

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - SDR-16180 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-16179, VAR-16181, AND VAR-17191 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Site Development Plan Review FOR A 3,000 SQUARE FOOT COMMERCIAL BUILDING AND A WAIVER OF THE PERIMETER LANDSCAPE REQUIREMENTS on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).

NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS with EVANS and TRUESDELL excused

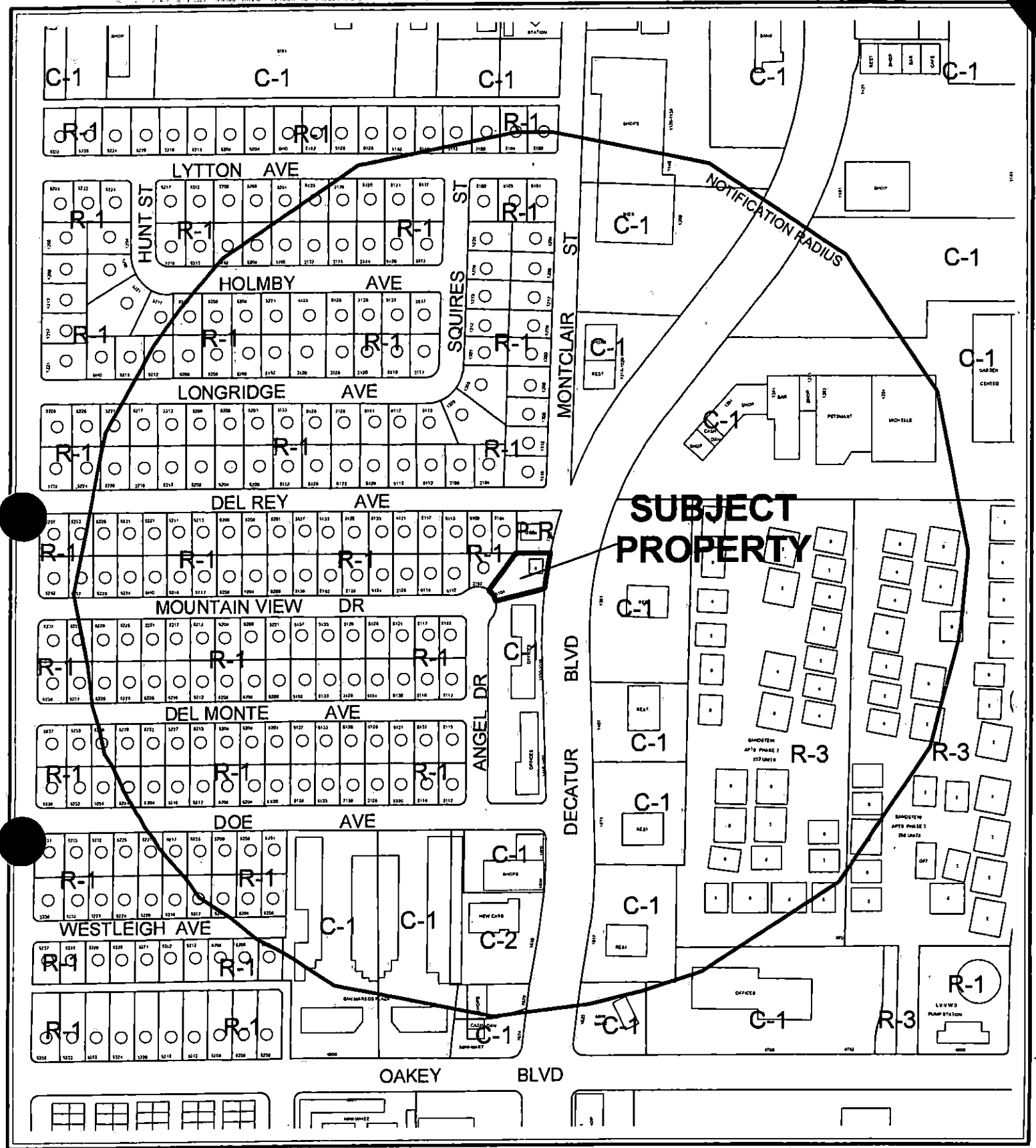
To be forwarded to City Council on 01/17/2007

MINUTES:

See Item 13 [ZON-16179] for all related discussion.

(6:43 – 7:00

1-1369



CASE: **SDR-16180**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - SDR-16180 -****APPLICANT/OWNER: YIN YAN & PETER CHUNG**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the conditions for Rezoning (ZON-16179), Variance (VAR-16181) and Variance (VAR-17191) if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, (date stamped 11/20/06) and building elevations (date stamped 08/22/06), except as amended by conditions herein.
4. A Waiver from Title 19.12 is hereby approved, to allow no perimeter landscaping along the south property line where an eight-foot buffer and four trees are required, and to allow five-foot buffers along the north and west property lines where eight feet are required and along the east property line where 15 feet are required.
5. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for building permit, to reflect a maximum building area of 3,000 square feet.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

RL

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8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. Provide a copy of a recorded Joint Access Agreement between this site and the adjoining parcel to the south prior to the issuance of any permits.
15. No permanent structures, such as the proposed sign, shall be constructed within the existing 6-foot Public Sewer Easement along the south side of this lot. The handicap access ramp may be permitted to be within the sewer easement; the applicant/owner shall televise the sewer line prior to any demolition or construction and provide a video tape to the Collection Systems Planning section of the Department of Public Works for review and approval prior to construction. The applicant shall also televise the sewer line after construction is complete and provide a video tape to the Collection Systems Planning section. If the sewer line is damaged in any way from construction all repair work shall be paid for in full by the applicant.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.

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December 21, 2006 - Planning Commission Meeting

17. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. Site development to comply with all applicable conditions of approval for ZON-16179 and all other site-related actions.

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December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application is for a 3,000 square-foot office building with Waivers of Perimeter Landscaping requirements to allow no trees and no landscape buffer along the south property line where 3 trees and a minimum 8-foot buffer is required, to allow a five-foot landscape buffer along the east property line where a 15-foot buffer is required, and to allow a five-foot buffer along a portion of the west property line where an eight-foot buffer is required, on 0.26 acres at 5104 Mountain View Drive. Companion applications include ZON-16179, VAR-16181 and VAR-17191.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/05/06	Planning Commission held in abeyance applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of 12 feet where 50 feet is required and a Site Development Plan Review (SDR-16180) for a 3,060 square-foot office building on the subject site.
11/02/06	Planning Commission held in abeyance concurrent applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of 6 feet where 50 feet is required and a rear yard setback of 15 feet where 20 feet is required on the subject site, and a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required, and a Site Development Plan Review (SDR-16180) for a 3,060 square-foot office building on the subject site. Staff recommended denial on all applications.
11/16/06	Planning Commission held in abeyance concurrent applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of 6 feet where 50 feet is required and a rear yard setback of 15 feet where 20 feet is required on the subject site, and a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required, and a Site Development Plan Review (SDR-16180) for a 3,060 square-foot office building on the subject site. Staff recommended denial on all applications.

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12/21/06	Planning Commission will consider concurrent applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of 6 feet where 50 feet is required and front and rear yard setbacks of 15 feet where 20 feet is required on the subject site, and a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required on the subject site. Staff recommends denial on all applications.
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Pre-Application Meeting

08/04/06	At a Pre-application meeting, the applicant was informed that the proposed office development will require a Rezoning, a Site Development Plan Review, and a Variance for residential adjacency for a trash enclosure.
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Neighborhood Meeting

	A Neighborhood Meeting is not required for this application, nor was one held.
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Details of Application Request

Site Area

Gross Acres	0.26		
Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Duplex	SC (Service Commercial)	R-3 (Medium Density Residential)
North	Office	SC (Service Commercial)	SC (Service Commercial)
South	Office	SC (Service Commercial)	C-1 (Limited Commercial)
East	Service Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	N/A
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		Y
A-O Airport Overlay District – 200 -foot Buffer	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A

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December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Standard		Required/Allowed	Provided	Compliance		
Min. Lot Size		NA	0.26 Acres	Y		
Min. Lot Width		100	87.77	N*		
Min. Setbacks						
• Front		20 Feet	15 Feet	N**		
• Side		10 Feet	10 Feet	Y		
• Corner		15 Feet	NA	NA		
• Rear		20 Feet	15 Feet	N**		
Max. Lot Coverage		50%	27%	Y		
Max. Building Height		2 Stories 35 Feet	1 Story 25 Feet including Parapet	Y		
Trash Enclosure		50 Feet	6 Feet	N**		
Mech. Equipment		Screened	Yes	Y		
Residential Adjacency Standards		Required/Allowed	Provided	Compliance		
3:1 proximity slope		56.25 Feet	77.25 Feet	N**		
Adjacent development matching setback		15 Feet	15 Feet	Y		
Trash Enclosure		50 Feet	6 Feet	N**		
Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-3	13-25 2 d/u on the subject site	6 2 d/u on the subject site	C-1	0	SC	0
Landscaping and Open Space Standards						
Standards		Required		Provided	Compliance	
		Ratio	Trees			
Parking Area		1 Tree/6 Spaces		1 Tree	Y	
Buffer:						
Min. Trees		1 Tree/20 Linear Feet		17 Trees	14 Trees N	
TOTAL				18 Trees	15 Trees N	
Min. Zone Width						
• East		15 Feet		5 Feet	N	
• Others		8 Feet		5 Feet	N	
Wall Height		6-8 Feet		Not Shown		

* Addressed in companion Variance (VAR-17191)

** Addressed in companion Variance (VAR-16181)

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Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	3,000 SF	1/300 SF	9	1	9	1	Y
TOTAL			10		10		Y

Waivers		
Request	Requirement	Staff Recommendation
No Landscaping Buffer along south property line	8 -foot Buffer	Denial
5-foot Buffer along a 41-foot portion of the 110-foot west property lines	8 -foot Buffer	Denial
5-foot Buffer along a east property line	15 -foot Buffer	Denial

ANALYSIS

- Zoning

The proposed C-1 (Limited Commercial) zone that the applicant requests for the subject site in the related Rezoning (ZON-16179) will conform to the General Plan Designation of SC (Service Commercial), but the subject site is 87 feet wide where 100 feet is the minimum lot width required in the C-1 zone. This deficiency requires a Variance (VAR-17191) which accompanies this application. The site is currently located in the R-3 (Medium Density Residential) zone, which is non-conforming to the General Plan Designation of SC (Service Commercial). Because the subject site does not meet the minimum lot width requirements and because the applicant proposes to overbuild this site, staff is recommending denial on the requested Rezoning.

- Site Plan

The applicant is proposing to build a 3,000 square-foot office building on the subject site fronting Decatur Boulevard. Currently, the residential structure fronts the corner of Mountain View Drive and Angel Drive. Access to the property will be provided through a shared access agreement for an existing driveway on the parcel directly south of the subject site on Decatur Boulevard. The minimum 10 required parking spaces are provided. Four spaces, including the required van accessible space back directly onto the shared access drive on the adjoining parcel. The remaining six spaces and the trash enclosure are provided in a small parking lot to the rear of the building, also accessed via the shared driveway.

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The site plan shows the building to be set back 15 feet from both the front and rear property line where 20 feet is the minimum setback required. In addition, a trash enclosure is sited six feet from the rear property line which abuts a residential lot where a 50 residential adjacency setback is required for a trash enclosure. These deficiencies require a Variance (VAR-16181), which accompanies the subject Site Development Plan Review. The applicant is requesting waivers as a part of this project, including perimeter and parking lot landscape requirements.

- **Waivers**

This application requires waivers for perimeter landscaping. Specifically, the waivers are requested to allow no perimeter landscaping along the south property line where eight 24-inch box trees are required 20 feet apart on center in an eight-foot landscape buffer and to allow a five-foot landscape buffer along 41 feet of the 110-foot long west property line where an eight-foot landscape buffer is required. The required eight-foot buffer is provided along the remaining 69 feet of the property, and all six trees required along the west property line are provided every 20 feet. A waiver is also requested to allow 5 Trees in a five-foot landscape buffer along Decatur Boulevard where 5 Trees in a 15-foot landscape buffer is required.

- **Landscaping**

The proposed project indicates one parking lot tree where one is required. There are seven Modesto Ash trees and nine Southern Live Oaks provided to meet the required 24-inch box trees accompanied by 44 red yucca shrubs and 42 sea green junipers to meet the five-gallon shrub requirements. A waiver is requested to allow no landscaping along the southern property line and a reduction of the width of a portion of the buffer along the west property line to allow parking. The north and east property line buffers provide a 24-inch box tree every 20 feet on center where only one tree every 30 feet on center is required, but the buffer width on the east property line is only five feet wide where 15 feet is the minimum buffer width required, necessitating an additional waiver.

- **Elevation**

The elevation plan depicts a single 3,000 square-foot building fronting Decatur Boulevard to the east and extending 52 feet westerly to the rear property line, closest to the existing residential parcel immediately to the west of the subject site. The front (east elevation) of the building consists of aluminum storefront fixtures with insulated glass, typical of this type of development. The aluminum storefront structure is nine feet and eight inches high. The primary façade is of brown stucco with tan and violet accents. The north and south elevations, the sides of the building, show the continuation of the aluminum storefront for the easterly third with a continuation of the stucco pattern for the remainder of the walls. The west (rear) elevation shows a stucco façade with three exit

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December 21, 2006 - Planning Commission Meeting

doors spaced evenly along the wall with a scupper on each side of the middle door, place halfway between the middle door and the outer doors. Most of the building is 15 feet high, although a 25.75-foot parapet in front fails to conform to the residential adjacency proximity slope setback requirements of Title 19.08. The parapet at its maximum height is only 56.25 feet from a residential property where 77.25 feet is required for the residential adjacency proximity slope setback requirements of Title 19.08. This deficiency would require the approval of a Variance (VAR-16181) which accompanies this application.

- **Floor Plan**

The provided floor plan depicts a 3,000 square-foot office building consisting of three equally sized 1,000 square-foot office suites. The floor plan shows three open areas with dimensions of 20 feet by 50 feet.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

While a change from residential to commercial use is consistent with the General Plan designation of SC (Service Commercial) on the subject site, the proposed 3,00 square-foot office building on the oddly shaped site requires waivers and variances in order to comply with Title 19. A smaller building on the subject site would be appropriate and could conform to Title 19 standards.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed site plan is consistent with the General Plan, but is not consistent with Title 19 in meeting landscape and setback requirements.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Access to the site will no longer be from the residential Mountain View Drive. Instead, the site will be accessed by Decatur Boulevard, a 100-Foot Primary Arterial that is adequate to meet the needs of the proposed development.

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4. Building and landscape materials are appropriate for the area and for the City;

Building and landscape materials are appropriate for the area and for the city.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

The 25-foot, nine-inch high building, including the parapet is inconsistent with the design and development standards in Title 19.08 in that it is only 56.75 Feet from the adjacent residential property where 77.25 Feet is required. The proposed development further fails to meet minimum setback and lot width requirements. The landscape buffer waivers which are implemented in order to approve a building larger than is appropriate for the size and shape of the subject site are neither harmonious nor compatible with development in the area.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

The need for numerous waivers indicates that appropriate measures are not taken to secure and protect the public health, safety and general welfare

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

15

ASSEMBLY DISTRICT 3

SENATE DISTRICT 11

NOTICES MAILED 215 [Mailed with ZON-16179, VAR-16181 & VAR-17191]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-16180** APN: 163-01-612-039
Name of Property Owner: Peter Chung & Yin YAN
Name of Applicant: Peter Chung & Yin YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

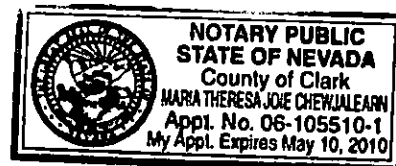
APN: _____

Signature of Property Owner: [Signature]
Print Name: YIN YAN & Peter Chung

Subscribed and sworn before me

This 21 day of August, 2006

[Signature]
Notary Public in and for said County and State



16301612003
R-1

16301612002
R-1

16301612001
P-R

16301612038
R-1

OFFICE BLDG
ADD. 17
16301612038
R-1

TRASH

ANGEL

PROPERTY LINE

128.28'
SHARED ACCESS

16301614056
C-1

PROPERTY LINE

82.84'

50'-3"

10'-0"

20'

20'

20'

20'

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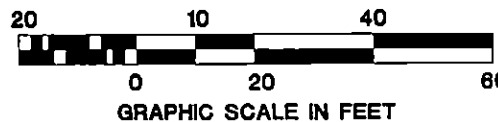
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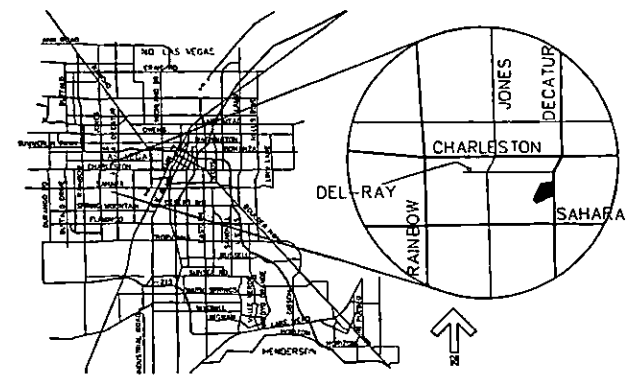
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VICINITY MAP



PROJECT SUMMARY

SITE	PHASE 1	8.55 ACRES (372,412 SQ.FT.)
SITE AREA:	PHASE 1	138-27-802-0D4
PARCEL NUMBERS:	PHASE 1	C-1
CURRENT ZONING:	LIMITED COMMERCIAL	50%
LOT COVERAGE BY BUILDING FOOT PRINT: (APPROX.)	ALLOWABLE	NONE
SETBACKS		
FRONT YARD:		20 FEET
SIDE YARDS:		10 FEET
REAR YARDS:		20 FEET
BUILDING HEIGHT ALLOWED:		
BUILDING OCCUPANCY		
ONE STORY OFFICE		3,000 sq. ft.
MAXIMUM CAPACITY:		30 PEOPLE
PARKING		
TOTAL PARKING REQUIRED		3,000/300 = 10 SPACES
1 SPACE FOR EVERY 300 S.F. (HANDICAP SPACES)		(1 SPACES)
TOTAL PARKING PROVIDED		(10 SPACES)
PARKING SPACES (HANDICAP SPACES)		(1 SPACES)

REVISED
11.20.06

ANGEL OFFICE

RECEIVED
NOV 20 2006

LENDALL MAINS
ARCHITECT
3930 East Pecos Lane
Suite #1
Las Vegas, Nevada 89120
Phone: 702.437.5521
Fax: 702.437.5523

AS-1

ZON-16179 VAR-16181
VAR-17191 SDR-16180
12/21/06 PC REVISED

16301612003
R-1

16301612002
R-1

16301612001
P-R

PROPERTY LINE

82.84'

OFFICE BLDG
3,000 S.F.
16301612038
R-1

16301612038
R-1

TRASH

ANGEL

PROPERTY LINE

128.28'
SHARED ACCESS

16301614056
C-1

PLANT LEGEND

SYMBOL TOTAL SIZE BOTANICAL NAME COMMON NAME

TREES



7

24" BOX

FRAXINUS

MODESTO ASH



9

24" BOX

QUERCUS VIRGINIANA

SOUTHERN LIVE OAK

SHRUBS/ACCENTS



44

5 GAL.

HESPERALOE PARVIFLORA

RED YUCCA



42

5 GAL.

JUNIPERUS CHINENSIS

SEA GREEN JUNIPER

NOTES:

- ALL LANDSCAPING SHALL MEET THE REQUIREMENTS OUTLINED IN THE SITE LANDSCAPING & SCREENING STANDARDS, LAS VEGAS ZONING CODE, TITLE 19.
- ALL PLANTING AREAS SHALL RECEIVE A 2" MINIMUM LAYER OF CRUSHED ROCK.
- ALL PLANTS SHALL BE WATERED BY AN AUTOMATIC DRIP IRRIGATION SYSTEM.
- CONTRACTOR TO LOCATE ALL PLANT MATERIAL RELATIVE TO THE CENTER OF THE PLANT SYMBOL, WHICH IS THE SIZE OF THE MATURE PLANT. THIS CRUCIAL ESPECIALLY ALONG WALKWAY.

PROPERTY

DECATUR
87.77'

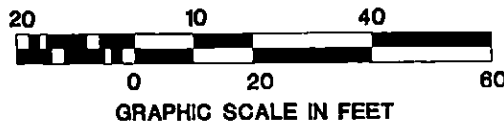
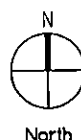
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11.20.06

LANDSCAPE PLAN

ANGEL OFFICE

RECEIVED

NOV 20 2006



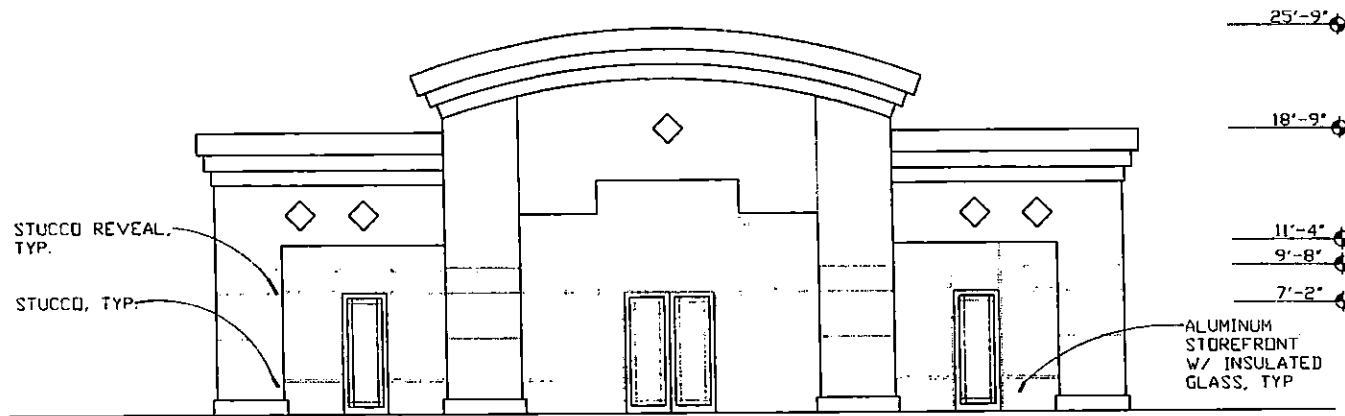
LENDALL MAINS
ARCHITECT
3520 East Pecos Lane
Suite #1
Las Vegas, Nevada 89120
Phone 702-437-9521
Fax 702-437-9599

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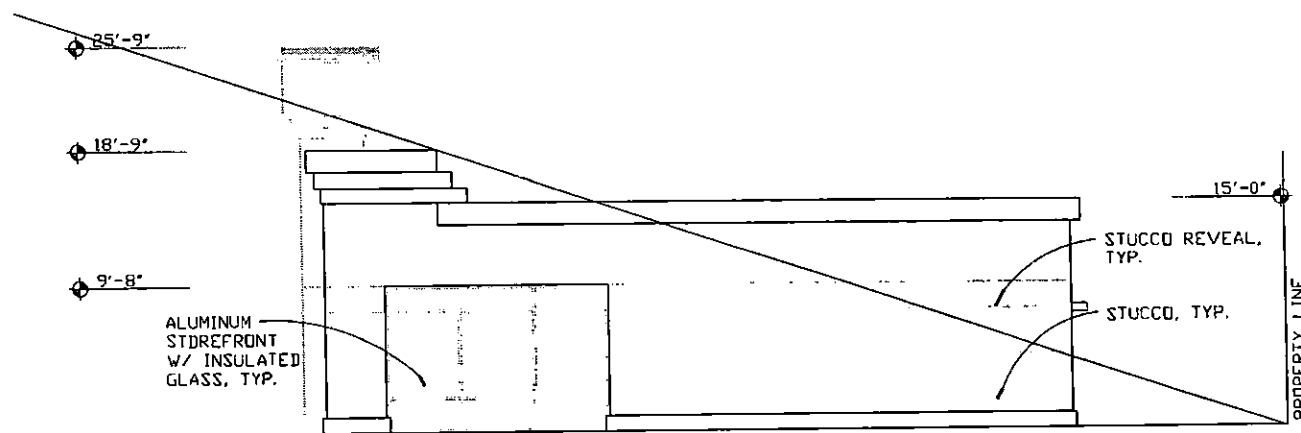
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DATE: 11/13/06

ZON-16179 VAR-16181
VAR-17191 SDR-16180
12/21/06 PC REVISED



B EAST ELEVATION



A NORTH ELEVATION

RECEIVED
AUG 22 2006

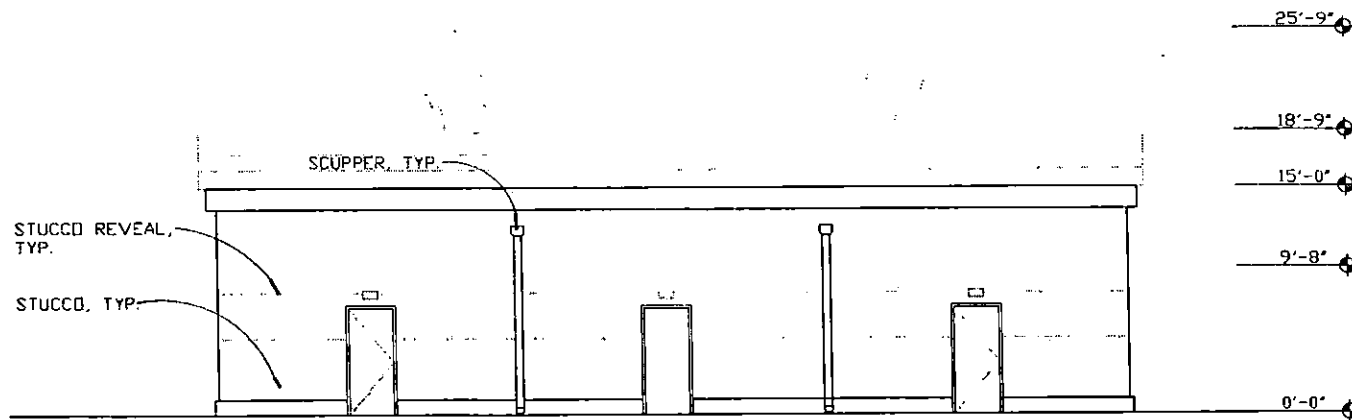
ELEVATIONS
ANGEL OFFICE



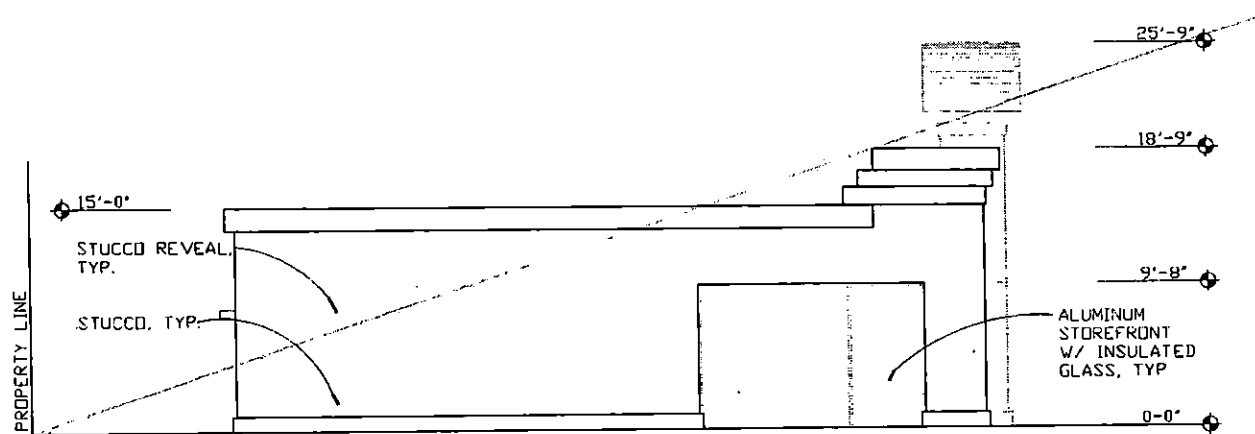
LENDALL MAINS
ARCHITECT
3130 East P Street
Suite #11
Las Vegas, Nevada 89123
Phone: 702.437.5621
Fax: 702.437.5623

SHEET No.
A-2
DATE: 8/21/06

ZON-16179 VAR-1618*
SDR-16180 12/21/06 PC



(B) WEST ELEVATION

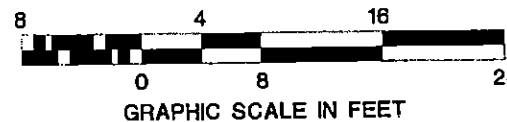


(A) SOUTH ELEVATION

RECEIVED
AUG 22 2006

ELEVATIONS

ANGEL OFFICE

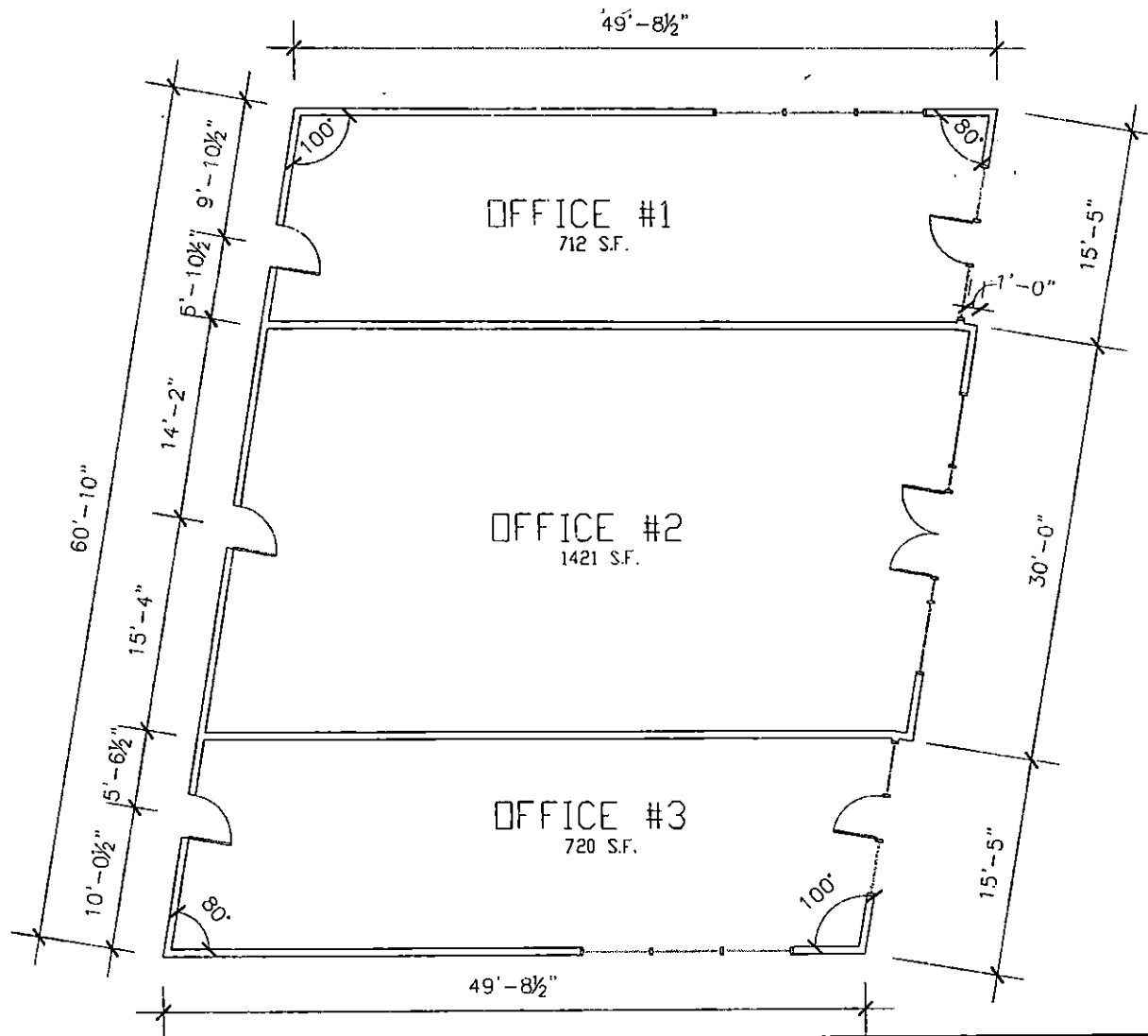


LENDALL MAINS
ARCHITECT
3330 East Patrick Lane
Suite #1
Las Vegas, NV 89120
Phone: 702.437.5571
Fax: 702.437.5572

SHEET No.

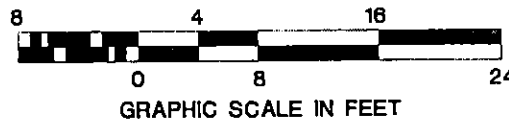
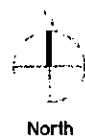
A-3
DATE: 8/21/06

ZON-16179 VAR-1618'
SDR-16180 12/21/06 PC



FLOOR PLAN — 3,086.5 SF.

ANGEL OFFICE



LENDALL MAINS
ARCHITECT
3530 East Patrick Lane
Suite #1
Las Vegas, Nevada 89121
Phone: 702.437.5000
Fax: 702.437.5555

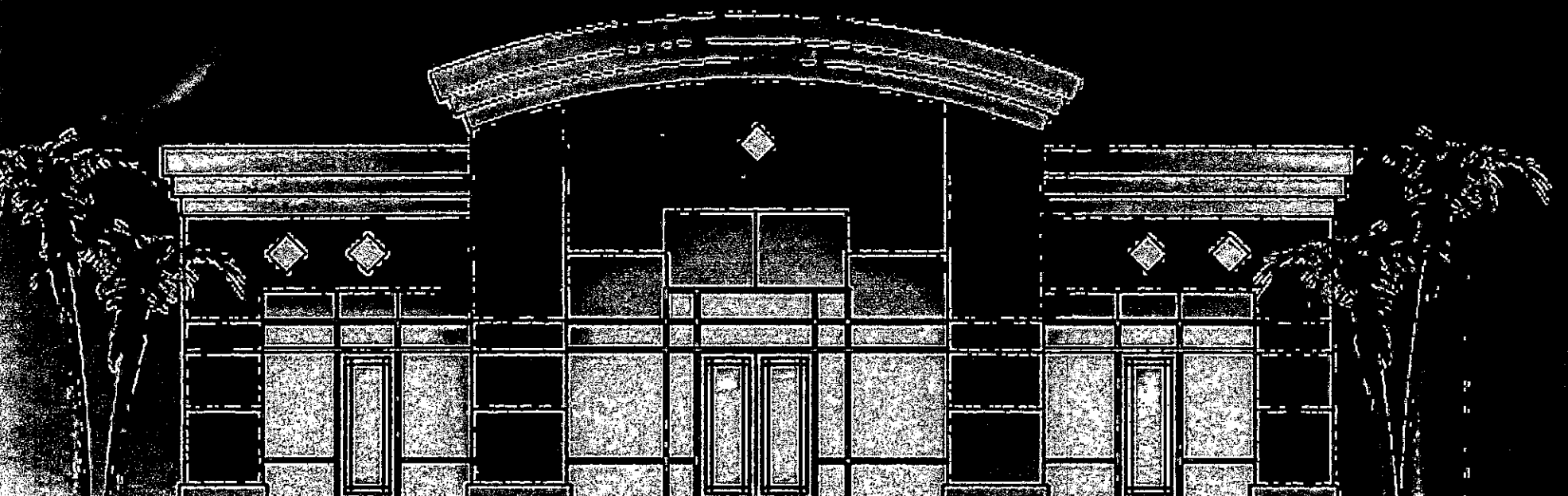
SHEET No.

RECEIVED

DATE: 8/21/06

16 22 2006

ZON-16179 VAR-16181
SDR-16180 12/21/06 PC



ANGEL OFFICES'

RECEIVED

AUG 22 2006

ZON-16179 VAR-16181
SDR-16180-12/21/06 PC

SDR 16180				
Yin Yan & Peter Chung				
1333 Angel Drive				
Proposed 3 thousand square foot office building.				
Traffic produced by proposed development:				
New Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	3	11.01	33
AM Peak Hour			1.55	5
PM Peak Hour			1.49	4
(heaviest 60 minutes)				
Previous Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	1	9.57	10
AM Peak Hour			0.75	1
PM Peak Hour			1.01	1
(heaviest 60 minutes)				
Net Change	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	3		23
AM Peak Hour				4
PM Peak Hour				3
(heaviest 60 minutes)				
Existing traffic on all nearby streets: Counts not available for Angle Drive				
Decatur Boulevard				
Average Daily Traffic (ADT)	47,999			
PM Peak Hour	3840			
(heaviest 60 minutes)				
Charleston Boulevard				
Average Daily Traffic (ADT)	49,083			
PM Peak Hour	3927			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets: Counts not available for Angle Drive				
Adjacent street ADT				

	Capacity			
Decatur Boulevard	51700			
Charleston Boulevard	51700			
This project will add approximately 23 trips per day on Decatur and Charleston. This will increase expected volumes by less than 1 percent on these streets. Decatur is at 93 percent of capacity and Charleston is at about 95 percent of capacity. Counts are not available for Angel, but it is believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 3 additional cars into the area; which works out to about one every twenty minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



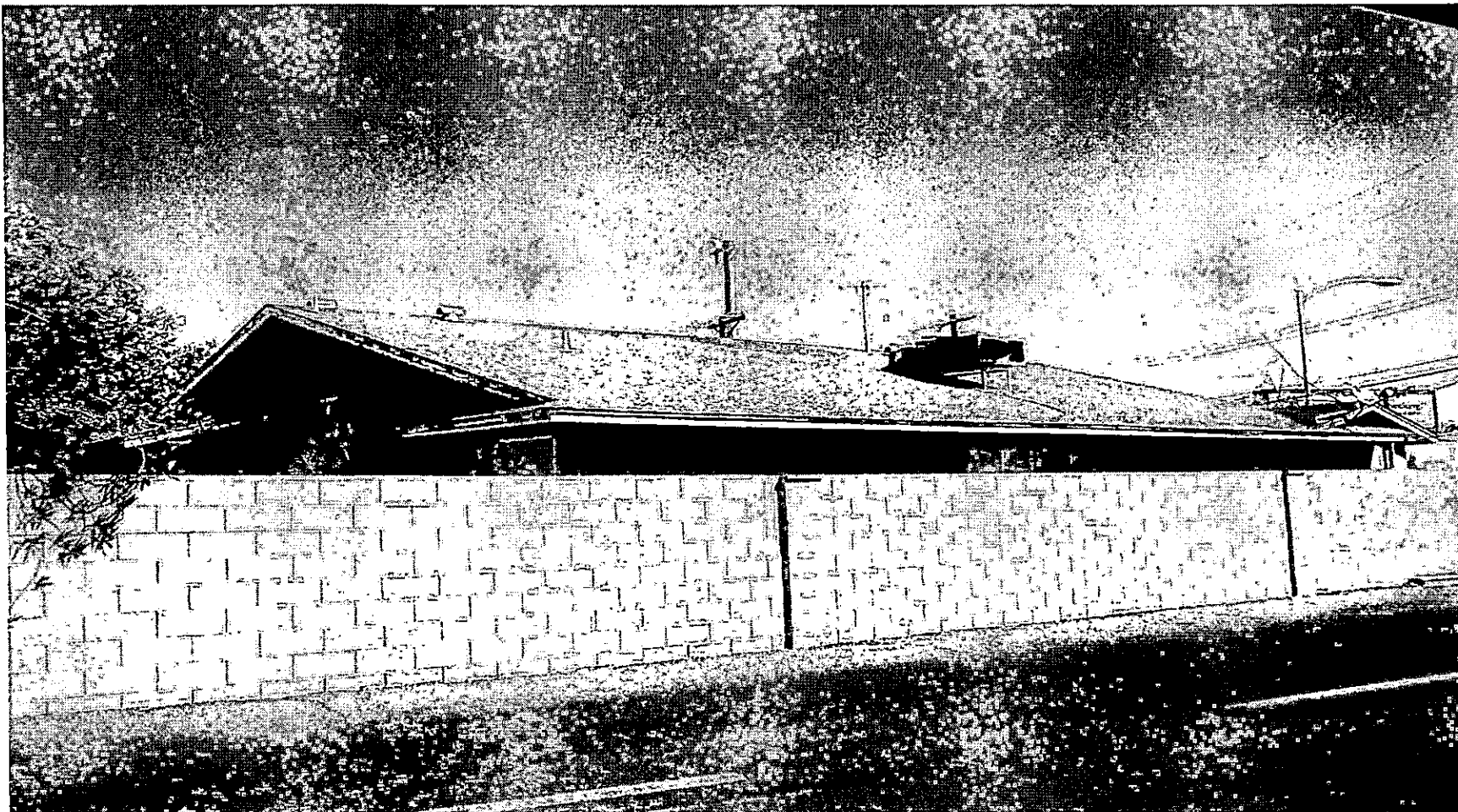
ZON-16179, VAR-16181, VAR-17191 & SDR-16180 - APPLICANT/OWNER: YIN YAN & PETER CHUNG
5104 MOUNTAIN VIEW DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

08/30/06



ZON-16179, VAR-16181, VAR-17191 & SDR-16180 - APPLICANT/OWNER: YIN YAN & PETER CHUNG
5104 MOUNTAIN VIEW DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

08/30/06



ZON-16179, VAR-16181, VAR-17191 & SDR-16180 - APPLICANT/OWNER: YIN YAN & PETER CHUNG
5104 MOUNTAIN VIEW DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

08/30/06

LENDALL MAINS ARCHITECT

August 21, 2004

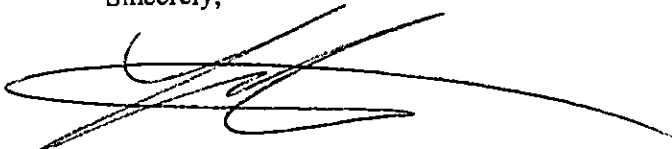
Doug Rankin, Planner
City of Las Vegas
731 S. 4th St.
Las Vegas, NV 89101

RE: 1333 Angel Drive
Request for Zoning Change, Site development, landscape wavers and trash and building variance.

Please accept this letter as justification for re-zoning changes to A.P.No. 163-016-120-38. We are also requesting perimeter landscape and parking landscape wavers and a variance for trash enclosure location and front pediment height at Decatur side of building.

We request that A.P. No. 163-016-120-38 be re-zoned from R-3 to C-1 Commercial which compliments the c-1 zoning to the property directly south that joint access is shared with. We are also changing the entry to the site from Angel Drive which is residential to Decatur Boulevard. We will comply with all C-1 requirements on the parcel except as follows. We are requesting that the following items be approved due to this being a small, odd shaped lot; parking and perimeter landscape will be provided as shown with a waiver for widths; variance to have trash enclosure next to the adjacent C-1 parcel to keep the trash from being back by the adjacent residence; and a height variance for the front center parapet pediment that is along Decatur Boulevard from 18'-9" to 25'-9".

Sincerely,



Lendall Mains, FCSI, AIA
Principal

ZON-16179 VAR-16181
SDR-16180 12/21/06 PC

3930 E. Patrick Lane, Ste. 1
Las Vegas NV 89120
(702) 437-5621 Phone
(702) 437-5623 Fax

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - VAR-17127 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC - Request for a Variance TO ALLOW 926 PARKING SPACES WHERE 937 PARKING SPACES IS THE MINIMUM NUMBER OF PARKING SPACES REQUIRED on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

NOTE: THIS APPLICATION IS BEING AMENDED FROM 926 PARKING SPACES TO 918 PARKING SPACES

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted at meeting – Parking comparisons by Stephanie Allen for Items 17 and 18

MOTION:

DUNNAM – APPROVED subject to conditions – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused

To be heard by City Council on 01/17/2007

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 17 – VAR-17127

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 17 [VAR-17127] and Item 18 [SDR-17128].

DOUG RANKIN, Department of Planning and Development, stated that Phase 2 impacted Phase 1 of the project by deleting eight parking spaces while increasing the number of units and causing the need for a parking Variance. He recommended denial of both applications.

ATTORNEY STEPHANIE ALLEN, 3800 Howard Hughes Parkway, appeared on behalf of the applicant and noted the site's location. There will be an additional five acres to the 15-acre site which would allow for an apartment development and a two percent parking reduction. She detailed the site plan by noting improved circulation and access to the proposed units and an additional turn lane for Hualipai Way. ATTORNEY ALLEN referenced empirical facts that proved there would be adequate parking on this type of development and also referenced different developments that verified the adequacy of parking. She submitted parking comparisons to support her presentation and respectfully requested approval

Upon CHAIRMAN TROWBRIDGE's inquiry, ATTORNEY ALLEN stated that the zoning for the additional acres were approved for Planned Development (PD).

COMMISSIONER GOYNES expressed support of the efforts to comply with Public Works' request to improve the circulation of the project. MR. RANKIN confirmed for COMMISSIONER DAVENPORT that the applicant amended the site plan in order to accommodate the Public Works' request and added that the proposal requires 937 parking spaces where 918 are provided. COMMISSIONER DUNNAM added his comments of support and suggested ATTORNEY ALLEN update the Council with the matter prior to being heard before the City Council meeting.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 17 [VAR-17127] and Item 18 [SDR-17128].

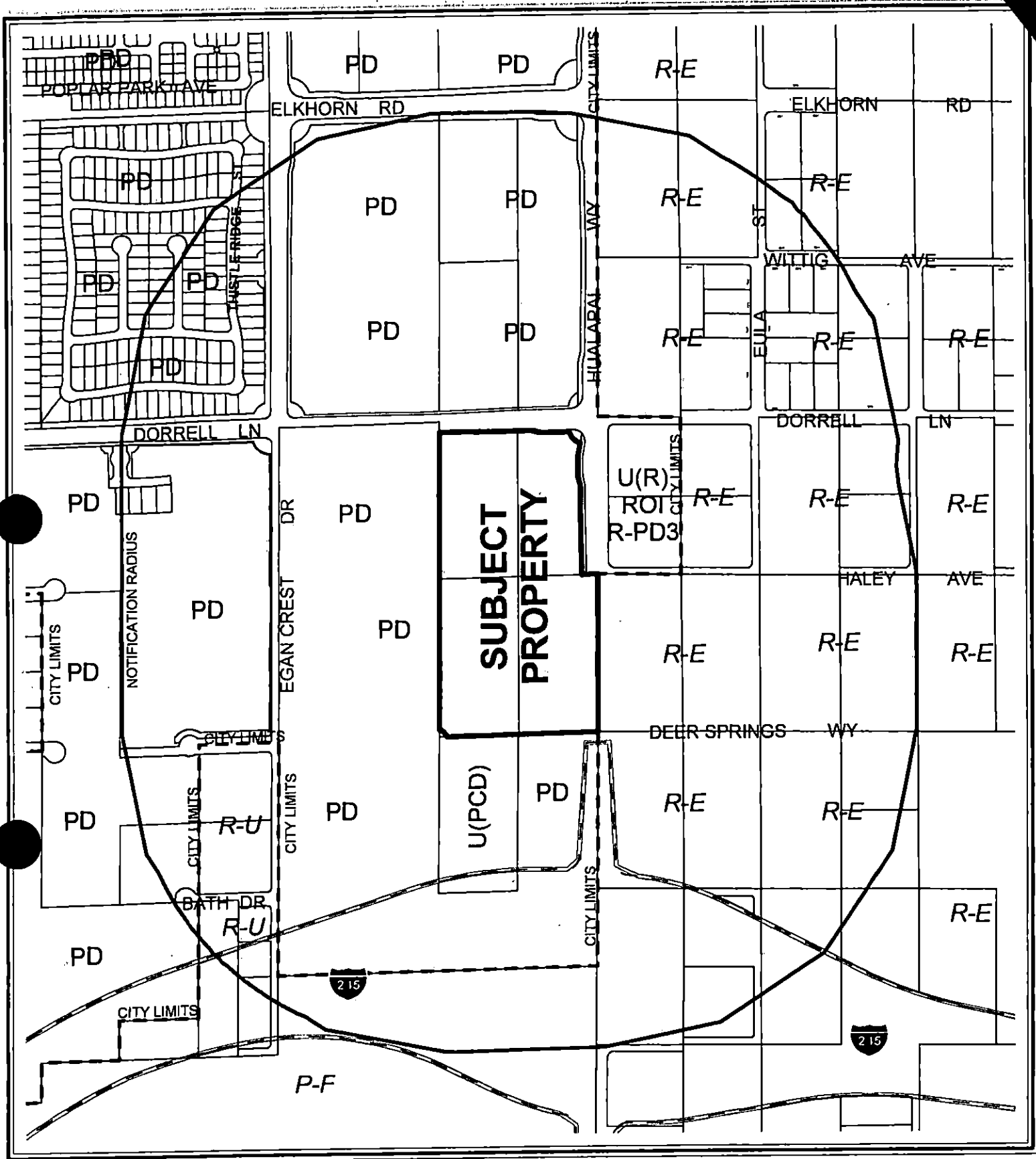
(7:00 – 7:05)
1-2040

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 17 -- VAR-17127

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-17128), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

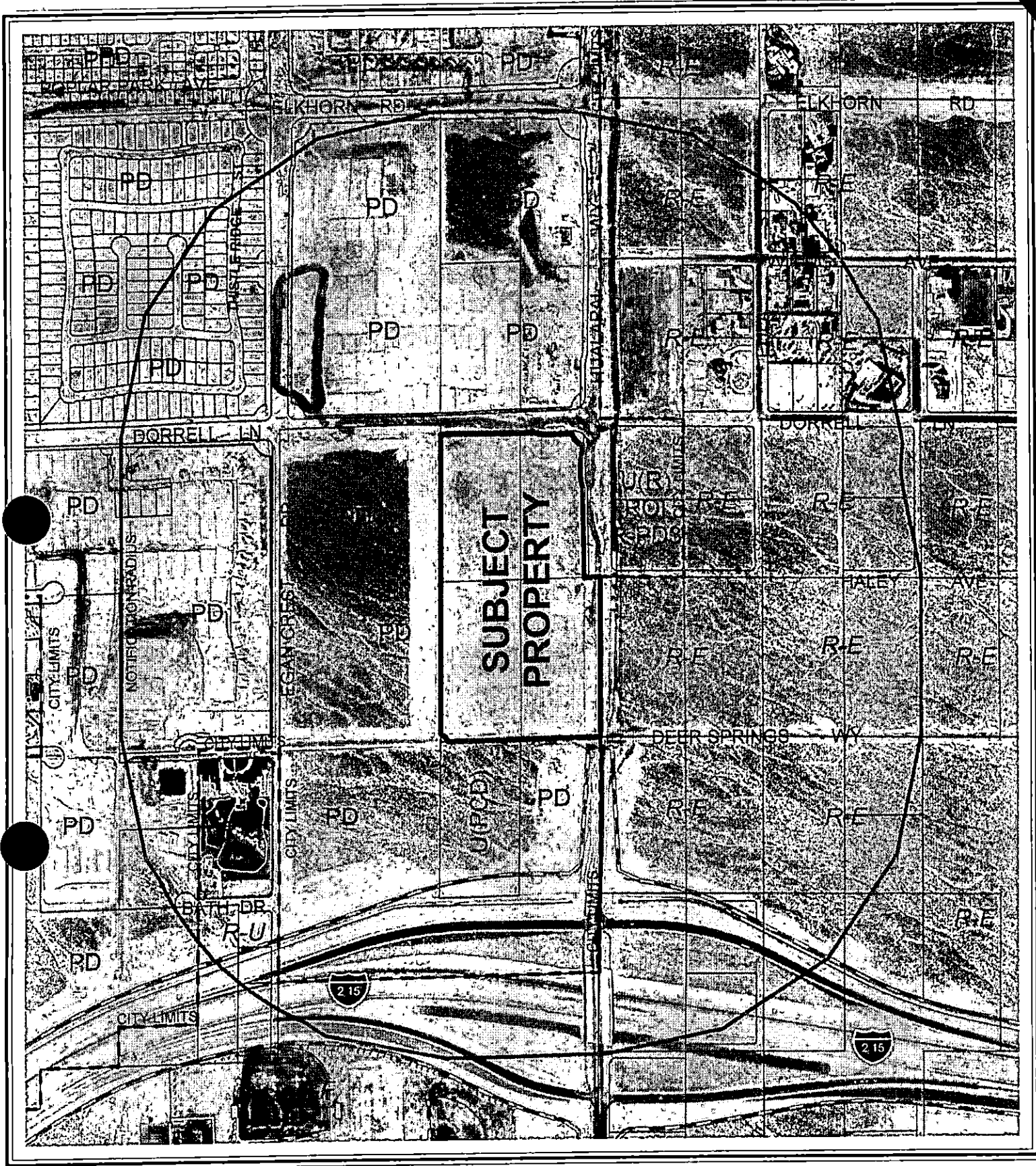


CASE: **VAR-17127**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

PD (PLANNED DEVELOPMENT) AND U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) LAND USE DESIGNATION] UNDER RESOLUTION OF INTENT TO PD (PLANNED DEVELOPMENT) ZONE [M (MEDIUM DENSITY RESIDENTIAL) CLIFF'S EDGE SPECIAL LAND USE DESIGNATION]



CASE: **VAR-17127**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

PD (PLANNED DEVELOPMENT) AND U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) LAND USE DESIGNATION] UNDER RESOLUTION OF INTENT TO PD (PLANNED DEVELOPMENT) ZONE [M (MEDIUM DENSITY RESIDENTIAL) CLIFF'S EDGE SPECIAL LAND USE DESIGNATION]

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-17127 -

APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-17128), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17127- Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Variance to allow 918 parking spaces where 937 parking spaces are the minimum required on 18.98 acres at 6851 North Hualapai Way. No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship; therefore, staff recommends denial.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
01/08/03	The City Council approved an annexation (A-0030-02) of five acres in the northern portion of the Master Plan area, south of Grand Teton Drive. While these lands form part of the Master Plan area, they are not part of this Rezoning request. The Planning Commission recommended approval on 10/10/02. The effective date of this annexation is 01/17/03.
02/05/03	The City Council approved an annexation (A-0035-02) of over 1,056 acres in the area bounded by Hualapai Way to the east, Grand Teton Drive to the north, Puli Road to the west and Centennial Parkway and the Beltway alignment to the south, including the subject sites of this Rezoning request. The Planning Commission recommended approval on 09/26/02. The effective date of this annexation is 02/14/03.
03/19/03	The City Council approved a Rezoning (ZON-1520) from U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) Zone on approximately 317.5 acres covering 68 separate parcels in the Cliff's Edge area, and approved the related Cliff's Edge Master Development Plan to regulate development and the provision of infrastructure in the area. The Planning Commission and staff recommended approval on 02/13/03.
07/16/03	The City Council approved a Rezoning (ZON-2184) from U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) Zone on approximately 704 acres covering 21 separate parcels in the Cliff's Edge area, and approved text modifications to the related Cliff's Edge Master Development Plan to address conditions of approval of ZON-1520. The Planning Commission and staff recommended approval on 06/12/03.

VAR-17127- Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

05/05/04	The City Council approved a request for a Major Modification to the Cliff's Edge Master Development Plan (MOD-3955) to change land use designations from Village Commercial to Medium Low Density Residential and Medium Density Residential; from Medium Density Residential to Residential Small Lot; and from Medium Low Density Residential to Pump & Reservoir; to modify Section 6.2.3 regarding retaining walls; and to modify Table 1 (Section 2.2) to reflect changes to the land use categories on 40 acres generally located adjacent to the south side of Grand Teton Drive, between Hualapai Way and Puli Road. The Planning Commission recommended approval on 04/08/04.
01/19/05	The City Council approved a request for a Site Development Plan Review (SDR-4730) for a proposed 392-unit multi-family residential development and a Waiver of Cliff's Edge Master Development Plan and Design Guidelines to allow 10-foot setback on the western property line for three-story buildings and a zero-foot setback from the eastern and western property line for one and two-story buildings, on 15.69 acres adjacent to the southwest corner of Dorrell Lane and Hualapai Way. In addition, a request for a Variance (VAR-5547) to allow a 30-foot setback where residential adjacency standards require a minimum of 126 feet was approved by City Council. Staff recommended denial and Planning Commission recommended approval on 12/16/04.
08/17/05	The City Council approved a request for a Rezoning (ZON-6774) from U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) on 5.0 acres adjacent to the northwest corner of Hualapai Way and Deer Springs Way.
11/16/05	The City Council approved a request for a Major Modification (MOD-9174) to the Cliff's Edge Master Development Plan and Design Guidelines to establish standards for rear-loaded residential small-lot housing products and to add Section 3.2.5B to the Design Guidelines on 1,146 acres generally located adjacent to the south side of Grand Teton Drive, between Hualapai Way and Puli Road.
11/16/06	Companion items for a Site Development Plan Review (SDR-17128) and a Variance (VAR-17127) were held in abeyance.
<i>Related Building Permits/Business Licenses</i>	
04/06/06	#11757 Civil Plans were pulled for the site
04/13/06	Building Permit C-250-05 (#6003879)
<i>Pre-Application Meeting</i>	
07/20/06	At the pre-application meeting, the applicant explained that this application would focus on the Phase II expansion of the site and there would be minor alterations around the existing site for access and parking. Staff explained that this proposal would require a letter from Cliff's Edge/Providence Design Review Committee (DRC). Staff then explained the submittal requirements for a Site Development Review and Variance (parking).
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

VAR-17127- Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Details of Application Request	
Site Area	
Net Acres	4.46 (Phase 2)
	18.98 (Entire parcel)

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Multi-Family, Undeveloped	PCD (Planned Community Development)	PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation]
North	Undeveloped	PCD (Planned Community Development)	PD (Planned Development)
South	Undeveloped	PCD (Planned Community Development)	PD (Planned Development)
East	Undeveloped	R (Rural Density Residential)	Clark County Zoning [Rural Estates Residential [2 Units Per Acre](R-E)]
West	Undeveloped	PR-OS (Parks – Open Space)	PD (Planned Development)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan	X		Y
Cliff's Edge	X		Y
Special Purpose and Overlay Districts		X	Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

JM

VAR-17127- Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Standard (Cliff's Edge)	Required/Allowed	Provided	Compliance
Min. Setbacks			
Principle Buildings and Accessory Structures from the Property Line			
- Single Story Structures - Two Story Structures - Three Story Structures	10 Feet 20 Feet 30 Feet	N/A 285 Feet 85 Feet	Y
Principle Buildings and Accessory Structures Adjacent to Street R.O.W. at Parcel Perimeter			
- Single Story Structure - Two Story Structure - Three Story Structure	10 Feet 20 Feet 25 Feet	100 Feet N/A N/A	Y
Principle Buildings and Accessory Structures Adjacent to Parks, Open Space, Landscaped Areas Adjacent to Perimeter Streets, or Paseo Pl			
- Single Story Structures - Two Story Structures - Three Story Structures	10 Feet 10 Feet 10 Feet	N/A N/A N/A	Y
Living Area or Porch from Private Street or Parking	10 Feet	10 Feet	Y
Garage Face Setback from Private Street	Less than 5 Feet or 18 Feet plus	N/A	Y
Building Separation			
- Balcony to Balcony - Balcony to Non-Balcony - Non-Balcony to Non-Balcony - Between Main Bldg & Acc. Structure	30 Feet 20 Feet 15 Feet 10 Feet	60 Feet 21.5 Feet 16.1 Feet N/A	Y
Maximum Bldg Height			
Principle Building and Accessory Structures	50 Feet Subject to Setback Criteria Above	38 Feet	Y
Trash Enclosure	Yes	4	Y
Mech. Equipment	Screened	Yes	Y

VAR-17127- Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/ 10 Spaces	21 Trees	29 Trees	Y
Buffer:				
Min. Trees	1 Tree/ 30 Linear Feet	32 Trees	43 Trees	Y
TOTAL		53 Trees	72 Trees	Y
Min. Zone Width				
Hualapai Way	20 Feet		20 Feet	Y
Wall Height	6 Feet		N/A	Y

Open Space Standards per 3.1.3 Cliff's Edge Master Development Plan

<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>		<i>Provided</i>
15.63	24.9	100 Sq. Ft/Unit	39,200 Sq. Ft.	145,087 Sq. Ft.

Pursuant to Title 19.10, the following parking standards apply:

Pursuant to Title 19.10, the following parking standards apply.

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
One bedroom unit	198 Units	1 per 1.25	247				
Two Bedroom units	282	1 per 1.75	493				
Units w/more than two bedrooms	36	1 per 2.0	72				
Visitor parking	1 per 5 units	1 per 0.2	103				
Clubhouse	6,487 S.F.	1 per 300	22				
TOTAL			937		918		N
Percent Deviation					2%		N

Handicap Parking	Ratio	Required	Provided
Regular	2% of total required spaces	16	16
Van Accessible	1/6 handicap spaces	3	4
Total		16	20

JM

VAR-17127- Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

Type	Provided
Uncovered	350
Covered	508
Garage	60
Total	918

ANALYSIS

The Site Plan depicts a multi-family complex in two phases. The City Council approved Phase 1 (SDR-4730) a 392-unit multi-family development in 01/19/05. The applicant is requesting to add 124 multi-family units on the area designated as Phase 2. Although the Site Development Review application focused on the Phase 2 portion of the site and a small portion of Phase 1 labeled (Site Plan A1.1), the parking analysis must review the entire parcel as a whole.

The Phase 1 development was adequately parked by Title 19.10 standards when approved (SDR-4730), providing 717 parking spaces where 711 were required. However with the applicant's proposal for additions of Phase 2, portions of Phase 1 were modified. Eight garages and parking stalls were replaced with two 3,096 square foot lofts, access aisles and covered parking. These modifications have left the site deficient of the required parking by nineteen parking spaces.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

VAR-17127- Staff Report Page Seven
December 21, 2006 - Planning Commission Meeting

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship. An alternative design would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 1

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 41 [Mailed with SDR-17128]

APPROVALS 0

PROTESTS 0



Case Number: **VAR-17127** APN: 126-24-610-004

Name of Applicant: Picerne Providence II

Yes No

Picerno Providence, LLC
Picerno Development Corporation
~~Developer~~, Authorized Agent

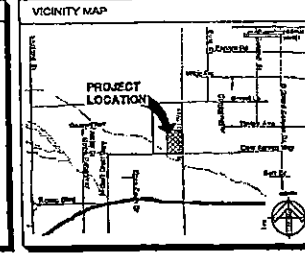
Print Name: Ernesto R. Alvarez

Wendy Galt
Notary Public in and for said County and State

A1.0

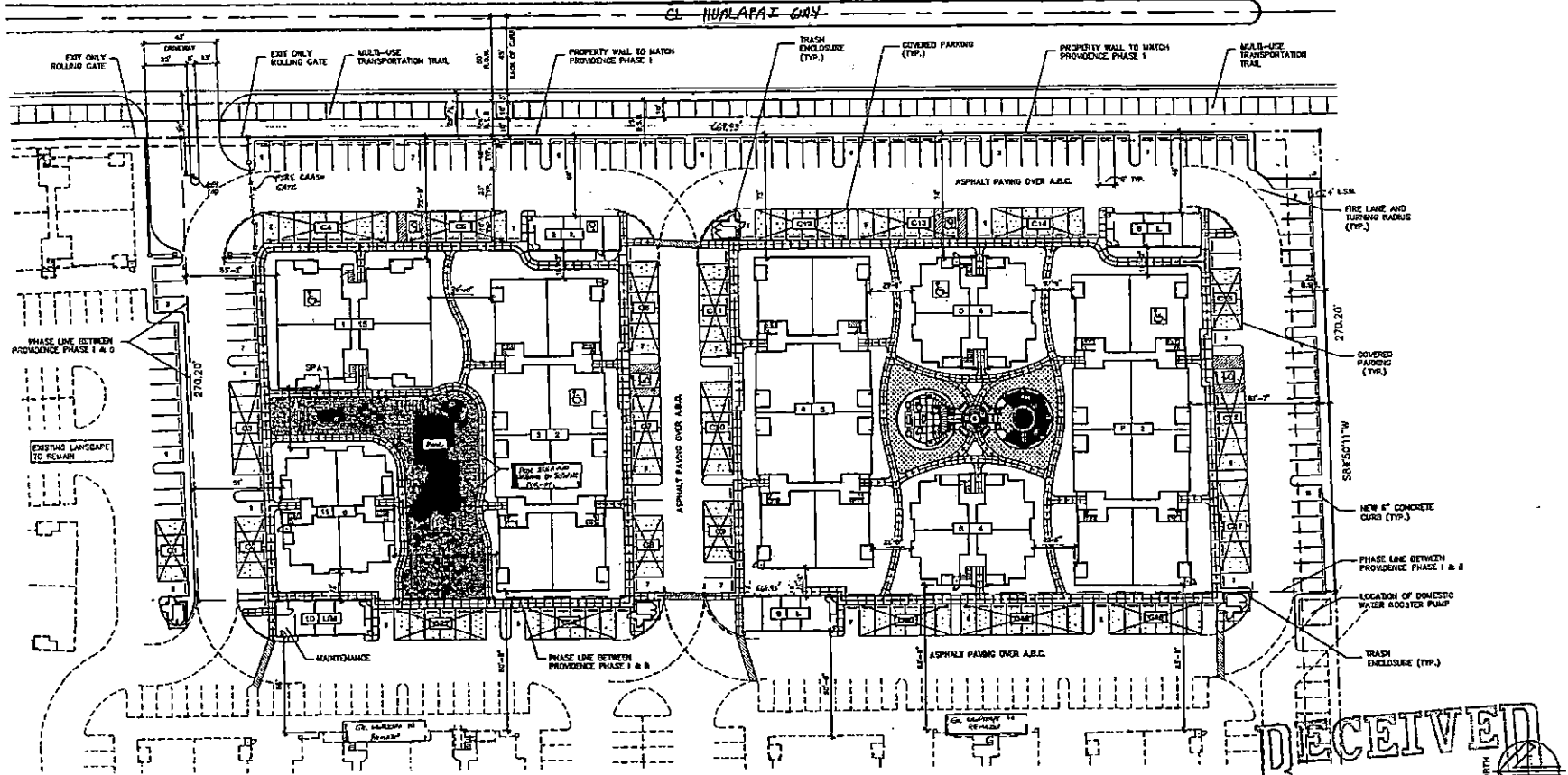
PROJECT DATA										
SITE DATA:										
ADDRESS:	5100 DOWELL LANE & HUALAPAI WAY CITY OF LAS VEGAS, NEVADA			BUILDING AREA:		PARKING:				
SITE AREA:	4.46 ACRES			BUILDING 1	28,146 S.F.	3	84,738 S.F.	REQUIREMENT:	# UNITS	SPACES REQD.
PROPOSED ZONE:	MULTIFAMILY RESIDENTIAL			BUILDING 2	8,844 S.F.	3	26,532 S.F.	1 BEDROOM UNIT	28	1.35
CITY (CROSS):	25 UNITS PER ACRE			BUILDING 3	14,832 S.F.	4	44,496 S.F.	2 BEDROOM UNIT	78	1.75
OFFICE SPACE:	180 S.F./UNIT = 15,480 S.F.			LOFT	1,548 S.F.	1	1,548 S.F.	3 BEDROOM UNIT	12	2.00
				TOTAL:			146,314 S.F.	TOTAL REQUIREMENT:		1 SPACE / 3 UNITS
								PROVIDED:		186 S.P.
								UNIMPAVED:		12 S.P.
								COVERED:		70 S.P.
								CHANGING:		230 S.P.
								TOTAL PROVIDED:		326 S.P.
LOT COVERAGE:										

SYMBOL SCHEDULE	
BUILDING NUMBER	NO. OF SPACES IN UNIT
BUILDING/UNIT TYPE	PARKING SPOT
NO. USE ENCLOSURE - SEE ONLY A1.1	FIRE LANE AND SURVIVAL RADIUS (17' / 20')
ACCESSIBLE UNIT/PARKING - SEE METAL 2/201	FIRE RISE ROOM LOCATION
PEDESTRIAN CROSSWALK - SEE LOCAL 6/201	CORNER BY SEPARATE POINT - SEE 10/201



biltform
architecture

biltform architecture
group
of nevada, inc.
1216 East Sahara Ave., Suite 101
Phoenix, Arizona 85011
Phone (602) 255-8300 Fax (602) 255-8303



VAR-17127 SDR-17128
REVISED 12/21/06 PC

RECEIVED
NOV 1 2006
TENTATIVE MAP

Picerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
Phone (602) 255-8300 Fax (602) 255-8303

A1.1

© ALLTOWN ARCHITECTURE GROUP, P.C.



KUMMER KAEMPFER BONNER RENSHAW & FERRARIO
ATTORNEYS AT LAW

WWW.KKBRF.COM

LAS VEGAS OFFICE

STEPHANIE H. ALLEN
sallen@kkbrf.com
702.792.7000

LAS VEGAS OFFICE
3800 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89109-0907
Tel: 702.792.7000
Fax: 702.796.7181

RENO OFFICE
5250 S. Virginia Street
Suite 220
Reno, NV 89502-6000
Tel: 775.852.3900
Fax: 775.852.3982

SUMMERLIN OFFICE
3425 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89129-5074
Tel: 702.693.4260
Fax: 702.939.8457

September 26, 2006

VIA HAND DELIVERY

City of Las Vegas
Planning & Development Dept.
731 So. Fourth Street
Las Vegas, NV 89101

**RE: Justification Letter
Site Development Review & Parking Variance
APN 126-24-610-004**

To Whom It May Concern:

Please be advised our office represents the applicant in the above-referenced matter. The property is located at the northwest corner of Deer Springs Way and Hualapai Way, more specifically known as assessor's parcel number 126-24-610-004 ("Site").

The Site is approximately five (5) acres in size and is located within the Cliff's Edge Providence Master Planned Community. The applicant has an approved apartment development ("Phase I") adjacent to the Site and intends to add the Site into that development as Phase II of the development. The Cliff's Edge Design Review Committee ("DRC") has approved the Phase II development with a minor reduction in parking for the overall development. See DRC Approval Letter and Analysis attached hereto as Exhibit A.

A. Site Development Review

The Site that will be incorporated into the applicant's approved Phase I development will consist of one hundred twenty-four (124) apartment units with a density of 24.9 units per acres. There will be thirty-six (36) one bedroom units, seventy-six (76) two bedroom units and twelve (12) three bedroom units on the Site. There will be access to the Site from Hualapai Way and internal driveway cross access to Phase I. There will be excess open space on the Site with a pool and a recreation area. The required open space is 12,400 square feet and the applicant is providing 32,352 square feet of open space. The applicant meets the parking on the Site with two hundred thirty-eight (238) parking spaces on the Site where two hundred twenty-seven (227) parking spaces are



246783_1

**VAR-17127
12/21/06 PC**

required. However, when the Site is incorporated into Phase I, a slight parking variance for the overall development is necessary.

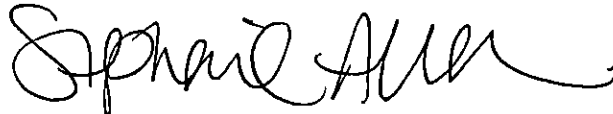
B. Parking Variance (slightly over 1 %)

Although the approved Phase I development complied with the City's parking requirements as a stand alone development, and the proposed Phase II development complies with the City's parking requirements as a stand alone development, the overall project requires a minor parking variance of just over 1%. There will be five hundred sixteen (516) apartments with Phase I and Phase II combined. The overall development will require nine hundred thirty-seven (937) parking spaces, and the applicant is providing nine hundred twenty-six (926) parking spaces overall. This is a parking reduction of slightly over 1%. The reason for the slight reduction in overall parking is a result of the driveway configurations on the new Site to allow appropriate internal access between Phase I and Phase II. The Cliff's Edge DRC approved the variance because it was so slight and because both Phase I and Phase II meet the parking requirements as stand alone developments.

Should you have any questions or concerns, please do not hesitate to contact me. Thank you for your time and consideration.

Sincerely,

KUMMER KAEMPFER BONNER RENSHAW & FERRARIO



Stephanie H. Allen

VAR-17127
12/21/06 PC



PROVIDENCE

Master Planned Community

3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 568-2044

August 24, 2006

Kevin Reis
Picerne
4880 West University Avenue
Suite B6
Las Vegas, NV 89103

RE: Project Plan Tentative Map Review for Providence POD 125a Picerne Phase II Multi-Family (Phase II: additional 5 acres)

Dear Kevin,

The Providence Design Review Committee (DRC) is in receipt of the Project Plan Tentative Map submittal. This submittal has been reviewed against Section 3.2.1 (Medium Density Residential – Up to 25 Du/Ac) of the Design Guidelines based on the approved use and density of Pod 125A.

Standards	Required	Provided	Compliance
Building Setbacks			
Principal Buildings and Accessory Structures from Adjacent Parcel PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	20' min	Yes
• Three Story Structures	30'	30' min	Yes
• Four Story Structures	40'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Street R.O.W. at Parcel Perimeter:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	92.5'	Yes
• Three Story Structures	25'	92.5'	Yes
• Four Story Structures	30'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Parks, Open Space, Landscape Areas Adjacent to Perimeter Streets, or Paseo PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	10'	10'	Yes
• Three Story Structures	10'	10'	Yes
• Four Story Structures	10'	N/A	N/A
Living Area or Porch from Private	10'	VAR-17127	Yes

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PROVIDENCE

August 24, 2006
Page 2 of 2

Street or Parking		10'	
Garage Face Setback from Private Street	Less than 5' or 18'+	<5'	Yes
Building Separation			
Balcony to Balcony	30'	30'	Yes
Balcony to Non-Balcony	20'	20'	Yes
Non-Balcony to Non-Balcony	15'	15'	Yes
Between Main Building and Accessory Structure	10'	10'	Yes
Maximum Building Height Principal Buildings and Accessory Structures	50' Subject to setback criteria above	Per Phase 1	Yes
Minimum Open Space Common Open Space⁽¹⁾	100 Sq. Ft. / Unit	261 Sq. Ft./Unit	Yes
Parking: Minimum No. of Spaces Required			
Studio or 1 bedroom units	1.25/Unit	1.25/Unit	Yes*
Two bedroom units	1.75/Unit	1.75/Unit	Yes*
Units with more than 2 bedrooms	2/Unit	2/Unit	Yes*
Visitor Parking	0.2/Unit	0.2/Unit	Yes*
Senior Housing	1 covered or enclosed space/Unit	N/A	N/A
1. The minimum square footage of the recreation area is 10,000 Sq. Ft. Additional recreation area, when required, may be combined with the main recreation area, or may be utilized as a separate satellite recreation area with a minimum square footage of 4,000 Sq. Ft. The balance of any cumulative recreation requirement exceeding 14,000 Sq. Ft. may be devoted to common open space distributed throughout the project as the builder desires. The minimum width of a common open space area shall be 20'.			

* Phase II of this development, as submitted and reviewed herein, has adequate parking. However, it is our understanding that the development as a whole, Phases I and II combined, falls short of the overall parking requirements by 11 spaces. This is a less than 1% deviation. The Providence DRC conditionally approves this deviation subject to the approval of the City of Las Vegas.

VAR-17127
12/21/06 PC



MEMORANDUM

DATE: August 24, 2006
TO: Carmen Shukis, Design Review Manager
FROM: Don Rodriguez
CC: DAVE BROWNING
RE: Providence - Picerne Pod 125a Phase II Tentative Map, 2nd Submittal

Upon our review of the revised Tentative Map (SDR) for Picerne Pod 125a, Phase II, at Providence, we recommend "*Conditional Approval*" of the plan subject to the approval of the City of Las Vegas.

The builder's Tentative Map (SDR) should be remitted to the Providence DRC once approved by the City of Las Vegas.

Should you have any questions, please feel free to contact me.

Thank you.

Don Rodriguez, APM
Providence

**12/21/06 PC
VAR-17127**

August 24, 2006

Design Review Committee
Cliff's Edge, LLC
C/O LANDTEK, LLC
3455 Cliff Shadows Parkway, Suite 290
Las Vegas, NV 89129

Subject: Picerme at Providence Apartments- variance for parking requirements

To whom it may concern:

The combining of phase I and phase II has created a shortage of 11 parking spaces overall, per City of Las Vegas standards. The project is 516 apartment units. The parking required is 937 spaces, and the parking provided is 926 spaces, which is a deficit of just slightly over 1%.

Picerme has been actively developing and managing apartments in the Las Vegas market for the last 20 years and we are very comfortable with both the parking count and parking distribution for the project.

Please consider the above information in providing us with an approval for the project.

Sincerely,

Kevin Reis
Vice President

12/21/06 PC
VAR-17127

PARKING COMPARISON

PROPERTY	TOTAL UNITS	PARKING RATIO
Maryland Pkwy. & Pyle	582	1.8
Rainbow & Robindale	578	1.9
Rainbow & Robindale Phase II	472	1.8
Southern Highlands	584	1.9

Submitted at Planning Commission

Date 12/21/06 Item 17 + 18

BELMONT

Parking Ratios

1. Parking required: per unit (by Ordinance): 1: 1.79

2. Parking provided: per unit (includes all garages, covered & uncovered stalls): 1: 1.81

3. Parking required: per bedroom (by Ordinance): 1: 1.05

4. Parking provided: per bedroom (includes all garages, covered & uncovered stalls): 1: 1.05

5. Direct access garage parking provided: per unit 1: N/A

6. Direct access garage parking provided: per bedroom 1: N/A

7. Detached garage parking provided: per unit 1: 0.24

8. Detached garage parking provided: per bedroom 1: 0.14

1 Bedroom units =	130	=	130	Bedrooms
2 Bedroom units =	178	=	356	Bedrooms
3 Bedroom units =	32	=	96	Bedrooms
TOTAL UNITS =	340	=	582	TOTAL BEDROOMS

Required parking = 609
 Provided parking = 614 (Includes 0 direct access & 83 detached garages)

Direct Access Garage Units:

8 B4A, 8 B4B, 8 B4C (all 2 bedroom units) =	<u>0</u>	units	<u>0</u>	bedrooms
8 Loft (all 2 bedroom units) =	<u>0</u>	units	<u>0</u>	bedrooms
	<u>0</u>	TOTAL	<u>0</u>	TOTAL

Detached Garage Units: 340 units 582 bedrooms

1. 609 / 340 =	1.791176
2. 614 / 340 =	1.805882
3. 609 / 582 =	1.046392
4. 614 / 582 =	1.054983
5. 00 / 00 =	N/A
6. 00 / 00 =	N/A
7. 83 / 340 =	0.244118
8. 83 / 582 =	0.142612

BOULDERS

Parking Ratios

1. Parking required: per unit (by Ordinance): 1: 1.73
- ~~2. Parking provided: per unit (includes all garages, covered & uncovered stalls): 1: 1.77~~
3. Parking required: per bedroom (by Ordinance): 1: 1.06
4. Parking provided: per bedroom (includes all garages, covered & uncovered stalls): 1: 1.06
5. Direct access garage parking provided: per unit 1: N/A
6. Direct access garage parking provided: per bedroom 1: N/A
7. Detached garage parking provided: per unit 1: 0.21
8. Detached garage parking provided: per bedroom 1: 0.12

1 Bedroom units =	<u>160</u>	=	<u>160</u>	Bedrooms
2 Bedroom units =	<u>192</u>	=	<u>384</u>	Bedrooms
3 Bedroom units =	<u>32</u>	=	<u>96</u>	Bedrooms
TOTAL UNITS =	<u>384</u>	=	<u>640</u>	TOTAL BEDROOMS

Required parking = 664
 Provided parking = 681 (Includes 0 direct access & 79 detached garages)

Direct Access Garage Units:

8 B4A, 8 B4B, 8 B4C (all 2 bedroom units) =	<u>0</u> units	<u>0</u> bedrooms
8 Loft (all 2 bedroom units) =	<u>0</u> units	<u>0</u> bedrooms
	<u>0</u> TOTAL	<u>0</u> TOTAL

Detached Garage Units: 384 units 640 bedrooms

1. $664 / 384 = 1.729167$
2. $681 / 384 = 1.773438$
3. $664 / 640 = 1.0375$
4. $681 / 640 = 1.064063$
5. $00 / 00 = N/A$
6. $00 / 00 = N/A$
7. $79 / 384 = 0.205729$
8. $79 / 640 = 0.123438$

RAINBOW & ROBINDALE

Parking Ratios

1. Parking required: per unit (by Ordinance): 1: 1.56
- ~~2. Parking provided: per unit (includes all garages, covered & uncovered stalls): 1: 1.91~~
3. Parking required: per bedroom (by Ordinance): 1: 0.97
4. Parking provided: per bedroom (includes all garages, covered & uncovered stalls): 1: 1.19
5. Direct access garage parking provided: per unit 1: 2
6. Direct access garage parking provided: per bedroom 1: 1
7. Detached garage parking provided: per unit 1: 0.14
8. Detached garage parking provided: per bedroom 1: 0.09

1 Bedroom units =	<u>156</u>	=	<u>156</u>	Bedrooms
2 Bedroom units =	<u>187</u>	=	<u>374</u>	Bedrooms
3 Bedroom units =	<u>16</u>	=	<u>48</u>	Bedrooms
TOTAL UNITS =	<u>359</u>	=	<u>578</u>	TOTAL BEDROOMS

Required parking = 559
 Provided parking = 685 (Includes 14 direct access & 51 detached garages)

Direct Access Garage Units:

7 Loft (all 2 bedroom units) =	<u>7</u> units	<u>14</u> bedrooms
	<u>7</u> TOTAL	<u>14</u> TOTAL

Detached Garage Units:

<u>352</u> units	<u>564</u> bedrooms
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-
1. 559 / 359 = 1.557103
 2. 685 / 359 = 1.908078
 3. 559 / 578 = 0.967128
 4. 685 / 578 = 1.185121
 5. 14 / 7 = 2
 6. 14 / 14 = 1
 7. 51 / 352 = 0.144886
 8. 51 / 564 = 0.090426

RAINBOW & ROBINDALE PHASE II

Parking Ratios

1. Parking required: per unit (by Ordinance):	1: 1.78
2. Parking provided: per unit (includes all garages, covered & uncovered stalls):	1: 1.872
3. Parking required: per bedroom (by Ordinance):	1: 1.09
4. Parking provided: per bedroom (includes all garages, covered & uncovered stalls):	1: 1.15
5. Direct access garage parking provided: per unit	1: 1.64
6. Direct access garage parking provided: per bedroom	1: 1.00
7. Detached garage parking provided: per unit	1: 0.11
8. Detached garage parking provided: per bedroom	1: 0.07

1 Bedroom units =	<u>136</u>	=	<u>136</u>	Bedrooms
2 Bedroom units =	<u>126</u>	=	<u>252</u>	Bedrooms
3 Bedroom units =	<u>28</u>	=	<u>84</u>	Bedrooms
TOTAL UNITS =	<u>290</u>	=	<u>472</u>	TOTAL BEDROOMS

Required parking =	<u>516</u>	
Provided parking =	<u>542</u>	(Includes <u>36</u> direct access spaces & <u>30</u> detached garage spaces. Maint. counts as <u>2</u> garage spaces.) (Detached garage spaces include <u> </u> oversized)

Direct Access Garage Units:

10 Loft (1 bedroom units) =	<u>10</u> units	<u>10</u> bedrooms
4 B1U (2 bedroom units) =	<u>4</u> units	<u>8</u> bedrooms
2 C1L (2 bedroom units) =	<u>2</u> units	<u>4</u> bedrooms
4 C2U (2 bedroom units) =	<u>4</u> units	<u>8</u> bedrooms
2 D1L (3 bedroom units) =	<u>2</u> units	<u>6</u> bedrooms
	<u>22</u> TOTAL	<u>36</u> TOTAL

Detached Garage Units:	<u>268</u> units	<u>436</u> bedrooms
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1. 516 / 290 =	1.77931
2. 542 / 290 =	1.868966
3. 516 / 462 =	1.09322
4. 542 / 462 =	1.148305
5. 36 / 22 =	1.636364
6. 36 / 36 =	1
7. 60 / 268 =	0.11194
8. 30 / 426 =	0.068807

Per plans dated 10/22/03

SOUTHERN HIGHLANDS

Parking Ratios

1. Parking required: per unit (by Ordinance): 1: 1.74
- ~~2. Parking provided: per unit (includes all garages, covered & uncovered stalls): 1: 1.92~~
3. Parking required: per bedroom (by Ordinance): 1: 1.01
4. Parking provided: per bedroom (includes all garages, covered & uncovered stalls): 1: 1.12
5. Direct access garage parking provided: per unit 1: 1.25
6. Direct access garage parking provided: per bedroom 1: 0.63
7. Detached garage parking provided: per unit 1: 0.10
8. Detached garage parking provided: per bedroom 1: 0.06

1 Bedroom units =	128	=	128	Bedrooms
2 Bedroom units =	180	=	360	Bedrooms
3 Bedroom units =	32	=	96	Bedrooms
TOTAL UNITS =	340	=	584	TOTAL BEDROOMS

Required parking = 591
 Provided parking = 652 (Includes 40 direct access & 30 detached garages)

Direct Access Garage Units:

8 B4A, 8 B4B, 8 B4C (all 2 bedroom units) =	<u>24</u> units	<u>48</u> bedrooms
8 Loft (all 2 bedroom units) =	<u>8</u> units	<u>16</u> bedrooms
	<u>32</u> TOTAL	<u>64</u> TOTAL

Detached Garage Units:

<u>308</u> units	<u>520</u> bedrooms
------------------	---------------------

1. 591 / 340 = 1.738235
2. 652 / 340 = 1.917647
3. 591 / 584 = 1.011986
4. 652 / 584 = 1.116438
5. 40 / 32 = 1.25
6. 40 / 64 = 0.625
7. 30 / 308 = 0.097403
8. 30 / 520 = 0.057692

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - SDR-17128 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17127 - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC - Request for a Site Development Plan Review FOR A PROPOSED 124-UNIT ADDITION TO AN APPROVED APARTMENT COMPLEX on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliffs Edge Special Land Use Designation], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted at meeting – Parking comparisons by Stephanie Allen for Items 17 and 18 filed under Item 17

MOTION:

DUNNAM – APPROVED subject to conditions – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused

To be heard by City Council on 01/17/2007

MINUTES:

See Item 17 [VAR-17127] for all related discussion.

(7:00 – 7:05)

1-2040

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 18 – SDR-17128

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Site Development Plan (SDR-4730), except where amended herein, and Variance (VAR-17127), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 12/12/06 and the landscape plan and building elevations date stamped 09/26/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Department of Planning and Development must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 18 – SDR-17128

CONDITIONS – Continued:

directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

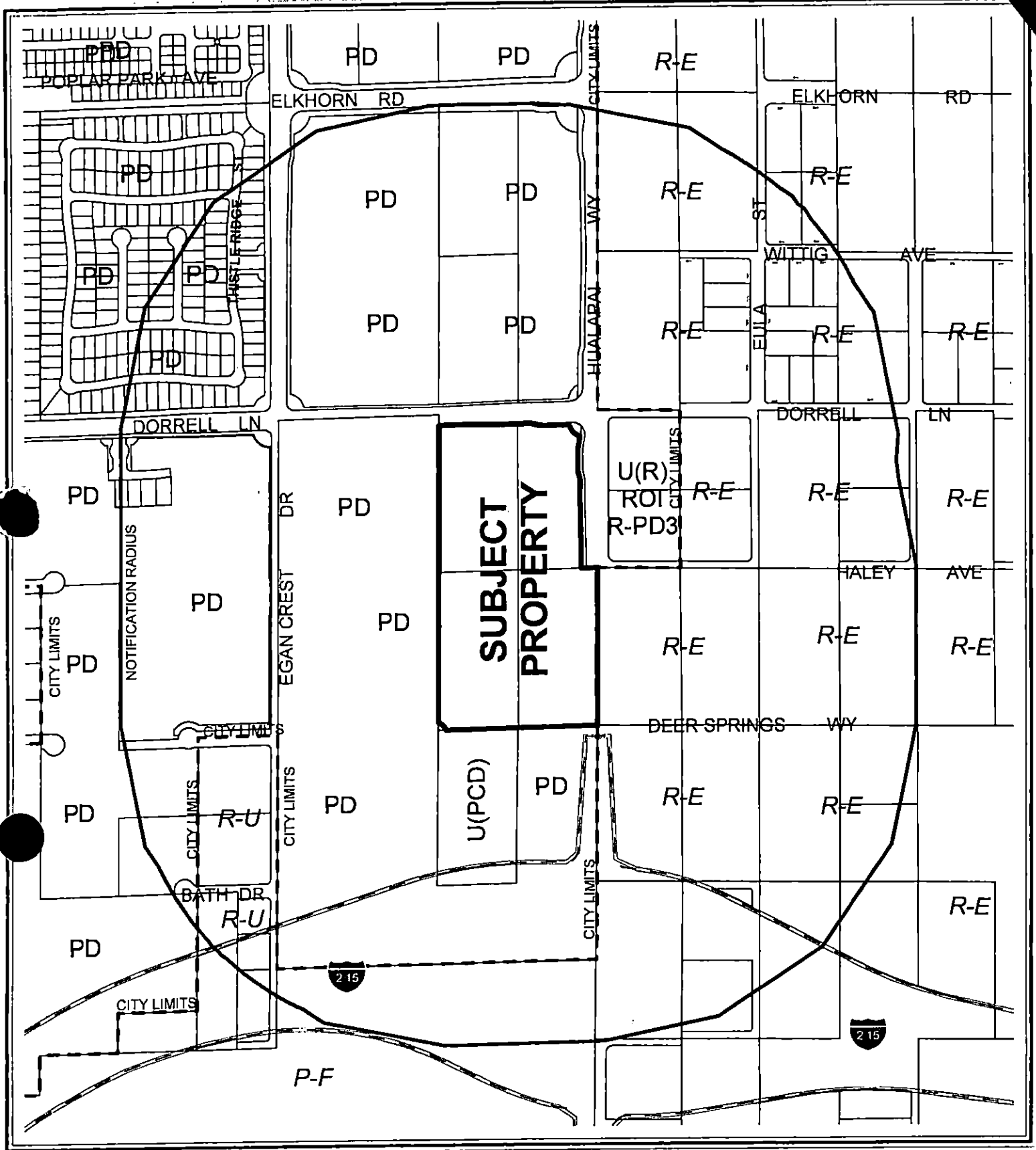
Public Works

12. Submit a Petition of Vacation for the existing BLM Grant that exists within the Deer Springs Way alignment. The Order of Vacation shall record prior to the issuance of any permits for this site.
13. Dedicate 50 feet of right-of-way adjacent to this site for Hualapai and grant a 20-foot wide Multi-Use Transportation Trail Easement adjacent to the right-of-way dedication prior to the issuance of any permits for this site; the trail shall be privately maintained by the Homeowners' Association for this site or the association created by the Master Developer.
14. The driveway to Hualapai Way shall be designed, located and constructed in accordance with Standard Drawing #222A and shall not be gated unless otherwise allowed by the City Traffic Engineer.
15. A Homeowners' Association or Landscape Maintenance Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of any construction drawings for this site or the issuance of any permits, whichever may occur first. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
17. If not constructed at the time of development by the Master Developer, landscape and maintain all unimproved right-of-way adjacent to this site concurrent with development of this site.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 18 – SDR-17128

CONDITIONS – Continued:

18. If not obtained at the time of development by the Master Developer, obtain an Encroachment Agreement for all landscaping and private improvements in the public rights-of-way adjacent to this site.
19. Site development to comply with all applicable conditions of approval for Rezoning Classification ZON-6774, Cliff's Edge Parent Map, Cliff's Edge Development Standards, Design Guidelines and Development Agreement, MOD-3955 and all other applicable site--related actions.



0 300 600 Feet

CASE: **SDR-17128**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

PD (PLANNED DEVELOPMENT) AND U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) LAND USE DESIGNATION] UNDER RESOLUTION OF INTENT TO PD (PLANNED DEVELOPMENT) ZONE [M (MEDIUM DENSITY RESIDENTIAL) CLIFF'S EDGE SPECIAL LAND USE DESIGNATION]



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - SDR-17128 -****APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the conditions for Site Development Plan (SDR-4730), except where amended herein, and Variance (VAR-17127), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 12/12/06 and the landscape plan and building elevations date stamped 09/26/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

JM

SDR-17128 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. Submit a Petition of Vacation for the existing BLM Grant that exists within the Deer Springs Way alignment. The Order of Vacation shall record prior to the issuance of any permits for this site.
13. Dedicate 50 feet of right-of-way adjacent to this site for Hualapai and grant a 20-foot wide Multi-Use Transportation Trail Easement adjacent to the right-of-way dedication prior to the issuance of any permits for this site; the trail shall be privately maintained by the Homeowners' Association for this site or the association created by the Master Developer.
14. The driveway to Hualapai Way shall be designed, located and constructed in accordance with Standard Drawing #222A and shall not be gated unless otherwise allowed by the City Traffic Engineer.
15. A Homeowners' Association or Landscape Maintenance Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of any construction drawings for this site or the issuance of any permits, whichever may occur first. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.

SDR-17128 - Conditions Page Three
December 21, 2006 - Planning Commission Meeting

17. If not constructed at the time of development by the Master Developer, landscape and maintain all unimproved right-of-way adjacent to this site concurrent with development of this site.
18. If not obtained at the time of development by the Master Developer, obtain an Encroachment Agreement for all landscaping and private improvements in the public rights-of-way adjacent to this site.
19. Site development to comply with all applicable conditions of approval for Rezoning Classification ZON-6774, Cliff's Edge Parent Map, Cliff's Edge Development Standards, Design Guidelines and Development Agreement, MOD-3955 and all other applicable site-related actions.

SDR-17128 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a proposed 124-unit addition to an approved apartment complex on 18.98 acres at 6851 North Hualapai Way. The applicant is requesting to add 124 multi-family units on the area designated as Phase 2. On the Phase 1 portion of the site, the applicant has removed the eight garages approved in SDR-4730 replacing them with two 3,096 square-foot lofts, access aisles and covered parking.

In addition, the applicant is requesting a Variance (VAR-17127) to allow 918 parking spaces where 937 parking spaces are the minimum required. No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship; therefore, staff recommends denial.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
01/08/03	The City Council approved an annexation (A-0030-02) of five acres in the northern portion of the Master Plan area, south of Grand Teton Drive. While these lands form part of the Master Plan area, they are not part of this Rezoning request. The Planning Commission recommended approval on 10/10/02. The effective date of this annexation is 01/17/03.
02/05/03	The City Council approved an annexation (A-0035-02) of over 1,056 acres in the area bounded by Hualapai Way to the east, Grand Teton Drive to the north, Puli Road to the west and Centennial Parkway and the Beltway alignment to the south, including the subject sites of this Rezoning request. The Planning Commission recommended approval on 09/26/02. The effective date of this annexation is 02/14/03.
03/19/03	The City Council approved a Rezoning (ZON-1520) from U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) Zone on approximately 317.5 acres covering 68 separate parcels in the Cliff's Edge area, and approved the related Cliff's Edge Master Development Plan to regulate development and the provision of infrastructure in the area. The Planning Commission and staff recommended approval on 02/13/03.
07/16/03	The City Council approved a Rezoning (ZON-2184) from U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) Zone on approximately 704 acres covering 21 separate parcels in the Cliff's Edge area, and approved text modifications to the related Cliff's Edge Master Development Plan to address conditions of approval of ZON-1520. The Planning Commission and staff recommended approval on 06/12/03.

JM

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December 21, 2006 - Planning Commission Meeting

05/05/04	The City Council approved a request for a Major Modification to the Cliff's Edge Master Development Plan (MOD-3955) to change land use designations from Village Commercial to Medium Low Density Residential and Medium Density Residential; from Medium Density Residential to Residential Small Lot; and from Medium Low Density Residential to Pump & Reservoir; to modify Section 6.2.3 regarding retaining walls; and to modify Table 1 (Section 2.2) to reflect changes to the land use categories on 40 acres generally located adjacent to the south side of Grand Teton Drive, between Hualapai Way and Puli Road. The Planning Commission recommended approval on 04/08/04.
01/19/05	The City Council approved a request for a Site Development Plan Review (SDR-4730) for a proposed 392-unit multi-family residential development and a Waiver of Cliff's Edge Master Development Plan and Design Guidelines to allow 10-foot setback on the western property line for three-story buildings and a zero-foot setback from the eastern and western property line for one and two-story buildings, on 15.69 acres adjacent to the southwest corner of Dorrell Lane and Hualapai Way. In addition, a request for a Variance (VAR-5547) to allow a 30-foot setback where residential adjacency standards require a minimum of 126 feet was approved by City Council. Staff recommended denial and Planning Commission recommended approval on 12/16/04.
08/17/05	The City Council approved a request for a Rezoning (ZON-6774) from U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) on 5.0 acres adjacent to the northwest corner of Hualapai Way and Deer Springs Way.
11/16/05	The City Council approved a request for a Major Modification (MOD-9174) to the Cliff's Edge Master Development Plan and Design Guidelines to establish standards for rear-loaded residential small-lot housing products and to add Section 3.2.5B to the Design Guidelines on 1,146 acres generally located adjacent to the south side of Grand Teton Drive, between Hualapai Way and Puli Road.
11/16/06	Companion items for a Site Development Plan Review (SDR-17128) and a Variance (VAR-17127) were held in abeyance.
12/21/06	A Companion Variance (VAR-17127) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
04/06/06	#11757 Civil Plans were pulled for the site
04/13/06	Building Permit C-250-05 (#6003879)
<i>Pre-Application Meeting</i>	
07/20/06	At the pre-application meeting, the applicant explained that this application would focus on the Phase II expansion of the site and there would be minor alterations around the existing site for access and parking. Staff explained that this proposal would require a letter from Cliff's Edge/Providence Design Review Committee (DRC). Staff then explained the submittal requirements for a Site Development Review and Variance (parking).

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Neighborhood Meeting

A neighborhood meeting is not required, nor was one held.

Details of Application Request

Site Area

Net Acres	4.46 (Phase 2)
	18.98 (Entire parcel)

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Apartments, Undeveloped	PCD (Planned Community Development)	PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation]
North	Undeveloped	PCD (Planned Community Development)	PD (Planned Development)
South	Undeveloped	PCD (Planned Community Development)	PD (Planned Development)
East	Undeveloped	R (Rural Density Residential)	Clark County Zoning [Rural Estates Residential [2 Units Per Acre](R-E)]
West	Undeveloped	PR-OS (Parks – Open Space)	PD (Planned Development)

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December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan	X		Y
Cliff's Edge	X		Y
Special Purpose and Overlay Districts		X	Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

<i>Standard (Cliff's Edge)</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks Principle Buildings and Accessory Structures from the Property Line • Single Story Structures • Two Story Structures • Three Story Structures	10 Feet 20 Feet 30 Feet	N/A 285 Feet 85 Feet	Y
Principle Buildings and Accessory Structures Adjacent to Street R.O.W. at Parcel Perimeter • Single Story Structure • Two Story Structure • Three Story Structure	10 Feet 20 Feet 25 Feet	100 Feet N/A N/A	Y
Principle Buildings and Accessory Structures Adjacent to Parks, Open Space, Landscaped Areas Adjacent to Perimeter Streets, or Paseo Pl • Single Story Structures • Two Story Structures • Three Story Structures	10 Feet 10 Feet 10 Feet	N/A N/A N/A	Y
Living Area or Porch from Private Street or Parking	10 Feet	10 Feet	Y
Garage Face Setback from Private Street	Less than 5 Feet or 18 Feet plus	N/A	Y

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December 21, 2006 - Planning Commission Meeting

Building Separation - Balcony to Balcony - Balcony to Non-Balcony - Non-Balcony to Non-Balcony - Between Main Building & Accessory Structure	30 Feet 20 Feet 15 Feet 10 Feet	60 Feet 21.5 Feet 16.1 Feet N/A	Y
Maximum Bldg Height Principle Building and Accessory Structures	50 Feet Subject to Setback Criteria Above	38 Feet	Y
Trash Enclosure	Yes	4	Y
Mech. Equipment	Screened	Yes	Y

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/ 10 Spaces	21 Trees	29 Trees	Y
Buffer:				
Min. Trees	1 Tree/ 30 Linear Feet	32 Trees	43 Trees	Y
TOTAL		53 Trees	72 Trees	Y
Min. Zone Width				
Hualapai Way	20 Feet		20 Feet	Y
Wall Height	6 Feet		N/A	Y

<i>Open Space Standards per 3.1.3 Cliff's Edge Master Development Plan</i>					
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>	<i>Provided</i>		<i>Compliance</i>
15.63	24.9	100 Sq. Ft/Unit	39,200 Sq. Ft.	145,087 Sq. Ft.	Y

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December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
One bedroom unit	198 Units	1 per 1.25	247				
Two Bedroom units	282	1 per 1.75	493				
Units w/more than two bedrooms	36	1 per 2.0	72				
Visitor parking	1 per 5 units	1 per 0.2	103				
Clubhouse	6,487 S.F.	1 per 300	22				
TOTAL			937		918		N
Percent Deviation					2%		N

Handicap Parking	Ratio	Required	Provided
Regular	2% of total required spaces	16	16
Van Accessible	1/6 handicap spaces	3	4
Total		16	20
Type	Provided		
Uncovered	350		
Covered	508		
Garage	60		
Total	918		

ANALYSIS

- Zoning

The subject site is currently zoned PD (Planned Development). The site is located within the Cliff's Edge Master Plan with a special land use designation of M (Medium Density Residential). The proposed project is in conformance with both the zoning district and Cliff's Edge special land use designation.

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December 21, 2006 - Planning Commission Meeting

- **Site Plan**

The Site Plan depicts a multi-family complex in two phases. The City Council approved Phase 1 (SDR-4730) a 392-unit multi-family development in 01/19/05. The applicant is requesting to add 124 multi-family units on the area designated as Phase 2. This application focuses on the Phase 2 portion of the site and a small portion of Phase 1 labeled (Site Plan A1.1).

The applicant is showing thirty-six (36) one bedroom units, seventy-six (76) two bedroom units and twelve (12) three bedroom units on the site.

On the Phase 1 portion of the site, the applicant has removed the eight garages approved in SDR-4730 replacing them with two 3,096 square-foot lofts, access aisles and covered parking. In addition, ten parking stalls were added where landscaping was approved.

The site plan indicates 918 parking spaces, 20 of which are handicap spaces, to be provided on-site. The site plan is deficient nineteen parking spaces, or a 2 percent deviation of standards. An associated Variance (VAR-17127) has been requested by the applicant. The parking to be provided will consist of both covered and uncovered parking spaces through the entire site.

- **Landscape Plan**

The Plan shows adequate interior landscaping within parking lots and within the exterior landscape buffers.

- **Elevation**

The proposed development consists of four different building types, including a loft option. The buildings range from two to three-stories and from 12 feet to approximately 38 feet in height. All of the buildings will have two toned stucco effect to differentiate between the lower levels and the upper floors. In addition, all of the buildings will have tile roofs and decorative metal railings and entry doors. The site plan proposes 3 of building type #2, 3 of building type #4, 41 of building type #15, and 4 of the loft.

- **Floor Plan**

Each of the four building types has associated floor plans, which range from one to three bedrooms. The applicant is showing thirty-six (36) one bedroom units, seventy six (76) two bedroom units and twelve (12) three bedroom units on the site.

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December 21, 2006 - Planning Commission Meeting

- Trails and Open Space

A Multi-Use Transportation Trail is to be developed along the eastern property line of the proposed development. The trail and street frontage along Hualapai Way are to conform to the Cliff's Edge Parent Map as depicted in TMP-3798. The proposed project is providing 32,352 square feet of open space where 12,400 square feet is required which exceeds the amount of open space required for this development.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The surrounding area, with the exception of single-family residences to the east, is undeveloped. The proposed use of the property is consistent with Cliff's Edge Master Planned Community special land use designation of M (Medium Density Residential). However, it is noted that the design of the project requires deviation from Title 19.10 Parking Standards and therefore; denial of this project is recommended.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The proposed development is not consistent with the Cliff's Edge Master Development Plan and Design Guidelines, Title 19, and the Las Vegas Urban Design Guidelines & Standards, as is evident by the parking Variance. No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

The site will have ingress and egress from Hualapai Way, a 90-foot right-of-way. As the site has been integrated to provide site access with the Phase one portion of the site, a secondary ingress and egress access toward Dorrell Lane, a 70-foot right-of-way, has been provided.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The proposed landscape and building materials are appropriate for the area and conform to such materials as direct by the Cliff's Edge Master Development Plan and Design Guidelines.

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December 21, 2006 - Planning Commission Meeting

5. **“Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;”**

The building elevations are typical of multi-family residential apartment complexes and will be compatible with the Cliff's Edge Master Development Plan and Design Guidelines.

6. **“Appropriate measures are taken to secure and protect the public health, safety and general welfare.”**

The proposed development will be subject to the Uniform Building Code, and therefore the development will not compromise the public health, safety or welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

1

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 41 [Mailed with VAR-17127]

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Picene Providence II

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

APN: _____

Picernu Providence, LLC
Picernu Development Corporation
Developer, Authorized Agent

Print Name: Ernesto R. Alvarez

This 1st day of August, 2006

Notary Public in and for said County and State



Architectural site plan of a building complex. The plan shows a rectangular building footprint with a central courtyard area. The courtyard contains a large circular feature, possibly a pond or a large tree. The building is surrounded by a perimeter wall and a series of smaller structures or gates. The plan is labeled "LIMIT OF WORK" at the top and bottom, and "MATCHLINE SHEET L31" on the left side.

LIMIT OF WORK

[illegible][illegible]**biliform**
architecture

bltform architects
group
of nevada, inc.
1225 west cotton road, suite 10
pahrump, nevada 89042
Phone 872-2881/2000 Fax 872-2881



Picerne at Providence - Phase II

Picrme Development Corp.

1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469

RECEIVED
SEP 26 2006



REVISIONS	
 -	
 -	
 -	
 -	
 -	
JOB NO.	34-47
DATE	JUNE 8
SCALE	1"=10'
DRAWN BY	

L3.2 Planting



12/21/06 PC
SDR-17128

© MULTIFORM ARCHITECTURE GROUP, INC.

ROOM	FLOOR	BASE	WALL	CEILING
UNION ROOM	1	3	•	•
DINING ROOM	1	3	•	•
KITCHEN	2	3	•	•
RECREATIONS	1	3	•	•
ARTIST	2	1	•	•
CLASS	2	1	•	•
LIBRARY	2	3	•	•
B.O.	3	3	•	•
HALL	1	3	•	•
STORAGE	3	•	•	•

1. CARPET
2. 12" x 12" CERAMIC TILE
3. WOOD BASE
4. HONEYCOMB TEXTURE - PAINTED
(NOTE: INTERIOR CEILING AND WALL FINISHES SHALL HAVE A FLAME SPREAD RATING OF NOT LESS THAN CLASS C PER I.B.C. SECTION 903.1)
5. 1" GYPSUM @ 2ND & 3RD FLOORS
EXPOSED CONCRETE @ 1ST FLR.
6. NO BASE.

[illegible][illegible][illegible]

6. LIGHT SWITCHES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ENVIRONMENTAL CONTROLS SHALL HAVE OPERABLE PARTS OF CONTROLS LOCATED NO HIGHER THAN 6' FROM TOP OF SECTION A AND NO LOWER THAN 1' ABOVE THE FLOOR. IF THE READER OR OWNER AN INSTRUCTION BETWEEN 20" AND 25" FROM TOP OF SECTION A, THE CONTROLS SHALL BE LOCATED AT THESE DISTANCES. NO CONTROLS SHALL BE LOCATED MORE THAN 25" FROM THE WALL OR BEHIND A CONTROL.

7. ALL PARTITIONERS OF FIVE-RESISTIVE FLOORS OR SHORTER SHALL BE CONSTRUCTED OF METAL MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTED REQUIREMENTS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, ETC., FOR APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL PROVIDE MATERIAL, WHICH SHALL COMPLY WITH THE U.S. LISTED TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. THE CONTRACTOR SHALL SPECIFY FOR EACH PARTITIONER, WITH APPROPRIATE U.S. LISTED APPROVAL IN ALL SPECIFICATIONS.

8. ALL CEILING FLOOR JOINT BAYNETS SHALL HAVE WALLS ADJACENT TO ALL TIE-INS, JOINTS AND TIE-INS REINFORCED WITH STEEL. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE TYPE-B AND TYPE-C JOINT PLANS AND SHOP DETAIL A.23.20.

2. ALL SLIDING GLASS DOORS TO HAVE
FOR SECURITY HARDENING AT BOTTOM -
PROVIDE FOR LOCATIONS OF GLASS
BREAKING.

AA. TILE AT ENTRY SHALL BE SIZED TO
PREVENT ENTRY DOOR/WEATHER STRAPPING
FROM TOUCHING THE TILE.

BB. ALL WOOD TRIM AT DOORS, WALL
BASE AND FRAMED OPENINGS SHALL BE
COLONIAL, PAINTED.

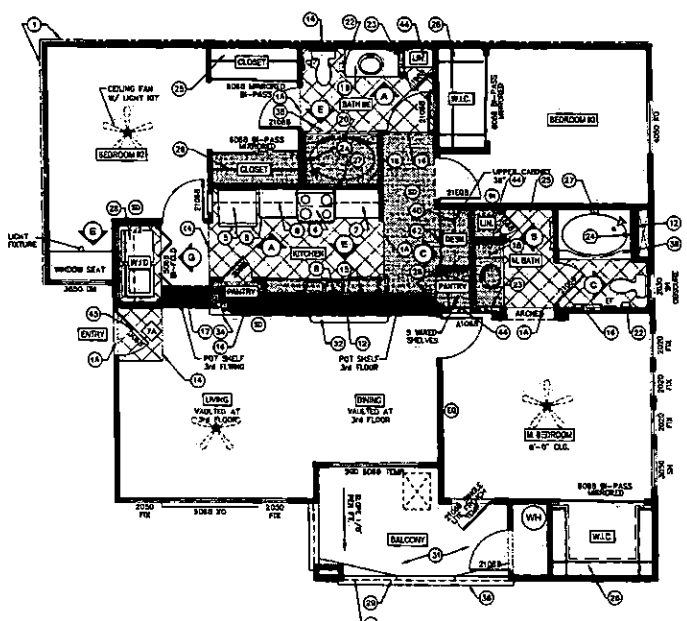
CC. ALL WINDOWS AND SLIDING GLASS
DOORS SHALL BE DUAL PANE GLASS.

DD. UNDERSTUDY UTILITY ROOM 31-FOLD
DOORS IF FOR MAKE-UP AIR.

EE. PROVIDE TAMPERS GLAZING FOR
BROWDER STALL DOOR

1. CEILING LINE OF 4" AIRSPACE
2. 12" DEEP MESH SHELF AND COAT HANGING ROD
3. RECEPTIONIST
4. ONE (TWO) FRONT PANEL CONTROLS AT AND TYPE "A" LIGHTS) COAST-GOOD MICROPHONE ABOVE
5. BASIC CABINET
6. UPPER CABINET
7. PLASTIC LAM. COUNTER 18" X 4" SPLASH UNDO
8. STAINLESS STEEL SINK 18" DISPOSAL
9. PLASTIC LAM. BAN-TOP
10. (A) TIGHT MESH MESH PAINTED THIN SHELVES
11. 2x4 (2x4) LOW WALL
12. 8" PLUMBING WALL
13. WINDOW 18x18" 18" FACE FRAME - SEE DET. 3/20
14. CURTAIN RECESSED
15. DISPOSITION
16. ALUM. SHIMSHIELD MEL. FIL. - 1/2" MAX. HT. (ENTR. & PATIO DOORS)
17. LINE OF SUFFIT ON CEILING 18"X18" CHANG. ABOVE - SEE DETAIL 3/20

**billform architecture
group
of nevada, inc.**
1220 west empire road, suite 101
phoenix arizona 85019
Phone: (602) 944-3300 Fax: (602) 944-3300

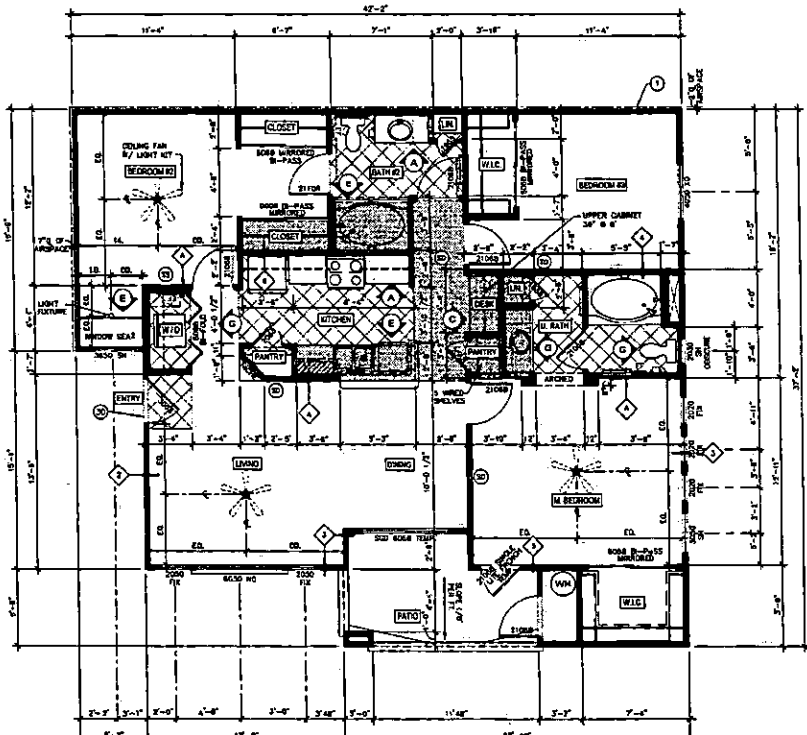


LIGHT AND VENTILATION REQUIREMENTS					
	LIVING ROOM	DINING	KITCHEN	BEDROOM 1	BEDROOM 2
FLOOR SQ. FT.	175	99	127	179	120
LIGHT REQUIRED (WAT)	11.36	7.9	14.90	13.4	10.48
LIGHT PROVIDED	40	45	24.9	17.5	20
VENT. REQUIRED (CFM)	8.00	6.4	8.33	8.9	6.96
VENT. PROVIDED	20	20	18.33	8.75	19

UNIT C1

SECOND & THIRD FLOOR **ALL KEYED NOTES AT 2ND & 3RD FLOOR**
(ALL BATH TUBS SHALL **TO APPLY TO FIRST FLOOR U.N.G.**
HAVE RECESSED CAN LIGHT)

Livest	=	1,232 S.F.
Storage	=	12 S.F.
Balcony	=	88 S.F.
Total	=	9,329 S.F.



UNIT C1													
FIRST FLOOR	ALL KEYED NOTES 1ST 2ND & 3RD FLOOR TO APPLY TO FIRST FLOOR UNO.												
(ALL BATH TUBS SHALL HAVE RECESSED CAN LIGHT)	<table border="1"> <tbody> <tr> <td>Usable</td> <td>-</td> <td>1.331 S.F.</td> </tr> <tr> <td>Storage</td> <td>-</td> <td>13.5 S.F.</td> </tr> <tr> <td>Patio</td> <td>-</td> <td>80.5 S.F.</td> </tr> <tr> <td>Total</td> <td>=</td> <td>1,331 S.F.</td> </tr> </tbody> </table>	Usable	-	1.331 S.F.	Storage	-	13.5 S.F.	Patio	-	80.5 S.F.	Total	=	1,331 S.F.
Usable	-	1.331 S.F.											
Storage	-	13.5 S.F.											
Patio	-	80.5 S.F.											
Total	=	1,331 S.F.											

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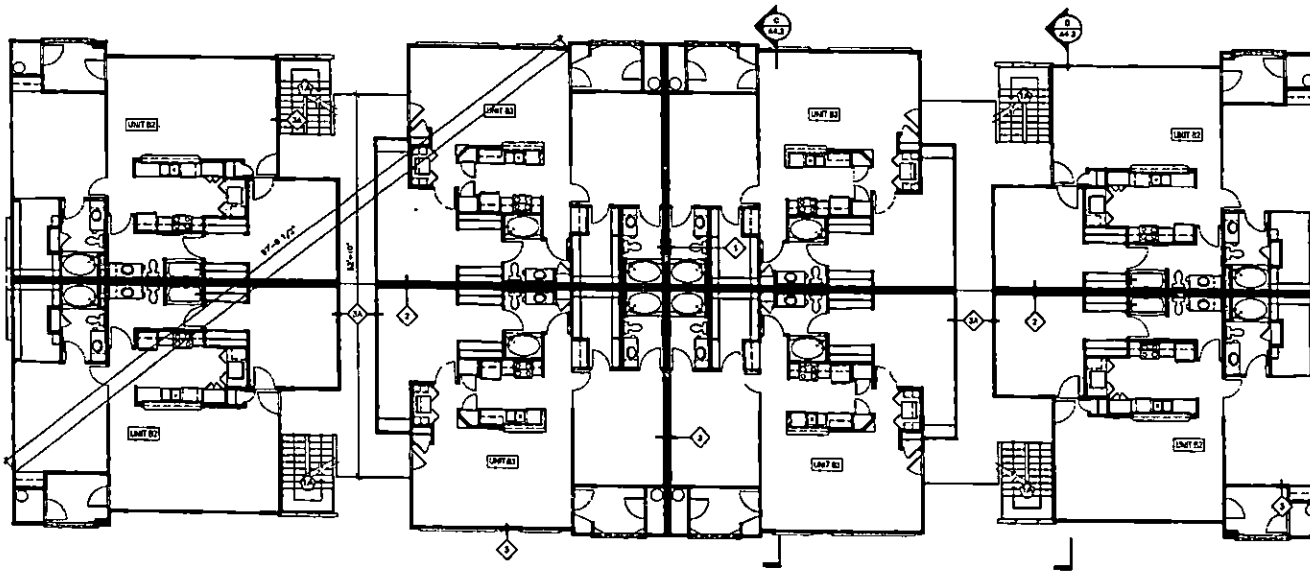
Picrme at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picrme Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
Tel: (602) 724-5444 Fax: (602) 724-5444
Tel: (602) 724-5444 Fax: (602) 724-5444

12/21/06 PC
RECEIVED UNIT C1 FLOOR PLANS
SEP 26 2006 SDI

SDR-17128

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SYMBOL SCHEDULE

- Ⓜ METER PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. METER SIZE 1/2" ELECTRICAL CONTRACTOR PRIOR TO START. METER PACE SHALL NOT PROJECT MORE THAN 1" EAST UNIT ELECTRICAL EQUIPMENT SEE DETAIL SHEETS FOR UNIT DET. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
- Ⓢ TELEPHONE TERMINAL CABINET, CABLE TV TAP BOX & WATER METER CABINET. SEE EACH BLDG PLAN. SET ELECTRICAL FOR EXACT LOCATION. NOTIFY SEE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
- Ⓢ INDICATES STAIR TYPE. SEE SHEET A141 FOR STAIR PLANS AND STAIR SECTIONS.
- Ⓢ ATYC ADDRESS - SEE DETAIL 27/04
- Ⓢ SEE SHEET 271 FOR SOUND AND FIRE RATER DETAILS
- Ⓢ CONDENSING UNIT
- Ⓢ OPTIONAL FIRE SPRINKLER LOCATION. SEE FLOOR AND RISE PLANS FOR LOCATION AND OTHER INFORMATION.
- Ⓢ FIREWORKS FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCATED INSTALLED AT A MINIMUM HEIGHT OF 42"

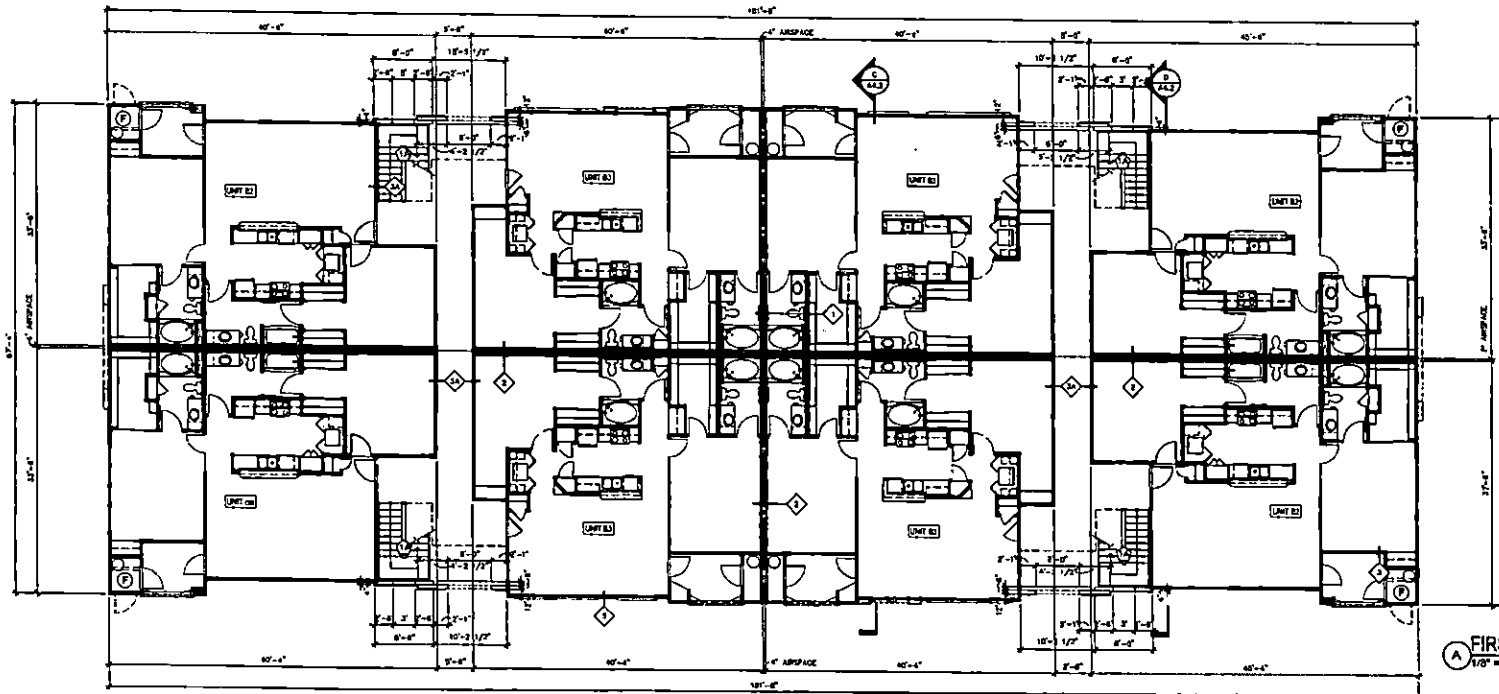
BUILDING PLAN NOTES

1. FOR TYPICAL UNIT PLANS SEE SHEETS A2.1, A2.2, A2.3, A2.4, A2.5, A2.6, A2.7, A2.8, A2.9, A2.10, A2.11, A2.12, A2.13, A2.14, A2.15, A2.16, A2.17, A2.18, A2.19, A2.20, A2.21, A2.22, A2.23, A2.24, A2.25, A2.26, A2.27, A2.28, A2.29, A2.30, A2.31, A2.32, A2.33, A2.34, A2.35, A2.36, A2.37, A2.38, A2.39, A2.40, A2.41, A2.42, A2.43, A2.44, A2.45, A2.46, A2.47, A2.48, A2.49, A2.50, A2.51, A2.52, A2.53, A2.54, A2.55, A2.56, A2.57, A2.58, A2.59, A2.60, A2.61, A2.62, A2.63, A2.64, A2.65, A2.66, A2.67, A2.68, A2.69, A2.70, A2.71, A2.72, A2.73, A2.74, A2.75, A2.76, A2.77, A2.78, A2.79, A2.80, A2.81, A2.82, A2.83, A2.84, A2.85, A2.86, A2.87, A2.88, A2.89, A2.90, A2.91, A2.92, A2.93, A2.94, A2.95, A2.96, A2.97, A2.98, A2.99, A2.100.
2. DATE TO FACE OF STUD W.D.

biltform architecture

biltform architecture group of nevada, inc.
1724 and 18th Ave. Ste. 121
Phoenix, Arizona 85014
Phone 602.258.1800 Fax 602.258.1801

B SECOND FLOOR PLAN
1/8" = 1'-0"



A FIRST FLOOR PLAN
1/8" = 1'-0"

**BUILDING TYPE 2
FIRST & SECOND FLOOR PLANS**

Picome at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

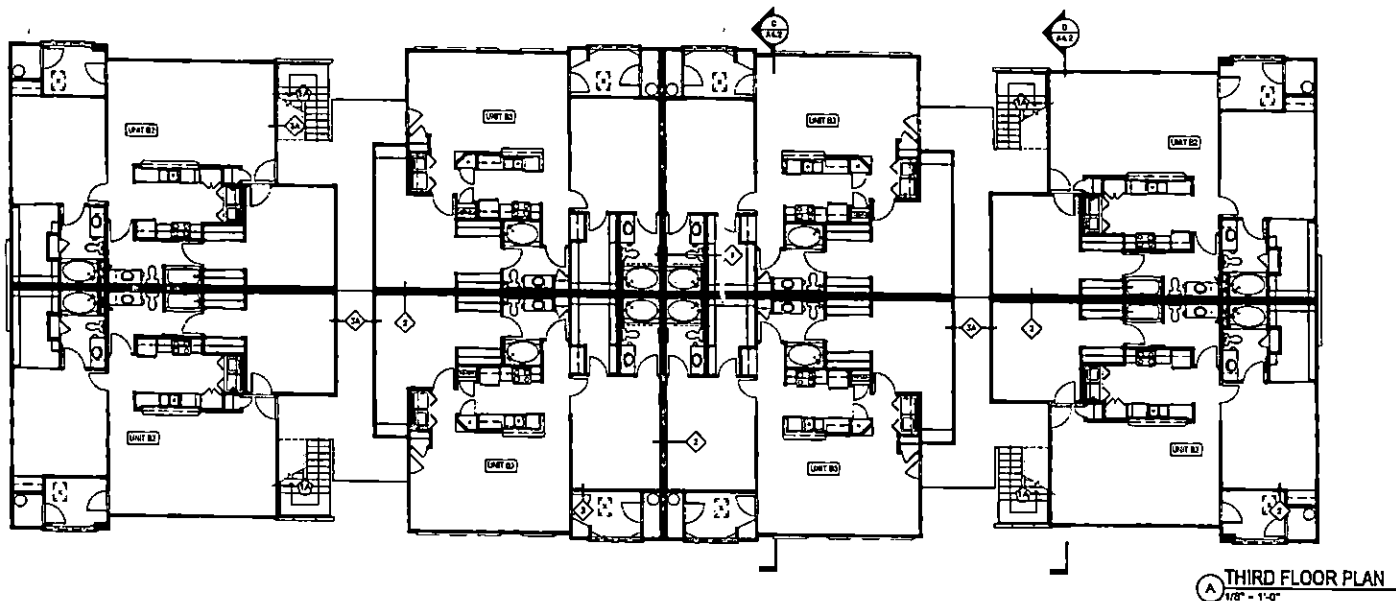
Picome Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE (602) 270-0000 FAX (602) 258-1801

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A5.1

12/21/06 PC SDR-17128



A THIRD FLOOR PLAN
1/8" = 1'-0"

SYMBOL SCHEDULE	
Ⓜ	METER PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. VERIFY SIZE V/F. ELECTRICAL CONTRACTOR PRIOR TO START. METER PACE SHALL NOT PROJECT MORE THAN 1" PAST ANY ELECTRICAL EQUIPMENT SEE DETAIL SHEETS FOR UNIT SET. SEE ELECTRICAL PLANS FOR LOCATION, CONNECTION AND OTHER INFORMATION.
Ⓢ	TELEPHONE TERMINAL CABINET, CABLE TV TAP PACE & WATER METER CABINET, ONE IN EACH BLDG. PLAN. SET ELECTRICAL FOR EXACT LOCATION. VERIFY SET WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONNECTION & OTHER INFORMATION.
Ⓢ	INDICATED STAIR FIVE, SEE SHEET A5.1 FOR STAIR PLANS AND STAIR SECTIONS.
Ⓢ	ATRIC ACCESS - SEE DETAIL, 37/04.
Ⓢ	SEE SHEET FIVE FOR SOUND AND FIRE RATED DETAILS.
Ⓢ	CONDENSING UNIT.
Ⓢ	OPTIONAL FIRE RISER LOCATION, SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
Ⓢ	PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOANED INSTALLED AT A MAXIMUM HEIGHT OF 4'2".

BUILDING PLAN NOTES	
1.	FOR TYPICAL UNIT PLANS SEE SHEETS A5.1, A5.2, A5.3, A5.4, A5.5, A5.12, A5.13, A5.14.
2.	OWS TO FACE OF GRID V.A.D.



bittform architecture
group
of nevada, inc.
1328 East Main Street, Suite 111
Las Vegas, Nevada 89101
Phone: (702) 251-1111 Fax: (702) 251-1111

Picerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
Phone: (602) 754-1000

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BUILDING TYPE 2
THIRD FLOOR

A5.2

12/21/06 PC SDR-17128

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A FRONT & REAR ELEVATION
1/8" = 1'-0"

- ELEVATION KEY NOTES: ①
1. CONCRETE ROOF TILE - I.C.B.O. 2048
 2. STUCCO SYSTEM - SEE DETAIL 2/1/01
 3. STUCCO FASCIA - SEE DETAIL 22/02
 4. STUCCO POP-OUT - SEE DETAIL 41/04
 5. ALUMINUM WINDOW
 6. PEDESTAL ACENT
 7. FINE FLOWER PLANTER
 8. BUILDING SIGNIFICATION SIGN
 9. WATER PUMP LOCATION
 10. TELEPHONE SERVICE LOCATION
 11. CABLE TELEVISION LOCATION

EXTERIOR COLOR SCHEME 1:

A. ROOF TILE	EAGLE ROOFING SHE 0711
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	#003 "SEA LANE"
C. STUCCO FASCIA, TRIM AND POP-OUTS	#013 "HALE VILLAGE"
D. PRIMARY STUCCO	#014 "HALE SEASON"
E. SECONDARY STUCCO & GARAGE DOORS	#010 "DAMEL COAT"
F. PEDESTAL ACENT	#010 DORADO STONE LUNESTONE I.C.B.O. #01-3548

EXTERIOR COLOR SCHEME 2:

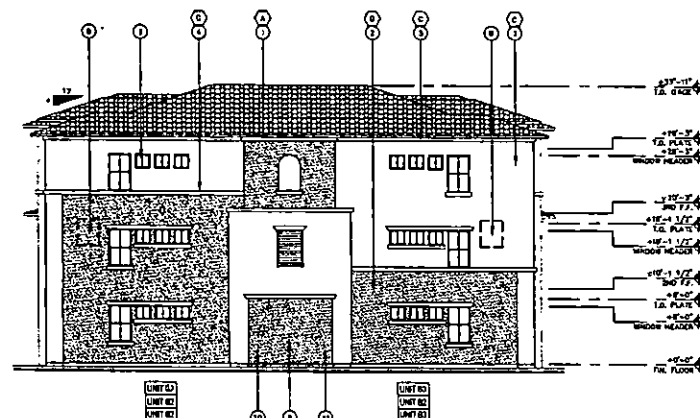
A. ROOF TILE	EAGLE ROOFING SHE 0711
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	#006 "SUNSHINE HOUSE"
C. STUCCO FASCIA, TRIM AND POP-OUTS	#013 "HALE VILLAGE"
D. PRIMARY STUCCO	#022 "COQUETRY BROWN"
E. SECONDARY STUCCO & GARAGE DOORS	#003 "TRADITIONAL TAN"
F. PEDESTAL ACENT	#010 DORADO STONE LUNESTONE I.C.B.O. #01-3548

EXTERIOR COLOR SCHEME 3:

A. ROOF TILE	EAGLE ROOFING SUNSET BLEND 2048 CAPETOWN BLEND
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	#003 "WOOD HAVEN"
C. STUCCO FASCIA, TRIM AND POP-OUTS	#012 "HALE VILLAGE"
D. PRIMARY STUCCO	#013 "AFFORDABLE TAN"
E. SECONDARY STUCCO & GARAGE DOORS	#011 "SUNSHINE"
F. PEDESTAL ACENT	#010 DORADO STONE LUNESTONE I.C.B.O. #01-3548



C STREET SIDE ELEVATION
1/8" = 1'-0"



B LEFT & RIGHT ELEVATION
1/8" = 1'-0"

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group
of nevada, inc.
1721 East 95th Ave. Ste. 111
Phoenix, Arizona 85024
Phone 852.24.1522 Fax 852.24.1523

Piceme at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Piceme Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE (602) 794-0444 FAX (602) 794-0444

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A5.4

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BUILDING TYPE 2
EXTERIOR ELEVATIONS
SDR-17128

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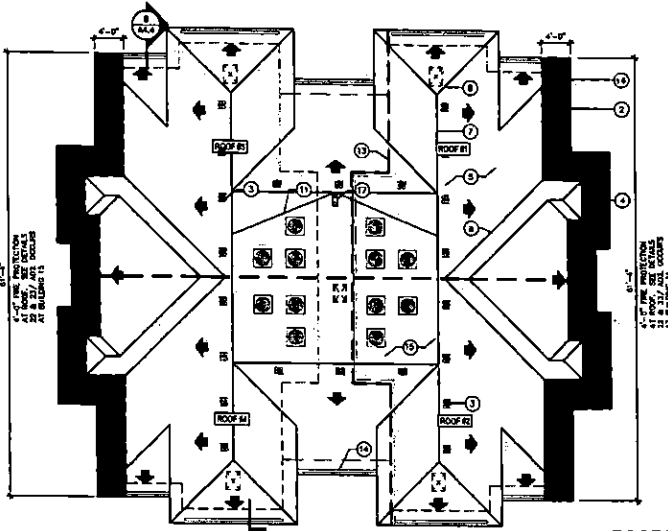
ROOF VENTILATION CALCULATIONS - BUILDING TYPE I				
ROOF AREA (S.F.)		REQUIRED VENT AREA (S.F.)		
ROOF #		FREE VENT AREA PROVIDED		
ROOF #		REQUIRED VENT AREA	EAVER VENT	GLASS VENT
ROOF 1	1,000	847	(48 L.F.) X 10	(5) X 110
ROOF 2	1,000	847	(48 L.F.) X 10	(5) X 110
ROOF 3	1,288	1,234	(62 L.F.) X 10	(6) X 110
ROOF 4	1,288	1,234	(62 L.F.) X 10	(6) X 110

ROOF VENTILATION CALCULATIONS NOTES
 CLEAR VENT - 25 X 20 (FREE VENT AREA IS 110 S.F.) AS MANUFACTURED BY
 GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA
 SHALL BE THE SAME OR BETTER THE REQUIREMENTS OF THE CALCULATION TABLE).
 EAVE VENT FREE VENT AREA IS 10 S.F. PER FOOT.

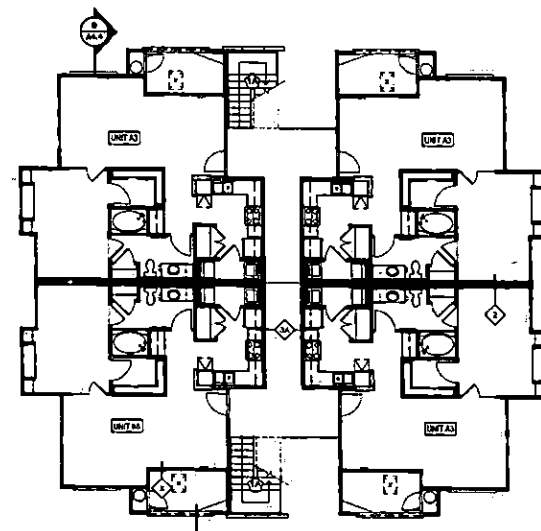
- KEYED NOTES: (1)
- CHIMNEY - SEE DETAIL 80/07.
 - LINE OF WALL BELOW.
 - CLOSED ROOF VENT - SEE DETAIL 33/03.
 - FASCH - SEE DETAIL 33/03.
 - CONCRETE ROOF TILE - 12.00. OR-4800.
 - HP - SEE DETAIL 34/03.
 - ROOF - SEE DETAIL 34/03.
 - VALLEY - SEE DETAIL 31/03.
 - LINE OF ROOF BELOW.
 - TIME STEEL VALLEY FRAMING 6/8 TOP & BOTTOM.
 - CHIMNEY - PROVIDE MIN. SLOPE OF 1/4" PER FT.
 - PARAPET - SEE DETAIL 62/08.
 - LOCATION OF DRAFTSTOP AT ATIC SPACE AND AT FLOOR/CEILING SPACE - SEE DETAIL 6/01 & 4/01.
 - EAVE VENT - FIELD VERIFY LOCATION, COORDINATE WITH STRUCTURAL SHEAR WALL LOCATIONS.
 - MECHANICAL WELL - SEE DETAIL 77/07.
 - DRAIN & OVERFLOW WITH 3" ROOF DRAIN LEADERS TO DAY LIGHT - SEE DETAILS 83/08 AND 84/08.
 - 3" DRAIN & OVERFLOW FROM MECHANICAL WELL TO COLUMNA, DOWN TO GRADE AT 1/4" PER FT.
 - LINE OF SOFFIT BELOW.
 - ROOF GUTTER AND DOWNSPOUT.
 - FASCH - SEE DETAIL 80/08.
 - 3-PLY BUILT UP CLASS "B" ROOF.

- SYMBOL LEGEND
- DIRECTION OF ROOF SLOPE - 4:12 G/12.
 - DIRECTION OF CHIMNEY SLOPE.
 - DRAFTSTOP SHALL BE CONTINUED TO UNDERSIDE OF ROOF MEANS INCLUDING BUILT-UP CHIMNEYS & TO FACE OF EXTERIOR WALL & OVERHANG.
 - INDICATES EAVE VENT.
 - INDICATES CLOSED VENT.
 - ATIC ACCESS - SEE DETAIL 33/04.
 - 3/4" S-4" ROOF ACCESS - SEE DETAIL 10/01.

- GENERAL NOTES:
- ALL PENETRATIONS OF FIRE-RESISTIVE ROOF SHALL BE PROTECTED BY ALLIEDS AND INSTALLATION DETAILS THIS DRAWING TO CONFORMANCE WITH THE MANUFACTURER'S LISTINGS FOR "PENETRATION FIRE-STOP SYSTEMS". THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BY THE MANUFACTURER OF THE FIRE-STOP SYSTEM, PRIOR TO INSTALLATION.
 - DRAFTSTOPS SHALL BE CONTINUED TO UNDER SIDE OF ROOF MEANS INCLUDING BUILT-UP CHIMNEYS, AND TO FACE OF EXTERIOR WALL & OVERHANG.
 - ATIC PENETRATIONS & RETURNED, REFER TO CALCULATIONS THIS SHEET.
 - ROOFING SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
 - SEE SECTIONS FOR ADDITIONAL DETAILS.
 - CONC. ROOF TILES TYPE "B" 12.00. OR-4800. 1/2" SET BACKS OVER 4/4" TIE ON PLY. ROOF SHEATHING.
 - TYPICAL ROOF SLOPE IS 4:12.
 - BAR OUT ROOF TILE AT VALLEYS - TYP.
 - ROOF OVERHANGS SHALL BE 1'-0" MIN.
 - ALL ROOFS MUST BE A MINIMUM OF 4 CLASS-B RATING.



(B) ROOF PLAN
 1/8" = 1'-0"



(A) THIRD FLOOR PLAN
 1/8" = 1'-0"

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biltform architecture
 a group of nevada, inc.
 1231 S. MAIN ST., SUITE 101
 PHOENIX, ARIZONA 85014
 PHONE: (602) 258-0200 FAX: (602) 258-1000

Picrner at Providence - Phase II
 Rental Apartment Community
 Las Vegas, Nevada

Picrner Development Corp.
 1420 E. MISSOURI AVE., SUITE 100 PHOENIX, ARIZONA 85014-2469
 PHONE: (602) 275-5400

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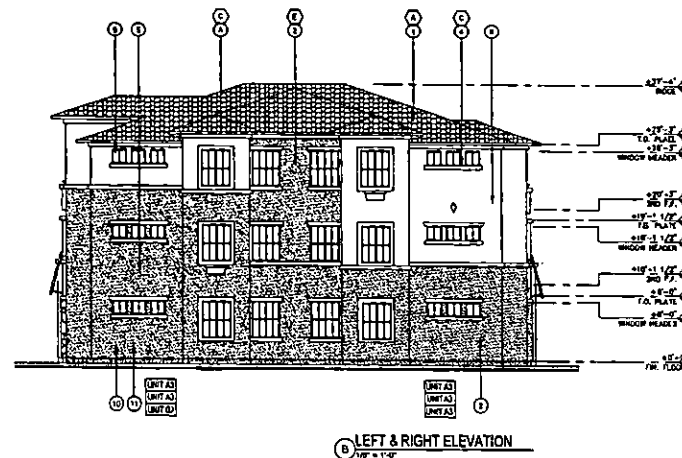
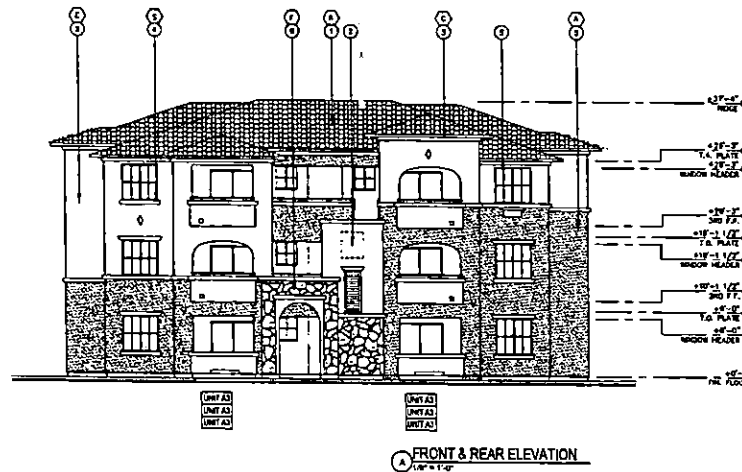
SCALE: 1/8" = 1'-0"

A6.2

BUILDING TYPE 4
 THIRD FLOOR & ROOF PLAN

12/21/06 PC SDR-17128

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ELEVATION KEY NOTES: ①

1. CONCRETE ROOF TILE - 10.0.0. 2015
2. STUCCO SYSTEM - SEE DETAIL 3/1/11
3. STUCCO FASCIA, SEE DETAIL 22/02
4. STUCCO POP-OUT - SEE DETAIL 41/04
5. ALUMINUM WINDOW
6. FIELDSTONE ACCENT
7. FAUX FLOWER PLANTER
8. BUILDING IDENTIFICATION SIGN
9. METER PAD LOCATION
10. TELEPHONE SERVICE LOCATION
11. CABLE TELEVISION LOCATION

EXTERIOR COLOR SCHEME 1: ①

① ROOF TILE	EAGLE ROOFING INC. 8011 "PUERTA DEL SOL BLIND"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #03 "SALA LAKE"
③ STUCCO FASCIA, TRIM AND POPOUTS	ICI #01 "HALE VILLAGE"
④ PRIMARY STUCCO	ICI #01 "HALE VILLAGE"
⑤ SECONDARY STUCCO & GARAGE DOORS	ICI #030 "CAMEL COAT"
⑥ FIELDSTONE ACCENT	ICI DORADO STONE UNIFORM "SAND" L.C.S.D. #27-3368

EXTERIOR COLOR SCHEME 2: ②

① ROOF TILE	EAGLE ROOFING INC. 8011 "PUERTA DEL SOL BLIND"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #03 "SALA LAKE"
③ STUCCO FASCIA, TRIM AND POPOUTS	ICI #01 "HALE VILLAGE"
④ PRIMARY STUCCO	ICI #01 "HALE VILLAGE"
⑤ SECONDARY STUCCO & GARAGE DOORS	ICI #030 "CAMEL COAT"
⑥ FIELDSTONE ACCENT	ICI DORADO STONE UNIFORM "SAND" L.C.S.D. #27-3368

EXTERIOR COLOR SCHEME 3: ③

① ROOF TILE	EAGLE ROOFING INC. 8011 "PUERTA DEL SOL BLIND"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #03 "SALA LAKE"
③ STUCCO FASCIA, TRIM AND POPOUTS	ICI #01 "HALE VILLAGE"
④ PRIMARY STUCCO	ICI #01 "HALE VILLAGE"
⑤ SECONDARY STUCCO & GARAGE DOORS	ICI #030 "CAMEL COAT"
⑥ FIELDSTONE ACCENT	ICI DORADO STONE UNIFORM "SAND" L.C.S.D. #27-3368

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group of nevada, inc.
1325 West Sahara Blvd., Suite 101
Phoenix, Arizona 85015
Phone: 602.952.1000 Fax: 602.952.1001

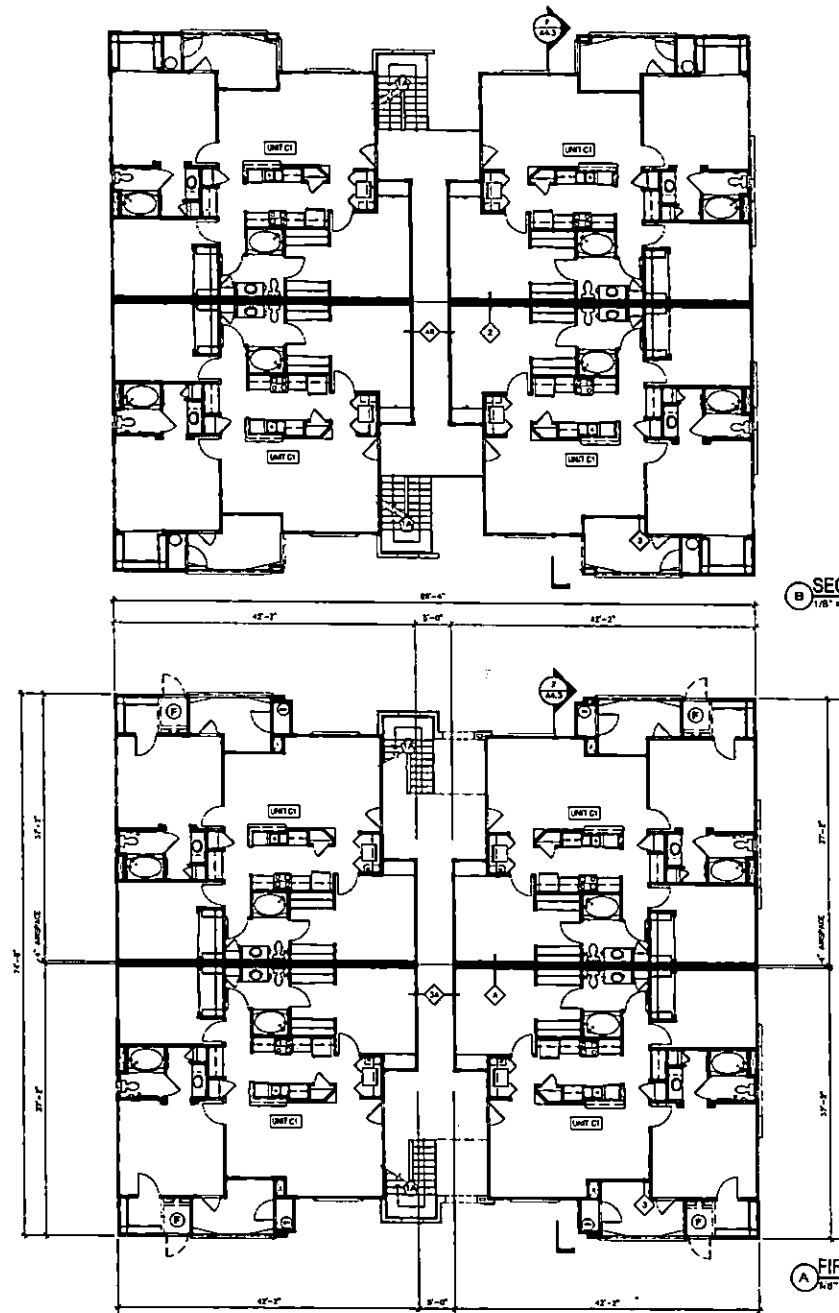
Picorne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada
Picorne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE: (602) 276-8404

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BUILDING TYPE 4
EXTERIOR ELEVATIONS
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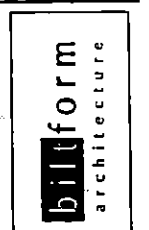


SYMBOL SCHEDULE

- METER PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. NOTIFY BIDDING ELECTRICAL CONTRACTOR PRIOR TO INSTALL. METER PACE BIDDING SHALL NOT PROCEED MORE THAN 1" PAST ANY ELECTRICAL EQUIPMENT. SEE ELECTRICAL SHEETS FOR EXACT SIZE, SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION AND OTHER INFORMATION.
- TELEPHONE TERMINAL CABINET, CABLE TV TOP BOX & WATER METER CABINET, ONE IN EACH BUILDING. NOTIFY BIDDING ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
- WATER METER STATION. SEE SHEET A1.1 FOR STAIR PLANS AND STAIR SECTION.
- ATRIC ACCESS - SEE DETAIL A7.0/4.
- SEE SHEET A7.1 FOR SOUND AND FIRE RATED DETAILS.
- CONDENSING UNIT
- OPTIONAL FIRE RISER LOCATIONS, SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
- PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCATED INSTALLED AT A MAXIMUM HEIGHT OF 4'2".

BUILDING PLAN NOTES

- FOR TYPICAL UNIT PLANS SEE SHEETS A2.1, A2.2, A2.3, A2.4, A2.5, A2.6, A2.7, A2.8, A2.9, A2.10, A2.11, A2.12, A2.13, A2.14, A2.15, A2.16, A2.17.
- DOES TO FACE OF RULO U.A.O.



biform architecture
group
of nevada, inc.
1319 W. WYOMING AVE. SUITE 101
PHOENIX, ARIZONA 85014-2469
PHONE: 602.268.0270 FAX: 602.268.0271

Picerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE: 602.268.0270 FAX: 602.268.0271

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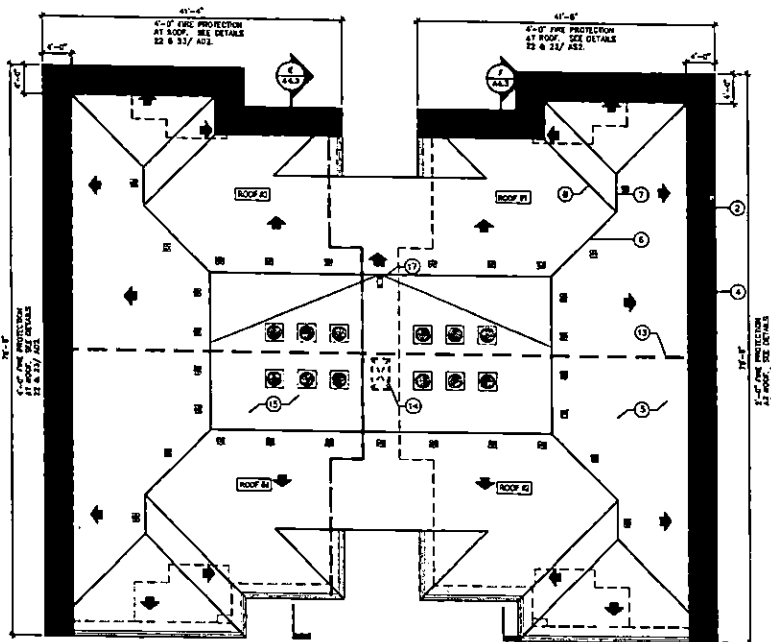
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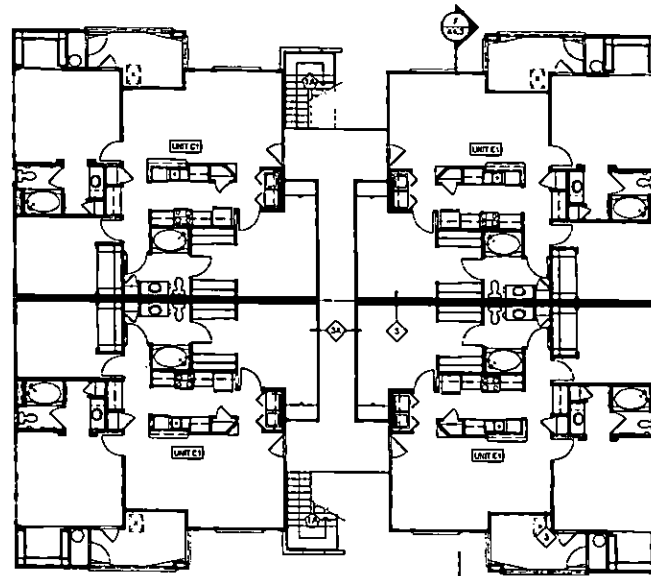
BUILDING TYPE 15
FIRST & SECOND FLOOR PLANS

12/21/06 PC SDR-17128

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B ROOF PLAN
1/8" = 1'-0"



A THIRD FLOOR PLAN
1/8" = 1'-0"

ROOF VENTILATION CALCULATIONS - BUILDING TYPE I				
ROOF AREA (S.F.) X 1.18 = REQUIRED VENT AREA (S.F.)		FREE VENT AREA PROVIDED		
ROOF #	ROOF AREA S.F.	REQUIRED VENT AREA	EAVER VENT	CLOAK VENT
ROOF 1	1,807	1,725	(87 L.F.) X 14	(8) X 116
ROOF 2	1,807	1,725	(87 L.F.) X 14	(8) X 116
ROOF 3	1,807	1,725	(87 L.F.) X 14	(8) X 116
ROOF 4	1,807	1,725	(87 L.F.) X 14	(8) X 116

ROOF VENTILATION CALCULATIONS NOTES:
CLOAK VENT - 25 X 20 (FREE VENT AREA IS 116 S.F.) AS MANUFACTURED BY GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL. (NOT FREE AREA) (SEE VENT FREE VENT AREA IS 10 S.F. FOR FOOT).

- KEYED NOTES: (1)**
- CHIMNEY - SEE DETAIL 80/07.
 - USE OF WALL BOLDS.
 - CLOAKED ROOF VENT - SEE DETAIL 50/03.
 - PASOA - SEE DETAIL 12/07.
 - CONCRETE ROOF TILE - 12.00 OR-460.
 - HP - SEE DETAIL 34/03.
 - ROOF - SEE DETAIL 34/03.
 - VALLEY - SEE DETAIL 31/03.
 - USE OF ROOF BOLDS.
 - THREE STEEL TRUSS FRAMING 448 TOP & BOTTOM.
 - CROCKET - PROVIDE MIN. SLOPE OF 1/4" PER FT.
 - PARAPET - SEE DETAIL 92/06.
 - LOCATION OF DRAFTSTOP AT ATIC SPACE AND AT FLOOR/CEILING SPACE - SEE DETAIL 1/03 & 4/03.
 - EAVER VENT - FIELD VERIFY LOCATION, COORDINATE WITH STRUCTURAL BEAM WALL LOCATIONS.
 - MECHANICAL HES - SEE DETAIL 77/07.
 - DRAWN & OVERLAP WITH 2" ROOF DRAIN LEADERS TO DAYLIGHT - SEE DETAIL 82/09 AND 84/02.
 - 2" DRAIN & OVERFLOW FROM MECHANICAL WELL TO COLUMNS, DRAIN TO GRADE AT 1/4" PER FT.
 - LINE OF ROOF FIT BELOW.
 - ROOF GUTTER AND DOWNSPOUT.
 23. FASOA - SEE DETAIL 23/06.
 - 3-PLY BUILT UP CLASS "B" ROOF.

- SYMBOL LEGEND**
- ↑ DIRECTION OF ROOF SLOPE - 4:12 U.S.C.
 - DIRECTION OF GABLE SLOPE
 - DRAFTSTOP SHALL BE CONTINUED TO UNDERLAYER OF ROOF INSULATION INCLUDING EXTERIOR WALL & INTERIORS.
 - INDICATES EAVER VENT
 - INDICATES CLOAK VENT
 - ATIC ACCESS - SEE DETAIL 37/04
 - 30" 3/4" ROOF ACCESS - SEE DETAIL 74/07

- GENERAL NOTES:**
- ALL PENETRATIONS OF FIRE-RESISTIVE ROOF OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERPINNERS LABORATORY LISTINGS FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS". THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS FOR REVIEW BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOP DRAWINGS SHALL BE APPROVED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, AND SHALL BE SUBMITTED TO THE ARCHITECT AND BUILDING DEPARTMENT. BE AVAILABLE TO CLARIFY COUNTY REQUIREMENTS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION, WITH APPROPRIATE S.D. PROVIDED WITH ALL VARIABLES DETAIL.
 - DRAFTSTOPS SHALL BE CONTINUED TO UNDERLAYER OF ROOF INSULATION INCLUDING EXTERIOR WALL & INTERIORS.
 - ATIC VENTILATION IS REQUIRED. REFER TO CALCULATIONS THIS SHEET.
 - ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - SEE SECTIONS FOR ADDITIONAL HEIGHTS.
 - UNDER ROOF FLOOR FIVE (5) FEET TO 12.00 OR-460 WITH BATTING OVER 405 FEET TO 41/00.
 - TYPICAL ROOF SLOPE IS 4:12.
 - SAW CUT ROOF TILE AT VALLEYS - TOP.
 - ROOF OVERLAPS SHALL BE 1'-0" MIN.
 - ALL ROOFS MUST BE A MINIMUM OF A CLASS-B RATING.

biltform architecture
biltform architecture group
of nevada, inc.
1121 WEST BURNING WOOD, SUITE 101
PHOENIX, ARIZONA 85014
PHONE (602) 279-8400 FAX (602) 279-8400

Picorne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada
Picorne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE (602) 279-8400 FAX (602) 279-8400

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SEP 26 2006

REVISIONS	
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BUILDING TYPE 15
THIRD FLOOR & ROOF PLAN

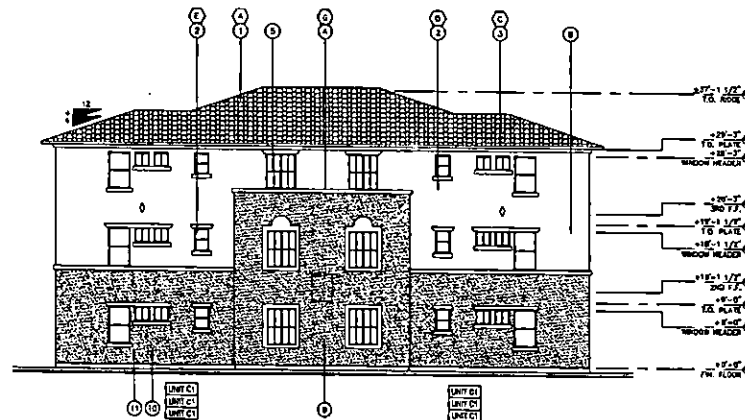
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SDR-17128

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A FRONT & REAR ELEVATION
1/8" = 1'-0"



B SIDE ELEVATION
1/8" = 1'-0"

ELEVATION KEY NOTES: (1)	
1. CONCRETE ROOF TILE - 1/2"	10. TELEPHONE SERVICE LOCATION
2. STUCCO SYSTEM - SEE DETAIL 22/02	11. CABLE TELEVISION LOCATION
3. STUCCO FASADA, SEE DETAIL 22/02	
4. STUCCO POP-OUT - SEE DETAIL 41/04	
5. ALUMINUM WINDOW	
6. FIELDSTONE ACCENT	
7. FAUX FLORES PLANTER	
8. BUILDING IDENTIFICATION SIGN	
9. METER PACE LOCATION	

EXTERIOR COLOR SCHEME 1:	
A. ROOF TILE	CABLE ROOFING SIC 879 PUEBLO DEL SOL BUILDING
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLORES PLANTERS	ICI #503 "SEA LARK"
C. STUCCO FASADA, TRIM AND POP-OUTS	ICI #512 "HALE VILLAGE"
D. PRIMARY STUCCO	ICI #384 "MAPLE BLISSON"
E. SECONDARY STUCCO & GARAGE DOORS	ICI #330 "CAULI COAT"
F. FIELDSTONE ACCENT	ICI #330 "CAULI COAT"

EXTERIOR COLOR SCHEME 2:	
A. ROOF TILE	EAGLE ROOFING SIC 882 "WISDOM SEASIDE CRUISE"
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLORES PLANTERS	ICI #101 "STERN HOUSE"
C. STUCCO FASADA, TRIM AND POP-OUTS	ICI #512 "HALE VILLAGE"
D. PRIMARY STUCCO	ICI #322 "CENTURY BROWN"
E. SECONDARY STUCCO & GARAGE DOORS	ICI #335 "TRADITIONAL TAN"
F. FIELDSTONE ACCENT	ICI #335 "TRADITIONAL TAN"

EXTERIOR COLOR SCHEME 3:	
A. ROOF TILE	EAGLE ROOFING SIC 882 "WISDOM SEASIDE CRUISE"
B. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLORES PLANTERS	ICI #101 "STERN HOUSE"
C. STUCCO FASADA, TRIM AND POP-OUTS	ICI #512 "HALE VILLAGE"
D. PRIMARY STUCCO	ICI #322 "CENTURY BROWN"
E. SECONDARY STUCCO & GARAGE DOORS	ICI #335 "TRADITIONAL TAN"
F. FIELDSTONE ACCENT	ICI #335 "TRADITIONAL TAN"

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architecture

blitform architecture
group of nevada, inc.
1218 W. 10th St. Suite 101
Las Vegas, NV 89102
Phone: (702) 382-1000 Fax: (702) 382-1001

Piceme at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

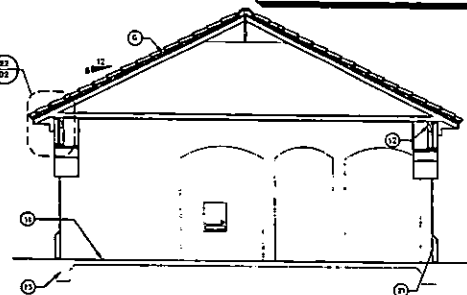
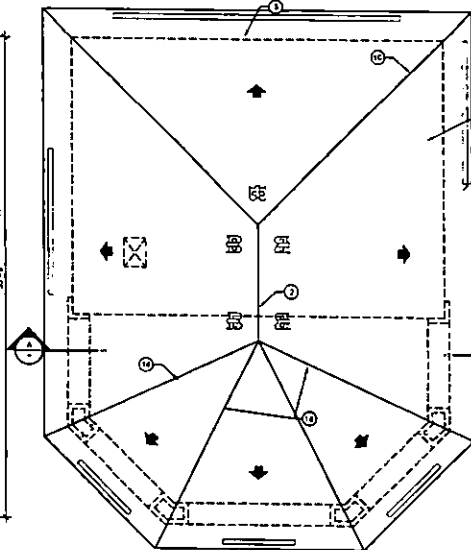
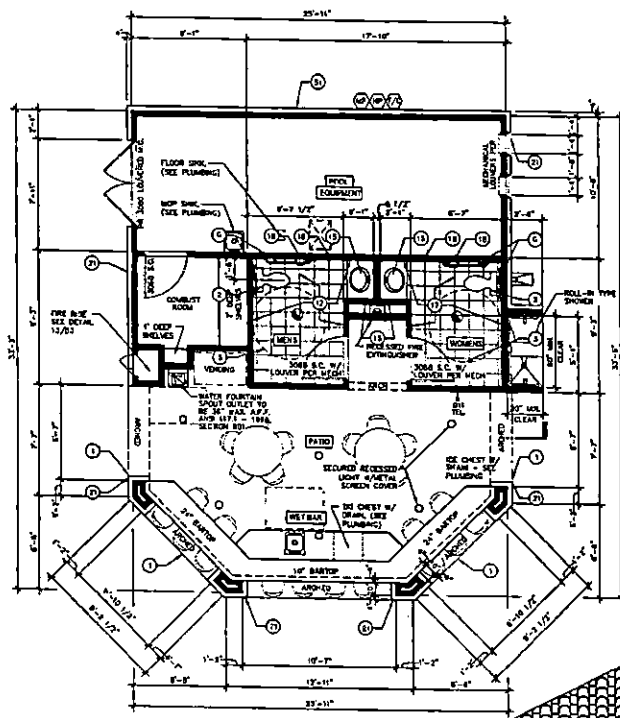
Piceme Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE: (602) 278-8400

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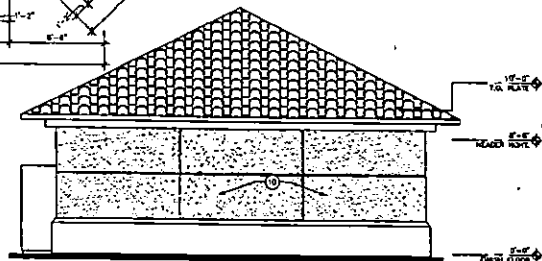
BUILDING TYPE 15
EXTERIOR ELEVATIONS

12/21/06 PC SDR-17128

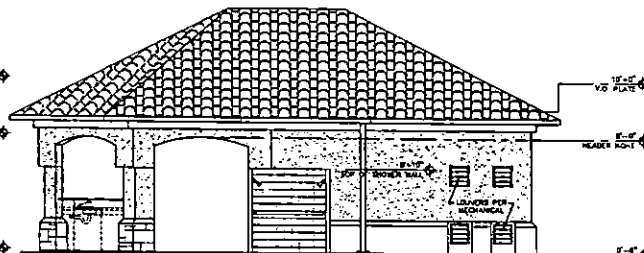
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blitform architecture group of nevada, inc.
1218 W. 10th St. Suite 101
Las Vegas, NV 89102
Phone: (702) 382-1000 Fax: (702) 382-1001



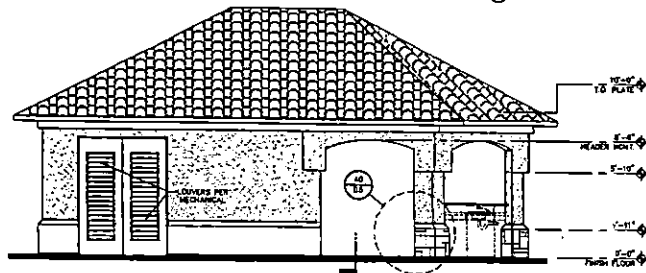
A BUILDING SECTION



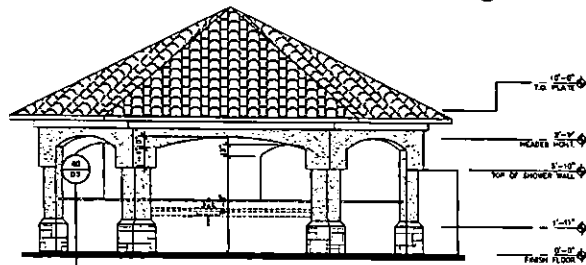
C REAR ELEVATION



B RIGHT ELEVATION



D LEFT ELEVATION



E FRONT ELEVATION

ROOF VENTILATION CALCULATIONS - BUILDING TYPE 1				
ROOF AREA (S.F.)		REQUIRED VENT AREA (S.F.)		
ROOF #	ROOF AREA (S.F.)	REQUIRED VENT AREA (S.F.)	FREE VENT AREA PROVIDED	TOTAL PROVIDED
ROOF 1	1,083	1,083	(2) 1.5' X 10'	1,070

ROOF VENTILATION CALCULATIONS NOTES:
 1. CLOSE VENT = 25 X 20 (FREE VENT AREA IS 110 S.F.) AS MANUFACTURED BY GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA SHALL BE THE SAME OR BETTER THE REQUIREMENTS OF THE CALCULATION TABLE).
 2. FREE VENT FREE VENT AREA IS 10 S.F. PER FOOT.

GENERAL ROOF PLAN NOTES:
 1. COMPLETE THE ROOF AREA SHALL SLOPE 6:12 UNLESS NOTED OTHERWISE.
 2. TYPICAL OVERHANG SHALL BE 6" ON EAVES.
 3. DASHED LINE INDICATES BUILDING BOUNDARY.
 4. SAW CUT ROOF TILE AT VALLEYS - TYP.
 5. DOWNSPOUT SHALL BE 2" DIA. X 25' (FREE VENT AREA IS 110 S.F. NET FREE AREA SHALL BE THE SAME OR BETTER THE REQUIREMENTS OF THE CALCULATION TABLE).

- KEYED NOTING:
- FRAMED ARCH AND POPOUT ROOF.
 - HARDWARE WATER CLOSET - 17" WIDE.
 - 3/4" DIA. TURNING ORIEL.
 - 36" AND 42" 1 1/2" GLASSLESS STEEL CRAB BARS - PROVIDE SOLID BLOCKING SEE DETAIL 1/401.
 - LINE OF WALL BELOW.
 - CONCRETE ROOF TILE - TYPE "12" 12" X 16" X 5/8" WITH BATHS OVER 408 FILL ON PLYWOOD ROOF SHEARING TYPICAL.
 - ROOF.
 - VALLEY.
 - FASADA - SEE DETAIL 22/03.
 - STUCCO SYSTEM - SEE SHEET 2/001.
 - CONCRETE TOPPING 10 MESH POOL DECK OVER CONCRETE SLAB SEE STRUCTURAL DRAWINGS.
 - SEAM SEE STRUCTURAL DRAWINGS.
 - CONCRETE FOOTING SEE STRUCTURAL DRAWINGS.
 - W.P.
 - PLASTIC LAMINATE COUNTERTOP & LAVATORY.
 - BODICOR (254003) PAPER TONE AND BASTE COMPOSER.
 - FLOOR TILE 1/4" TILE 12" X 12" X 1/4" ON DALL.
 - CORNER (254033) TOLIT TISSUE DISPENSER.
 - BODICOR (254033) LAV. MOUNTED SOAP DISPENSER.
 - CORNER TILE COUNTERTOP & BATH.
 - BUILDING SHIRT - 30/03.
 - CONTINUOUS SCOTT VENT.

SYMBOL SCHEDULE:

1/4"	INDICATES CLOSED VENT
1/4"	DIRECTION OF SLOPE 6:12
1/4"	CEILING MOUNTED DOWNST FAN PER MECHANICAL
1/4"	ACCESS PANEL - SEE 27/04

EXTERIOR COLOR SCHEME 1:

1 ROOF TILE	EAGLE ROOFING "PUEBLO DEL SOL BLEND"
2 DOORS, SHUTTERS, SLAB & BALCONY RAILINGS & FLOUNDER PLANTERS	ICI #103 "SEA LANE"
3 STUCCO FASADA, TRIM AND POPOUTS	ICI #252 "HALE VILLAGE"
4 PRIMARY STUCCO	ICI #284 "SAMPLE GLAZIER"
5 SECONDARY STUCCO & GARAGE DOORS	ICI #103 "CAMEL COAT"
6 FIELDSTONE ACCENT	ICI DORADO STONE Limestone "SPLO"

EXTERIOR COLOR SCHEME 2:

1 ROOF TILE	EAGLE ROOFING "PUEBLO DEL SOL BLEND"
2 DOORS, SHUTTERS, SLAB & BALCONY RAILINGS & FLOUNDER PLANTERS	ICI #103 "SEA LANE"
3 STUCCO FASADA, TRIM AND POPOUTS	ICI #252 "HALE VILLAGE"
4 PRIMARY STUCCO	ICI #284 "SAMPLE GLAZIER"
5 SECONDARY STUCCO & GARAGE DOORS	ICI #103 "CAMEL COAT"
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EXTERIOR COLOR SCHEME 3:

1 ROOF TILE	EAGLE ROOFING "PUEBLO DEL SOL BLEND"
2 DOORS, SHUTTERS, SLAB & BALCONY RAILINGS & FLOUNDER PLANTERS	ICI #103 "SEA LANE"
3 STUCCO FASADA, TRIM AND POPOUTS	ICI #252 "HALE VILLAGE"
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billform architecture
 group of nevada, inc.
 1425 West Adams Ave. Suite 101
 Phoenix, Arizona 85014
 Phone: 602.955.0000 Fax: 602.955.0001

Picorne at Providence - Phase II
 Rental Apartment Community
 Las Vegas, Nevada

Picorne Development Corp.
 1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
 PHONE: (602) 271-8400 FAX: (602) 275-9605

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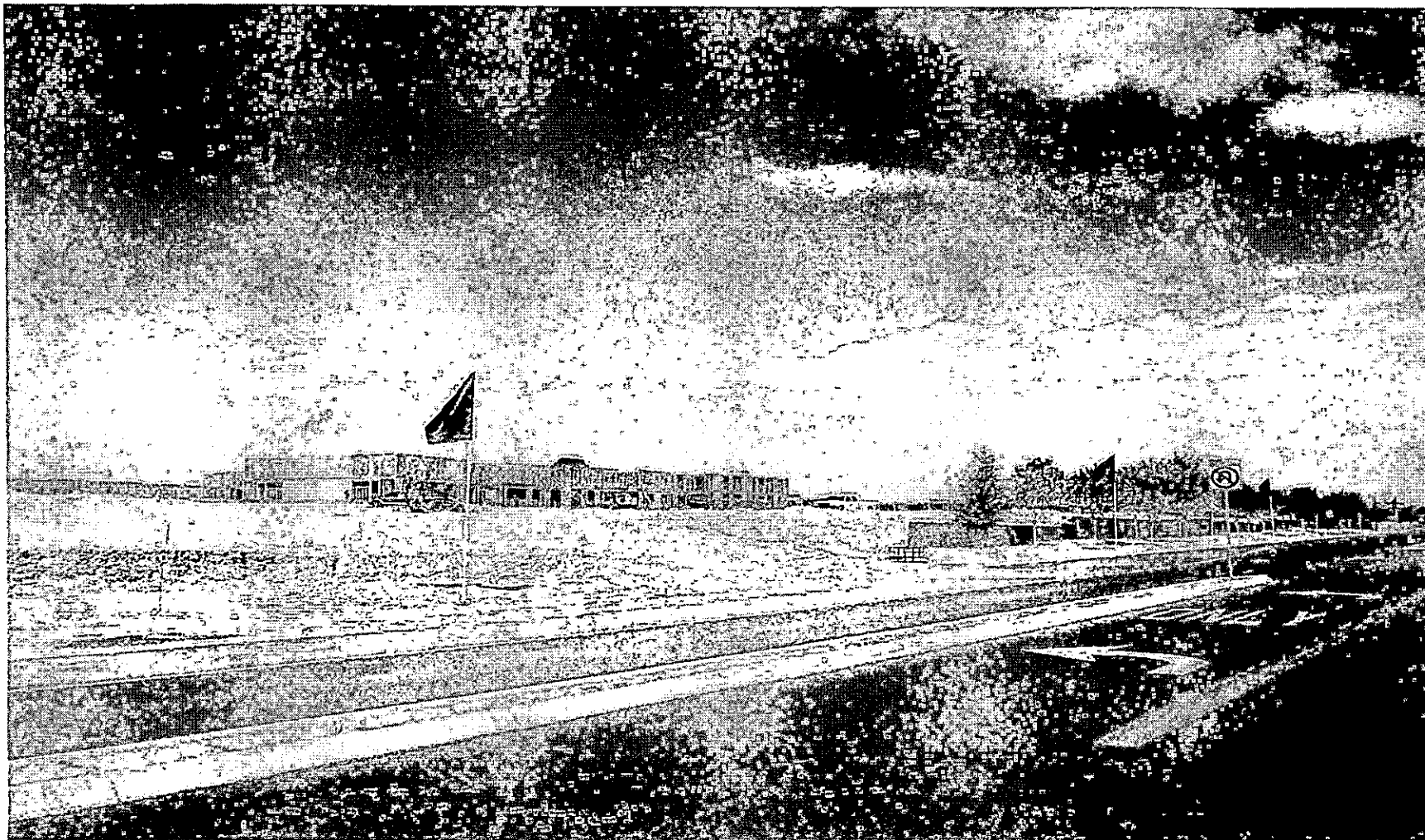
12/21/06 PCSDR-17128

CABANA C1 FLOOR,
 ROOF, & ELEVATION PLANS

A10.1

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SDR 17128				
Picerne Providence II, LLC				
6851 N Hualapai				
Proposed 124 unit multi-family housing development expansion.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RES. CONDO/TOWNHOUSE [DWELL]	124	5.86	727
AM Peak Hour			0.44	55
PM Peak Hour			0.52	64
<i>(heaviest 60 minutes)</i>				
No counts are available for existing traffic in this vicinity.				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Dorrell Drive	32585			
Hualapai Way	34300			
This project will add approximately 727 trips per day on Dorrell or Hualapai. Counts are not available in this vicinity, but Dorrell and Hualapai are believed to be under capacity. This project will use roughly 2 percent of the capacity of Dorrell and Hualapai.				
Based on Peak Hour use, this development will add roughly 64 additional cars into the area; which works out to about over one every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



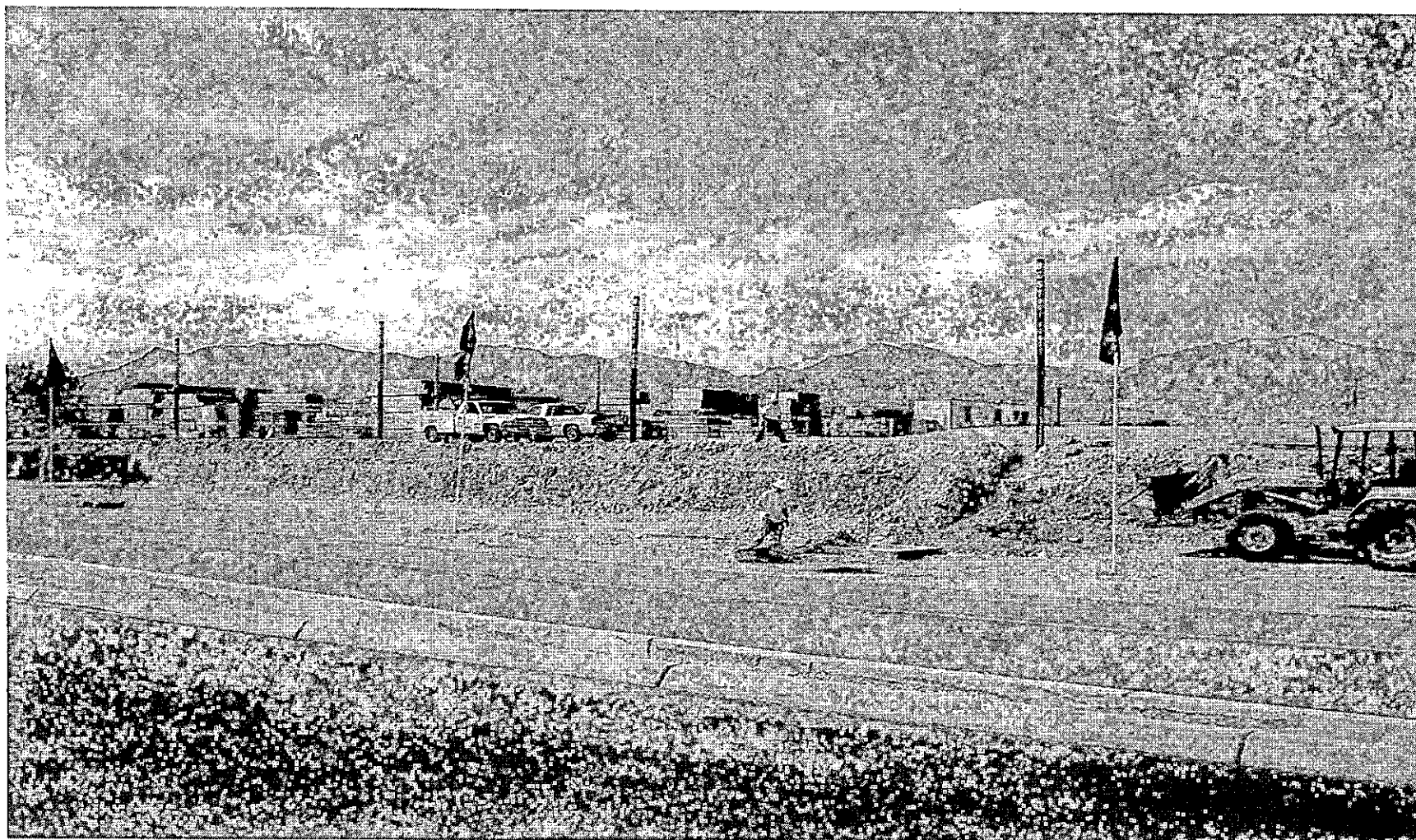
VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



KUMMER KAEMPFER BONNER RENSHAW & FERRARIO
ATTORNEYS AT LAW

WWW.KKBRF.COM

LAS VEGAS OFFICE

STEPHANIE H. ALLEN
sallen@kkbrf.com
702.792.7000

LAS VEGAS OFFICE
3800 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89109-0907
Tel: 702.792.7000
Fax: 702.796.7181

RENO OFFICE
5250 S. Virginia Street
Suite 220
Reno, NV 89502-6000
Tel: 775.852.3900
Fax: 775.852.3982

SUMMERLIN OFFICE
3425 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89129-5074
Tel: 702.693.4260
Fax: 702.939.8457

September 26, 2006

VIA HAND DELIVERY

City of Las Vegas
Planning & Development Dept.
731 So. Fourth Street
Las Vegas, NV 89101

**RE: Justification Letter
Site Development Review & Parking Variance
APN 126-24-610-004**

To Whom It May Concern:

Please be advised our office represents the applicant in the above-referenced matter. The property is located at the northwest corner of Deer Springs Way and Hualapai Way, more specifically known as assessor's parcel number 126-24-610-004 ("Site").

The Site is approximately five (5) acres in size and is located within the Cliff's Edge Providence Master Planned Community. The applicant has an approved apartment development ("Phase I") adjacent to the Site and intends to add the Site into that development as Phase II of the development. The Cliff's Edge Design Review Committee ("DRC") has approved the Phase II development with a minor reduction in parking for the overall development. See DRC Approval Letter and Analysis attached hereto as Exhibit A.

A. Site Development Review

The Site that will be incorporated into the applicant's approved Phase I development will consist of one hundred twenty-four (124) apartment units with a density of 24.9 units per acres. There will be thirty-six (36) one bedroom units, seventy-six (76) two bedroom units and twelve (12) three bedroom units on the Site. There will be access to the Site from Hualapai Way and internal driveway cross access to Phase I. There will be excess open space on the Site with a pool and a recreation area. The required open space is 12,400 square feet and the applicant is providing 32,352 square feet of open space. The applicant meets the parking on the Site with two hundred thirty-eight (238) parking spaces on the Site where two hundred twenty-seven (227) parking spaces are

12/21/06 PC SDR-17128



required. However, when the Site is incorporated into Phase I, a slight parking variance for the overall development is necessary.

B. Parking Variance (slightly over 1 %)

Although the approved Phase I development complied with the City's parking requirements as a stand alone development, and the proposed Phase II development complies with the City's parking requirements as a stand alone development, the overall project requires a minor parking variance of just over 1%. There will be five hundred sixteen (516) apartments with Phase I and Phase II combined. The overall development will require nine hundred thirty-seven (937) parking spaces, and the applicant is providing nine hundred twenty-six (926) parking spaces overall. This is a parking reduction of slightly over 1%. The reason for the slight reduction in overall parking is a result of the driveway configurations on the new Site to allow appropriate internal access between Phase I and Phase II. The Cliff's Edge DRC approved the variance because it was so slight and because both Phase I and Phase II meet the parking requirements as stand alone developments.

Should you have any questions or concerns, please do not hesitate to contact me. Thank you for your time and consideration.

Sincerely,

KUMMER KAEMPFER BONNER RENSHAW & FERRARIO



Stephanie H. Allen

**12/21/06 PC
SDR-17128**



PROVIDENCE

3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 568-2044

September 13, 2006

Kevin Reis
Picerne
4880 West University Avenue
Suite B6
Las Vegas, NV 89103

**RE: Cliff's Edge Master Plan Community
Parking Requirement Variance Request
POD: 125a - Phase II Additional 5 Acres**

Dear Kevin,

The Cliff's Edge Design Review Committee (DRC) is in receipt of the Picerne letter dated August 24, 2006 requesting to provide 926 spaces for 516 apartment units where a total of 937 spaces are required.

Upon review of your request and the attached tentative map table review dated August 24, 2006 this deviation has been found to be just slightly over 1% therefore the DRC "approves with conditions" your request subject to the following:

- Final review and approval by the City of Las Vegas.
- A copy of the approved CLV Tentative Map should be submitted to the Providence DRC.

Any other deviations must be submitted to the DRC for review and approval prior to submitting to the City. Due to the location of your community within the Providence Master Plan, the DRC suggests your perimeter walls and landscape be in accordance with Providence design standards to provide seamless blending with the adjacent communities. As a courtesy, the DRC is willing to perform a review of your perimeter walls and landscape designs at no cost in an effort to provide continued design flow throughout the community.

If you have any questions, please do not hesitate to contact our office.

Sincerely,

CLIFF'S EDGE, LLC

Carmen Shukis
Design Review Manager

cc via email: Don Richards, Heather Motogawa, Amber Abel - Focus
Mo Seebeck, Dave Browning - Landtek

Enclosures: (Picerne request letter dated 08/24/06, Tentative Map table review dated 08/24/06 and Landtek Tentative Map review dated 08/24/06)

**12/21/06 PC
SDR-17128**



PROVIDENCE

Modern Planned Community

3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 568-2044

August 24, 2006

Kevin Reis
Picerne
4880 West University Avenue
Suite B6
Las Vegas, NV 89103

RE: Project Plan Tentative Map Review for Providence POD 125a Picerne Phase II Multi-Family (Phase II: additional 5 acres)

Dear Kevin,

The Providence Design Review Committee (DRC) is in receipt of the Project Plan Tentative Map submittal. This submittal has been reviewed against Section 3.2.1 (Medium Density Residential – Up to 25 Du/Ac) of the Design Guidelines based on the approved use and density of Pod 125A.

Standards	Required	Provided	Compliance
Building Setbacks			
Principal Buildings and Accessory Structures from Adjacent Parcel PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	20' min	Yes
• Three Story Structures	30'	30' min	Yes
• Four Story Structures	40'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Street R.O.W. at Parcel Perimeter:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	92.5'	Yes
• Three Story Structures	25'	92.5'	Yes
• Four Story Structures	30'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Parks, Open Space, Landscape Areas Adjacent to Perimeter Streets, or Paseo PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	10'	10'	Yes
• Three Story Structures	10'	10'	Yes
• Four Story Structures	10'	N/A	N/A
Living Area or Porch from Private	10'	SDR-17128	Yes

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PROVIDENCE

August 24, 2006
Page 2 of 2

Street or Parking		10'	
Garage Face Setback from Private Street	Less than 5' or 18'+	<5'	Yes
Building Separation			
Balcony to Balcony	30'	30'	Yes
Balcony to Non-Balcony	20'	20'	Yes
Non-Balcony to Non-Balcony	15'	15'	Yes
Between Main Building and Accessory Structure	10'	10'	Yes
Maximum Building Height Principal Buildings and Accessory Structures	50' Subject to setback criteria above	Per Phase 1	Yes
Minimum Open Space Common Open Space⁽¹⁾	100 Sq. Ft. / Unit	261 Sq. Ft./Unit	Yes
Parking: Minimum No. of Spaces Required			
Studio or 1 bedroom units	1.25/Unit	1.25/Unit	Yes*
Two bedroom units	1.75/Unit	1.75/Unit	Yes*
Units with more than 2 bedrooms	2/Unit	2/Unit	Yes*
Visitor Parking	0.2/Unit	0.2/Unit	Yes*
Senior Housing	1 covered or enclosed space/Unit	N/A	N/A
1. The minimum square footage of the recreation area is 10,000 Sq. Ft. Additional recreation area, when required, may be combined with the main recreation area, or may be utilized as a separate satellite recreation area with a minimum square footage of 4,000 Sq. Ft. The balance of any cumulative recreation requirement exceeding 14,000 Sq. Ft. may be devoted to common open space distributed throughout the project as the builder desires. The minimum width of a common open space area shall be 20'.			

* Phase II of this development, as submitted and reviewed herein, has adequate parking. However, it is our understanding that the development as a whole, Phases I and II combined, falls short of the overall parking requirements by 11 spaces. This is a less than 1% deviation. The Providence DRC conditionally approves this deviation subject to the approval of the City of Las Vegas.

**12/21/06 PC
SDR-17128**



MEMORANDUM

DATE: August 24, 2006
TO: Carmen Shukis, Design Review Manager
FROM: Don Rodriguez
CC: DAVE BROWNING
RE: Providence - Picerne Pod 125a Phase II Tentative Map, 2nd Submittal

Upon our review of the revised Tentative Map (SDR) for Picerne Pod 125a, Phase II, at Providence, we recommend "*Conditional Approval*" of the plan subject to the approval of the City of Las Vegas.

The builder's Tentative Map (SDR) should be remitted to the Providence DRC once approved by the City of Las Vegas.

Should you have any questions, please feel free to contact me.

Thank you.

Don Rodriguez, APM
Providence

August 24, 2006

Design Review Committee
Cliff's Edge, LLC
C/O LANDTEK, LLC
3455 Cliff Shadows Parkway, Suite 290
Las Vegas, NV 89129

Subject: Picerne at Providence Apartments- variance for parking requirements

To whom it may concern:

The combining of phase I and phase II has created a shortage of 11 parking spaces overall, per City of Las Vegas standards. The project is 516 apartment units. The parking required is 937 spaces, and the parking provided is 926 spaces, which is a deficit of just slightly over 1%.

Picerne has been actively developing and managing apartments in the Las Vegas market for the last 20 years and we are very comfortable with both the parking count and parking distribution for the project.

Please consider the above information in providing us with an approval for the project.

Sincerely,

Kevin Reis
Vice President

**12/21/06 PC
SDR-17128**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

RESCIND PREVIOUS ACTION - ABEYANCE - SUP-15027 - SPECIAL USE PERMIT RELATED TO VAR-14734 AND VAR-14735 - PUBLIC HEARING - APPLICANT/OWNER: STEVEN PORTNOFF - Request for a Special Use Permit FOR A PROPOSED 80-FOOT HIGH AMATEUR RADIO ANTENNA TOWER on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U (Undeveloped) Zone [R (Rural) General Plan Designation], Ward 1 (Tarkanian).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommendation NONE.

BACKUP DOCUMENTATION:

1. Location Map (Not Applicable)
2. Conditions and Staff Report (Not Applicable)
3. Supporting Documentation (Not Applicable)
4. Justification Letter (Not Applicable)

MOTION:

GOYNES – APPROVED – UNANIMOUS with EVANS and TRUESDELL excused

To be heard by City Council on 01/17/2007

MINUTES:

See Item 20 [SUP-15027] for all related discussion.

(7:05 – 7:47)

1-2568

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

RECONSIDER - ABEYANCE - SUP-15027 - SPECIAL USE PERMIT RELATED TO VAR-14734 AND VAR-14735 - PUBLIC HEARING - APPLICANT/OWNER: STEVEN PORTNOFF - Request for a Special Use Permit FOR A PROPOSED 80-FOOT HIGH AMATEUR RADIO ANTENNA TOWER on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U (Undeveloped) Zone [R (Rural) General Plan Designation], Ward 2 (Wolfson).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

42

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letters
6. Submitted at meeting – Letter to the applicant by Doug Rankin

MOTION:

GOYNES – DENIED – UNANIMOUS with EVANS and TRUESDELL excused

To be heard by City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 19 [SUP-15027] and Item 20 [SUP-15027].

DEPUTY CITY ATTORNEY JAMES LEWIS briefly detailed the time line of events of the application. The matter was previously denied by the Planning Commission and upon the City Council hearing, it was decided that the matter should be reviewed before the Planning Commission another time. The City staff has worked with the applicant to address a rule of the

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 20 – SUP-15027

MINUTES – Continued:

Federal Communication Commission (FCC) that requires the City to make accommodations to warrant his amateur radio antenna. Upon those efforts, DEPUTY CITY ATTORNEY LEWIS indicated that the application was amended and

DOUG RANKIN, Department of Planning and Development, confirmed the applicant had revised the application since the original version was heard and recommended denial as the 60-foot antenna tower is not compatible with surrounding area.

DEPUTY CITY ATTORNEY LEWIS added that the City offered to grant a 15-foot antenna that could crank up to 40 feet in height. The antenna would only be extended when in use otherwise, it would be kept at 15 feet. The applicant did not accept the offer and so he amended the application to emphasize his needs but the Planning Department was still unable to support his proposal.

COMMISSIONER GOYNES requested details about the Federal rule assisting people who wish to operate this type of equipment. DEPUTY CITY ATTORNEY explained that the FCC found that local regulations regarding the placement, height, and size of the towers would be preempted if the City could not reasonably accommodate amateur radio communications. The FCC went on to say that if the tower is of a type that would be found in a factory or industrial area within your City, the preemption rules would not apply and the City's rules would prevail. He stated that the Planning Department found that the tower at 66 feet in height would be a tower similar to one found in a factory or industrial area and would be inappropriate for the subject residential area.

STEVEN PORTNOFF thanked the City's staff and the Attorney's Office for their assistance during the past few months. He stated there was at a meeting held with City staff, experts and two gentlemen from the Fire Department, and the two gentlemen from the Fire Department confirmed that the tower could not be constructed in a crank style as suggested. That style would not be functional because of the nature of frequencies used. MR. PORTNOFF described the many reasons why his proposal is most suitable for the use and explained why he was unable to accept the aforementioned offer from the City due to the fact that the suggested height is not reasonable.

MR. PORTNOFF indicated why that the proposed height is necessary and pointed out the nature of the existing two-story environment. The original proposal was for a 36-inch diameter based tower and is now proposed to be 18 inches and constructed of lattice. He referenced pictures to depict the differences in height and materials and noted that should the proposed antenna ever fall, it would only affect his home and property. MR. PORTNOFF detailed his efforts to propose

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 20 – SUP-15027

MINUTES – Continued:

something safe and gave examples of varying antennas. He concluded by saying that he would contact COUNCILMAN WOLFSON'S office to involve him with a future neighborhood meeting.

TED RUSSELL, Las Vegas resident, stated he was an AT&T engineer and could confirm MR. PORTNOFF'S accuracy explaining why certain heights would fail.

COMMISSIONER DUNNAM expressed frustration with the proposal as MR. PORTNOFF has elected to live in this neighborhood and has proposed something that is not harmonious. He acknowledged 15 letters of opposition, noted the many affected and suggested MR. PORTNOFF purchase a home that would allow this type of use rather than attempting to change an entire neighborhood.

COMMISSIONER GOYNES concurred with COMMISSIONER DUNNAM but commended MR. PORTNOFF'S attempts to propose something aesthetically pleasing and acknowledged his efforts to involve the neighborhood. COMMISSIONER GOYNES suggested MR. PORTNOFF request to hold the matter in abeyance to allow time to meet with neighbors, modify the proposal if needed and propose a better application.

CHAIRMAN TROWBRIDGE shared his experience with such radio communications and expressed his understanding in the belief of doing with your land what you want. He too acknowledged MR. PORTNOFF'S efforts to make the operation more palatable but concurred with COMMISSIONER GOYNES suggestion to abey the item to allow time to meet with the neighborhood and gain approval.

Upon COMMISSIONER GOYNES' inquiry, DEPUTY CITY ATTORNEY LEWIS reiterated that in 1995 the FCC ruled that the FCC preempts local regulations on placement, height, and size. The City has done its part to meet with the applicant and offer a reasonable suggestion. Because of the Planning Department's incompatible findings of MR. PORTNOFF'S counter offer, the Commission can freely exercise their discretion understanding that City rules now prevail.

COMMISSIONER GOYNES noted MR. PORTNOFF'S two certificates. He questioned the need for all this equipment and why another location could not be found without disrupting an existing neighborhood. MR. PORTNOFF responded that there are officials that are broken down by their own staff and managers, and much of the work performed is foreign to the common public. He encouraged the Commission to support his request and agreed to conduct meetings to explain and introduce the use.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 20 – SUP-15027

MINUTES – Continued:

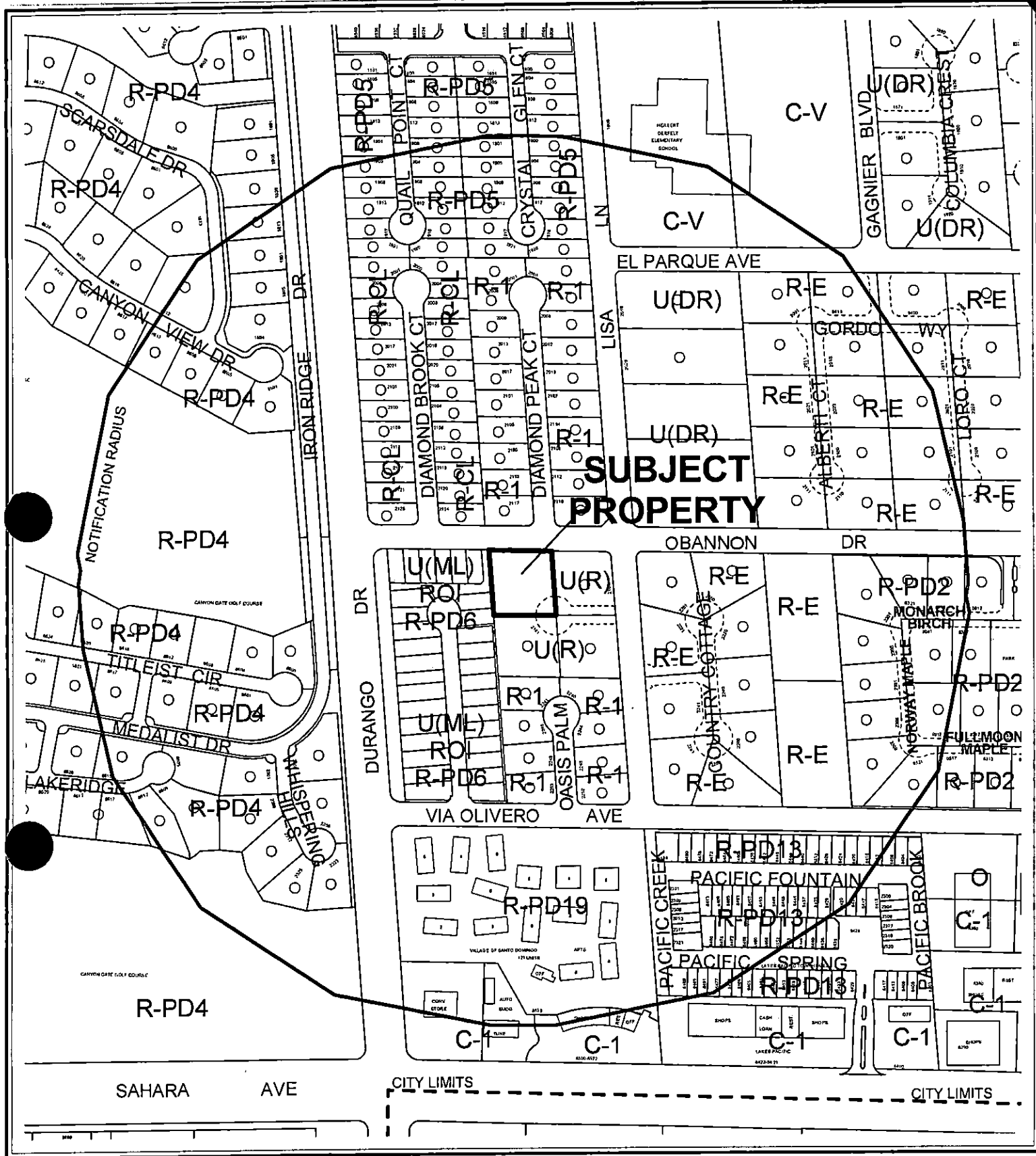
COMMISSIONER DAVENPORT complimented the work done by the Hamradio operators as they were the first to reestablish communications in New Orleans during Hurricane Katrina. He questioned if it would be possible to create the tower of a stealth design and MR. PORTNOFF confirmed it would not because it would diminish transmission. He explained that the taller a tower is, the more effective it is; when there are items close to the towers the transmission is diminished and is the reason there are so many cellular towers in the City. If the cellular towers were permitted to be taller, there would be fewer needed for coverage.

MR. PORTNOFF described the location and mass of the proposed tower for COMMISSIONER STEINMAN and gave details of the guywires proposed. COMMISSIONER STEINMAN confirmed he would not support the request.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 19 [SUP-15027] and Item 20 [SUP-15027].

(7:05 – 7:47)

1-2568



CASE: **SUP-15027**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [R (RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION]



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SUP-15027 - APPLICANT/OWNER: STEVEN PORTNOFF

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-15027 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Special Use Permit for a proposed 80-foot high amateur radio antenna tower on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane.

Applicant has revised the request as follows: a 60-foot high 18"x18"x18" triangular tower with a four antennae array which extends 6 feet above the tower and can extend to 70 feet in length. The location of the tower has moved 30 feet to the southwest. The tower will be located approximately 92 feet from the east property line, 44 feet from the north property line, 60 feet from the west property line and 113 feet from the south property line.

EXECUTIVE SUMMARY

A 60-foot tower is typically associated with commercial and industrial developments and is not appropriate in this residential area.

BACKGROUND INFORMATION

A) *Related Actions*

There is no relevant zoning history for this site.

B) *Pre-Application Meeting*

06/14/06 The requirements of a Special Use Permit application were explained.

C) *Neighborhood Meetings*

A neighborhood meeting is not required as part of this application request, nor was one held.

DETAILS OF APPLICATION REQUEST

A) *Site Area*

Net Acres: 0.63

SUP-15027 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

B) Existing Land Use

Subject Property: Undeveloped
 North: Single Family Dwelling
 South: Single Family Dwelling
 East: Single Family Dwelling
 West: Undeveloped – single family subdivision map recorded

C) Planned Land Use

Subject Property: R (Rural) Density Residential
 North: R (Rural) Density Residential
 South: R (Rural) Density Residential
 East: R (Rural) Density Residential
 West: R (Rural) Density Residential

D) Existing Zoning

Subject Property: U (Undeveloped) Zone [R (Rural) General Plan Designation]
 North: R-1 (Single Family Residential)
 South: U (Undeveloped) Zone [R (Rural) General Plan Designation]
 East: U (Undeveloped) Zone [R (Rural) General Plan Designation]
 West: U (Undeveloped) Zone under Resolution of Intent to R-PD6
 (Residential Planned Development - 6 Units Per Acre)

E) General Plan Compliance

The U (Undeveloped) zoning classification is in conformance with the R (Rural) density residential General Plan designation.

SPECIAL DISTRICTS/ZONES	Yes	No
Special Area Plan		X
Special Overlay District		X
Trails		X
Rural Preservation Overlay District		X
County/North Las Vegas/HOA Notification		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

SUP-15027 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

ANALYSIS

A) General Analysis and Discussion

August 10, 2006, SUP-15027 was considered by the Planning Commission, and that body recommended denial of the application to the City Council. Subsequently, the application was considered by the City Council and the Council voted to remand the application to the Planning Commission for further consideration. Most recently, on November 2, 2006, the Planning Commission reheard the application and voted to continue the public hearing on the application until December 21, 2006, to enable City staff to further communicate with the applicant regarding the City's obligation to make an "offer of reasonable accommodation" pursuant to the mandate of a specific FCC declaratory ruling, commonly referred to as PRB-1 ("PRB-1").

PRB-1 announced a limited federal preemption of local zoning laws that affect amateur radio communications as follows:

"Local regulations which involve placement, screening, or height of antennas based upon health, safety or aesthetic considerations must be crafted to accommodate reasonably amateur communications . . ."

At the City of Las Vegas, we have chosen to regulate the placement, screening and height of proposed amateur radio antennas greater than 15 feet in height by subjecting the applicant to the discretionary Special Use Permit process in order to reasonably accommodate amateur communications where possible. This process permits City staff, as well as the Planning Commission and City Council, to review each request for an amateur radio antenna independently, and decide upon the proper course of action based on the circumstances presented with each particular application. It also allows City staff to attempt to negotiate a satisfactory compromise with the applicant during the pendency of the public hearing process, if necessary.

The Planning and Development Department offered the following reasonable accommodation: the department will fully support the request for approval of an amateur radio antenna tower before the Planning Commission and City Council, provided that the tower is a crank-up or tilt-up antenna, no taller than forty feet from grade when fully extended, and no taller than fifteen feet from grade when not in use.

SUP-15027 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

A 60-foot tower is typically associated with commercial and industrial developments and is not appropriate in this residential area. The Planning and Development Department finds that this application, which requests a tower that is highly industrial in appearance, is not harmonious or compatible with the single-family and multi-family dwellings within the one-thousand foot (1000 ft.) radial notice area from the property line.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed use is too intense for a residential neighborhood.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The proposed use will not bring additional traffic to the property.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

The proposed use will not compromise the public health, safety, and welfare because the use will be constructed in compliance with applicable building codes.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

5

ASSEMBLY DISTRICT

2

SENATE DISTRICT

8

SUP-15027 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

NOTICES MAILED 228 (Mailed with VAR-14734 and VAR-14735)

APPROVALS 0

PROTESTS 42

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY: 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

November 30, 2006

Mr. Steven Portnoff
1335 Radwick Drive
Las Vegas, Nevada 89110

Re: SUP-15027--Special Use Permit Request
to Allow a Proposed 80 Foot High
Amateur Radio Antenna Tower; Offer of
Reasonable Accommodation

Dear Mr. Portnoff,

This correspondence relates to your special use permit application (SUP-15027) requesting an eighty foot tall amateur radio antenna tower in what will be the rear yard of your primary residence located on the south side of O'Bannon Drive, approximately one hundred-forty feet west of Lisa Lane.

As you are aware, on August 10, 2006, SUP-15027 was considered by the Planning Commission, and that body recommended denial of the application to the City Council. Subsequently, the application was considered by the City Council and the Council voted to remand the application to the Planning Commission for further consideration. Most recently, on November 2, 2006, the Planning Commission reheard the application and voted to continue the public hearing on the application until December 21, 2006, to enable City staff to further communicate with you regarding the City's obligation to make an "offer of reasonable accommodation" pursuant to the mandate of a specific FCC declaratory ruling, commonly referred to as PRB-1 ("PRB-1").

In a nutshell, PRB-1 announced a limited federal preemption of local zoning laws that affect amateur radio communications as follows:

"Local regulations which involve placement, screening, or height of antennas based upon health, safety or aesthetic considerations must be crafted to accommodate reasonably amateur communications . . ."

At the City of Las Vegas, we have chosen to regulate the placement, screening and height of proposed amateur radio antennas greater than 15 feet in height by subjecting the applicant to the discretionary Special Use Permit process in order to reasonably accommodate amateur communications where possible.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lais Torkanian
Steven D. Ross

City Manager
Douglas A. Selby



This process permits City staff, as well as the Planning Commission and City Council, to review each request for an amateur radio antenna independently, and decide upon the proper course of action based on the circumstances presented with each particular application. It also allows City staff to attempt to negotiate a satisfactory compromise with the applicant during the pendency of the public hearing process, if necessary.

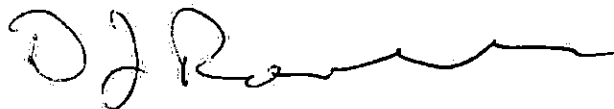
Based upon your application, and the prior hearings on this matter, it is our understanding that you desire to install an eighty foot triangular tower with a base three feet in diameter in what will be the rear yard of your primary residence. The Planning and Development Department does not believe that this application, which requests a tower that is highly industrial in appearance, is reasonable for your residential neighborhood. Please be advised that there are at least 223 single-family and multi-family dwellings within the one-thousand foot (1000 ft.) radial notice area from your property line.

The Planning and Development Department offers the following reasonable accommodation: the department will fully support your request for approval of an amateur radio antenna tower before the Planning Commission and City Council, provided that the tower is a crank-up or tilt-up antenna, no taller than forty feet from grade when fully extended, and no taller than fifteen feet from grade when not in use. It is our understanding that such an antenna, when fully extended, will be no shorter than the antenna in use at your current residence, and as such, it should appropriately accommodate your ability to engage in amateur radio communications. Because a majority of the homes in your neighborhood are single story residences, an antenna taller than forty feet would be inappropriate.

Please submit a written response to our offer of reasonable accommodation. Once the City is in receipt of your written response, City staff (including our experts in radio communication and amateur radio communication) will be happy to sit down and further discuss our offer prior to your application being heard at the Planning Commission meeting scheduled for December 21, 2006.

Feel free to contact me (229-5408), or Jim Lewis, Deputy City Attorney (229-6629) at any time during normal business hours.

Yours truly,



Doug Rankin
Planning Supervisor
City of Las Vegas
Planning & Development Department

cc: Steve Wolfson, Councilman
Larry Harala, Ward 2 Liaison
Margo Wheeler, Director of Planning and Development
James B. Lewis, Deputy City Attorney



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SUP-15027

Case Number: _____ APN: 163-04-401-002

Name of Property Owner: Steven Portnoff

Name of Applicant: Steven Portnoff

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ X _____ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: 163-04-401-002

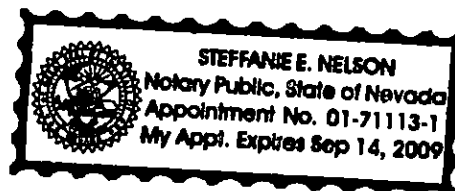
Signature of Property Owner: Steven Portnoff

Print Name: Steven PORTNOFF

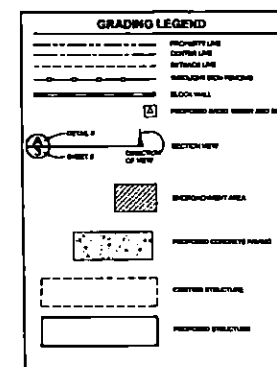
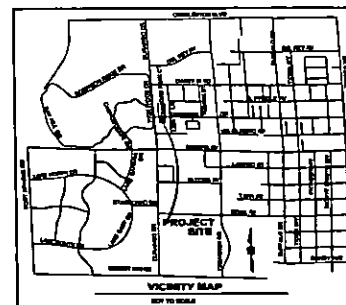
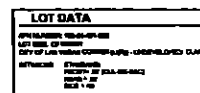
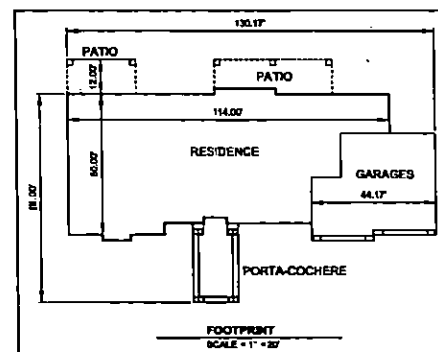
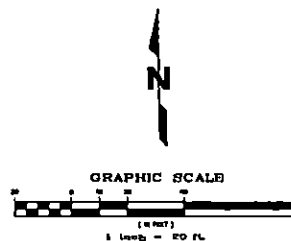
Subscribed and sworn before me

This 26 day of June, 2007

[Signature]
Notary Public in and for said County and State



BEING A PORTION OF THE SOUTH HALF (W 1/2) OF THE SOUTHWEST QUARTER (SW 1/4)
OF SECTION 04, TOWNSHIP 21 SOUTH, RANGE 60 EAST, 3RD.M.



BENCHMARK:
OFF OF LAB MOUNTING MASTERS, CONTAINING
SHEET & SHEET & PLACE IN TOP OF SHEET
CLIPPING & CLIPPING & IN FIRST ROW

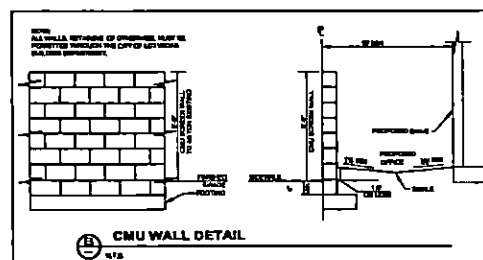
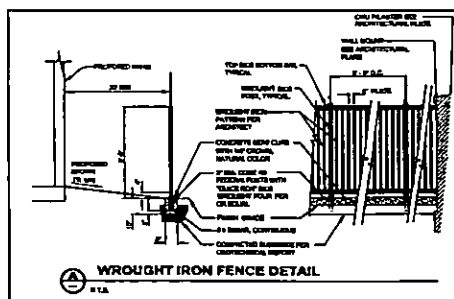
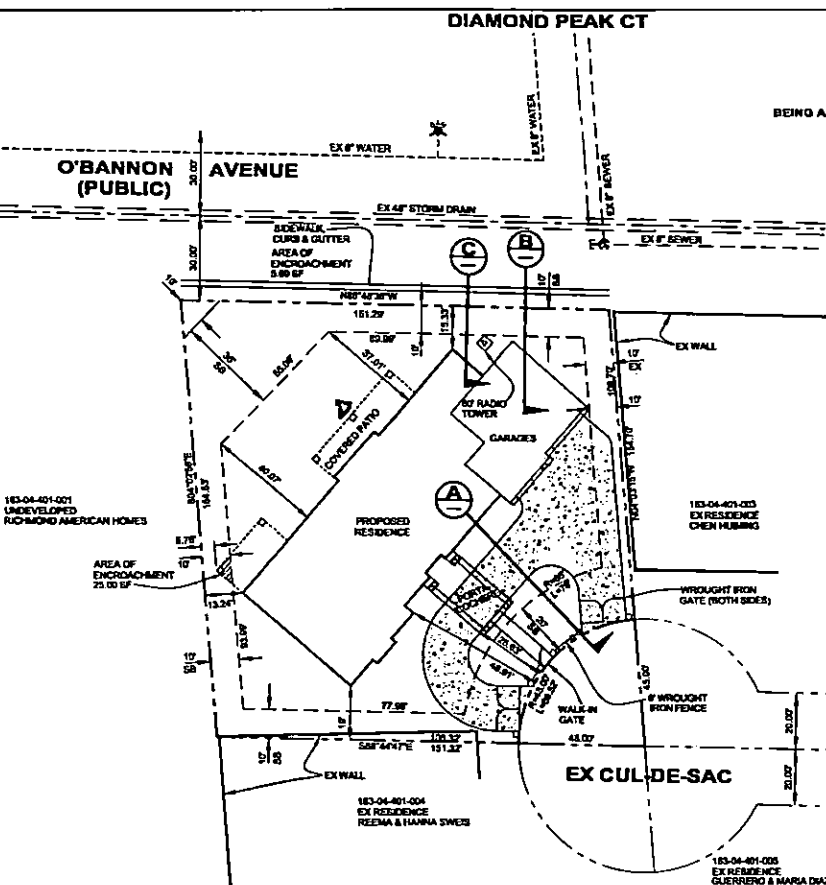
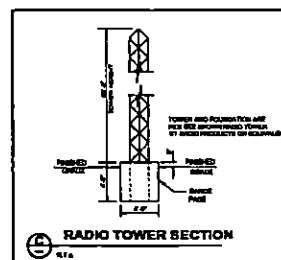
ELAPSE:
PICK - 200.00 (100.00)
MOUNT - 100.00 (100.00)

FLOOD ZONE DESCRIPTION:
 THIS SITE IS LOCATED IN ZONE "A", AN AREA DETERMINED TO BE OUTSIDE THE LIFE ANNUAL CHANCE
 FLOOD HAZARD FOR THE FLOOD INSURANCE RATE AND COMMUNITY PANEL. BECAUSE IT IS CLASS
 COUNTY, IT WILL BE IN CATEGORY 2, 3, AND 4.

[illegible]

BASIS OF BEARINGS:
 SOUTH OF NEW PIER, BEING THE CONTINUAL OF A PORTION OF CHANCERY BRIDGE AND SEE NORTH
 THE SOUTHWEST QUARTER (20 AC) AT THE SOUTHWEST QUARTER (20 AC) OF SECTION 26, TOWNSHIP
 SOUTH, RANGE 20 EAST, SUBLE, AS SHOWN BY MAP IN THE OFFICE OF THE CLARK COUNTY, MISSOURI
 COMMISSIONER IN FILE IN PAGE 21 OF RECORD 1049.

OWNER / DEVELOPER
 AT/VERA PARTNERSHIP
 1000 RICHMOND STREET
 LEBANON, NEW HAMPSHIRE 03756-1000
 772-363-1200



SUP-15027
REVISED
12/21/06 PC

December 15, 2006

Doug Rankin
City of Las Vegas Planning & Development
Planning Manager

Re: SUP 15027

Doug,

It was a pleasure to meet with you, your technical advisors, and Mr. Jim Lewis, from the City Attorney Office. I believe a great deal was accomplished today.

During our meeting, your communication experts concluded a crank up style tower would not work for my application. Furthermore, a 60ft. guyed tower would be the right choice. As I look around my neighborhood I find a good mix of one and two story homes. The heights' of these homes are approaching 40ft. and the grammar school appears to top 40ft. with two towers antennas, and rotator.

In today's meeting, I think this is our new direction.

The Amateur radio tower will be a Rohn 18" tri-angle design, and not 36" tri-angle design.

The tower height will be 60ft. and not 80ft.

The 3-Mosley HF yagi antennas will be replaced with a single, 4-Element + Options Kit Steppir 40 meter thru 6 meter design. This will greatly reduce the visual clutter in the air, and help with the aesthetic considerations.

The tower will be moved, an additional 30ft., in a southwest direction. This should keep it in my yard, if it should unexpectedly come down. Public safety is always a concern, of the Amateur Radio Operator.

Yours truly,

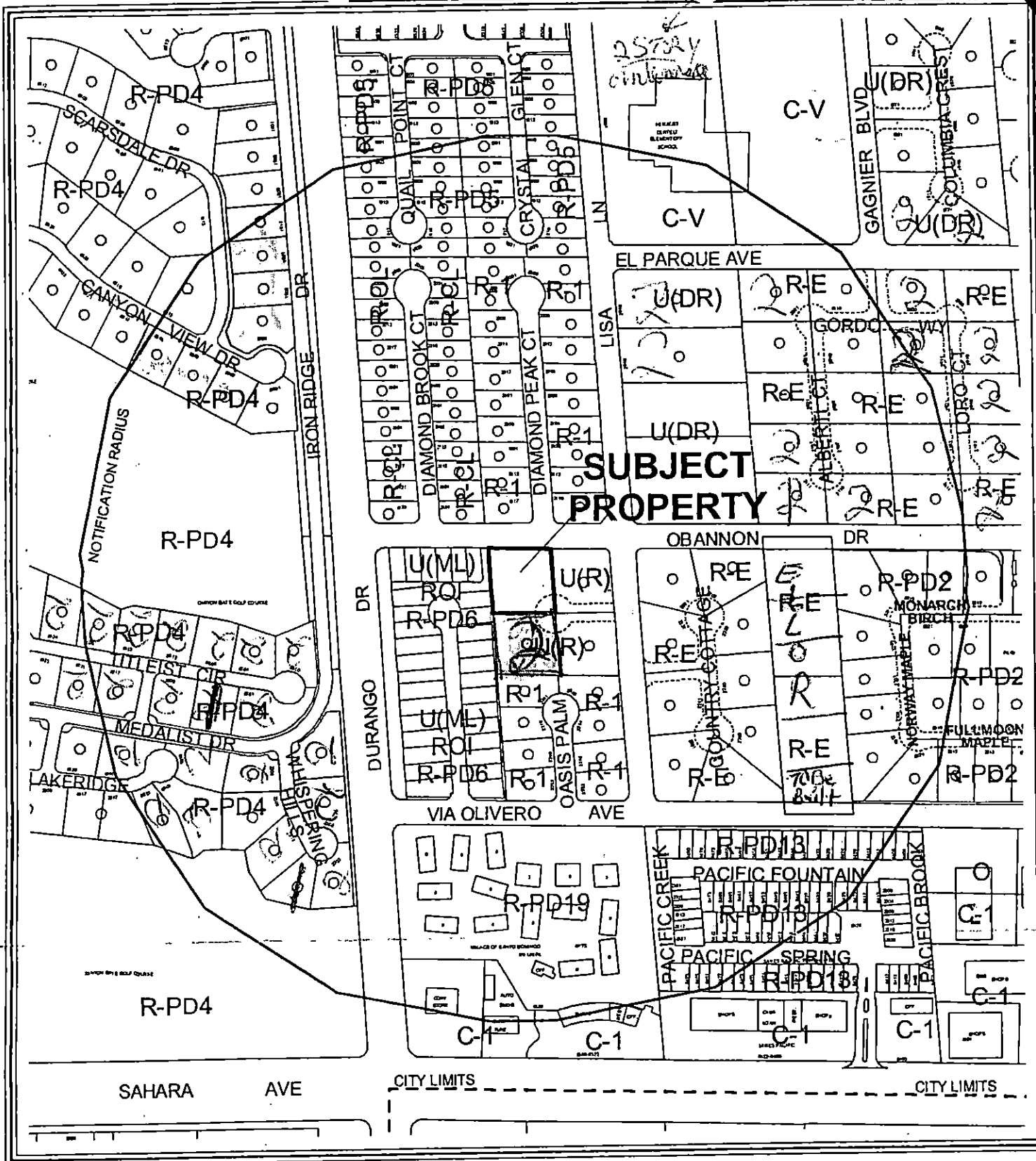

Steven Portnoff
1335 Radwick Drive
Las Vegas, Nevada 89110

RECEIVED

DEC 18 2006

SUP-15027

12/21/06 PC



CASE: **VAR-14734**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [R (RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION]

SUP-15027

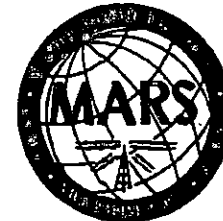
12/21/06 PC



DEPARTMENT OF THE ARMY
MILITARY AFFILIATE RADIO SYSTEM
STATION LICENSE



AAT9DZ



The licensee, STEVEN PORTNOFF has agreed to operate the MARS Radio Station licensed herein in accordance with all the governing rules and regulations now or hereafter prescribed by the Chief, Military Affiliate Radio System, Department of the Army. This license shall remain valid until 14 FEBRUARY 2011 unless sooner modified or revoked for cause.

By Authority of the Secretary of the Army

Issued this 14TH day of AUGUST 2006

Kathy Harrison

Chief, Army Military Affiliate Radio System



**York County
Office of Emergency
Management**



**AMATEUR RADIO
EMERGENCY SERVICE**

Radio Amateur Civil Emergency Service

Name/Call: **Steven Portnoff KD7LVX**

Expires: **10 Nov 2008**

Issued By: *Charles Allen K4SO*
RACES Officer

Name/Call: **Steven Portnoff KD7LVX**

Expires: **10 Nov 2008**

Issued By: *Charles Allen K4SO*
ARES Emergency Coordinator

The holder identified hereon is a member in good standing of the Amateur Radio Emergency Service® (ARES®) sponsored by the American Radio Relay League, Inc., a licensed Amateur Radio Operator and a trained emergency communicator, volunteering personal time, skill and equipment to serve in the public interest.

Steven Portnoff
ARES Member's Signature

The holder identified hereon is a licensed Amateur Radio Operator who voluntarily provides local government with additional communications capability in time of emergency.

Steven Portnoff
RACES Member's Signature

**SUP-15027
12/21/06 PC**

Office of Emergency Management
Clark County, Nevada

CERTIFICATE OF APPOINTMENT

By virtue of the authority vested in me by the Clark County Board of Commissioners,
I do hereby appoint:

STEVEN D PORTNOFF - KD7LVX

as

Races Member

of and for the

Clark County Radio Amateur Civil Emergency Services

effective this date, to exercise the duties as defined for this Office
for the term established

January 31, 2002

Date

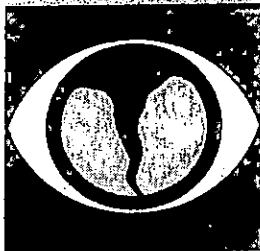

Emergency Management Manager,
County of Clark, Nevada



SUP-15027
12/21/06 PC

Phone ~~FADTIC~~ 263-9744

U. S. DEPARTMENT OF COMMERCE/National Oceanic and Atmospheric Administration
National Weather Service



Name STEVEN PORTNOFF

Address 7809 RIVIERA BEACH DR.
LAS VEGAS, NV. 89128

Code Number IV-47

Primary Agency:

Alternate Agency 4

SKYWARN SPOTTER

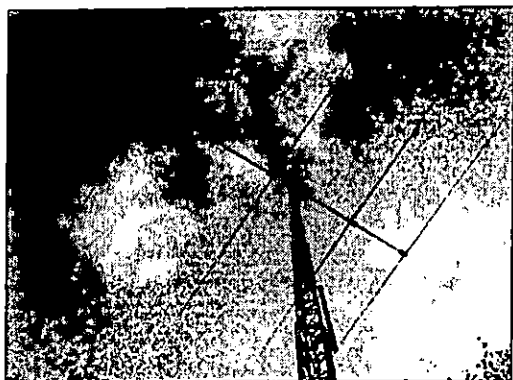
SUP-15027
12/21/06 PC

SteppIR™

Yagi • Dipole • Vertical

(Patented)

The Most Powerful Multi-Band Antenna in the World!



7.0 - 54 MHz Continuous Coverage

100 MPH Wind Rating

Rated to 3000 Watts Key Down

Switch Directions 180° in 3 seconds

**Simultaneous Gain in
Opposite Directions**

Unequaled Gain and Front-to-Back!

Quick and easy assembly

**Cycle Tested 2 Million Band Changes
Without a Failure**

**Elements are Remotely Adjusted
from the Ham Shack**

Introducing the MonstIR 4 Element Yagi

**Mono-Band Performance on 40m, 30m, 20m, 17m, 15m, 12m, 10m, 6m
and Every Single Frequency in Between!**

www.steppir.com

Fluidmotion Antenna Systems 23831 S.E. Tiger MT. RD.

Issaquah, WA 98027

Tel: 425.391.1999

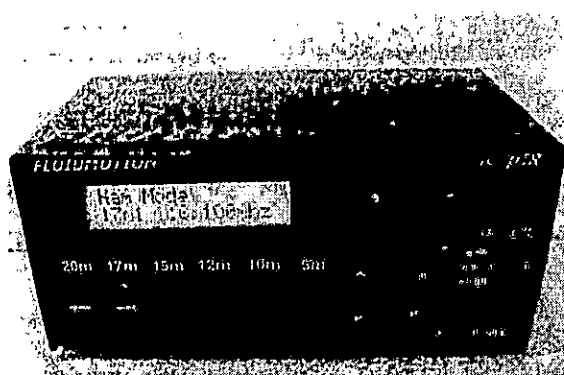
Fax: 425.391.8377

**SUP-15027
12/21/06 PC**

Currently, most multi-band antennas use traps, log cells or interlaced elements as a means to cover several frequency bands. All of these methods have one thing in common—they significantly compromise performance. The SteppIR™ antenna system is our answer to the problem. Resonant antennas must be made a specific length to operate optimally on a given frequency.

So, instead of trying to “trick” the antenna into thinking it is a different length, or simply adding more elements that may destructively interact, why not just change the antenna length? Optimal performance is then possible on all frequencies with a lightweight, compact antenna. Since the SteppIR can control each element length, a long boom is not needed to achieve near optimum gain and front to back ratios on 40 - 10 meters. On 6 meters, an optional passive element is available that creates a long boom 6 element yagi.

Each antenna element consists of two spools of flat copper-beryllium strip conductor mounted in the antenna housing. The strips are perforated to allow a stepper motor to drive them simultaneously with a sprocket. Stepper motors are well known for their ability to index very accurately, thus giving very precise control of the antenna length. In addition, the motors are brushless and provide extremely long service life. The copper-beryllium strip is driven out into hollow, lightweight



SteppIR Microprocessor Based Controller

fiberglass support elements (the support elements stay extended), forming an element of any desired length up to 70' long.

The antenna is easy to assemble, and can be installed in weekend.

The antenna is connected to a microprocessor-based controller (via 22 gauge conductor cable) that offers numerous functions including dedicated buttons for each ham band, continuous frequency selection from 40m to 6m, 17 ham and 6 non-ham band memories, 180° direction reversal (allows you to switch directions of the Yagi 180° in 2.5 seconds) or bi-directional mode (simultaneous gain in opposite directions).

MonstIR Gain and Front-to-rear:

Notes: Gain and front-to-rear figures are shown in free space. Front to rear measurement is the worst case scenario, front-to-back is merely the measurement 180° from the forward direction, which is rarely the worst case.

Specifications	•	Monstir
Weight	•	215 lb / 98 kg
Max. Wind Surface Area	•	23.9 ft² / 2.22 m²
Wind Rating	•	100 MPH EIA-222-C
Longest Element	•	70 feet / 21.54 m
Power Rating	•	3000 W CW
Boom Length	•	34 ft / 10.4 m
Boom Diameter	•	2.75-2.5 in 7 - 6.4 cm
Frequency Coverage	•	40m - 6m Continuous
Turning Radius	•	39.7 ft / 12.22 m
Cable Requirements (shielded)	•	16 conductor 22 AWG
Tuning Rate	•	1.33 ft / sec .410 m / sec
Balun Included?	•	Yes

Band	Gain dBi	*Front to Rear dB
40m	7.8	25
30m	8.2	20
20m	9.5	21
17m	10.0	20
15m	10.2	27
12m	10.4	21
10m	10.6	11
6m*	13.0	30

*With optional passive element kit

SUP-15027
12/21/06 PC

KATHREIN SCALA DIVISION

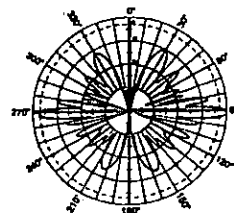
SL11-915/DT2 Omnidirectional Antenna

The Kathrein-Scala SL11-915/DT2 Paraslot antenna is specifically designed for spread spectrum systems and other applications in the 902-928 MHz ISM band, featuring high gain and an offset omnidirectional pattern.

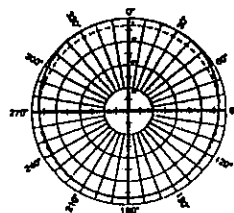
The H-polarized SL11-915/DT2 provides isolation from co-channel and adjacent-channel V-polarized signals. The Kathrein-Scala Paraslot design used in these antennas has earned a reputation for high performance and reliability in thousands of low-power UHF-TV broadcast transmission systems during the past 25 years.

Specifications:

Frequency range	902-928 MHz
Gain	11.4 dBd (maximum)
Impedance	50 ohms
VSWR	< 1.35:1
Polarization	Horizontal
Maximum input power	300 watts (at 50°C)
H-plane beamwidth	5.8 degrees (half-power)
Electrical downtilt	2 degrees (other values optional)
Connector	N female
Weight	26 lb (11.8 kg)
Height	180.25 inches (4578 mm)
Diameter	2.375 inches (60 mm)
Equivalent flat plate area	2.97 ft ² (0.276 m ²)
Wind survival rating	100 mph (161 kph)
Shipping dimensions	192 x 7 x 6 inches (4877 x 178 x 152 mm)
Shipping weight	95.0 lb (43.1 kg)
Mounting	Mounting kits are available for attachment to a flat vertical surface or to masts with 2.375 to 3.5 inch (60 to 89 mm) OD. <i>Kathrein Scala Division recommends that this antenna be secured from the top in addition to the standard bottom mounting. Contact Kathrein Scala Division Engineering for assistance.</i>



H-plane
Vertical pattern
H-polarization



E-plane
Horizontal pattern
H-polarization

PARASLOT is a registered trademark of Kathrein Inc., Scala Division.



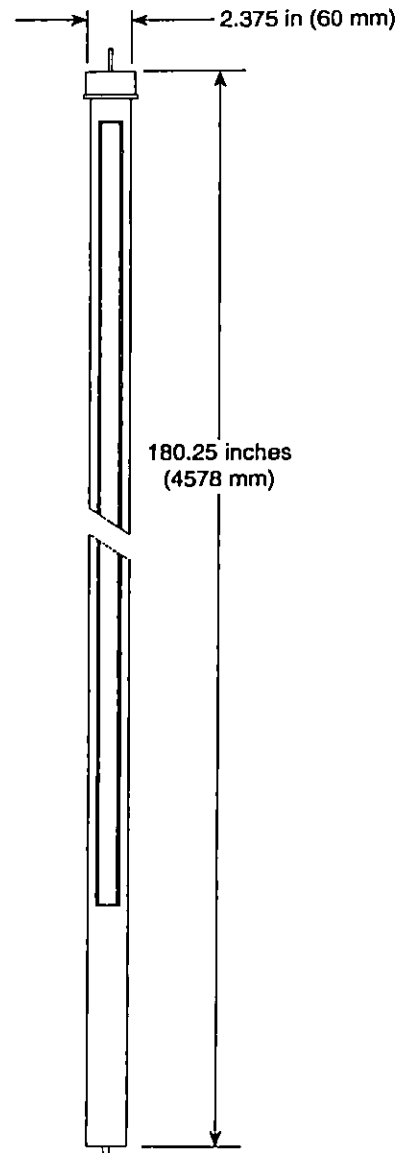
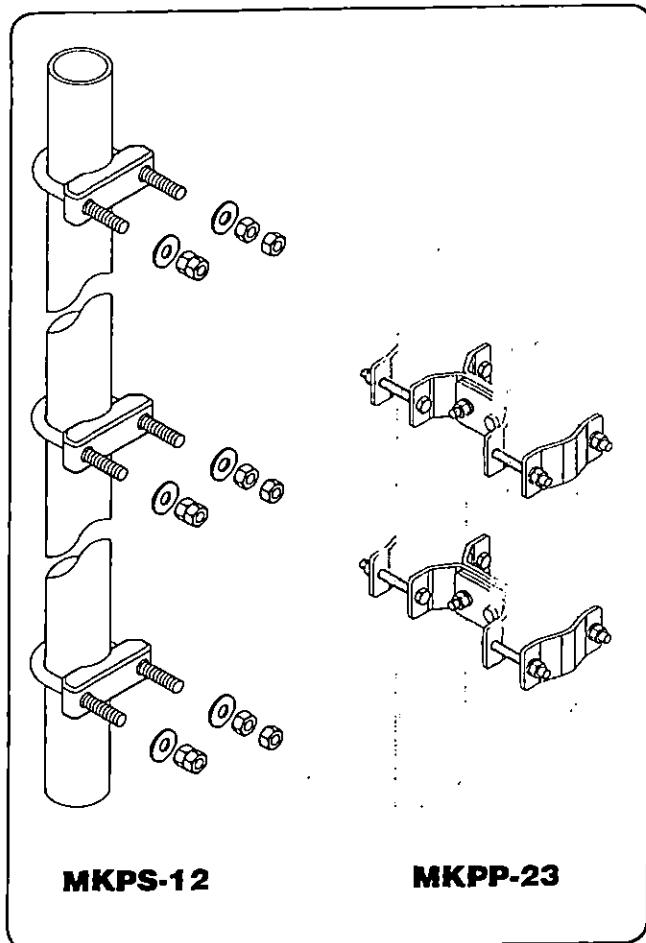
10059-G



SUP-15027
12/21/06 PC

KATHREIN SCALA DIVISION

SL11-915/DT2 Omnidirectional Antenna



Mounting Options:

Model	Description
MKPS-12 (shown)	Mounting Kit for mounting to a flat plate
MKPP-23 (shown)	Mounting Kit for 2.375 to 3.5 inch (60 to 89 mm) OD mast.
MKGK-1	Guy Kit
MKSK-1	Spreader Kit

Order Information:

Model	Description
SL11-915N/DT2	Antenna with N connector for spread spectrum systems.

SUP-15027
12/21/06 PC

All specifications are subject to change without notice. The latest specifications are available at www.kathrein-scala.com.

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991
Email: communications@kathrein.com Internet: www.kathrein-scala.com

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[Hamfests](#)

Rohn 55G Guyed Tower



55G Midsection.....

The Rohn 55G tower is an extra heavy duty 18" face triangular design using 1.5" steel side rails and solid steel 7/16" cross bracing. Middle sections measure 10 feet long. Sections fit together with a double bolt joint for strength. The tower is designed to use three guy points spaced 120 degrees apart, with anchors set out from the tower 80% of the tower height. All 55G tower sections and optional accessories have a hot dipped galvanized finish to assure years of trouble-free service. Sections are supplied with galvanized nuts and bolts.

55G Accessories

3/4X12PP Pier Pin
 AS455G Rotor Shelf
 BPC55G Base Plate
 BPL55G Bearing Plate
 EP25345 Equalizer Plate- 3 Hole
 EP25345 Equalizer Plate- 5 Hole
 GA55GD Guy Assembly
 GAR30 Concrete Anchor
 GAC3455 Guy Anchor
 HBU Universal House Bracket
 SB55G Short Base Section
 TB3 Thrust Bearing- 2"
 TB4 Thrust Bearing- 3"
 TA55 Torque Assembly

DANGER

No Tower is self supporting during construction! Always use temporary guys on the top most section, and install permanent guy wires as soon as a guy point height is reached.

WBØW

WBØW

WBØW, Inc., 2002.

Website design & Maintained by WBØVRD, email bill@wb0w.com

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[Hamfests](#)

SB55G

The Rohn SB55G is a short base section for 55G tower. Hole size is 3 feet square by 4 feet deep.



WB0W

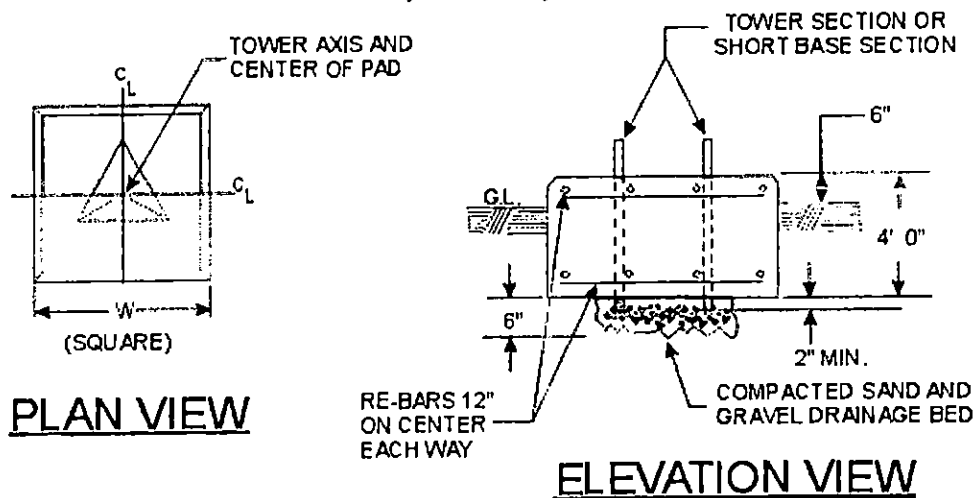
WB0W

WB0W, Inc., 2002.

Website design & Maintained by WB0VRD, email bill@wb0w.com

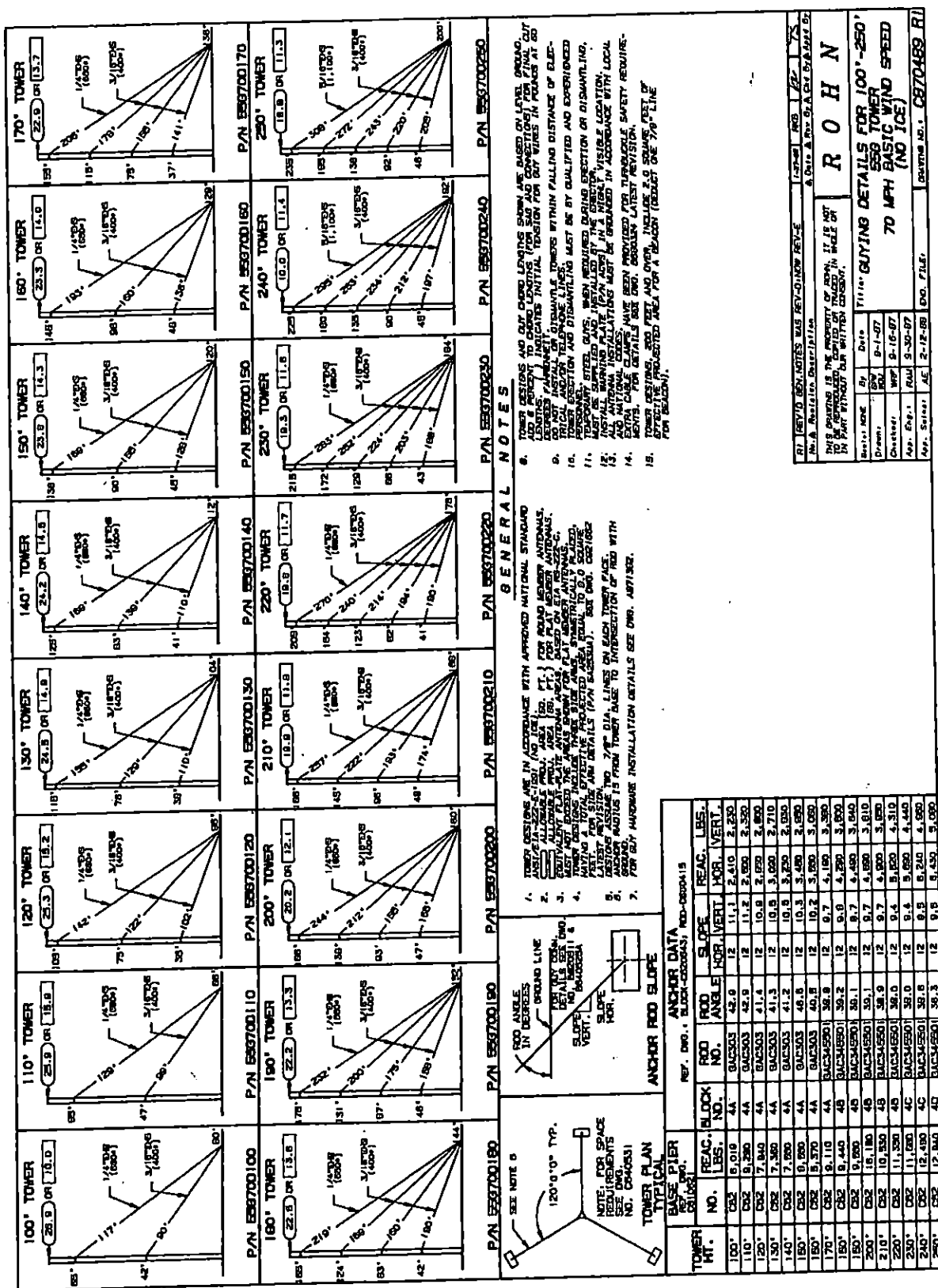
SUP-15027
12/21/06 PC

FOUNDATION DETAILS FOR 25G, 45G, 55G



TOWER NO.	OVER-TURNING MOMENT FOOT POUNDS	MAX. ALLOW. SHEAR POUNDS	W	CONCRETE REQUIRED CU. YDS.
25G	6,800	700	4' 0"	2.4
45G	12,800	1,600	5' 3"	4.1
55G	22,900	1,600	6' 0"	5.3

SUP-15027
12/21/06 PC





SUP-15027 - APPLICANT/OWNER: STEVEN PORTNOFF
SOUTH SIDE OF O'BANNON DRIVE, APPROXIMATELY 140 FEET WEST OF LISA LANE
DECEMBER 21, 2006 PLANNING COMMISSION

07/24/06



SUP-15027 - APPLICANT/OWNER: STEVEN PORTNOFF
SOUTH SIDE OF O'BANNON DRIVE, APPROXIMATELY 140 FEET WEST OF LISA LANE
DECEMBER 21, 2006 PLANNING COMMISSION

07/24/06



PEAK DEVELOPMENT SERVICES

June 20, 2006

City of Las Vegas
Planning Department
731 S. Fourth Street
Las Vegas, NV 89101

RE: Portnoff Residence – Justification Letter

To Whom It May Concern:

On behalf of our client, Steven Portnoff, Peak Development respectfully requests consideration of the enclosed requests for Variance of Residential Adjacency, Variance of Setbacks and Variance of Fence Height for The Portnoff Residence. The proposed property is currently zoned UR and is located on O'Bannon Ave. The proposed property would yield 1 home on .58 acres.

The request for a Variance of Residential Adjacency would accommodate the homeowners request to install an 80 ft. amateur radio tower. The Amateur Radio Station will be operated under FCC rules and regulations. Enclosed please also find Certificate of appointment by the Office of Emergency Management Clark County, Nevada.

The request for a Variance of Fence Height would allow the proposed 6ft CMU screen wall offset 4ft from the existing cul-de-sac. The home has been reoriented to front O'Bannon Ave. This screen wall would provide privacy for what is now the homeowner's rear yard.

The requests for Variance of setbacks are as follows:

Required Front 20' - Proposing 13.5' (49.56 sf)
Required Rear 35' – Proposing 29' (24.93 sf)
Required Side 10' – Proposing 10'

Due to the irregular shape of the lot and footprint, the home encroaches slightly onto the required setbacks. The actual encroachment for the rear yard is 24.93 sf and the encroachment for the front is 49.56. This has occurred due to the reorientation of the home, due to the fact that the setbacks would remain the same as if the home were fronting the private cul-de-sac and not O'Bannon. If you take into consideration the reorientation we are actually providing a 35' front yard, 54' rear yard and the required 10' side yards.

Enclosed please find a site plan, elevations for your review of the site. Should you have any questions or need additional information please contact our office at (702) 451-5700.

Sincerely,
Peak Development Services


Stephanie Nelson
Director of Development

August 1, 2006

To: Council Person Lois Tarkanian

City Council Chambers
400 Stewart Ave
Las Vegas, Nevada 89101

Re: Special Use Permit SUP-15027 A Proposal for 80 foot
high Amateur Radio Antenna Tower located at O'bannon
and Diamond Peak Ct and Diamond Brook Ct.

Dear Council Person Tarkanian

We live in a quiet neighborhood (Diamond Peak Ct and
Diamond Brook Ct) that is located in an area where the land
to the south of us is being developed.

There where two variances that have previously been
discussed and were consider a non issue for our
neighborhood that we did not object to in order to not appear
obstructionists regarding growth in and around our
neighborhood.

Submitted at Planning Commission

Date 8/10/06 Item #53 -
55

We however vigorously object to **A 80 FOOT (8 STORY) AMATEUR RADIO TOWER** being constructed at the end of our streets. There are very few homes on our streets that even have television or small satellite antennas.

Our homes are all 1 story homes and an 80 foot (8 story) radio antenna would be an eye sore to the area. Even the cell phone towers are made to look like trees. Please as our representative disallow this eye sore from being constructed in our 1 story neighborhood atmosphere. Thank you in advance for your help and understanding.

Name	Address	Phone
dup. (Tom Reinerton)	2005 DIAMOND PEAK CT	683-5515
(Jan Duxon)	" " "	682-1108
dup. (Dana L. Wildt)	2012 Diamond PK	838-2682
(Jess H. Wildt)	2012 DIAMOND PK	838-2682
(Barbara Nappi)	2004 Diamond PK	869-8086
(Mario Hoff)	2004 DIAMOND PEAK CT	869-8006
dup. (Thomas J. Foselli)	2113 Diamond Peak Ct	243-5525
(Carol Ann Foselli)	2113 Diamond PK Ct.	243-8822
Nancy Eberman	2112 Diamond PK	256-5010

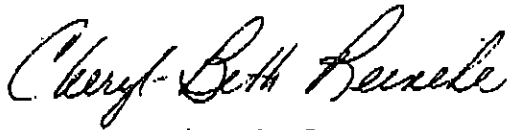
Cheryl-Beth Reineke
2204 Trident Maple Street
Las Vegas NV 89117-1893
702-804-9245
702-804-9247 Fax

August 9, 2006

Dear Planning Commission,

We are adamantly opposed to the approval of the Special Use Request SUP 15027 for an 80 foot amateur radio antenna in an all residential area where the residences don't have or may not allow due to HOA restrictions a TV antenna. The antenna would be an unsightly addition to the neighborhood and would not fit aesthetically.

Sincerely in Opposition,



Cheryl-Beth Reineke

ITEM # 55
CASE # SUP-15027
PC MTG 8-10-06

Telephonic Protest/Approval Log

Meeting Date: 08/10/06

Case Number: SUP-15027
VAR-14735 VAR-14734

Date: 08/08/06
Name: Guerrero-Diaz
Address: 2173 S. Lisa Lane
L.V. NV 89117
Phone: (702) 400-8245
☒ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
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Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

ITEM NO.: 53, 54, 55
CASE NO. VAR-14734, VAR-14735,
PC MEETING: 8-10-06 SUP-150.

August 3, 2006

To The Planning and Development Division:

I am writing this correspondence in answer to variance VAR-14734, VAR-14735, and special use permit SUP-15027.

My family resides across the street from described property and we are very opposed to the owner's requests for variances and special uses to the Planning Commission.

1. VAR-14734 and VAR-14735: The placement of a six foot high block wall across the front of said residence in this neighborhood does not aesthetically lend itself to a proper fit. The neighborhood as a whole includes semi-custom and custom homes. The request for home placement so close to easements does not fit aesthetically with the residence styles in this neighborhood.
2. SUP-15027: This request is opposed very vigorously; an 80-foot antenna and accompanying requirements does not fit within this neighborhood. A tower of this magnitude will undoubtedly require on-site down guy supports, possible lighting for air safety, and interior barrier walls for keeping the curious away. This appears to be a hazard area for potential thrill seekers to climb this tower. There is also the possibility of interference with neighborhood telephone and television reception.

Overall, these requests collectively would give the appearance of a mini compound. Something of this sort does not belong in a residential neighborhood. What is to keep thrill seekers attempting to climb this structure? We have young children in this neighborhood, and I feel this would be a temptation. Any protective solutions the property owner could install would also lend itself to a non-residential look for this property.

Regards,



Frank H. Malmstedt, Jr.
2117 Diamond Peak ct
Las Vegas, NV. 89117

ITEM NO.: 53 54 55
CASE NO. VAR-14734, VAR-14735,
PC MEETING: 8-10-06 SUP-15027

AUGUST 1, 2006

To whom it may concern..... SUP-15027

We strongly appose any variance allowing any
80 foot antenna at the south half of SW Section
04 , township 21 south, range 60 east. We live at
8317 Monarch Birch. Thank you..

Robert Worthen Jr

Robert Worthen Jr.

Debra Worthen

Debra Worthen

ITEM # 55
CASE # SUP-15027
PC MTG 8-10-06

August 4, 2006

City of Las Vegas Planning & Development

Re: Case #: SUP-15027

Dear Planning Commission Members,

My name is Hanna Sweis and I live on 2161 S. Lisa Lane, Las Vegas. I am extremely concerned about the intention of Mr. Portnoff to erect an 80 foot Tower right in front of my house, since I live adjacent to his property which he had recently purchased. I have been living in my house for 6 years and value so much the openness in this neighborhood. I looked at his proposal and I see that he is erecting this tower right in my view. Not only it would be an eyesore, but such uncommon elements will affect the value of my property. Eighty foot is extremely high for anything to be in front of anyone, and I doubt it will be acceptable to anyone but Mr. Portnoff. There are many alternatives to this tower which he should consider to exercise his hobby. This is not a ranch neighborhood and houses here occupy ½ acre or less.

I strongly object to this SUP, and I hope that you will deny it.

Best Regards,

Hanna Sweis
2161 S. Lisa Lane
Las Vegas, NV 89117
702-526-5954



RECEIVED

AUG 04 2006

ITEM # 55
CASE # SUP - 15027
PC MTG 8-10-06

Telephone protest/ Approval Log

Meeting Date: 08/10/06 PC

Case Number: SUP-15027

Date: 08/02/06
Name: Joe Stockett
Address: 8304 Fullmoon
Maple Ave. L.V. NV. 89117
Phone: (702) 360-8867
☒ PROTEST ☐ APPROVE
Sycamore Space H.O. Assoc.

Date: 08/03/06
Name: Marvin Morrow
Address: 2104 Diamond Peak
L.V. NV 89117
Phone: (702) 341-8659
☒ PROTEST ☐ APPROVE

Date: 08/04/06
Name: Naomi Sloan
Address: 2124 Diamond Brook
L.V. NV. 89117
Phone: (702) 228-9317
☒ PROTEST ☐ APPROVE

Date: 08/04/06
Name: Hanna Sweis
Address: 2161 S. Lisa Lane
L.V. NV 89117
Phone: (702) 526-5954
☒ PROTEST ☐ APPROVE
*lives right next door - 80' is to high

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE
ITEM # 555
CASE # SUP-15027
PC MTG 8-10-06

Planning Commission

Hearing Date: 11/2/06

Applicant: Steven Portnoff

Re: Variance #'s 14734, 14735 + 15027

Commission Members:

I continue to object to these plans. I have been provided no new information which would alter my original objection & do not clearly understand why there is a hearing to rescind the denial.

The applicant should be building in an area which would allow him to do as he wants rather than change the intent and complexion of this area.

Sincerely,

James Frasier
8616 Tithenist Circle
Las Vegas, NV.
89117 P

ITEM # 32.34.36
CASE # SEE ABOVE
PC MTG 11-2-06

✓ *Tom Reinertson*
(REINERTSON)

2005 DIAMOND PEAK CT
683-5515

✓ *Paula Brown*

2005 Diamond Peak Ct
682-1108

✓ *Theresa Garcia*

2001 DIAMOND PEAK CT. 233-8130

✓ *ATH*

2008 Diamond Peak Ct. 240-2317

✓ *Judy Welch*

2008 Diamond Peak Ct. 240-2317

✓ *Gay G Brooks* 2005 Diamond Peak Ct 869-1228

✓ *John Lally* 2004 Diamond Brook Ct 89117

✓ *Super Valley* 2009 Diamond Brook Ct. 89117

✓ *Sumner Nathan* 2000 DIAMOND BROOK CT 89117 243-7393

✓ *Sumner Nathan* 2000 DIAMOND BROOK CT 89117 243-7393

2001 DIAMOND BROOK CT 89117
360-4258

✓ *Janis d. Carson*

✓ *Donald Augustini*

2017 Diamond Brook Ct. 89117- 228-8365 ✓

✓ *Michelle Cannella* 2109 Diamond Brook Ct. 89117 360-3587

✓ *John Cannella* 2109 Diamond Brook Ct. 89117 360-3587

✓ *Mr & Mrs Morel J. Honore* 2113 Diamond Brook Ct.

✓ *Steven Berkey* 2117 Diamond Brook Ct 89117

✓ *Charles Field* 2116 Diamond Brook Ct 89117

✓ *Hidem. Field*

2116 Diamond Brook Ct 89117

✓ *William Ekman* 2112 Diamond Brook Ct 89117

Nora Vios 212 Diamond Brook Ct
Carmel Vios " " "

Francisco Ruano 2125 Diamond Brook Ct

Nora A. Fisher 2125 Diamond Brook Ct

~~MARVIN - duplicate~~
~~MARVIN MONTGOMERY~~ 2104 Diamond Peak Ct.

~~MARVIN MONTGOMERY~~ 2104 " " "
" " " " "

~~Barbara Fisher~~ 2012 Diamond Peak Ct - 838-2682

Donna Wildt 2012 Diamond Peak Ct 838-2682

Stuart M. Polson 2013 Diamond Peak Ct. 255-3227

Michelly Cienciola 2013 Diamond Peak Ct. 255-5227

Philip M. Selber 2009 Diamond Peak Ct 233-5795

Martha d. Selber 2009 Diamond Peak Ct 233-5795

John Keidel 2100 DIAMOND PEAK CT. 242-0991

2100 DIAMONDS PEAK Ct. 242-0991

William M. Keidel

Joe Menck 2000 DIAMOND PEAK 360 4961

Cynthia Wulfsberg 2109 Diamond Peak (415) 412 8603

Betty Wulfsberg 2109 Diamond Peak (524) 427-5803

SHARON PRIER 2108 DIAMOND PEAK Ct 89117 870-5480

ITEM # 26
CASE # SWP-15027
PC MTG 11-2-06

17P

Nancy Ehrman

From: "Nancy Ehrman" <nehrman331@earthlink.net>
To: "Ehrman, Nancy" <nehrman331@earthlink.net>
Sent: Thursday, October 26, 2006 12:32 AM
Subject: Objection to Variance proposed by Steven Portnoff.

Dear Mr. Harala and Mr. Grossman,

Once again I strongly oppose the issues raised by Steven Portnoff in the form of variance Sup-15027 which would allow the installation of an 80 ft. amateur radio antenna tower on his property directly across from our homes on Diamond Peak Court. I also object to Var 14735 regarding the set back and also object to the Var 14734 which would propose a 6' wall in the front yard of the property. I live at 2112 Diamond Peak Court, just 2 houses away from Mr. Portnoff's property. He has never talked to any of us, who would be his close neighbors, in regard to his proposed changes and additions to the property or expressed his reasons for wanting the changes.

We have repeatedly voiced our objections to his proposals and have sent signed letters and appeared in person at the evening commission meetings to voice our opposition. We feel that our neighborhood is not the appropriate site for the oversized tower and also feel his requests for walls and set backs are not in keeping with the appearance and well being of the present neighborhood houses and property.

Nancy Ehrman
 2112 Diamond Peak Ct.
 Las Vegas, NV 89117

cc. Las Vegas Planning and Development Department

*For E-mail address added
 Not accept this message.*

ITEM # 36
 CASE # SUP-15027
 PC MTG 11-2-06

(Indicate)

RECEIVED
CITY CLERK

OBJECTION TO SUP-15027

2006 OCT 31 P 12:09

WE, THE RESIDENTS OF CANYON VIEW ESTATES –
LOCATED NEAR AND AROUND THE SOUTH HALF OF THE
SOUTHWEST QUARTER OF SECTION 04, TOWNSHIP 21
SOUTH, RANGE 60 EAST, M.D.M., DO FORMALLY OBJECT
TO SUP-15027.

CONSTRUCTION OF AN 80 FOOT, EIGHT STORY
AMATEUR RADIO ANTENNA TOWER IS INAPPROPRIATE
IN OUR DENSELY RESIDENTIAL AREA AND WOULD
ADVERSELY IMPACT THE UNIFORMITY AND
ATTRACTIVENESS OF OUR NEIGHBORHOOD.

WE, THE UNDERSIGNED, VIGOROUSLY OBJECT AND
REQUEST THAT THE CITY COUNCIL TURN DOWN ALL
SPECIAL PERMITS AND VARIANCES FOR THIS PROJECT.

ITEM # 36
CASE # SUP-15027
PC MTG 11-2-06

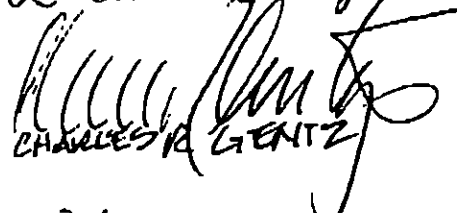
Submitted after final agenda

Date 10/31/06 Item # 35

SP

NAME

ADDRESS

- | NAME | ADDRESS |
|--|--------------------------------|
| 1. LaDonna Gentz | 2200 Country Cottage Ct 89117 |
| 2. 
CHARLES R. GENTZ | 2200 Country Cottage Ct 89117 |
| 3. Rebecca Rosen | 2241 Country Cottage Ct. 89117 |
| 4. Randolph G. Rosen | 2241 Country Cottage Ct. 89117 |
| 5. Rich Sealy | 2240 Country Cottage Ct 89117 |
| 6. Susan Brenner | 2201 Country Cottage Ct 89117 |
| 7. David Bennett | 2220 Country Cottage Ct 89117 |
| 8. Jennifer Bennett | 2220 Country Cottage Ct 89117 |
| 9. John Gilt-Hardy | 2240 Country Cottage Ct. 89117 |

- ✓ 10. *Dennis C. Haecke*
 DENNIS C. HAECKE
 2221 COUNTRY COTTAGE 89117
 ✓ 11. *Envelope C. House* 2261 Country Cottage Ct. 89117

- ✓ 12. *William Harte*
 William Harte
 2261 Country Cottage Ct. Las Vegas

- ✓ 13. *Michelle Roper*
 2581 Country Cottage 89117

- ✓ 14. *Jack Roper*
 2291 Country Cottage 89117

Dep on
 Post 1

- ✓ 15. *Bill*
 2201 Country Cottage Ct. 89117

16.

17.

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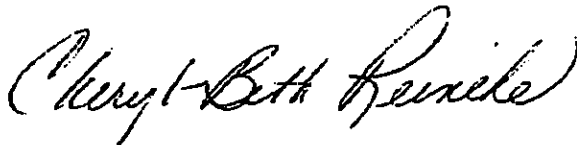
Cheryl-Beth Reineke
2204 Trident Maple Street
Las Vegas NV 89117-1893
702-804-9245
702-804-9247 Fax

November 1, 2006

Dear Planning Commission,

We are adamantly opposed to the approval of the Special Use Request SUP-15027, an 80ft amateur radio antenna in an all residential area. The surrounding residences don't have or may not allow, due to HOA restrictions, TV antennas. There is also concern of transmittal bleed over effecting personal wireless equipment. The antenna would be an unsightly addition to the neighborhood and would not fit aesthetically.

Sincerely in Opposition,



Cheryl-Beth Reineke
Homeowner

ITEM # 36
CASE # SUP-15027
PC MTG 11.2.06

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

TTY 702-386-9108

Voice:

Administration 229-6353

Comp Planning 229-6022

Current Planning 229-6301

www.lasvegasnevada.gov

December 21, 2006

Mr. Steven Portnoff
1335 Radwick Drive
Las Vegas, Nevada 89110

Re: SUP-15027--Special Use Permit Request to Allow a
Proposed 80 Foot High Amateur Radio Antenna Tower; City's
Response to your amended application for an Amateur Radio
Antenna

Dear Mr. Portnoff,

Thank you for meeting with us on Monday, December 18, 2006 to further discuss the City's offer to reasonably accommodate your desire to engage in amateur radio communications on your property in what will be the rear yard of your primary residence located on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane. In attendance at that meeting were the following people: you, me, Jim Lewis, Deputy City Attorney, and the City's experts in radio communications, Lou Amell, Fire Communications Supervisor and Jim Bassett, Fire Communications Technician II.

At the meeting you rejected the City's offer of reasonable accommodation. You reasoned that a 40 foot tower was too short to properly propagate the radio frequencies in which you intend to utilize at this location. In addition, you asserted that you could not accommodate a crank-up tower as the cable you intend to use is inflexible and cannot be used on a crank-up tower. Your final offer to the City was a 60-foot tall, 18"x18"x18" triangular tower with a four antennae array "sail" that will sit six feet above the top of the tower. You also indicated that each of the four antennae can be extended to over 70 feet in length. In sum, you desire to build a 66 foot tall structure with four antennae that can and will be extended to greater than 70 feet each, for use 24 hours each and every day.

We asked you to submit a letter amending your application to reflect your latest proposal. The City received your letter on Tuesday, December 19, 2006, and it reflects the structure in which you described at the December 18, 2006 meeting. This correspondence is to indicate that the Planning Department will not support your request for approval of your amended proposal. In the City of Las Vegas, a 60 foot latticed tower is commonly and typically associated with factory and industrial districts and is not appropriate for this developed residential area. The Planning and Development

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Lawrence Weekly
Steve Wolfson
Lois Tarkanian
Steven D. Ross

City Manager
Douglas A. Selby



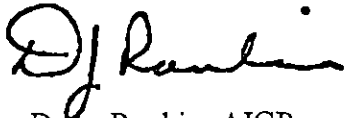
Submitted after final agenda

Date 12/21/06 Item #20

Department finds that your amended application is not harmonious or compatible with the single-family and multi-family dwellings within the one-thousand foot (1000 ft.) radial notice area from the property line.

Feel free to contact me (229-5408), or Jim Lewis, Deputy City Attorney (229-6629) at any time during normal business hours.

Yours truly,



Doug Rankin, AICP
Planning Manager
City of Las Vegas
Planning & Development Department

cc: Steve Wolfson, Councilman
Larry Harala, Ward 2 Liaison
Margo Wheeler, Director of Planning and Development
James B. Lewis, Deputy City Attorney

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SUP-17737 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT/OWNER: DURANGO STRUCTURES, LLC - Request for a Special Use Permit FOR A DRIVE-THRU RESTAURANT on 3.82 acres at the northeast corner of Centennial Parkway and Durango Drive (APN 125-20-801-002), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

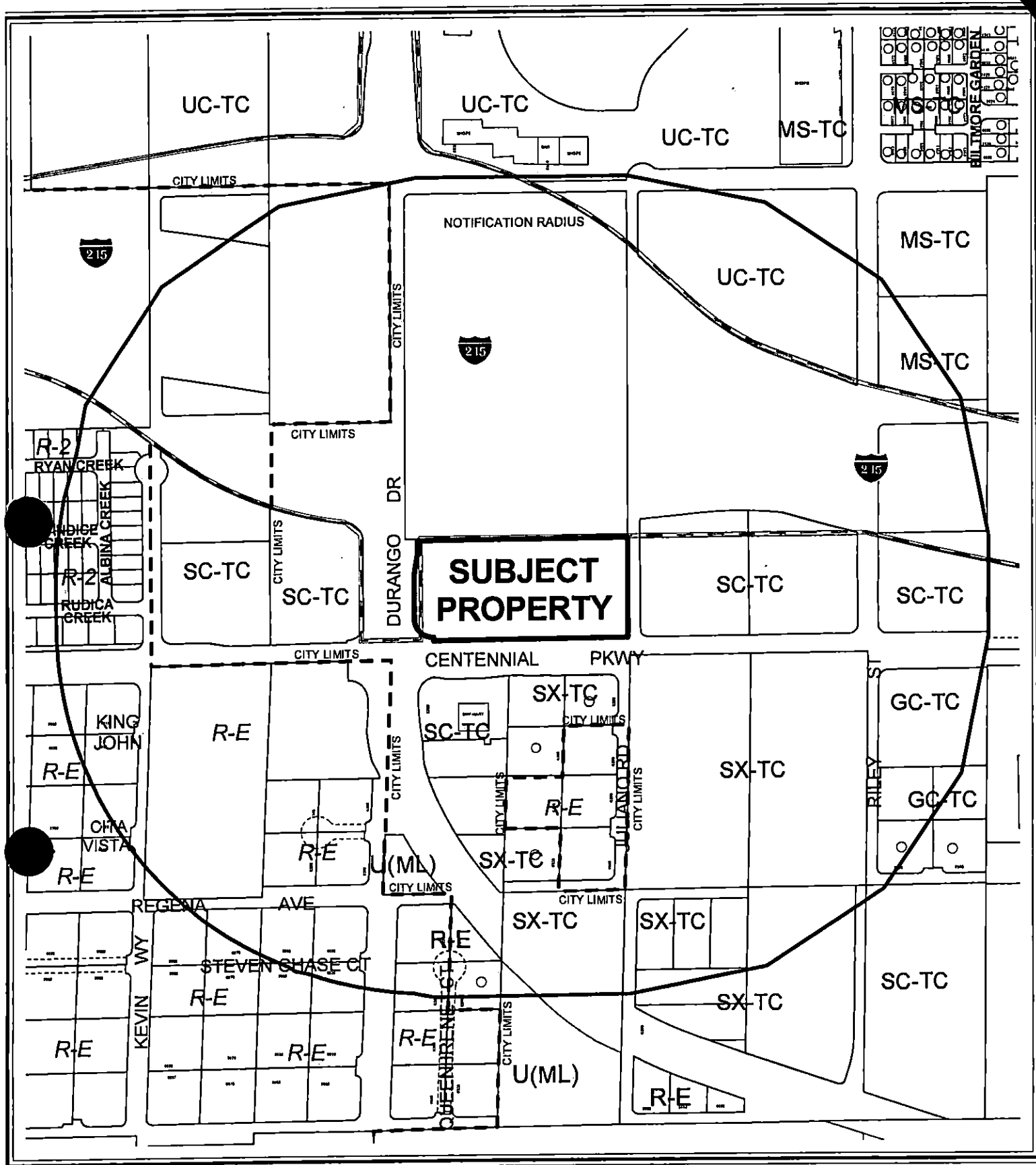
PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 21 – SUP-17737

MINUTES – Continued:

Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732] and Item 26 [SDR-17730] were requested to be held in abeyance to the 01/11/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



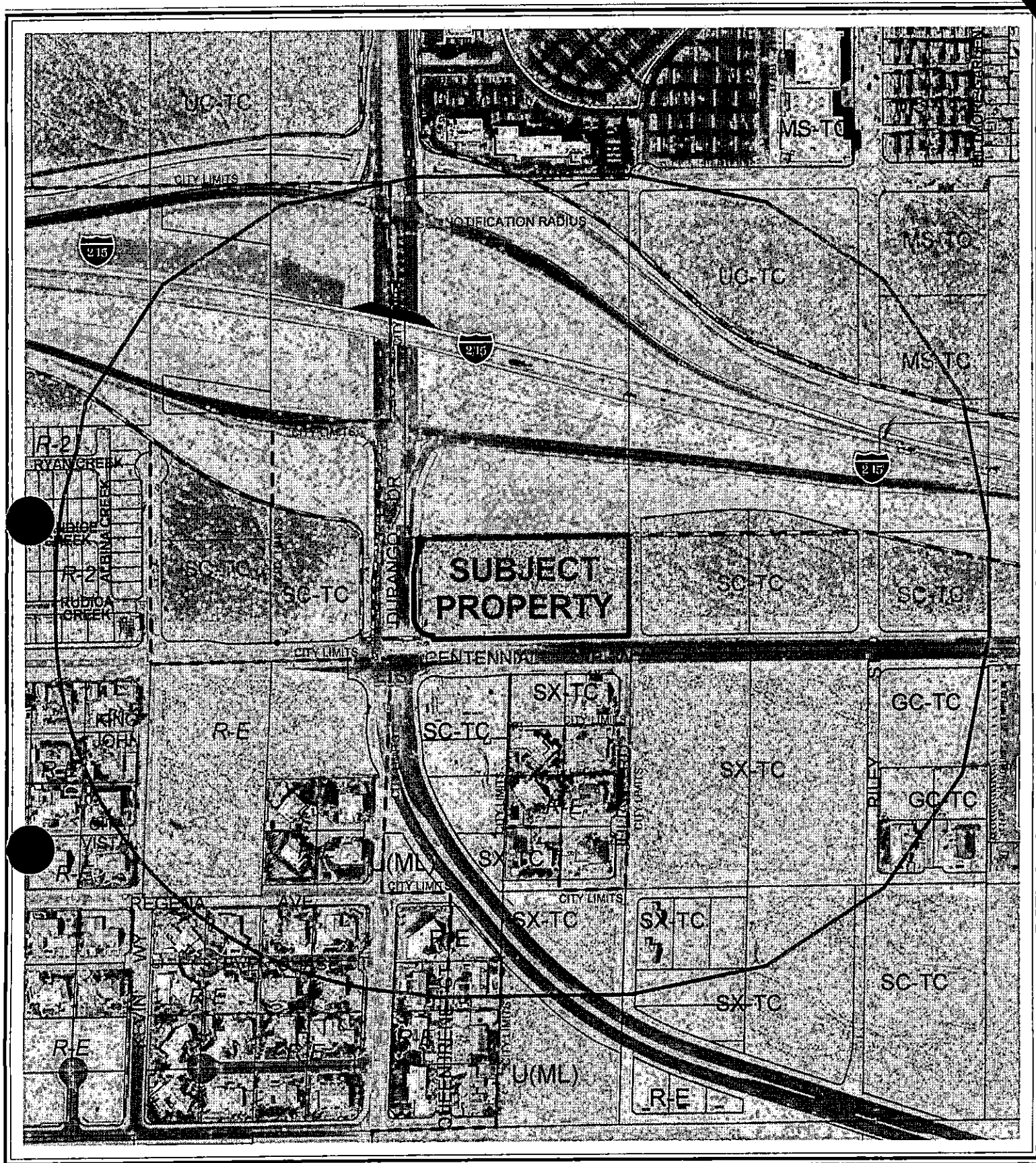
CASE: **SUP-17737**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER)
SPECIAL LAND USE DESIGNATION]





CASE: **SUP-17737**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER)
SPECIAL LAND USE DESIGNATION]

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: ABEYANCE - SUP-17737 - APPLICANT/OWNER:
DURANGO STRUCTURES, LLC**

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Site Development Plan Review (SDR-17735) if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-17737 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application is a request for a Restaurant with drive-through in the Town Center Master Plan Area. The application is a companion item for a Site Development Plan Review for a 42,790 square-foot Retail Shopping Center. Due to the site layout, the applicant has requested a waiver to the Town Center Development Standards Manual to allow 15 feet of perimeter landscape buffer adjacent to a drive-through aisle where 25 feet is required.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/07/98	The City Council approved a Rezoning (Z-0076-98) to TC (Town Center) of a 1,468-acre portion of the Northwest. The subject site was not included within the 1998 Rezoning area.
11/07/01	The City Council approved the Town Center Development Standards Manual through Bill No. 2001-100.
05/01/02	The City Council approved Extension of Time applications U-0149-99(1) for a Supper Club and U-156-99(1) for a Liquor Establishment (Off Premise Consumption) with two year time limits.
7/12/06	The City Council approved a request for an Extension of Time (EOT-13647) of an approved Special Use Permit (U-0149-99) that allowed a Supper Club adjacent to the northeast corner of Centennial Parkway and Durango Drive
<i>Related Building Permits/Business Licenses</i>	
NA	NA
<i>Pre-Application Meeting</i>	
08/23/06	At the pre-application meeting, the applicant was informed that Fire had a concern about the parking deck and that the building may need to have a sprinkler system. Public Works indicated that a dedication of a turn lane may be required. Cul-de-sac Juliano or vacate and turn into a private drive would be necessary. The applicant was further advised that an amenity zone in the cul-de-sac may be required per Town Center Design Standards. Additionally, the applicant was informed that the buildings needed to be pushed forward per Town Center Standards. The applicant indicated that they will hold a neighborhood meeting.
<i>Neighborhood Meeting</i>	
11/02/06	The applicant states that a neighborhood meeting was held. However, there are no notes regarding time, place, or attendance submitted with the file.

SUP-17737 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Details of Application Request	
Site Area	
Net Acres	3.82 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property:	Undeveloped	SC-TC (Service Commercial- Town Center)	T-C (Town Center)
North:	Beltway	ROW	T-C (Town Center)
South:	Commercial & Single Family Dwellings	SC-TC (Service Commercial- Town Center) SX-TC (Suburban Mixed -Town Center)	T-C (Town Center)
East:	Undeveloped	SC-TC (Service Commercial- Town Center)	T-C (Town Center)
West:	Undeveloped	SC-TC (Service Commercial- Town Center) & ROW	T-C (Town Center)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
T-C Town Center District	X		N*
Trails	X		NA
Rural Preservation Overlay District		X	NA
Development Impact Notification Assessment	X		Y
Project of Regional Significance	X		Y

***Town Center**

Development within Town Center will be subject to the Town Center Development Standards and the Town Center Land Use chapter of the Centennial Hills Sector Plan.

INTERAGENCY ISSUES

Pursuant to 1999 Statutes of Nevada, Chapter 481 the proposed project is deemed to be a "project of significant impact" for the following reasons:

- 1) A commercial or industrial facility generating more than 3,000 average daily vehicle trips.

SUP-17737 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities for the mandated 15-day period. No comments have been received prior to the completion of this report.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required Parking		Provided Parking		Compliance
			Regular	Handi-capped	Regular	Handi-capped	
Retail Center	42,790 sq ft	1: 250 sq ft	172	7	284	11	
TOTAL (including handicap)			172	7*	284	11**	N
Loading Spaces			3		3		Y

*Handicapped accessible spaces are determined from the total parking stalls provided. As the proposed plans show 284 stalls, there shall be accommodation for a total of 7 spaces

**The site plans show handicapped accessible parking spaces that are all not in compliance with the Standard Drawing as shown in Title 19.10(G) 3 where five-foot loading zones are required on each side of the parking stall. As there is abundant handicapped accessible parking, a condition for approval has been placed to adequately restripe the provided handicap spaces so as to comply with Title 19.10

Waivers		
Request	Requirement	Staff Recommendation
To allow 15 feet of perimeter landscape buffer adjacent to a drive-through aisle.	25 feet	Denial

ANALYSIS

This request for a Special Use Permit for a Restaurant with a drive-through requires is a companion item with Site Development Plan Review (SDR-17735). Typically, for drive-through lanes in Town Center the principal building is located at the front setback line in accordance with the applicable setback requirements, with the drive-through lane located to the side or the rear of the principal building. A waiver to the to the Town Center Design Standards Manual to allow 15 feet of perimeter landscape buffer adjacent to a drive-through aisle where 25 feet is required has been requested. Staff is recommending denial as this proposal is acting in part of a project in whole that does not substantially meet the intent of the Town Center Development.

SUP-17737 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

FINDINGS

The following findings must be made for a Special Use Permit:

1. "The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."
2. "The subject site is physically suitable for the type and intensity of land use proposed."
3. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."
4. "Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."
5. The use meets all of the applicable conditions per Title 19.04.

In regard to "1":

The drive-through as proposed cannot be conducted in a manner that is harmonious with Town Center Standards unless it meets the minimum landscape buffer requirement.

In regard to "2":

The subject site is physically capable of accommodating the drive through while meeting the landscape buffer requirements.

In regard to "3":

Centennial Parkway is designated as 90-foot wide Town Center Frontage Road and Juliano Avenue is designated as an 80-foot wide Town Center Collector. Both rights-of-way will provide adequate access to the subject site.

In regard to "4":

The proposed drive-through use will be subject to regular City and County inspections for licensing and will therefore not compromise the public health, safety, and welfare; however, the proposed drive through is not consistent with the Town Center Development Standards.

SUP-17737 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

In regard to "5":

The proposed drive through meets Title 19.04 requirements; however, it does not meet the Town Center Development Standards Manual.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 4

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 66 (Mailed with SDR-17735)

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17737** APN: 125-20-801-002

Name of Property Owner: Durango Structures LLC

Name of Applicant: Durango Structures LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

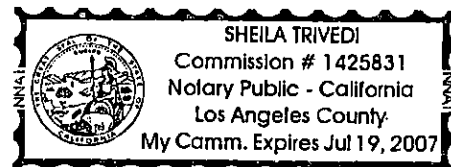
Signature of Property Owner: _____

Print Name: HALSTON MIKAIL

Subscribed and sworn before me

This 23rd day of October, 2006

Notary Public in and for said County and State



October 24, 2006



Margo Wheeler, Director
Planning and Development Department
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89131

RE: Justification Letter for a Special Use Permit for a drive-thru and Site
Plan Review on the NEC of Centennial and Durango APN -125-20-801-
002

U-149-99
EOT 13647

Dear Ms. Wheeler:

On behalf of our client, Durango Structures, LLC, please accept this letter as justification for a Special Use Permit for a drive-thru lane in conjunction with a restaurant and a site plan review for this proposed retail center on the northeast corner of Centennial and Durango. A supper club was previously approved on this site (~~U-0154-99~~), with an Extension of Time recently approved by the City Council on July 12, 2006 (~~EOT-3963~~). The intent is to construct an attractive retail center that is appropriate for the neighborhood and the Town Center plan.

The site is approximately 3.83 +/- acres in size located directly on the northeast corner of Centennial and Durango. The site plan shows a total of 42,790 square feet of building area; 31,560 square feet of general retail, a 4,880 square foot restaurant with a drive-thru lane and a 6,350 square foot supper club. All of the landscaping and plaza areas will be provided in accordance with the Town Center Design Center manual. Land trellises will be placed around the buildings to enhance the look and feel of the center. Parking will be provided in a two level parking garage, with one level underground. The building elevations show single story retail shops with some of the architectural features up to a height of 45 feet to add an interesting and appealing appearance to the project.

Approval Criteria of a Special Use Permit: Title 19.18.060 (L)

The following Determinations are to be made by the Planning Commission and City Council to approve a Special Use Permit:

- 1) The proposed use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses and with future surrounding land uses as projected by the General Plan.

This site is designated SC-TC (Service Commercial) on the Town Center Future Land Use Map. This designation allows retail shopping centers; it is not unusual for a restaurant with a drive-thru to be located on a major intersection.



**SUP-17737
SDR-17735
12/21/06 PC**

A Planning & Development Services Corporation

1711 Whitney Mesa Drive, Suite 110, Henderson, Nevada 89014-2158

Telephone: 702-435-9909 Facsimile: 702-435-0457 E-Mail: ggarcia@gcgarcia.com

This proposal will provide essential services for residents of this area of the City. The size and scale is such that it is harmonious and compatible with the surrounding area.

- 2) The subject is physically suitable for the type and intensity of land use being proposed.

The site is large enough to accommodate the proposed commercial center and a drive-thru lane with safe inter-site access and parking.

- 3) Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.

The drive-thru lane will not increase traffic to the abutting street and highway facilities; however both Durango and Centennial are major arterials. Also, the site is in close proximity to I-215.

- 4) Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety and welfare or the overall objectives of the General Plan.

This site is designated Service Commercial, where restaurants with drive-thru lanes are typically located.

Approval Criteria for Site Plan Review: Title 19.18.050 (E)

The criteria for site plan approval are as follows:

- 1) The proposed development is compatible with adjacent development and development in the area.

The site is designated for commercial uses as are other properties in this area of Town Center. It is located at the intersection of two major arterials and in close proximity to I-215.

- 2) The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards and other duly adopted city plans, policies and standards.

This proposal is consistent with most of the applicable criteria and is of a high quality expected of developments in Town Center. The site plan does not meet the technical requirements of Section D.1.c. (2) of the Town Center Design Standards Manual, which requires buildings to be located along the property line of major arterials. We believe a waiver is warranted for two reasons:

- a. *The site has a very narrow north-south configuration, which does not provide much depth to place all of the buildings along the property line. The two corner buildings are placed directly on the corners of Centennial and Durango and Centennial and Juliano.*

**SUP-17737
SDR-17735
12/21/06 PC**

- b. The parking will be provided in a two level structure, with one level below and one above grade. The at-grade parking structure is pushed out to the Centennial frontage and will be designed to compliment the overall architecture, look and feel of the site.*

It is the developer's intent to meet all of the other design criteria.

- 3) Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic.

Site access is designed to not have a negative impact on the surrounding roadway network.

- 4) Building and landscaping materials are appropriate for the City.

All landscaping standards will be met or exceeded. The buildings are attractively designed with trellises, interesting building facades and variations in building height. There are ample pedestrian connectivity and plaza areas.

In summary, we believe this development will result in an interesting, attractive high-end commercial center envisioned by the Town Center plan. We respectfully request your favorable consideration. Please do not hesitate to contact us if you have any questions or need additional information.

Sincerely,


David Clapsaddle
Director of Planning

DWC:mw

**SUP-17737
SDR-17735
12/21/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17735 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-17737 - PUBLIC HEARING - APPLICANT/OWNER: DURANGO STRUCTURES, LLC - Request for a Site Development Plan Review FOR A 42,790 SQUARE FOOT RETAIL SHOPPING CENTER WITH WAIVERS OF THE BUILD-TO-LINE REQUIREMENT AND TO ALLOW 15 FEET OF PERIMETER LANDSCAPE BUFFER ADJACENT TO A DRIVE-THRU AISLE WHERE 25 FEET IS REQUIRED on 3.82 acres at the northeast corner of Centennial Parkway and Durango Drive (APN 125-20-801-002), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

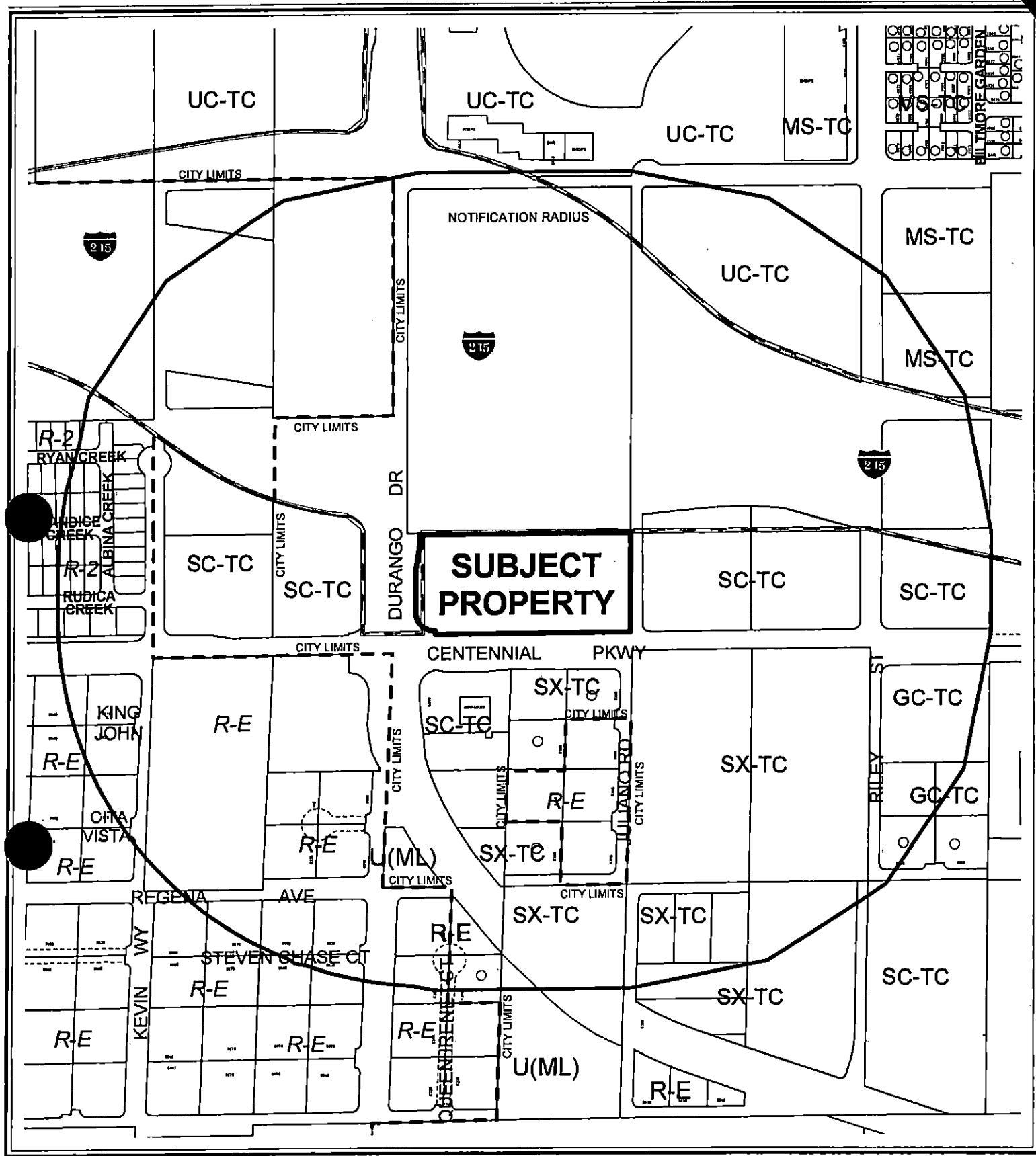
PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 22 – SDR-17735

MINUTES:

Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732] and Item 26 [SDR-17730] were requested to be held in abeyance to the 01/11/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



CASE: **SDR-17735**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER)
SPECIAL LAND USE DESIGNATION]

0 300 600 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17735 - APPLICANT/OWNER:
DURANGO STRUCTURES, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the conditions for Rezoning [Z-0076-98(11)], Special Use Permit (SUP-17737) if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.
4. A Waiver from the Town Center Design Standards is hereby approved, to allow a 15- foot landscape buffer adjacent to a drive through.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

MH

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9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
10. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
11. A Master Sign Plan shall be submitted for approval of the Centennial Hills Architectural Review Committee—Town Center (CHARC-TC) prior to the issuance of a Certificate of Occupancy for any building on the site and prior to the issuance of any sign permits.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. Properly striped and located parking spaces shall be provided to accommodate 11 handicapped accessible parking spaces.
14. Per Map No. 7 of the Transportation Trails Element of the General Plan, bike lanes are required along Centennial Parkway and bike routes are required along Durango Drive.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Dedicate the additional right-of-way on Centennial Parkway necessary for right turn lanes in accordance with Standard Drawing No. 201.1 and on Durango Drive for a bus turnout acceptable to the City Traffic Engineer prior to the issuance of any permits. In addition, dedicate 30 feet of right-of-way adjacent to this site for Juliano Road, including the appropriate area required for a cul-de-sac, prior to the issuance of any permits. Alternatively, record a Petition of Vacation for the existing portions of Juliano Road prior to the issuance of any permits.
17. Construct all incomplete half-street improvements on Durango Drive and Centennial Parkway adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).

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18. Construct half-street improvements, including the cul-de-sac bulb with sufficient asphalt improvements acceptable to the Fire Protection Engineering Section of the Department of Fire Services and appropriate overpaving, on Juliano Road adjacent to this site concurrent with development of this site if the existing right-of-way is not vacated.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Landscape and maintain all unimproved rights-of-way, if any, adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. Submit an Encroachment Agreement for all landscaping, if any, located in the public right-of-way adjacent to this site prior to occupancy of this site.
22. Grant pedestrian access easements for all public sidewalk located outside of public street right-of-way, if any, prior to the issuance of any permits for this site.
23. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

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24. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
25. Site development to comply with all applicable conditions of approval for Zoning Reclassification Z-76-98, Town Center standards and all other applicable site-related actions.

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**** STAFF REPORT ****

PROJECT DESCRIPTION

This application is a request for a Site Development Plan Review for a 42, 790 square-foot Retail Shopping Center. The applicant has also file a companion Special Use Permit application for a Restaurant with a drive through. Due to the site layout, the applicant has requested a waiver to the Town Center Development Standards Manual to allow 15 feet of perimeter landscape buffer adjacent to a drive-thru aisle where 25 feet is required on 3.82 acres.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/07/98	The City Council approved a Rezoning (Z-0076-98) to TC (Town Center) of a 1,468-acre portion of the Northwest. The subject site was not included within the 1998 Rezoning area.
11/07/01	The City Council approved the Town Center Development Standards Manual through Bill No. 2001-100.
05/01/02	The City Council approved Extension of Time applications U-0149-99(1) for a Supper Club and U-156-99(1) for a Liquor Establishment (Off Premise Consumption) with two year time limits.
7/12/06	The City Council approved a request for an Extension of Time (EOT-13647) of an approved Special Use Permit (U-0149-99) that allowed a Supper Club adjacent to the northeast corner of Centennial Parkway and Durango Drive
<i>Related Building Permits/Business Licenses</i>	
NA	NA
<i>Pre-Application Meeting</i>	
08/23/06	A pre-application meeting was held regarding a Site Development plan Review for a 42,790 square foot Retail Center and a Special Use Permit for a Restaurant with drive-through.
<i>Neighborhood Meeting</i>	
11/02/06	The applicant states that a neighborhood meeting was held. However, there are no notes regarding time, place, or attendance submitted with the file.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	3.82 acres

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Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property:	Undeveloped	SC-TC (Service Commercial- Town Center)	T-C (Town Center)
North:	Beltway	ROW	T-C (Town Center)
South:	Commercial & Single Family Dwellings	SC-TC (Service Commercial- Town Center) SX-TC (Suburban Mixed -Town Center)	T-C (Town Center)
East:	Undeveloped	SC-TC (Service Commercial- Town Center)	T-C (Town Center)
West:	Undeveloped	SC-TC (Service Commercial- Town Center) & ROW	T-C (Town Center)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
T-C Town Center District	X		N*
Trails	X		Y
Rural Preservation Overlay District		X	NA
Development Impact Notification Assessment		X	NA
Project of Regional Significance		X	NA

***Town Center**

Development within Town Center will be subject to the Town Center Development Standards and the Town Center Land Use chapter of the Centennial Hills Sector Plan. The applicant is request a waiver to the Town Center Standards and is therefore not in compliance.

Trails

There are two trails that affect this proposal: A Town Center Parkway Trail and a Multi Use Transportation Trail, as shown on Map 6 of the Master Plan Transportation Trails Element adjacent to this northern edge of this site.

INTERAGENCY ISSUES

Pursuant to Ordinance No. 5477, the proposed project is deemed to be a "Project of Regional Significance" because it was determined that the average vehicular motor trips was totaled to be approximately 4,584 exceeds the 3,000 average daily vehicle trips any Special Use Permit that is proposed within 500 feet of an unincorporated boundary.

MH

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An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities for the mandated 15-day period. A summary of the comments received, including recommendations for mitigation measures is as follows:

- 1) The City of Las Vegas Department of Public Works has no comment.
- 2) Las Vegas Metropolitan Police Department found no significant issues.

DEVELOPMENT STANDARDS

The following Town Center Development Standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	166,784 sq ft	NA
Min. Lot Width	NA	600 feet	NA
Min. Setbacks			
• Front	15-foot max.	20 feet	N
• Side	10 feet	35 feet	Y
• Corner	15 feet	20 feet	Y
• Rear	20 feet	13 feet	N
Min. Distance Between Buildings	NA	42 feet	NA
Max. Lot Coverage	NA	26%	NA
Max. Building Height	2 stories	39 feet, three inches (2 stories)	Y
Trash Enclosure	50 feet from residential/ screened	Screened	Y
Mech. Equipment	Screened	Screened	Y

Pursuant to Title 19.08.060 the following standards apply.

<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	117 feet, 8 inches	210 feet	Y
Trash Enclosure	50 feet from residentially zone property	450 feet	Y

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Pursuant to Title 19.12 the following standards apply.

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/ 6 Spaces	24 Trees	34 Trees	Y
Buffer: Min. Trees	1 Trees/ 30 Linear Feet	29 Trees	40 Trees	Y
TOTAL		53 Trees	74 Trees	Y
Min. Zone Width	15 Feet		20 Feet	Y

Pursuant to the Town Center Development Standards Manual, the following standards apply.

Streetscape Standards	Required	Provided	Compliance
Town Center Parkway Arterial	9-foot , 6-inch sidewalk w/ 5 foot amenity zone	20-foot sidewalk w/ 20-foot landscape area	
Frontage Road	5-foot sidewalk w/ 4-foot amenity zone		

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Retail Center	42,790 sq ft	1: 250 sq ft	172	7	284	11	
TOTAL (including handicap)			172	7*	284	11**	N
Loading Spaces			3		3		Y

*Handicapped accessible spaces are determined from the total parking stalls provided. As the proposed plans show 284 stalls, there shall be accommodation for a total of 7 spaces

**The site plans show handicapped accessible parking spaces that are all not in compliance with the Standard Drawing as shown in Title 19.10(G) 3 where five-foot loading zones are required on each side of the parking stall. As there is abundant handicapped accessible parking, a condition for approval has been placed to adequately restripe the provided handicap spaces so as to comply with Title 19.10

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Waivers		
Request	Requirement	Staff Recommendation
To allow over a 20-foot build-to-line standard.	15-foot max	Denial
To allow 15 feet of perimeter landscape buffer adjacent to a drive-through aisle.	25 feet	Denial

ANALYSIS

The site plan depicts a 42,790 square-foot shopping center with design standards that are not compliant with the Town Center Design Standards. The site is broken up into four separate buildings with the larger buildings located at the rear of the property and two smaller buildings located at the opposite corners of the lot.

Waivers to the Town Center Development Standards Manual have been submitted with this application to allow a front setback that exceeds the 15-foot build-to-line minimum and to allow a drive-through with 15 feet of perimeter landscaping where 25 feet of landscaping is required.

The submitted landscape plan depicts a tasteful layout with plentiful trees of the appropriate size and species for this site. The applicant has provided trees well in excess of the minimum required per Title 19.12 and there are multiple landscaped buffers that exceed the minimum standards as well.

The elevations and floor plans show a selection of building materials and interesting architectural features that reflect the Town Center Standards for quality.

Being that this is a substantial commercial development located at a crucially important corner location, staff is recommending denial. The proposal does not meet the intent or standards of Town Center development. If approved, the following development will be compelled to continue with the established pattern of development which would lead to a compromise of the intent of Town Center. The applicant has not demonstrated the need for the waiver to standards other than to accommodate an excess of parking.

FINDINGS

The following findings must be made for an SDR:

1. The proposed development is compatible with adjacent development and development in the area;

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2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;
4. Building and landscape materials are appropriate for the area and for the City;
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

In regard to "1":

The proposed retail center is compatible with the adjacent Town Center commercial land use category however there are limited amounts of development in the area to compare it to. The affected property and the properties to the east, west, and north are undeveloped with new commercial construction and residential development to the south. The commercial use and intensity adheres to the existing Town Center Land Use code of SC-TC (Service Commercial-Town Center).

In regard to "2":

The proposed retail center is located on land with the appropriate General Plan Category of TC (Town Center) and the Town Center Land Use Code SC-TC (Service Commercial-Town Center). The proposal does not comply with the Town Center Design Standards Manual in that the Drive-Through is not adequately landscaped nor does the project comply with the build-to-line setback standards.

In regard to "3":

The site access and circulation is not expected to have any negative impact on the adjacent roadways or neighborhood traffic. A Development Impact Notice Agreement (DINA) has been filed with the companion Special Use Permit (SUP-17737) so as to ensure adequate consideration to the traffic impact is taken into account.

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December 21, 2006 - Planning Commission Meeting

In regard to "4":

The building and landscape materials chosen for this project are in compliance with the town Standards Manual and the proposal shows interesting elevations that contribute to the visual appearance of the area. Although the Drive-through will require a waiver to the required landscaping buffer, landscaping shows a variety of appropriate tree species and shrubs that are all appropriate for the area.

In regard to "5":

Adequate landscaping and interesting building elevations and massing will provide an aesthetic asset to the existing vacant lot. The overall site design creates an orderly and aesthetically pleasing environment that is harmonious and compatible with the local area.

In regard to "6":

The appropriate measures are taken in securing and protecting the public health, safety and general welfare through the inspections required of Building and Safety for all commercial construction, through the Business Licensing Division for all licensed commercial activity, and through Code Enforcement for the general application of the Las Vegas Municipal Code.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

4

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 66 (Mailed with SUP-17737)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-17735 APN: 175-20-801-002
Name of Property Owner: Durango Structures
Name of Applicant: Halston Mikail

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

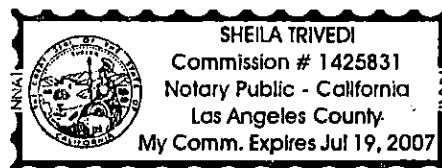
Print Name: Halston Mikail

Subscribed and sworn before me

This 25th day of August, 2006

Sheila Trivedi

Notary Public in and for said County and State



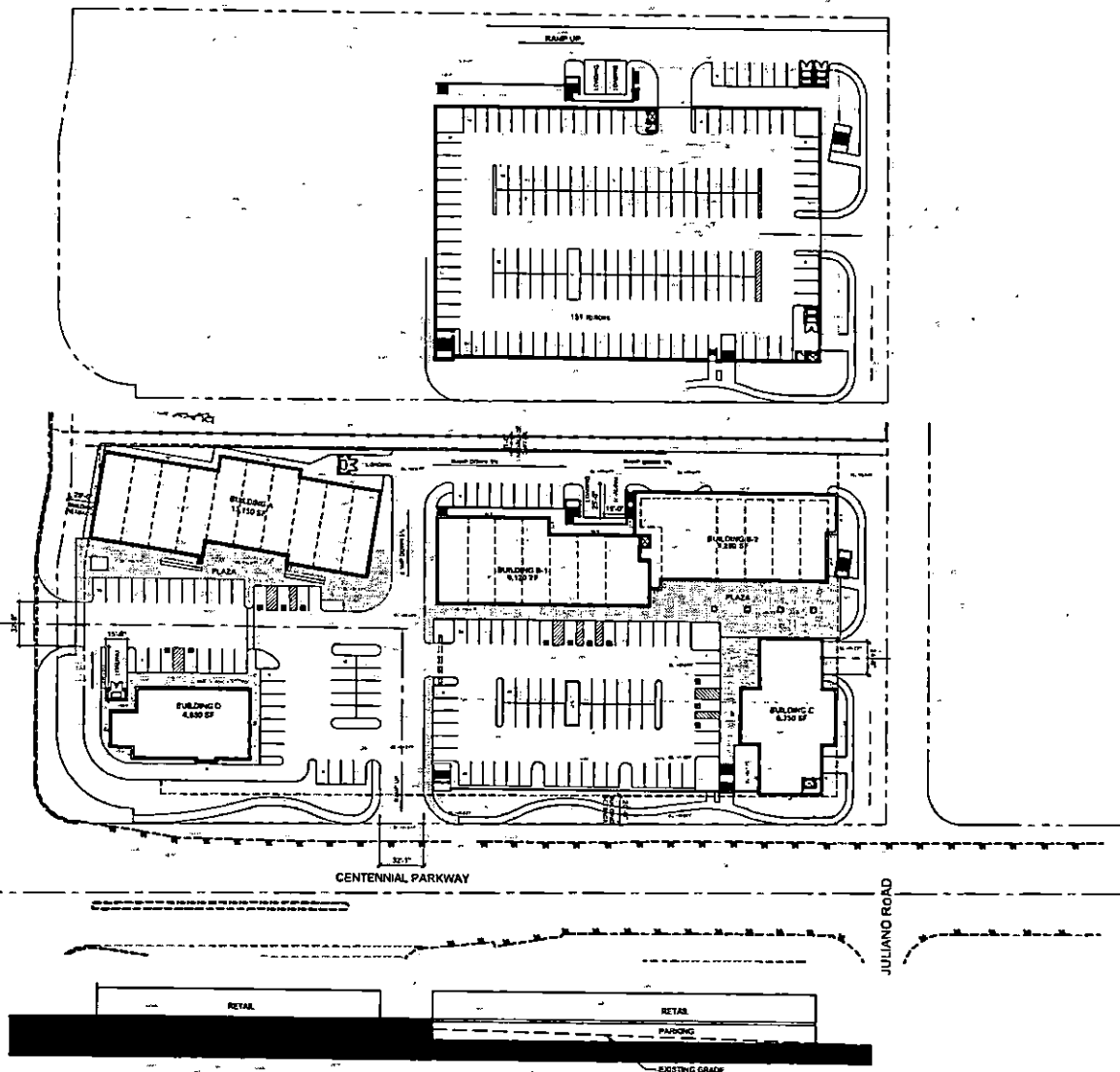
LOWER LEVEL PARKING

SITE PLAN

DIAGRAMMATIC SECTION

SITE PLAN

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA



Summary

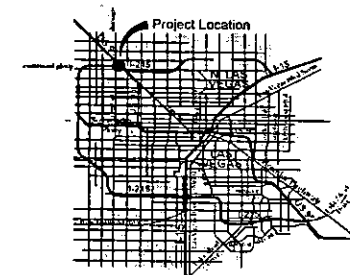
APN 125-20-801-002
Land ± 3.83 AC $\pm 166,642$ SF
Net Land ± 3.63 AC $\pm 158,114$ SF

Retail 31,560 SF
Restaurant Drive Thru 4,880 SF
Supper Club 6,350 SF
Total Building 42,790 SF

Land-to-Bldg Ratio 3.70/1
Coverage 27%

Parking Required 1/50 89 stalls
70% of Supper Club
Parking Required 1/200 10 stalls
30% of Supper Club
Parking Required 1/100 49 stalls
Restaurant w/ Drive thru
Parking Required 1/250 127 stalls
Retail

Parking Req'd total 275 stalls
Parking Provided 284 stalls
Plaza 5,014 SF



Vicinity Map
Not to Scale



ALL BUILDINGS SHOWN ON THIS PLAN ARE BASED ON THE RECORDS OF THE CITY OF LAS VEGAS. THE CITY OF LAS VEGAS DOES NOT WARRANT THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE CITY OF LAS VEGAS DOES NOT WARRANT THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE CITY OF LAS VEGAS DOES NOT WARRANT THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN.

DATE OCTOBER 24, 2006
MODEL JOB# 00006

NADEL ARCHITECTS NEVADA, LLP
1100 S. MAIN STREET, SUITE 200
LAS VEGAS, NV 89101
702.596.2000 P. 702.596.2115
WWW.NADELARCH.COM



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CAPITOL GROUP

12/21/06 PC SUP-17737
SDR-17735

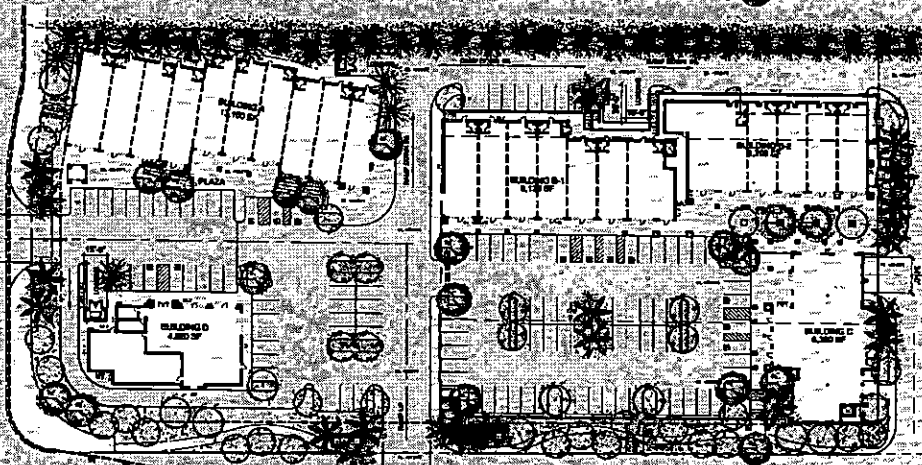
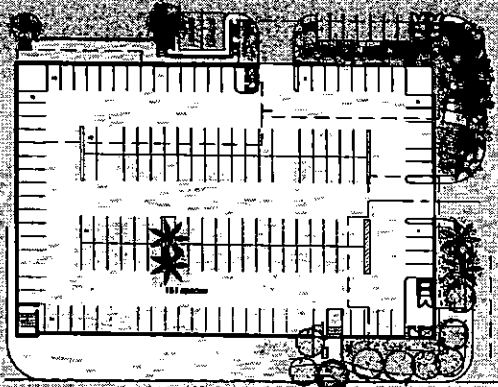
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OCT 24 2006

LOWER LEVEL PARKING

SITE PLAN

LANDSCAPE PLAN

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA



Plant Materials Legend

Symbols	Botanical Name	Common Name	Size
Trees			
⊙	Vitex Agnus-Casta	Chaste Tree	24" Bo
○	Cercidium floridum	Blue Palo Verde	24" Bo
○	Prosopis Glandulosa	Honey Mesquite	24" Bo
○	Acacia Sp.	Acacia	24" Bo
✱	Pinus Halapensis	Aleppo Pine	24" Bo
✱	Phoenix Dactylifera	Date Palm	20'
Shrubs & Ground Cover			
⊙	Caesalpinia Pulcherrima	Red Bird of Paradise	5 gal.
⊙	Leucophyllum Frutescens 'Compacta' TM	Compact Texas Ranger	5 gal.
⊙	Leucophyllum Sp.	Heavenly Cloud	5 gal.
⊙	Viguiera Delloidea	Goldeneye	5 gal.
⊙	Lantanna Montevicensis	Trailing Purple Lantanna	1 gal.
⊙	Penstemon Parryi	Parrys Penstemon	1 gal.
⊙	Rosmarinus Officinalis 'Irene'	Rosemary Irene	1 gal.
⊙	Trachelospermum jasminoides	Dwarf Star Jasmine	5 gal.
⊙	Verbena temari	Purple Verbena	1 gal.

Landscaping shall be designed and installed in accordance with the City of Las Vegas, Title 19, Chapter 19.12 Landscape, Wall, and Buffer Requirements and other sections as applies.



ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAS VEGAS, TITLE 19, CHAPTER 19.12 LANDSCAPE, WALL, AND BUFFER REQUIREMENTS AND OTHER SECTIONS AS APPLIES.

DATE: OCTOBER 24, 2006
NADEL JOB# 06036

NADEL ARCHITECTS NEVADA, LLP
7180 S. DEAN MARTIN DR., SUITE 200
LAS VEGAS, NV 89116
TEL: (702) 735-1100 FAX: (702) 735-1101
WWW.NADELARCH.COM



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CAPITOL GROUP

SUP-17737
SDR-17735

12/21/06 PC



LOWER LEVEL PARKING

SITE PLAN

DURANGO ROAD

CENTENNIAL PARKWAY

JULIANO ROAD

Plant Materials Legend

Symbols	Botanical Name	Common Name	Size
Trees			
⊙	Vitex Agnus-Casta	Chaste Tree	24" Box
⊙	Cercidium Floridum	Blue Palo Verde	24" Box
⊙	Prosopis Glandulosa	Honey Mesquite	24" Box
⊙	Acacia Sp.	Acacia	24" Box
✱	Pinus Halepensis	Aleppo Pine	24" Box
✱	Phoenix Dactylifera	Date Palm	20'
Shrubs & Ground Cover			
⊕	Caesalpinia Pulcherrima	Red Bird-of-Paradise	5 gal.
⊕	Leucophyllum Frutescens 'Compacta' TM	Compact Texas Ranger	5 gal.
⊕	Leucophyllum Sp.	Heavenly Cloud	5 gal.
⊕	Viguiera Deltoidea	Goldeneye	5 gal.
⊕	Lantanna Montevicensis	Trailing Purple Lantanna	1 gal.
⊕	Penstemon Parryi	Parrys Penstemon	1 gal.
⊕	Rosmarinus Officinalis 'Irene'	Rosemary Irene	1 gal.
⊕	Trachelospermum jasminoides	Dwarf Star Jasmine	5 gal.
⊕	Verbena temari	Purple Verbena	1 gal.

Landscaping shall be designed and installed in accordance with the City of Las Vegas, Title 19, Chapter 19.12 Landscape, Wall, and Buffer Requirements and other sections as applies.



LANDSCAPE PLAN

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

12/21/06 PC

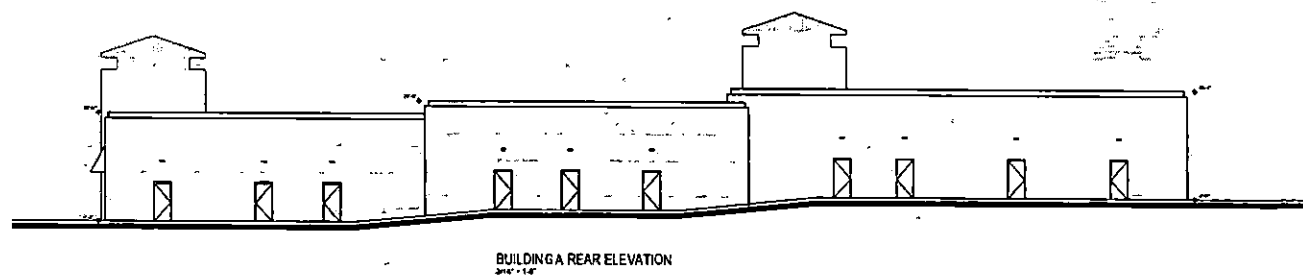
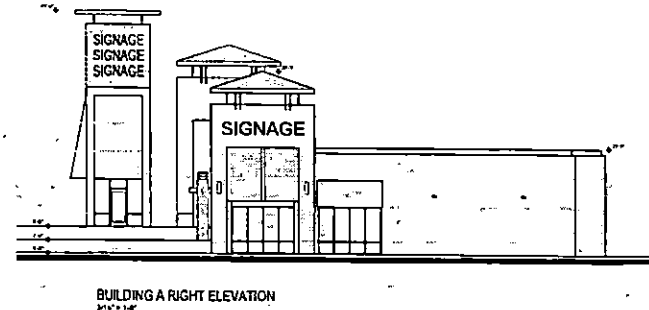
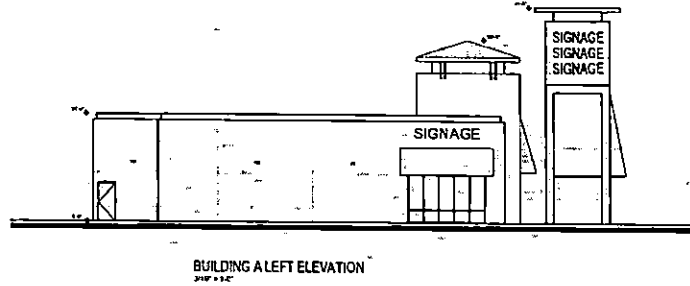
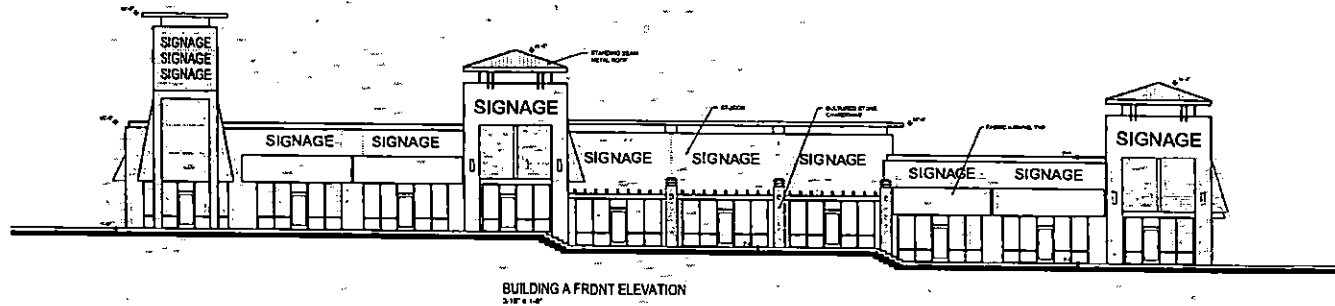
SUP-17737
SDR-17735

DATE: OCTOBER 24, 2006
NADEL JOB#: 0604

NADEL ARCHITECTS NEVADA, L.P.
1100 S. JEFFERSON BLVD., SUITE 200
LAS VEGAS, NV 89101
702.735.2000 FAX 702.735.2100
WWW.NADELARCH.COM

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ELEVATIONS BUILDING A

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

12/21/06 PC

SUP-17737
SDR-17735

BLACKSTONE
CAPITOL GROUP

DATE OCTOBER 24, 2006
NADEL JOB# 06735

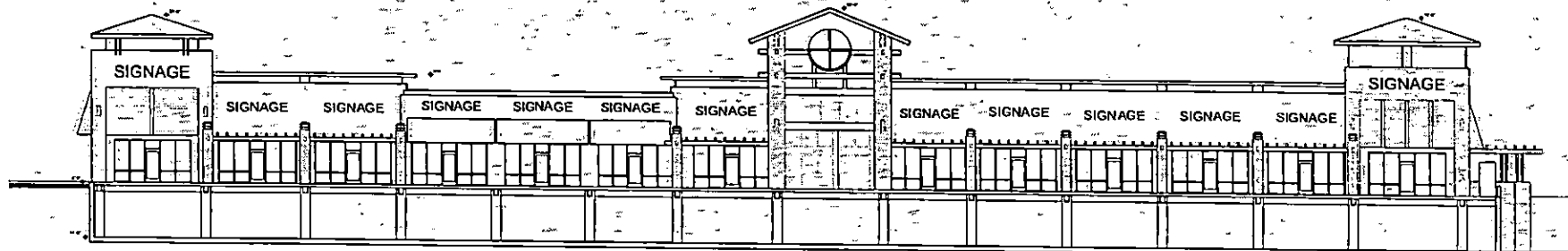
NADEL ARCHITECTS NEVADA, LLP
1700 S. ORGANIZATION DRIVE, SUITE 200
LAS VEGAS, NV 89119
TEL: 702.994.2000 FAX: 702.994.1113
WWW.NADELARCH.COM

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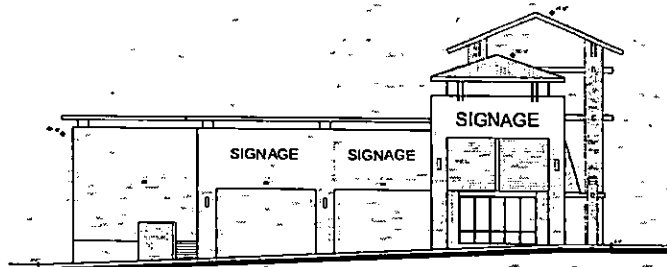


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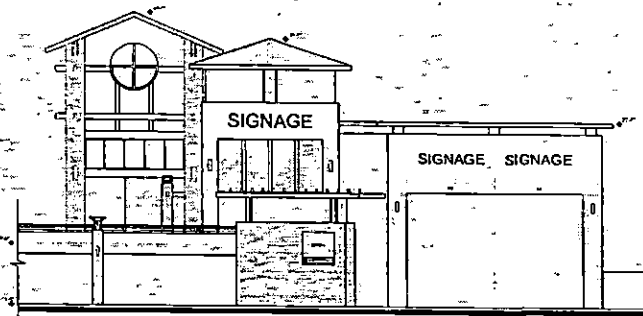
A3.0 ELEVATIONS BUILDING A



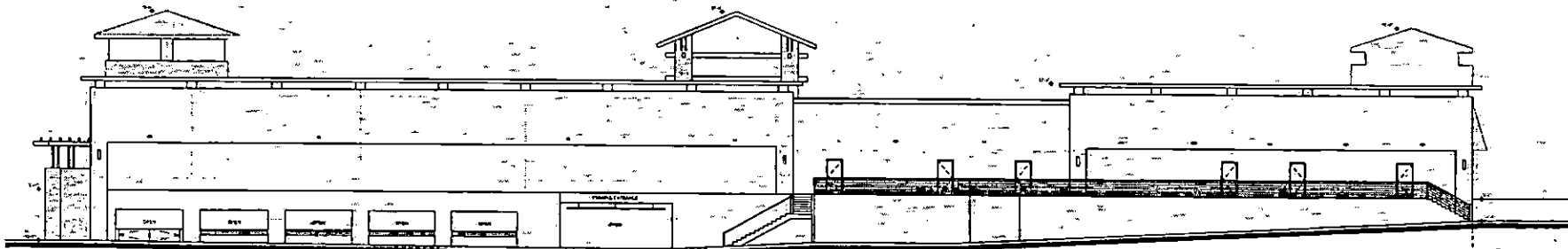
BUILDING B FRONT ELEVATION
3/16" = 1'-0"



BUILDING B LEFT ELEVATION
3/16" = 1'-0"



BUILDING B RIGHT ELEVATION
3/16" = 1'-0"



BUILDING B REAR ELEVATION
3/16" = 1'-0"

ELEVATIONS BUILDING B

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

12/21/06 PC

BLACKSTONE
CAPITOL GROUP
SUP-17737
SDR-17735

DATE: OCTOBER 24, 2006
NADEL JOB# 06038

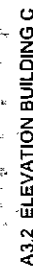
NADEL ARCHITECTS, NEVADA, LLP
2130 S. DEAN MARSHER, SUITE 810
LAS VEGAS, NV 89118
TEL: (702) 732-8100 FAX: (702) 732-8101
WWW.NADELARCH.COM

OCT 24 2006



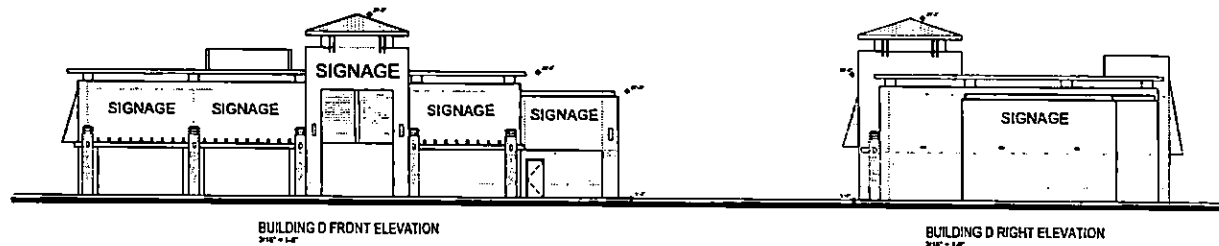
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RETAIL

A3.1 ELEVATIONS BUILDING B



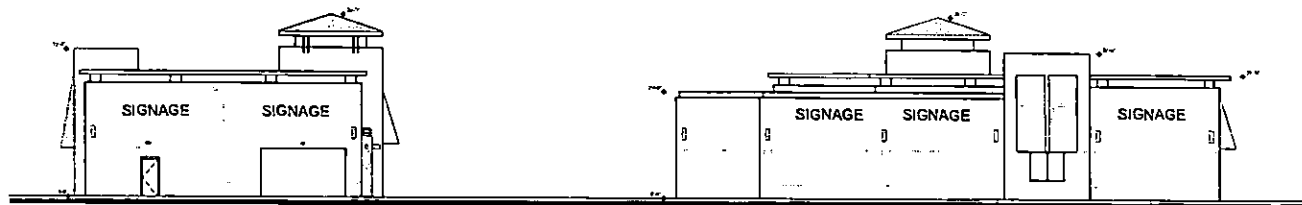
006

NADEL
RETAIL



BUILDING D FRONT ELEVATION
3/16" = 1'-0"

BUILDING D RIGHT ELEVATION
3/16" = 1'-0"



BUILDING D LEFT ELEVATION
3/16" = 1'-0"

BUILDING D REAR ELEVATION
3/16" = 1'-0"

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ELEVATIONS BUILDING D

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

12/21/06 PC

SUP-17737
SDR-17735

DATE: OCTOBER 24, 2006
NADEL JOB# 99038

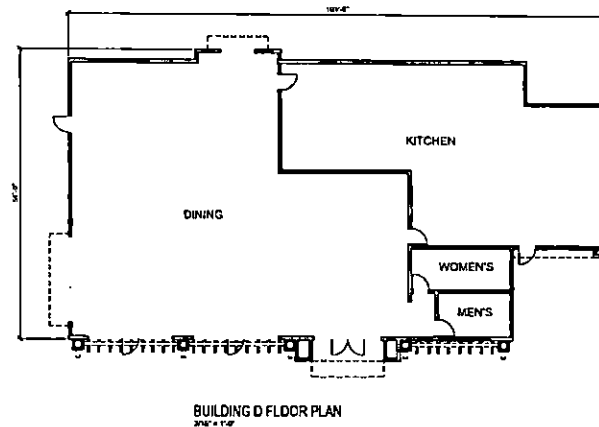
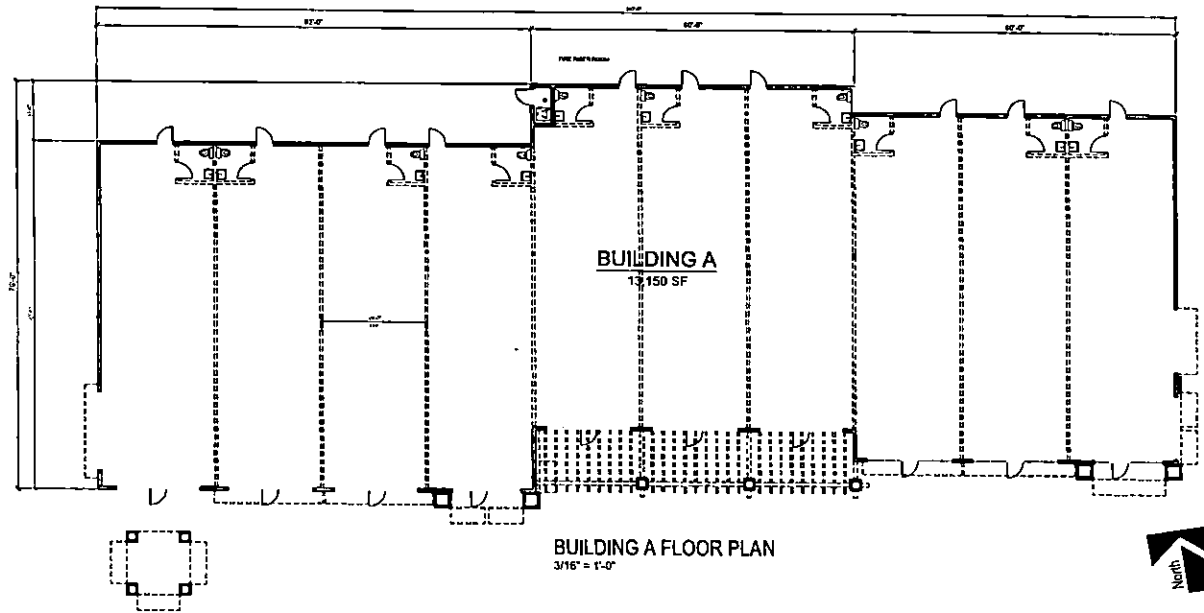
NADEL ARCHITECTS, P.C.
1111 S. DEAN MARSH RD. SUITE 100
LAS VEGAS, NV 89119
TEL: 702.896.2000 FAX: 702.896.1199
WWW.NADELARCH.COM

OCT 24 2006



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RETAIL

A3.3 ELEVATIONS BUILDING D



FLOORPLAN BUILDING A AND D

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

12/21/06 PC

SUP-17737
SDR-17735

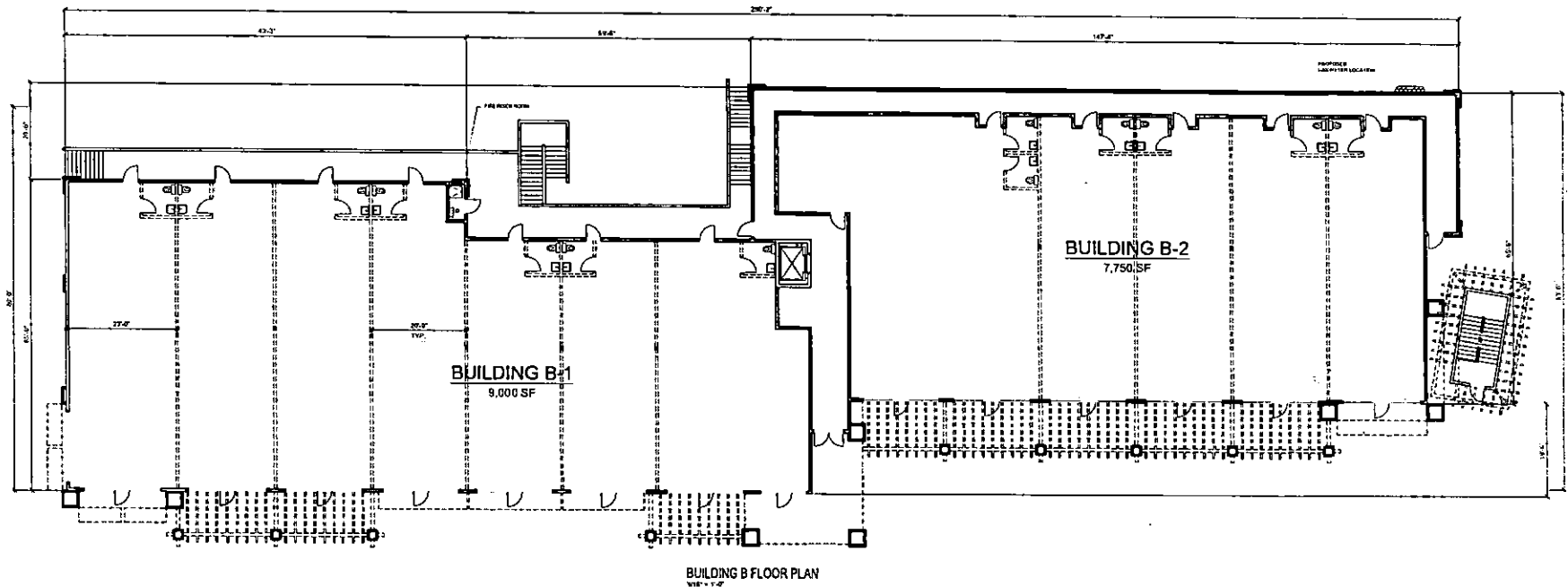
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NADEL JOB#: 08036

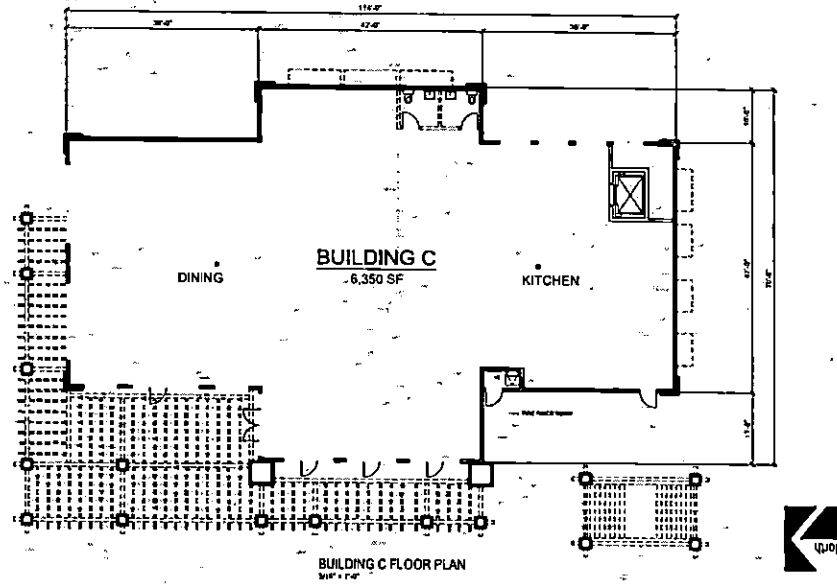
NADEL ARCHITECTS NEVADA, LLP
3190 S. DEAN MARTIN DR., SUITE 600
LAS VEGAS, NV 89102
9707 EWE3500 77271394 8110
WWW.NADELARC.COM

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A2.0 FLOOR PLAN BUILDING A AND D





FLOOR PLAN BUILDING C

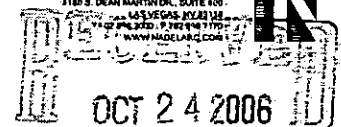
NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

12/21/06 PC

BLACKSTONE
CAPITOL GROUP
SUP-17737
SDR-17735

DATE: OCTOBER 24, 2006
NADEL JOB#: 06916

NADEL ARCHITECTS NEVADA, LLP
3100 S. DEAN MARTIN DR., SUITE 400
LAS VEGAS, NV 89118
TEL: 702.496.2000, FAX: 702.496.1100
WWW.NADELARCH.COM



A2.2 FLOOR PLAN BUILDING C

LOWER LEVEL PARKING

SITE PLAN

DIAGRAMMATIC SECTION

SITE PLAN

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

12/21/06 PC

BLACKSTONE
CAPITOL GROUP
SUP-17737
SDR-17735

Summary

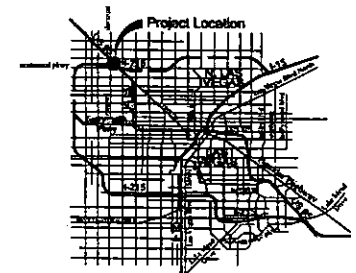
APN 125-20-801-002
Land ±3.83 AC ±168,842 SF
Net Land ±3.63 AC ±158,114 SF

Retail 31,560 SF
Restaurant Drive Thru 4,880 SF
Supper Club 6,350 SF
Total Building 42,790 SF

Land-to-Bldg Ratio 3.70/1
Coverage 27%

Parking Required 1/50 89 stalls
70% of Supper Club
Parking Required 1/200 10 stalls
30% of Supper Club
Parking Required 1/100 49 stalls
Restaurant w/ Drive thru
Parking Required 1/250 127 stalls
Retail

Parking Req'd total 275 stalls
Parking Provided 264 stalls
Plaza 5,014 SF



Vicinity Map
Not to Scale



ALL BUILDINGS, IMPROVEMENTS, THEIR OCCUPANTS AND THE LINES ARE SHOWN ON THIS PLAN AND THE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSES.

DATE: OCTOBER 24, 2006
MADEL JOB: 0030

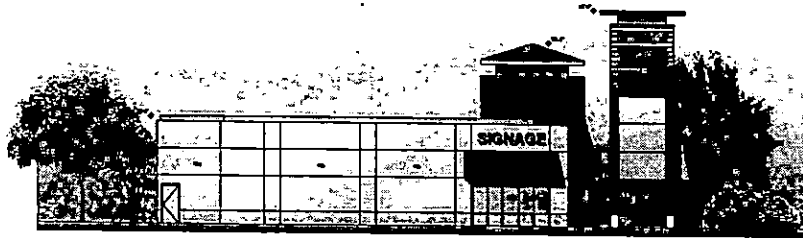
MADEL ARCHITECTS NEVADA, LLP
7180 S. DEAN MARTIN DR., SUITE 800
LAS VEGAS, NV 89118
702.836.2000 / 702.836.1170
WWW.MADELARCH.COM



OCT 24 2006



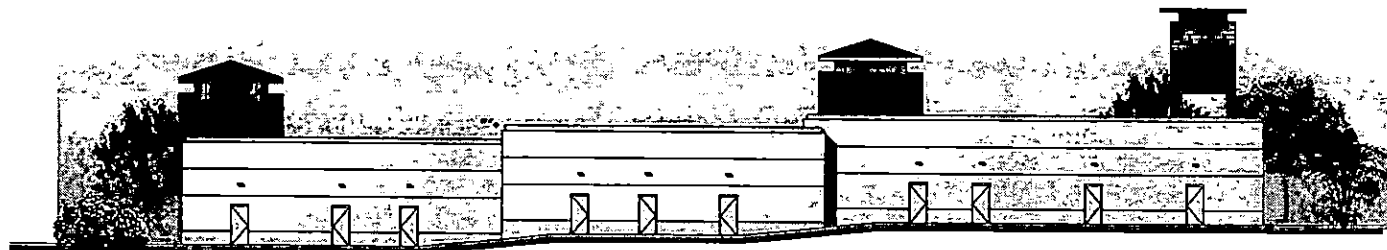
BUILDING A FRONT ELEVATION
30' x 112'



BUILDING A LEFT ELEVATION
30' x 14'



BUILDING A RIGHT ELEVATION
30' x 14'



BUILDING A REAR ELEVATION
30' x 14'

BUILDING A ELEVATIONS

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

SUP-17737
SDR-17735

12/21/06 PC

DATE: OCTOBER 24, 2006
MADEL JOSE: 01008

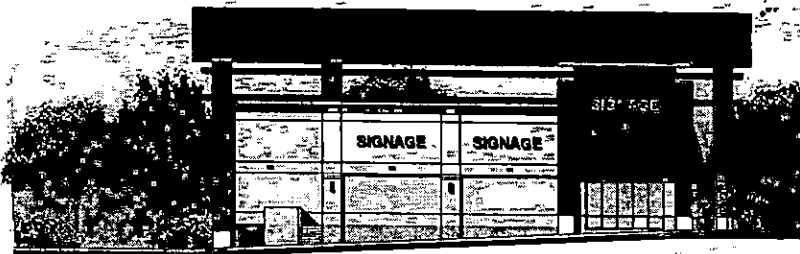
MADEL ARCHITECTS NEVADA, LLP
7180 ALDEAN BARTON DR., SUITE 100
LAS VEGAS, NV 89118
TEL: 702.336.7777 FAX: 702.336.7778
WWW.MADELARCH.COM



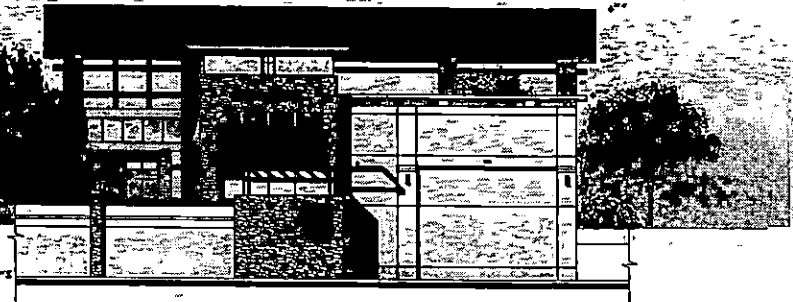
RECEIVED
OCT 24 2006



BUILDING B FRONT ELEVATION
30' x 14'



BUILDING B LEFT ELEVATION
30' x 14'



BUILDING B RIGHT ELEVATION
30' x 14'



BUILDING B REAR ELEVATION
30' x 14'

BUILDING B ELEVATIONS

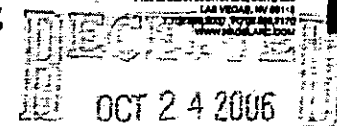
NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

12/21/06 PC SUP-17737
SDR-17735

DATE: OCTOBER 24, 2006
RADEL JOB# 03006

RADEL ARCHITECTS NEVADA, LLP
7130 S. DEAN MARTIN DR., SUITE 300
LAS VEGAS, NV 89118
TEL: 702.735.0000 FAX: 702.735.0001
WWW.RADELARCH.COM

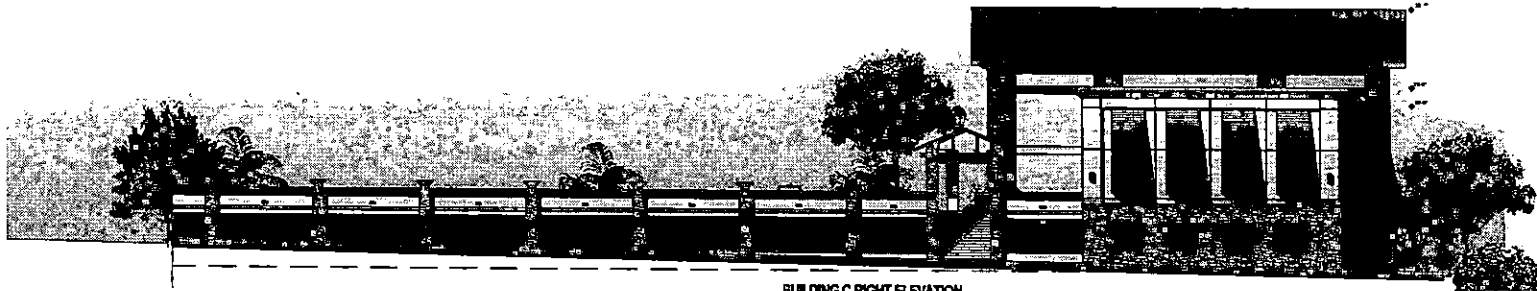




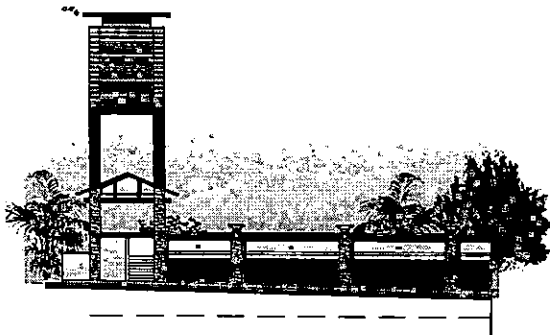
BUILDING C FRONT ELEVATION
3/16" = 1'0"



BUILDING C LEFT ELEVATION
3/16" = 1'0"



BUILDING C RIGHT ELEVATION
3/16" = 1'0"



BUILDING C RIGHT ELEVATION
3/16" = 1'0"



BUILDING C REAR ELEVATION
3/16" = 1'0"

BUILDING C ELEVATIONS

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

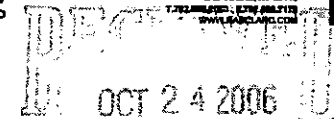
DATE: OCTOBER 24, 2006
PROJECT: 200.36

NADEL ARCHITECTS NEVADA, LLP
7180 S. DEAN MARTIN DR., SUITE 200
LAS VEGAS, NV 89118
702.734.1111 FAX 702.734.1112
WWW.NADEL.COM



12/21/06 PC

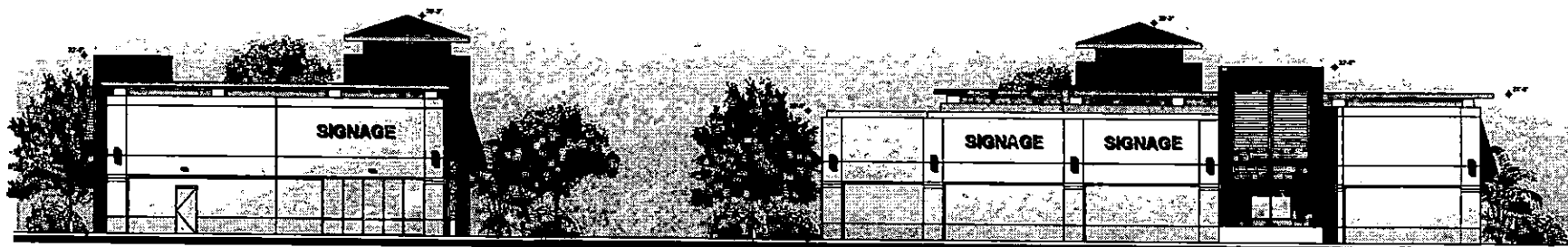
SUP-17737
SDR-17735





BUILDING D FRONT ELEVATION
1/8" = 1'-0"

BUILDING D RIGHT ELEVATION
1/8" = 1'-0"



BUILDING D LEFT ELEVATION
1/8" = 1'-0"

BUILDING D REAR ELEVATION
1/8" = 1'-0"

BUILDING D ELEVATIONS

NEC CENTENNIAL PARKWAY AND DURANGO
LAS VEGAS, NEVADA

BLACKSTONE
CAPITOL GROUP

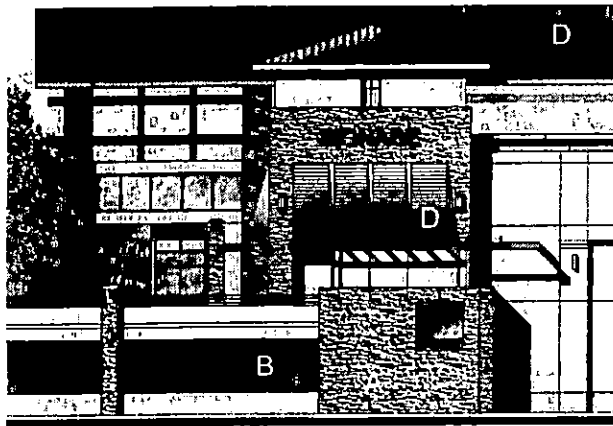
SUP-17737
SDR-17735

12/21/06 PC

DATE: OCTOBER 24, 2006
NADEL JOB# 06038
NADEL ARCHITECTS RETAIL, LLP
7100 N. DEAN MARTIN DR., SUITE 200
LAS VEGAS, NV 89118
702.896.2000 F.702.896.7170
WWW.NADELARC.COM

OCT 24 2006

NADEL
RETAIL



1

INTEGRAL

2

COLOR



3

CEMENT

4

PLASTER

COLOR AND MATERIALS

NEC CENTENNIAL PKWY & DURANGO
LAS VEGAS, NEVADA

SUP-17737

SDR-17735

12/07/06 PC

BLACKSTONE
CAPITOL GROUP

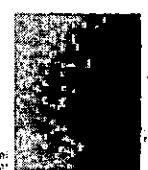


Hartford Green



Snap-on
Standing Seam

12" 16" 18" 24" 30" 36" 42" 48" 54" 60" 66" 72" 78" 84" 90" 96" 102" 108" 114" 120"



Aged Copper

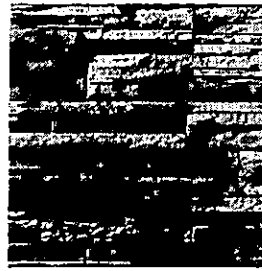
D. STANDING SEAM METAL ROOF



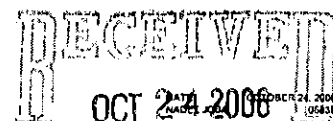
C. FABRIC AWNING



B. GREEN SCREEN



A. CULTURED STONE CHARDONNAY



SDR 17735				
Durango Structures, LLC				
NEC Durango & Centennial				
Proposed 42.79 thousand square foot retail development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	31.56	42.94	1,355
AM Peak Hour			1.03	33
PM Peak Hour			3.75	118
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	4.88	496.12	2,421
AM Peak Hour			53.11	259
PM Peak Hour			34.64	169
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	HIGH-TURNOVER (SIT-DWN) RESTRNT [1000 SF]	6.35	127.15	807
AM Peak Hour			11.52	73
PM Peak Hour			10.92	69
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	42.79		4,584
AM Peak Hour				365
PM Peak Hour				357
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Durango Drive				
Average Daily Traffic (ADT)	18,362			
PM Peak Hour	1469			

(heaviest 60 minutes)				
Grand Montecito Parkway				
Average Daily Traffic (ADT)	1,088			
PM Peak Hour (heaviest 60 minutes)	87			
Centennial Parkway				
Average Daily Traffic (ADT)	8,113			
PM Peak Hour (heaviest 60 minutes)	649			
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Durango Drive	51700			
Grand Montecito Parkway	30970			
Centennial Parkway	32600			
This project will add approximately 4,584 trips per day on Durango, Grand Montecito and Centennial. This will increase expected volumes by about 25 percent on Durango, 421 percent on Grand Montecito and 56 percent on Centennial. Durango is at about 36 percent of capacity, Grand Montecito is at about 4 percent of capacity and Centennial is at about 25 percent of capacity.				
Based on Peak Hour use, this development will add roughly 357 additional cars into the area; which works out to about six every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



SUP-17737 AND SDR-17735 - APPLICANT/OWNER: DURANGO STRUCTURES, LLC
NORTHEAST CORNER OF CENTENNIAL PARKWAY AND DURANGO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/06/06

October 24, 2006

Margo Wheeler, Director
Planning and Development Department
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89131

RE: Justification Letter for a Special Use Permit for a drive-thru and Site
Plan Review on the NEC of Centennial and Durango APN -125-20-801-
002

Dear Ms. Wheeler:

On behalf of our client, Durango Structures, LLC, please accept this letter as justification for a Special Use Permit for a drive-thru lane in conjunction with a restaurant and a site plan review for this proposed retail center on the northeast corner of Centennial and Durango. A supper club was previously approved on this site (U-0154-99), with an Extension of Time recently approved by the City Council on July 12, 2006 (EOT-3963). The intent is to construct an attractive retail center that is appropriate for the neighborhood and the Town Center plan.

The site is approximately 3.83 +/- acres in size located directly on the northeast corner of Centennial and Durango. The site plan shows a total of 42,790 square feet of building area; 31,560 square feet of general retail, a 4,880 square foot restaurant with a drive-thru lane and a 6,350 square foot supper club. All of the landscaping and plaza areas will be provided in accordance with the Town Center Design Center manual. Land trellises will be placed around the buildings to enhance the look and feel of the center. Parking will be provided in a two level parking garage, with one level underground. The building elevations show single story retail shops with some of the architectural features up to a height of 45 feet to add an interesting and appealing appearance to the project.

Approval Criteria of a Special Use Permit: Title 19.18.060 (L)

The following Determinations are to be made by the Planning Commission and City Council to approve a Special Use Permit:

- 1) The proposed use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses and with future surrounding land uses as projected by the General Plan.

This site is designated SC-TC (Service Commercial) on the Town Center Future Land Use Map. This designation allows retail shopping centers; it is not unusual for a restaurant with a drive-thru to be located on a major intersection.


GCGARCIA

SUP-17737
SDR-17735
12/21/06 PC

A Planning & Development Services Corporation

1711 Whitney Mesa Drive, Suite 110, Henderson, Nevada 89014-2158

Telephone: 702 435 9909 Facsimile: 702 435 0457 E-Mail: ggarcia@gcgarciainc.com

This proposal will provide essential services for residents of this area of the City. The size and scale is such that it is harmonious and compatible with the surrounding area.

- 2) The subject is physically suitable for the type and intensity of land use being proposed.

The site is large enough to accommodate the proposed commercial center and a drive-thru lane with safe inter-site access and parking.

- 3) Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.

The drive-thru lane will not increase traffic to the abutting street and highway facilities; however both Durango and Centennial are major arterials. Also, the site is in close proximity to I-215.

- 4) Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety and welfare or the overall objectives of the General Plan.

This site is designated Service Commercial, where restaurants with drive-thru lanes are typically located.

Approval Criteria for Site Plan Review: Title 19.18.050 (E)

The criteria for site plan approval are as follows:

- 1) The proposed development is compatible with adjacent development and development in the area.

The site is designated for commercial uses as are other properties in this area of Town Center. It is located at the intersection of two major arterials and in close proximity to I-215.

- 2) The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards and other duly adopted city plans, policies and standards.

This proposal is consistent with most of the applicable criteria and is of a high quality expected of developments in Town Center. The site plan does not meet the technical requirements of Section D.1.c. (2) of the Town Center Design Standards Manual, which requires buildings to be located along the property line of major arterials. We believe a waiver is warranted for two reasons:

- a. *The site has a very narrow north-south configuration, which does not provide much depth to place all of the buildings along the property line. The two corner buildings are placed directly on the corners of Centennial and Durango and Centennial and Julian.*

**SUP-17737
SDR-17735
12/21/06 PC**

- b. *The parking will be provided in a two level structure, with one level below and one above grade. The at-grade parking structure is pushed out to the Centennial frontage and will be designed to compliment the overall architecture, look and feel of the site.*

It is the developer's intent to meet all of the other design criteria.

- 3) Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic.

Site access is designed to not have a negative impact on the surrounding roadway network.

- 4) Building and landscaping materials are appropriate for the City.

All landscaping standards will be met or exceeded. The buildings are attractively designed with trellises, interesting building facades and variations in building height. There are ample pedestrian connectivity and plaza areas.

In summary, we believe this development will result in an interesting, attractive high-end commercial center envisioned by the Town Center plan. We respectfully request your favorable consideration. Please do not hesitate to contact us if you have any questions or need additional information.

Sincerely,


David Clapsaddle
Director of Planning

DWC:mw

SUP-17737
SDR-17735
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SUP-17534 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: RUTH ANN T. RUIZ - Request for a Special Use Permit FOR A PROPOSED GROUP RESIDENTIAL CARE FACILITY WITH A WAIVER TO ALLOW A SEPARATION OF 600 FEET FROM AN EXISTING GROUP RESIDENTIAL CARE FACILITY WHERE 660 FEET IS THE MINIMUM SEPARATION REQUIRED AND A WAIVER TO ALLOW A MINIMUM LOT SIZE OF 6,041 SQUARE FEET WHERE 6,500 SQUARE FEET IS REQUIRED on 0.14 acres at 5313 Padua Way (APN 138-36-813-012), R-CL (Single Family Compact-Lot) Zone, Ward 1 (Tarkanian).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

3

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be WITHDRAWN WITHOUT PREJUDICE..

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report (Not Applicable)
3. Supporting Documentation (Not Applicable)
4. Justification Letter
5. Protest Letters

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

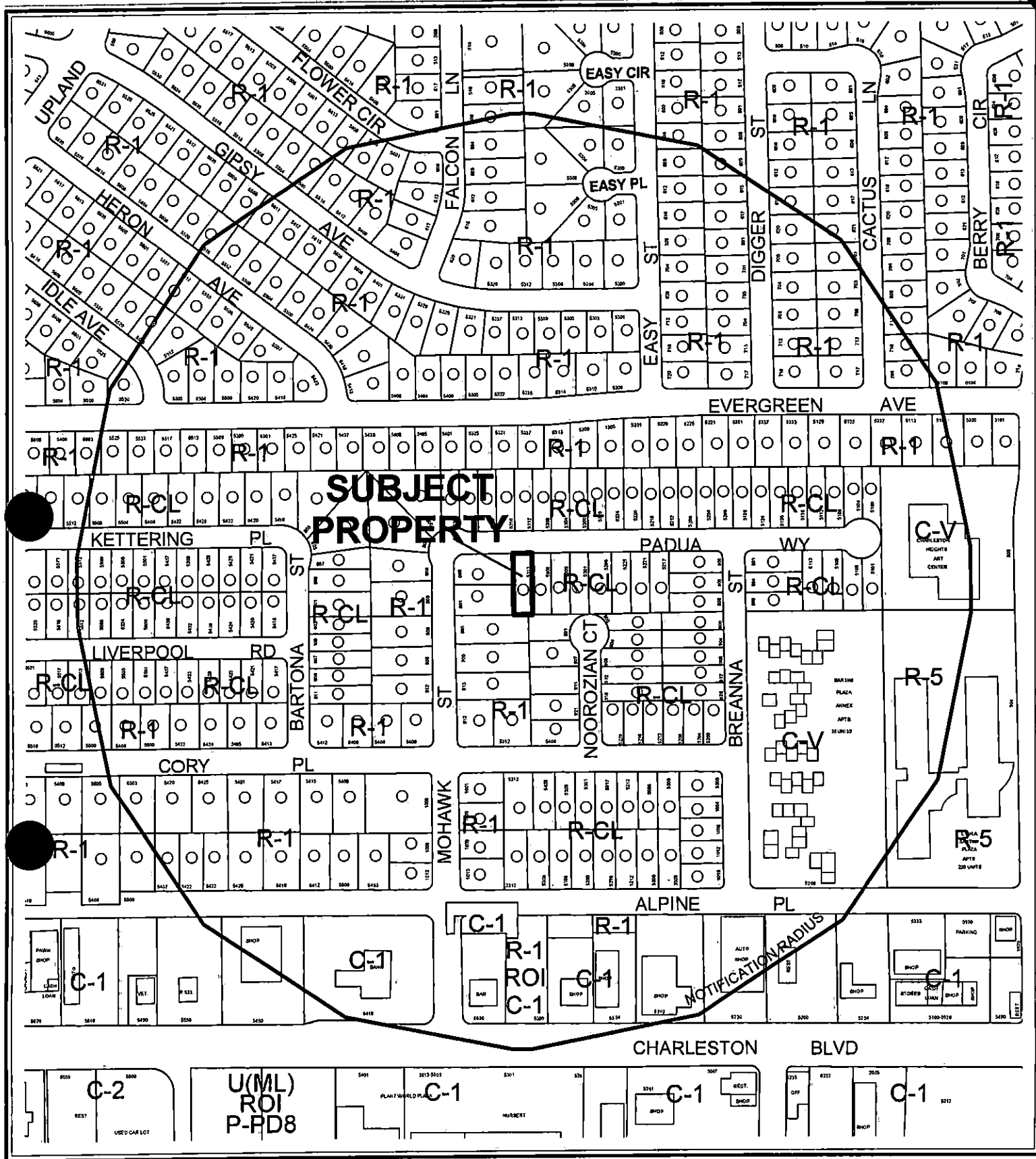
PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 23 – SUP-17534

MINUTES:

Item 23 [SUP-17534] was requested to be withdrawn without prejudice.

(6:03 – 6:09)

1-50



CASE: **SUP-17534**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-CL (SINGLE FAMILY COMPACT-LOT)



CASE: **SUP-17534**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-CL (SINGLE FAMILY COMPACT-LOT)

City of Las Vegas

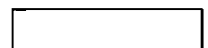
AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SUP-17534 - APPLICANT/OWNER: RUTH ANN T. RUIZ

***STAFF REQUESTS THIS ITEM BE
WITHDRAWN WITHOUT PREJUDICE AS
THE SPECIAL USE PERMIT IS NOT
NEEDED***



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17534** APN: 138-36-813-012

Name of Property Owner: Ruth Ann T. Ruiz

Name of Applicant: Beth Ann T. Ruiz

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

☐ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN:

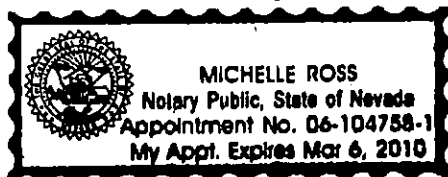
Signature of Property Owner:

Print Name: Ruth Ann T. Ruiz

Subscribed and sworn before me

This 06th day of October, 2006

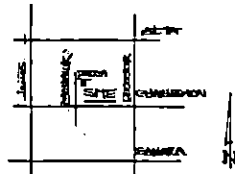
Notary Public in and for said County and State



USE PERMIT
FOR
CHARLESTON RIDGE SENIOR HOME.

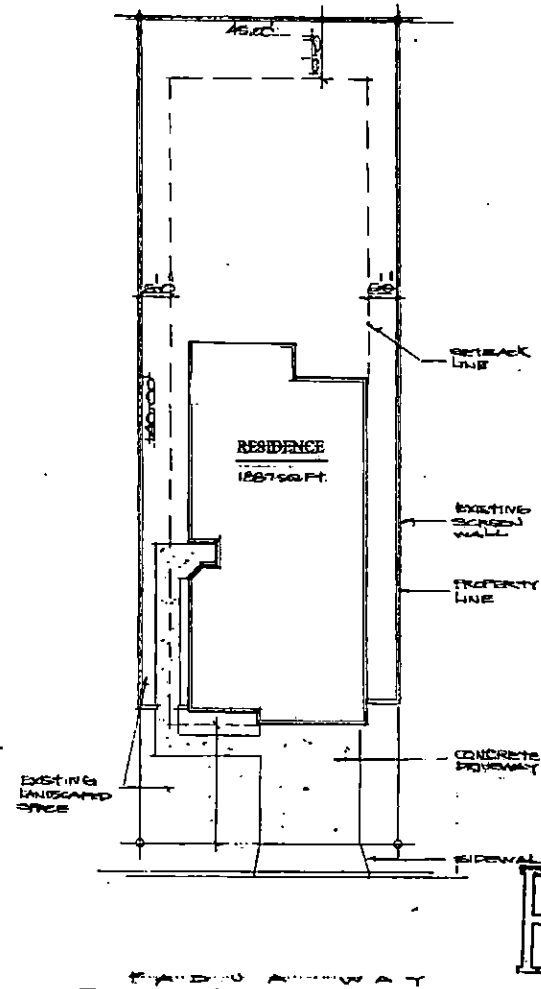
LEGAL DESCRIPTION

5315 PADUA WAY
LAS VEGAS, NEVADA
CLARK COUNTY
A.P.N. 150-36-05-012



VICINITY MAP

NO SCALE



SITE PLAN

12/21/06 PC SUP-17534
REVISED

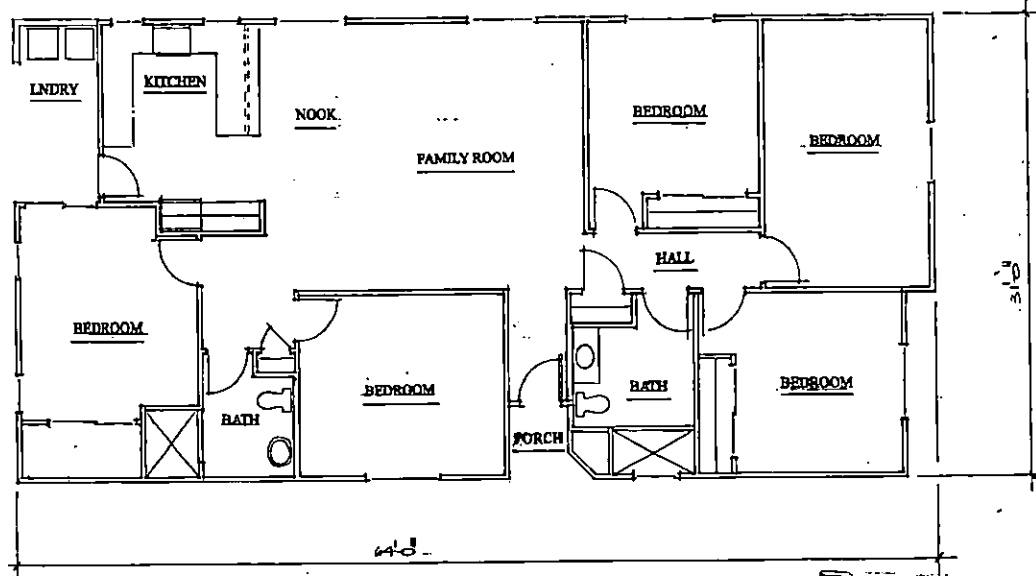
RECEIVED
NOV 27 2006

PROJECT: CHARLESTON RIDGE SENIOR HOME
USE PERMIT: 150-36-05-012

SITE PLAN

DATE: NOV. 06
SCALE: AS SHOWN
XREF: 150-36-05-012

A-1



FLOOR PLAN

SCALE: 1/4"

1351 SQ. FT.

SUP-17534
REVISED
12/21/06 PC

RECEIVED
 NOV 27 2006

PROJECT: USE PERMIT FOR CHARLESTON RIDE SENIOR HOME
 DIFFERENTIAL PERMIT REQUIRED

AS BUILT FLOOR PLAN

DATE: 08/04/06
 SCALE: 1/4" = 1'-0"
 JOB: DP-174-06

SHEET: A-2



SUP-17534 - APPLICANT/OWNER: RUTH ANN T. RUIZ
5313 PADUA WAY
DECEMBER 7, 2006 PLANNING COMMISSION

11/08/06



CHARLESTON RIDGE SENIORS HOME



"Home Away From Home"

Department of Planning
City of Las Vegas

Subject-Charleston Ridge Senior's Home
5313 Padua Way, Las Vegas NV 89107
Justification Letter-Special Use Permit

October 06, 2006

To Whom It May Concern:

My name is Ruth Ann Ruiz and I am one of the current owners of Charleston Ridge Seniors Home. My mother, Estrellita Ruiz and I purchased this group home from Mr. Danilo Nances in March 2005. This is to serve as a justification letter for the special use permit that I am trying to obtain.

The group home originally started under the name Nurses Home Care. Nurses Home Care operated at Level I with the maximum of 5 beds. The original home consisted of four bedrooms with 2 beds in each room, two full size bathrooms, and a half car garage. The other half of the garage was added to the room next to it in order for it to be larger. The remaining part of the garage was turned into a laundry room. The structure of the home was built according to what the city approved.

In September of 2000, Mr. Danilo Nances purchased the home and renamed it Charleston Ridge Seniors Home. Mr. Nances upgraded the license from Level I to Level II. Then in 2002 he upgraded the license from Level II to Level II Alzheimers. According to state regulation, Mr. Nances also installed a sprinkler system, fire alarm system, exit signs, safety alarm system, and enclosed the property with a fence and security gate. During 2003, Mr. Nances planned on expanding the group home to hold an addition 3 bringing it to a total of 8 beds. In order to obtain a license to operate with 8 beds, Mr. Nances converted the half size garage into a bedroom with a full bathroom for caregivers use. Mr. Nances hired a licensed architect to complete all requirements stated by the city. When he submitted everything, he was told that any changes to the house would not cause any problems for future buyers.

As the third generation of owners, my mother and I have been working to get all necessary permits for the group home. A building inspector that visited the home let us know that an alzheimers facility needs to have a special use permit. We then hired a licensed architect to draw the site plans and floor plans needed. We also would like to someday expand the home from 5 beds to 8 as Mr. Nances was trying to do. Included in the plans is a potential expansion sometime in the future. As for now, we are looking to obtain a special use permit for a Level II Alzheimers group home with 5 beds.

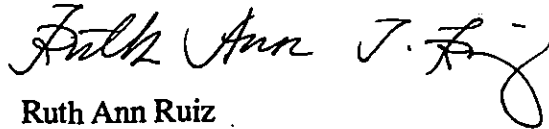
5313 Padua Way



Las Vegas, NV 89107 **SUP-17534**
12/21/06 PC

Since purchasing the home, we have kept up with all maintenance and check ups for the alarm systems, sprinkler systems, and so forth. There have been no complaints from any neighbors. I hope that this letter and the other letter I am submitting from Mr. Nances will explain any questions. Thank you.

Sincerely,

A handwritten signature in cursive script that reads "Ruth Ann Ruiz". The signature is written in dark ink and is positioned above the printed name.

Ruth Ann Ruiz
Charleston Ridge Seniors Home
Owner

August 29, 2005

Department of Planning
City of Las Vegas

Subject- Charleston Ridge Senior's Home
5313 Padua Way, Las Vegas NV 89107
Expansion Plan

To whom it may concern

First of all, I would like to introduce myself; I am Danilo Naces and I was the former owner of the Charleston Ridge Senior's Home. Last March 2005, I sold this group home to Estelita Ruiz. Mrs. Ruiz requested me to write this letter following your advice to give you a detailed explanation on what transpired since this group home opened its business and until Mrs. Ruiz purchased the home.

I am the second owner of this group home. I purchased the group home last September 2000 and originally the name was Nurses Home Care. It was originally built by the first owner and was licensed for 5 beds, level I.

A few months after I purchased the home, I changed the name to Charleston Ridge Senior's Home. This home was originally built with four bedrooms, with two beds in each room, two full bathrooms and a half size car garage. The first half of the garage was added to the room adjacent to it to provide more space to the said bedroom. Since it was not a full size garage, this space was utilized as a laundry room. The physical structure of this home was built following the original plan from the first owner as approved by the city.

Right after I purchased the home I upgraded the license from Level I to Level II. A year after, I again upgraded the license from Level II to Alzheimers. Following the state regulation, I upgraded the sprinkler system, installed the fire alarm system, exit signs, safety alarm system, and built a fence surrounding the home including a security gate.

The Alzheimers License was issued by the state during 2002 with 5 beds. During the year 2003, I planned of expanding the five licensed bed to eight. Thus, I have to use three existing beds by using the fourth existing bedroom putting two beds in it, and using one bed from one of the three existing bedrooms. Per state regulation, to have eight patients in my group home, I need to provide a bedroom and a full bathroom for the caregivers. I went ahead and did an owner garage conversion. The half size garage was converted into a bedroom with a full bathroom. After the conversion, my new administrator advised me to go to the city and get a permit for the garage conversion. The permit department gave me all the requirements to accomplish in order for the permit to be issued. It took me several months going back and forth to the city, trying to work the completion of the requirements. The final instructions required me to show them the mechanical plan of the air conditioning RTU for the dryer and the size of pipes used for the gas going to the water heater and dryer which were moved to the south end part of the house. Plans were submitted to the city, however, I was again required that a professional planner needs to do a plan for the entire house including the garage conversion.

I hired a licensed architect to complete the requirements. He submitted the plan to the city. I waited for almost a year with no outcome. Unfortunately the plan that was submitted was not on file. I found out when I decided to go to the city and inquire about the progress. I also mentioned it to them that I was planning to sell the home. I was told that it would not cause any problem.

Attached to the letter were copies of the recommendations coming from the city when I was working for the permit. Due to financial reasons, I decided to sell the group home. Right after selling, I and Mrs. Ruiz went to the city and asked the permit department what to do if in case she would pursue her plan on expanding the group home. She was told to submit a new plan since the old plan given by the former owner is invalid for the reason that there is an existing new owner.

I am hoping that this explanation and the documents attached would help to clarify your questions and would expedite Mrs. Ruiz plan of expanding her group home.

Thank you very much for your help.

SUP-17534

RECEIVED
OCT 04 2005

12-3-06

RE: SUP-17534

I AM OPPOSED TO THIS VARIANCE IN
MY RESIDENTIAL NEIGHBORHOOD.

THIS IS A SMALL, RELATIVELY NEW
NEIGHBORHOOD OF SINGLE FAMILY
RESIDENCES. IT IS INAPPROPRIATE
TO ISSUE A PERMIT TO OPERATE
A COMMERCIAL BUSINESS IN THIS
COMMUNITY.

R.W. Wright

ITEM # 32
CASE # SUP-17534
PC MTG 12-7-06

R.W. Wright
5428 Liverpool Rd.
Las Vegas, NV 89107

P

Telephone Protest/ Approval Log

Meeting Date: 12/07/06

Case Number: SUP17534

Date: 11/29/06
Name: Avaelon Baker
Address: 900 Mohawk
Las Vegas Nv 89107
Phone: 870-1852
☒ PROTEST ☐ APPROVE

Date: 12/05/06
Name: Kay Reed
Address: 905 Mohawk
Las Vegas Nv 89107
Phone: 876. 4943
☒ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

ITEM # 32

CASE # SUP-17534

DATE: 12-2-06

18

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

**ABEYANCE - SUP-17739 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ -**
Request for a Special Use Permit FOR A PROPOSED MASSAGE ESTABLISHMENT AND
WAIVERS TO ALLOW A DISTANCE SEPARATION OF 180 FEET FROM AN EXISTING
MASSAGE ESTABLISHMENT WHERE 1,000 FEET IS THE MINIMUM REQUIRED AND
TO ALLOW NO SEPARATION FROM A RESIDENTIAL USE WHERE 400 FEET IS THE
MINIMUM SEPARATION REQUIRED at 2205 South Paradise Road (APN 162-03-413-017),
C-1 (Limited Commercial) Zone, Ward 3 (Reese).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

STEINMAN – APPROVED subject to conditions and adding the following as read for the record:

- A one-year review shall be administered before the Planning Commission after the issuance of the business license.
- The hours of operation shall be limited to 8 a.m. to 9 p.m.
- **UNANIMOUS** with **EVANS** and **TRUESDELL** excused and **DAVENPORT** abstaining because his wife owns property within the notice area

To be heard by City Council on 01/17/2007

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 24 – SUP-17739

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

JOHN KORKOSZ, Department of Planning and Development, recommended denial of the application because there are five other massage establishments within close proximity and the residential distance separation requirement is not met. He recommended that if the application is approved, the hours of operation be limited to 8 a.m. to 9 p.m. MR. KORKOSZ noted the applicant's willingness to impose a one-year review of conditions, limit hours of operation, limit permissible advertising and require that all therapist be licensed with a background check.

LUCY STEWART, 856 East Sahara Avenue, appeared with JIAN LI and noted that MR. LI is a business man who operates a restaurant and maintains a privileged license in Clark County. MS. STEWART explained the intent to develop an acupressure, acupuncture and therapeutic massage establishment; however, MR. LI was unaware of the distance separation requirements or the need to obtain a Special Use Permit. She confirmed that the intent promotes an Asian style medicinal and therapeutic massage establishment which is stereotypically viewed as inappropriate and also conflicts with other sexually oriented establishments. MS. STEWART added that there would be a sign written in Chinese that would advertise the establishment to be for therapeutic massage, acupressure and/or acupuncture.

DEPUTY CITY ATTORNEY JAMES LEWIS interjected that the Commission is unable to review anything that would be unconstitutional; furthermore, the conditions MS. STEWART offered to impose cannot be enforced and therefore should not be considered during the decision making process. Nonetheless, MS. STEWART reiterated the applicant's intent to regulate the content and be up front about those intentions.

TODD FARLOW, 240 North Nineteenth Street, pointed out a saturation issue with similar businesses.

MARGO WHEELER, Director of Planning and Development, supported the suggestion to impose a review and noted that the proposed hours of operation should be imposed as a condition.

COMMISSIONER GOYNES inquired about the site plan and the differences between the types of massages proposed. MS. STEWART described the inside of the building that would be redesigned in order to meet parking requirements. She confirmed that acupuncture is only performed by a doctor and involves needles whereas acupressure focuses on meridian points and is normally conducted with clothes on. The therapeutic massage would consist of treatments like deep tissue massages. MS. STEWART noted that MR. LI currently possesses a liquor license.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 24 – SUP-17739

MINUTES:

through Clark County and therefore would jeopardize that privilege if he were to partake in another operation that is not legitimate.

At the request of COMMISSIONER GOYNES, MR. LI admitted that he did not conduct the necessary research about licensing prior to signing the lease. He had become interested in offering the service as he is experienced with pain and suffering treated by the proposed methods of therapy. MR. LI noted that he has conducted business in other states and did not realize there were vast differences in Nevada.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

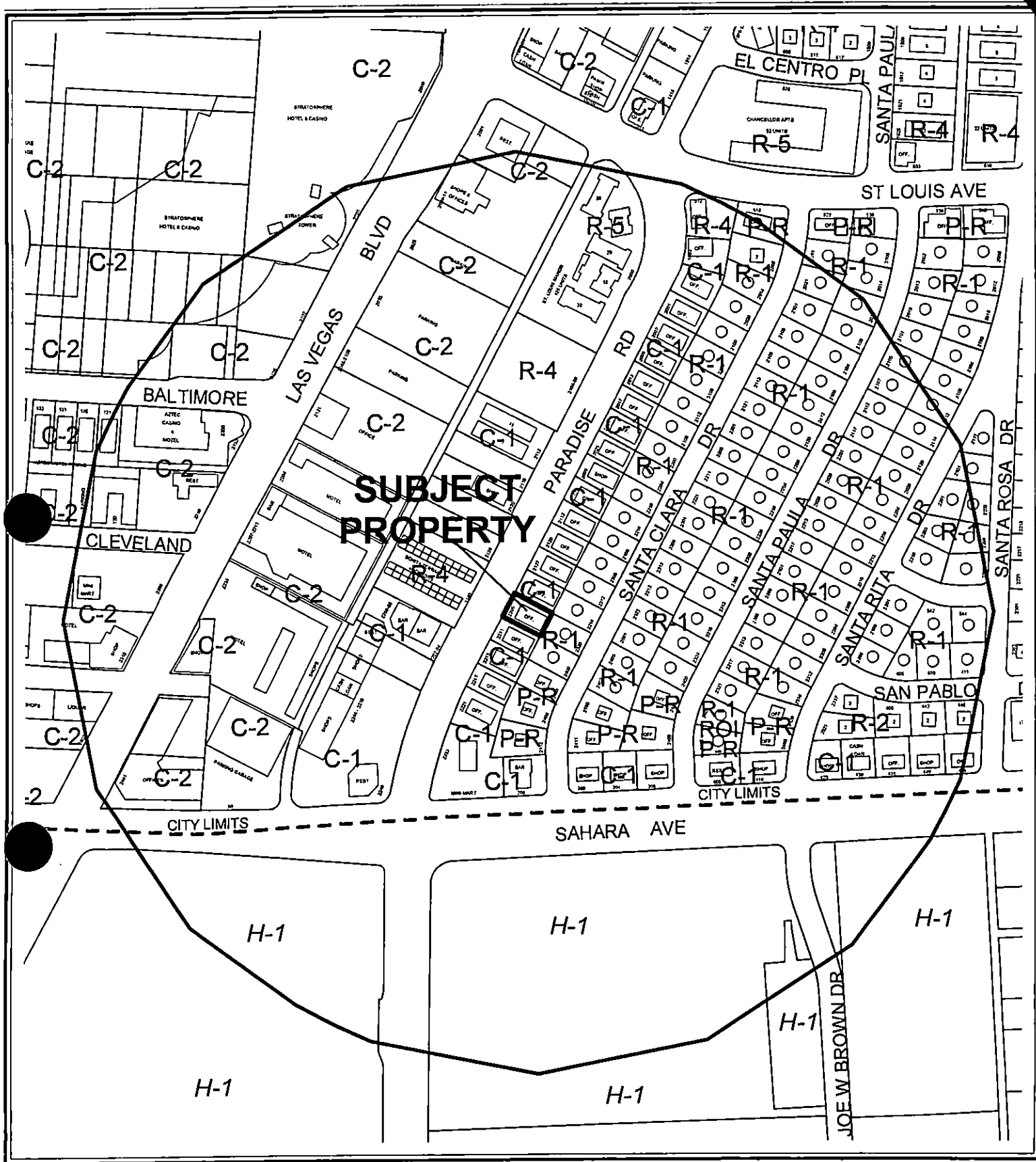
(7:47 – 8:14)

2-437

CONDITIONS:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0027-97), if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



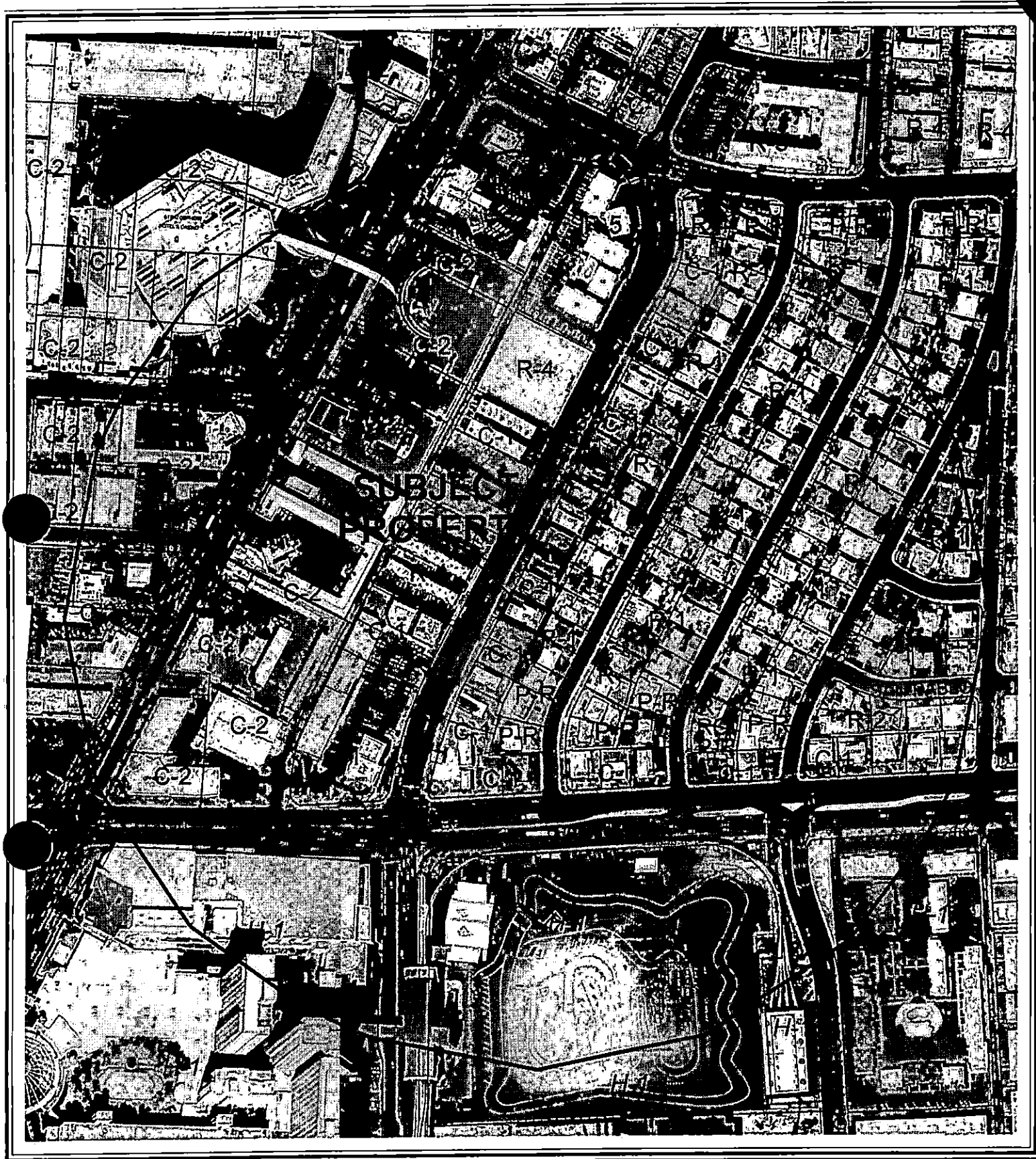
CASE: **SUP-17739**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 400 800 Feet

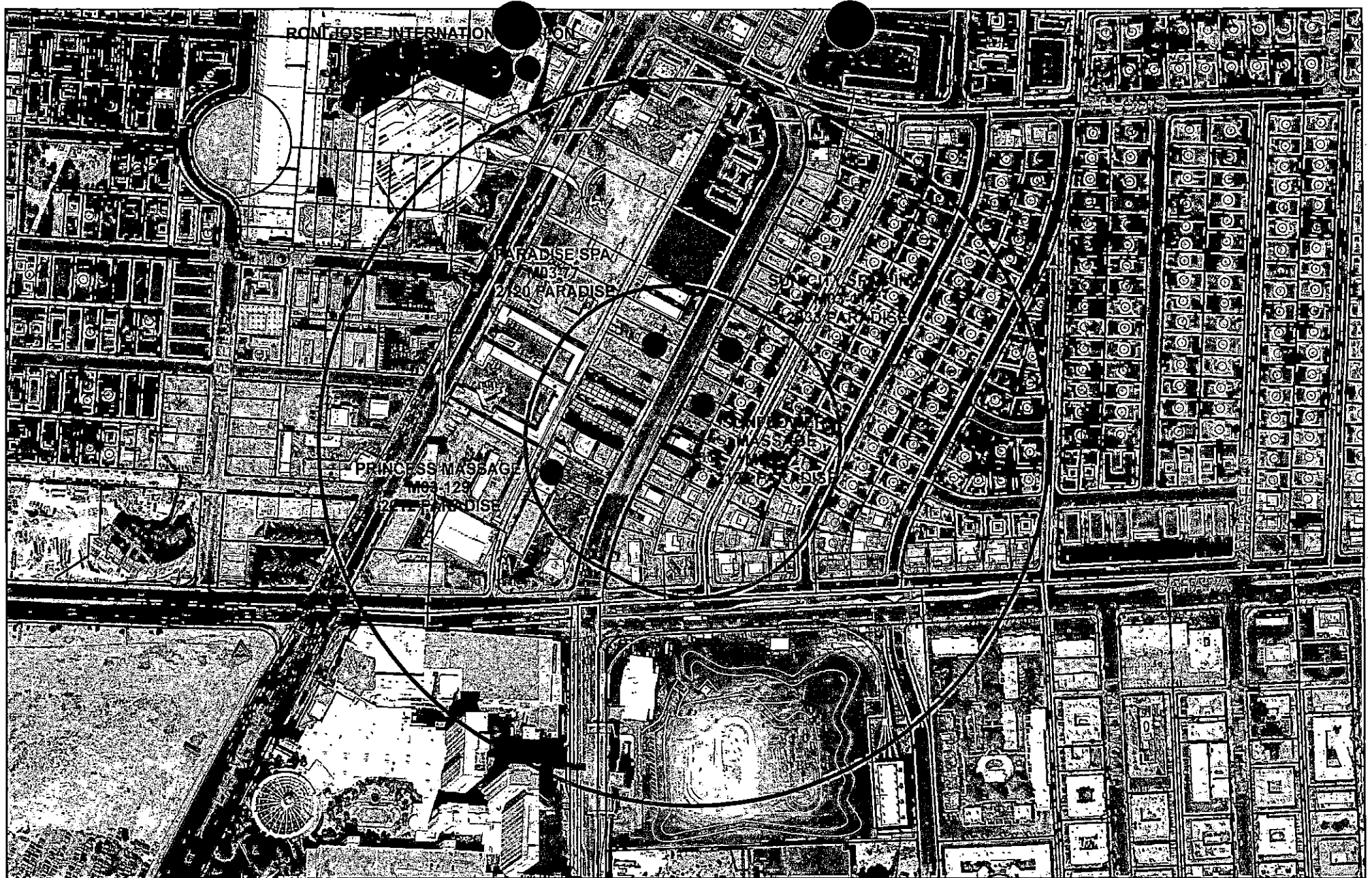




CASE: SUP-17739

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



SUP-17739

Business Licenses

- Massage Establishment
- ⊙ Child Care/Children Facility

Protected Landuses

- RELIGIOUS
- CITY PARKS
- SCHOOLS

- Subject Property
- Residential Property

- Buffer

0 250 500 1,000 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SUP-17739 - APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0027-97), if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-17739 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant seeks approval for a Massage Establishment at 2205 Paradise Road. The proposal seeks to renovate an existing 1,740 square-foot building to accommodate four massage tables. A request for waivers to the 400-foot separation requirement from residentially zoned property and the 1,000-foot separation requirement from an existing massage establishment.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/27/97	The City Council approved a request for Rezoning (Z-0002-76) on property located at 2205 Paradise Road from P-R (Professional Office & Parking) to C-1 (Limited Commercial) for a 1,609 square foot salon.
<i>Related Building Permits/Business Licenses</i>	
NA	NA
<i>Pre-Application Meeting</i>	
08/30/06	A pre-application conference was held and the applicant was informed of the requirements for submitting a Special Use Permit. The applicant was informed of the 200-foot residential setback requirements and the 1,000-foot distance requirement from an established Massage Establishment.
<i>Neighborhood Meeting</i>	
NA	A neighborhood meeting was not required nor was there one held

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	0.15 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Office	C (Commercial)	C-1 (Limited Commercial)
North	Office	C (Commercial)	C-1 (Limited Commercial)
South	Office	C (Commercial)	C-1 (Limited Commercial)
East	Single Family Dwelling	L (Low Density Residential)	R-1 (Single Family Residential)
West	Apartments	C (Commercial)	R-4 (igh Density Residential)

SUP-17739 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan			
Redevelopment Plan Area	X		Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
Downtown Redevelopment Plan Area	X		Y
A-O Airport Overlay District	X		Y
Trails		X	NA
Rural Preservation Overlay District		X	NA
Development Impact Notification Assessment	Y		Y
Project of Regional Significance	Y		Y

Redevelopment Plan Area

The subject site is located within the Redevelopment Plan Area, so designated in 1986. Within the Redevelopment Plan Area, the subject property has a Commercial designation. This general designation does not place any additional development standards on the site above those listed per Title 19, but it allows the site to be eligible for a variety of funding opportunities for activities that promote the modern, orderly development of the area.

INTERAGENCY ISSUES

Pursuant to Ordinance No. 5477, the proposed project is deemed to be a "Project of Regional Significance" for the following reasons:

- 1) Any Special Use Permit within 500-Feet of unincorporated Clark County.

An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities for the mandated 15-day period. No comments have been received prior to the completion of this report.

The Planning Commission shall consider the Environmental Impact Assessment and the proposed mitigation measures prior to make a decision on the proposal.

SUP-17739 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Massage Establishme nt	Four Tables	2 Spaces per Table, Chair, or Room with a min 6 required	8 spaces	1	9	1	
TOTAL			8	1	9	1	Y

Waivers		
Request	Requirement	Staff Recommendation
To allow a distance separation of 180 feet from an existing massage establishment.	1,000 feet from an existing massage establishment	Denial
To allow a zero-foot separation from a residential use.	400 feet from residentially zoned property	Denial

ANALYSIS

This request is not supported on the grounds that it violates the distance separation required from residential properties and previously approved massage establishments. There are five existing massage establishments within 1,000 feet of this proposal.

Title 19.04 lists the following as the Conditional Requirements for a Massage Establishment:

- (6) The use shall comply with all applicable requirements of LVMC Title 6.
- (7) The use must be located on a secondary thoroughfare or larger.
- (8) The use may not be located within four hundred feet of any church, synagogue, school, city park, child care facility, or any parcel zoned for residential use.
- (9) The use may not be located within one thousand feet of any other massage establishment.
- (10) The hours of operation shall be limited to the period between eight a.m. and nine p.m.

As the proposal is unable to meet conditions #3 and #4, we cannot support approval of this request.

SUP-17739 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

FINDINGS

The following findings must be made for a Special Use Permit:

1. "The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."
2. "The subject site is physically suitable for the type and intensity of land use proposed."
3. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."
4. "Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."
5. The use meets all of the applicable conditions per Title 19.04.

In regard to "1":

The proposed use is incompatible with surrounding land uses and is located in an area that is overly saturated with massage establishments.

In regard to "2":

The subject site is capable of accommodating a massage use. However, an additional approval would contribute to the intensity of existing five massage uses established in the surrounding area.

In regard to "3":

The site is served by Paradise Road, listed as a Major Street. This 60-foot wide street is capable of accommodating the minor increase in traffic flow from the proposed use.

In regard to "4":

The proposal does not meet the overall objectives of the General Plan in that it does not provide adequate accommodation for the performance of massage services at the subject site.

In regard to "5":

The proposal does not meet the conditions as listed by Title 19.04 for a Massage Establishment. Staff is recommending denial, as two of the minimum requirements would need to be waived in order to approve this request.

SUP-17739 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 13

ASSEMBLY DISTRICT 9

SENATE DISTRICT 10

NOTICES MAILED 216

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17739** APN: 162-03-413-017

Name of Property Owner: MANIJEH DANESHFOROZ

Name of Applicant: JL PARADISE, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

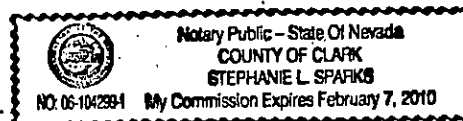
Signature of Property Owner: _____

Print Name: MANIJEH DANESHFOROZ

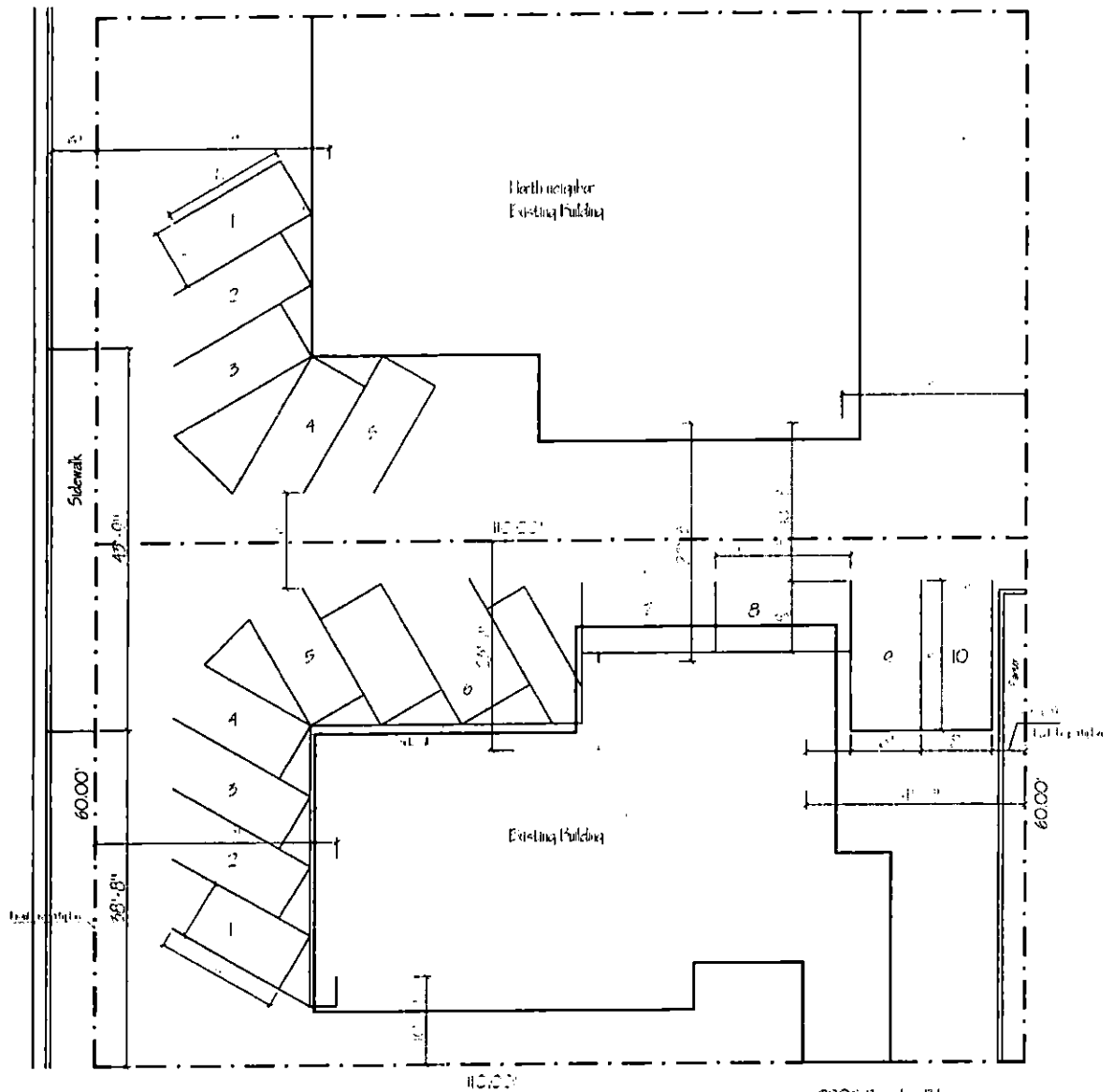
Subscribed and sworn before me

This 17th day of October, 2006

[Signature]
Notary Public in and for said County and State



Paradise Rd.



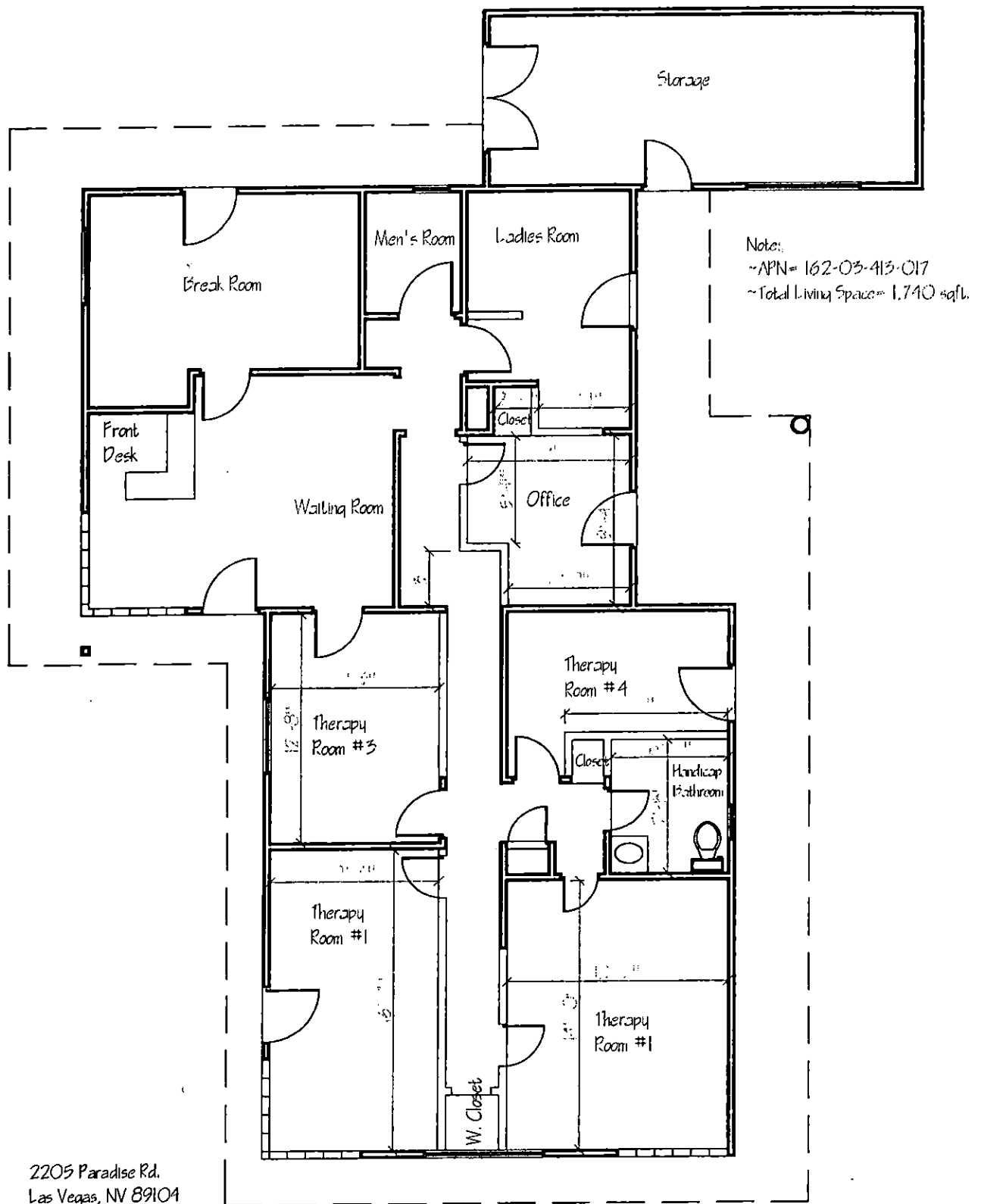
3206 Paradise Rd.
Las Vegas, NV 89104

Site Plan

- Table
- Lot size= 13 Acre
 - Total Living Space= 1,740 sqft.
 - Parking Required= two (2) for each Therapy Room.
 - Four (4) Total Therapy Room.
 - Parking Provided= Ten (10) parking.

SUP-17739
12/21/06 PC

RECEIVED
OCT 24 2006

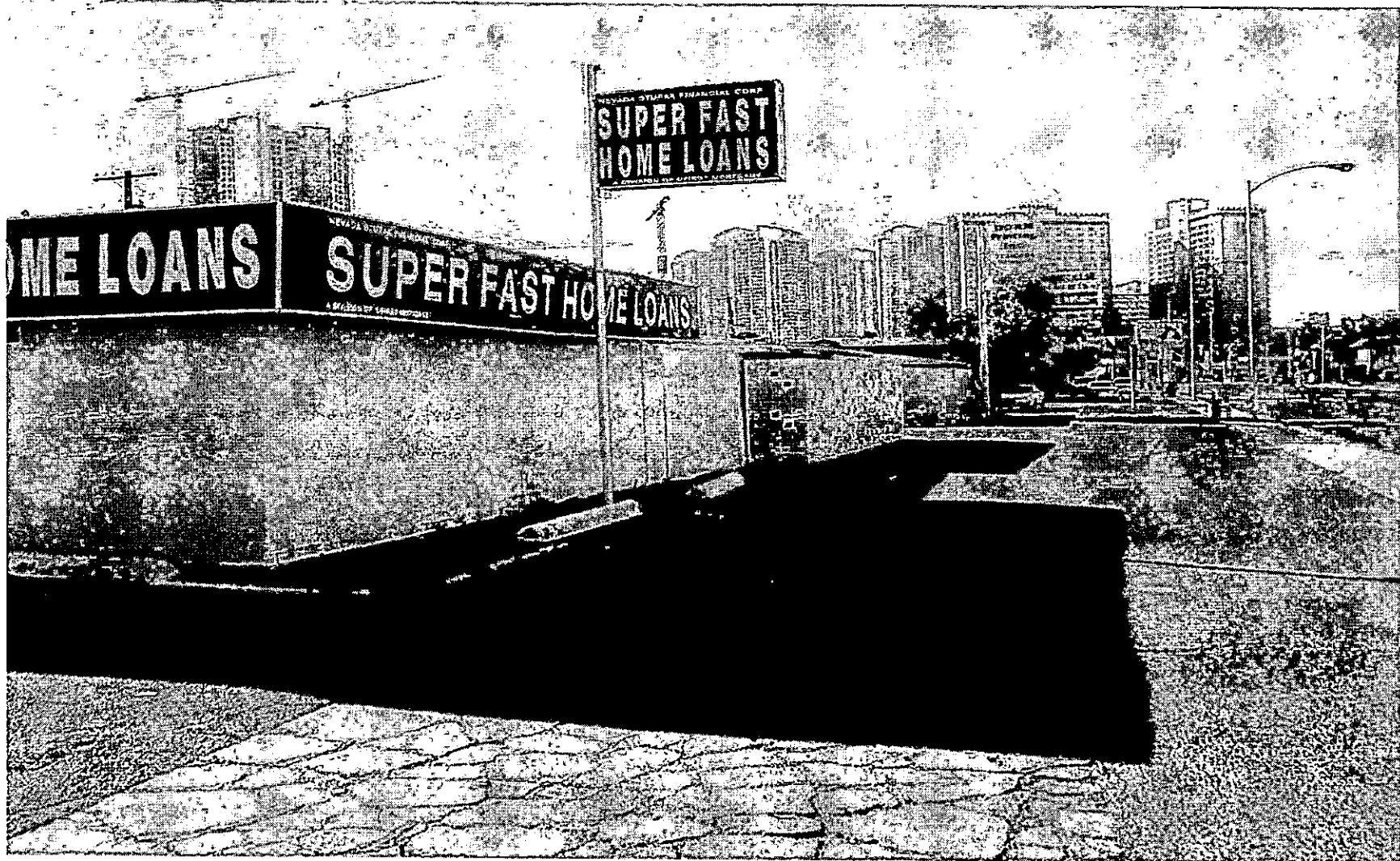


New Floor Plan 1/8" = 1'

SUP-17739
12/21/06 PC

RECEIVED
 OCT 24 2006





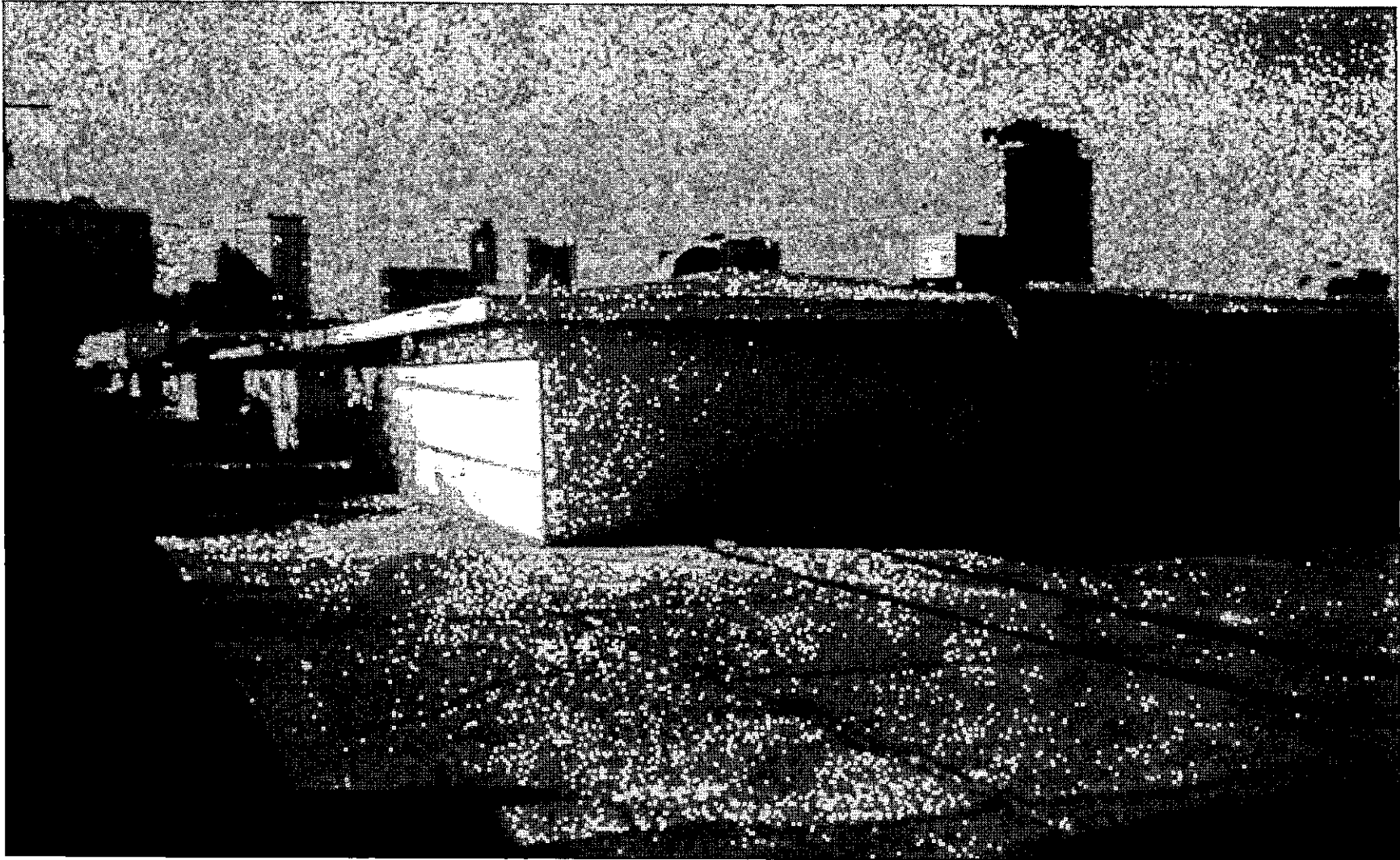
SUP-17739 - APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ
2205 SOUTH PARADISE ROAD
DECEMBER 21, 2006 PLANNING COMMISSION

11/08/06



SUP-17739 - APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ
2205 SOUTH PARADISE ROAD
DECEMBER 21, 2006 PLANNING COMMISSION

11/08/06



SUP-17739 - APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ
2205 SOUTH PARADISE ROAD
DECEMBER 21, 2006 PLANNING COMMISSION

11/08/06

*LAS Consulting, Inc.
856 E. Sahara #201
Las Vegas, NV 89104
(702) 499-6469-Cell
(702) 341-8489-fax*

October 23, 2006

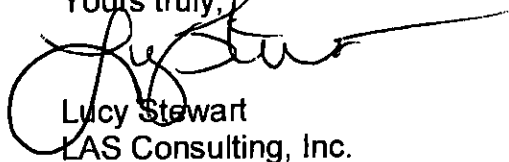
City of Las Vegas
Planning & Development
739 South Fourth Street
Las Vegas, NV. 89101

RE: APN 162-03-413-017/ 2205 Paradise.

Dear Sir or Madam:

Please accept this letter as our request for a use permit for a massage establishment, located at 2205 Paradise Rd. My client would like to convert an existing building (former office building, prior to that a house) into a therapeutic massage establishment. Acupuncture and acupressure will be offered along with Chinese massage. The interior configuration will remain the same as when it was an office with the exception of the conference room. That will be divided into two therapy rooms. The parking and driveway will remain the same, however the outside of the building will be cleaned up to create a better appearance for the area. There are four existing massage establishments within 1000 feet of this site, however, they are massage and not designed for therapeutic massage. The majority of the therapists will be male and will be licensed for therapeutic massage. This business will be a legitimate therapeutic massage establishment, Mr. Li, the licensee, has a privilege license in Clark County and cannot jeopardize that license by allowing any illegal activity on this site. Thank you for your consideration in this matter. Please contact me with any questions regarding this matter.

Yours truly,


Lucy Stewart
LAS Consulting, Inc.

**SUP-17739
12/21/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - VAR-17732 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS - Request for a Variance TO ALLOW A PROPOSED BUILDING 20 FEET FROM THE REAR PROPERTY LINE WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A MINIMUM SETBACK OF 60 FEET; AND TO ALLOW TWO PROPOSED TRASH ENCLOSURES 10 FEET FROM THE REAR PROPERTY LINE WHERE 50 FEET IS THE MINIMUM SETBACK REQUIRED on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – Motion to **HOLD IN ABEYANCE** Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and **WITHDRAW WITHOUT PREJUDICE** Item 23 [SUP-17534] – **UNANIMOUS** with **EVANS** and **TRUEDELL** excused

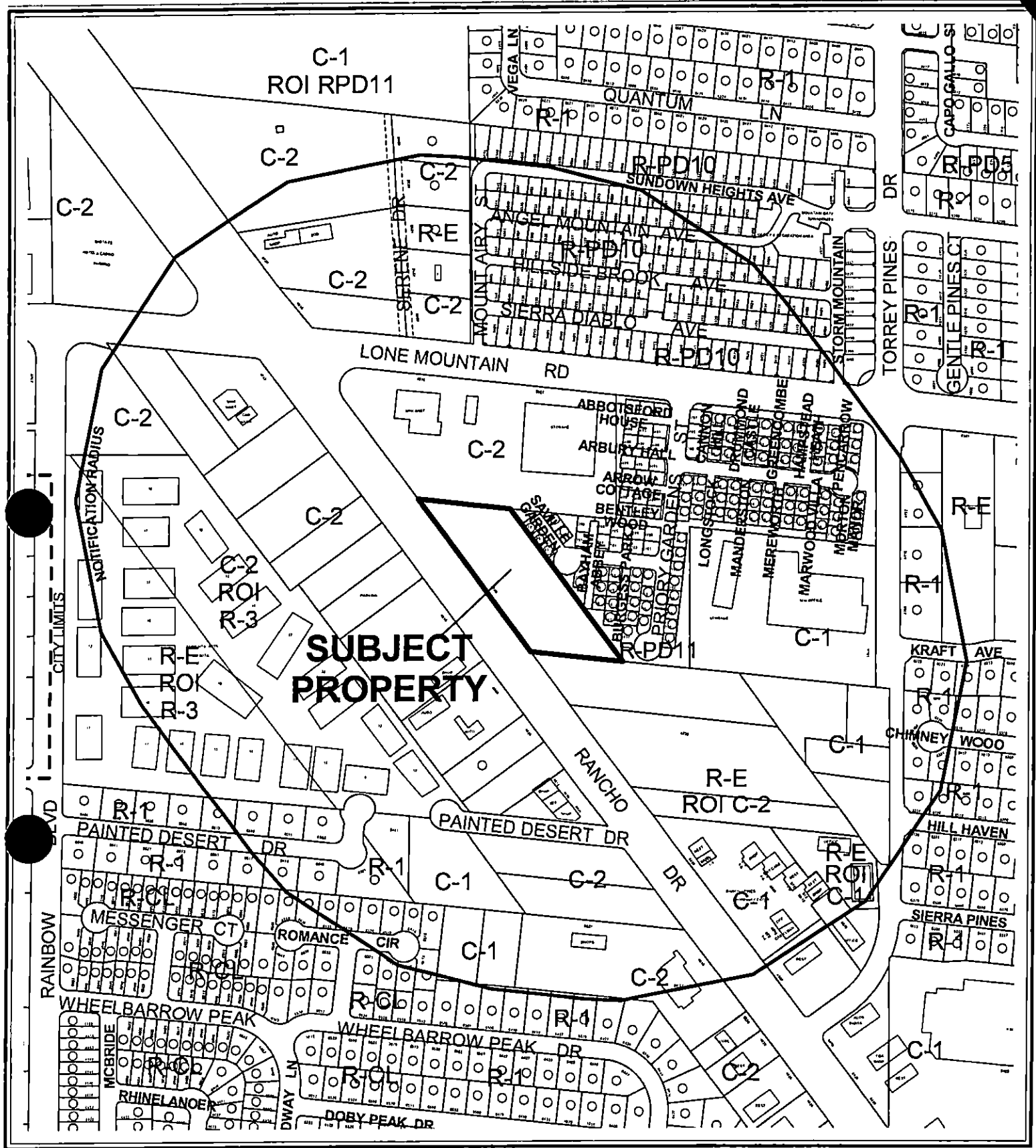
PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 25 – VAR-17732

MINUTES:

Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732] and Item 26 [SDR-17730] were requested to be held in abeyance to the 01/11/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



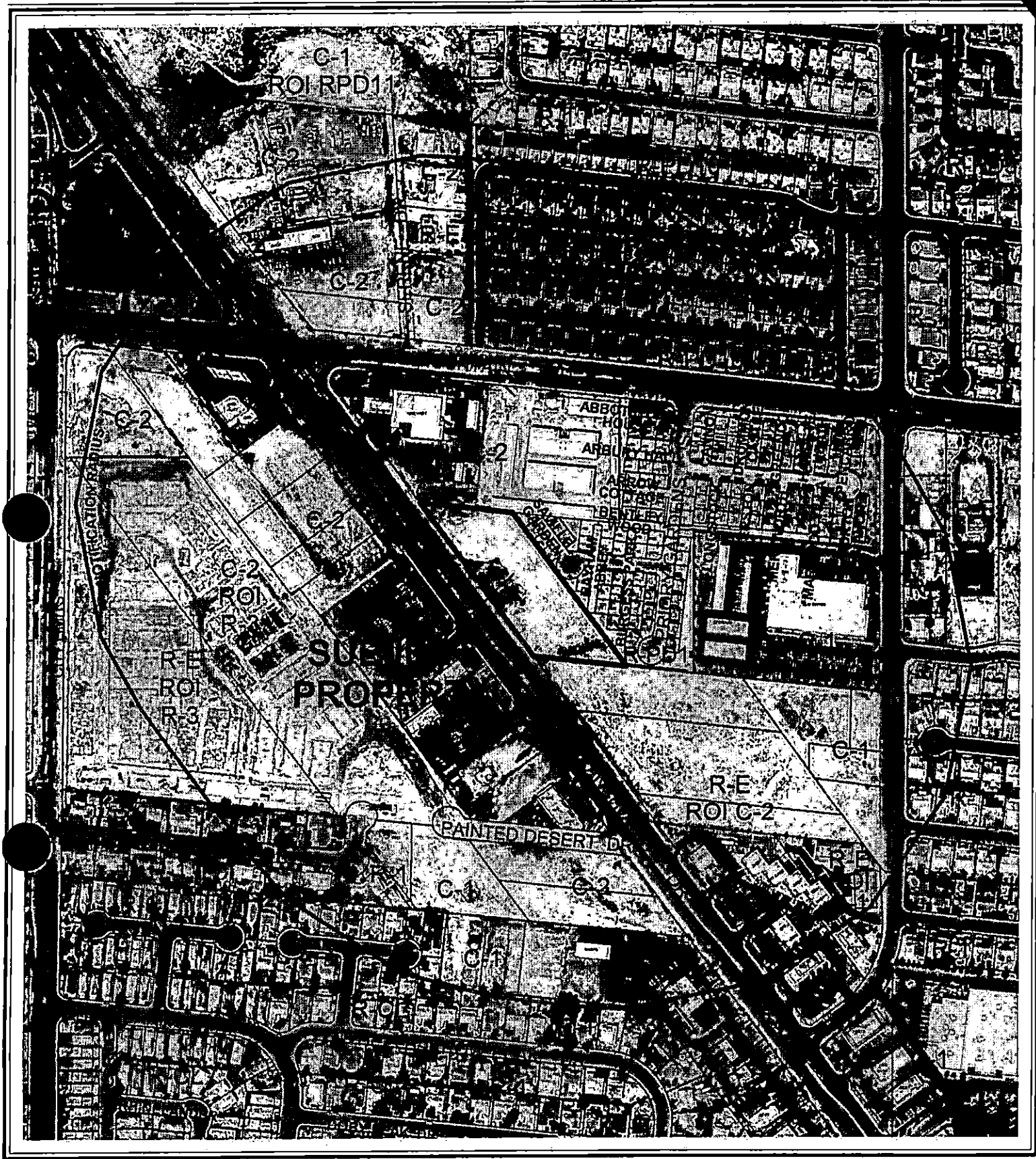
CASE: **VAR-17732**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100 200 Feet





CASE: VAR-17732

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100200 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-17732 - APPLICANT/OWNER: SF
INVESTMENTS

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (Z-8-99) and Site Development Plan Review (SDR-17730), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17732 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Variance to allow a proposed building 20 feet from the rear property line where residential adjacency standards require a minimum setback of 60 feet; and to allow two proposed trash enclosures 10 feet from the rear property line where 50 feet is the minimum setback required on 2.56 acres at 4700 North Rancho Drive. A related Site Development Plan Review (SDR-17730) will also be considered on this agenda.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/24/99	The City Council approved a General Plan Amendment (GPA-0003-99) from SC (Service Commercial) to GC (General Commercial) and a Rezoning (Z-0008-99) from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) on the subject property
07/07/04	The City Council approved a General Plan Amendment (GPA-4072) from O (Office) and GC (General Commercial) to MLA (Medium-Low Attached Density Residential), a Rezoning (ZON-4202) from O (Office), R-E (Residence Estates) and C-2 (General Commercial) to R-PD11 (Residential Planned Development - 11 Units Per Acre) and a Site Development Plan Review (SDR-4204) for a proposed 116-unit single-family attached residential development on 10.95 acres to the east of the subject property. The Planning Commission recommended approval. Staff recommended denial.
04/06/05	The City Council approved a request for a Site Development Plan Review for a proposed 38,000 square-foot office/warehouse development and for a waiver of the building placement, perimeter, and parking lot landscaping requirements on the subject site. The City Council also approved a related Variance (VAR-5808) to allow a 37-foot setback where residential adjacency standards require a minimum setback of 84 feet for a proposed office/warehouse development on the subject site. The Planning Commission recommended approval of these applications. Staff recommended denial.
<i>Pre-Application Meeting</i>	
09/21/06	Staff explained the requirements for a Site Development Plan Review and a Variance.

VAR-17732 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Neighborhood Meeting	
11/08/06	Staff requested that the applicant conduct a neighborhood meeting to explain this request to surrounding property owners. As of this date, the applicant has not provided staff with verification that a meeting occurred.

Details of Application Request	
Site Area	
Net Acres	2.56

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	General Commercial	C-2 (General Commercial)
North	Convenience store and mini-storage	General Commercial	C-2 (General Commercial)
South	Undeveloped	General Commercial	C-2 (General Commercial)
East	Single family dwellings	Medium Low Attached	R-PD11 (Residential Planned development – 11 Units Per Acre)
West	Equipment storage yard	General Commercial	C-2 (General Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

The Master Plan Transportation Element indicates that a Pedestrian Path is required along the west side of this site, adjacent to Rancho Drive. The walking path and landscaping depicted on the site plan comply with the design standards of the Pedestrian Path.

VAR-17732 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply to this site:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	2.56 acres	Y
Min. Lot Width	100 feet	560 feet	Y
Min. Setbacks			
• Front	• 20 feet	• 30 feet	• Y
• Side	• 10 feet	• 31 feet	• Y
• Rear	• 20 feet	• 20 feet	• Y*
Max. Lot Coverage	50 %	10.6 %	Y
Max. Height	N/A	38 feet	Y

*This setback complies with the C-2 standards, but does not comply with the Residential Adjacency standards. This issue is addressed with the subject Variance.

Per Title 19.08.06, the following standards apply:

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	60 feet	20 feet	N
Adjacent development matching setback	11 feet	20 feet	Y
Trash Enclosure	50 feet	10 feet	N

The applicant has requested the subject Variance to address the residential adjacency and trash enclosure issues.

Per Title 19.12, the following standards apply:

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	17 Trees	19 Trees	Y
Buffer: Min. Trees	1 Tree/ 20 Linear Feet along east property line (Rancho Drive)	28 Trees	37 Trees	Y
	1 Tree/ 30 Linear Feet along remaining property lines	37 Trees	41 Trees	Y
	15 Feet along east property line (Rancho Drive)		15 Feet along east property line	Y
Min. Zone Width	8 Feet along remaining property lines		8 Feet along remaining property lines	Y

VAR-17732 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Restaurant with drive-through	2,400 sf	1/100 sf	24				
Retail	11,000 sf	1/175 sf	63				
Car wash	3,173 sf	2/stall	10				
TOTAL			97	4	101	4	Y
Loading Spaces	16,573 sf		2		2		Y

ANALYSIS

The site is currently undeveloped. The property immediately to the east is developed with a single-family subdivision. The applicant proposes to construct an 11,000 square-foot retail/office building in the east portion of the property, and a 2,400 square-foot fast food restaurant in the north portion. Where adjacent to the east property line, the retail/office building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

The applicant also proposes to place five auto-vacuum stations 10 feet from the east property line, and a five-bay car wash 52 feet from the east property line. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

Access to the site is from two 24-foot wide drives to Rancho Drive. Landscape buffers that comply with city standards are provided along all property lines. Landscape islands and trees in sizes and amounts that comply with city standards are provided in the parking lot. The elevations depict a plaster exterior, metal accents and a concrete tile roof.

VAR-17732 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through their design choices. Alternative design would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 9

ASSEMBLY DISTRICT 1

SENATE DISTRICT 4

NOTICES MAILED 296 (Mailed with SDR-17730)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17732** APN: **138-02-102-014**
Name of Property Owner: **SF INVESTMENTS LLC**
Name of Applicant: **PERKOWITZ & RUTH, ARCHITECTS**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

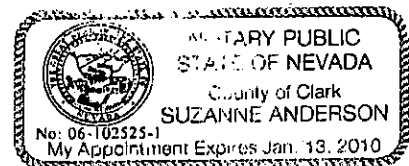
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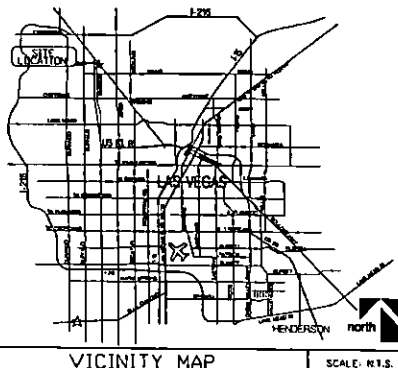
Signature of Property Owner: _____

Print Name: **Stephen S. Azanberg**

Subscribed and sworn before me

This **23** day of **Oct**, 2006
Suzanne Anderson *Clark County of NV.*
Notary Public in and for said County and State





VICINITY MAP

SCALE: N.T.S.

SITE SUMMARY **LAND AREA**

BUILDING AREA
BUILDING COVERAGE
CURRENT/PROPOSED ZONING
SETBACKS REQUIRED:
FRONT
REAR
SIDES

APPRDX. 2.56 ACRES
(155,074 S.F. +/-)
16,573 SF
10.6% AC
C-2 General Commercial

APN:

138-02-102 14

PARKING ANALYSIS:

TOTAL S.F. 16,573 S.F.
RESTAURANT-FAST-FDDD 2,400 S.F. @ 1/ 100 SF
RETAIL / OFFICE 11,000 S.F. @ 1/ 175 SF
CAR WASH-(SELF) 3,173 @ 2/STALL
TOTAL REQ'D 97
PROVIDED (INCL. 4 HC required 2% of total spaces required) 101

REQ'D

24
62
11
97
101

SYMBOLS & LEGEND

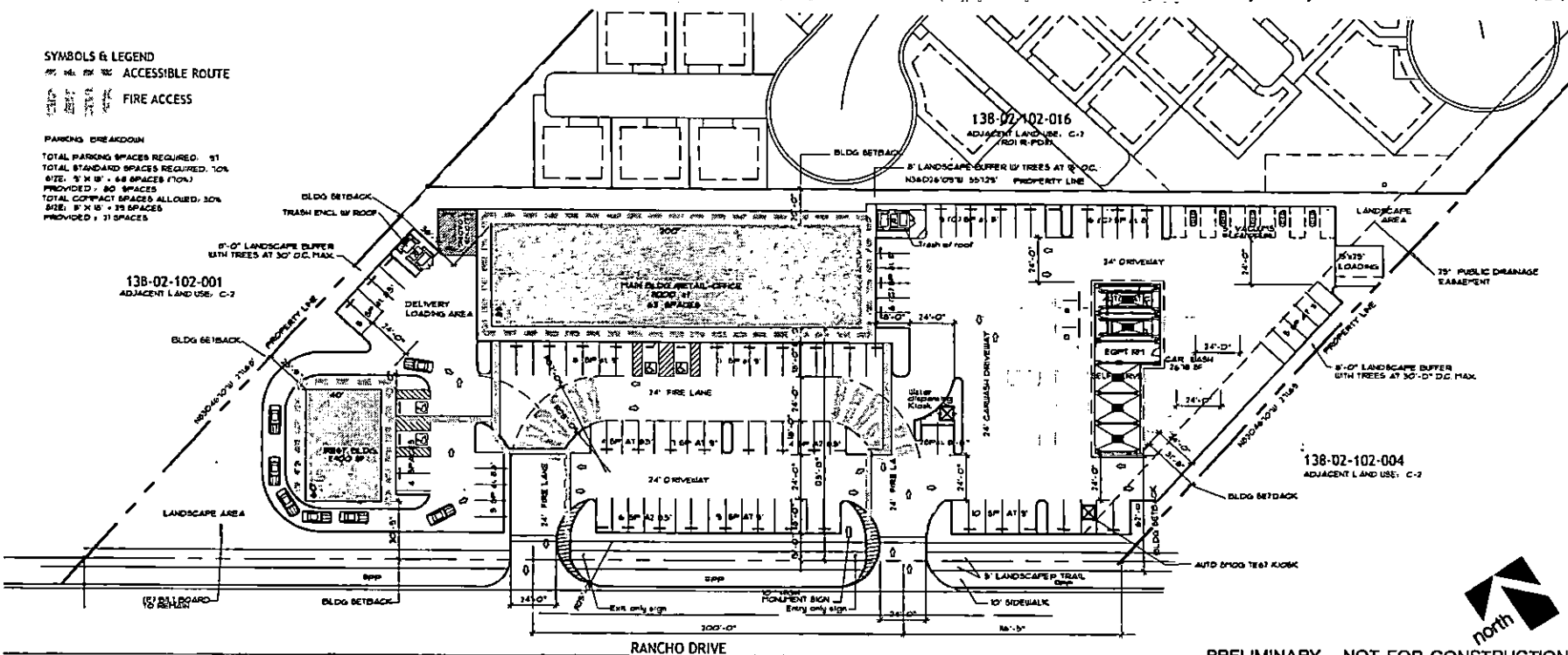
APN: 138-02-102-001 ACCESSIBLE ROUTE

FIRE ACCESS

PARKING BREAKDOWN

TOTAL PARKING SPACES REQUIRED: 91
TOTAL STANDARD SPACES REQUIRED: 104
SITE: 9' X 10' = 68 SPACES (170%)
PROVIDED: 80 SPACES
TOTAL COMPACT SPACES ALLOWED: 30%
SIDE: 9' X 10' = 29 SPACES
PROVIDED: 11 SPACES

138-02-102-001
ADJACENT LAND USE: C-2



RANCHO DRIVE

PRELIMINARY - NOT FOR CONSTRUCTION
THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF
A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE
AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.

SITE PLAN

SCALE: 1" = 60'

VAR-17732

12/21/06 PC SDR-17730

PR

3580 Howard Hughes Pkwy.
Suite 430
Las Vegas, NV 89109
702-892-8500
702-892-8514 fax
www.parkarchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

Parkwitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date 10/24/06
Drawn By MLC
Checked By Mary Veneble
Project No. 06-537-11
File Name D0653711-SITEPLAN
Scale 1" = 60'

DS-1

RECEIVED

OCT 24 2006

PR

3380 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-8500
702-892-8504 fax
www.parchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

**Perkowitz, Roth
ARCHITECTS**
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

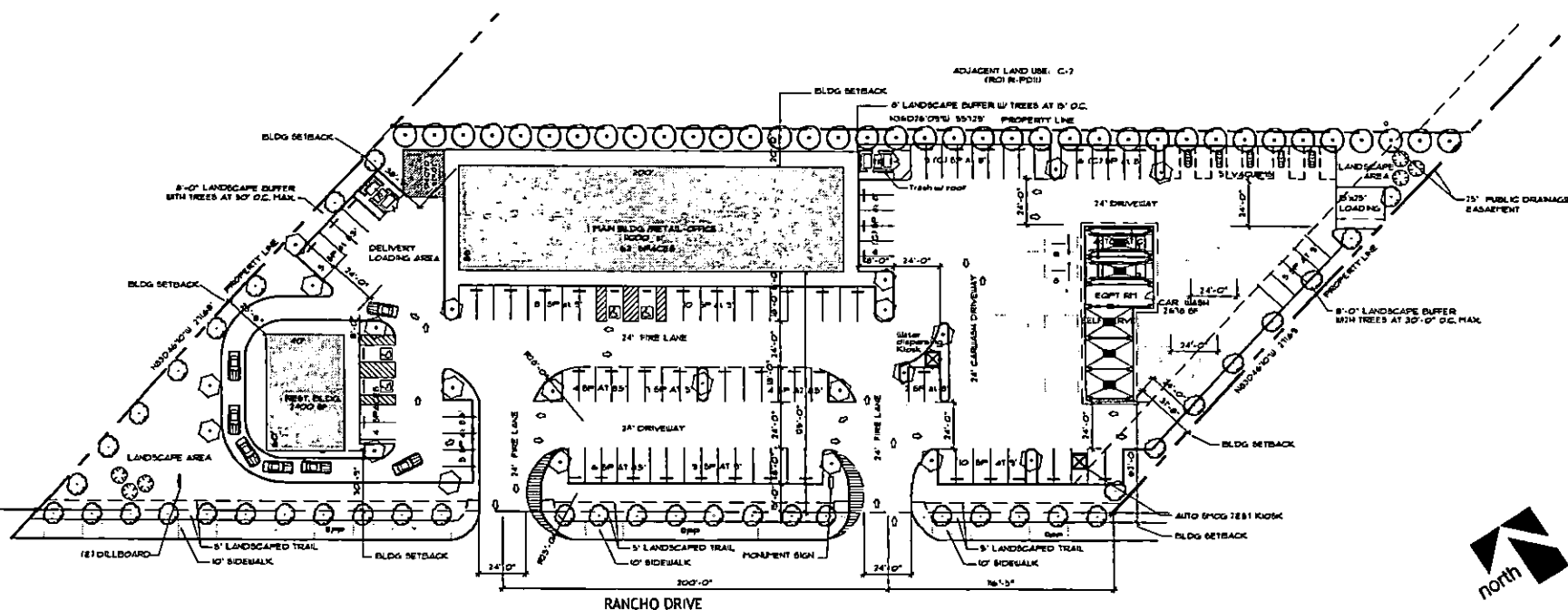
Date 10/24/06
Drawn By MLG/RG
Checked By Mary Veneble
Project No 05-537-11
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Scale 1" = 30'

LS-1

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QTY.
TREES			
WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	10'	4
ULMUS PARVIFLORA	EVERGREEN ELM	24" BOX	40
PROSTIS CHEUKUS THORNLESS	CREEPER MESQUITE	24" BOX	25
PRUNUS ZORNEYANA	ZORNEY PINE	24" BOX	37
YUCCA BREVIFOLIA	LOOSELY	24" BOX	19
ACACIA ANTERA	NEE GA	12" BOX	19
SHRUBS			
LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	5 GAL.	
CASALIPERIA GALEATA	YELLOW BIRD OF PARADISE	5 GAL.	
SAVIA GREGGII	JUTNEY SAGE	5 GAL.	
ERECTIA FALCATA	BRITTLE BUSH	5 GAL.	
GROUND COVER			
GAZANIA REGENS	GAZANIA	1 GAL.	
LANTANA CAMERATA	LANTANA	1 GAL.	
ECACIA PEDICULARIS	ERECTUS ACACIA	1 GAL.	

NOTES:
• ROCK MEX ON AT ALL AT ALL PLANTING AREAS U/M/D.



12/21/06 PC VAR-17732
SDR-17730

CONCEPTUAL LANDSCAPE PLAN
10/22/06 SCALE: 1" = 30'-0"

1

OCT 24 2006



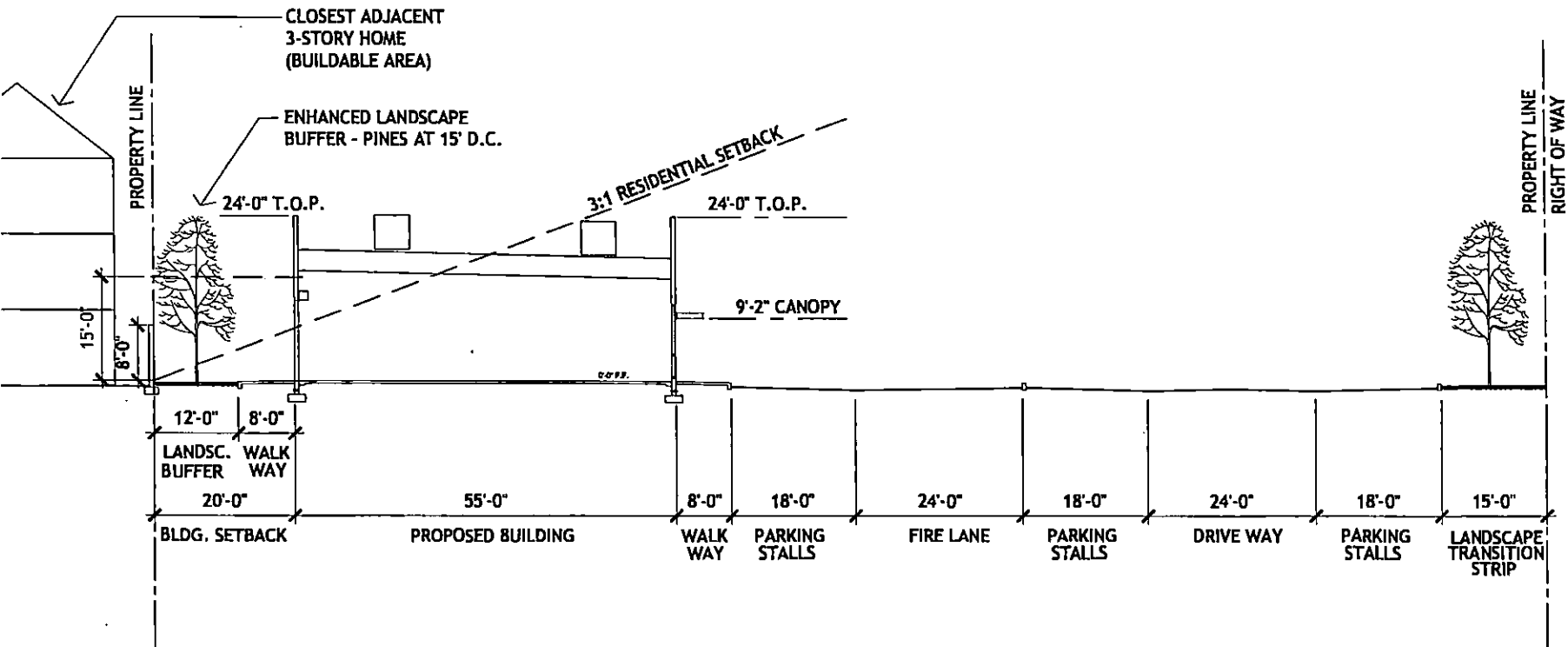
3980 Howard Hughes Pkwy.
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ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
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Date 10/24/06
Drawn By MLG/RG
Checked By
Project No. 06-537-n
File Name 06-537-SDr.dwg
Scale 1/16" = 1'-0"

MAIN BLDG.
SELEV 1

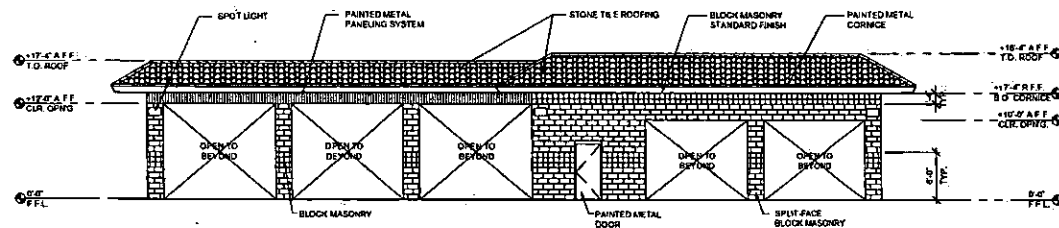


12/21/06 PC
VAR-17732
SDR-17730

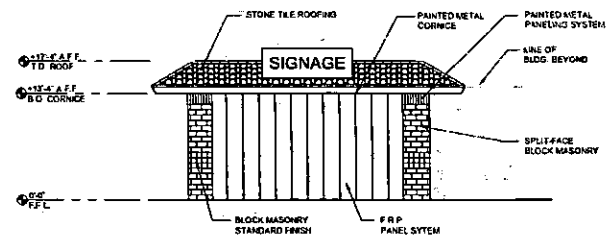
SLOPE RENDERING
10/22/06 SCALE: 1/16" = 1'-0"

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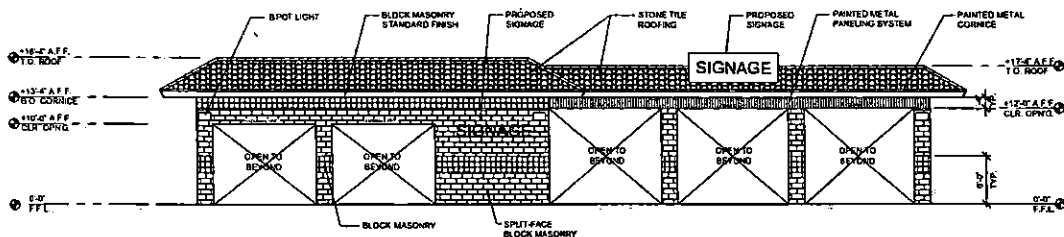
OCT 21 2016



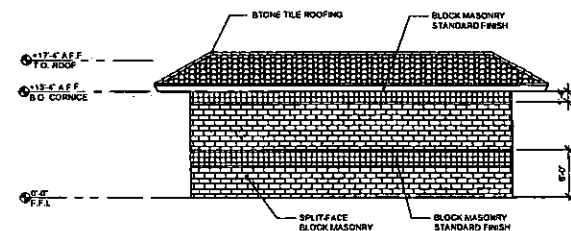
REAR ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION

12/21/06 PC

VAR-17732

SDR-17730

PROPOSED BUILDING ELEVATIONS

10/02/06 SCALE: 1/16" = 1'-0"

1

PR

3380 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-6500
702-892-8514 fax
www.prchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

Perkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

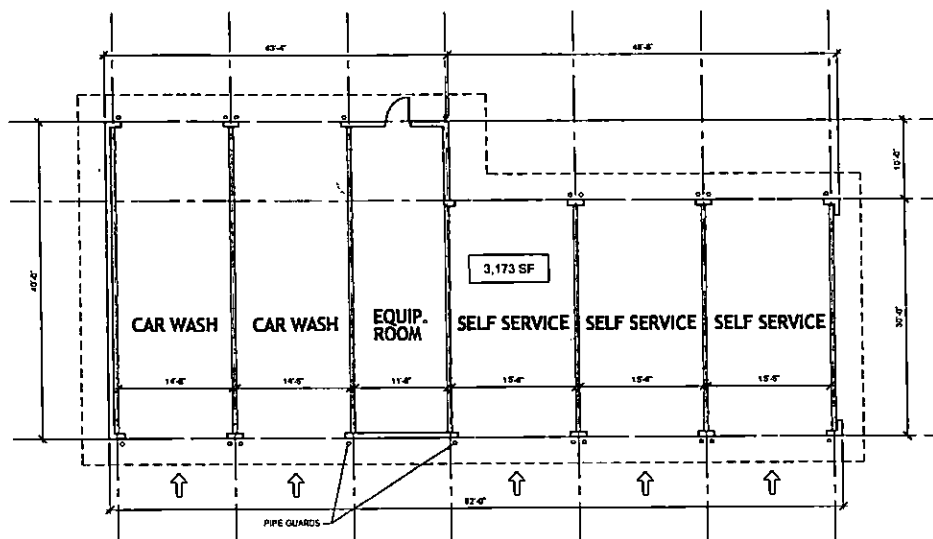
Revisions

Date 10/24/06
Drawn By MLG/RG
Checked By Mary Varela
Project No. 06-537-II
File Name 06-537-A21 Cdwg
Scale 1/16" = 1'-0"

CARWASH

ELEV 1 (C)

OCT 24 2006



3580 Howard Hughes Pkwy.
 Suite 450
 Las Vegas, NV 89109
 702-892-8500
 702-892-8514 fax
 www.parchitects.com
 Corporate Office:
 Long Beach, CA
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Perkowitz + Ruth
 ARCHITECTS
RANCHO COMMERCE PARK
 4700 N Rancho Dr
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Revisions	

Date 10/24/06
 Drawn By MLG/RG
 Checked By -
 Project No. 06-537-11
 File Name 06-537-A11 Cdwg
 Scale 1/16" = 1'-0"

CAR WASH
FLR 1 (C)

12/21/06 PC
VAR-17732
SDR-17730

PROPOSED FLOORPLAN CAR WASH
 10/22/06 SCALE 1/16" = 1'-0"

OCT 31 2006

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3380 Howard Hughes Pkwy.
 Suite 450
 Las Vegas, NV 89109
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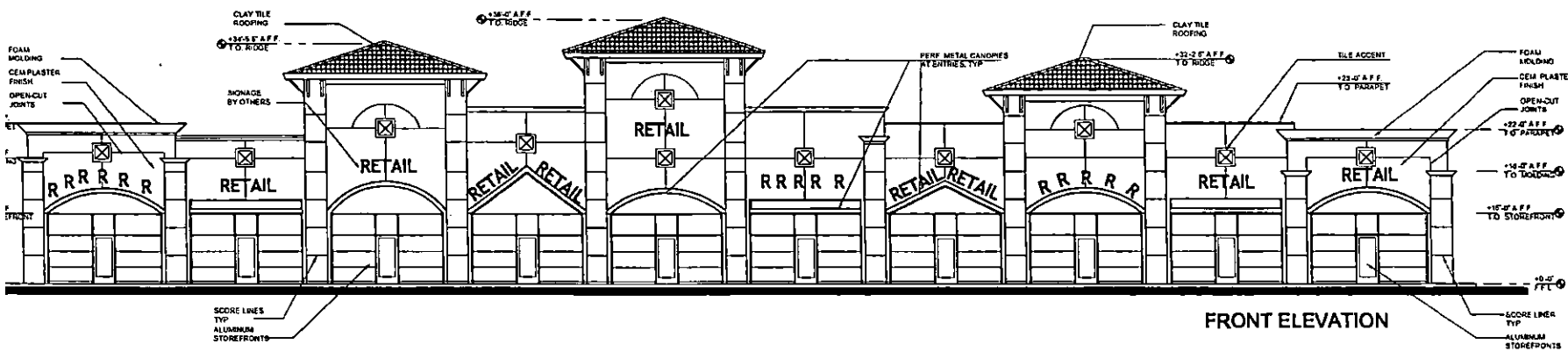
Perkowitz, Ruth Architects
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 Las Vegas, NV

Revisions	

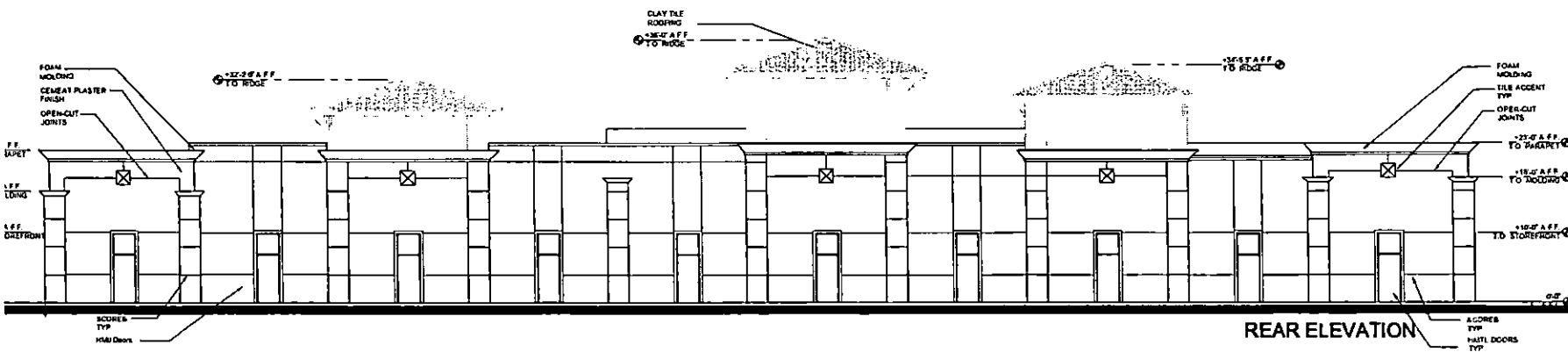
Date: 10/24/06
 Drawn By: MLG/RG
 Checked By: Mary Venable
 Project No: 06-537-11
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MAIN BLDG.
 ELEV 1 (M)

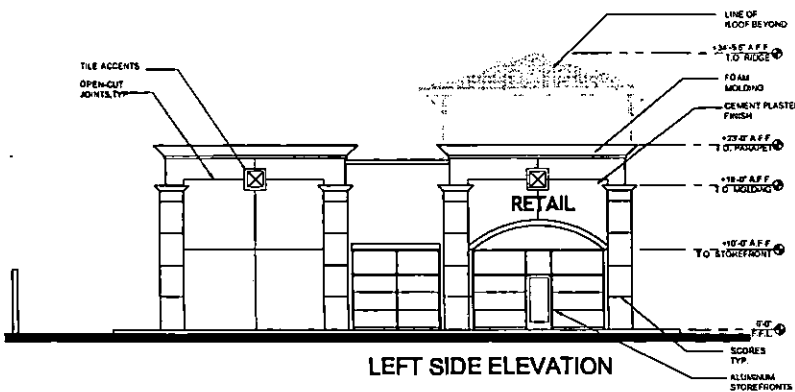
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 OCT 24 2006



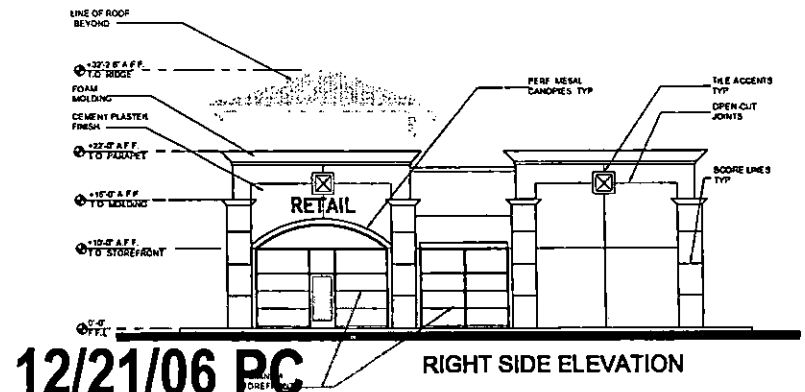
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

12/21/06 PC
 VAR-17732
 SDR-17730

PROPOSED BUILDING ELEVATIONS

10/24/06 SCALE: 1/16" = 1'-0"

1



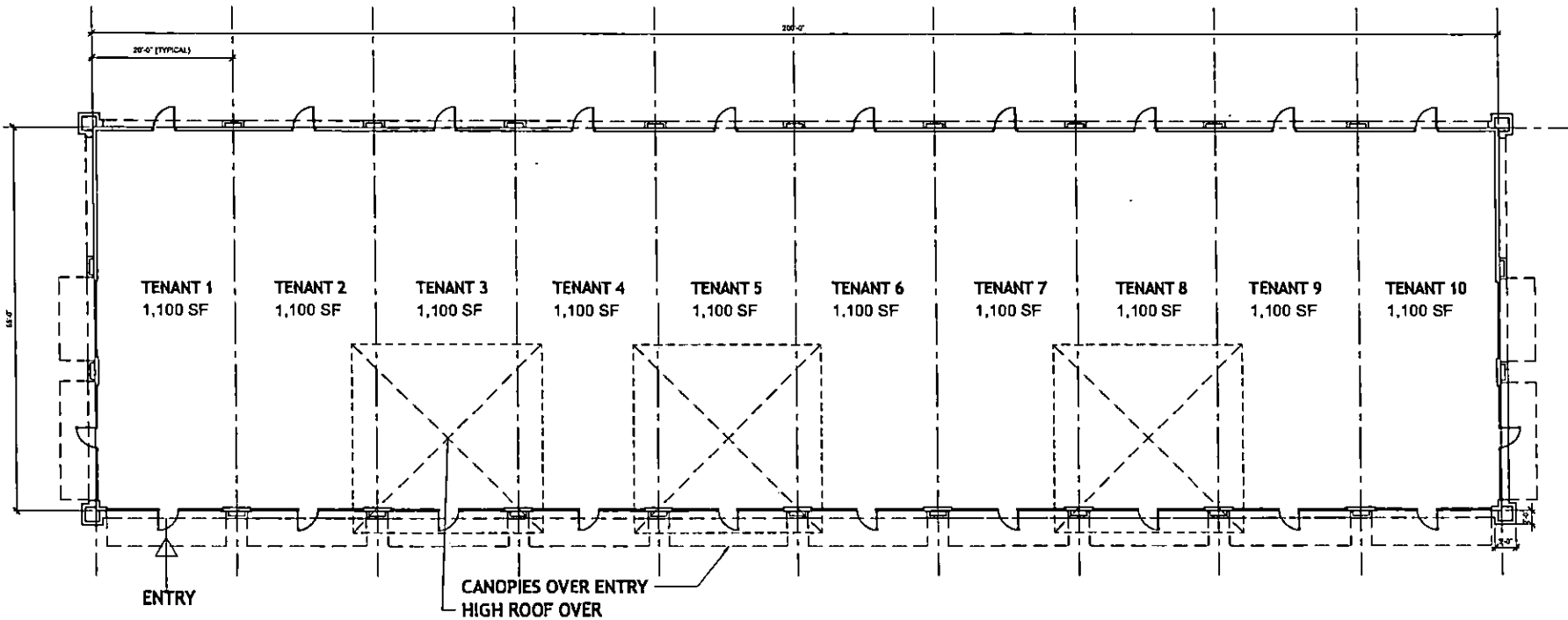
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Perkowitz, Ruth
ARCHITECTS
RANCHO COMMERCE PARK
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Revisions

Date 12/21/06
Drawn By HLG/RG
Checked By -
Project No. 06-537-11
File Name 06-537-1111.dwg
Scale 1/16" = 1'-0"

MAIN BLDG.
FLR 1 (M)



12/21/06 PC
VAR-17732
SDR-17730

PROPOSED FLOOR PLAN MAIN BUILDING

10/02/08 SCALE: 1/16" = 1'-0"

1

OCT 11 2006



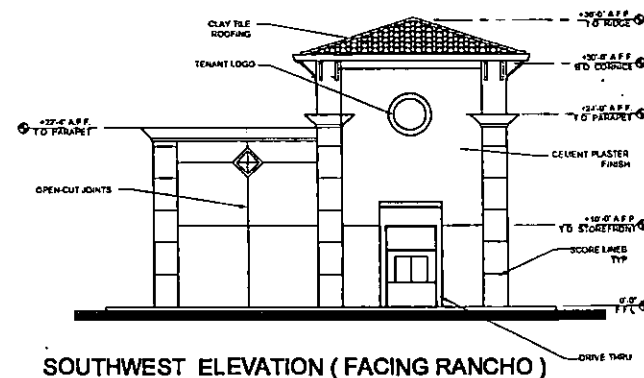
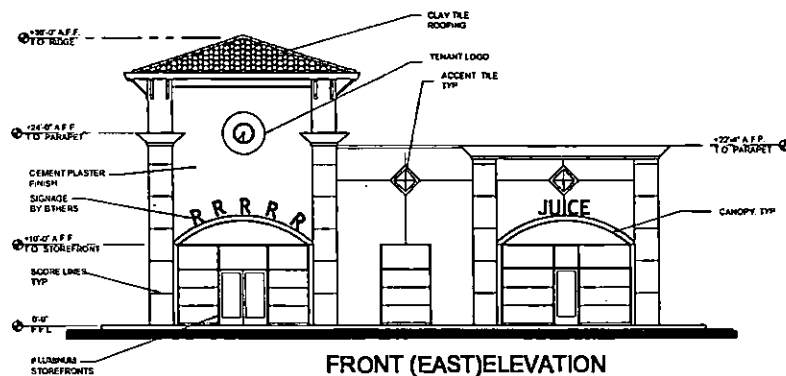
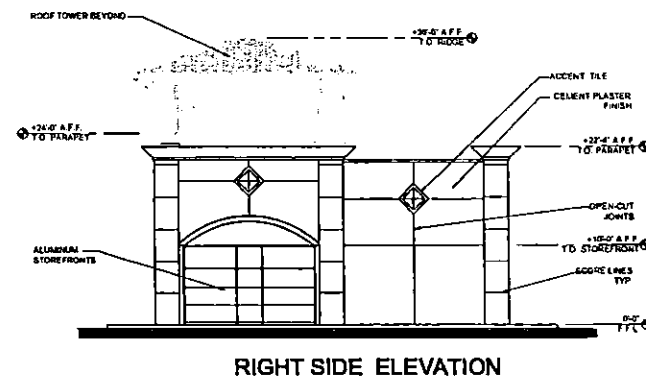
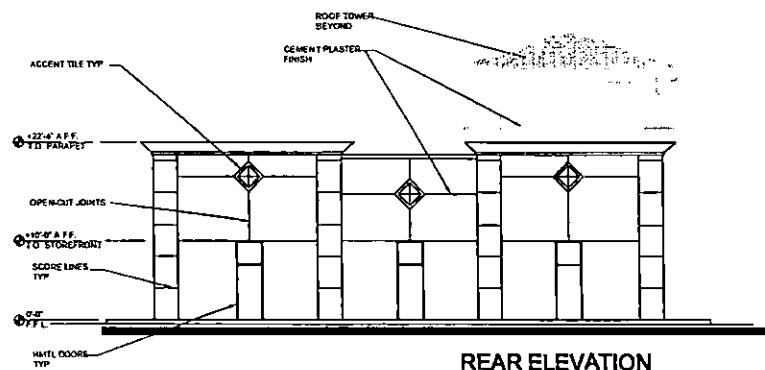
3980 Howard Hughes Pkwy
 Suite 450
 Las Vegas, NV 89109
 702-692-6500
 702-692-6514 fax
 www.parchitects.com
 Corporate Office:
 Long Beach, CA
 Regional Offices:
 Newport Beach, CA
 Washington, DC
 Las Vegas, NV

**Parkowitz, Rubin
 ARCHITECTS**
 RANCHO COMMERCE PARK
 4700 N. RANCHO DR
 LAS VEGAS, NEVADA

Revisions	

Date 10/24/09
 Drawn By M.G.
 Checked By Mary Venable
 Project No. 06-537-11
 File Name 06-537-21 Bldg
 Scale 1/8" = 1'-0"

STARBUCKS
 ELEV 1 (S)



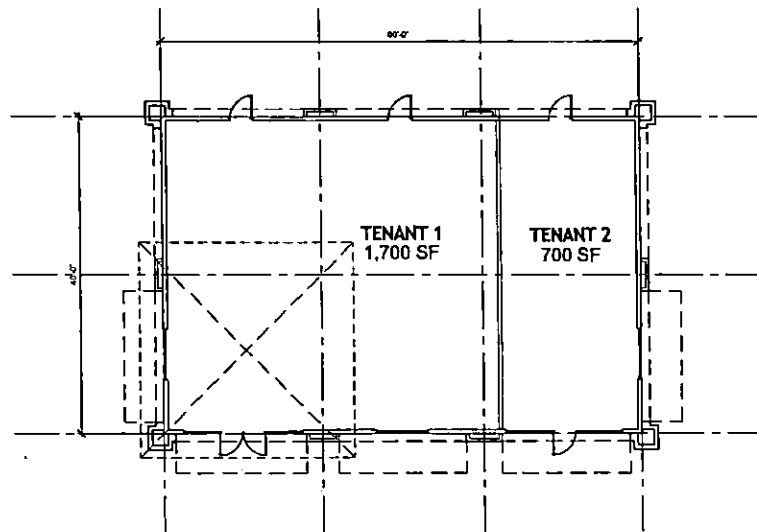
12/21/06 PC
 VAR-17732
 SDR-17730

PROPOSED BUILDING ELEVATIONS

10/02/06 SCALE: 1/8" = 1'-0"

1

OCT 24 2009



3360 Howard Hughes Pkwy.
 Suite 450
 Las Vegas, NV 89109
 702-892-8500
 702-892-8514 fax
 www.praichitects.com
 Corporate Office:
 Long Beach, CA
 Regional Offices:
 Newport Beach, CA
 Washington, DC
 Las Vegas, NV

Perkowitz, Ruth Architects
 RANCHO COMMERCE PARK
 4700 N Rancho Dr
 Las Vegas, NV

Revisions	

Date: 10/24/06
 Drawn By: AG
 Checked By: -
 Project No.: 06-537-11
 File Name: 06-537-ALL Bldg
 Scale: 1/16" = 1'-0"



12/21/06 PC
VAR-17732
SDR-17730

PROPOSED FLOORPLAN STARBUCKS

STARBUCKS
FLR 1 (S)

10/24/06
 OCT 24 2006

October 24, 2006

Mr. Nathan Goldberg
City of Las Vegas
Current Planning Department
731 S. Fourth Street
Las Vegas, NV 89101

**RE: RANCHO COMMERCE PARK
APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW AND
VARIANCE WITH WAIVERS
JUSTIFICATION LETTER**

Dear Mr. Goldberg:

Perkowitz+Ruth Architects, on behalf of SF Investments, LLC, respectfully requests Site Development Plan Review approval for a 2.5 acre parcel located on the north side of Rancho Drive, south of Lone Mountain.

The Rancho Commerce Park project is a proposed retail development with three buildings: a restaurant pad building with drive-thru, an inline retail/office building, and a self-service car wash. There are also small kiosks for smog check and a water vending machine. The general retail, office, car wash and restaurant uses are permitted uses in the C-2 zoning. The proposed uses are similar to the existing commercial uses in this neighborhood, and we believe will provide welcome services to the residential neighbors.

The smog check is a conditional use in C-2. The equipment for this proposed use will easily be housed in a building smaller than the 400 s.f. cited in Title 19 as a condition. We will request a Special Use Permit for the smog check (at a later date), as the equipment will be inside the kiosk when the smog check is closed.

We request waivers for the following items;

1. Fewer tree fingers in parking lot than one every 6 spaces. In compensation, we are providing an enlarged landscape area in the northwest corner of the property along Rancho.
2. Entry drive throat depth of less than 50'. Because the lot is shallow from front to back, the normal throat depth of 50' would seriously restrict circulation onsite. To alleviate any potential problem, we have made two driveways, a right-in and a right-out, and have maintained the 50' throat at the drive-thru exit. We have asked NDOT to approve our having two driveways on this street frontage.

12/21/06 PC **VAR-17732**
SDR-17730

RECEIVED
OCT 24 2006

3. Residential adjacency height limit. The adjacent homes are 3-story homes and are taller than the proposed building. A waiver to this condition was previously approved by the City Council for a proposed commercial building on this site. The height restriction, if not waived, would drastically limit the use of this lot and access into the lot because of awkward building placement. With the proposed configuration, the building serves as a buffer between the homes and the parking area and street, resulting in reduced noise and pollution near the homes.

We do not foresee any particular issues or problems associated with this location.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS



Mary Venable, Architect
Project Manager
Maria Luisa Guzman
Project Manager

Cc: File No. 5.2

**12/21/06 PC
VAR-17732
SDR-17730**

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OCT 24 2006

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17730 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17732 - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS LLC - Request for a Site Development Plan Review FOR A 16,573 SQUARE FOOT RETAIL CENTER WITH AUTOMATIC AND SELF-SERVE CAR WASHES, AUTOMOBILE VACUUM STATIONS, AND A RESTAURANT WITH DRIVE-THROUGH on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

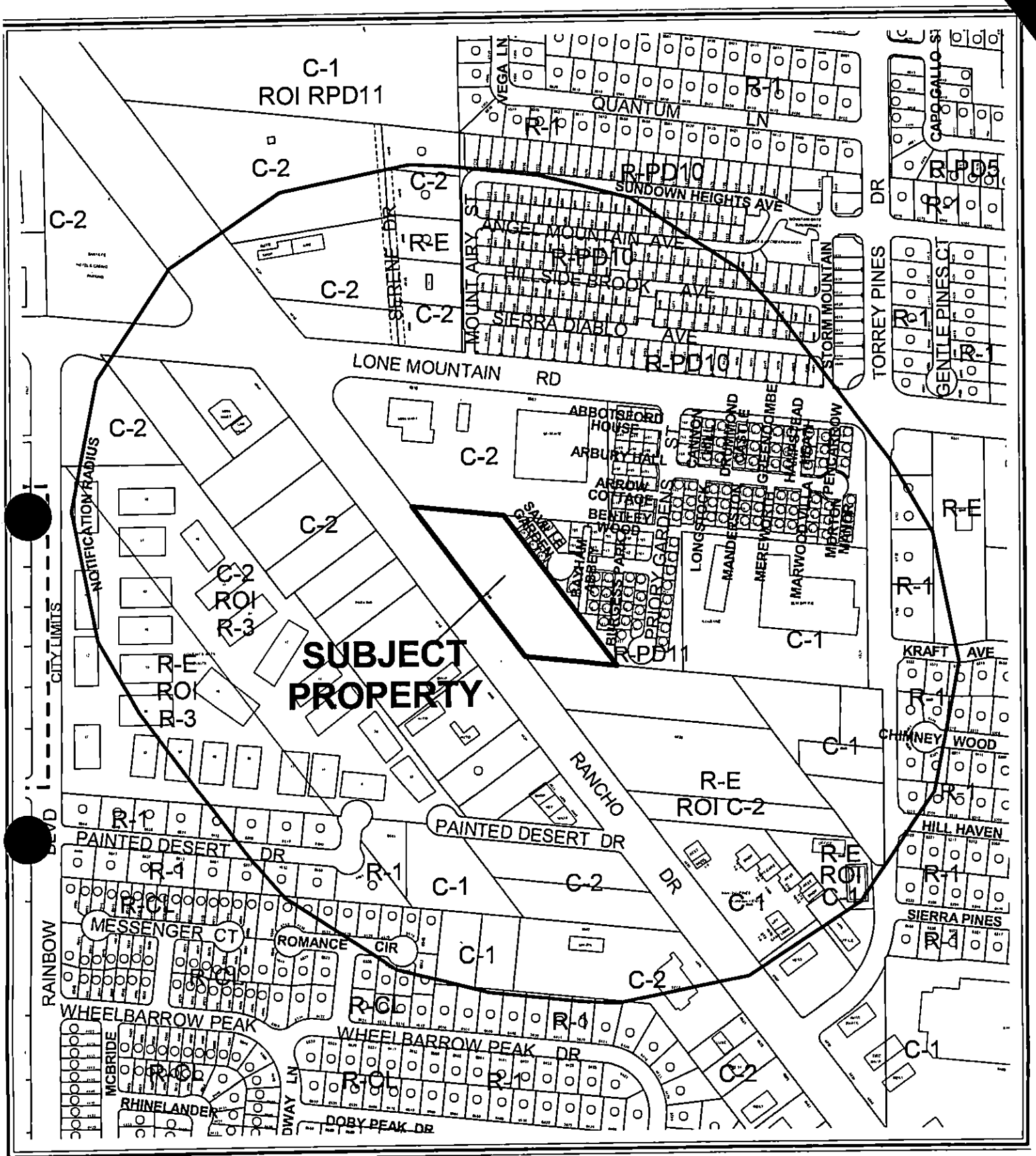
PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 26 – SDR-17730

MINUTES:

Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732] and Item 26 [SDR-17730] were requested to be held in abeyance to the 01/11/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



CASE: **SDR-17730**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 100 200 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. An eight-foot block wall shall be built along the east property line of the site.
2. There shall be no outdoor storage on site.
3. The car wash facilities and vacuums shall be limited to the hours of 9AM to 7PM.
4. Conformance to the conditions for Variance (VAR-17732) if approved.
5. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
6. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/24/06, except as amended by conditions herein.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

SDR-17730 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

10. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Construct all incomplete half-street improvements on Rancho Drive adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
17. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
18. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.

SDR-17730 - Conditions Page Three
December 21, 2006 - Planning Commission Meeting

19. Driveways shall receive approval from the Nevada Department of Transportation.
20. Landscape and maintain all unimproved right-of-way, if any, on Rancho Drive adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. As appropriate, submit an Encroachment Agreement to the City of Las Vegas or obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Rancho Drive public right-of-way adjacent to this site prior to occupancy of this site.
22. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
23. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
24. Site development to comply with all applicable conditions of approval for Z-8-99 and all other site-related actions.

SDR-17730 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a 16,573 square-foot retail center with automatic and self-serve car washes, automobile vacuum stations, and a restaurant with drive-through on 2.56 acres. A related Variance (VAR-17732) will also be considered on this agenda.

The inability of the applicant to devise a site plan that complies with the Residential Adjacency standards and the placement of car wash facilities in close proximity to residential land uses indicate that the design characteristics of this proposal are too intense for this site. Therefore, staff recommends denial.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/24/99	The City Council approved a General Plan Amendment (GPA-0003-99) from SC (Service Commercial) to GC (General Commercial) and a Rezoning (Z-0008-99) from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) on the subject property
07/07/04	The City Council approved a General Plan Amendment (GPA-4072) from O (Office) and GC (General Commercial) to MLA (Medium-Low Attached Density Residential), a Rezoning (ZON-4202) from O (Office), R-E (Residence Estates) and C-2 (General Commercial) to R-PD11 (Residential Planned Development - 11 Units Per Acre) and a Site Development Plan Review (SDR-4204) for a proposed 116-unit single-family attached residential development on 10.95 acres to the east of the subject property. The Planning Commission recommended approval. Staff recommended denial.
04/06/05	The City Council approved a request for a Site Development Plan Review for a proposed 38,000 square-foot office/warehouse development and for a waiver of the building placement, perimeter, and parking lot landscaping requirements on the subject site. The City Council also approved a related Variance (VAR-5808) to allow a 37-foot setback where residential adjacency standards require a minimum setback of 84 feet for a proposed office/warehouse development on the subject site. The Planning Commission recommended approval of these applications. Staff recommended denial.
<i>Pre-Application Meeting</i>	
09/21/06	Staff explained the requirements for a Site Development Plan Review and a Variance.

AR

SDR-17730 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Neighborhood Meeting	
11/08/06	Staff requested that the applicant conduct a neighborhood meeting to explain this request to surrounding property owners. As of this date, the applicant has not provided staff with verification that a meeting occurred.

Details of Application Request	
Site Area	
Net Acres	2.56

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	General Commercial	C-2
North	Convenience store and mini-storage	General Commercial	C-2
South	Undeveloped	General Commercial	C-2
East	Single family dwellings	Medium Low Attached	R-PD11
West	Equipment storage yard	General Commercial	C-2

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails	X		Y
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

The Master Plan Transportation Element indicates that a Pedestrian Path is required along the west side of this site, adjacent to Rancho Drive. The walking path and landscaping depicted on the site plan comply with the design standards of the Pedestrian Path.

SDR-17730 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.08, the following standards apply to this site:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	N/A	2.56 acres	Y
Min. Lot Width	100 feet	560 feet	Y
Min. Setbacks			
• Front	• 20 feet	• 30 feet	• Y
• Side	• 10 feet	• 31 feet	• Y
• Rear	• 20 feet	• 20 feet	• Y*
Max. Lot Coverage	50 %	10.6 %	Y
Max. Height	N/A	38 feet	Y

*This setback complies with the C-2 standards, but does not comply with the Residential Adjacency standards. This issue is addressed with related Variance VAR-17732.

Per Title 19.08.06, the following standards apply:

<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	60 feet	20 feet	N
Adjacent development matching setback	11 feet	20 feet	Y
Trash Enclosure	50 feet	10 feet	N

The applicant has requested a Variance (VAR-17732) to address the residential adjacency and trash enclosure issues.

Per Title 19.12, the following standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	17 Trees	19 Trees	Y
Buffer: Min. Trees	1 Tree/ 20 Linear Feet along east property line (Rancho Drive)	28 Trees	37 Trees	Y
	1 Tree/ 30 Linear Feet along remaining property lines	37 Trees	41 Trees	Y
	15 Feet along east property line (Rancho Drive)		15 Feet along east property line	Y
Min. Zone Width	8 Feet along remaining property lines		8 Feet along remaining property lines	Y

SDR-17730 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Restaurant with drive-through	2,400 sf	1/100 sf	24				
Retail	11,000 sf	1/175 sf	63				
Car wash	3,173 sf	2/stall	10				
TOTAL			97	4	101	4	Y
Loading Spaces	16,573 sf		2		2		Y

ANALYSIS

The site is currently undeveloped. The property immediately to the east is developed with a single family subdivision. The applicant proposes to construct an 11,000 square-foot retail/office building in the east portion of the property, and a 2,400 square-foot fast food restaurant in the north portion. Where adjacent to the east property line, the retail/office building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

The applicant also proposes to place five auto-vacuum stations 10 feet from the east property line, and a five-bay car wash 52 feet from the east property line. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

Access to the site is from two 24-foot wide drives to Rancho Drive. Landscape buffers that comply with city standards are provided along all property lines. Landscape islands and trees in sizes and amounts that comply with city standards are provided in the parking lot. The elevations depict a plaster exterior, metal accents and a concrete tile roof.

SDR-17730 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

The following findings must be made:

1. The proposed development is compatible with adjacent development and development in the area;
2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;
4. Building and landscape materials are appropriate for the area and for the City;
5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;
6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

In regard to "1": The applicant proposes to place auto-vacuum stations and a car wash facility in close proximity to residential development. Staff finds that the noise and traffic impacts associated with a car wash facility are not compatible with the residential land uses immediately to the east.

In regard to "2": The applicant proposes to construct an 11,000 square-foot retail/office building that does not comply with the Residential Adjacency Standards of Title 19 adjacent to the east property line. This building has a height of 20 feet. Based on the Residential Adjacency standards, this building should be setback 60 feet from the east property line. However, the applicant has requested a Variance (VAR-17732) to allow the setback to be reduced to 20 feet, and to allow two trash enclosures to be 10 feet from the east property line where 50 feet is the minimum setback required. Because there is no hardship associated with this site, and because a site plan can be devised which would allow compliance with the Residential Adjacency standards, staff is recommending denial of this variance.

In regard to "3": The site will have access from Rancho Drive, a 200-foot wide Primary Arterial as shown on the Master Plan of Streets and Highways. The proposed layout should not negatively impact Rancho Drive or neighboring traffic.

SDR-17730 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

In regard to “4”: Building materials include a plaster exterior, metal accents and a concrete tile roof, which are appropriate for commercial development in this area of the City. Landscaping materials are acceptable and are appropriately placed for purposes of screening and beautification.

In regard to “5”: The inability of the applicant to devise a site plan that complies with the Residential Adjacency standards and the placement of car wash facilities in close proximity to residential land uses indicate that the design characteristics of this proposal are too intense for this site.

In regard to “6”: The proposed development will be subject to regular inspections for permitting and licensing and will; therefore, not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 9

ASSEMBLY DISTRICT 1

SENATE DISTRICT 4

NOTICES MAILED 296 (Mailed with VAR-17732)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17730** APN: **138-02-102-014**

Name of Property Owner: **SF INVESTMENTS LLC**

Name of Applicant: **PERKOWITZ & RUTH, ARCHITECTS**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

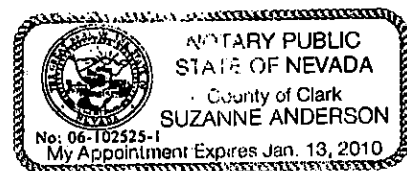
APN: _____

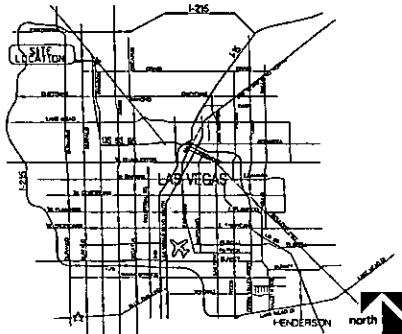
Signature of Property Owner: _____

Print Name: **Stephen S. Azanberg**

Subscribed and sworn before me

This **23** day of **Oct**, 2006
Suzanne Anderson *Clark County of NV.*
Notary Public in and for said County and State





VICINITY MAP

SCALE: N.T.S.

SITE SUMMARY **LAND AREA**

BUILDING AREA
BUILDING COVERAGE
CURRENT/PROPOSED ZONING
SETBACKS REQUIRED:
FRONT
REAR
SIDES

APPROX. 2.56 ACRES
(155,074 S.F. +/-)
16,573 SF
10.6% AC
C-2 General Commercial

APN:

138-02-102 14

PARKING ANALYSIS:

TOTAL S.F.
RESTAURANT-FAST-FOOD
RETAIL / OFFICE
CAR WASH (SELF)
TOTAL REQ'D
PROVIDED (INCL. 4 HC required 2% of total spaces required)

	16,573 S.F.	REQ'D
2,400 S.F. @ 1/ 100 SF		24
11,000 S.F. @ 1/ 175 SF		62
3,173 @ 2/STALL		11
		97
		101

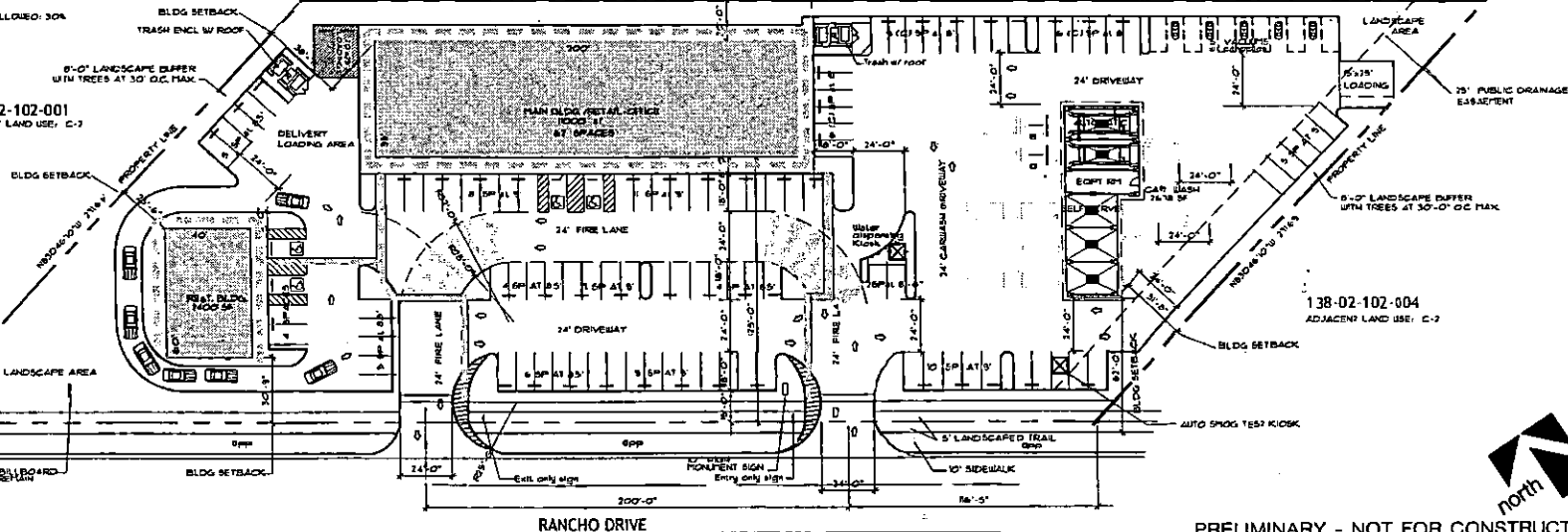
SYMBOLS & LEGEND

ACCESSIBLE ROUTE
FIRE ACCESS

PARKING BREAKDOWN

TOTAL PARKING SPACES REQUIRED: 97
TOTAL STANDARD SPACES REQUIRED: 104
SIZE: 9' X 18' = 68 SPACES (104)
PROVIDED: 60 SPACES
TOTAL COMPACT SPACES ALLOWED: 304
SIZE: 5' X 18' = 28 SPACES
PROVIDED: 31 SPACES

138-02-102-001
ADJACENT LAND USE: C-2



RANCHO DRIVE

PRELIMINARY - NOT FOR CONSTRUCTION
THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.



3680 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-8500
702-892-8514 fax
www.prarchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

Perkowitz + Ruth
ARCHITECTS

RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date	10/24/06
Drawn By	MLG
Checked By	Mary Veneble
Project No.	06-537-11
File Name	00653711-SITE01.dwg
Scale	1" = 60'



VAR-17732

SITE PLAN SCALE: 1" = 60'-0"

SDR-17730

12/21/06 PC

OCT 24 2006

DS-1



3900 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-8500
702-892-8514 fax
www.prarchitects.com
Corporate Office:
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Regional Offices:
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Washington, DC
Las Vegas, NV

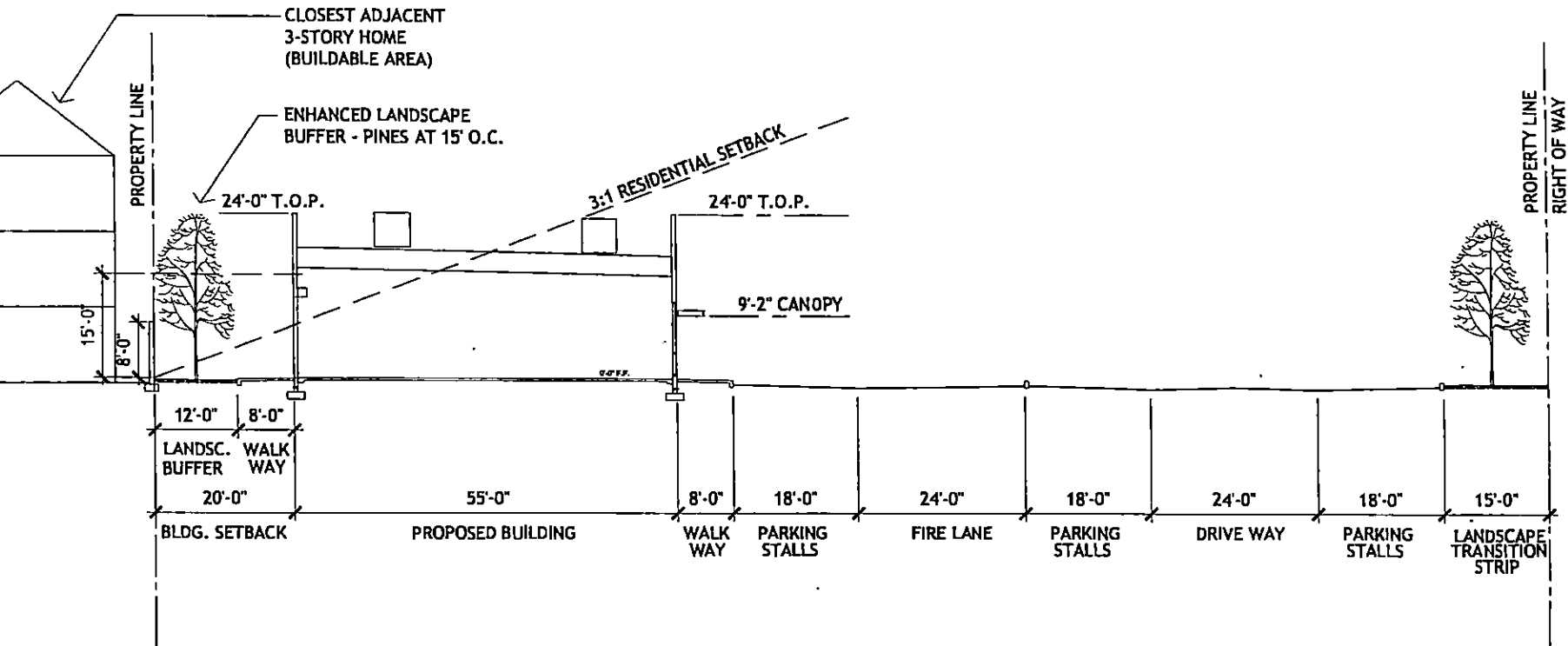
Perkowitz + Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date 10/24/06
Drawn By MLG/RG
Checked By
Project No. 06-537-11
File Name 06-537-SD.dwg
Scale 1/8" = 1'-0"

MAIN BLDG.

SELEV 1



VAR-17732

SLOPE RENDERING.

1

10/22/06 SCALE: 1/8" = 1'-0"

12/21/06 PC SDR-17730

OCT 24 2006



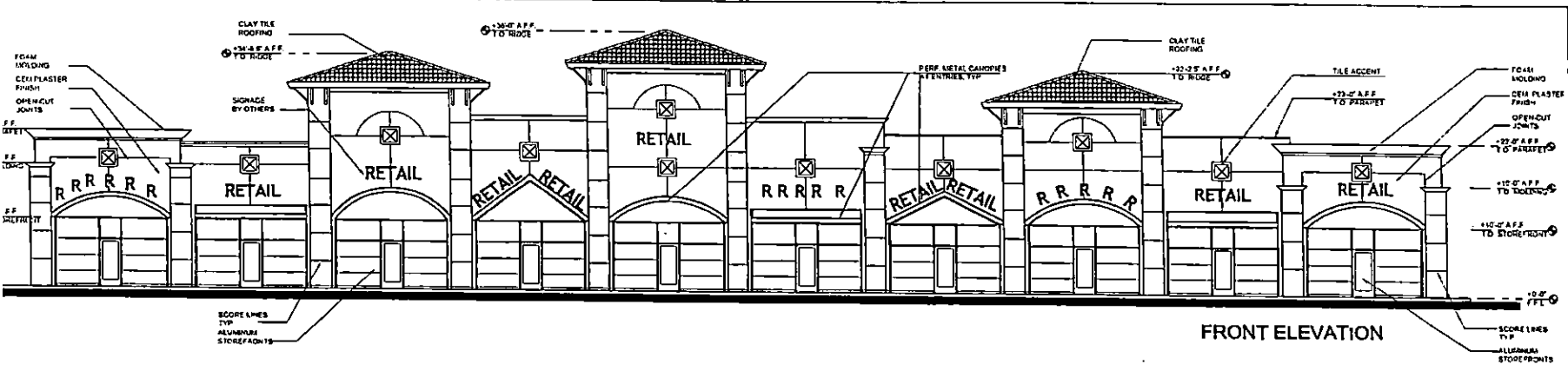
3380 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-892-8500
702-892-8514 fax
www.prarchitects.com
Corporate Office:
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Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

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4700 N Rancho Dr
Las Vegas, NV

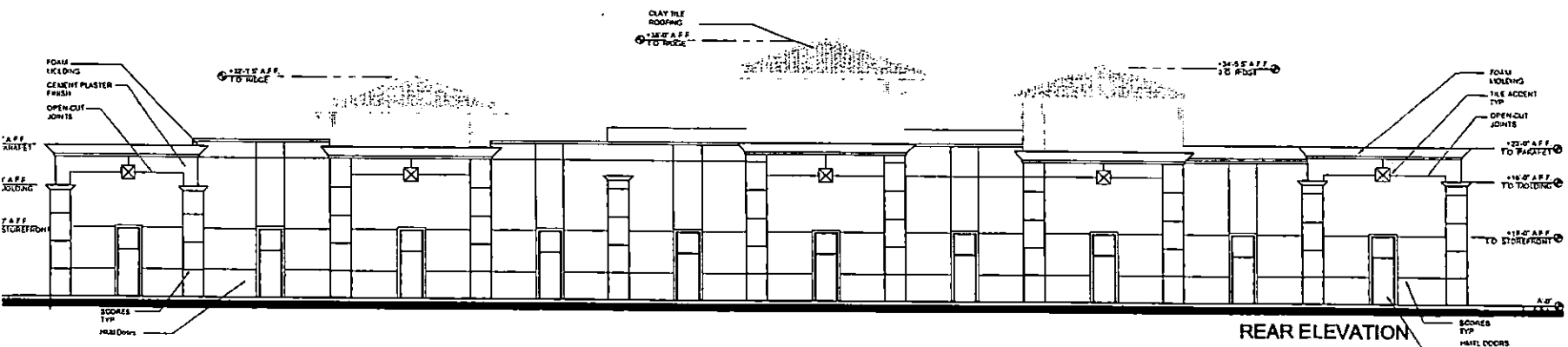
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Checked By: Mary Verbeke
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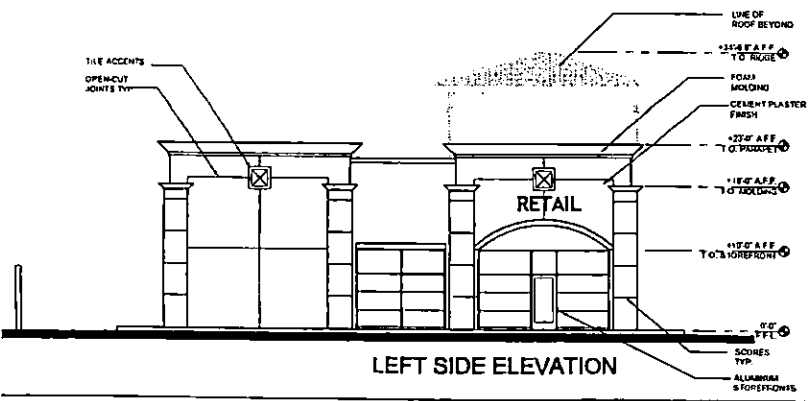
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ELEV. 1 (M)



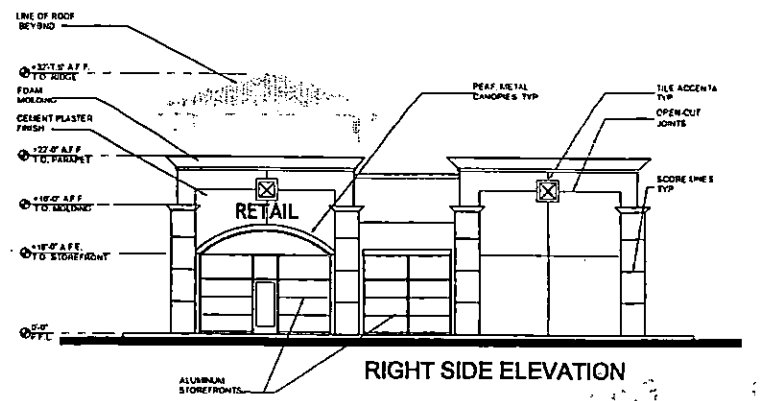
FRONT ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

VAR-17732
SDR-17730

PROPOSED BUILDING ELEVATIONS

10/24/06 SCALE: 1/16" = 1'-0"

12/21/06 PC

OCT 24 2006



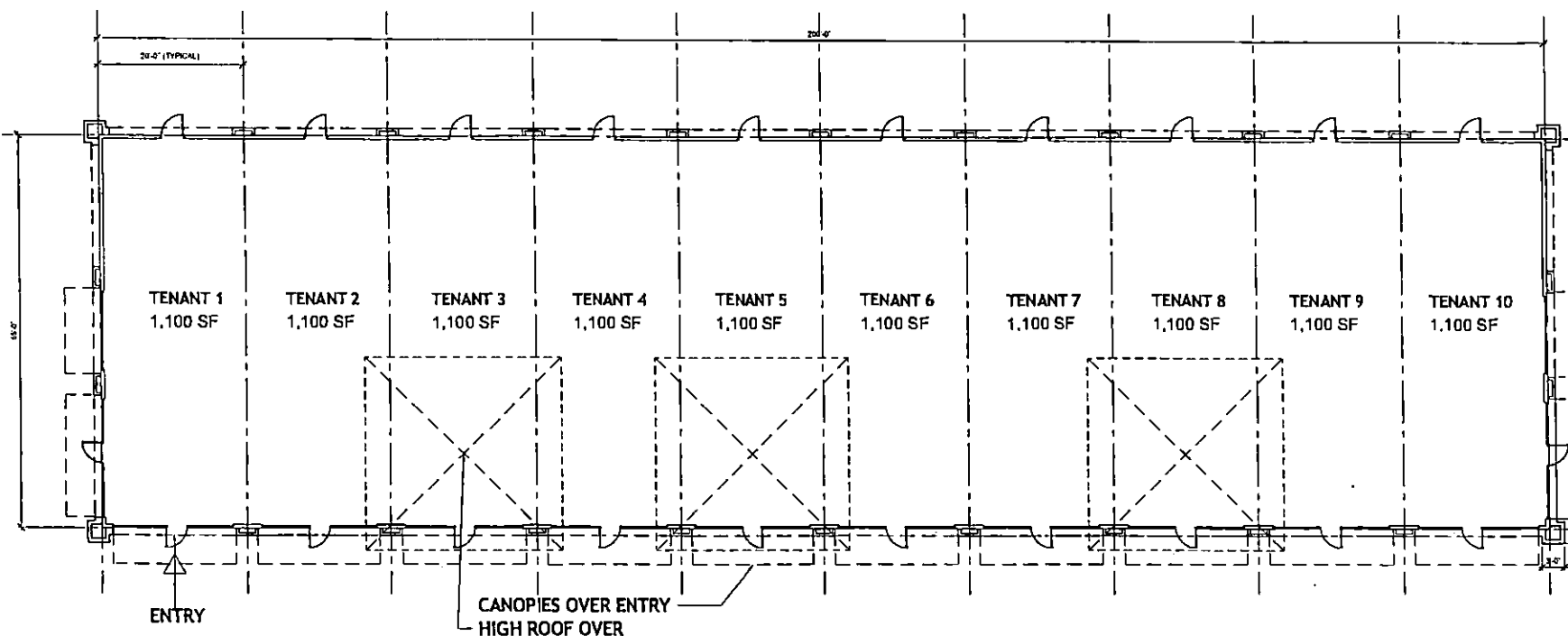
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4700 N Rancho Dr
Las Vegas, NV

Revisions

Date 10/24/06
Drawn By MLG/RS
Checked By
Project No 06-537-N
File Name 06-537-NLI Advg
Scale 1/8" = 1'-0"

MAIN BLDG.
FLR 1 (M)



12/21/06 PC
VAR-17732
SDR-17730

PROPOSED FLOOR PLAN MAIN BUILDING

10/22/06 SCALE 1/8" = 1'-0"

OCT 24 2006



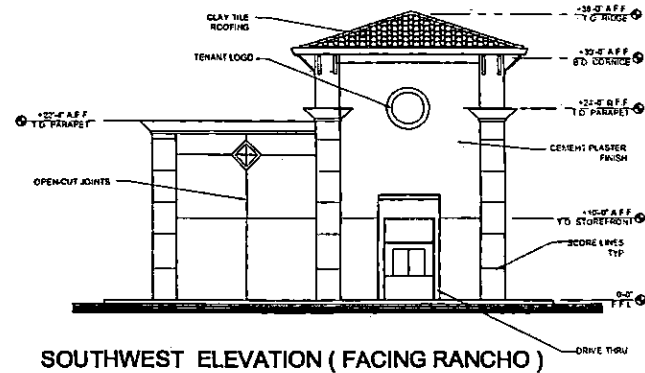
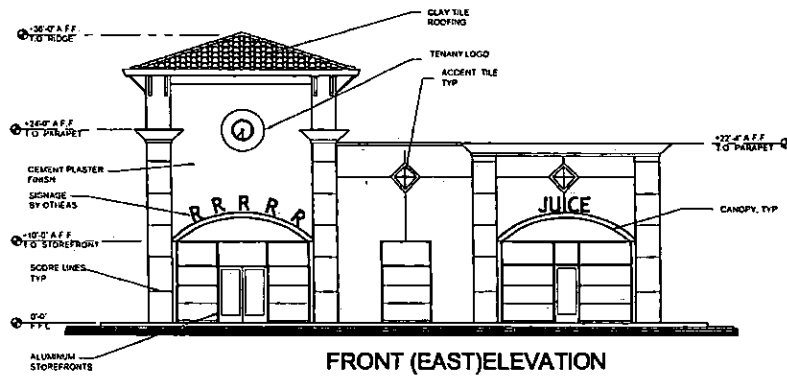
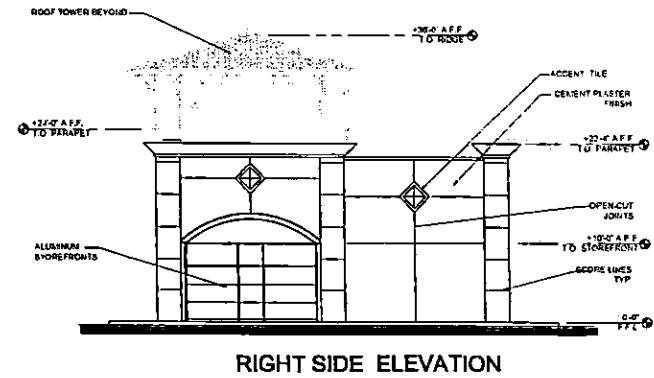
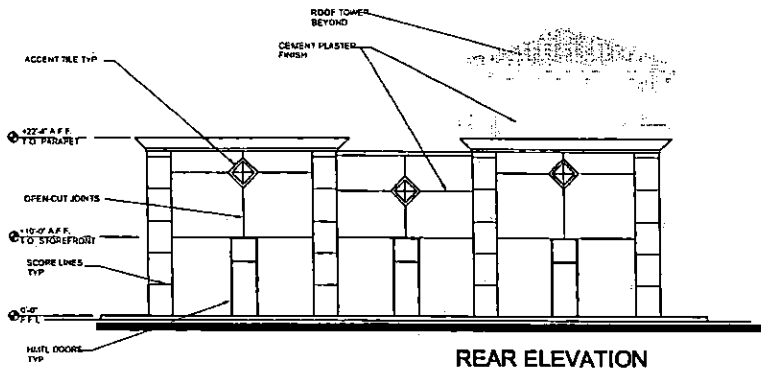
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Perkowitz + Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N. RANCHO DR
LAS VEGAS, NEVADA

Revisions

Date: 10/24/09
Drawn By: MLG
Checked By: Mary Venable
Project No: 88-537-11
File Name: 08-537-21 B.dwg
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STARBUCKS
ELEV 1 (S)

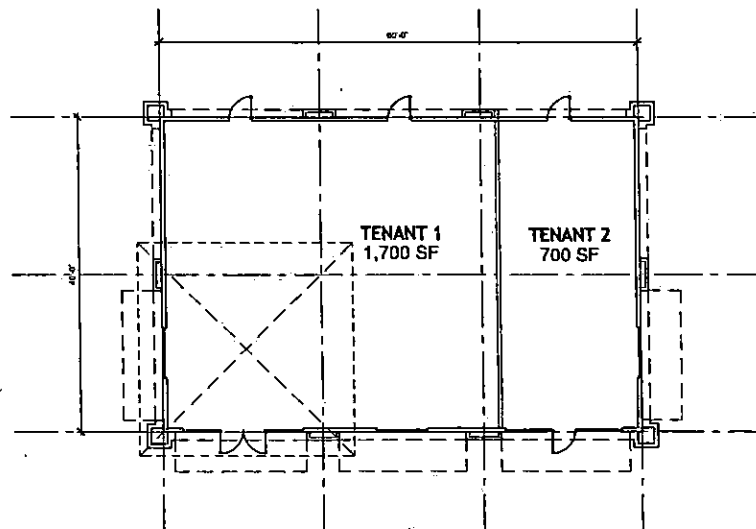


12/21/06 PC
VAR-17732
SDR-17730

PROPOSED BUILDING ELEVATIONS

1/0002/08 SCALE: 1/16" = 1'-0"

OC 24 2006



12/21/06 PC

VAR-17732

SDR-17730

PROPOSED FLOORPLAN STARBUCKS

10/02/06 SCALE: 1/16" = 1'-0"

1



PR

3350 Howard Hughes Pkwy.
Suite 450
Las Vegas, NV 89109
702-632-8300
702-692-8514 fax
www.prarchitects.com
Corporate Office:
Long Beach, CA
Regional Offices:
Newport Beach, CA
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Las Vegas, NV

Parkowitz & Ruth
ARCHITECTS
RANCHO COMMERCE PARK
4700 N Rancho Dr
Las Vegas, NV

Revisions

Date: 10/24/06
Drawn By: RG
Checked By:
Project No: 06-537-11
File Name: 06-537-A11 B.dwg
Scale: 1/16" = 1'-0"

STARBUCKS

FLR 1 (S)

OCT 24 2006



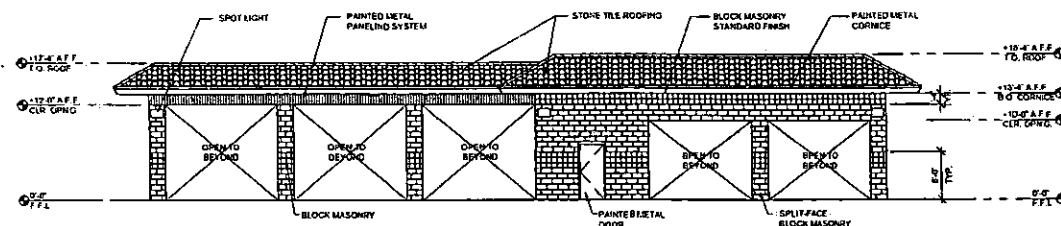
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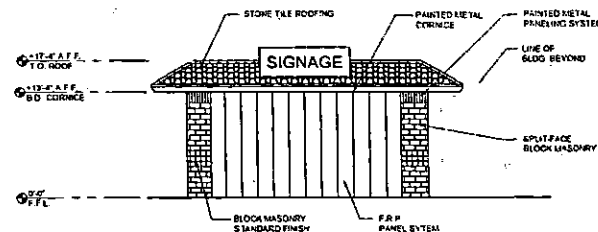
Revisions

Date: 10/24/06
Drawn By: MGS/RG
Checked By: Mary Varela
Project No: 06-537-11
File Name: 06-537-A21 Cdwg
Scale: 1/8" = 1'-0"

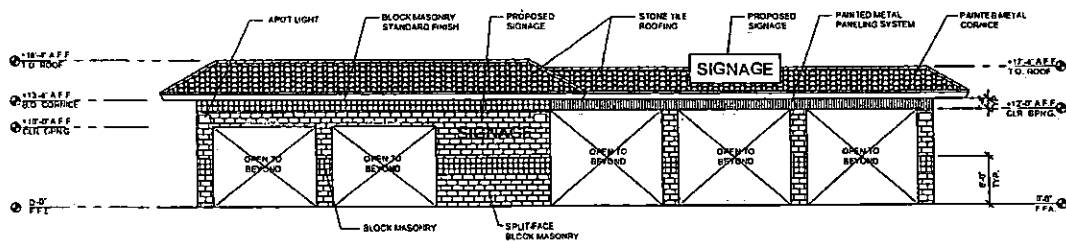
CARWASH
ELEV 1 (C)



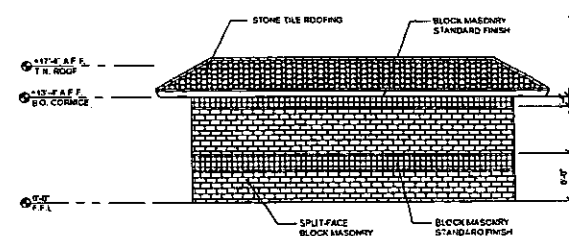
REAR ELEVATION



RIGHT SIDE ELEVATION



FRONT ELEVATION



LEFT SIDE ELEVATION

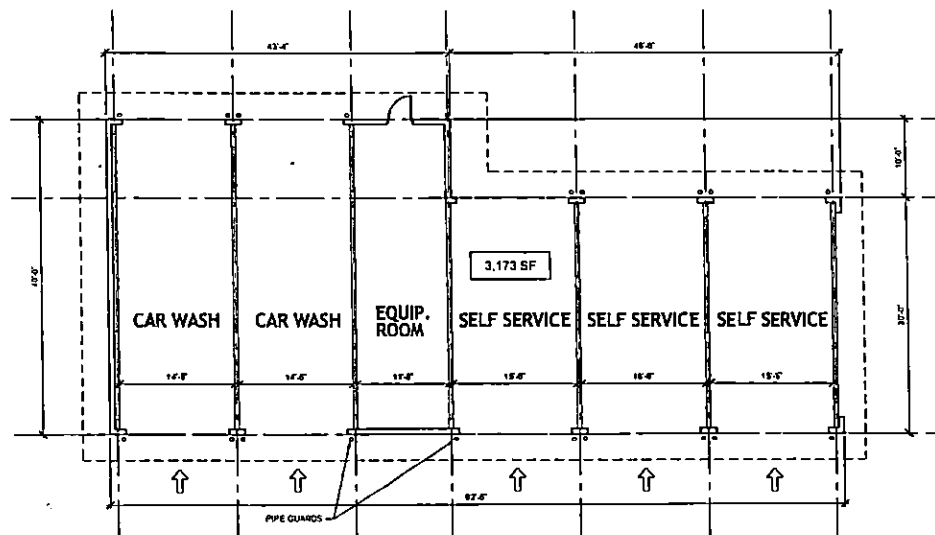
12/21/06 PC
VAR-17732
SDR-17730

PROPOSED BUILDING ELEVATIONS

1002/06 SCALE: 1/8" = 1'-0"

1

OCT 24 2006



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 Suite 450
 Las Vegas, NV 89109
 702-892-8500
 702-892-8514 fax
 www.prch2itects.com
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 Regional Offices:
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 Las Vegas, NV

Perkowitz-Roth
 ARCHITECTS
RANCHO COMMERCE PARK
 4700 N Rancho Dr
 Las Vegas, NV

Revisions	

Date 10/24/06
 Drawn By MLG/RG
 Checked By
 Project No 06-537-11
 File Name 06-537-111 C.dwg
 Scale 1/16" = 1'-0"

CAR WASH
 FLR 1 (C)

12/21/06 PC
VAR-17732
SDR-17730

PROPOSED FLOORPLAN CAR WASH

10/22/06 SCALE: 1/16" = 1'-0" OCT 24 2006

SDR 17730				
SF Investments				
4700 N Rancho				
Proposed 16.573 thousand square foot retail development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	11	42.94	472
AM Peak Hour			1.03	11
PM Peak Hour			3.75	41
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	CAR WASH, SELF SERVICE [STALL]	3	108.00	324
AM Peak Hour			8.00	24
PM Peak Hour			5.54	17
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	2.4	496.12	1,191
AM Peak Hour			53.11	127
PM Peak Hour			34.64	83
(heaviest 60 minutes)				
Total	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	16.573		1,987
AM Peak Hour				163
PM Peak Hour				141
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Rancho Drive				
Average Daily Traffic (ADT)	26,788			
PM Peak Hour	2143			
(heaviest 60 minutes)				

Lone Mountain Road				
Average Daily Traffic (ADT)	13,088			
PM Peak Hour (heaviest 60 minutes)	1047			
Torrey Pines Drive				
Average Daily Traffic (ADT)	4,550			
PM Peak Hour (heaviest 60 minutes)	364			
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Rancho Drive	34300			
Lone Mountain Road	16200			
Torrey Pines Drive	16200			
This project will add approximately 1,987 trips per day on Rancho and Lone Mountain. This will increase expected volumes by about 7 percent on Rancho, 15 percent on Lone Mountain and 44 percent on Torrey Pines. Rancho is at about 78 percent of capacity, Lone Mountain is at about 81 percent of capacity and Torrey Pines at about 28 percent of capacity.				
Based on Peak Hour use, this development will add roughly 141 additional cars into the area; which works out to about two every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



VAR-17732 AND SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS
4700 NORTH RANCHO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/06/06



VAR-17732 AND SDR-17730 - APPLICANT/OWNER: SF INVESTMENTS
4700 NORTH RANCHO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/06/06

October 24, 2006

Mr. Nathan Goldberg
City of Las Vegas
Current Planning Department
731 S. Fourth Street
Las Vegas, NV 89101

**RE: RANCHO COMMERCE PARK
APPLICATION FOR SITE DEVELOPMENT PLAN REVIEW AND
VARIANCE WITH WAIVERS
JUSTIFICATION LETTER**

Dear Mr. Goldberg:

Perkowitz+Ruth Architects, on behalf of SF Investments, LLC, respectfully requests Site Development Plan Review approval for a 2.5 acre parcel located on the north side of Rancho Drive, south of Lone Mountain.

The Rancho Commerce Park project is a proposed retail development with three buildings: a restaurant pad building with drive-thru, an inline retail/office building, and a self-service car wash. There are also small kiosks for smog check and a water vending machine. The general retail, office, car wash and restaurant uses are permitted uses in the C-2 zoning. The proposed uses are similar to the existing commercial uses in this neighborhood, and we believe will provide welcome services to the residential neighbors.

The smog check is a conditional use in C-2. The equipment for this proposed use will easily be housed in a building smaller than the 400 s.f. cited in Title 19 as a condition. We will request a Special Use Permit for the smog check (at a later date), as the equipment will be inside the kiosk when the smog check is closed.

We request waivers for the following items;

1. Fewer tree fingers in parking lot than one every 6 spaces. In compensation, we are providing an enlarged landscape area in the northwest corner of the property along Rancho.
2. Entry drive throat depth of less than 50'. Because the lot is shallow from front to back, the normal throat depth of 50' would seriously restrict circulation onsite. To alleviate any potential problem, we have made two driveways, a right-in and a right-out, and have maintained the 50' throat at the drive-thru exit. We have asked NDOT to approve our having two driveways on this street frontage.

**VAR-17732
12/21/06 PC SDR-17730**

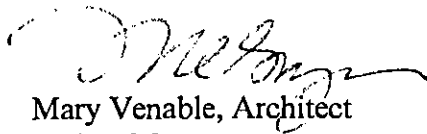
OCT 24 2006

3. Residential adjacency height limit. The adjacent homes are 3-story homes and are taller than the proposed building. A waiver to this condition was previously approved by the City Council for a proposed commercial building on this site. The height restriction, if not waived, would drastically limit the use of this lot and access into the lot because of awkward building placement. With the proposed configuration, the building serves as a buffer between the homes and the parking area and street, resulting in reduced noise and pollution near the homes.

We do not foresee any particular issues or problems associated with this location.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS



Mary Venable, Architect
Project Manager
Maria Luisa Guzman
Project Manager

Cc: File No. 5.2

12/21/06 PC VAR-17732
SDR-17730

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

**ABEYANCE - ZON-17242 - REZONING - PUBLIC HEARING -
APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E
(RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2
UNITS PER ACRE) on 2.86 acres at the northwest corner of Bradley Road and Deer Springs
Way (APN 125-24-203-022), Ward 6 (Ross).**

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

**DUNNAM – APPROVED subject to conditions – UNANIMOUS with EVANS and
TRUESDELL excused**

To be heard by City Council on 1/17/2007

MINUTES:

**CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 27 [ZON-17242], Item
28 [VAR-17244] and Item 29 [SDR-17247].**

**JOHN KORKOSZ, Department of Planning and Development, reported that the proposed
development standards closely match that of the Redevelopment Zoning District rather than to its
current Residential Estates (RE) zoning; however; the Variance request is a self-imposed
hardship and he recommended denial.**

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 27 – ZON-17242

MINUTES – Continued:

DAVE CLAPSADDLE, GC Garcia, 1711 Whitney Mesa Drive, Henderson, Nevada, appeared on behalf of the applicant. He noted the parcel's size and location and described the relation of the five lots proposed with that of existing lots. MR. CLAPSADDLE detailed the Centennial Hills Plan and stated that the proposed site would offer 1.75 units per acre. He presented pictures of the surrounding area and explained the reason for the landscaping waiver is due to the lack of existing landscaping along Deer Springs Way. He respectfully requested approval.

TODD FARLOW, 240 North Nineteenth Street, questioned if there would be any contributions made to parks or toward the community in lieu of landscaping. DOUG RANKIN, Department of Planning and Development responded that the landscaping requirement is for street landscaping and the site is not subject to open space requirements because it is less than 12 lots.

Upon COMMISSIONER DUNNAM'S request, MR. CLAPSADDLE indicated that a neighborhood meeting was held but the only person who appeared was a property owner to the west. He did not object to the project and there have not been any letters of opposition.

COMMISSIONER DAVENPORT inquired about the minimum lot size of the homes and whether the applicant changed his mind about the number of lots. MR. CLAPSADDLE assured the Commission that if anyone else would attempt to propose something different, they would need to be heard in a public forum. He committed to the size of the lots as depicted on the site plan.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 27 [ZON-17242], Item 28 [VAR-17244] and Item 29 [SDR-17247].

(8:14 – 8:23)

2-858

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17247) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate an additional 5 feet of right-of-way for a total radius of 25 feet on the northwest corner of Bradley Road and Deer Springs Way and grant a traffic signal chord easement.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 27 – ZON-17242

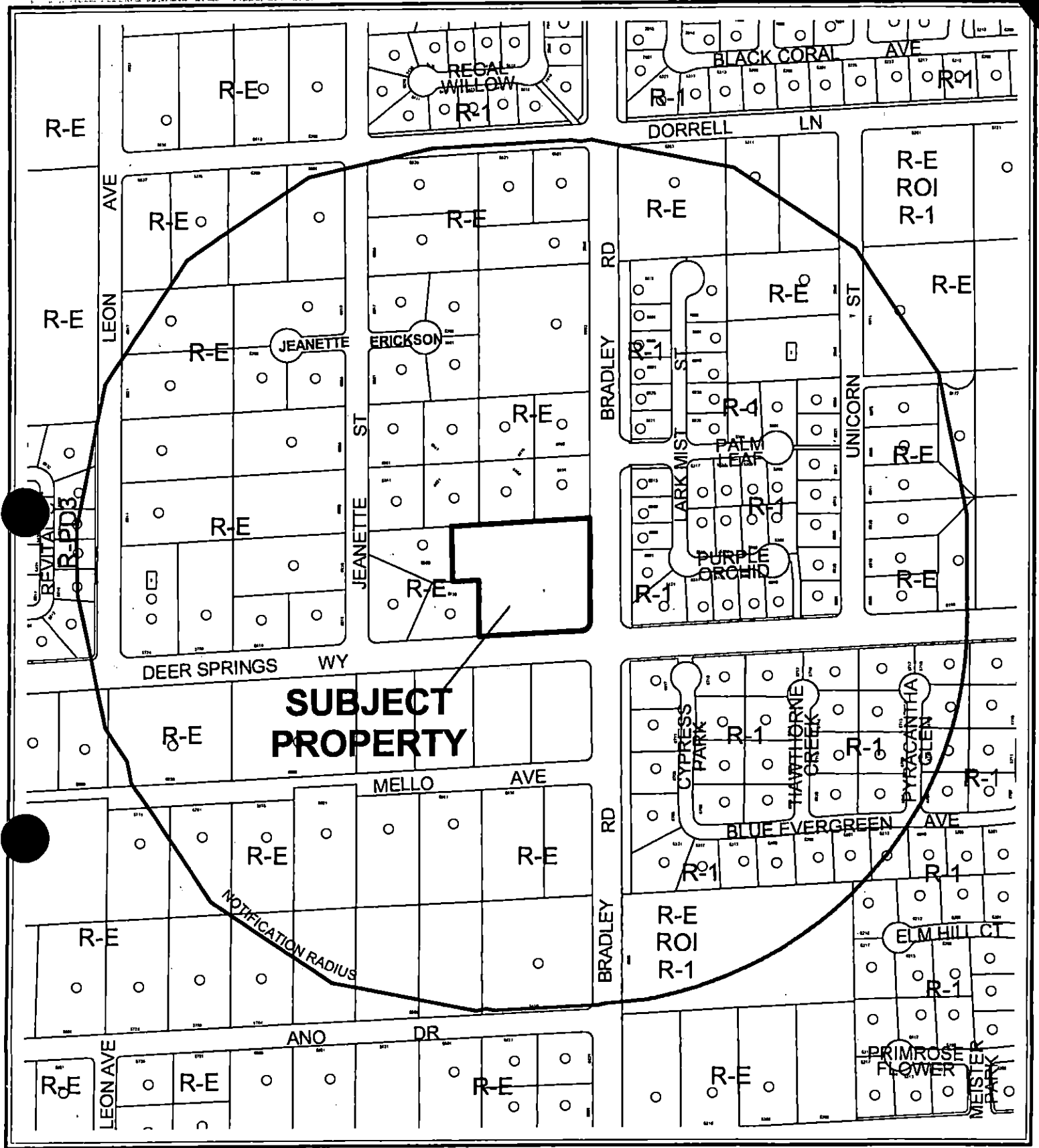
CONDITIONS – Continued:

4. Construct all incomplete half-street improvements, including appropriate transitional paving, on Bradley Road and Deer Springs Way adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.
6. Coordinate with the Collection Systems Planning Section of the Department of Public Works to extend public sewer in the private street to the existing residences west of this site at a location and to a depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 27 – ZON-17242

CONDITIONS – Continued:

or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: **ZON-17242**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

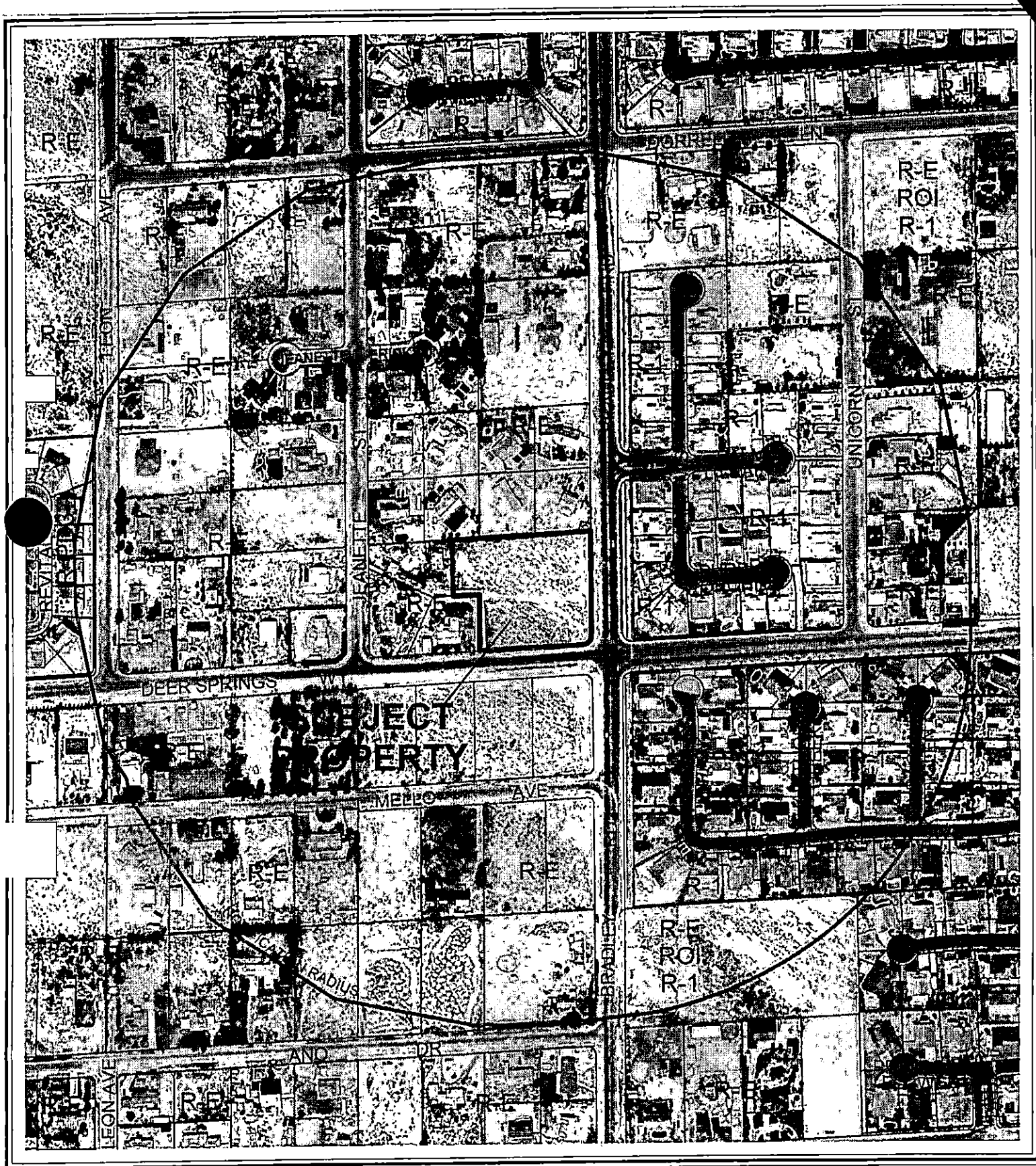
R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet





0 200 400 Feet

CASE: **ZON-17242**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - ZON-17242 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17247) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate an additional 5 feet of right-of-way for a total radius of 25 feet on the northwest corner of Bradley Road and Deer Springs Way and grant a traffic signal chord easement.
4. Construct all incomplete half-street improvements, including appropriate transitional paving, on Bradley Road and Deer Springs Way adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

ZON-17242 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

6. Coordinate with the Collection Systems Planning Section of the Department of Public Works to extend public sewer in the private street to the existing residences west of this site at a location and to a depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17242 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Rezoning from R-E (Residence Estates) to R-PD2 (Residential Planned Development - 2 Units Per Acre).

The proposed rezoning to and R-PD2 (Residential Planned Development – 2 Units Per Acre) is not considered appropriate for this location. The parcel does not meet the minimum lot size for Residential Planned Development and a Variance (VAR-17244) is required. The lot sizes that result from this rezoning are approximately 4,000 square feet smaller than what is currently permitted on this property. The setbacks that would result are more closely related to those of the R-D (Single-family Residential-Restricted) District than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
11/16/06	Companion items for a Variance (VAR-17244) and a Site Development Plan Review (SDR-17247) were held in abeyance.
12/21/06	Companion items for a Variance (VAR-17244) and a Site Development Plan Review (SDR-17247) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the site was located in the Rural Preservation Overlay District Buffer. The applicant stated that these would be a mix of one and two-story homes and that the cul-de-sac would align with the western portion that is already developed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	2.86
Net Acres	2.26

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
North	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)

NG

ZON-17242 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

South	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)
East	Single-family Residential	ML (Medium Low Density Residential)	R-1 (Single-family Residential)
West	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	16,030 SF
Min. Lot Width	91.79 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Max. Building Height	29.5 Feet

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units per Acre	Seven (Only Five are Proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acres)	2.49 Units per Acre	L (Low Density Residential)	5.49 Units Per Acre)

ZON-17242 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Per Title 19.06.040, the following parking standards apply:

Open Space

Residential Planned Developments with less than 12 units are not required to provide open space. This development proposes five-lots and open space is not required. It is noted that the applicant is providing a six-foot streetscape area along Bradley Road (Common Lot A) that includes landscaping that meets Code requirements. The applicant is requesting a waiver of the streetscape requirements along Deer Springs Way.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per unit. Each unit proposes a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is not considered appropriate. The parcel does not meet the requirements of Title 19.06.040 for Residential Planned Development as it is less than five acres in area. The subject property is 43 percent deficient in acreage. This deviation requires a Variance (VAR-17244) and denial of that variance is recommended. It is further noted that this rezoning to an R-PD2 (Residential Planned Development – 2 Units Per Acre) District would permit the applicant to develop one additional lot on the property than what would currently be permitted under the R-E (Residence Estates) District. The result is lot sizes of just over 16,000 square feet where 20,000 square feet is currently the minimum permitted. The smaller lots create shorter setbacks. The proposed development standards make the site incompatible with the surrounding neighborhood. Denial of this request is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

The proposed R-PD2 (Residential Planned Development – 2 Units Per Acre) District would be in compliance with the General Plan, which is L (Low Density Residential). It is noted that this General Plan Designation is not reflective of the development in the neighborhood. The area is primarily R-E (Residence Estates) zoned with lot sizes of over 20,000 square feet. This is more typical of the RNP (Rural Neighborhood Preservation) land use designation. While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes, the required Variance, and waivers of streetscape standards.

ZON-17242 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller than adjacent lots and additional deviations from standards that make the proposed project incompatible with the area.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining an additional lot over what would otherwise be permissible under the current zoning designation.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

Site access is provided from Deer Springs Way, an 80-foot Secondary Collector. This street will provide adequate access to the proposed development.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 150 [Mailed with VAR-17244 & SDR-17247]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17242** APN: 125-24-203-022

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

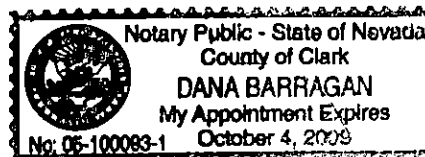
APN _____

Signature of Property Owner: *Cheryl Kypreos*

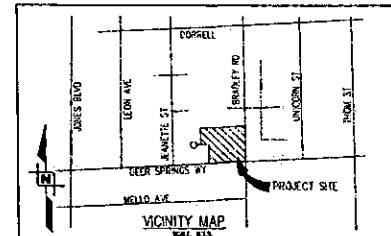
Print Name: Cheryl Kypreos

Subscribed and sworn before me

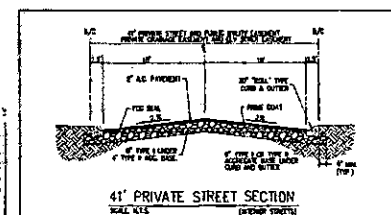
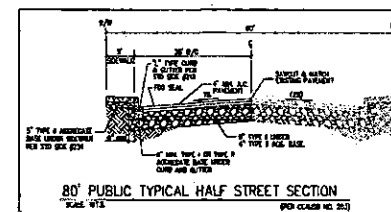
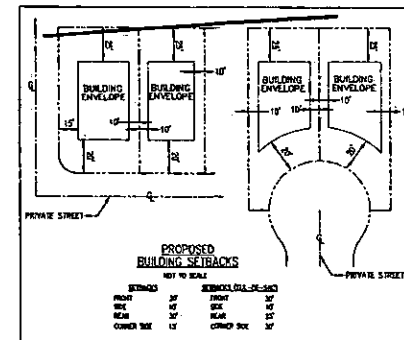
This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State



**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT-2 UNITS PER ACRE)
APN# 125-24-203-022**



RECEIVED
OCT 02 2006



ZON-17242
12/21/06 PC

OWNER INFORMATION
APR 9 125-24-223-072
TONGA HOMES
7575 N. SHAWANA AVE.
LAS VEGAS NV 89117

DEVELOPER
 CIRCLE DESIGN
 1872 W. BROADWAY AVE.
 LOS ANGELES, CA 90017

ENGINEER
URGENT ENGINEERS
7425 PEAR DRIVE
LAS VEGAS, NEVADA 89120
TEL. (702) 833-7001 FAX (702) 834-0011
CEN 100

ADDITIONS PARCEL NUMBER: 425-24-203-024
CURRENT ZONING: R-1
PROPOSED ZONING: R-40
GROSS ACRES: 2.08
NUMBER OF LOTS: 1
COMMON LOTS:
DU/AC: 3.75
MINIMUM LOT SIZE: 18,000 SQ. FT.

WRIGHT
client driven

7413 PEAK DRIVE LAS VEGAS, NEVADA 89128
 P 702.733.7500 F 702.733.7001 WWW.WIGGINTON.COM

[illegible]

ENGLER HOMES	DATE:
7872 WEST SAGUARO AVE.	CHECK NO. 1
LAS VEGAS, NEVADA 89117	CHECK NO. 2
TEL (702) 586-2121 FAX (702) 586-0434	

ENGLE HOMES
FALCON CREST UNIT 1
SITE PLAN -DEER SPRINGS WAY

DATE: 9/28/78
DRAWING BY: E.B.
PROJECT NO: 04C-182
PRO ECT NO: 1-47
SCALE: 1"=4'



SHEET
51
1 OF 1 SHEETS
DRAWING NO



September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 1 (APN 125-24-203-022).

Our client intends to develop five single-family homes on the site. The site is currently designated L (Low Density Residential) in the City's Master Plan, which allows for densities up to 5.5 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 2.86 u.p.a., is far below the Low Density threshold of 5.5 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 16,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan conforms to Title 19 regulations, with the exception of the minimum site size requirement of 5 acres for R-PD developments (a request for a Variance to this requirement is also being filed), and a waiver of the perimeter landscaping strip along Deer Springs Way (the one on Bradley Road is being provided). The reason for this waiver is to have the project match the lots to the west of the cul-de-sac entrance, where no landscape buffer exists. This waiver is requested as part of this Site Development Plan Review.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leebold, AICP
Director of Planning

7425 Peal Drive
Las Vegas, NV 89126
Tel. 702.933.7000
Fax 702.933.7001
800.933.7611
wrighteng@aol.com

ZON-17242
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - VAR-17244 - VARIANCE RELATED TO ZON-17242 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 2.86 ACRES WHERE FIVE ACRES IS THE MINIMUM REQUIRED on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DUNNAM – APPROVED subject to conditions and adding the following as read for the record as follows:

- The standards for this development shall include a Minimum lot size of 16,000 square feet.
- **UNANIMOUS** with **EVANS** and **TRUESDELL** excused

To be heard by City Council on 01/17/2007

MINUTES:

See Item 27 [ZON-17242] for all related discussion.

(8:14 – 8:23)

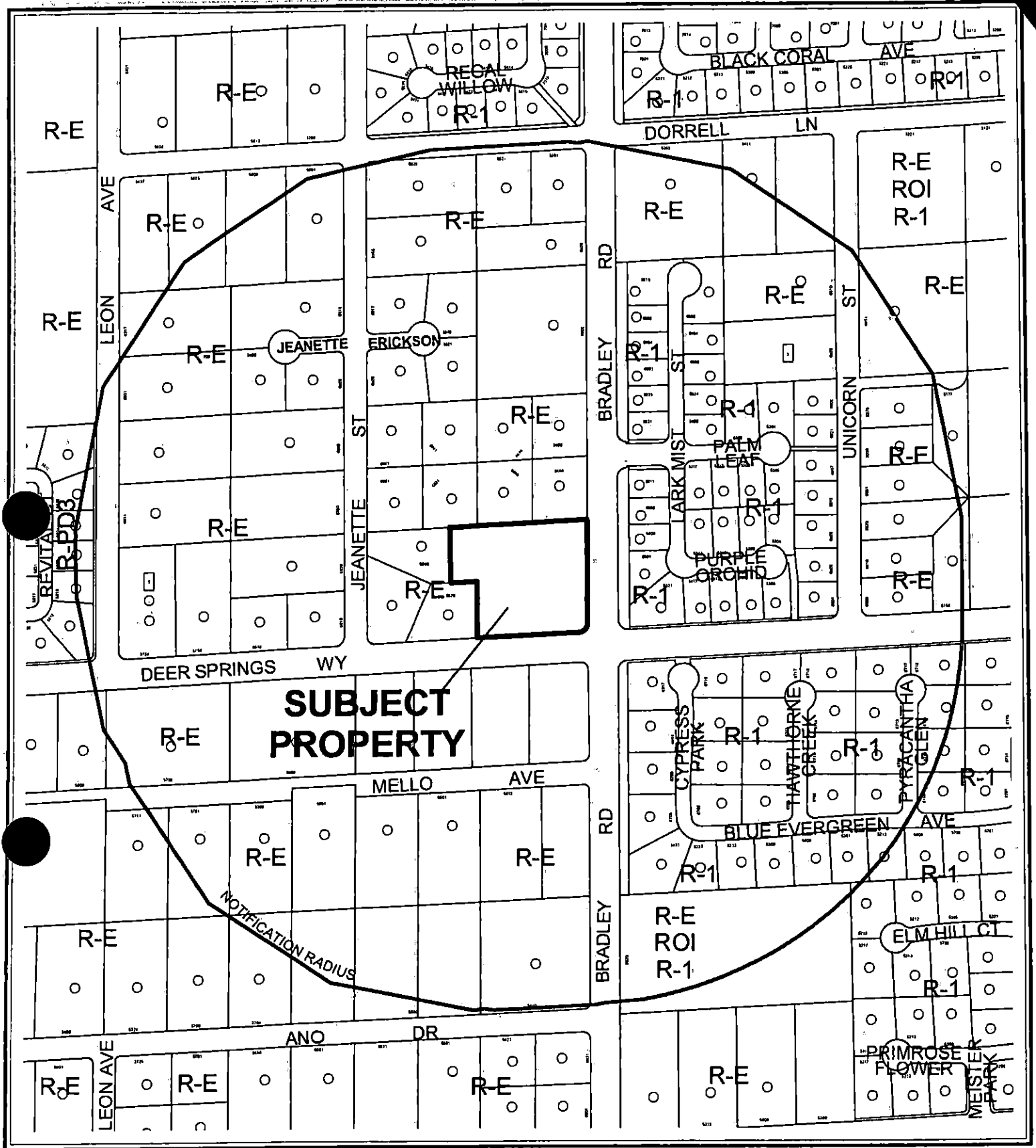
2-858

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 28 – VAR-17244

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17242) and Site Development Plan Review (SDR-17247), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



CASE: **VAR-17244**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-17244 - APPLICANT/OWNER: TOUSA HOMES, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17242) and Site Development Plan Review (SDR-17247), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17244 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

Request for a Variance to allow a residential planned development on 2.86 acres where five acres is the minimum required.

The proposed development is located on 2.86 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 57 percent of the required area. This is a 43 percent deviation from Title 19.06.040 standards. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property to accommodate the proposed development; therefore, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
11/16/06	Companion items for a Rezoning (ZON-17242) and a Site Development Plan Review (SDR-17247) were held in abeyance.
12/21/06	Companion items for a Rezoning (ZON-17242) and a Site Development Plan Review (SDR-17247) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the site was located in the Rural Preservation Overlay District Buffer. The applicant stated that these would be a mix of one and two-story homes and that the cul-de-sac would align with the western portion that is already developed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	2.86
Net Acres	2.26

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
North	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
South	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

NG

VAR-17244 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

East	Single-family Residential	ML (Medium Low Density Residential)	R-1 (Single-family Residential)
West	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	16,030 SF
Min. Lot Width	91.79 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	Seven (Only Five are Proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	L (Low Density Residential)	5.49 Units Per Acre

VAR-17244 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Open Space

Per Title 19.06.040 Residential Planned Developments with less than 12 dwelling units are not required to provide open space. This development proposes five-lots and open space is not required. It is noted that the applicant is proving a six-foot streetscape area along Bradley Road (Common Lot A) that includes landscaping that meets Code requirements. The applicant is requesting a waiver of the streetscape requirements along Deer Springs Way.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project provides a minimum of two parking spaces pre dwelling unit. Each unit proposes to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development is located on 2.86 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 57 percent of the required area. This is a 43 percent deviation from Title 19.06.040 standards.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. This particular development is an infill parcel. The adjacent parcels are zoned R-E (Residence Estates).

The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.040. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property to accommodate the proposed development; therefore, denial of this request is recommended.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

VAR-17244 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through requesting a zoning district that does not meet Code requirements. Alternative zoning would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 150 [Mailed with ZON-17242 & SDR-17247]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

VAR-17244

Case Number: _____ APN: 125-24-203-022

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

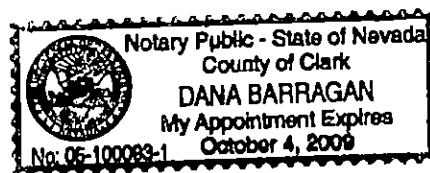
APN: _____

Signature of Property Owner: _____

Print Name: Cheryl Kypreos

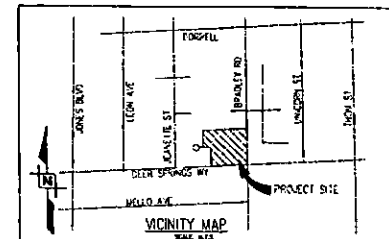
Subscribed and sworn before me

This 21st day of September, 2006
Dana Barragan
Notary Public in and for said County and State



SITE PLAN FOR FALCON CREST UNIT 1 BY ENGLE HOMES

**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT-2 UNITS PER ACRE)
APN# 125-24-203-022**



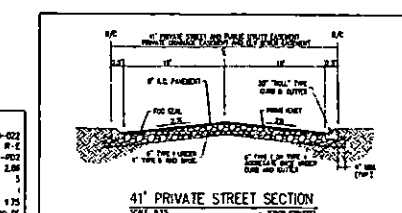
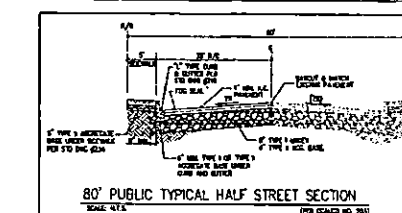
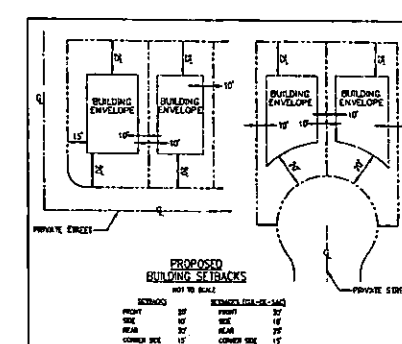
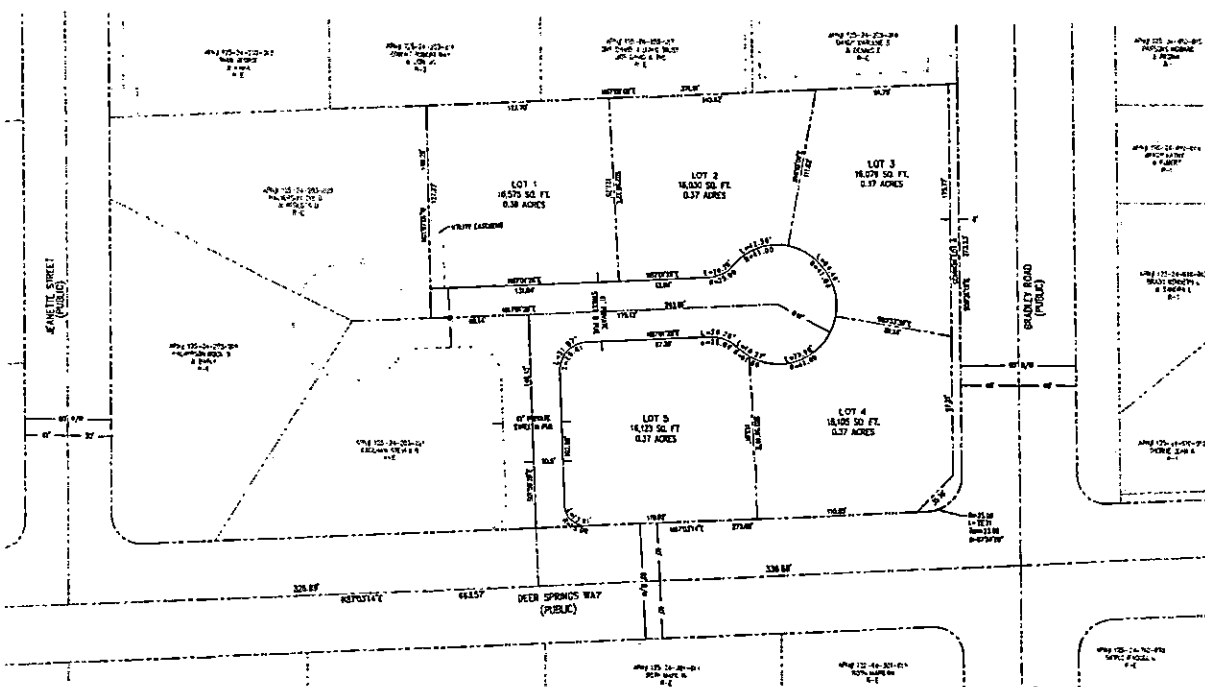
WRIGHT
Civil Engineer
125 EAST SPRINGS WAY
SUITE 100
DEER SPRINGS, IL 60015
TEL: 630-409-1100
FAX: 630-409-1101
WWW.WRIGHTCIVIL.COM

NO.	DATE	BY	FOR
1	10/2/06	WRIGHT	ENGLE HOMES

ENGLE HOMES	125 EAST SPRINGS WAY SUITE 100 DEER SPRINGS, IL 60015
CHECK NO. 1	DATE: 10/2/06
CHECK NO. 2	DATE: 10/2/06

ENGLE HOMES	FALCON CREST UNIT 1
SITE PLAN - DEER SPRINGS WAY	

DATE	10/2/06
DESIGNED BY	WRIGHT
PROJECT NO.	001192
SCALE	1"=40'
SHEET	51
1 OF 1 SHEETS	

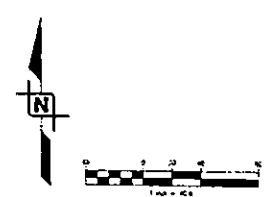


**RECEIVED
OCT 02 2006**

**VAR-17244
12/21/06 PC**

SITE DATA	
ASSISTING PARCEL NUMBER	125-24-203-022
CURRENT ZONING	R-2
PROPOSED ZONING	R-PD2
CROSS ACRES	2.86
NUMBER OF LOTS	5
COMMON LOTS	1
CU/AC	0.75
MINIMUM LOT SIZE	16,000 SF

OWNER INFORMATION	DEVELOPER	ENGINEER
ENG 125-24-203-022 BRIAN HARRIS 10710 S. VANALAN AVE LOS ANGELES, CA 90047	ENGLE HOMES 125 EAST SPRINGS WAY SUITE 100 DEER SPRINGS, IL 60015	WRIGHT CIVIL ENGINEER 125 EAST SPRINGS WAY SUITE 100 DEER SPRINGS, IL 60015 TEL: 630-409-1100 FAX: 630-409-1101 WWW.WRIGHTCIVIL.COM





September 28, 2006

CIVIL City of Las Vegas
STRUCTURAL Planning and Development Department
MECHANICAL 731 South 4th Street
ELECTRICAL Las Vegas, Nevada
PLUMBING 89101
PAINTING
LED

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 1 (APN 125-24-203-022).

Our client intends to develop five single-family homes on the site. The site is currently designated L (Low Density Residential) in the City's Master Plan, which allows for densities up to 5.5 u.p.a. The site is currently zoned R-E (Residence Estates).

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The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leebold, AICP
Director of Planning

VAR-17244
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-17247 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17242 AND VAR-17244 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED FIVE-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT AND A WAIVER OF THE STREETSCAPE REQUIREMENTS on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DUNNAM – APPROVED subject to conditions – UNANIMOUS with EVANS and TRUESDELL excused

To be heard by City Council on 01/17/2007

MINUTES:

See Item 27 [ZON-17242] for all related discussion.

(8:14 – 8:23)

2-858

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 29 – SDR-17247

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17242) and Variance (VAR-12244), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. A Waiver from streetscape requirements is hereby approved, to allow no streetscape along Deer Springs Way where six feet of streetscape is required.
5. The standards for this development shall include a Minimum lot size of 16,030 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
6. The setbacks for this development shall be a minimum of 20 feet to the front of the house, as measured from back of sidewalk or from back of curb if no sidewalk is provided, 10 feet on the side, 15 feet on the corner side, and 25 feet in the rear.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
9. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Department of Planning and Development must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
10. Air conditioning units shall not be mounted on rooftops.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

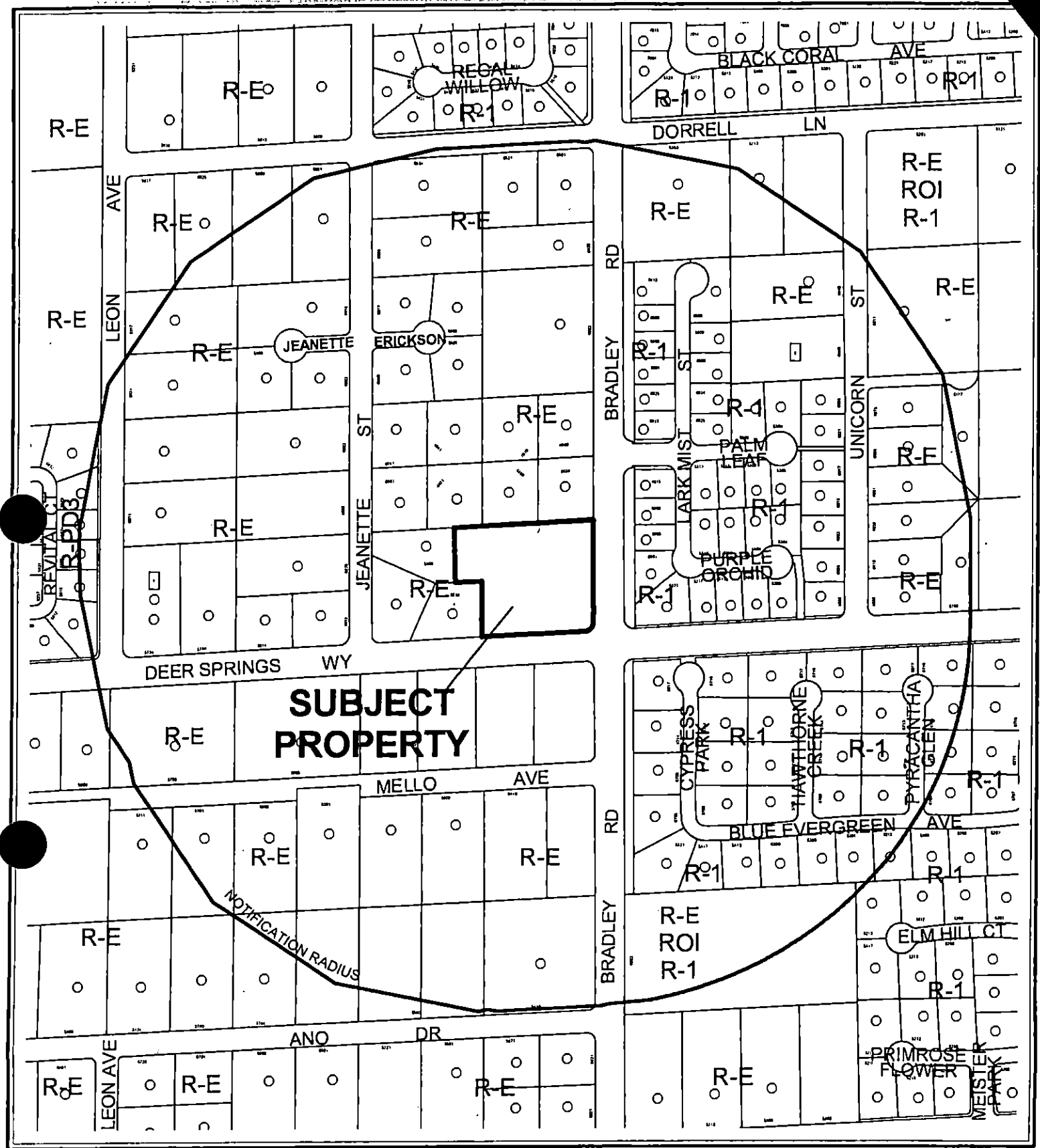
PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 29 – SDR-17247

CONDITIONS – Continued:

12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. The private entry street shall not be gated.
15. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17242 and all other applicable site-related actions.
17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.



CASE: SDR-17247

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - SDR-17247 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for Rezoning (ZON-17242) and Variance (VAR-12244), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. A Waiver from streetscape requirements is hereby approved, to allow no streetscape along Deer Springs Way where six feet of streetscape is required.
5. The standards for this development shall include a Minimum lot size of 16,030 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
6. The setbacks for this development shall be a minimum of 20 feet to the front of the house, as measured from back of sidewalk or from back of curb if no sidewalk is provided, 10 feet on the side, 15 feet on the corner side, and 25 feet in the rear.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
8. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
9. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

NG

SDR-17247 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

10. Air conditioning units shall not be mounted on rooftops.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. The private entry street shall not be gated.
15. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17242 and all other applicable site-related actions.
17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-17247 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is for a five-lot single-family residential subdivision. The site would be accessed by a cul-de-sac off Deer Springs Way. The project requires a Variance to allow a Residential Planned Development on less than five acres and a waiver of streetscape requirements along Deer Springs Way. These deviations are not supported as they are due to the applicants design choices. The proposed development standards more closely match the R-D (Single-family Residential-Restricted) District than the R-E (Residence Estates) that is currently in place on the site and is most prevalent in the area. The rezoning would permit five lots where four lots would be permitted under the current designation. Due to the deviations from standards and smaller lot sizes than the adjacent property, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
11/16/06	Companion items for a Rezoning (ZON-17242) and a Variance (VAR-17244) were held in abeyance.
12/21/06	Companion items for a Rezoning (ZON-17242) and a Variance (VAR-17244) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the site was located in the Rural Preservation Overlay District Buffer. The applicant stated that these would be a mix of one and two-story homes and that the cul-de-sac would align with the western portion that is already developed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	2.86
Net Acres	2.26

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
North	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
South	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

NG

SDR-17247 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

East	Single-family Residential	ML (Medium Low Density Residential)	R-1 (Single-family Residential)
West	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	16,030 SF
Min. Lot Width	91.79 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency Standards do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	Seven (Only Five are Proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	L (Low Density Residential)	5.49 Units Per Acre)

SDR-17247 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Open Space
Per Title 19.06.040 Residential Planned Developments with less than 12 dwelling units are not required to provide open space. This development is proposing five-lots and is not required to provide open space. It is noted that the applicant is providing a six-foot streetscape area along Bradley Road (Common Lot A) that includes landscaping that meets Code requirements. The applicant is requesting a waiver of the streetscape requirements along Deer Springs Way.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement
The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

Waivers		
Request	Requirement	Staff Recommendation
Streetscape requirements along Deer Springs Way. The applicant is requesting no streetscape and would like rural standards in this area.	6 Feet	This waiver is not supported and the applicant should provide the streetscape along Deer Springs Way.

ANALYSIS

The proposed development would consist of five lots. The smallest lot is 16,030 square feet. The largest lot is 16,575 square feet. The current R-E (Residence Estates) zone permits a minimum lot size of 20,000 square feet; therefore, with the current zoning a total of four lots would be permitted. The setbacks that are proposed are similar to the setbacks for the R-D (Single-family Residential-Restricted) District. These setbacks are much less than what is permitted in the R-E (Residence Estates) Zone. Elevations show one and two story homes. Materials will consist of stucco and Spanish tile. Colors will be white and tan stucco with tan and green accents.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. This particular development is an infill parcel. The adjacent parcels are zoned R-E (Residence Estates). The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.

SDR-17247 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

The proposed development would have five lots and would not require open space. It is noted that streetscape is required along both Bradley Road and Deer Springs Way. The applicant is providing the required six-foot wide streetscape along Bradley Road; however, a waiver is requested for the streetscape along Deer Springs Way. This is in an effort to maintain a rural appearance to the property. This waiver is not supported as the applicant has the room to provide for this landscaping and is opting not to provide the streetscape based on their design choices.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development is not considered compatible with the area. The adjacent cul-de-sac features three lots built to R-E standards. The proposed development consists of five lots and the proposed standards more closely match those of the R-D District.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is not consistent with Title 19. The project requires a Variance (VAR-17244) to allow a Residential Planned Development on less than five acres. Additionally, the project does not meet the intent of the Residential Planned Development District as defined in Title 19.06.040. The site also requires a waiver of streetscape standards along Deer Springs Way, as designed. Due to these several deviations from Title 19, denial of this request is recommended.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Site access is provided from Deer Springs Way an 80-foot Secondary Collector. This street will provide adequate access to the proposed development.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

SDR-17247 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 150 [Mailed with ZON-17242 & VAR-17244]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17247** APN: 125-24-203-022

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

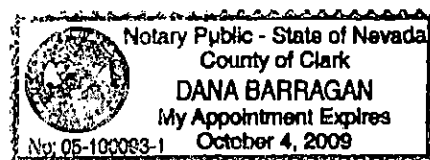
APN _____

Signature of Property Owner: *Cheryl Kypreas*

Print Name: Cheryl Kypreas

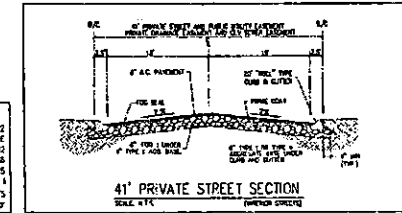
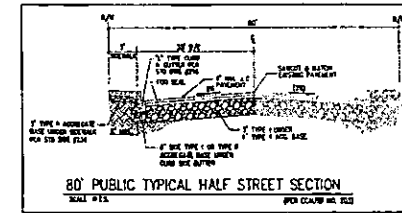
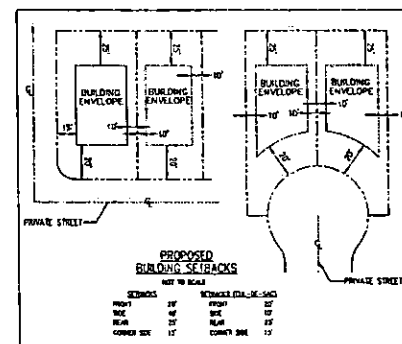
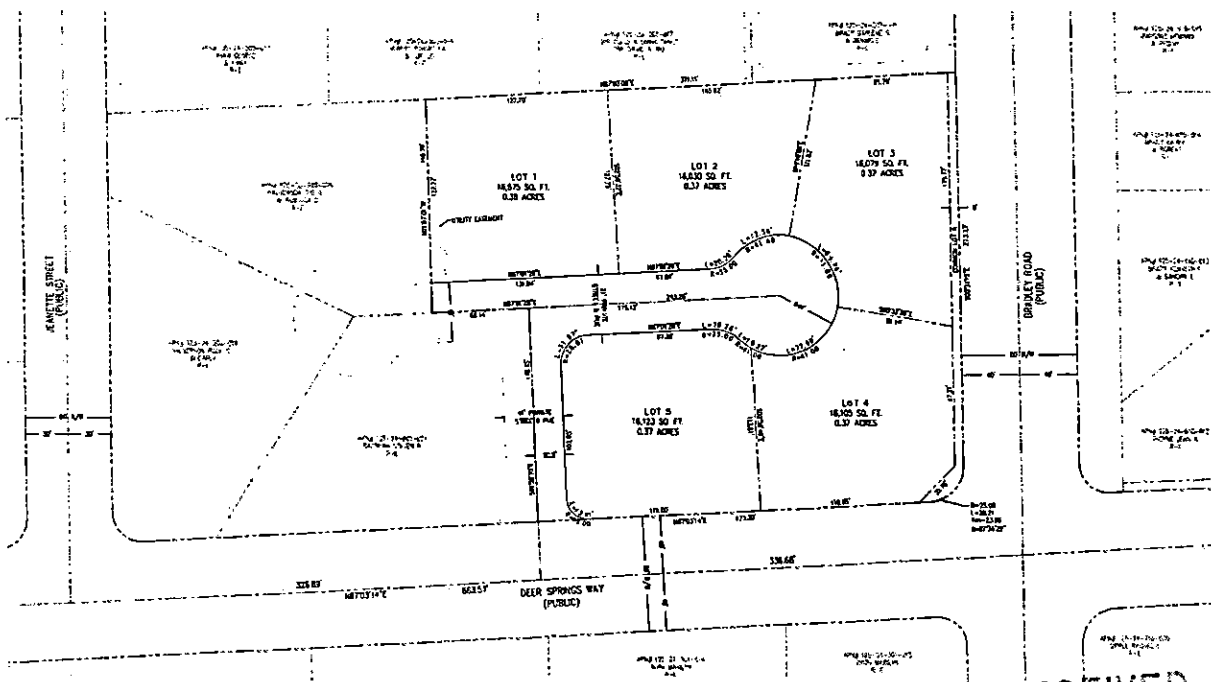
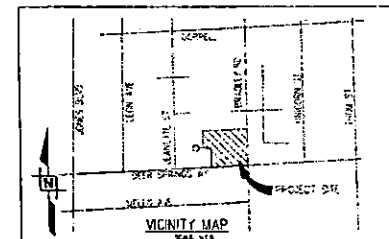
Subscribed and sworn before me

This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State



SITE PLAN FOR FALCON CREST UNIT 1 BY ENGLE HOMES

**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT-2 UNITS PER ACRE)
APN# 125-24-203-022**



**RECEIVED
OCT 02 2006**

**SDR-17247
12/21/06 PC**

SITE DATA	
PROJECT NAME	SDR-17247-022
PROJECT NO.	125-24-203-022
PROPOSED ZONING	R-PD2
OWNER	ENGLE HOMES
DESIGNER	SDR-17247-022
DATE	12/21/06
SCALE	AS SHOWN

OWNER INFORMATION
ENGLE HOMES 125-24-203-022

DEVELOPER
ENGLE HOMES 125-24-203-022

ENGINEER
SDR-17247-022

WRIGHT
 CLIENT: ENGLE HOMES
 PROJECT: FALCON CREST UNIT 1
 DATE: 12/21/06
 SCALE: 1"=40'

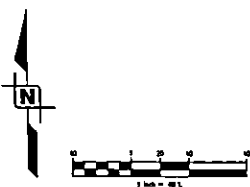
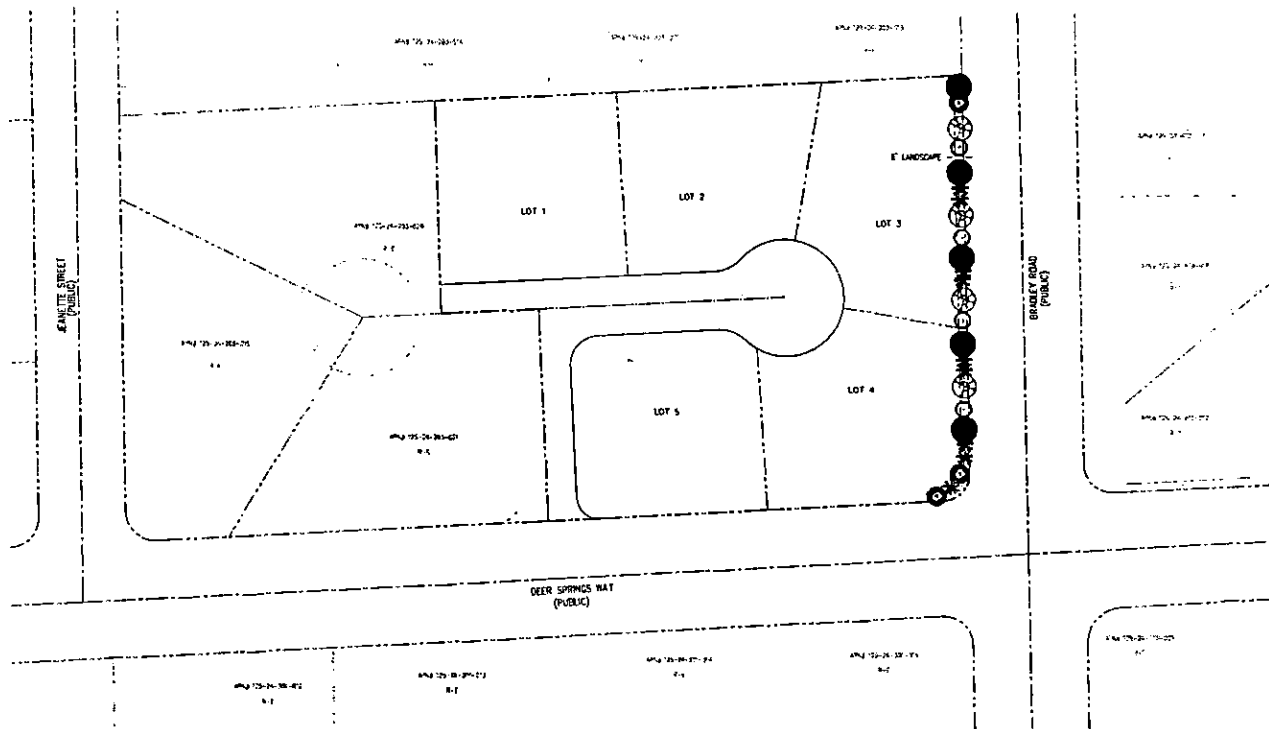
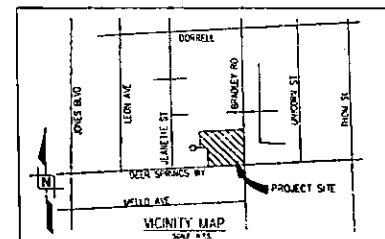
NO.	DATE	BY	CHKD	APPD	REV
1	12/21/06	SDR-17247-022			

ENGLE HOMES
 125-24-203-022
 FALCON CREST UNIT 1
 SITE PLAN - DEER SPRINGS WAY

DATE: 12/21/06
 SCALE: 1"=40'

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT-2 UNITS PER ACRE)
APN# 125-24-203-022

APN# 125-24-203-022



Call before you OVERHEAD
1-702-227-2929

Call before you Dig.
1-800-227-2200

PLANTING LEGEND		SIZE	QTY
SPRINKLER	SPRINKLER, CONCRETE BASE		
	GRASS SEED MIX SEED MIX	24" DIA	4
	CERCIS TREES SEBETI WHITE BARK SPECIE	24" DIA	5
	YELLOW BELLFLOWER PULMONARIA	5 GAL	4
	REDWOOD OFFSHOOTS "TINY TREES" BRUCEA ALBA	5 GAL	3
	LAVENDER BUSHES PLANTING PLANTS	5 GAL	9
	24" x 24" IN CONCRETE BASE	3/4"	2015 SF

NOTES:

1. DECOMPOSED GRANITE CONTAINS - INSTALL A 3" LAYER OF 3/4" SCREENED GRANULAR CONCRETE UNDER ALL PLANTINGS WITHIN LIMIT OF PLANTING. UNDER ALL TREES AND BUSHES. CONCRETE UNDER PLANTING GRASSES, COMPACT SUBGRADE TO 80% AND APPLY A PRE-PLANTING HERBICIDE TO 20%. AFTER PLANTING GRANITE BASE SHOULD BE TO EXISTING OUTLINE, ALLOW TO DRY, THEN APPLY GRANITE SURFACE WITHIN A LEAST AREA APPLY A SECONDARY APPLICATION OF PRE-EXISTING HERBICIDE TO TOP OF GRANITE. KEEP TOP OF GRANITE 1" BELOW ADJACENT WALKS AND CURBS DO NOT ALLOW GRANITE TO TOUCH THE EDGES OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL. CONSTRUCTION PERMITS SAMPLE OF PORE FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
2. ANY TREE BROWN 5' OF A STREET, STREET, PARKWAY, PUBLIC UTILITY ADJACENT AVENUE TO SIGNAGE, OR WALL SHALL BE PLANTED WITH A 100% BROWN TO REDWOOD.
3. ALL LANDSCAPE AND IRRIGATION SHALL COMPLY WITH CLARK COUNTY TREE 30.

BASIS OF HEARING

SOUTH STRIP 14 WEST
BEING THE BEARING OF THE CENTERLINE OF DELA SPRINGS RIVER, THE
SOUTHWEST QUARTER (THE 1/4) OF THE NORTHWEST QUARTER TWO (1/4) OF
SECTION 24, TOWNSHIP 16 NORTH, RANGE 60 EAST, N.D.M., COINCIDENT WITH
THE CENTERLINE OF UPLAND BOULEVARD 43 SHOWN ON THAT CERTAIN
PARCEL WAS RECORDED AS FILE 52, PAGE 74 OF PARCEL MAPS, CLARK
COUNTY OFFICIAL RECORDS.

LEGAL DESCRIPTION

SITUATED IN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 83 EAST, N.W. CLARK COUNTY, NEVADA. MORE PARTICULARLY DESCRIBED AS LOT 138 OF THAT CERTAIN RECORD OF SURVEY 52, PAGE 20 OF SURVEYS.

BENCHMARK

REINFORCED CONCRETE
12x12
DOWEL BARS W/ 1/2" DIA. AND 6" LONG PLATE W/ CONCRETE PAD, 4" DIA.
W/ 1/2" DIA. STEEL W/ 1/2" DIA. AND 6" LONG PLATE W/ CONCRETE PAD
REINFORCED CONCRETE
12x12
DOWEL BARS W/ 1/2" DIA. AND 6" LONG PLATE W/ CONCRETE PAD, 4" DIA.
W/ 1/2" DIA. STEEL W/ 1/2" DIA. AND 6" LONG PLATE W/ CONCRETE PAD

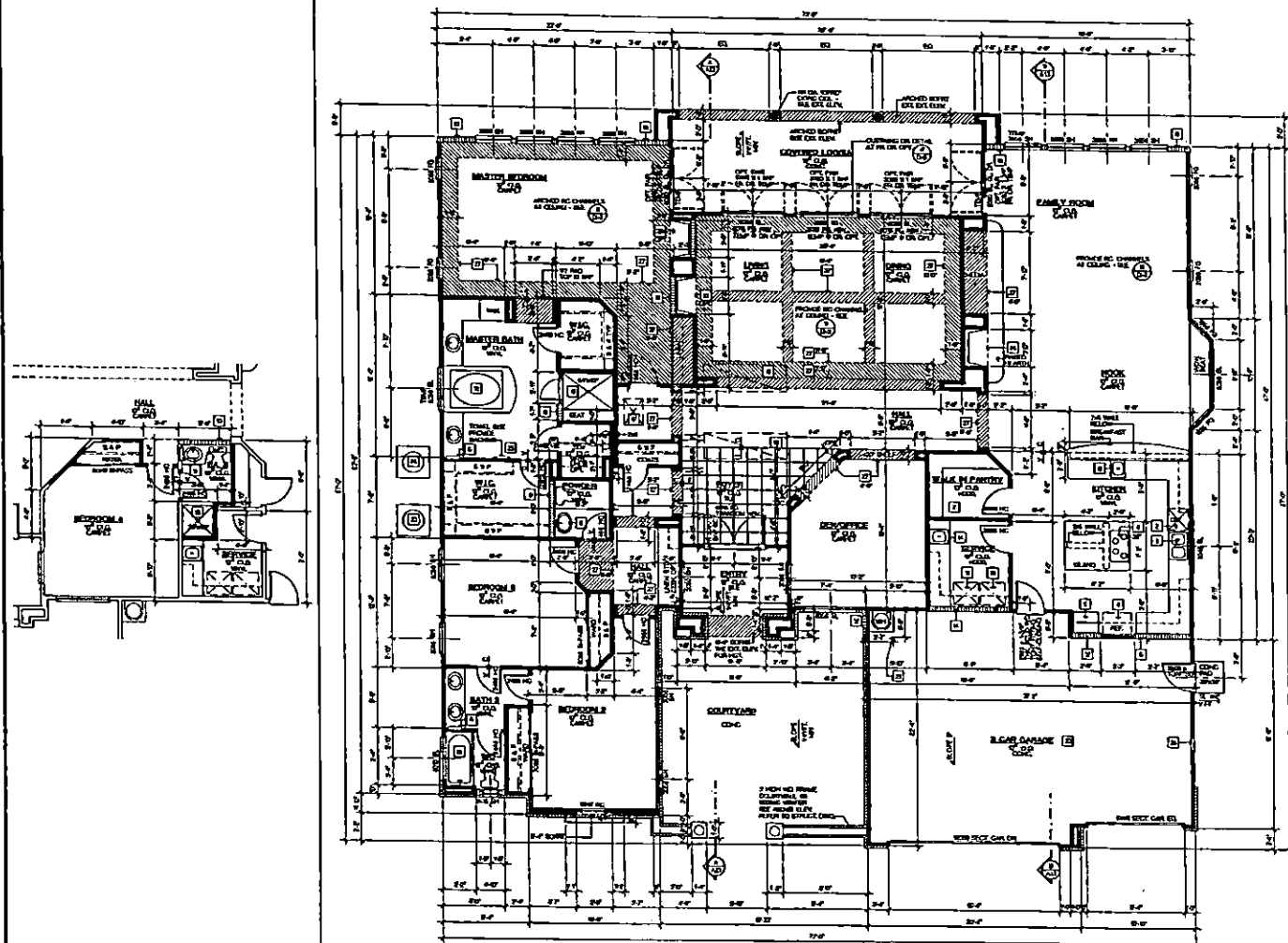
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client driven

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OCT 02 2006

SDR-17247
12/21/06 PC



SCALE: MC = 100%

2

FLOOR PLAN

SCALE: 100 = 100%

18

KEYNOTES

[illegible]

NOTES

1. **RECEIVED** 10/10/78
 2. **RECEIVED** 10/10/78
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SQUARE FOOTAGE

FLOOR AREA	
FLOOR	SQ. FT.
TOTAL	1046 S.F.
GARAGE	1046 S.F.
ENTRY 2 ND ELEVATION	76 S.F.
ENTRY 1 ST ELEVATION	28 S.F.
ENTRY 1 ST ELEVATION	74 S.F.
COVERED LOGGIA	766 S.F.
PORTICO 1 ST ELEVATION	601 S.F.

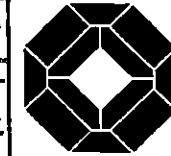
WARRANT FOR ARREST, RETURNED TO THE
DEPARTMENT OF JUSTICE, ONLY. NOT TO BE USED FOR
CONSTRUCTION OF THE WARRANT, SUCH AS FOR THE
RETURNED TO THE DEPARTMENT OF JUSTICE, ONLY.

[illegible]

Project :
BENNINGTON
PARK



**TOUSA HOMES Inc. dba.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**



KTGY GROUP, INC.

JOHN MITCHELL, YOUTH
 LEADER, C.A. 60-61

Q96 MILITARY
Q96 MILITARY F&E

Section 9.00

Unusual Stamp

Principal in Charge - J. TULLY
Project Director - M. FOWLER
Project Manager - M. SCHAFER
Project Designer - J. TEAL
Checked By -

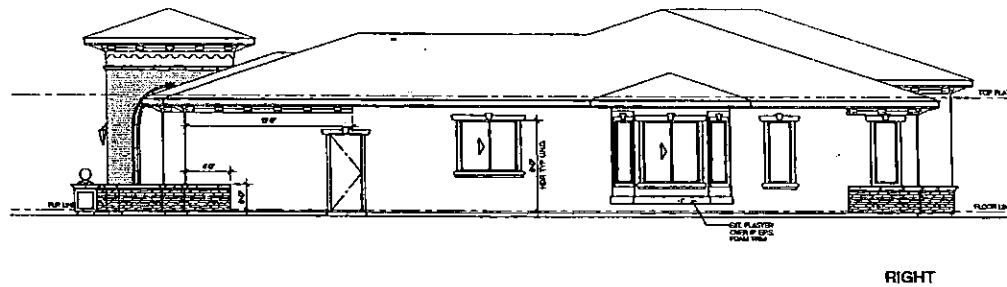
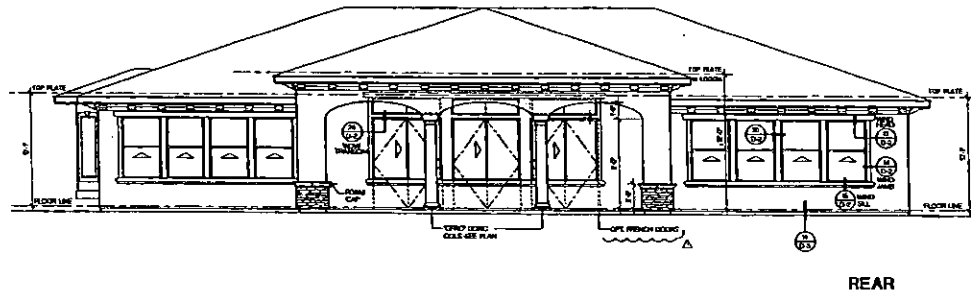
Sheet Title -
PLAN 1
"A" FLOOR PLAN
AND OPTION

Chart VII. —

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OCT 02 2006 SDR-17247
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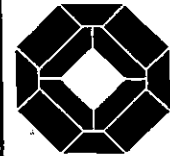
EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

No.	Date	Issue / Description
1		3/20/05 BLDG. DEPT. SUBMITTAL
2		3/20/05 BLDG. DEPT. REVISIONS
3		3/20/05 BLDG. DEPT. REVISIONS
4		3/20/05 BLDG. DEPT. REVISIONS
5		3/20/05 BLDG. DEPT. REVISIONS
6		3/20/05 BLDG. DEPT. REVISIONS
7		3/20/05 BLDG. DEPT. REVISIONS
8		3/20/05 BLDG. DEPT. REVISIONS
9		3/20/05 BLDG. DEPT. REVISIONS
10		3/20/05 BLDG. DEPT. REVISIONS
11		3/20/05 BLDG. DEPT. REVISIONS
12		3/20/05 BLDG. DEPT. REVISIONS
13		3/20/05 BLDG. DEPT. REVISIONS
14		3/20/05 BLDG. DEPT. REVISIONS
15		3/20/05 BLDG. DEPT. REVISIONS
16		3/20/05 BLDG. DEPT. REVISIONS
17		3/20/05 BLDG. DEPT. REVISIONS
18		3/20/05 BLDG. DEPT. REVISIONS
19		3/20/05 BLDG. DEPT. REVISIONS
20		3/20/05 BLDG. DEPT. REVISIONS

Comments

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba.
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, INC.
Architects
1000 N. MICHIGAN, SUITE 1000
ANN ARBOR, MI 48106
313.963.1234
www.ktgy.com

Licensed Stamp

Prepared by: **A. TULLY**
Project Director: **M. POWLEN**
Project Manager: **M. BOURNE**
Project Designer: **A. TULLY**
Checked by:

Sheet Title:
PLAN 1
"R" EXTERIOR ELEVATIONS

Sheet No.:

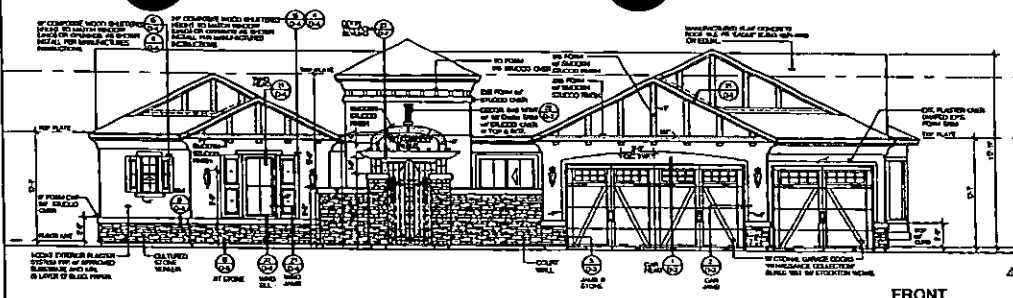
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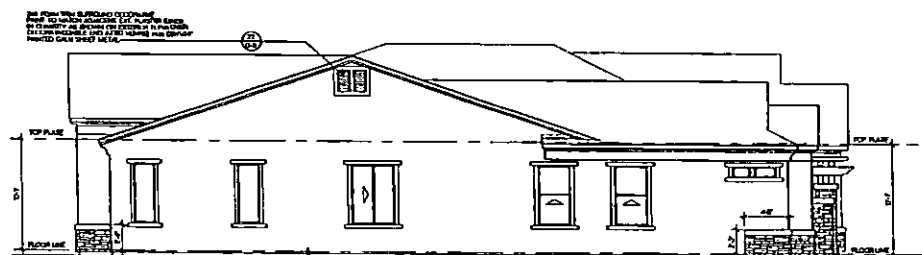


FRONT PORCH PARTIAL ELEVATION

ACADEMIC: 100% = 100%



FRONT



LEFT

EXTERIOR ELEVATIONS

SCALE: 100 = 100



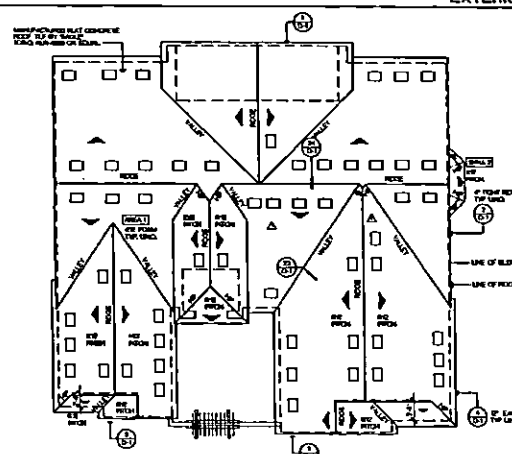
TRELLIS FRONT ELEVATION

1996: 100-101



FRONT ELEVATION w/o GARDEN WALL

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'C' ROOF PLAN | SCALE: 1/8" = 1'-0"

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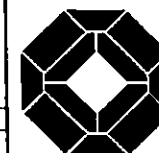
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Year	Order	Agency / Organization
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1999	2	U.S. Army
2000	3	U.S. Army
2001	4	U.S. Army
2002	5	U.S. Army
2003	6	U.S. Army
2004	7	U.S. Army
2005	8	U.S. Army
2006	9	U.S. Army
2007	10	U.S. Army
2008	11	U.S. Army
2009	12	U.S. Army
2010	13	U.S. Army
2011	14	U.S. Army
2012	15	U.S. Army
2013	16	U.S. Army
2014	17	U.S. Army
2015	18	U.S. Army
2016	19	U.S. Army
2017	20	U.S. Army
2018	21	U.S. Army
2019	22	U.S. Army
2020	23	U.S. Army
2021	24	U.S. Army
2022	25	U.S. Army
2023	26	U.S. Army
2024	27	U.S. Army
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2111	114	U.S. Army
2112	115	U.S. Army
2113	116	

3/23/05	BLDG DEPT. DEDUCTING
3/23/05	BLDG DEPT. REMOVING
3/23/05	BLDG. CAP. REMOVING

Project .
BENNINGTON
PARK

**TOUSA HOMES Inc., dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**



KTGY GROUP. —

1000

DANIEL M. KATZMAN, A. GARY

REVISED 12/1/00

Grade 10000
Size 10000, 10000

References

License Number

Principal in Charge - J. ITALY
Project Director - M. FOWLER
Project Manager - M. SCARPA
Project Designer - J. YEAT
Checked By -

PLAN 1
 ☐ EXTERIOR ELEVATIONS
 ☐ ROOF PLAN

There are a

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OCT 02 2006

SDR-17247

12/21/06-PC

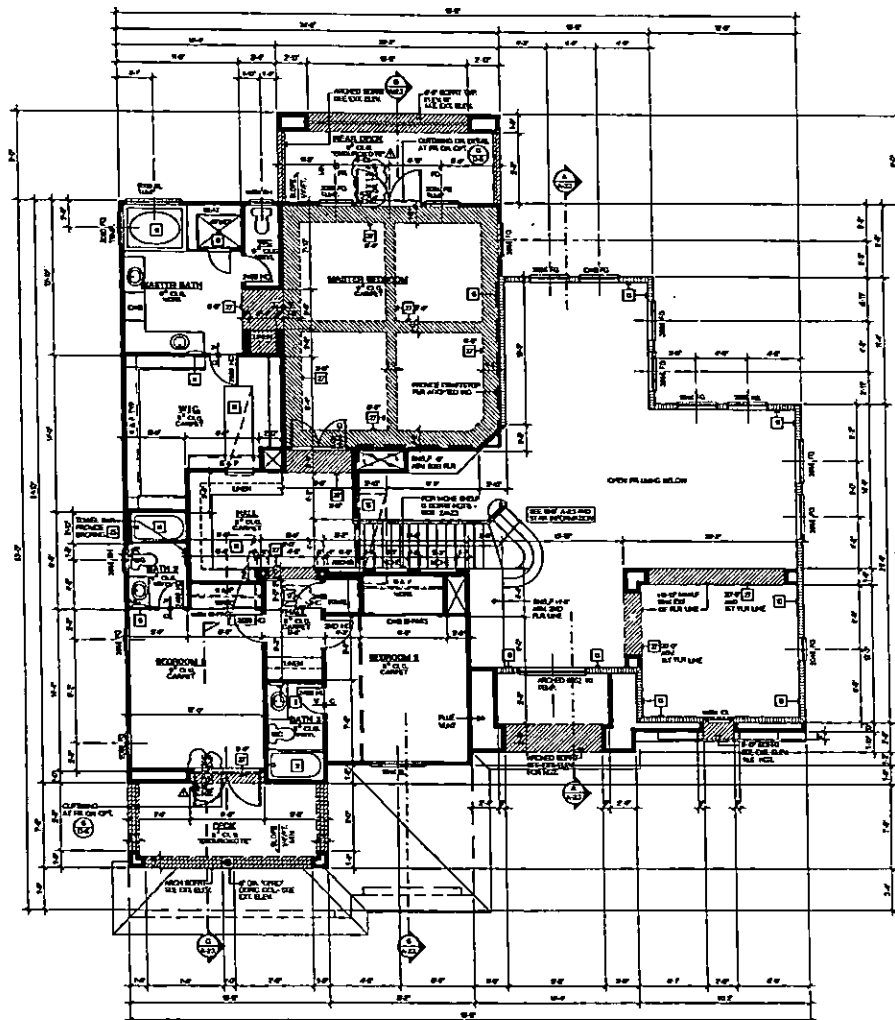


GOAL: 44 = 44	1
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WORK
CAREER TRAINING COURSES AND-OF-ARTS FOR ELDERLY
COUNSELING SERVICES, COULD RUN TO BE VISITING
COUNSELING SERVICES, SUPPORTIVE, IN-DETERMINATE, OR
COUNSELING, ETC.

A2.1

12/21/06 PC



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

KEYNOTES

1. FOUNDATION AND WALLS: SEE DETAIL 101.
2. ROOF: 2" MIN. THICK POLYURETHANE INSULATION OVER 1" MIN. THICK CONCRETE SLAB. FLASHING AT ALL ROOF WALLS AND PENETRATIONS. DRAINAGE TO EXTERIOR.
3. FLOORING: SEE DETAIL 102.
4. WALLS: 5/8" MIN. THICK CONCRETE BLOCK OR EQUIVALENT. FINISH: SEE DETAIL 103.
5. CEILING: 5/8" MIN. THICK CONCRETE BLOCK OR EQUIVALENT. FINISH: SEE DETAIL 103.
6. DOORS: SEE DETAIL 104.
7. WINDOWS: SEE DETAIL 105.
8. STAIRS: SEE DETAIL 106.
9. ELEVATORS: SEE DETAIL 107.
10. TERRACE: SEE DETAIL 108.
11. POOL: SEE DETAIL 109.
12. PATIO: SEE DETAIL 110.
13. DRIVEWAY: SEE DETAIL 111.
14. GARAGE: SEE DETAIL 112.
15. MECHANICAL: SEE DETAIL 113.
16. ELECTRICAL: SEE DETAIL 114.
17. PLUMBING: SEE DETAIL 115.
18. HVAC: SEE DETAIL 116.
19. FINISHES: SEE DETAIL 117.
20. OTHER: SEE DETAIL 118.

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS SHALL BE CONSTRUCTED WITH 5/8" MIN. THICK CONCRETE BLOCK OR EQUIVALENT. FINISH: SEE DETAIL 103.
3. ALL FLOORS SHALL BE CONSTRUCTED WITH 2" MIN. THICK POLYURETHANE INSULATION OVER 1" MIN. THICK CONCRETE SLAB. FLASHING AT ALL ROOF WALLS AND PENETRATIONS. DRAINAGE TO EXTERIOR.
4. ALL ROOFS SHALL BE CONSTRUCTED WITH 2" MIN. THICK POLYURETHANE INSULATION OVER 1" MIN. THICK CONCRETE SLAB. FLASHING AT ALL ROOF WALLS AND PENETRATIONS. DRAINAGE TO EXTERIOR.
5. ALL DOORS SHALL BE CONSTRUCTED WITH 1 1/2" MIN. THICK SOLID CORE DOOR. FINISH: SEE DETAIL 104.
6. ALL WINDOWS SHALL BE CONSTRUCTED WITH 1 1/2" MIN. THICK FRAME. FINISH: SEE DETAIL 105.
7. ALL STAIRS SHALL BE CONSTRUCTED WITH 1 1/2" MIN. THICK TREADS AND 1 1/2" MIN. THICK RISERS. FINISH: SEE DETAIL 106.
8. ALL ELEVATORS SHALL BE CONSTRUCTED WITH 1 1/2" MIN. THICK CAR. FINISH: SEE DETAIL 107.
9. ALL TERRACES SHALL BE CONSTRUCTED WITH 2" MIN. THICK POLYURETHANE INSULATION OVER 1" MIN. THICK CONCRETE SLAB. FLASHING AT ALL TERRACE WALLS AND PENETRATIONS. DRAINAGE TO EXTERIOR.
10. ALL PATIOS SHALL BE CONSTRUCTED WITH 2" MIN. THICK POLYURETHANE INSULATION OVER 1" MIN. THICK CONCRETE SLAB. FLASHING AT ALL PATIO WALLS AND PENETRATIONS. DRAINAGE TO EXTERIOR.
11. ALL DRIVEWAYS SHALL BE CONSTRUCTED WITH 4" MIN. THICK CONCRETE. FINISH: SEE DETAIL 111.
12. ALL GARAGES SHALL BE CONSTRUCTED WITH 4" MIN. THICK CONCRETE. FINISH: SEE DETAIL 112.
13. ALL MECHANICAL SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 113.
14. ALL ELECTRICAL SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 114.
15. ALL PLUMBING SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 115.
16. ALL HVAC SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 116.
17. ALL FINISHES SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 117.
18. ALL OTHER SHALL BE CONSTRUCTED WITH 1/2" MIN. THICK GALVANIZED STEEL. FINISH: SEE DETAIL 118.

SQUARE FOOTAGE

FLOOR AREA	
FIRST FLOOR	2272 S.F.
SECOND FLOOR	2272 S.F.
TOTAL	4544 S.F.
DECK	776 S.F.
PATIO	165 S.F.
ENTRY FLY ELEVATIONS	76 S.F.
ENTRY FLY ELEVATIONS	77 S.F.
ENTRY FLY ELEVATIONS	76 S.F.
FRONT DECK FLY ELEVATIONS	144 S.F.
FRONT DECK FLY ELEVATIONS	144 S.F.
FRONT DECK FLY ELEVATIONS	144 S.F.

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba. ENGLE HOMES
772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

KTGYGROUP, INC.
1000 W. WYOMING AVE.
SUITE 200
LAS VEGAS, NV 89101

License: **Sharp**

Principal in Charge: **A. TULLY**
Project Director: **M. FOWLER**
Project Manager: **M. SCARFIA**
Project Designer: **A. TULLY**

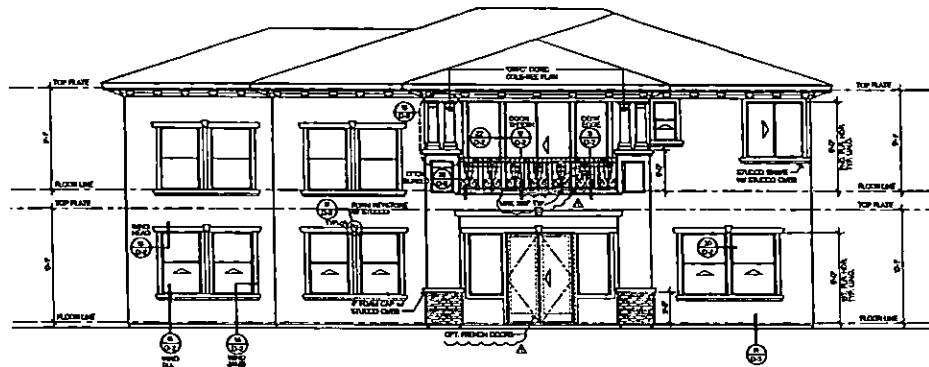
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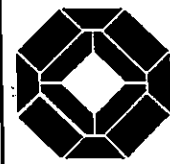
EXTERIOR ELEVATIONS

No.	Date	Issue / Description
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2		ISSUED: BUILD DEPT. REVISIONS
3		ISSUED: BUILD DEPT. REVISIONS
4		ISSUED: BUILD DEPT. REVISIONS
5		ISSUED: BUILD DEPT. REVISIONS
6		ISSUED: BUILD DEPT. REVISIONS
7		ISSUED: BUILD DEPT. REVISIONS
8		ISSUED: BUILD DEPT. REVISIONS
9		ISSUED: BUILD DEPT. REVISIONS
10		ISSUED: BUILD DEPT. REVISIONS

Comments

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba
ENOLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTYG GROUP, Inc.
Architectural Firm
West HOLLYWOOD, CALIFORNIA
90222
909 505-0000
909 505-0001 FAX
Brea, California

Licensed Survey

Principal in Charge: **J. TULLY**
Project Director: **M. FOWLER**
Project Manager: **M. SCHWARTZ**
Project Designer: **J. TULLY**
Checked By:

Sheet Title:
**PLAN 2
1" EXTERIOR ELEVATIONS**

Sheet No.:

A2.6A

12/21/06 PC RECEIVED
SDR-17247 OCT 2 2006



PAGE: 27 - 60

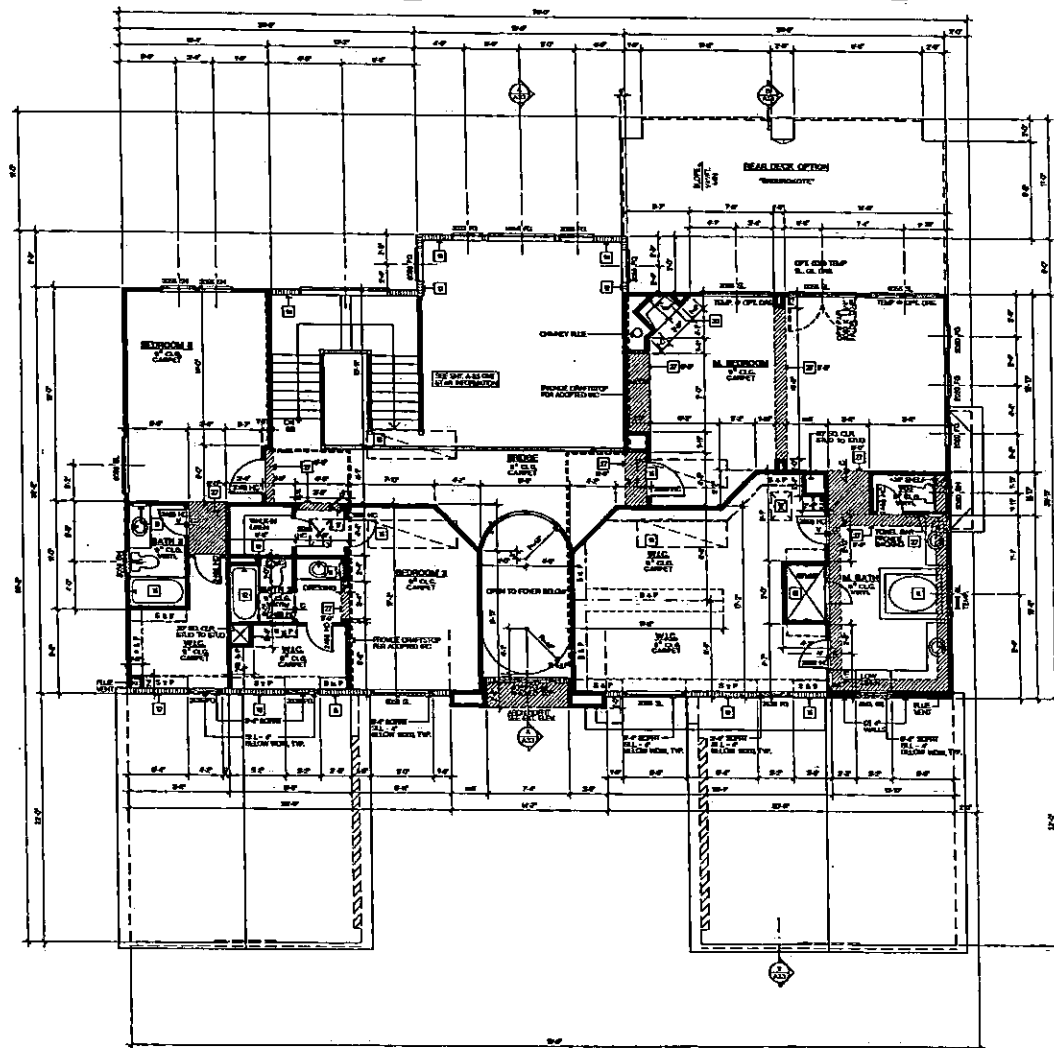
SQUARE FOOTAGE	
FLOOR AREA	
FIRST FLOOR	3718 S.F.
SECOND FLOOR	1718 S.F.
TOTAL	5436 S.F.
REAR PATIO	462 S.F.
REAR DECK	462 S.F.
GARAGE 1A 1/2" ELEVATIONS	420 S.F.
GARAGE 2A 1/2" ELEVATIONS	462 S.F.
GARAGE 1A 1/2" & 1" ELEVATIONS	462 S.F.
GARAGE 1A 1/2" & 1" ELEVATIONS	462 S.F.
GARAGE 1B 1/2" ELEVATIONS	420 S.F.
GARAGE 2B 1/2" ELEVATIONS	462 S.F.
GARAGE 1B 1/2" & 1" ELEVATIONS	462 S.F.
GARAGE 2B 1/2" & 1" ELEVATIONS	462 S.F.

Leave Camp

4470 **A31**

A3.1

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12/21/06 PC



SECOND FLOOR PLAN AND OPTION

SCALE: 1/8" = 1'-0"

KEYNOTES

1. DOUBLE THE WALL THICKNESS AT ALL CORNERS.
2. ALL WALLS AND PARTITIONS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
3. ALL FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
4. ALL CEILING SHALL BE CONSTRUCTED OF 5" THICK Gypsum Board.
5. ALL ROOF SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
7. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
8. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
9. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
10. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
11. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
12. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
13. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
14. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
15. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
16. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
17. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
18. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
19. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
20. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.

NOTES

1. ALL WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
2. ALL FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
3. ALL CEILING SHALL BE CONSTRUCTED OF 5" THICK Gypsum Board.
4. ALL ROOF SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.
5. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
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19. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED OF 8" THICK CMU WITH REINFORCING BARS AT 16" ON CENTER.
20. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED OF 4" THICK CONCRETE ON 2" THICK Gypsum Board.

SQUARE FOOTAGE

FLOOR AREA	SQ. FT.
FIRST FLOOR	2700
SECOND FLOOR	2700
TOTAL	5400

No.	Qty.	Notes / Description
1	1	3/8" X 5' BRASS DEPT. ELEVATOR
2	1	3/8" X 5' BRASS DEPT. ELEVATOR
3	1	3/8" X 5' BRASS DEPT. ELEVATOR
4	1	3/8" X 5' BRASS DEPT. ELEVATOR
5	1	3/8" X 5' BRASS DEPT. ELEVATOR
6	1	3/8" X 5' BRASS DEPT. ELEVATOR
7	1	3/8" X 5' BRASS DEPT. ELEVATOR
8	1	3/8" X 5' BRASS DEPT. ELEVATOR
9	1	3/8" X 5' BRASS DEPT. ELEVATOR
10	1	3/8" X 5' BRASS DEPT. ELEVATOR

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba. ENGLIS HOMES
 7872 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777



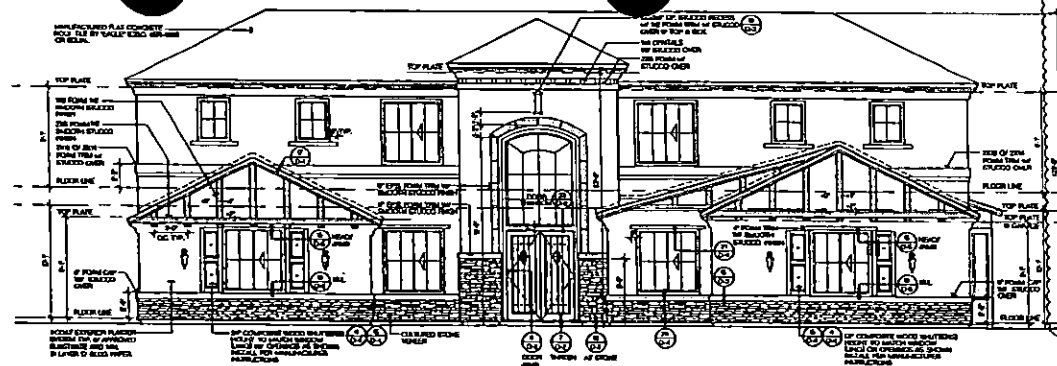
Licensee Group

Principal in Charge: **A. TILLY**
 Project Director: **M. FOWLER**
 Project Manager: **M. SOMARRA**
 Project Designer: **A. TRAN**
 Checked By:

Sheet Title: **PLAN 3**
"A" SECOND FLOOR PLAN AND OPTION

Sheet No.: **A3.1A**

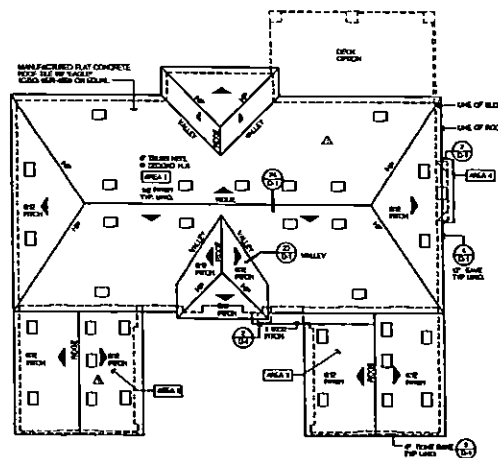
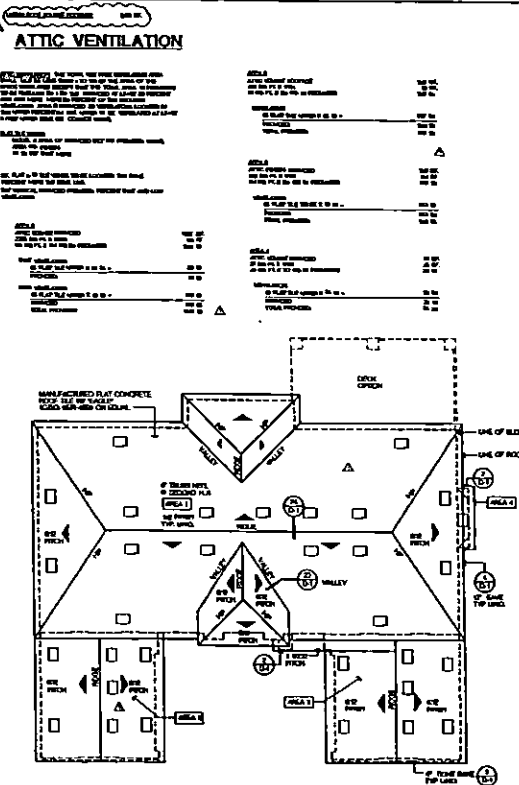
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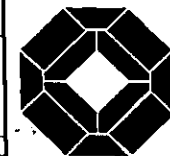
"A" ROOF PLAN

EXTERIOR ELEVATIONS

No.	Date	Issue / Description
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2		ISSUED: BLDG DEPT. REMARKS
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8		ISSUED: BLDG DEPT. REMARKS
9		ISSUED: BLDG DEPT. REMARKS
10		ISSUED: BLDG DEPT. REMARKS

Product: **BENNINGTON PARK**

TOUSA HOMES Inc. dba: ENGLE HOMES
 7872 WEST SARARA
 LAS VEGAS, NV 89117
 2004-0777



KTGYGROUP, Inc.
 1000 Westgate Drive
 Suite 100
 Brea, CA 92625
 (949) 440-1000
 www.ktgygroup.com

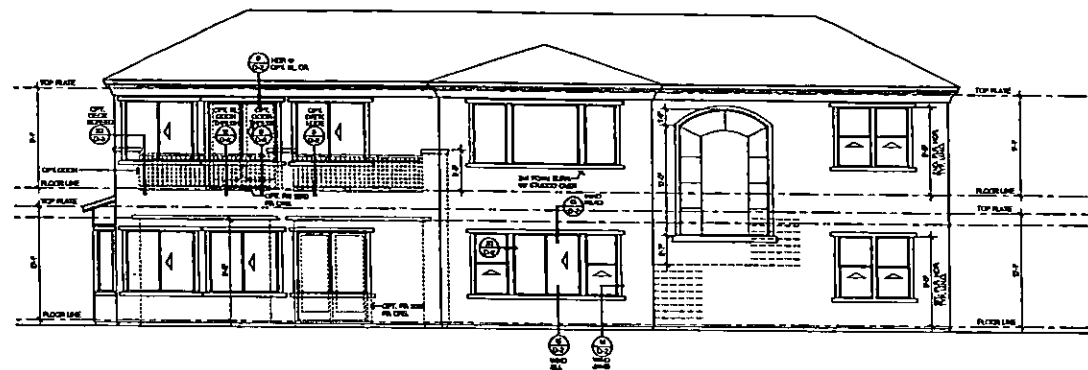
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Provided to Charge: J. TULLY
 Project Director: M. FOWLER
 Project Manager: M. BOWMAN
 Project Designer: J. TSAI
 Created by:

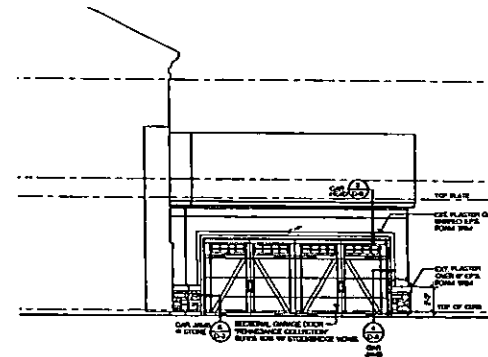
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PLAN 3
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No.: **A3.4**

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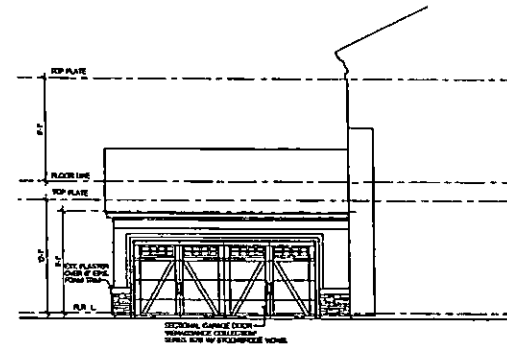
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COURTYARD LEFT



RIGHT



COURTYARD RIGHT

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

No.	Date	Revised / Description
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2		SYNOPSIS: 0100 EXPL. TENDERING
3		SYNOPSIS: 0100 EXPL. TENDERING
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9		SYNOPSIS: 0100 EXPL. TENDERING
10		SYNOPSIS: 0100 EXPL. TENDERING

Comments

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba
ENGLE HOMES
7812 WEST SARAH
LAS VEGAS, NV 89117
2004-0777



KTGYGROUP, INC.

10000 KINGSWAY, SUITE 100
DALLAS, TEXAS 75243

Phone: 214.343.1111

Fax: 214.343.1112

Website: www.ktgy.com

License: 00000000

Principal in Charge: A. TULLY
Project Designer: M. POWELL
Project Manager: M. BOWMAN
Project Designer: A. TULLY
Checked By:

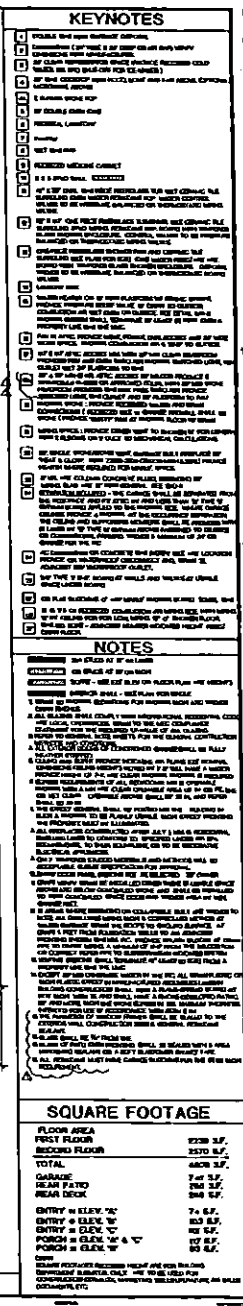
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PLAN 3
"A" EXTERIOR ELEVATIONS

Sheet No.:

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38800		BLO. CEPT. REMOVAL

Comments

Project: **BENNINGTON PARK**



TOUSA HOMES Inc. d.b.a. ENGLE HOMES
7772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGYOR GROUP, INC.
 Architects • Interior Designers
 1000 WESTERN AVENUE
 SUITE 100
 GLENDALE, CA 91201
 (818) 241-0000 FAX (818) 241-0001
 Irvine, California

Uppermost Group:

Principal in Charge - J. TULLY
 Project Designer - M. FOWLER
 Project Manager - M. SCHAEFER
 Check-off By - J. TULLY

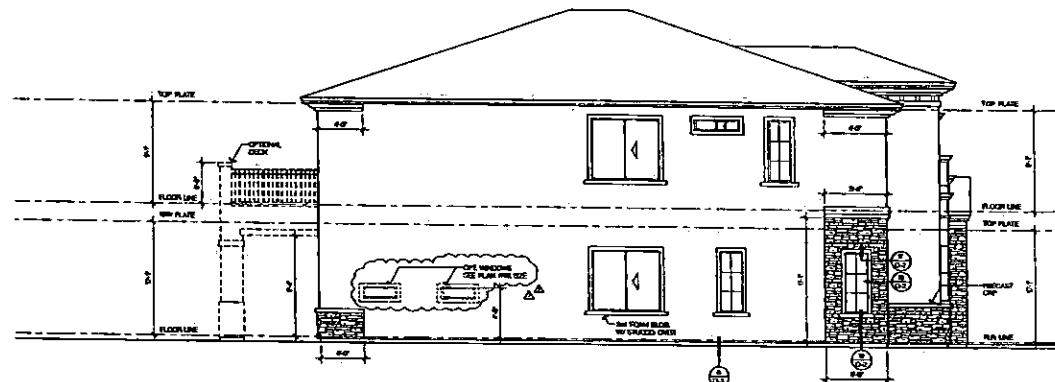
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PLAN 4
"A" FIRST FLOOR PLAN
AND OPTION

Sheet No. -
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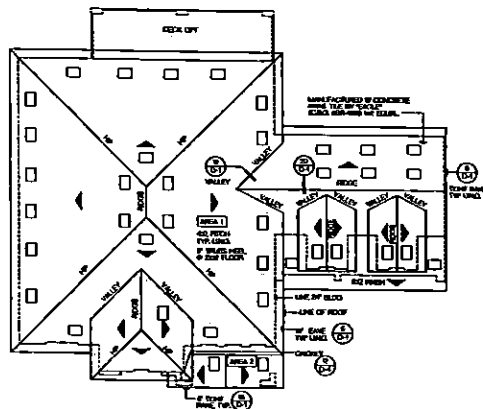
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ATTIC VENTILATION

ATTIC VENTILATION

ALL ATTIC VENTILATION SHALL BE PROVIDED WITH A MINIMUM OF 1 SQUARE FOOT OF VENTILATION PER 100 SQUARE FEET OF ATTIC SPACE. VENTILATION SHALL BE PROVIDED IN THE FORM OF GABLE, RIDGE, OR SOLID ROOF VENTILATION. VENTILATION SHALL BE PROVIDED IN THE FORM OF GABLE, RIDGE, OR SOLID ROOF VENTILATION. VENTILATION SHALL BE PROVIDED IN THE FORM OF GABLE, RIDGE, OR SOLID ROOF VENTILATION.

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--	--



"A" ROOF PLAN

SCALE: 1/4" = 1'-0"

2

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

1

Rev.	Date	Issued / Description
1	5/1/05	ISSUED DEPT. 1/1/05
2	5/1/05	ISSUED DEPT. 1/1/05
3	5/1/05	ISSUED DEPT. 1/1/05
4	5/1/05	ISSUED DEPT. 1/1/05
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6	5/1/05	ISSUED DEPT. 1/1/05
7	5/1/05	ISSUED DEPT. 1/1/05
8	5/1/05	ISSUED DEPT. 1/1/05
9	5/1/05	ISSUED DEPT. 1/1/05
10	5/1/05	ISSUED DEPT. 1/1/05

Project: **BENNINGTON PARK**
TOUSA HOMES Inc. d/b/a ENGLE HOMES
 7872 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777



KTGY GROUP, Inc.
 10000 W. WILLOW BLVD.
 SUITE 100
 LAS VEGAS, NV 89135
 (702) 735-1000

Principal in Charge: **J. TULLY**
 Project Designer: **M. FOWLER**
 Project Manager: **R. SCARFIA**
 Project Designer: **J. TULLY**
 Checked By: **J. TULLY**
 Client Title: **PLAN 4**
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

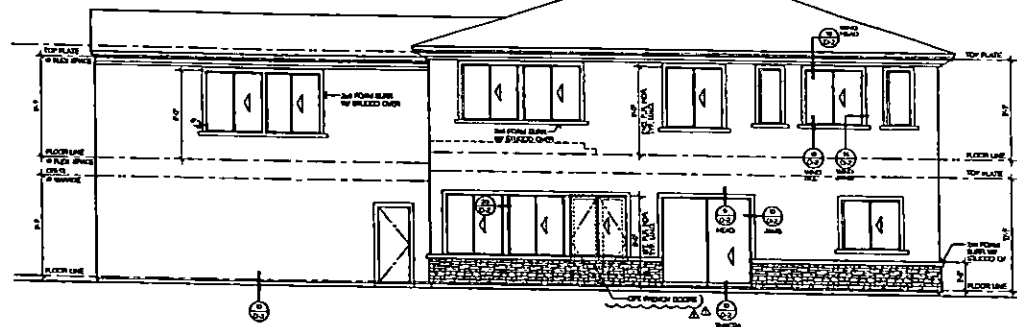
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A4.4

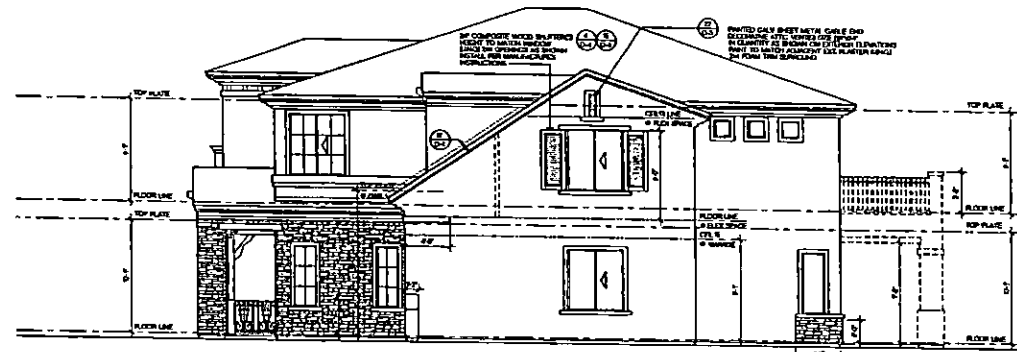
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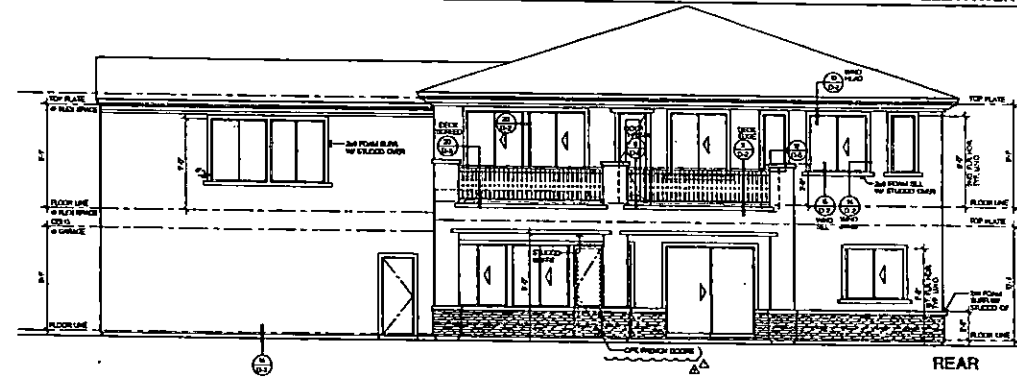


RIGHT

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

1



REAR

DECK OPTION ELEVATION

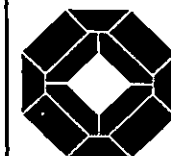
SCALE: 1/8" = 1'-0"

2

No.	Date	Issue / Description
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3	3/18/06	BLDG. EXIST. EXTERIOR
4	3/18/06	BLDG. EXIST. EXTERIOR
5	3/18/06	BLDG. EXIST. EXTERIOR
6	3/18/06	BLDG. EXIST. EXTERIOR
7	3/18/06	BLDG. EXIST. EXTERIOR
8	3/18/06	BLDG. EXIST. EXTERIOR
9	3/18/06	BLDG. EXIST. EXTERIOR
10	3/18/06	BLDG. EXIST. EXTERIOR

Project: BENNINGTON PARK

TOUSA HOMES Inc., dba
ENGLE HOMES
7772 WEST SARAH
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, INC.

10000 WYOMING AVENUE
SUITE 100
LAS VEGAS, NV 89135
702.735.1111
www.ktgy.com

License Stamp

Principal in Charge: J. TULLY
Project Engineer: M. FOWLER
Project Manager: M. SCHWAB
Project Designer: S. TAYLOR
Checked By:

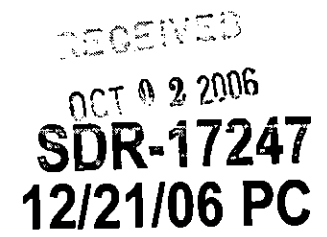
Sheet Title:
PLAN 4
"A" EXTERIOR ELEVATIONS

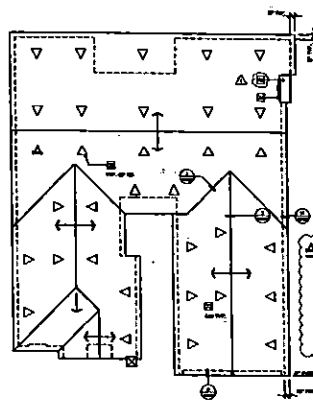
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SDR-17247
12/21/06 PC



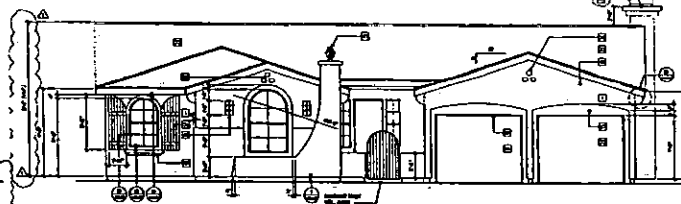


ROOF PLAN

ATTIC VENT SCHEDULE

VENT TYPE	AREA	VENT SIZE
1. Ridge Vents	1,200 sq. ft.	1" x 12" x 12"
2. Soffit Vents	1,200 sq. ft.	1" x 12" x 12"
3. Gable Vents	1,200 sq. ft.	1" x 12" x 12"

Notes: 1. All vents shall be installed in accordance with manufacturer's instructions. 2. Vents shall be installed in the attic space, not in the living space. 3. Vents shall be installed in the attic space, not in the living space.

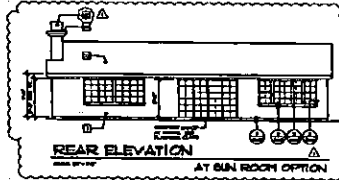


FRONT ELEVATION

ELEVATION 'A'

ELEVATION NOTES

1. All exterior walls shall be constructed of masonry or concrete block.
2. All exterior walls shall be finished with stucco or plaster.
3. All exterior walls shall be painted with a high quality exterior paint.
4. All exterior walls shall be finished with a high quality exterior paint.
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REAR ELEVATION

AT SUN ROOM OPTION



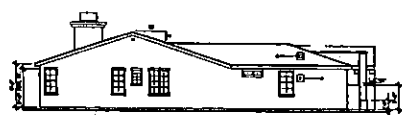
ENTRY ELEV.

ELEV. 'A'

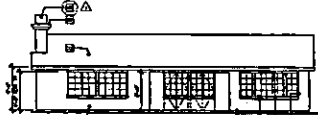


ENTRY ELEV. w/ PR DOORS

ELEV. 'A'



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



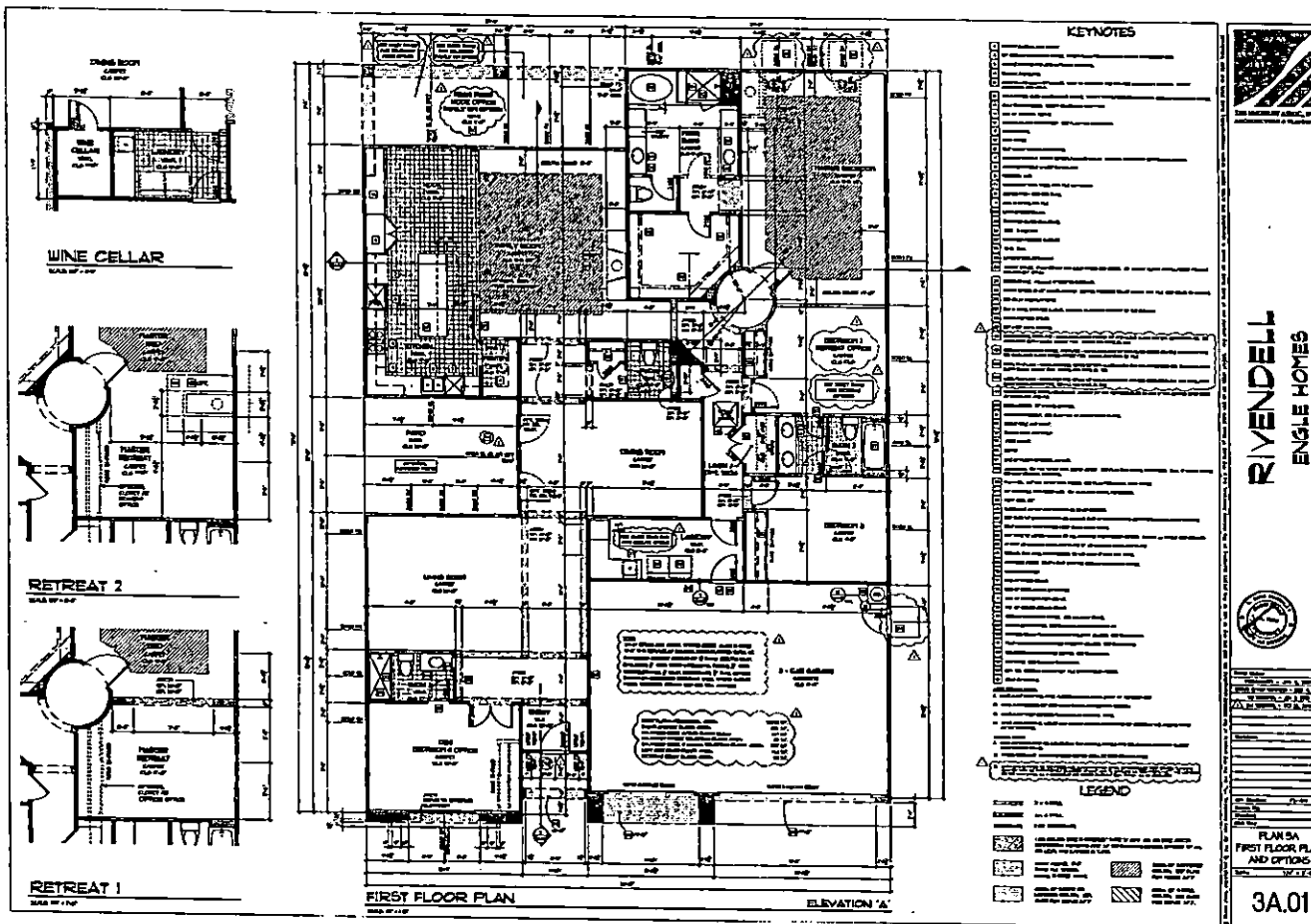
RIVENDELL
ENGINE HOMES



PLAN 1A
EXT. ELEVATIONS
AND ROOF PLAN
1A.04

RECEIVED
OCT 2 2006

12/21/06 PC
SDR-17247



RIVENDELL
ENGLE HOMES



PLAN 3A
FIRST FLOOR PLAN
AND OPTIONS
3A.01

RECEIVED
OCT 02 2006

SDR-17247
12/21/06 PC

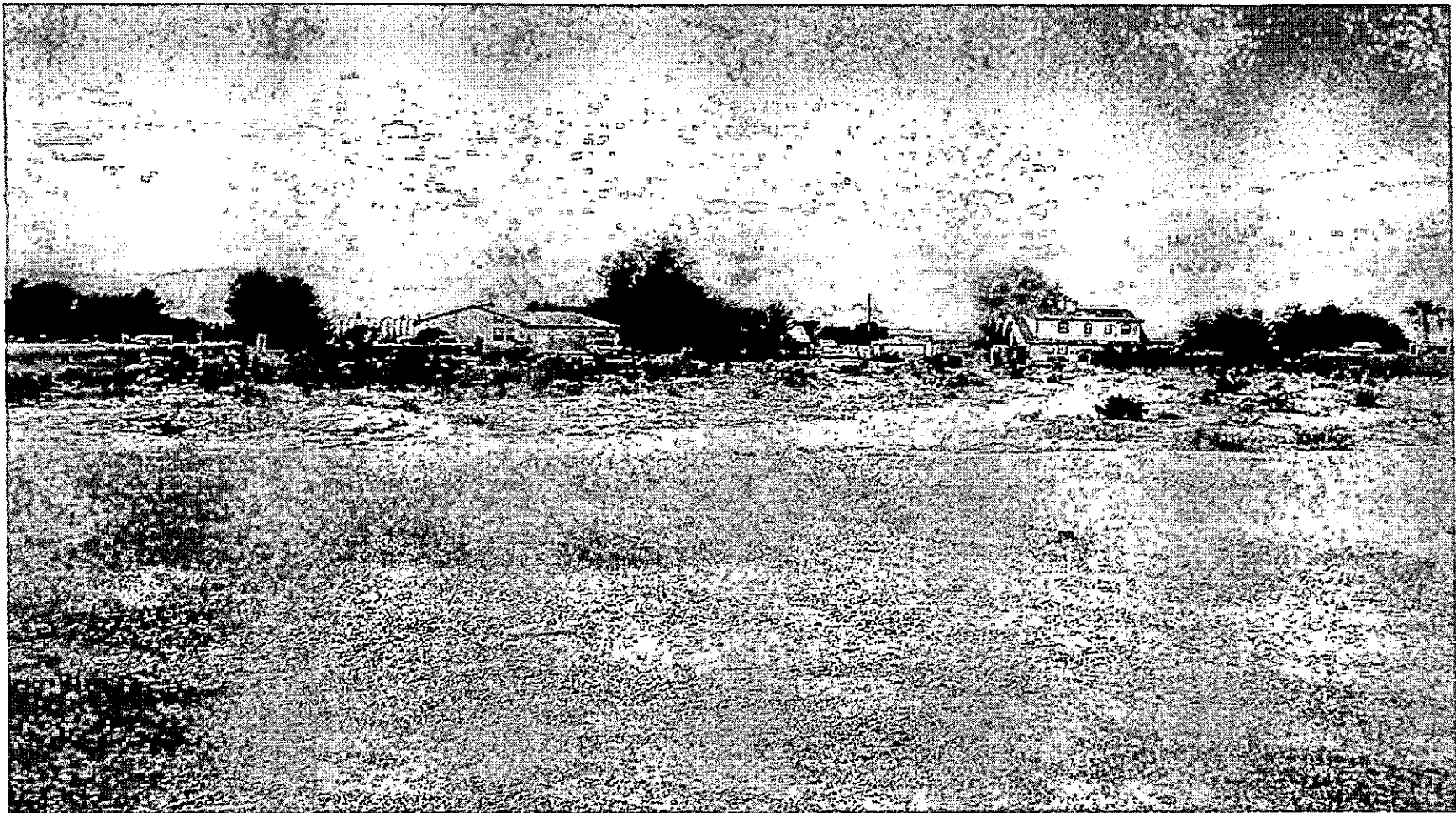
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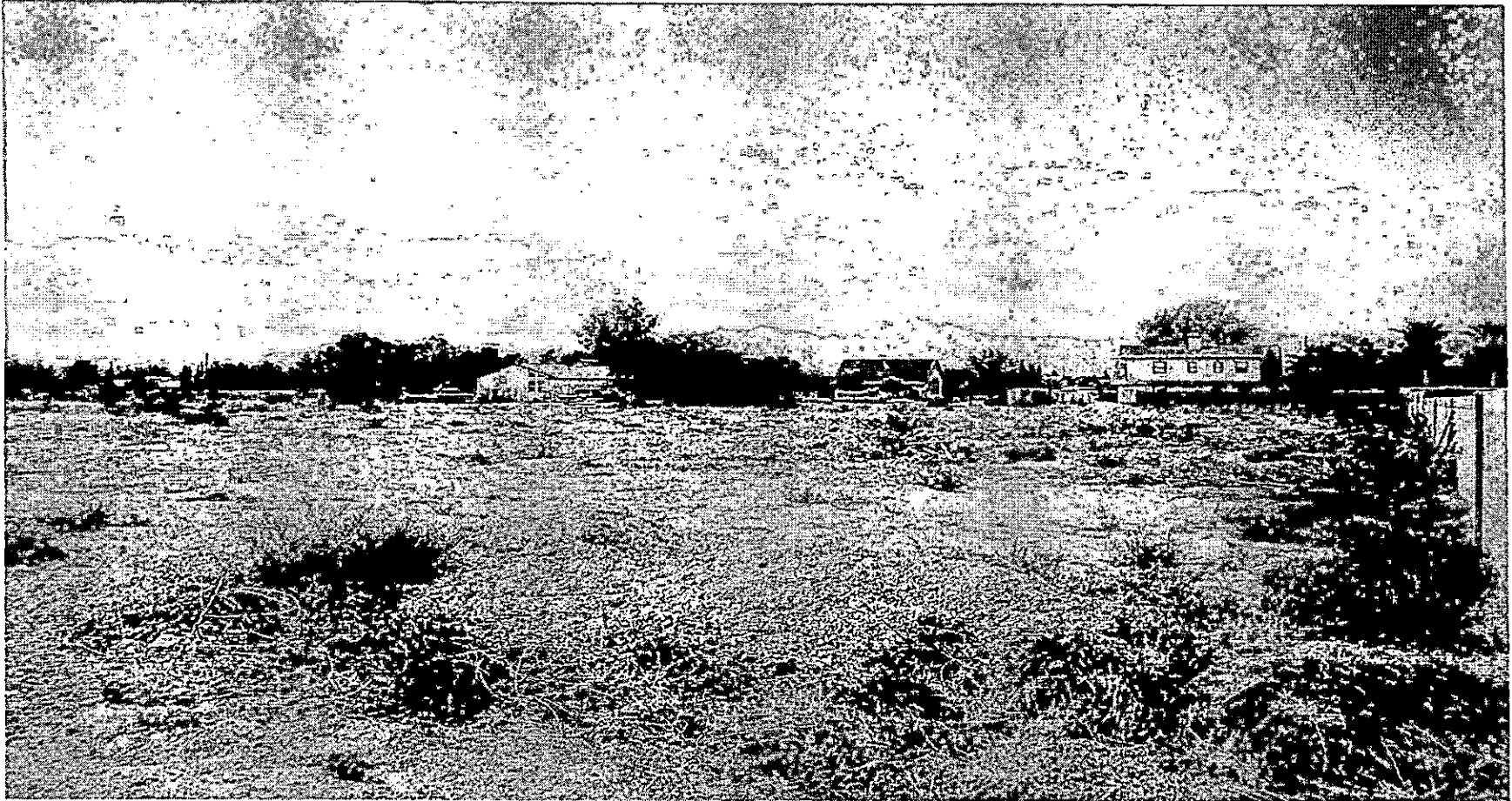
12/21/06 PC

SDR 17247				
Wright Engineers				
NWC Deer Springs & Bradley				
Proposed 5 lot single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	5	9.57	48
AM Peak Hour			0.75	4
PM Peak Hour <i>(heaviest 60 minutes)</i>			1.01	5
Existing traffic on all nearby streets:				
Deer Springs Way				
Average Daily Traffic (ADT)	516			
PM Peak Hour <i>(heaviest 60 minutes)</i>	41			
Bradley Road				
Average Daily Traffic (ADT)	1,329			
PM Peak Hour <i>(heaviest 60 minutes)</i>	106			
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Deer Springs Way	49115			
Bradley Road	16200			
This project will add approximately 46 trips per day on Deer Springs and Bradley. This will increase expected volumes by about nine percent percent on Deer Springs and about four percent on Bradley. Deer Springs is at about 1 percent of capacity and Bradley is at about 8 percent of capacity.				
Based on Peak Hour use, this development will add roughly 9 additional cars into the area; which works out to about one every twelve minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



ZON-17242, VAR-17244 & SDR-17247 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF BRADLEY ROAD AND DEER SPRINGS WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



ZON-17242, VAR-17244 & SDR-17247 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF BRADLEY ROAD AND DEER SPRINGS WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 1 (APN 125-24-203-022).

Our client intends to develop five single-family homes on the site. The site is currently designated L (Low Density Residential) in the City's Master Plan, which allows for densities up to 5.5 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 2.86 u.p.a., is far below the Low Density threshold of 5.5 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 16,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan conforms to Title 19 regulations, with the exception of the minimum site size requirement of 5 acres for R-PD developments (a request for a Variance to this requirement is also being filed), and a waiver of the perimeter landscaping strip along Deer Springs Way (the one on Bradley Road is being provided). The reason for this waiver is to have the project match the lots to the west of the cul-de-sac entrance, where no landscape buffer exists. This waiver is requested as part of this Site Development Plan Review.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leebold, AICP
Director of Planning

SDR-17247
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ZON-17248 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

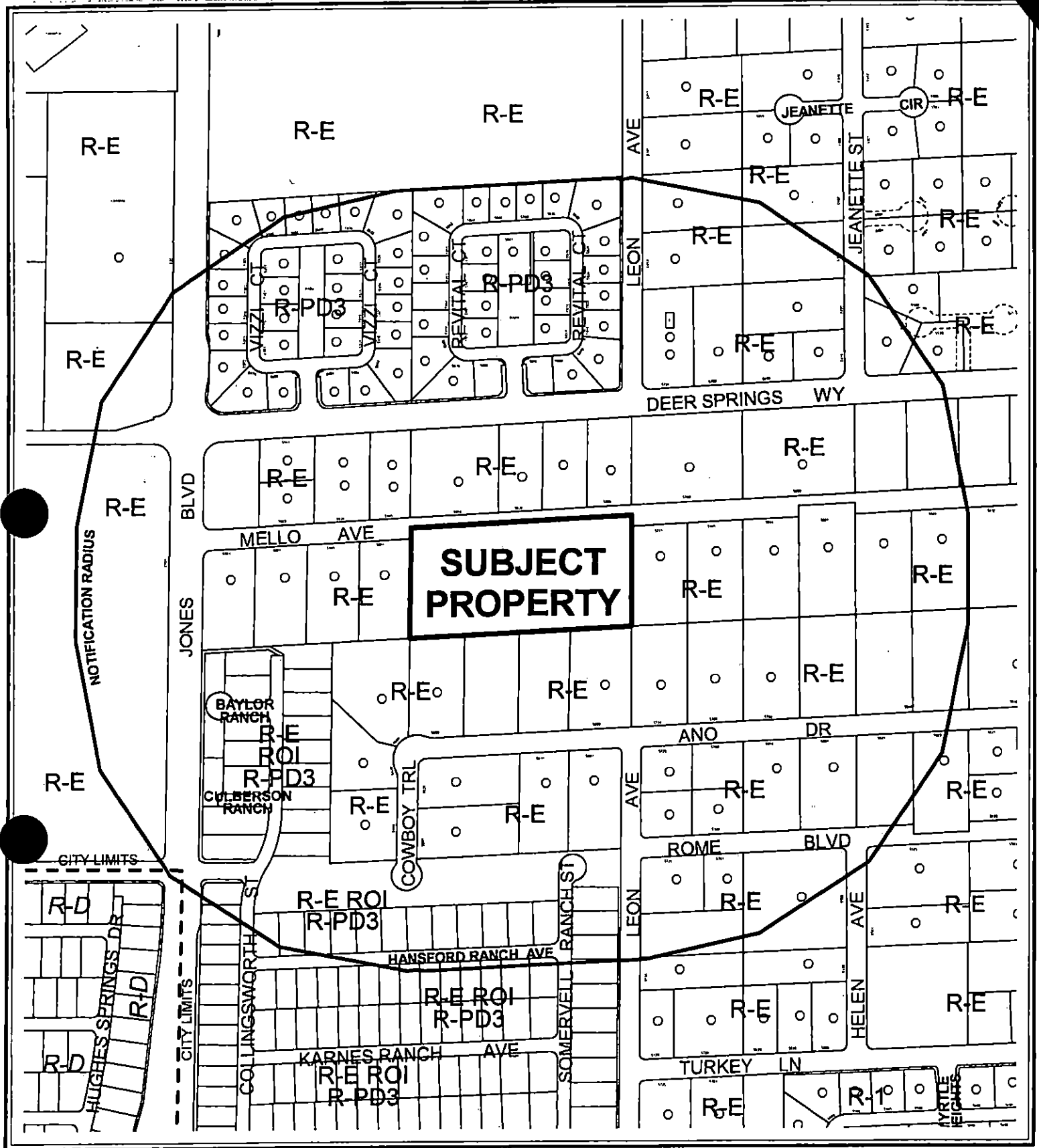
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

MINUTES:

Item 30 [ZON-17248] was requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

(6:03 – 6:09)



CASE: ZON-17248

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

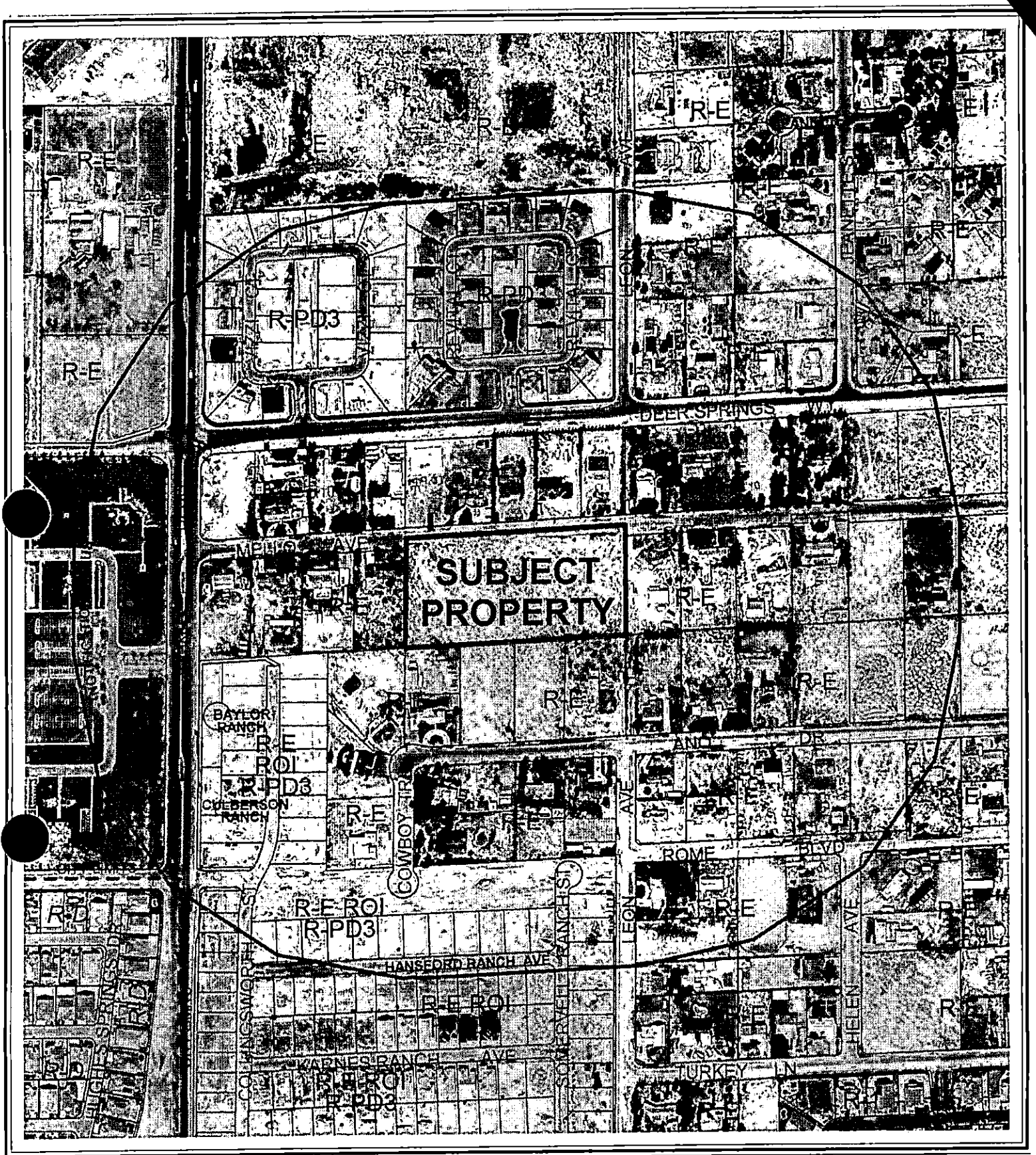
R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet





CASE: **ZON-17248**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:
R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:
R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ZON-17248 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION:** DENIAL. If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17249) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate 30 feet of right-of-way adjacent to this site for Mello Avenue.
4. Construct half street improvements on Mello Avenue adjacent to this site concurrent with development of this site. Improvements shall consist of permanent asphalt pavement and 30-inch rolled curb; sidewalk installation may be deferred and decomposed granite provided in the area where sidewalk would normally be placed. Installation of streetlights may be deferred provided that exterior streetlighting shall be stubbed out for later use, including all necessary underground conduit and pull boxes at each streetlight location and the developer provide to the City such streetlights for the future installation. Alternatively, monies in lieu of such deferred streetlights, including bases, may be contributed to the City if allowed by the Department of Public Works. Coordinate with the Land Development Section of Public Works regarding streetlighting requirements prior to submittal of construction drawings. Sign and record a covenant running with the land for all urban improvements (L-curb, sidewalk and streetlights) not constructed at this time on Mello Avenue. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

NG

ZON-17248 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

6. Coordinate with the Collection Systems Planning Section of the Department of Public Works to extend public sanitary sewer in Mello Avenue to the west edge of this site at a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17248 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed rezoning to R-PD2 (Residential Planned Development – 2 Units Per Acre) is not considered appropriate for this location. The lot sizes that result from this rezoning are approximately 1,500 square feet smaller than what is currently permitted on this property but are only half the size of adjacent development. The setbacks that would result are more closely related to those of the R-D (Single-family Residential-Restricted) District than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units Per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	A companion Site Development Plan Review (SDR-17249) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	5.06
Net Acres	5.03

ZON-17248 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
South	Undeveloped Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,382 SF
Min. Lot Width	45.5 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Corner	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

ZON-17248 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Per Title 19.08.060:

<i>Residential Adjacency Standards</i>
Residential Adjacency Standards do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	R (Rural Density Residential)	3.59 Units Per Acre

<i>Open Space</i>
Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

<i>Parking Requirement</i>
The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is considered inappropriate for this location. The site plan associated with the proposed rezoning contains lots that are approximately half the size of surrounding development at an average of 18,382 square feet. The proposed project would allow nine lots. Based on the average size of surrounding lots the property would have five lots if developed to match the existing conditions. The proposed rezoning is considered inappropriate and denial is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **“The proposal conforms to the General Plan.”**

ZON-17248 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

The proposed R-PD2 (Residential Planned Development – 2 Units Per Acre) District would be in compliance with the General Plan, which is R (Rural Density Residential). The area is primarily R-E (Residence Estates) zoned with lot sizes of over 30,000 square feet. This is more typical of the RNP (Rural Neighborhood Preservation) land use designation. While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes and through taking access via a cul-de-sac rather than directly from Mello Avenue.

2. **“The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”**

The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller than adjacent lots that make the proposed project incompatible with the area.

3. **“Growth and development factors in the community indicate the need for or appropriateness of the rezoning.”**

Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining four lots over what would otherwise be appropriate for the area given the average lot size in the area.

4. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district.”**

The site gains access via a cul-de-sac from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT

13

SENATE DISTRICT

9

ZON-17248 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

NOTICES MAILED 123 [Mailed with SDR-17249]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17248** APN: 125-24-302-005

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

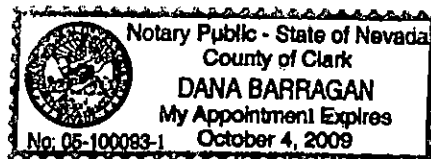
APN: _____

Signature of Property Owner: *Cheryl Kypreos*

Print Name: Cheryl Kypreos

Subscribed and sworn before me

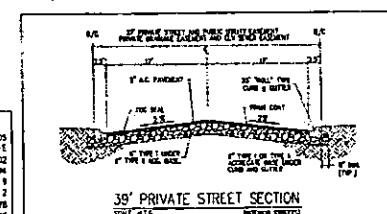
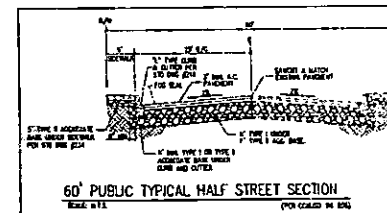
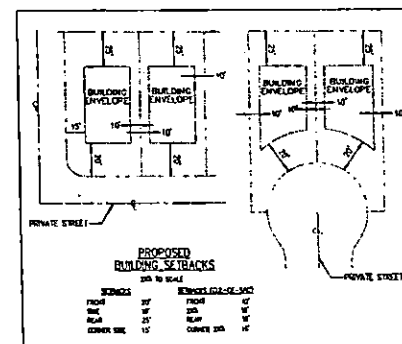
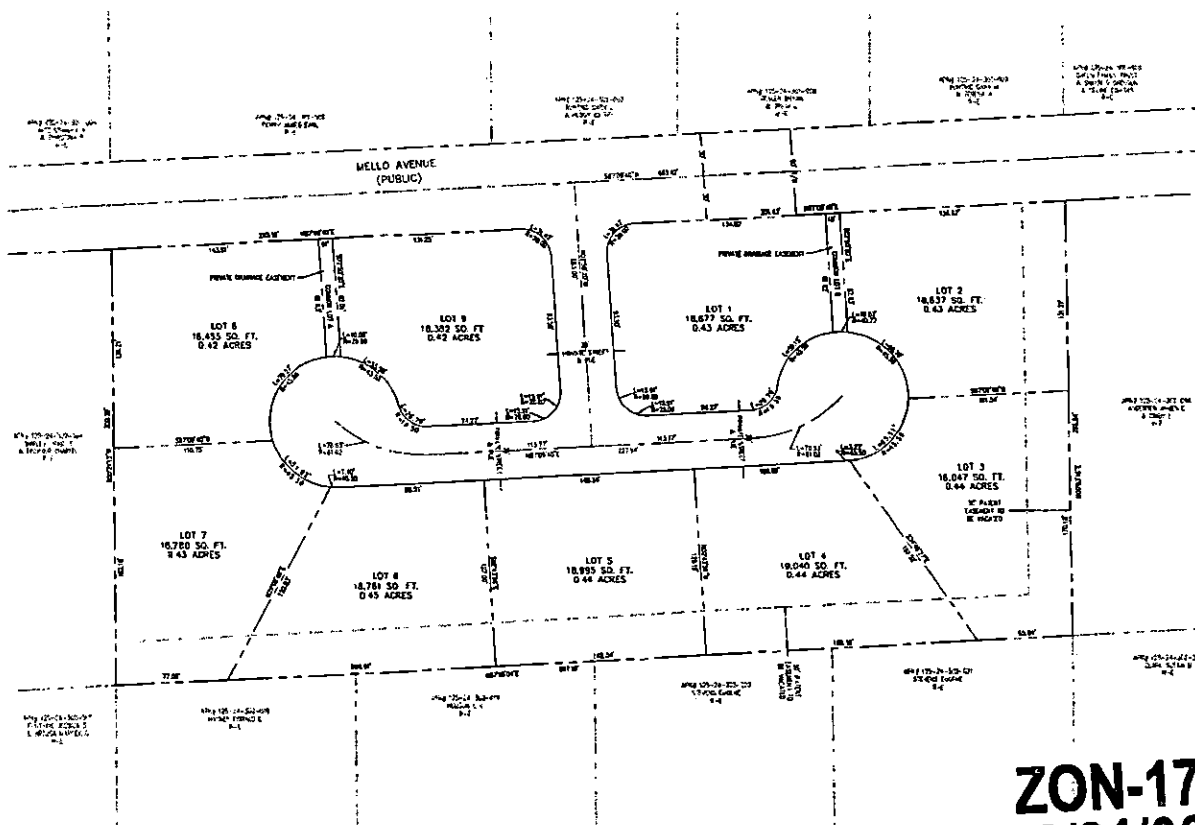
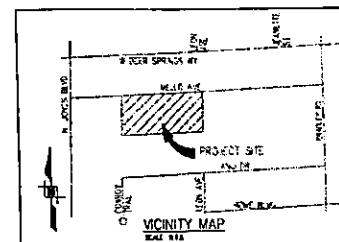
This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State



RECEIVED
OCT 02 2006

SITE PLAN FOR FALCON CREST UNIT 2 BY ENGLE HOMES

**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT-2 UNITS PER ACRE)
APN #125-24-302-005**



ZON-17248
12/21/06 PC

OWNER INFORMATION
 AND 913-24-763-633
 TOSCA HOMES
 1227 N. SHAWA AVE.
 LAW, MISSOURI 64112

DEVELOPER
 ENZO J. MONEZ
 2872 W. SAVANA AVE.
 LAS VEGAS, NV 89117

ENGINEER
WINDT ENGINEERS
7175 PINE DRIVE
LAS VEGAS, NEVADA 89120
TEL. (702) 833-7000 FAX (702) 236-4020
STONERMAN CARPENTRY

SITE DATA	
ASSESSORS PARCEL NUMBER	125-14-301-005
CURRENT ZONING	R-1
PROPOSED ZONING	R-102
CROSS ACRES	5.94
NUMBER OF LOTS	9
COMMON LOTS	2
DU/AC	1.78
MINIMUM LOT SIZE	17,382 SF

DATE: 03/28/98

PROPERTY: ENGLE HOMES

PROJECT: FALCON CREST UNIT 2

SCALE: 1"=40'

DATE: 03/28/98

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DATE: 03/28/98

PROPERTY: ENGLE HOMES

PROJECT: FALCON CREST UNIT 2

SCALE: 1"=40'



September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leibold, AICP
Director of Planning

2475 Peak Dr.
Las Vegas, NV 89128
Tel: 702-933-7000
Fax: 702-933-7001
800-953-7611
www.wrighteng.com

ZON-17248
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17249 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17248 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED NINE-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

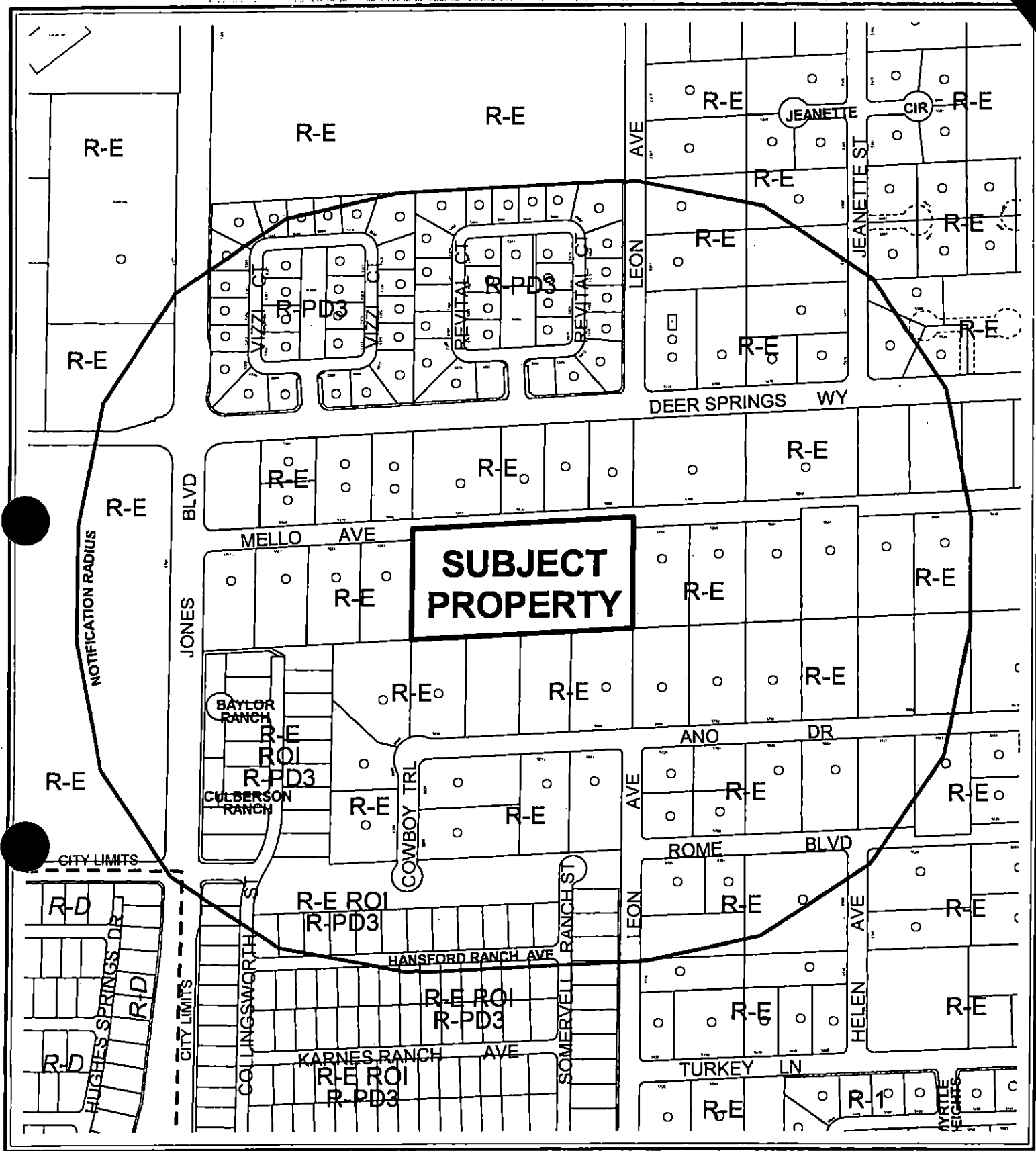
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

MINUTES:

Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] were requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

(6:03 – 6:09)



CASE: SDR-17249

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for Rezoning (ZON-17248), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 18,382 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 20 feet to the front of the house, as measured from back of sidewalk or from back of curb if no sidewalk is provided, 10 feet on the side, 15 feet on the corner side, and 25 feet in the rear.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Air conditioning units shall not be mounted on rooftops.

SDR-17249 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. The private entry street shall not be gated.
14. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
15. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17248 and all other applicable site-related actions.
16. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
17. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-17249 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is for a nine-lot single-family residential subdivision. Lot sizes, at an average of 18,750 square feet, are approximately half the size of adjacent lots. The site gains access from a cul-de-sac where as adjacent development gains access directly from Mello Avenue. Due to the average lot size being considerably smaller than adjacent development the proposed development is considered to be incompatible with the area and denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
02/04/04	A Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units per Acre) and a related Site Development Plan Review for a proposed 15-lot residential development were withdrawn without prejudice. The Planning Commission recommended denial.
12/21/06	A companion Rezoning (ZON-17248) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
01/06/06	The property was found to be full of debris and trash, this matter was turned over to Code Enforcement. The debris was removed from the site and Code Enforcement declared the case closed on 02/24/06.
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that this property is located in the Rural Preservation Overlay District Buffer. The applicant would have to dedicate 30 feet of right-of-way and construct half-street improvements. It was further discussed that there was a possible vacation of patent easements.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	5.06
Net Acres	5.03

SDR-17249 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
South	Undeveloped Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	L (Low Density Residential)	R-E (Residence Estates)
West	Single-family Residential	R (Rural Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		Y
Trails		X	Y
Rural Preservation Overlay District (Buffer)	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06, the following Development Standards apply:

Standard	Provided
Min. Lot Size	18,382 SF
Min. Lot Width	45.5 Feet
Min. Setbacks	
• Front	20 Feet
• Side	10 Feet
• Comer	15 Feet
• Rear	25 Feet
Min. Distance Between Buildings	20 Feet
Max. Building Height	29.5 Feet

SDR-17249 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Per Title 19.08.060:

<i>Residential Adjacency Standards</i>
Residential Adjacency Standards do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units per Acre	12 (Nine lots are proposed)	R-PD2 (Residential Planned Development – Two Units per Acre)	2.49 Units per Acre	R (Rural Density Residential)	3.59 Units per Acre

<i>Open Space</i>
Per Title 19.06.040 Residential Planned Developments with less than 12 lots are not required to provide open space. This proposal is for nine lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

<i>Parking Requirement</i>
The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development contains nine lots. These lots range from 18,382 square feet to 19,047 square feet, which are slightly smaller than the minimum for the current R-E (Residence Estates) District. It is noted that adjacent lots are over 35,000 square feet with some as large as 90,000 square feet. Based on this comparison this site would hold approximately five lots and still remain compatible with adjacent development. The proposed development would not be compatible with the adjacent lot sizes.

The setbacks for the proposed development are most closely related to those required by the R-D (Single-family Residential-Restricted) District. Setbacks in the current R-E (Residence Estates) District are double what are proposed in the front yard and 10 feet greater in the rear yard. The development gains access from a “dog-bone” style cul-de-sac off Mello Avenue. The other homes in the area gain access directly from Mello Avenue rather than a cul-de-sac.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

SDR-17249 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

The proposed development contains nine lots and is not required to provide open space. It is also noted that streetscape is not required along Mello Avenue. There are two common lots provided as public drainage easements; however, these will not contain any significant landscaping.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development contains lots that are approximately half the size of adjacent development. Additionally the site would gain access from a cul-de-sac. The surrounding lots all gain access directly from Mello Avenue. Adjacent development is primarily large lots with a rural character. The proposed development would not be compatible with these lots and denial of this request is recommended.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

While the proposed development does not deviate from the requirements of Title 19 or the General Plan, the development is not considered compatible with the area. The lot sizes are considered too small compared to adjacent development and also do not front onto the Mello Avenue right-of-way.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access via a cul-de-sac from Mello Avenue. The proposed development would have nine lots where a development compatible with the area would have five lots. This means that nearly twice as many vehicles would be traveling this segment of Mello Avenue. While Mello Avenue can handle this amount of traffic safely it will have an effect on the area.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

SDR-17249 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 123 [Mailed with ZON-17248]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17249** APN: 125-24-302-005

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

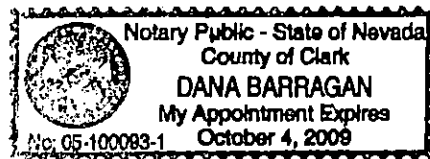
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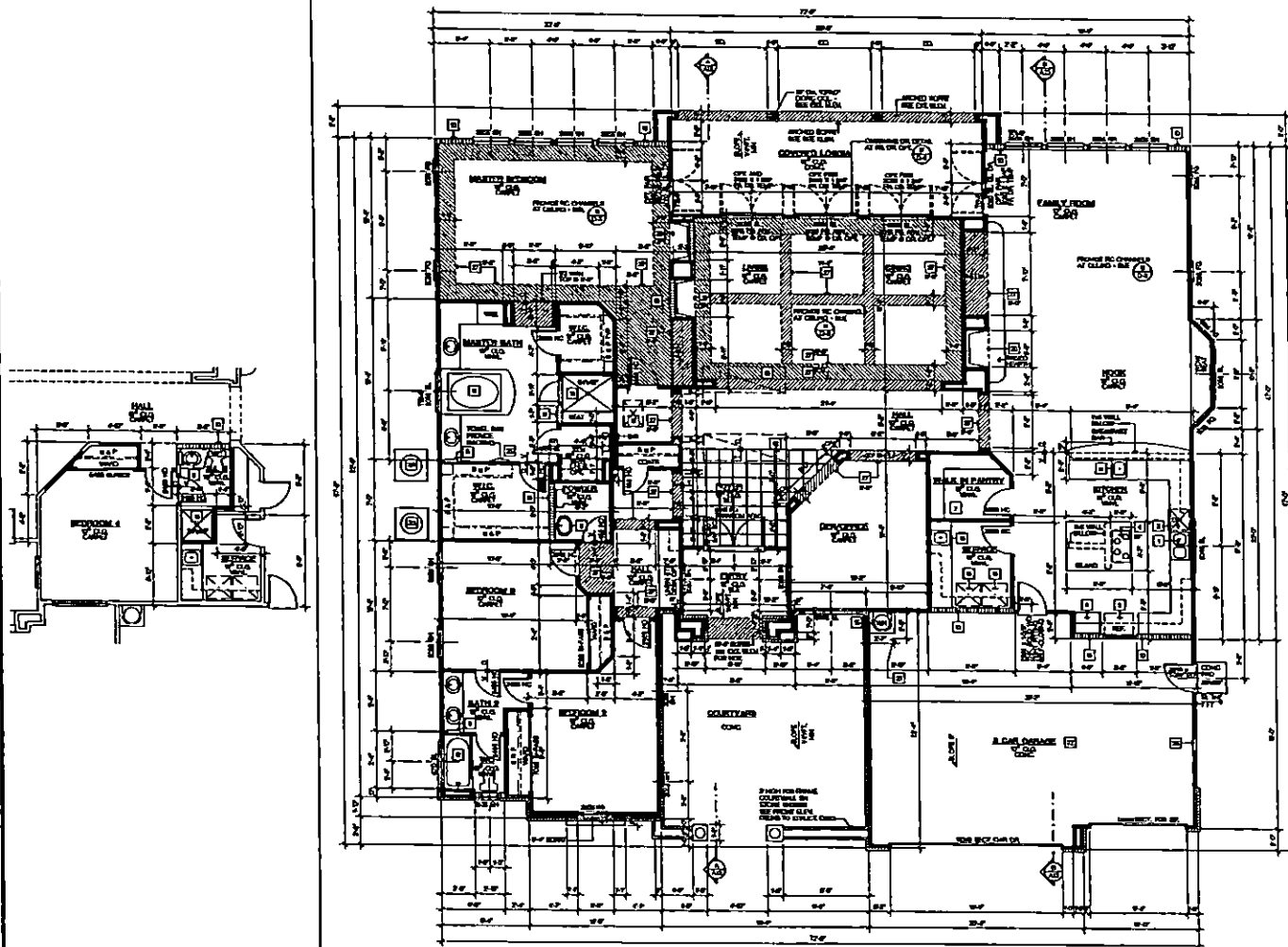
Signature of Property Owner: *Cheryl Kypers*

Print Name: Cheryl Kypers

Subscribed and sworn before me

This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State





BEDROOM 4 OPTION

SCALE: 1/8" = 1'-0"

2

FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL FLOORS ARE 4" THICK CONCRETE ON GRAVEL UNLESS NOTED OTHERWISE.
4. ALL ROOFS ARE 2" THICK CONCRETE ON GRAVEL UNLESS NOTED OTHERWISE.
5. ALL CEILING ARE 5" THICK CONCRETE ON GRAVEL UNLESS NOTED OTHERWISE.
6. ALL DOORS ARE 2' X 6' UNLESS NOTED OTHERWISE.
7. ALL WINDOWS ARE 4' X 6' UNLESS NOTED OTHERWISE.
8. ALL STAIRS ARE 10" WIDE UNLESS NOTED OTHERWISE.
9. ALL HALLS ARE 4' WIDE UNLESS NOTED OTHERWISE.
10. ALL BATHS ARE 5' X 7' UNLESS NOTED OTHERWISE.
11. ALL KITCHENS ARE 10' X 12' UNLESS NOTED OTHERWISE.
12. ALL LIVING AREAS ARE 12' X 16' UNLESS NOTED OTHERWISE.
13. ALL BEDROOMS ARE 12' X 12' UNLESS NOTED OTHERWISE.
14. ALL PORCHES ARE 10' X 12' UNLESS NOTED OTHERWISE.
15. ALL PATIOS ARE 10' X 12' UNLESS NOTED OTHERWISE.
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NOTES

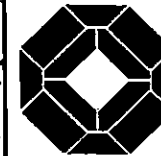
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SQUARE FOOTAGE

FLOOR AREA	THICK
TOTAL	2000 S.F.
ENTRY 1ST ELEVATION	500 S.F.
ENTRY 2ND ELEVATION	100 S.F.
ENTRY 3RD ELEVATION	100 S.F.
CONCRETE AREA	100 S.F.
PORTICO 1ST ELEVATION	100 S.F.

BENNINGTON PARK

TOUSA HOMES Inc. dba
ENGLE HOMES
7872 WEST SARARA
LAS VEGAS, NV 89107
2004-0777



KTOY GROUP, INC.

10000 S. RAY BLVD.
SUITE 100
LAS VEGAS, NV 89138

Phone: (702) 799-1111
Fax: (702) 799-1112

Website: www.ktoyg.com

License: 00000000

Project in Charge: J. TALLY
Project Designer: M. FOWLER
Project Manager: H. SCARSA
Project Designer: J. TALL

Sheet Title:
PLAN 1
"A" FLOOR PLAN
AND OPTION

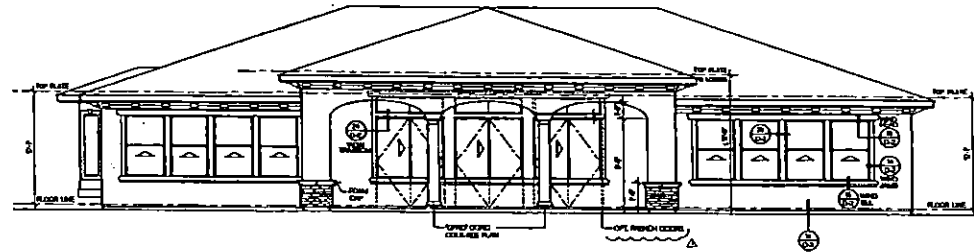
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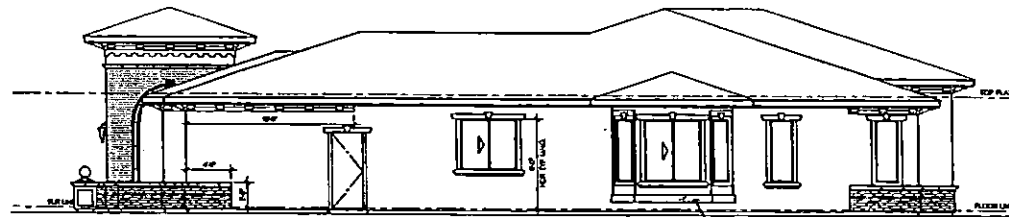
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SDR-17249
12/21/06 PC

OCT 02 2006



REAR



RIGHT

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0"

No.	Date	Issue / Description
1		SPRINT
2		REVISIONS
3		REVISIONS
4		REVISIONS
5		REVISIONS
6		REVISIONS
7		REVISIONS
8		REVISIONS
9		REVISIONS
10		REVISIONS

Comments

Project: **BENNINGTON PARK**
TOUSA HOMES Inc., d.b.a. ENGLE HOMES
 7872 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777



KTOYGROUP, INC.
 Architects - Builders
 10000 W. CENTRAL EXPRESSWAY
 SUITE 100, LAS VEGAS, NV 89135
 (702) 735-1111
 ktoygroup.com

License Number

Principal in Charge: **J. TUELV**
 Principal Designer: **M. POWLER**
 Project Manager: **M. BOHANNAN**
 Project Designer: **J. TSM**
 Checked By:

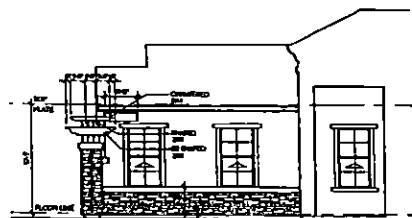
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PLAN 1
1/8" EXTERIOR ELEVATIONS

Sheet No.: **A1.6A**

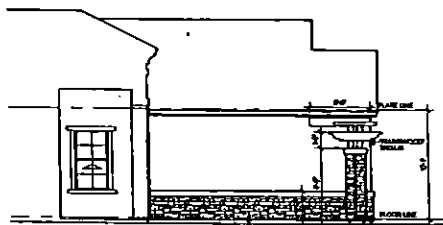
RECEIVED

OCT 02 2006

SDR-17249
12/21/06 PC



RIGHT

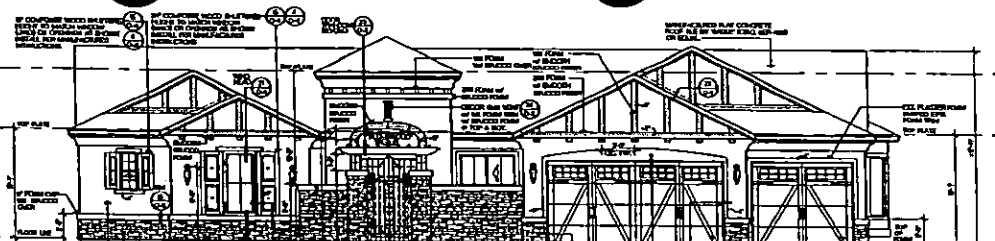


LEFT

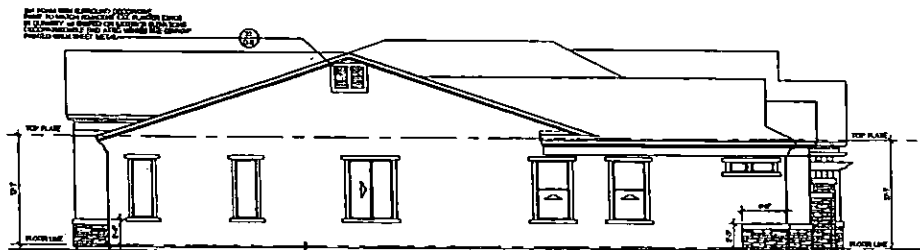
FRONT PORCH PARTIAL ELEVATION

SCALE: 1/4" = 1'-0"

3



FRONT

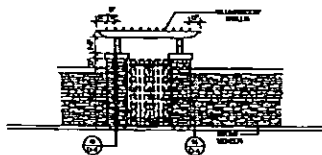


LEFT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

1



TRELLIS FRONT ELEVATION

SCALE: 1/4" = 1'-0"

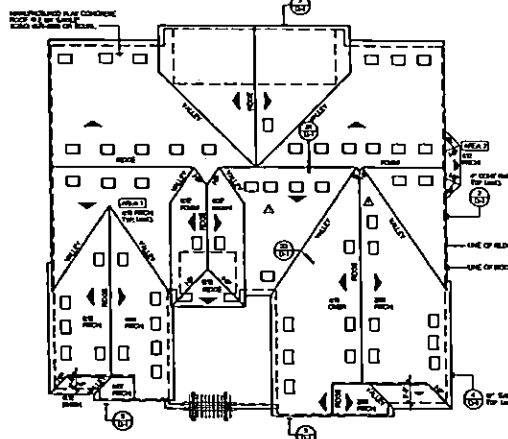
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FRONT ELEVATION w/o GARDEN WALL

SCALE: 1/4" = 1'-0"

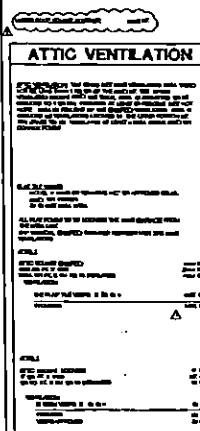
4



"C" ROOF PLAN

SCALE: 1/4" = 1'-0"

2



Rev.	Date	Issue / Description
1	01/01/06	ISSUED FOR PERMITS
2	01/01/06	ISSUED FOR PERMITS
3	01/01/06	ISSUED FOR PERMITS
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18	01/01/06	ISSUED FOR PERMITS
19	01/01/06	ISSUED FOR PERMITS
20	01/01/06	ISSUED FOR PERMITS

Product: **BENNINGTON PARK**

TOUSA HOMES Inc. dba
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7474 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGYGROUP, INC.

10000 INTERNATIONAL AVENUE
SUITE 100
LAS VEGAS, NV 89135
702.735.1111
www.ktgy.com

Prepared in Charge: **A. TILLY**
Prepared Designer: **W. FOWLER**
Prepared Drafter: **W. FOWLER**
Checked By: **A. TILLY**

Sheet Title:
**PLAN 1
"C" EXTERIOR ELEVATIONS
"C" ROOF PLAN**

A17

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12/21/06 PC

[illegible][illegible]

FLOOR AREA	
FIRST FLOOR	2222 S.F.
SECOND FLOOR	1580 S.F.
TOTAL	3802 S.F.
GARAGE	720 S.F.
BACK DECK	152 S.F.
PATIO	152 S.F.
ENTRY 1 st ELEVATIONS	78 S.F.
ENTRY 1 st ELEVATIONS	77 S.F.
ENTRY 1 st ELEVATIONS	76 S.F.
FRONT DECK 1 st ELEVATIONS	164 S.F.
FRONT DECK 1 st ELEVATIONS	160 S.F.
FRONT DECK 1 st ELEVATIONS	161 S.F.

Share # _____

SCALE : 60° & 30°

SDR-17249
12/21/06 PC

OCT 02 2006



SCALE : 14" = 1'-0"

SCALE : 1/4" = 1'-0"

[illegible]

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OCT 02 2006

ATTIC VENTILATION

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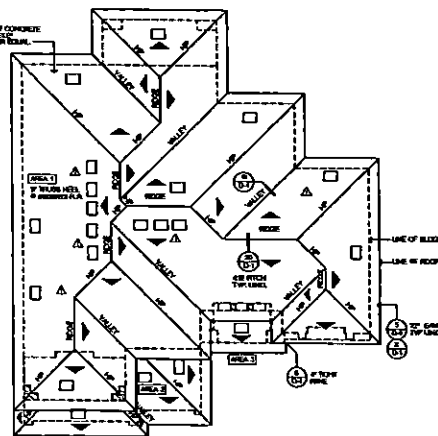
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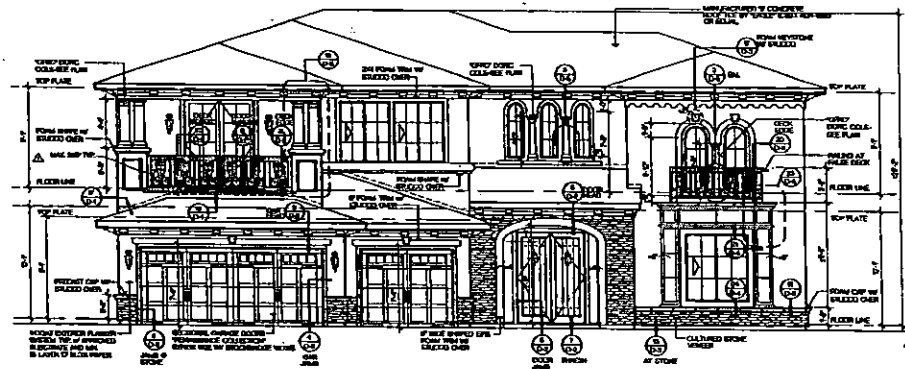
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10. ALL ROOF VENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

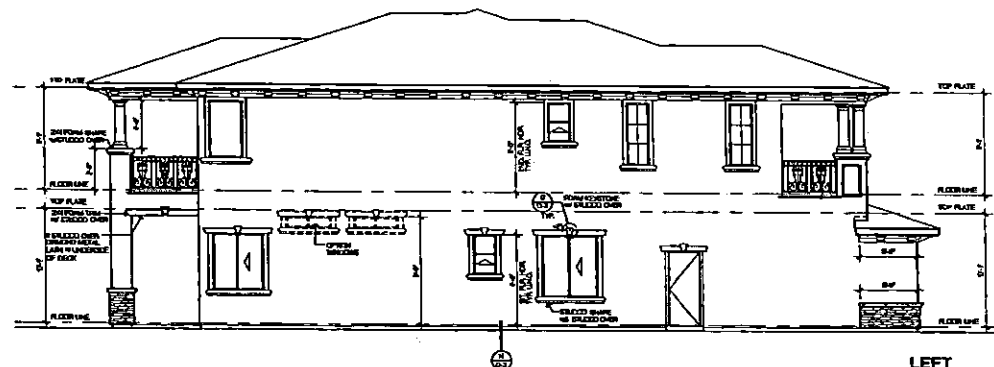
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"B" ROOF PLAN SCALE: 1/4" = 1'-0" 2



FRONT

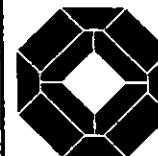


LEFT

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0" 1

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba. **ENGLE HOMES**
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, Inc.
Architectural Firm
4400 LAS VEGAS BLVD. SUITE 200
LAS VEGAS, NV 89166
702.734.8800
www.ktgy.com

Prepared by: **A. TULLY**
Project Director: **M. FORSLER**
Project Manager: **H. BOUARI**
Project Designer: **A. TAN**

Sheet Title:
PLAN 2
"B" EXTERIOR ELEVATIONS
"B" ROOF PLAN

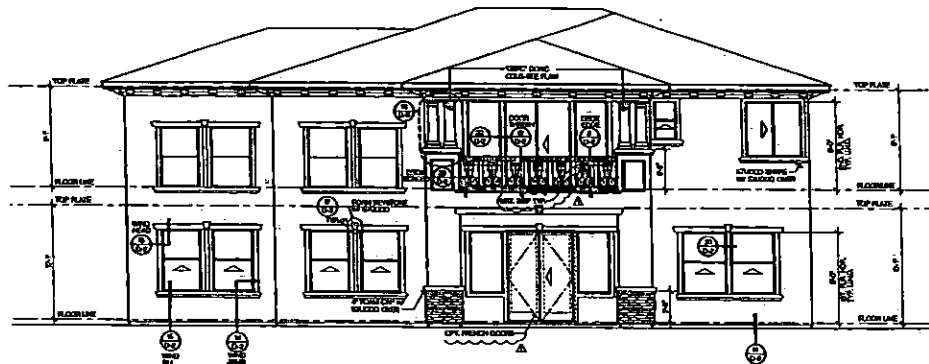
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REAR



RIGHT

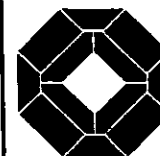
EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

No.	Date	Issue / Description
1	10/10/06	ISSUED: BLDG DEPT. PERMITAL
2	10/10/06	ISSUED: BLDG DEPT. PERMITING
3	10/10/06	ISSUED: BLDG DEPT. PERMITING
4	10/10/06	ISSUED: BLDG DEPT. PERMITING
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9	10/10/06	ISSUED: BLDG DEPT. PERMITING
10	10/10/06	ISSUED: BLDG DEPT. PERMITING

Comments

Project: **BENNINGTON PARK**

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ENGLE HOMES
7712 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, INC.
Architects
One MEMORIAL AVENUE
SILVERDALE, CA 95771
916.481.1000
www.ktgy.com
San Francisco, California

License Number

Principal in Charge: **A. TULLY**
Principal Designer: **M. FOWLER**
Principal Designer: **M. FOWLER**
Principal Designer: **A. TULLY**
Checked By:

Sheet Title:
PLAN 2
"R" EXTERIOR ELEVATIONS

Sheet No.:

A2.6A

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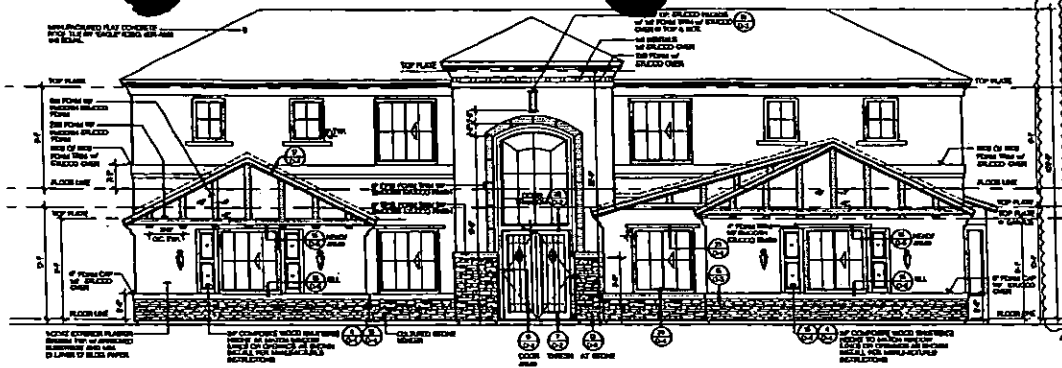
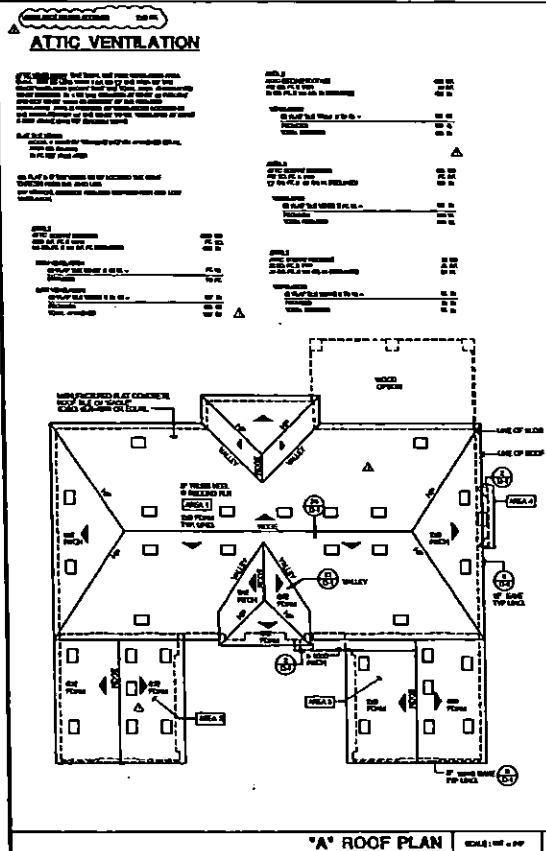
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SCALE: 1/4" = 1'-0"

12/21/06 PC



Rev. Date Issue / Description

01/01/06	REVISED ELEVATIONS
02/01/06	REVISED ELEVATIONS
03/01/06	REVISED ELEVATIONS
04/01/06	REVISED ELEVATIONS
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11/01/06	REVISED ELEVATIONS
12/01/06	REVISED ELEVATIONS

Project: **BENNINGTON PARK**

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 7772 WEST SARARA
 LAS VEGAS, NV 89117
 2004-0777

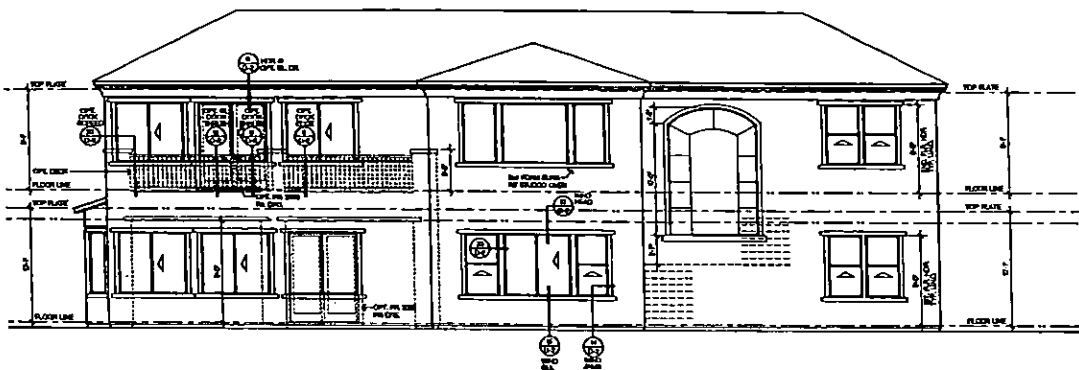
KTGYGROUP, Inc.
 1000 S. LAS VEGAS BLVD.
 SUITE 100
 LAS VEGAS, NV 89101
 (702) 735-1000
 kathy@ktgygroup.com

Prepared by: **J. TILLY**
 Project Designer: **M. POWELL**
 Project Manager: **R. SCHWAB**
 Project Designer: **J. TILLY**

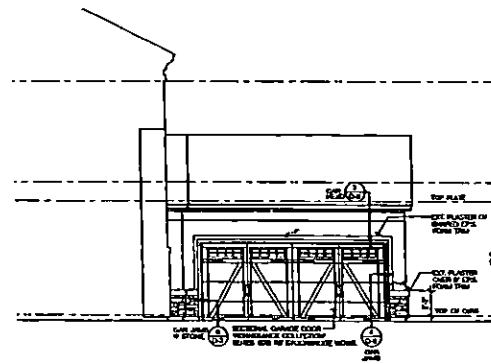
Sheet Title:
PLAN 3
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No.: **A3.4**

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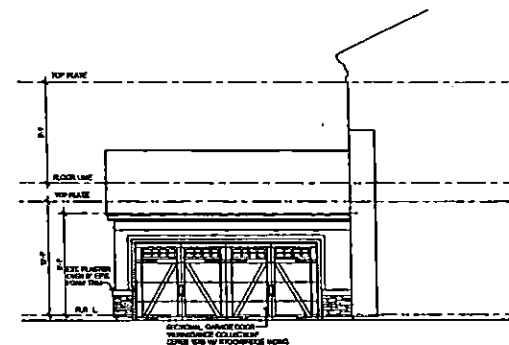
REAR



COURTYARD LEFT



RIGHT



COURTYARD RIGHT

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

Rev.	Date	Revised / Description
1		ISSUED
2		REVISIONS
3		REVISIONS
4		REVISIONS
5		REVISIONS
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7		REVISIONS
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10		REVISIONS

Consultant

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7772 WEST SARARA
LAS VEGAS, NV 89117
2004-0777



KTGYGROUP, INC.

3800 SANDHURST DRIVE
SUNNYVALE, CA 95086
950-351-1000
www.ktgy.com
San Jose, California

Licensee Stamp

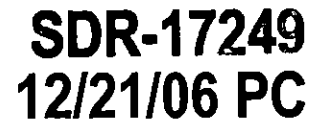
Principal in Charge: **A. TULLY**
Principal Designer: **M. POWELL**
Principal Manager: **M. SCHAFER**
Principal Designer: **A. TULLY**
Checked By: _____
Drawn Title: **PLAN 3**
'A' EXTERIOR ELEVATIONS

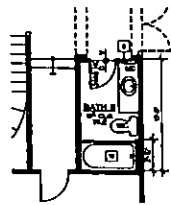
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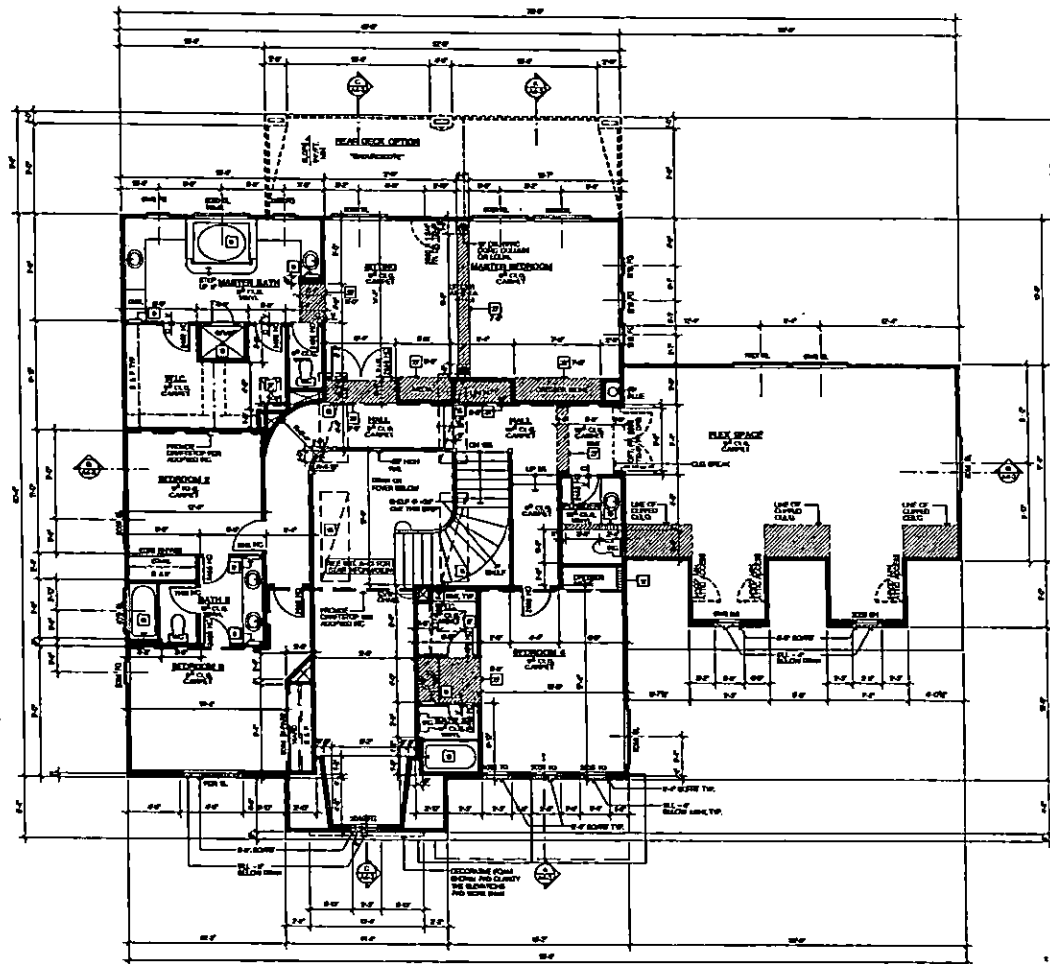
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1 BATHROOM 5
OPTION



SECOND FLOOR PLAN AND OPTIONS

SCALE: 1/8" = 1'-0"

- ### KEYNOTES
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SQUARE FOOTAGE

FLOOR AREA	NET AREA
FIRST FLOOR	2718 S.F.
SECOND FLOOR	2571 S.F.
TOTAL	5289 S.F.
CLOSET	715 S.F.
REAR PATIO	300 S.F.
REAR DECK	200 S.F.
ENTRY - ELEV. 1"	71 S.F.
ENTRY - ELEV. 1"	63 S.F.
PORCH - ELEV. 1" & 1"	90 S.F.
PORCH - ELEV. 1"	90 S.F.

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. d.b.a. ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777

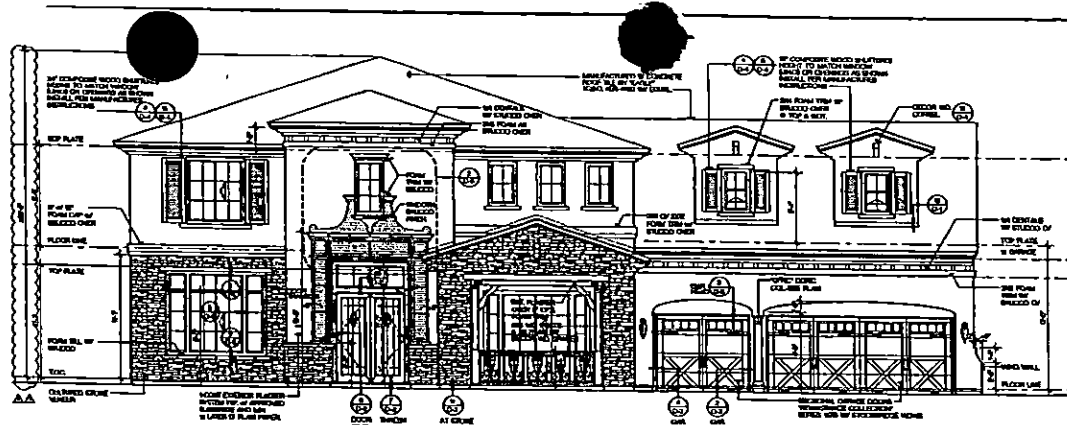
KTGY GROUP, INC.
1000 S. MAIN ST.
SUITE 200
LAS VEGAS, NV 89101
702.735.1234

Prepared by: **J. TULLY**
Project Director: **M. FOWLER**
Project Manager: **R. SCARLA**
Project Designer: **A. TAN**

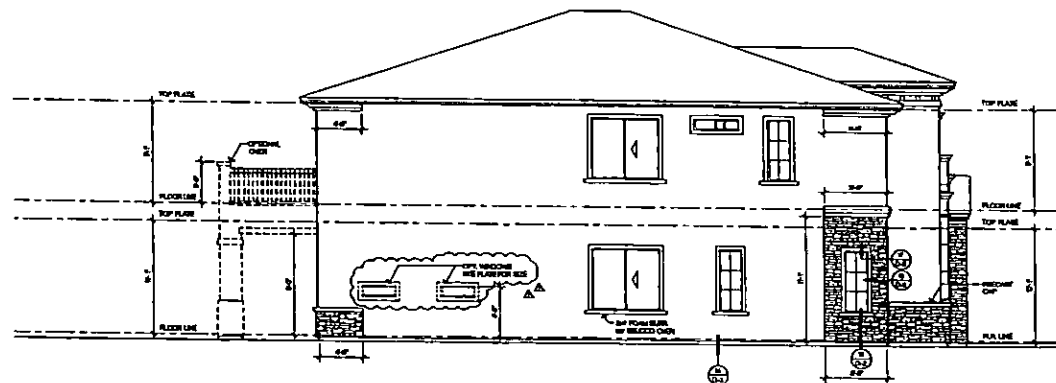
Check This: **PLAN 4**
"A" SECOND FLOOR PLAN AND OPTION

Check This: **A4.1A**

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12/21/06 PC
SDR-17249
OCT 02 2006



FRONT

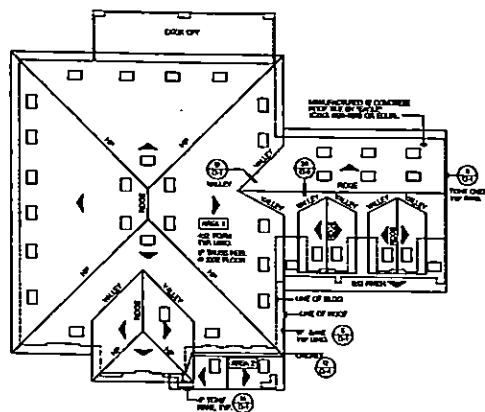


LEFT

ATTIC VENTILATION

EXISTING: TO BE REMOVED AND REPLACED WITH NEW VENTILATION SYSTEM. SEE PLAN FOR DETAILS. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE (NBC).

ITEM	DESCRIPTION	QTY	UNIT
1	1/2\"/>		



"A" ROOF PLAN

SCALE: 1/8\"/>

2

EXTERIOR ELEVATIONS

SCALE: 1/8\"/>

1

Rev. Date Description

3/2/06 BLDG DEPT. SUBMITTAL
3/2/06 BLDG DEPT. PERMITS
3/2/06 BLDG DEPT. PERMITS

Comments

Product - BENNINGTON PARK

TOUSA HOMES Inc. dba
ENGLE HOMES
7772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, INC.

ONE RIVERSIDE DRIVE
SUNNYVALE, CA 94086

ONE RIVERSIDE DRIVE
SUNNYVALE, CA 94086

TEL: 415/351-1000

License Stamp

Principal in Charge - A. TULLY
Project Designer - M. FOWLER
Project Manager - M. MCANARA
Project Designer - J. TULLY

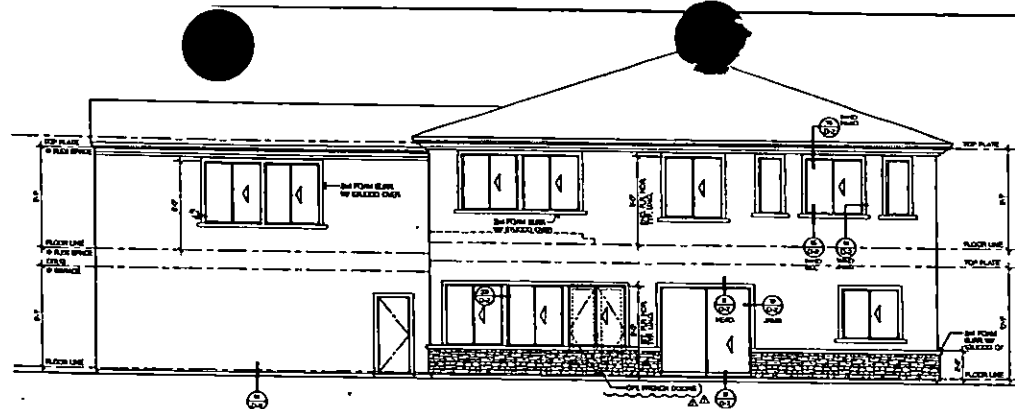
Sheet Title -
PLAN 4
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

Sheet No. -

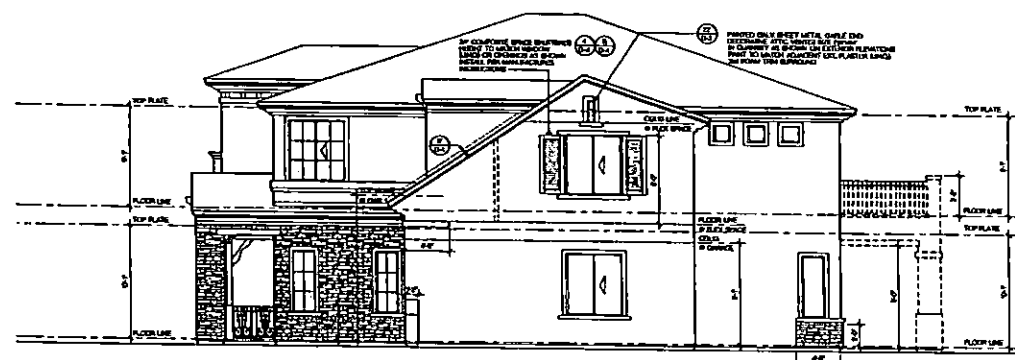
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12/21/06 PC
SDR-17249

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OCT 02 2006



REAR

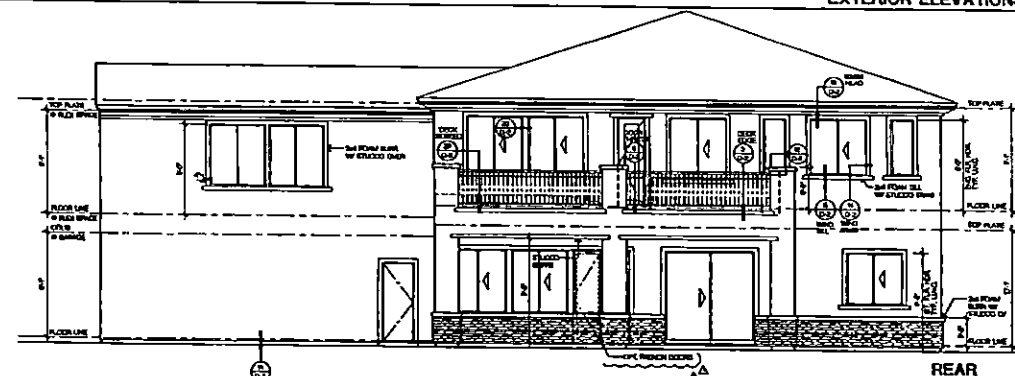


RIGHT

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

1



REAR

DECK OPTION ELEVATION

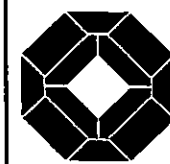
SCALE: 1/4" = 1'-0"

2

Rev.	Date	Notes / Description
1		REAR ELEVATION
2		REAR ELEVATION
3		REAR ELEVATION
4		REAR ELEVATION
5		REAR ELEVATION
6		REAR ELEVATION
7		REAR ELEVATION
8		REAR ELEVATION
9		REAR ELEVATION
10		REAR ELEVATION
11		REAR ELEVATION
12		REAR ELEVATION
13		REAR ELEVATION
14		REAR ELEVATION
15		REAR ELEVATION
16		REAR ELEVATION
17		REAR ELEVATION
18		REAR ELEVATION
19		REAR ELEVATION
20		REAR ELEVATION

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba
ENGLE HOMES
 7772 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777



KTOYGROUP, Inc.
 10000 KTOY GROUP DRIVE
 SUITE 100
 LAS VEGAS, NV 89131
 702.735.1111
 www.ktoygroup.com

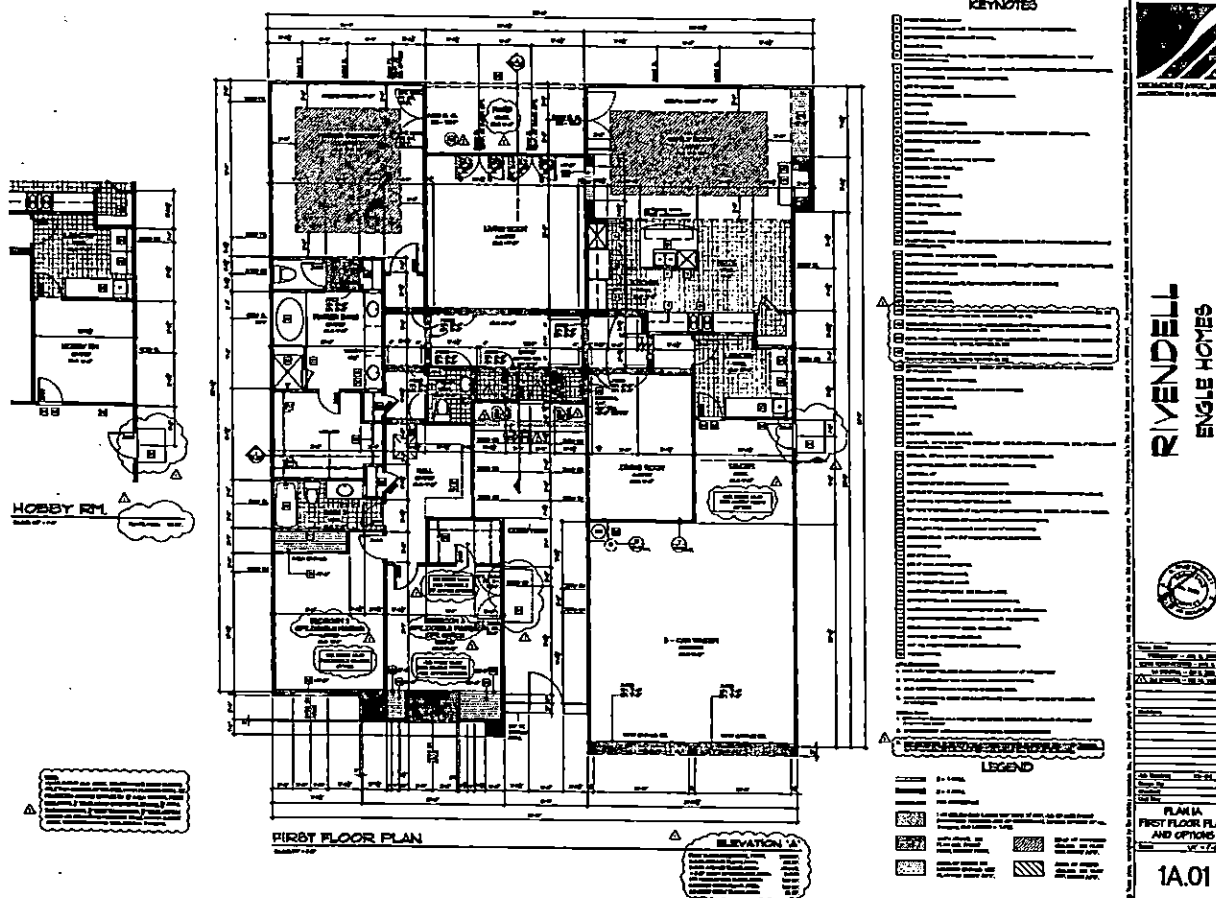
Project in Charge: **A. TALLY**
 Project Designer: **M. FORSTER**
 Project Manager: **M. BERNARD**
 Project Engineer: **A. TALLY**
 Checked By: **A. TALLY**

Sheet Title:
PLAN 4
"A" EXTERIOR ELEVATIONS

Sheet No.: **A4.4A**

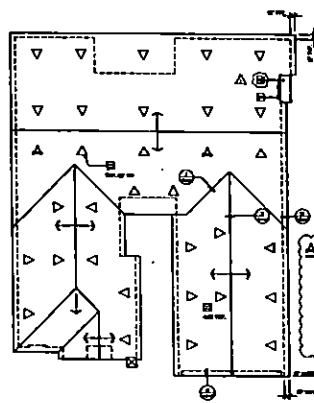
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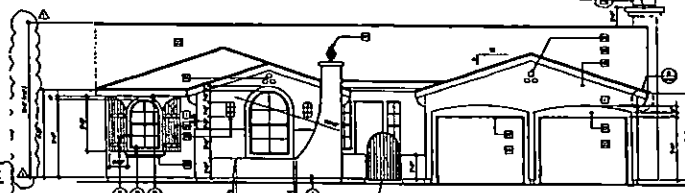


ROOF PLAN
Scale: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

VENT TYPE	AMOUNT
SOFFIT VENTS	1.000 SQ. FT.
ROOF VENTS	1.000 SQ. FT.
TOTAL	2.000 SQ. FT.

NOTE: ALL VENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

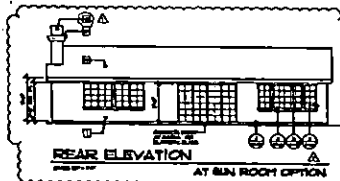


FRONT ELEVATION
Scale: 1/4" = 1'-0"

ELEVATION 'A'

ELEVATION NOTES

1. EXTERIOR WALLS SHALL BE CONCRETE BLOCK WITH STUCCO FINISH.
2. ROOF SHALL BE ASPH/FLT SHINGLES.
3. FLOORS SHALL BE 1 1/2" CONCRETE ON 2" GYPSUM BOARD.
4. CEILING SHALL BE 5/8" GYPSUM BOARD.
5. DOORS SHALL BE 1 3/4" SOLID CORE WITH GLASS INSERTS.
6. WINDOWS SHALL BE 1 3/4" DOUBLE GLAZED ALUMINUM.
7. GARAGE FLOORS SHALL BE 4" CONCRETE ON 4" GYPSUM BOARD.
8. GARAGE WALLS SHALL BE CONCRETE BLOCK WITH STUCCO FINISH.
9. GARAGE CEILING SHALL BE 5/8" GYPSUM BOARD.
10. GARAGE DOORS SHALL BE 16' x 8' SECTIONAL OVERHEAD DOORS.
11. EXTERIOR LIGHTS SHALL BE 1' x 4' RECESSED CAN LIGHTS.
12. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
13. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
14. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
15. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
16. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
17. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
18. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
19. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.
20. EXTERIOR VENTS SHALL BE 1' x 1' ALUMINUM VENTS.



REAR ELEVATION
Scale: 1/4" = 1'-0"

AT SUN ROOM OPTION



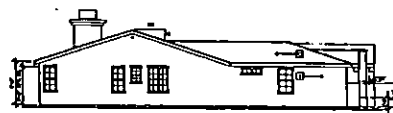
ENTRY ELEV.
Scale: 1/4" = 1'-0"

ELEV. 'A'

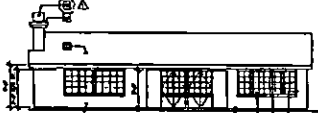


ENTRY ELEV. W/ PORCH OPTION
Scale: 1/4" = 1'-0"

ELEV. 'A'



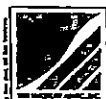
LEFT ELEVATION
Scale: 1/4" = 1'-0"



REAR ELEVATION
Scale: 1/4" = 1'-0"



RIGHT ELEVATION
Scale: 1/4" = 1'-0"



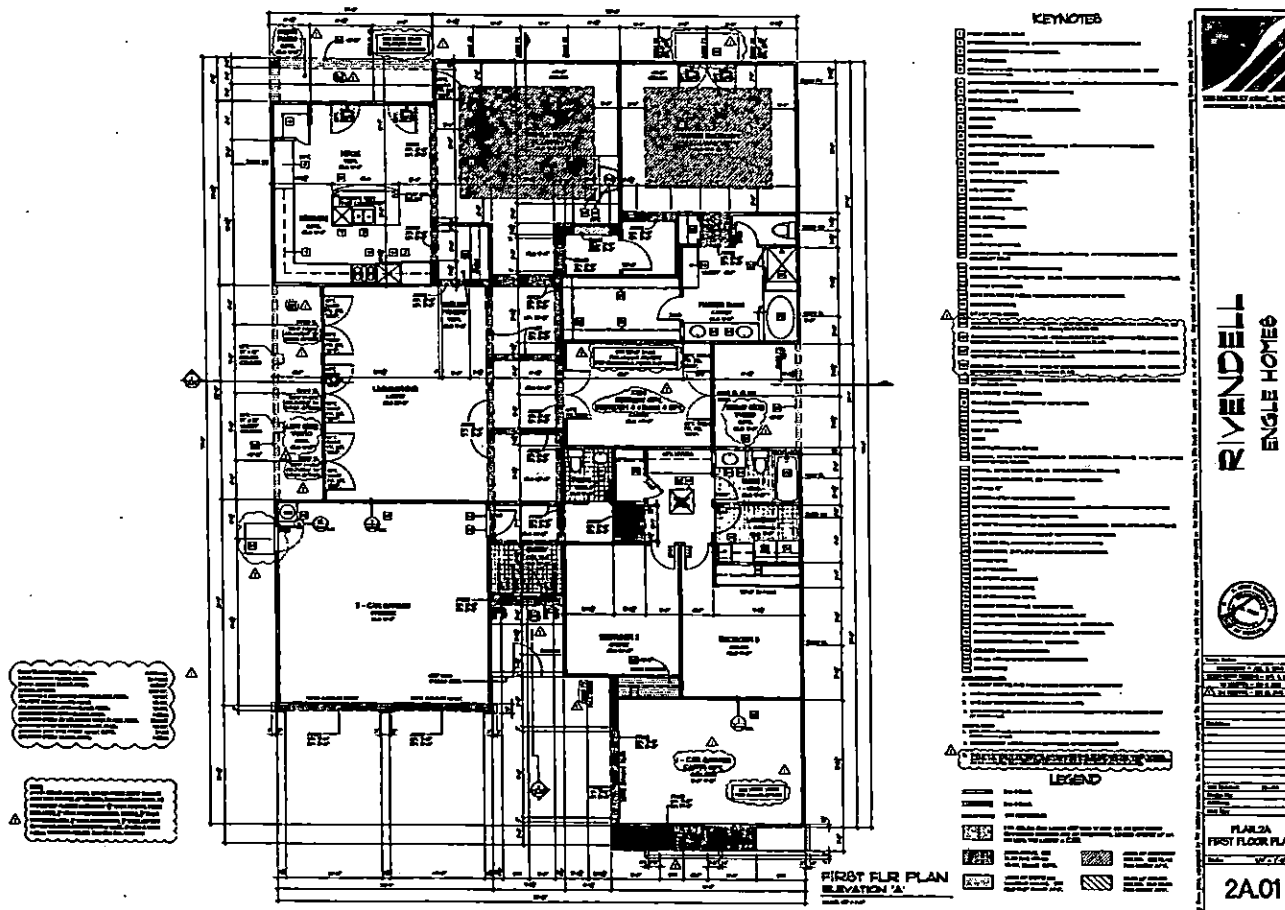
RIVENDELL
ENGINE HOMES



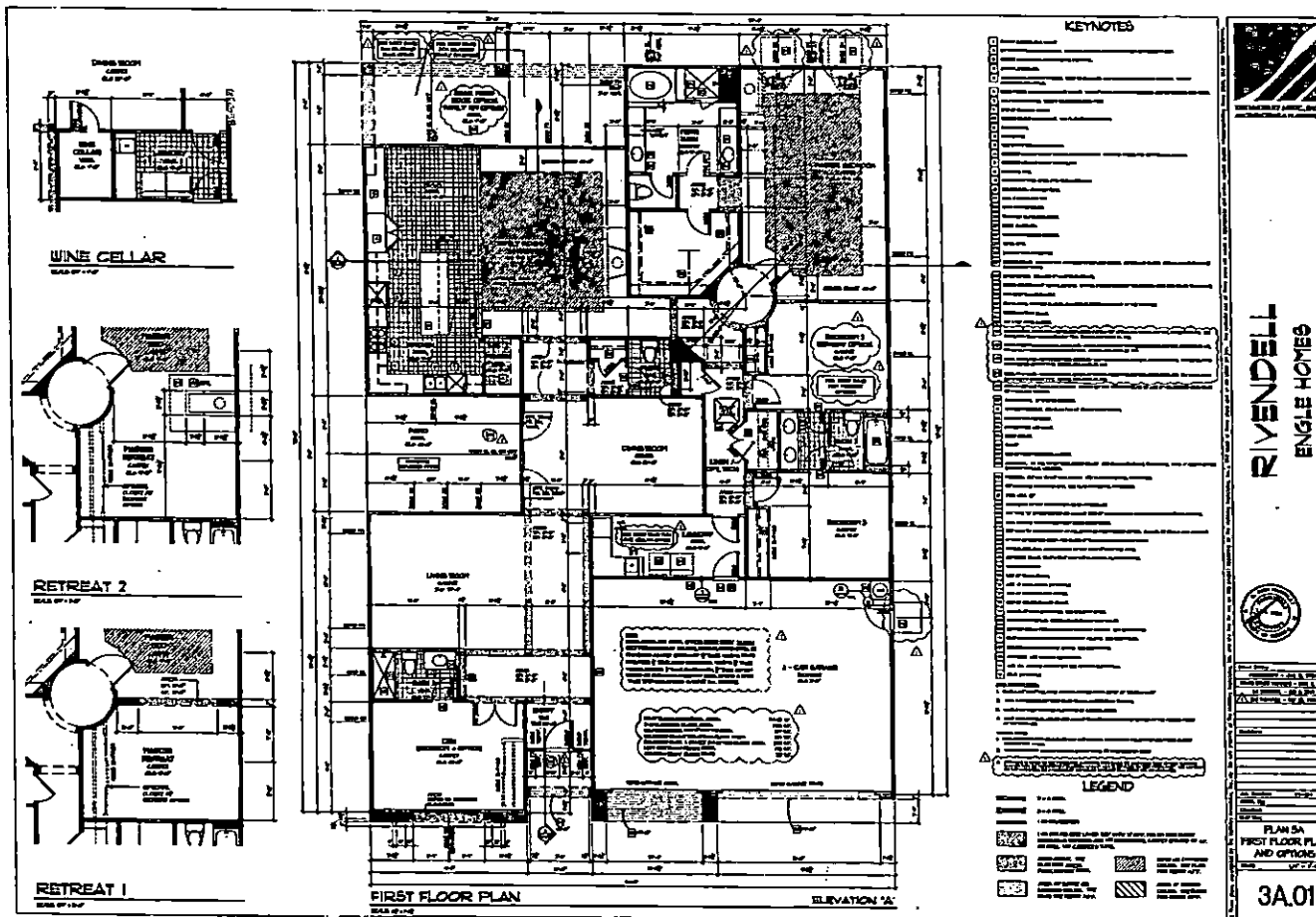
PLAN 1A
EXT. ELEVATIONS
AND ROOF PLAN
1A.04

12/21/06 PC
SDR-17249

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12/21/06 PC
OCT 02 2006
SDR-17249



SDR-17249

12/21/06 PC

RECEIVED

OCT 02 2006

SDR 17249				
Wright Engineers				
SS Mello, E of Jones				
Proposed 9 lot single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	9	9.57	86
AM Peak Hour			0.75	7
PM Peak Hour			1.01	9
(heaviest 60 minutes)				
Existing traffic on all nearby streets: counts not available for Mello Avenue				
Jones Boulevard				
Average Daily Traffic (ADT)	12,376			
PM Peak Hour	990			
(heaviest 60 minutes)				
Bradley Road				
Average Daily Traffic (ADT)	1,422			
PM Peak Hour	114			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
Adjacent street ADT				
Capacity				
Jones Boulevard	49115			
Bradley Road	16200			
This project will add approximately 86 trips per day on Mello, Jones and Bradley. This will increase expected volumes by less than one percent on Jones and about six percent on Bradley. Jones is at about 25 percent of capacity and Bradley is at about 9 percent of capacity. Counts are not available for Mello, but it is believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 9 additional cars into the area; which works out to about two every thirteen minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



ZON-17248 & SDR-17249 - APPLICANT/OWNER: TOUSA HOMES, INC.
SOUTH SIDE OF MELLO AVENUE, APPROXIMATELY 625 FEET EAST OF JONES BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



September 28, 2006

CIVIL City of Las Vegas
Planning and Development Department
STRUCTURAL 731 South 4th Street
Las Vegas, Nevada
MECHANICAL 89101

Dear Ladies/Gentlemen:

ELECTRICAL
PLUMBING
PAINTING
Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Deer Springs Way and Bradley Road, also known as Falcon Crest Unit 2 (APN 125-24-302-005).

Our client intends to develop nine single-family homes on the site. The site is currently designated R (Rural Density Residential) in the City's Master Plan, which allows for densities up to 3.59 u.p.a. The site is currently zoned R-E (Residence Estates).

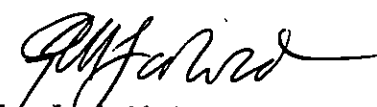
The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.78 u.p.a., is far below the Rural Density threshold of 3.59 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations.

This site was the location of a previously requested Rezoning to R-PD3 and related 15-lot residential development (ZON-3219 and SDR-3220), which were withdrawn February 4, 2004 City Council meeting. The current rural-density residential project, with only nine large lots, will be more compatible with surrounding residential uses than the previous request.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,


Gary Leibold, AICP
Director of Planning

SDR-17249
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006**DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR:** M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION****SUBJECT:**

ZON-17250 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 3.58 acres at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:Staff recommends **DENIAL**.**BACKUP DOCUMENTATION:**

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Protest letter by the Burgos Family for Items 32-34

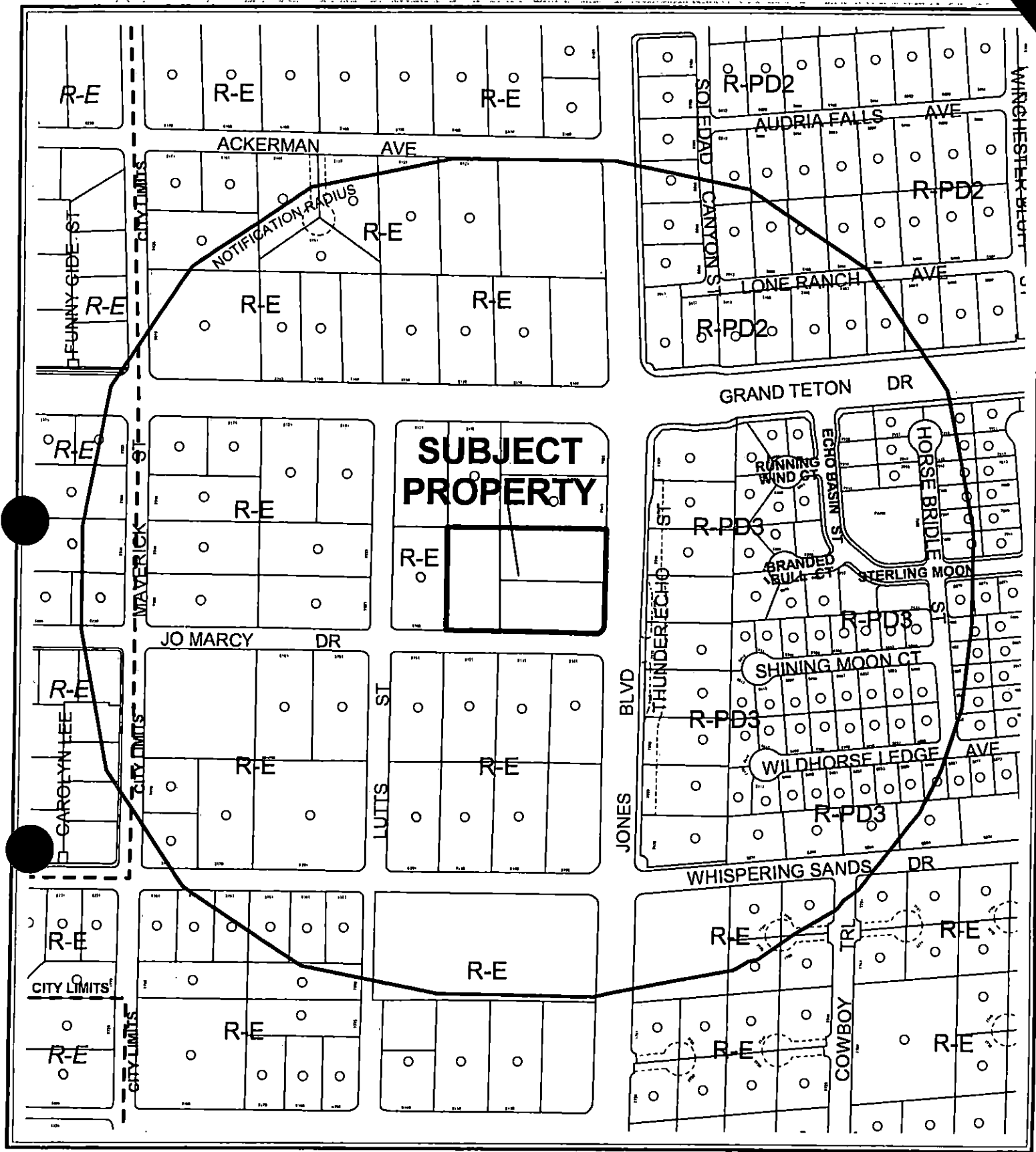
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused.

MINUTES:

Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] were requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

(6:03 – 6:09)



CASE: **ZON-17250**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet





CASE: **ZON-17250**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ZON-17250 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. A Site Development Plan Review (SDR-17254) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Dedicate the additional right-of-way necessary to complete the taper required by Standard Drawing #201.1 for the intersection of Jones Boulevard and Grand Teton Drive that extends along Jones Boulevard at the northeast corner of this site.
4. Construct half-street improvements including appropriate transition paving on Jo Marcy Drive and Jones Boulevard adjacent to this site concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete). Alternatively, if allowed by the City Engineer, offsite improvements on Jones Boulevard may be satisfied through participation in the Jones Boulevard – Elkhorn Road to Horse Drive public improvement project.
5. A working sanitary sewer connection shall be in place prior to final inspection of any units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

ZON-17250 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

6. Extend public sewer in Jo Marcy Drive to the western edge of this site at a size, depth and location acceptable to the Collection System Planning section of the Department of Public Works. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-17250 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed rezoning to and R-PD2 (Residential Planned Development – 2 Units Per Acre) is not considered appropriate for this location. The parcel does not meet the minimum lot size for Residential Planned Development and a Variance (VAR-17253) is required. The lot sizes that result from this rezoning are approximately 1,500 square feet smaller than what is currently permitted on this property; however, the lot sizes are only half the size of the existing adjacent lots. The setbacks that would result are more closely related to those of higher density development rather than the current R-E (Residence Estates) District. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/06	Companion items for a Site Development Plan Review (SDR-17254) and a Variance (VAR-17253) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

NG

ZON-17250 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency requirements do not apply to the proposed development.

ZON-17250 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	DR (Desert Rural Density Residential)	2.49 Units Per Acre

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed rezoning is not considered appropriate. The parcel does not meet the requirements of Title 19.06.040 for Residential Planned Development as it is less than five acres in area. The subject property is 28 percent deficient in area. This deviation requires a Variance (VAR-17253) and denial of that variance is recommended. It is further noted that this rezoning would permit the applicant to develop an additional three lots on the property than what adjacent development typically would have. The smaller lots create shorter setbacks which resemble a higher density development. Together these changes would make the site incompatible with the surrounding neighborhood. Denial of this request is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **“The proposal conforms to the General Plan.”**

While the proposed development conforms to the General Plan, the proposal is considered to be incompatible with the surrounding area due to smaller lot sizes and the required Variance.

ZON-17250 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

The single-family residential use is compatible with the area; however, the proposed design includes lot sizes that are smaller than adjacent lots and additional deviations from standards that make the proposed project incompatible with the area.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

Growth and development factors do not indicate the need for this rezoning. The applicant is simply gaining additional lots over what would otherwise be permissible under the current zoning designation.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The site gains access via a cul-de-sac from Jo Marcy Drive. The addition of six lots will cause an increase in traffic on this portion of Jo Marcy Drive.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with VAR-17253 & SDR-17254]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-17250** APN: 125-14-506-006, 007, and 008

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

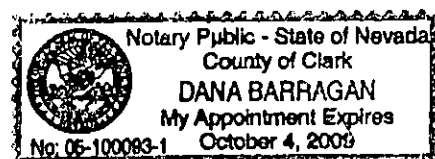
APN: _____

Signature of Property Owner: *Cheryl Kypreos*

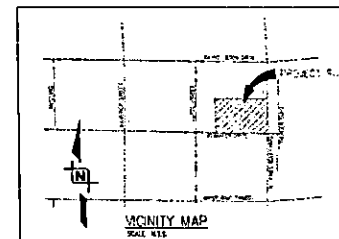
Print Name: Cheryl Kypreos

Subscribed and sworn before me

This 21st day of September, 2006
Dana Barragan
Notary Public in and for said County and State



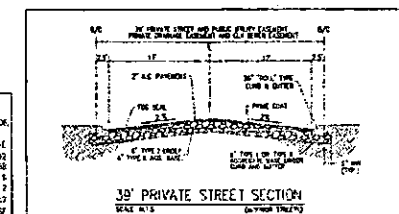
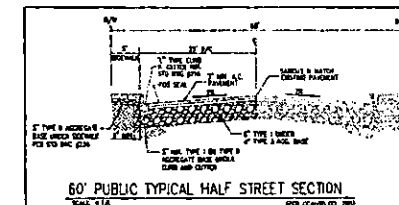
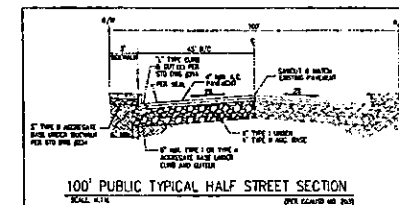
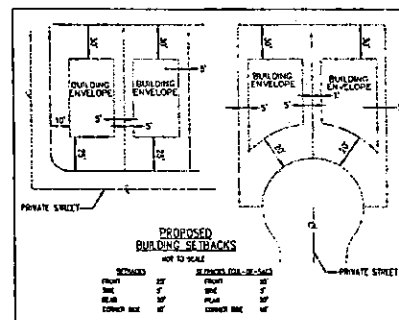
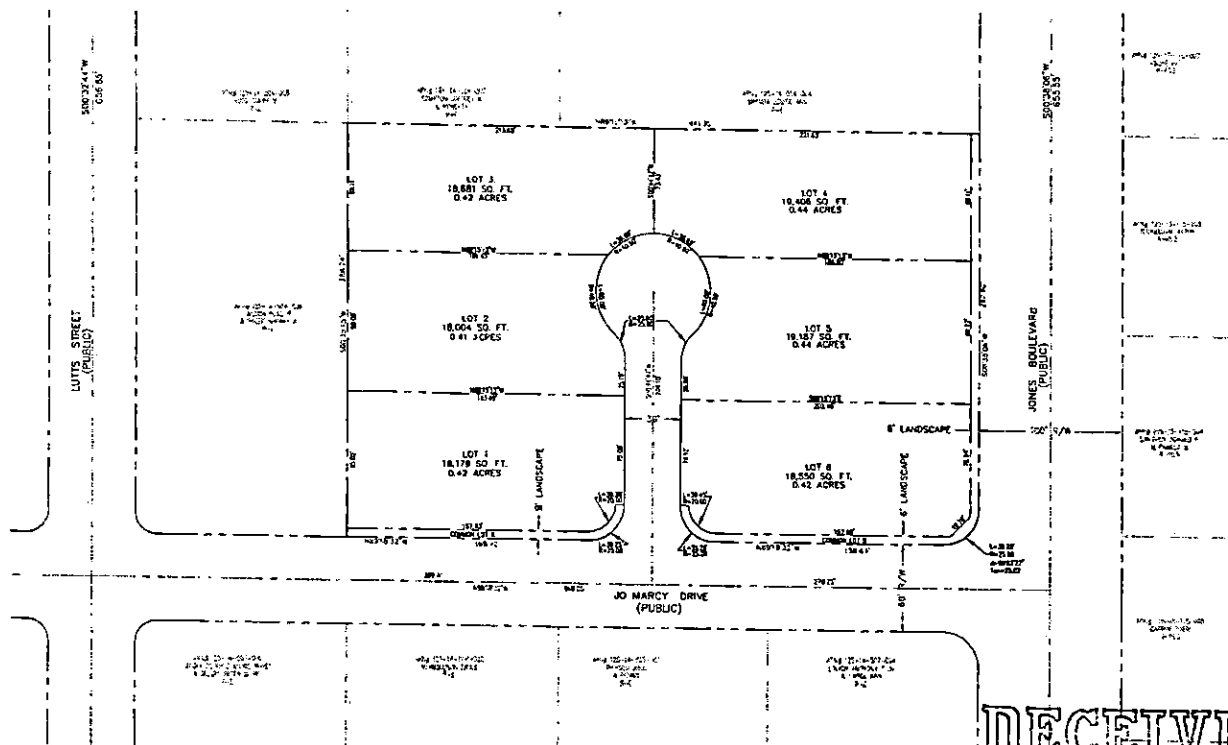
**R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT -2 UNITS PER ACRE)
APN #125-14-504-006, 007 & 008**



WRIGHT

client driven

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ENCLOSURE HOMES

FALCON CREST UNIT 3

WHITE PLAIN - 10 MARCY DRIVE

DATE: 2/10/00

7872 W. SAWAZA AVE
LAS VEGAS, NV 89117

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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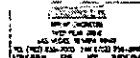
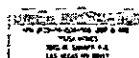
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[illegible]

ZON-17250
12/21/06 PC

RECEIVED
OCT 02 2006

SITE DATA	
ASSESSORS PARCEL NUMBER	125-14-50-000 947 & 008
CURRENT ZONING	R-1
PROPOSED ZONING	R-PD
GROSS ACRES	3.5
NUMBER OF LOTS	
COMMON LOTS	
DU/AC	
MINIMUM LOT SIZE	10,000



DATE	8/27/06
DESIGNED BY	
PROJECT NO.	
PROJECT NO.	0024154
SCALE	1"=60'

51
2 04 7 0000
2 00000000



September 28, 2006

City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101

Dear Ladies/Gentlemen:

Please accept this letter from Wright Engineers on behalf of our client, Touse Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Jones Boulevard and Jo Marcy Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

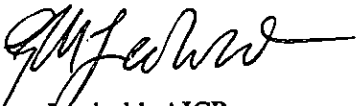
Our client intends to develop six single-family homes on the site. The site is currently designated DR (Desert Rural Density Residential) in the City's Master Plan, which allows for densities up to 2.49 u.p.a. The site is currently zoned R-E (Residence Estates).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD developments; a request for a Variance to this requirement is also being filed.

The proposed rural density residential development will be compatible with surrounding residential uses, and will be a logical and attractive use of an infill parcel that will be designed to compliment the area.

Thank you for your consideration.

Sincerely,



Gary Leobold, AICP
Director of Planning

ZON-17250
12/21/06 PC

December 20, 2006

Planning and Development Department
Current Planning Division
Development Services Center
713 South Fourth Center
Las Vegas, NV 89101

Re: SDR-17254, ZON-17250 and VAR-17253

This letter is in reference to items that are on the agenda for the Planning Commission meeting scheduled for December 21, 2006. Normally, we try and attend any meeting that there is a item that concerns our community, but unfortunately our schedule will not allow us to attend this particular meeting. Below we are addressing our objections and concerns in reference to the above mentioned agenda items.

The three items we are in objection to are in reference to 3.58 acre parcel of property located at the NW corner of Jo Marcy Drive and N. Jones Blvd. We live at 6161 Jo Marcy which is just West of this location and have lived there since 1994. Our current zoning is Residential Estates with the majority of the areas being located in the Rural Preservation Overlay District. Touse Homes, Inc. is requesting that the current zoning of R-E be changed to R-PD2 which is a ridiculous request. R-PD2 is not consistent with the general plan nor does it comply or remotely represent the intent of the Rural Preservation Overlay District. The previous planners of our community designated our area the Rural Preservation Overlay District so that it would ensure that the rural character of each rural preservation neighborhood was preserved and would establish a basis for standards for the development of the area to maintain the rural atmosphere.

If one just looks at the map that is located on the hearing notice that (hopefully was sent to all the nearby residents) it clearly shows that this area should NOT be R-PD2. Nearly all of the homes surrounding this parcel are 1 acre parcels. The Iron Mountain Development which is located just east of this property consists of 1/2 acre parcels but they are very large 1/2 acres and are all facing Jones. My family and several of our neighbors spent countless hours and few thousand dollars working with the Iron Mountain development (It was originally to be a Champion Homes Development, but he went bankrupt) to work out a site plan that would at least compliment the rural area and provide some consistency to the current zoning. Although not perfect, and they didn't comply with everything the City Council required, we think we succeeded. Now this developer is trying to get variances and change zoning so he can squeeze higher density developments into R-E

Submitted after final agenda

Date 12/21/06 Item #32-34

(P)
32-34 P

zoning so that I am sure he can make more money than what he could if he built within the appropriate zoning and codes.

Our area has been almost totally stripped of what was promised to be the "Rural Area" and was clarified and designated in several earlier renditions of general amendments and maps including the most current 2020 Centennial Hills General Plan Map. We are asking that you please try and adhere to at least a little bit of what was supposed to be intended for this area and deny any variances or re-zoning of this particular parcel. The General Plan says that no amendment or re-zoning shall be approved unless it is consistent with the goals, objectives and policies of the General Plan. This project DOES NOT so it should be a easy decision to deny their applications. Their request for a variance on the minimum acre requirement should be denied because the requirement is there for a reason. This size of project cannot and should not be squeezed into 3.58 acres, especially when the minimum size is 5 acres.

This letter not only represents the views of our family but also the many residents that live either on Jo Marcy or nearby homes. Most of us have lived in the area for over ten years and have seen our rural area get destroyed development by development. At the last meeting we attended, one of the planning commissioners tried to explain that it is just "growth", but we disagree. We believe it is "IRRESPONSIBLE GROWTH", brought on by greedy developers and enabled by either less than ethical politicians or some planners who do not abide by the very zoning laws and codes they developed. We are asking you to please really take a look at this area and see that this type of project does not belong here and deny their applications.

Thank you for your consideration,

Debra Burgos

Debra, William and Brittany Burgos

William Burgos
Brittany Burgos

cc. Las Vegas City Council members
Neighbors of Jo Marcy Drive

12514506002 Case: ZON-17250
BURGOS WILLIAM & DEBRA
6161 JO MARCY DR
LAS VEGAS NV 89131-2111

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-17253 - VARIANCE RELATED TO ZON-17250 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 3.58 ACRES WHERE 5.00 ACRES IS THE MINIMUM SITE AREA REQUIRED at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Protest letter by the Burgos Family for Items 32-34 filed under Item 32

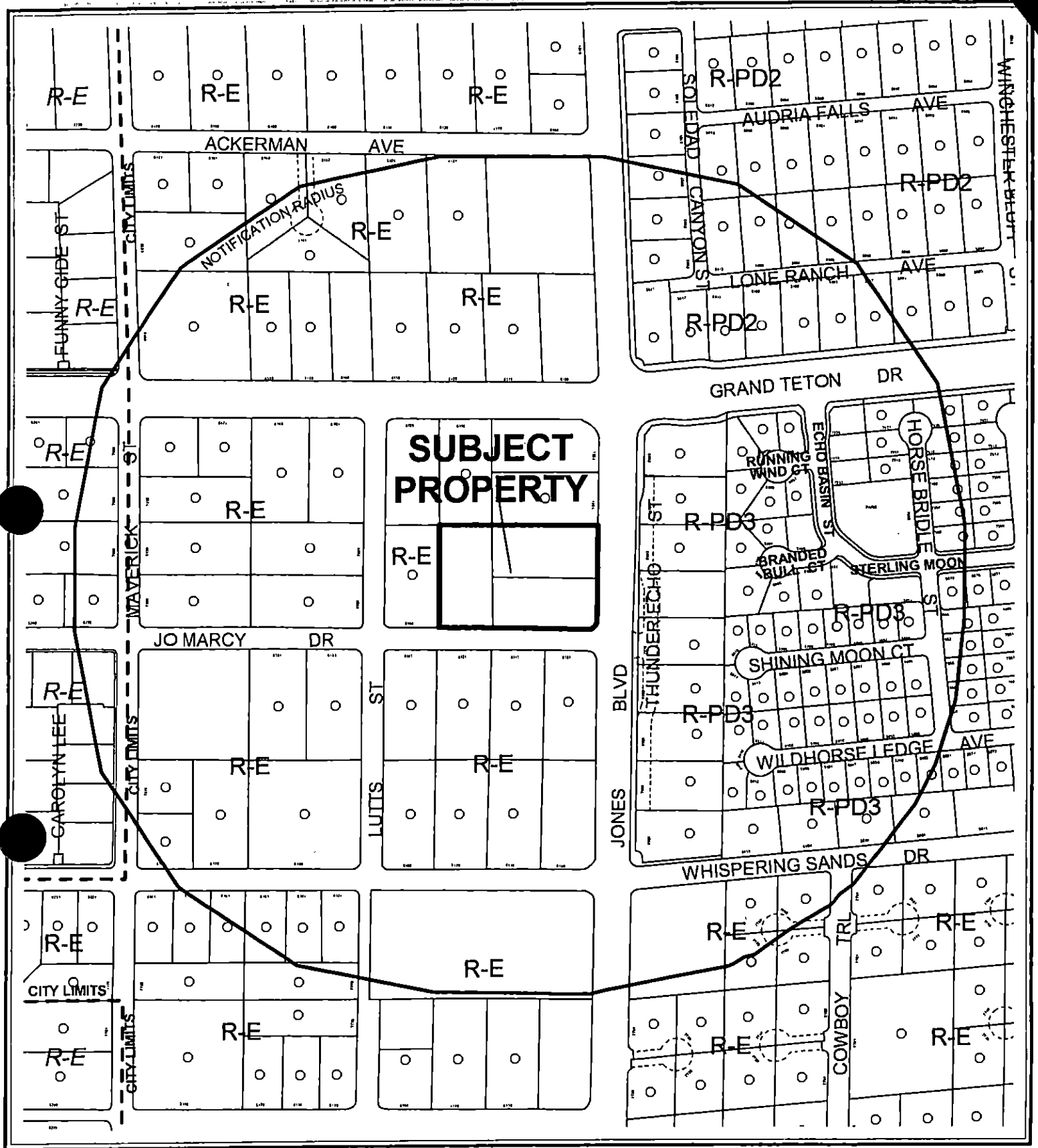
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

MINUTES:

Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] were requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

(6:03 – 6:09)



CASE: VAR-17253

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-17253 - APPLICANT/OWNER: TOUSA HOMES, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: **DENIAL.** If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Rezoning (ZON-17253) and Site Development Plan Review (SDR-17254), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17253- Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is located on 3.58 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 72 percent of the required area. This is a 28 percent deviation from Title 19.06.040 standards. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property; therefore, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/06	Companion items for a Rezoning (ZON-17250) and a Site Development Plan Review (SDR-17254) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

NG

VAR-17253- Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency requirements do not apply to the proposed development.

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 Units Per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – 2 Units Per Acre)	2.49 Units Per Acre	DR (Desert Rural Density Residential)	2.49 Units Per Acre

VAR-17253- Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development is located on 3.58 gross acres. Per Title 19.06.040 a Residential Planned Development shall be located on a minimum of five acres. The proposed location is only 72 percent of the required area. This is a 28 percent deviation from Title 19.06.040 standards.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. This particular development is an infill parcel. The adjacent parcels are zoned R-E (Residence Estates). The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.040. The proposed deviation is considered a self-imposed hardship as it is the applicant's choice to rezone the property; therefore, denial of this request is recommended.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

VAR-17253- Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through requesting a zoning district that does not meet Code requirements. Alternative zoning would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with ZON-17250 & SDR-17254]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17253** APN: 125-14-506-006, 007, and 008

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

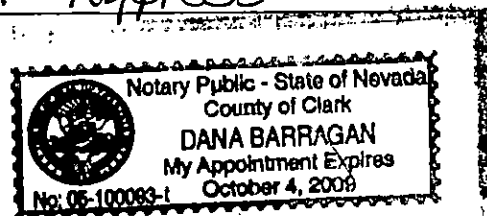
Signature of Property Owner: *Cheryl Rypreos*

Print Name: Cheryl Rypreos

Subscribed and sworn before me

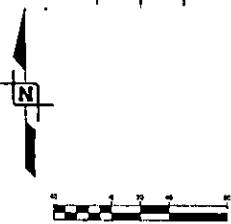
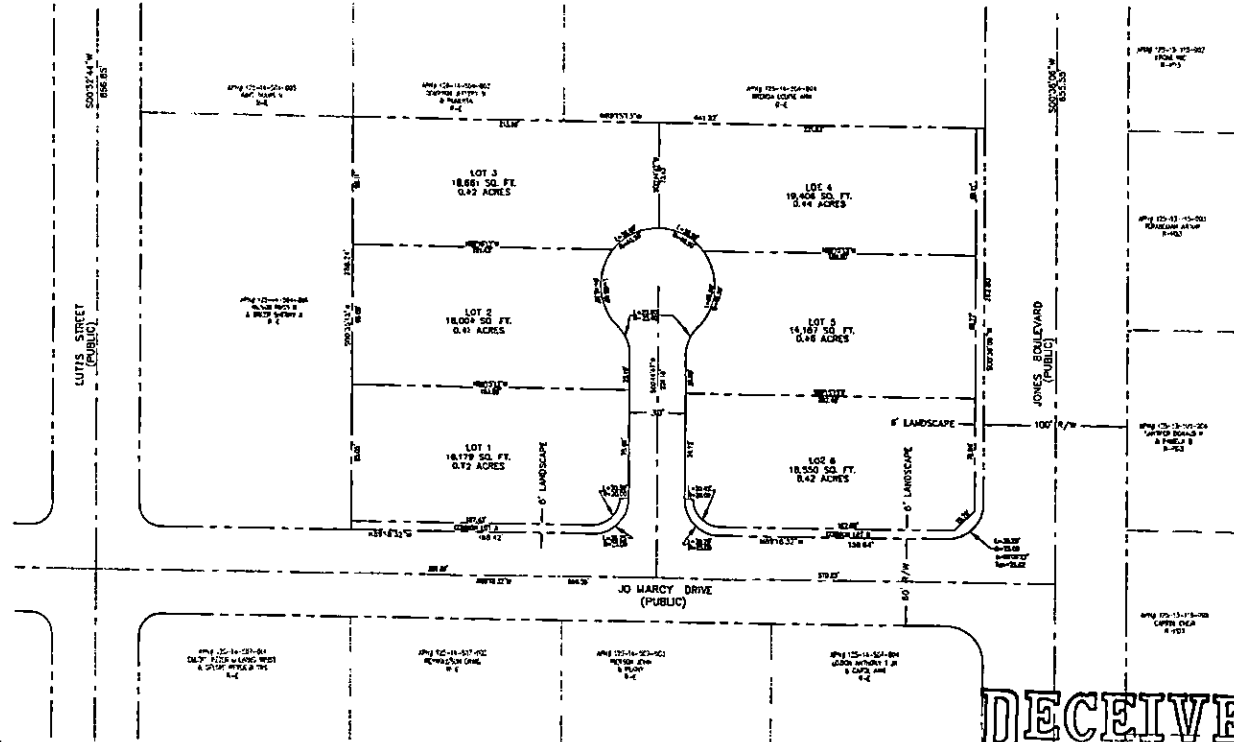
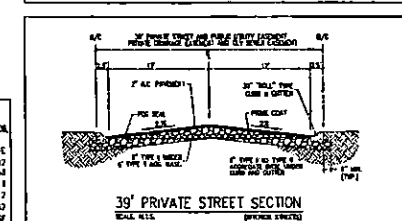
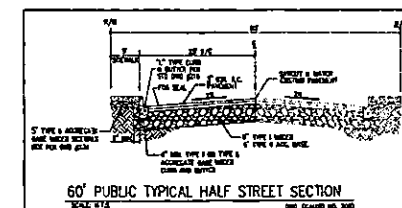
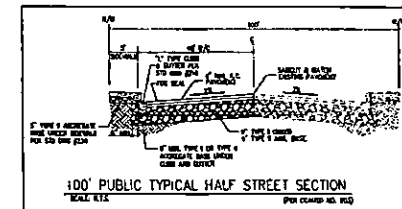
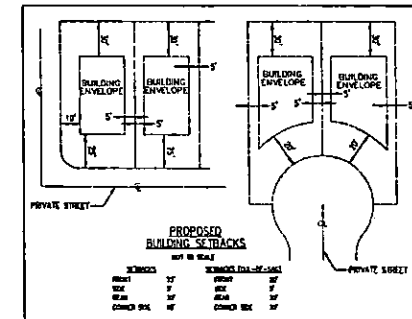
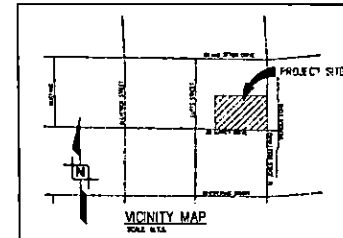
This 21st day of September, 2006

Dana Barragan
Notary Public in and for said County and State



SITE PLAN FOR FALCON CREST UNIT 3 BY ENGLE HOMES

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT -2 UNITS PER ACRE)
APN #125-14-504-006, 007 & 008



RECEIVED
VAR-17253
12/21/06 PC
OCT 02 2006

SITE DATA	
ASSESSORS PARCEL NUMBER	125-14-504-006, 007 & 008
CURRENT ZONING	R-E
PROPOSED ZONING	R-PD2
DEVELOPER	ENGLE HOMES
NUMBER OF LOTS	8
NUMBER OF UNITS	16
OWNER	ENGLE HOMES
DATE	12/21/06
PREPARED BY	12/21/06
DESIGNED BY	12/21/06
APPROVED BY	12/21/06
DATE	12/21/06

OWNER INFORMATION
ENGLE HOMES
1211 N. GARDEN AVE.
SUITE 100
DANA POINT, CA 92629

DEVELOPER
ENGLE HOMES
1211 N. GARDEN AVE.
SUITE 100
DANA POINT, CA 92629

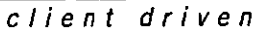
ENGINEER
TAYLOR & HARRIS
1211 N. GARDEN AVE.
SUITE 100
DANA POINT, CA 92629

WRIGHT
client driven

ENGLE HOMES
FALCON CREST UNIT 3
SITE PLAN - JO MARCY DRIVE

DATE: 8/27/06
PROJECT NAME: FALCON CREST UNIT 3
PROJECT NO.: 125-14-504-006, 007 & 008
SCALE: 1" = 100'

1 OF 1 SHEET
CDD-100-100-100



CITY City of Las Vegas
Planning and Development Department
731 South 4th Street
OFFICE Las Vegas, Nevada
89101

Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Jones Boulevard and Jo Marcy Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD developments; a request for a Variance to this requirement is also being filed.

Thank you for your consideration.


Gary Leobold, AICP
Director of Planning

Gary Leobold, AICP
Director of Planning

12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17254 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17250 AND VAR-17253 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. -
Request for a Site Development Plan Review FOR A PROPOSED SIX-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 3.58 acres at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – Protest letter by the Burgos Family for Items 32-34 filed under Item 32

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

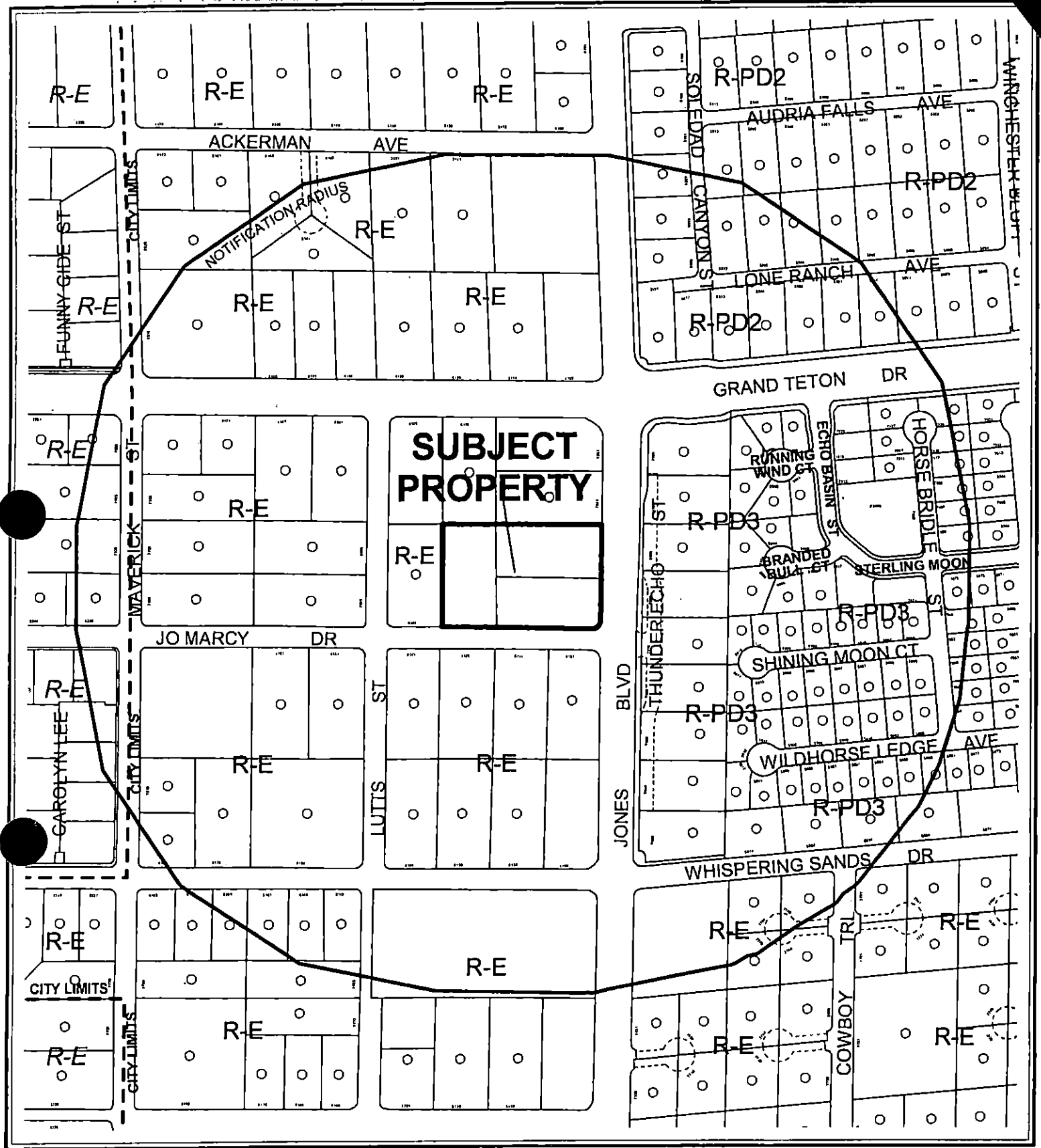
PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 34 – SDR-17254

MINUTES:

Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] were requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



CASE: **SDR-17254**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION:** **DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for Rezoning (ZON-17250) and Variance (VAR-17253, if approved).
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
4. The standards for this development shall include a Minimum lot size of 18,004 square feet and Building height shall not exceed two stories or 29.5 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 25 feet to the front of the house, 20 feet if on a cul-de-sac, as measured from back of sidewalk or from back of curb if no sidewalk is provided, five feet on the side, ten feet on the corner side, and 30 feet in the rear.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

NG

SDR-17254 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

9. Air conditioning units shall not be mounted on rooftops.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. The Final Map for this site shall be labeled as a "Merger and Re-subdivision".
14. The private entry street shall not be gated.
15. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All private improvements and landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-17250 and all other applicable site-related actions.
17. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
18. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-17254 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development is for a six-lot single-family residential subdivision. The site would be accessed by a cul-de-sac off Jo Marcy Drive. The project requires a variance to allow a Residential Planned Development on less than five acres. This Variance (VAR-17253) is not supported as this is considered a self-imposed hardship. The proposed development standards more closely match that of higher density development rather than the R-E (Residence Estates) District that is currently in place on the site. The rezoning would permit six lots where three lots would be typical of adjacent development. Due to the deviations from standards and smaller lot sizes than the adjacent property, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/06	Companion items for a Rezoning (ZON-17250) and a Variance (VAR-17253) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this development.	
<i>Pre-Application Meeting</i>	
09/15/06	A pre-application meeting was held. It was noted that the parcel ending in 006 is located in the Rural Preservation Overlay District Buffer. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.58
Net Acres	2.84

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	DR (Desert Rural Density Residential)	R-E (Residence Estates)
North	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)
South	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

SDR-17254 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

East	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
West	Single-family Residential	DR (Desert Rural Density Residential)	R-E (Residence Estates)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
R-PD (Residential Planned Development) District	X		N
Trails		X	Y
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>
Min. Lot Size	18,004 SF
Min. Lot Width	73.43 Feet
Min. Setbacks (standard-lot)	
• Front	25 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Setbacks (cul-de-sac)	
• Front	20 Feet
• Side	5 Feet
• Corner	10 Feet
• Rear	30 Feet
Min. Distance Between Buildings	10 Feet
Max. Building Height	29.5 Feet

<i>Residential Adjacency Standards</i>
Residential Adjacency requirements do not apply to the proposed development.

SDR-17254 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-E (Residence Estates)	2 units per Acre	Eight (Six units are proposed)	R-PD2 (Residential Planned Development – Two Units per Acre)	2.49 Units per Acre	DR (Desert Rural Density Residential)	2.49 Units per Acre

Open Space

Residential Planned Developments with less than 12 lots are not required to provide open space. The proposed development will have a total of six lots and is not required to provide open space.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement

The project is required to provide a minimum of two parking spaces per dwelling unit. Each unit is proposed to have a minimum of a two car garage, while most units include a three car garage. This meets Title 19.10 parking requirements.

ANALYSIS

The proposed development would consist of six lots. The smallest lot is 18,004 square feet. The largest lot is 19,406 square feet. The current R-E (Residence Estates) zone permits a minimum lot size of 20,000 square feet; however, lot sizes in the area are over 40,000 square feet. Three lots would fit onto this property rather than the six that the applicant is proposing. The front and rear yard setbacks that are proposed are similar to the setbacks for the R-D (Single-family Residential-Restricted) District. The side yard setback is only five feet. This setback is typically reserved for the R-1 (Single-family Residential) and higher density districts.

Per Title 19.06.040 for the R-PD (Residential Planned Development) District the minimum site area that is eligible for rezoning to the R-PD (Residential Planned Development) zoning district is five acres. Any additional tract which contains less than the minimum site area, but which is contiguous to property previously zoned R-PD (Residential Planned Development), may also be zoned R-PD (Residential Planned Development) by the City Council if it otherwise qualifies for the R-PD (Residential Planned Development) zoning designation. Both such properties must be owned by or be under the control of the same property owner. The adjacent parcels are zoned R-E (Residence Estates). The site does not meet the intent of the R-PD (Residential Planned Development) District as defined in Title 19.06.

SDR-17254 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

The proposed development would have six lots and would not require open space. The applicant is providing the required six-foot wide streetscape along both Jones Boulevard and Jo Marcy Drive. The site is located in a Rural Preservation Overlay District (RPOD), this allows a maximum of two dwelling units per acre. This proposed development as a density of 1.68 units per acre and is in compliance with the requirements of the RPOD.

The homes are single and two-story homes. These homes range in size from 3,300 to 4,800 square feet and typically feature three-car garages. Design and color schemes are typical of development in this area.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development is not compatible with the surrounding area. The development proposes six lots where adjacent lot sizes would indicate three lots would be typical of this area. The site gains access from a cul-de-sac from Jo Marcy Drive. Adjacent development takes access directly from the main street rather than a cul-de-sac. The setbacks that are proposed in the side yards reflect what is typical of higher density development. Due to the incompatibility with the surrounding area, denial of this request is recommended.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is not consistent with Title 19. The project requires a Variance (VAR-17253) to allow a Residential Planned Development on less than five acres. Additionally, the project does not meet the intent of the Residential Planned Development District as defined in Title 19.06.040. Due to these deviations from Title 19, denial of this request is recommended.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access via a cul-de-sac from Jo Marcy Drive. The addition of six lots will cause an increase in traffic on this portion of Jo Marcy Drive.

SDR-17254 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

4. Building and landscape materials are appropriate for the area and for the City;

Building and landscape materials are appropriate for the area and the City of Las Vegas.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

Elevations and design characteristics are not unsightly or obnoxious and will be harmonious and compatible with development in the area.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

The proposed development will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 155 [Mailed with ZON-17250 & VAR-17253]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17254** APN: 125-14-506-006, 007, and 008

Name of Property Owner: Tousa Homes

Name of Applicant: Wright Engineers

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

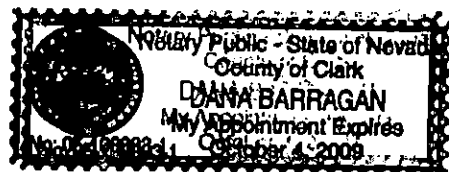
APN: _____

Signature of Property Owner: *Cheryl Kypreas*

Print Name: Cheryl Kypreas

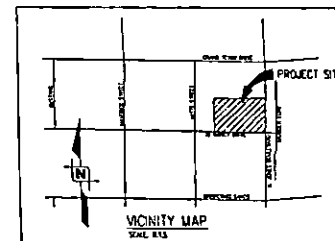
Subscribed and sworn before me

This 21st day of September 2006
Dana Barragan
Notary Public in and for said County and State



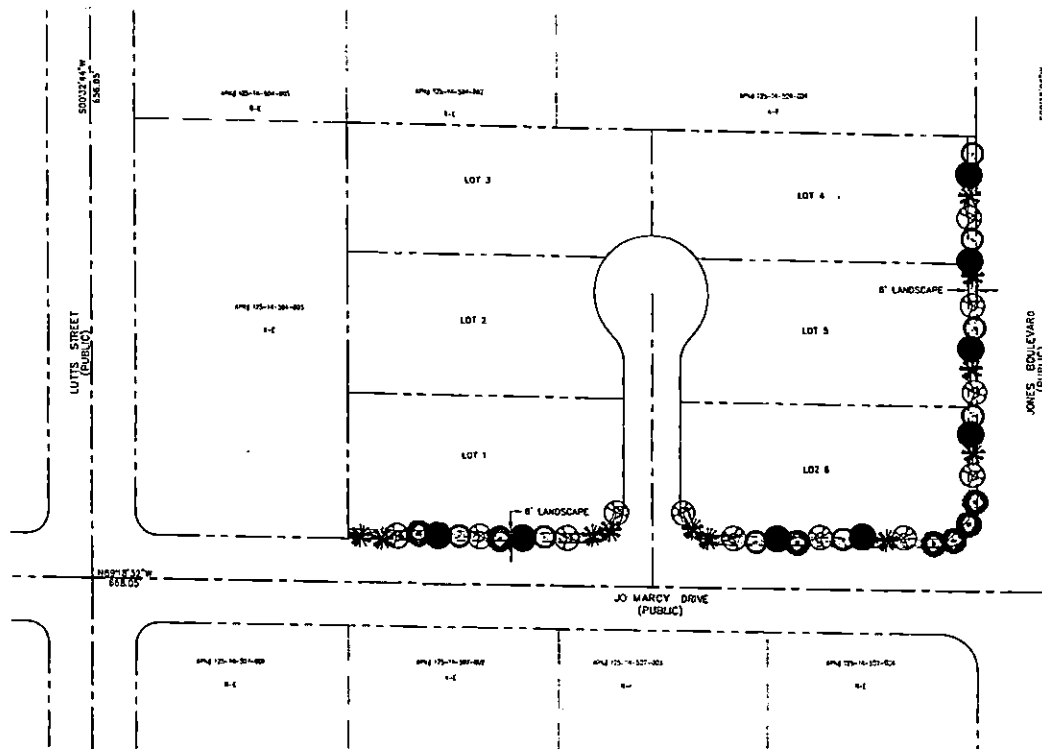
SITE PLAN FOR FALCON CREST UNIT 3 BY ENGLE HOMES

R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT -2 UNITS PER ACRE)
APN #125-14-504-006, 007 & 008



WRIGHT
CITY OF CLARK

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SDR-17254
12/21/06 PC

PLANTING LEGEND

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY
	24" BOX TREE	24" BOX	14
	24" BOX TREE	24" BOX	8
	5" CAL	5" CAL	8
	5" CAL	5" CAL	7
	5" CAL	5" CAL	11
	1/4" CAL	1/4" CAL	4182 SF

NOTES:

- 1) DECOMPOSED GRANITE (DG) - INSTALL A 2" LAYER OF 3/4" SCREENED ROCK MULCH CONTIGUOUS IN ALL PLANTINGS WITHIN LIMITS OF LANDSCAPE. UNDER ALL TREES AND SHRUBS. COLOR TO BE DETERMINED BY PLANTING CONTRACTOR TO SOIL. AFTER PLACING PLANT, COMPACT SUB-GRADE TO 80% AND APPLY A 1" EMERGENCY HERBICIDE TO SOIL. AFTER PLACING PLANT, MAKE SMOOTH, NET TO ENTIRE DEPTH. ALLOW 1" TOP SOIL TO SETTLE. SEEDING SURFACE WITH A LEAF LIME. APPLY A SECONDARY APPLICATION OF EMERGENCY HERBICIDE TO TOP OF GRANITE. KEEP GRANITE 1" BELOW ADJACENT WALKS AND DRIVEWAYS. DO NOT ALLOW GRANITE TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL. CONTRACTOR TO PROVIDE SAMPLE OF ASH FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.

Call before you dig.
1-800-221-1100
1-702-221-2929

BASIS OF BEARING
SOUTH 89°51'14" EAST
BEING THE BEARING OF THE CENTERLINE OF SHARPENING SANDS DRIVE AS SHOWN ON THAT CERTAIN PLAT MAP RECORDED AS BOOK 118, PAGE 30 OF PLATS, CLARK COUNTY OFFICIAL RECORDS.

LEGAL DESCRIPTION
SITUATED IN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 14, TOWNSHIP 14 SOUTH, RANGE 20 EAST, N 30 E, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS LOT 2, 3, AND 4 OF PARCEL MAPS FILE 38, PAGE 16.

REMARKS
CITY OF LAS VEGAS, NEVADA AND PLANS PLATE IN CONCRETE, AND A TOP EAST OF MANORCA STREET NEAR EAST DRIVING DRIVE.
ELEVATION A 780.00 METERS (2559.05 FEET) MEASUREMENT FROM MSL (1988) + U.S. SURVEY FEET (1.007) = 1. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE

RECEIVED
OCT 02 2006

DATE	BY	DATE	BY
12/21/06	PC		

DATE	BY	DATE	BY
12/21/06	PC		

DATE	BY	DATE	BY
12/21/06	PC		

BEDROOM 4 OPTION SCALE: 1/8" = 1'-0" 2

FLOOR PLAN SCALE: 1/8" = 1'-0" 1

KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL WALLS ARE TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
4. ALL FLOORS ARE TO BE 4" THICK UNLESS NOTED OTHERWISE.
5. ALL CEILING ARE TO BE 8" THICK UNLESS NOTED OTHERWISE.
6. ALL ROOF ARE TO BE 6" THICK UNLESS NOTED OTHERWISE.
7. ALL STAIRS ARE TO BE 10" THICK UNLESS NOTED OTHERWISE.
8. ALL ELEVATORS ARE TO BE 10" THICK UNLESS NOTED OTHERWISE.
9. ALL WINDOWS ARE TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
10. ALL DOORS ARE TO BE 1 1/2" THICK UNLESS NOTED OTHERWISE.
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12. ALL BASES ARE TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
13. ALL SILL ARE TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
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NOTES

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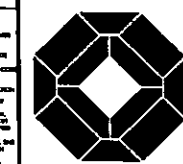
SQUARE FOOTAGE

FLOOR AREA	THICK	S.F.
TOTAL	100	100
CORNER LOGGIA	100	100
ENTRY TO ELEVATORS	100	100
ENTRY TO ELEVATORS	100	100
ENTRY TO ELEVATORS	100	100
ENTRY TO ELEVATORS	100	100
ENTRY TO ELEVATORS	100	100
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Project: BENNINGTON PARK

TOUSA HOMES Inc. dba
ENGLE HOMES
7711 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTGY GROUP, INC.
10000 W. BUCKLEBOURNE
DALLAS, TEXAS 75241
214.343.8800
www.ktgy.com

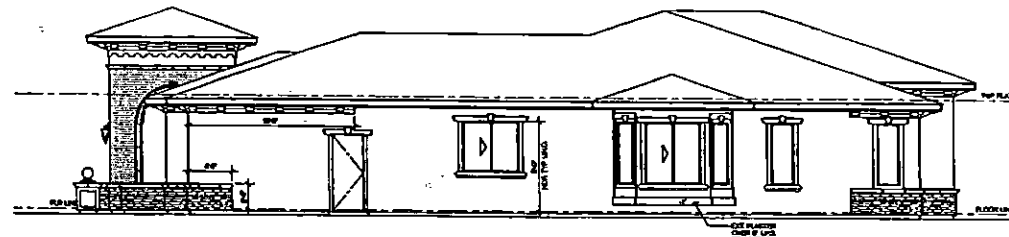
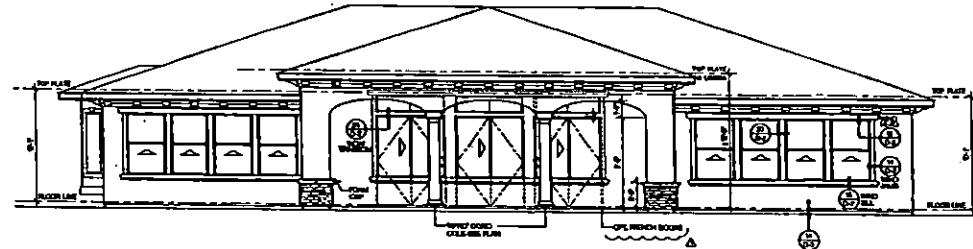
Architect: J. TULLY
Project Director: M. FOWLER
Project Manager: M. BOHANNAN
Project Designer: J. TULLY

Sheet Title:
PLAN 1
"A" FLOOR PLAN
AND OPTION

Sheet No.: A11

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12/21/06 PC

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EXTERIOR ELEVATIONS 1

No.	Date	Revised / Description
1	01/01/04	01/01/04 SUBMITTAL
2	01/01/04	01/01/04 REVISIONS
3	01/01/04	01/01/04 REVISIONS
4	01/01/04	01/01/04 REVISIONS
5	01/01/04	01/01/04 REVISIONS
6	01/01/04	01/01/04 REVISIONS
7	01/01/04	01/01/04 REVISIONS
8	01/01/04	01/01/04 REVISIONS
9	01/01/04	01/01/04 REVISIONS
10	01/01/04	01/01/04 REVISIONS

Project: **BENNINGTON PARK**
TOUSA HOMES Inc. d/b/a
ENGLE HOMES
777 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, INC.
 1000 KATY STREET
 SUITE 100
 DALLAS, TEXAS 75201
 (214) 760-1000
 www.ktoygroup.com

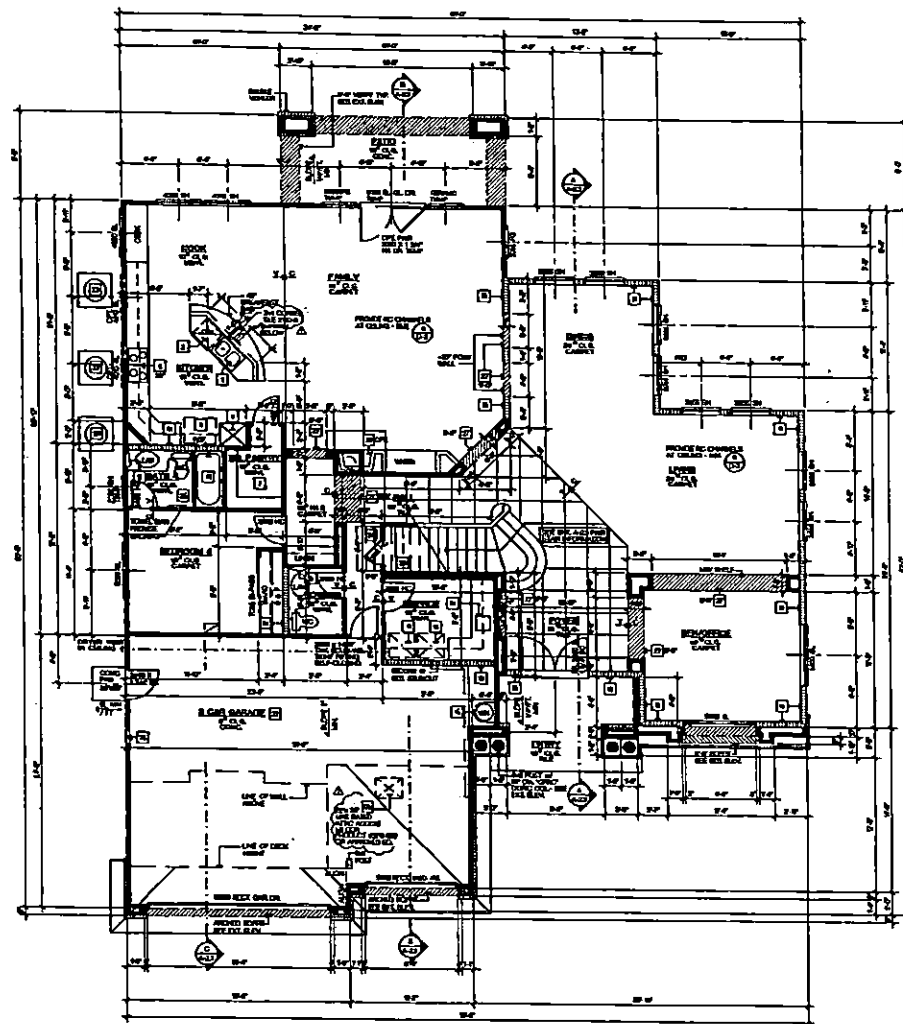
Principal in Charge: **J. KELLY**
 Project Designer: **M. POWELL**
 Project Manager: **R. SCARPA**
 Project Designer: **J. TAN**
 Checked By:

Sheet Title:
PLAN 1
"B" EXTERIOR ELEVATIONS

Scale: **A1.6A**

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12/21/06 PC



FLOOR PLANS

SCALE: 1/8" = 1'-0"

1

KEYNOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
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SQUARE FOOTAGE

FLOOR AREA	2075 S.F.
FRONT PORCH	200 S.F.
REAR PORCH	200 S.F.
TOTAL	2475 S.F.
BASE DECK	775 S.F.
PATIO	60 S.F.
CORNER OF ELEVATION	77 S.F.
CORNER OF ELEVATION	77 S.F.
CORNER OF ELEVATION	77 S.F.
FRONT DECK OF ELEVATION	77 S.F.
FRONT DECK OF ELEVATION	77 S.F.
FRONT DECK OF ELEVATION	77 S.F.

Rev.	Date	By	Description
1	10/02/06	DRG	DEPT. PERMIT
2	10/02/06	DRG	DEPT. PERMIT
3	10/02/06	DRG	DEPT. PERMIT
4	10/02/06	DRG	DEPT. PERMIT
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7	10/02/06	DRG	DEPT. PERMIT
8	10/02/06	DRG	DEPT. PERMIT
9	10/02/06	DRG	DEPT. PERMIT
10	10/02/06	DRG	DEPT. PERMIT

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. d/b/a
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, INC.
1000 INTERNATIONAL BLVD.
SUITE 100
LAS VEGAS, NV 89101
702.735.1111
www.ktoygroup.com

Printed in Georgia by **A. TULLY**
Project Designer: **M. POWELL**
Project Manager: **M. POWELL**
Project Designer: **A. TULLY**
Checked by: **A. TULLY**

Client: **PLAN 2**
FIRST FLOOR PLAN

Sheet No.: **A2.1**

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12/21/06 PC

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KEYNOTES

- ## NOTES

SQUARE FOOTAGE

1. Explain

KTGY GROUP, -

OTIS BOWEN, JR.
OWNER, J. BOWEN
JAMES BOWEN, JR.
JAMES BOWEN, JR.
JAMES BOWEN, JR.

Lower Group

Principal in Charge -	A. TULLY
Project Director -	M. FOWLER
Project Manager -	G. SCHINDLER
Project Designer -	J. TAYLOR
Checked By -	

PLAN 2
SECOND FLOOR PLAN

Page No.

A-2.1A

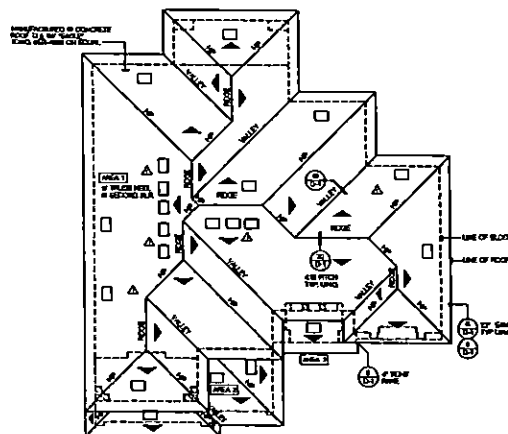
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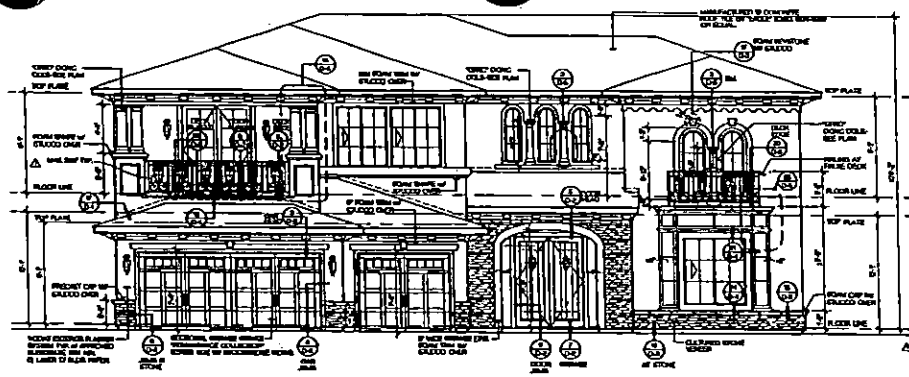
ATTIC VENTILATION

ALL VENTILATION SHALL BE PROVIDED BY MEANS OF MECHANICAL EXHAUST SYSTEMS. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN POSITIVE PRESSURE IN THE ATTIC SPACE AT ALL TIMES. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN POSITIVE PRESSURE IN THE ATTIC SPACE AT ALL TIMES. THE SYSTEM SHALL BE DESIGNED TO MAINTAIN POSITIVE PRESSURE IN THE ATTIC SPACE AT ALL TIMES.

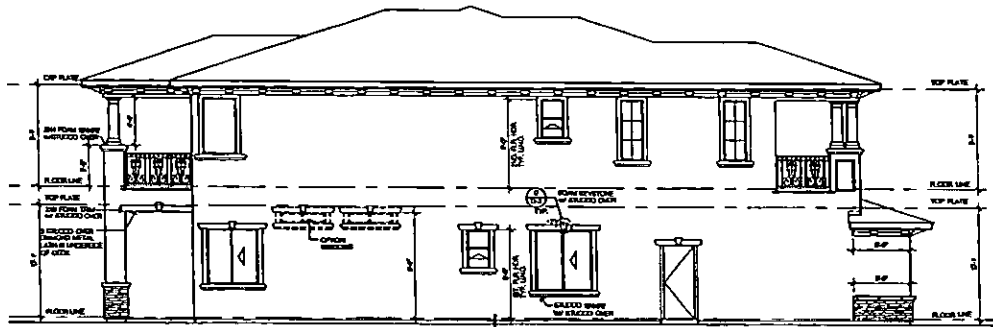
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"B" ROOF PLAN SCALE: 1/8" = 1'-0" 2



FRONT

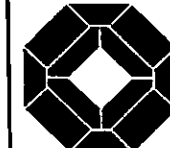


LEFT

EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

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Project: BENNINGTON PARK
 TOUSA HOMES Inc. d/b/a
 ENGLE HOMES
 7872 WEST SAHARA
 LAS VEGAS, NV 89117
 2004-0777



KTYG GROUP, INC.
 10000 W. LAS VEGAS BLVD.
 SUITE 100
 LAS VEGAS, NV 89135
 (702) 735-1000
 www.ktyg.com

Prepared by: J. TULLY
 Project Designer: M. POWELL
 Project Manager: S. SCHUBA
 Project Designer: J. TULLY
 Checked by:
 Date: 1/10/06
 PLAN 2
 18" EXTERIOR ELEVATIONS
 18" ROOF PLAN

Sheet No. A2.6

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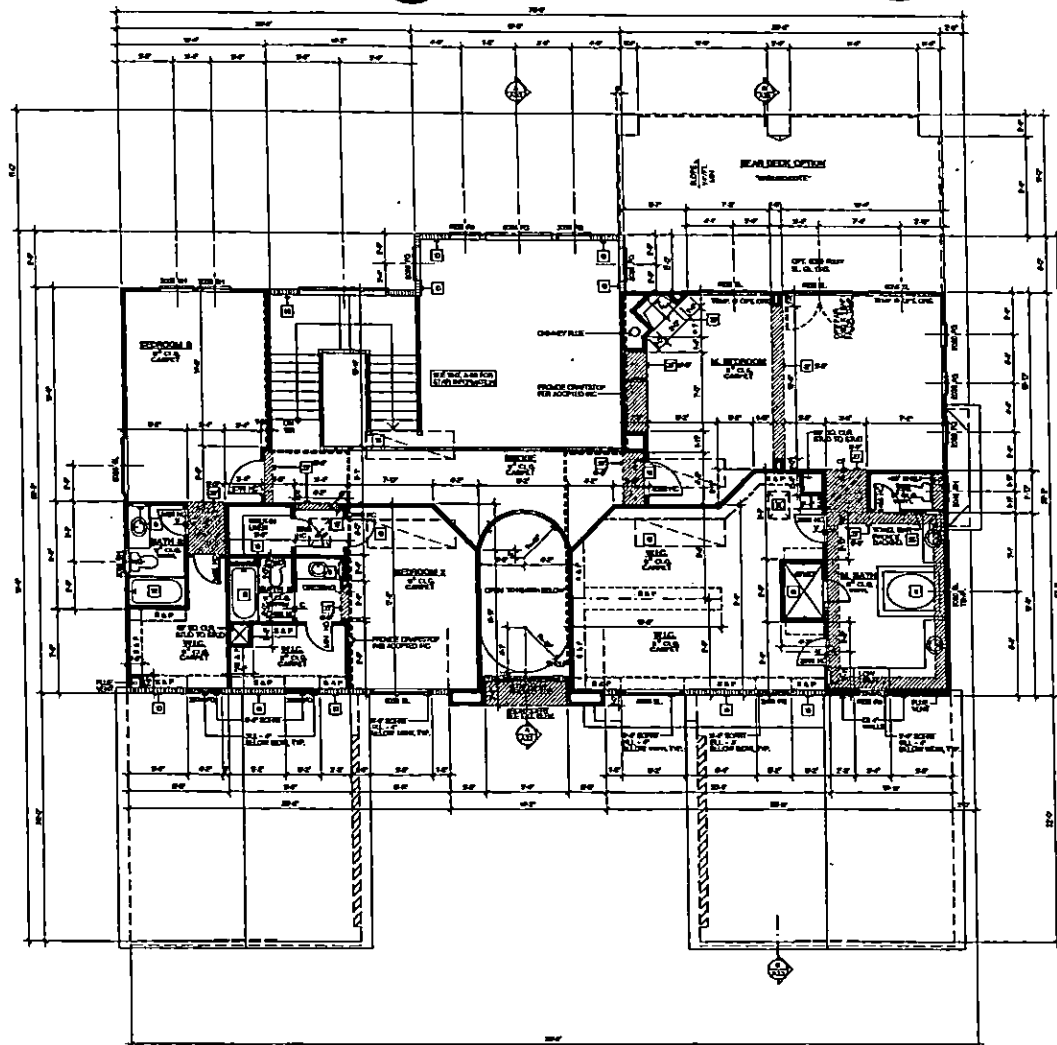
RIGHT

EXTERIOR ELEVATIONS SCALE: 1/4" = 1'-0"

A2.6A

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SECOND FLOOR PLAN AND OPTION

SCALE: 1/8" = 1'-0"

KEYNOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
3. ALL WALLS ARE TO BE CONCRETE BLOCK.
4. ALL FLOORS ARE TO BE CONCRETE SLAB.
5. ALL ROOFS ARE TO BE FLAT.
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20. ALL EXTERIOR ROOFS ARE TO BE FLAT.

NOTES

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19. ALL EXTERIOR FLOORS ARE TO BE CONCRETE SLAB.
20. ALL EXTERIOR ROOFS ARE TO BE FLAT.

SQUARE FOOTAGE

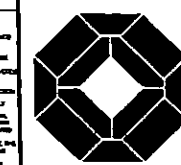
FLOOR AREA	
FIRST FLOOR	2700 S.F.
SECOND FLOOR	2700 S.F.
TOTAL	5400 S.F.
REAR PATIO	400 S.F.
REAR DECK	400 S.F.
GARAGE 1A 12' ELEVATION	400 S.F.
GARAGE 1A 12' ELEVATION	400 S.F.
GARAGE 1A 12' ELEVATION	400 S.F.
GARAGE 1A 12' ELEVATION	400 S.F.
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Comments

Product: **BENNINGTON PARK**

TOUSA HOMES Inc. d/b/a
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTYGROUP, INC.
10000 W. Sahara Ave.
Suite 100
Las Vegas, NV 89117
702-799-1111

License: Group

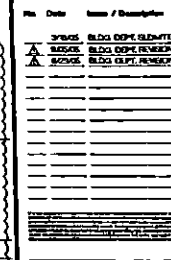
Prepared by: **J. TULLY**
Product Designer: **W. FOWLER**
Product Manager: **W. SCARPA**
Product Designer: **J. TULLY**
Checked by:

Sheet Title:
**PLAN 3
1" SECOND FLOOR PLAN
AND OPTION**

Sheet No.: **A3.1A**

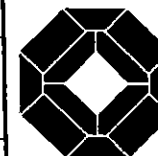
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BENNINGTON
PARK

**TOUSA HOMES Inc. dba
ENGLE HOMES
7872 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777**

**KTGYGROUP, .**

THE AUTHORS

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Journal of Internal Medicine 265: 103–112

Author's address:

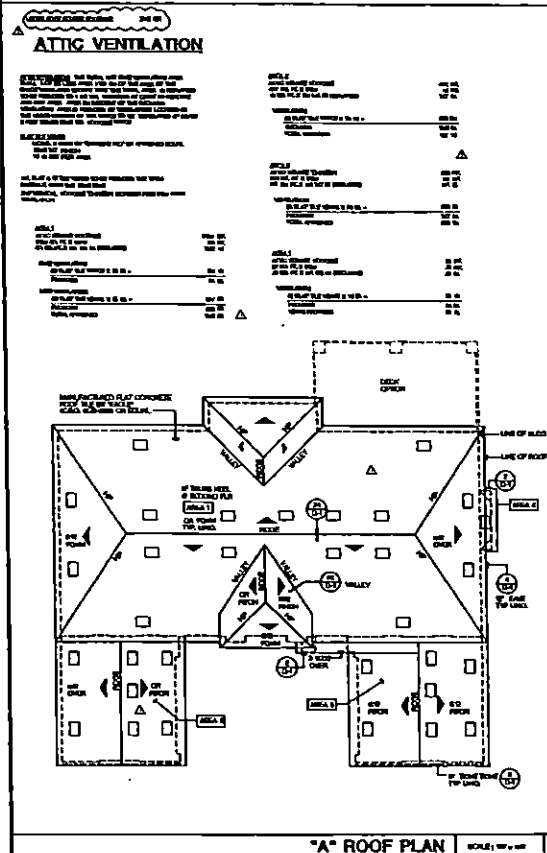
Lineage

Principal in Charge - J. REAY
Project Officer - M. POWELL
Project Manager - M. SCARPA
Project Manager - J. TSM
Checked By -

Sheet Title :
PLAN 3
"A" EXTERIOR ELEVATIONS
"A" ROOF PLAN

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

A3.4



FRONT

LEFT

EXTERIOR ELEVATIONS

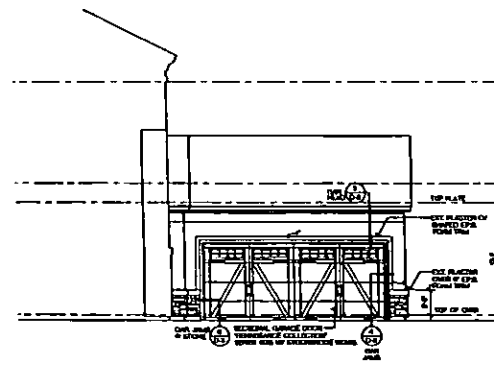
A3.4

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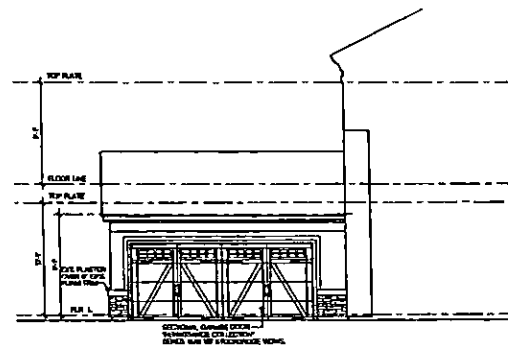
REAR



COURTYARD LEFT



RIGHT



COURTYARD RIGHT

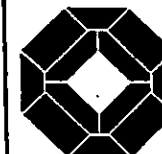
EXTERIOR ELEVATIONS SCALE: 1/8" = 1'-0" 1

No. Date Name / Description

1	10/10/06	J. TULLY	BLDG DEPT. PERMITAL
2	10/10/06	M. POWLER	BLDG DEPT. PERMITING
3	10/10/06	S. DEANNA	BLDG DEPT. PERMITING

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. dba
ENGLE HOMES
 7872 WEST SABARA
 LAS VEGAS, NV 89117
 2004-0777



KTGY GROUP, INC.
 1000 MARSH ROAD, SUITE 100
 RIVERSIDE, CA 92507
 951-505-5555
 WWW.KTGY.COM

License: 00000000

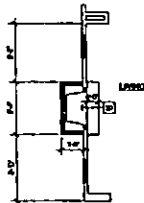
Principal in Charge: **J. TULLY**
 Project Designer: **M. POWLER**
 Project Manager: **S. DEANNA**
 Project Designer: **J. TULLY**

Sheet Title:
PLAN 3
'A' EXTERIOR ELEVATIONS

Sheet No.: **A3.4A**

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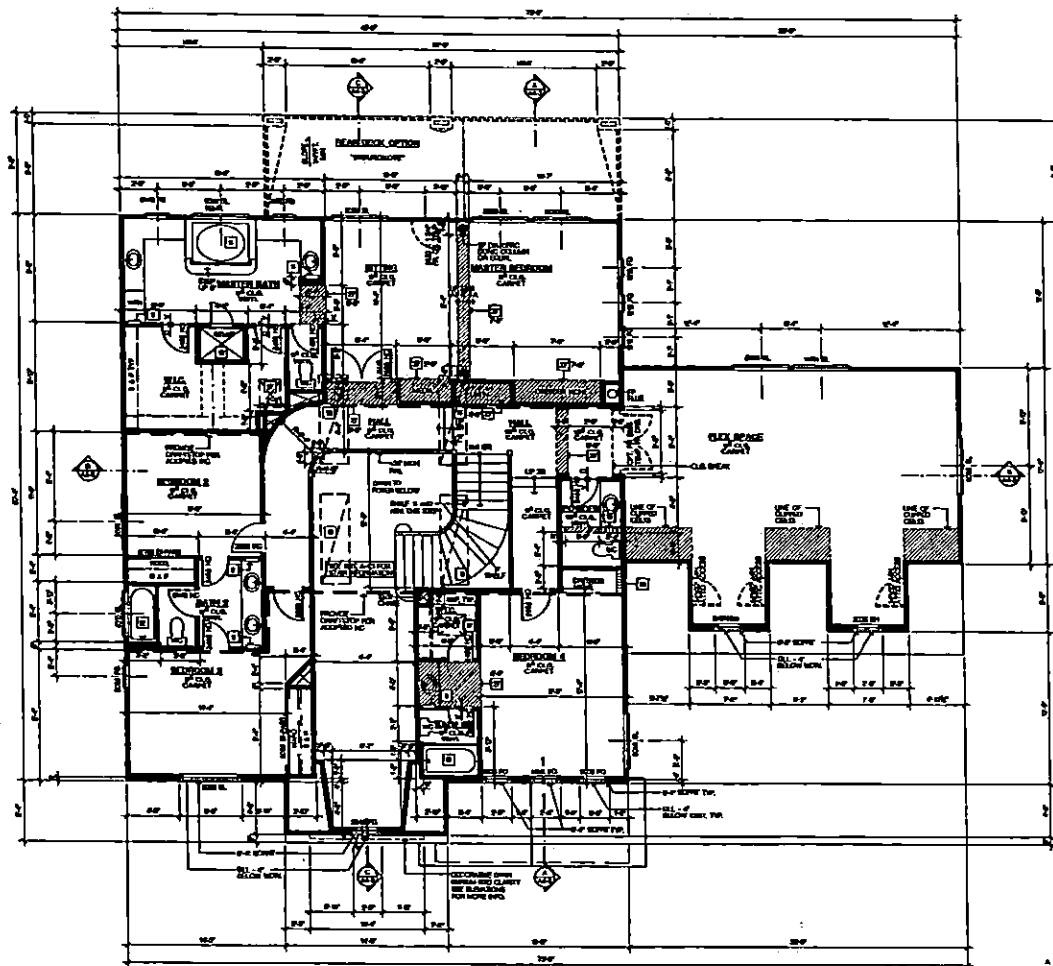


SCALE: 100 = 100

A4.1

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1 BATHROOM 5
OPTION



SECOND FLOOR PLAN AND OPTIONS

SCALE: 1/4" = 1'-0"

KEYNOTES

1. GENERAL: SEE SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
2. FOUNDATION: SEE FOUNDATION PLAN FOR ALL FOUNDATION DETAILS.
3. ROOF: SEE ROOF PLAN FOR ALL ROOF DETAILS.
4. EXTERIOR WALLS: SEE EXTERIOR WALL PLAN FOR ALL EXTERIOR WALL DETAILS.
5. INTERIOR WALLS: SEE INTERIOR WALL PLAN FOR ALL INTERIOR WALL DETAILS.
6. FLOORS: SEE FLOOR PLAN FOR ALL FLOOR DETAILS.
7. CEILING: SEE CEILING PLAN FOR ALL CEILING DETAILS.
8. STAIRS: SEE STAIR PLAN FOR ALL STAIR DETAILS.
9. ELEVATOR: SEE ELEVATOR PLAN FOR ALL ELEVATOR DETAILS.
10. MECHANICAL: SEE MECHANICAL PLAN FOR ALL MECHANICAL DETAILS.
11. ELECTRICAL: SEE ELECTRICAL PLAN FOR ALL ELECTRICAL DETAILS.
12. PLUMBING: SEE PLUMBING PLAN FOR ALL PLUMBING DETAILS.
13. HVAC: SEE HVAC PLAN FOR ALL HVAC DETAILS.
14. FIRE PROTECTION: SEE FIRE PROTECTION PLAN FOR ALL FIRE PROTECTION DETAILS.
15. SECURITY: SEE SECURITY PLAN FOR ALL SECURITY DETAILS.
16. ACCESSIBILITY: SEE ACCESSIBILITY PLAN FOR ALL ACCESSIBILITY DETAILS.
17. ENERGY EFFICIENCY: SEE ENERGY EFFICIENCY PLAN FOR ALL ENERGY EFFICIENCY DETAILS.
18. SUSTAINABILITY: SEE SUSTAINABILITY PLAN FOR ALL SUSTAINABILITY DETAILS.
19. SMART HOME: SEE SMART HOME PLAN FOR ALL SMART HOME DETAILS.
20. GREEN BUILDING: SEE GREEN BUILDING PLAN FOR ALL GREEN BUILDING DETAILS.

NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL WALLS ARE 1/2" THICK UNLESS OTHERWISE NOTED.
3. ALL FLOORS ARE 4" THICK UNLESS OTHERWISE NOTED.
4. ALL CEILING ARE 8" THICK UNLESS OTHERWISE NOTED.
5. ALL STAIRS ARE 10" WIDE UNLESS OTHERWISE NOTED.
6. ALL ELEVATOR ARE 4' WIDE UNLESS OTHERWISE NOTED.
7. ALL MECHANICAL ARE 12" WIDE UNLESS OTHERWISE NOTED.
8. ALL ELECTRICAL ARE 12" WIDE UNLESS OTHERWISE NOTED.
9. ALL PLUMBING ARE 12" WIDE UNLESS OTHERWISE NOTED.
10. ALL HVAC ARE 12" WIDE UNLESS OTHERWISE NOTED.
11. ALL FIRE PROTECTION ARE 12" WIDE UNLESS OTHERWISE NOTED.
12. ALL SECURITY ARE 12" WIDE UNLESS OTHERWISE NOTED.
13. ALL ACCESSIBILITY ARE 12" WIDE UNLESS OTHERWISE NOTED.
14. ALL ENERGY EFFICIENCY ARE 12" WIDE UNLESS OTHERWISE NOTED.
15. ALL SUSTAINABILITY ARE 12" WIDE UNLESS OTHERWISE NOTED.
16. ALL SMART HOME ARE 12" WIDE UNLESS OTHERWISE NOTED.
17. ALL GREEN BUILDING ARE 12" WIDE UNLESS OTHERWISE NOTED.

SQUARE FOOTAGE

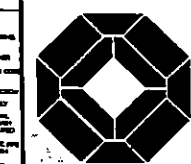
FLOOR AREA	
FIRST FLOOR	2776 S.F.
SECOND FLOOR	2776 S.F.
TOTAL	5552 S.F.
SARAGE	748 S.F.
REAR PATIO	360 S.F.
REAR DECK	284 S.F.
ENTRY - ELEV. 1'	14 S.F.
ENTRY - ELEV. 1'	40 S.F.
ENTRY - ELEV. 1'	8 S.F.
PORCH - ELEV. 1' & 1'	17 S.F.
PORCH - ELEV. 1'	14 S.F.

SEE KEYNOTES FOR ALL MATERIALS AND FINISHES. SEE SPECIFICATIONS FOR ALL MATERIALS AND FINISHES. SEE SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.

No.	Date	Revised / Description
1		
2		
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12		
13		
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15		
16		
17		
18		
19		
20		

Product: **BENNINGTON PARK**

**TOUSA HOMES Inc. d/b/a
ENGLE HOMES**
1872 WEST SAHARA
LAS VEGAS, NV 89107
2004-0777



KTOYGROUP, Inc.
Architect/Engineer

1800 S. MOUNTAIN AVENUE
SUITE 200
LAS VEGAS, NV 89102

Living Room

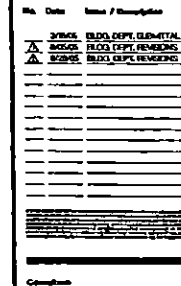
Project in Charge: **A. TULLY**
Project Designer: **M. FOWLER**
Product Manager: **M. ROMANA**
Project Designer: **A. YEAH**
Checked By:

Sheet Title:
**PLAN 4
"A" SECOND FLOOR PLAN
AND OPTION**

Sheet No.:

A4.1A

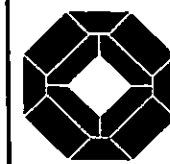
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12/21/06 PC



**BENNINGTON
PARK**



**TOUSA HOMES Inc., d/b/a
ENGLE HOMES
772 WEST SAHARA
LAS VEGAS, NV 89115
2004-0777**



KYGY GROUP, INC.
Auditioner Training
 10000 BAYVIEW BLVD., SUITE 100
 BAYVIEW, CA 94026
 415/341-1111
 415/341-1112
 Berkeley, California

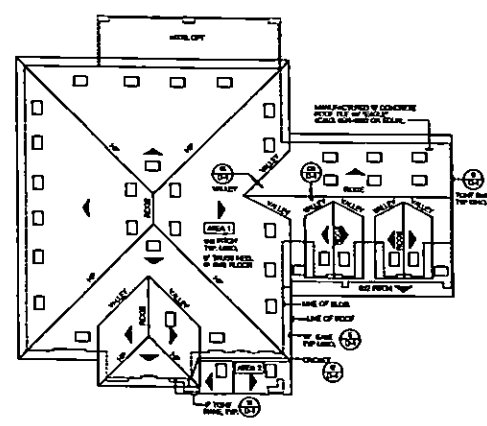
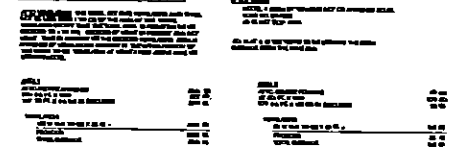
License Stamp

Principal in Charge - J. TULL
Project Director - M. FORD
Project Manager - M. SCARF
Project Designer - J. TULL
Checklist By -

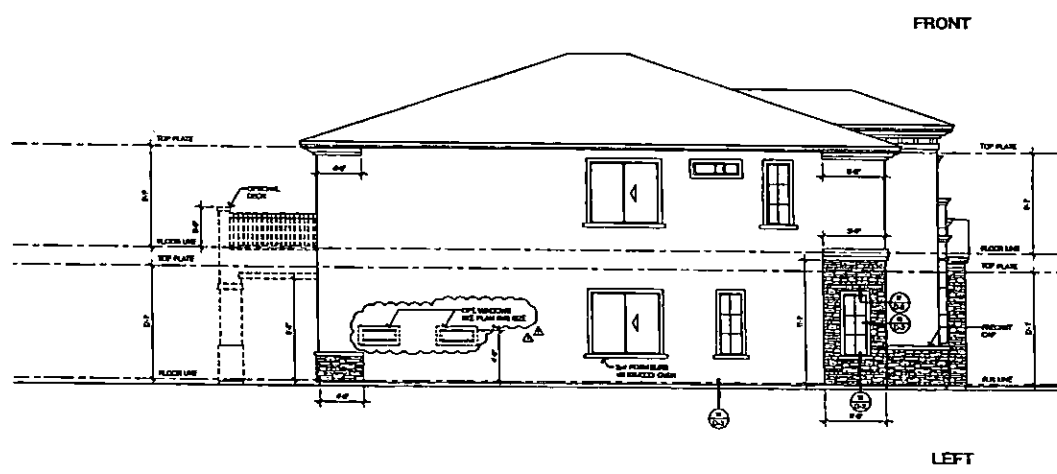
Sheet Title :
PLAN 4
"A" EXTERIOR ELEVATION
"A" ROOF PLAN

Class No. 1

A4.4



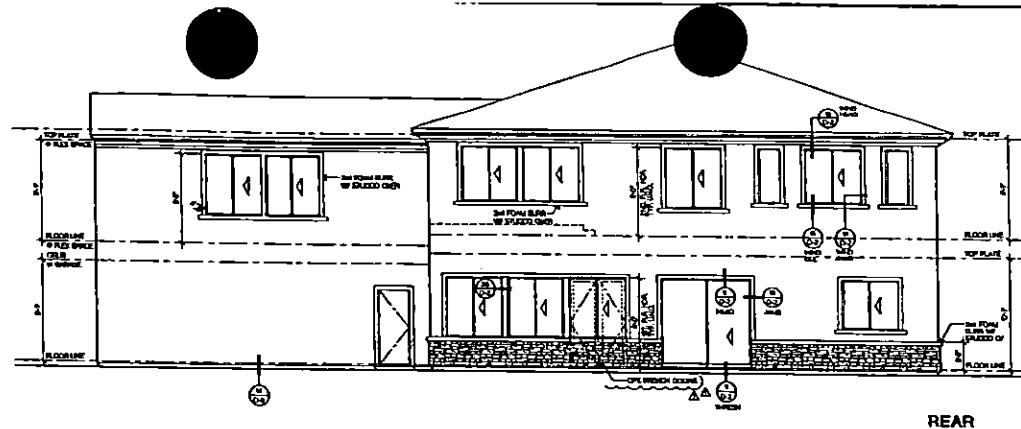
"A" ROOF PLAN	Scale: as req	2
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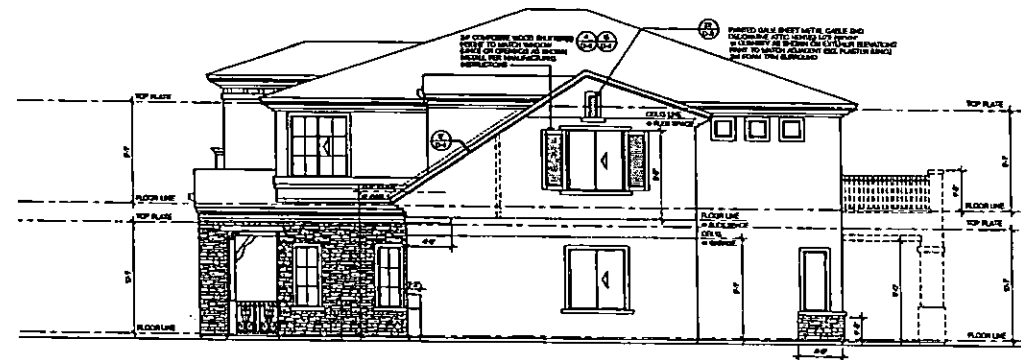
EXTERIOR ELEVATIONS	SCALE: 1/8" = 1'-0"	1
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REAR

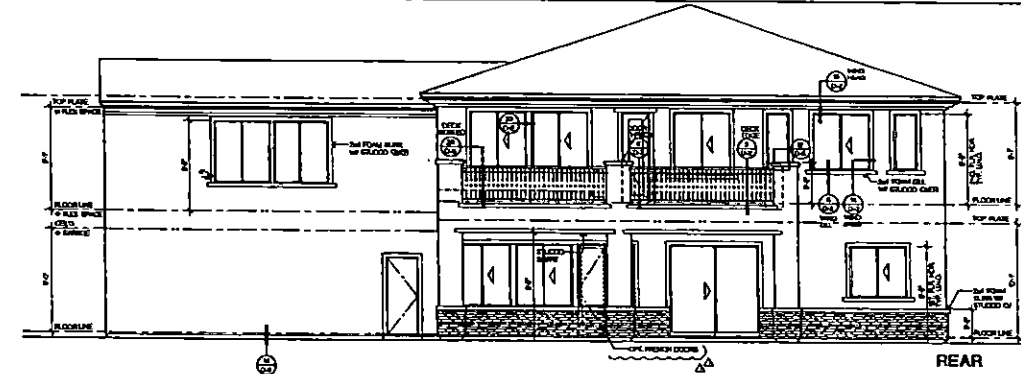


RIGHT

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

1



REAR

DECK OPTION ELEVATION

SCALE: 1/8" = 1'-0"

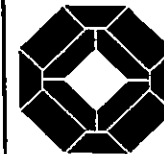
2

No. Date Name / Description

SYMBOLS: BLOOD DEPT. SUBMITTAL
BLOOD DEPT. REVIEWING
BLOOD DEPT. REVISIONS

Project: **BENNINGTON PARK**

TOUSA HOMES Inc. d.b.a. ENGLE HOMES
7772 WEST SAHARA
LAS VEGAS, NV 89117
2004-0777



KTOYGROUP, Inc.

10000 MEDICAL CENTER
SUITE 100, LAS VEGAS, NV 89130

Architect: KTOYGROUP, Inc.

Architect: KTOYGROUP, Inc.

Architect: KTOYGROUP, Inc.

Architect: KTOYGROUP, Inc.

Printed in Charge: J. TULLY

Project Director: M. POWELL

Project Manager: M. SCHWARTZ

Project Designer: J. TULLY

Checked By: J. TULLY

Sheet Title: PLAN 4

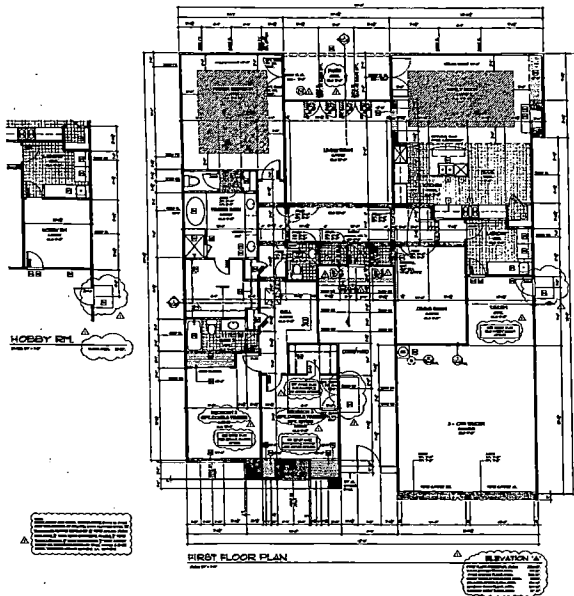
"A" EXTERIOR ELEVATIONS

Sheet No.:

A4.4A

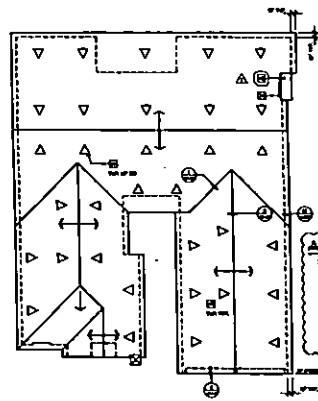
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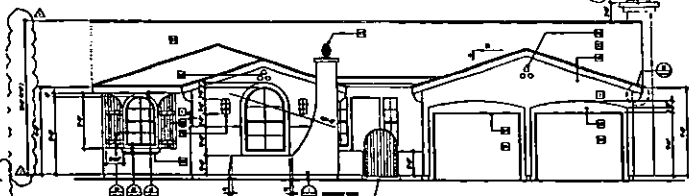


ROOF PLAN
1/16" = 1'-0"

ATTIC VENT SCHEDULE

VENT TYPE	LOCATION	AMOUNT
1	1	1
2	2	2
3	3	3
4	4	4
5	5	5
6	6	6
7	7	7
8	8	8
9	9	9
10	10	10
11	11	11
12	12	12
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15	15	15
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92	92	92
93	93	93
94	94	94
95	95	95
96	96	96
97	97	97
98	98	98
99	99	99
100	100	100

Notes:
1. All materials to be installed in accordance with manufacturer's instructions.
2. All materials to be installed in accordance with local building codes.
3. All materials to be installed in accordance with the manufacturer's warranty.
4. All materials to be installed in accordance with the manufacturer's literature.
5. All materials to be installed in accordance with the manufacturer's website.
6. All materials to be installed in accordance with the manufacturer's email.
7. All materials to be installed in accordance with the manufacturer's fax.
8. All materials to be installed in accordance with the manufacturer's phone.
9. All materials to be installed in accordance with the manufacturer's mail.
10. All materials to be installed in accordance with the manufacturer's internet.
11. All materials to be installed in accordance with the manufacturer's social media.
12. All materials to be installed in accordance with the manufacturer's mobile app.
13. All materials to be installed in accordance with the manufacturer's website.
14. All materials to be installed in accordance with the manufacturer's email.
15. All materials to be installed in accordance with the manufacturer's fax.
16. All materials to be installed in accordance with the manufacturer's phone.
17. All materials to be installed in accordance with the manufacturer's mail.
18. All materials to be installed in accordance with the manufacturer's internet.
19. All materials to be installed in accordance with the manufacturer's social media.
20. All materials to be installed in accordance with the manufacturer's mobile app.

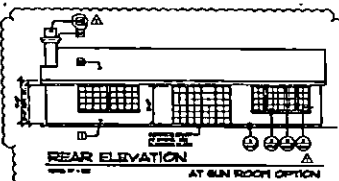


FRONT ELEVATION
1/16" = 1'-0"

ELEVATION 'A'

ELEVATION NOTES

1. All materials to be installed in accordance with manufacturer's instructions.
2. All materials to be installed in accordance with local building codes.
3. All materials to be installed in accordance with the manufacturer's warranty.
4. All materials to be installed in accordance with the manufacturer's literature.
5. All materials to be installed in accordance with the manufacturer's website.
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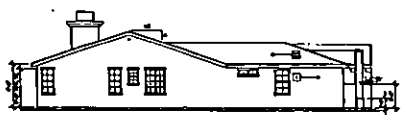
REAR ELEVATION
1/16" = 1'-0"
AT SUN ROOM OPTION



ENTRY ELEV.
1/16" = 1'-0"
ELEV. 'A'



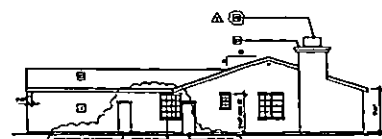
ENTRY ELEV.
1/16" = 1'-0"
W/ PR. DOORS
OPTION
ELEV. 'A'



LEFT ELEVATION
1/16" = 1'-0"



REAR ELEVATION
1/16" = 1'-0"



RIGHT ELEVATION
1/16" = 1'-0"

RIVENDELL
ENGLE HOMES

1A.04

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KEYNOTES

ENGINE HOMES
RIVENDELL



PLAN 2A
FIRST FLOOR PLAN

2A.01

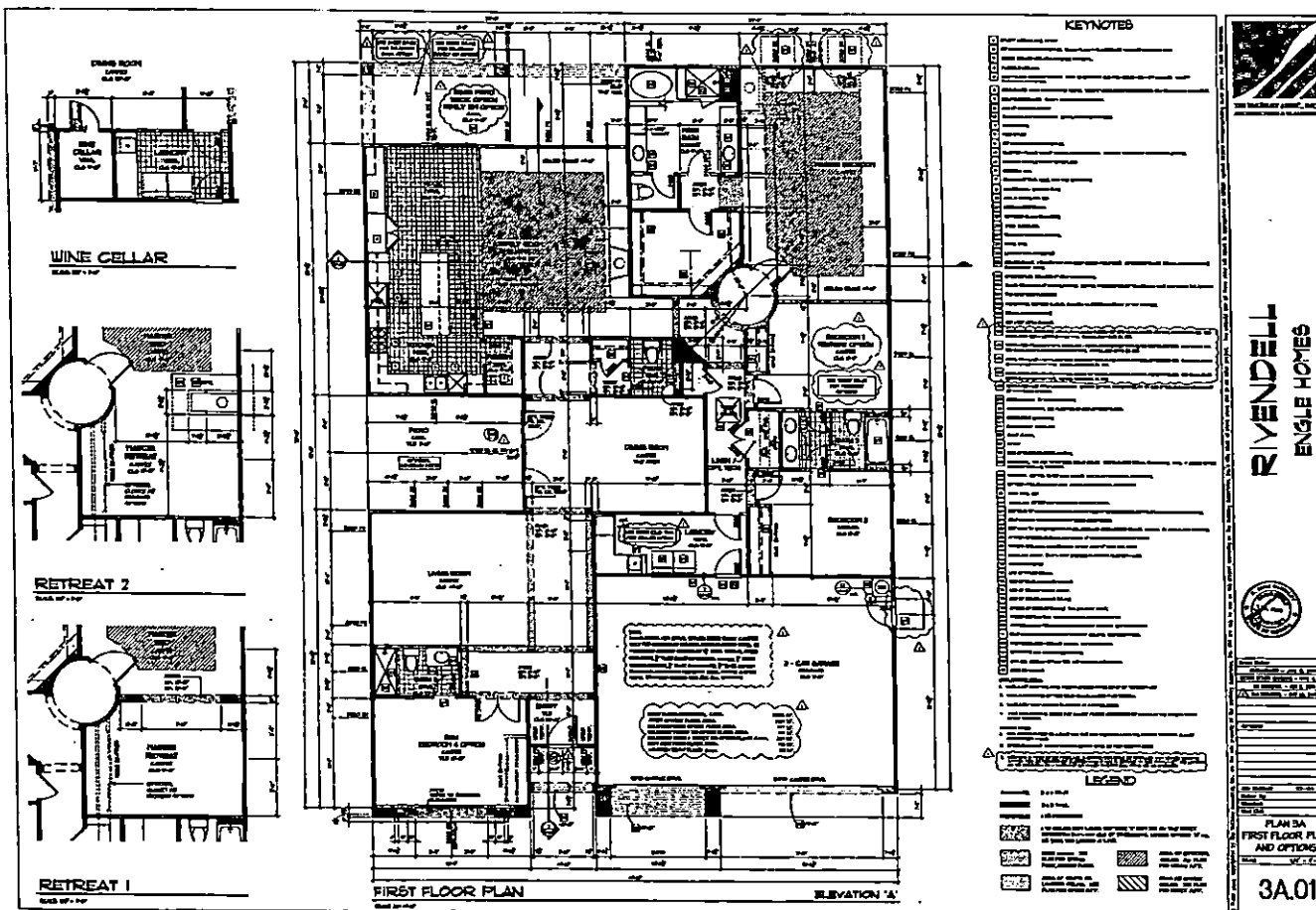
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OCT 02 2006



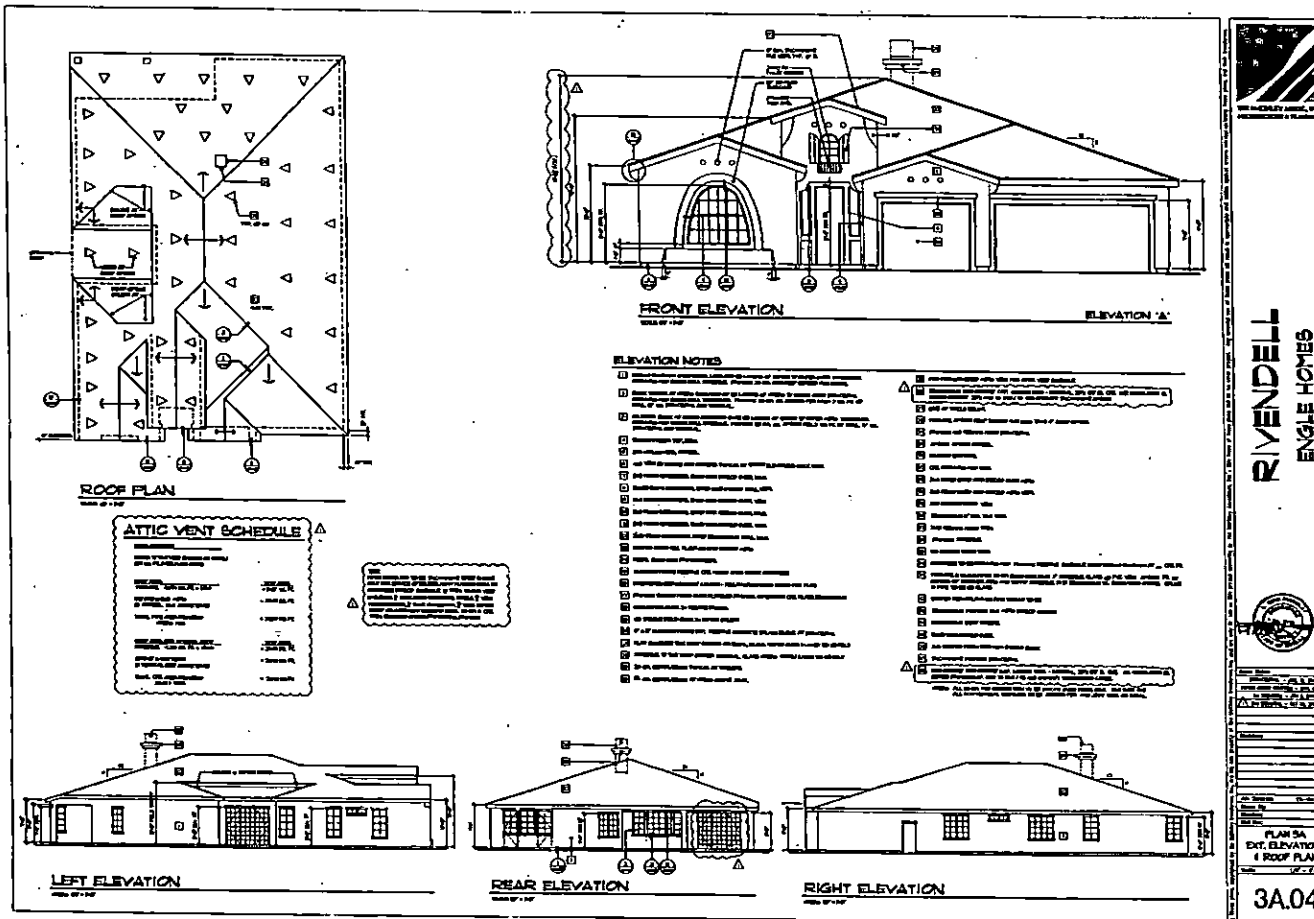
SDR-17254
12/21/06 PC

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SDR-17254
12/21/06 PC

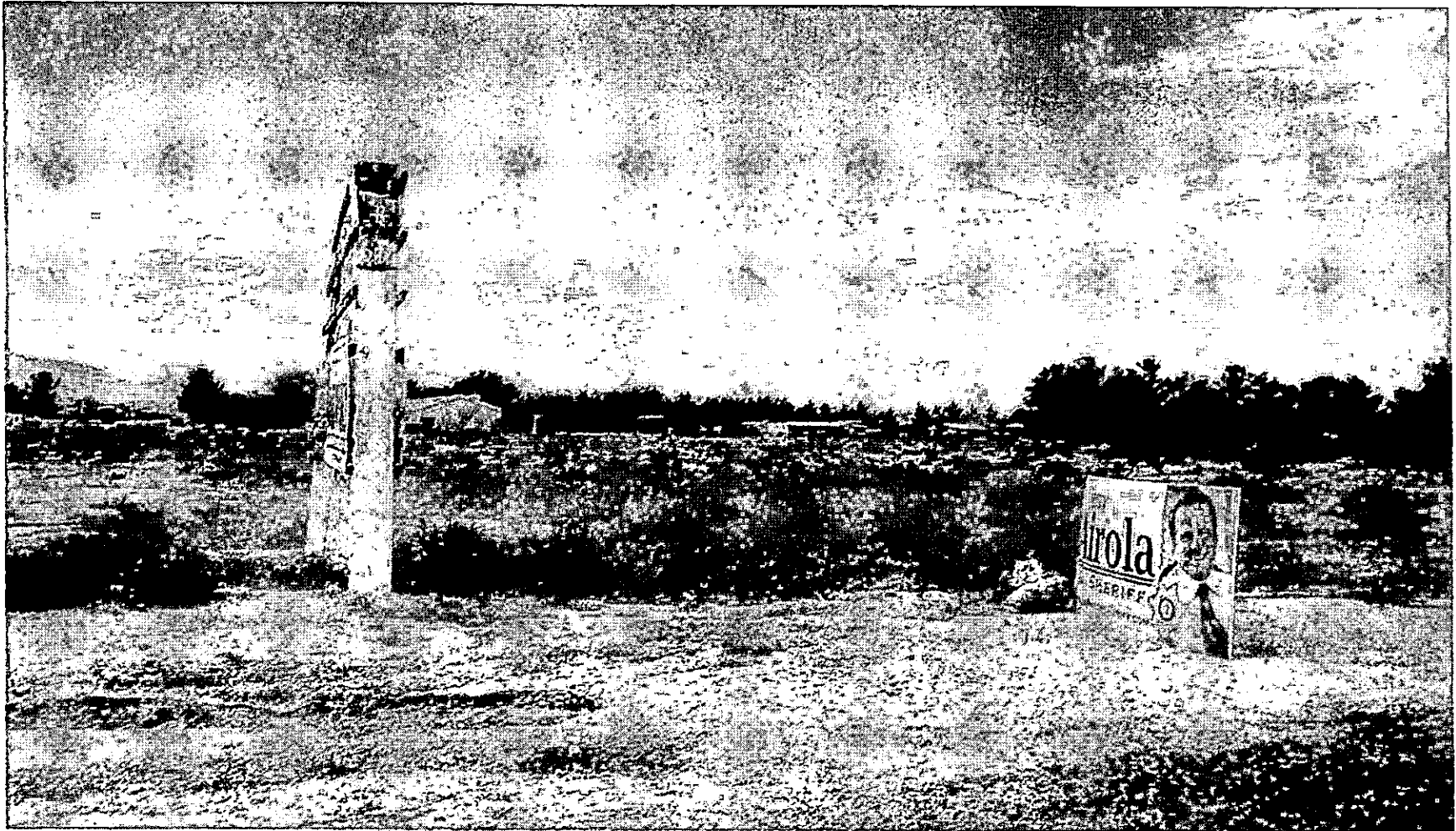


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OCT 02 2006

SDR-17254
12/21/06 PC

SDR 17254				
Wright Engineers				
NWC Jo Marcy & Jones				
Proposed 6 lot single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	6	9.57	57
AM Peak Hour			0.75	5
PM Peak Hour			1.01	6
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Jo Marcy Drive				
Average Daily Traffic (ADT)	541			
PM Peak Hour	43			
(heaviest 60 minutes)				
Jones Boulevard				
Average Daily Traffic (ADT)	8,188			
PM Peak Hour	655			
(heaviest 60 minutes)				
Grand Teton Drive				
Average Daily Traffic (ADT)	5,437			
PM Peak Hour	435			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Jo Marcy Drive	3000			
Jones Boulevard	16200			
Average Daily Traffic (ADT)	16200			
This project will add approximately 57 trips per day on Jo Marcy, Jones and Grand Teton. This will increase expected volumes by about eleven percent on Jo Marcy, land about one percent on Jones and Grand Teton. Jo Marcy is at about 18 percent of capacity, Jones is at about 51 percent of capacity and Grand Teton is at about 34 percent of capacity.				

Based on Peak Hour use, this development will add roughly 6 additional cars into the area; which works out to about one every ten minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



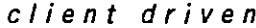
ZON-17250, VAR-17253 & SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF JONES BOULEVARD AND JO MARCY DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



ZON-17250, VAR-17253 & SDR-17254 - APPLICANT/OWNER: TOUSA HOMES, INC.
NORTHWEST CORNER OF JONES BOULEVARD AND JO MARCY DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

10/10/06



**City of Las Vegas
Planning and Development Department
731 South 4th Street
Las Vegas, Nevada
89101**

Please accept this letter from Wright Engineers on behalf of our client, Tousa Homes, Inc., as the justification for related requests for a Rezoning, a Variance and a Site Development Plan Review for development of property located at the northwest corner of Jones Boulevard and Jo Marcy Drive, also known as Falcon Crest Unit 3 (APNs 125-14-504-006, 007 and 008).

The applicant is requesting a conforming Rezoning from the R-E district to the R-PD2 (Residential Planned Development - 2 Units per Acre) on the subject site. Although the density of the proposed project, at 1.67 u.p.a., is far below the Desert Rural Density threshold of 2.49 u.p.a., the intent is to match the scale and density of the surrounding properties in the area. All of the proposed lots exceed 18,000 s.f. in area, which is in scale with nearby development. A Site Development Plan Review for the project is also being submitted. This site plan fully conforms to Title 19 regulations, other than the minimum site size requirement of 5 acres for R-PD developments; a request for a Variance to this requirement is also being filed.

Thank you for your consideration.


Gary Leobold, AICP
Director of Planning

Gary Leobold, AICP
Director of Planning

SDR-17254
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-17871 - VARIANCE - PUBLIC HEARING - APPLICANT: DEJA VU'S LITTLE DARLINGS - OWNER: ARTHUR G. AND JEAN M. GRANT - Request for a Variance TO ALLOW A PROPOSED 80-FOOT DOUBLE FACE 2,470 SQUARE-FOOT FREESTANDING SIGN WHERE 720 SQUARE FEET IS THE MAXIMUM ALLOWED on 2.46 acres at 1508 Western Avenue (APN 162-04-602-010), M (Industrial) Zone, Ward 3 (Reese).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

2

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Protest Letters

MOTION:

STEINMAN – APPROVED subject to conditions – UNANIMOUS with EVANS and TRUESDELL excused

To be heard by City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 35 [VAR-17871] and Item 36 [SDR-17312].

DOUG RANKIN, Department of Planning and Development, noted that one side of the sign face is 1,235 square feet and Code allows two feet of square footage for every one linear foot of street frontage. At the location proposed, Code allows a maximum of 720 square feet. MR. RANKIN stated that the Variance request is a self-imposed hardship and he recommended denial; however, he supported the site plan for the 80-foot sign since it would not be intrusive along the freeway.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 35 – VAR-17871

MINUTES:

ATTORNEY JAY BROWN, 520 South Fourth Street, appeared on behalf of the applicant and stated there are 350 feet of frontage adjacent to the freeway which is how 720 square feet of signage came to be. The reason there is conflict is due to the fact that the physical address does not allow the sign without the Variance. He stated there would be no adverse affects from the sign and he respectfully requested approval.

TODD FARLOW, 240 North Nineteenth Street, requested details about the elevation and the content of the sign.

DARYL SHOCK, Provision Sign Company, 3625 South Polaris Avenue, was present to address any technical questions about the sign. He stated that florescent lamps would be used, it would be an LED billboard and ATTORNEY JAY BROWN confirmed the sign would be tasteful in appearance.

CHAIRMAN TROWBRIDGE acknowledged the discrepancy of the sign facing the I15 which adequately justifies the request for a Variance. MR. SHOCK verified that if the frontage were along the freeway the sign would meet Code.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 35 [VAR-17871] and Item 36 [SDR-17312].

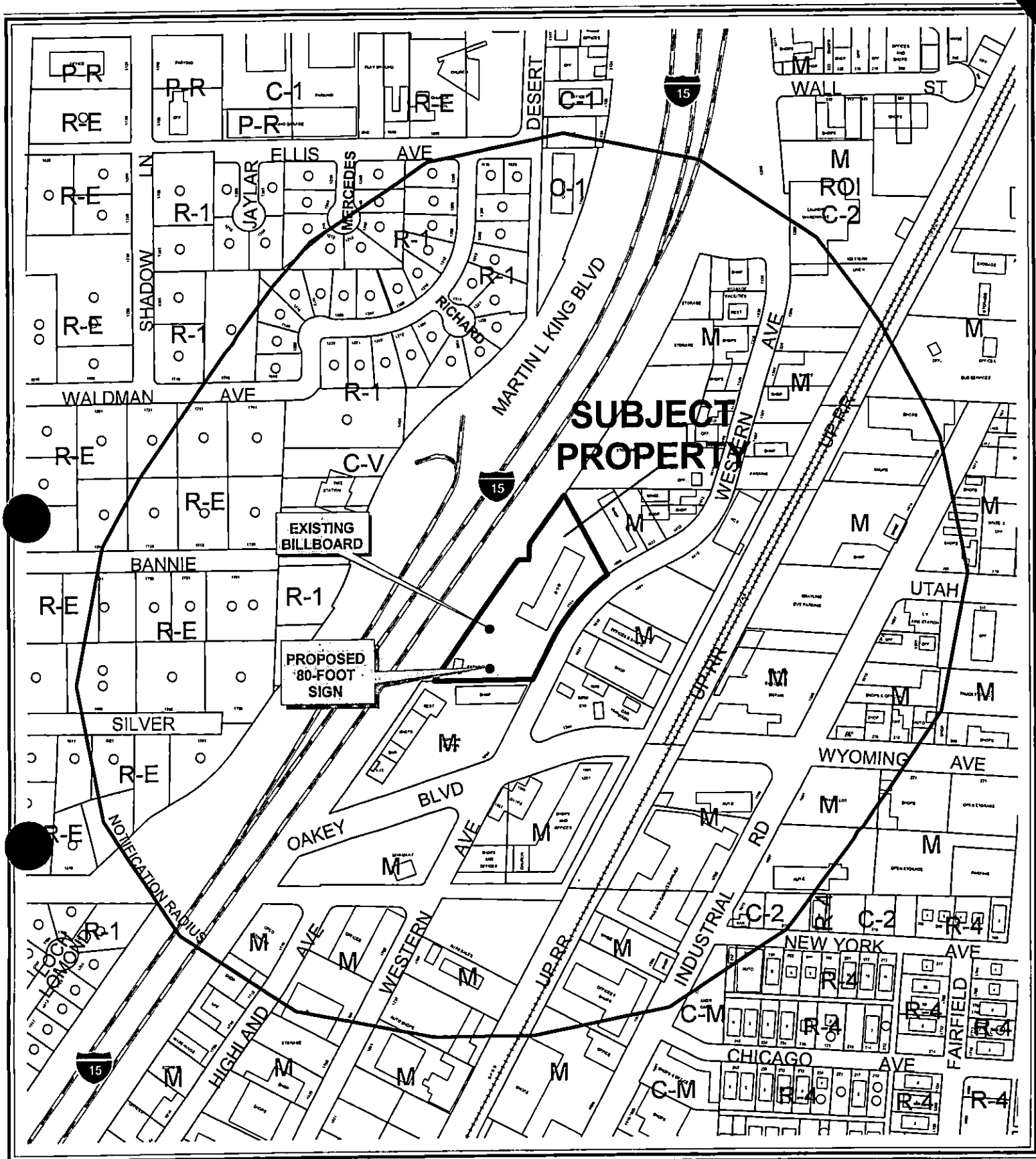
(8:23 – 8:30)

2-1155

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-17312) shall be required.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



CASE: **VAR-17871**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-17871 - APPLICANT: DÉJÀ VU'S LITTLE DARLINGS -

OWNER: ARTHUR G. AND JEAN M. GRANT

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-17312) shall be required.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17871 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The application is a request for a Variance to allow a proposed 80-foot high double face 1,235 square-foot freestanding sign where 720 square feet is the maximum allowed on a 2.46 acre site located at 1508 Western Avenue, east of the Interstate 15 corridor and Western Avenue.

BACKGROUND INFORMATION

Pre-Application Meeting	
09/20/06	A Pre-application meeting was held with the applicant. The applicant was informed of the Title 19 – Section 19.14.060 sign regulations related to sign quantity, area, height, setbacks, and separation.
Neighborhood Meeting	
A neighborhood meeting was not held for this type of application nor is one required.	

Details of Application Request	
Site Area	
Gross Acres	2.46 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Adult Entertainment	LI/R – Light Industrial/Research	M (Industrial)
North	Commercial Industrial	C (Commercial)	M (Industrial)
South	Commercial Industrial	C (Commercial)	M (Industrial)
East	Commercial Industrial	C (Commercial) LI/R (Light Industrial/Research)	M (Industrial)
West	Commercial Industrial	C (Commercial)	M (Industrial)

VAR-17871 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Revitalization Area	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

Freestanding Signs: [type in sign reference]				
Standards	Ratio	Allowed	Provided	Compliance
Maximum Number	1 sign / 200 Lineal feet of Street frontage	1 sign	1 sign	Y
Maximum Area	2 SF of sign area /lineal foot of Street frontage	720 SF	1,235 SF	N
Maximum Height	40 Feet (maximum 30-feet above nearest elevated freeway near proposed freestanding sign)		80 Feet	Y
Minimum Setback	5 Feet		5 Feet	Y
Illumination	200 feet from single- family residential		N/A	N/A

ANALYSIS

The project requests a Variance to allow for an 80-foot freestanding sign with a 1,235 square foot sign face where 720 square feet is the maximum allowed per Title 19 Sign Standards.

- **General Plan/Zoning**

The General Plan land use category for the project site is LI/R (Light Industrial/Research) and is situated within a designated revitalization area. Additionally, the site is within the M (Industrial) zone and freestanding signage is permitted within this zone classification.

JA

VAR-17871 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

- Site Plan

The project would involve installation of one 80-foot tall freestanding sign located near the southern property line. Title 19 Sign Standards limits the maximum number of signs to 1 sign for every 200 lineal feet of street frontage. The eastern property line fronting Western Avenue contains 360 lineal feet therefore 1 sign is the maximum permitted for this site.

- Elevations

The freestanding sign would be a double faced illuminated pylon display installed within an existing surface parking lot of a sexually oriented business. Title 19 Sign Standards limits the total maximum area of freestanding signage to no greater than 2 square feet of sign area for each lineal foot of street frontage. The street frontage for the subject parcel is 360 lineal feet and as such the sign face is limited to 720 square feet.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature.”

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship with the excessive design of the proposed sign face. A reduced project alternative that meets or exceeds the applicable Title 19 sign face threshold (at or below 720 square feet) would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site’s physical characteristics, it is concluded that the applicant’s hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances. Staff recommends denial of the Variance request.

VAR-17871 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 16

ASSEMBLY DISTRICT 9

SENATE DISTRICT 10

NOTICES MAILED 111 [Mailed with SDR-17312]

APPROVALS 0

PROTESTS 2



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17871** APN: 162-046-020-10

Name of Property Owner: Arthur & Jean Grant

Name of Applicant: Deja Vu's Little Darlings

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

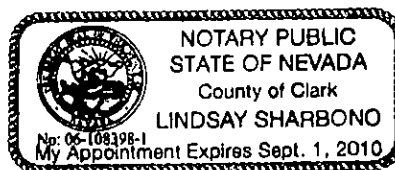
Partner(s): _____

APN: _____

Signature of Property Owner: Jean M. Grant
Print Name: JEAN M. GRANT

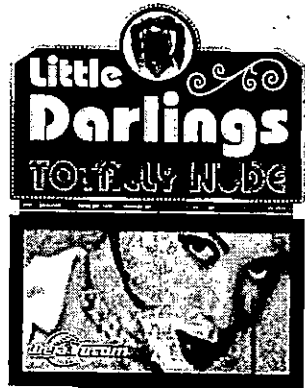
Subscribed and sworn before me

This 26th day of October, 2006
Lindsay Sharbano
Notary Public in and for said County and State



I-15

80' FREEWAY SIGN



80' FREEWAY SIGN

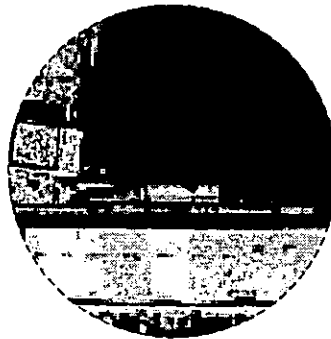
SITE PLAN

1"=60'



WESTERN AVE

EXISTING SIGN
TO BE REMOVED



AERIAL VIEW N.T.S.

Little Darlings

1514 WESTERN AVE

SITE PLAN

VISION SIGN

1625 S. Federal Ave. Las Vegas, Nevada 89103
Phone (702) 495-7474

These plans are prepared and submitted by the contractor as an application to NRS 433.110 for work under a contractor license category authorized under NRS 624.
NY CONTRACTOR LICENSE #43776

THIS ARTWORK WAS PREPARED BY AND IS THE PROPERTY OF VISION SIGN, INC. ANY UNAUTHORIZED USE OF SAME, IN WHOLE OR PART IS PROHIBITED.

JOB NO. 10366a
DATE 02-08-2006
DRAWN DERUICK
CHECK SHOCK
FIELD NO. 1.D10366a.CDR
SCALE

REVISIONS MADE

04-20-06 ON ADJUST SIZES OF SIGN & LED UNIT

10-25-06 ON RELOCATE SIGN

SITE

VAR-17871

OCT 31 2006

12/21/06 PC

Figure 1 illustrates a 2D lattice system. The lattice is composed of two horizontal chains of sites, labeled 'A' and 'B'. Sites are represented by small circles. Arrows indicate interactions between sites in the same chain and between sites in adjacent chains. The diagram shows a periodic arrangement of sites and interactions.

**AS PER
REQ'D.**

TOTALLY NUDE
OPEN PAN CHANNEL LTR
PAINT TO MATCH #238-107
VINYL INSIDE & PAINT

575 SQ. FT.

- PYLON COVER
METAL SAND FINISH TEX-COTE
POLE COVER AND CAPS PTD TO
MATCH #230-78 VIVIB ROSE.
SMOOTH PAINT STRIPE DOWN
THE CENTER WHITE.

12/21/06 PC

1/8" = 1'-0"

(1) REQ'D.

100

[illegible]

ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF VISION SIGNAL, INC. ANY UNAUTHORIZED USE OF SAME IN WHOLE OR IN PART IS PROHIBITED.

These gloves are approved and authorized by the manufacturer for use with all known and unknown hazardous materials in the laboratory. They are not authorized for use with unknown biological materials. For more information, call 1-800-421-5555.

VISION SIGN
3635 S. Pecos Ave. Las Vegas Nevada 89103
Phone (702) 895-2474

**80' FREEWAY
PYLON SIGN**

1514 WESTERN AVE

Little Darlings

December 11, 2006

City of Las Vegas Planning Commission
City Council Chambers
400 Stewart Avenue
Las Vegas, NV 89101

In re: **Objections to SDR-17312 and VAR-17871**

Dear City Commissioners:

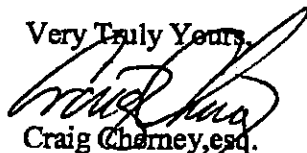
I would like to tender a formal **objection** to the aforementioned matters on behalf of myself and my wife Aubree Cherney. We reside at 1720 Bannie Avenue, in the Scotch 80's Neighborhood which lies directly west of the proposed signage.

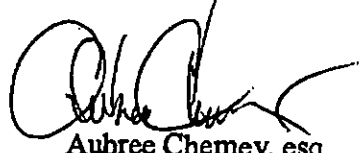
While every business is entitled to signage, the enormous size of the proposed "Little Darlings" sign is completely unacceptable.

While our neighborhood lies next to these kinds of businesses, I don't believe it's fair that a new sign, which will become an ENORMOUS BEACON to all passers-by for this Little Darlings establishment would benefit the city, its residents, or people like us who will live under the shadow of this signage.

Please compel the applicant to build a sign that conforms with normal city code.

Very Truly Yours,


Craig Cherney, esq.
1720 Bannie Ave
Las Vegas, NV 89102


Aubree Cherney, esq.
1720 Bannie Ave
Las Vegas, NV 89102

Renee Poole
Not Just Antiques Mart
1422 Western Avenue
Las Vegas, NV 89102

December 15, 2006

RE: SDR-17312 AND VAR-17871 Little Darlings Déjà vu's Sign Applications

Dear Council:

I am OPPOSED to both of these plans passing. I have property adjacent to this address, which is a retail establishment. The neighborhood has long been known for its nudey bars. And many who live in Las Vegas and tourists, do not travel in this neighborhood because of the reputation that it has gotten. Western Avenue and the adjacent neighborhood is just beginning to see the arrival of new retail businesses, art galleries, and building promotions.

I think a sign of that size will mislead passer-bys; especially those on the freeway, and will discourage potential customers from seeking our retail businesses. Although, I am not in opposition to this type of business, I don't feel that the promotion of this with a 80 foot sign is necessary, and may actually hurt the small businesses that are in this area.

I am hopeful that you will vote no on this matter.

Renee Poole