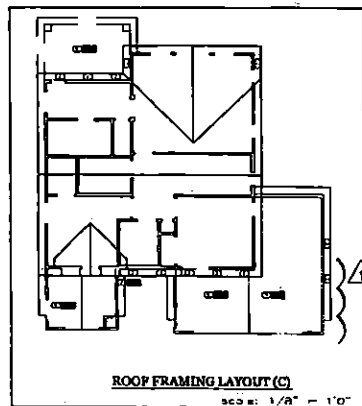
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ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006



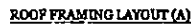
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**ZON-17693
SDR-17694
01/25/07 PC**

OCT 23 2006

RICHMOND STATE OF CALIFORNIA COUNTY OF SAN DIEGO BUILDING DEPARTMENT		LAS VEGAS DIVISION 7250 West Peak, Suite 212 LAS VEGAS, NV 89128 (702) 240-5660
PROJECT NO. _____ SHEET NO. _____		A2-C
TITLE: ROOF, FRONT & SIDE OF ELEVATION - C		
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APPROVED BY: _____ DATE: _____		



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TIME: 11:14 AM
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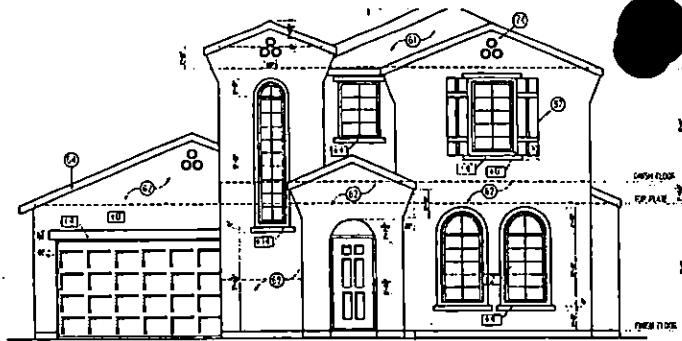
05-45339

REVISION

scale: 1/4" = 1'0"

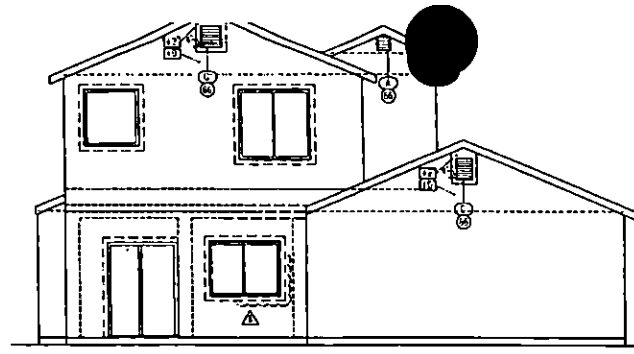
ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006

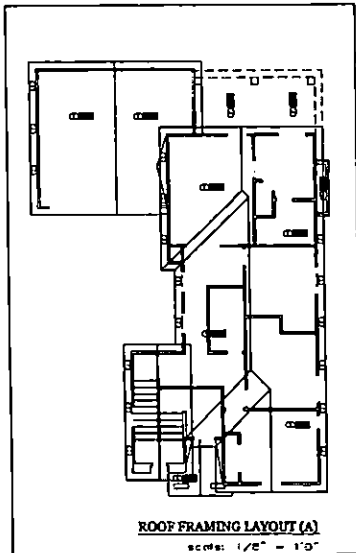


FRONT ELEVATION (A)

NOTE:
WINDOW HEADERS SHALL BE 2" x 8" (UNLESS NOTED OTHERWISE)

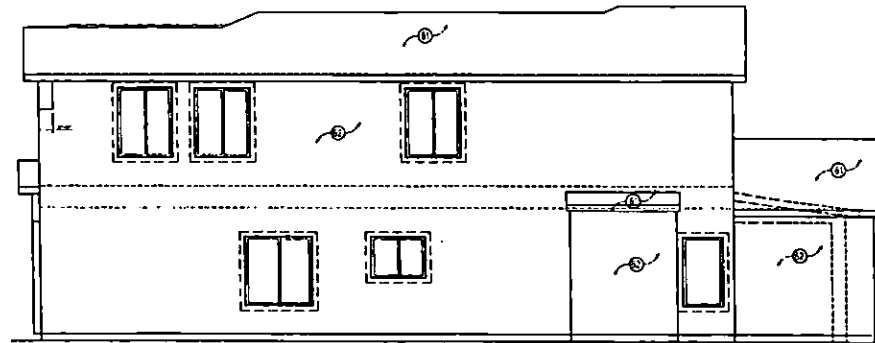


TYPICAL REAR ELEVATION

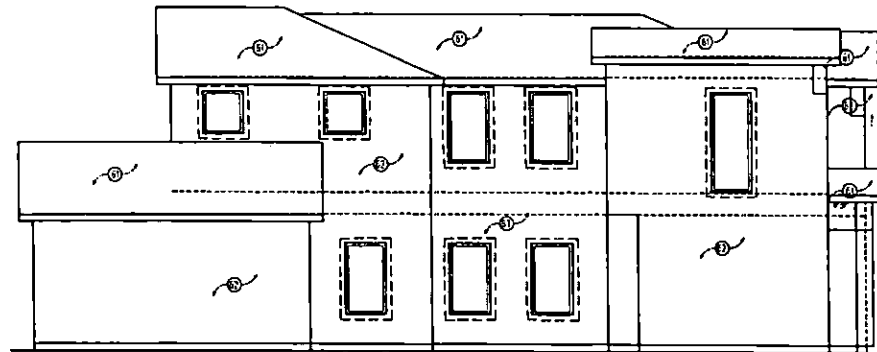


ROOF FRAMING LAYOUT (A)

scale: 1/8" = 1'-0"



RIGHT SIDE ELEVATION (A)



LEFT SIDE ELEVATION (A)

scale: 1/4" = 1'-0"

1. ROOF APPLICATIONS SHALL COMPLY WITH PERMITS
2. WINDOW HEADERS SHALL BE 2" x 8" (UNLESS NOTED OTHERWISE)
3. SEE COVER SHEET FOR ATTIC VENTILATION CALCULATIONS
4. PLAN CONCRETE SHALL BE 3000 PSI (UNLESS NOTED OTHERWISE)
5. FLOORING SHALL BE 3/4" THICK (UNLESS NOTED OTHERWISE)
6. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
7. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
8. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
9. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
10. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
11. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
12. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
13. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS
14. EXTERIOR FINISHES SHALL COMPLY WITH PERMITS

VENT SCHED.			
1. ROOF VENTILATION SHALL COMPLY PERMITS			
SEE COVER SHEET FOR INFORMATION ON REQUIRED ATTIC VENTILATION			
1. VENT	2. VENT	3. VENT	4. VENT
5. VENT	6. VENT	7. VENT	8. VENT
9. VENT	10. VENT	11. VENT	12. VENT
13. VENT	14. VENT	15. VENT	16. VENT
17. VENT	18. VENT	19. VENT	20. VENT
21. VENT	22. VENT	23. VENT	24. VENT
25. VENT	26. VENT	27. VENT	28. VENT
29. VENT	30. VENT	31. VENT	32. VENT

05-45333
"REVISION"

RICHMOND
STATE OF CALIFORNIA
COUNTY OF LOS ANGELES

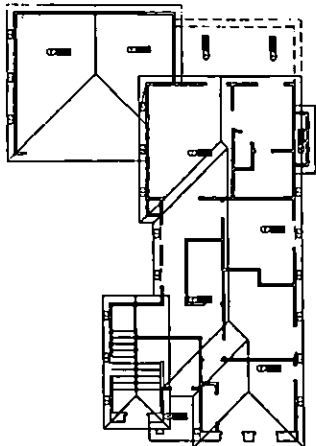
LAS VEGAS DIVISION
7200 West Park, Suite 212
LAS VEGAS, NV 89126 (702) 240-5600

ROOF FRAMING FRONT, REAR & SIDE OF ELEVATION - A

A2-A

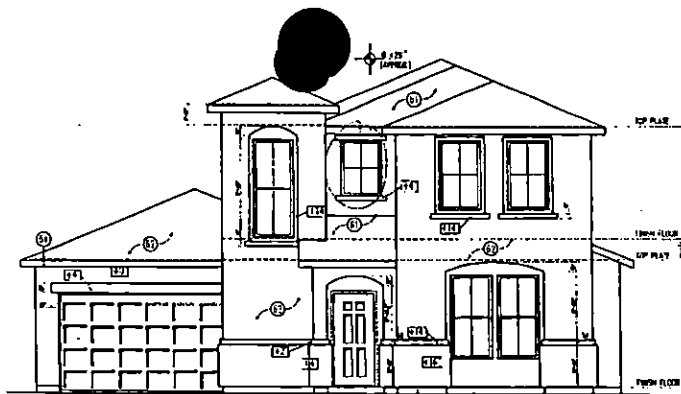
ZON-17693
SDR-17694
01/25/07 PC

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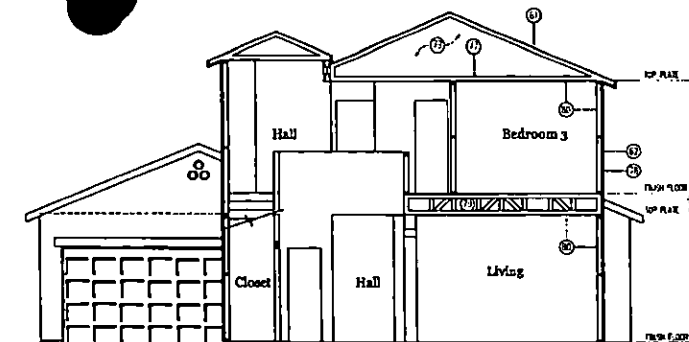
ROOF FRAMING LAYOUT (B)

scale: 1/8" = 1'0"

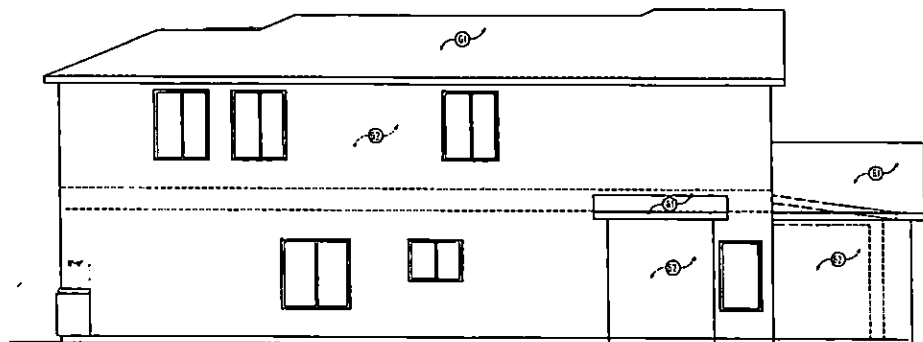


FRONT ELEVATION (B)

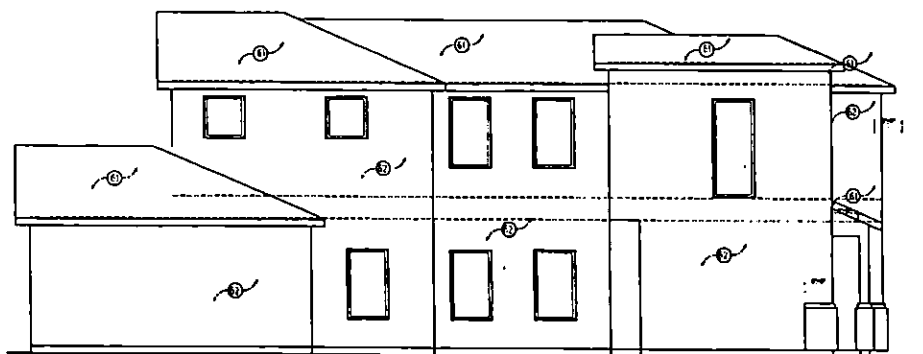
NOTE: WINDOW HEADERS SHALL BE 4"X6" (UNLESS NOTED OTHERWISE)



SECTION CUT



RIGHT SIDE ELEVATION (B)



LEFT SIDE ELEVATION (B)

scale: 1/4" = 1'0"



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7250 West Peak, Suite 212
LAS VEGAS, NV 89125 (702) 240-5800

RICHMOND
STATE CONSULTING ENGINEERS
1000 S. RICHMOND AVE.
SUITE 200
LAS VEGAS, NV 89102
(702) 735-1111

ROOF FRAMING, FRONT, & SIDE OF
ELEVATION - B

DATE	NOV 15 2004
BY	115764
CHECKED BY	
DATE	
APPROVED BY	
DATE	

PLAN &
TRES (2P20)

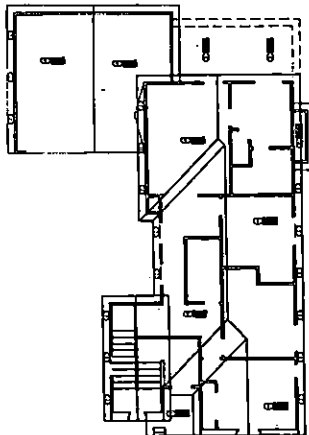
ENGINEER
NEWBURY

UNO - A2-B

A2-B

ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006



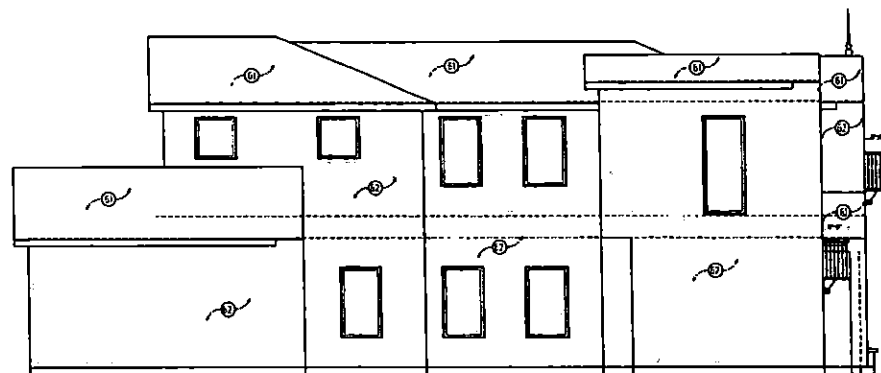
ROOF FRAMING LAYOUT (C)

scale: 1/8" = 1'0"

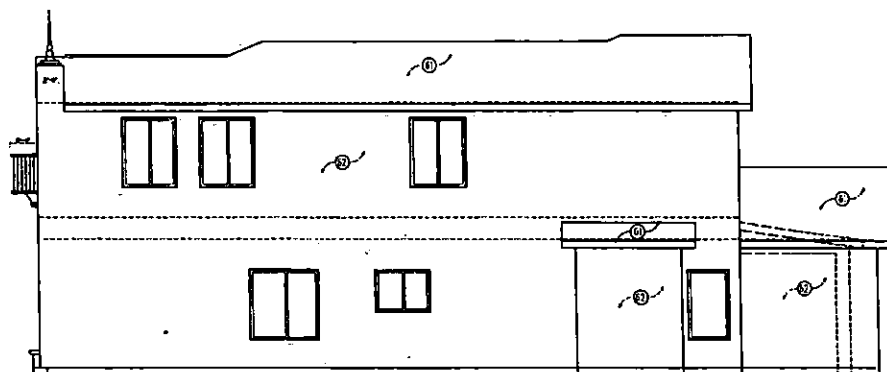


FRONT ELEVATION (C)

NOTE: WINDOW HEADERS SHALL BE 4"X10" (UNLESS NOTED OTHERWISE)

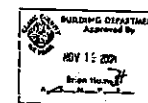


LEFT SIDE ELEVATION (C)



RIGHT SIDE ELEVATION (C)

scale: 1/4" = 1'0"



LAS VEGAS DIVISION
7230 West Peak, Suite 212
LAS VEGAS, NV 89126 (702) 246-5660

RICHMOND
STATE CONTRACTOR LICENSE # 00000017
DANIEL J. RICHMOND
REGISTERED ARCHITECT

ROOF FRAMING, FRONT & SIDE OF
ELEVATION - C

NO.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

TRES (2P20)

NEWELRY

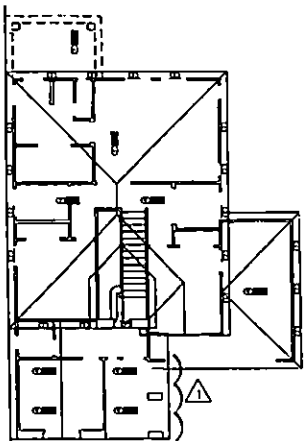
UND - A2-C

A2-C

ZON-17693
SDR-17694
01/25/07 PC

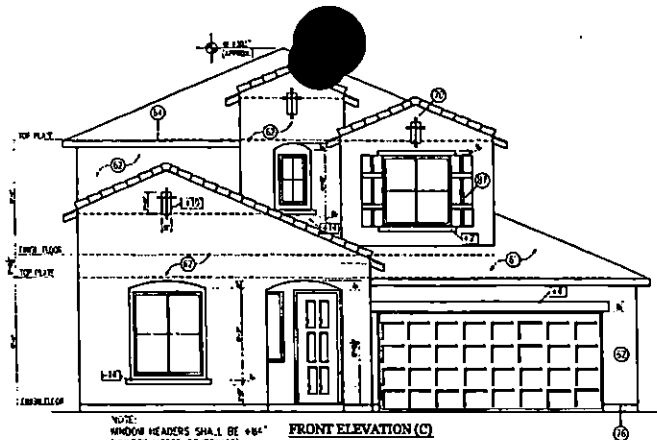
OCT 23 2006

OCT 23 2006



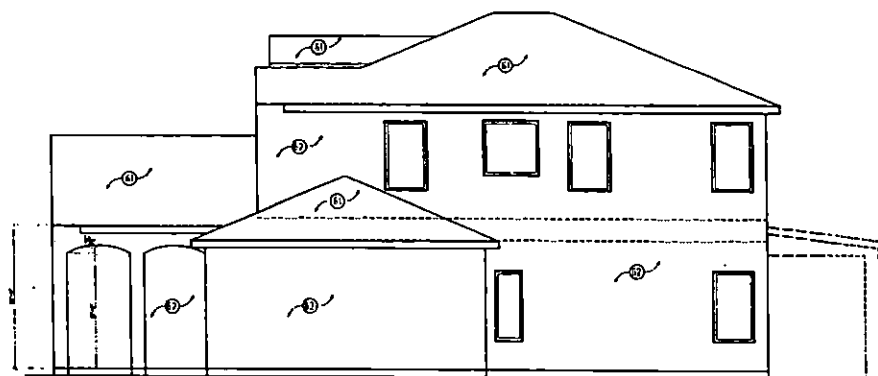
ROOF FRAMING LAYOUT (C)

SCALE: 1/8" = 1'-0"

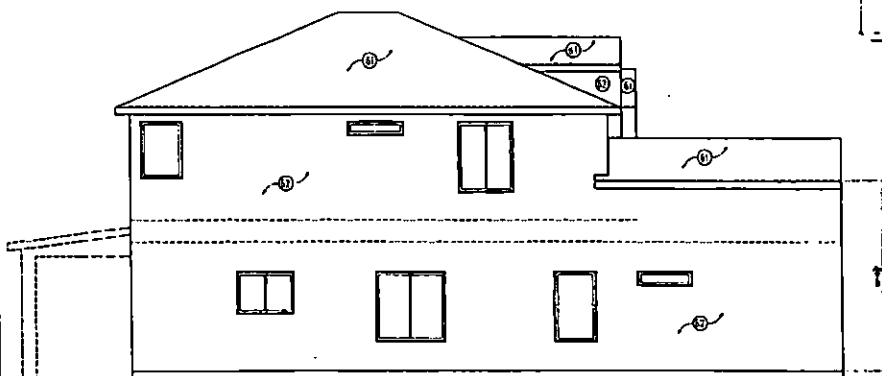


FRONT ELEVATION (C)

NOTE:
WINDOW HEADERS SHALL BE 8" x 8"
(UNLESS NOTED OTHERWISE)



RIGHT SIDE ELEVATION (C)



LEFT SIDE ELEVATION (C)

SCALE: 1/4" = 1'-0"



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7256 West Peak, Suite 212
LAS VEGAS, NV 89128 (702) 240-5501

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A CONTRACTING COMPANY
STATE CONTRACTORS ASSOCIATION

ROOF FRAMING / FRONT & SIDE OF
ELEVATION - C

NOV 15 2006
BRIAN THOMAS

QUATRO (2221)

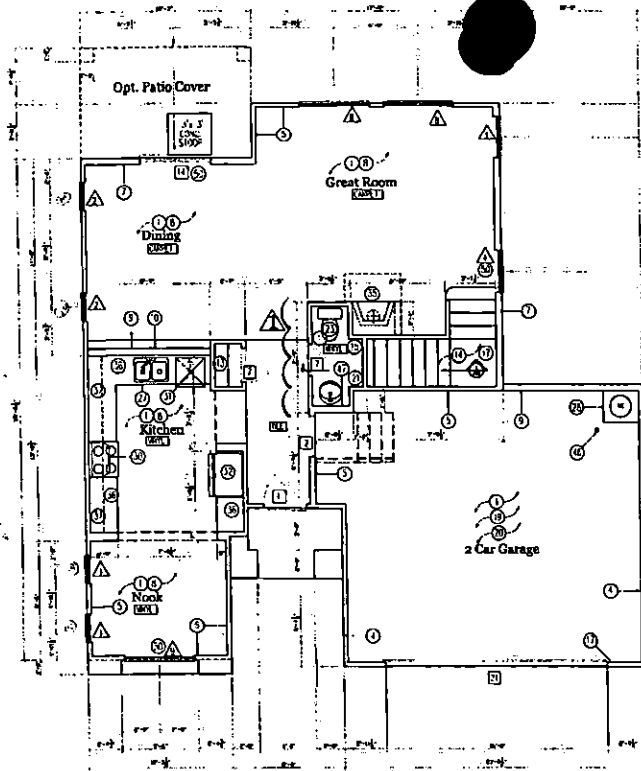
NEWBURY

QUATRO - A2-C

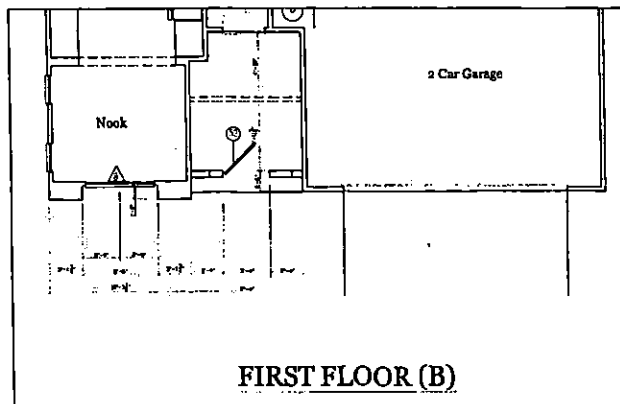
A2-C

ZON-17693
SDR-17694
01/25/07 PC

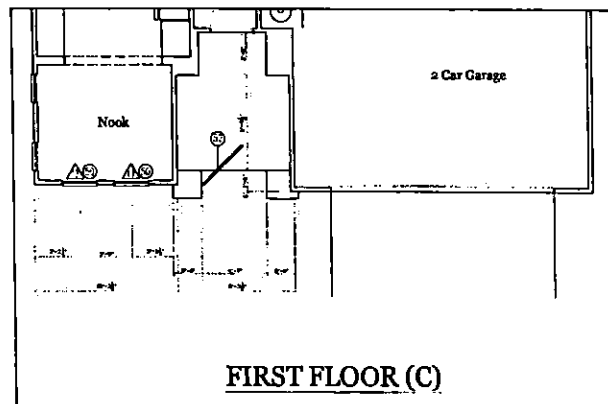
OCT 23 2006



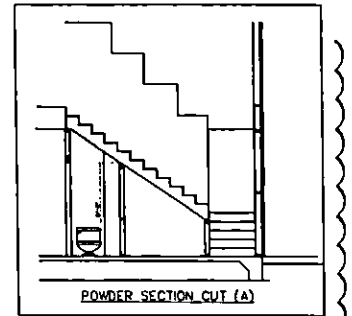
FIRST FLOOR (A)



FIRST FLOOR (B)



FIRST FLOOR (C)



△

△

scale: 1/4" = 1'0"

Framing / Drywall		Roofing / Siding	
1. 4" x 12" SIPS	2. 4" x 12" SIPS	3. 4" x 12" SIPS	4. 4" x 12" SIPS
5. 4" x 12" SIPS	6. 4" x 12" SIPS	7. 4" x 12" SIPS	8. 4" x 12" SIPS
9. 4" x 12" SIPS	10. 4" x 12" SIPS	11. 4" x 12" SIPS	12. 4" x 12" SIPS
13. 4" x 12" SIPS	14. 4" x 12" SIPS	15. 4" x 12" SIPS	16. 4" x 12" SIPS
17. 4" x 12" SIPS	18. 4" x 12" SIPS	19. 4" x 12" SIPS	20. 4" x 12" SIPS
21. 4" x 12" SIPS	22. 4" x 12" SIPS	23. 4" x 12" SIPS	24. 4" x 12" SIPS
25. 4" x 12" SIPS	26. 4" x 12" SIPS	27. 4" x 12" SIPS	28. 4" x 12" SIPS
29. 4" x 12" SIPS	30. 4" x 12" SIPS	31. 4" x 12" SIPS	32. 4" x 12" SIPS
33. 4" x 12" SIPS	34. 4" x 12" SIPS	35. 4" x 12" SIPS	36. 4" x 12" SIPS
37. 4" x 12" SIPS	38. 4" x 12" SIPS	39. 4" x 12" SIPS	40. 4" x 12" SIPS
41. 4" x 12" SIPS	42. 4" x 12" SIPS	43. 4" x 12" SIPS	44. 4" x 12" SIPS
45. 4" x 12" SIPS	46. 4" x 12" SIPS	47. 4" x 12" SIPS	48. 4" x 12" SIPS
49. 4" x 12" SIPS	50. 4" x 12" SIPS	51. 4" x 12" SIPS	52. 4" x 12" SIPS
53. 4" x 12" SIPS	54. 4" x 12" SIPS	55. 4" x 12" SIPS	56. 4" x 12" SIPS
57. 4" x 12" SIPS	58. 4" x 12" SIPS	59. 4" x 12" SIPS	60. 4" x 12" SIPS
61. 4" x 12" SIPS	62. 4" x 12" SIPS	63. 4" x 12" SIPS	64. 4" x 12" SIPS
65. 4" x 12" SIPS	66. 4" x 12" SIPS	67. 4" x 12" SIPS	68. 4" x 12" SIPS
69. 4" x 12" SIPS	70. 4" x 12" SIPS	71. 4" x 12" SIPS	72. 4" x 12" SIPS
73. 4" x 12" SIPS	74. 4" x 12" SIPS	75. 4" x 12" SIPS	76. 4" x 12" SIPS
77. 4" x 12" SIPS	78. 4" x 12" SIPS	79. 4" x 12" SIPS	80. 4" x 12" SIPS
81. 4" x 12" SIPS	82. 4" x 12" SIPS	83. 4" x 12" SIPS	84. 4" x 12" SIPS
85. 4" x 12" SIPS	86. 4" x 12" SIPS	87. 4" x 12" SIPS	88. 4" x 12" SIPS
89. 4" x 12" SIPS	90. 4" x 12" SIPS	91. 4" x 12" SIPS	92. 4" x 12" SIPS
93. 4" x 12" SIPS	94. 4" x 12" SIPS	95. 4" x 12" SIPS	96. 4" x 12" SIPS
97. 4" x 12" SIPS	98. 4" x 12" SIPS	99. 4" x 12" SIPS	100. 4" x 12" SIPS

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7250 West Peak, Suite 212
LAS VEGAS, NV 89128 (702) 240-5600

RICHMOND
ALERT C.A.M. & SONS
STATE CONTRACTORS ASSOCIATION #00247

FLOOR PLAN (1ST FLOOR)

05-45333

REVISION

UNO (2P16)

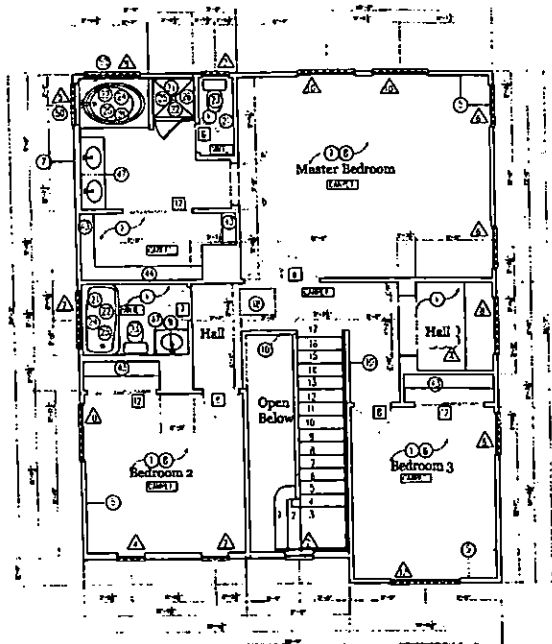
NEWBURY

UNO-A1

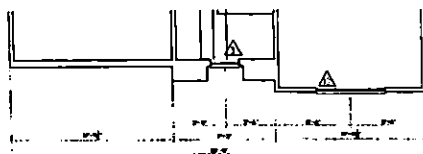
A1

ZON-17693
SDR-17694
01/25/07 PC

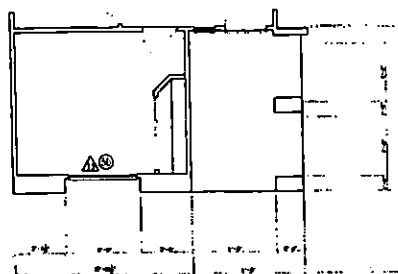
OCT 23 2006



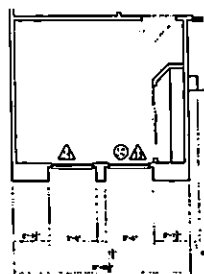
SECOND FLOOR (A & B)



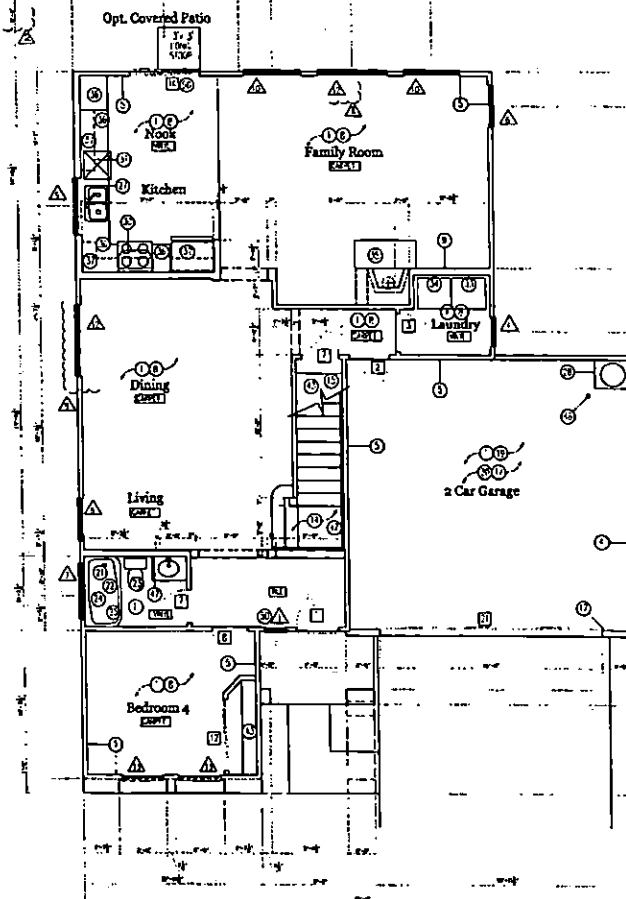
SECOND FLOOR (C)



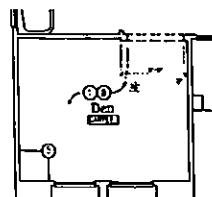
FIRST FLOOR (C)



FIRST FLOOR (B)



FIRST FLOOR (A)



GENERAL FLOOR PLAN NOTES				GENERAL ROOM TYPES			
1. FRAMING / Drywall				A = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
2. FLOORING				B = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
3. ROOFING				C = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
4. EXTERIOR FINISHES				D = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
5. INTERIOR FINISHES				E = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
6. PLUMBING FIXTURES				F = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
7. APPLIANCES				G = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
8. CABINETS / SHELVES				H = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
9. FOUNDATIONS / FINISHES / Misc.				I = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
10. OTHER				J = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
11. ELEVATION A w/ typical windows				K = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
12. ELEVATION B w/ Additional windows				L = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			
13. ELEVATION C w/ Additional windows				M = 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD. 1/2" x 4" STUDS ON 16" O.C. WITH 5/8" GYPSUM BOARD.			

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7250 West Park, Suite 212
Las Vegas, NV 89128 (702) 240-5600

RICHMOND
SHEET CONSULTING ENGINEERS
DIVISION OF RICHMOND

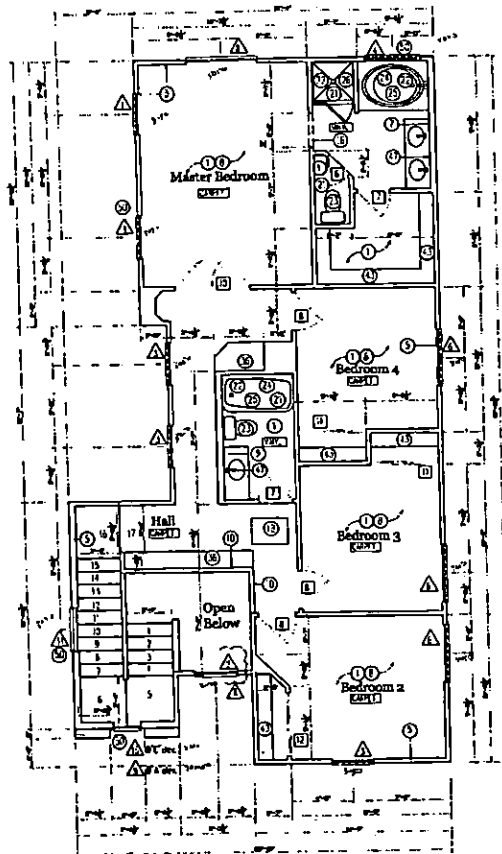
FLOOR PLAN (1ST & 2ND FLOOR)
WITH OPTIONS

REVISION
REVISION
QUATRO (2/21)

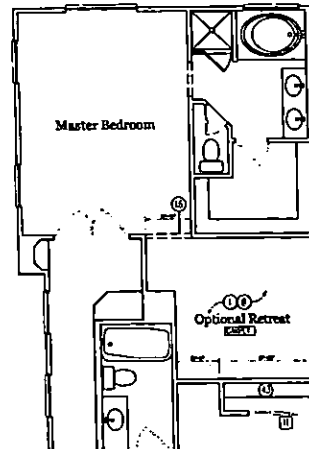
A1

ZON-17693
SDR-17694
01/25/07 PC

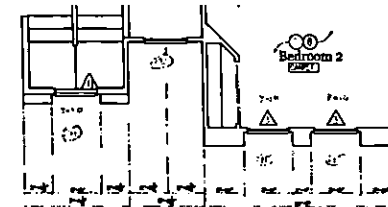
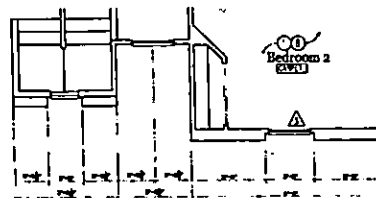
OCT 23 2006



SECOND FLOOR (A & C)



SECOND FLOOR (A & C)



SECOND FLOOR (B)

10/10/07
(10/10/07)



scale: 1/4" = 1'0"

ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006

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LAS VEGAS, NV 89128 (702) 240-5500

RICHMOND AMERICAN NOTES
STATE OF NEVADA
REGISTERED ARCHITECT
NO. 10000

FLOOR PLAN (2nd FLOOR)

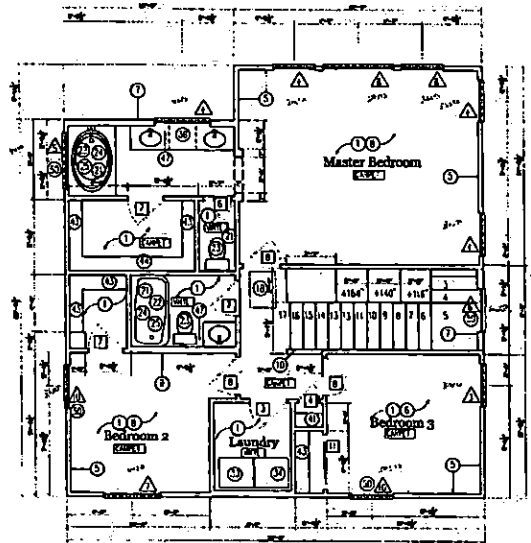
NOV 15 2006

TRES (2P20)

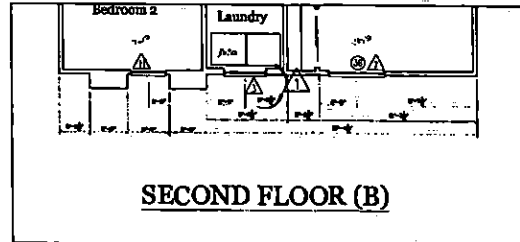
NEWBURY

TRES-A1-2

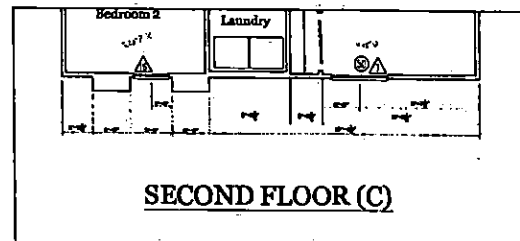
A1-2



SECOND FLOOR (A)



SECOND FLOOR (B)



SECOND FLOOR (C)

scale: 1/4" = 1'0"



**ZON-17693
SDR-17694
01/25/07 PC**

OCT 23 2006

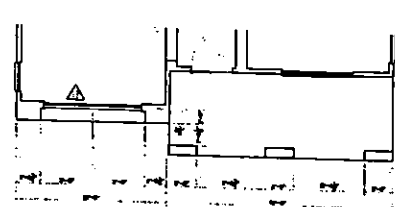
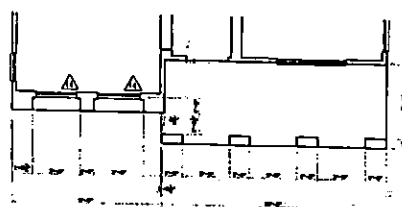
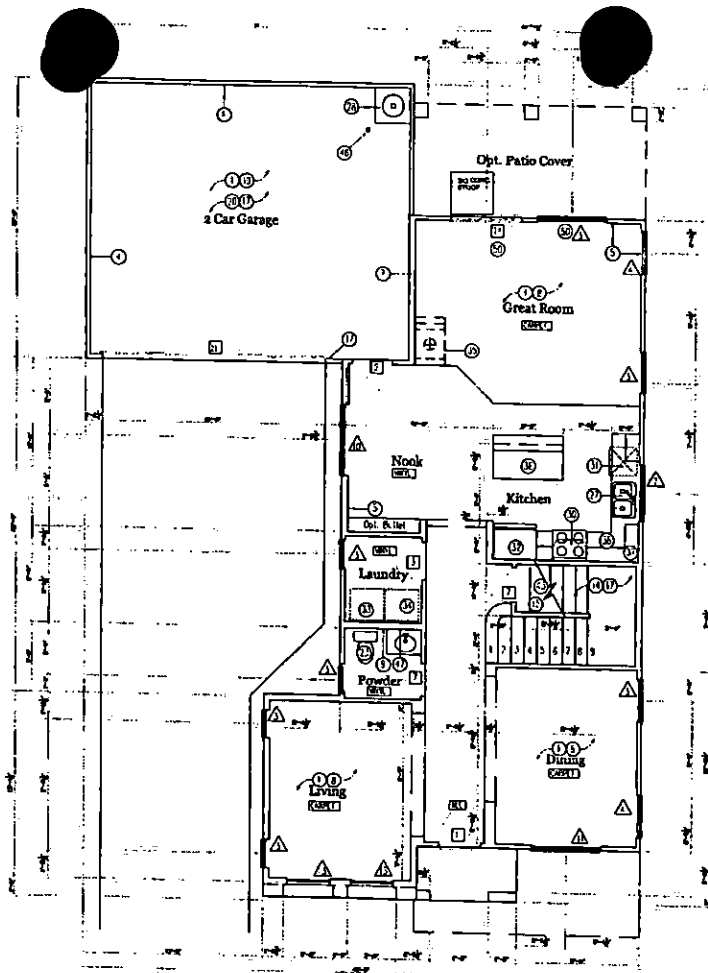
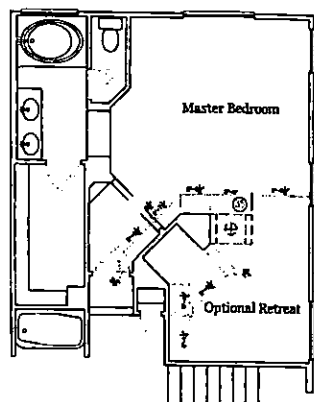
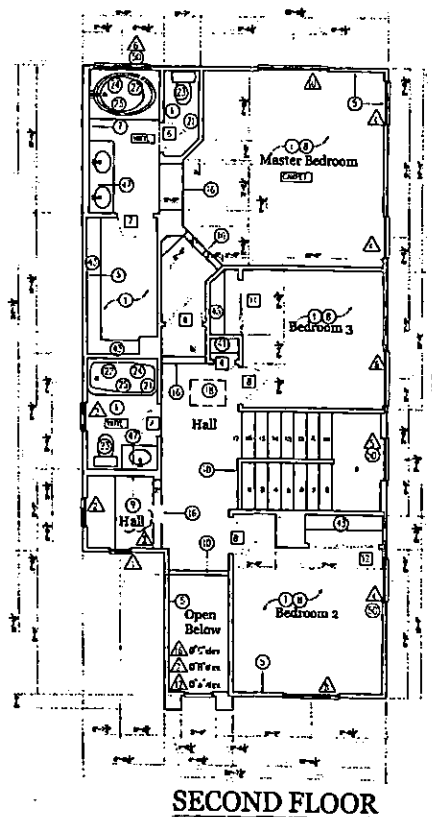
RICHMOND
AMERICAN HOMES
STATE CAPITAL PROJECT
DIVISION 1-10000

LAS VEGAS DIVISION
7238 West Peak, Suite 212
LAS VEGAS, NV 89128 (702) 240-5800

FLOOR PLAN (2ND FLOOR)

NO.	DATE	BY	CHK
1	08/10/04	...	...
2	08/10/04	...	...
3	08/10/04	...	...
4	08/10/04	...	...
5	08/10/04	...	...
6	08/10/04	...	...

UNO (2P16)
NEWBURY
UNO - AT - 2
A1-2



GENERAL NOTES		SPECIFICATIONS	
Framing / Drywall 1. ALL FRAMING TO BE 2" X 4" OR 2" X 6" UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR WALLS TO BE 8" CMU OR 16" CMU WITH 1/2" GYPSUM BOARD. 3. ALL INTERIOR WALLS TO BE 5/8" GYPSUM BOARD. 4. ALL CEILING TO BE 5/8" GYPSUM BOARD. 5. ALL FLOORS TO BE 1/2" GYPSUM BOARD OVER 1/2" SAND FILL OVER 4" GRAVEL.		FINISHES 6. ALL INTERIOR WALLS TO BE 1/2" GYPSUM BOARD. 7. ALL EXTERIOR WALLS TO BE 8" CMU OR 16" CMU WITH 1/2" GYPSUM BOARD. 8. ALL FLOORS TO BE 1/2" GYPSUM BOARD OVER 1/2" SAND FILL OVER 4" GRAVEL.	
Plumbing Fixtures 9. ALL SINKS TO BE 18" X 24" STAINLESS STEEL. 10. ALL TUBS TO BE 60" X 30" ACRYLIC. 11. ALL SHOWERS TO BE 60" X 30" ACRYLIC. 12. ALL TOILETS TO BE 31" X 18" CERAMIC.		Appliances 13. ALL REFRIGERATORS TO BE 36" WIDE. 14. ALL STOVES TO BE 36" WIDE. 15. ALL DISHWASHERS TO BE 24" WIDE.	
Cabinets / Shelves 16. ALL KITCHEN CABINETS TO BE 36" HIGH. 17. ALL BATH CABINETS TO BE 36" HIGH. 18. ALL SHelves TO BE 12" HIGH.		Windows / Doors 19. ALL WINDOWS TO BE 1/2" GLASS. 20. ALL DOORS TO BE 1 3/4" SOLID CORE.	
Foundations / Finishes / Misc. 21. ALL FOUNDATIONS TO BE 12" CMU. 22. ALL FINISHES TO BE AS NOTED.		Notes 23. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2000 IRC.	

LAS VEGAS DIVISION
 7255 West Peak, Suite 212
 LAS VEGAS, NV 89126 (702) 241-5900

RICHMOND
 STATE OF NEVADA
 DIVISION OF LAND & NATURAL RESOURCES

FLOOR PLAN (1st FLOOR & 2nd FLOOR)

Scale: 1/4" = 1'-0"

Notes:
 1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE 2000 IRC.
 2. ALL FINISHES TO BE AS NOTED.

Revision:
 1. 05-45333
 2. 05-45333
 3. 05-45333
 4. 05-45333

Drawn by: E. J. [Signature]
Check by: [Signature]
Date: 05/05/07
Scale: 1/4" = 1'-0"

Project: DOS (2P18)
Location: NEWBURY
Sheet: A1

ZON-17693
SDR-17694
01/25/07 PC

OCT 23 2006

SDR 17693				
Sharon Turbiville, Delmar Dinkins and Terry & Kathryn Karas				
NE & SECs Solar & Bradley				
Proposed 59 unit single-family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	59	9.57	565
AM Peak Hour			0.75	44
PM Peak Hour			1.01	60
(heaviest 60 minutes)				
Existing traffic on all nearby streets: No counts available for Solar or Unicorn				
Bradley Road				
Average Daily Traffic (ADT)	1,422			
PM Peak Hour	114			
(heaviest 60 minutes)				
Elkhorn Road				
Average Daily Traffic (ADT)	3,255			
PM Peak Hour	260			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Bradley Road	16200			
Elkhorn Road	31730			
This project will add approximately 565 trips per day on Bradley, Solar, Unicorn and Elkhorn. This will increase expected volumes by about 40 percent on Bradley and 17 percent on Elkhorn. Bradley is at about 9 percent of capacity and Elkhorn at about 10 percent of capacity. Counts are not available for Solar or Unicorn, but they are believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 60 additional cars into the area, which works out to about one every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



ZON-17693 AND SDR-17694 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON
TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS
ADJACENT TO THE NORTHEAST AND SOUTHEAST CORNER OF BRADLEY ROAD AND SOLAR AVENUE
JANUARY 25, 2007 PLANNING COMMISSION

11/06/06



ZON-17693 AND SDR-17694 - APPLICANT: RICHMOND AMERICAN HOMES - OWNERS: SHARON
TURBIVILLE, DELMAR DINKINS, AND TERRY & KATHRYN KARAS
ADJACENT TO THE NORTHEAST AND SOUTHEAST CORNER OF BRADLEY ROAD AND SOLAR AVENUE
JANUARY 25, 2007 PLANNING COMMISSION

11/06/06

November 14, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Bradley / Solar
APN # 125-13-801-001; 125-13-801-005; 006**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Site Development Review request for a proposed 58 lot single family project called "Bradley / Solar".

The applicant is requesting a Site Development Review for a proposed 58 lot single-family residential development on 7.27 acres (7.98 u/ac). Parcels adjacent to the proposed site have the following land use and zoning:

NE – R-E, R-PD5, R-PD7
NW – R-1, R-PD7, R-E
SE – R-1, R-PD3, R-E, R-PD5
SW – R-1, R-E

We are requesting the following setbacks for the RPD-8;

Typical Lot Size:	3,000 sq ft
Front to Building:	5' Minimum
Front to Garage:	5' or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	6' feet
Rear Yard	10' feet
Rear Yard Cul-de-sac lots only	5' feet

Richmond American Homes believes that requesting RPD-8 zoning will compliment the area and would provide affordable housing.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,

Kris Givant
Project Coordinator

RECEIVED
NOV 14 2006

ZON-17693 SDR-17694
REVISED 01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ CONSENT ☒ DISCUSSION

SUBJECT:

ABEYANCE - VAR-17732 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS - Request for a Variance TO ALLOW A PROPOSED BUILDING 20 FEET FROM THE REAR PROPERTY LINE WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A MINIMUM SETBACK OF 60 FEET; AND TO ALLOW TWO PROPOSED TRASH ENCLOSURES 10 FEET FROM THE REAR PROPERTY LINE WHERE 50 FEET IS THE MINIMUM SETBACK REQUIRED on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Abeyance request by Stephanie Allen for Items 33 and 34

MOTION:

GOYNES – Motion to **HOLD IN ABEYANCE** Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; **TABLE** Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and **WITHDRAW WITHOUT PREJUDICE** Item 66 [SDR-18677] – **UNANIMOUS**

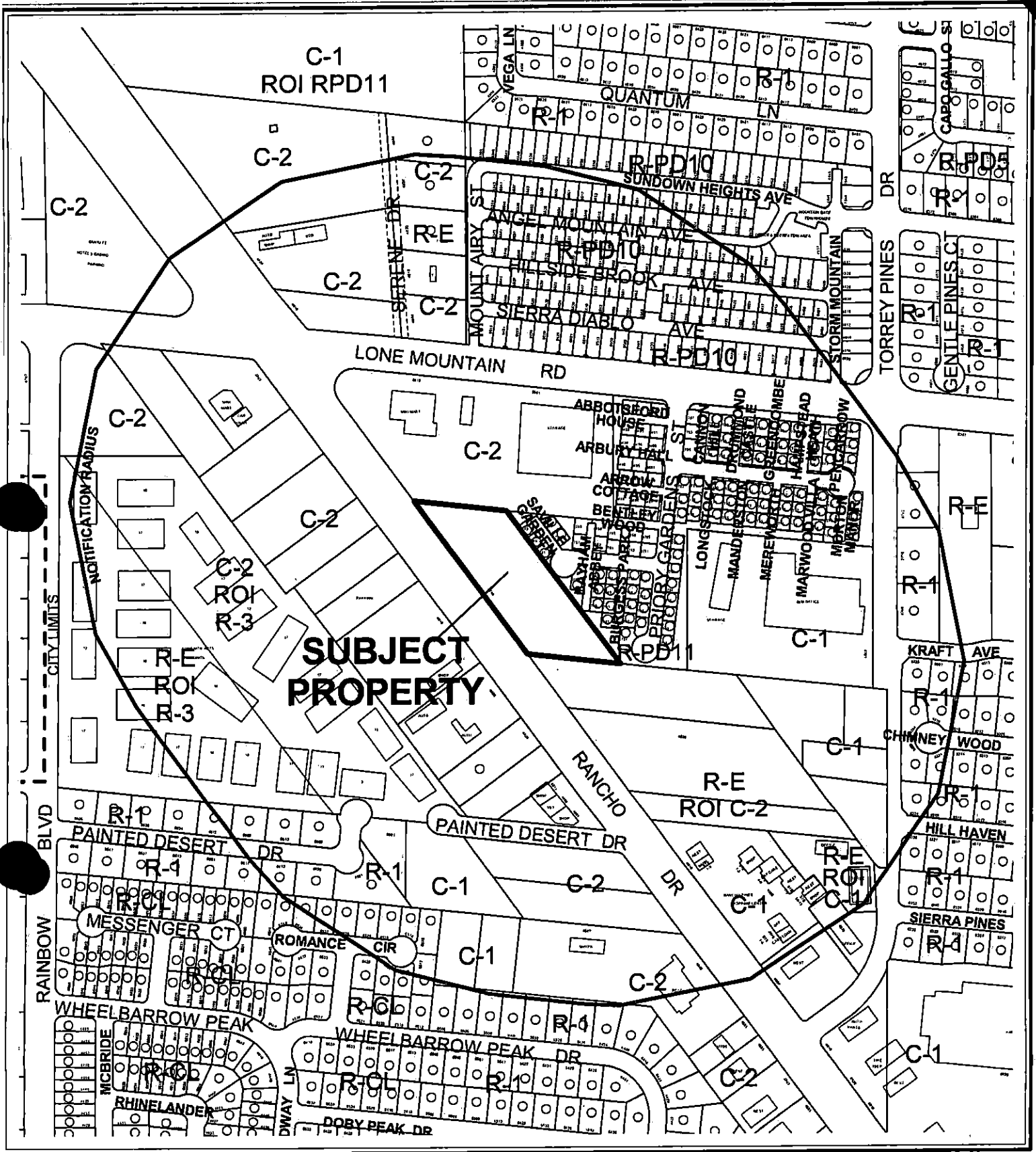
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 33 – VAR-17732

MINUTES:

DOUG RANKIN, Planning Manager, stated that Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730] were requested to be tabled.

(6:04 – 6:07)

1-66



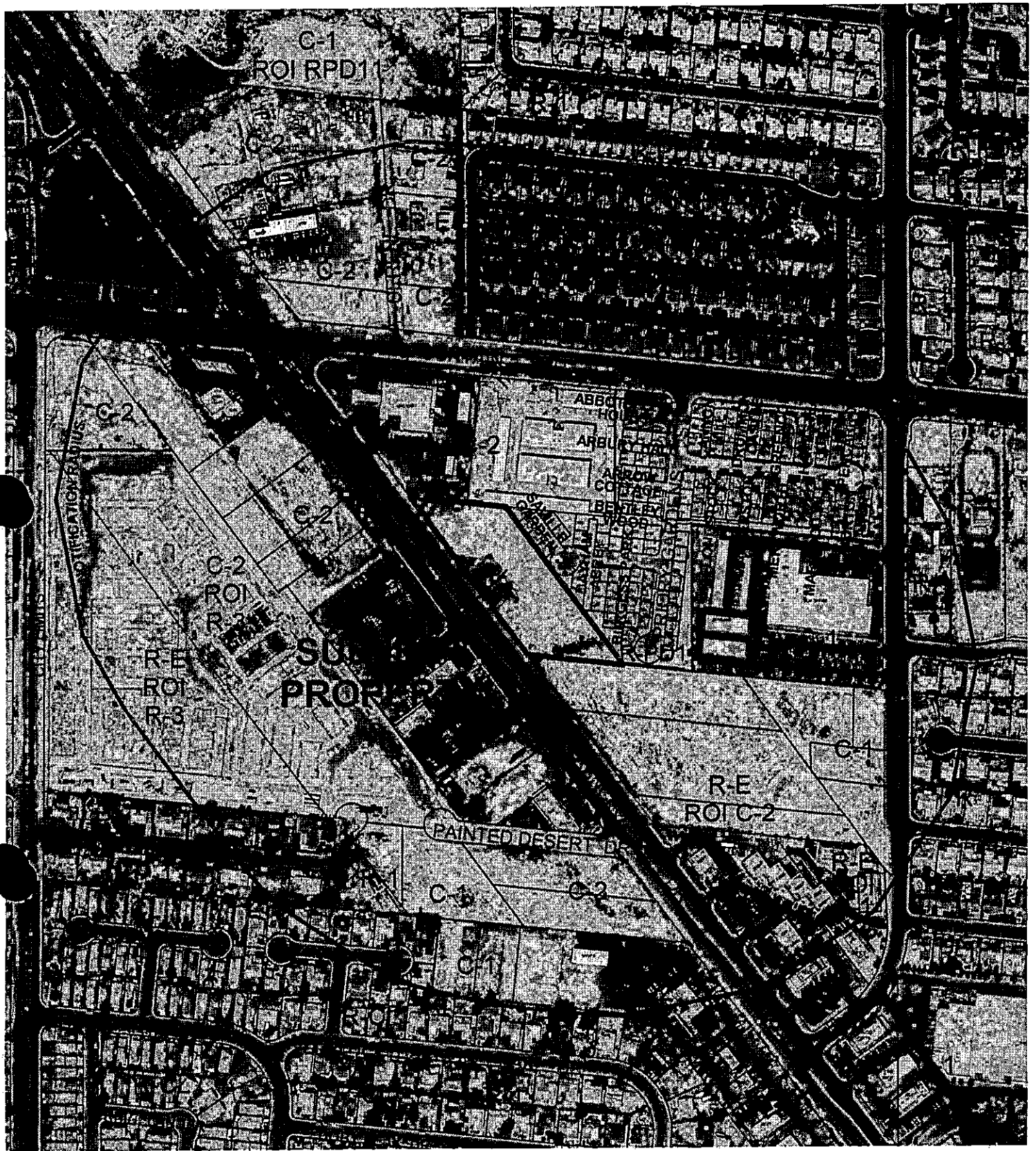
CASE: **VAR-17732**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100 200 Feet





CASE: **VAR-17732**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100200 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-17732 - APPLICANT/OWNER: SF INVESTMENTS

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-8-99) and Site Development Plan Review (SDR-17730), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17732 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Variance to allow a proposed building 20 feet from the rear property line where residential adjacency standards require a minimum setback of 60 feet; and to allow two proposed trash enclosures 10 feet from the rear property line where 50 feet is the minimum setback required on 2.56 acres at 4700 North Rancho Drive. A related Site Development Plan Review (SDR-17730) will also be considered on this agenda.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/24/99	The City Council approved a General Plan Amendment (GPA-0003-99) from SC (Service Commercial) to GC (General Commercial) and a Rezoning (Z-0008-99) from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) on the subject property
07/07/04	The City Council approved a General Plan Amendment (GPA-4072) from O (Office) and GC (General Commercial) to MLA (Medium-Low Attached Density Residential), a Rezoning (ZON-4202) from O (Office), R-E (Residence Estates) and C-2 (General Commercial) to R-PD11 (Residential Planned Development - 11 Units Per Acre) and a Site Development Plan Review (SDR-4204) for a proposed 116-unit single-family attached residential development on 10.95 acres to the east of the subject property. The Planning Commission recommended approval. Staff recommended denial.
04/06/05	The City Council approved a request for a Site Development Plan Review for a proposed 38,000 square-foot office/warehouse development and for a waiver of the building placement, perimeter, and parking lot landscaping requirements on the subject site. The City Council also approved a related Variance (VAR-5808) to allow a 37-foot setback where residential adjacency standards require a minimum setback of 84 feet for a proposed office/warehouse development on the subject site. The Planning Commission recommended approval of these applications. Staff recommended denial.
12/07/06	The Planning Commission held this item in abeyance per the applicant's request.
12/21/06	The Planning Commission held this item in abeyance in an effort to provide the applicant an opportunity to submit revised site plans.
01/11/07	The Planning Commission held this item in abeyance as applicant is working with NDOT.
<i>Pre-Application Meeting</i>	
09/21/06	Staff explained the requirements for a Site Development Plan Review and a Variance.

AR

VAR-17732 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
11/08/06	Staff requested that the applicant conduct a neighborhood meeting to explain this request to surrounding property owners. As of this date, the applicant has not provided staff with verification that a meeting occurred.

Details of Application Request	
Site Area	
Net Acres	2.56

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	General Commercial	C-2 (General Commercial)
North	Convenience store and mini-storage	General Commercial	C-2 (General Commercial)
South	Undeveloped	General Commercial	C-2 (General Commercial)
East	Single family dwellings	Medium Low Attached	R-PD11 (Residential Planned development – 11 Units Per Acre)
West	Equipment storage yard	General Commercial	C-2 (General Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

The Master Plan Transportation Element indicates that a Pedestrian Path is required along the west side of this site, adjacent to Rancho Drive. The walking path and landscaping depicted on the site plan comply with the design standards of the Pedestrian Path.

AR

VAR-17732 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply to this site:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	2.56 acres	Y
Min. Lot Width	100 feet	560 feet	Y
Min. Setbacks			
• Front	• 20 feet	• 30 feet	• Y
• Side	• 10 feet	• 31 feet	• Y
• Rear	• 20 feet	• 20 feet	• Y*
Max. Lot Coverage	50 %	10.6 %	Y
Max. Height	N/A	38 feet	Y

*This setback complies with the C-2 standards, but does not comply with the Residential Adjacency standards. This issue is addressed with the subject Variance.

Per Title 19.08.06, the following standards apply:

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	60 feet	20 feet	N
Adjacent development matching setback	11 feet	20 feet	Y
Trash Enclosure	50 feet	10 feet	N

The applicant has requested the subject Variance to address the residential adjacency and trash enclosure issues.

Per Title 19.12, the following standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	17 Trees	19 Trees	Y
	1 Tree/ 20 Linear Feet along east property line (Rancho Drive)	28 Trees	37 Trees	Y
Buffer: Min. Trees	1 Tree/ 30 Linear Feet along remaining property lines	37 Trees	41 Trees	Y
	15 Feet along east property line (Rancho Drive)		15 Feet along east property line	Y
Min. Zone Width	8 Feet along remaining property lines		8 Feet along remaining property lines	Y

VAR-17732 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Restaurant with drive-through	2,400 sf	1/100 sf	24				
Retail	11,000 sf	1/175 sf	63				
Car wash	3,173 sf	2/stall	10				
TOTAL			97	4	101	4	Y
Loading Spaces	16,573 sf		2		2		Y

ANALYSIS

The site is currently undeveloped. The property immediately to the east is developed with a single-family subdivision. The applicant proposes to construct an 11,000 square-foot retail/office building in the east portion of the property, and a 2,400 square-foot fast food restaurant in the north portion. Where adjacent to the east property line, the retail/office building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

The applicant also proposes to place five auto-vacuum stations 10 feet from the east property line, and a five-bay car wash 52 feet from the east property line. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

Access to the site is from two 24-foot wide drives to Rancho Drive. Landscape buffers that comply with city standards are provided along all property lines. Landscape islands and trees in sizes and amounts that comply with city standards are provided in the parking lot. The elevations depict a plaster exterior, metal accents and a concrete tile roof.

VAR-17732 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through their design choices. Alternative design would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

9

ASSEMBLY DISTRICT 1

SENATE DISTRICT 4

NOTICES MAILED 296 (Mailed with SDR-17730)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-17732 APN: 138-02-102-014

Name of Property Owner: SF INVESTMENTS LLC

Name of Applicant: PERKOWITZ & RUTH, ARCHITECTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

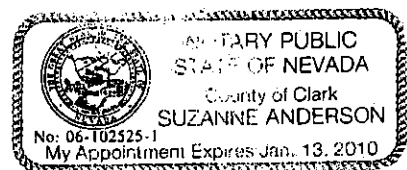
APN: _____

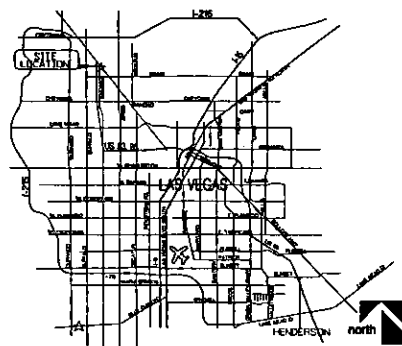
Signature of Property Owner: _____

Print Name: Stephen B. Atzenberg

Subscribed and sworn before me

This 23 day of Oct, 2006
Suzanne Anderson Clark County of NV.
Notary Public in and for said County and State





VICINITY MAP

SCALE: N.T.S.

SITE SUMMARY **LAND AREA**

BUILDING AREA
BUILDING COVERAGE
CURRENT/PROPOSED ZONING
SETBACKS REQUIRED:
FRONT
REAR
SIDES

APPROX. 2.56 ACRES
(155,074 S.F. +/-)
16,573 SF
10.6% AC
C-2 General Commercial

APN:

138-02-102

14

PARKING ANALYSIS:

TOTAL S.F.
RESTAURANT-FAST-FOOD
RETAIL / OFFICE
CAR WASH (SELF)
TOTAL REQ'D
PROVIDED (INCL. 4 HC required 2% of total spaces required)

16,573 S.F.

2,400 S.F. @ 1/ 100 SF
11,000 S.F. @ 1/ 175 SF
3,173 @ 2/STALL

REQ'D

24
62
11
97
101

SYMBOLS & LEGEND

ACCESSIBLE ROUTE
FIRE ACCESS

PARKING BREAKDOWN

TOTAL PARKING SPACES REQUIRED: 51
TOTAL STANDARD SPACES REQUIRED: 104
USE: 5'x10' = 50 SPACES (104)
PROVIDED: 80 SPACES
TOTAL COMPACT SPACES ALLOWED: 50%
SIZE: 8'x10' = 20 SPACES
PROVIDED: 21 SPACES

138-02-102-001
ADJACENT LAND USE: C-3

138-02-102-016
ADJACENT LAND USE: C-3
(NOT R-POD)

138-02-102-004
ADJACENT LAND USE: C-3

Revisions

Date: 10/24/06
Drawn By: M/G
Checked By: Mary Venable
Project No: 06-537-11
File Name: D0653711-SITE.DWG
Scale: 1" = 1'-0"

DS-1

PRELIMINARY - NOT FOR CONSTRUCTION
THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF
A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE
AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.

VAR-17732

01/25/07 PC SDR-17730

Perkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

October 24, 2006

Mr. Nathan Goldberg
City of Las Vegas
Current Planning Department
731 S. Fourth Street
Las Vegas, NV 89101

**RE: RANCHO COMMERCE PARK
APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW AND
VARIANCE WITH WAIVERS
JUSTIFICATION LETTER**

Dear Mr. Goldberg:

Perkowitz+Ruth Architects, on behalf of SF Investments, LLC, respectfully requests Site Development Plan Review approval for a 2.5 acre parcel located on the north side of Rancho Drive, south of Lone Mountain.

The Rancho Commerce Park project is a proposed retail development with three buildings: a restaurant pad building with drive-thru, an inline retail/office building, and a self-service car wash. There are also small kiosks for smog check and a water vending machine. The general retail, office, car wash and restaurant uses are permitted uses in the C-2 zoning. The proposed uses are similar to the existing commercial uses in this neighborhood, and we believe will provide welcome services to the residential neighbors.

The smog check is a conditional use in C-2. The equipment for this proposed use will easily be housed in a building smaller than the 400 s.f. cited in Title 19 as a condition. We will request a Special Use Permit for the smog check (at a later date), as the equipment will be inside the kiosk when the smog check is closed.

We request waivers for the following items;

1. Fewer tree fingers in parking lot than one every 6 spaces. In compensation, we are providing an enlarged landscape area in the northwest corner of the property along Rancho.
2. Entry drive throat depth of less than 50'. Because the lot is shallow from front to back, the normal throat depth of 50' would seriously restrict circulation onsite. To alleviate any potential problem, we have made two driveways, a right-in and a right-out, and have maintained the 50' throat at the drive-thru exit. We have asked NDOT to approve our having two drive ways on this street frontage.

01/25/07 PC

**VAR-17732
SUB-17730**

RECEIVED
OCT 24 2006

3. Residential adjacency height limit. The adjacent homes are 3-story homes and are taller than the proposed building. A waiver to this condition was previously approved by the City Council for a proposed commercial building on this site. The height restriction, if not waived, would drastically limit the use of this lot and access into the lot because of awkward building placement. With the proposed configuration, the building serves as a buffer between the homes and the parking area and street, resulting in reduced noise and pollution near the homes.

We do not foresee any particular issues or problems associated with this location.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS


Mary Venable, Architect
Project Manager
Maria Luisa Guzman
Project Manager

Cc: File No. 5.2

VAP 17730
SDR-17730
01/25/07 PC

RECEIVED
OCT 24 2006

**KUMMER
KAEMPFER**

**KUMMER KAEMPFER BONNER
RENSHAW & FERRARIO**

ATTORNEYS AT LAW

LAS VEGAS OFFICE

STEPHANIE H. ALLEN

sallen@kkbrf.com
702.792-7000

LAS VEGAS OFFICE
3600 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89109
Tel: 702.792.7000
Fax: 702.796.7101

RENO OFFICE
6865 Kietzke Lane
Reno, NV 86511
Tel: 775.852.3980
Fax: 775.852.3982

SUMMERLIN OFFICE
3426 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89129
Tel: 702.853.4260
Fax: 702.939.9457

CARSON CITY OFFICE
510 W. Fourth Street
Carson City, NV 89703
Tel: 775.882.1311
Fax: 775.882.0257

January 25, 2007

VIA FACSIMILE

385-7268

Mr. John Korkosz
City of Las Vegas Planning Dept.
731 S. Fourth Street
Las Vegas, NV 89101

**Re: VAR-17732 and SDR-17730
Items #33 and 34 on January 25, 2007 agenda
SF Investments**

Dear Mr. Korkosz:

This office represents the applicant in the above-referenced matters. We respectfully request these matters be tabled from the presently scheduled Planning Commission hearing of January 25, 2007.

Thank you for your consideration.

Sincerely,

KUMMER KAEMPFER BONNER RENSCHAW & FERRARIO

Stephanie Allen/mlt

Stephanie H. Allen

SHA/mlt

cc: Fred Lessman (via fax: 562-4851)

Submitted after final agenda

Date 1/25/07 Item #33+34



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION****SUBJECT:**

ABEYANCE - SDR-17730 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17732 - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS LLC -
Request for a Site Development Plan Review FOR A 16,573 SQUARE FOOT RETAIL CENTER WITH AUTOMATIC AND SELF-SERVE CAR WASHES, AUTOMOBILE VACUUM STATIONS, AND A RESTAURANT WITH DRIVE-THROUGH on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).

C.C.: 02/21/07**PROTESTS RECEIVED BEFORE:****Planning Commission Mtg.**
City Council Meeting**0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.**
City Council Meeting**0****RECOMMENDATION:**Staff recommends **DENIAL**.**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 34 – SDR-17730

MINUTES:

DOUG RANKIN, Planning Manager, stated that Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730] were requested to be tabled.

(6:04 – 6:07)

1-66

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*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. An eight-foot block wall shall be built along the east property line of the site.
2. There shall be no outdoor storage on site.
3. The car wash facilities and vacuums shall be limited to the hours of 9AM to 7PM.
4. Conformance to the conditions for Variance (VAR-17732) if approved.
5. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
6. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

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SDR-17730 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

10. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Construct all incomplete half-street improvements on Rancho Drive adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
17. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
18. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

SDR-17730 - Conditions Page Three
January 25, 2007 - Planning Commission Meeting

19. Driveways shall receive approval from the Nevada Department of Transportation.
20. Landscape and maintain all unimproved right-of-way, if any, on Rancho Drive adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. As appropriate, submit an Encroachment Agreement to the City of Las Vegas or obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Rancho Drive public right-of-way adjacent to this site prior to occupancy of this site.
22. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
23. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
24. Site development to comply with all applicable conditions of approval for Z-8-99 and all other site-related actions.

SDR-17730 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a 16,573 square-foot retail center with automatic and self-serve car washes, automobile vacuum stations, and a restaurant with drive-through on 2.56 acres. A related Variance (VAR-17732) will also be considered on this agenda.

The inability of the applicant to devise a site plan that complies with the Residential Adjacency standards and the placement of car wash facilities in close proximity to residential land uses indicate that the design characteristics of this proposal are too intense for this site. Therefore, staff recommends denial.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/24/99	The City Council approved a General Plan Amendment (GPA-0003-99) from SC (Service Commercial) to GC (General Commercial) and a Rezoning (Z-0008-99) from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) on the subject property
07/07/04	The City Council approved a General Plan Amendment (GPA-4072) from O (Office) and GC (General Commercial) to MLA (Medium-Low Attached Density Residential), a Rezoning (ZON-4202) from O (Office), R-E (Residence Estates) and C-2 (General Commercial) to R-PD11 (Residential Planned Development - 11 Units Per Acre) and a Site Development Plan Review (SDR-4204) for a proposed 116-unit single-family attached residential development on 10.95 acres to the east of the subject property. The Planning Commission recommended approval. Staff recommended denial.
04/06/05	The City Council approved a request for a Site Development Plan Review for a proposed 38,000 square-foot office/warehouse development and for a waiver of the building placement, perimeter, and parking lot landscaping requirements on the subject site. The City Council also approved a related Variance (VAR-5808) to allow a 37-foot setback where residential adjacency standards require a minimum setback of 84 feet for a proposed office/warehouse development on the subject site. The Planning Commission recommended approval of these applications. Staff recommended denial.
12/07/06	The Planning Commission held this item in abeyance per the applicant's request.
12/21/06	The Planning Commission held this item in abeyance in an effort to provide the applicant an opportunity to submit revised site plans.
01/11/07	The Planning Commission held this item in abeyance as applicant is working with NDOT.

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SDR-17730 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Pre-Application Meeting	
09/21/06	Staff explained the requirements for a Site Development Plan Review and a Variance.
Neighborhood Meeting	
11/08/06	Staff requested that the applicant conduct a neighborhood meeting to explain this request to surrounding property owners. As of this date, the applicant has not provided staff with verification that a meeting occurred.

Details of Application Request	
Site Area	
Net Acres	2.56

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	General Commercial	C-2 (General Commercial)
North	Convenience store and mini-storage	General Commercial	C-2 (General Commercial)
South	Undeveloped	General Commercial	C-2 (General Commercial)
East	Single family dwellings	Medium Low Attached	R-PD11 (Residential Planned Development – 11 Units Per Acre)
West	Equipment storage yard	General Commercial	C-2 (General Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

The Master Plan Transportation Element indicates that a Pedestrian Path is required along the west side of this site, adjacent to Rancho Drive. The walking path and landscaping depicted on the site plan comply with the design standards of the Pedestrian Path.

SDR-17730 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply to this site:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	2.56 acres	Y
Min. Lot Width	100 feet	560 feet	Y
Min. Setbacks			
• Front	• 20 feet	• 30 feet	• Y
• Side	• 10 feet	• 31 feet	• Y
• Rear	• 20 feet	• 20 feet	• Y*
Max. Lot Coverage	50 %	10.6 %	Y
Max. Height	N/A	38 feet	Y

*This setback complies with the C-2 (General Commercial) standards, but does not comply with the Residential Adjacency standards. This issue is addressed with related Variance VAR-17732.

Per Title 19.08.06, the following standards apply:

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	60 feet	20 feet	N
Adjacent development matching setback	11 feet	20 feet	Y
Trash Enclosure	50 feet	10 feet	N

The applicant has requested a Variance (VAR-17732) to address the residential adjacency and trash enclosure issues.

Per Title 19.12, the following standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	17 Trees	19 Trees	Y
Buffer: Min. Trees	1 Tree/ 20 Linear Feet along east property line (Rancho Drive)	28 Trees	37 Trees	Y
	1 Tree/ 30 Linear Feet along remaining property lines	37 Trees	41 Trees	Y
	15 Feet along east property line (Rancho Drive)		15 Feet along east property line	Y
Min. Zone Width	8 Feet along remaining property lines		8 Feet along remaining property lines	Y

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SDR-17730 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Pursuant to Title 19.10, the following parking standards apply:							
Parking Requirement							
Use	Gross Floor Area	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Restaurant with drive-through	2,400 sf	1/100 sf	24				
Retail	11,000 sf	1/175 sf	63				
Car wash	3,173 sf	2/stall	10				
TOTAL			97	4	101	4	Y
Loading Spaces	16,573 sf		2		2		Y

ANALYSIS

The site is currently undeveloped. The property immediately to the east is developed with a single family subdivision. The applicant proposes to construct an 11,000 square-foot retail/office building in the east portion of the property, and a 2,400 square-foot fast food restaurant in the north portion. Where adjacent to the east property line, the retail/office building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

The applicant also proposes to place five auto-vacuum stations 10 feet from the east property line, and a five-bay car wash 52 feet from the east property line. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

Access to the site is from two 24-foot wide drives to Rancho Drive. Landscape buffers that comply with city standards are provided along all property lines. Landscape islands and trees in sizes and amounts that comply with city standards are provided in the parking lot. The elevations depict a plaster exterior, metal accents and a concrete tile roof.

SDR-17730 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

FINDINGS

The following findings must be made:

1. The proposed development is compatible with adjacent development and development in the area;
2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;
4. Building and landscape materials are appropriate for the area and for the City;
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

In regard to "1": The applicant proposes to place auto-vacuum stations and a car wash facility in close proximity to residential development. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

In regard to "2": The applicant proposes to construct an 11,000 square-foot retail/office building that does not comply with the Residential Adjacency Standards of Title 19 adjacent to the east property line. This building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

In regard to "3": The site will have access from Rancho Drive, a 200-foot wide Primary Arterial as shown on the Master Plan of Streets and Highways. The proposed layout should not negatively impact Rancho Drive or neighboring traffic.

SDR-17730 - Staff Report Page Six
January 25, 2007 - Planning Commission Meeting

In regard to "4": Building materials include a plaster exterior, metal accents and a concrete tile roof, which are appropriate for commercial development in this area of the City. Landscaping materials are acceptable and are appropriately placed for purposes of screening and beautification.

In regard to "5": The inability of the applicant to devise a site plan that complies with the Residential Adjacency standards and the placement of car wash facilities in close proximity to residential land uses indicate that the design characteristics of this proposal are too intense for this site.

In regard to "6": The proposed development will be subject to regular inspections for permitting and licensing and will; therefore, not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

9

ASSEMBLY DISTRICT 1

SENATE DISTRICT 4

NOTICES MAILED 296 (Mailed with VAR-17732)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17730** APN: **138-02-102-014**
Name of Property Owner: **SF INVESTMENTS LLC**
Name of Applicant: **PERKOWITZ & RUTH, ARCHITECTS**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

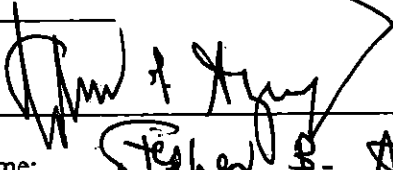
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

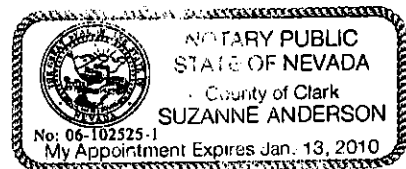
Partner(s): _____

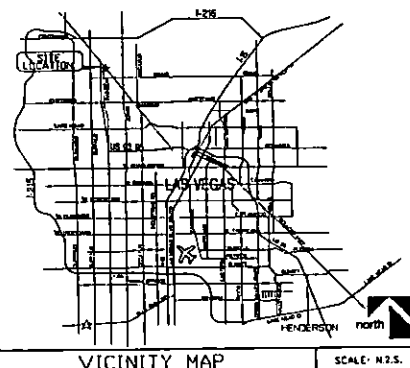
APN: _____

Signature of Property Owner: 
Print Name: **Stephen S. Anderson**

Subscribed and sworn before me

This **23** day of **Oct**, 2006
Suzanne Anderson *Clark County of NV.*
Notary Public in and for said County and State





SITE SUMMARY **LAND AREA**

BUILDING AREA
BUILDING COVERAGE
CURRENT/PROPOSED ZONING
SETBACKS REQUIRED:
FRONT
REAR
SIDES

APPROX. 2.56 ACRES
(155,074 S.F. +/-)
16,573 SF
10.6% AC
C-2 General Commercial

APN:

138-02-102 14

PARKING ANALYSIS:

TOTAL S.F. 16,573 S.F.
RESTAURANT-FAST-FOOD 2,400 S.F. @ 1/ 100 SF
RETAIL / OFFICE 11,000 S.F. @ 1/ 175 SF
CAR WASH (SELF) 3,173 @ 2/STALL
TOTAL REQ'D
PROVIDED (INCL. 4 HC required 2% of total spaces required)

REQ'D
24
62
11
97
101

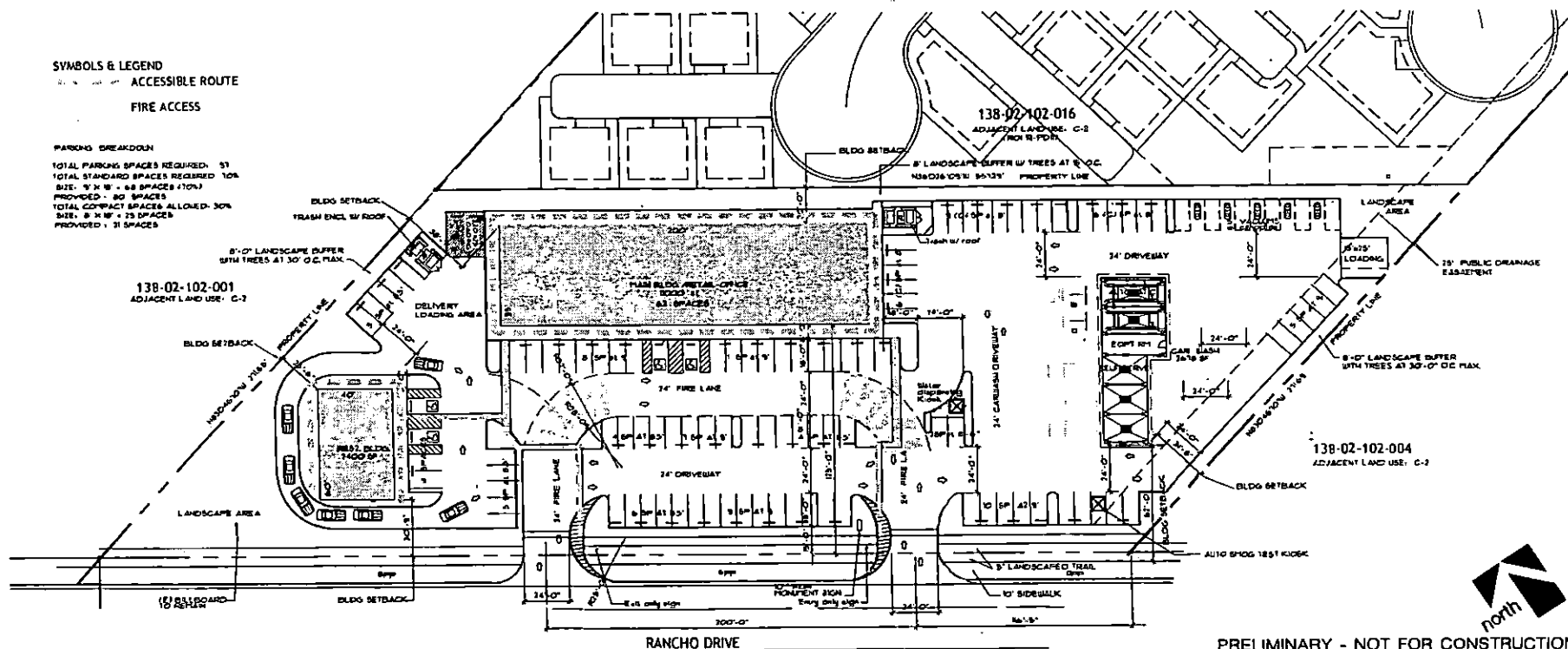
SYMBOLS & LEGEND

ACCESSIBLE ROUTE

FIRE ACCESS

PARKING BREAKDOWN

TOTAL PARKING SPACES REQUIRED: 51
TOTAL STANDARD SPACES REQUIRED: 10A
SIZE: 9' X 18' - 68 SPACES (70%)
PROVIDED: 80 SPACES
TOTAL COMPACT SPACES ALLOWED: 30%
SIZE: 8' X 16' - 25 SPACES
PROVIDED: 31 SPACES



PRELIMINARY - NOT FOR CONSTRUCTION
THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.

VAR-17732
SDR-17730
01/25/07 PC

SITE PLAN SCALE: 1" = 60'-0"

OCT 24 2006



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Revisions

Date 10/24/06
Drawn By MLC
Checked By Mary Varela
Project No 06-537-II
File Name 006537II-SITE010-1
Scale 1" = 60'

DS-1



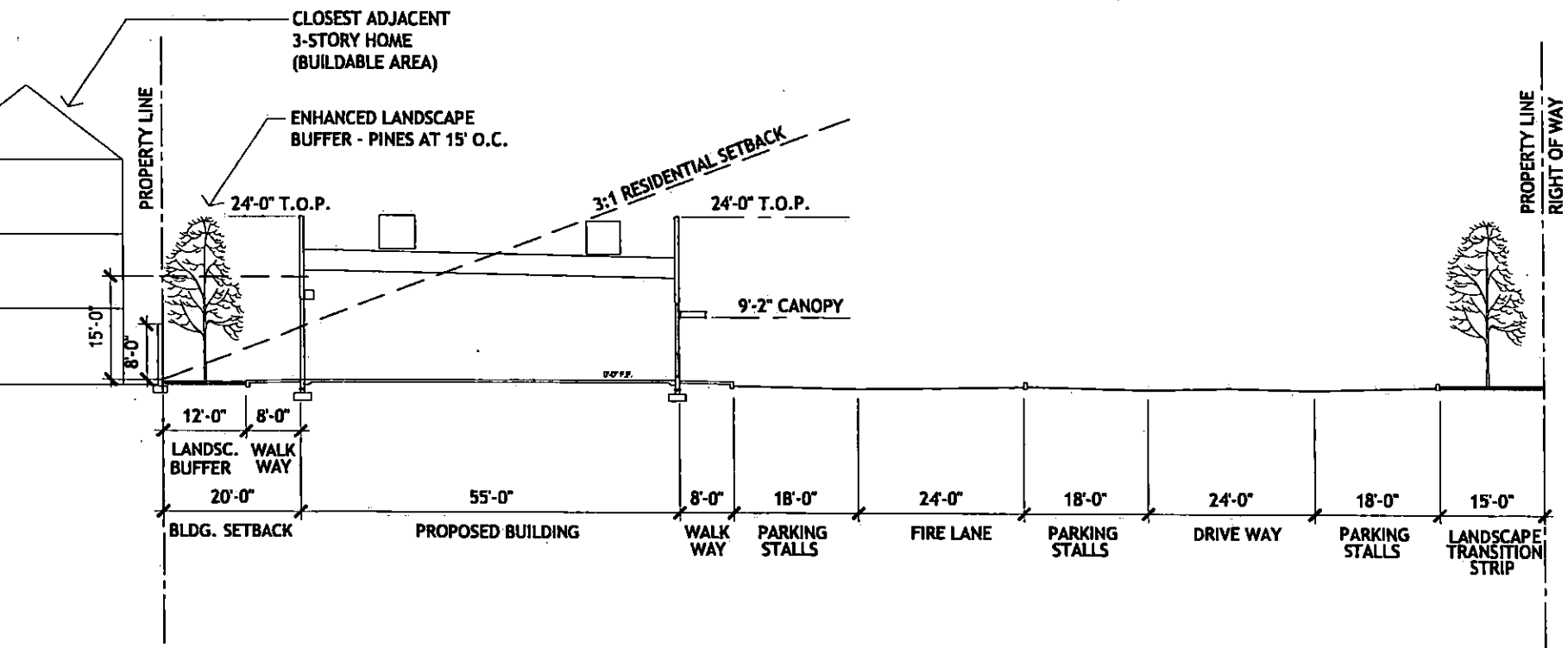
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Parkowitz, Ruth
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Las Vegas, NV

Revisions	

Date 10/24/06
Drawn By MLO/RG
Checked By
Project No. 06-537-II
File Name 06-537-SR.dwg
Scale 1/16" = 1'-0"

MAIN BLDG.
SELEV 1



01/25/07 PC
VAR-17732
SDR-17730

10/22/06 SCALE: 1/16" = 1'-0"

PR

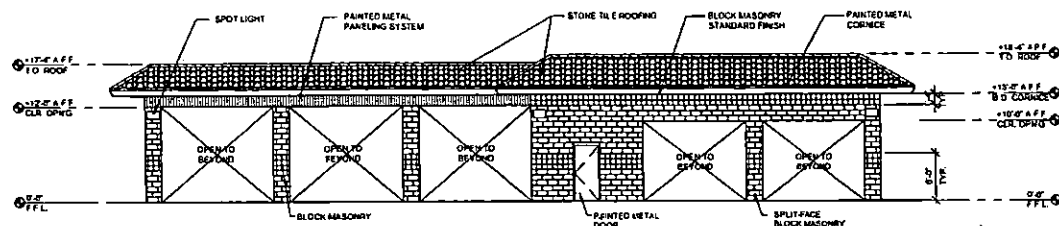
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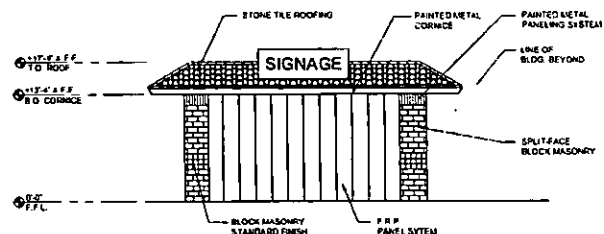
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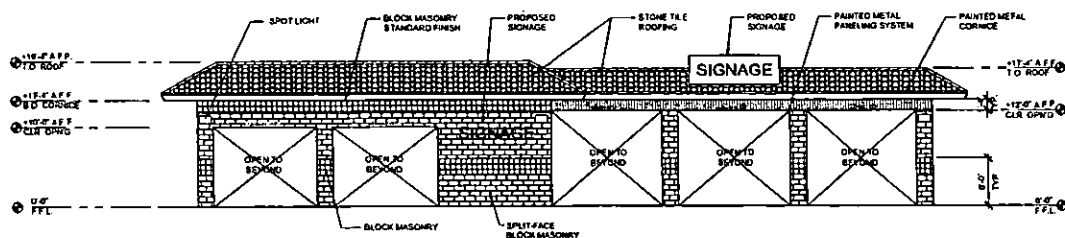
CARWASH
ELEV 1 (C)



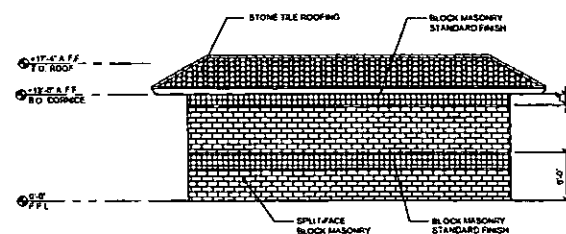
REAR ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION

VAR-17732

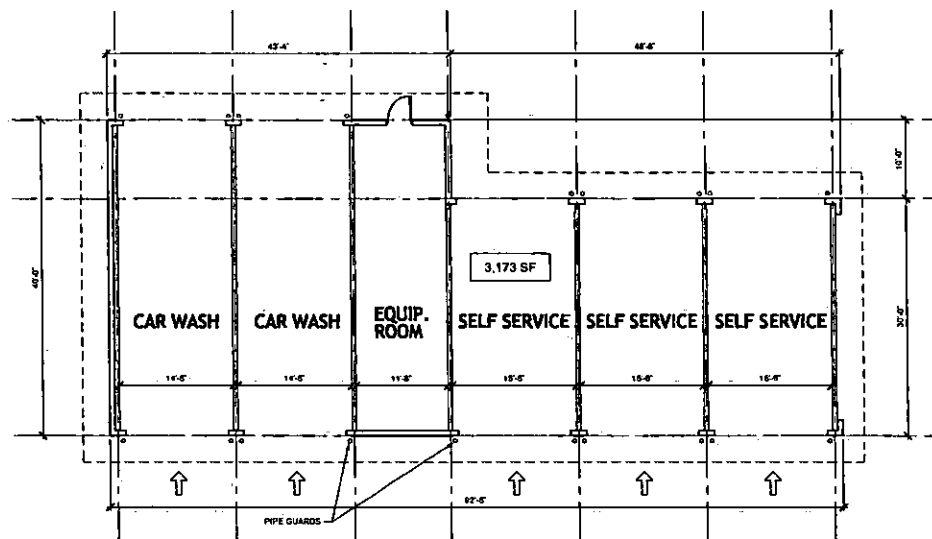
SDR-17730
01/25/07 PC

PROPOSED BUILDING ELEVATIONS

10/02/08 SCALE: 1/16" = 1'-0"

1

007 2 21036



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**Perkowitz, Roth
ARCHITECTS**
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Las Vegas, NV

Revisions	

Date 10/24/06
Drawn By MLG/RG
Checked By
Project No. 06-537-11
File Name 06-537-A11 Cdwg
Scale 1/8" = 1'-0"

CAR WASH
FLR 1 (C)

VAR-17732
SDR-17730
01/25/07 PC

10002/06 10002/06 SCALE: 1/16" = 1'-0"

OCT 3 2006



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**Parkowitz, Roth
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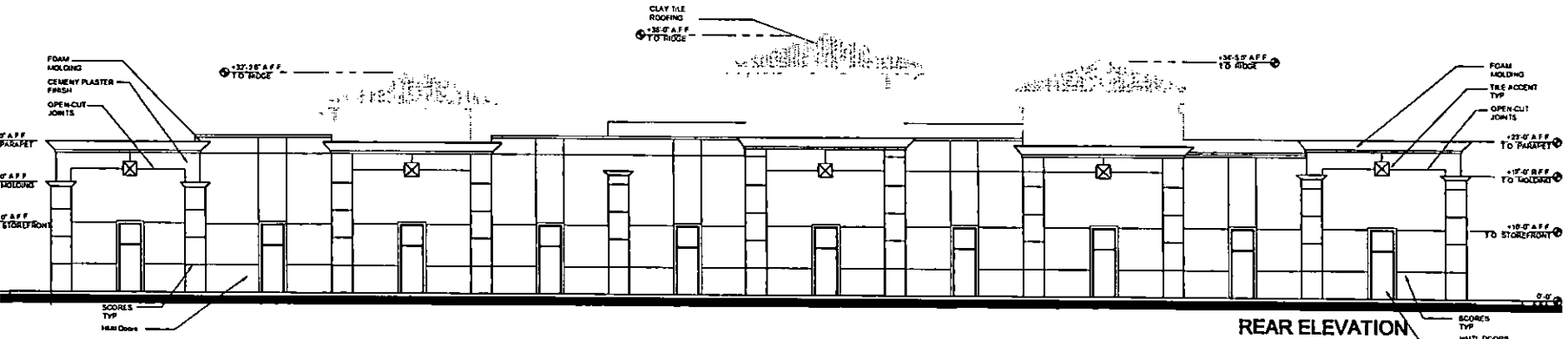
Revisions	

Date: 10/24/06
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Checked By: Mary Venable
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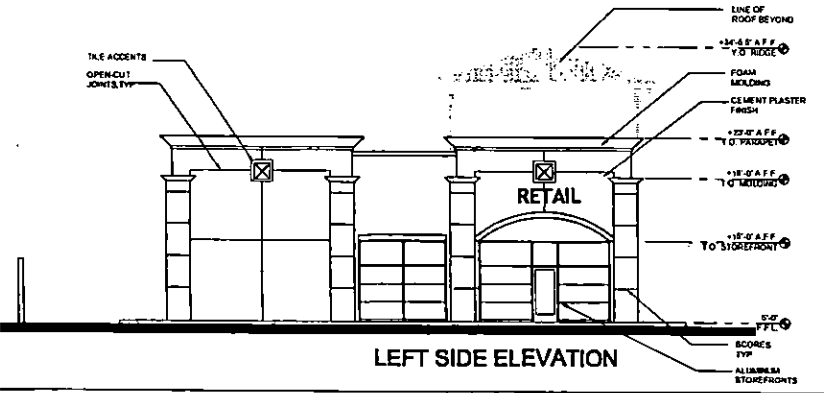
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ELEV 1 (M)



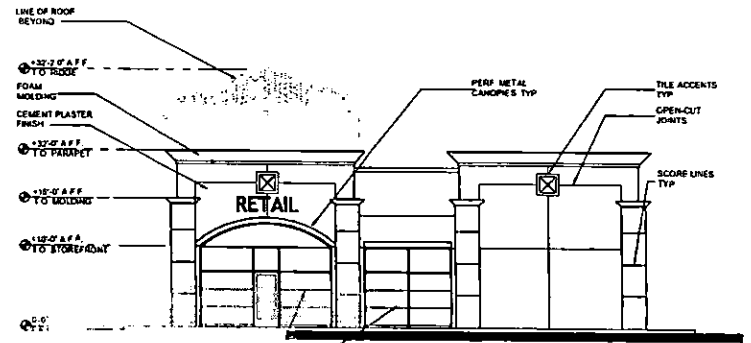
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

VAR-17732
SDR-17730
01/25/07 PC

CLOSED BUILDING ELEVATIONS
10/24/06 SCALE: 1/16" = 1'-0"

001 2 4 2006



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Washington, DC
Las Vegas, NV

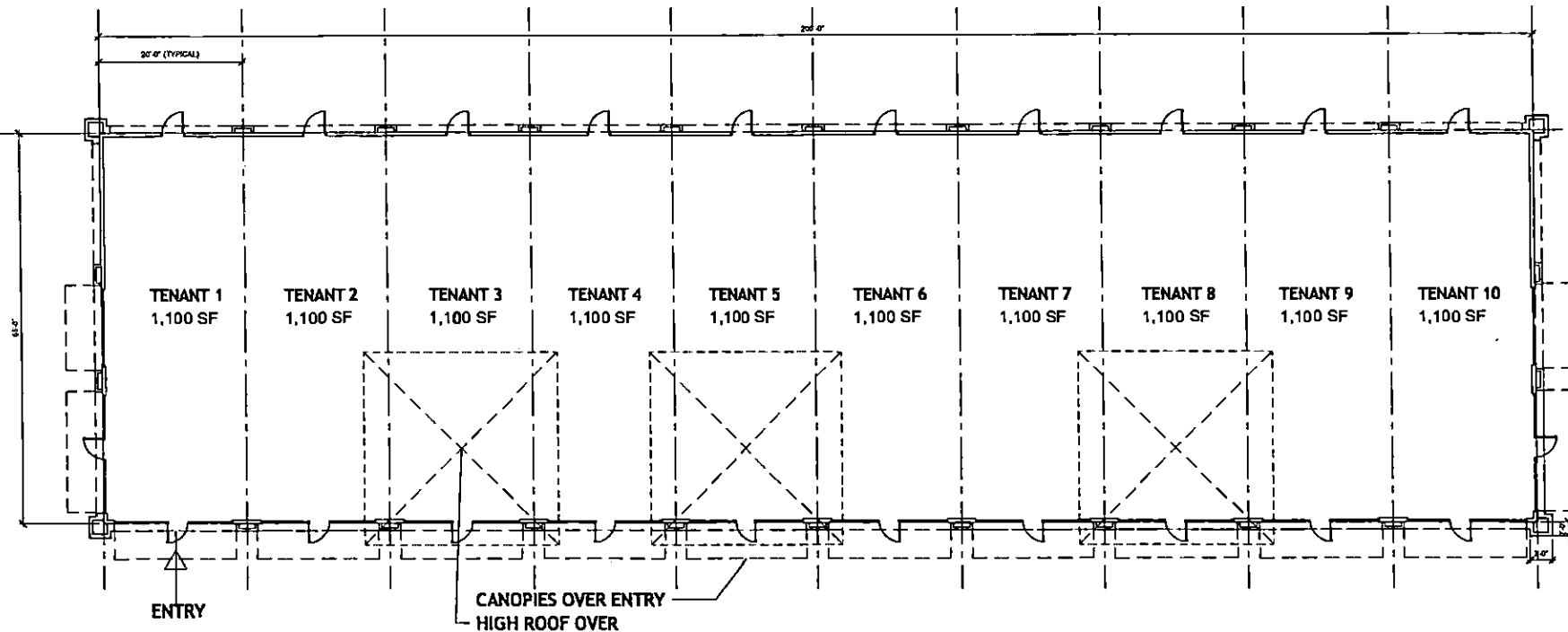
Parkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date	10/24/06
Drawn By	MLG/RG
Checked By	
Project No	06-537-11
File Name	06-537-A11 Adwg
Scale	1/16" = 1'-0"

MAIN BLDG.

FLR 1 (M)



VAR-17732

SDR-17730
01/25/07 PC

PROPOSED FLOOR PLAN MAIN BUILDING

1000206 SCALE: 1/16" = 1'-0"

1

007-1-105

PR

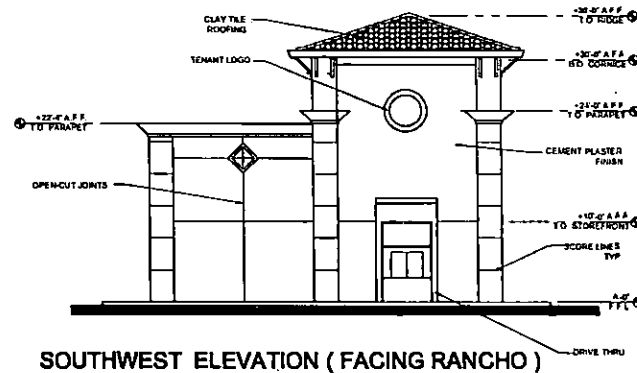
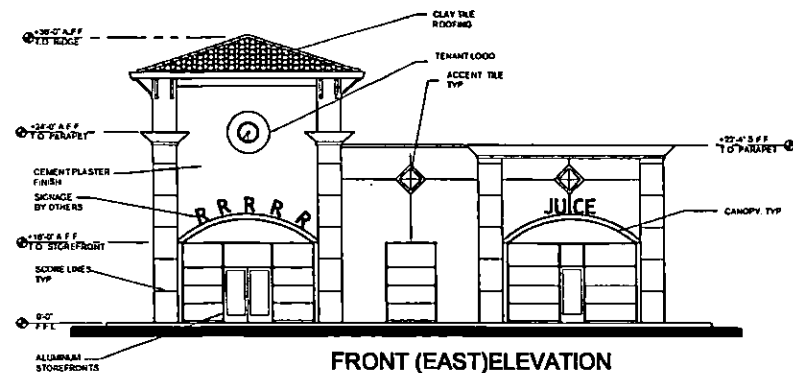
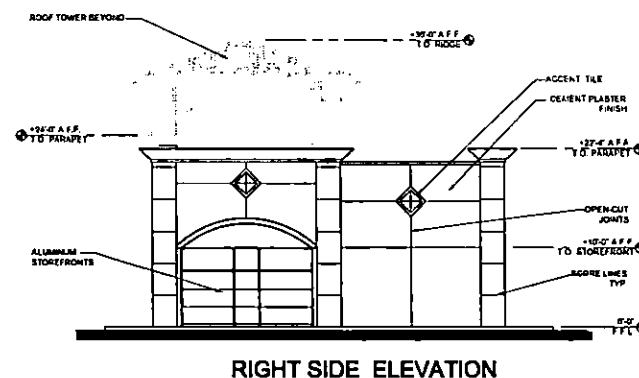
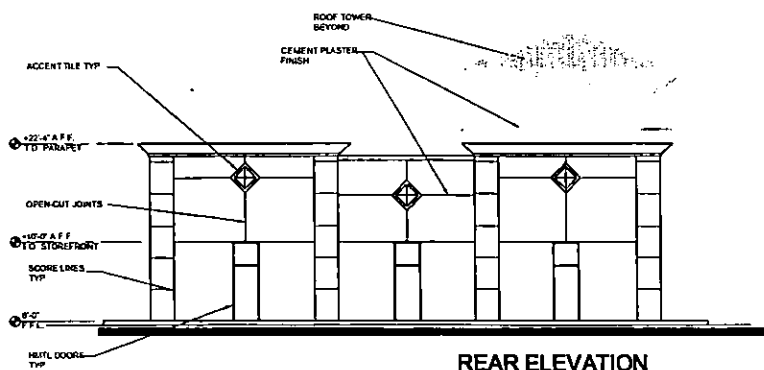
3980 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-8500
702-892-8504 fax
www.prarchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

Perkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N. RANCHO DR
LAS VEGAS, NEVADA

Revisions

Date 10/24/09
Drawn By M.L.G.
Checked By Mary Venable
Project No. 06-537-11
File Name 06-537-21 Bldg
Scale 1/8" = 1'-0"

STARBUCKS
ELEV 1 (S)



VAR-17732

SDR-17730

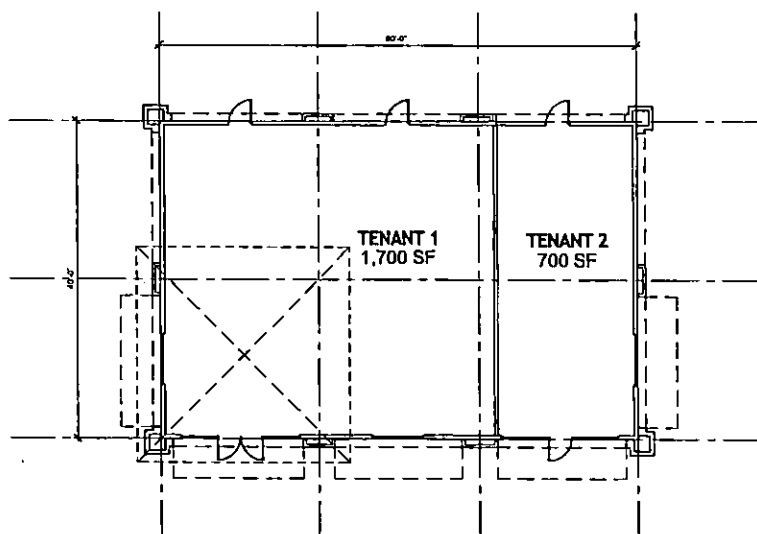
01/25/07 PC

PROPOSED BUILDING ELEVATIONS

10/02/06 SCALE: 1/16" = 1'-0"

1

OCT 24 2006



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Newport Beach, CA
Washington, DC
Las Vegas, NV

Perkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date: 10/24/06
Drawn By: RG
Checked By: -
Project No.: 06-537-11
File Name: 06-537-111 Bldg
Scale: 1/16" = 1'-0"



VAR-17732
SDR-17730
01/25/07 PC

PROPOSED FLOORPLAN STARBUCKS

10/02/08 SCALE: 1/16" = 1'-0"

1

STARBUCKS
FLR 1 (S)

001 24 078

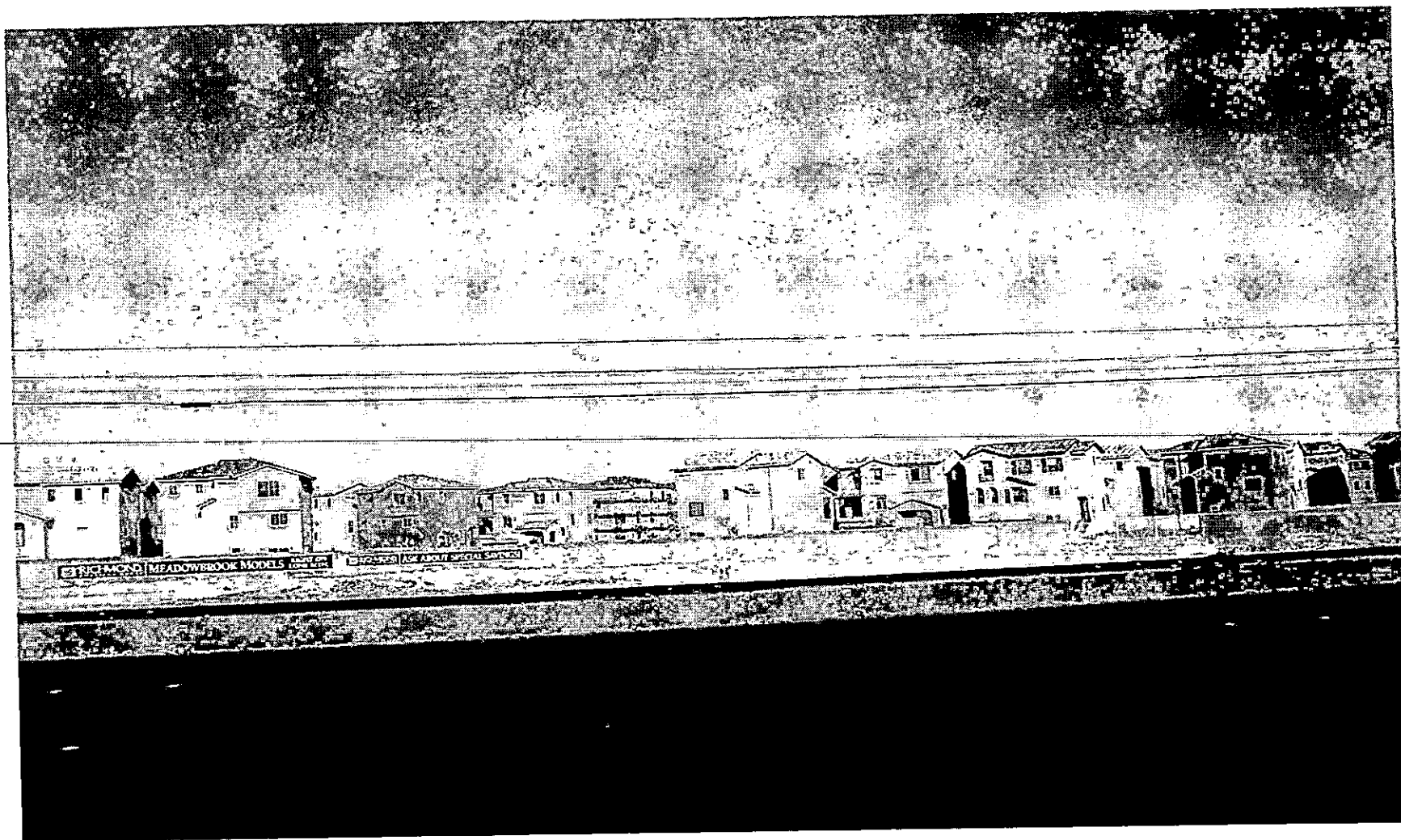
SDR 17730				
SF Investments				
4700 N Rancho				
Proposed 16.573 thousand square foot retail development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	11	42.94	472
AM Peak Hour			1.03	11
PM Peak Hour			3.75	41
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	CAR WASH, SELF SERVICE [STALL]	3	108.00	324
AM Peak Hour			8.00	24
PM Peak Hour			5.54	17
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	2.4	496.12	1,191
AM Peak Hour			53.11	127
PM Peak Hour			34.64	83
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	16.573		1,987
AM Peak Hour				163
PM Peak Hour				141
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Rancho Drive				
Average Daily Traffic (ADT)	26,788			
PM Peak Hour	2143			
(heaviest 60 minutes)				

Lone Mountain Road				
Average Daily Traffic (ADT)	13,088			
PM Peak Hour (heaviest 60 minutes)	1047			
Torrey Pines Drive				
Average Daily Traffic (ADT)	4,550			
PM Peak Hour (heaviest 60 minutes)	364			
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Rancho Drive	34300			
Lone Mountain Road	16200			
Torrey Pines Drive	16200			
This project will add approximately 1,987 trips per day on Rancho and Lone Mountain. This will increase expected volumes by about 7 percent on Rancho, 15 percent on Lone Mountain and 44 percent on Torrey Pines. Rancho is at about 78 percent of capacity, Lone Mountain is at about 81 percent of capacity and Torrey Pines at about 28 percent of capacity.				
Based on Peak Hour use, this development will add roughly 141 additional cars into the area; which works out to about two every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



VAR-17732 AND SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS
4700 NORTH RANCHO DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

11/06/06



VAR-17732 AND SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS
4700 NORTH RANCHO DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

11/06/06

October 24, 2006

Mr. Nathan Goldberg
City of Las Vegas
Current Planning Department
731 S. Fourth Street
Las Vegas, NV 89101

**RE: RANCHO COMMERCE PARK
APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW AND
VARIANCE WITH WAIVERS
JUSTIFICATION LETTER**

Dear Mr. Goldberg:

Perkowitz+Ruth Architects, on behalf of SF Investments, LLC, respectfully requests Site Development Plan Review approval for a 2.5 acre parcel located on the north side of Rancho Drive, south of Lone Mountain.

The Rancho Commerce Park project is a proposed retail development with three buildings: a restaurant pad building with drive-thru, an inline retail/office building, and a self-service car wash. There are also small kiosks for smog check and a water vending machine. The general retail, office, car wash and restaurant uses are permitted uses in the C-2 zoning. The proposed uses are similar to the existing commercial uses in this neighborhood, and we believe will provide welcome services to the residential neighbors.

The smog check is a conditional use in C-2. The equipment for this proposed use will easily be housed in a building smaller than the 400 s.f. cited in Title 19 as a condition. We will request a Special Use Permit for the smog check (at a later date), as the equipment will be inside the kiosk when the smog check is closed.

We request waivers for the following items;

1. Fewer tree fingers in parking lot than one every 6 spaces. In compensation, we are providing an enlarged landscape area in the northwest corner of the property along Rancho.
2. Entry drive throat depth of less than 50'. Because the lot is shallow from front to back, the normal throat depth of 50' would seriously restrict circulation onsite. To alleviate any potential problem, we have made two driveways, a right-in and a right-out, and have maintained the 50' throat at the drive-thru exit. We have asked NDOT to approve our having two driveways on this street frontage.

VAR-17732
01/25/07 PC SDR-17730

OCT 24 2006

3. Residential adjacency height limit. The adjacent homes are 3-story homes and are taller than the proposed building. A waiver to this condition was previously approved by the City Council for a proposed commercial building on this site. The height restriction, if not waived, would drastically limit the use of this lot and access into the lot because of awkward building placement. With the proposed configuration, the building serves as a buffer between the homes and the parking area and street, resulting in reduced noise and pollution near the homes.

We do not foresee any particular issues or problems associated with this location.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS



Mary Venable, Architect
Project Manager
Maria Luisa Guzman
Project Manager

Cc: File No. 5.2

01/25/07 PC

VAR-17732
SDR-17730

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - ZON-18196 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI - Request for a Rezoning FROM R-E (RESIDENCE ESTATES) under Resolution of Intent to R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) TO R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE) on 2.18 acres on the north side of the Centennial Parkway Alignment approximately 360 feet east of Leon Avenue (APN-125-24-404-007), Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Abeyance request by Shaelyn Sandoval for Items 35 and 36

MOTION:

GOYNES – Motion to **HOLD IN ABEYANCE** Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; **TABLE** Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and **WITHDRAW WITHOUT PREJUDICE** Item 66 [SDR-18677] – **UNANIMOUS**

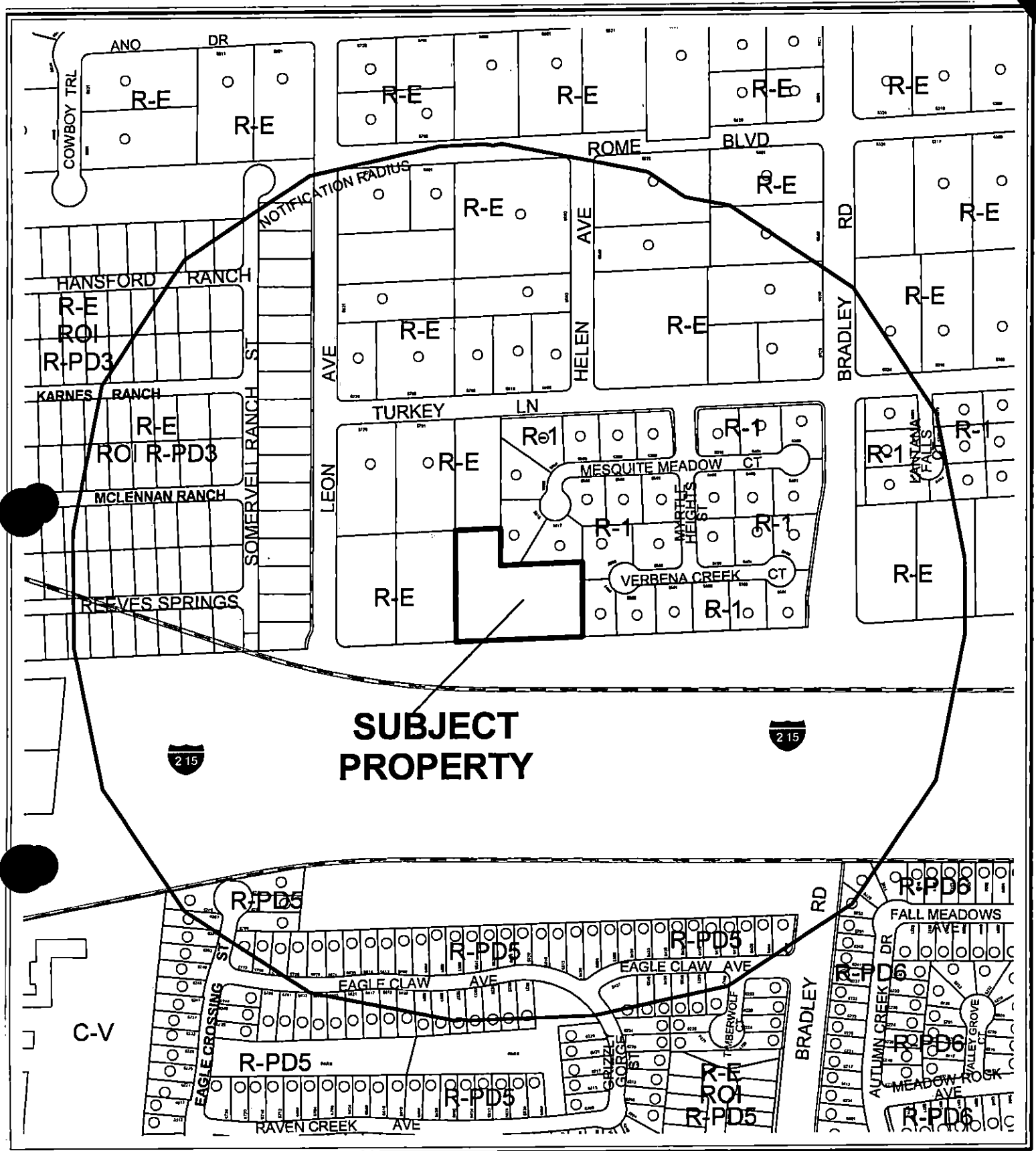
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 35 – ZON-18196

MINUTES:

Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



**SUBJECT
PROPERTY**

CASE: ZON-18196

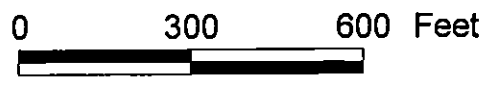
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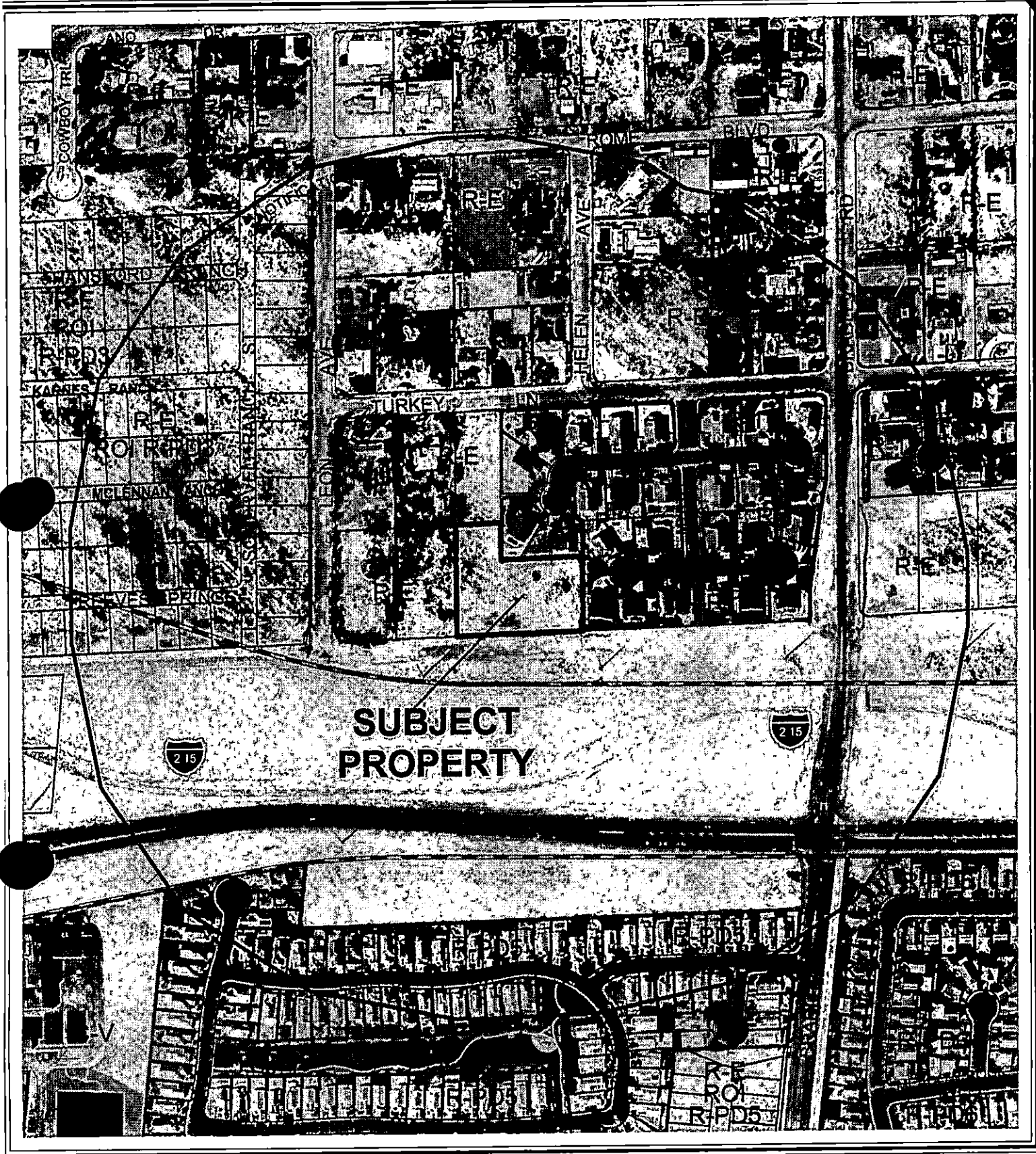
ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4
(RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)





CASE: ZON-18196

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4
(RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - ZON-18196 - APPLICANT/OWNER:
BARBARA L. FARMANALI**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17727) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.
3. Conformance to the conditions for Variance (VAR-6276), and Site Development Plan Review (SDR-17727), if approved.

Public Works

4. Construct rural street improvements on Centennial Parkway adjacent to this site concurrent with development of this site. Rural improvements shall be constructed within the existing 50-foot right-of-way and shall consist of a total width of 39-feet (34-feet of asphalt) and 30-inch rolled curb on both sides of the street. The exterior streetlighting will be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location, but the installation of the streetlights shall be deferred provided that the developer provide to the City such streetlights for the future installation; alternatively, monies in lieu of such streetlights, including bases, may be contributed to the City if allowed by the Department of Public Works. Sign and record a covenant running with the land for all urban improvements not constructed at this time on Centennial Parkway. Also, extend a minimum of two lanes of paving in the Centennial Parkway alignment westerly to tie into Leon Avenue.
5. Extend public sewer to the west edge of this site to a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

ZON-18196 - Conditions Page Two
January 11, 2007 - Planning Commission Meeting

6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-18196 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This request is for a rezoning from R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development - 4 Units Per Acre) to R-PD4 (Residential Planned Development - 4 Units Per Acre) for an eight-lot, single-family subdivision on the north side of Centennial Parkway approximately 350 feet east of Leon Avenue. This proposal is related to Site Development Plan Review (SDR-17727).

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/01/05	The City Council approved a Rezoning (ZON-6274) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Variance (VAR-6276) in the minimum area for formation of a R-PD zoning district, and a Site Development Plan Review (SDR-6275) for an 8-lot single-family subdivision. A related Waiver to Title 18 Standards (WVR-6277) was withdrawn without prejudice. The Planning Commission recommended approval of all items, including the Waiver on 04/28/05. Staff recommended denial of all items.
01/11/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision.
01/25/07	The Planning Commission will consider a related Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision. Staff recommends approval of both items.
<i>Related Building Permits/Business Licenses</i>	
	No Building Permits or Business Licenses have been issued for the subject site.
<i>Pre-Application Meeting</i>	
10/05/06	A pre-application meeting was held to discuss the requirements for the Site Development Plan Review.
10/24/06	A pre-application meeting was held to discuss the requirements for the Rezoning.
<i>Neighborhood Meeting</i>	
	A neighborhood meeting is not required for this application, nor was one held.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	2.18
Net Acres	1.74

ZON-18196 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	L (Low Density Residential)	R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units per Acre)
North	Undeveloped, Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential) and R-E (Residence Estates)
South	Undeveloped,	Right-of-way	Right-of-way
East	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
West	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Per Title 19.06, the Development Standards for a Residential Planned Development are as provided in the Site Plan:

Standard	Provided
Min. Lot Size	5,580 Square Feet
Min. Lot Width	55 Feet
Min. Setbacks	
• Front	18 Feet
• Side	3.5 Feet
• Corner	3.5 Feet
• Rear (lots 1-3)	5 Feet*
• Rear (lots 4-8)	10 Feet
Max. Lot Coverage	50%
Max. Building Height	35 Feet/2-Stories

ZON-18196 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

* The optional balcony, if built, on lots 1, 2, and 3 will be set back 5 feet from the rear property line. The rear wall of these houses, as well as the setback on all other lots will be 10 feet from the rear property line.

Per Title 19.08.060

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2.8 du/acre 6 Units on subject site	6 Units	R-PD4 (Residential Planned Development – 4 Units per Acre)	4 du/acre 8 units on subject site	L (Low Density Residential)	5.49 du/acre 11 units on subject site

Per Title 19.12

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Buffer: Min. Trees	1 Tree/30 Linear Feet	9 Trees	10 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 – 8 Feet		6 Feet	Y

<i>Open Space – R-PD only</i>							
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>			<i>Provided</i>		<i>Compliance</i>
		<i>Ratio</i>	<i>Percent</i>	<i>Area</i>	<i>Percent</i>	<i>Area</i>	
2.18	4 du/acre	1.65	N/A*	N/A*	6.4%	4,824 SF	Y

*A Residential Planned Development of fewer than 12 units is not required to provide open space under the requirements of Title 19.06. However, at this density, if open space was required, the proposed subdivision would be subject to 6.1% or 4,630 square feet. The applicant provides 6.4% or 4,824 square feet of open space, more than would be required.

ANALYSIS

The subject site is designated L (Low Density Residential), on the Centennial Hills Interlocal Land Use Map of the General Plan. Residential development and related uses are allowed in this category up to 5.49 units per gross acre. The proposed development on this site will have a density of 3.67 units per gross acre in conformance to the L (Low Density Residential), designation.

ZON-18196 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

The property is currently located in the R-E (Residence Estates) zoning district under a Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units per Acre). The Resolution of Intent is under approved Rezoning (ZON-6274) which was approved by the City Council in 2005 along with Variance (VAR-6276) to allow R-PD (Residential Planned Development) zoning on less than five acres, and a Site Development Plan Review (SDR-6275) for an eight-lot residential subdivision. The current application is a major modification of the previous approval. Under the new proposal, the applicant proposes slightly larger lot sizes, and less private roadway. The new request will also reduce the number of intersections between the interior roadway and Centennial Parkway from two to one. The site plan further indicates 4,284 square feet of open space, although no open space is required in an R-PD zone with fewer than 12 lots. The Variance (VAR-6276) remains current through 06/01/07; however, an Extension of Time will be necessary if the Variance is not exercised by that date. Further, as this modification is for a less intense use than what was previously submitted, staff recommends approval of this Rezoning and its companion application.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

The General Plan designates the subject property as L (Low Density Residential), which allows densities of up to 5.49 Units Per Acre. The proposed zoning district would allow a density of up to 4.49 Units Per Acre, in conformance to the existing L (Low Density Residential) designation; however the requested application seeks a density of 3.67 Units Per Acre, well within the limits of the zoning district and land use designation.

2. “The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”

The proposed rezoning is compatible with surrounding land uses and zoning districts. Immediately surrounding the subject site are parcels that are designated in the R-E (Residence Estates) and R-1 (Single Family Residential) zones. However, nearby property to the west and south include R-PD3 (Residential Planned Development – 3 Units Per Acre), R-PD5 (Residential Planned Development – 5 Units Per Acre) and R-PD6 (Residential Planned Development – 6 Units Per Acre) zoning. The overall density is only slightly higher than the immediate surroundings and comparable to the overall development in its general area. The proposed two-story elevations have been previously approved for the subject site and are now on slightly larger lots.

ZON-18196 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

3. **“Growth and development factors in the community indicate the need for or appropriateness of the rezoning.”**

This proposed Rezoning is appropriate as the proposed density on this site will not change from the previous approval, and there is a need for housing at this density in the Centennial Hills Sector.

4. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district.”**

The property is served by Centennial Parkway, a 100-foot Primary Arterial on the Master Plan of Streets and Highways. Appropriate off-site improvements will be required with any proposed development of the site. Once completed, this roadway will be adequate to meet the demands of the proposed R-PD4 (Residential Planned Development – 4 Units Per Acre) zoning district.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 128 (Mailed with SDR-17727)

APPROVALS 0

PROTESTS 0

**PLANNING & DEVELOPMENT DEPARTMENT****STATEMENT OF FINANCIAL INTEREST**Case Number: **ZON-18196** APN: 125-24-404-007Name of Property Owner: Barbara L. FarmanaliName of Applicant: Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

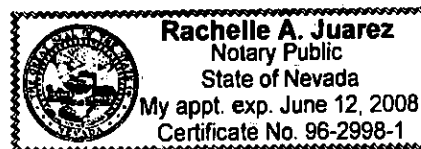
Partner(s): _____

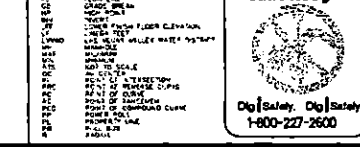
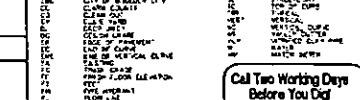
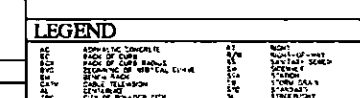
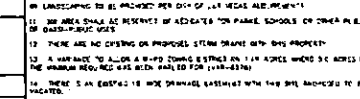
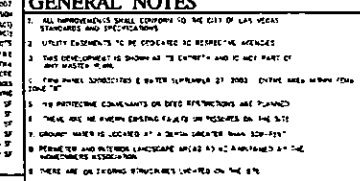
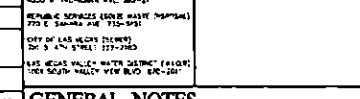
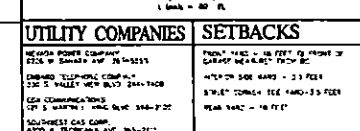
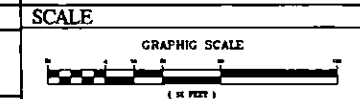
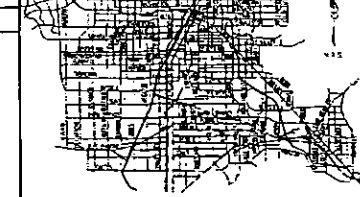
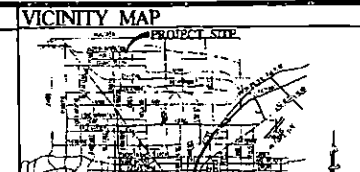
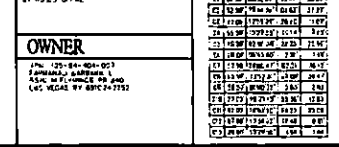
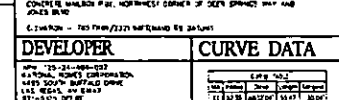
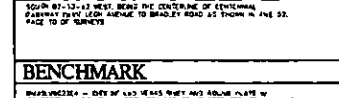
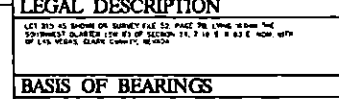
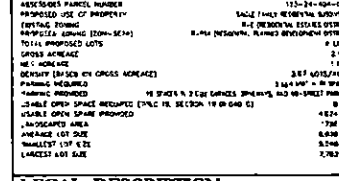
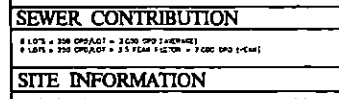
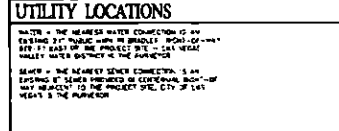
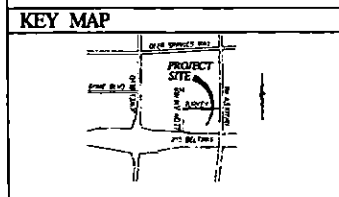
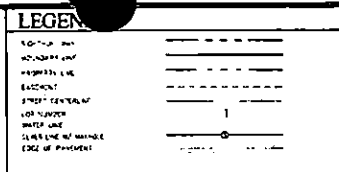
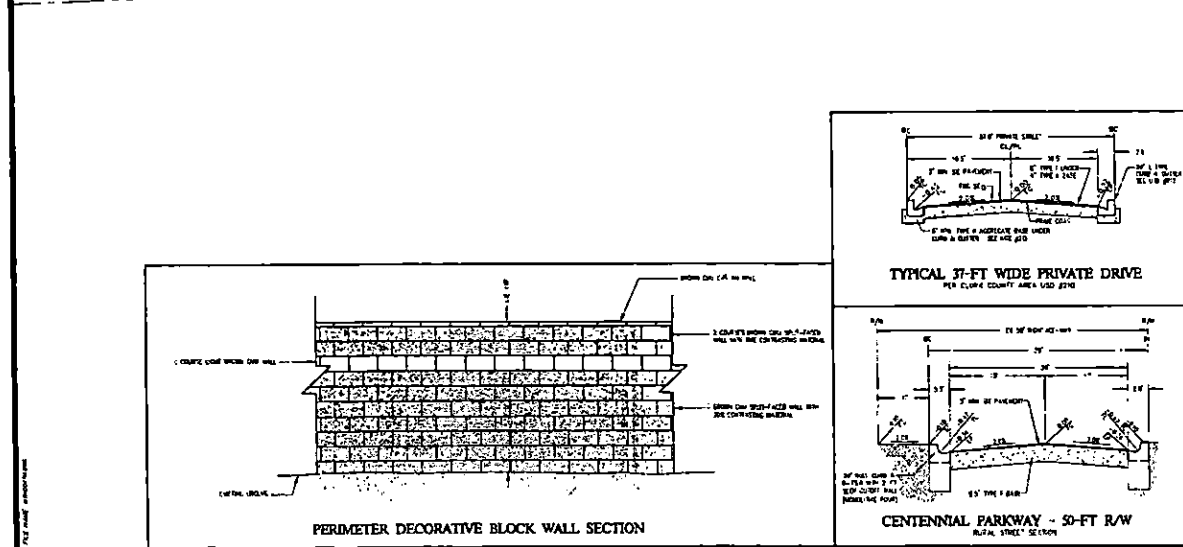
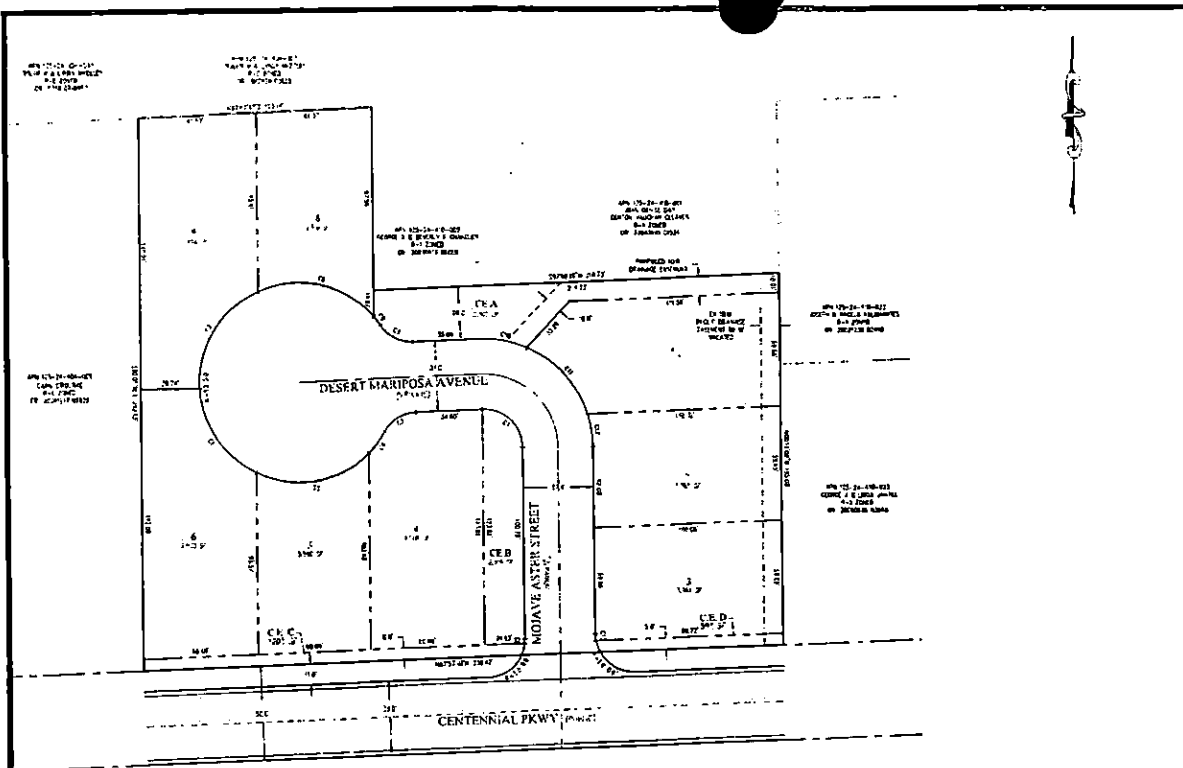
APN: _____

Signature of Property Owner: Barbara FarmanaliPrint Name: Barbara Farmanali

Subscribed and sworn before me

This 25 day of October, 2006
Rachelle A. Juarez
Notary Public in and for said County and State





REVISIONS

NO.	DATE	DESCRIPTION
1	01/25/07	ISSUED FOR PERMIT

NATIONAL HOMES CORPORATION
4000 N. CENTENNIAL AVE., SUITE 200
LAS VEGAS, NV 89169
TEL: 702.735.1234 FAX: 702.735.1235

TANNEY ENGINEERING
1000 S. CENTENNIAL AVE., SUITE 100
LAS VEGAS, NV 89102
TEL: 702.735.1234 FAX: 702.735.1235

CENTENNIAL AND LEON A RESIDENTIAL SUBDIVISION

SITE PLAN

DATE: 01/25/07

SCALE: 1"=30'

JAS. NO. NTN-06-001

DESIGNED BY: RMD

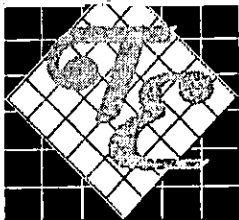
DRAWN BY: JMD

SHEET NO. 1

1 OF 1

ZON-18196
01/25/07 PC

RECEIVED
NOV 1 8 2006



TANEY ENGINEERING

4445 S. JONES #1

LAS VEGAS, NEVADA 89103

TELEPHONE: (702) 362-8844

FAX: (702) 362-5233

December 26, 2006

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Attn: Rob Levrant

Re: Floor Plan Clarification For Centennial And Leon
APN 125-24-404-006

Dear Mr. Levrant:

As per our phone conversation in the morning of Tuesday, December 26, 2006, please remove floor plan 302 from the submittal package for Site Development Review (SDR-17727) and Rezoning (ZON-18196). The floor plans being use for this project is Floor Plan 5503 and Floor Plan 3396.

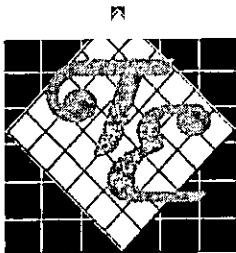
If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

RECEIVED
DEC 26 2006

ZON-18196
SDR-17727
01/25/07 PC



TANEY ENGINEERING

4445 S. JONES #1

LAS VEGAS, NEVADA 89103

TELEPHONE: (702) 362-8844

FAX: (702) 362-5233

January 5, 2007

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Re: Site Development Review for Centennial and Leon

To Whom It May Concern:

On behalf of our client, National Homes Corporation, we are proposing an R-PD4 on approximately 2.18 gross acres that is currently zoned R-E. The project site is bounded by existing homes (R-E and R-1) on the north and east, a future home (R-E) west and Centennial Parkway on the south. The proposed subdivision consists of 8 lots with a gross density of 3.67 dwelling units per acre. The project site is proposed to have the following setbacks:

Front – 18-ft from back of curb
Side and Side Corner – 3.5-ft
Rear – 10-ft
Patio Cover (12-ft or less in Height) – 5-ft
Maximum Building Height is 35-ft
Minimum Lot Size 4200 SF

On lots 1, 2 and 3 along the east property line, Balcony/Deck is being proposed as an option on these footprints. Therefore, we are asking the setback to the rear property line for these three (3) lots to be 5-feet to accommodate the Balcony/Deck.

The proposed development will consist of all a mix of one and two story homes ranging in size from the mid 2,635-SF to the mid 5,503-SF size. All homes have a standard tow to three-car garage accessed from a 37-ft wide private street servicing the subdivision. Approximately 5,609 SF of open space has been provided, however is not required as the subdivision is less than 12 lots. Perimeter landscaping will be provided abutting Centennial Parkway in conformance with City of Las Vegas Standards.

Site Development Plan Review, SDR-6275, has also previously been filed for this project site. Please note that the setbacks, maximum building height and minimum lot size listed above correspond with the conditions listed for SDR-6275.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,

TANEY ENGINEERING


Christopher Zhang, E.I.

Project Manager

**ZON-18196 SDR-17727
REVISED 01/25/07 PC**

**TANEY ENGINEERING**

4445 S. JONES #1

LAS VEGAS, NEVADA 89103

TELEPHONE: (702) 362-8844

FAX: (702) 362-5233

FAX

To:	Nathan CLV Planning Department	From:	Shaelyn Sandoval
Fax No.:	702-474-0352	Pages:	1
Phone:	702-229-6301	Date:	1-23-07
Re:	Centennial & Leon SDR-17727 ZON-18196	cc:	

Urgent**For Review****Please Comment****Please Reply****Comments:**

Please HOLD these items until February 8th PC Meeting. We have some design issues we are trying to resolve. Please call me with any questions.

Thank you,

Shaelyn Sandoval

Submitted after final agenda

Date 1/25/09 Item #35 +36

5-36

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17727 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-18196 - PUBLIC HEARING - APPLICANT/OWNER: BARBARA L. FARMANALI
- Request for a Site Development Plan Review FOR AN EIGHT-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 2.18 acres adjacent to the north side of Centennial Parkway, approximately 360 feet east of Leon Avenue (APN 125-24-404-007), R-E (Residence Estates) Zone under Resolution of Intent to R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

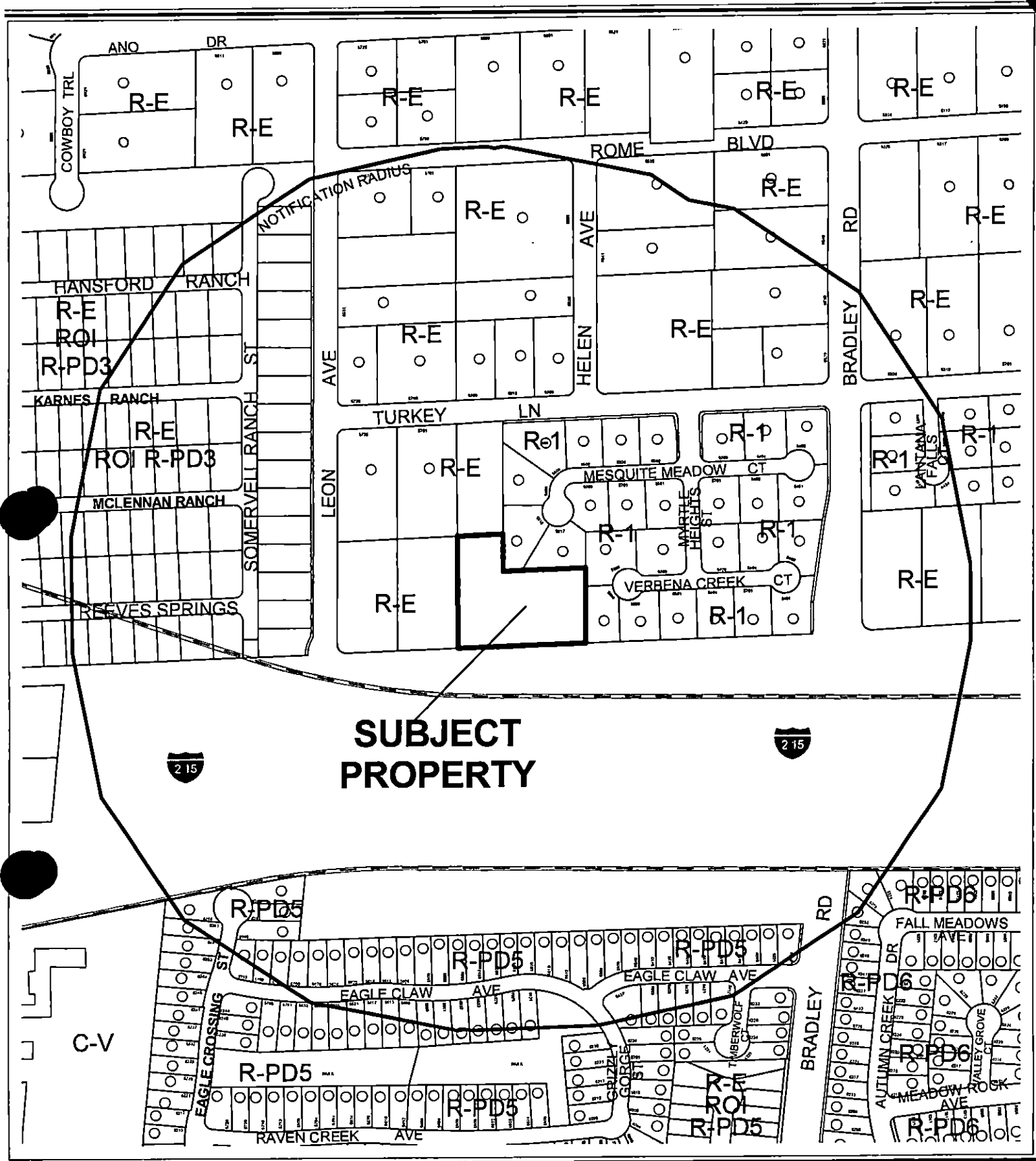
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 36 – SDR-17727

MINUTES:

Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] were requested to be held in abeyance to the 02/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



SUBJECT PROPERTY

CASE: SDR-17727

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO R-PD4
(RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD4 (RESIDENTIAL PLANNED DEVELOPMENT - 4 UNITS PER ACRE)

0 300 600 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17727 - APPLICANT/OWNER:
BARBARA L. FARMANALI**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Conformance to the conditions for Rezoning (ZON-18196) and Variance (VAR-6276), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 5,580 square feet and Building height shall not exceed two stories or 35 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 18 feet to the front of the house, 18 feet to the front of the garage as measured from back of curb, 3.5 feet on the side, 3.5 feet on the corner side, 5 feet in the rear on lots 1-3, and 10 feet in the rear on lots 4-8.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

SDR-17727 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Air conditioning units shall not be mounted on rooftops.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
14. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
15. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
16. Site development to comply with all applicable conditions of approval for ZON-18196 and all other applicable site-related actions.
17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

SDR-17727 - Conditions Page Three
January 25, 2007 - Planning Commission Meeting

18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first. We note that the proposed private street has been designed without a knuckle.

SDR-17727 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This proposal is a request for a Site Development Plan Review for an eight-lot single-family residential subdivision on 2.18 acres adjacent to the north side of Centennial Parkway, approximately 350 feet east of Leon Avenue. This is related to Rezoning (ZON-18196), and a previously approved Variance (VAR-6276) grants permission for a Residential Planned Development on less than five acres at the subject site.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/01/05	The City Council approved a Rezoning (ZON-6274) of the subject property to R-PD4 (Residential Planned Development – 4 units per acre) and a Variance (VAR-6276) in the minimum area for formation of a R-PD zoning district, and a Site Development Plan Review (SDR-6275) for an 8-lot single-family subdivision. A related Waiver to Title 18 Standards (WVR-6277) was withdrawn without prejudice. The Planning Commission recommended approval of all items, including the Waiver on 04/28/05. Staff recommended denial of all items.
01/11/07	The Planning Commission held in abeyance a Rezoning (ZON-18196) of the subject property to R-PD4 (Residential Planned Development – 4 Units Per Acre) and a Site Development Plan Review (SDR-17727) for an 8-lot single-family subdivision. Staff recommended approval of both items.
01/25/07	The Planning Commission will consider a related Rezoning (ZON-18196) from R-E (Residential Estates) to R-PD4 (Residential Planned Development – 4 Units Per Acre). Staff recommended approval of both items.

<i>Related Building Permits/Business Licenses</i>	
	No Building Permits or Business Licenses have been issued for the subject site.

<i>Pre-Application Meeting</i>	
10/05/06	A pre-application meeting was held to discuss the requirements for the Site Development Plan Review
10/24/06	A pre-application meeting was held to discuss the requirements for the Rezoning.

<i>Neighborhood Meeting</i>	
	A neighborhood meeting is not required for this application, nor was one held.

SDR-17727 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Details of Application Request			
Site Area			
Gross Acres	2.18		
Net Acres	1.74		
Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	L (Low Density Residential)	R-E (Residence Estates) under Resolution of Intent to R-PD4 (Residential Planned Development – 4 Units Per Acre)
North	Undeveloped, Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential) and R-E (Residence Estates)
South	Undeveloped,	Right-of-way	Right-of-way
East	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
West	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Per Title 19.06, the Development Standards for a Residential Planned Development are as provided in the Site Plan:

Standard	Provided
Min. Lot Size	5,580 Square Feet
Min. Lot Width	55 Feet
Min. Setbacks	
• Front	18 Feet
• Side	3.5 Feet
• Corner	3.5 Feet
• Rear (lots 1-3)	5 Feet*
• Rear (lots 4-8)	10 Feet
Max. Lot Coverage	50%
Max. Building Height	35 Feet/2-Stories

RL

SDR-17727 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

* The optional balcony, if built, on lots 1, 2, and 3 will be set back 5 feet from the rear property line. The rear wall of these houses, as well as the setback on all other lots will be 10 feet from the rear property line.

Per Title 19.08.060

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2.8 du/acre 6 Units on subject site	6 Units	R-PD4 (Residential Planned Development – 4 Units per Acre)	4 du/acre 8 units on subject site	L (Low Density Residential)	5.49 du/acre 11 units on subject site

Per Title 19.12

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Buffer: Min. Trees	1 Tree/30 Linear Feet	9 Trees	10 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 – 8 Feet		6 Feet	Y

<i>Open Space – R-PD only</i>							
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>			<i>Provided</i>		<i>Compliance</i>
		<i>Ratio</i>	<i>Percent</i>	<i>Area</i>	<i>Percent</i>	<i>Area</i>	
2.18	4 du/acre	1.65	N/A *	N/A *	6.4%	4,824 SF	Y

* A Residential Planned Development of fewer than 12 units is not required to provide open space under the requirements of Title 19.06. However, at this density, if open space was required, the proposed subdivision would be subject to 6.1% or 4,630 square feet. The applicant provides 6.4% or 4,824 square feet of open space, more than would be required.

ANALYSIS

- Zoning

Property to the north and east of the subject property is zoned and developed for single-family residences and property to the west has a land use designation that permits up to 5.5 dwelling units per acre. The applicant proposes to develop the subject property with eight single-family residences on lots that would be approximately 5,580 to 7,782 square feet in size. The uses at this density are compatible to the adjoining properties.

SDR-17727 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

- **Site Plan**

The applicant is proposing an eight-lot subdivision for single-family homes at a density of 3.67 dwelling units per gross acre. The lots proposed would be from 5,580 to 7,782 square feet in size. The interior street that serves the development is proposed to be a private 37-foot wide street that accesses Centennial Parkway.

Since the subject property is 2.18 acres in size, it is not large enough for the formation of a R-PD (Residential Planned Development) zoning district. The district requires a minimum of five acres for its formation; however, an approved Variance (VAR-6276) allows the requested R-PD zoning on the subject site.

- **Waivers**

No Waivers have been requested; however, as discussed above, a Variance (VAR-6276) has been approved for the formation of a R-PD (Residential Planned Development) zoning district on the subject site.

- **Landscape Plan**

The landscape plan shows perimeter landscaping along Centennial Parkway in compliance with the requirements of Title 19.12.

- **Elevation**

Plans for two-story homes were submitted with the application. The illustrations and conceptual floor plans appear to be harmonious and compatible with development in the area. On lots 1, 2, and 3 along the east property line, a balcony is available as an option on the building footprints. As a result, the rear setback will be five feet from the rear property line on these lots only. Lots 4 through 8 will be set back 10 feet from the rear property line.

- **Floor Plan**

Two floor plans were submitted with the application. The first home, including garage area, is a two-story, 3,181 square-foot home with a footprint of 67 feet by 40 feet, three bedrooms and a three car garage. The second is a two-story, 3,396 square-foot home with a footprint of 65 feet by 40 feet, five bedrooms and a two car garage, including one bedroom on the first floor. The floor plans are typical of homes of the size proposed.

SDR-17727 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

FINDINGS

To approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

Property to the north and east of the subject property is zoned and developed for single-family residences and property to the west has a land use designation that permits up to 5.5 dwelling units per acre. The applicant proposes to develop the subject property with eight single-family residences on lots that would be approximately 5,580 to 7,782 square feet in size. The proposed single-family homes at this density are compatible to the adjoining properties.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is consistent with the General Plan, Title 19 and other adopted City plans, policies and standards.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The subject property fronts on Centennial Parkway, which according to the Master Plan of Streets and Highways, is designed for a right-of-way width of 100 feet. At this location, the street will provide access to property only on the north side and should provide adequate access without negatively impacting adjacent roadways or neighborhood traffic.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Plans for two 2-story homes were submitted with the application. The homes range in size from a 3,181 square feet to 3,396 square feet. All homes have a standard two or three car garage.

SDR-17727 - Staff Report Page Six
January 25, 2007 - Planning Commission Meeting

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

Because the site would be subject to ongoing inspection, the public health, safety, and public welfare would not be compromised.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 128 (Mailed with ZON-18196)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17727** APN: 125-24-404-007

Name of Property Owner: Barbara L. Farmanali

Name of Applicant: Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN 125-24-404-007

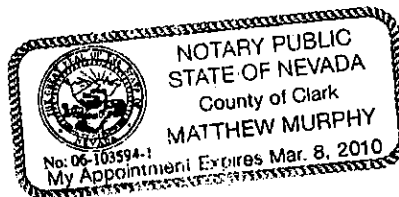
Signature of Property Owner: *Barbara L. Farmanali*

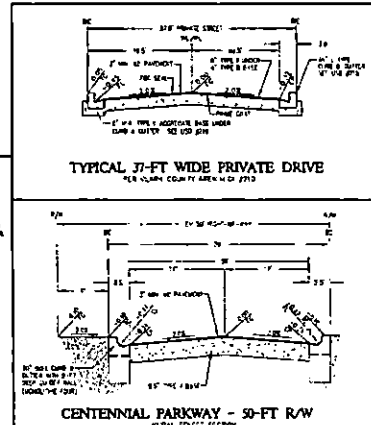
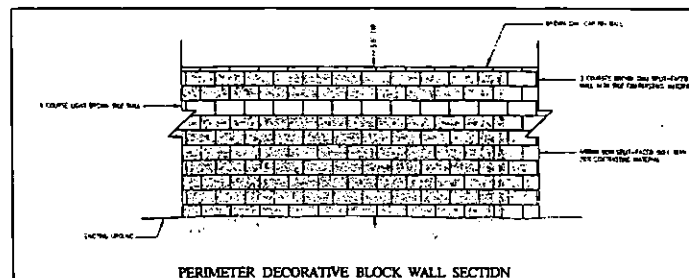
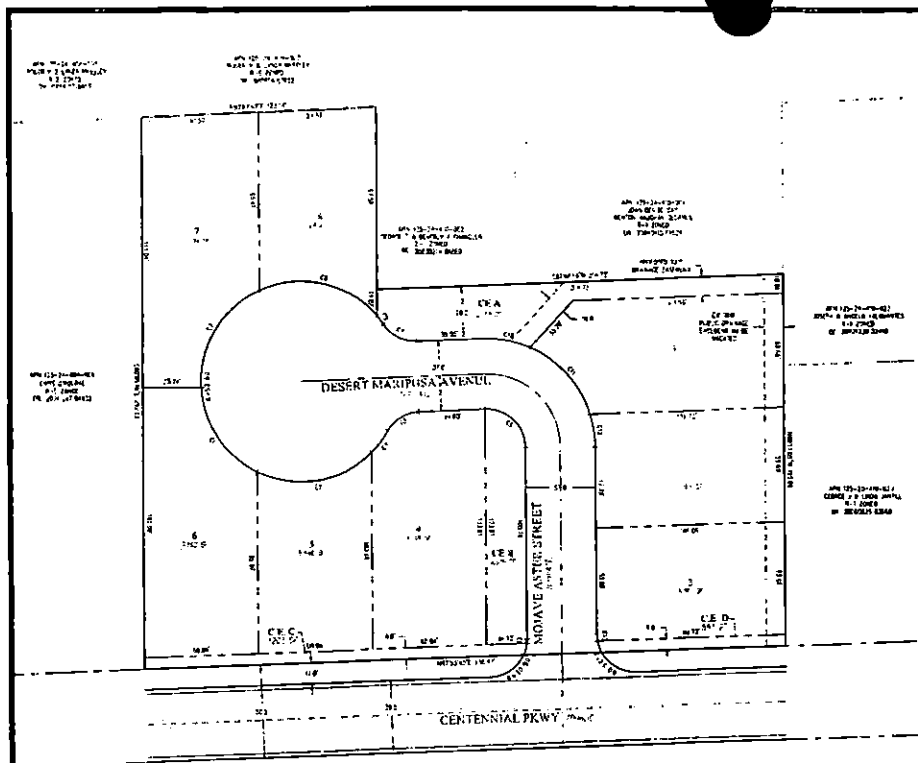
Print Name: Barbara Farmanali

Subscribed and sworn before me

This 25 day of September 2006

Matthew Murphy
Notary Public in and for said County and State





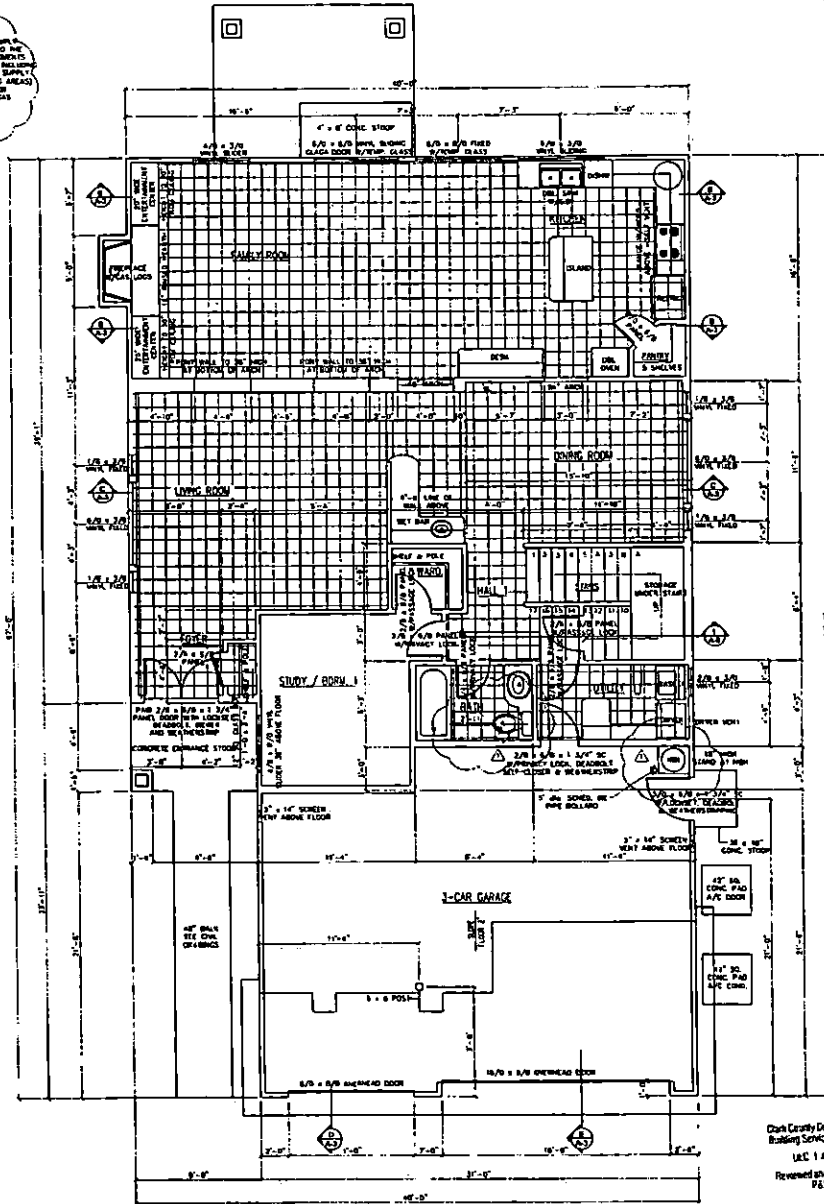
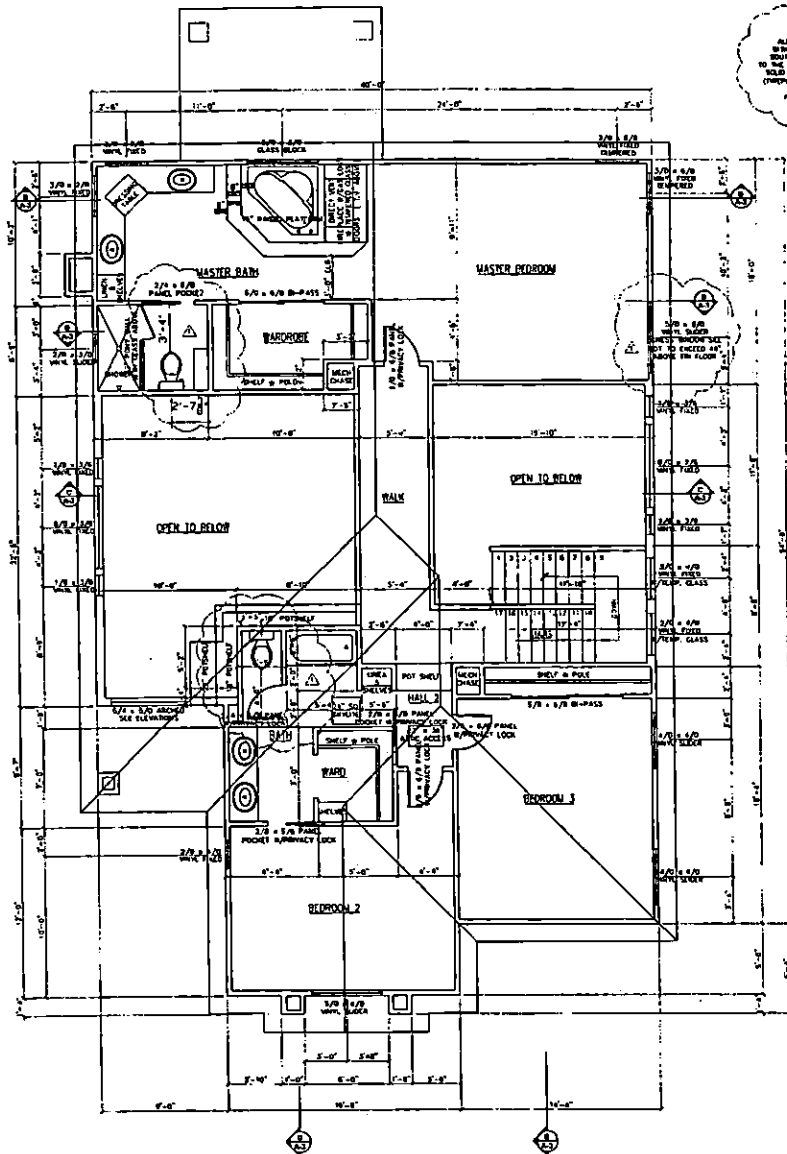
LEGEND DASHED LINE DOTTED LINE SOLID LINE STREET CENTERLINE LOT NUMBER WATER LINE WATER AND SEWER EDGE OF PARKING		VICINITY MAP PROJECT SITE	
KEY MAP 		SCALE GRAPHIC SCALE 1" = 20'	
DEVELOPMENT STANDARDS PER TITLE 17, SECTION 17.02 (C) FOR THE CITY OF LAS VEGAS GRAVITY SEWERAGE - 15' DEPTH MINIMUM MIN. LOT SIZE - 1 ACRE MIN. LOT COVERAGE - 10% MIN. LOT AREA - 1.35 ACRES		UTILITY COMPANIES NORTHERN CALIFORNIA POWER & LIGHTING CO. SOUTHERN CALIFORNIA GAS CO. SOUTHERN CALIFORNIA WATER CO. SOUTHERN CALIFORNIA TELEPHONE CO.	
UTILITY LOCATIONS WATER - THE NEAREST WATER CONNECTION IS AT THE 15' DEPTH MINIMUM IN THE 15' DEPTH MINIMUM SEWER - THE NEAREST SEWER CONNECTION IS AT THE 15' DEPTH MINIMUM IN THE 15' DEPTH MINIMUM		SETBACKS FRONT YARD - 10' TO FRONT OF LOT SIDE YARD - 5' TO SIDE OF LOT REAR YARD - 10' TO REAR OF LOT	
SEWER CONTRIBUTION 8 LOTS x 1.35 ACRES/LOT = 10.8 ACRES (APPROX.) 10.8 ACRES x 1.35 ACRES/LOT = 14.58 ACRES (APPROX.) 14.58 ACRES x 1.35 ACRES/LOT = 19.68 ACRES (APPROX.)		GENERAL NOTES 1. ALL IMPROVEMENTS SHALL CONFORM TO THE CITY OF LAS VEGAS STANDARDS AND SPECIFICATIONS. 2. ALL IMPROVEMENTS SHALL BE DESIGNED TO SERVE THE LOT. 3. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL IMPROVEMENTS. 4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL IMPROVEMENTS. 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL IMPROVEMENTS.	
SITE INFORMATION ADDRESS: 17722 SDR-17722 ZONING: R-100 (RESIDENTIAL) LOT AREA: 1.35 ACRES LOT COVERAGE: 10% LOT AREA: 1.35 ACRES LOT COVERAGE: 10%		LEGAL DESCRIPTION LOT 17722 SDR-17722 LOT 17722 SDR-17722 LOT 17722 SDR-17722	
BASIS OF BEARINGS SOUTH 41° 15' 15" WEST SOUTH 41° 15' 15" WEST		LEGEND AC SDR-17722 SDR-17722 SDR-17722	
BENCHMARK BENCHMARK BENCHMARK		CURVE DATA CURVE DATA CURVE DATA	
DEVELOPER DEVELOPER DEVELOPER		OWNER OWNER OWNER	

SDR-17722
01/25/07 PC

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OCT 24 2006

NATIONAL HOMES CORPORATION 17722 SDR-17722 17722 SDR-17722		TANAKI ENGINEERING 17722 SDR-17722 17722 SDR-17722	
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PLEASE NOTE:
ALL FIREPLACES SHALL COMPLY
WITH ALL REQUIREMENTS TO THE
MINIMUM AS SET FORTH IN THE
TO THE 2003 ASHRAE 90.1-2001
SOLAR DESIGN, CLIMATE AND ENERGY
EFFECTIVE DESIGN FOR
FIREPLACES UTILIZING GAS



Clark County Dist. Services
Building Services Division
L.A.C. 1 & 2005
Reviewed and Accepted
P&D

EMERSON ESTATES

EMERSON ESTATES
FLOOR PLANS
PLAN E503

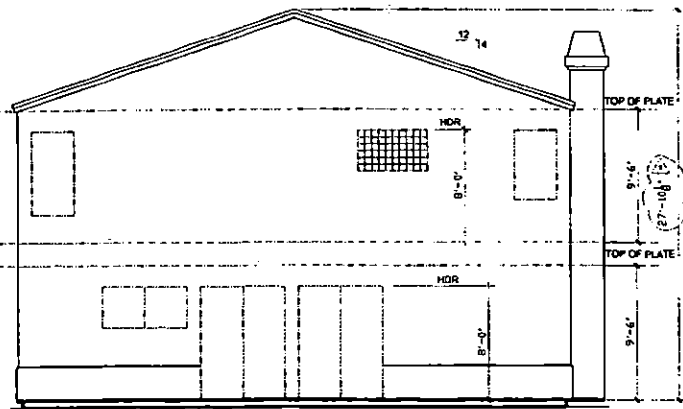
DATE:
APPROVED BY:

SHEET NO
A-1

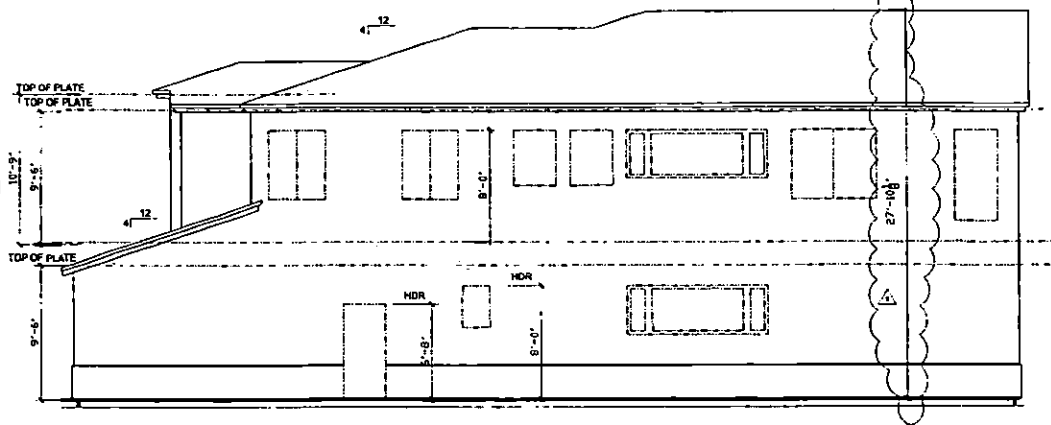
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SDR-17727
01/25/07 PC

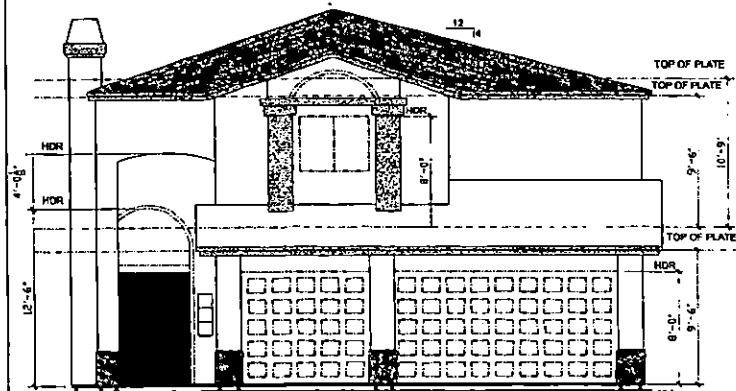
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OCT 24 2006



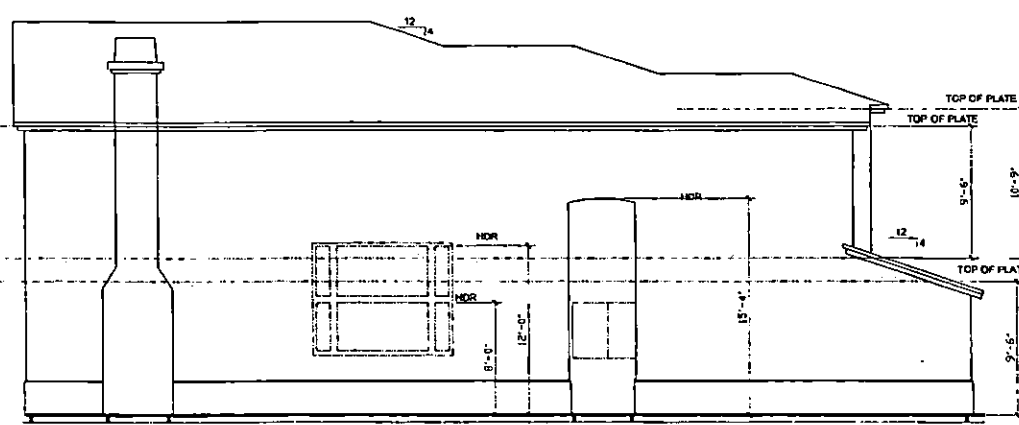
REAR ELEVATION
SCALE: 1/4" = 10"



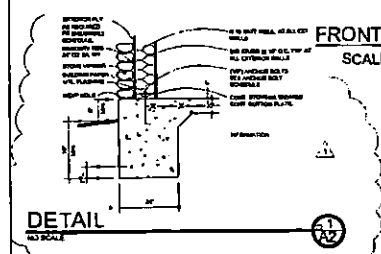
RIGHT ELEVATION
SCALE: 1/4" = 10"



FRONT ELEVATION
SCALE: 1/4" = 10"



LEFT ELEVATION
SCALE: 1/4" = 10"



EMERSON ESTATES

PROJECT
EMERSON ESTATES
FLOOR PLANS
PLAN 550

CARL
APPROVED BY:

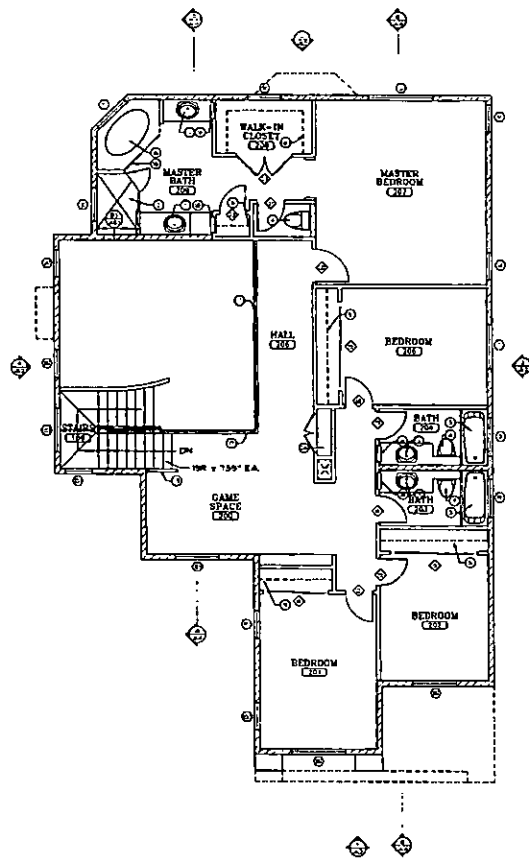
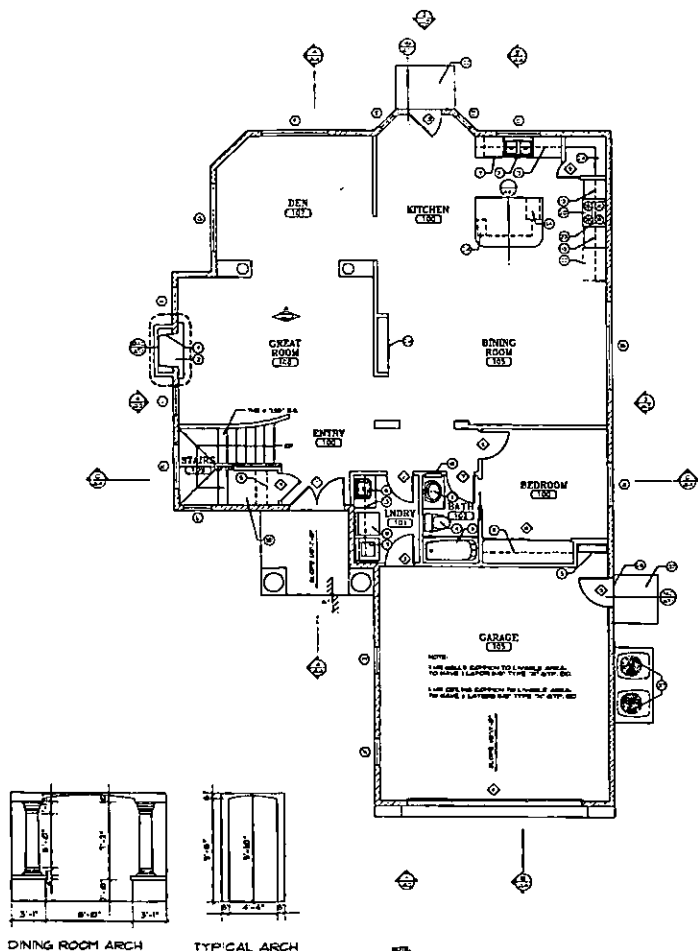
SHEET NO
A-2

Clark County Dev. Services
Building Services Division
DEC 14 2005
Reviewed and Accepted
P&D

15-474

SDR-17727
01/25/07 PC

RECEIVED
OCT 24 2006



- KEYNOTES**
- GENERAL NOTES**
1. ALL INTERIOR WALLS AND CEILING TO RECEIVE 5/8" DRYWALL.
 2. ALL EXTERIOR CORNER BRACKS AT ALL INTERSECTIONS.
 3. EXTERIOR WALLS SHALL COMPLY WITH IRC REQUIREMENTS.
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SCA design

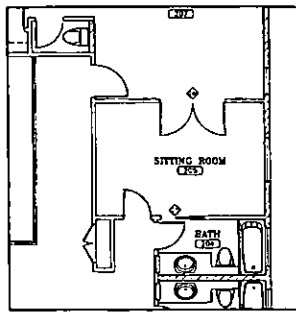
1000 S. Main St., Suite 100
Tomball, TX 77375
713.261.1000

Project	PLAN 3398
Client	First Floor Plan and Second Floor Plan
Architect	SCA design
Engineer	SCA design
Checker	SCA design
Printer	SCA design

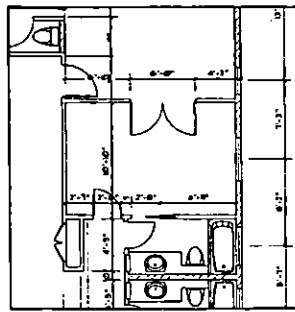
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SDR-1772
01/25/07 PC

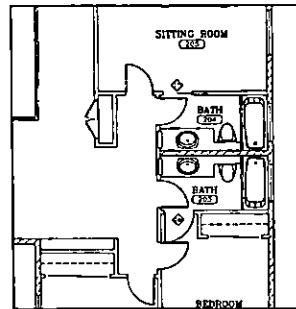
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OCT 24 2006



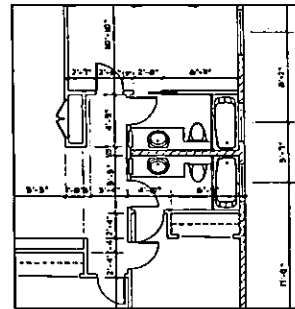
OPTIONAL SITTING AREA



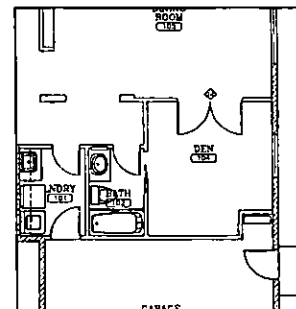
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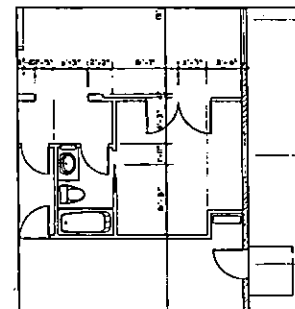
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KEYNOTES

SEE SHEET A1.3 FOR KEYNOTES

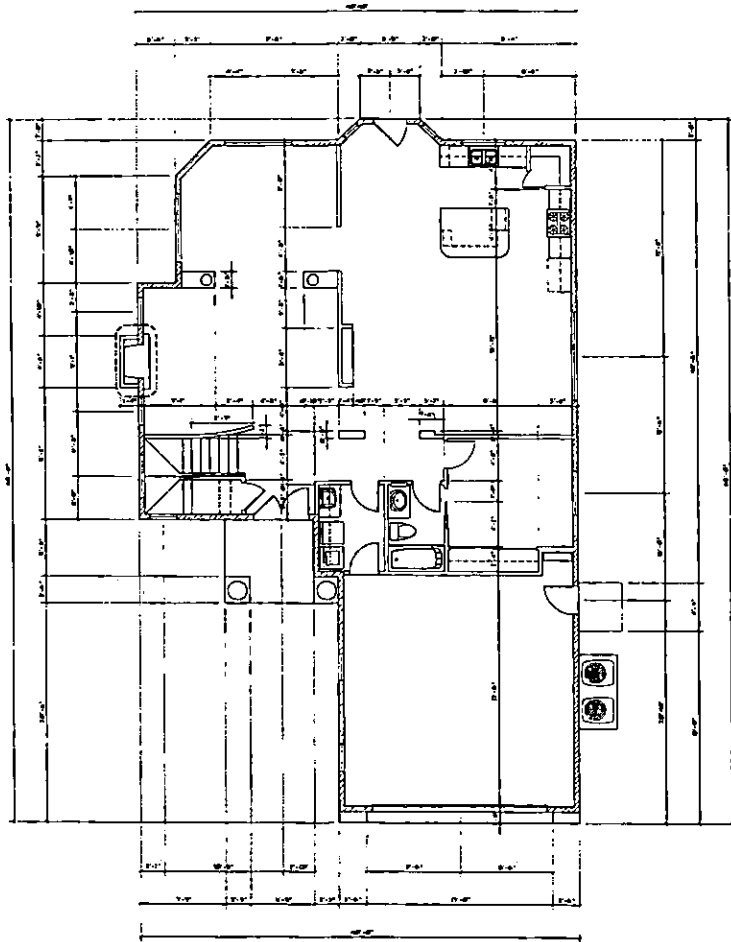
GENERAL NOTES

1. ALL INTERIOR WALLS AND CEILING TO BECOME NEW.
2. NEW PLUMBING, EXCEPT SINKS ON ALL APPLIANCES.
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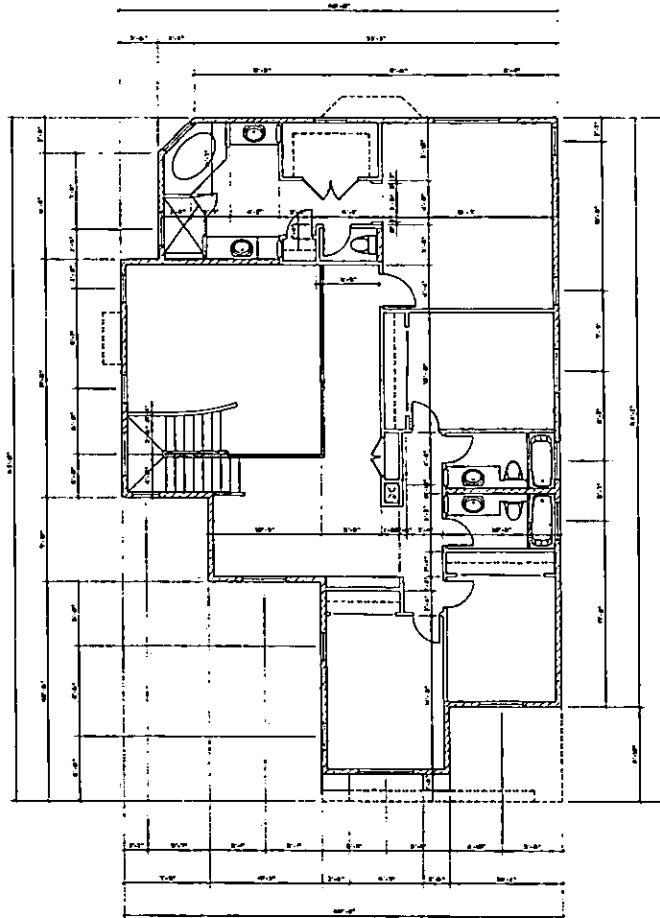


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**DIMENSIONED
FIRST FLOOR PLAN**



**DIMENSIONED
SECOND FLOOR PLAN**

KEYNOTES

1. SEE SHEET A12 FOR KEYNOTES.

GENERAL NOTES

1. ALL INTERIOR WALLS AND CEILING TO REMAIN SHOWN.
2. SEE BACHS, CORNER BEAM ON ALL INTERIOR WALLS.
3. REINFORCEMENT SHALL COMPLY WITH THE CODE.
4. TYPICAL BACHS SHALL COMPLY WITH THE CODE.
5. REINFORCEMENT SHALL COMPLY WITH THE CODE.
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20. REINFORCEMENT SHALL COMPLY WITH THE CODE.



Project: PLAN 3335
Date: 12/15/2006
Sheet: A12

Project	Plan	Sheet
PLAN 3335	1st Floor	1
PLAN 3335	2nd Floor	2
PLAN 3335	3rd Floor	3
PLAN 3335	4th Floor	4
PLAN 3335	5th Floor	5
PLAN 3335	6th Floor	6
PLAN 3335	7th Floor	7
PLAN 3335	8th Floor	8
PLAN 3335	9th Floor	9
PLAN 3335	10th Floor	10

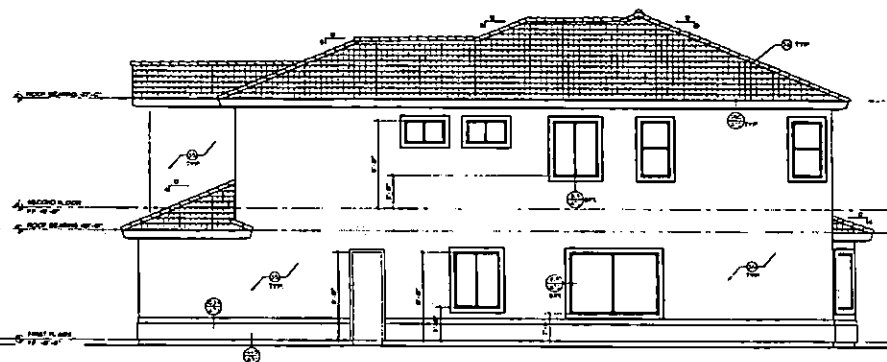
A12

SDR-17727
01/25/07 PC

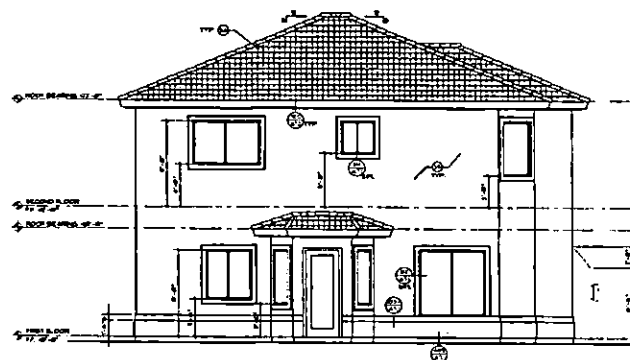
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OCT 24 2006



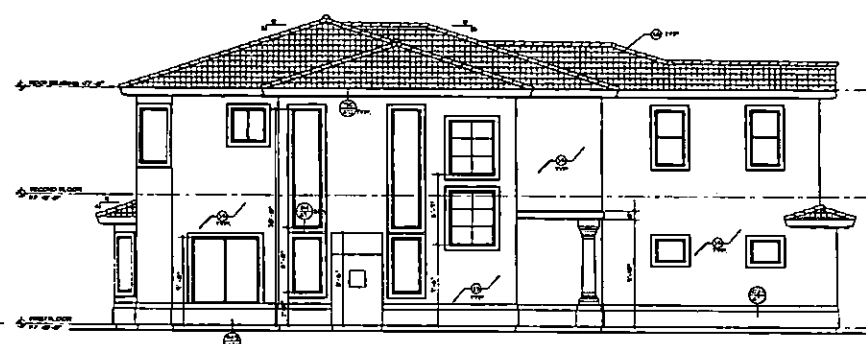
FRONT ELEVATION



RIGHT ELEVATION

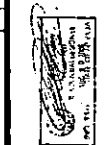


REAR ELEVATION



LEFT ELEVATION

KEYNOTES
GENERAL NOTES



sca design
200 American People Dr. Ste. 200
Ft. Worth, TX 76102
1-800-762-7000

PLAN 3355

EXTERIOR ELEVATIONS
Scale: 1/4" = 1'-0"
Date: 07/25/06
Drawn by: [Name]
Checked by: [Name]

A2.1

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ZON-18196 AND SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON
AVENUE
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



ZON-18196 AND SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON
AVENUE

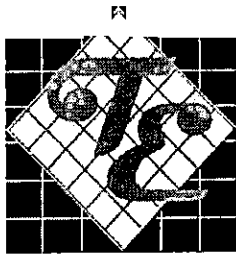
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



ZON-18196 AND SDR-17727 - APPLICANT/OWNER: BARBARA L. FARMANALI
NORTH SIDE OF THE CENTENNIAL PARKWAY ALIGNMENT APPROXIMATELY 360 FEET EAST OF LEON
AVENUE
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



TANEY ENGINEERING

4445 S. JONES #1

LAS VEGAS, NEVADA 89103

TELEPHONE: (702) 362-8844

FAX: (702) 362-5233

December 26, 2006

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Attn: Rob Levrant

Re: Floor Plan Clarification For Centennial And Leon
APN 125-24-404-006

Dear Mr. Levrant:

As per our phone conversation in the morning of Tuesday, December 26, 2006, please remove floor plan 302 from the submittal package for Site Development Review (SDR-17727) and Rezoning (ZON-18196). The floor plans being use for this project is Floor Plan 5503 and Floor Plan 3396.

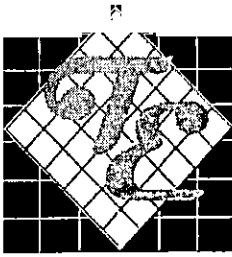
If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING

Christopher Zhang, E.I.
Project Manager

RECEIVED
DEC 26 2006

ZON-18196
SDR-17727
01/25/07 PC



TANEY ENGINEERING

4445 S. JONES #1

LAS VEGAS, NEVADA 89103

TELEPHONE: (702) 362-8844

FAX: (702) 362-5233

January 5, 2007

City of Las Vegas
City Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

Re: Site Development Review for Centennial and Leon

To Whom It May Concern:

On behalf of our client, National Homes Corporation, we are proposing an R-PD4 on approximately 2.18 gross acres that is currently zoned R-E. The project site is bounded by existing homes (R-E and R-1) on the north and east, a future home (R-E) west and Centennial Parkway on the south. The proposed subdivision consists of 8 lots with a gross density of 3.67 dwelling units per acre. The project site is proposed to have the following setbacks:

Front – 18-ft from back of curb
Side and Side Corner – 3.5-ft
Rear – 10-ft
Patio Cover (12-ft or less in Height) – 5-ft
Maximum Building Height is 35-ft
Minimum Lot Size 4200 SF

On lots 1, 2 and 3 along the east property line, Balcony/Deck is being proposed as an option on these footprints. Therefore, we are asking the setback to the rear property line for these three (3) lots to be 5-feet to accommodate the Balcony/Deck.

The proposed development will consist of all a mix of one and two story homes ranging in size from the mid 2,635-SF to the mid 5,503-SF size. All homes have a standard tow to three-car garage accessed from a 37-ft wide private street servicing the subdivision. Approximately 5,609 SF of open space has been provided, however is not required as the subdivision is less than 12 lots. Perimeter landscaping will be provided abutting Centennial Parkway in conformance with City of Las Vegas Standards.

Site Development Plan Review, SDR-6275, has also previously been filed for this project site. Please note that the setbacks, maximum building height and minimum lot size listed above correspond with the conditions listed for SDR-6275.

If you have any questions or need any additional information please do not hesitate to contact this office.

Sincerely,
TANEY ENGINEERING


Christopher Zhang, E.I.
Project Manager

ZON-18196 SDR-17727
REVISED 01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - VAR-18345 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: WAGNER HOMES INC. - Request for a Variance to ALLOW A 13.9 FOOT HIGH PERIMETER WALL WHERE 12 FEET IS THE MAXIMUM HEIGHT ALLOWED FOR AN APPROVED 57-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 0.36 acres adjacent to the southeast corner and southwest corner of Alexander Road and Campbell Road (APN: 138-08-116-020 and 021), U (Undeveloped) Zone [L (Low Density Residential) General Plan Designation] under Resolution of Intent to R-PD5 (Residential Planned Development - 5 Units Per Acre), Ward 4 (Brown).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the February 8, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation – Not Applicable
4. Justification Letter
5. Protest Letter
6. Submitted after final agenda – Abeyance requests by Anthony J Celeste and Jeffrey R. Armstrong

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

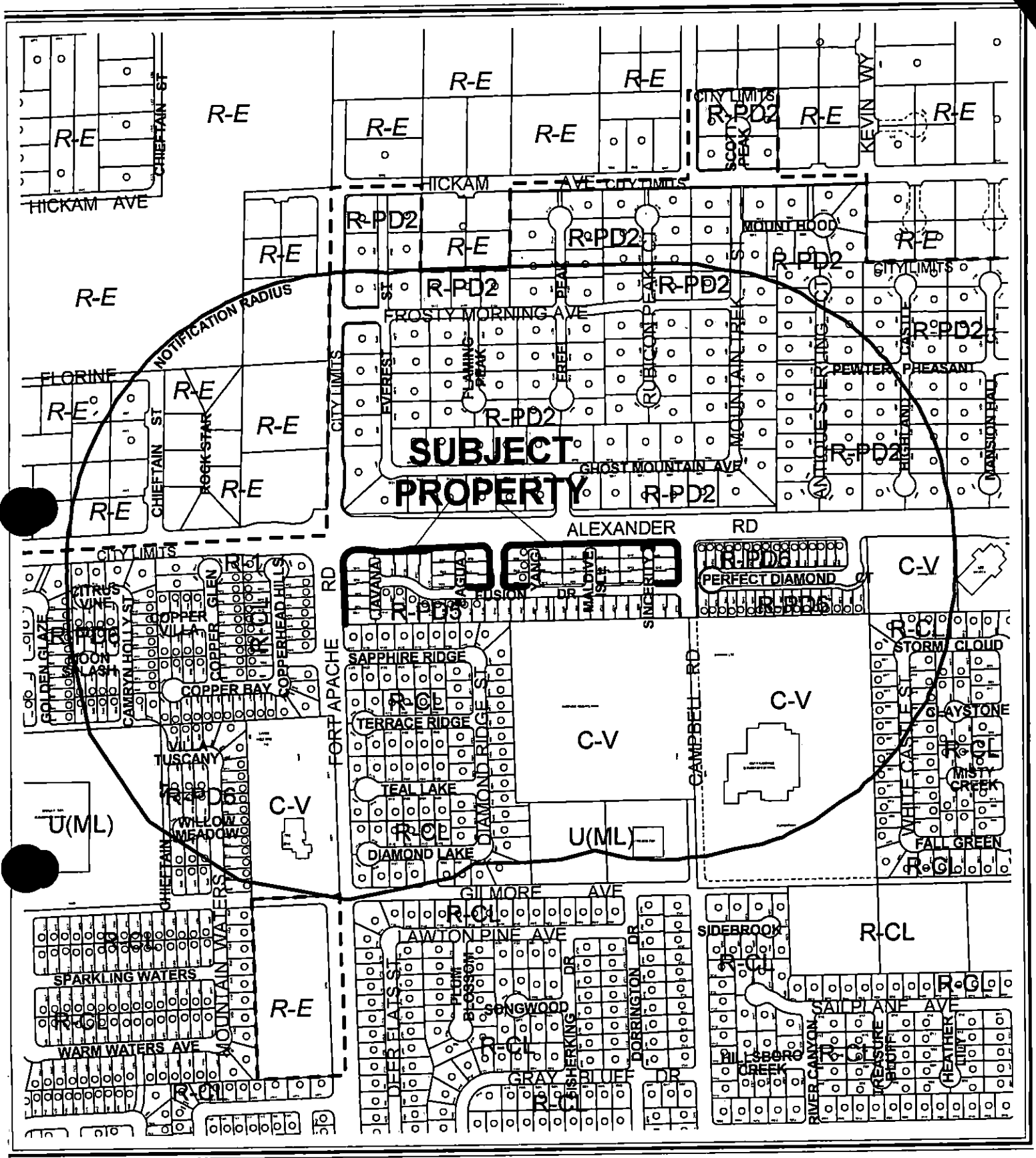
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 37 – VAR-18345

MINUTES:

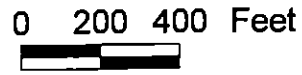
Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] were requested to be held in abeyance to the 02/22/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66



CASE: **VAR-18345**
 RADIUS: 1000 FT
 ZONING OF SUBJECT PROPERTY:
 R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT- 5 UNITS PER ACRE)





0 200 400 Feet



CASE: **VAR-18345**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT- 5 UNITS PER ACRE)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-18345 - APPLICANT/OWNER: WAGNER HOMES, INC.

***STAFF REQUESTS THIS ITEM BE HELD IN
ABEYANCE TO THE FEBRUARY 8, 2007 PLANNING
COMMISSION MEETING***

**PLANNING & DEVELOPMENT DEPARTMENT**

STATEMENT OF FINANCIAL INTEREST

VAR-18345

Case Number: _____ APN: 138-08-116-020 + 021

Name of Property Owner: Wagner Homes Inc

Name of Applicant: Wagner Homes

Name of Representative: Stephani Allen

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

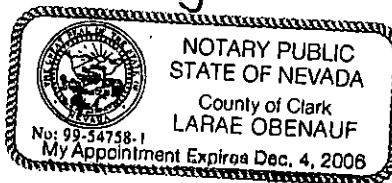
Signature of Property Owner:

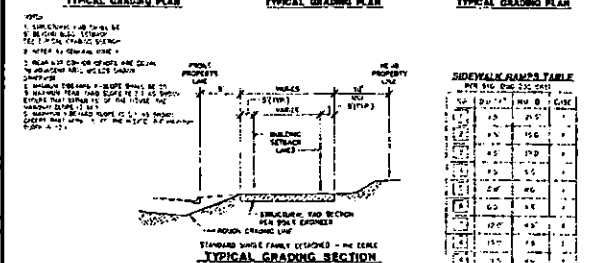
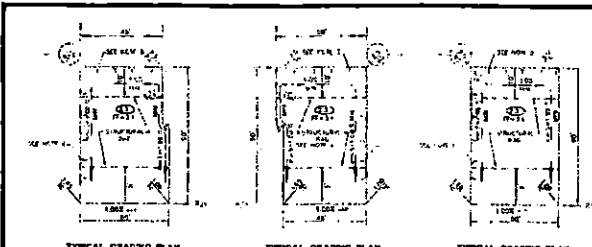
Print Name: Dan Wagon

Subscribed and sworn before me

This 22nd day of November, 2006

Lafae Obenauz
Notary Public in and for said County and State





PRIVATE STREET NOTE:
ALL PRIVATE ALLEYS AND PRIVATE STREETS SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY PUBLIC STREETS AND ALLEYS.

ENGINEER'S DISCLAIMER NOTE:
THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY OTHER PROJECTS OR FOR THE DESIGN AND CONSTRUCTION OF ANY OTHER PROJECTS.

REMARKS:
1. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.
2. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.

NOTES:
1. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.
2. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.

FOR ALL GRADING & STREET SECTIONS SEE SHEET # 03

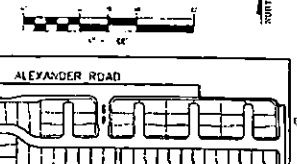
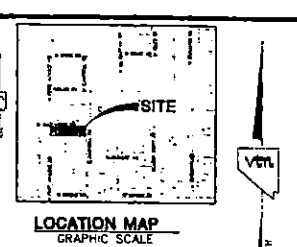
NOTE:
ALL ELEVATIONS ARE IN FEET AND DECIMALS THEREOF. ALL ELEVATIONS SHALL BE TO THE FINISHED GRADE SURFACE. ALL ELEVATIONS SHALL BE TO THE FINISHED GRADE SURFACE.

Call before you Dig
1-800-4-A-HEAD
1-800-426-4267

Call before you Dig
1-800-4-A-HEAD
1-800-426-4267

CONSTRUCTION NOTES:
1. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.
2. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.

GENERAL GRADING NOTES:
1. ALL ELEVATIONS SHOWN HEREON ARE TO THE FINISHED GRADE SURFACE. ALL ELEVATIONS SHALL BE TO THE FINISHED GRADE SURFACE.
2. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.
3. THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.



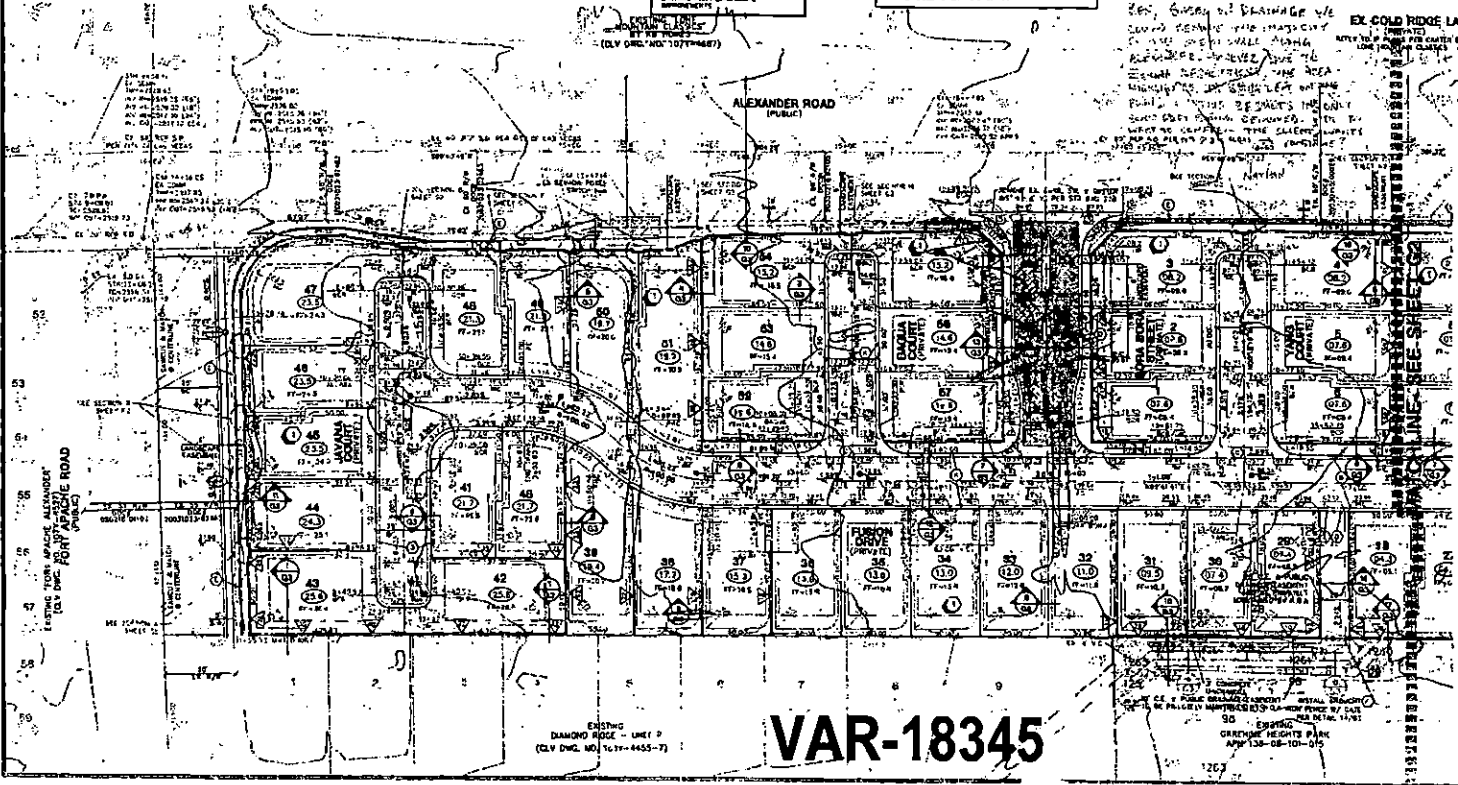
NOTE:
THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.

ENGINEER'S ESTIMATE OF PUBLIC FLOOD CONTROL REQUIRED QUANTITIES:

ITEM	QUANTITY
1. COURSE GRADED AREA	1000 SQ. FT.
2. COURSE GRADED AREA	1000 SQ. FT.
3. COURSE GRADED AREA	1000 SQ. FT.

LEGEND

SYMBOL	DESCRIPTION
(1)	PROPOSED GRADE
(2)	PROPOSED GRADE
(3)	PROPOSED GRADE
(4)	PROPOSED GRADE
(5)	PROPOSED GRADE
(6)	PROPOSED GRADE
(7)	PROPOSED GRADE
(8)	PROPOSED GRADE
(9)	PROPOSED GRADE
(10)	PROPOSED GRADE



DATE: 2.2.2006
THE ENGINEER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS REQUIREMENTS.

NEVADA HOMES GROUP
CITY OF LAS VEGAS
2007 SOUTH RAMPART AVENUE, SUITE 100, LAS VEGAS, NV 89102
702.735.1234
www.nvhomesgroup.com

GRADING PLAN 1

DAY DAWN FUSION

DATE: 2.2.2006

ENGINEER: MICHAEL BOY

PROJECT: VAR-18345

DATE: 2.2.2006

7 of 21 SHEETS

COURSE TABLE		
POS	BEARING	LENGTH
1	108°21'11"E	1.67
2	201°35'57"E	2.36
3	65°04'35"E	1.82
4	289°35'25"E	1.24
5	100°16'11"W	7.19
6	183°35'49"E	2.24
7	121°12'42"E	5.07
8	ACE 64°45"E	2.24
9	101°06'00"E	1.17
10	N88°17'23"E	2.36
11	143°40'58"E	8.87
12	158°08'47"E	2.62
13	N05°53'17"E	1.82
14	N48°46'47"E	1.17
15	100°25'18"E	2.36

PRIVATE STREET NOTE:
ALL PRIVATE STREETS ARE P.U.E.'S
PUBLIC SEWER EASEMENT AND
PUBLIC GRASSLAND EASEMENTS OR A
POTENTIAL EASEMENT BY M.O.A.

ENGINEER DISCLAIMER NOTE:
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE. ONLY IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES AND ROUTE BY THE BEST AVAILABLE MEANS PRIOR TO ANY DISSEMINATION OF THE CONSTRUCTION.
NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN ON UTILITIES MAPS DUE TO THEIR PROPER LOCATION.

[illegible]

Call
before you
Overhead
1.702.221.2974

Call
before you
Die
1-800-227-2850



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AND SHIELDING FROM TRENCH
BOX, CULVERT

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FOR A FREE
ESTIMATE

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NORTH CAROLINA • MISSISSIPPI • TEXAS
1-800-229-5671
120 YEARS AND COUNTING! 120 YEARS! THE ONLY

LOCATION MAP

GRAPHIC SCALE

A key map showing a section of Alexander Road. A specific area on the road is highlighted with a thick black line, indicating the location of the project. The text "KEY MAP" is written below the map.

**ENGINEERS' ESTIMATE OF
PUBLIC FLOOD CONTROL REQUIRED
QUANTITIES:**

PUBLIC FLOOD CONTROL IMPROVEMENT	QUANTITY
7 COURSE GRADED FLOOD WALL	683 L.F.
5 COURSE GRADED FLOOD WALL	682 L.F.
DRAINAGE EASEMENT	1000 SQ. FT.

PAINTWORKS
 UT. 15,748 CUBIC YARDS
 ILL. 8,704 CUBIC YARDS

NO.	NEW	OLD	NEW	OLD
1	4.5'	21.5'	-	-
2	4.5'	18.5'	-	-
3	4.5'	12.0'	-	-
4	4.5'	8.0'	-	-
5	4.5'	4.2'	-	-
6	4.5'	2.2'	-	-
7	4.5'	1.2'	-	-
8	4.5'	0.8'	-	-
9	4.5'	0.5'	-	-
10	4.5'	0.3'	-	-

LEGEND

72	PAVING GRAVEL	SEE EXISTING INTERSECTIONS
73	TOP OF CURB	ON CONTIGUOUS INTERSECTIONS
74	TOP OF CONC	PROPOSED PLATFORM
75	EDGE OF CONC	PROPOSED PAV. BRIDGE
76	TOP OF CONC	
77	EXISTING (E)	
78	PROPOSED (P)	
79	NATURAL GROUND	
80	CONC. PAVEMENT	
81	CONC. POLE	
82	CONC. CURB	
83	EXISTING CONC	
84	PROPOSED CONC	
85	SEAL COAT SECTION	
86	PAV. GRAVEL	
87	PAV. GRAVEL	
88	PAV. GRAVEL	
89	PAV. GRAVEL	
90	PAV. GRAVEL	
91	PAV. GRAVEL	
92	PAV. GRAVEL	
93	PAV. GRAVEL	
94	PAV. GRAVEL	
95	PAV. GRAVEL	
96	PAV. GRAVEL	
97	PAV. GRAVEL	
98	PAV. GRAVEL	
99	PAV. GRAVEL	
100	PAV. GRAVEL	

NEVADA HOMES GROUP
LIVES BETTER. CANADA, ANYTIME.

GRADING PLAN 2

DAY DAWN FUSION

SCALE: 1" = 40'

CHECKED OFF:
N/A

PROJECT N/A:

NEAR-STATE OF MA
ETH &
OLSON

120 KUYAL
12-4475

VAR-18345

NOV 28 2008

62113

CONFIRMS THAT THIS CLOSING PLAN IS IN CONFORMANCE
WITH THE APPROVED LANGUAGE GIVEN ON FILE AT THE
OFFICE OF LAY SE 3-3 FOR THIS PROJECT

DATE

What is your

B.R.

Professional Engineer Seal of Kenneth E. Nicholson, Civil, No. 10538, State of Nevada.

RECEIVED

DEC 15 2006



RECEIVED

DEC 15 2006

RECEIVED
DEC 15 2006
VAR-18345



RECEIVED

DEC 15 2006

VAR-18345



VAR-18345

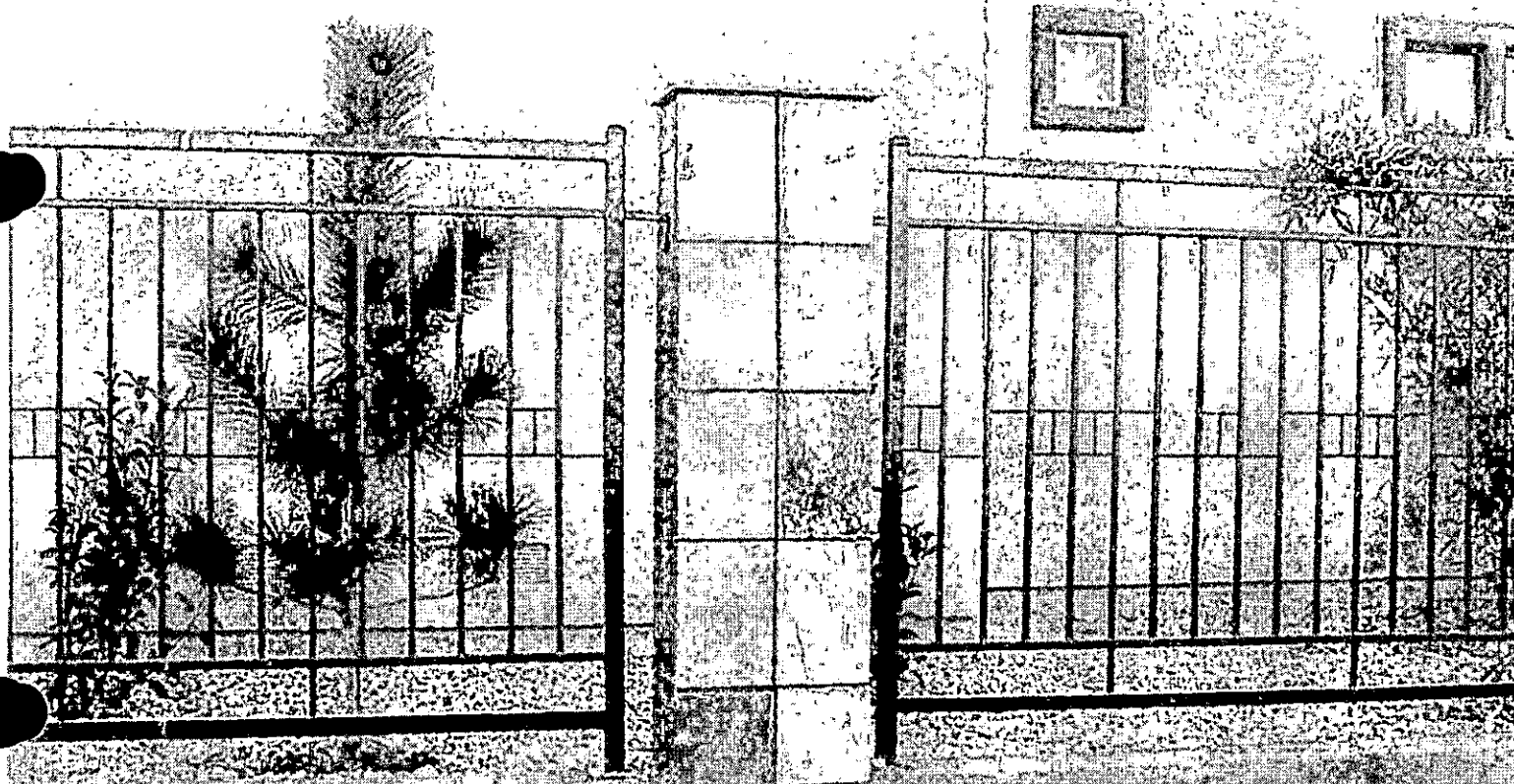
RECEIVED
DEC 16 2006



RECEIVED
DEC 15 2000

VAR-18345

RECEIVED
DEC 15 2006



VAR-18345

RECEIVED
DEC 15 2006



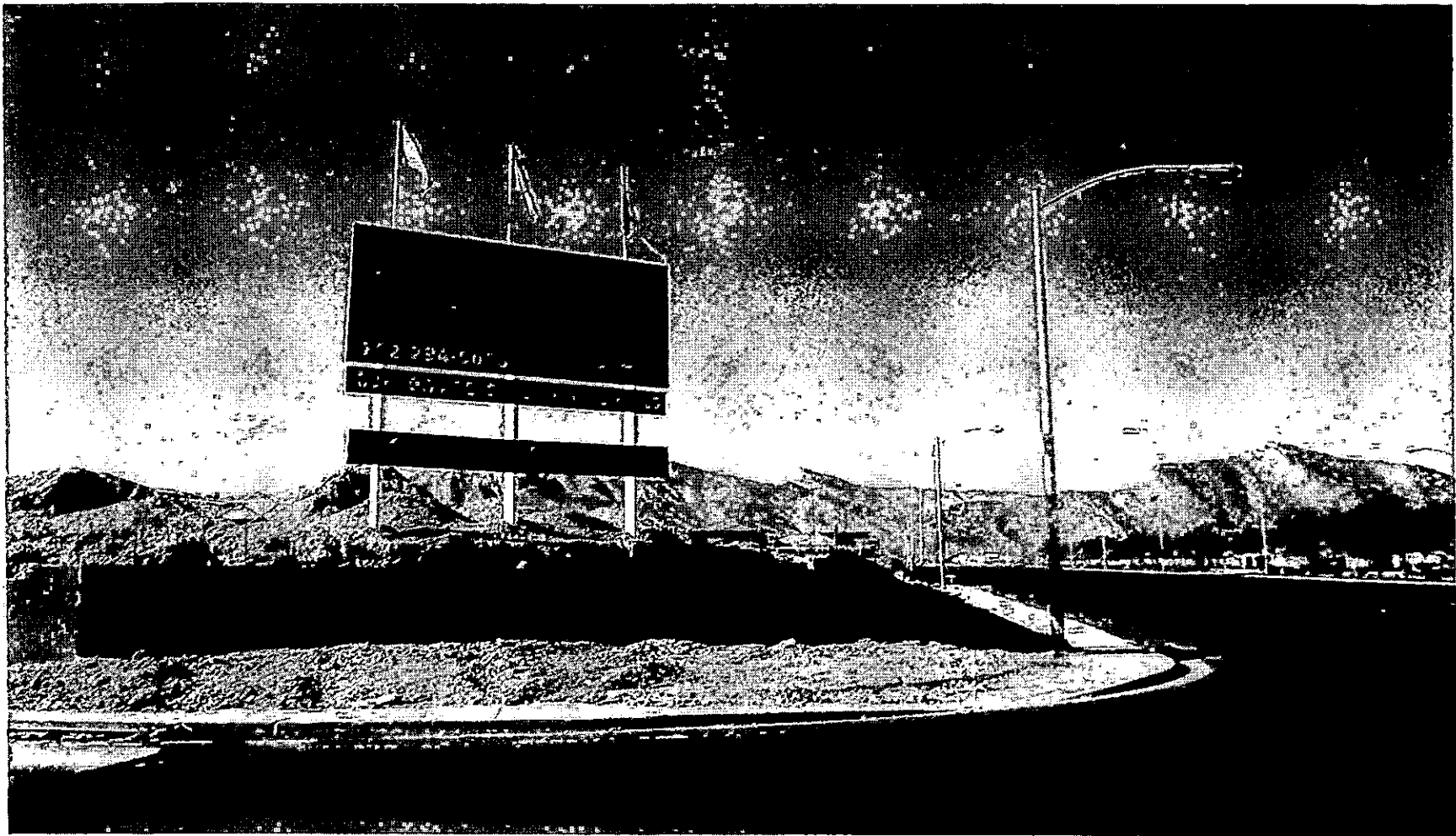
VAR-18345 - APPLICANT/OWNER: WAGNER HOMES INC
ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND
CAMPBELL ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



VAR-18345 - APPLICANT/OWNER: WAGNER HOMES INC
ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND
CAMPBELL ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



VAR-18345 - APPLICANT/OWNER: WAGNER HOMES INC
ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND
CAMPBELL ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



VAR-18345 - APPLICANT/OWNER: WAGNER HOMES INC
ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND
CAMPBELL ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



VAR-18345 - APPLICANT/OWNER: WAGNER HOMES INC
ADJACENT TO THE SOUTHEAST CORNER AND SOUTHWEST CORNER OF ALEXANDER ROAD AND
CAMPBELL ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/08/06



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SERVICES SINCE 1960

November 27, 2006
WO# 6194

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, NV 89101

DAY DAWN FUSION:
RE: Justification for a Variance & Review of Conditions

Planning Department,

On behalf of our client, Nevada Homes Group, VTN Nevada respectfully submits this letter and application for a Review of Condition and a Variance. Our client is requesting relief from condition # 11 of SDR-2418, stipulating in part, that perimeter walls shall not exceed eight feet in height. Amending this condition to permit a greater wall height would necessitate relief of Chapter 19.08.040 of Title 19, limiting wall height to eight feet.

The applicant is only requesting this relief for approximately 1,300 feet along Alexander Road. Basically, the request is restricted from the vicinity of the entry street east to Campbell Road

The applicant is proposing to build an enhanced, visually superior oriental themed wall that uses contrasting materials, color, as well as surface relief to provide visual relief of a monotonous wall that is typically so pervasive in the area.

The wall is currently designed in two sections that include a combination retaining/screen wall and an off-set, low retaining wall. The combined height of this wall section is 12.4 feet $\pm$. The applicant proposes to build an enhanced single wall approximately 13.9 feet $\pm$ in height in the aforementioned area. The grading of the landscape easement will reduce the total wall height by 1-foot.

The applicant believes the substantial cost of single, enhanced perimeter wall that enhances the visual theme justifies this request. Thank you for your consideration in this matter.

Sincerely,

VTN Nevada


Jeffrey Armstrong
Senior Planner

VAR-18345
01/25/07 PC

Attachments

2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
TEL: (702) 873-7550 FAX: 362-2597

Dorothy Marsili

From: Doug Rankin
Sent: Monday, January 08, 2007 10:51 AM
To: John Korkosz; Dorothy Marsili
Subject: FW: City of LV - 01-11-07 PC Final Agenda

From: Heimgartner, Erin [mailto:eeheimgartner@centexhomes.com]
Sent: Monday, January 08, 2007 10:48 AM
To: drankin@lasvegasnevada.gov
Subject: City of LV - 01-11-07 PC Final Agenda

Re: Item #33 VAR-18345

What is purpose of increased height? Is it necessary for construction safety? Are driver site lines impacted? Is there an impact on flood water drainage?

If any of these items are of a negative factor to the community, I do not support the variance.

Thank you,

Erin E. Heimgartner

1/8/2007

ITEM # 33
CASE # VAR-18345
PC MTG 1-11-07

P

**KUMMER
KAEMPFFER****KUMMER KAEMPFFER BONNER
RENSHAW & FERRARIO**

ATTORNEYS AT LAW

LAS VEGAS OFFICE

ANTHONY J. CELESTE
aceleste@kkbrf.com
702.693.4215LAS VEGAS OFFICE
3800 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89169
Tel. 702.792.7000
Fax. 702.796.7181RENO OFFICE
5585 Kibbuck Lane
Reno, NV 89511
Tel. 775.852.3900
Fax. 775.852.3882SUMMERLIN OFFICE
3425 Chin Shadows Parkway
Suite 150
Las Vegas, NV 89128
Tel. 702.883.4260
Fax. 702.838.0457CARSON CITY OFFICE
510 W Fourth Street
Carson City, NV 89703
Tel. 775.882.1311
Fax. 775.882.0257

January 25, 2007

VIA FACSIMILE
385-7268Mr. Doug Rankin
LAS VEGAS PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, NV 89101**Re: Request to hold VAR-18345
Wagner Homes, Inc.**

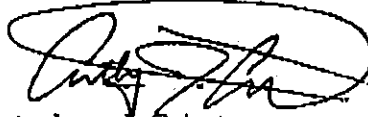
Dear Mr. Rankin:

Our office represents the property owner in the above-referenced matter. We respectfully request this matter be continued from the presently scheduled Planning Commission meeting of January 25, 2007 until February 22, 2007.

Thank you for your consideration.

Sincerely,

KUMMER KAEMPFFER BONNER RENSCHAW & FERRARIO


Anthony J. Celeste

AJC/dmf

Submitted after final agenda

Date 1/25/07 Item #37





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SERVICES SINCE 1960

January 24, 2007

W.O. 6194

Mr. Douglas J. Rankin, Planning Manager
City of Las Vegas
Planning and Development
731 S. Fourth Street
Las Vegas, Nevada 89101

(Via Facsimile @ 385-7268)

**RE: Request to Hold Application
VAR-18345**

Dear Mr. Rankin,

On behalf of our client, Nevada Homes Group, VTN Nevada hereby requests the City of Las Vegas to hold the above referenced application to the February 8, 2007, Planning Commission hearing.

This application is in conjunction with ROC-18341 which was also held in abeyance to the February 7, 2007, City Council hearing date.

Should you have any further questions regarding this matter, please do not hesitate to telephone this office at 873-7550.

Sincerely,
VTN-Nevada

Jeffrey R. Armstrong, Senior Planner

cc: Paul Wagner, Nevada Homes Group
Ken Nicholson, PE.

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

GPA-18776 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: CARLOS AVEMARIA - Request to Amend a portion of the Southwest Sector Plan of the General Plan FROM: R (RURAL DENSITY RESIDENTIAL) TO: SC (SERVICE COMMERCIAL) on 0.61 acres at 5200 Vegas Drive (APN 138-24-801-027), Ward 5 (Weekly).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the March 8, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation – Not Applicable
4. Justification Letter

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249], Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727], Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item 24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to 03/08/2007; TABLE Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730]; and WITHDRAW WITHOUT PREJUDICE Item 66 [SDR-18677] – UNANIMOUS

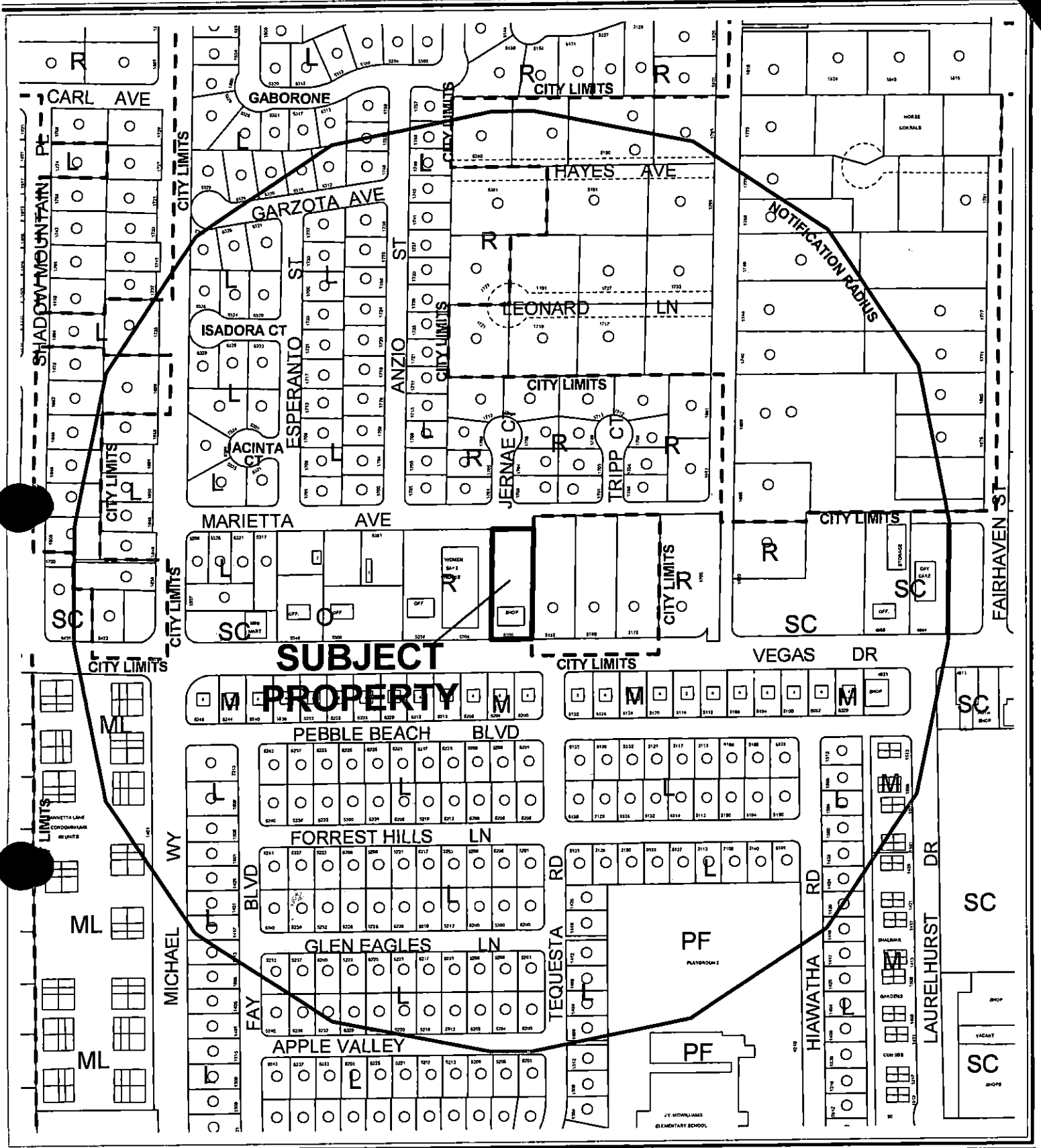
PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 38 – GPA-18776

MINUTES:

Item 38 [GPA-18776] was requested to be held in abeyance to the 03/08/2007 Planning Commission meeting.

(6:04 – 6:07)

1-66

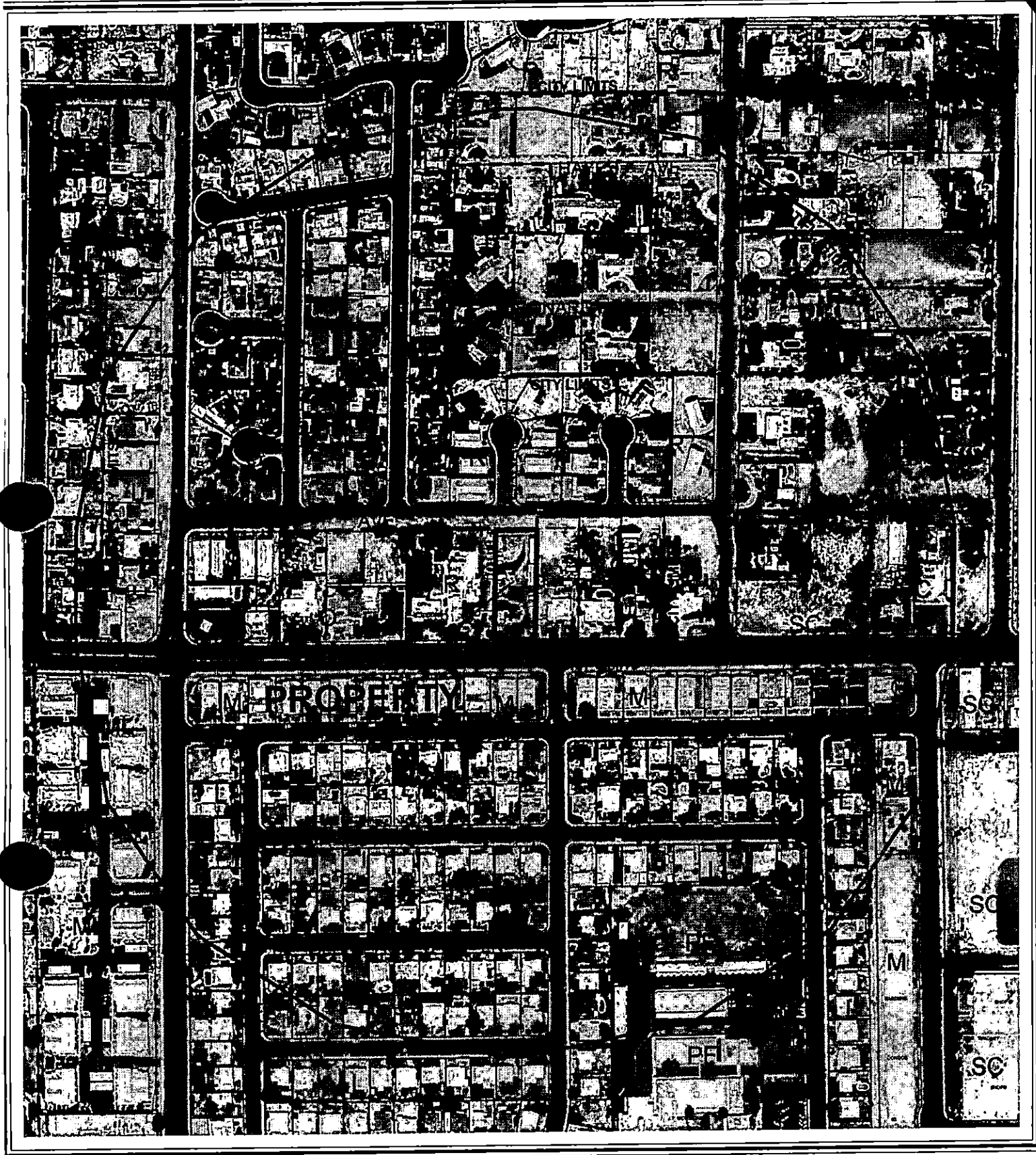


CASE: **GPA-18776**

RADIUS: 1000 FT

GENERAL LAND USE OF SUBJECT PROPERTY:
R (RURAL DENSITY RESIDENTIAL)

PROPOSED GENERAL LAND USE OF SUBJECT PROPERTY:
SC (SERVICE COMMERCIAL)



CASE: **GPA-18776**

RADIUS: 1000 FT

GENERAL LAND USE OF SUBJECT PROPERTY:
R (RURAL DENSITY RESIDENTIAL)

PROPOSED GENERAL LAND USE OF SUBJECT PROPERTY:
SC (SERVICE COMMERCIAL)

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: GPA-18776 - APPLICANT/OWNER: CARLOS AVEMARIA

***STAFF REQUESTS THIS ITEM BE HELD
TO THE MARCH 8, 2007 PLANNING
COMMISSION MEETING***

Case Number: **GPA-18776** APN: 138-24-801-027
Name of Property Owner: CARLOS AUEMARIA
Name of Applicant: CARLOS AUEMARIA

Yes ☐ No ☒

APN: _____

Print Name: CARLOS AVENDANO

Notary Public in and for said County and State



City of Las Vegas

FUTURE LAND USE
138-24-801-027

- Rural Neighborhood Preservation - up to 2 duacs (10 to 2 duacs)
- Desert Rural - up to 2.39 duacs (2.1 to 2.49 duacs)
- Rural - up to 3.59 duacs (2.5 to 3.59 duacs)
- Low - 3.6 to 5.5 duacs
- Medium - Low - 5.6 to 8 duacs
- Medium - Low Attached - 8.1 to 12 duacs
- Medium - 12.1 to 25 duacs
- High - 25+ duacs
- Mixed Use (ML, MH, OS, SC, GC, PF)
- Office
- Service Commercial
- General Commercial
- General Tourist Commercial
- Commercial (O, SC, GC)
- Park/Recreation/Open Space
- Park/Recreation/Open Space
- Public Facility
- Public Facility School
- Public Facilities Clark County
- Resource Conservation
- Light Industrial/Research
- Planned Community Development
- Town Center
- University Medical Center
- Traditional Neighborhood Development

Subject Property
138-24-801-027

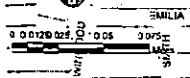
GPA-18776

01/25/07 PC

Printed: December 11, 2006



This map is a computer-generated map and should not be used for legal purposes. It is for informational purposes only.



MARIETTA AVENUE

SUBD BOUNDARY

100'

100'

GENERAL PLAN
EXISTING RURAL

Jurisdiction
Las Vegas

EXISTING WALL

EXISTING GATE

GENERAL PLAN
EXISTING RURAL

Jurisdiction
Las Vegas

Institutional Use

Existing Zoning R-O

Total Parcel Estimated Size .01 Acres

(LAND TO REMAIN "AS IS", NO CHANGES)

Proposed C-1

GENERAL PLAN DESIGNATION
PROPOSED SERVICE COMMERCIAL

ZONE DIVISION LINE

GENERAL PLAN
EXISTING RURAL
(STRUCTURE TO REMAIN THE SAME, NO CHANGES)

EXISTING
CEMENTED PARKING

Existing Zoning - "O"

EXISTING GATE

Proposed C-1

GENERAL PLAN DESIGNATION
PROPOSED SERVICE COMMERCIAL

Jurisdiction
Clark County

Jurisdiction
Clark County

GENERAL PLAN
EXISTING RURAL

Zone - R-E

Single Family Home

Single Family Home

SITE INFORMATION	
Parcel Area:	61 Acres
Bldg Area:	1548sf
Lot Coverage:	5.80%
Parking required:	1/300sf (6)
Parking Provided:	14
HC required:	1
HC provided:	1
Set Backs:	
Front:	37'
Rear:	192'
Side (west):	10'
Side (east):	36'

Lot Coverage:	
1548' / .51 acres	
1548' / 26,571.6' = .058 = 5.8%	

OWNER
CARLOS AVENARIA

PARCEL NUMBER
138-24 801-027

ADDRESS
5200 VEGAS DRIVE
LAS VEGAS
NEVADA

COUNTY
CLARK

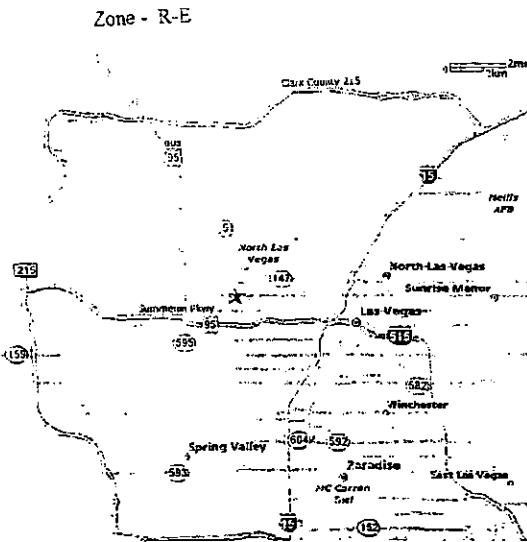
SITE PLAN
Scale Size 1:

DATE
12/12/06

VEGAS DRIVE

GPA-18776
01/25/07 PC

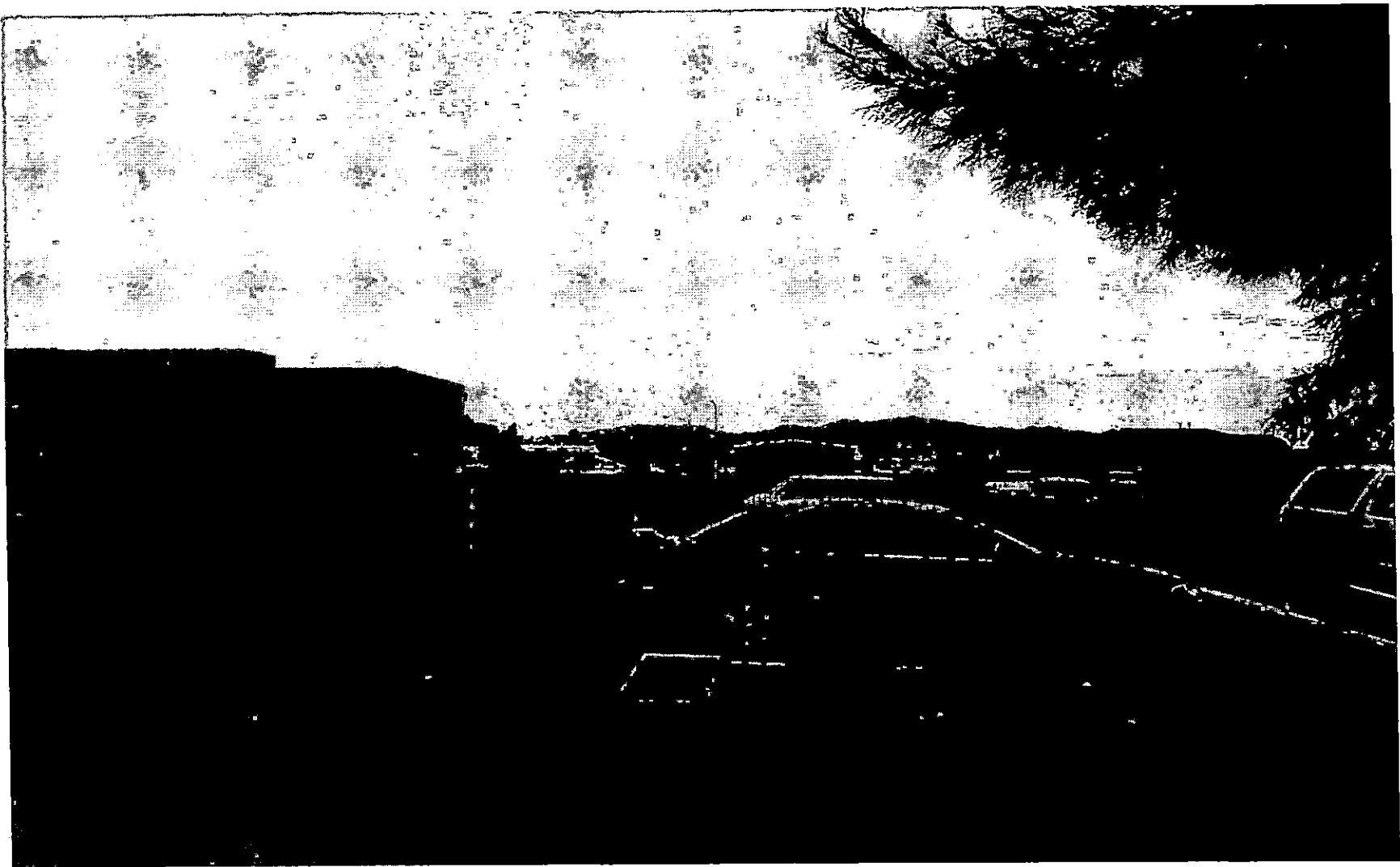
^
NORTH





GPA-18776 - APPLICANT/OWNER: CARLOS AVE MARIA
5200 VEGAS DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

12/26/06



GPA-18776 - APPLICANT/OWNER: CARLOS AVE MARIA
5200 VEGAS DRIVE
JANUARY 25, 2007 PLANNING COMMISSION

12/26/06



JUSTIFICATION LETTER

December 12, 2006

Planning & Development
731 South Forth Street
Las Vegas, NV 89101
Tel: (702) 229-4714
Fax: (702) 385-7268

Att: Steve Swanton
Re: Property at 5200 Vegas Drive
Parcel # 138-24-801-027
To: whom it may concern

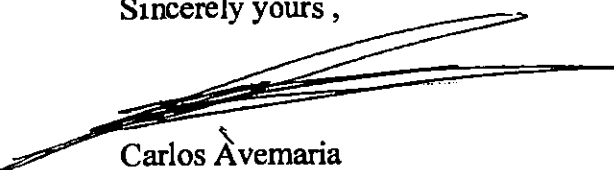
My name is Carlos Avemaria, I am the property owner located at 5200 Vegas drive, Las Vegas, Nevada 89108. Stephanie Demoleas (inspector 17) came by the mentioned property on 9/6/06 and noticed some problems complying with the codes for the zones assigned to this location which brought up to my attention that zone changes will need to be made. The situation is the following ,This property has one parcel yet it has two different zones, the front is Office ("O") and the back half is zoned as residential (R-D) , this is how the property was obtained when bought from the previous owner, who also like my self had an Air conditioning company in this location, before and after the annexation where the jurisdiction was changed from Clark County to City of Las Vegas, I have been in this property for two years now in which I have grown my Business, we are up to 6 company vehicles, where they need to be parked in the back of the office, since I have such a big lot (around ½ acre) in the back of the office with no building structure. I have talked to a planner reviewer from the city of Las Vegas and he has inform me about codes for this property under the current zones, which disables my business to operate properly, stating that after 9 p.m. there is no vehicles to be parked any where, neither in the residential or office area of my property (5200 Vegas Drive Las Vegas , NV 89108) , also that after 9 p.m. there couldn't be any personal inside the building structure. I need a place to park some company vehicles during slow seasons, there is no space in the apartment complex where I live to park more than one vehicle , I was not aware of this situation since the previous owner of this property had no problems from Clark County or city of Las Vegas, when he had his Air Conditioning Company working out of this property.

I need to have the existing zones changed ("R-D" and "o" to one zone C-1 to be able to comply with the city codes and requirements for being able to operate my Air Conditioning & Heating business at this mentioned location, to be able to dispatch, also park the company vehicles after 9:00pm , To change it to C-1 zoning I will also need to apply for changing the General Plans, from "Rural" to "Service commercial", applying

GPA-18776
01/25/07 PC

for a Special use permit for building maintenance , service and sales will also be required, to operate my HVAC business to its full capacity. I believe that this zone/general plan change will support existing city policies and regulations due to very near locations are already converted to C-1 (five lots east & four lots west are C-1 properties). There will be no changes made to this site as part of this application, any future changes will be done through a site development plan review. If there is any questions or concerns please do not hesitate to get a hold of me at either my e-mail address buenosairesacand01@sprintpcs.com or directly to my cellular number (702) 491-7076 or via mail at 5200 Vegas Drive, Las Vegas, Nevada 89108 and thank you for taking this justification letter in consideration.

Sincerely yours ,



Carlos Avemaria
President
Buenos Aires A/C & Heating, Inc.

GPA-18776
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

GPA-18818 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: CRAIG TENAYA, LLC - Request to amend a portion of the Centennial Hills Sector Plan of the Master Plan FROM: O (OFFICE) TO: H (HIGH DENSITY RESIDENTIAL) on 7.49 acres adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road (APN 138-03-701-021), Ward 4 (Brown).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

5

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Protest letter by Robert Chiu

MOTION:

STEINMAN – APPROVED subject to conditions – Motion carried with **EVANS** and **DUNNAM** voting **NO**

To be heard by the City Council on 2/21/2007

MINUTES:

CHAIRMAN DAVENPORT declared the Public Hearing open for Item 39 [GPA-18818], Item 40 [ZON-18819], Item 41 [VAR-18820], Item 42 [SUP-18821] and Item 43 [SDR-18822].

ANDY REED, Department of Planning and Development, reported that the proposed density of 28.5 dwelling units is not compatible with adjacent properties to the south. In addition, the building would not comply with the height requirements of the zoning district, making the development too intense for the subject site. He recommended denial of all applications.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 39 – GPA-18818

MINUTES – Continued:

ATTORNEY CHRIS KAEMPFER, 3800 Howard Hughes Parkway, appeared with Architect, CHRIS DYKA on behalf of the owner. ATTORNEY KAEMPFER pointed out that the applicant/owner of the subject property has owned the property for nearly 30 years and wishes to develop upon the land which has significant drainage issues. The General Plan for the property is Office (O); however, Office development would not support the substantial mitigation measures required to make the site work.

ATTORNEY KAEMPFER described the adjacent surrounding area in relation to the zone districts, the 100-year flood channel and US 95. The proposed development would be a Mixed-Use project of condominiums and the non-residential use would be Office. One building would abut already existing multi-family homes located furthest east, and a second building would be nearly 60 feet off Tenaya Way and limited to 31 feet in height. ATTORNEY KAEMPFER stated the center section would have a 35-foot wide landscaped buffer and the residential properties to the south face west and east and would side up to the development instead of directly face the proposed development.

There would be three access points to the property. The Office use of the property would be off Tenaya Way and would be closed during weekends and evenings, leaving two other access points for the residents. ATTORNEY KAEMPFER referenced different elevations to depict parking areas, landscaped areas, and the proposed structures.

Regarding the drainage mitigation, ATTORNEY KAEMPFER stated the development would be built on a platform. Water would accumulate in one of the parking areas and would be carried underneath the center building and courtyard area to the flood channel. Upon a neighborhood meeting, the concern generally raised was the issue of overcrowded schools. Conversely, based on the starting prices of the condos, the project is not designed to attract and establish a family-based living environment. ATTORNEY KAEMPFER respectfully requested approval.

CHERYL and GEORGE HELTON, 7265 Hollywood Park Avenue, informed the Commission that the neighborhood meeting hosted by the applicant was held in a bar and many were not in attendance because it was not in a family-oriented setting. MS. HELTON expressed opposition to the five-story development because it would not be compatible with existing housing. She also remained concerned that the schools would be impacted.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 39 – GPA-18818

MINUTES – Continued:

MR. HELTON added that the notices sent regarding the neighborhood meeting were not sent to everyone affected, and he agreed that the schools would be negatively impacted. He stated that the principal of the nearby school sent a letter requesting that the project be opposed because it would definitely affect the school. MR. HELTON was regretful that he did not have the letter to verify his comments but assured the Commission that he could provide the letter at a later date. He expressed concern about the drainage mitigation plan proposed and pointed out the site's close proximity to North Las Vegas Airport to justify that the site is not appropriate for such a project.

BILL WAINER, 7305 Hollywood Park Avenue, concurred with all opposing comments pertaining to the overcrowded school issue. He stated that access to the property is not ideal and that he preferred the property remain zoned for Office use only.

TODD FARLOW, 240 North Nineteenth Street, spoke in opposition of the project as he does not support Mixed-Use development. He requested information about the line of sight of the tallest unit.

ATTORNEY KAEMPFER explained the reason for the location of the neighborhood meeting and stated that all neighbors to the south should have received notification of the meeting. He addressed the line of sight issue by confirming the distance of 300 feet from the tallest unit to the adjacent residential side yards.

COMMISSIONER TROWBRIDGE requested additional details about the access from the shopping center located north of the subject site. MR. DYKA indicated it would be essential to have access off Craig Road through the rear of the west-facing shopping center. He explained the reasons for the proposed height and stated that extra considerations were made to camouflage the unattractive power transformers and trash containers that would be visible from the entrance. COMMISSIONER GOYNES acknowledged that the school district faces overcrowding issues throughout the entire Valley and it would be unacceptable to administer a moratorium for development applications in order for those matters to be mitigated. It would be idyllic for the school district to build schools based on realistic population forecasts.

COMMISSIONER STEINMAN commended the efforts of the applicant to develop the difficult site. He acknowledged the concerns of the neighbors in attendance and expressed gratitude that the applicant is willing to go through such measures to develop the parcel.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 39 – GPA-18818

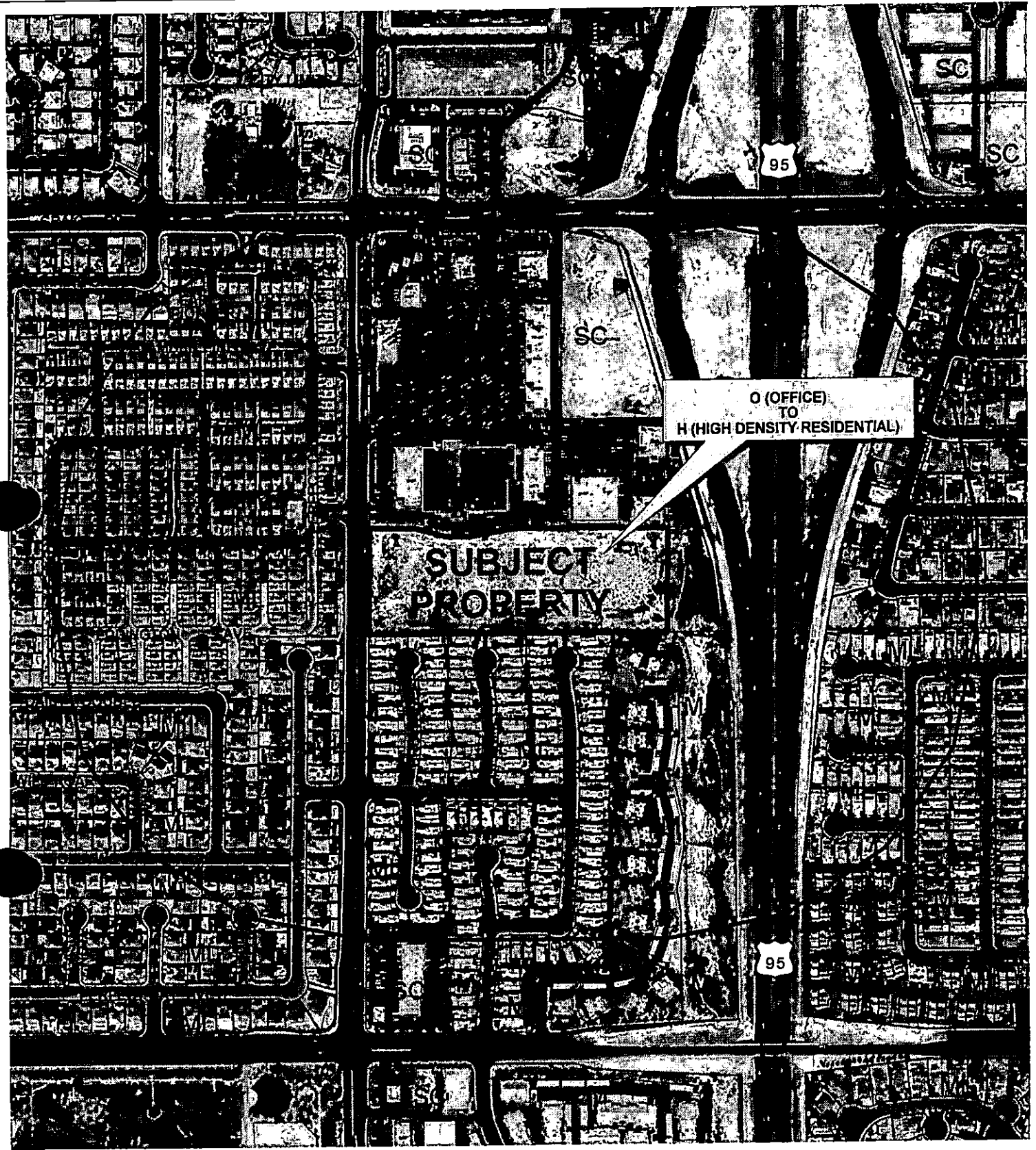
MINUTES – Continued:

In response to COMMISSIONER GOYNES' comments, MR. DYKA stated that his office is proactively pursuing energy efficient developments.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 39 [GPA-18818], Item 40 [ZON-18819], Item 41 [VAR-18820], Item 42 [SUP-18821] and Item 43 [SDR-18822].

(7:03 – 7:33)

1-2131



0 200 400 600 Feet

CASE: GPA-18818

RADIUS: 1000 FT

GENERAL LAND USE OF SUBJECT PROPERTY:

O (OFFICE)

PROPOSED GENERAL LAND USE OF SUBJECT PROPERTY:

H (HIGH DENSITY RESIDENTIAL)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: GPA-18818 - APPLICANT/OWNER: CRAIG TENAYA, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL.

AR

GPA-18818 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request to amend a portion of the Centennial Hills Sector Plan of the Master Plan from O (Office) to H (High Density Residential) on 7.49 acres adjacent to the east side of Tenaya Way approximately 970 feet south of Craig Road.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
09/05/90	The City Council denied a request for a reclassification of property (Z-0080-90) from N-U (Non-Urban) to C-1 (Limited Commercial) that included a shopping center, convenience store with gasoline sales, a four to six story office building, three off-premise billboard signs, an automobile service facility, restaurant with a beer/wine/cooler on-sale use, and retail stores with beer/wine/cooler off-sale uses. The Planning Commission recommended denial. Staff recommended approval.
11/06/96	The applicant withdrew without prejudice a request for a reclassification of property (Z-0094-96) from N-U (Non-Urban) to C-2 (General Commercial) for a 105,744 square-foot retail warehouse. The Planning Commission and staff recommended approval.
01/08/98	The applicant withdrew without prejudice a request for a Rezoning (Z-0081-97) from U (Undeveloped) [SC (Service Commercial) land use designation] to C-1 (Limited Commercial) for a 130,858 square-foot retail store. Staff recommended that the item be held in abeyance.
01/19/00	The City Council approved a Rezoning (Z-0071-99) of this site to O (Office), as part of a larger overall request which included the rezoning of the property to the north to C-1 (Limited Commercial). Staff recommended approval, and the Planning Commission believed the request to be premature and recommended denial.
01/25/07	Companion items for a Site Development Plan Review (SDR-18822), Rezoning (ZON-18819), Variance (VAR-18820), and a Special Use Permit (SUP-18821) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this application.	
<i>Pre-Application Meeting</i>	
12/14/06	A pre-application meeting was held. The requirements of a General Plan Amendment were explained.

GPA-18818 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/03/07	A neighborhood meeting was held at Timbers Bar & Grill, 7081 West Craig Road at 6:15 P.M. Six members of the public attended and had the following concerns and comments:
	Five story condos too dense for area Concerns about impact to schools Support for two story office or commercial at site Concerns about fire Concerns about size and scope of project so close to single family homes Concerns that the applicant did not properly notify the neighborhood meeting.

Details of Application Request	
Site Area	
Net Acres	7.49

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	O (Office)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Singe-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
	Multi-Family Residential	M (Medium Density Residential)	R-3 (Medium Density Residential)
East	Undeveloped	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	ML (Medium-Low Density Residential)	R-PD8 (Residential Planned Development - 8 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

AR

GPA-18818 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

ANALYSIS

The request is for a General Plan Amendment from O (Office) to H (High Density Residential). The proposed designation allows development such as multi-family plexes, townhouses, high-density apartments and high rise. The 7.49 acre site is currently undeveloped. The amendment was submitted in conjunction with a proposed Rezoning (ZON-18819) to R-4 (High Density Residential), a Variance (VAR-18820) to allow a 72-foot high building where 35 feet is the maximum height allowed, a Special Use Permit (SUP-18821) for a mixed-use development, and a Site Development Plan Review (SDR-18822) for a proposed five-story mixed-use development consisting of 213 condominium units and 29,717 square feet of commercial space.

Because the development plan associated with this request does not comply with the height requirements of Title 19, and because the density allowed by the proposed H (High Density Residential) designation is not compatible with the existing single family residential development to the south of this site, staff is unable to support this General Plan Amendment.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations,
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts,
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

In regard to "1":

The proposed H (High Density Residential) allows development such as multi-family plexes, townhouses, high-density apartments and high rise at densities exceeding 25.5 units per acres. This type of density is not compatible with the existing ML (Medium-Low Density Residential) development to the south.

GPA-18818 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

In regard to "2":

If approved, this amendment would allow development within the standards of the R-4 (High Density Residential) District. The R-4 (High Density Residential) District is intended to provide for the development of a variety of multi-family units such as duplexes, townhouses and high density apartments which are not compatible with the existing R-CL (Single Family Compact-Lot) development to the south.

In regard to "3":

There are adequate facilities and infrastructure to accommodate a planned community on this site.

In regard to "4":

This request does not comply with Program B1.4 of the Centennial Hills Sector Plan, which encourages the development of random vacant infill lots in substantially developed, single-family neighborhoods at densities similar to existing development.

This request also does not comply with Policy B3 of the Centennial Hills Sector Plan, which states that the appropriate location of multiple family residential uses in the Northwest area of the city should be in the Centennial Hills Town Center or Village Center areas.

The necessity of the associated height variance (VAR-18820) indicates that this General Plan Amendment is not in compliance with Program B3.1 of the Centennial Hills Sector Plan, which requires multi-family developments to be compatible with adjoining single-family uses through site planning and building design, setback and height requirements, landscape and wall buffers, and other buffers to adjoining uses.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 34

SENATE DISTRICT 4

NOTICES MAILED 655 [Mailed with ZON-18819, VAR-18820, SUP-18821 & SDR-18822]

APPROVALS 0

PROTESTS 0

AR



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **GPA-18818** APN: 138-03-701-021
Name of Property Owner: DOUGLAS E. Simms
Name of Applicant: CHRISTOPHER S. DYKA

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

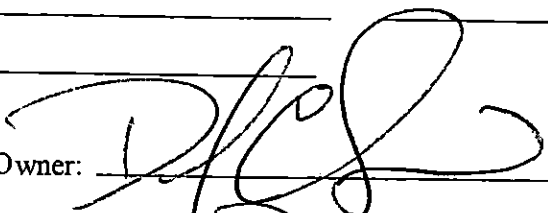
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

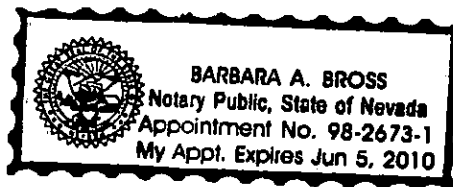
APN: _____

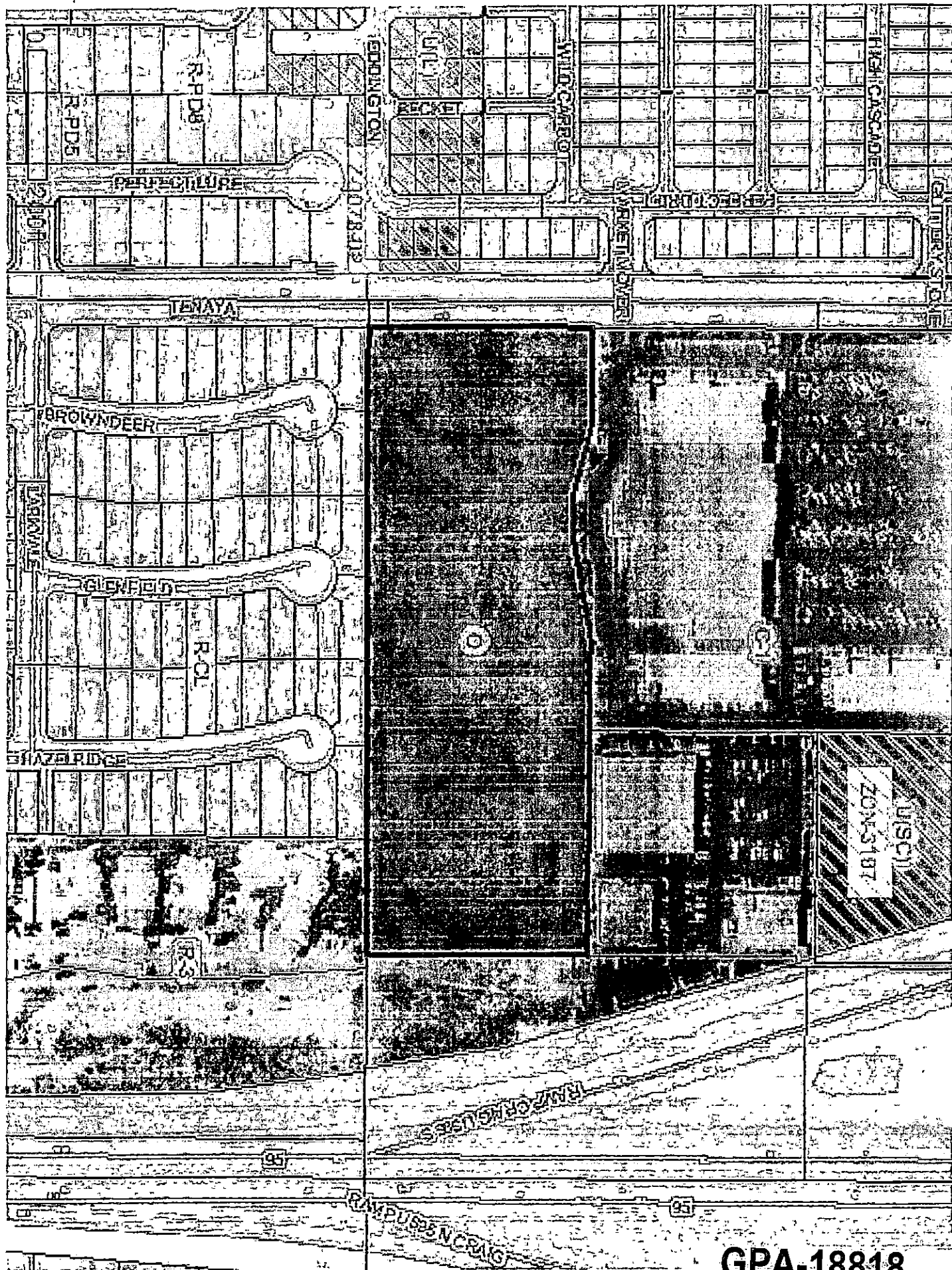
Signature of Property Owner: 

Print Name: DOUGLAS E. SIMMS

Subscribed and sworn before me

This 7th day of November, 2006
Barbara A. Bross
Notary Public in and for said County and State





GPA-18818
01/25/07 PC

December 12, 2006

To: City of Las Vegas Planning and Development Department

**Re: Craig Road & Tenaya Way-Justification Letter
Parcel Number # 138-03-701-021**

Enclosed is the Submittal of the Craig & Tenaya Way Development of (Condominium Units & Office Space.

PROJECT LOCATION:

Craig & Tenaya Way Center ("The Project") is located south of Craig on east side Tenaya next to the I-95 within the City of Las Vegas, in the north-west portion of the Vegas Valley.

PROJECT CONCEPT:

Craig & Tenaya Way Center has been designed as a "mix use" project. The Project will consist of 213 condominiums, along with approximately 29,717 square feet of office space. The office will be located along Tenaya; with the condominium homes located above and behind. The architectural character of the Center is Tuscan Design, and residential in nature. This center is directly adjacent to the C-1 shopping center to the north. The center is a transitional use between the existing commercial shopping and two story single family and two story multi-family residential to the south. The project has been "loaded" to the north and east side of the site to minimize the impact to the single family residential neighbors. The project has been designed to emphasize the pedestrian nature of mixed use projects and allow access to the commercial site, surrounding the proposed development is a "Pedestrian Realm" that circulates around the whole project perimeter and access the neighboring public access points.

**GPA-18818
01/25/07 PC**

-pg 2-

The building height has been stair stepped to minimize the impact to the surrounding development from and buffer the development from the freeway. An intense buffer has been placed along the south property line to allow a modified 2:1 slope.

The rear portion of the site is currently in the FEMA Flood Plane, which prohibits on grade construction. The proposed design elevates the rear of the project to allow the construction of units and open space therefore, from an aerial view of the project complies with a lot coverage and open space requirements.

The proposed Project will feature:

The 213 condominium homes will range in size from 880 square feet to 1,517 square feet at the center drive is a 2 acre Sky Park, inclusive of pools, BBQ area, gazebos, walking paths, landscaping and putting area.

In summary, Tenaya Way Center consists of (i) 415,698 square feet of living space;(ii) approximately 29,717 square feet of office space;(iii) 155,390 square feet of garage space;(iv) a total of 594 parking spaces where 543 spaces are required; and (v) 211,558.57 square feet of open space; (vi) 2 acre Sky Park. The height of Tenaya Way Center will not exceed 71 feet from grade.

Please contact my office with any further questions regarding this project.

Sincerely,



Christopher S. Dyka, R.D.
Project Manager

GPA-18818
01/25/07 PC

Robert L. Chiu
4033 Browndeer Cir
Las Vegas, NV 89129
January 20, 2007

Planning and Development Department
Current Planning Division
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

Re: General Plan Amendment GPA-18818

Applicant: Craig Tenaya, LLC

Dear Mr. Douglas J. Rankin:

I strongly object to the above application for the following reasons;

- This development would have a significant adverse effect on the current community. A new development of this size, being extremely high density is completely out of place in a community made up of single family homes and small condominiums. It will overpower the existing area and in no way in keeping with the locality. There is currently enough low density commercial area to cater to the needs of the residents in the area.

- A large number of condominiums and large commercial area will mean more cars and increased traffic.

- This development will also adversely affect the landscape character and visual amenity. By exceeding more than two times the 35 feet maximum height limit, it will protrude above all the surrounding buildings and block the view of the mountains.

I urge you once again to reject this application.

Sincerely,


Robert Chiu
Home Owner

Submitted after final agenda

Date 1/25/07 Item 39

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ZON-18819 - REZONING RELATED TO GPA-18818 - PUBLIC HEARING - APPLICANT/OWNER: CRAIG TENAYA, LLC - Request for a Rezoning FROM: O (OFFICE) TO: R-4 (HIGH DENSITY RESIDENTIAL) on 7.49 acres adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road (APN 138-03-701-021), Ward 4 (Brown).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	4
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions – Motion carried with **EVANS** and **DUNNAM** voting **NO**

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 39 for related discussion.

(7:03 – 7:33)

1-2131

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 40 – ZON-18819

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-18822) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

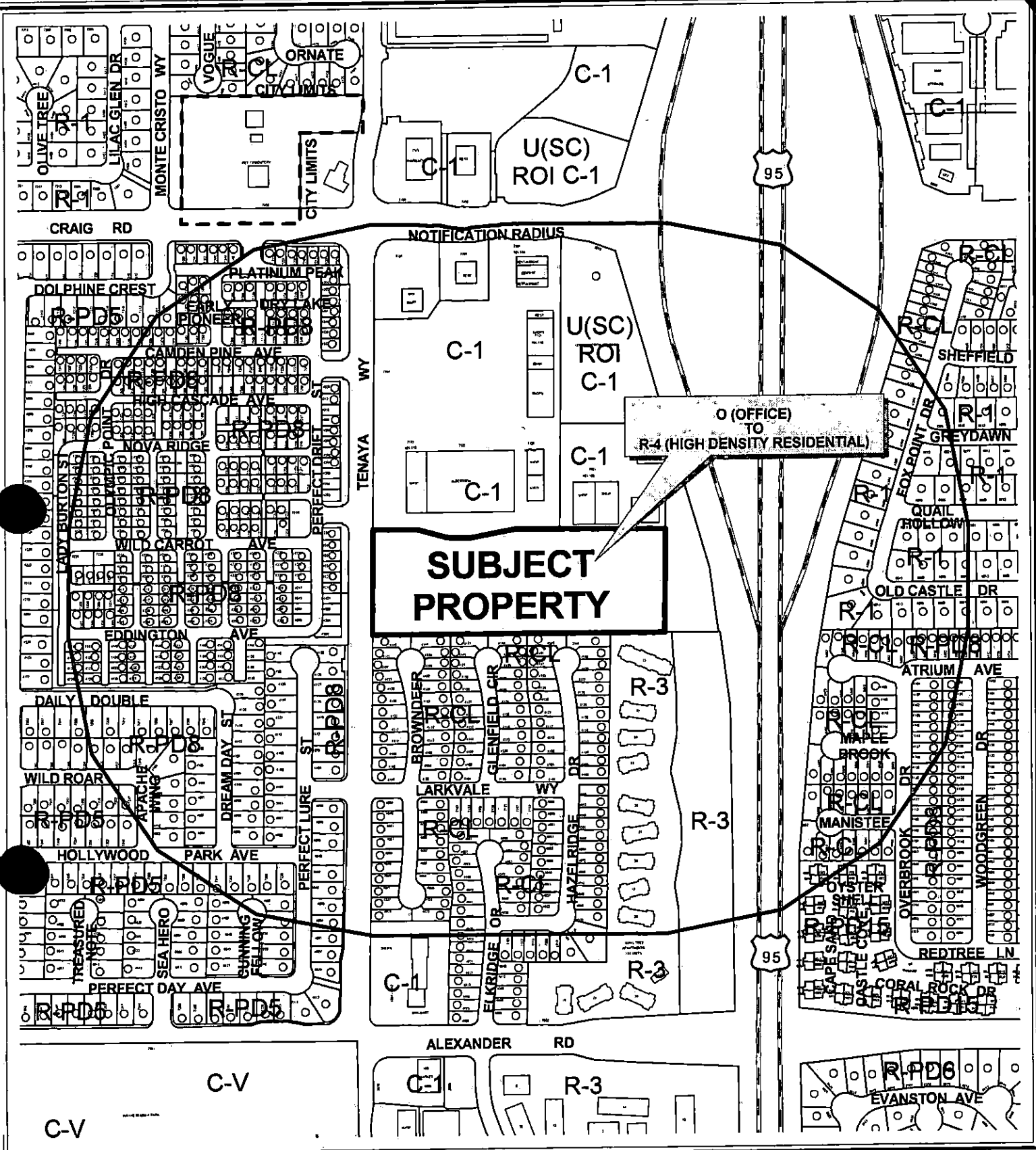
Public Works

3. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
4. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
5. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 40 – ZON-18819

CONDITIONS – Continued:

concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer. We note that this site is within a FEMA “AE” Flood Zone.



CASE: **ZON-18819**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-4 (HIGH DENSITY RESIDENTIAL)

0 300 600 900 Feet





CASE: ZON-18819

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-4 (HIGH DENSITY RESIDENTIAL)

0 300 600 900 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ZON-18819 - APPLICANT/OWNER: CRAIG TENAYA, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION:** **DENIAL.** If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-18822) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
4. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

AR

ZON-18819 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

5. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer. We note that this site is within a FEMA "AE" Flood Zone.

ZON-18819 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Rezoning from O (Office) to R-4 (High Density Residential) on 7.49 acres adjacent to the east side of Tenaya Way approximately 970 feet south of Craig Road.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
09/05/90	The City Council denied a request for a reclassification of property (Z-0080-90) from N-U (Non-Urban) to C-1 (Limited Commercial) that included a shopping center, convenience store with gasoline sales, a four to six story office building, three off-premise billboard signs, an automobile service facility, restaurant with a beer/wine/cooler on-sale use, and retail stores with beer/wine/cooler off-sale uses. The Planning Commission recommended denial. Staff recommended approval.
11/06/96	The applicant withdrew without prejudice a request for a reclassification of property (Z-0094-96) from N-U (Non-Urban) to C-2 (General Commercial) for a 105,744 square-foot retail warehouse. The Planning Commission and staff recommended approval.
01/08/98	The applicant withdrew without prejudice a request for a Rezoning (Z-0081-97) from U (Undeveloped) [SC (Service Commercial) land use designation] to C-1 (Limited Commercial) for a 130,858 square-foot retail store. Staff recommended that the item be held in abeyance.
01/19/00	The City Council approved a Rezoning (Z-0071-99) of this site to O (Office), as part of a larger overall request which included the rezoning of the property to the north to C-1 (Limited Commercial). Staff recommended approval, and the Planning Commission believed the request to be premature and recommended denial.
01/25/07	Companion items for a General Plan Amendment (GPA-18818), Variance (VAR-18820), a Site Development Plan Review (SDR-18822) and a Special Use Permit (SUP-18821) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this application.	
<i>Pre-Application Meeting</i>	
12/14/06	A pre-application meeting was held. The requirements of a Rezoning were explained.

ZON-18819 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/03/07	A neighborhood meeting was held at Timbers Bar & Grill, 7081 West Craig Road at 6:15 P.M. Six members of the public attended and had the following concerns and comments: Five story condos too dense for area Concerns about impact to schools Support for two story office or commercial at site Concerns about fire Concerns about size and scope of project so close to single family homes Concerns that the applicant did not properly notify the neighborhood meeting.

Details of Application Request	
Site Area	
Net Acres	7.49

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	O (Office)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Singe-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
	Multi-Family Residential	M (Medium Density Residential)	R-3 (Medium Density Residential)
East	Undeveloped	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	ML (Medium-Low Density Residential)	R-PD8 (Residential Planned Development – 8 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

ZON-18819 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
O (Office)	N/A	N/A
<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
R-4 (High Density Residential)	26-50 Units Per Acre	374 Units
<i>General Plan</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
H (High Density Residential)	> 25.49 Units Per Acre	374 Units (Unlimited with an R-5 District)

ANALYSIS

The proposed density of development of 28.5 dwelling units per acre is not compatible with adjacent properties to the south, which are developed at a density of 7.26 dwelling units per acre. Additionally, the proposed buildings do not comply with the height requirements of the R-4 (High Density Residential) zoning district, and therefore staff finds that the development plan and associated development standards prepared by the applicant are not appropriate for this location.

The site is currently zone O (Office). This zoning district is designed to provide for the development of office uses, supporting service uses and low intensity commercial uses performing administrative, professional and personal services. These may be small office buildings developed in a cluster with an internal traffic circulation system or one larger office building. This district may be used as a buffer between residential and more intense retail/commercial uses. The O District is consistent with the Office category of the General Plan. The following development standards apply to the O zoning district:

STANDARD	
Min. Lot Width (ft.)	100
Min. Front Yard Setback (ft.)	25
Min. Side Yard Setback (ft.)	10
Min. Rear Yard Setback (ft.)	15
Max. Lot Coverage	30%
Max. Building Height	Lesser of 2 stories or 35 feet

ZON-18819 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

This request does not comply with Program B1.4 of the Centennial Hills Sector Plan, which encourages the development of random vacant infill lots in substantially developed, single-family neighborhoods at densities similar to existing development.

This request also does not comply with Policy B3 of the Centennial Hills Sector Plan, which states that the appropriate location of multiple family residential uses in the Northwest area of the city should be in the Centennial Hills Town Center or Village Center areas.

The necessity of the associated height variance (VAR-18820) indicates that this rezoning is not in compliance with Program B3.1 of the Centennial Hills Sector Plan, which requires multi-family developments to be compatible with adjoining single-family uses through site planning and building design, setback and height requirements, landscape and wall buffers, and other buffers to adjoining uses.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

If approved, this rezoning would allow development within the standards of the R-4 (High Density Residential) District. The R-4 (High Density Residential) District is intended to provide for the development of a variety of multi-family units such as duplexes, townhouses and high density apartments which are not compatible with the existing R-CL (Single Family Compact-Lot) development to the south.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

The project as designed is more intense than other existing or proposed developments in the area, and requires an associated height variance (VAR-18820) which would allow a 72-foot high building where 35 feet is the maximum height allowed. As such, the project is not appropriate to its context.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

ZON-18819 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

Adequate access to this site will be provided from Tenaya Way, a Secondary Street as designated by the Master Plan of Streets and Highways.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 34

SENATE DISTRICT 4

NOTICES MAILED 655 [Mailed with GPA-18818, VAR-18820, SUP-18821 & SDR-18822]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-18819** APN: 138-03-701-021
Name of Property Owner: DOUGLAS E. SIMMS
Name of Applicant: CHRISTOPHER S. DYKA

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

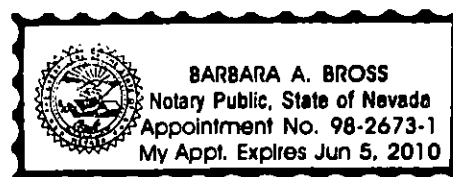
Partner(s): _____

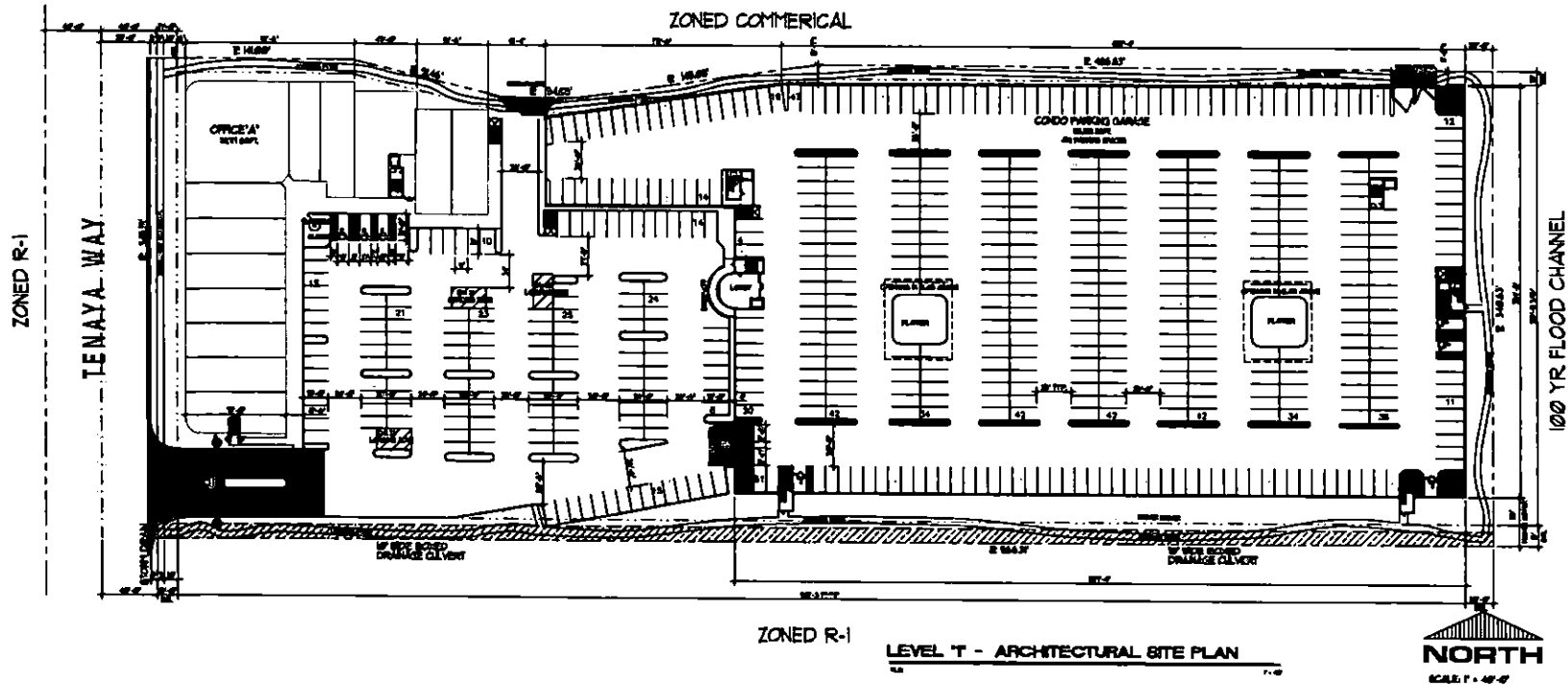
APN: _____

Signature of Property Owner: [Signature]
Print Name: DOUGLAS E. SIMMS

Subscribed and sworn before me

This 7th day of November, 2006
Barbara A. Bross
Notary Public in and for said County and State





SITE DATA
APN: 138-03-701-021

NET AREA	336,204 SQ. FT.	1.45 ACRES
NET	336,204 SQ. FT.	1.45 ACRES
BUILD FOOTPRINT	155,000 SQ. FT.	66.3%
OPEN SPACE (LEVEL U)	181,204 SQ. FT.	
NET FLOOR	66,880 SQ. FT.	
TOTAL OPEN SPACE	708,084 SQ. FT.	4.80 ACRES 64.8%
70 UNITS / 1.45 AC. = 38.3 UNITS PER ACRE		

COMMERCIAL AREA

OFFICE	24,771 SQ. FT.
PARKING GARAGE	88,328 SQ. FT.
SUBTOTAL	113,100 SQ. FT.

CONDOMINIUM UNITS

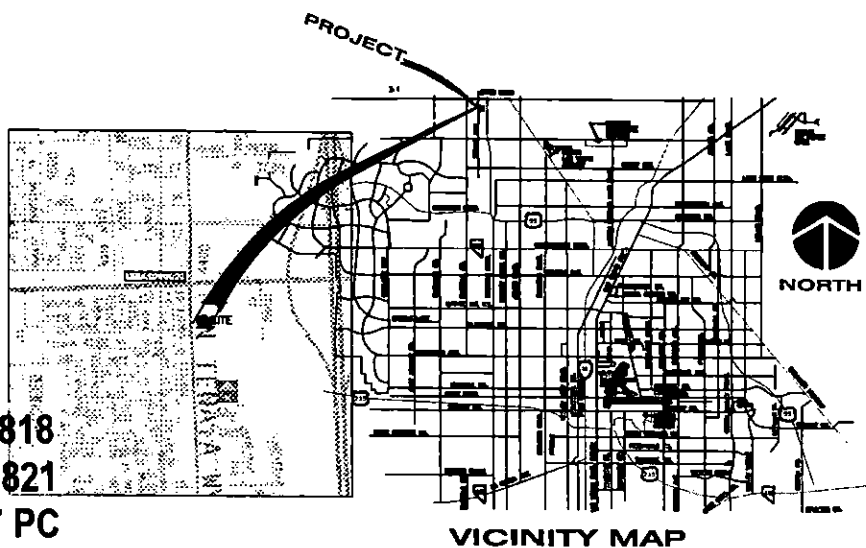
	UNIT 1A 1 BEDROOM 288 SQ. FT.	UNIT 1B 1 BEDROOM 134 SQ. FT.	UNIT 1C 3 BEDROOM 181 SQ. FT.
1st FLR	1 - 6,348 SF	40 - 53,760 SF	8 - 71,356 SF
2nd FLR	0 - 4,400 SF	36 - 46,304 SF	1 - 16,841 SF
3rd FLR	4 - 3,388 SF	36 - 46,304 SF	10 - 8,710 SF
4th FLR	4 - 3,388 SF	34 - 44,044 SF	10 - 8,710 SF
GRAND TOTALS	20 - 24,124 SF	146 - 190,312 SF	29 - 143,617 SF
TOTAL UNITS	20 UNITS	186 UNITS	47 UNITS
COMMON AREA	4 FLOORS - 10,841 SQ. FT.		
GRAND TOTAL CONDOS	246,154 SQ. FT.		
TOTAL OFFICE	24,771 SQ. FT.		
TOTAL GARAGE	88,328 SQ. FT.		
GRAND TOTAL PROJECT	369,253 SQ. FT.		

PARKING REQUIREMENTS

OFFICE REQD.	33 SPACES PER 1000 = 10 SPACES
RESIDENTIAL REQD.	1 BEDROOM UNIT = 1.50 PER UNIT = 34 - 40 SPACES 2 BEDROOM UNIT = 1.75 PER UNIT = 51 - 246 SPACES 3 BEDROOM UNIT = 2.25 PER UNIT = 106 - 106 SPACES
VISITOR REQD.	1 SPACE PER 6 UNITS = 20 UNITS / 6 = 34 SPACES
TOTAL REQD.	143 SPACES

PARKING PROVIDED

PARKING GARAGE	405 SPACES
SURFACE PARKING	50 SPACES
TOTAL PROVIDED	455 SPACES



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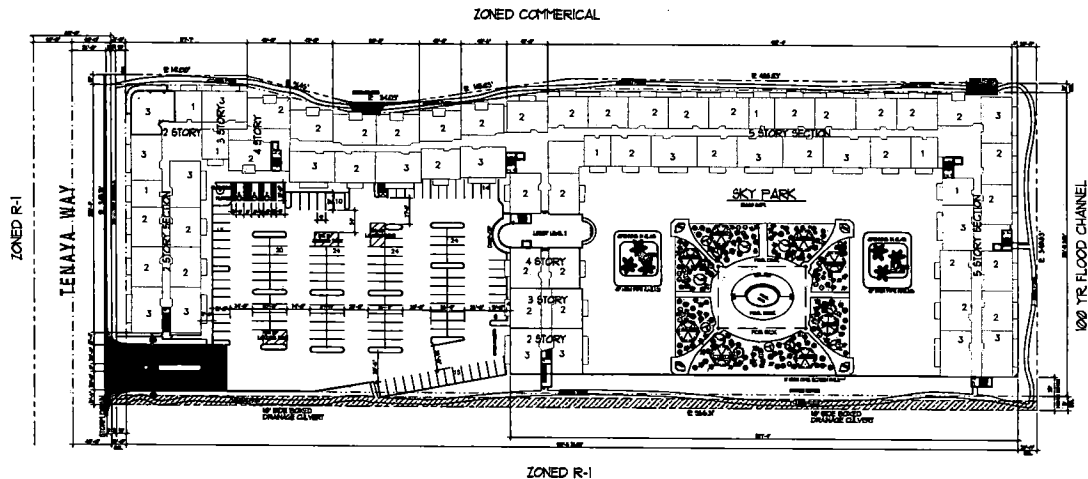
ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC
REVISED

GREENE TINDALL
100 EAST MAIN ST., SUITE 200
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112
WWW.GREENTINDALL.COM

PROPOSED FIRST LEVEL ARCHITECTURAL SITE PLAN

TENAYA WAY CENTRE FOR DEBENT CAPITAL GROUP
TENAYA WAY BY CRAIG ROAD
CLARK COUNTY, CO

AS



LEVEL "2" - ARCHITECTURAL SITE PLAN

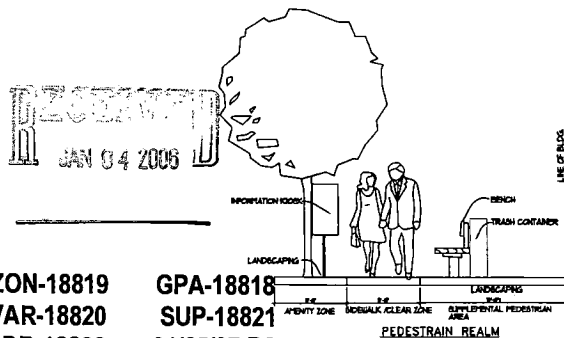


ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISED

RECEIVED
JAN 04 2006

GREENE TINDALL 1000 WEST TENAYA WAY, SUITE 100 TENOYA, NEVADA 89449 TEL: 702.735.1100 FAX: 702.735.1101 WWW.GREENTINDALL.COM	
PROPOSED SECOND LEVEL ARCHITECTURAL SITE PLAN	
TENAYA WAY CENTER FOR DESERT CAPITAL GROUP TENOYA, NEVADA 89449 CAPITAL GROUP	
AS	



ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISÉD

[illegible]

GREENE TINDALL

**PROPOSED
LANDSCAPE
SITE PLAN**

TEMAYA WAY CENTRE
137 DEWENT CAPITAL GROUP

[illegible]

December 12, 2006

To: City of Las Vegas Planning and Development Department

Re: Craig Road & Tenaya Way-Justification Letter
Parcel Number # 138-03-701-021

Enclosed is the Submittal of the Craig & Tenaya Way Development of (Condominium Units & Office Space.

PROJECT LOCATION:

Craig & Tenaya Way Center ("The Project") is located south of Craig on east side Tenaya next to the I-95 within the City of Las Vegas, in the north-west portion of the Vegas Valley.

PROJECT CONCEPT:

Craig & Tenaya Way Center has been designed as a "mix use" project. The Project will consist of 213 condominiums, along with approximately 29,717 square feet of office space. The office will be located along Tenaya; with the condominium homes located above and behind. The architectural character of the Center is Tuscan Design, and residential in nature. This center is directly adjacent to the C-1 shopping center to the north. The center is a transitional use between the existing commercial shopping and two story single family and two story multi-family residential to the south. The project has been "loaded" to the north and east side of the site to minimize the impact to the single family residential neighbors. The project has been designed to emphasize the pedestrian nature of mixed use projects and allow access to the commercial site, surrounding the proposed development is a "Pedestrian Realm" that circulates around the whole project perimeter and access the neighboring public access points.

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DEC 18 2006

ZON-18819
01/25/07 PC

-pg 2-

The building height has been stair stepped to minimize the impact to the surrounding development from and buffer the development from the freeway. An intense buffer has been placed along the south property line to allow a modified 2:1 slope.

The rear portion of the site is currently in the FEMA Flood Plane, which prohibits on grade construction. The proposed design elevates the rear of the project to allow the construction of units and open space therefore, from an aerial view of the project complies with a lot coverage and open space requirements.

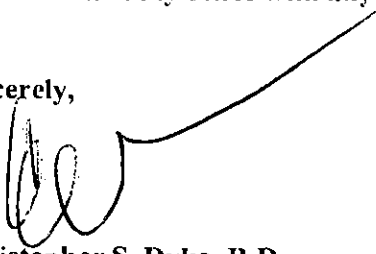
The proposed Project will feature:

The 213 condominium homes will range in size from 880 square feet to 1,517 square feet at the center drive is a 2 acre Sky Park, inclusive of pools, BBQ area, gazebos, walking paths, landscaping and putting area.

In summary, Tenaya Way Center consists of (i) 415,698 square feet of living space;(ii) approximately 29,717 square feet of office space;(iii) 155,390 square feet of garage space;(iv) a total of 594 parking spaces where 543 spaces are required; and (v) 211,558.57 square feet of open space; (vi) 2 acre Sky Park. The height of Tenaya Way Center will not exceed 71 feet from grade.

Please contact my office with any further questions regarding this project.

Sincerely,



Christopher S. Dyka, R.D.
Project Manager

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DEC 18 2006

ZON-18819
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-18820 - VARIANCE RELATED TO GPA-18818 AND ZON-18819 - PUBLIC HEARING - APPLICANT/OWNER: CRAIG TENAYA, LLC - Request for a Variance TO ALLOW A 72-FOOT HIGH BUILDING WHERE 35 FEET IS THE MAXIMUM HEIGHT ALLOWED on 7.49 acres adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road (APN 138-03-701-021), O (Office) Zone [PROPOSED: R-4 (High Density Residential) Zone], Ward 4 (Brown).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

4

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions – Motion carried with **EVANS** and **DUNNAM** voting **NO**

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 39 for related discussion.

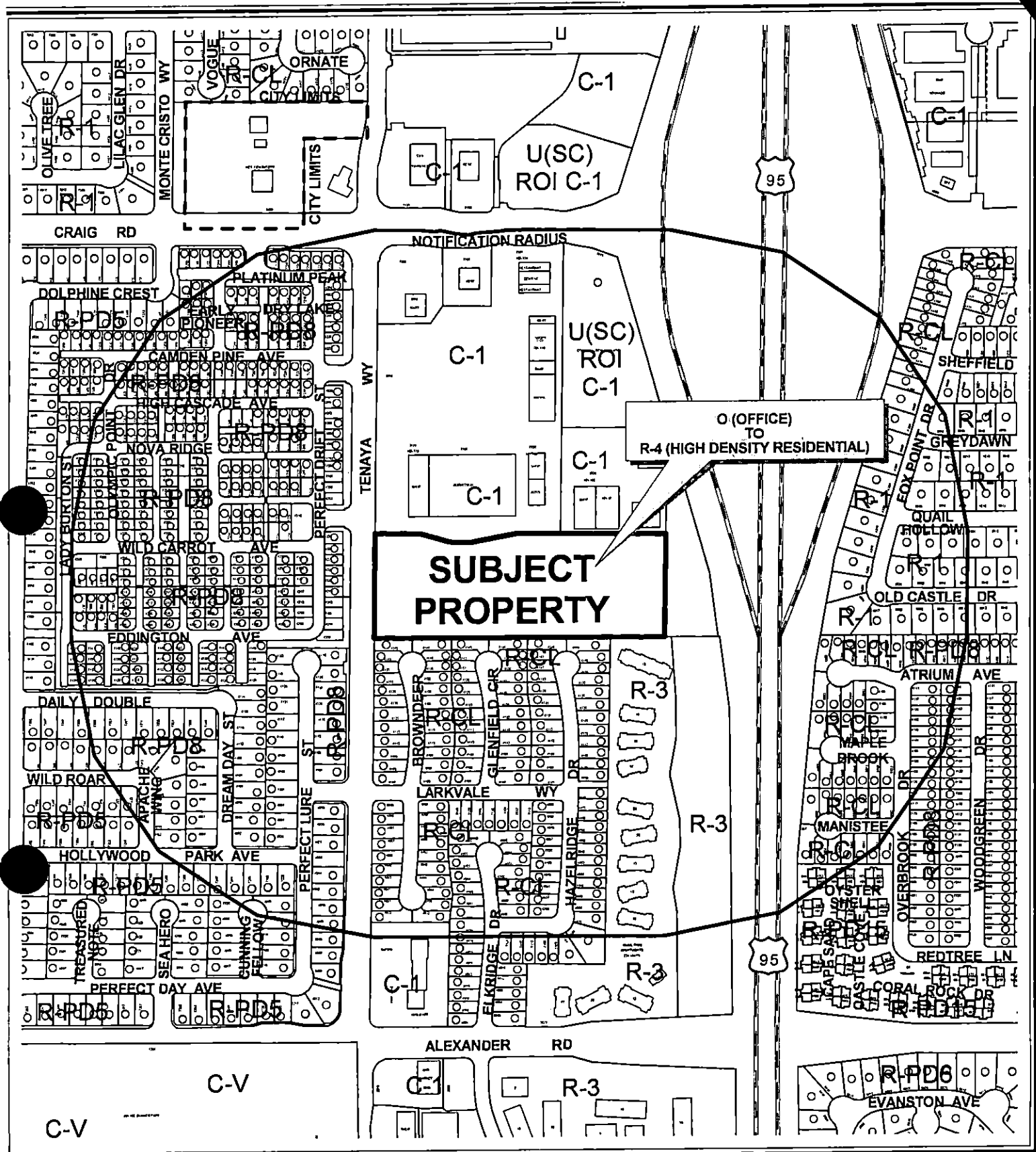
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PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 41 – VAR-18820

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819), Special Use Permit (SUP-18821) and Site Development Plan Review (SDR-18822) shall be required if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



CASE: **VAR-18820**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

O (OFFICE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-4 (HIGH DENSITY RESIDENTIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-18820 - APPLICANT/OWNER: CRAIG TENAYA, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819), Special Use Permit (SUP-18821) and Site Development Plan Review (SDR-18822) shall be required if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-18820 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Variance to allow a 72-foot high building where 35 feet is the maximum height allowed on 7.49 acres adjacent to the east side of Tenaya Way approximately 970 feet south of Craig Road.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
09/05/90	The City Council denied a request for a reclassification of property (Z-0080-90) from N-U (Non-Urban) to C-1 (Limited Commercial) that included a shopping center, convenience store with gasoline sales, a four to six story office building, three off-premise billboard signs, an automobile service facility, restaurant with a beer/wine/cooler on-sale use, and retail stores with beer/wine/cooler off-sale uses. The Planning Commission recommended denial. Staff recommended approval.
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01/19/00	The City Council approved a Rezoning (Z-0071-99) of this site to O (Office), as part of a larger overall request which included the rezoning of the property to the north to C-1 (Limited Commercial). Staff recommended approval, and the Planning Commission believed the request to be premature and recommended denial.
01/25/07	Companion items for a General Plan Amendment (GPA-18818), Rezoning (ZON-18819), Site Development Plan Review (SDR-18822), and a Special Use Permit (SUP-18821) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this application.	
<i>Pre-Application Meeting</i>	
12/14/06	A pre-application meeting was held and the requirements of a variance were explained.

VAR-18820 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/03/07	A neighborhood meeting was held at Timbers Bar & Grill, 7081 West Craig Road at 6:15 P.M. Six members of the public attended and had the following concerns and comments:
	Five story condos too dense for area Concerns about impact to schools Support for two story office or commercial at site Concerns about fire Concerns about size and scope of project so close to single family homes Concerns that the applicant did not properly notify the neighborhood meeting.

Details of Application Request	
Site Area	
Net Acres	7.49

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	O (Office)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Singe-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
	Multi-Family Residential	M (Medium Density Residential)	R-3 (Medium Density Residential)
East	Undeveloped	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	ML (Medium-Low Density Residential)	R-PD8 (Residential Planned Development – 8 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

VAR-18820 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	6,500 SF	326,054 SF	Y
Min. Setbacks	10 Feet	15 Feet	Y
• Front	5 Feet	15 Feet	Y
• Side	5 Feet	10 Feet	Y
• Rear	20 Feet	26 Feet	Y
Max. Building Height	2 Stories/35 Feet	5 Stories/72 Feet	N
Trash Enclosure	Yes	Yes	Y
Mech. Equipment	Screened	Screened	Y

The height issue will be addressed within the subject Variance.

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	216 Feet	216 Feet	Y
Adjacent development matching setback	10 Feet	216 Feet	Y
Trash Enclosure	50 Feet	220 Feet	Y

ANALYSIS

This site is currently undeveloped and is located within a FEMA "AE" Flood Zone. The FEMA website www.floodsmart.gov defines an "AE" Flood Zone as areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. The applicant proposes to develop a mixed use project consisting of 213 condominium units and 29,717 square feet of office space. The offices and condominiums will be located in buildings with stucco exteriors with concrete tile roofs and decorative copper domes along the roof lines. The building heights vary from two to five stories (with a maximum height of 72 feet). The Zoning Code limits heights in the R-4 (High Density Residential) zoning district to two stories (not exceeding 35 feet in height), which has caused the applicant to file the subject variance.

Because this variance request does not meet the criteria for approval, as the hardship is self-created and the applicant could revise the development to comply with the setback standards, staff's recommendation is for denial of the variance.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

AR

VAR-18820 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship by designing a project that does not comply with the height requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 34

SENATE DISTRICT 4

NOTICES MAILED 655 [Mailed with ZON-18819, GPA-18818, SUP-18821 & SDR-18822]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-18820** APN: 138-03-701-021
Name of Property Owner: Douglas E. Simms
Name of Applicant: Christopher S. Dyka

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

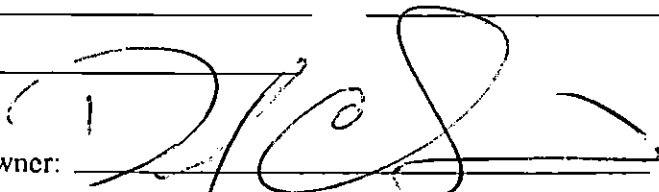
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

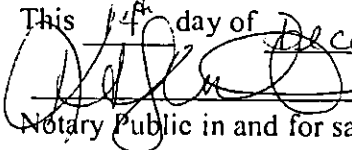
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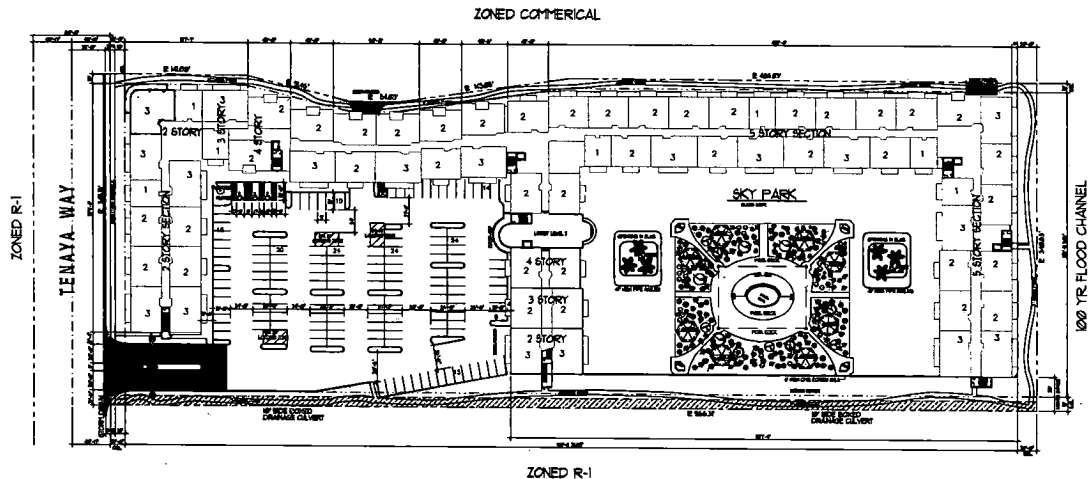
Signature of Property Owner: 

Print Name: Douglas E. Simms

Subscribed and sworn before me

This 14th day of December, 2006


Notary Public in and for said County and State



LEVEL "Z" - ARCHITECTURAL SITE PLAN



RECEIVED
JAN 04 2006

ZON-18819 — GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC
REVISED

GREENE TINDALL 100 WEST TENAYA WAY, SUITE 10 DALLAS, TEXAS 75243 PHONE: 214.635.1234 FAX: 214.635.1235 WWW.GREENTINDALL.COM															
PROJECT 100 WEST TENAYA WAY, SUITE 10 DALLAS, TEXAS 75243															
PROPOSED SECOND LEVEL ARCHITECTURAL SITE PLAN															
TENAYA WAY CENTRE BY DORSETT CAPITAL GROUP TENAYA WAY AND CRAIG ROAD DALLAS, TEXAS 75243															
<table border="1"> <tr><td>DATE</td><td>12/10/2006</td></tr> <tr><td>BY</td><td>AS2</td></tr> <tr><td>CHECKED</td><td></td></tr> <tr><td>IN CHARGE</td><td></td></tr> <tr><td>DESIGNED</td><td></td></tr> <tr><td>DRAWN</td><td></td></tr> <tr><td>SCALE</td><td>1/8" = 1'-0"</td></tr> </table>		DATE	12/10/2006	BY	AS2	CHECKED		IN CHARGE		DESIGNED		DRAWN		SCALE	1/8" = 1'-0"
DATE	12/10/2006														
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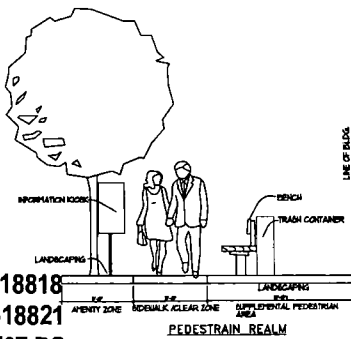
ZONED R-1

LEVEL "2" - ARCHITECTURAL LANDSCAPE PLAN



NORTH
STAR

RECEIVED
JAN 04 2006



GPA-18818
SUP-18821
01/25/07 PC

REVISED

TREE and PLANT LEGEND

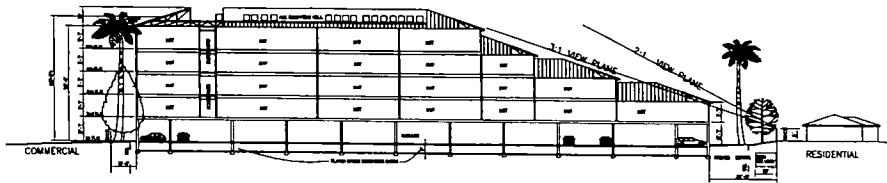
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GREENE TINDALL

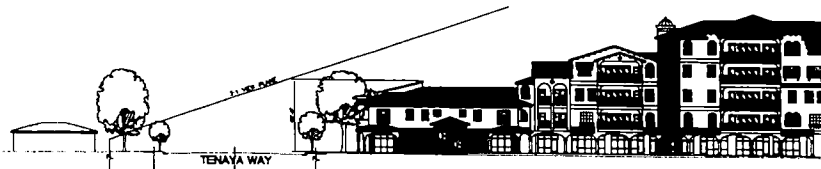
**PROPOSED
LANDSCAPE
SITE PLAN**

STENAYA WAY CENTRE

for DIRECT CAPITAL GROUP



SECTION THRU BUILDING (LOOKING NORTH)



ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISED

VIEW PLANE ACROSS BUILDINGS
VIEW OVER TENAYA WAY

RECEIVED
JAN 04 2006

GREENE TINDALL ARCHITECTS 1000 N. GAVIN AVENUE, SUITE 100 IRVINE, CALIFORNIA 92614 TEL: 949.261.1111 FAX: 949.261.1112 WWW.GREENTINDALL.COM	ARCHITECTURAL SECTION & VIEW PLAN	TENAYA WAY CENTRE FOR DESERT CAPITAL GROUP DESIGN, CONSTRUCTION AND CHAIR PERSON 1000 N. GAVIN AVENUE, SUITE 100 IRVINE, CALIFORNIA 92614	DATE: 01/25/07 BY: [Signature] FOR: [Signature] APP: [Signature] AS: [Signature]
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1 ENLARGED EAST (FRONT) EXTERIOR ELEVATION
VIEW FROM TENAYA WAY



2 SOUTH EXTERIOR ELEVATION



5 WEST EXTERIOR ELEVATION



4 SOUTH COURT (FRONT) EXTERIOR ELEVATION



NORTH COURT (FRONT) EXTERIOR ELEVATION



6 NORTH EXTERIOR ELEVATION

RECEIVED
JAN 04 2006

ZON-18819

VAR-18820

SDR-18822

GPA-18818

SUP-18824

01/25/07 PC

REVISED

GREENE TINDALL

300 EAST SUMMIT BLVD, SUITE 100
LAS VEGAS, NEVADA 89101
PHONE: 702.734.1100
FAX: 702.734.1101
WWW.GREENTINDALL.COM

EXTERIOR ELEVATIONS

TENAYA WAY CENTRE

for DESERT CAPITAL GROUP

TENAYA WAY and CHAND ROAD
CLARK COUNTY

TENAYA WAY CENTRE

BY
DESERT CAPITAL GROUP



VIEW FROM TENAYA WAY

RECEIVED SDR-18822
DEC 18 2006 01/25/07 PC

2.
GREENE
TINDALL

DESIGN

December 12, 2006

To: City of Las Vegas Planning and Development Department

Re: Craig Road & Tenaya Way-Justification Letter
Parcel Number # 138-03-701-021

Enclosed is the Submittal of the Craig & Tenaya Way Development of (Condominium Units & Office Space.

PROJECT LOCATION:

Craig & Tenaya Way Center ("The Project") is located south of Craig on east side Tenaya next to the I-95 within the City of Las Vegas, in the north-west portion of the Vegas Valley.

PROJECT CONCEPT:

Craig & Tenaya Way Center has been designed as a "mix use" project. The Project will consist of 213 condominiums, along with approximately 29,717 square feet of office space. The office will be located along Tenaya; with the condominium homes located above and behind. The architectural character of the Center is Tuscan Design, and residential in nature. This center is directly adjacent to the C-1 shopping center to the north. The center is a transitional use between the existing commercial shopping and two story single family and two story multi-family residential to the south. The project has been "loaded" to the north and east side of the site to minimize the impact to the single family residential neighbors. The project has been designed to emphasize the pedestrian nature of mixed use projects and allow access to the commercial site, surrounding the proposed development is a "Pedestrian Realm" that circulates around the whole project perimeter and access the neighboring public access points.

RECEIVED
DEC 18 2006

VAR-18820
01/25/07 PC

-pg 2-

The building height has been stair stepped to minimize the impact to the surrounding development from and buffer the development from the freeway. An intense buffer has been placed along the south property line to allow a modified 2:1 slope.

The rear portion of the site is currently in the FEMA Flood Plane, which prohibits on grade construction. The proposed design elevates the rear of the project to allow the construction of units and open space therefore, from an aerial view of the project complies with a lot coverage and open space requirements.

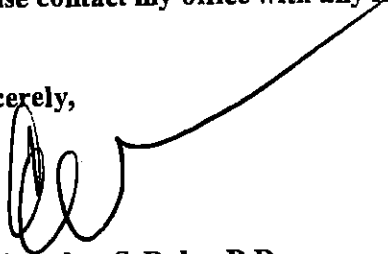
The proposed Project will feature:

The 213 condominium homes will range in size from 880 square feet to 1,517 square feet at the center drive is a 2 acre Sky Park, inclusive of pools, BBQ area, gazebos, walking paths, landscaping and putting area.

In summary, Tenaya Way Center consists of (i) 415,698 square feet of living space;(ii) approximately 29,717 square feet of office space;(iii) 155,390 square feet of garage space;(iv) a total of 594 parking spaces where 543 spaces are required; and (v) 211,558.57 square feet of open space; (vi) 2 acre Sky Park. The height of Tenaya Way Center will not exceed 71 feet from grade.

Please contact my office with any further questions regarding this project.

Sincerely,


Christopher S. Dyka, R.D.
Project Manager

RECEIVED
DEC 18 2008

VAR-18820
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-18821 - SPECIAL USE PERMIT RELATED TO GPA-18818, ZON-18819, AND VAR-18820 - PUBLIC HEARING - APPLICANT/OWNER: CRAIG TENAYA, LLC -
Request for a Special Use Permit FOR A PROPOSED MIXED-USE DEVELOPMENT adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road (APN 138-03-701-021), O (Office) Zone [PROPOSED: R-4 (High Density Residential) Zone], Ward 4 (Brown).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	4
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions – Motion carried with EVANS and DUNNAM voting NO

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 39 for related discussion.

(7:03 – 7:33)

1-2131

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 42 – SUP-18821

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819) and Site Development Plan Review (SDR-18822) shall be required if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-18821 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Special Use Permit to allow a proposed mixed-use development adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
09/05/90	The City Council denied a request for a reclassification of property (Z-0080-90) from N-U (Non-Urban) to C-1 (Limited Commercial) that included a shopping center, convenience store with gasoline sales, a four to six story office building, three off-premise billboard signs, an automobile service facility, restaurant with a beer/wine/cooler on-sale use, and retail stores with beer/wine/cooler off-sale uses. The Planning Commission recommended denial. Staff recommended approval.
11/06/96	The applicant withdrew without prejudice a request for a reclassification of property (Z-0094-96) from N-U (Non-Urban) to C-2 (General Commercial) for a 105,744 square-foot retail warehouse. The Planning Commission and staff recommended approval.
01/08/98	The applicant withdrew without prejudice a request for a Rezoning (Z-0081-97) from U (Undeveloped) [SC (Service Commercial) land use designation] to C-1 (Limited Commercial) for a 130,858 square-foot retail store. Staff recommended that the item be held in abeyance.
01/19/00	The City Council approved a Rezoning (Z-0071-99) of this site to O (Office), as part of a larger overall request which included the rezoning of the property to the north to C-1 (Limited Commercial). Staff recommended approval, and the Planning Commission believed the request to be premature and recommended denial.
01/25/07	Companion items for a General Plan Amendment (GPA-18818), Rezoning (ZON-18819), Variance (VAR-18820), and a Site Development Plan Review (SDR-18822) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this application.	
<i>Pre-Application Meeting</i>	
12/14/06	A pre-application meeting was held and the requirements for a Special Use Permit were explained.

SUP-18821 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/03/07	A neighborhood meeting was held at Timbers Bar & Grill, 7081 West Craig Road at 6:15 P.M. Six members of the public attended and had the following concerns and comments: Five story condos too dense for area Concerns about impact to schools Support for two story office or commercial at site Concerns about fire Concerns about size and scope of project so close to single family homes Concerns that the applicant did not properly notify the neighborhood meeting.

Details of Application Request	
Site Area	
Net Acres	7.49

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	O (Office)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
	Multi-Family Residential	M (Medium Density Residential)	R-3 (Medium Density Residential)
East	Undeveloped	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	ML (Medium-Low Density Residential)	R-PD8 (Residential Planned Development – 8 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

SUP-18821 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	6,500 SF	326,054 SF	Y
Min. Setbacks	10 Feet	15 Feet	Y
• Front	5 Feet	15 Feet	Y
• Side	5 Feet	10 Feet	Y
• Rear	20 Feet	26 Feet	Y
Max. Building Height	2 Stories/35 Feet	5 Stories/72 Feet	N
Trash Enclosure	Yes	Yes	Y
Mech. Equipment	Screened	Screened	Y

The height issue will be addressed within the related Variance (VAR-18820).

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	216 Feet	216 Feet	Y
Adjacent development matching setback	10 Feet	216 Feet	Y
Trash Enclosure	50 Feet	220 Feet	Y

Existing Zoning	Permitted Density	Units Allowed
O (Office)	N/A	N/A
Proposed Zoning	Permitted Density	Units Allowed
R-4 (High Density Residential)	26-50 Units Per Acre	374 Units
General Plan	Permitted Density	Units Allowed
H (High Density Residential)	> 25.49 Units Per Acre	374 Units (Unlimited with an R-5 District)

Per Title 19.12:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	28 Trees	36 Trees	Y
Buffer:				
Min. Trees	1 Tree/20 Linear Feet	122 Trees	114 Trees	N
Min. Zone Width	15 Feet (R.O.W.) 6 Feet (Interior)		15 Feet (R.O.W.) 6 Feet (Interior)	Y

Staff notes that eight additional 24 inch box trees could be added to the buffer zone along the north property line and has addressed this issue within the related Site Development Plan Review (SDR-18822).

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-18821 - APPLICANT/OWNER: CRAIG TENAYA, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819) and Site Development Plan Review (SDR-18822) shall be required if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-18821 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Pursuant to Title 19.10, the following parking information applies:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	29,717 SF	1:300 SF	99				
One-Bedroom	24 Units	1.25/Unit	30				
Two-Bedroom	148 Units	1.75/Unit	259				
Three-Bedroom	41 Units	2/Unit	82				
Guest Spaces	213 Units	1 Space/6 Units	36				
TOTAL			506	11	594	7	N
Loading Spaces			2		3		

The site plan is deficient four handicap parking spaces. Staff has addressed this issue this issue within the related Site Development Plan Review (SDR-18822).

ANALYSIS

This site is currently undeveloped and is located within a FEMA "AE" Flood Zone. The FEMA website www.floodsmart.gov defines an "AE" Flood Zone as areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. The applicant proposes to develop a mixed use project consisting of 213 condominium units and 29,717 square feet of office space. The offices and condominiums will be located in buildings that range in height from two to five stories, with the higher parts of the buildings (72 feet in height) located in the north and east portions of the site in order to comply with the residential adjacency standards. The site is located in a portion of the A-O (Airport Overlay) District where building height is limited to 175 feet. The proposed buildings comply with this limitation.

Parking is provided on a surface lot in the west portion of the site and on the lower level of a two level structure in the east portion of the site. City standards require 11 handicap parking spaces for a development of this size. Because the site plan depicts only seven handicap parking spaces, staff has included a condition of approval (number 4) which requires the provision of four additional handicap spaces. A common area which includes gazebos, potted plants and a pool will be located on the second level of the structure.

SUP-18821 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

Access to the site will be provided by a driveway to Tenaya Way and two driveways to the existing commercial center immediately to the north. The applicant proposes to place landscape buffers with sufficient width to comply with city standards along all property lines. The buffers along the south, east and west property lines contain 24 inch box trees in quantities that comply with city standards. The amount of trees within the north buffer is not sufficient, and staff has included a condition of approval (number 5) which requires eight additional 24 inch box trees to be placed in the buffer zone along the north property line.

The elevations depict stucco exteriors with concrete tile roofs and decorative copper domes along the roof lines. The building heights vary from two to five stories (with a maximum height of 72 feet). The Zoning Code limits heights in the R-4 (High Density Residential) zoning district to two stories (not exceeding 35 feet in height). The applicant has requested a Variance (VAR-18820) from this standard which will be considered currently with this application. Because this variance request does not meet the criteria for approval, as the hardship is self-created and the applicant could revise the development to comply with the setback standards, staff's recommendation is for denial of the variance.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed development will exceed the scale and massing of any existing development in this area. Staff finds the height and intensity of the project is greater than adjacent development and is not compatible with residential development immediately to the south of this site.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The project as designed is more intense than other existing or proposed developments in the area, and requires an associated height variance (VAR-18820) which would allow a 72-foot high building where 35 feet is the maximum height allowed. As such, the project is not appropriate to its context, and staff recommends denial.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

SUP-18821 - Staff Report Page Six
January 25, 2007 - Planning Commission Meeting

Adequate access to this site will be provided from Tenaya Way, a Secondary Street as designated by the Master Plan of Streets and Highways. This project will not adversely impact adjacent streets.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The proposed development will be subject to regular inspections for permitting and licensing and will; therefore, not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 34

SENATE DISTRICT 4

NOTICES MAILED 655 [Mailed with ZON-18819, VAR-18820, GPA-18818 & SDR-18822]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18821** APN: 138-03-701-021
Name of Property Owner: DOUGLAS E. Simms
Name of Applicant: CHRISTOPHER S. DYKA

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

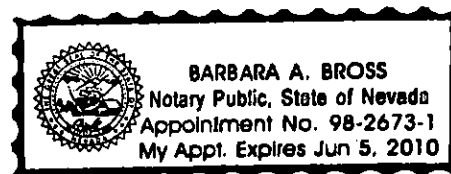
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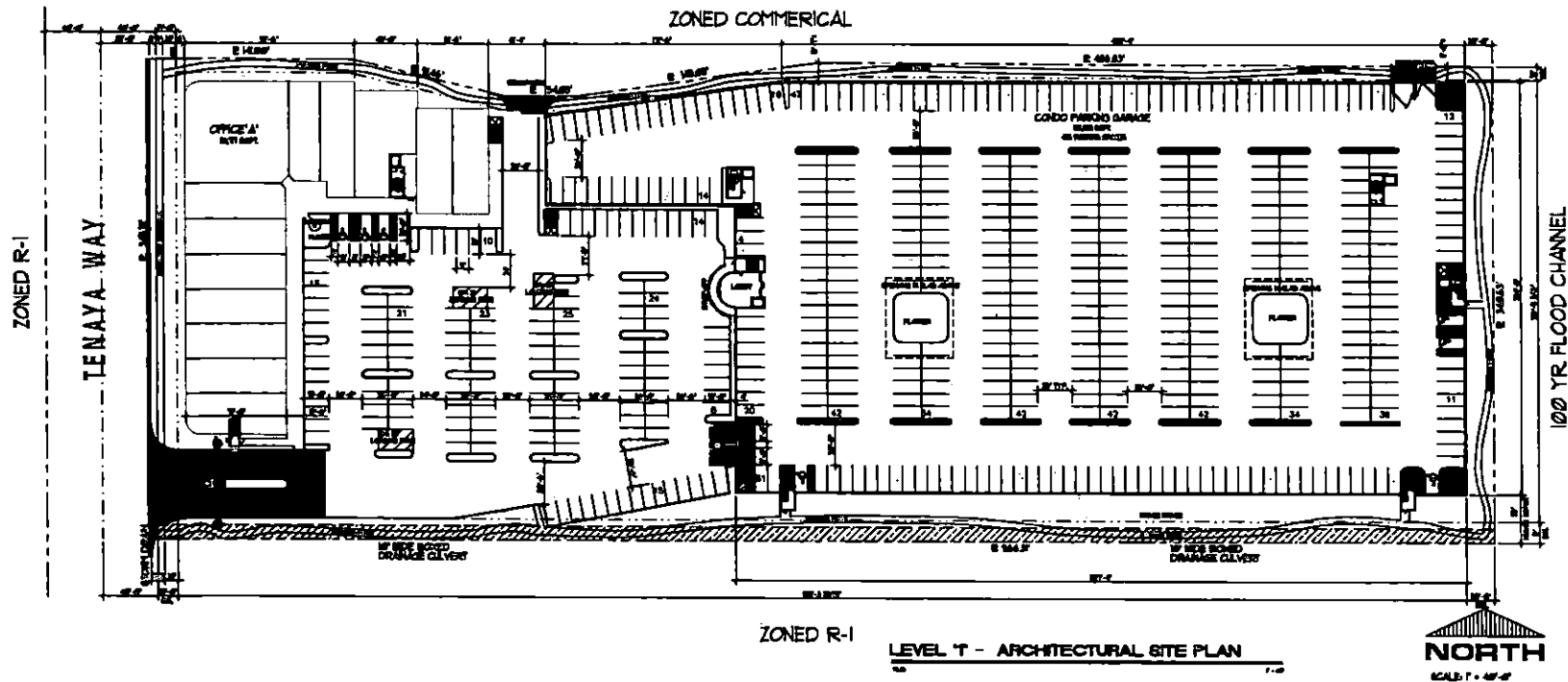
Signature of Property Owner: _____

Print Name: DOUGLAS E. SIMMS

Subscribed and sworn before me

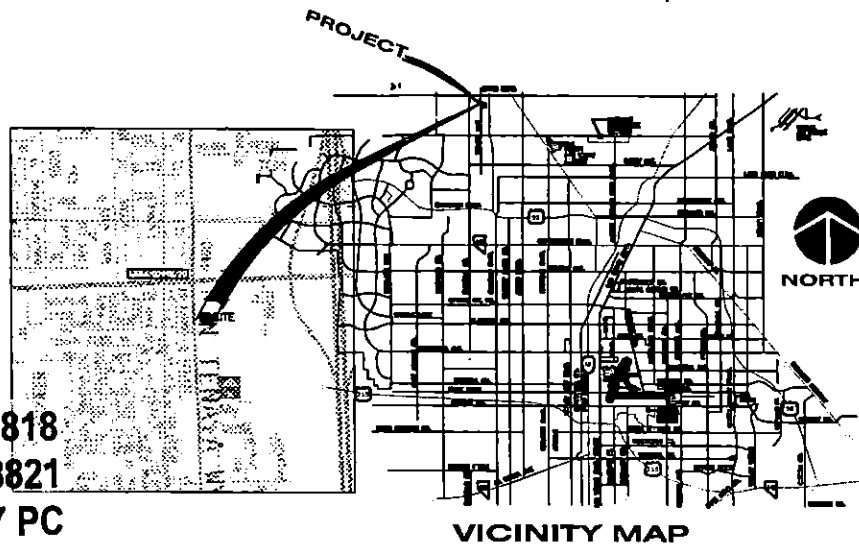
This 7th day of November, 20 06
Barbara A. Bross
Notary Public in and for said County and State





RECEIVED
JAN 04 2006

ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC
REVISED



SITE DATA

APN: 138-03-701-021		
SITE AREA	68,000 SQ. FT.	1.56 ACRES
NET	58,000 SQ. FT.	1.33 ACRES
FLOOR FOOTPRINT	15,000 SQ. FT.	0.34 ACRES
OPEN SPACE (LEVEL 1)	43,000 SQ. FT.	0.99 ACRES
NET PARKING	1,000 SPACES	
TOTAL OPEN SPACE	44,000 SQ. FT.	1.01 ACRES
20 UNITS / 1.0 AC. = 20 UNITS PER ACRE		

COMMERCIAL AREA

OFFICE:	25,000 SQ. FT.
PARKING GARAGE:	80,000 SQ. FT.
SUBTOTAL:	105,000 SQ. FT.

CONDOMINIUM UNITS

	UNIT 1A 1 BEDROOM RES. UNIT	UNIT 1B 2 BEDROOM CONDO UNIT	UNIT 1C 3 BEDROOM CONDO UNIT
1st FLR	40' x 33'00" 1,320 SF	40' x 45'00" 1,800 SF	40' x 55'00" 2,200 SF
2nd FLR	40' x 33'00" 1,320 SF	40' x 45'00" 1,800 SF	40' x 55'00" 2,200 SF
3rd FLR	40' x 33'00" 1,320 SF	40' x 45'00" 1,800 SF	40' x 55'00" 2,200 SF
4th FLR	40' x 33'00" 1,320 SF	40' x 45'00" 1,800 SF	40' x 55'00" 2,200 SF
5th FLR	40' x 33'00" 1,320 SF	40' x 45'00" 1,800 SF	40' x 55'00" 2,200 SF
GRAND TOTALS	20 UNITS - 13,200 SF	10 UNITS - 18,000 SF	5 UNITS - 11,000 SF
TOTAL UNITS	35 UNITS - 32,200 SF		
CONDO TOTAL CONDO'S	15 UNITS - 13,200 SF		
CONDO TOTAL OFFICE	25,000 SQ. FT.		
CONDO TOTAL GARAGE	80,000 SQ. FT.		
CONDO TOTAL PROJECT	118,200 SQ. FT.		

PARKING REQUIREMENTS

OFFICE REQD:	33 SPACES PER 1,000 = 99 SPACES
RESIDENTIAL REQD:	1 BEDROOM UNIT = 1.5 SPACES PER UNIT = 53 - 48 SPACES 2 BEDROOM UNIT = 2.0 SPACES PER UNIT = 80 - 36 SPACES 3 BEDROOM UNIT = 2.5 SPACES PER UNIT = 125 - 100 SPACES
VISITOR REQD:	1 SPACE PER 10 UNITS = 70 UNITS / 10 = 70 SPACES
TOTAL REQD:	343 SPACES

PARKING PROVIDED

PARKING GARAGE:	400 SPACES
SURFACE PARKING:	60 SPACES
TOTAL PROVIDED:	460 SPACES

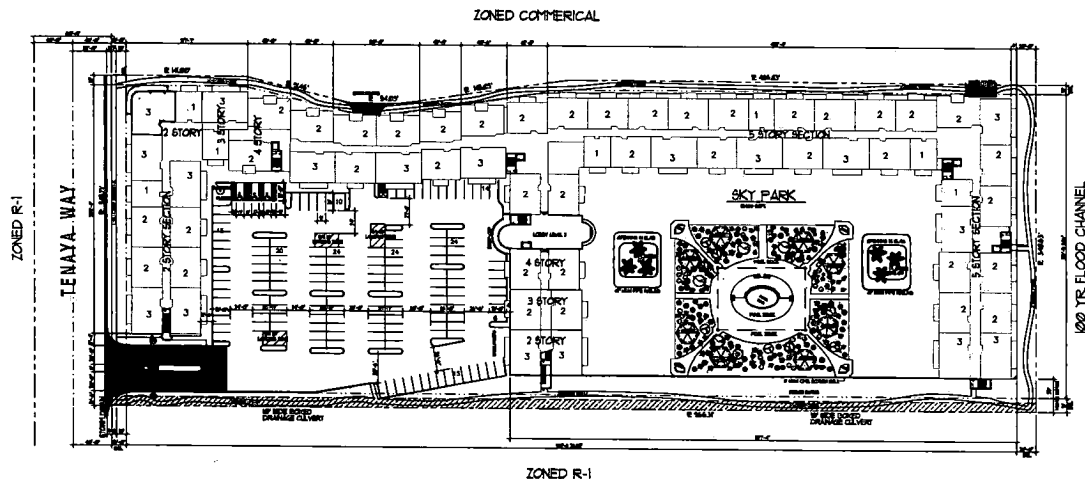
GREENE TINDALL

100 EAST MAIN STREET, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1111
FAX: 303.733.1112
WWW.GREENTINDALL.COM

PROPOSED
FIRST LEVEL
ARCHITECTURAL
SITE PLAN

TENAYA WAY CENTER
for DEBERT CAPITAL GROUP
TENAYA WAY AND CRAIG ROAD
CLARK COUNTY, NEVADA

AS



LEVEL "2" - ARCHITECTURAL SITE PLAN



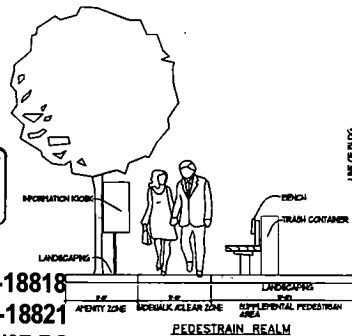
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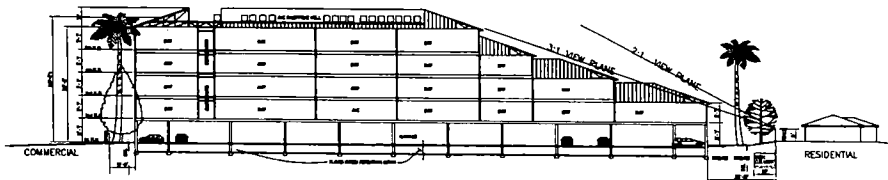
ZON-18819 — GPA-18816
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC
REVISED

TENAYA WAY CENTRE FOR DENSITY CAPITAL GROUP TENAYA WAY AND CRAIG ROAD CLARK COUNTY, NEVADA		PROPOSED SECOND LEVEL ARCHITECTURAL SITE PLAN	GREENE TINDALL ARCHITECTS 1000 WEST HAWAIIAN AVENUE, SUITE 100 LAS VEGAS, NEVADA 89106 TEL: 702.735.1100 FAX: 702.735.1101 WWW.GREENTINDALL.COM
DATE: 12/10/2006 BY: [Signature] CHECKED: [Signature] SCALE: 1" = 40'-0"		AS SHOWN	

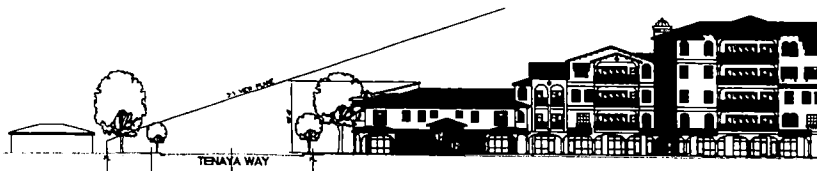
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JAN 04 2006

ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISED[illegible][illegible]



SECTION THRU BUILDING (LOOKING NORTH)



ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISED

VIEW PLANE ACROSS BUILDINGS
VIEW OVER TENAYA WAY

RECEIVED
JAN 04 2006

GREENE TINDALL ARCHITECTS 1000 N. GARDEN AVENUE SUITE 100 DENVER, CO 80202 TEL: 303.733.1100 FAX: 303.733.1101 WWW.GREENTINDALL.COM																																																																																																					
ARCHITECTURAL SECTION & VISION ELEVATIONS																																																																																																					
TENAYA WAY CENTRE for DESERT CAPITAL GROUP TENAYA WAY and CRAIG ROAD CLARK COUNTY, NEVADA																																																																																																					
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1 ENLARGED EAST (FRONT) EXTERIOR ELEVATION
VIEW FROM TENAYA WAY



2 SOUTH EXTERIOR ELEVATION



5 WEST EXTERIOR ELEVATION



4 SOUTH COURT (FRONT) EXTERIOR ELEVATION



3 NORTH COURT (FRONT) EXTERIOR ELEVATION



6 NORTH EXTERIOR ELEVATION

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JAN 04 2006

ZON-18819 GPA-18818
VAR-18820 SUP-18820
SDR-18822 01/25/07 PC

REVISED

GREENE TINDALL
DESIGN ARCHITECTS
100 EAST KIMBALL AVENUE, SUITE 100
LAS VEGAS, NEVADA 89101
PHONE: 702-735-4444
FAX: 702-735-4445
WWW.GREENTINDALL.COM

EXTERIOR ELEVATIONS

TENAYA WAY CENTRE
for DESERT CAPITAL GROUP
TENAYA WAY and CHALK ROAD
CLARK COUNTY
NEVADA

TENAYA WAY CENTRE
BY
DESERT CAPITAL GROUP



VIEW FROM TENAYA WAY

RECEIVED SDR-18822
DEC 18 2006 01/25/07 PC

December 12, 2006

To: City of Las Vegas Planning and Development Department

Re: Craig Road & Tenaya Way-Justification Letter
Parcel Number # 138-03-701-021

Enclosed is the Submittal of the Craig & Tenaya Way Development of (Condominium Units & Office Space.

PROJECT LOCATION:

Craig & Tenaya Way Center ("The Project") is located south of Craig on east side Tenaya next to the I-95 within the City of Las Vegas, in the north-west portion of the Vegas Valley.

PROJECT CONCEPT:

Craig & Tenaya Way Center has been designed as a "mix use" project. The Project will consist of 213 condominiums, along with approximately 29,717 square feet of office space. The office will be located along Tenaya; with the condominium homes located above and behind. The architectural character of the Center is Tuscan Design, and residential in nature. This center is directly adjacent to the C-1 shopping center to the north. The center is a transitional use between the existing commercial shopping and two story single family and two story multi-family residential to the south. The project has been "loaded" to the north and east side of the site to minimize the impact to the single family residential neighbors. The project has been designed to emphasize the pedestrian nature of mixed use projects and allow access to the commercial site, surrounding the proposed development is a "Pedestrian Realm" that circulates around the whole project perimeter and access the neighboring public access points.

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DEC 18 2006

SUP-18821
01/25/07 PC

-pg 2-

The building height has been stair stepped to minimize the impact to the surrounding development from and buffer the development from the freeway. An intense buffer has been placed along the south property line to allow a modified 2:1 slope.

The rear portion of the site is currently in the FEMA Flood Plane, which prohibits on grade construction. The proposed design elevates the rear of the project to allow the construction of units and open space therefore, from an aerial view of the project complies with a lot coverage and open space requirements.

The proposed Project will feature:

The 213 condominium homes will range in size from 880 square feet to 1,517 square feet at the center drive is a 2 acre Sky Park, inclusive of pools, BBQ area, gazebos, walking paths, landscaping and putting area.

In summary, Tenaya Way Center consists of (i) 415,698 square feet of living space;(ii) approximately 29,717 square feet of office space;(iii) 155,390 square feet of garage space;(iv) a total of 594 parking spaces where 543 spaces are required; and (v) 211,558.57 square feet of open space; (vi) 2 acre Sky Park. The height of Tenaya Way Center will not exceed 71 feet from grade.

Please contact my office with any further questions regarding this project.

Sincerely,



Christopher S. Dyka, R.D.
Project Manager

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DEC 18 2006

SUP-18821
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-18822 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-18818, ZON-18819, VAR-18820, AND SUP-18821 - PUBLIC HEARING - APPLICANT/OWNER: CRAIG TENAYA, LLC - Request for a Site Development Plan Review FOR A PROPOSED FIVE-STORY MIXED-USE DEVELOPMENT CONSISTING OF 213 CONDOMINIUM UNITS AND 29,717 SQUARE FEET OF COMMERCIAL SPACE on 7.49 acres adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road (APN 138-03-701-021), O (Office) Zone [PROPOSED: R-4 (High Density Residential) Zone], Ward 4 (Brown).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

5

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Telephone protest by Joseph Tanaquin

MOTION:

STEINMAN – APPROVED subject to conditions – Motion carried with **EVANS** and **DUNNAM** voting **NO**

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 39 for related discussion.

(7:03 – 7:33)

1-2131

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 43 – SDR-18822

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 01/04/07, except as amended by conditions herein.
4. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a building permit, to reflect the provision of four handicap parking spaces, for a total of 11.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: Provide eight additional 24 inch box trees to the buffer zone along the north property line
6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 43 – SDR-18822

CONDITIONS – Continued:

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. A Comprehensive Construction Staging Plan shall be submitted to the Planning and Development Department for review and approval prior to the issuance of any building permits. The Construction Staging Plan shall include the following information: Design and location of construction trailer(s); design and location of construction fencing; all proposed temporary construction signage; location of materials staging area; and the location and design of parking for all construction workers.
14. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. If necessary, submit a Petition of Vacation for any existing easements in conflict with this site plan.
17. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the "Corridor 2-Tenaya Way" project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer.
18. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall be designed to comply with all City Site Visibility Restriction Zone Standards

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 43 – SDR-18822

CONDITIONS – Continued:

19. A Homeowner's Association or Landscape Maintenance Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping and private improvements shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. Landscape and maintain all unimproved right-of-way, if any, on Tenaya Way adjacent to this site.
21. Submit an Encroachment Agreement for all landscaping, if any, located in the Tenaya Way public right-of-way adjacent to this site prior to occupancy of this site.
22. Grant an appropriate pedestrian access easement for all public sidewalks located outside of the Tenaya Way public right-of-way on the Final Map for this site if approved by the City Engineer.
23. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-18819 and all other subsequent site-related actions.
24. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first. We note that an offset sidewalk is proposed along Tenaya Way.

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-18822 - APPLICANT/OWNER: CRAIG TENAYA, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-18819) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 01/04/07, except as amended by conditions herein.
4. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a building permit, to reflect the provision of four handicap parking spaces, for a total of 11.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: Provide eight additional 24 inch box trees to the buffer zone along the north property line
6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

AR

SDR-18822 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. A Comprehensive Construction Staging Plan shall be submitted to the Planning and Development Department for review and approval prior to the issuance of any building permits. The Construction Staging Plan shall include the following information: Design and location of construction trailer(s); design and location of construction fencing; all proposed temporary construction signage; location of materials staging area; and the location and design of parking for all construction workers.
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15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. If necessary, submit a Petition of Vacation for any existing easements in conflict with this site plan.
17. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the "Corridor 2-Tenaya Way" project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer.

SDR-18822 - Conditions Page Three
January 25, 2007 - Planning Commission Meeting

18. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a and shall be designed to comply with all City Site Visibility Restriction Zone Standards
19. A Homeowner's Association or Landscape Maintenance Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping and private improvements shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. Landscape and maintain all unimproved right-of-way, if any, on Tenaya Way adjacent to this site.
21. Submit an Encroachment Agreement for all landscaping, if any, located in the Tenaya Way public right-of-way adjacent to this site prior to occupancy of this site.
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SDR-18822 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a proposed five-story mixed-use development consisting of 213 condominium units and 29,717 square feet of commercial space on 7.49 acres adjacent to the east side of Tenaya Way, approximately 970 feet south of Craig Road.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
09/05/90	The City Council denied a request for a reclassification of property (Z-0080-90) from N-U (Non-Urban) to C-1 (Limited Commercial) that included a shopping center, convenience store with gasoline sales, a four to six story office building, three off-premise billboard signs, an automobile service facility, restaurant with a beer/wine/cooler on-sale use, and retail stores with beer/wine/cooler off-sale uses. The Planning Commission recommended denial. Staff recommended approval.
11/06/96	The applicant withdrew without prejudice a request for a reclassification of property (Z-0094-96) from N-U (Non-Urban) to C-2 (General Commercial) for a 105,744 square-foot retail warehouse. The Planning Commission and staff recommended approval.
01/08/98	The applicant withdrew without prejudice a request for a Rezoning (Z-0081-97) from U (Undeveloped) [SC (Service Commercial) land use designation] to C-1 (Limited Commercial) for a 130,858 square-foot retail store. Staff recommended that the item be held in abeyance.
01/19/00	The City Council approved a Rezoning (Z-0071-99) of this site to O (Office), as part of a larger overall request which included the rezoning of the property to the north to C-1 (Limited Commercial). Staff recommended approval, and the Planning Commission believed the request to be premature and recommended denial.
01/25/07	Companion items for a General Plan Amendment (GPA-18818), Rezoning (ZON-18819), Variance (VAR-18820), and a Special Use Permit (SUP-18821) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this application.	
<i>Pre-Application Meeting</i>	
12/14/06	A pre-application meeting was held and the requirements of a Site Development Plan Review were explained..

SDR-18822 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Neighborhood Meeting	
01/03/07	A neighborhood meeting was held at Timbers Bar & Grill, 7081 West Craig Road at 6:15 P.M. Six members of the public attended and had the following concerns and comments:
	Five story condos too dense for area Concerns about impact to schools Support for two story office or commercial at site Concerns about fire Concerns about size and scope of project so close to single family homes Concerns that the applicant did not properly notify the neighborhood meeting.

Details of Application Request	
Site Area	
Net Acres	7.49

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	O (Office)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Singe-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
	Multi-Family Residential	M (Medium Density Residential)	R-3 (Medium Density Residential)
East	Undeveloped	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	ML (Medium-Low Density Residential)	R-PD8 (Residential Planned Development – 8 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	N/A
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District (175-Foot)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

AR

SDR-18822 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	6,500 SF	326,054 SF	Y
Min. Setbacks	10 Feet	15 Feet	Y
• Front	5 Feet	15 Feet	Y
• Side	5 Feet	10 Feet	Y
• Rear	20 Feet	26 Feet	Y
Max. Building Height	2 Stories/35 Feet	5 Stories/72 Feet	N
Trash Enclosure	Yes	Yes	Y
Mech. Equipment	Screened	Screened	Y

The height issue will be addressed within related Variance (VAR-18820).

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	216 Feet	216 Feet	Y
Adjacent development matching setback	10 Feet	216 Feet	Y
Trash Enclosure	50 Feet	220 Feet	Y

Existing Zoning	Permitted Density	Units Allowed
O (Office)	N/A	N/A
Proposed Zoning	Permitted Density	Units Allowed
R-4 (High Density Residential)	26-50 Units Per Acre	374 Units
General Plan	Permitted Density	Units Allowed
H (High Density Residential)	> 25.49 Units Per Acre	374 Units (Unlimited with an R-5 District)

Per Title 19.12:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	28 Trees	36 Trees	Y
Buffer:				
Min. Trees	1 Tree/20 Linear Feet	122 Trees	114 Trees	N
Min. Zone Width	15 Feet (R.O.W.) 6 Feet (Interior)		15 Feet (R.O.W.) 6 Feet (Interior)	Y

Staff notes that eight additional 24 inch box trees could be added to the buffer zone along the north property line and has added a condition of approval (number 5) that addresses this issue.

SDR-18822 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required Parking		Provided Parking		Compliance
			Regular	Handi-capped	Regular	Handi-capped	
Office	29,717 SF	1:300 SF	99				
One-Bedroom	24 Units	1.25/Unit	30				
Two-Bedroom	148 Units	1.75/Unit	259				
Three-Bedroom	41 Units	2/Unit	82				
Guest Spaces	213 Units	1 Space/6 Units	36				
TOTAL			506	11	594	7	N
Loading Spaces			2		3		

The site plan is deficient four handicap parking spaces. Staff has added a condition of approval (number 4) that addresses this issue.

ANALYSIS

This site is currently undeveloped and is located within a FEMA "AE" Flood Zone. The FEMA website www.floodsmart.gov defines an "AE" Flood Zone as areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. The applicant proposes to develop a mixed use project consisting of 213 condominium units and 29,717 square feet of office space. The offices and condominiums will be located in buildings that range in height from two to five stories, with the higher parts of the buildings (72 feet in height) located in the north and east portions of the site in order to comply with the residential adjacency standards. The site is located in a portion of the A-O (Airport Overlay) District where building height is limited to 175 feet. The proposed buildings comply with this limitation.

Parking is provided on a surface lot in the west portion of the site and on the lower level of a two level structure in the east portion of the site. City standards require 11 handicap parking spaces for a development of this size. Because the site plan depicts only seven handicap parking spaces, staff has included a condition of approval (number 4) which requires the provision of four additional handicap spaces. A common area which includes gazebos, potted plants and a pool will be located on the second level of the structure.

SDR-18822 - Staff Report Page Five
January 25, 2007 - Planning Commission Meeting

Access to the site will be provided by a driveway to Tenaya Way and two driveways to the existing commercial center immediately to the north. The applicant proposes to place landscape buffers with sufficient width to comply with city standards along all property lines. The buffers along the south, east and west property lines contain 24 inch box trees in quantities that comply with city standards. The amount of trees within the north buffer is not sufficient, and staff has included a condition of approval (number 5) which requires eight additional 24 inch box trees to be placed in the buffer zone along the north property line.

The elevations depict stucco exteriors with concrete tile roofs and decorative copper domes along the roof lines. The building heights vary from two to five stories (with a maximum height of 72 feet). The Zoning Code limits heights in the R-4 (High Density Residential) zoning district to two stories (not exceeding 35 feet in height). The applicant has requested a Variance (VAR-18820) from this standard which will be considered currently with this application. Because this variance request does not meet the criteria for approval, as the hardship is self-created and the applicant could revise the development to comply with the setback standards, staff's recommendation is for denial of the variance.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. The proposed development is compatible with adjacent development and development in the area;
2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;
4. Building and landscape materials are appropriate for the area and for the City;
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

SDR-18822 - Staff Report Page Six
January 25, 2007 - Planning Commission Meeting

In regard to "1": The proposed development will exceed the scale and massing of any existing development in this area. Staff finds the height and intensity of the project is greater than adjacent development and is not compatible with residential development immediately to the south of this site.

In regard to "2": The project as designed is more intense than other existing or proposed developments in the area, and requires an associated height variance (VAR-18820) which would allow a 72-foot high building where 35 feet is the maximum height allowed. As such, the project is not appropriate to its context, and staff recommends denial.

In regard to "3": Adequate access to this site will be provided from Tenaya Way, a Secondary Street as designated by the Master Plan of Streets and Highways. This project will not adversely impact adjacent streets.

In regard to "4": The proposed building materials and landscape materials are appropriate for the immediate area and for the City, and are generally in compliance with the city standards.

In regard to "5": The inability of the applicant to devise a site plan that complies with the setback, standards indicate that the design characteristics of this proposal are too intense for this site.

In regard to "6": The proposed development will be subject to regular inspections for permitting and licensing and will; therefore, not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 34

SENATE DISTRICT 4

NOTICES MAILED 655 [Mailed with ZON-18819, VAR-18820, SUP-18821 & GPA-18818]

APPROVALS 0

PROTESTS 0

AR



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18822** APN: 136-03-701-021
Name of Property Owner: Douglas E. Simms
Name of Applicant: Christopher S. Dyka

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

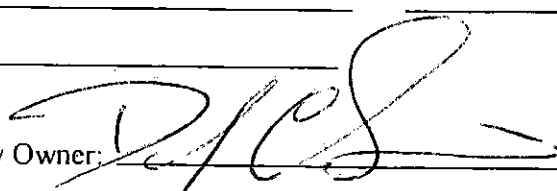
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

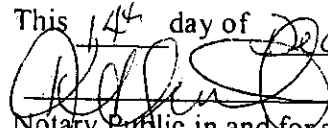
APN: _____

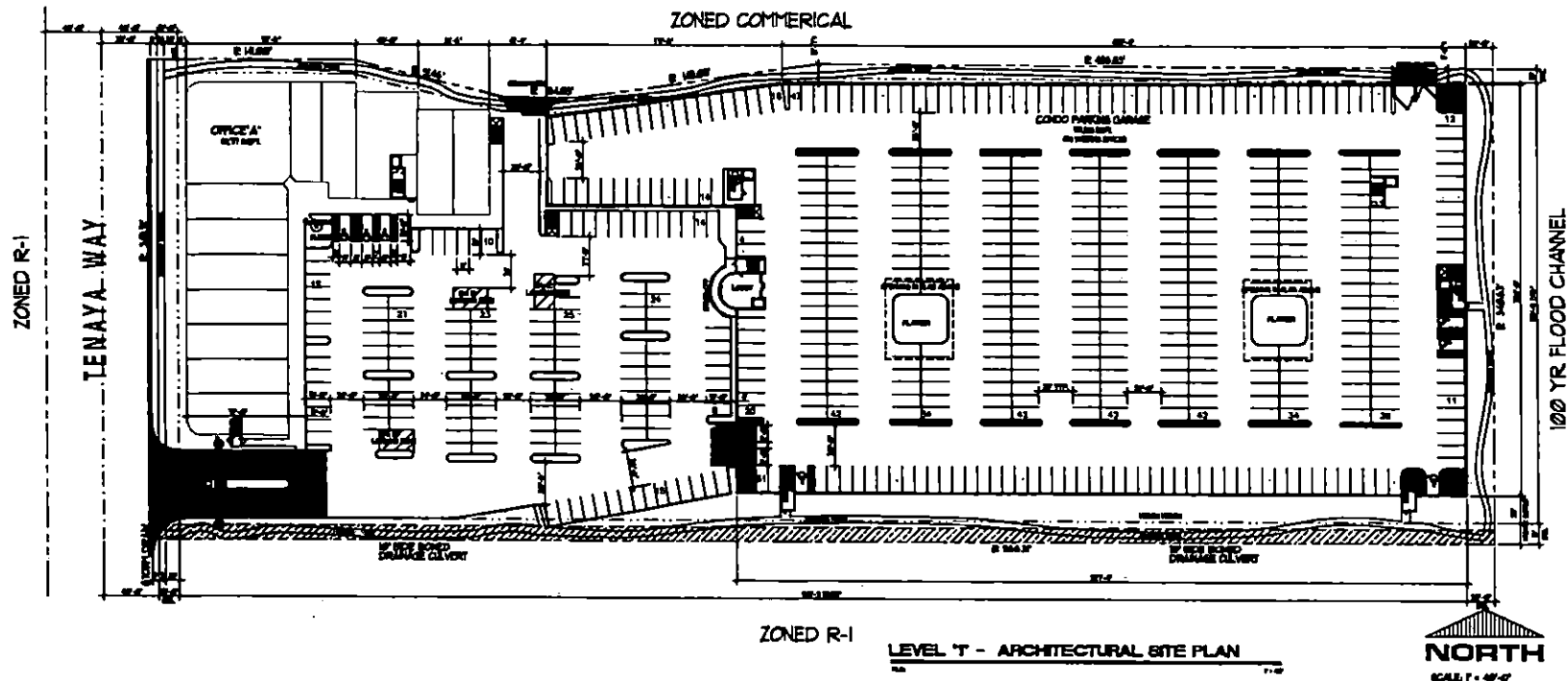
Signature of Property Owner: 

Print Name: Douglas E. Simms

Subscribed and sworn before me

This 14 day of December, 2006


Notary Public in and for said County and State



SITE DATA

APN:		138-03-701-021	
SITE AREA	ORGANIC NET	324,364 SQFT 324,364 SQFT	7.45 ACRES 7.45 ACRES
BUILD FOOTPRINT		156,976 SQFT	3.5 ACRES
OPEN SPACE (LEVEL V SOIL PLANT)		167,388 SQFT 167,388 SQFT	3.8 ACRES
TOTAL OPEN SPACE		324,364 SQFT	7.45 ACRES
20 UNITS / 1.40 AC. =	14.3 UNITS PER ACRE		

COMMERCIAL AREA

OFFICE:	25,171 SQ. FT.
PARKING GARAGE:	164,876 SQ. FT.
SUBTOTAL:	190,047 SQ. FT.

CONDOMINIUM UNITS

	UNIT 1A 1 BEDROOM 576 SQ. FT.	UNIT 1B 1 BEDROOM 1,034 SQ. FT.	UNIT 1C 3 BEDROOM 1,034 SQ. FT.
1st FLR:	1 - 6,340 SF	40 - 43,740 SF	9 - 7,186 SF
2nd FLR:	0 - 4,420 SF	34 - 43,740 SF	1 - 7,186 SF
3rd FLR:	4 - 3,380 SF	34 - 43,740 SF	10 - 8,710 SF
4th FLR:	4 - 3,380 SF	34 - 43,740 SF	10 - 8,710 SF
ALL TOTALS:	20 - 17,120 SF	140 - 165,240 SF	40 - 31,802 SF
TOTAL UNITS:	20 UNITS	200 UNITS	40 UNITS
CONDO TOTAL AREA:	4 FLOORS - 190,047 SQ. FT.		
TOTAL OFFICE:	25,171 SQ. FT.		
TOTAL GARAGE:	164,876 SQ. FT.		
GRAND TOTAL PROJECT:	419,994 SQ. FT.		

PARKING REQUIREMENTS

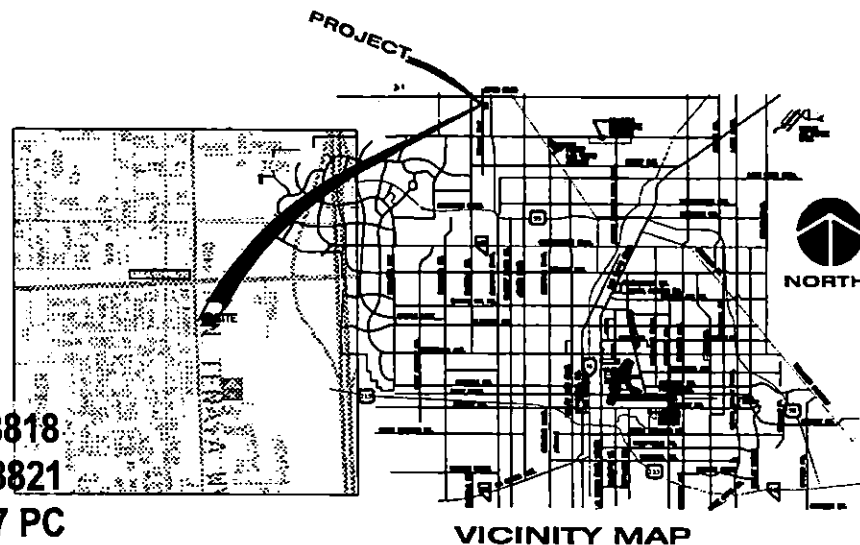
OFFICE RECD:	33 SPACES PER 1,000 = 36 SPACES
RESIDENTIAL RECD:	1 BEDROOM UNIT @ 1.50 PER UNIT = 30 + 40 SPACES 3 BEDROOM UNIT @ 1.50 PER UNIT = 60 + 240 SPACES
VEHICLE RECD:	1 SPACE PER 4 UNITS = 20 UNITS @ 4 = 80 SPACES
TOTAL RECD:	543 SPACES

PARKING PROVIDED

PARKING GARAGE:	400 SPACES
SPACES PARKING:	80 SPACES
TOTAL PROVIDED:	480 SPACES

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ZON-18819 **GPA-18818**
VAR-18820 **SUP-18821**
SDR-18822 **01/25/07 PC**
REVISED

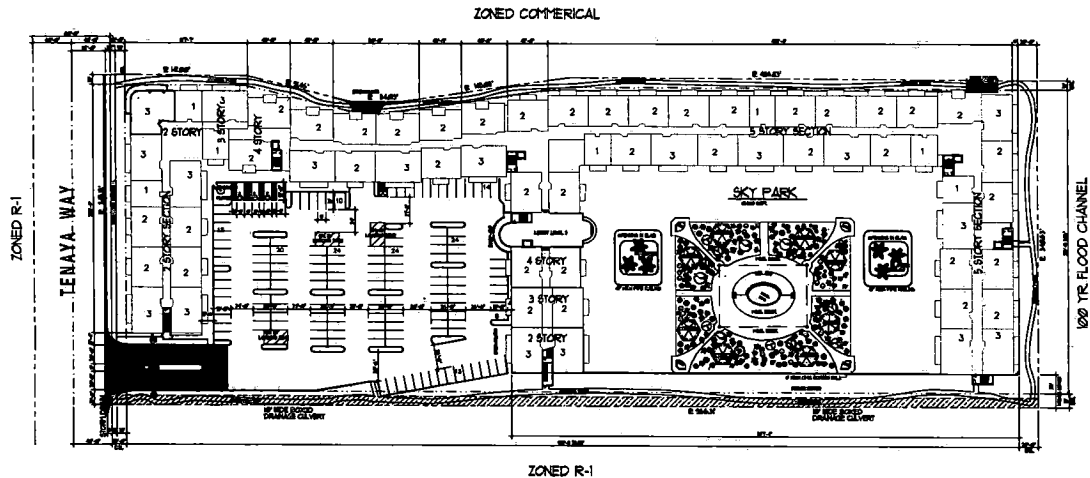


GREENE TINDALL
10000 TENAYA WAY, SUITE 200
DUBLIN, CA 94568
TEL: 925-891-1000
WWW.GREENTINDALL.COM

PROPOSED FIRST LEVEL ARCHITECTURAL SITE PLAN

TENA WAY CENTRE
FOR DIRECT CAPITAL GROUP
TENA WAY AND CRAIG ROAD
DUBLIN, CA 94568

AS



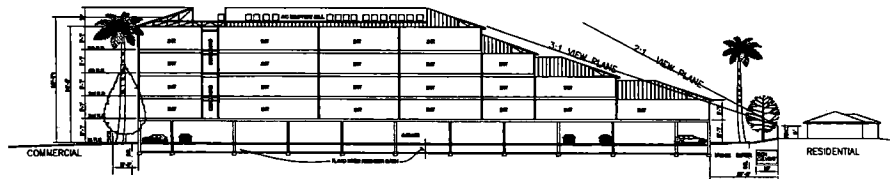
LEVEL "2" - ARCHITECTURAL SITE PLAN



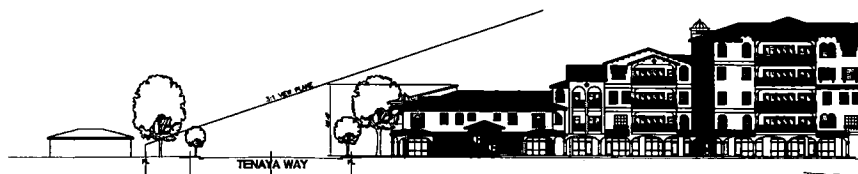
ZON-18819 GPA-18818
 VAR-18820 SUP-18821
 SDR-18822 01/25/07 PC
 REVISED

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GREENE TINDALL 10000 TENAYA WAY, SUITE 100 DUBLIN, CA 94568 TEL: 925-891-1000 FAX: 925-891-1001 WWW.GREENTINDALL.COM
PROJECT 10000 TENAYA WAY, SUITE 100 DUBLIN, CA 94568
PROPOSED SECOND LEVEL ARCHITECTURAL SITE PLAN
TENAYA WAY GRIFFE FOR DESERT CAPITAL GROUP TENAYA WAY & CRAIG RD DUBLIN, CA 94568
AS



SECTION THRU BUILDING (LOOKING NORTH)



ZON-18819 GPA-18818
VAR-18820 SUP-18821
SDR-18822 01/25/07 PC

REVISED

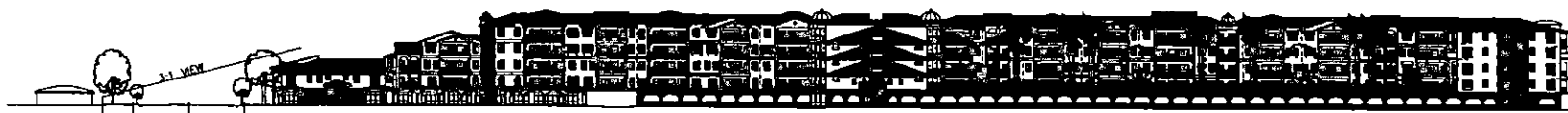
VIEW PLANE ACROSS BUILDINGS
VIEW OVER TENAYA WAY

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GREENE TINDALL ARCHITECTURAL 1000 N. GARDEN ST., SUITE 100 DENVER, CO 80202 TEL: 303.733.1111 FAX: 303.733.1112 WWW.GREENTINDALL.COM	
ARCHITECTURAL DRAWING VISION STUDY	
TENAYA WAY CENTRE FOR DIRECT CAPITAL GROUP TENAYA WAY & CRAIG RD CLARK CO ZONE 01/25/07	
01-01 01-02 01-03 01-04 01-05 01-06 01-07 01-08 01-09 01-10 01-11 01-12 01-13 01-14 01-15 01-16 01-17 01-18 01-19 01-20 01-21 01-22 01-23 01-24 01-25 01-26 01-27 01-28 01-29 01-30 01-31 01-32 01-33 01-34 01-35 01-36 01-37 01-38 01-39 01-40 01-41 01-42 01-43 01-44 01-45 01-46 01-47 01-48 01-49 01-50 01-51 01-52 01-53 01-54 01-55 01-56 01-57 01-58 01-59 01-60 01-61 01-62 01-63 01-64 01-65 01-66 01-67 01-68 01-69 01-70 01-71 01-72 01-73 01-74 01-75 01-76 01-77 01-78 01-79 01-80 01-81 01-82 01-83 01-84 01-85 01-86 01-87 01-88 01-89 01-90 01-91 01-92 01-93 01-94 01-95 01-96 01-97 01-98 01-99 01-100 01-01 01-02 01-03 01-04 01-05 01-06 01-07 01-08 01-09 01-10 01-11 01-12 01-13 01-14 01-15 01-16 01-17 01-18 01-19 01-20 01-21 01-22 01-23 01-24 01-25 01-26 01-27 01-28 01-29 01-30 01-31 01-32 01-33 01-34 01-35 01-36 01-37 01-38 01-39 01-40 01-41 01-42 01-43 01-44 01-45 01-46 01-47 01-48 01-49 01-50 01-51 01-52 01-53 01-54 01-55 01-56 01-57 01-58 01-59 01-60 01-61 01-62 01-63 01-64 01-65 01-66 01-67 01-68 01-69 01-70 01-71 01-72 01-73 01-74 01-75 01-76 01-77 01-78 01-79 01-80 01-81 01-82 01-83 01-84 01-85 01-86 01-87 01-88 01-89 01-90 01-91 01-92 01-93 01-94 01-95 01-96 01-97 01-98 01-99 01-100	
AS	



1 ENLARGED EAST (FRONT) EXTERIOR ELEVATION
VIEW FROM TENAYA WAY



2 SOUTH EXTERIOR ELEVATION



5 WEST EXTERIOR ELEVATION



4 SOUTH COURT (FRONT) EXTERIOR ELEVATION



3 NORTH COURT (FRONT) EXTERIOR ELEVATION



6 NORTH EXTERIOR ELEVATION

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ZON-18819
VAR-18820
SDR-18822

GPA-18818
SUP-18821
01/25/07 PC

REVISED

GREENE TINDALL

DESIGN ARCHITECTS
100 EAST KIMBERLY ROAD, SUITE 100
LAS VEGAS, NEVADA 89119
PHONE: 702-877-1100
FACSIMILE: 702-877-1100
WWW.GREENTINDALL.COM

EXTERIOR ELEVATIONS

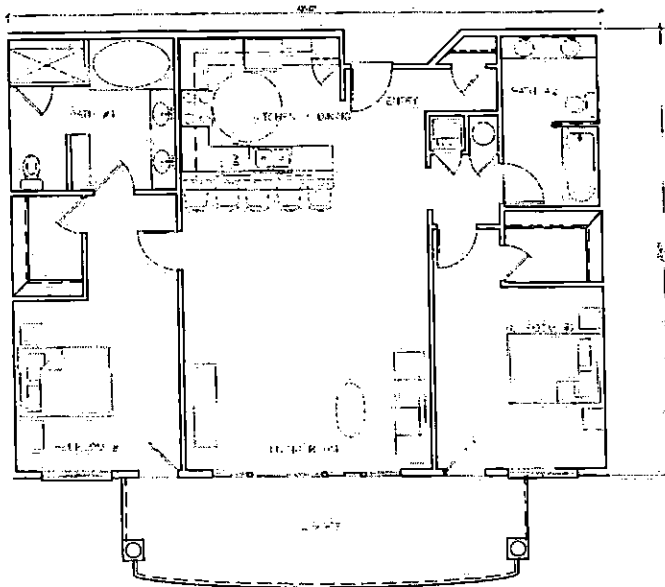
TENAYA WAY CENTRE

for DESERT CAPITAL GROUP

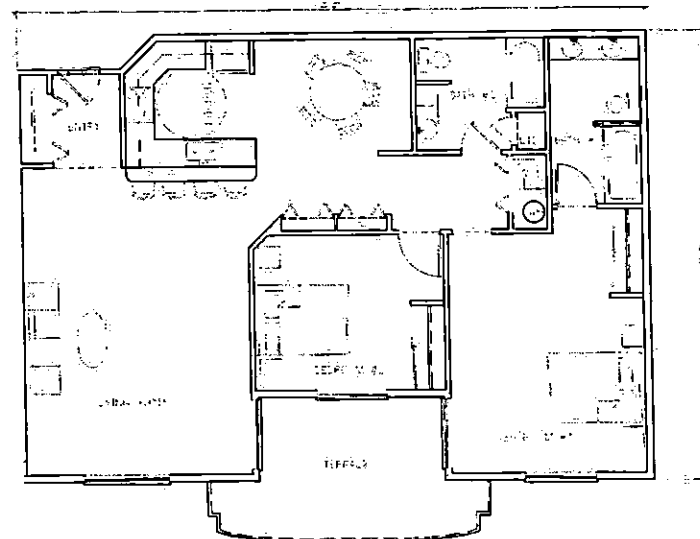
TENAYA WAY and CRAIG ROAD
CLARK COUNTY
LAS VEGAS, NEVADA

1-10-00000
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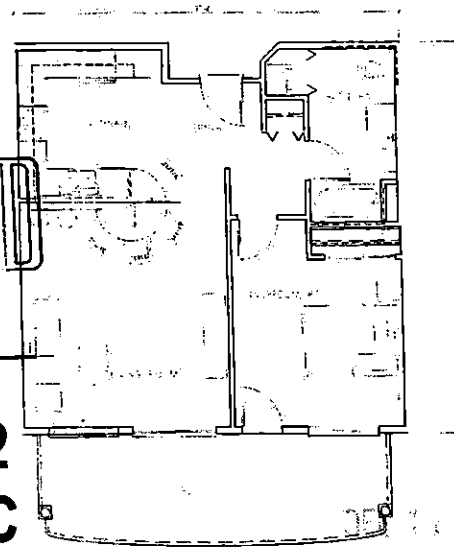
UNIT "B" TWO BEDROOM FLOOR PLAN



UNIT "C" TWO BEDROOM FAMILY FLOOR PLAN

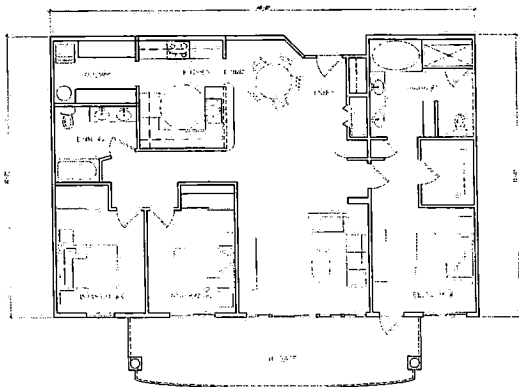
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01/25/07 PC

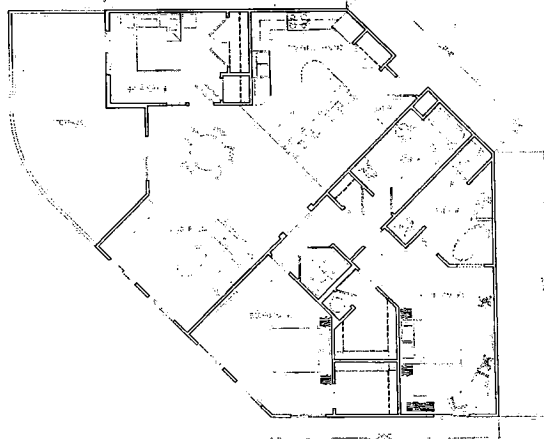


UNIT "A" ONE BEDROOM

GREENE TINDALL	
1000 S. PINEHILL ROAD, SUITE 200 LAS VEGAS, NEVADA 89119 PHONE 702-797-7777 FACSIMILE 702-797-7778 AGENCY OF NEVADA STATE OFFICIALS CONTRACTING	
UNITS A, B and C TWO (2) BEDROOM FLOOR PLANS	
TENAYA WAY CENTRE for DESERT CAPITAL GROUP TENAYA WAY and CRAIG ROAD CLARK COUNTY LAS VEGAS, NEVADA	
GT-600	
2-15-2006	
10-25-2006	
AS-7	



UNIT 'D' 3 BEDROOM UNIT FLOOR PLAN



UNIT 'E' 3 BEDROOM FLOOR PLAN

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DEC 18 2006
SDR-18822
01/25/07 PC

UNIT 'D' & 'E' THREE 131 BEDROOM FLOOR PLANS		GREENE TINDALL 1000 S. GILBERT AVE., SUITE 200 GILBERT, AZ 85133 PHONE: 480-833-1111 FAX: 480-833-1112 WWW.GREENTINDALL.COM	
TEMAYA WAY CENTRE for DESERT CAPITAL GROUP TEMAYA WAY and CAMP ROAD GILBERT, AZ 85133 NEW IGA		01-000 9-10-2006 10-25-2006 AS-8	



TENAYA WAY CENTRE

BY
DESERT CAPITAL GROUP



VIEW FROM TENAYA WAY

12.11.

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DEC 18 2006 01/25/07 PC

SDR 18822				
Craig Tenaya, LLC				
ES Tenaya, S of Craig				
Proposed 213 unit condominium development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RES. CONDO/TOWNHOUSE [DWELL]	213	5.86	1,248
AM Peak Hour			0.44	94
PM Peak Hour			0.52	111
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	29.717	11.01	327
AM Peak Hour			1.55	46
PM Peak Hour			1.49	44
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	213		1,575
AM Peak Hour				140
PM Peak Hour				155
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Craig Road				
Average Daily Traffic (ADT)	13,638			
PM Peak Hour	1091			
(heaviest 60 minutes)				
Tenaya Way				
Average Daily Traffic (ADT)	7,038			
PM Peak Hour	563			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				

	Adjacent street ADT			
	Capacity			
Craig Road	51700			
Tenaya Way	30970			
This project will add approximately 1,575 trips per day on Craig and Tenaya.				
This will increase expected volumes by about 12 percent on Craig and 22 percent on Tenaya. Craig is at about 26 percent of capacity and Tenaya is at about 23 percent of capacity.				
Based on Peak Hour use, this development will add roughly 155 additional cars into the area; which works out to about five every two minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



GPA-18818, ZON-18819, VAR-18820, SUP-18821 & SDR-18822 - APPLICANT/OWNER: CRAIG TENAYA, LLC
EAST SIDE OF TENAYA WAY, APPROXIMATELY 970 FEET SOUTH OF CRAIG ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/22/06



GPA-18818, ZON-18819, VAR-18820, SUP-18821 & SDR-18822 - APPLICANT/OWNER: CRAIG TENAYA, LLC
EAST SIDE OF TENAYA WAY, APPROXIMATELY 970 FEET SOUTH OF CRAIG ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/22/06



GPA-18818, ZON-18819, VAR-18820, SUP-18821 & SDR-18822 - APPLICANT/OWNER: CRAIG TENAYA, LLC
EAST SIDE OF TENAYA WAY, APPROXIMATELY 970 FEET SOUTH OF CRAIG ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/22/06



GPA-18818, ZON-18819, VAR-18820, SUP-18821 & SDR-18822 - APPLICANT/OWNER: CRAIG TENAYA, LLC
EAST SIDE OF TENAYA WAY, APPROXIMATELY 970 FEET SOUTH OF CRAIG ROAD
JANUARY 25, 2007 PLANNING COMMISSION

12/22/06

December 12, 2006

To: City of Las Vegas Planning and Development Department

**Re: Craig Road & Tenaya Way-Justification Letter
Parcel Number # 138-03-701-021**

Enclosed is the Submittal of the Craig & Tenaya Way Development of (Condominium Units & Office Space.

PROJECT LOCATION:

Craig & Tenaya Way Center ("The Project") is located south of Craig on east side Tenaya next to the I-95 within the City of Las Vegas, in the north-west portion of the Vegas Valley.

PROJECT CONCEPT:

Craig & Tenaya Way Center has been designed as a "mix use" project. The Project will consist of 213 condominiums, along with approximately 29,717 square feet of office space. The office will be located along Tenaya; with the condominium homes located above and behind. The architectural character of the Center is Tuscan Design, and residential in nature. This center is directly adjacent to the C-1 shopping center to the north. The center is a transitional use between the existing commercial shopping and two story single family and two story multi-family residential to the south. The project has been "loaded" to the north and east side of the site to minimize the impact to the single family residential neighbors. The project has been designed to emphasize the pedestrian nature of mixed use projects and allow access to the commercial site, surrounding the proposed development is a "Pedestrian Realm" that circulates around the whole project perimeter and access the neighboring public access points.

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SDR-18822
01/25/07 PC

-pg 2-

The building height has been stair stepped to minimize the impact to the surrounding development from and buffer the development from the freeway. An intense buffer has been placed along the south property line to allow a modified 2:1 slope.

The rear portion of the site is currently in the FEMA Flood Plane, which prohibits on grade construction. The proposed design elevates the rear of the project to allow the construction of units and open space therefore, from an aerial view of the project complies with a lot coverage and open space requirements.

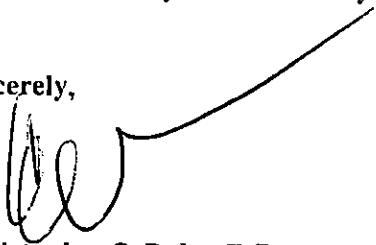
The proposed Project will feature:

The 213 condominium homes will range in size from 880 square feet to 1,517 square feet at the center drive is a 2 acre Sky Park, inclusive of pools, BBQ area, gazebos, walking paths, landscaping and putting area.

In summary, Tenaya Way Center consists of (i) 415,698 square feet of living space;(ii) approximately 29,717 square feet of office space;(iii) 155,390 square feet of garage space;(iv) a total of 594 parking spaces where 543 spaces are required; and (v) 211,558.57 square feet of open space; (vi) 2 acre Sky Park. The height of Tenaya Way Center will not exceed 71 feet from grade.

Please contact my office with any further questions regarding this project.

Sincerely,


Christopher S. Dyka, R.D.
Project Manager

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SDR-18822
01/25/07 PC

January Protest/Approval Log

Meeting Date: 1/25/07

Case Number: SDR-18822

Date: 1/22/07
Name: Joseph
Address: 4016 Sea Hero St.
Phone: 597-4828
☒ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Submitted after final agenda

Date 1/25/07 Item 443

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

GPA 19066 - GENERAL PLAN AMENDMENT - PUBLIC HEARING -
APPLICANT/OWNER: CITY OF LAS VEGAS - Request to adopt an updated Parks
Element and revise the 2020 Master Plan.

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the February 22, 2007 Planning
Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map – Not Applicable
2. Conditions and Staff Report – Not Applicable
3. Supporting Documentation – Not Applicable
4. Justification Letter – Not Applicable

MOTION:

GOYNES – Motion to HOLD IN ABEYANCE Item 26 [ZON-17248], Item 27 [SDR-17249],
Item 31 [ZON-17693], Item 32 [SDR-17694], Item 35 [ZON-18196], Item 36 [SDR-17727],
Item 54 [WVR-18085], Item 55 [SUP-18084] and Item 65 [SUP-18691] to 02/08/2007; Item
24 [ZON-17304], Item 25 [SDR-18676], Item 37 [VAR-18345], Item 60 [VAR-18984] and
Item 61 [SDR-18693] to 02/22/2007; Item 38 [GPA-18776] and Item 44 [GPA-19066] to
03/08/2007; **TABLE** Item 2 [SDR-15322], Item 33 [VAR-17732] and Item 34 [SDR-17730];
and **WITHDRAW WITHOUT PREJUDICE** Item 66 [SDR-18677] – **UNANIMOUS**

MINUTES:

MARGO WHEELER, Director of Planning and Development, clarified that Item 44 [GPA-
19066] is to be held in abeyance to the 03/08/2007 Planning Commission meeting.

(6:04 – 6:07)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: GPA 19066 - APPLICANT/OWNER: CITY OF LAS VEGAS

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE FEBRUARY 22, 2007
PLANNING COMMISSION MEETING***

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

January 9, 2007

731 S. 4th Street
Las Vegas, NV 89101

RE: GPA-19066

Dear Mr. Rankin:

Please accept this request to abey GPA-19066 from the January 25th to the February 22nd, 2007 Planning Commission meeting.

Please feel free to contact me at 229-4717 with any questions.

Respectfully,

Adrienne Low Joly
Planning Supervisor
City of Las Vegas

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Torkanian
Steven D. Ross

City Manager
Douglas A. Selby



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ZON-18643 - REZONING - PUBLIC HEARING - APPLICANT: NEVADA HAND - OWNER: CITY OF LAS VEGAS - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-3 (MEDIUM DENSITY RESIDENTIAL) on a portion of 9.39 acres at the southwest corner of Decatur Boulevard and Deer Springs Way (APN 125-24-701-040), Ward 6 (Ross).

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	3
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	1
City Council Meeting	

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions – UNANIMOUS with TRUESDELL abstaining because he is in negotiations with a client about property within the notice area

To be heard by the City Council on 2/21/2007

MINUTES:

CHAIRMAN DAVENPORT declared the Public Hearing open for Item 45 [ZON-18643], Item 46 [SUP-19004] and Item 47 [SDR-18642].

DOUG RANKIN, Planning Manager, stated that the associated Waiver is affected by a Residential Estate (R-E) parcel owned by the City of Las Vegas. The City determined that the parcel would not be developed as half-acre estates but rather Civic use or an affordable housing type of use. He noted that future development would need to be phased and must return before the Commission for consideration; however, he recommended approval of all applications.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 45 – ZON-18643

MINUTES – Continued:

BOB FIBLEMAN, 295 East Warm Springs Road, agreed with staff's recommendation but pointed out that Condition 14 of Item 47 does not pertain to the project. BART ANDERSON, Department of Public Works, concurred and recommended the condition be deleted.

GULLERMO ACOSTA, 6925 Hawaiian Sky Court, spoke in opposition of the project because it would not conform to nearby development although he did not object to assisted-living development. WILLIAM WATTS, 6908 Hawaiian Sky Court, concurred and added that the area is already too busy for such an intense development. MR. ACOSTA and MR. WATTS both expressed disappointment for the lack of community involvement prior to the public hearing. CHARLES ROBINSON, 4905 Encore Paradise, echoed all opposing comments.

TODD FARLOW, 240 North Nineteenth Street, expressed assurance to all in opposition that Nevada HAND has created beautiful projects that are quiet and well-maintained.

MR. FIBLEMAN clarified that the proposal would be for partial one, two and three story buildings and confirmed there were two public meetings. He disagreed that traffic would be a concern since the majority of residents would not have a vehicle.

COMMISSIONER GOYNES verified that a neighborhood meeting is not required for the project though he was able to confirm that one took place at the Lied Community School on April 18, 2006.

COMMISSIONER DUNNAM stated that from an engineering standpoint he could attest that should single-family homes be developed at the same parcel, there would be a block wall with homes considerably closer to the public right-of-way and could likely be two-story homes. While the area is busy, this project would not seriously impact the area as implied.

COMMISSIONER STEINMAN noted that the existing zoning could potentially allow a structure up to 35 feet in height and the additional three and a half feet requested is merely a minimal deviation. It is important for to take such proposals seriously as the Valley attracts more and more senior citizens.

CHAIRMAN DAVENPORT declared the Public Hearing closed for Item 45 [ZON-18643], Item 46 [SUP-19004] and Item 47 [SDR-18642].

(7:33 – 7:45)

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 45 – ZON-18643

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-18642) and a Special Use Permit (SUP-19004) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site, if approved.

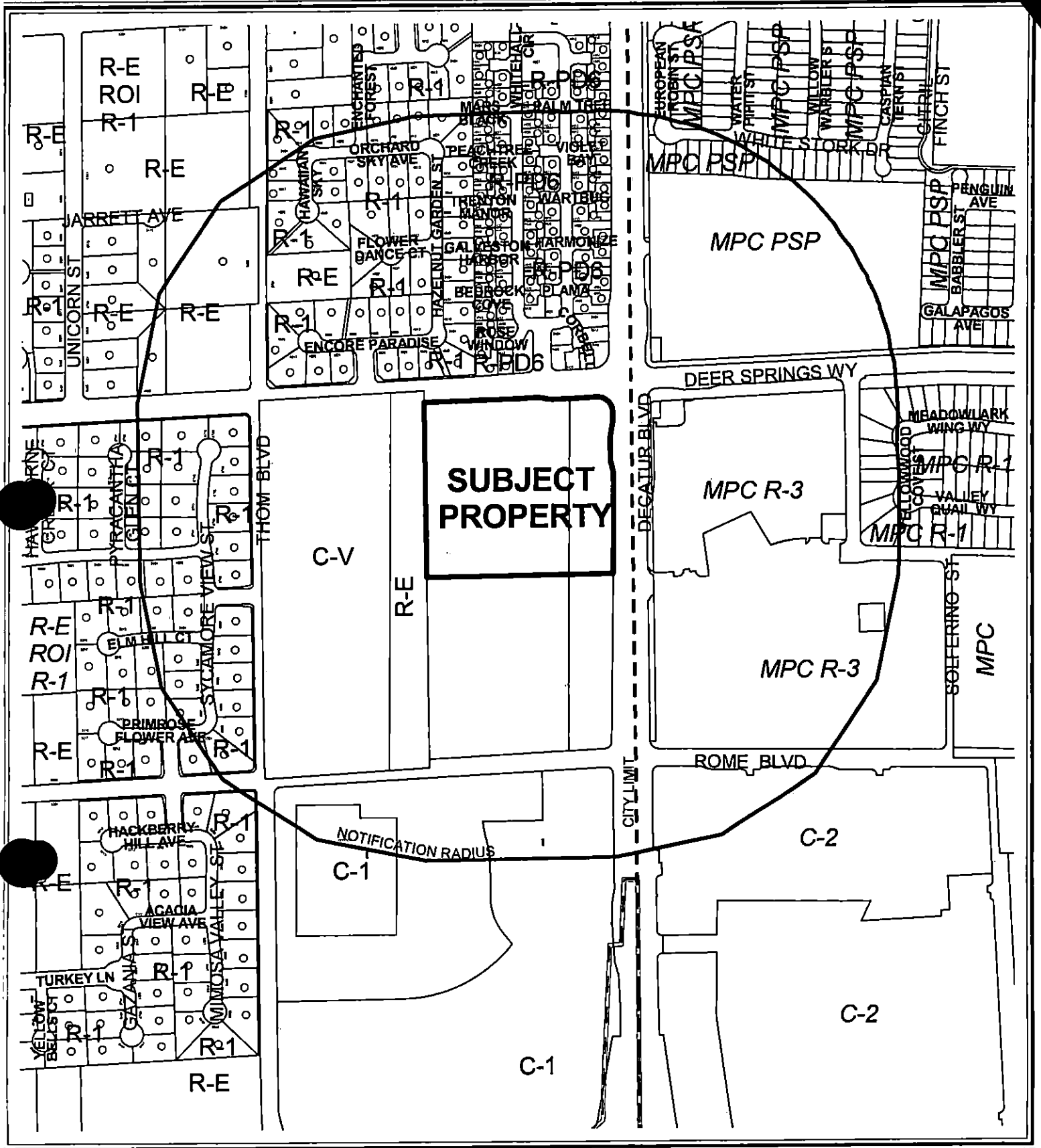
Public Works

3. Construct all incomplete half-street improvements including appropriate transitional paving on Deer Springs Way and Decatur Boulevard adjacent to the overall parcel of which this site is a part concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
4. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current City Standards concurrent with on-site development activities. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
5. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the Las Vegas Wash – Decatur Boulevard (Centennial Parkway to Farm Road) project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer.
6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings, or the submittal of a map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first, if allowed by the City Engineer.

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 45 – ZON-18643

CONDITIONS – Continued:

7. A minimum of two lanes of asphalt pavement on the major access street adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.



CASE: **ZON-18643**

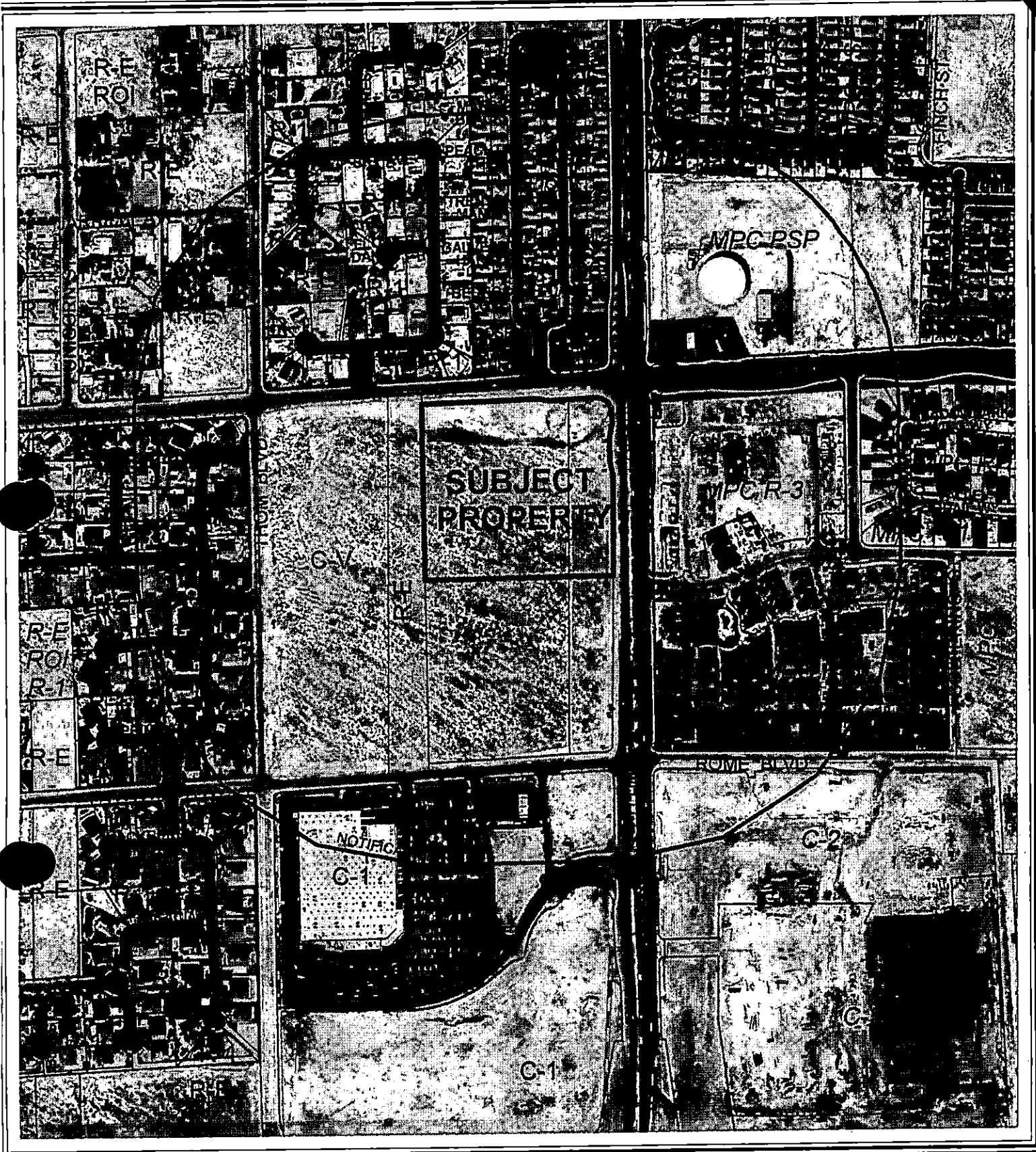
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

0 400 Feet





CASE: ZON-18643

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

0 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ZON-18643 - APPLICANT: NEVADA HAND, INC. - OWNER:
CITY OF LAS VEGAS**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-18642) and a Special Use Permit (SUP-19004) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site, if approved.

Public Works

3. Construct all incomplete half-street improvements including appropriate transitional paving on Deer Springs Way and Decatur Boulevard adjacent to the overall parcel of which this site is a part concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
4. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current City Standards concurrent with on-site development activities. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
5. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the Las Vegas Wash – Decatur Boulevard (Centennial Parkway to Farm Road) project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer.
6. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings, or the submittal of a map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct

NG

ZON-18643 - Conditions Page Two
January 25, 2007 - Planning Commission Meeting

such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first, if allowed by the City Engineer.

7. A minimum of two lanes of asphalt pavement on the major access street adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

ZON-18643 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Rezoning from R-E (Residence Estates) to R-3 (Medium Density Residential) on 9.39 acres at the southwest corner of North Decatur Boulevard and Deer Springs Way.

The proposed rezoning is considered appropriate for this location. The subject property was previously designated M (Medium Density Residential) through GPA-12847). This rezoning would bring the site into compliance with that land use designation. The proposed project associated with the rezoning is an assisted living apartment complex. The property is located on at a major intersection and development of this density and intensity is suitable for this location. Approval of this project is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/07/06	The City Council approved a General Plan Amendment (GPA-12847) to amend a portion of the Centennial Hills Sector Plan from ML (Medium-Low Density Residential) to M (Medium Density Residential) at this location. The Planning Commission and staff recommended approval.
01/25/06	Companion items for a Rezoning (ZON-18643) to an R-3 (Medium Density Residential) District and a Special Use Permit (SUP-19004) to allow a building height of three stories and 39 feet will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this site.	
<i>Pre-Application Meeting</i>	
12/05/06	A pre-application meeting was held. Parking, landscaping, and residential adjacency requirements were noted. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this portion of the proposed project. It is noted that a neighborhood meeting was held on 04/18/06 at Lied Community School, 5340 Tropical Parkway. Details from this meeting are included in the staff report for General Plan Amendment (GPA-12847).	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	9.45
Net Acres	9.39

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ZON-18643 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	M (Medium Density Residential)	R-E (Residence Estates)
North	Single-family residential	ML (Medium Low Density Residential)	R-1 (Single-family Residential) R-PD6 (Residential Planned Development – 6 Units Per Acre)
South	Undeveloped	M (Medium Density Residential)	R-E (Residence Estates)
East	Multi-family residential	City of North Las Vegas	City of North Las Vegas
West	Undeveloped	ML (Medium-Low Density Residential) Pf (Public Facilities)	R-E (Residence Estates) C-V (Civic)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	N/A
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance	X		Y

DEVELOPMENT STANDARDS

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
R-E (Residence Estates)	2 Units Per Acre	18 Units
<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
R-3 (Medium Density Residential)	25.49 Units per Acre	239 Units
<i>General Plan</i>	<i>Permitted Density</i>	<i>Units Allowed</i>
M (Medium Density Residential)	25.49 Units Per Acre	239 Units

ZON-18643 - Staff Report Page Three
January 25, 2007 - Planning Commission Meeting

ANALYSIS

The applicant is requesting a change from an R-E (Residence Estates) District to an R-3 (Medium Density Residential) District. The proposed change would bring the site into conformance with the current General Plan Designation of M (Medium Density Residential) that was established through General Plan Amendment (GPA-12847).

The zoning change would permit overall density of 25.49 units per acre or in this case 239 units. The applicant is proposing to develop this project in phases. The first phase includes 90 units. Once fully developed the project shall not exceed 239 units or new Rezoning and General Plan Amendment requests would be required. The property is located on at a major intersection and development of this density and intensity is suitable for this location. The adjacent parcel to the west has also been designated by the Department of Public Works for future civic development. The proposed change in zoning is deemed appropriate and approval of this request is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The proposed rezoning is in conformance to the General Plan. The current General Plan Designation is M (Medium Density Residential) and was established through General Plan Amendment (GPA-12847).

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

The proposed use as an Assisted Living Apartment Complex is considered appropriate for this location. Development in the immediate vicinity is both residential and commercial. The adjacent residential development carries a ML (Medium Low Density Residential) land use designation.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

Growth and development factors in the community do indicate the appropriateness of this rezoning. The General Plan was previously changed to a more intensive land use designation. The proposed rezoning brings the site into compliance with that land use designation.

ZON-18643 - Staff Report Page Four
January 25, 2007 - Planning Commission Meeting

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

The site will gain access from Decatur Boulevard a 120-foot Parkway Arterial and Deer Springs Way an 80-foot Secondary Collector. These streets will provide adequate access to and from the subject property.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT 9

SENATE DISTRICT 3

NOTICES MAILED 490 [Mailed with SUP-19004 & SDR-18642]

APPROVALS 0

PROTESTS 0



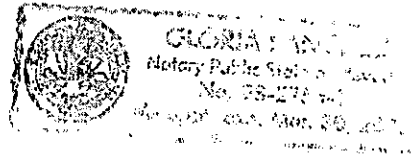
Case Number: **ZON-18643** APN: 125-24-701-031 + 038
Name of Property Owner: City of Las Vegas
Name of Applicant: Nevada HAND
Name of Representative: Nevada HAND

 Yes No

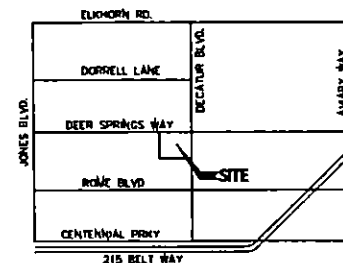
APN: _____

Print Name: Steven Harris

Glenn Bunch
Notary Public in and for said County and State



FOR
NEVADA HAND



VICINITY MAP

TABULATION

ASSISTED LIVING	
CURRENT ZONING	R-E
PROPOSED ZONING	R-3
ACREAGE	11.24 AC ±

11.24 AC±

RECEIVED
DEC 29 2006

**SITE PLAN TO ACCOMPANY ZONE CHANGE OF
DEER SPRINGS
ASSISTED LIVING
FOR
NEVADA HAND**

SHEET NUMBER
 1
 OF 1 SHEETS
 613-002-022

ZON-18643 SDR-18642
REVISED 01/25/07 PC

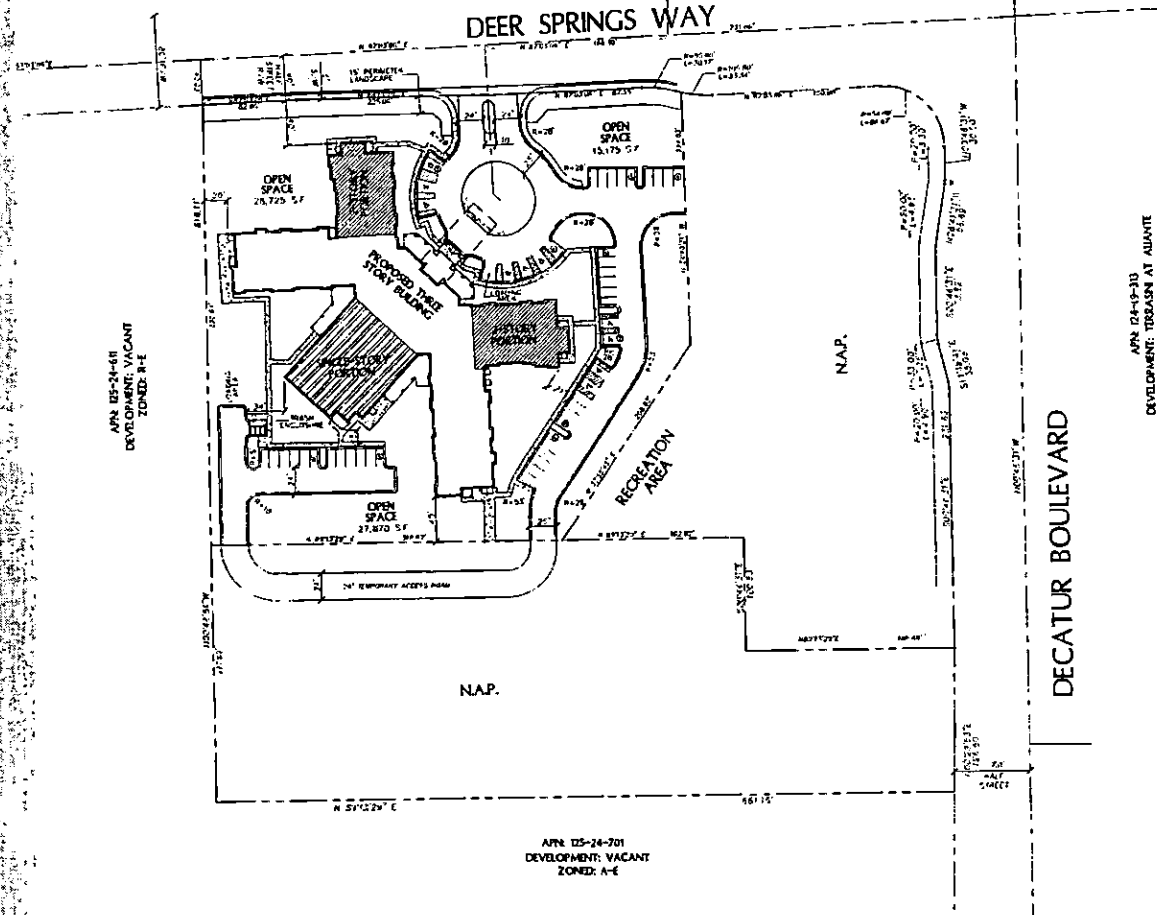
DEER SPRINGS ASSISTED LIVING FOR NEVADA HAND

APN 125-24-611
DEVELOPMENT: PARADISE MEADOWS ENCORE
ZONED: R-1

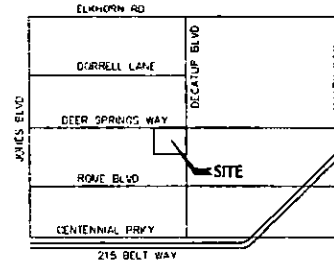
APN 125-24-612
DEVELOPMENT: DORRELL SQUARE
ZONED: R-PDS

APN 125-24-611
DEVELOPMENT: VACANT
ZONED: R-E

APN 125-24-701
DEVELOPMENT: VACANT
ZONED: A-E



GRAPHIC SCALE



VICINITY MAP

TABULATION:

ASSISTED LIVING:

CURRENT ZONING	R-E
PROPOSED ZONING	R-3
ACREAGE	10.42
# OF BUILDINGS	90
# OF UNITS	220
G.U.A.	22.0

OPEN SPACE CALCS:	
REQUIRED OPEN SPACE	64,830 SF
220 X 165 X 36.5	
PROVIDED OPEN SPACE	71,770 SF

PARKING CALCS:	
REQUIRED PARKING: (1 PER EVERY 3 RESIDENT)	30 P.S.
MANAGED PARKING REQUIRED	8 P.S.
PROVIDED PARKING	37 P.S.
MANAGED PARKING PROVIDED	10 P.S.
	47 P.S.

RECEIVED
DEC 29 2006

ZON-18643 SDR-18642
REVISED 01/25/07 PC

REVISION	DATE	BY	CHKD BY
1	12/29/06	W. NELSON	W. NELSON

L. R. NELSON CONSULTING ENGINEERS, INC.
605 West Pahr Road, Suite 100
Las Vegas, Nevada 89115
(702) 498-1928
(702) 498-2286 FAX

SITE PLAN TO ACCOMPANY DEVELOPMENT PLAN REVIEW OF
DEER SPRINGS ASSISTED LIVING
FOR
NEVADA HAND
CITY OF LAS VEGAS NEVADA

SHEET NUMBER
1
OF 1 SHEETS
R13-002-082

Nevada H.A.N.D., Inc.

HOUSING AND NEIGHBORHOOD DEVELOPMENT

295 E. Warm Springs Road, Suite 101 • Las Vegas, NV 89119
Office (702) 739-3345 Fax (702) 739-3305

December 8, 2006

City of Las Vegas
Planning Department
731 S. 4th Street
Las Vegas, NV 89101

RE: Justification Letter
Site Plan Review
Deer Springs Assisted Living
Deer Springs and Decatur
APN: 125-24-701-038 and 031

To Whom It May Concern:

We are pleased to announce a new Senior Assisted Living development known as Deer Springs Assisted Living, located on the southwest corner of Deer Springs Way and Decatur Boulevard. This community encompasses 4.10 acres and provides 90 one-bedroom and two-bedroom units that are affordable assisted living. The building has incorporated differing roof heights and types along with façade changes that deemphasize the size of the structure. This community will greatly benefit the City of Las Vegas and its growing low-income Senior population along with being a great fit for the area.

We feel this community will be a shining example for senior housing communities in the City of Las Vegas and will not detrimentally impact the health safety or welfare of the surrounding area.

Enclosed in this package is:

Site Development Review Application
Patent that will serve as the Deed to the subject property
Fee of \$800
Statement of Financial Interest
Site Plan
Landscape Plan
Building Elevations
Floor Plans

RECEIVED
DEC 08 2006

If you need any further assistance, please contact me at (702) 739-3345 ext. 243. ~~Thank you.~~

Sincerely,



Jacques Zussman
Real Estate Development Manager

ZON-18643
01/25/07 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: JANUARY 25, 2007

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-19004 - SPECIAL USE PERMIT RELATED TO ZON-18643 - PUBLIC HEARING
- APPLICANT: NEVADA HAND - OWNER: CITY OF LAS VEGAS - Request for a Special Use Permit FOR A PROPOSED 90-UNIT, THREE-STORY AND 39 FOOT HIGH ASSISTED LIVING APARTMENT COMPLEX at the southwest corner of North Decatur Boulevard and Deer Springs Way (APN 125-24-701-040), R-E (Residence Estates) Zone [PROPOSED: R-3 (Medium Density Residential) Zone, Ward 6 (Ross)].

C.C.: 02/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

3

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions – **UNANIMOUS** with **TRUESDELL** abstaining because he is in negotiations with a client about property within the notice area

To be heard by the City Council on 2/21/2007

MINUTES:

See Item 45 for related discussion.

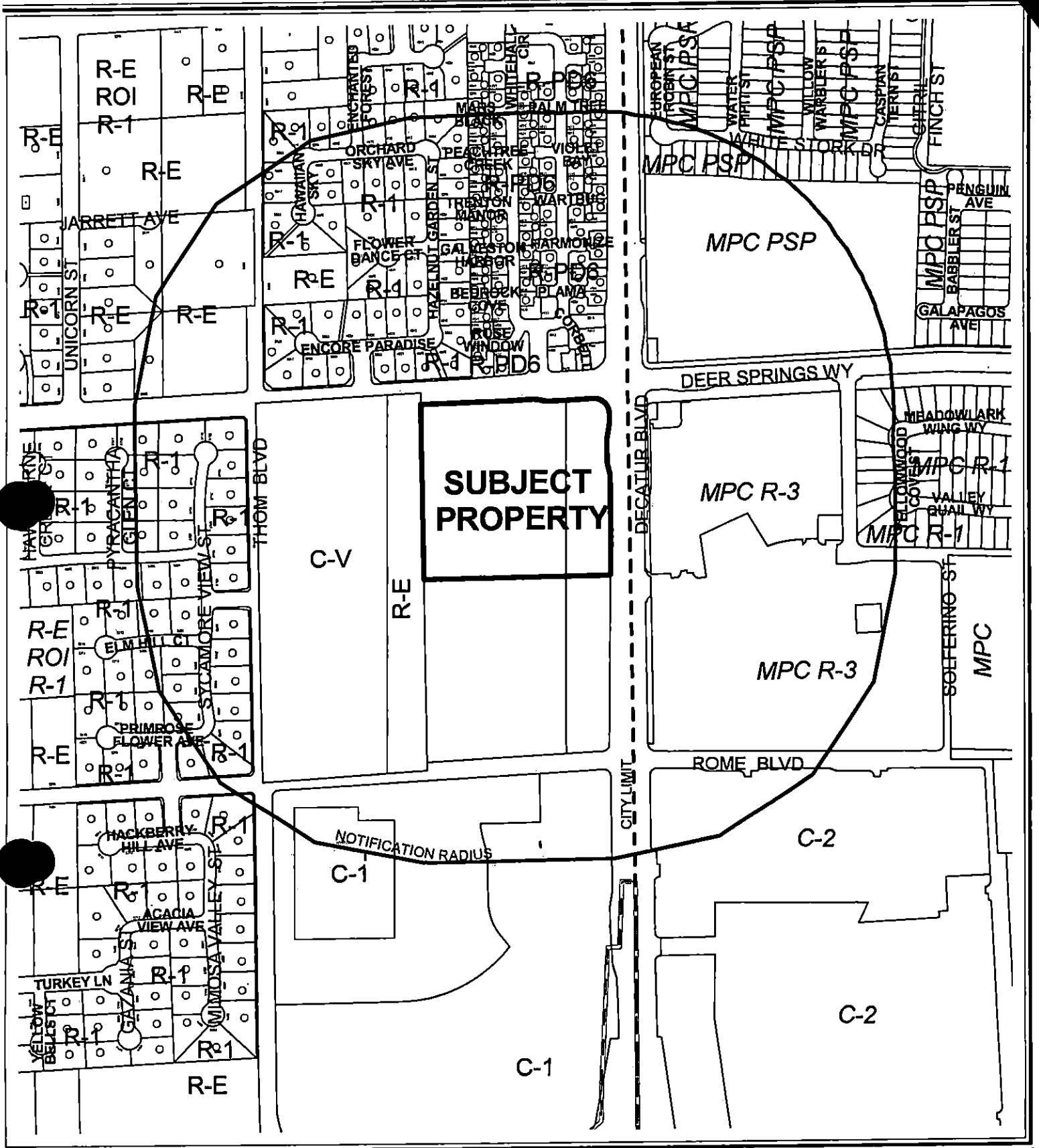
(7:33 – 7:45)

PLANNING COMMISSION MEETING OF JANUARY 25, 2007
Department of Planning and Development
Item 46 – SUP-19004

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18643) and Site Development Plan Review (SDR-18642) if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



CASE: SUP-19004

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

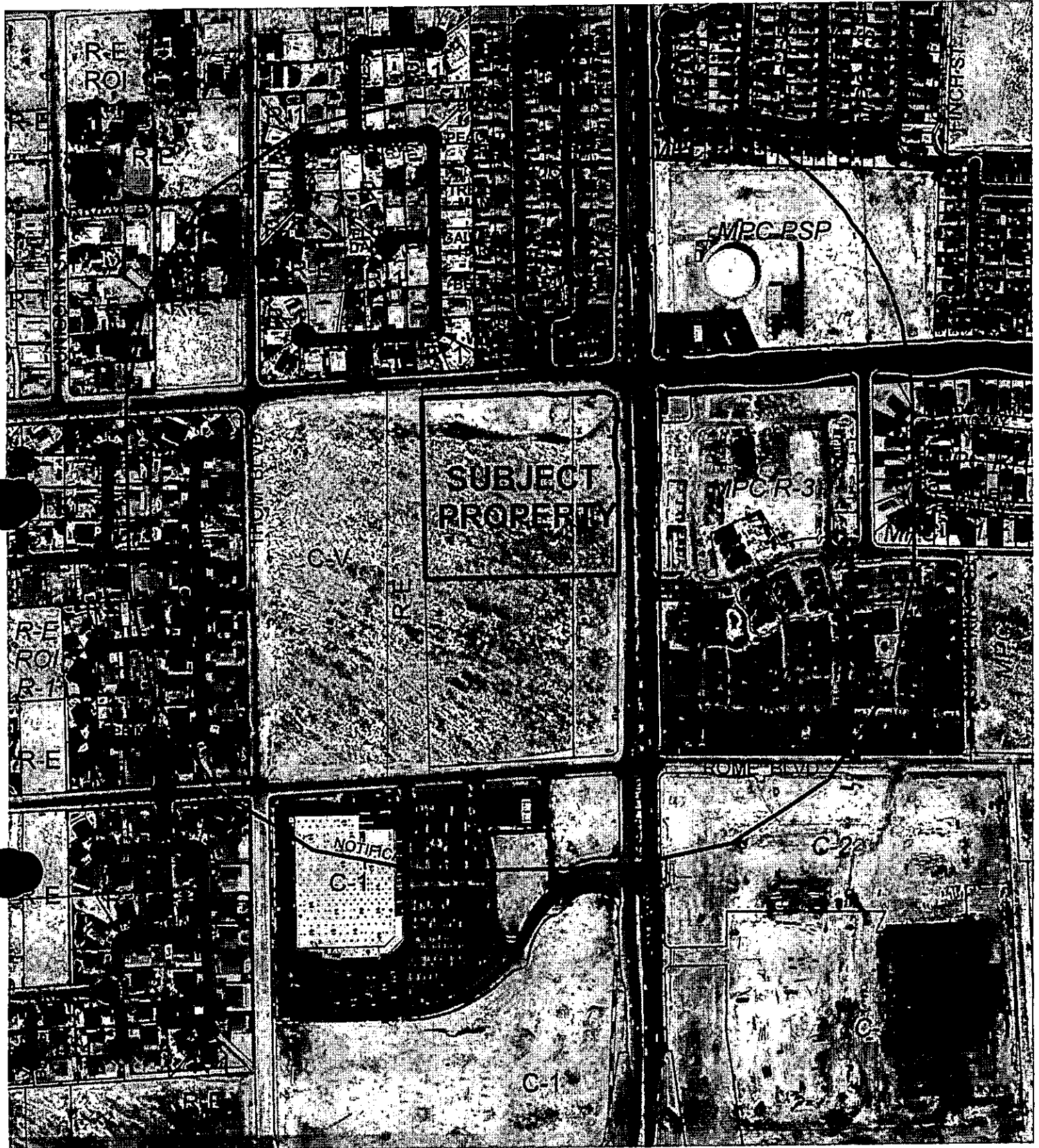
R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-3 (MEDIUM DENSITY RESIDENTIAL)

0 300 600 Feet





CASE: **SUP-19004**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-3 (MEDIUM DENSITY RESIDENTIAL)

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: JANUARY 25, 2007

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-19004 - APPLICANT: NEVADA HAND, INC. - OWNER:
CITY OF LAS VEGAS

**** CONDITIONS ****

STAFF RECOMMENDATION: **APPROVAL**, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-18643) and Site Development Plan Review (SDR-18642) if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-19004 - Staff Report Page One
January 25, 2007 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Special Use Permit for a proposed 90-unit, three-story and 39 foot high assisted living apartment complex at the southwest corner of North Decatur Boulevard and Deer Springs Way.

In the R-3 (Medium Density Residential) District Senior Citizen apartment developments are permitted to exceed the standard height limit to a total of three stories or 40 feet, whichever is less, with approval of a Special Use Permit. The overall increase from the standard height allowed is approximately nine percent. Due to the minor increase in overall height and limited effect on surrounding properties, approval of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/07/06	The City Council approved a General Plan Amendment to amend a portion of the Centennial Hills Sector Plan from ML (Medium-Low Density Residential) to M (Medium Density Residential) at this location. The Planning Commission and staff recommended approval.
01/25/06	Companion items for a Rezoning (ZON-18643) to an R-3 (Medium Density Residential) District and a Special Use Permit (SUP-19004) to allow a building height of three stories and 39 feet will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this site.	
<i>Pre-Application Meeting</i>	
12/05/06	A pre-application meeting was held. Parking, landscaping, and residential adjacency requirements were noted. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this portion of the proposed project. It is noted that a neighborhood meeting was held on 04/18/06 at Lied Community School, 5340 Tropical Parkway. Details from this meeting are included in the staff report for General Plan Amendment (GPA-12847).	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	9.45
Net Acres	9.39

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SUP-19004 - Staff Report Page Two
January 25, 2007 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	M (Medium Density Residential)	R-E (Residence Estates)
North	Single-family residential	ML (Medium Low Density Residential)	R-1 (Single-family Residential) R-PD6 (Residential Planned Development – 6 Units Per Acre)
South	Undeveloped	M (Medium Density Residential)	R-E (Residence Estates)
East	Multi-family residential	City of North Las Vegas	City of North Las Vegas
West	Undeveloped	ML (Medium-Low Density Residential) Pf (Public Facilities)	R-E (Residence Estates) C-V (Civic)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	N/A
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance	X		Y

DEVELOPMENT STANDARDS

Per Title 19.08:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	6,500 SF	408,925 SF	Y
Min. Setbacks			
• Front	20 Feet	328 Feet	Y
• Side	5 Feet	265 Feet	Y
• Corner	5 Feet	40 Feet	Y
• Rear	20 Feet	20 Feet	Y
Min. Distance Between Buildings	10 Feet	20 Feet	Y
Max. Building Height	2 Stories/35 Feet	3 Stories/38.5 Feet*	Y
Trash Enclosure	Yes	Yes	Y
Mech. Equipment	Screened	Screened	Y

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* Per Title 19.08.040 in the R-3 (Medium Density Residential) District the height limit for senior citizen apartment developments shall be three stories or forty feet, whichever is less, upon approval of a Site Development Plan in accordance with Section 19.18.050. Senior citizen apartment developments that exceed the permitted height limit may be permitted upon approval of a Special Use Permit in accordance with Sections 19.04.050 and 19.18.060.

ANALYSIS

The standard permissible building height in the proposed R-3 (Medium Density Residential) is two stories or 35 feet, whichever is less. However; per Title 19.08.040 in the R-3 District the height limit for senior citizen apartment developments shall be three stories or forty feet, whichever is less, upon approval of a Site Development Plan in accordance with Section 19.18.050. Senior citizen apartment developments that exceed the permitted height limit may be permitted upon approval of a Special Use Permit in accordance with Sections 19.04.050 and 19.18.060. This Special Use Permit is intended to satisfy this requirement.

The proposed building height is three stories and 38.5 feet. This is approximately a nine percent (9%) increase from the typical standard height in the R-3 (Medium Density Residential) District. The nearest single-family residential property is to the north across Deer Springs Way over 100 feet from the proposed structure. Due to the minor increase in overall height and limited effect on surrounding properties, approval of this request is recommended

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed use as an Assisted Living Apartment Complex is considered appropriate for this location. Development in the immediate vicinity is both residential and commercial. The adjacent residential development carries a ML (Medium Low Density Residential) land use designation. The adjacent parcel to the west has also been designated by the Department of Public Works for future civic development.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The subject site is physically suitable for the type and intensity of land use proposed.

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January 25, 2007 - Planning Commission Meeting

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

The site will gain access from Decatur Boulevard a 120-foot Parkway Arterial and Deer Springs Way an 80-foot Secondary Collector. These streets will provide adequate access to and from the subject property.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

Approval of this Special Use Permit is consistent with the objectives of the General Plan and will not compromise the public health or the general welfare.

5. **The use meets all of the applicable conditions per Title 19.04.**

There are no special conditions related to this Special Use Permit.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT 9

SENATE DISTRICT 3

NOTICES MAILED 490 [Mailed with ZON-18643 & SDR-18642]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-19004** APN: 125-24-701-040

Name of Property Owner: City of Las Vegas

Name of Applicant: Nevada H.A.N.O., Inc.

Name of Representative: Nevada H.A.N.O., Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

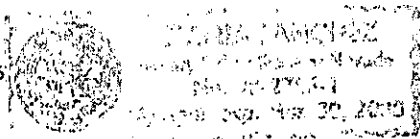
Signature of Property Owner: _____

Print Name: LISA M. MORRIS

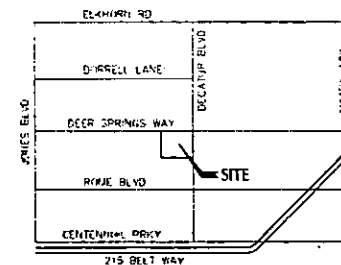
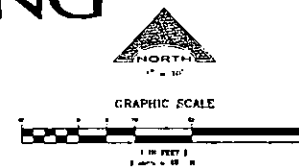
Subscribed and sworn before me

This 28 day of December, 2006

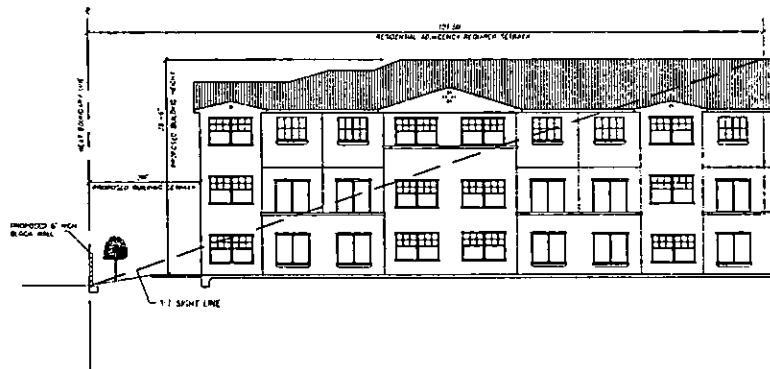
Blanca Sanchez
Notary Public in and for said County and State



DEER SPRINGS ASSISTED LIVING FOR NEVADA HAND



VICINITY MAP



RESIDENTIAL ADJACENCY SIGHT EXHIBIT

TABULATION:

ASSISTED LIVING	
CURRENT ZONING	R-E
PROPOSED ZONING	R-1
ACREAGE	4.10 A.C.
# OF BUILDINGS	1
# OF UNITS	95
SU A	24.9

RECEIVED
DEC 29 2006

SUP-19004

01/25/07 PC

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NO.	DATE	DESCRIPTION	BY	CHKD.

L. R. NELSON CONSULTING ENGINEERS, INC.
5712 West Pahrump Pkwy, Suite 100
Las Vegas, NV 89118
Tel: (702) 798-7979
Fax: (702) 451-2288

BUILDING SIGHT EXHIBIT IS A REQUIRED SUBMITTAL OF
DEER SPRINGS ASSISTED LIVING
FOR
NEVADA HAND
OFF. OF LAS VEGAS

PROJECT NUMBER
1
IF 10 SHEETS
SHEET 1 OF 1

Nevada H.A.N.D., Inc.
HOUSING AND NEIGHBORHOOD DEVELOPMENT
295 E. Warm Springs Road, Suite 101 • Las Vegas, NV 89119
Office (702) 739-3345 Fax (702) 739-3305

December 27, 2006

City of Las Vegas
Planning Department
731 S. 4th Street
Las Vegas, NV 89101

RE: Justification Letter / Special Use Permit
Deer Springs Assisted Living
APN: 125-24-701-040

To Whom It May Concern:

Please allow this correspondence to accompany our justification letter previously submitted where we requested a Site Development Review.

At a City Council meeting of June 7, 2006, a General Plan Amendment (GPA- 12847) was approved for the above mentioned parcel to change the master plan from ML (Medium Low Density Residential) to M (Medium Density Residential) on 18.62 acres at the northwest corner of Rome Boulevard and Decatur Boulevard for a Senior Living use.

We are requesting a Special Use Permit to accompany our SDR and Re-Zone (previously submitted). The Special Use Permit would allow us to build 90 units of assisted living in a three story building, which would conform to the standards in Section 19.08, Table 2, Note 5, which states that *the height limit for senior citizen apartment developments shall be three stories or forty feet, which ever is less, upon approval of a Site Development Plan.*

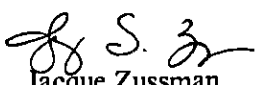
As an affordable housing development, we would also like to request a waiver of Residential Adjacency per Section 19.08.060, B. Building Height and Setback Requirements, 5. Waiver, a), which states that the City Council may waive residential adjacency standards on *any multi-family residential project that is intended to meet the affordable housing objectives of the General Plan if the City County determines that the waiver is critical to the viability of the project.*

Attached please find:

- Application
- Patent
- Fee in the amount of \$800
- Assessors Parcel Map
- Statement of Financial Interest

If you need any further assistance, please contact me at (702) 739-3345 ext. 243. Thank you.

Sincerely,



Jacque Zussman
Real Estate Development Manager

SUP-19004
01/25/07 PC

1 2 2006