

Agenda

City of Las Vegas

PLANNING COMMISSION MEETING

DECEMBER 21, 2006

Council Chambers 400 Stewart Avenue

Phone 229-6301

TDD 386-9108

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Las Vegas City Council

Mayor Oscar B. Goodman

Mayor Pro-Tem Gary Reese, Ward 3

Councilman Larry Brown, Ward 4

Councilman Lawrence Weekly, Ward 5

Councilman Steve Wolfson, Ward 2

Councilwoman Lois Tarkanian, Ward 1

Councilman Steven D. Ross, Ward 6

City Manager, Douglas Selby

Commissioners

Glenn E. Trowbridge, Chairperson

Steven Evans, Vice-Chairperson

Byron Goynes

Richard Truesdell

Leo Davenport

David W. Steinman

Sam C. Dunnam

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE. UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

CALL TO ORDER: 6:00 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ROLL CALL:

ANNOUNCEMENT: Compliance with the Open Meeting Law

NOTICE: This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2nd Floor Skybridge
Clark County Government Center, 500 South Grand Central Parkway
Las Vegas Library, 833 Las Vegas Boulevard North
Grant Sawyer Building, 555 East Washington Avenue
Bulletin Board, City Hall Plaza (next to Metro Records)

MINUTES: Approval of the November 2, 2006 and November 16, 2006 Planning Commission Meeting minutes by reference (___ vote)

ACTIONS: ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

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ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received; the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

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CONSENT ITEMS:

CONSENT ITEMS ARE CONSIDERED ROUTINE BY THE PLANNING COMMISSION AND MAY BE ENACTED BY ONE MOTION. HOWEVER, ANY ITEM MAY BE DISCUSSED IF A COMMISSION MEMBER OR APPLICANT SO DESIRES.

1. TMP-17943 - TENTATIVE MAP - ANN & LEGGETT PROFESSIONAL CENTER - APPLICANT/ OWNER: THE ENGLAND, LLC - Request for a Tentative Map FOR A PROPOSED ONE-LOT COMMERCIAL SUBDIVISION on 3.2 acres at 5600, 5610 and 5620 Leggett Road (APNs 125-28-801-014, 016, and 018), R-E (Residence Estates) Zone under Resolution of Intent to P-R (Professional Office and Parking) Zone, Ward 6 (Ross).
2. TMP-18029 - TENTATIVE MAP - 601 FREMONT STREET - PHASE I - APPLICANT: 601 FREMONT, LLC - OWNER: CITY OF LAS VEGAS - Request for a Tentative Map FOR A MIXED-USE DEVELOPMENT on 1.92 acres at 601 Fremont Street (APN 139-34-611-018), C-2 (General Commercial) Zone, Ward 5 (Weekly).

ONE MOTION - ONE VOTE:

THE FOLLOWING ARE ITEMS THAT MAY BE CONSIDERED IN ONE MOTION/ONE VOTE. THEY ARE CONSIDERED ROUTINE NON-PUBLIC AND PUBLIC HEARING ITEMS THAT HAVE NO PROTESTS OR CONDITION CHANGES BY THE APPLICANT OR STAFF. ALL PUBLIC HEARINGS AND NON-PUBLIC HEARINGS WILL BE OPENED AT ONE TIME. ANY PERSON REPRESENTING AN APPLICATION OR A MEMBER OF THE PUBLIC OR A MEMBER OF THE PLANNING COMMISSION NOT IN AGREEMENT WITH THE CONDITIONS AND ALL STANDARD CONDITIONS FOR THE APPLICATION RECOMMENDED BY STAFF, SHOULD REQUEST TO HAVE THAT ITEM REMOVED FROM THIS PART OF THE AGENDA.

3. ABEYANCE - SDR-15322 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: MGB, LLC - Request for a Site Development Plan Review FOR A PROPOSED 11,080 SQUARE FOOT RETAIL DEVELOPMENT on 1.54 acres at the northwest corner of Lake Mead Boulevard and Decatur Boulevard (APN 138-24-611-060, 061 and 062), C-1 (Limited Commercial) Zone and U (Undeveloped) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 5 (Weekly).
NOTE: THIS REQUEST HAS BEEN AMENDED TO INCLUDE A WAIVER OF THE PERIMETER LANDSCAPE BUFFERING REQUIREMENTS AND MERHI GHASSAN SHOULD BE ADDED AS AN ADDITIONAL OWNER
ON NOVEMBER 28, 2006 THE APPLICANT REQUESTED THIS ITEM BE HELD IN ABEYANCE TO THE JANUARY 25, 2007 PLANNING COMMISSION MEETING

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4. **MSP-18000 – MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT/OWNER: SANTA FE STATION, INC.** - Request for a Major Amendment to an approved Master Sign Plan (MSP-0008-01) FOR ADDITIONAL SIGNAGE at 4949 North Rancho Drive (APN 125-34-801-001), C-2 (General Commercial) Zone, Ward 6 (Ross).
5. **MSP-18047 - MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT: SPRINGS PRESERVE - OWNER: LAS VEGAS VALLEY WATER DISTRICT** - Request for a Master Sign Plan FOR AN APPROVED GOVERNMENT FACILITY at 333 South Valley View Boulevard (APNs 139-31-602-003, 139-29-401-001, 139-30-804-001, and 139-32-101-001), C-V (Civic) Zone, Ward 1 (Tarkanian).
6. **VAR-17998 - VARIANCE - PUBLIC HEARING - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA** - Request for a Variance TO ALLOW 15 PARKING SPACES WHERE 23 SPACES ARE REQUIRED FOR A PROPOSED RESTAURANT WITH DRIVE-THROUGH on 0.52 acres at 4717 West Charleston Boulevard (APN 162-06-102-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
7. **SDR-17999 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17998 - PUBLIC HEARING - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA** - Request for a Site Development Plan Review FOR A PROPOSED 2,227 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH AND A WAIVER TO ALLOW A 2-FOOT LANDSCAPE BUFFER ALONG INTERIOR LOT LINES WHERE 8 FEET IS REQUIRED AND A 5-FOOT LANDSCAPE BUFFER WHERE 15 FEET IS REQUIRED ALONG PUBLIC RIGHT-OF-WAY on 0.52 acres at 4717 West Charleston Boulevard (APN 162-06-102-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
8. **SUP-18001 - SPECIAL USE PERMIT - PUBLIC HEARING – APPLICANT/OWNER: LESLIE DIANE** - Request for a Special Use Permit FOR A PROPOSED PACKAGE LIQUOR ESTABLISHMENT at 625 South Las Vegas Boulevard (APN 139-34-410-182), C-2 (General Commercial) Zone, Ward 3 (Reese).
9. **SUP-18032 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: VIOLET SAHAKYAN** - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER at 5150 North Jones Boulevard (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

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10. **SDR-17979 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS** - Request for a Site Development Plan Review FOR A PROPOSED 45,650 SQUARE-FOOT LIBRARY on a portion of 37.5 acres at 6601 North Buffalo Drive (APN 125-21-701-011), C-V (Civic) Zone [PF-TC (Public Facilities) Town Center Land Use Designation], Ward 6 (Ross).
11. **SDR-18009 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR. NEVILLE POKROY - OWNER: 36 ACRE, LLC** - Request for a Site Development Plan Review FOR A PROPOSED 9,000 SQUARE-FOOT MEDICAL OFFICE BUILDING on 0.77 acres adjacent to the south side of Deer Springs Way, approximately 300 feet east of Durango Drive (APN 125-20-710-008), T-C (Town Center) Zone [Mixed-Use Commercial – Montecito Town Center Special Land Use Designation], Ward 6 (Ross).
12. **SDR-18036 - SITE DEVELOPMENT PLAN REVIEW – PUBLIC HEARING - APPLICANT: NOVA SOURCE DEVELOPMENT - OWNER: NS SOUTHWEST #4, LLC** - Request for a Major Modification to Site Development Plan Review (SDR-9827) FOR A PROPOSED 5,000 SQUARE FOOT GENERAL RETAIL BUILDING on 1.97 acres at the northwest corner of Durango Drive and Grand Teton Drive (APN 125-08-813-006), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 6 (Ross).

PUBLIC HEARING ITEMS:

13. **ABEYANCE - RENOTIFICATION - ZON-16179 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Rezoning FROM: R-3 (MEDIUM DENSITY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

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14. **ABEYANCE - RENOTIFICATION - VAR-16181 - VARIANCE RELATED TO ZON-16179 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Variance TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 56.25 FEET WHERE 77.25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A TRASH ENCLOSURE TO BE PLACED 6 FEET FROM RESIDENTIAL PROPERTY WHERE 50 FEET IS THE MINIMUM REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (MEDIUM DENSITY RESIDENTIAL) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE AND TO REDUCE THE FRONT YARD SETBACK TO 15 FEET WHERE A MINIMUM SETBACK OF 20 FEET AND TO REDUCE THE REAR SETBACK 15 FEET WHERE A MINIMUM SETBACK OF 20 FEET IS REQUIRED.

15. **ABEYANCE - RENOTIFICATION - VAR-17191 - VARIANCE RELATED TO ZON-16179 AND VAR-16181 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Variance TO ALLOW A MINIMUM LOT WIDTH OF 87 FEET WHERE 100 FEET IS THE MINIMUM WIDTH REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

16. **ABEYANCE - RENOTIFICATION - SDR-16180 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-16179, VAR-16181, AND VAR-17191 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Site Development Plan Review FOR A 3,000 SQUARE FOOT COMMERCIAL BUILDING AND A WAIVER OF THE PERIMETER LANDSCAPE REQUIREMENTS on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

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17. **ABEYANCE - RENOTIFICATION - VAR-17127 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC** - Request for a Variance TO ALLOW 926 PARKING SPACES WHERE 937 PARKING SPACES IS THE MINIMUM NUMBER OF PARKING SPACES REQUIRED on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 926 PARKING SPACES TO 918 PARKING SPACES

18. **ABEYANCE - RENOTIFICATION - SDR-17128 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17127 - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC** - Request for a Site Development Plan Review FOR A PROPOSED 124-UNIT ADDITION TO AN APPROVED APARTMENT COMPLEX on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

19. **RESCIND PREVIOUS ACTION - ABEYANCE - SUP-15027 - SPECIAL USE PERMIT RELATED TO VAR-14734 AND VAR-14735 - PUBLIC HEARING - APPLICANT/OWNER: STEVEN PORTNOFF** - Request for a Special Use Permit FOR A PROPOSED 80-FOOT HIGH AMATEUR RADIO ANTENNA TOWER on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U (Undeveloped) Zone [R (Rural) General Plan Designation], Ward 1 (Tarkanian).
NOTE: AS OF AUGUST 6, 2006 THIS ITEM IS LOCATED IN WARD 2 (WOLFSON).

20. **RECONSIDER - ABEYANCE - SUP-15027 - SPECIAL USE PERMIT RELATED TO VAR-14734 AND VAR-14735 - PUBLIC HEARING - APPLICANT/OWNER: STEVEN PORTNOFF** - Request for a Special Use Permit FOR A PROPOSED 80-FOOT HIGH AMATEUR RADIO ANTENNA TOWER on the south side of O'Bannon Drive, approximately 140 feet west of Lisa Lane (APN 163-04-401-002), U (Undeveloped) Zone [R (Rural) General Plan Designation], Ward 2 (Wolfson).

21. **ABEYANCE - SUP-17737 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: DURANGO STRUCTURES, LLC** - Request for a Special Use Permit FOR A DRIVE-THRU RESTAURANT on 3.82 acres at the northeast corner of Centennial Parkway and Durango Drive (APN 125-20-801-002), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

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22. **ABEYANCE - SDR-17735 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-17737 - PUBLIC HEARING - APPLICANT/OWNER: DURANGO STRUCTURES, LLC** - Request for a Site Development Plan Review FOR A 42,790 SQUARE FOOT RETAIL SHOPPING CENTER WITH WAIVERS OF THE BUILD-TO-LINE REQUIREMENT AND TO ALLOW 15 FEET OF PERIMETER LANDSCAPE BUFFER ADJACENT TO A DRIVE-THRU AISLE WHERE 25 FEET IS REQUIRED on 3.82 acres at the northeast corner of Centennial Parkway and Durango Drive (APN 125-20-801-002), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).
23. **ABEYANCE - SUP-17534 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: RUTH ANN T. RUIZ** - Request for a Special Use Permit FOR A PROPOSED GROUP RESIDENTIAL CARE FACILITY WITH A WAIVER TO ALLOW A SEPARATION OF 600 FEET FROM AN EXISTING GROUP RESIDENTIAL CARE FACILITY WHERE 660 FEET IS THE MINIMUM SEPARATION REQUIRED AND A WAIVER TO ALLOW A MINIMUM LOT SIZE OF 6,041 SQUARE FEET WHERE 6,500 SQUARE FEET IS REQUIRED on 0.14 acres at 5313 Padua Way (APN 138-36-813-012), R-CL (Single Family Compact-Lot) Zone, Ward 1 (Tarkanian).
24. **ABEYANCE - SUP-17739 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: JL PARADISE, LLC - OWNER: MANIJEH DANESHFOROOZ** - Request for a Special Use Permit FOR A PROPOSED MASSAGE ESTABLISHMENT AND WAIVERS TO ALLOW A DISTANCE SEPARATION OF 180 FEET FROM AN EXISTING MASSAGE ESTABLISHMENT WHERE 1,000 FEET IS THE MINIMUM REQUIRED AND TO ALLOW NO SEPARATION FROM A RESIDENTIAL USE WHERE 400 FEET IS THE MINIMUM SEPARATION REQUIRED at 2205 South Paradise Road (APN 162-03-413-017), C-1 (Limited Commercial) Zone, Ward 3 (Reese).
25. **ABEYANCE - VAR-17732 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS** - Request for a Variance TO ALLOW A PROPOSED BUILDING 20 FEET FROM THE REAR PROPERTY LINE WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A MINIMUM SETBACK OF 60 FEET; AND TO ALLOW TWO PROPOSED TRASH ENCLOSURES 10 FEET FROM THE REAR PROPERTY LINE WHERE 50 FEET IS THE MINIMUM SETBACK REQUIRED on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).

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26. ABEYANCE - SDR-17730 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17732 - PUBLIC HEARING - APPLICANT/OWNER: SF INVESTMENTS LLC - Request for a Site Development Plan Review FOR A 16,573 SQUARE FOOT RETAIL CENTER WITH AUTOMATIC AND SELF-SERVE CAR WASHES, AUTOMOBILE VACUUM STATIONS, AND A RESTAURANT WITH DRIVE-THROUGH on 2.56 acres at 4700 North Rancho Drive (APN 138-02-102-014), C-2 (General Commercial) Zone, Ward 6 (Ross).
27. ABEYANCE - ZON-17242 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), Ward 6 (Ross).
28. ABEYANCE - VAR-17244 - VARIANCE RELATED TO ZON-17242 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 2.86 ACRES WHERE FIVE ACRES IS THE MINIMUM REQUIRED on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
29. ABEYANCE - SDR-17247 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17242 AND VAR-17244 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED FIVE-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT AND A WAIVER OF THE STREETSCAPE REQUIREMENTS on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
30. ZON-17248 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), Ward 6 (Ross).

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31. **SDR-17249 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17248 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Site Development Plan Review FOR A PROPOSED NINE-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.06 acres adjacent to the south side of Mello Avenue, approximately 625 feet east of Jones Boulevard (APN 125-24-302-005), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
32. **ZON-17250 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 3.58 acres at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), Ward 6 (Ross).
33. **VAR-17253 - VARIANCE RELATED TO ZON-17250 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 3.58 ACRES WHERE 5.00 ACRES IS THE MINIMUM SITE AREA REQUIRED at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
34. **SDR-17254 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17250 AND VAR-17253 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC.** - Request for a Site Development Plan Review FOR A PROPOSED SIX-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 3.58 acres at the northwest corner of Jones Boulevard and Jo Marcy Drive (APNs 125-14-504-006 through 008), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
35. **VAR-17871 - VARIANCE - PUBLIC HEARING - APPLICANT: DEJA VU'S LITTLE DARLINGS - OWNER: ARTHUR G. AND JEAN M. GRANT** - Request for a Variance TO ALLOW A PROPOSED 80-FOOT DOUBLE FACE 2,470 SQUARE-FOOT FREESTANDING SIGN WHERE 720 SQUARE FEET IS THE MAXIMUM ALLOWED on 2.46 acres at 1508 Western Avenue (APN 162-04-602-010), M (Industrial) Zone, Ward 3 (Reese).

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36. **SDR-17312 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17871 - PUBLIC HEARING - APPLICANT: DÉJÀ VU'S LITTLE DARLINGS - OWNER: ARTHUR G. AND JEAN M. GRANT** - Request for a Site Development Plan Review FOR A PROPOSED 80-FOOT HIGH FREESTANDING SIGN on 2.46 acres at 1508 Western Avenue (APN 162-04-602-010), M (Industrial) Zone, Ward 3 (Reese).
37. **VAR-18182 - VARIANCE - PUBLIC HEARING - APPLICANT: RIDER'S CHEVRON - OWNER: GARRET GROUP, LLC** - Request for a Variance TO ALLOW AN 11-FOOT SETBACK IN THE REAR YARD WHERE 20 FEET IS THE MINIMUM REQUIRED on 0.79 acres at 2237 West Charleston Boulevard (APN 162-04-101-001), C-1 (Limited Commercial) Zone, Ward I (Tarkanian).
38. **SDR-18082 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-18182 - PUBLIC HEARING - APPLICANT: RIDER'S CHEVRON - OWNER: GARRET GROUP, LLC** - Request for a Site Development Plan Review FOR A PROPOSED 4,400 SQUARE-FOOT SERVICE STATION (WITHOUT INCIDENTAL AUTOMOTIVE REPAIR) AND A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS THE MINIMUM REQUIRED ALONG A PORTION OF THE EASTERN PROPERTY LINE AND TO ALLOW A TEN-FOOT PERIMETER LANDSCAPE BUFFER WHERE 15 FEET IS THE MINIMUM REQUIRED ADJACENT TO THE RIGHT-OF-WAY on 0.79 acres at 2237 West Charleston Boulevard (APN 162-04-101-001), C-1 (Limited Commercial) Zone, Ward I (Tarkanian).
39. **VAR-18224 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ANTHONY L POLLARD FOUNDATION** - Request for a Variance TO ALLOW A 13-FOOT REAR YARD SETBACK WHERE 20 FEET IS THE MINIMUM REAR YARD SETBACK REQUIRED on 1.48 acres at 917 & 965 Hart Avenue and 916 West Lake Mead Boulevard (APNs 139-21-601-015, 016, and 139-21-612-052), R-2 (Medium-Low Density Residential) Zone, Ward 5 (Weekly).
40. **SDR-18051 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-18224 - PUBLIC HEARING - APPLICANT/OWNER: ANTHONY L POLLARD FOUNDATION** - Request for an Amendment to an approved Site Development Plan Review (SDR-3132) FOR A PROPOSED 16,657 SQUARE-FOOT PRIVATE SCHOOL on 1.48 acres at 917 & 965 Hart Avenue and 916 West Lake Mead Boulevard (APNs 139-21-601-015, 016, and 139-21-612-052), R-2 (Medium-Low Density Residential) Zone, Ward 5 (Weekly).

Agenda *City of Las Vegas*

PLANNING COMMISSION MEETING

DECEMBER 21, 2006

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41. **RQR-17661 - REQUIRED TWO YEAR REVIEW - PUBLIC HEARING - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: NEVADA COMMERCE BANK** - Required Two Year Review of an approved Special Use Permit (U-0023-95) WHICH ALLOWED A 40-FOOT HIGH, 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 3200 Valley View Boulevard (APN 162-08-410-018), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
42. **RQR-17763 - REQUIRED TWO YEAR REVIEW - PUBLIC HEARING - APPLICANT: LAMAR ADVERTISING - OWNER: Z & Z INVESTMENT COMPANY** - Required Two Year Review of an approved Special Use Permit (U-0018-95) WHICH ALLOWED A 40-FOOT HIGH, 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 2350 North Rainbow Boulevard (APN 138-23-110-001), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).
43. **RQR-17764 - REQUIRED TWO YEAR REVIEW - PUBLIC HEARING - APPLICANT: LAMAR ADVERTISING - OWNER: FOSTER DAY CORPORATION** - Required Two Year Review of an approved Special Use Permit (U-0036-95) WHICH ALLOWED A 40-FOOT HIGH, 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 2401 North Decatur Boulevard (APN 138-13-801-083), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).
44. **SUP-18037 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CAROLLO'S TROPICAL MOTORS, INC. - OWNER: EP DECATUR, LP** - Request for a Special Use Permit FOR A PROPOSED MOTOR VEHICLE SALES (USED) ESTABLISHMENT at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).
45. **SDR-18034 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-18037 - PUBLIC HEARING - APPLICANT: CAROLLO'S TROPICAL MOTORS, INC. - OWNER: EP DECATUR, LP** - Request for a Site Development Plan Review FOR THE ADDITION OF A PROPOSED 1,680 SQUARE-FOOT OFFICE BUILDING TO AN EXISTING MOTOR VEHICLE SALES (NEW) ESTABLISHMENT AND A WAIVER OF THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS TO ALLOW A ZERO FOOT LANDSCAPE BUFFER WHERE 15 FOOT AND EIGHT FOOT LANDSCAPE BUFFERS ARE REQUIRED on 3.74 acres at 2025 South Decatur Boulevard (APNs 163-01-708-001 and 002), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

Agenda

City of Las Vegas

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46. MSP-17815 - MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT/OWNER: SHADOW HILLS PLAZA, LLC - Request for a Major Amendment to an approved Master Sign Plan (MSP-6910) FOR A 35-FOOT HIGH FREESTANDING SIGN WITHIN THE LONE MOUNTAIN MASTER PLAN at 10442 West Cheyenne Avenue (APN 137-12-817-006), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to PD (Planned Development) Zone, Ward 4 (Brown).
47. VAC-18045 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: THE AQUITANIA CORPORATION - Petition to Vacate a 24-foot section of a public right-of-way radius corner generally located at the northeast corner of Main Street and Bonanza Road, Ward 5 (Weekly).
48. SDR-18025 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAC-18045 - PUBLIC HEARING - APPLICANT/OWNER: THE AQUITANIA CORPORATION - Request for a Major Modification to an approved Site Development Plan Review (SDR-8649) FOR A PROPOSED ADDITION OF A 2,600 SQUARE-FOOT RESTAURANT AND AN ADDITION OF 40 FEET IN HEIGHT OF AN APPROVED MIXED-USE DEVELOPMENT AND TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 57 FEET WHERE 375 FEET IS THE MINIMUM REQUIRED on 2.87 acres at the northeast corner of Main Street and Bonanza Road (APNs 139-27-810-001, 002, 003, 004 and 139-27-707-008, 046 through 051), R-2 (Medium-Low Density Residential) Zone and C-M (Commercial/Industrial) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 5 (Weekly).
- DIRECTOR'S BUSINESS:
49. TXT-18023 - TEXT AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Discussion and possible action to amend The City of Las Vegas Subdivision Ordinance and the Las Vegas Zoning Code to update and revise various Title 18 and Title 19 requirements and make corrections and clarifications as appropriate.
50. DIR-18117 - DIRECTOR'S BUSINESS - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Election of the 2007 Planning Commission Officers.

Agenda

City of Las Vegas

PLANNING COMMISSION MEETING

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CITIZENS PARTICIPATION:

PUBLIC COMMENT DURING THIS PORTION OF THE AGENDA MUST BE LIMITED TO MATTERS WITHIN THE JURISDICTION OF THE PLANNING COMMISSION. NO SUBJECT MAY BE ACTED UPON BY THE PLANNING COMMISSION UNLESS THAT SUBJECT IS ON THE AGENDA AND IS SCHEDULED FOR ACTION. IF YOU WISH TO BE HEARD, GIVE YOUR NAME FOR THE RECORD. THE AMOUNT OF DISCUSSION ON ANY SINGLE SUBJECT, AS WELL AS THE AMOUNT OF TIME ANY SINGLE SPEAKER IS ALLOWED, MAY BE LIMITED.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at (702) 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is (702) 386-9108.

AFFIDAVIT OF MAILING

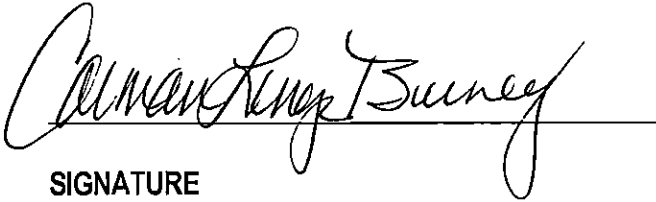
(Mailing required under the provisions of NRS Chapter 241)

STATE OF NEVADA)

) ss

COUNTY OF CLARK)

I Carman Livingston Burney, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of December 14, 2006, a copy of the December 21, 2006 Planning Commission Agenda, the attached of which is a true and correct copy, was mailed electronically and/or deposited in the United States Mail, Postage prepaid, First Class Mail, to each person and/or organization whose name appears on the list maintained in the Department of Planning and Development, Current Planning Division.



SIGNATURE

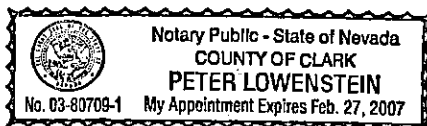
Planning and Development Department

Subscribed and sworn to before me this

14th day of December, 2006



NOTARY PUBLIC in and for said County and State



AFFIDAVIT OF POSTING

(Posting required under the provision of NRS 241, Sec. 1.3 and 1.5)

State of Nevada)
)
County of Clark))
)
City of Las Vegas)

I ED OAKLEY, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of December 14, 2006, at the hour of 2:30, there were posted copies of the December 21, 2006 Planning Commission Agenda, the attached of which is a true and correct copy, at the following locations:

1. In the Clark County Government Center
500 South Grand Central Parkway
2. In the Grant Sawyer Building
555 East Washington Avenue
(Go in through the main entrance. Straight ahead is the security desk. Ask one of the guards to unlock the bulletin board so that you may post the agenda.)
3. In the Las Vegas Library
833 Las Vegas Boulevard North
(Go through the double doors. To the right of the desk is the bulletin board. I am told that they keep it very neat. Take some extra pushpins as they may not have any).
4. City Clerk's Bulletin Board
400 Stewart Avenue, 2nd Floor Skybridge
(in the walkway area next to the entrance of the Human Resources Department. See City Clerk for key)
5. On the Public Bulletin Board at the Plaza Level to the City Hall
400 Stewart Avenue
(Near the entrance to the Court Clerk's Office)

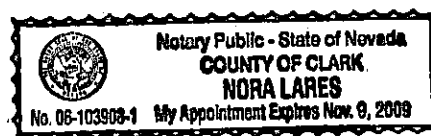
Ed Oakley
(Signature)

Planning and Development Department

Subscribed and sworn to before me

This 14th day of December, 2006.

Nora Lares
Notary Public in and for said County and State



City of Las Vegas

PLANNING COMMISSION AGENDA PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE.

THESE PROCEEDINGS ARE BEING PRESENTED LIVE ON KCLV, CABLE CHANNEL 2. THE PLANNING COMMISSION MEETING, AS WELL AS ALL OTHER KCLV PROGRAMMING, CAN BE VIEWED ON THE CITY'S INTERNET AT www.kclv.tv. THE PROCEEDINGS WILL BE REBROADCAST ON KCLV CHANNEL 2 AND THE WEB SATURDAY AT 10:00 AM, THE FOLLOWING MONDAY AT MIDNIGHT AND TUESDAY AT 5:00 PM.

PLEDGE OF ALLEGIANCE was led by CHAIRMAN TROWBRIDGE.

CALL TO ORDER: 6:02 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ANNOUNCEMENT RE: COMPLIANCE WITH OPEN MEETING LAW

MINUTES:

PRESENT: CHAIRMAN GLENN TROWBRIDGE, MEMBERS BYRON GOYNES, LEO DAVENPORT, DAVID STEINMAN AND SAM DUNNAM

Excused: STEVEN EVANS and RIC TRUESDELL

STAFF PRESENT: MARGO WHEELER – PLANNING & DEVELOPMENT DEPT., DOUG RANKIN – PLANNING & DEVELOPMENT DEPT., JOHN KORKOSZ – PLANNING & DEVELOPMENT DEPT., BART ANDERSON – PUBLIC WORKS, RICK SCHROEDER – PUBLIC WORKS, JAMES LEWIS – CITY ATTORNEY'S OFFICE, YDOLEENA YTURRALDE – CITY CLERK'S OFFICE, CARMEL VIADO – CITY CLERK'S OFFICE

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

SUBJECT:

Approval of the minutes of the November 2, 2006 and November 16, 2006 Planning Commission Meeting

MOTION:

GOYNES – APPROVED – UNANIMOUS with EVANS and TRUESDELL excused

MINUTES:

There was no discussion.

(6:03)

1- 39

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

MINUTES:

DOUG RANKIN, Department of Planning and Development, stated that the applicants for the following items requested the items be held in abeyance or withdrawn without prejudice. Letters are on file for each of the requests.

Item 3 [SDR-15322]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 10 [SDR-17979]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 21 [SUP-17737]	Abeyance to 01/11/2007 Planning Commission Meeting
Item 22 [SDR-17735]	Abeyance to 01/11/2007 Planning Commission Meeting
Item 23 [SUP-17534]	WITHDRAWN WITHOUT PREJUDICE
Item 25 [VAR-17732]	Abeyance to 01/11/2007 Planning Commission Meeting
Item 26 [SDR-17730]	Abeyance to 01/11/2007 Planning Commission Meeting
Item 30 [ZON-17248]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 31 [SDR-17249]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 32 [ZON-17250]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 33 [VAR-17253]	Abeyance to 01/25/2007 Planning Commission Meeting

City of Las Vegas

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006 Department of Planning and Development Discussion Items

MINUTES – Continued:

Item 34 [SDR-17254]	Abeyance to 01/25/2007 Planning Commission Meeting
Item 41 [RQR-17661]	Abeyance to 03/22/2007 Planning Commission Meeting
Item 42 [RQR-17763]	Abeyance to 03/22/2007 Planning Commission Meeting
Item 43 [RQR-17764]	Abeyance to 03/22/2007 Planning Commission Meeting
Item 49 [TXT-18023]	Abeyance to 01/11/2007 Planning Commission Meeting

MR. RANKIN stated that Item 3 [SDR-15322] and Item 10 [SDR-17979] were requested to be held in abeyance to the 01/25/2007 Planning Commission meeting.

Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732] and Item 26 [SDR-17730] were requested to be held in abeyance to the 01/11/2007 Planning Commission meeting.

Item 23 [SUP-17534] was requested to be withdrawn without prejudice.

Item 30 [ZON-17248] was requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] were requested to be held in abeyance to the 1/25/2007 Planning Commission meeting.

Item 41 [RQR-17661], Item 42 [RQR-17763], Item 43 [RQR-17764] were all requested to be held in abeyance to the 3/22/2007 Planning Commission meeting.

Item 49 [TXT-18023] was requested to be held in abeyance to the 01/11/2007.

MR. RANKIN noted that the Director's Item 50 [DIR-18117] may need action.

ROSCOE VAN CAMP, 4754 Munstead Woods Court, expressed concern about Item 26 [SDR-17730], which pertains to a fast food service restaurant and carwash near a newly developed residential area. He stated this development would create noise and encouraged adequate landscaping to shield noise. He also opposed the request to allow a garbage disposal within 60 feet of residents.

CHAIRMAN TROWBRIDGE acknowledged MR. CAMP'S concerns and informed him that while this item was requested to be held in abeyance, his comments would be noted. COMMISSIONER DUNNAM confirmed his concerns would be mitigated.

(6:03 – 6:09)



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

CHAIRMAN TROWBRIDGE announced the subdivision items could be appealed by the applicant or aggrieved person or a review requested by a member of the City Council.

ACTIONS:

ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

CHAIRMAN TROWBRIDGE read the statement on the order of the items and the time limitations on persons wishing to be heard on an item.

ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDA ITEM.



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

CHAIRMAN TROWBRIDGE noted the Rules of Conduct.

PLANNING COMMISSION MEETING RULES OF CONDUCT.

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received, the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☒ **CONSENT** ☐ **DISCUSSION**

SUBJECT:

TMP-17943 - TENTATIVE MAP - ANN & LEGGETT PROFESSIONAL CENTER - APPLICANT/OWNER: THE ENGLAND, LLC - Request for a Tentative Map FOR A PROPOSED ONE-LOT COMMERCIAL SUBDIVISION on 3.2 acres at 5600, 5610 and 5620 Leggett Road (APNs 125-28-801-014, 016, and 018), R-E (Residence Estates) Zone under Resolution of Intent to P-R (Professional Office and Parking) Zone, Ward 6 (Ross).

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 1 [TMP-17943] and Item 2 [TMP-18029] – **UNANIMOUS** with EVANS and TRUESDELL excused

This is Final Action

MINUTES:

There was no discussion.

(6:09 – 6:10)

1-224

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 1 – TMP-17943

CONDITIONS:

Planning and Development

- I. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-12380), Rezoning (ZON-12379) and Variance (VAR-12382).
3. Street names must be provided in accordance with the City's Street Naming Regulations.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.

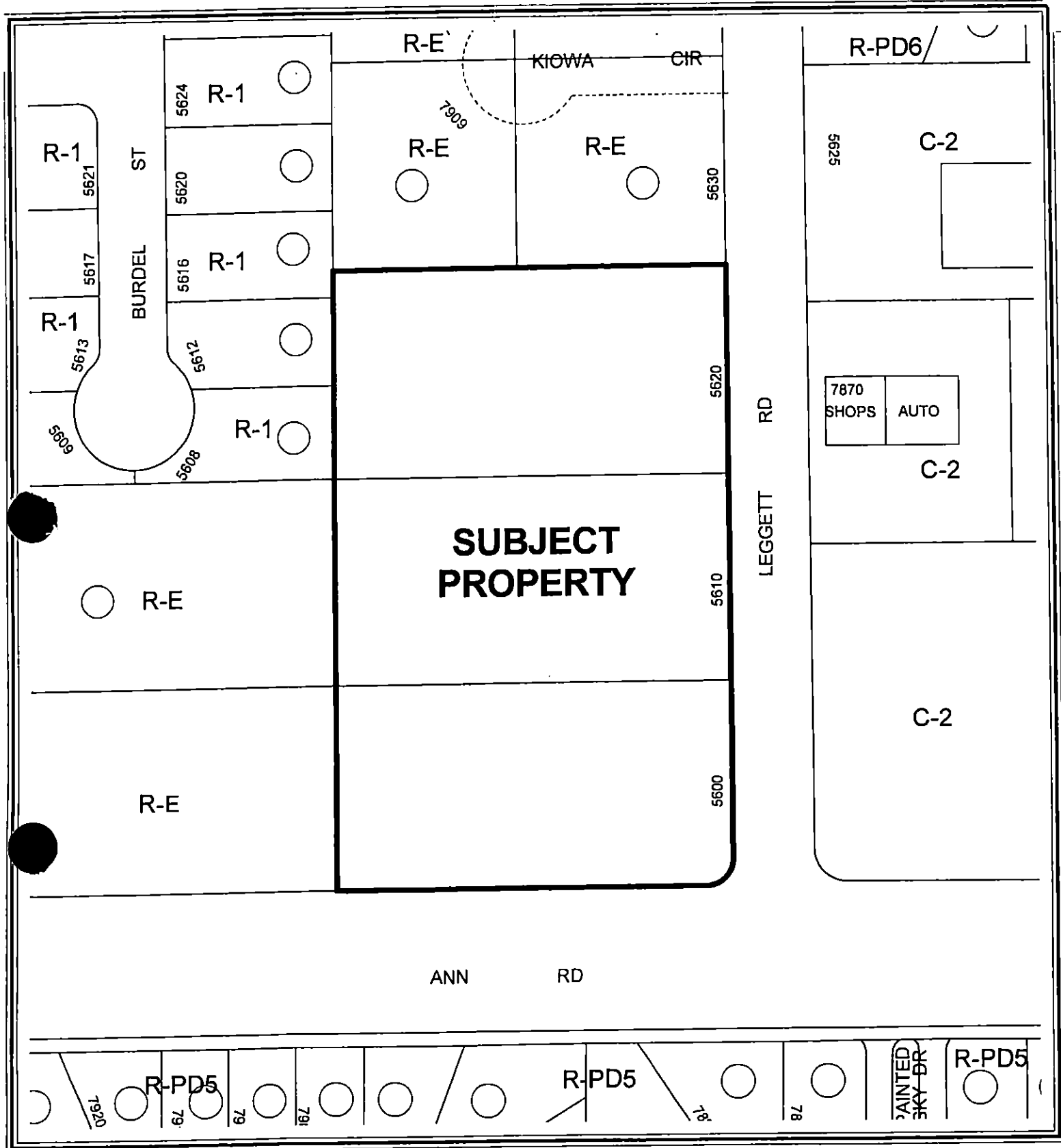
Public Works

5. Sewer service for this commercial subdivision shall be shown in accordance with one of the following three alternatives, and the appropriate Note shall appear on the face of the recorded Final Map:
 - I. Onsite sewers, 8-inches in diameter or larger, are public sewers within 20 foot wide dedicated public sewer easements.
 - II. Onsite sewers are a common element privately owned and maintained per the Conditions, Covenants, and Restrictions (CC&Rs) of this commercial subdivision.
 - III. Onsite sewers are a common element privately owned and maintained per the Joint Use Agreement of this commercial subdivision.
6. The Final Map for this site shall be labeled as a "Merger and Resubdivision".
7. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
8. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-12379, Site Development Plan Review SDR-12380 and all other applicable site-related actions.
9. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 1 – TMP-17943

CONDITIONS:

alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



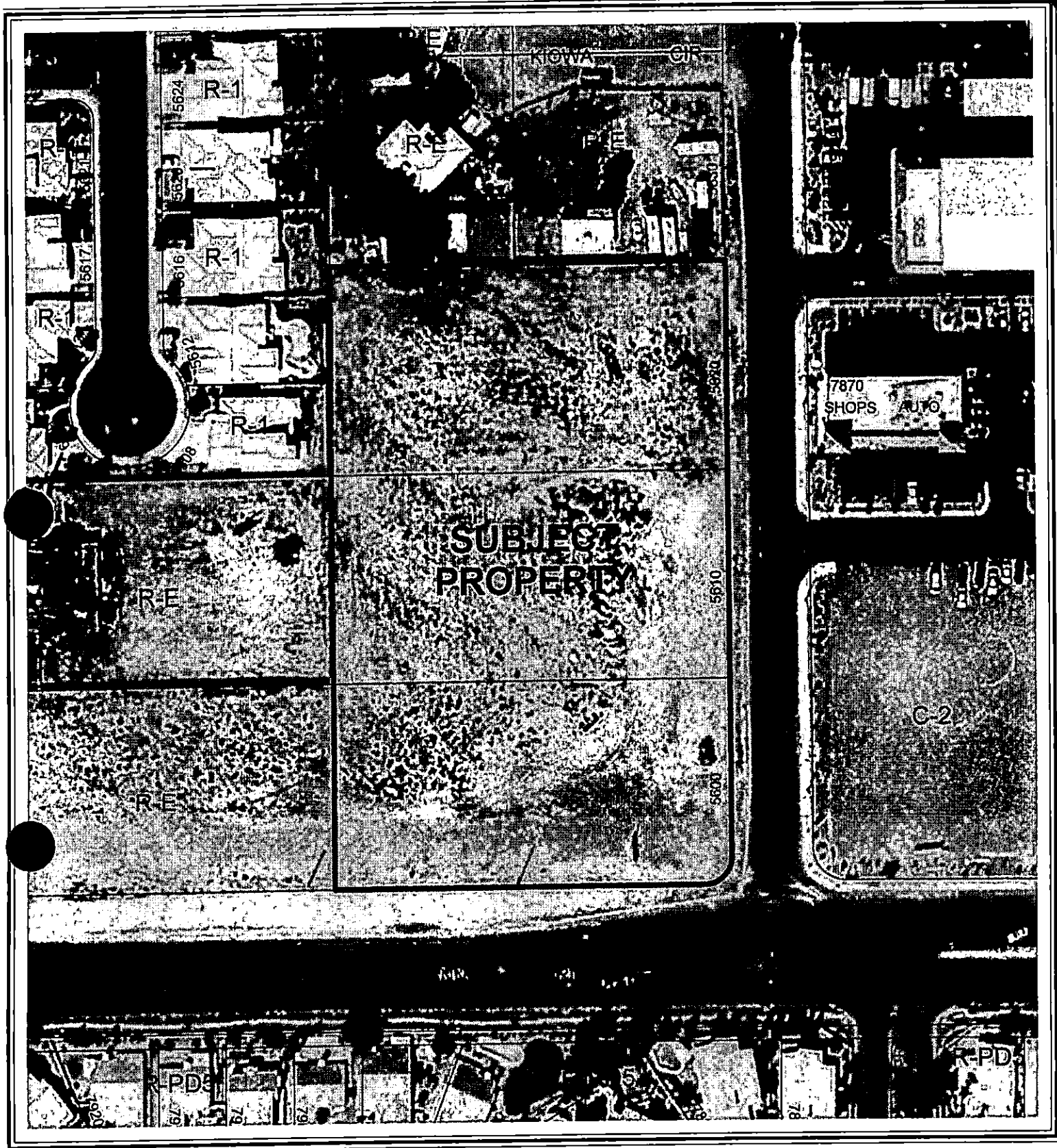
0 30 60 Feet

CASE: **TMP-17943**

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO P-R (PROFESSIONAL OFFICE AND PARKING)





0 30 60 Feet

CASE: TMP-17943

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) UNDER RESOLUTION OF INTENT TO P-R (PROFESSIONAL OFFICE AND PARKING)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: TMP-17943 - ANN & LEGGETT PROFESSIONAL CENTER -

APPLICANT/ OWNER: THE ENGLAND, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-12380), Rezoning (ZON-12379) and Variance (VAR-12382).
3. Street names must be provided in accordance with the City's Street Naming Regulations.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

5. Sewer service for this commercial subdivision shall be shown in accordance with one of the following three alternatives, and the appropriate Note shall appear on the face of the recorded Final Map:
 - I. Onsite sewers, 8-inches in diameter or larger, are public sewers within 20 foot wide dedicated public sewer easements.
 - II. Onsite sewers are a common element privately owned and maintained per the Conditions, Covenants, and Restrictions (CC&Rs) of this commercial subdivision.
 - III. Onsite sewers are a common element privately owned and maintained per the Joint Use Agreement of this commercial subdivision.
6. The Final Map for this site shall be labeled as a "Merger and Resubdivision".
7. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

RTS

TMP-17943 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

8. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-12379, Site Development Plan Review SDR-12380 and all other applicable site-related actions.

9. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

TMP-17943 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a review of a Tentative Map for a one lot commercial subdivision. Located on 3.21 acres at 5600, 5610, and 5620 Leggett Road this commercial subdivision is for a proposed 21,750 square-foot office development. The proposed map sites six single-story office buildings around the exterior of the site with parking located to the interior of the site. A general plan amendment, rezoning, and a variance were previously approved for this project. Due to conformance with the approved general plan amendment, rezoning, site development plan review, and variance cases approval of this application is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/07/06	The City Council approved a request for a General Plan Amendment (GPA-12378) to an O (Office) land use designation, a Rezoning (ZON-12379) to a P-R (Professional Office and Parking) District, a Site Development Plan Review (SDR-12380) and a Variance (VAR-12382) for Residential Adjacency requirements. The Planning Commission and staff recommended denial of the General Plan Amendment (GPA-12378) on 04/27/06. The Planning Commission recommended approval and staff recommended denial of the Rezoning (ZON-12379), Site Development Plan Review (SDR-12380) and Variance (VAR-12382).
<i>Related Building Permits/Business Licenses</i>	
There are no building permits or business licenses related to this project approved or under review.	
<i>Pre-Application Meeting</i>	
10/24/06	A pre-application meeting was held and elements of this application were discussed. It was noted that the tentative map submission must comply with all conditions of approval from the Rezoning (ZON-12379), Site Development Plan Review (SDR-12380) and Variance (VAR-12382). Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	3.21

RTS

TMP-17943 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	O (Office)	R-E (Residence Estates) under Resolution of Intent to P-R (Professional Office and Parking)
North	Single Family Residential	L (Low Density Residential)	R-E (Residence Estates)
South	Single Family Residential	ML (Medium-Low Density Residential)	R-PD5 (Residential Planned Development – 5 Units Per Acre)
East	Commercial Center	L (Low Density Residential)	C-2 (General Commercial)
West	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
	Undeveloped	L (Low Density Residential)	R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails		X	
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

DEVELOPMENT STANDARDS

Pursuant to Title 19.08, the following development standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Width	60 Feet	277 Feet	Y
Min. Setbacks			
• Front	20 Feet	25 Feet	Y
• Side	5 Feet	30 Feet	Y
• Corner	15 Feet	15 Feet	Y
• Rear	15 Feet	30 Feet	Y
Max. Lot Coverage	50%	16%	Y
Max. Building Height	2 Stories/35 Feet	1 Story/20 Feet	Y
Trash Enclosure	Gated/Covered	3 Gated/Covered	Y
Mech. Equipment	Screened	Screened	Y

TMP-17943 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
3:1 proximity slope	51	30	N*
Adjacent development matching setback	35	30	N*
Trash Enclosure (North Property Line)	50	600	Y
(West Property Line)	50	380	Y

Residential Adjacency Standard variance approved per Variance (VAR-12382) by the City Council on 06/07/06 to allow a side and rear setback of 30 feet where 51 feet would be required.

Pursuant to Title 19.04 and Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	21,750 SF	1/300 GFA	73	3	136	12	Y
TOTAL (including handicap)	21,750 SF	1/300 GFA	73		136		Y
Loading Spaces	21,750 SF	-	2		2		Y

ANALYSIS

- **Project Background and General Plan Compliance:**

The City Council approved a General Plan Review Amendment (GPA-12378) to change the land use designation to O (Office) and a Rezoning (ZON-12379) to change the zoning designation to P-R (Professional Office and Parking). The Site Development Plan Review (SDR-12380) approved six single-story office buildings around the exterior of the site with parking in the middle. This use is consistent with the O (Office) land use designation under the Centennial Hills Sector Plan of the General Plan. The development consists of a total of 21,750 square feet of office space. Existing surrounding uses include a commercial center to the east and single family residential to the north, south, and west.

- **Zoning**

The subject project requires compliance with the approved Site Development Plan Review (SDR-12380), and Variance (VAR-12382). A Rezoning (ZON-12379) and Resolution of Intent (ROI) were approved for the site to change the 3.2 acres of property from R-E (Residence Estates) to P-R (Professional Office and Parking).

RTS

TMP-17943 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

- Residential Adjacency

The approved variance addressed non-compliance with Title 19 Residential Adjacency 3:1 proximity slope and setback standards. Based on the 3:1 Slope requirement the buildings are required to have a setback of 51 feet from the protected properties on the north and west. The proposed setback of 30 feet does not meet this requirement. It is noted that the highest point of the proposed building is 20 feet; however the most restrictive setback is due to the 17-foot high portion of the building. The project provides a 30-foot side setback where 51 feet are required and a 30-foot rear setback where 51 feet are required. As such, VAR-12382 was approved providing relief from the city standard.

FINDINGS

- General information (Residential/Commercial)

The proposed project would site six office buildings on 3.21 acres located at the intersection of Leggett Road and Ann Road. The project includes six new single-story office buildings, three covered trash enclosures and more than adequate parking for seventy-three spaces. The project site is designated as Office in the General Plan and is zoned R-E (Residence Estates) under Resolution of Intent to P-R (Professional Office and Parking). Implementation of the proposed project would result in the addition of 21,750 square-feet of office space in the northwestern area of the city. The proposed project will be less intense than neighboring commercial uses at this intersection and compatible with the adjacent residential uses.

- Cross Section

Project elevations show a proposed six to eight-foot high CMU block wall consisting of two feet made of fluted CMU decorative block at the top with the remaining wall to be an unspecified earth tone color. The wall will also have a six-inch decorative cap on the pilasters, which are to be spaced no more than 24-inches on center.

- Special Conditions of Approval (from SDR-12380)

1. The maximum building height shall be limited to 20 feet.
2. The trash enclosure on the north side of the site shall be moved easterly away from the R-E zoned homes on the west property lines.
3. The property owner shall be responsible for full-site maintenance.
4. Office hours to be 7 a.m. to 6 p.m. Monday through Friday.

TMP-17943 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

5. A Wavier from perimeter landscape buffer requirements is not approved to allow a 10-foot landscape buffer in the corner side yard area where 15-foot buffer is the minimum required.
6. A Wavier from the parking lot landscaping requirements is hereby approved, to allow less than the required landscaping in the parking lot area.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT N/A

SENATE DISTRICT N/A

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-17943** APN: 125-28-801-014, 016 and 018
 Name of Property Owner: England, LLC
 Name of Applicant: England, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

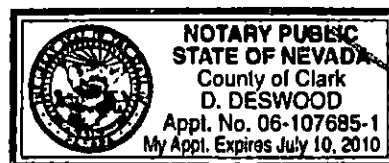
APN _____

Signature of Property Owner: _____

Print Name: BARRY BROOKSBY

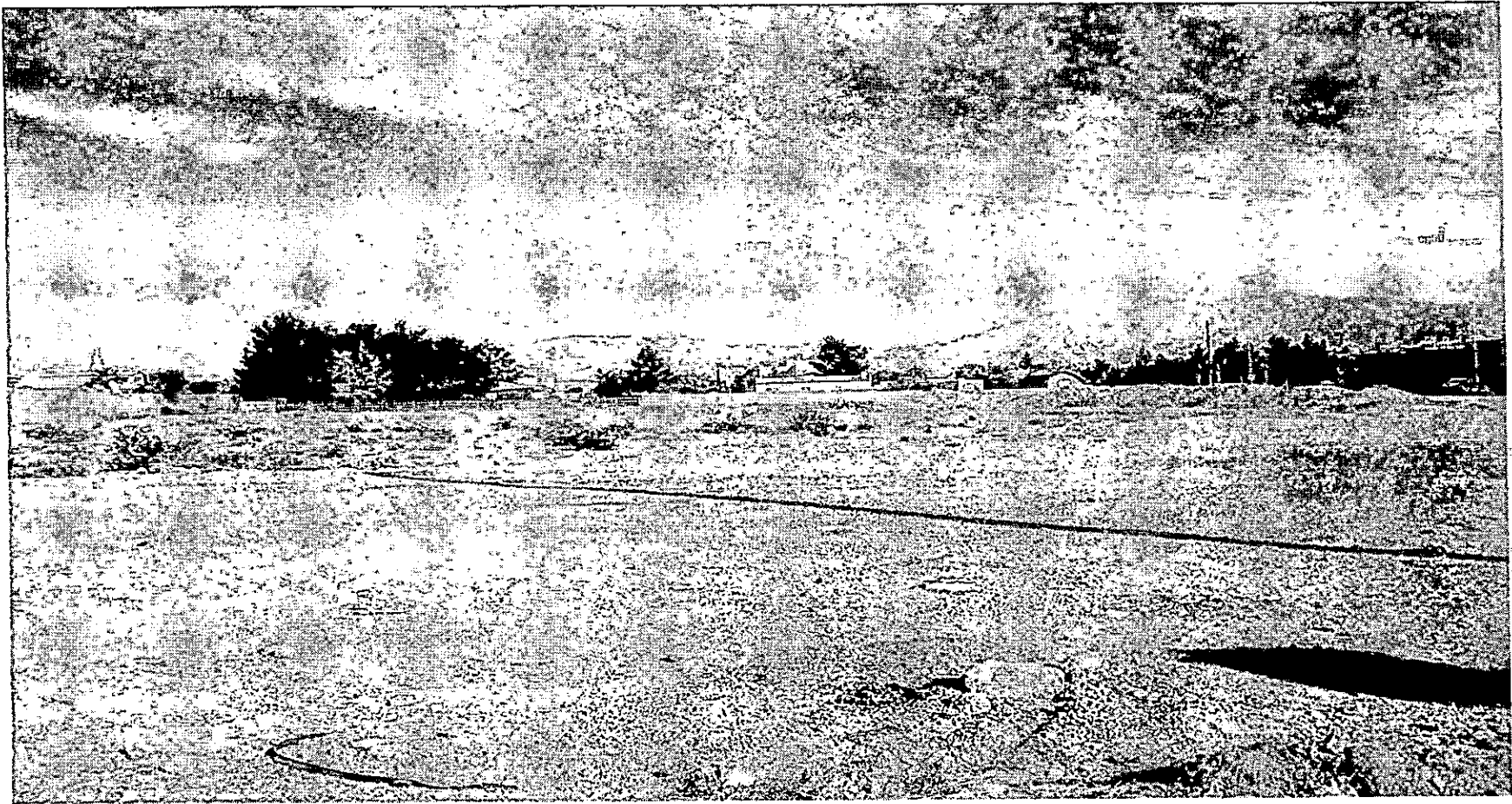
Subscribed and sworn before me

This 01 day of November, 20 06
D. Deswood
 Notary Public in and for said County and State



RECEIVED
 NOV 02 2006





TMP-17943 - ANN & LEGGETT PROFESSIONAL CENTER - APPLICANT/ OWNER: THE ENGLAND, LLC
5600, 5610 AND 5620 LEGGETT ROAD
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



TMP-17943 - ANN & LEGGETT PROFESSIONAL CENTER - APPLICANT/ OWNER: THE ENGLAND, LLC
5600, 5610 AND 5620 LEGGETT ROAD
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



Consulting Civil Engineers, INC.

3111 S. Valley View Ste. T101 • Las Vegas, NV 89102
(702) 222-4747 • (702) 248-9606 Fax

October 27, 2006

City of Las Vegas
Development of Planning and Development
731 South 4th Street
Las Vegas, NV 89101

Re: Ann & Leggett Tentative Map

APNs: 125-28-801-014, 016, 018

This is a request for a one lot commercial tentative map for an approved project located at the northwest corner of Ann Road and Leggett Road on the parcels noted above. The request is justified as the project has been approved by the City Council under actions GPA-12378, ZON-12379, SDR-12380, and VAR-12382.

The tentative map is the next step in the commercial development process and the developer is requesting the tentative map to provide options for development.

The site layout is consistent with the approved SDR and VAR. There are six buildings as previously approved. Conditions of the approvals will be satisfied thru the development process. A drainage study is being prepared and will be complied with.

If you have any questions please feel free to contact me at 222-4747.

Thank You,

Victor Rodriguez

RECEIVED
NOV 02 2006

TMP-17943
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☒ **CONSENT** ☐ **DISCUSSION**

SUBJECT:

TMP-18029 - TENTATIVE MAP - 601 FREMONT STREET – PHASE I - APPLICANT: 601 FREMONT, LLC - OWNER: CITY OF LAS VEGAS - Request for a Tentative Map FOR A MIXED-USE DEVELOPMENT on 1.92 acres at 601 Fremont Street (APN 139-34-611-018), C-2 (General Commercial) Zone, Ward 5 (Weekly).

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 1 [TMP-17943] and Item 2 [TMP-18029] – UNANIMOUS with EVANS and TRUESEDELL excused

This is Final Action

MINUTES:

There was no discussion.

(6:09 – 6:10)
1-224

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 2 – TMP-18029

CONDITIONS:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-11026).
3. Street names must be provided in accordance with the City's Street Naming Regulations.
4. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.
5. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

6. Sewer service for this commercial subdivision shall be shown in accordance with one of the following three alternatives, and the appropriate Note shall appear on the face of the recorded Final Map:
 1. Onsite sewers, 8-inches in diameter or larger, are public sewers within 20 foot wide dedicated public sewer easements.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 2 – TMP-18029

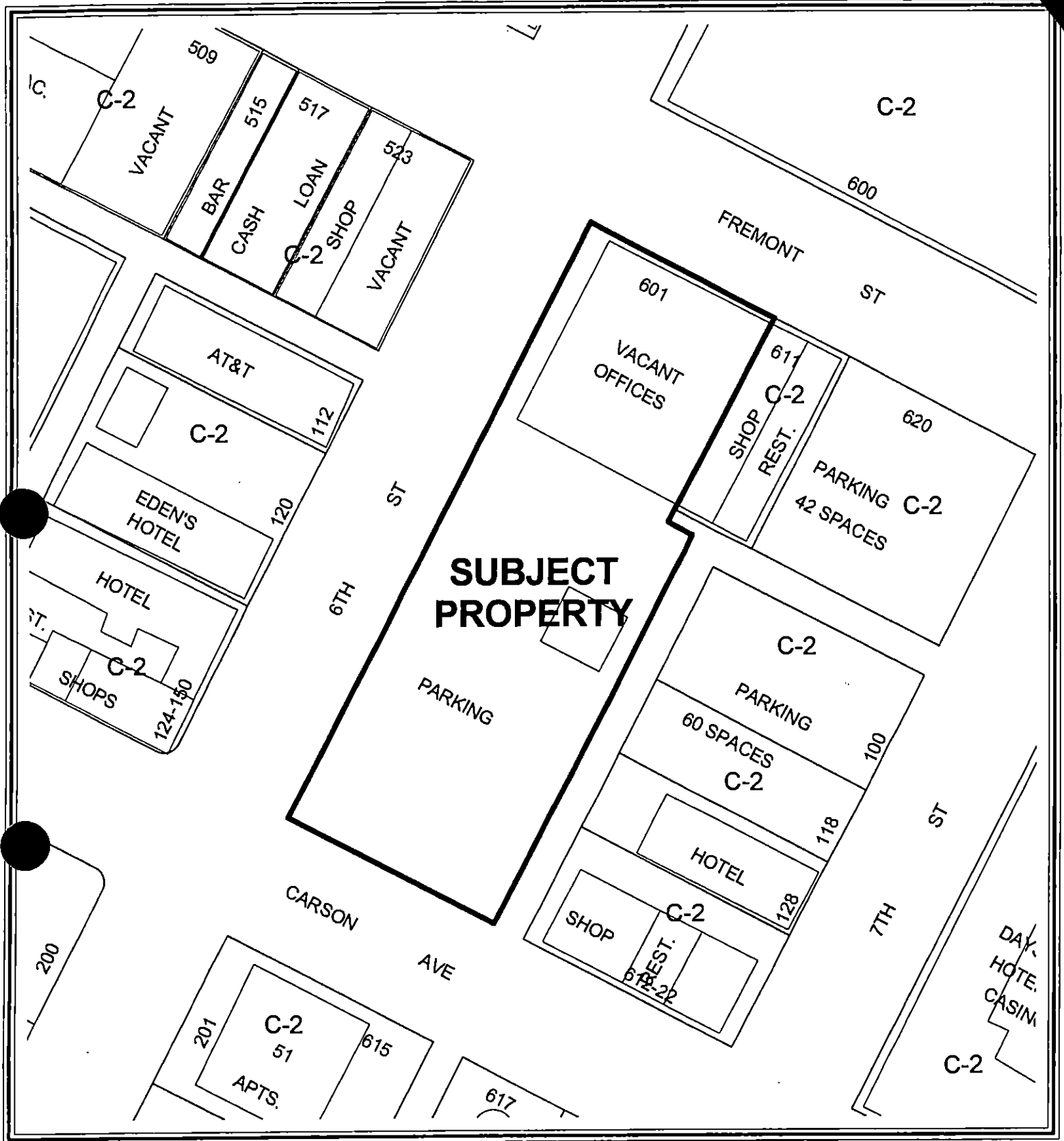
CONDITIONS – Continued:

- II. Onsite sewers are a common element privately owned and maintained per the Conditions, Covenants, and Restrictions (CC&Rs) of this commercial subdivision.
- III. Onsite sewers are a common element privately owned and maintained per the Joint Use Agreement of this commercial subdivision.
7. The Final Map for this site shall be labeled as a “Merger and Resubdivision”.
8. Coordinate with the Collection System Planning section of the Department of Public Works to determine the necessary vertical clearance to maintain the existing sewer line within the proposed service drive and submit a plan for their approval prior to the submittal of any construction drawings for this site or the issuance of any permits, whichever may occur first. Alternatively, the existing sewer lines in conflict with this site plan must be relocated and an Order of Vacation for the existing sewer easements must be recorded prior to the recordation of a map abutting or overlying the existing sewer easements.
9. The Final Map for this site shall show and label the existing City of Las Vegas sewer easements, unless an Order of Vacation is recorded prior to recordation of a Final Map for this site.
10. On the Final Map for this site, label the northeast corner of Carson Avenue and Sixth Street as a “Traffic Signal Easement”. In addition, use the words “hereby dedicated” when describing the 10-foot radius.
11. Grant pedestrian access easements for all sidewalks adjacent to public streets that are not located within the public right-of-way.
12. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
13. Site development to comply with all applicable conditions of approval for SDR-11026 and all other site-related actions.
14. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 2 – TMP-18029

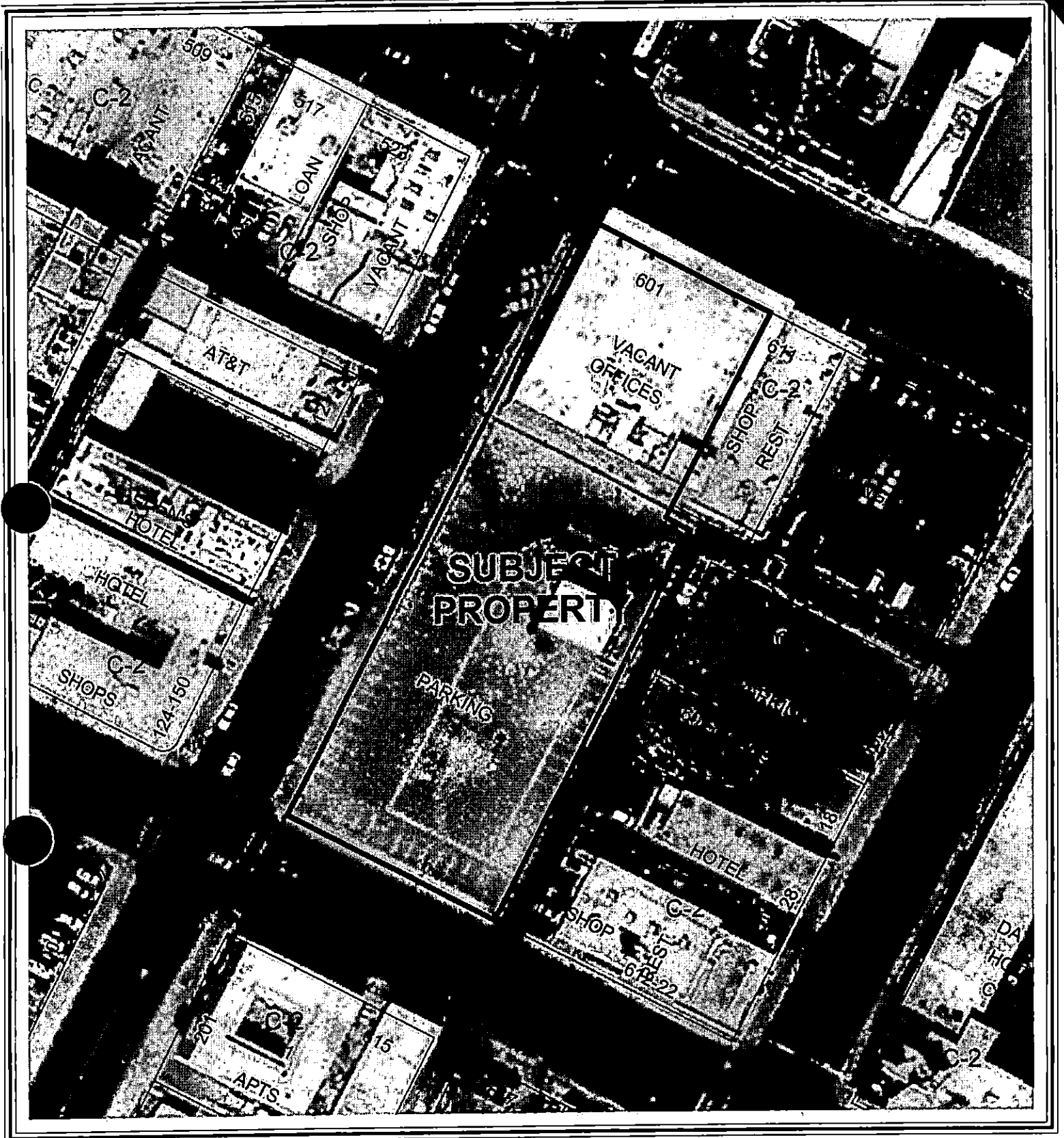
CONDITIONS – Continued:

approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



CASE: **TMP-18029**

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)



0 30 60 Feet

CASE: TMP-18029

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: TMP-18029 - 601 FREMONT STREET - PHASE I -****APPLICANT: 601 FREMONT, LLC - OWNER: CITY OF LAS VEGAS**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-11026).
3. Street names must be provided in accordance with the City's Street Naming Regulations.
4. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.
5. All development is subject to the conditions of City Departments and State Subdivision Statutes.

JM

TMP-18029 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

Public Works

6. Sewer service for this commercial subdivision shall be shown in accordance with one of the following three alternatives, and the appropriate Note shall appear on the face of the recorded Final Map:
 - I. Onsite sewers, 8-inches in diameter or larger, are public sewers within 20 foot wide dedicated public sewer easements.
 - II. Onsite sewers are a common element privately owned and maintained per the Conditions, Covenants, and Restrictions (CC&Rs) of this commercial subdivision.
 - III. Onsite sewers are a common element privately owned and maintained per the Joint Use Agreement of this commercial subdivision.
7. The Final Map for this site shall be labeled as a "Merger and Resubdivision".
8. Coordinate with the Collection System Planning section of the Department of Public Works to determine the necessary vertical clearance to maintain the existing sewer line within the proposed service drive and submit a plan for their approval prior to the submittal of any construction drawings for this site or the issuance of any permits, whichever may occur first. Alternatively, the existing sewer lines in conflict with this site plan must be relocated and an Order of Vacation for the existing sewer easements must be recorded prior to the recordation of a map abutting or overlying the existing sewer easements.
9. The Final Map for this site shall show and label the existing City of Las Vegas sewer easements, unless an Order of Vacation is recorded prior to recordation of a Final Map for this site.
10. On the Final Map for this site, label the northeast corner of Carson Avenue and Sixth Street as a "Traffic Signal Easement". In addition, use the words "hereby dedicated" when describing the 10-foot radius.
11. Grant pedestrian access easements for all sidewalks adjacent to public streets that are not located within the public right-of-way.
12. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
13. Site development to comply with all applicable conditions of approval for SDR-11026 and all other site-related actions.

TMP-18029 - Conditions Page Three
December 21, 2006 - Planning Commission Meeting

14. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

TMP-18029 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Tentative Map for a proposed mixed-use development consisting of two 35-story buildings with 25,000 square feet of commercial, 163 hotel/condominium units and 464 residential units; and waivers of the downtown centennial plan build-to line, landscape and step back requirements on 1.92 acres at 601 Fremont Street.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/16/64	The City Council approved a Rezoning (Z-0100-64) to C-2 (General Commercial) on this property as part of a larger request.
07/05/00	The City Council approved the Las Vegas Downtown Centennial Plan. The subject site is within the designated Casino Center District.
01/26/06	The Planning Commission recommended approval of a request to amend a portion of the Southeast Sector Plan of the Master Plan from PF (Public Facilities) to C (Commercial) of the subject site (GPA-10830). The City Council will consider this request on 03/01/06.
02/09/06	The Planning Commission shall also consider a Special Use Permit (SUP-11028) for a mixed-use development.
03/15/06	The City Council approved is a request for a Site Development Plan Review (SDR-11026) for a proposed mixed-use development consisting of two 35 story buildings with 25,000 square feet of commercial, 163 hotel/condominium units and 464 residential units; and waivers of the downtown centennial plan build-to line, landscape and step back requirements on 1.92 acres at 601 Fremont Street. Planning Commission and staff recommended approval.
12/07/06	The Planning Commission recommended approval of a Tentative Map (TMP-17685) for a one lot commercial subdivision on 1.24 acres at 601 Fremont Street. Staff recommended approval.
<i>Pre-Application Meeting</i>	
10/24/06	A pre-application meeting was held with the applicant to discuss the requirements for submitting a Tentative Map for review as listed by the Tentative Map Checklist. In addition, the conditions from Site Development Plan Review (SDR-11026) were discussed. The applicant was also informed of the submittal requirements requiring the site cross sections to show proper wall height and design.
<i>Neighborhood Meeting</i>	
A neighborhood was not held nor was one required.	

TMP-18029 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	1.92

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Vacant Office Building	C (Commercial)	C-2 (General Commercial)
North	Hotel/casino	C (Commercial)	C-2 (General Commercial)
South	Apartments	C (Commercial)	C-2 (General Commercial)
East	Parking lot	C (Commercial)	C-2 (General Commercial)
West	Commercial Uses	C (Commercial)	C-2 (General Commercial)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan	X		Y
Downtown Centennial Plan	X		Y
Redevelopment Plan Area	X		Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.08 the following Development Standards apply:

Standards	Required	Provided	Compliance
Min. Lot Size	N/A	1.92 net acres	Y
Floor Area Ratio	N/A	15.3	Y
Min. Lot Width	100 feet	125 feet	Y
Min. Setbacks			
• Front (Fremont Street.)	0 feet	0-5 feet	N
• East side	0 feet	0 feet	Y
• West side (Sixth St.	0 feet	0-5 feet	N
• Rear (Carson Ave.)	0 feet	0 feet	Y
Min. Step-back	5ft.-16ft. at 4, 11, 18 stories	10 feet at the 8 th story	N
Min. Building Height	2 stories	35 stories	Y
Mech. Equipment	Screened	No Information Provided	Conditioned

JM

TMP-18029 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

A Waiver was requested for the required step-back of the building and its placement along the street frontages. A five (5) foot to 16 foot step back of the building is required at four, 11, and 18 stories above grade. Except for a 10 foot setback at the eighth floor, the building rises at an even plane from the first to the 35th levels.

A Waiver from the build-to line requirement along street frontages was also requested along Fremont Street and Sixth Street. The plans currently show a five (5) foot setback along portions of these streets.

A Waiver from the streetscape requirement for an eleven (11) foot sidewalk along Fremont Street, Carson Avenue, and Sixth Street was also requested. The submitted plans show a 10 foot wide sidewalk and a five foot wide planter. The planters along Fremont Street and Carson Avenue contain 24 inch box Southern Live Oaks spaced at 20 feet on center, five-gallon shrubs and ground cover. The planter along Sixth Street contains 24 inch box Date Palms spaced at 20 feet on center, five-gallon shrubs and ground cover.

Pursuant to Title 19.10, the following parking standards apply:

Uses	GFA	Required			Provided	
		Ratio	Parking		Parking	
			Regular	Handicap	Regular	Handicap
Condo/Hotel	94,090 SF – 163 Rooms	1 Space per Room	163	6		
Apartments – 1 Bedroom	201 Units	1 .25 spaces per unit, plus one guest space for every 6 units	286	0		
Apartments – 2 Bedrooms	263 Units	1 .75 spaces per unit, plus one guest space for every 6 units	505	0		
Commercial Uses	25,000 SF	1 Space for every 250 SF	100	4		
TOTAL			1054	10	807	12

TMP-18029 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

As with other development standards, the property is exempt from the automatic application of parking requirements due to its location within the Downtown Centennial Plan area. However, for informational purposes, the following Parking Standards would apply to the subject proposal if it were not located within the Downtown Centennial Plan area.

In the justification letter submitted with this request, the applicant indicates additional parking is available within the Fremont Street Experience and Neonopolis parking garages.

The Zoning Code requires two of the 12 provided handicapped parking spaces to be designed as van-accessible. This issue has been addressed as a condition of approval.

Pursuant to Title 19.12, the following parking standards apply:

Standards	Required		Provided
	Ratio	Trees	
Fremont Street	1 shade tree @ 35 ft. max.	4	6 Trees
Carson Avenue	1 shade tree @ 35 ft. max.	4	7 Trees
6 TH Street	1 palm tree @ 35 ft. max	12	13 Trees
Sidewalk	11 feet		10 feet

The submitted plans show a five foot wide landscape amenity area along all three street frontages as required by the Downtown Centennial Plan. The Downtown Streetscape Design Standards also require eleven (11) foot sidewalk areas.

The applicant has submitted a request for a Waiver of the Centennial Plan street landscape requirements to allow a 10 foot wide sidewalk where 11 feet are required. Staff finds this request will not adversely impact the design of the project and recommends approval of this waiver.

ANALYSIS

This site is currently developed with a vacant office building which had previously been used primarily for the processing of Sheriffs Work cards. The applicant proposes to construct a mixed use development consisting of two 35-story buildings with 25,000 square feet of commercial space, 163 hotel/condominium units and 464 residential units.

The commercial space is shown at the ground floor level, with parking shown on levels two through seven. Condominium/hotel space is shown on the seventh floor, with condominiums on floors 8 through 35. Access to the site is provided by driveways to Sixth Street and Carson Avenue.

The elevations depict store front glass with blue accent aluminum on the ground floor commercial. Smooth faced stucco, aluminum rails, and blue tinted glass are also shown on the building exterior. Decorative architectural features that include an illuminated cupola are shown at the top of both towers.

TMP-18029 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

Streetscape amenities along Fremont Street, Carson Avenue, and Sixth Street include a 10-foot wide sidewalk and a five foot wide planter. The planters along Fremont Street and Carson Avenue contain 24-inch box Southern Live Oaks spaced at 20 feet on center, five-gallon shrubs and ground cover. The planter along Sixth Street contains 24-inch box Date Palms spaced at 20 feet on center, five-gallon shrubs and ground cover.

Additionally, the step back area at the eighth level of the structure includes landscaping.

- **Downtown Centennial Plan**

The proposed development is also located in the area of the Downtown Centennial Plan and more specifically in the Casino Center Planning District. The Casino Center District is home to the historic Las Vegas casinos of Glitter Gulch, the Fremont Street Experience light and sound extravaganza, and Neonopolis. The District is also home to Las Vegas City Hall, the Downtown Transportation Center, the Old Post Office, and other related land uses.

- **Redevelopment Plan Area**

The site is designated PF (Public Facilities) on the Downtown Redevelopment Plan area map of the General Plan. A request to amend a portion of the Downtown Redevelopment Plan of the Master Plan from PF (Public Facilities) to C (Commercial) was recommended for approval by the Planning Commission on 01/26/06 (GPA-10830) and will be considered by the City Council on 03/01/06. A Mixed-Use project is an allowed use in the C (Commercial) land use designation.

FINDINGS

- **General information**

The Tentative Map is for a proposed mixed-use development consisting of two 35-story buildings with 25,000 square feet of commercial, 163 hotel/condominium units and 464 residential units. As part of the Site Development Plan Review (SDR-11026) waivers of the downtown centennial plan build-to line, landscape and step back requirements on 1.92 acres at 601 Fremont Street were approved by City Council.

- **Cross Section**

The submitted east/west (Section A) and north/south (Section B) cross sections depict a maximum natural grade of or less than two percent across the site. Project elevations show no walls on the site.

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December 21, 2006 - Planning Commission Meeting

- Trails

No required trails are adjacent to the subject site.

- Special Conditions of Approval

1. Prospective buyers shall be informed that views may be obscured by future adjacent development. This information shall be included in the projects Covenants, Conditions and Restrictions.
2. A Waiver from the Downtown Centennial Plan building step back requirement is hereby approved to allow a single step back at the eighth story.
3. A Waiver from the Downtown Centennial Plan build-to line requirement is hereby approved to allow a five foot setback along Fremont Street and Sixth Street.
4. A Waiver of the Downtown Centennial Plan streetscape requirements is hereby approved, to allow a 10 foot sidewalk along Fremont Street and Sixth Street. A public sidewalk with a minimum width of 10 feet and a five-foot deep amenity zone directly adjacent to the curb is required along all street frontages. The sidewalk shall include a decorative paving treatment at the intersections.
5. Two of the 12 provided handicapped parking spaces shall be designed as van-accessible.
6. The decorative architectural features (which include illuminated cupolas) that are shown at the top of both towers shall be constructed as depicted on the building elevations date stamped 12/27/05.
7. The landscape areas shown on the top of the eighth floor shall be provided as shown on the plans date stamped 12/27/05 and shall include 24 inch box Southern Live Oaks spaced at 20 feet on center, with four five-gallon shrubs per tree and ground cover.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

18

ASSEMBLY DISTRICT N/A

SENATE DISTRICT N/A

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December 21, 2006 - Planning Commission Meeting

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-18029** APN: 139-34-611-018

Name of Property Owner: City of Las Vegas

Name of Applicant: 601 Fremont, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

Signature of Property Owner: _____

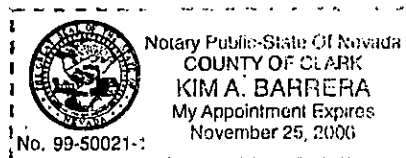
Print Name: _____

Douglas Selby

Subscribed and sworn before me

This 3 day of November, 20 06

Kim Barrera
Notary Public in and for said County and State



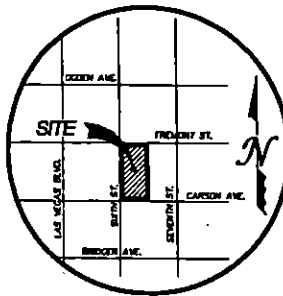
TENTATIVE MAP OF 601 FREMONT STREET-PHASE I

(A MIXED-USE COMMERCIAL/RESIDENTIAL CONDOMINIUM SUBDIVISION)
LOT ____, AS SHOWN IN FILE ____, PAGE ____, OF SURVEYS, BEING A PORTION OF THAT CERTAIN FINAL MAP TITLED "601 FREMONT STREET
(A COMMERCIAL SUBDIVISION)" RECORDED IN BOOK ____, PAGE ____, OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL RECORDS,
LYING WITHIN THE SOUTH HALF (S 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST,
MDM, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

TITLE REPORT

THE FOLLOWING EASEMENTS ARE PLOTTED ON SHEET 4 OF THIS MAP AND NUMBERS CORRESPOND TO THE
PROLIMINARY TITLE REPORT PREPARED BY CHICAGO INSURANCE COMPANY, ORDER NUMBER 0511773, DATED
AUGUST 20, 2003, HERETOFOR SURVIVING AND THE CERTIFYING SURVEYOR ASSUME NO RESPONSIBILITY OR
LIABILITY FOR THE COMPLETENESS OR ACCURACY OF THE ABOVE MENTIONED REPORT.

- ♦ WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORD.
- ♦ MINERAL RIGHTS, RESERVATIONS, EASEMENTS AND EXCLUSIONS IN PATENT FROM THE STATE OF NEVADA.
RECORDED: FEBRUARY 26, 1923 IN BOOK "F"
PAGE NO: 579, LINCOLN COUNTY, OFFICIAL RECORDS. (BLANKET-IN-NATURE)
- ♦ EASEMENTS AND EASEMENTS AS INDICATED OR DELINEATED ON THE PLAT OF SAID SUBDIVISION OR FILE IN
BOOK 1 OF PLATS, PAGE 43, OFFICIAL RECORDS. (NO PLOTTABLE EASEMENTS)
- ♦ ANY EASEMENTS THAT WERE NOT AFFECTED BY A VACATION OR ABANDONMENT
RECORDED: JULY 17, 1970 IN BOOK 48
DOCUMENT NO: 32643, OFFICIAL RECORDS. (PLOTTED)
- ♦ AN EASEMENT AFFECTING A PORTION OF SAID LAND FOR THE PURPOSE STATED HEREIN, AND INCIDENTAL
PURPOSES
DESCRIBED BY: ORDER OF VACATION
FOR: SEWER LINES AND UTILITIES
RECORDED: JULY 17, 1970 IN BOOK 48
DOCUMENT NO: 32643, OFFICIAL RECORDS. (PLOTTED)
- ♦ THE TERMS, PROVISIONS AND CONDITIONS AS CONTAINED IN AN INSTRUMENT, ENTITLED "MODIFICATION
AGREEMENT"
RECORDED: APRIL 18, 1994 IN BOOK 1858
DOCUMENT NO: 181725, OFFICIAL RECORDS. (PLOTTED)
- ♦ THE HEREIN DESCRIBED PROPERTY LIES WITHIN THE BOUNDARIES OF THE CITY OF LAS VEGAS DOWNTOWN
REDEVELOPMENT AREA, AND MAY BE SUBJECT TO ALL ASSESSMENTS AND OBLIGATIONS RELATED THEREIN,
AS DECLARED BY AN INSTRUMENT ENTITLED "NOTICE OF ADOPTION OF REDEVELOPMENT PLAN FOR THE
CITY OF LAS VEGAS DOWNTOWN REDEVELOPMENT AREA."
RECORDED: NOVEMBER 22, 1998 IN BOOK 89123
DOCUMENT NO: 00847, OFFICIAL RECORDS. (BLANKET-IN-NATURE)
- ♦ AND AMENDED BY AN INSTRUMENT
RECORDED: NOVEMBER 22, 1998 IN BOOK 89123
DOCUMENT NO: 00848, OFFICIAL RECORDS.
- ♦ AND RE-RECORDED: NOVEMBER 23, 1998 IN BOOK 89123
DOCUMENT NO: 00848, OFFICIAL RECORDS.
- ♦ AND AS SHOWN BY MAP
FILE: LG. OF SURVEYS AT PAGE 75
RECORDED: NOVEMBER 22, 1998 IN BOOK 89123
DOCUMENT NO: 00848, OFFICIAL RECORDS.
- ♦ TERMS AND PROVISIONS OF THE UNRECORDED LEASE, ON A MEMORANDUM THEREOF
DATED: MAY 19, 2003
LOCUS: THE CITY OF LAS VEGAS
LEASOR: 601 FREMONT, LLC, A NEVADA LIMITED LIABILITY COMPANY
DOWNGRADER: NOTICE OF NONRESPONSIBILITY
RECORDED: AUGUST 12, 2003 IN BOOK 2003012
DOCUMENT NO: 0002551, OFFICIAL RECORDS. (BLANKET-IN-NATURE)
- ♦ MATTERS AFFECTING LEASEE INTEREST NOT SHOWN.
- ♦ THE TERMS, COVENANTS, CONDITIONS AND PROVISIONS AS CONTAINED IN AN INSTRUMENT ENTITLED
"DEVELOPMENT AGREEMENT"
DECLARED THE NOTICE OF NONRESPONSIBILITY
RECORDED: AUGUST 12, 2003 IN BOOK 2003012
DOCUMENT NO: 0002551, OFFICIAL RECORDS. (BLANKET-IN-NATURE)



VICINITY MAP
N.T.S.

ZONING REQUIREMENTS

THE SUBJECT PROPERTY IS CURRENTLY ZONED C-2
(GENERAL COMMERCIAL)

SETBACKS FOR C-2 ZONING:

FRONT YARD SETBACK = 30 FEET
REAR YARD SETBACK = 20 FEET
SIDE YARD SETBACK = 15 FEET
CORNER YARD SETBACK = 20 FEET
MAX LOT COVERAGE = 50%

CURRENT USE OF PROPERTY

COMMERCIAL BUILDING & PARKING LOT

SITE SUMMARY:

33,948 SQUARE FEET (NET)

NOTE

1. SEE SHEET 2 FOR EASEMENT DESCRIPTIONS AND PROPERTY CROSS SECTIONS.
2. SEE SHEET 3 FOR BOUNDARY AND ADJOINING PROPERTY INFORMATION.
3. SEE SHEET 4 FOR EXISTING TOPOGRAPHY AND EASEMENTS.
4. NO PROPOSED UTILITY CHANGES/UTILITIES.

PROPERTY ADDRESS

A.P.M. 130-34-811-018
601 FREMONT STREET
LAS VEGAS, NEVADA 89101

PROPERTY OWNER

CITY OF LAS VEGAS
REAL ESTATE MANAGEMENT
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

DEVELOPER

SURVEY COMMITTEES
601 FREMONT STREET
2ND FLOOR
LAS VEGAS, NEVADA 89101
(702) 382-8291

SURVEYOR

HERITAGE SURVEYING
7500 W. SAMARA AVE., SUITE 101
LAS VEGAS, NEVADA 89117
(702) 340-4300

ENGINEER

ARMLEY-HORN AND ASSOCIATED
PO BOX 6, PLANNED
SUITE 210
LAS VEGAS, NEVADA 89119
(702) 382-3823

LEGAL DESCRIPTION

LOT ____, AS SHOWN IN FILE ____, PAGE ____, OF SURVEYS, BEING A PORTION OF
THAT CERTAIN FINAL MAP TITLED "601 FREMONT STREET (A COMMERCIAL SUBDIVISION)"
RECORDED IN BOOK ____, PAGE ____, OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL
RECORDS, LYING WITHIN THE SOUTH HALF (S 1/2) OF THE NORTHEAST QUARTER (NE 1/4)
OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS
VEGAS, CLARK COUNTY, NEVADA.

BASE OF BEARING

GRID NORTH AS DEFINED BY THE NORTH AMERICAN DATUM OF 1983 (NAD 83), NEVADA STATE
PLANE EAST (2703) ZONE, BEARINGS WERE DETERMINED BY STATIC GLOBAL POSITIONING SYSTEM
(GPS) MEASUREMENTS PROVIDED BY THE NATIONAL GEODETIC SURVEY DIVISION OF THE NATIONAL
OCEANIC AND ATMOSPHERIC ADMINISTRATION USING THE ON-LINE POSITIONING USER SERVICE
(OPUS). THE REFERENCE FRAME USED WAS NAD83 (CORRIGED) WITH AN EPOCH OF 2002.0000. ALL
DISTANCES SHOWN HEREON ARE GROUND VALUES.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT "BOOY SALES", BEING A NINETEEN (19) PLATE IN THE TOP
OF CURB AT THE NORTHWEST CORNER OF FREMONT STREET AND 7TH STREET.

ELEVATION: 3022.08 (FEET)
812.280 (METERS)

CITY OF LAS VEGAS VERTICAL CONTROL, DATED 08/20/2007 BASED UPON THE
NORTH AMERICAN DATUM OF 1983 (NAD 83).

FLOOD INSURANCE DATA

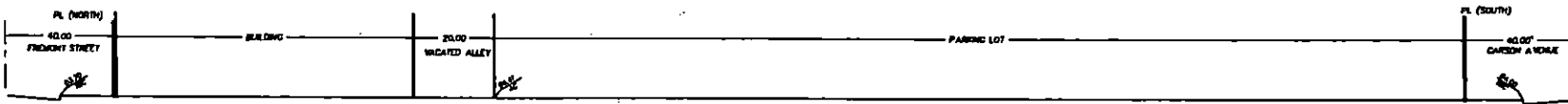
FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY
PAID, SUBJECT TO 6, EFFECTIVE SEPTEMBER 27, 2002 INDICATED THAT THE SUBJECT
SITE LIES WITHIN ZONE "X". AREAS DETERMINED TO BE OUTSIDE OF CLAY ANNUAL
CHANCE FLOODPLAIN.

DISCLAIMER

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE LOCATIONS ONLY. IT
SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND
HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO
CONSTRUCTING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING
UTILITIES ARE SHOWN HEREON. THE ENGINEER OR SURVEYOR ASSUMES NO
RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER
LOCATION. ALL DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO THE ENGINEER.
CALL BEFORE YOU DIG: 1-800-227-2800

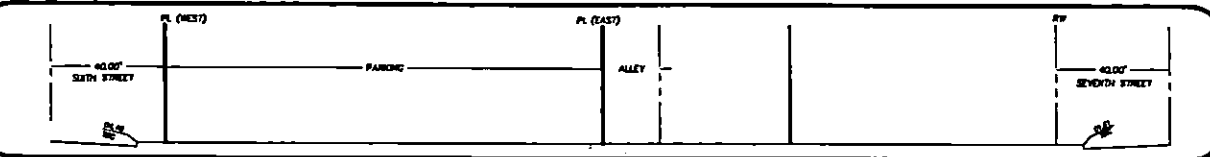
UTILITIES

WATER	LAS VEGAS VALLEY WATER DISTRICT 1200 VALLEY VIEW BLVD. (702) 870-2011	TELEPHONE	CHENARD 330 SOUTH VALLEY VIEW BLVD. (702) 344-7800
SEWER	CITY OF LAS VEGAS SEWER 400 STEWART AVE. (702) 729-1288	GAS	REPUBLIC SERVICES 270 WEST SAMARA AVE. (702) 333-3151
ELECTRICAL	NEVADA POWER 6200 WEST SAMARA AVE. (702) 387-5000	CABLE	COM COMMUNICATIONS 1571 LUTHER KING BLVD. (702) 383-4000
CAR	SOUTHWEST GAS CORP. (702) 383-1100 4300 WEST TROPICANA AVE.		



PROPERTY CROSS SECTION 'A'

PROPOSED ELEVATIONS = EXISTING ELEVATIONS
(NO PERIMETER WALLS)



PROPERTY CROSS SECTION 'B'

PROPOSED ELEVATIONS = EXISTING ELEVATIONS
(NO PERIMETER WALLS)

TMP-18029
12/21/06 PC



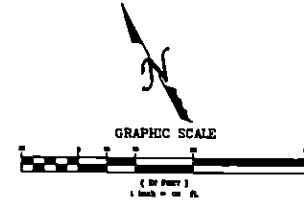
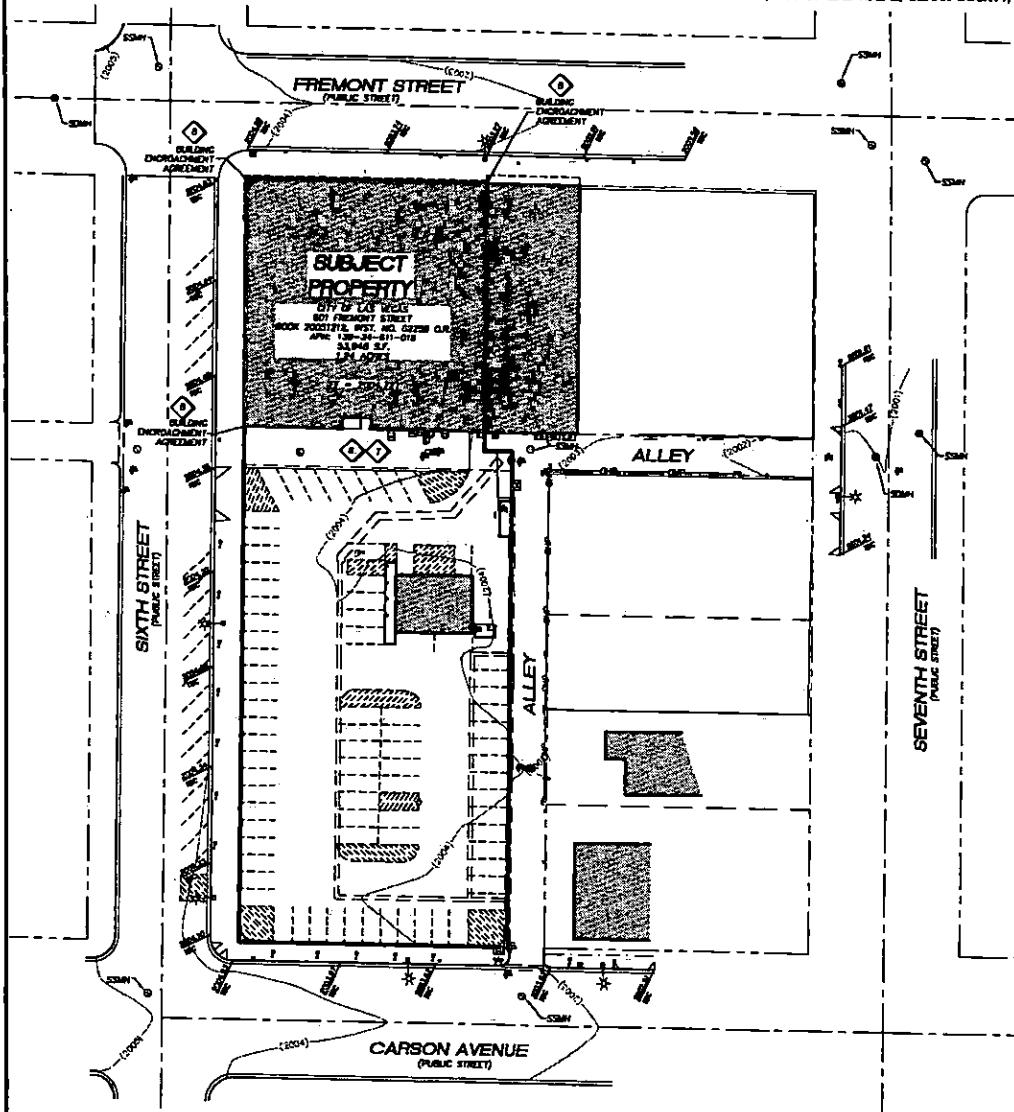
Heritage Surveying
7500 W. SAMARA AVE., SUITE 101
LAS VEGAS, NEVADA 89117
PHONE (702) 340-4300
FAX (702) 382-3823
HERITAGE-SURVEYING.COM



NOV 07 2006

601 FREMONT STREET-PHASE I

(A MIXED-USE COMMERCIAL/RESIDENTIAL CONDOMINIUM SUBDIVISION)
 LOT ____, AS SHOWN IN FILE ____, PAGE ____, OF SURVEYS, BEING A PORTION OF THAT CERTAIN FINAL MAP TITLED "601 FREMONT STREET
 (A COMMERCIAL SUBDIVISION)" RECORDED IN BOOK ____, PAGE ____, OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL RECORDS,
 LYING WITHIN THE SOUTH HALF (S 1/2) OF THE NORTHEAST QUARTER ONE (NE 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 81 EAST,
 M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.



LEGEND

- BOUNDARY LINE
- ADJOINING PROPERTY LINE
- STREET CENTERLINE
- EASEMENT LINE
- BOULEVARD
- CLUB & GUTTER
- BLOCK AREA
- BUILDING
- CHAIN LINE FENCE
- OVERHEAD POWER LINE
- CONCRETE
- VALLEY GUTTER
- EXISTING CONTOUR
- PARKING METER
- ELECTRIC BOX
- GAS METER
- TRAFFIC SIGNAL BOX
- TELEPHONE BOX
- CLEARCUT
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- TELEPHONE MANHOLE
- WATER VALVE
- GAS TEST VALVE
- FIRE HYDRANT
- STAND PIPE
- DROP INLET
- IRON
- REDLAND POST
- POWER POLE
- CLIFF
- AREA LIGHT
- STREET LIGHT
- WALL: E-ELECTRIC, T-TELEPHONE, W-WATER
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- TOP BACK OF CURB

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT "1021" 34EET, BEING A RIVET & PLATE IN THE TOP
 OF CURB AT THE NORTHWEST CORNER OF FREMONT STREET AND 7TH STREET.

ELEVATION: 3002.00 (FEET)
 915.230 (METERS)

CITY OF LAS VEGAS VERTICAL CONTROL DATED 06/00/00 BASED UPON THE
 NAD 83 HORIZONTAL DATUM OF 1983 (NAD 83)

RECEIVED
 NOV 07 2006



TMP-18029

12/21/06 PC

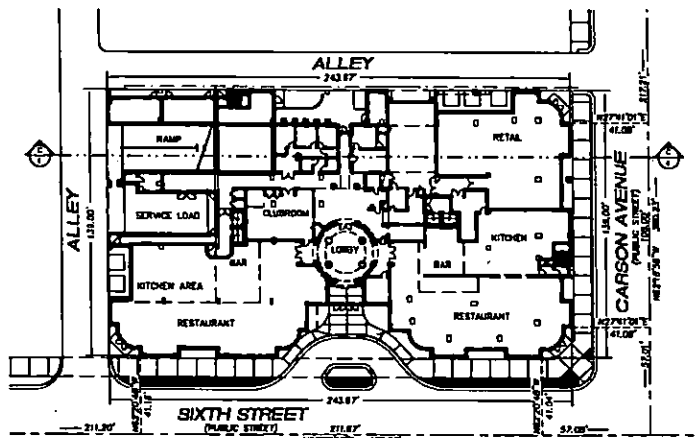
TENTATIVE MAP OF 601 FREMONT STREET (A CONDOMINIUM SUBDIVISION) TOPOGRAPHY AND EASEMENT SHEET	
DATE: 12/21/06	BY: [Signature]
CITY OF LAS VEGAS	CLARK COUNTY
SHEET 1 OF 10	

TENTATIVE MAP OF 601 FREMONT STREET-PHASE I

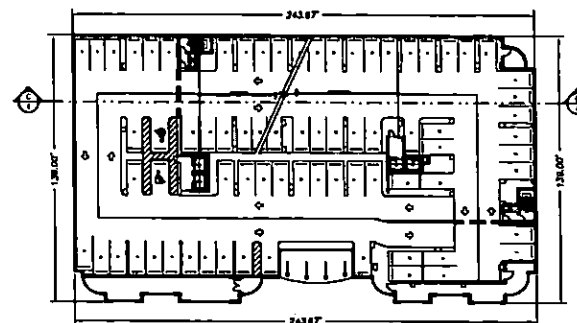
(A MIXED-USE COMMERCIAL/RESIDENTIAL CONDOMINIUM SUBDIVISION)
LOT _____, AS SHOWN IN FILE _____, PAGE _____ OF SURVEYS, BEING A PORTION OF THAT CERTAIN FINAL MAP TITLED "601 FREMONT STREET
(A COMMERCIAL SUBDIVISION)" RECORDED IN BOOK _____, PAGE _____ OF PLATS, CLARK COUNTY, NEVADA, OFFICIAL RECORDS,
LYING WITHIN THE SOUTH HALF (S 1/2) OF THE NORTH-EAST QUARTER (NE 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST,
M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.



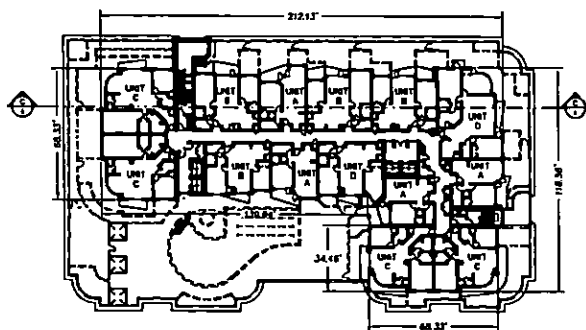
SCALE: 1" = 30'



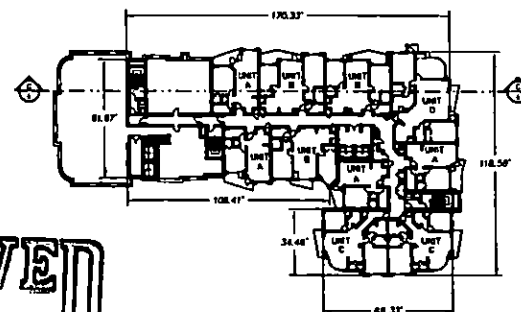
SITE PLAN - 1ST FLOOR
SCALE: 1" = 30'



TYPICAL PARKING GARAGE - 2ND-8TH FLOOR
SCALE: 1" = 30'



TYPICAL FLOOR PLAN - 10TH-30TH FLOOR
SCALE: 1" = 30'



TYPICAL FLOOR PLAN - 31ST-32ND FLOOR
SCALE: 1" = 30'

RECEIVED
NOV 07 2006



Heritage Surveying
7200 W. GARDEN AVENUE, SUITE 101
LAS VEGAS, NV 89147
PHONE (702) 340-8807
FAX (702) 340-8802
HERITAGE-SURVEYING.COM

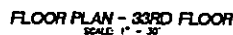
DATE PREPARED
DATE CHECKED
DATE REVISION
BY
BY
BY

SHEET 9 OF 4

TMP-18029
12/21/06 PC

TENTATIVE MAP OF

(A MIXED-USE COMMERCIAL/RESIDENTIAL CONDOMINIUM SUBDIVISION)



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JUN 07 2009

TMP-18029
12/21/06 PC



Heritage Surveying
7550 W. SAVANNA AVENUE, SUITE 101
LAS VEGAS, NEVADA 89117
PHONE (702) 340-4801
FAX (702) 285-6802
HERITAGE-SURVEYING.COM

✓ JCH PLANNET
✓ PLANNET
DATE 4/30/2008
DATE 12/02/08
SHEET 8 OF 4

TENTATIVE MAP OF 601 FREMONT STREET-PHASE I
(A MIXED-USE COMMERCIAL/RESIDENTIAL
CONDOMINIUM SUBDIVISION)
FLOOR PLANS LEVELS 33-37 AND SECTION VIEW

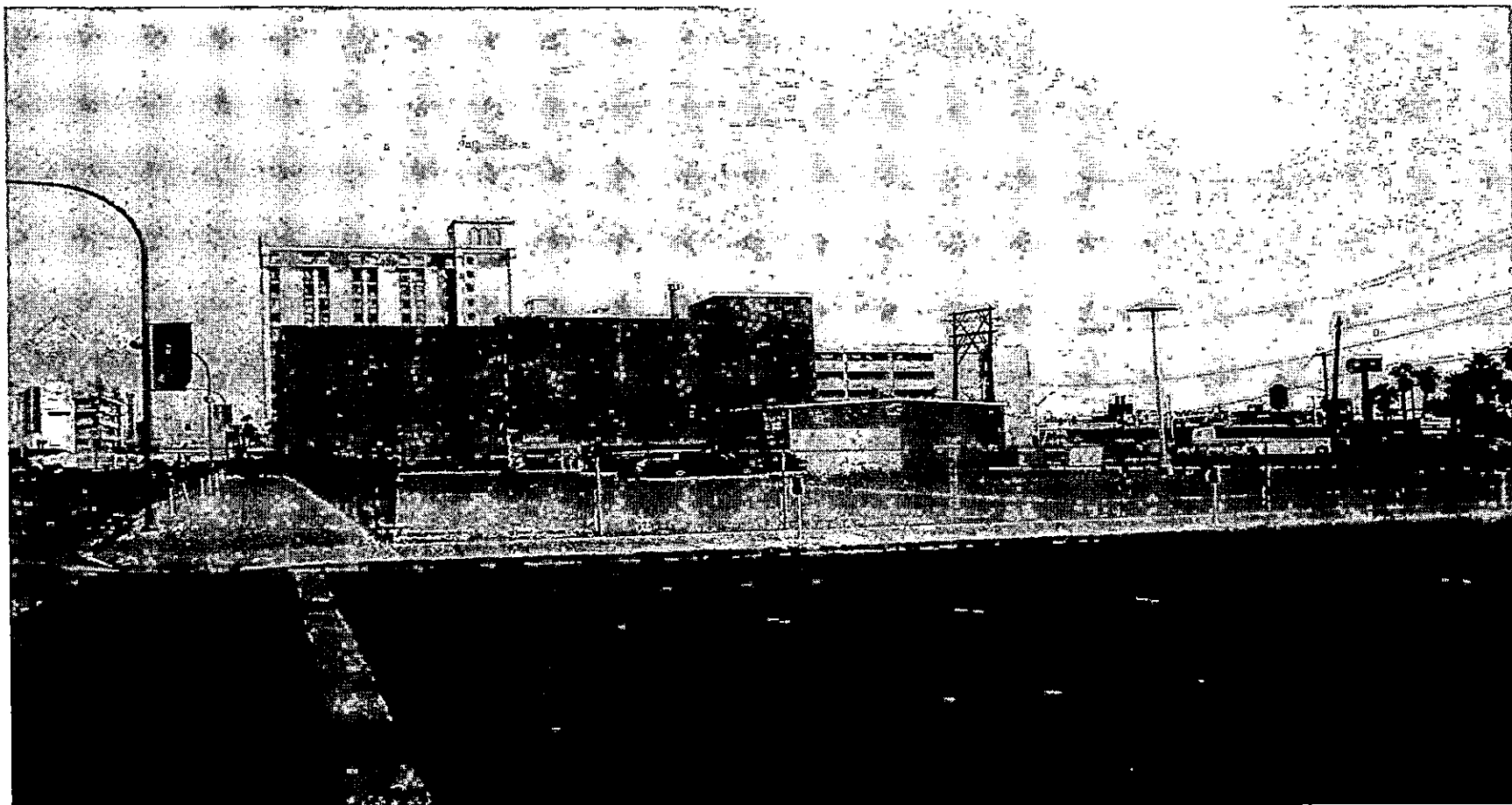
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11

1

1

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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TMP-18029 - 601 FREMONT STREET - PHASE I - APPLICANT: 601 FREMONT, LLC - OWNER: CITY OF
LAS VEGAS
601 FREMONT STREET
DECEMBER 21, 2006 PLANNING COMMISSION

11/22/06



TMP-18029 - 601 FREMONT STREET - PHASE I - APPLICANT: 601 FREMONT, LLC - OWNER: CITY OF
LAS VEGAS
601 FREMONT STREET
DECEMBER 21, 2006 PLANNING COMMISSION

11/22/06



Heritage Surveying
7560 W. Sahara Avenue, Suite 101
Las Vegas, Nevada 89117

(702) 240-6901 Telephone
(702) 255-6902 Fax

Project: 406.0001.02

October 9, 2006

Subject: LETTER OF INTENT
601 Fremont Condominium Subdivision

To Whom It May Concern:

Heritage Surveying has prepared this letter to serve as an explanation for the request to submit a Condominium Subdivision Tentative Map to the City of Las Vegas Planning and Development Department. The tentative map will depict the subject property located at 601 Fremont Street, APN 139-34-611-018, and will detail Phase One Levels 2 - 37 which include residential parking and condominium units.

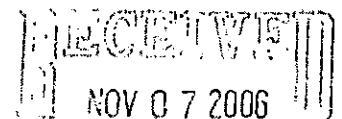
It is the developer's intent to complete a Condominium Subdivision concurrently with a Commercial Subdivision that is currently being prepared for submittal to the City of Las Vegas. This mapping plan was discussed at the Pre-Application meeting for said Commercial Subdivision, which occurred on September 27, 2006 and the map will be submitted to the City of Las Vegas Planning Department prior to the October 24, 2006 application closing date.

If you have any questions, please contact me at (702) 240-6901.

Sincerely,

Paul Burn, P.L.S.
Professional Land Surveyor
Heritage Surveying

TMP-18029
12/21/06 PC



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - SDR-15322 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: MGB, LLC
- Request for a Site Development Plan Review FOR A PROPOSED 11,080 SQUARE FOOT RETAIL DEVELOPMENT on 1.54 acres at the northwest corner of Lake Mead Boulevard and Decatur Boulevard (APN 138-24-611-060, 061 and 062), C-1 (Limited Commercial) Zone and U (Undeveloped) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

NOTE: THIS REQUEST HAS BEEN AMENDED TO INCLUDE A WAIVER OF THE PERIMETER LANDSCAPE BUFFERING REQUIREMENTS AND MERHI GHASSAN SHOULD BE ADDED AS AN ADDITIONAL OWNER

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the January 25, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report (Not Applicable)
3. Supporting Documentation (Not Applicable)
4. Justification Letter

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and WITHDRAW WITHOUT PREJUDICE Item 23 [SUP-17534] – UNANIMOUS with EVANS and TRUESDELL excused

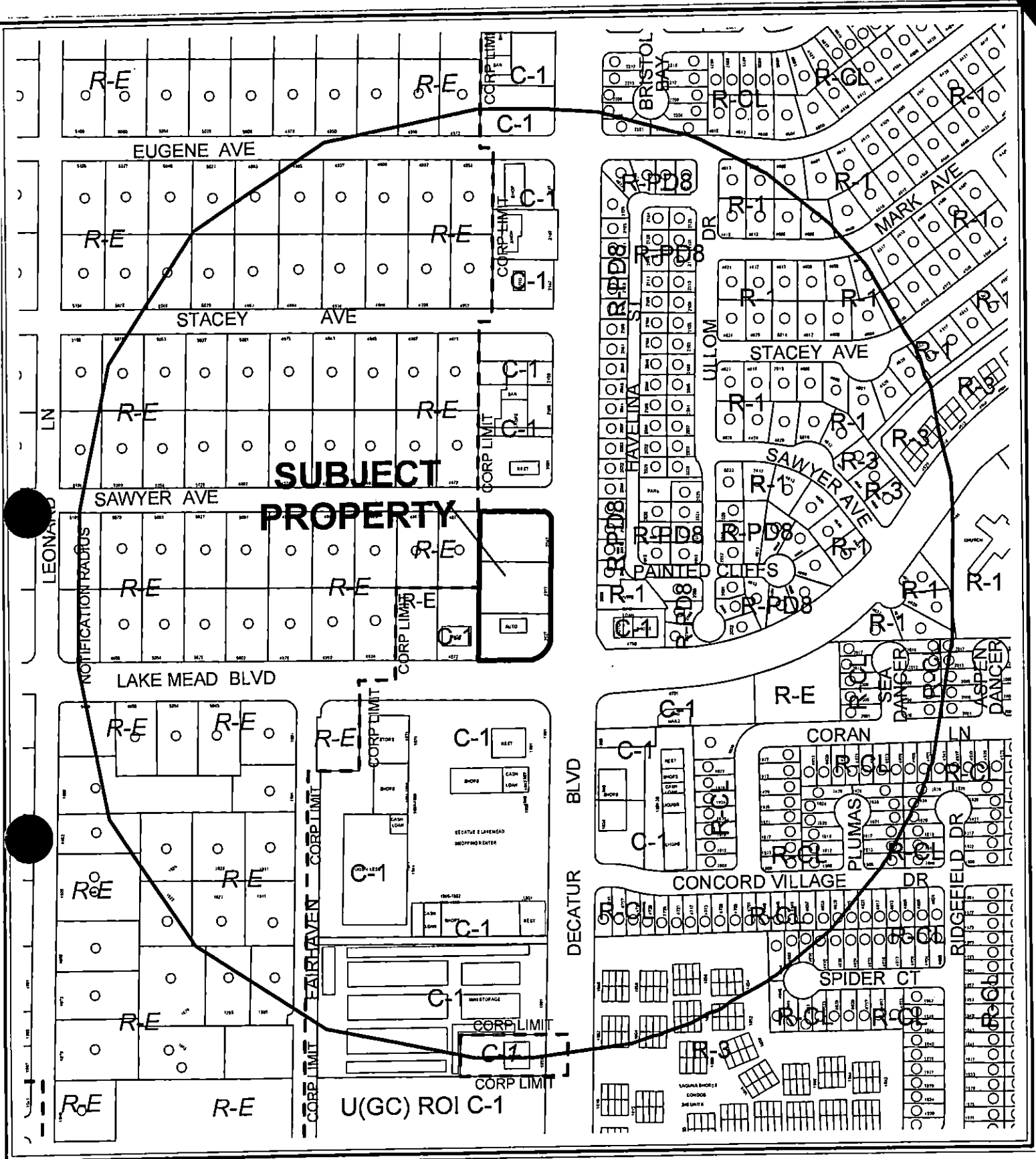
PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 3 – SDR-15322

MINUTES:

DOUG RANKIN, Department of Planning and Development, stated that Item 3 [SDR-15322] and Item 10 [SDR-17979] were requested to be held in abeyance to the 01/25/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



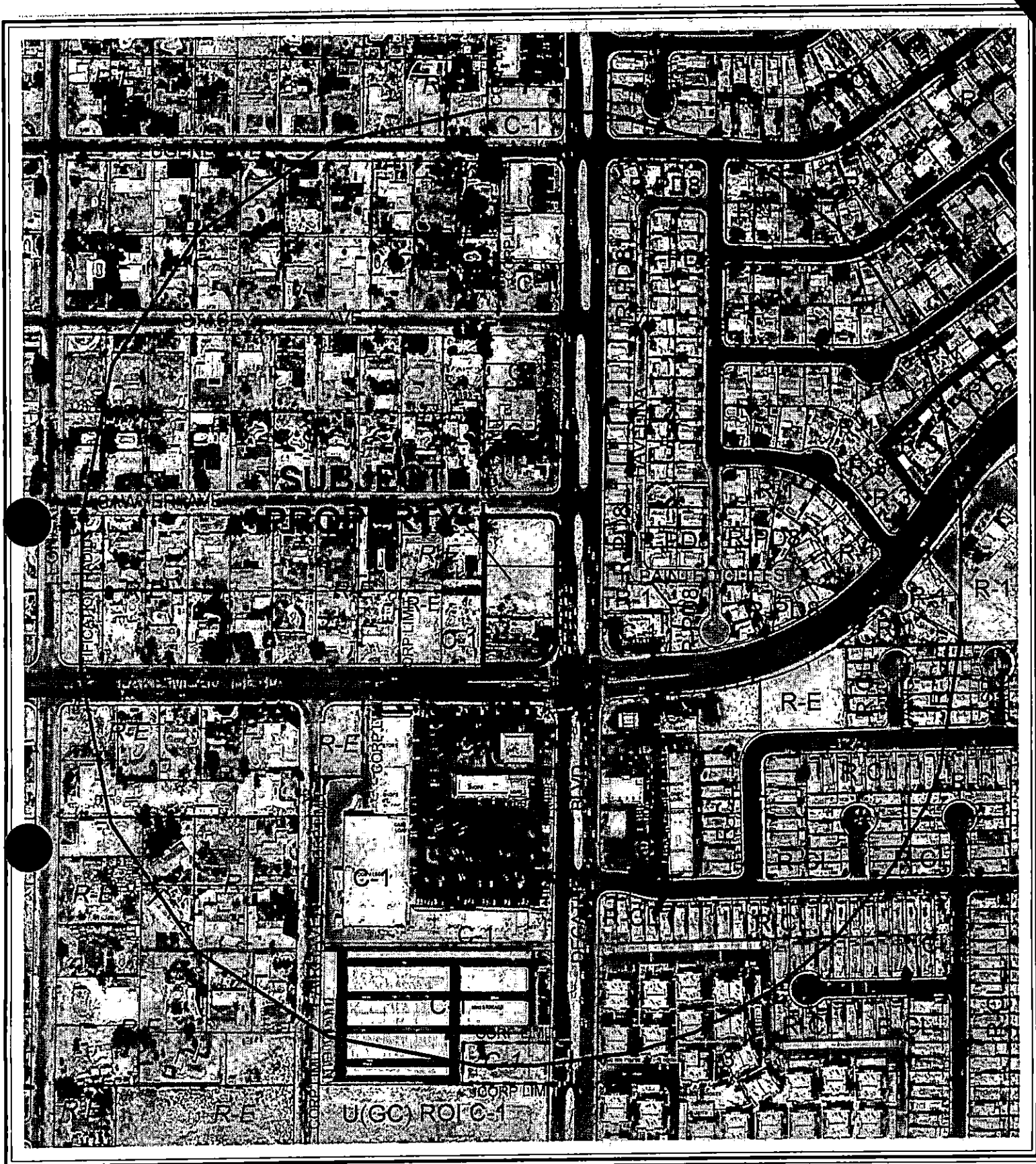
CASE: **SDR-15322**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION]
 UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL) AND C-1 (LIMITED COMMERCIAL)





0 200 400 Feet

CASE: **SDR-15322**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION]
UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL) AND C-1 (LIMITED COMMERCIAL)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SDR-15322 - APPLICANT: JOHN DAVID
BURKE ARCHITECT - OWNER: MGB, LLC

***ON NOVEMBER 28, 2006 THE APPLICANT
REQUESTED THIS ITEM BE HELD IN
ABEYANCE TO THE JANUARY 25, 2007
PLANNING COMMISSION MEETING***

John
David
burke, architect
A Professional Corporation

November 28, 2006

City Las Vegas Planning and Development

ATTN: John Korkosz & Andy Reed

731 S. Fourth Street

Las Vegas, NV 89101

Re: Request for HOLD / ABEYANCE - # SDR-15322

Retail Project, Northwest Corner of Lake Mead Boulevard and Decatur Boulevard

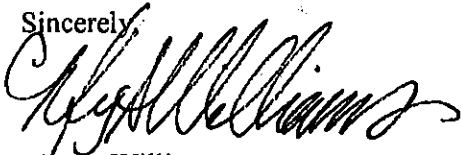
To Whom It May Concern:

After submitting the plans for this retail project, it was brought to our attention that the owner of the property to the West may sell their property to the current owner on this property and they are still in negotiations to make a purchase.

We would like to request our application for a Site Development Plan Review be put on Hold until the January 25, 2007, for the hold.

We respectfully request your consideration in this matter. If you have any questions or comments, please contact my office at (702) 876-4863.

Sincerely,



Megan Williams

JOHN DAVID BURKE, ARCHITECT

cc: Gus Merhi

NOV 28 8 00 AM '06

3471 W. Oquendo Road #301 • Las Vegas, Nevada 89118 • (702) 876-4863 • Fax (702) 876-9355

11/27/2006 17:00 #475 P.002/002

From: JOHN DAVID BURKE, ARCHITECT 1 702 876 9355



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-15322** APN: 138-24-611-062

Name of Property Owner: **MGB LLC**

Name of Applicant: **JOHN DAVID BURKE ARCHITECT**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

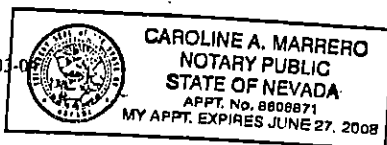
Print Name: **Chasson Merhi**

Subscribed and sworn before me

This **17th** day of **May**, 20**06**

Caroline A. Marrero

Notary Public in and for said County and State



Revised 12-03-06

Sharon Nevada
County Clerk

E:\depo\Application Packet\Statement of Financial Interest.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-15322** APN: 138-24-611-060

Name of Property Owner: GHASSAN MERHI

Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

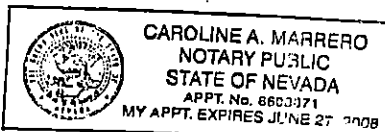
Signature of Property Owner: _____

Print Name: Ghassan Merhi

Subscribed and sworn before me

This 17th day of May, 2006

Caroline A. Marrero
Notary Public in and for said County and State



Revised 12-03-04

F:\depo\Application Packet\Statement of Financial Interest.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-15322** APN: 138-24-611-061
Name of Property Owner: GALTAR LLC
Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Chasson Marhi

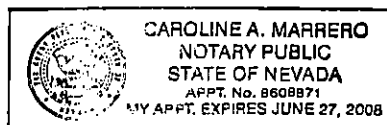
Subscribed and sworn before me

This 17th day of May, 2006

Caroline A. Marrero
Notary Public in and for said County and State

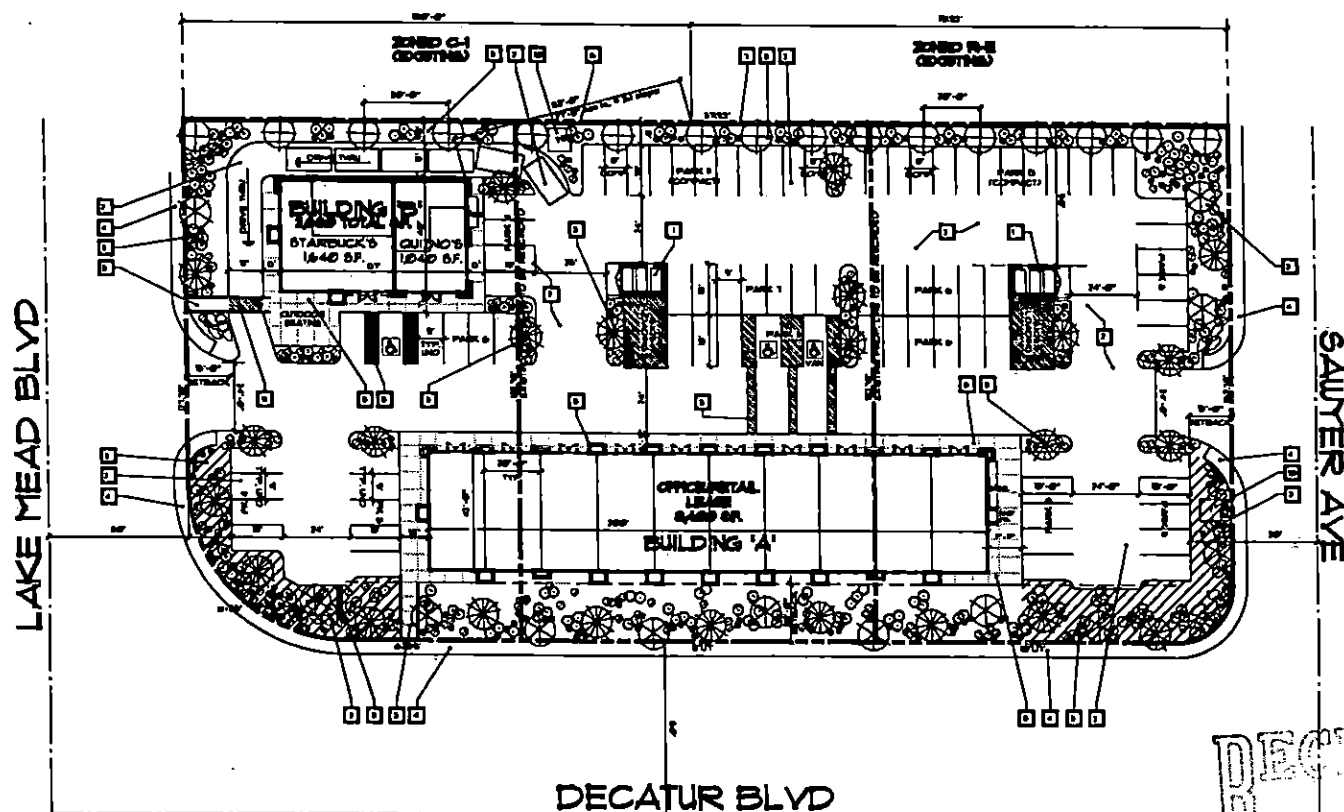
State of Nevada
Carly Clark

Revised 12-03-04



E:\depo\Application Packet\Statement of Financial Interest.pdf

SYMBOL	LANDSCAPE TREES	TYPE	SIZE	SHALLS and GROUND COVER		
	CALIFORNIA PEPPER TREE Schottia Palms	LARGE DECIDUOUS	34" DBH	1	EVERGREEN BLOOMING Shorea Japonica	5 GAL.
	WEeping	LARGE DECIDUOUS	34" DBH	1	COMMON WHITE CHERRY Prunus laurocerasus	5 GAL.
	SWEETGUM ACACIA Albizia leucodermis	LARGE DECIDUOUS	34" DBH	1	HEATHY CAMELLIA Camellia japonica	1 GAL.
	FICUS, FIG Ficus Sp. (Ficus)	LARGE DECIDUOUS	34" DBH	1	PRICKLY PINEAPPLE Cylindropuntia cholla	1 GAL.
	PINE, PINE Pinus Sp. (Pinus)	LARGE DECIDUOUS	34" DBH	1	WINDY GALLIA Gallia sp.	1 GAL.
	SHRUB, PINE Pinus Sp. (Pinus)	LARGE DECIDUOUS	34" DBH	1	CRAB COYOTE SHrub Scaevola sp.	1 GAL.
SYMBOL	LANDSCAPE					
	LANDSCAPE Boulders					



#	description
1	8" OF HIGH CONCRETE BLOCK, TRASH ENCLOSURE WITH PAIR OF INTER-LOCKED LIDS WITH B-DRUM BACKING AND LIFT PIN LOCALIZACH
2	ACC. PAVING - SEE CIVIL DWD'S BOB THICKNESS
3	LANDSCAPED AREA - BY OTHERS
4	CONCRETE SIDEWALK, CURB & GUTTER AS PER CITY OF LAS VEGAS
5	8" CONCRETE SIDEWALK IMPROVEMENT PAVEN
6	4" HIGH CONCRETE BLOCK WALL, AGAINST EXISTING C/ ADJ. FIELD VERTY EXISTING BLOCK WALL
7	8" OF HIGH CONCRETE BLOCK WALL, AGAINST EXISTING RESIDENCE FIELD VERTY EXISTING BLOCK WALL
8	PLYTH BUSH - BY OTHERS
9	HANDICAP ACCESS
10	NATURE TRAMPOLINE LOCATION

REQUIRED EXISTING DRIVEWAY	C-1
BUILDING AREA - BUILD. "A"	6,789 SQ. FT.
BUILDING AREA - BUILD. "B"	2,849 SQ. FT.
TOTAL BUILDING AREA:	9,638 SF.
REQUIRED PARKING:	
BUILDING "A": (1,849 sq ft) @ 1 space/sq ft x .75 =	138 spaces
(park some parking for other)	
BUILDING "B":	
(2,849 sq ft) @ 1 space/sq ft x .75 =	21 spaces
existing existing + new (1,778) =	7 spaces
Overall : (1,849 total sq ft) @ 1 space/sq ft x .75 =	2 spaces
minimum (min.) (1,849 sq ft) @ 1 space/sq ft x .75 =	2 spaces
total parking required:	+133 SPACES
EXISTING PARKING:	+ 33 SPACES
	= 146 COMPACT SPACES
	= 39 STANDARD SPACES
NITE ACCESSION:	D13-48 SJ/HM ACCESS
A/R/F/N:	TSP-24-44-44-44 TSP-24-44-44-44 TSP-24-44-44-44
BUILDING COVERAGE:	N/A

A hand-drawn map showing the location of a site relative to a road and a creek. The map includes labels for "ROAD" at the top, "CREEK" at the bottom, and "SITE LOCATION" pointing to a specific spot. A date stamp "2006" is visible on the left side.



REVIEWS

**John
Coul
Burr, architect**

SHOPPING CENTER
Lake Mead & Decatur
For: Galtier, L.L.C.

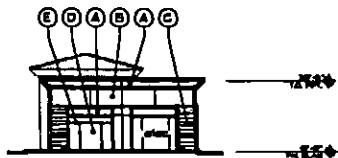
date	JAN 1968
proj. no.	CY-00000000
dwn. by	
card br.	

A7

SITE PLAN / LANDSCAPE PLAN

SCALE: 1" = 20'-0"

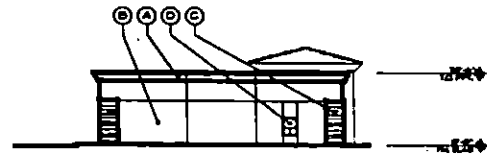
~~SDR-15322~~
12/21/06 PC



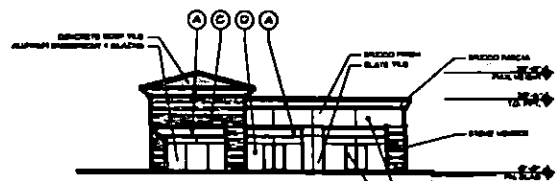
10 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



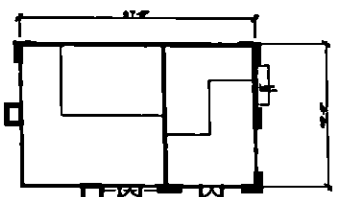
9 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



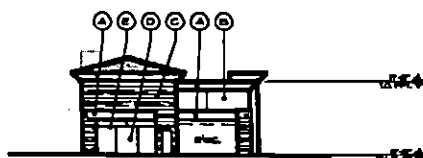
8 WEST ELEVATION
SCALE: 1/16" = 1'-0"



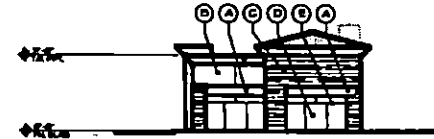
7 EAST ELEVATION
SCALE: 1/16" = 1'-0"



6 FLOOR PLAN - BUILDING 'B'
SCALE: 1/16" = 1'-0" 7,680 TOTAL SF.



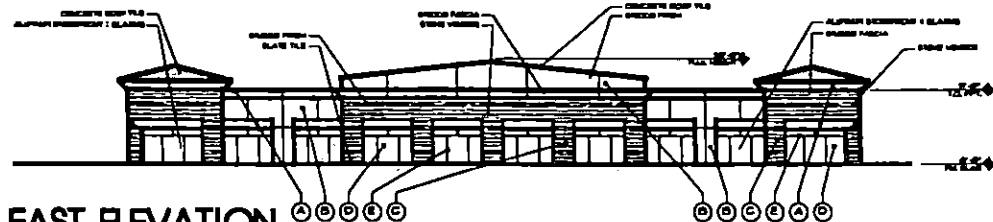
5 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



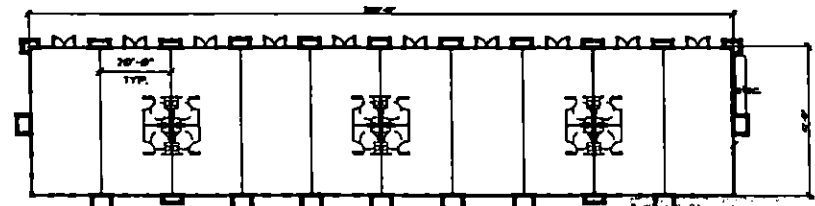
4 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"

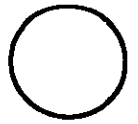


2 EAST ELEVATION
SCALE: 1/16" = 1'-0"



1 FLOOR PLAN - BUILDING 'A'
SCALE: 1/16" = 1'-0" 8,400 TOTAL SF.

FINISH SCHEDULE		
SYM.	DESCRIPTION	SPECIFICATION
A	FIELD COLOR	DUNN EDWARDS - DES 316 - LOOKING GLASS
B	FIELD COLOR	DUNN EDWARDS - DES 317 - CEDAR GROVE
C	CULTURED STONE	COUNTRY LEDGESTONE - ASPEN
D	GLASSING	1 INCH INSULATED AZURELITE REFLECTIVE
E	ALUMINUM STOREFRONT	



JOHN CULLIGAN BURKE, ARCHITECTS



John Culligan Burke, Architects
3411 W. COLORADO ROAD, SUITE 100, LAS VEGAS, NV 89103 (702) 379-4800

SHOPPING CENTER
Lake Mead & Decatur
for: Galtier, LLC
City of Las Vegas Nevada

DATE	PROJ. NO.	OWN. BY	DATE

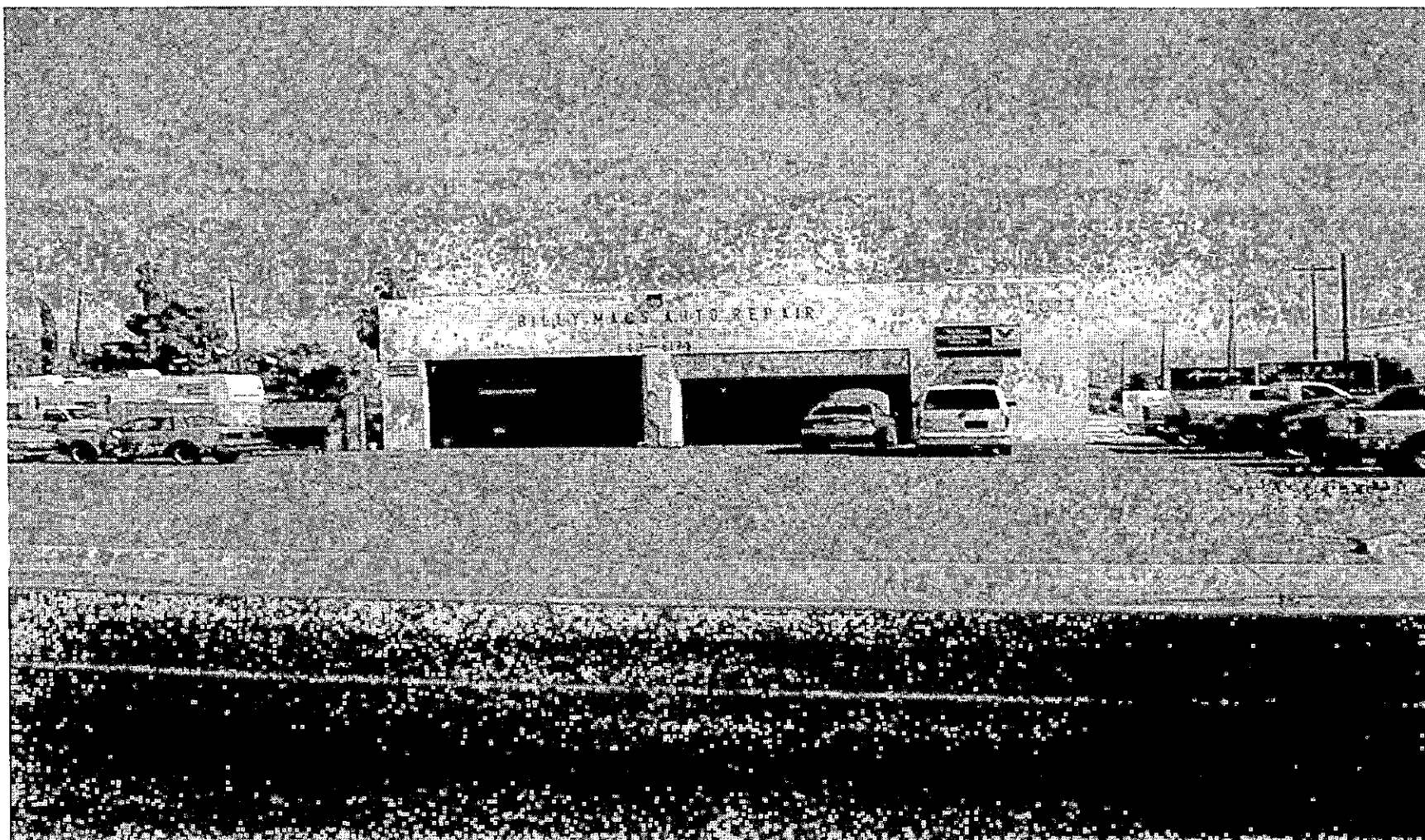
SHEET NO. A2

SDR-15322
12/21/06 PC

JUL 20 2006

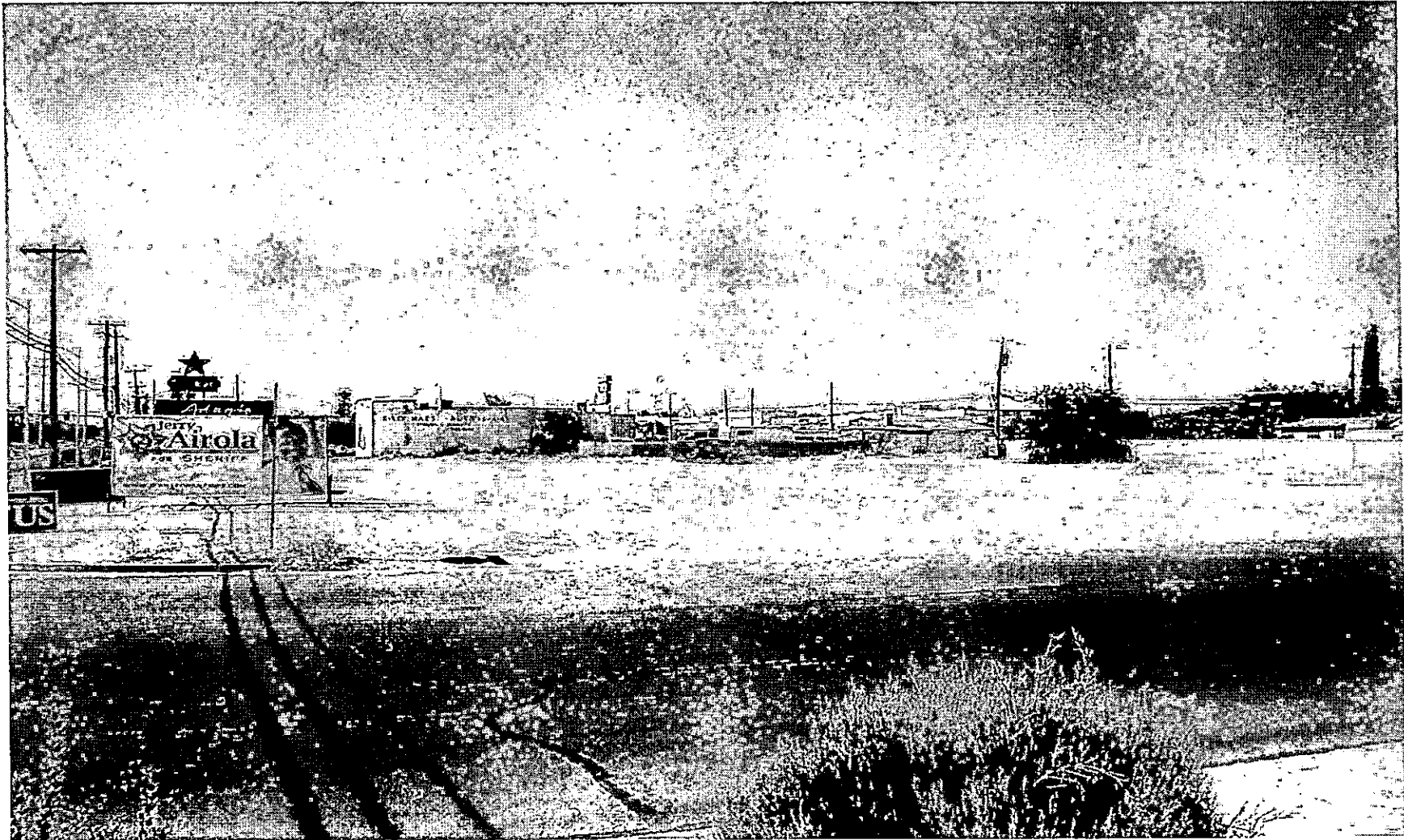
SDR 15322				
John David Burke Architect				
NWC Lake Mead & Decatur				
Proposed 11.08 thousand square foot retail development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	8.4	42.94	361
AM Peak Hour			1.03	9
PM Peak Hour			3.75	32
(heaviest 60 minutes)				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	2.68	496.12	1,330
AM Peak Hour			53.11	142
PM Peak Hour			34.64	93
(heaviest 60 minutes)				
Combined Uses	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	11.08		1,690
AM Peak Hour				151
PM Peak Hour				124
(heaviest 60 minutes)				
Existing traffic on all nearby streets: Counts not available for Sawyer				
Lake Mead Boulevard				
Average Daily Traffic (ADT)	27,746			
PM Peak Hour	2220			
(heaviest 60 minutes)				
Decatur Boulevard				
Average Daily Traffic (ADT)	34,611			
PM Peak Hour	2769			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
Adjacent street ADT				

	Capacity			
Lake Mead Boulevard	32585			
Decatur Boulevard	51700			
This project will add approximately 1,690 trips per day on Lake Mead, Decatur				
and Sawyer. This will increase expected volumes by about 6 percent on Lake				
Mead and about 5 percent on Decatur. Counts are not available for Sawyer.				
Lake Mead is at about 85 percent of capacity and Decatur is at about 67 percent of capacity.				
Based on Peak Hour use, this development will add roughly 124 additional cars into the area; which works out to about two every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



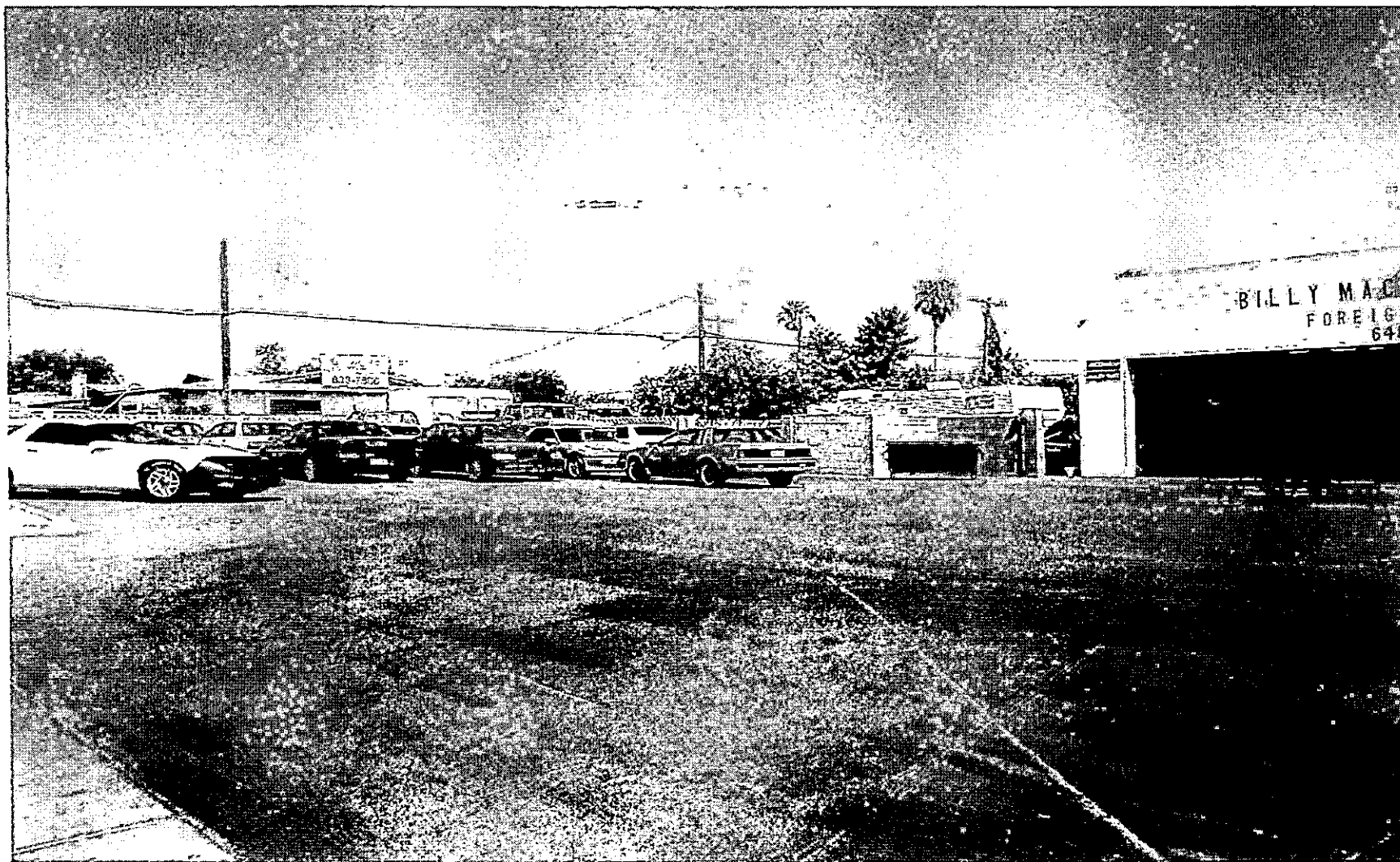
SDR-15322 - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: MGB LLC
THE NORTHWEST CORNER OF LAKE MEAD BOULEVARD AND DECATUR BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

08/08/06



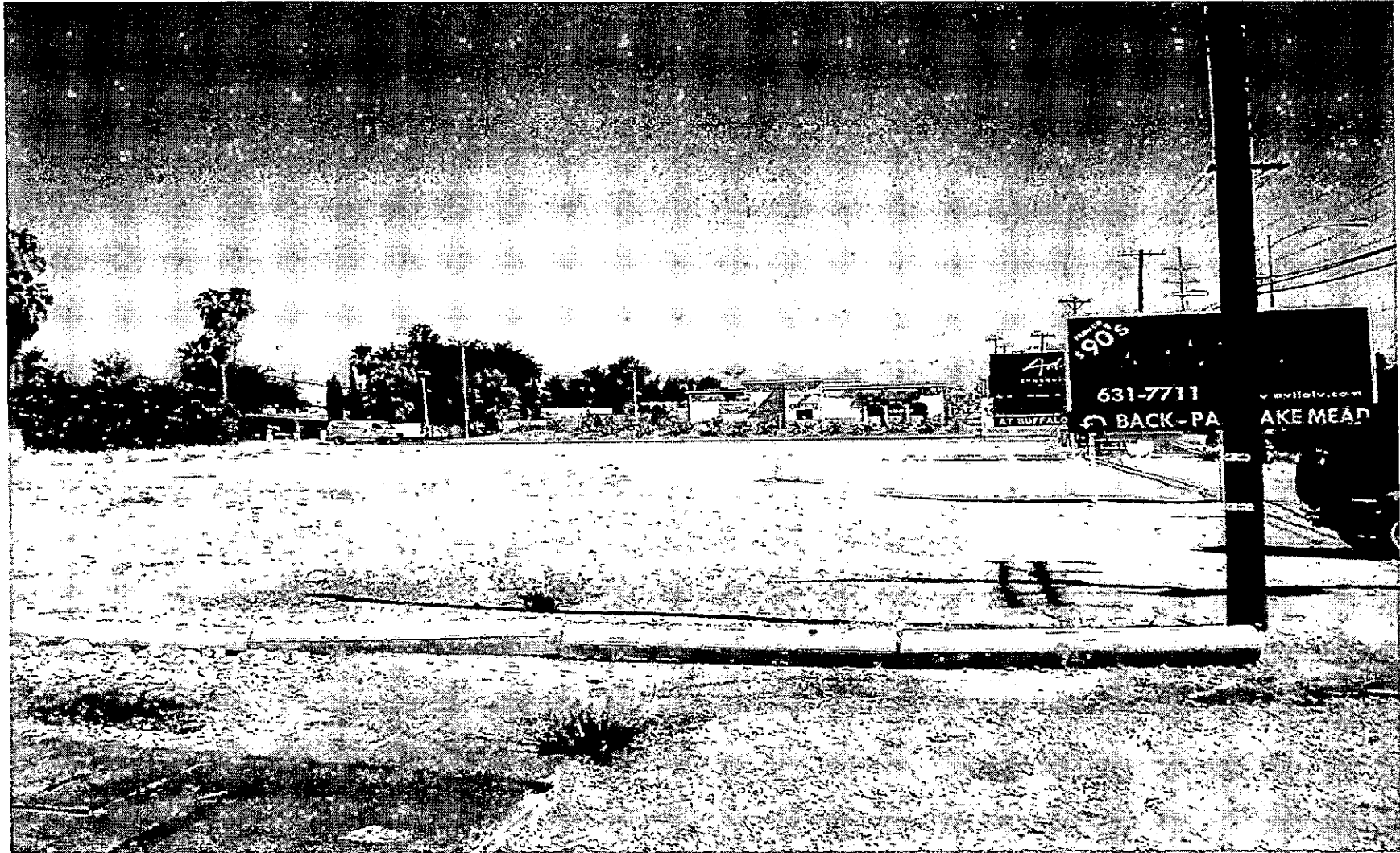
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THE NORTHWEST CORNER OF LAKE MEAD BOULEVARD AND DECATUR BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

08/08/06



SDR-15322 - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: MGB LLC
THE NORTHWEST CORNER OF LAKE MEAD BOULEVARD AND DECATUR BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

08/08/06



SDR-15322 - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: MGB LLC
THE NORTHWEST CORNER OF LAKE MEAD BOULEVARD AND DECATUR BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

08/08/06



July 20, 2006

**CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT**
731 South Fourth Street
Las Vegas, Nevada 89101

**Re: Justification Letter – Site Plan Development Review
Shopping Center – Lake Mead & Decatur**

Overview

The plans and documents we are submitting today for your review depict a proposed Retail Commercial Lease Shell Building and Retail Pad Building. This is a 1.54 net acre site on the Northwest corner of Lake Mead and Decatur Boulevard in the City of Las Vegas.

Site Plan Development Review

The documents submitted depict a one story retail project, to include a restaurant pad building with drive thru and retail/office shell building. All of the buildings are designed within Title 19 requirements.

This request no longer requires a variance to reduce parking as the site has been adjust to meet the City of Las Vegas requirements. The waiver is no longer needed as the retail building has been moved to meet the ratio for the adjacent residential buildings.

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,

JOHN DAVID BURKE, ARCHITECT

**SDR-15322
12/21/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

MSP-18000 – MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT/OWNER: SANTA FE STATION, INC. - Request for a Major Amendment to an approved Master Sign Plan (MSP-0008-01) FOR ADDITIONAL SIGNAGE at 4949 North Rancho Drive (APN 125-34-801-001), C-2 (General Commercial) Zone, Ward 6 (Ross).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009] – UNANIMOUS with EVANS and TRUESDELL excused and COMMISSIONER DAVENPORT abstaining on Item 5 [MSP-18047] because he lives within the notice area

This is Final Action

MINUTES:

CHAIRMAN TROWBRIDGE explained that these items will be considered in One Motion/One Vote and are routine public and non-public hearing items that have no protests, waivers from the Code, or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 4 – MSP-18000

MINUTES – Continued:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

There was no discussion.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

(6:10 – 6:12)

1-248

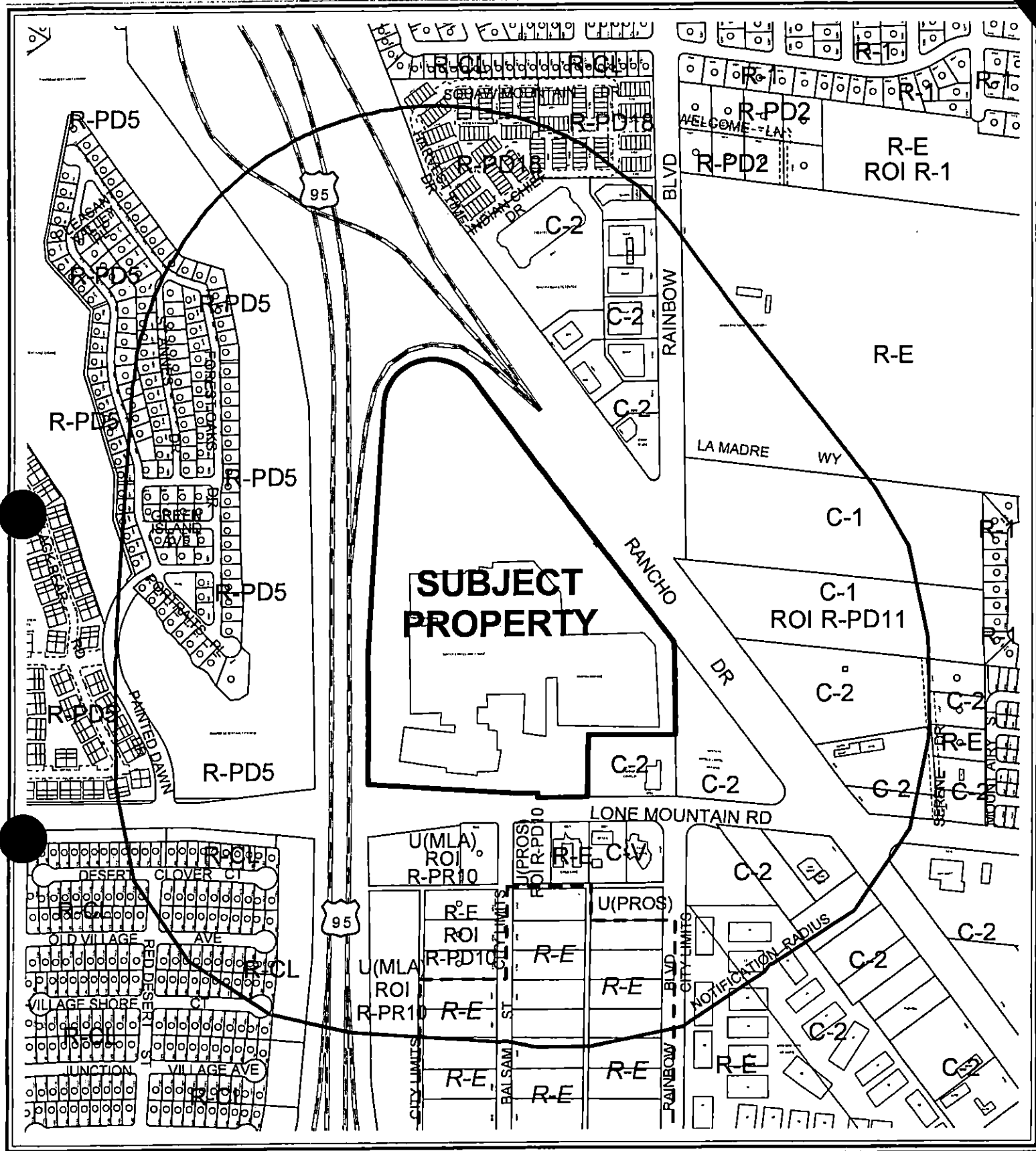
CONDITIONS:

Planning and Development

1. Conformance with the sign elevations and documentation as submitted in conjunction with this request.
2. All signage shall have proper permits obtained through the Building and Safety Department.
3. Any future amendments to the Master Sign Plan that are in compliance with the requirements of Title 19.14 for the subject zoning district may be reviewed and approved administratively by the Department of Planning and Development.

Public Works

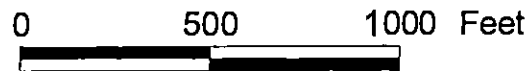
4. The proposed signs shall not be located within the public right-of-way or interfere with Site Visibility Restriction Zones. The proposed ground mounted bases shall not be located within existing or proposed public sewer or drainage easements.

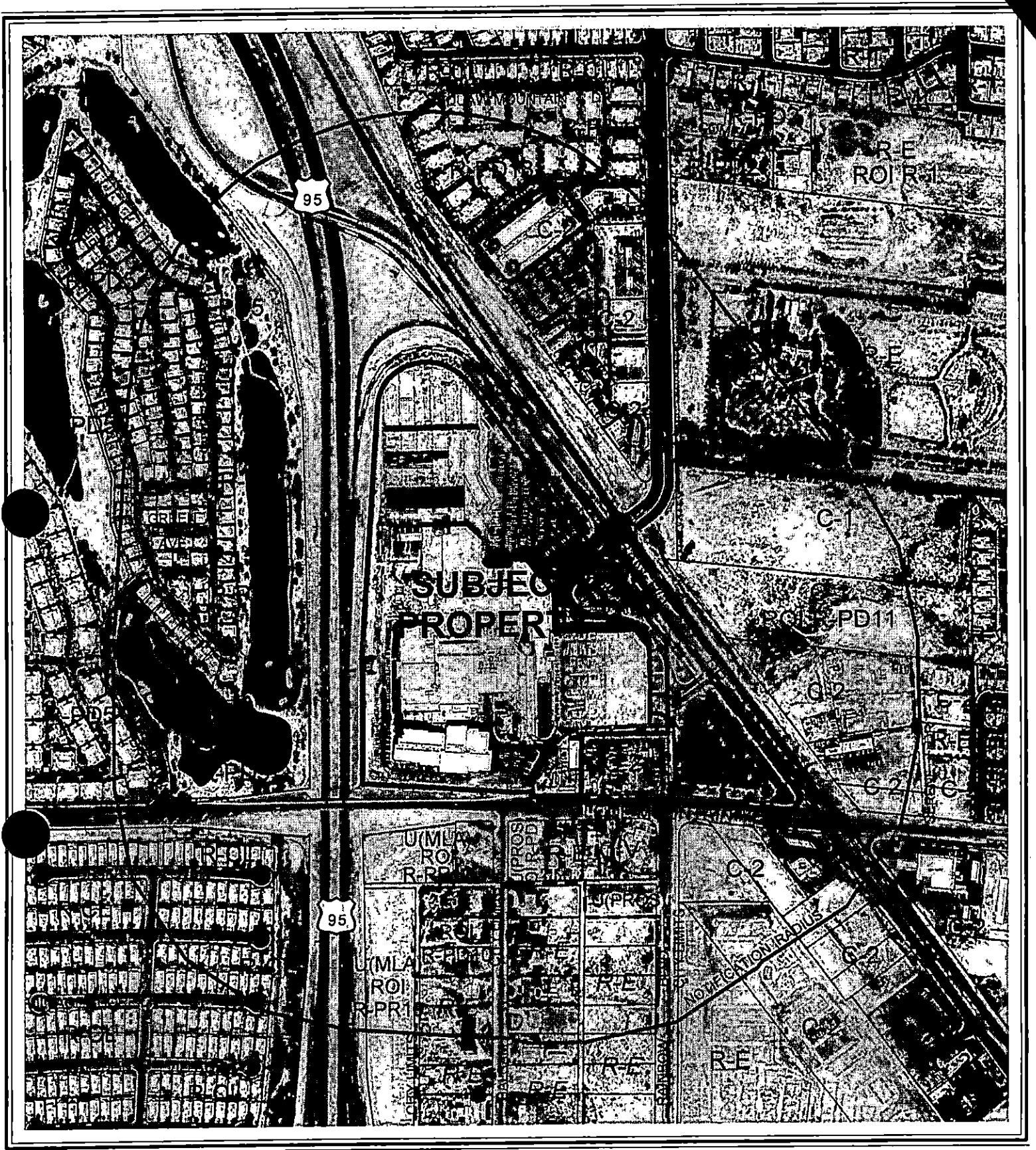


CASE: **MSP-18000**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)





CASE: MSP-18000

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: MSP-18000 – APPLICANT/OWNER: SANTA FE STATION, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Conformance with the sign elevations and documentation as submitted in conjunction with this request.
2. All signage shall have proper permits obtained through the Building and Safety Department.
3. Any future amendments to the Master Sign Plan that are in compliance with the requirements of Title 19.14 for the subject zoning district may be reviewed and approved administratively by the Planning and Development Department.

Public Works

4. The proposed signs shall not be located within the public right-of-way or interfere with Site Visibility Restriction Zones. The proposed ground mounted bases shall not be located within existing or proposed public sewer or drainage easements.

MSP-18000 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Major Amendment to an approved Master Sign Plan (MSP-0008-01) for additional signage at 4949 North Rancho Drive.

The applicant is adding a total of 15 wall signs to the casino and parking garage expansion. The six larger wall signs range from 800 to 910 square feet in size, while the smaller wall signs range from 44 to 206 square feet in size. In addition, the applicant has relocated signs EG-6, EG-8, and EG-9 from the East Garage to locations #1, #2, and #3 on the west elevation of the new north garage. Signs #4, #5, #6, and #7 were added to the north and east elevations of the new north garage, as well as directional wall signs, K-1 through K-6, have been added at the ramp entrances to the new north garage. Signs labeled B-1, B-2, and B-4 were added to the east façade of the new casino expansion.

The proposed changes will not have a negative affect on the site or the surrounding area. Approval of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/19/85	The City Council approved a Rezoning (Z-0032-85) request from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) for the subject property. The Planning Commission recommended approval of the action at their meeting of 06/13/85.
03/15/89	The City Council approved a Special Use Permit (U-0182-88) for the development of a hotel and casino.
08/10/98	The City Council approved a Site Development Plan [Z-0032-85(9)] for a three-story parking garage on the subject property. The Planning Commission and staff recommended approval.
10/12/00	The Planning Commission approved a Site Development Plan [Z-0032-85(10)] for a four-story parking garage on the subject property. Staff recommended approval.
12/07/00	The Planning Commission approved a Site Development Plan [Z-0032-85(12)] for a temporary reduction in the amount of on-site landscaping and in the amount of on-site parking. Staff recommended approval.
09/19/01	The City Council approved a Master Sign Plan (MSP-0008-01) for the property, and approved a Review of Condition [Z-0032-85(14)] relative to allowing signage on the northeast face of the parking garage. The Planning Commission recommended approval of the requests at their meeting of 08/09/01. Staff recommended denial.

JM

MSP-18000 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

12/22/01	The Planning and Development Department administratively approved a Site Development Plan [Z-0032-85(13)] for a 27,300 square-foot addition to the existing hotel and casino.
12/17/03	The City Council approved a request to permit new freestanding signage on the site (MSP-2881). The Planning Commission recommended denial of the request at their meeting of 09/25/03.
03/25/04	City Council approved a Site Development Plan Review (SDR-3923) application for a proposed expansion of the casino and the addition of a movie theater. The Planning Commission and staff recommended approval.

<i>Pre-Application Meeting</i>	
10/20/06	At the pre-application conference, staff discussed the code requirements and application process.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this type of application.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	34.17

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Hotel/Casino	GC (General Commercial) R.O.W. (Right-of-Way)	C-2 (General Commercial)
North	Commercial Center U.S. 95 Interchange	GC (General Commercial)	C-2 (General Commercial)
South	Service Station Use Fire Station Office Use Child Care Facility Single-Family Use	MLA (Medium-Low Density Residential) P (Parks/Recreation/Open Space) PF (Public Facilities)	C-V (Civic) R-E (Residence Estates) U (Undeveloped) [MLA (Medium-Low Attached Density Residential) General Plan Designation]

MSP-18000 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

East	Sexually Oriented Business Use Auto Repair Use Undeveloped	SC (Service Commercial) GC (General Commercial) MLA (Medium-Low Density Residential)	C-2 (General Commercial) C-1 (Limited Commercial)
West	U.S. 95 Golf Course Use	R.O.W (Right-of-Way) P (Parks/Recreation/Open Space)	U.S. 95 R-PD5 (Residential Planned Development - 5 Units Per Acre)

DEVELOPMENT STANDARDS

General Plan Compliance

The property is designated GC (General Commercial) by the Centennial Hills Sector Plan. The GC (General Commercial) designation permits retail, service, wholesale, office and other general business uses of an intense commercial character.

<i>SPECIAL DISTRICTS/ZONES</i>	Yes	No
Special Area Plan		X
Special Overlay District	X	
Airport Overlay (North Las Vegas)	X	
Rural Preservation Neighborhood		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

The site is on the edge of North Las Vegas Airport Overlay zone which has a height restriction of 200 feet.

<i>MASTER SIGN PLAN REQUIREMENTS FOR ON-PREMISE SIGNAGE</i>		
THRESHOLD	YES	NO
Non-Residential project with a site larger than 15 acres	X	
Non-Restricted Gaming Establishment	X	

A Master Sign Plan is required due to the fact that the property is over 15 acres in size and a non-restricted casino.

MSP-18000 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

ANALYSIS

A) Zoning Code Compliance

General project description

A1) Residential Adjacency Standards

The proposed signs will be located over 600 feet from the nearest residential property, and therefore; will not be subject to Residential Adjacency Standards.

A2) Sign Standards

Pursuant to Title 19.14, the following Sign Standards apply to the subject proposal:

Wall Signs: Garage Expansion (east elevation) – Sign 6, Sign 7 and K1 – K6

Standards	Allowed	Provided
Maximum Number	N/A	N/A
Maximum Area	20% /elevation	6%
Maximum Projection	4 Feet	8"
Illumination	Internal, external, animated, electronic	Internal

Wall Signs: Garage Expansion (west elevation) – Sign 1, Sign 2, Sign 3

Standards	Allowed	Provided
Maximum Number	N/A	N/A
Maximum Area	20% /elevation	8%
Maximum Projection	4 Feet	8"
Illumination	Internal, external, animated, electronic	Internal

Wall Signs: Garage Expansion (north elevation) – Sign 4, Sign 5

Standards	Allowed	Provided
Maximum Number	N/A	N/A
Maximum Area	20% /elevation	12%
Maximum Projection	4 Feet	8"
Illumination	Internal, external, animated, electronic	Internal

JM

MSP-18000 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

Wall Signs: Casino Expansion – B1, B-2, B-4

Standards	Allowed	Provided
Maximum Number	N/A	N/A
Maximum Area	20% /elevation	11%
Maximum Projection	4 Feet	8"
Illumination	Internal, external, animated, electronic	Internal, electronic (B-4)

The applicant is adding a total of 15 wall signs to the casino and parking garage expansion. The six larger wall signs range from 800 to 910 square feet in size, while the smaller wall signs range from 44 to 206 square feet in size. All the wall signs will be illuminated internally, except for one sign (B-4) on the casino expansion which will be electronically illuminated.

The applicant has relocated signs EG-6, EG-8, and EG-9 from the East Garage to locations #1, #2, and #3 on the west elevation of the new north garage. Signs #4, #5, #6, and #7 were added to the north and east elevations of the new north garage, as well as directional wall signs, K-1 through K-6, have been added at the ramp entrances to the new north garage. Signs labeled B-1, B-2, and B-4 were added to the east façade of the new casino expansion.

The proposed changes will not have a negative affect on the site or the surrounding area. Approval of this request is recommended.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

10

ASSEMBLY DISTRICT 1

SENATE DISTRICT 4

NOTICES MAILED 569

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

APN: 12534-801-001

Name of Applicant: Santa Fe Station, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

~~No~~

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

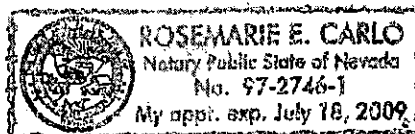
[Handwritten signature]

Print Name: Richard J. Haskins, Secretary

Subscribed and sworn before me

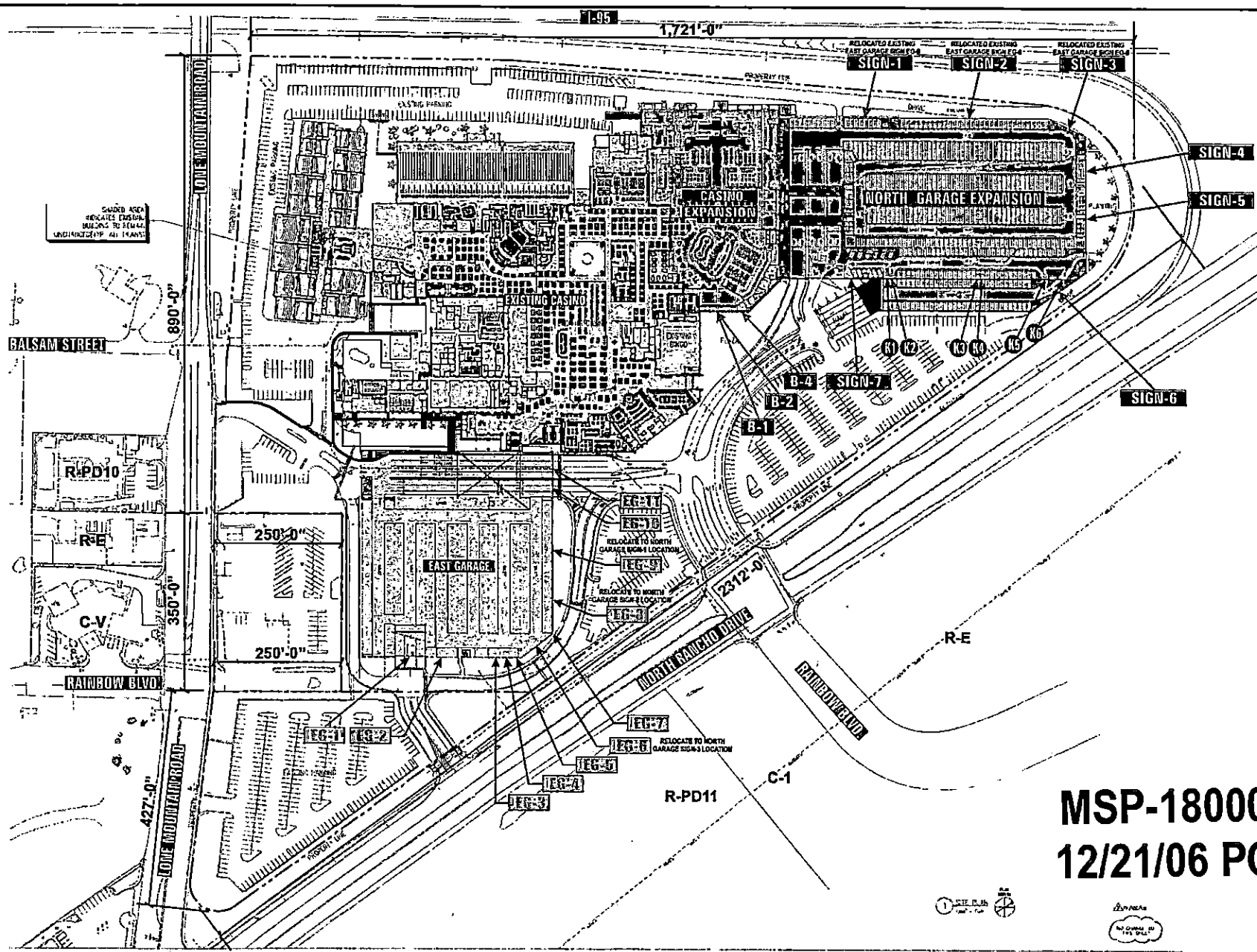
This 3rd day of November, 2006

Rosemarie C. Carlo
Notary Public in and for said County and State



NEGATIVE

NOV 06 2006



MSP-18000
12/21/06 PC

CP-1801 12515 12515	
PROJECT NO. 12515	SHEET NO. 12515
PROJECT NAME CASINO EXPANSION	PROJECT LOCATION LAS VEGAS, NV
PROJECT OWNER LAS VEGAS S&B	PROJECT ARCHITECT LAS VEGAS S&B
PROJECT ENGINEER LAS VEGAS S&B	PROJECT DATE 12/21/06
PROJECT DESCRIPTION CASINO EXPANSION	PROJECT SCALE 1" = 100'-0"
PROJECT STATUS PRELIMINARY	PROJECT DRAWN BY J. [Name]
PROJECT CHECKED BY J. [Name]	PROJECT APPROVED BY J. [Name]
PROJECT REVISIONS 1. [Description]	PROJECT REVISIONS 2. [Description]
PROJECT REVISIONS 3. [Description]	PROJECT REVISIONS 4. [Description]
PROJECT REVISIONS 5. [Description]	PROJECT REVISIONS 6. [Description]
PROJECT REVISIONS 7. [Description]	PROJECT REVISIONS 8. [Description]
PROJECT REVISIONS 9. [Description]	PROJECT REVISIONS 10. [Description]
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PROJECT REVISIONS 13. [Description]	PROJECT REVISIONS 14. [Description]
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PROJECT REVISIONS 97. [Description]	PROJECT REVISIONS 98. [Description]
PROJECT REVISIONS 99. [Description]	PROJECT REVISIONS 100. [Description]

RECEIVED
NOV 06 2006

4'-7"

3'-6"

44'-8"

SANTA FE STATION

B-1 CHANNEL LETTERS
SCALE @ 5/16" = 1'-0" 1 SET REQ'D

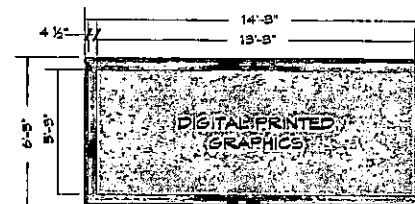
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3'-6"

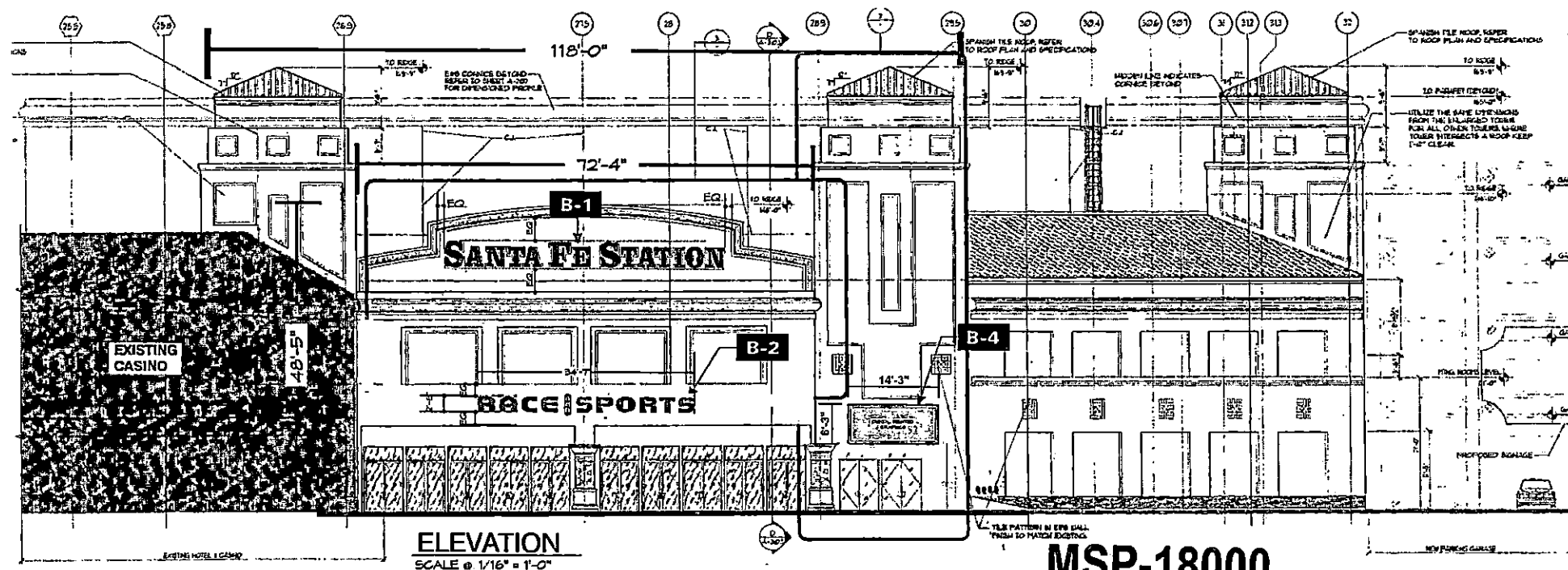
2'-6"

RACE ADD SPORTS

B-2 CHANNEL LETTERS
SCALE • 3/16" = 1'-0" 1 SET REQUIRED



B-4 S/F ILLUMINATED WALL SIGN
SCALE @ 3/16" = 1'-0" QTY: ONE (1) REQ'D



MSP-18000

12/21/06 PC

RECEIVED
NOV 06 2006

BLDG. SIGN

10

LAS VEGAS DIVISION

EXTERIOR/INTERIOR SIGNS

YOUNG ELECTRIC SIGN COMPANY

CD-1561

12518

CD-1561

12518

BLDG. SIGN

10

LAS VEGAS DIVISION

EXTERIOR/INTERIOR SIGNS

YOUNG ELECTRIC SIGN COMPANY

CD-1561

12518

CD-1561

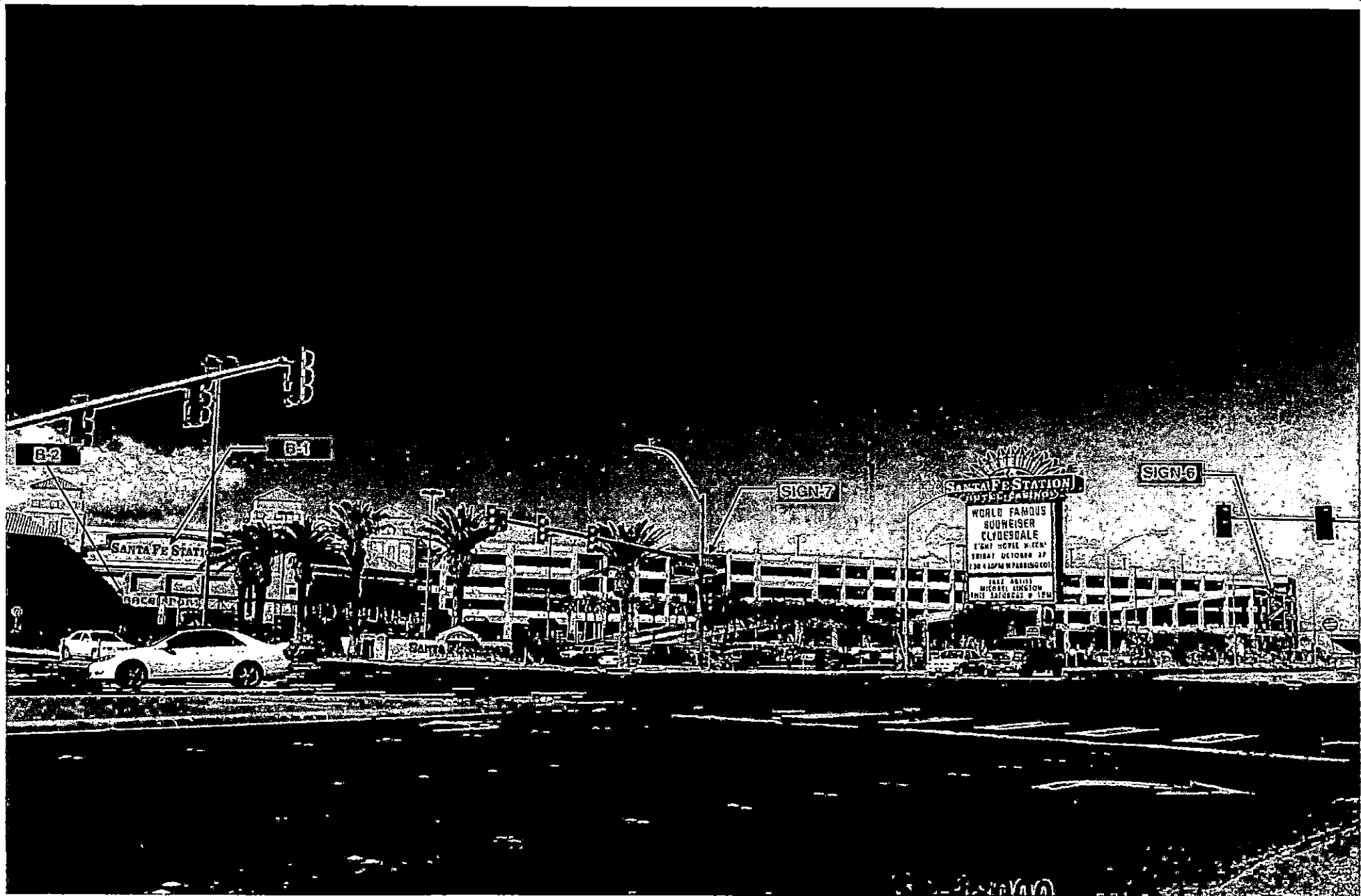
12518



12/21/06 PC

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NOV 06 2006

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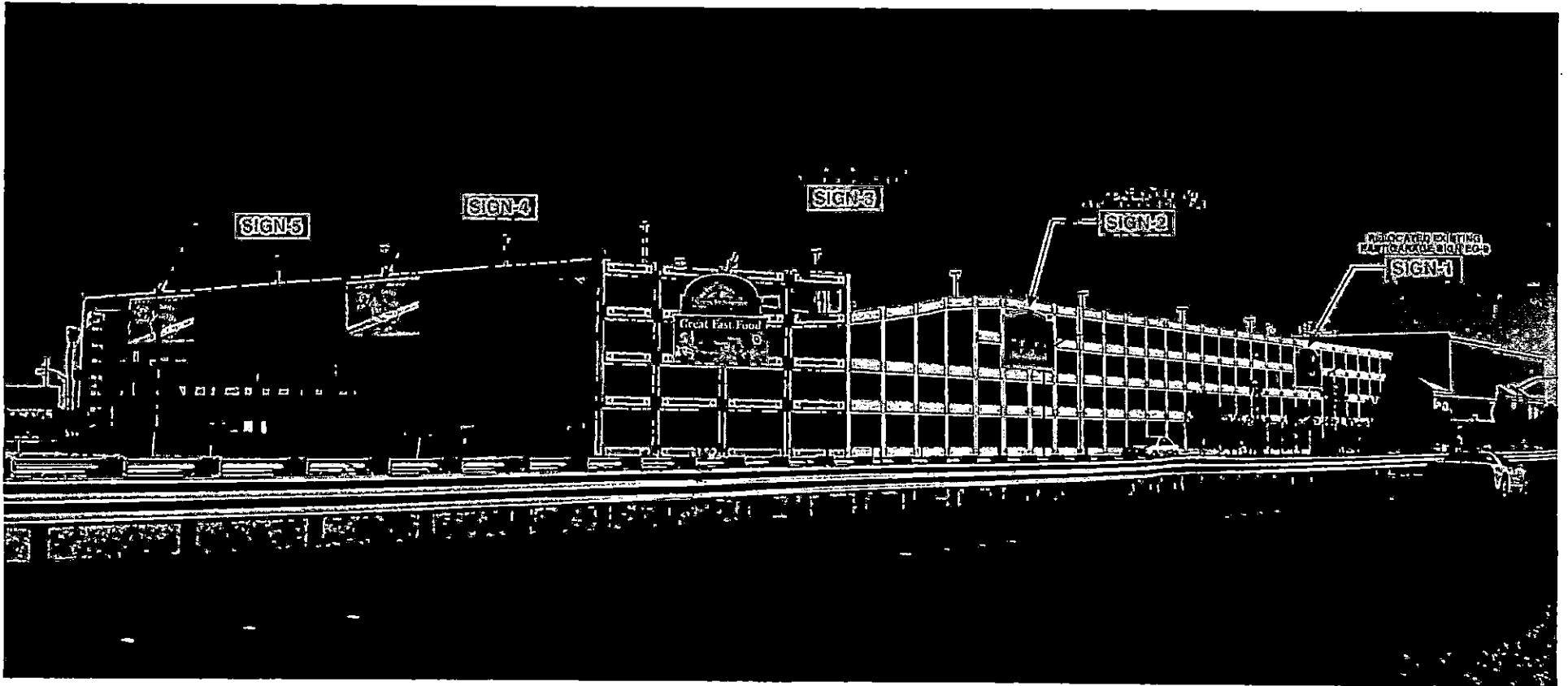
MSF-18000

12/21/06 PC

RECEIVED
NOV 06 2006

REVIEWED CONTRACTOR LICENSE NO. 00000000 THE REVIEWING BOARD IS AUTHORIZED TO REVIEW THE QUALITY OF THE WORK OF THE CONTRACTOR AND TO REVOKE THE LICENSE IF NECESSARY.	
CONTRACTOR'S NAME: LAS VEGAS DIVISION CONTRACTOR'S ADDRESS: 5115 S. COMMERCE ST., LAS VEGAS, NV 89101	
PROJECT APPROVAL: ☐ APPROVED ☐ NOT APPROVED	
DATE:	
BY:	
REVIEWED:	
COMMENTS:	
CD-1561	
12519	

DETAIL
4.0



I-95 SOUTHBOUND

MSP-18000
12/21/06 PC

RECEIVED
NOV 06 2006

PROJECT NO.	CP-1561
DATE	12/21/06
BY	
CHECKED BY	
DATE	
PROJECT NO.	12518
DATE	
BY	
CHECKED BY	
DATE	

PROJECT NO.	CP-1561
DATE	12/21/06
BY	
CHECKED BY	
DATE	
PROJECT NO.	12518
DATE	
BY	
CHECKED BY	
DATE	

PROJECT NO.	CP-1561
DATE	12/21/06
BY	
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PROJECT NO.	12518
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PROJECT NO.	CP-1561
DATE	12/21/06
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PROJECT NO.	12518
DATE	
BY	
CHECKED BY	
DATE	

PROJECT NO.	CP-1561
DATE	12/21/06
BY	
CHECKED BY	
DATE	
PROJECT NO.	12518
DATE	
BY	
CHECKED BY	
DATE	



EG-7

EG-6

RELOCATING TO NORTH GARAGE SIGN-3 LOCATION



EG-7

MSP-18000
12/21/06 PC
EXISTING
SOUTH GARAGE SIGNAGE

RECEIVED NOV 06 2006	
DETAIL 6.0	
LAS VEGAS DIVISION EXTERIOR/INTERIOR SIGNS YOUNG & RUBICAM	
PROJECT: STATION CASINO SIGNAGE EXPANSION, CD-15610D-15611, CITY: SUBMITAL-1, 4-12-06R-2006, EXISTING-15610D-15611, 12/21/06	
PROJECT NO. 15610D-15611	SHEET NO. 12518
DATE 12/21/06	BY J. R.
CHECKED J. R.	REVIEWED J. R.
APPROVED J. R.	DATE 12/21/06



RECEIVED
NOV 06 2006

[illegible]



SIGN-4	SIGN-5
SIGN-6	SIGN-7

DETAIL

SCALE @ 1/4" = 1'-0"

QTY: TOTAL FOUR (4) EA. REQ D.

MSP-18000
12/21/06 PC

RECEIVED
NOV 06 2006

LAS VEGAS DIVISION EXTERIOR/INTERIOR SIGNS DESIGN/CONSTRUCTION/INSTALLATION	
DATE: 12/21/06	BY: [Signature]
CHECKED BY: [Signature]	DATE: 12/21/06
PROJECT: MSP-18000	LOCATION: STATION CASINO
DESCRIPTION: EXTERIOR SIGN	DATE: 12/21/06
DESIGNER: [Signature]	DATE: 12/21/06
CONSTRUCTOR: [Signature]	DATE: 12/21/06
INSTALLER: [Signature]	DATE: 12/21/06
APPROVED BY: [Signature]	DATE: 12/21/06
REVISIONS:	
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100. [Description]	DATE: 12/21/06

2'-8"

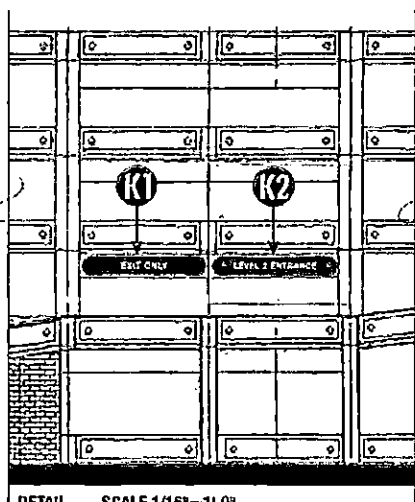
16'-0"

LEVEL 2 ENTRANCE

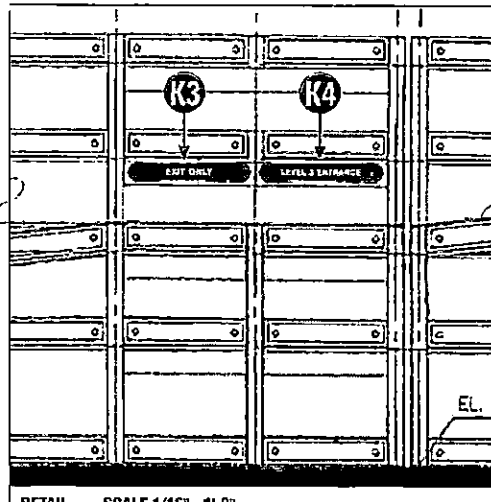
K1 K2 K3 S/F ILLUMINATED WALL SIGN

K4 K5 K6 SCALE @ 1/4" = 1'-0"

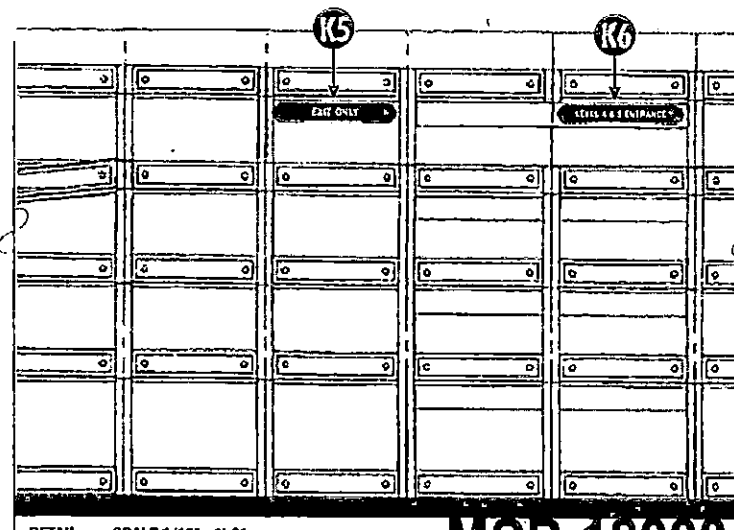
QTY: SIX (6) EA. REQ'D.



DETAIL SCALE 1/16" = 1'-0"



DETAIL SCALE 1/16" = 1'-0"



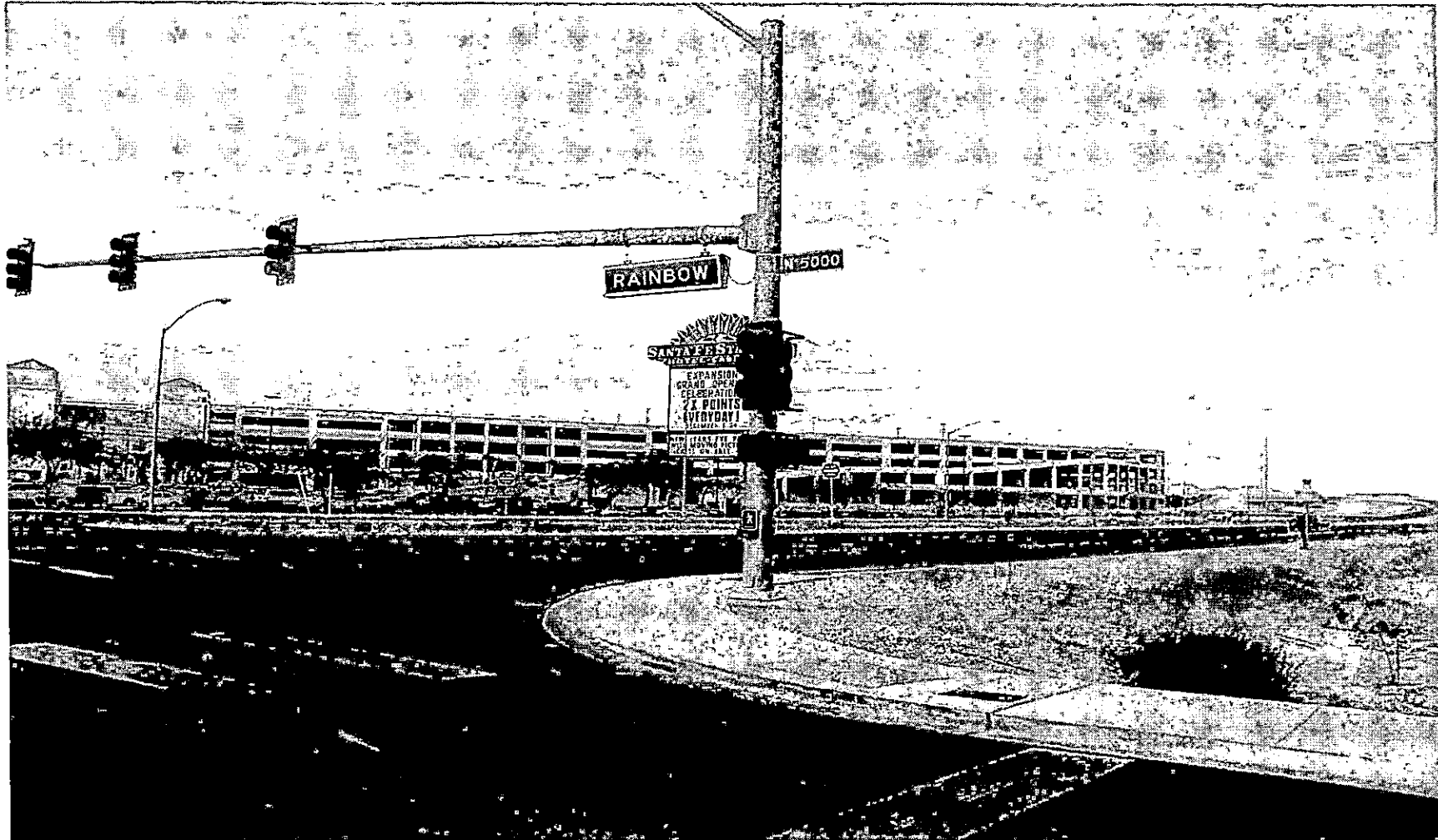
DETAIL SCALE 1/16" = 1'-0"

MSP-18000

12/21/06 PC

RECEIVED
NOV 06 2006

CD-1861 12515 12515	
PROJECT NO. 12515	DATE 12/21/06
DRAWN BY J. L. L.	CHECKED BY J. L. L.
PROJECT NAME LAS VEGAS DIVISION EXTERIOR/INTERIOR SIGNS	COMPANY LAS VEGAS DIVISION EXTERIOR/INTERIOR SIGNS
PROJECT LOCATION LAS VEGAS, NV	PROJECT DESCRIPTION EXTERIOR/INTERIOR SIGNS
PROJECT OWNER LAS VEGAS DIVISION	PROJECT MANAGER LAS VEGAS DIVISION
PROJECT ARCHITECT LAS VEGAS DIVISION	PROJECT ENGINEER LAS VEGAS DIVISION
PROJECT CONTRACTOR LAS VEGAS DIVISION	PROJECT SUBMITTER LAS VEGAS DIVISION
PROJECT DATE 12/21/06	PROJECT STATUS 9.0



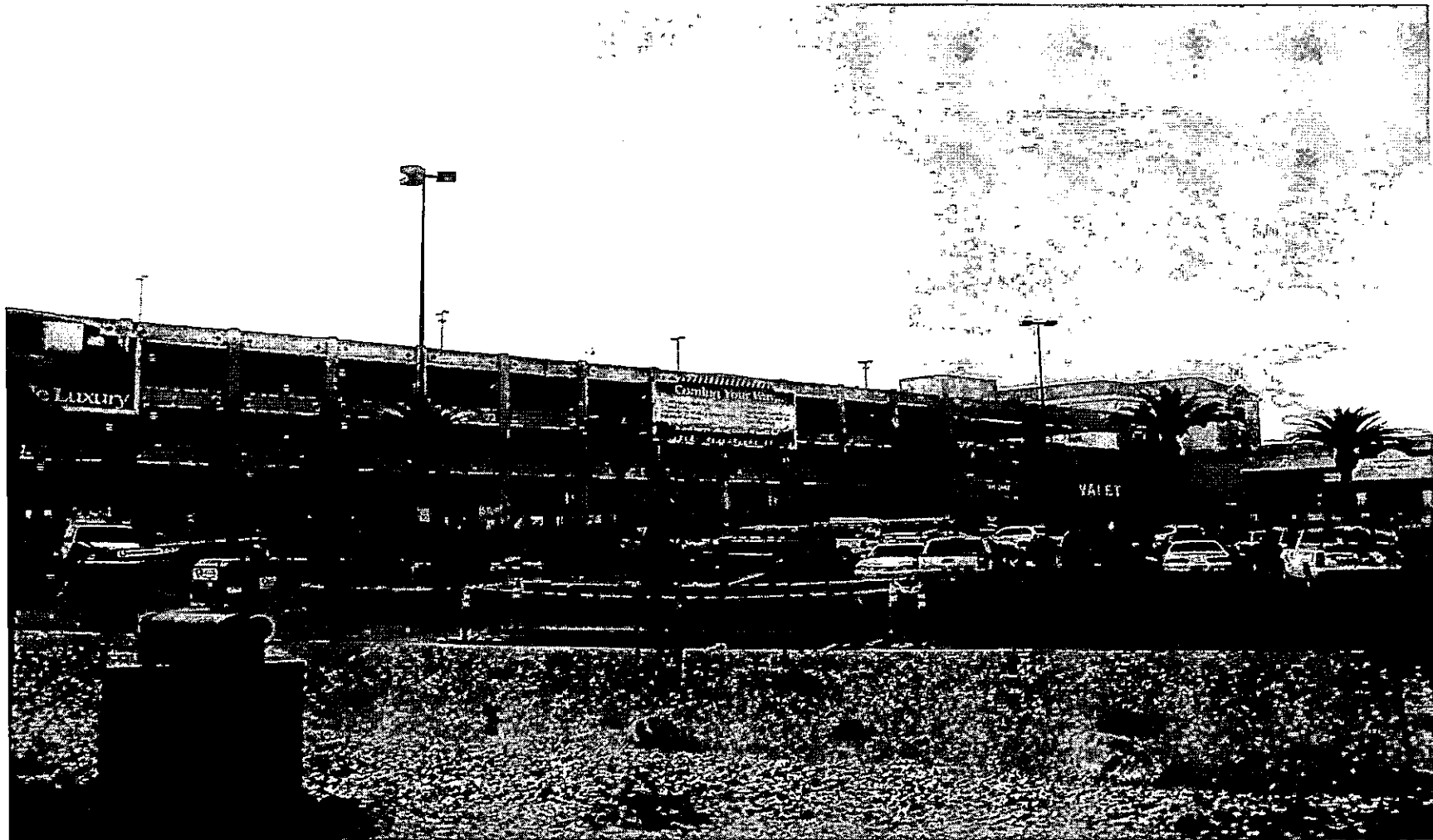
MSP-18000 -APPLICANT/OWNER: SANTA FE STATION, INC.
4949 NORTH RANCHO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

12/14/06



MSP-18000 -APPLICANT/OWNER: SANTA FE STATION, INC.
4949 NORTH RANCHO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

12/14/06



MSP-18000 -APPLICANT/OWNER: SANTA FE STATION, INC.
4949 NORTH RANCHO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

12/14/06



YOUNG ELECTRIC SIGN COMPANY

Las Vegas Division

702-876-8080 Telephone
702-944-4503 Fax

5119 South Cameron Street
P.O. Box 98575
Las Vegas, Nevada 89193-B575

November 6, 2006

City of Las Vegas
Planning Department
400 Stewart Avenue
Las Vegas, Nevada 89101

**RE: SANTA FE STATION HOTEL –
AMENDMENT TO THE MASTER SIGN PLAN-08-01**

To Whom It May Concern:

The applicant, Santa Fe Station Hotel Casino, requests to amend the approved MSP-08-01 to allow for additional building and garage signage for the 120,000 square foot casino and 450,000 square foot garage expansion exterior elevations.

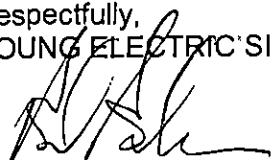
The additional signage shall be designed in an aesthetic manner to compliment the architecture of the buildings and the existing signage. The additional signage is required to effectively identify the casino expansion entrance and new amenities.

The amendment includes the following signage:

- Relocating sign #'s EG-6, EG-8, and EG-9 from the East Garage to locations #1, 2, and 3 on the west elevation of the new North Garage.
- Adding signs #4, 5, 6, and 7 to the north and east elevations of the new North Garage.
- Adding directional wall signs K-1 through K-6 at the ramp entrances to the new North Garage.
- Adding signs B-1, B-2, and B-4 to the east façade of the new Casino Expansion building.
- The sign area for locations EG-6, EG-8, and EG-9 shall remain available for future signage.
- Any future amendments to the Master Sign Plan may be reviewed and approved administratively by the Planning and Development Department.

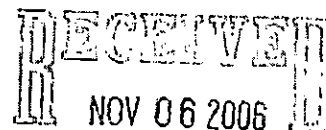
I trust the above is satisfactory.

Respectfully,
YOUNG ELECTRIC SIGN COMPANY


Bill Buttram
Project Director

c. Matt Heinhold, Station Casinos, Inc.
Gary Bunker, YESCO

**MSP-18000
12/21/06 PC**



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

MSP-18047 - MASTER SIGN PLAN - PUBLIC HEARING - APPLICANT: SPRINGS PRESERVE - OWNER: LAS VEGAS VALLEY WATER DISTRICT - Request for a Master Sign Plan FOR AN APPROVED GOVERNMENT FACILITY at 333 South Valley View Boulevard (APNs 139-31-602-003, 139-29-401-001, 139-30-804-001, and 139-32-101-001), C-V (Civic) Zone, Ward 1 (Tarkanian).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009] – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused and **COMMISSIONER DAVENPORT** abstaining on Item 5 [MSP-18047] because he lives within the notice area

This is Final Action

MINUTES:

CHAIRMAN TROWBRIDGE explained that these items will be considered in One Motion/One Vote and are routine public and non-public hearing items that have no protests, waivers from the Code, or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 5 – MSP-18047

MINUTES – Continued:

agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

DOUG RANKIN, Department of Planning and Development, indicated that Item 12 [SDR-18036] needed to be heard separately to address a condition modification, and Item 8 [SUP-18001] would need to be heard separately due to a recently submitted protest letter.

COMMISSIONER DAVENPORT requested that Item 6 [VAR-17998] and Item 7 [SDR-17999] be pulled from the One Motion/One Vote portion of the agenda.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

(6:10 – 6:12)

1-248

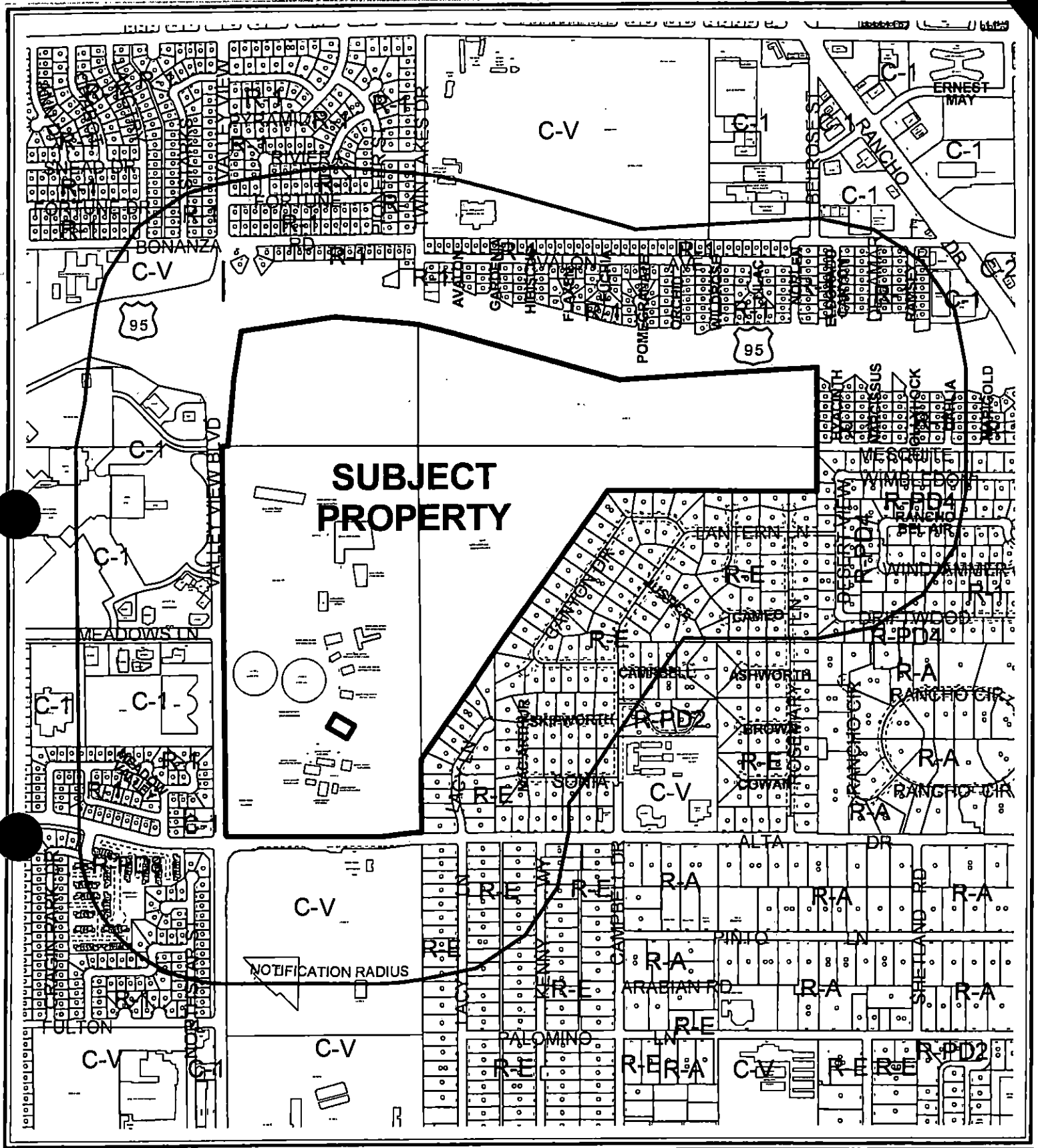
CONDITIONS:

Planning and Development

1. If dynamic video display signage is proposed within any segment of the park trail, such signage shall be oriented away from the adjacent residential properties.
2. Lighting along the trail system shall be restricted to internal illumination and shall not be directed towards any adjacent residentially zoned property.
3. All street frontage signage shall have a 5-foot minimum setback from the property line.
4. Any future amendments to the Master Sign Plan that are in compliance with the requirements of Title 19.14 for the subject zoning district may be reviewed and approved administratively by the Department of Planning and Development.

Public Works

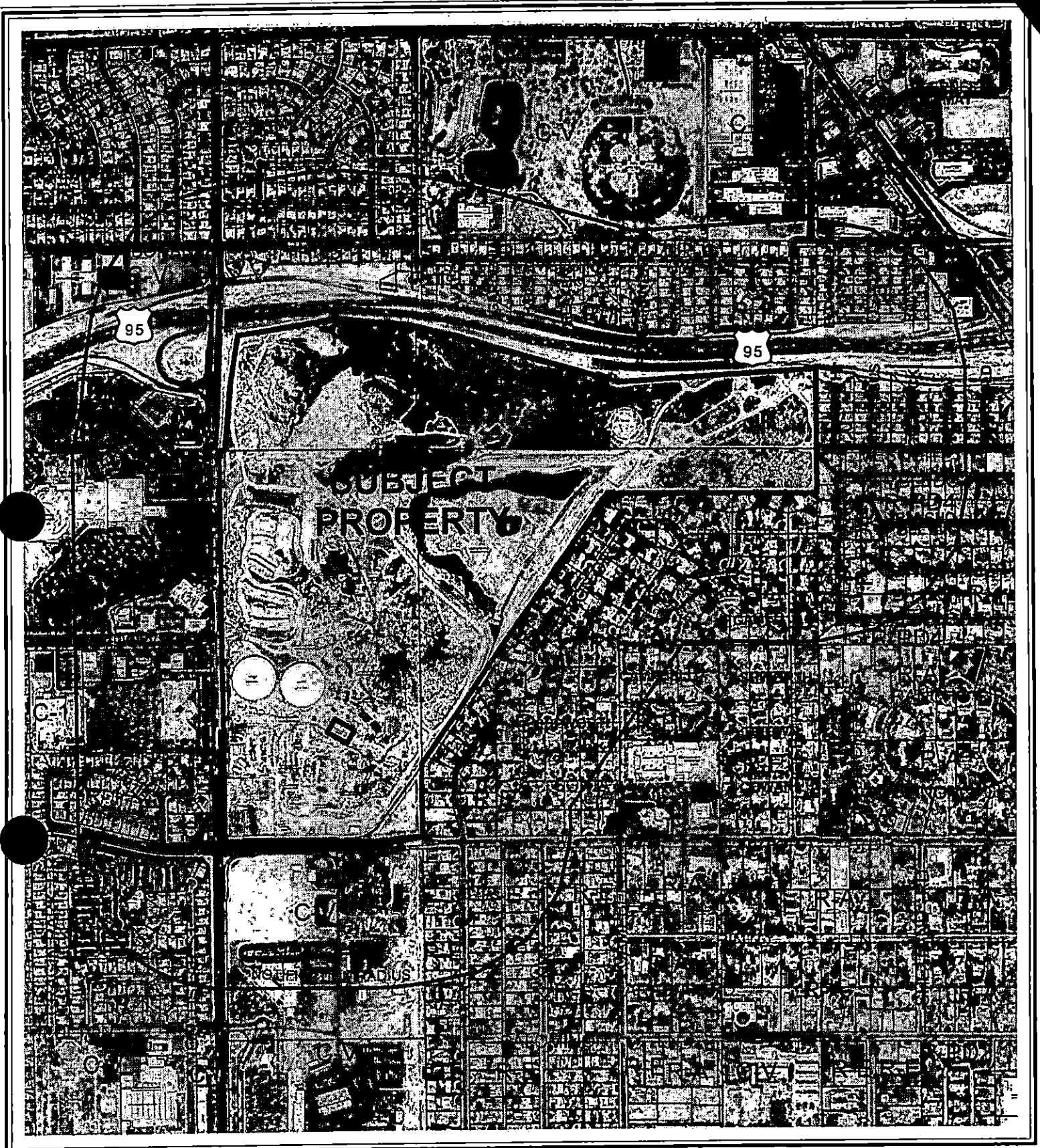
5. The proposed signs shall not be located within the public right-of-way or interfere with Site Visibility Restriction Zones. The proposed ground mounted bases shall not be located within existing or proposed public sewer or drainage easements.



CASE: **MSP-18047**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-V (CIVIC)



CASE: **MSP-18047**
RADIUS: 1000 FT
ZONING OF SUBJECT PROPERTY: C-V (CIVIC)

0 300 600 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: MSP-18047 - APPLICANT: SPRINGS PRESERVE - OWNER:
LAS VEGAS VALLEY WATER DISTRICT**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. If dynamic video display signage is proposed within any segment of the park trail, such signage shall be oriented away from the adjacent residential properties.
2. Lighting along the trail system shall be restricted to internal illumination and shall not be directed towards any adjacent residentially zoned property.
3. All street frontage signage shall have a 5-foot minimum setback from the property line.
4. Any future amendments to the Master Sign Plan that are in compliance with the requirements of Title 19.14 for the subject zoning district may be reviewed and approved administratively by the Planning and Development Department.

Public Works

5. The proposed signs shall not be located within the public right-of-way or interfere with Site Visibility Restriction Zones. The proposed ground mounted bases shall not be located within existing or proposed public sewer or drainage easements.

MSP-18047 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

The project is a request for a Master Sign Plan for an approved government facility located at 333 South Valley View Boulevard, north of Alta Drive and south of US 95.

The Master Sign Plan proposes the installation of various signage within the 180-acre Springs Preserve National Historic Site. Signage for park buildings, park entrances, parking, interpretive trail, retail shops, and other directional and interactive signage are included in this proposal. All primary open space park elements including the Visitor Center, Desert Living Center, The Cienega (desert wetland), as well as the Nevada State Museum and Historical Society will have identification signage. The signage is designed utilizing contemporary environmental themed graphics and colors, lighting, and static and dynamic video panel displays are proposed to be installed throughout the park site.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
07/01/92	The City Council approved a rezoning (Z-0026-92) to the C-V (Civic) zoning district on the subject site as part of a larger request. The Planning Commission recommended approval on 05/28/92.
03/03/93	The City Council approved a request for a Plot Plan approval [Z-0026-92(1)] of a proposed Water District office. The Planning Commission recommended approval on 02/11/93.
02/07/01	The City Council approved a request for a Site Development Plan Review [Z-0026-92(4)] of the Master Plan for a proposed 110-acre public use facility, including approximately 266,100 square feet of building area for a visitor center, interpretive center, museum, research area, garden support, and administrative offices for the Las Vegas Valley Water District. The Planning Commission recommended approval on 12/21/00.
05/02/01	The Planning and Development Department administratively approved a request for an administrative Site Development Plan Review [Z-0026-92(5)] for Phase 1, including a 26,600 square foot pumping station building, of an approved 110-acre public use facility (Las Vegas Springs Preserve) on 175.58 Acres located on the east side of Valley View Boulevard, between Alta Drive on the south and the US 95 Highway on the north.

MSP-18047 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

07/10/01	The Planning and Development Department administratively approved a request for an Administrative Site Development Plan Review [Z-0026-92(6)] for streetscape improvements generally located along Valley View Boulevard between Alta Drive and US-95, and along Alta Drive from Valley View Boulevard eastward 1,350 feet, adjacent to the subject site.
12/07/01	The Planning and Development Department administratively approved a request for an administrative Site Development Plan Review [Z-0026-92(7)] for a proposed 33,997 square-foot garden support facility consisting of five buildings located adjacent to the northeast corner of Alta Drive and Valley View Boulevard.
01/18/02	The Planning and Development Department administratively approved a request for an administrative Site Development Plan Review [Z-0026-92(8)] for a proposed 54,500 square foot desert living center consisting of four buildings located adjacent to the northeast corner of the intersection of Alta Drive and Valley View Boulevard.
01/03	The Planning and Development Department administratively approved a request for a Site Development Plan Review (SDR-1465) for a proposed 75,032 square foot visitor's center in conjunction with the Las Vegas Springs Preserve.
06/12/03	The Planning and Development Department administratively approved a Site Development Plan Review (SDR-2258) for trails, canopies, armadas, an interpretive pavilion and displays in conjunction with the Las Vegas Springs Preserve, located adjacent to the northeast corner of the intersection of Alta Drive and Valley View Boulevard.

Pre-Application Meeting	
10/19/06	A Pre-application meeting was held with the applicant. The applicant was advised of the application submittal requirements including sign elevations and material specifications.
Neighborhood Meeting	
A neighborhood meeting is not required for this type of application.	

Details of Application Request	
Site Area	
Gross Acres	175.58 (total site area)
Net Acres	17.6 (area of trails project)

MSP-18047 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Las Vegas Springs Preserve	PF (Public Facilities)	C-V (Civic)
North	US 95 Single Family Dwellings	L (Low Density Residential)	R-1 (Single Family Residential)
South	Las Vegas Valley Water District yards	PF (Public Facilities)	C-V (Civic)
East	Single Family Dwellings	DR (Desert Rural Density Residential)	R-E (Residence Estates)
West	Meadows Shopping Center Single Family Dwellings	SC (Service Commercial) L (Low Density Residential)	C-1 (Limited Commercial) R-1 (Single Family Residential)

DEVELOPMENT STANDARDS

General Plan Compliance

This site is located on the Southeast Sector Map of the General Plan. On this map, the site is designated as being within the PF (Public Facilities) land use designation. The existing C-V (Civic) zoning district is an appropriate zoning district within the PF (Public Facilities) land use designation. The proposed development associated with the Las Vegas Springs Preserve project is appropriate within the C-V (Civic) zoning district as the Las Vegas Valley Water District will operate this facility.

<i>SPECIAL DISTRICTS/ZONES</i>		
Special Area Plan	Yes	No
Redevelopment Plan Area	X	
Rancho Charleston Land Use Study	X	
Historic Site; Big Springs/Las Vegas Springs	X	
Special Overlay District		
Airport Overlay District	X	
Rancho/Charleston Study Area	X	
Rural Preservation Overlay District		X
Trails	X	
Development Impact Notification Assessment		X
Project of Regional Significance		X

MSP-18047 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

MASTER SIGN PLAN REQUIREMENTS

MASTER SIGN PLAN REQUIREMENTS FOR ON-PREMISE SIGNAGE		
THRESHOLD	YES	NO
Non-Residential project with a site larger than 15 net acres	X	
Non-Restricted Gaming Establishment		X
To establish the requirements/limitations for signs located in the Gaming and Downtown Overlay Districts, and any uses not required elsewhere in 19.14 located in the "Planned Community" and "Planned Development" Districts		X
To establish requirements/limitations for signs in a specific development	X	

ANALYSIS

Zoning Code Compliance

A) Development Standards

In accordance with Title 19.06.020, the development standards for projects within the C-V (Civic) zoning district are set forth in the Site Development Plan for that project. These standards have been established through the approval of previous applications relevant to this project. In this instance, the application is concerned with signage for park structures, trails, parking, park entrances, and other park facilities that will assist with the public's use and navigation of interpretive trails located throughout the site. The proposal complies with all previously established and approved standards and meets the requirements for Master Sign Plans.

B) General Analysis and Discussion

- Zoning***

The site is located within the C-V (Civic) zoning district. The proposed use is compatible with this zoning district. The project will conform to Title 19.14 Sign Standards for the civic district.

MSP-18047 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

- **Site Plan and Sign Specifications – Perimeter Signs**

Pursuant to Title 19.14, the following Sign Standards apply to the subject proposal:

Freestanding Signs: Pre-Entrance Marquee - 1.1.2 (#3, 4, 5, 132, 133)

Standards	Allowed	Provided
Maximum Number	1 per street frontage	5 total*
Maximum Area	48 SF	14.85 SF
Maximum Height	12 Feet	13 Feet *
Minimum Setback	5 Feet	Not indicated
Illumination	Internal, external	Internal

The proposed five freestanding signs along Valley View Boulevard do not meet Title 19.14 Sign Standards for the maximum number of freestanding signs permitted along a street frontage. The standards allow only one sign along a street frontage where the proposal shows five. However, per Title 19.14 Condition of Approval for a Master Sign Plan, all signs shall either conform to all standards for the zoning district in which the sign will be located, under Section 19.14.060, or establish the sign requirements and limitations consistent with the standards and criteria set forth in the follow subparagraphs (b) through (g). The signs meet all the criteria set forth in subparagraphs (b) through (g); therefore, staff recommends approval of this deviation.

Monument Sign: Entrance Marquee - 1.1.1 (#1, 2)

Standards	Allowed	Provided
Maximum Number	1 per street frontage	2 total*
Maximum Area	75 SF	65.7 SF
Maximum Height	10 Feet	8.5 Feet
Minimum Setback	5 Feet	20 SF
Illumination	Internal, external	Internal

The proposed two monument signs along Valley View Boulevard do not meet Title 19.14 Sign Standards for the maximum number monument signs permitted along a street frontage. The standards allow only one sign along a street frontage where the proposal shows two. However, per Title 19.14 Condition of Approval for a Master Sign Plan, all signs shall either conform to all standards for the zoning district in which the sign will be located, under Section 19.14.060, or establish the sign requirements and limitations consistent with the standards and criteria set forth in the follow subparagraphs (b) through (g). The signs meet all the criteria set forth in subparagraphs (b) through (g); therefore, staff recommends approval of this deviation.

MSP-18047 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

Incidental Directional Sign: Non-public – 2.3 (#44, 49)

Standards	Allowed	Provided
Maximum Number	Two per driveway	1 total
Maximum Area	12 SF	3 SF
Maximum Height	7 Feet	9 Feet*
Minimum Setback	5 Feet	Not provided
Illumination	Internal	None

Incidental Directional Sign: Minor directional – 3.2 (#1)

Standards	Allowed	Provided
Maximum Number	Two per driveway	No driveway
Maximum Area	12 SF	3 SF
Maximum Height	7 Feet	8.5 Feet*
Minimum Setback	5 Feet	Not provided
Illumination	Internal	None

Incidental Directional Sign: Emergency Vehicle Access – 6.1 (#1)

Standards	Allowed	Provided
Maximum Number	Two per driveway	One driveway
Maximum Area	12 SF	3 SF
Maximum Height	7 Feet	9 Feet*
Minimum Setback	5 Feet	Not provided
Illumination	Internal	None

MSP-18047 - Staff Report Page Seven
December 21, 2006 - Planning Commission Meeting

- Site Plan and Sign Specifications

SIGN	SHEET	TITLE 19	#	Height (ft)	Area (sf)	Illumination
Pre-Entrance Marquee	1.1.1	Freestanding	5	13	14.9	Internal
Entrance Marquee	1.1.2	Monument Signs	2	8.5	65.7	Internal
Wall Mount	1.2.1	Wall Signs	53	5	1.5	None
Ground-Mounted	1.2.2	Monument Signs	16	9	3	None
Major Building Identification	1.3.1	Monument Signs	3	3.5	10.7	Internal
Minor Building Identification	1.3.2	Wall Signs	7	5	2.9	Internal
Parking Zone ID	1.4.1	Freestanding	28	12	8	None
Mounted Parking Zone ID	1.4.2	Freestanding	20	12	8	None
Regulatory & Accessible Parking ID	1.4.3	Incidental (Directional)	5	8.5	1.5	None
Major Street Directional	2.1	Incidental (Directional)	14	5.4	11	None
Minor Street Directional	2.2	Incidental (Directional)	7	4.5	2.7	None
Non-Public Facility Sign	2.3	Incidental (Directional)	21	9	3	None
Traffic Signs	2.4	Incidental (Directional)	11	NA	NA	None
Major Path & Walkway Directions	3.1	Freestanding	2	8.5	7.1	Internal
Minor Path & Walkway Directions	3.2	Incidental (Directional)	13	8.5	3	Internal
Wall-Mounted Building Directionals	4.1	Wall Signs	28	5	1.1	None
Code-Required Building Signs	4.2	Wall Signs	34	5	3	Internal
Static Directory	5.1	Freestanding	2	8.1	9.1	Internal
Dynamic Directory	5.2	Freestanding	1	7.9	25	Digital (Plasma), Internal
Wall-mounted Dynamic Directory	5.3	Wall Signs	2	5	24.6	Digital (Plasma)
Emergency Vehicle Access	6.1	Incidental (Directional)	6	9	3	None
Emergency Pedestrian Access	6.2	Wall Signs	38	5	.8	None

MSP-18047 - Staff Report Page Eight
December 21, 2006 - Planning Commission Meeting

The site plan and signage specifications depict the proposed locations and design of various park facility identification and directional signage. The site plan contains approximately 6,500 feet of trails that loop within the Las Vegas Springs Preserve site, linking a number of interpretive stations, displays, pavilions and armadas, historic sites museum, visitor center, and demonstration gardens. The sign specifications include the use of modern graphics and colors.

- Elevations

The structures proposed as part of this application will be constructed using various modern designed steel and metallic fixtures with contemporary color schemes and environmental graphics.

- Residential Protection Standards

The proposal includes interior illuminated signage that will comply with Title 19 Sign Standards for residential adjacency. Tubular internal fluorescent lighting is proposed for monument signage along street frontages and the trailheads. In addition, the applicant is considering future use of video panel technology for dynamic information displays to be located within the Visitor Center, demonstration Garden Theater, and Desert Living Center.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

27

ASSEMBLY DISTRICT 6

SENATE DISTRICT 3

NOTICES MAILED 742

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **MSP-18047** APN: **139.31.602.003** **139.29.401.001**
139.30.804.001 **139.32.101.001**

Name of Property Owner: **LAS VEGAS VALLEY WATER DISTRICT**

Name of Applicant: **FRANCIS BELAND**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

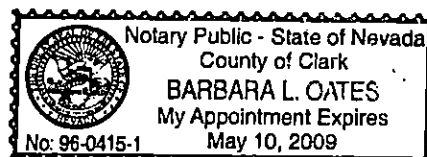
Signature of Property Owner: *P. Mulroy*

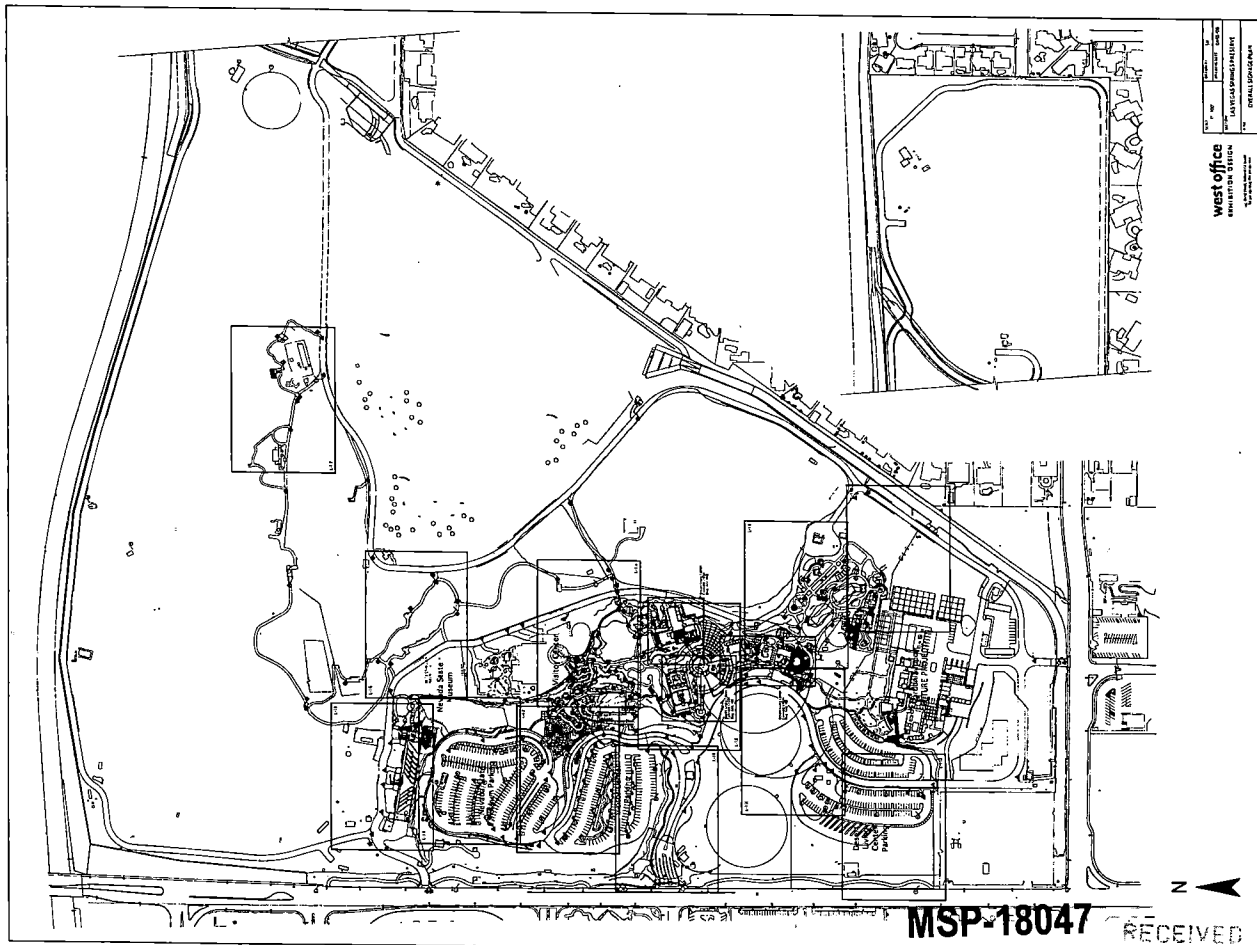
Print Name: Patricia Mulroy

Subscribed and sworn before me

This 6th day of November, 2006

Barbara L. Oates
Notary Public in and for said County and State





DATE	NOV 15 2006
BY	WEST OFFICE
PROJECT	18047
DESCRIPTION	LANDSCAPE ARCHITECTURE
SCALE	1" = 100'
REVISIONS	

west office
ARCHITECTS & LANDSCAPE ARCHITECTS
1000 15TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 303.733.1000
WWW.WESTOFFICE.COM

MSP-18047

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12/21/06 PC

NOV 07 2006

12/21/06 PC

C1036
CONTRACT NUMBER

DESIGN NUMBER: A100
SHEET: 101 OF 111

DATE: 06/17/03
DESIGNED BY: J. S. SANCHEZ
CHECKED BY: J. S. SANCHEZ
APPROVED BY: J. S. SANCHEZ
ARCHITECT: J. S. SANCHEZ
SCALE: AS SHOWN

KEY PLAN

CONCRETE
STAINLESS STEEL
STEEL
WOOD
GLASS
PAINT
FLOORING
MECHANICAL
ELECTRICAL
PLUMBING
FINISHES

MATERIAL LEGEND

CONCRETE
STAINLESS STEEL
STEEL
WOOD
GLASS
PAINT
FLOORING
MECHANICAL
ELECTRICAL
PLUMBING
FINISHES

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.

5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES.

6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SAFETY MEASURES AND BARRIERS.

7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDING AND DOCUMENTATION.

8. THE CONTRACTOR SHALL MAINTAIN ADEQUATE COMMUNICATION WITH THE ARCHITECT.

9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE QUALITY CONTROL MEASURES.

10. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SCHEDULING AND TIMELINE.

11. THE CONTRACTOR SHALL MAINTAIN ADEQUATE BUDGET AND COST CONTROL.

12. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RISK MANAGEMENT.

13. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ENVIRONMENTAL PROTECTION.

14. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SOCIAL RESPONSIBILITY.

15. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ETHICAL STANDARDS.

16. THE CONTRACTOR SHALL MAINTAIN ADEQUATE LEGAL COMPLIANCE.

17. THE CONTRACTOR SHALL MAINTAIN ADEQUATE REPUTATION MANAGEMENT.

18. THE CONTRACTOR SHALL MAINTAIN ADEQUATE CUSTOMER SATISFACTION.

19. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EMPLOYEE WELFARE.

20. THE CONTRACTOR SHALL MAINTAIN ADEQUATE COMMUNITY ENGAGEMENT.

CONCRETE WALL NOTES

1. ALL CONCRETE WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.

2. ALL CONCRETE WALLS SHALL BE CAST IN PLACE.

3. ALL CONCRETE WALLS SHALL BE FINISHED WITH A 1/2" THICK PLASTER OR STUCCO.

4. ALL CONCRETE WALLS SHALL BE PAINTED WITH A 2 COAT SYSTEM.

5. ALL CONCRETE WALLS SHALL BE PROTECTED FROM CORROSION.

6. ALL CONCRETE WALLS SHALL BE MAINTAINED IN GOOD CONDITION.

7. ALL CONCRETE WALLS SHALL BE REPAIRED AS NEEDED.

8. ALL CONCRETE WALLS SHALL BE DEMOLISHED AS NEEDED.

9. ALL CONCRETE WALLS SHALL BE RECONSTRUCTED AS NEEDED.

10. ALL CONCRETE WALLS SHALL BE REINFORCED AS NEEDED.

11. ALL CONCRETE WALLS SHALL BE CURED PROPERLY.

12. ALL CONCRETE WALLS SHALL BE TESTED FOR STRENGTH.

13. ALL CONCRETE WALLS SHALL BE INSPECTED FOR DEFECTS.

14. ALL CONCRETE WALLS SHALL BE DOCUMENTED.

15. ALL CONCRETE WALLS SHALL BE MAINTAINED.

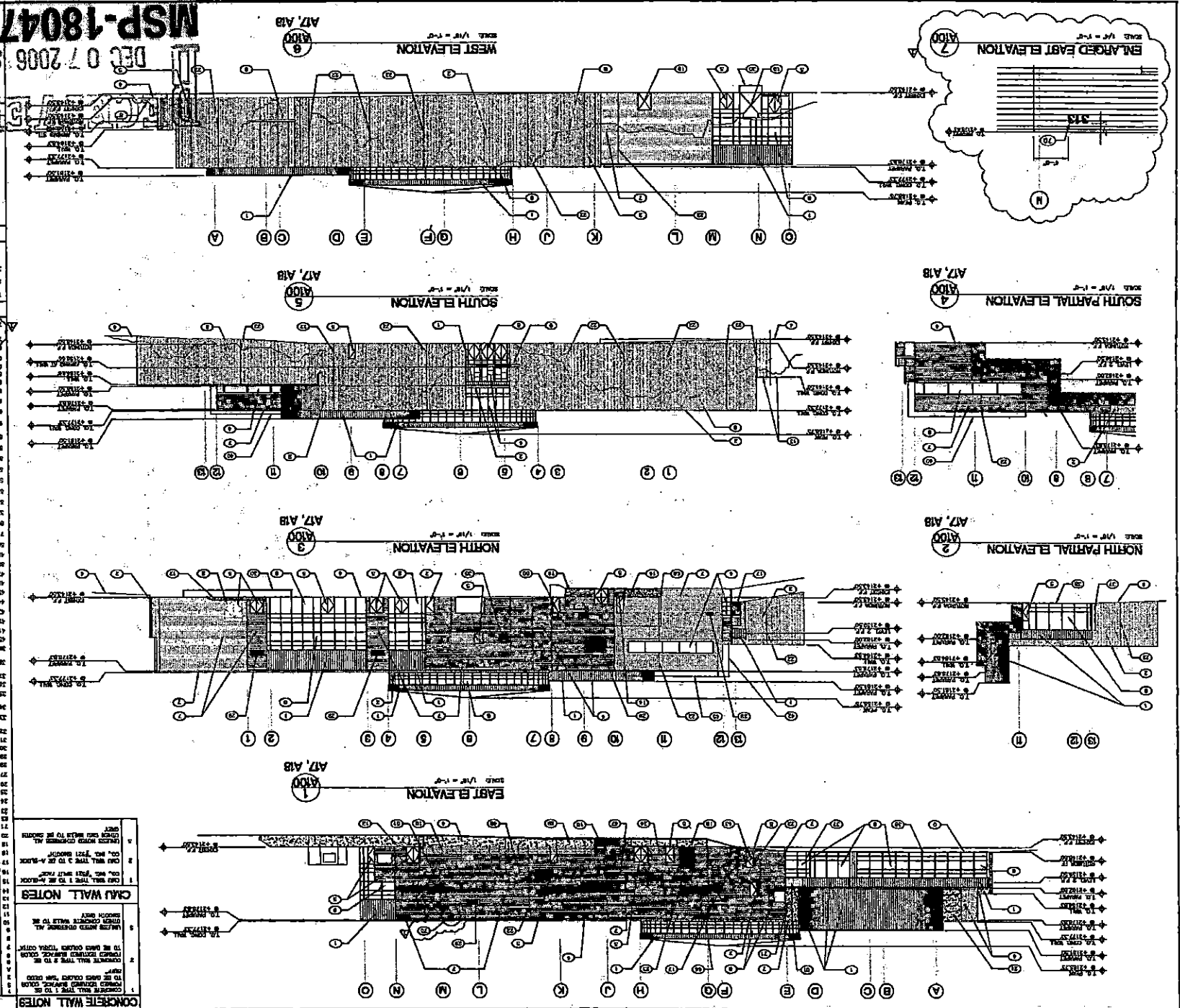
16. ALL CONCRETE WALLS SHALL BE PROTECTED.

17. ALL CONCRETE WALLS SHALL BE REPAIRED.

18. ALL CONCRETE WALLS SHALL BE DEMOLISHED.

19. ALL CONCRETE WALLS SHALL BE RECONSTRUCTED.

20. ALL CONCRETE WALLS SHALL BE REINFORCED.



LAS VEGAS SPRINGS PRESERVE

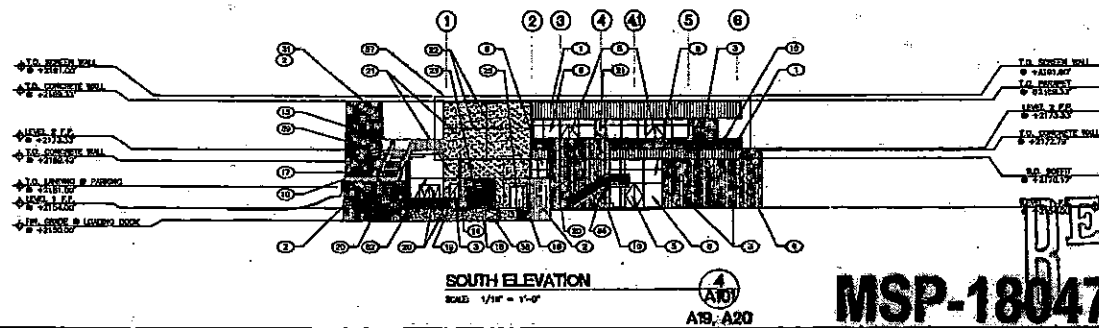
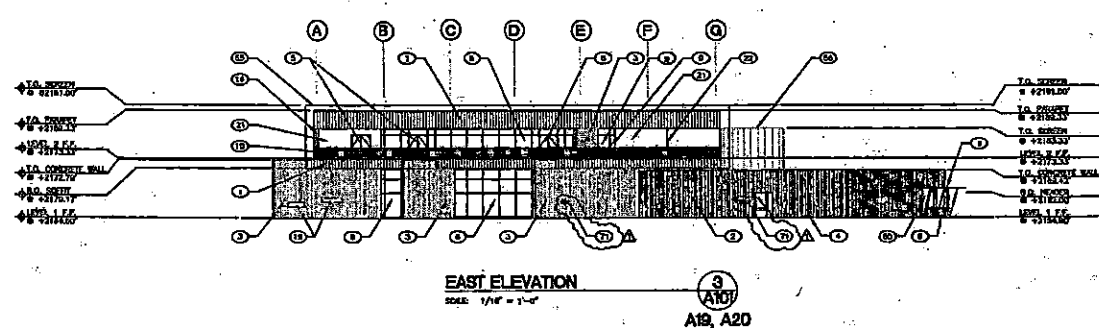
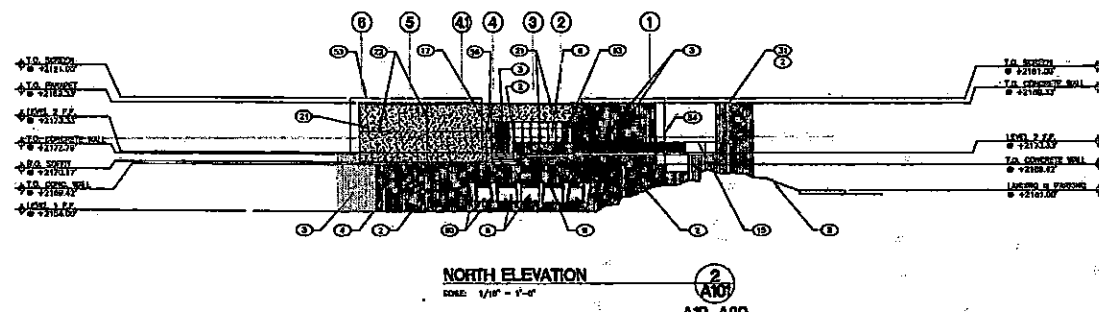
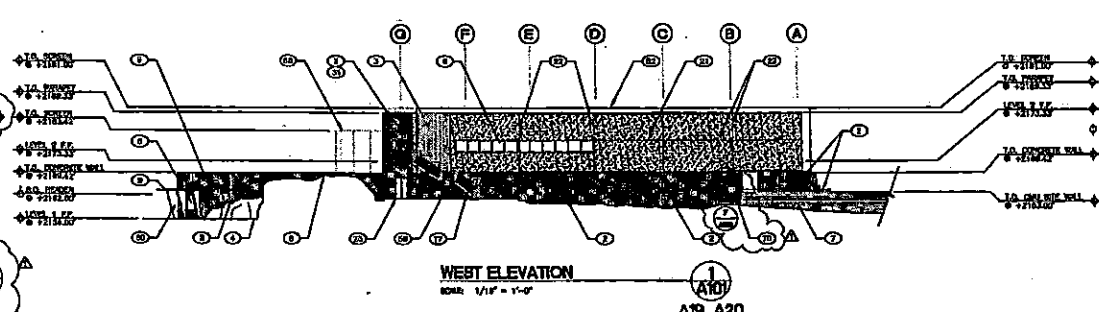
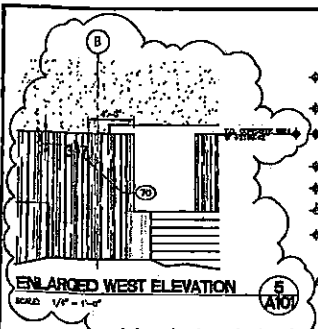
BUILDING ONE

VISITOR CENTER

OVERALL EXTERIOR ELEVATIONS

VERIFY SCALE

LAS VEGAS VALLEY WATER DISTRICT



- CONCRETE WALL NOTES**
1. CONCRETE WALL TYPE 1 TO BE FORMED FINISHED SURFACE, COLOR TO BE GRAY COLORED "TAN DECOR" COAT
 2. CONCRETE WALL TYPE 2 TO BE FORMED FINISHED SURFACE, COLOR TO BE GRAY COLORED "TAN DECOR" COAT
 3. UNLESS NOTED OTHERWISE ALL OTHER CONCRETE WALLS TO BE MATCHED ONLY
- CMU WALL NOTES**
1. CMU WALL TYPE 1 TO BE A-CURVE CO., INC. "TAN" SPLIT FACE
 2. CMU WALL TYPE 2 TO BE A-CURVE CO., INC. "TAN" SPLIT FACE
 3. UNLESS NOTED OTHERWISE ALL OTHER CMU WALLS TO BE MATCHED ONLY

- KEYNOTES**
1. STEEL BEAM
 2. CONCRETE WALL TYPE 1
 3. CONCRETE WALL TYPE 2
 4. LINE OF FINISH CONCRETE
 5. LINE OF FINISH CONCRETE
 6. CMU TYPE 1
 7. LINE OF FINISH CONCRETE
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 97. FINISH CONCRETE
 98. FINISH CONCRETE
 99. FINISH CONCRETE
 100. FINISH CONCRETE

- GENERAL NOTES**
1. SEE STRUCTURAL DRAWINGS FOR FINISH CONCRETE TO WALL FOR ENLARGED ELEVATIONS, SEE KEYNOTES
 2. SEE STRUCTURAL DRAWINGS FOR FINISH CONCRETE TO WALL FOR ENLARGED ELEVATIONS, SEE KEYNOTES
 3. SEE STRUCTURAL DRAWINGS FOR FINISH CONCRETE TO WALL FOR ENLARGED ELEVATIONS, SEE KEYNOTES
- MATERIAL LEGEND**
- STEEL BEAM
 - CMU
 - CONCRETE
 - REINFORCED CONCRETE
 - CEMENT PLASTER
 - PERFORATED METAL
- KEY PLAN**
-

LAS VEGAS VALLEY WATER DISTRICT

LAS VEGAS SPRINGS PRESERVE VISITOR CENTER

BUILDING TWO OVERALL EXTERIOR ELEVATIONS

VERIFY SCALE

CONTRACT NUMBER
C1036

DRAWING NUMBER
A101

SHEET
302 OF 311

DATE
08/17/03

DESIGNED BY
J. L. LUTHER

CHECKED BY
J. L. LUTHER

APPROVED BY
J. L. LUTHER

DATE
08/17/03

DESIGNED BY
J. L. LUTHER

CHECKED BY
J. L. LUTHER

APPROVED BY
J. L. LUTHER

DATE
08/17/03

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DEC 07 2006

12/21/06 PC

WEST OFFICE EXHIBITION DESIGN
225 Third St. 3rd Floor CA 94607 Tel: 415 391-1622 Fax: 415 391-5312

PRATT & HERBOLD Signage Standards

MAY 2006

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Graphic Standards

- G-1 Typography
- G-2 Graphic Elements
- G-3 Colors and Symbols

Signage Location

- L-1 Map (Overall Signage Map attached)
- L-2 Signage Schedule

Signage Hierarchy

1 IDENTIFICATION

1.1 SITE ENTRANCE SIGNS

- S-1.1 1.1.1 Pre-Entrance Marquee. Located along Valley View Blvd. identifies entrance location and provides directional guidance to motorists and pedestrians.
Max sq. footage = 40 sq. ft.
- S-2.1 1.1.2 Entrance Marquee. Located on each side of the Springs Preserve main entrance.
Max sq. footage = 90 sq. ft.

1.2 FACILITY SIGNS – NON PUBLIC

- S-3.1 1.2.1 Wall-Mounted. Facility maintenance and employee entrances.
Max sq. footage = 15 sq. ft.
- 1.2.2 Ground-Mounted. Walkways, restrooms, gift shop, and information kiosk.
Max sq. footage = 6 sq. ft.

1.3 BUILDING IDENTIFICATION SIGNS

- S-4.1 1.3.1 Major Buildings. Large ground-mounted signs located at the entrance to each of the Springs Preserve facilities.
Max sq. footage = 90 sq. ft.
- S-5.1 1.3.2 Minor Buildings. Smaller, wall-mounted signs located on exterior walls of theaters, meeting rooms, and exhibit buildings.
Max sq. footage = 6 sq. ft.

1.4 PARKING AREA SIGNS

- S-6.1 1.4.1 Parking Zone IDs. Large zone markers located in public parking areas intended to help visitors remember where they parked.
Max sq. footage = 9 sq. ft.
- S-6.1 1.4.2 Mounted Parking Zone IDs. Large zone markers located in public parking areas intended to help visitors remember where they parked.
Max sq. footage = 6 sq. ft.
- S-7.1 1.4.3 Regulatory & Accessible Parking Space IDs. Permitted to permit accessible parking spaces and provide Springs Preserve building signage.
Max sq. footage = 6 sq. ft.

2 DIRECTIONAL – STREET

- S-8.1 2.1 Major Directional Signs (2 + arrows). Located at major intersections and along thoroughfares to provide motorists and pedestrians direction at all intersections and decision points within the Springs Preserve site.
Max sq. footage = 20 sq. ft.
- 2.2 Minor Directional Signs (single arrow). Located at minor intersections and along thoroughfares to provide motorists and pedestrians direction at all intersections and decision points within the Springs Preserve site.
- S-9.1 2.3 Facility Signs – non public. Used to direct non-public access along interior facility roads.
Max sq. footage = 2 sq. ft.
- 2.4 Traffic Signs. Used to mark speed limit and pedestrian crossings along all public and non-public thoroughfares.
Max sq. footage = 8 sq. ft.

3 DIRECTIONAL – PATHS AND WALKWAYS

- S-10.1 3.1 Major Directional Signs (2 + arrows). Located along walkways and/or path intersections to provide visitors direction to all major destinations within the Springs Preserve.
Max sq. footage = 24 sq. ft.
- 3.2 Minor Directional Signs. Located along walkways and/or path intersections to provide visitors direction to all major destinations within the Springs Preserve.
Max sq. footage = 18 sq. ft.

4 DIRECTIONAL – BUILDINGS

- S-11.1 4.1 Wall-Mounted Signs. Intended for room identification and general information.
Max sq. footage = 4 sq. ft.
- 4.2 Code-Required Signs. Perform regulatory functions, including restroom, first aid and non-smoking designations.
Max sq. footage = 2 sq. ft.

5 ORIENTATION AND INFORMATION

- S-12.1 5.1 Directory – static. Located in the Orientation Plaza at the entrance to each of the facilities and at major walkway intersections. Intended to orient the visitor and provide directional assistance to all major destinations within the Springs Preserve.
Max sq. footage = 12 sq. ft.
- S-13.1 5.2 Directory – dynamic. Feature a large plasma screen and are networked together to provide visitors with hourly updates of events within the site. Also provide static directional information for visitor orientation.
Max sq. footage = 90 sq. ft.
- S-14.1 5.3 Directory – wall-mounted dynamic. Feature a large plasma screen for interior applications and are networked together to provide visitors with hourly updates of events within the site. Also provide static directional information for visitor orientation.
Max sq. footage = 40 sq. ft.

6 EMERGENCY

- S-15.1 6.1 Vehicle Access. Located along Valley View Blvd. and within the site to direct emergency vehicles to the and emergency access lanes.
Max sq. footage = 20 sq. ft.
- 6.2 Pedestrian Emergency Access. Provide the public directional along walkways to emergency access routes.
Max sq. footage = 2 sq. ft.

Any sign modifications or additional signs will comply with the sign heights and area dimensions per the West Office Exhibition Design company documents of the submittal and will be administratively reviewed and approved by City of Las Vegas Planning and Zoning staff.

DATE May 2006	
PROJECT Springs Preserve Signage Standards	
SHEET 0.0	
TABLE OF CONTENTS	
WEST OFFICE EXHIBITION DESIGN 2255 South Las Vegas Boulevard, Suite 200, Las Vegas, NV 89102 Tel: 702.255.5555 Fax: 702.255.5555	

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MAY 6 - 2006

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Humanist 521 bold CAPS

ABCDEFGHIJMN
OPQRSTUVWXYZ
1234567890

Humanist 521 roman

ABCDEFGHIJMN
OPQRSTUVWXYZ
1234567890

Signature headline and Signage typeface: Humanist 521

RECEIVED
MAY 11 2006

MSP-18047
12/21/06 PC

DATE May 2006	WEST OFFICE EXHIBITION DESIGN 225 Third St. Oakland CA 94607 ☎ 510 251-9633 © 510 251-9212
PROJECT Springs Preserve Signage Standards	
SHEET G-1	
GRAPHIC STANDARDS: TYPOGRAPHY Part of the Springs Preserve brand identity developed by Diesel.	

TEXTURE APPLICATION

Texture applications

Vectorial shapes must be used in printed material that combines text and photos. With signage, 3D applications, or when it stands alone, texturised shapes must be used. The texture colour is a duotone combination of 381C and 1 other colour from the palette.

PMS 381C + 388C



PMS 173C + 1548C



PMS 385C + 3803C



PMS 5503C + 7534C



DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
G-2

GRAPHIC STANDARDS:
SHAPES AND GRAPHIC
ELEMENTS

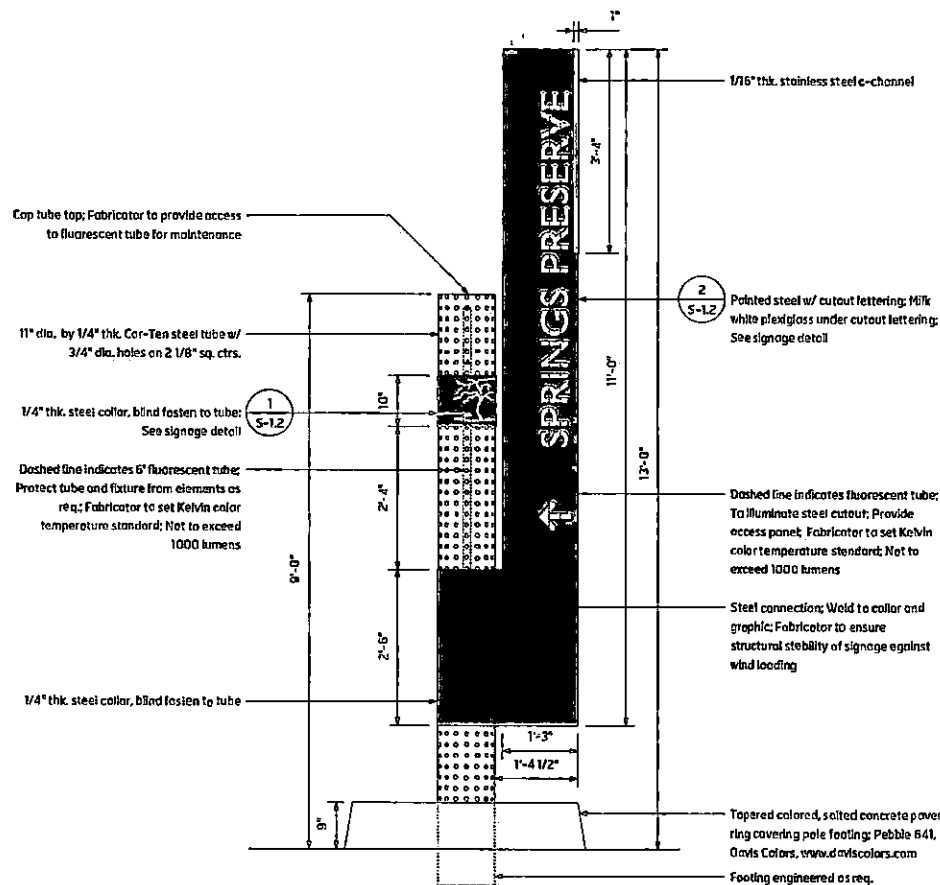
Part of the Springs Preserve
brand identity developed by
Diesel. This page excerpted
from Diesel's graphic standards.

NOTE: Final graphics to
be provided by client.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9537 ✉ SIO 251-9212

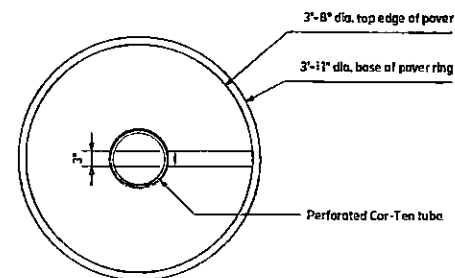
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12/21/06 PC



18 Pre Entrance Marquee - Front Elevation
Scale: 1/2" = 1'-0"

1
S-1.1



18 Pre Entrance Marquee - Plan
Scale: 1/2" = 1'-0"

2
S-1.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-1.1

SIGN TYPE 1.1.1
PRE ENTRANCE MARQUEE
Located along Valley View Blvd.,
identifies entrance location and
provides directional guidance to
motorists and pedestrians.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607
510 251-3633
510 251-9212

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NOV 07 2006

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12/21/06 PC

General Colors

Refer to Pantone Matching System Coated Inks

All color specs in this document subject to adjustment pending approval of actual materials



[PMS 1545C]

[PMS 385C]

[PMS 166C]

Area Colors

Visitor Center



[PMS 7534C]



[PMS 5503C + 7534C]



Desert Living Center



[PMS 173C]



[PMS 1545C + 173C]



Trails
Garden Support



[PMS 381C]



[PMS 385C + 381C]



Pump House



[PMS 5503C]



[PMS 385C + 5503C]



Area Logos

Arrows

Typeface: FF Dingbats Arrows One



Selected Pictograms



DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
G-3

GRAPHIC STANDARDS:
COLORS AND SYMBOLS

WEST OFFICE EXHIBITION DESIGN
225 Third St. Del Norte CA 94507 ☎ 510 251-9833 ✉ 510 251-9212

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12/21/06 PC



SPRINGS PRESERVE LOGO
Silkscreen, match PMS166C on white,
matte finish

ID Pre Entrance Marquee - Graphic Layout 1
Scale: 3" = 1'-0"

1
S-1.2



Painted, match PMS 385C, matte finish

Letters cut out with milk white plexiglass
underneath; Backlit
TYPE: Humanist 521 bold CAPS

Arrow cut out with milk white plexiglass
underneath; Backlit
TYPE: FF Dinbats Arrows One

BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
to wrap around fin and collar and should be
positioned so as not to impair type legibility

Painted, match PMS 385C, matte finish; Darken
and texture foreground color as required to
achieve effect shown

ID Pre Entrance Marquee - Graphic Layout 2
Scale: 3/4" = 1'-0"

2
S-1.2

DATE
May 2006

PROJECT
Spirings Preserve
Signage Standards

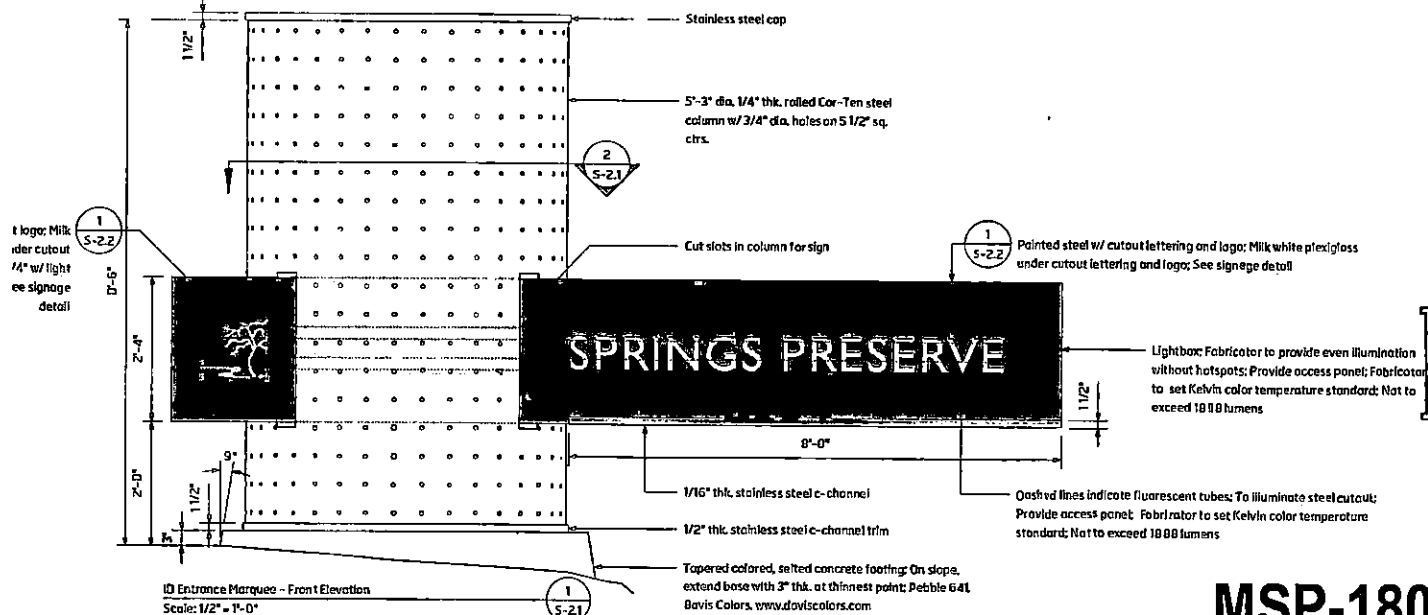
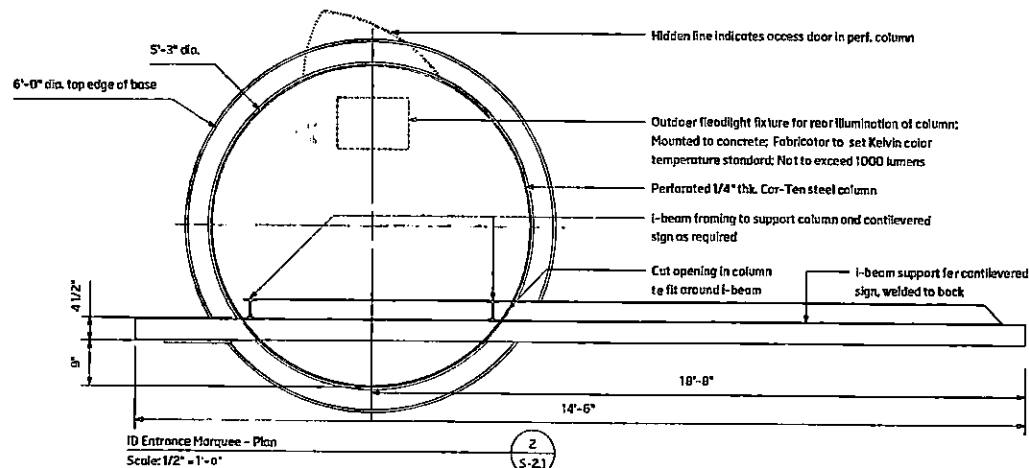
SHEET
S-1.2

SIGN TYPE 1.1.1
PRE ENTRANCE MARQUEE
Located along Valley View Blvd.,
identifies entrance location and
provides directional guidance to
motorists and pedestrians.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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NOV 07 2006

MSP-18047
12/21/06 PC



DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

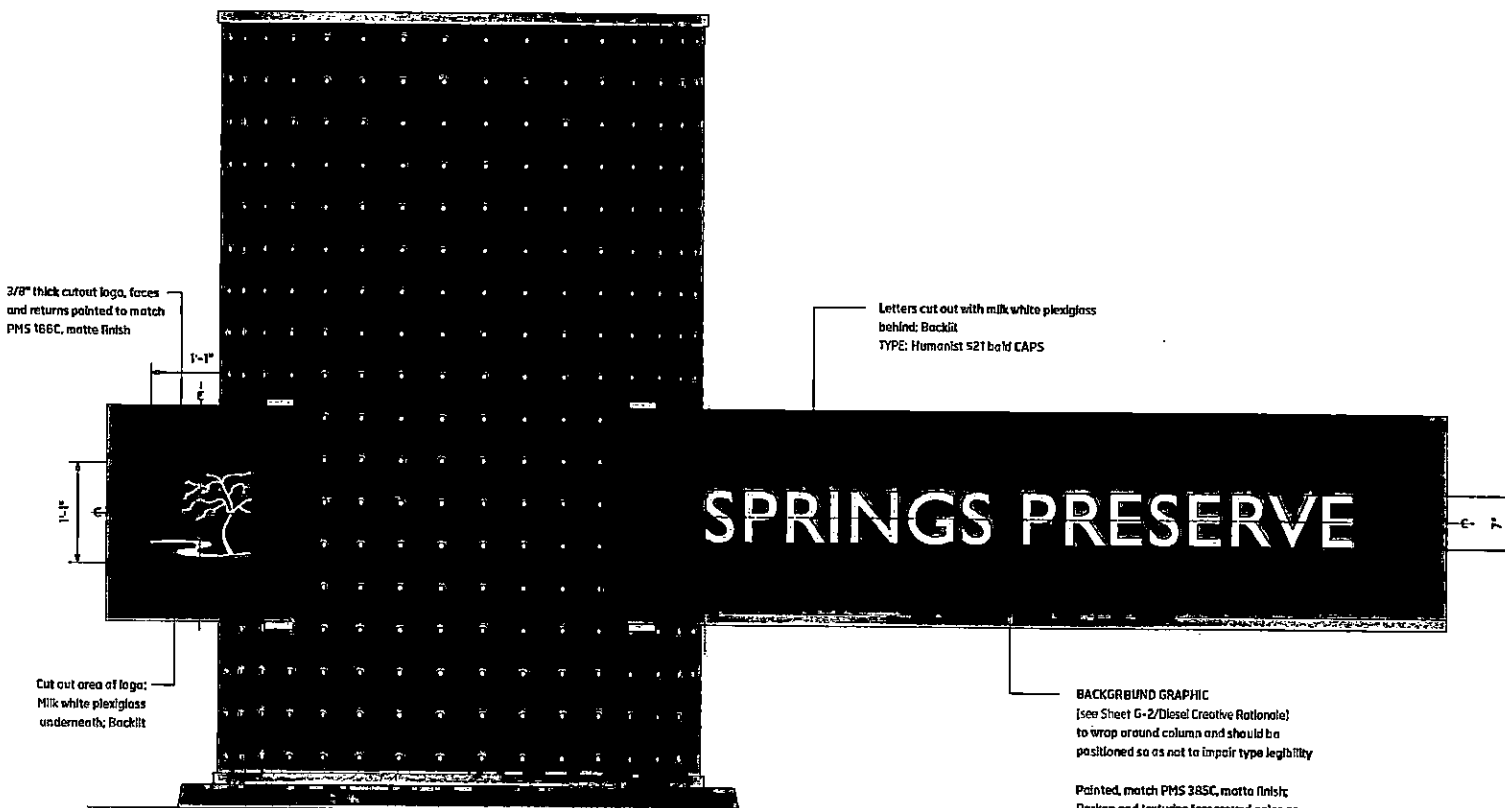
SHEET
S-2.1

SIGN TYPE ● L1.2
ENTRANCE MARQUEE
Located on each side of the
Springs Preserve main entrance.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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NOV 07 2006

MSP-18047
12/21/06 PC



3/8" thick cutout logo, faces
and returns painted to match
PMS 186C, matte finish

Letters cut out with milk white plexiglass
behind: Backlit
TYPE: Humanist 521 bold CAPS

Cut out area of logo;
Milk white plexiglass
underneath; Backlit

BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
to wrap around column and should be
positioned so as not to impair type legibility

Painted, match PMS 385C, matte finish
Darken and texture foreground color as
required to achieve effect shown

ID Entrance Marquee - Graphic Layout
Scale: 3/4" = 1'-0"

1
S-2.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

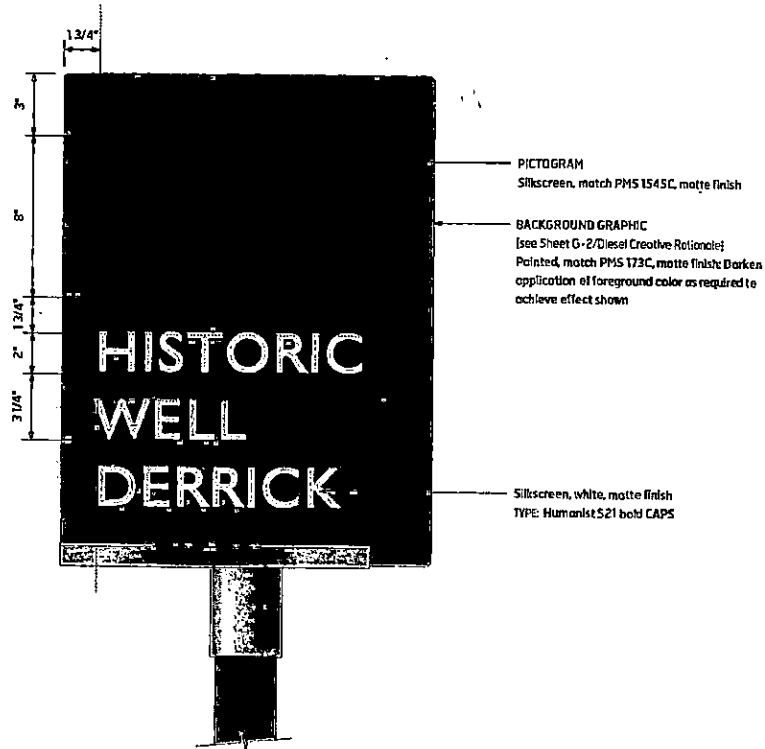
SHEET
S-2.2

SIGN TYPE 1.1.2
ENTRANCE MARQUEE
Located on each side of the
Springs Preserve main entrance.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 231-9533 ✉ 510 231-9222

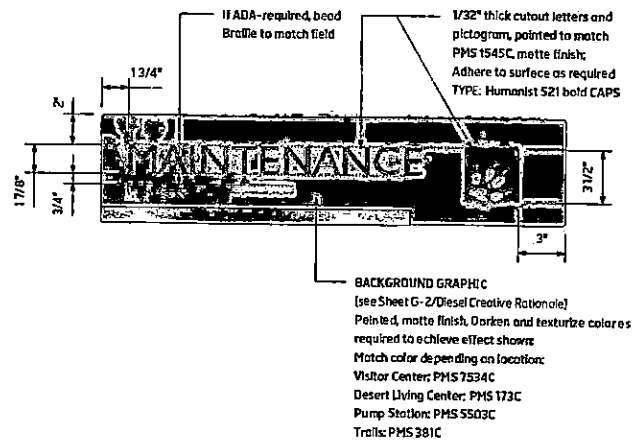
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MSP-18047
12/21/06 PC



Ground Mounted Sign - Graphic Layout
Scale: 2" = 1'-0"

1
S-3.2



Wall Mounted Sign - Graphic Layout
Scale: 1 1/2" = 1'-0"

2
S-3.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-3.2

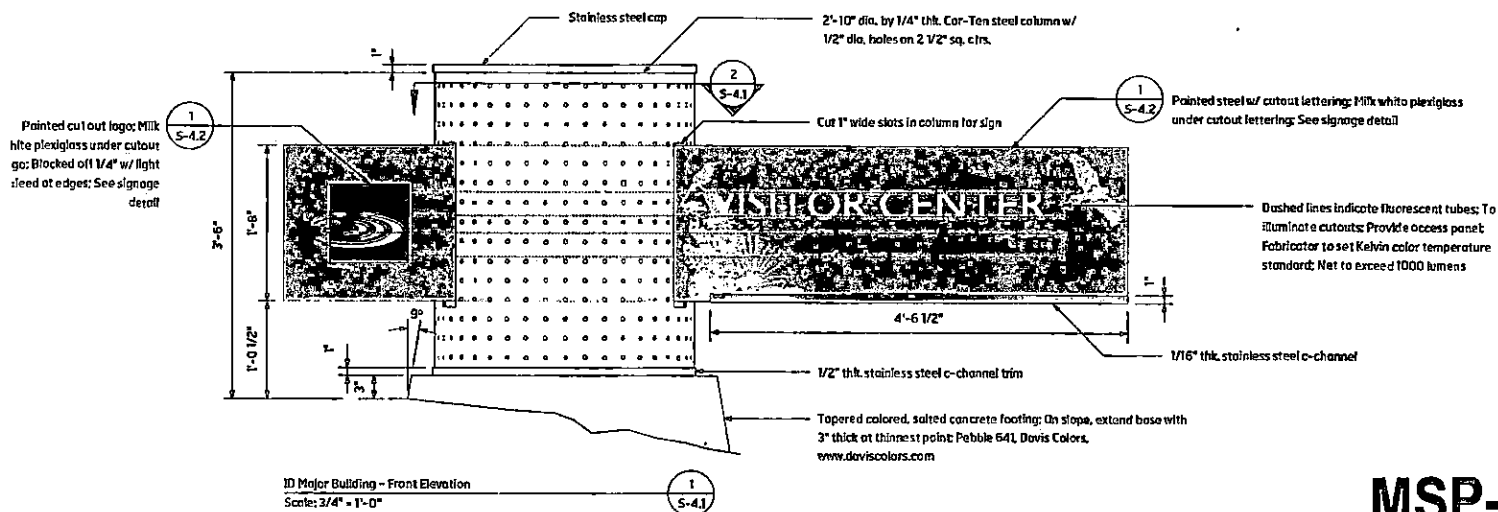
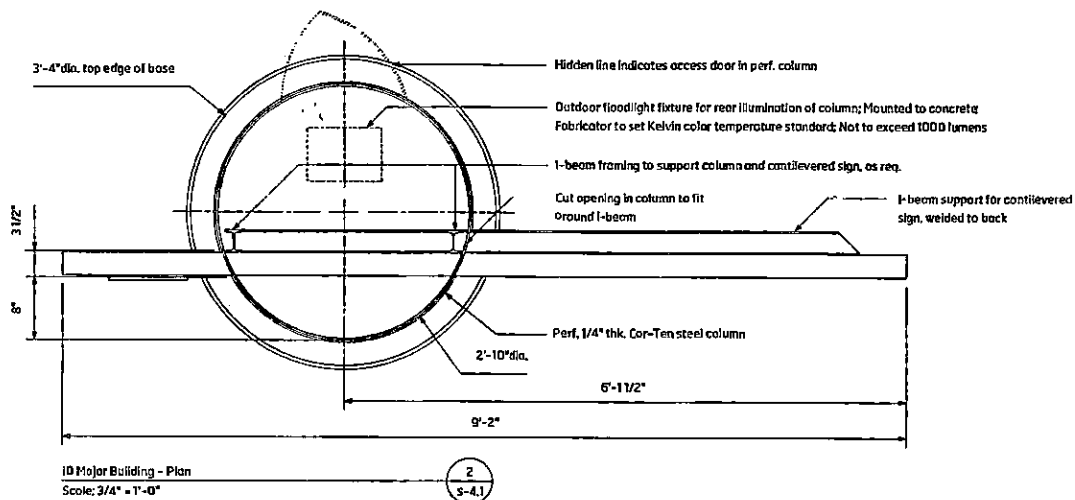
SIGN TYPE ● 1.2.1
**WALL-MOUNTED
NON-PUBLIC FACILITY SIGNS**
Identify maintenance and
employee entrances.

SIGN TYPE ● 1.2.2
**GROUND-MOUNTED
NON-PUBLIC FACILITY SIGNS**
Mark locations of on-site
wells, derricks and historical
landmarks.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-5212

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DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-4.1

SIGN TYPE 1.3.1

MAJOR BUILDING
IDENTIFICATION

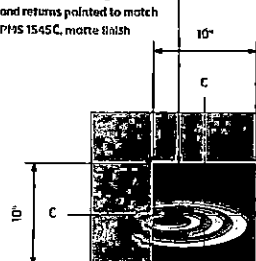
Large, ground-mounted signs
to be located at the entrance to
each of the Springs Preserve
facilities.

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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3/8" thick cutout logo, faces
and returns painted to match
PMS 1545C, matte finish



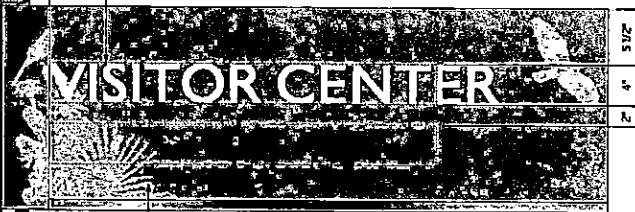
Cut out area of logo;
Milk white plexiglass
underneath; Backlit

ID Major Building - Front Elevation

Scale: 3/4" = 1'-0"

1
S-4.2

Letters cut out with milk white plexiglass
underneath; Backlit
TYPE: Humanist S21 bold CAPS



BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
continuous across full length of fin and should be positioned so as not to impair
type legibility

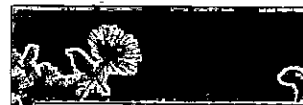
Painted, matte finish; Texturize foreground color as required to achieve effect
shown; Match colors depending on sign location:
Visitor Center: PMS 7534C on PMS 5503C field (shown above)



Desert Living Center: PMS 1545C on PMS 173C field



Pump House: PMS 385C on PMS 5503C field



Trails: PMS 385C on PMS 381C field

DATE
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PROJECT
Springs Preserve
Signage Standards

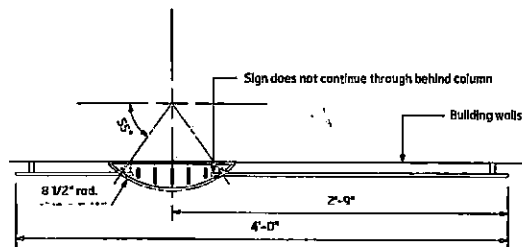
SHEET
S-4.2

SIGN TYPE 1.3.1
MAJOR BUILDING
IDENTIFICATION
Large, ground-mounted signs
located at the entrance to each
of the Springs Preserve facil-
ities.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510.251.4912

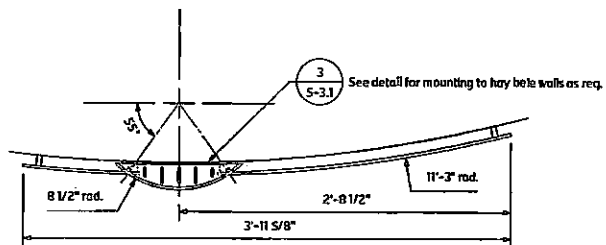
RECEIVED
NOV 07 2006

MSP-18047
12/21/06 PC



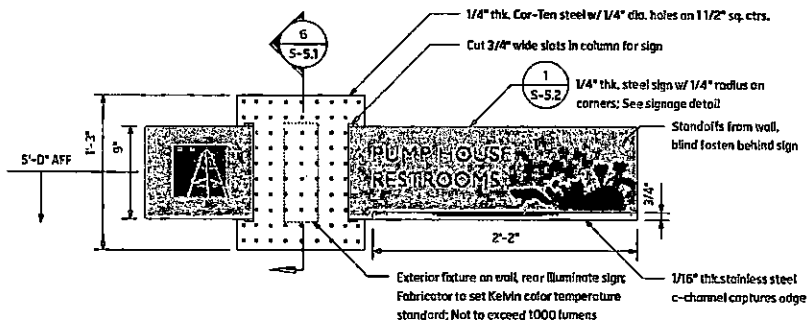
ID Minor Building - Plan
Scale: 1" = 1'-0"

3
S-S.1



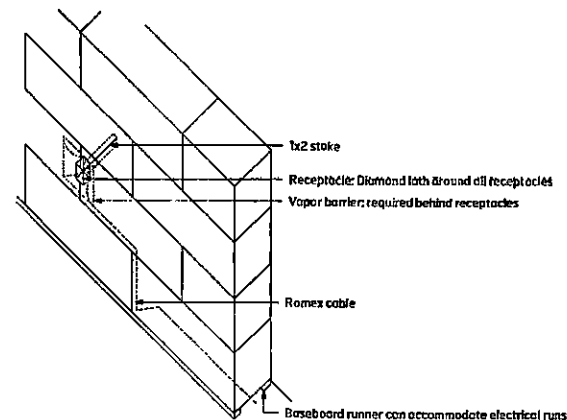
IB Minor Building - Plan for Curved Wall
Scale: 1" = 1'-0"

2
S-S.1



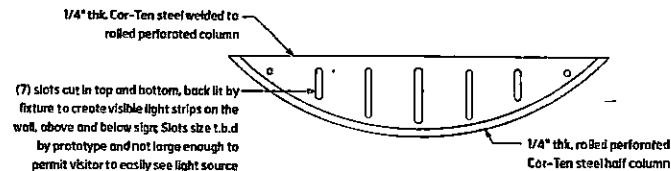
IB Minor Building - Front Flattened Elevation
Scale: 1" = 1'-0"

1
S-S.1



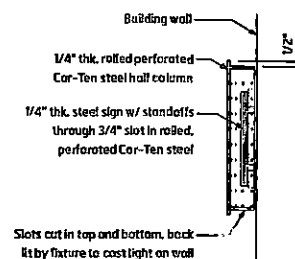
Electrical Mounting for Hay Bale Walls [in DLC] - Detail
Scale: 1" = 1'-0"

4
S-S.1



Roll Perforated Column Top - Plan Detail
Scale: 3" = 1'-0"

5
S-S.1



ID Minor Building - Front Elevation
Scale: 1" = 1'-0"

6
S-S.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-S.1

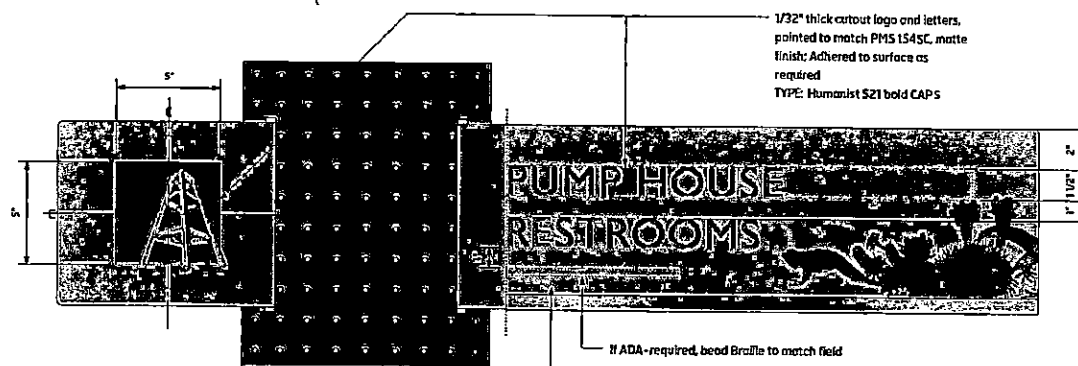
SIGN TYPE 1.3.2
MINOR BUILDING
IDENTIFICATION

Smaller, wall-mounted signs
located at outside entrances to
theaters, meeting rooms, and
campus buildings.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 510 251-9633 510 251-9212

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MSP-18047
12/21/06 PC



ID Minor Building - Graphic Layout
Scale: 2" = 1'-0"

1
S-S.2

BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
continuous across full length of sign and should be positioned so as not to
impair type legibility

Painted, matte finish; Texturize foreground color as required to achieve
effect shown; Match color depending on sign location:
Pump House: PMS 385C on PMS 55B 3C field (shown above)



Visitor Center: PMS 55B 3C on PMS 7534C field



Desert Living Center: PMS 1545C on PMS 173C field



Trails: PMS 385C on PMS 381C field

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-S.2

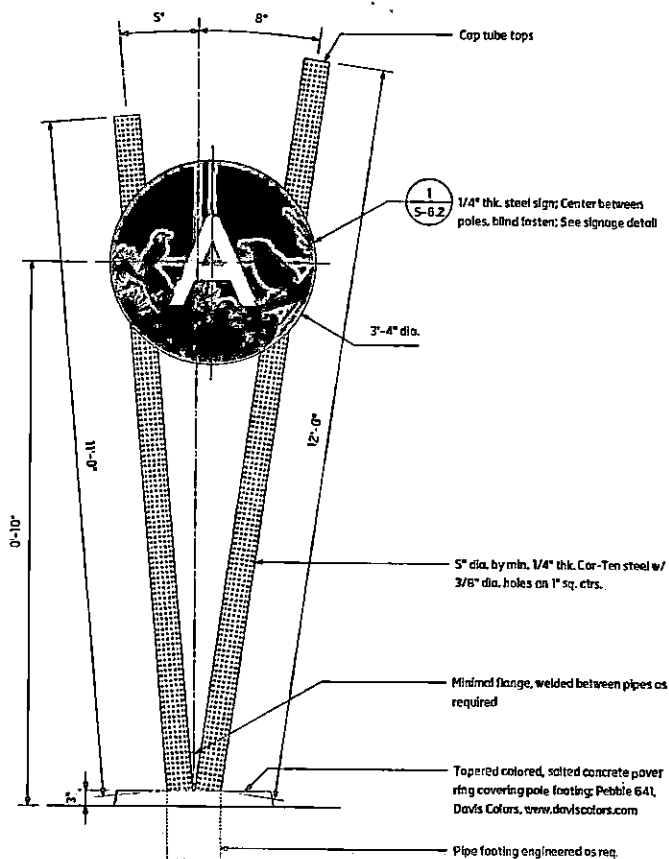
SIGN TYPE 1.3.2
MINOR BUILDING
IDENTIFICATION

Smaller, wall-mounted signs
located at outside entrances to
theaters, meeting rooms, and
campus buildings.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

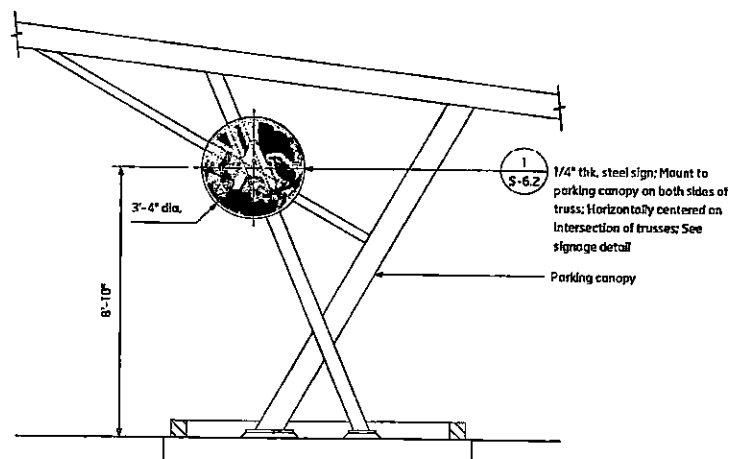
RECEIVED
NOV 07 2006

MSP-18047
12/21/06 PC



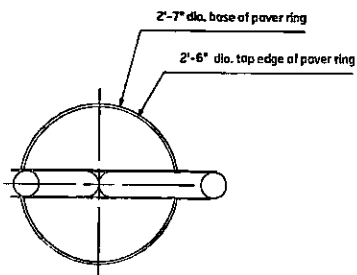
Parking Zone IDs - Front Elevation
Scale: 1/2" = 1'-0"

1
S-6.1



Mounted Parking Zone IDs - Side Elevation
Scale: 1/4" = 1'-0"

2
S-6.1



Parking Zone IDs - Plan
Scale: 1/2" = 1'-0"

3
S-6.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-6.1

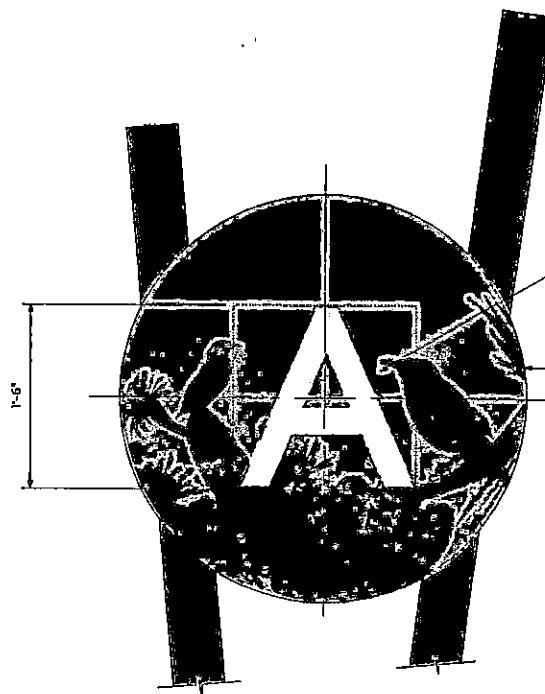
SIGN TYPE 1.4.1
PARKING ZONE IDS

SIGN TYPE 1.4.2
MOUNTED PARKING ZONE IDS
Large zone markers located in
public parking areas intended
to help visitors remember where
they parked.

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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12/21/06 PC



Upper Lot
A-K
PMS 385C on PMS 381C field

Silkscreen, white, matte finish
TYPE: Humanist 521 bold CAPS

BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
Painted, matte finish; Texturize foreground color as required to achieve
effect shown; Match colors depending on sign location



Middle Lot
J-N
PMS 385C + SS03C on PMS 7531C field



Lower Lot
O-S
PMS 173C + 1545C on PMS 173 field

F.P.O.: New graphic to
be supplied by client

1a Parking Zone - Graphic Layout
Scale: 1" = 1'-0"

1
S-6.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-6.2

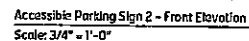
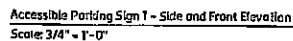
SIGN TYPE ● 1.4.1
PARKING ZONE IDS

SIGN TYPE ● 1.4.2
MOUNTED PARKING ZONE IDS
Large zone markers located in
public parking areas intended
to help visitors remember where
they parked.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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MSP-18047
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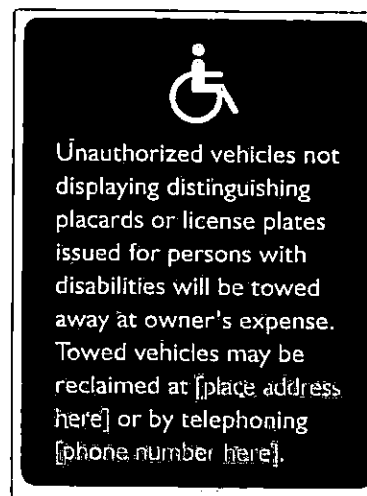
Standard dimensions, materials and colors per federal requirements
[<http://mutcd.fhwa.dot.gov/kno-2003.htm>]

TYPE: Humanist 521 roman

Match field color above

Accessible Parking Sign 1 - Graphic Layout
Scale: 2" = 1'-0"

1
S-7.2



Standard dimensions, materials and colors per federal requirements
[<http://mutcd.fhwa.dot.gov/kno-2003.htm>]

TYPE: Humanist 621 roman

Match field color above

Accessible Parking Sign 2 - Graphic Layout
Scale: 2" = 1'-0"

2
S-7.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

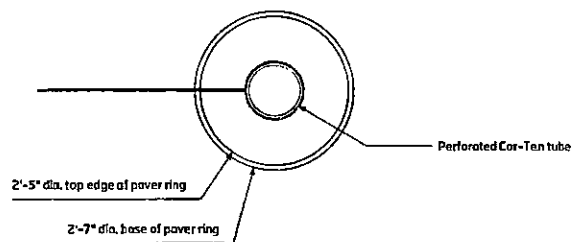
SHEET
S-7.2

SIGN TYPE 1.4.3
REGULATORY & ACCESSIBLE
PARKING SPACE IDS
Required to mark accessible
parking spaces and provide
Springs Preserve liability
signage.

WEST OFFICE EXHIBITION DESIGN
285 Third St. Oakland CA 94607 ☎ 510 251-9637 ✉ 510 251-9212

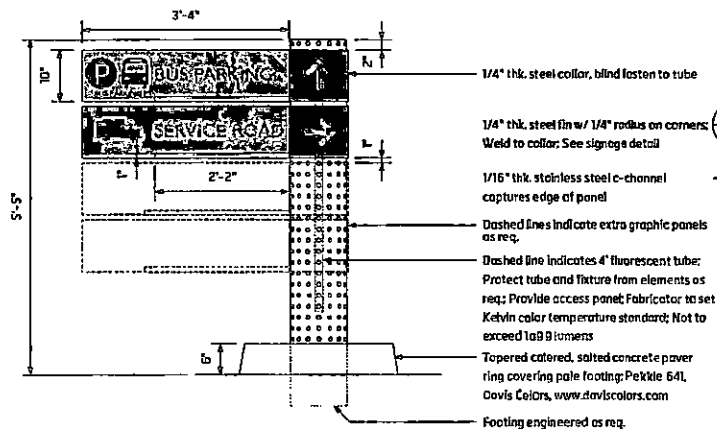
RECEIVED
NOV 07 2006

MSP-18047
12/21/06 PC



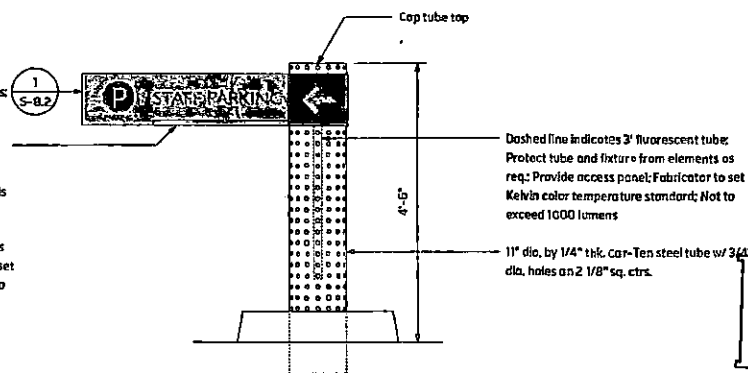
Street Directional Major - Plan
Scale: 1/2" = 1'-0"

2
S-8.1



Street Directional Major - Front Elevation
Scale: 1/2" = 1'-0"

1
S-8.1



Street Directional Minor - Front Elevation
Scale: 1/2" = 1'-0"

3
S-8.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-8.1

SIGN TYPE ▲ 2.1
MAJOR STREET
DIRECTIONALS (2+ ARROWS)

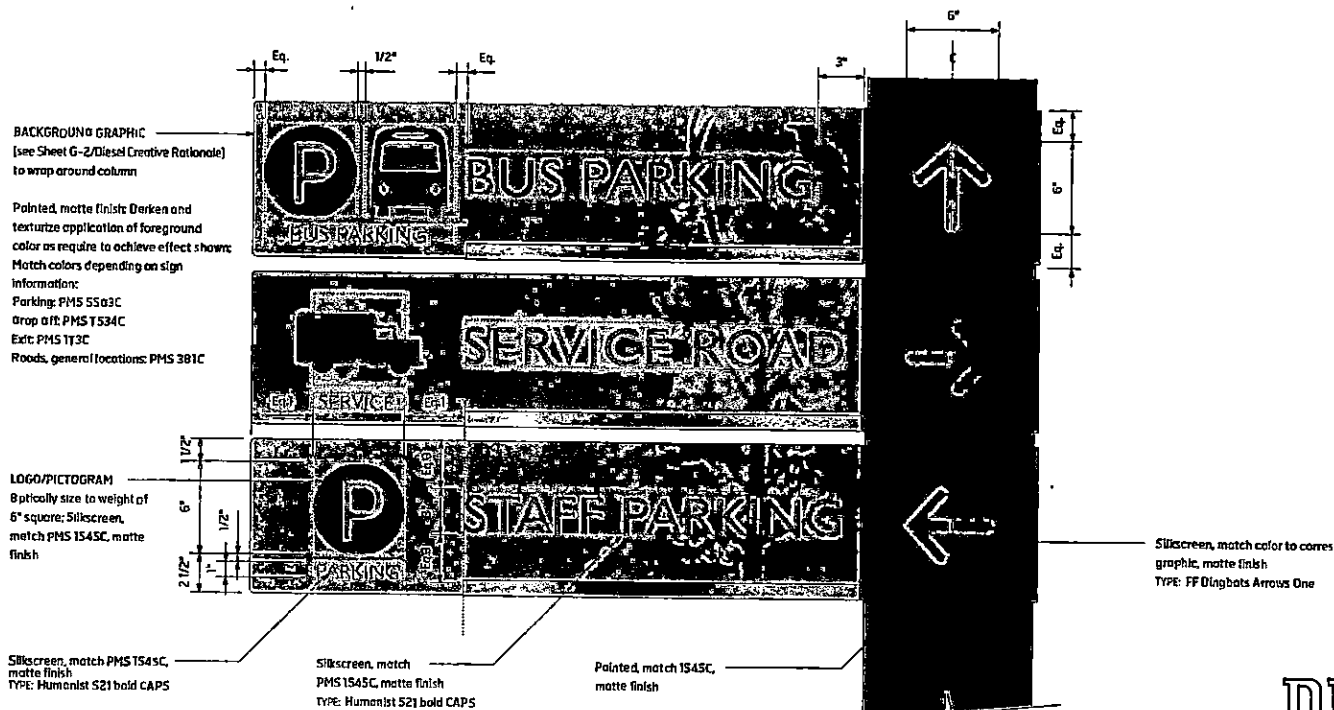
SIGN TYPE ▲ 2.2
MINOR STREET
DIRECTIONALS (1 ARROW)

Located in medians and
along thoroughfares to provide
motorists and pedestrians
direction at all intersections
and decisions points within
the Springs Preserve site.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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12/21/06 PC



Street Directional Major - Graphic Layout
Scale: 1 1/2" = 1'-0"

1
S-8.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-8.2

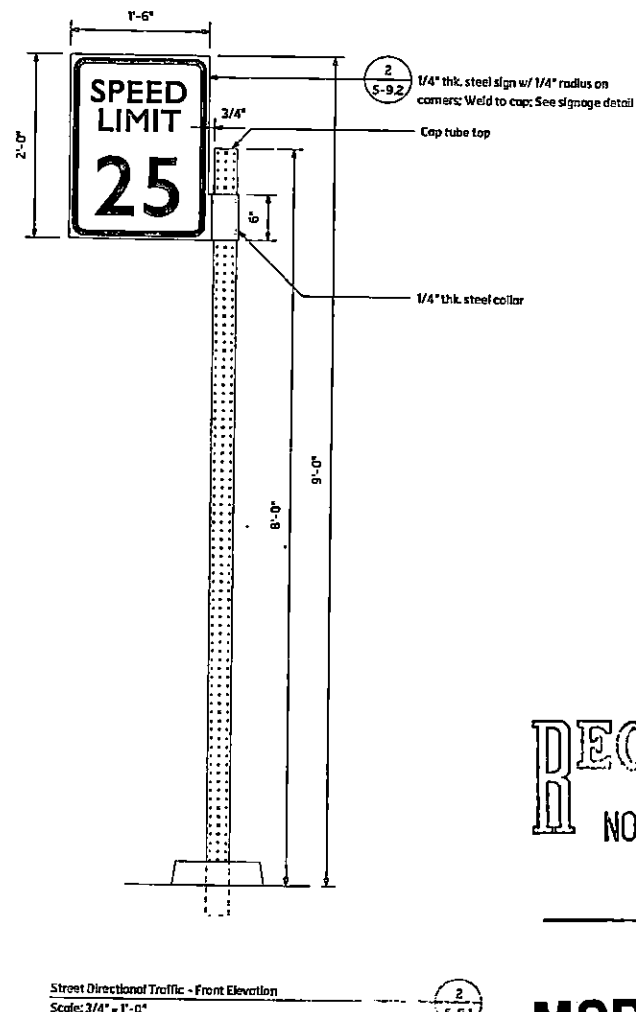
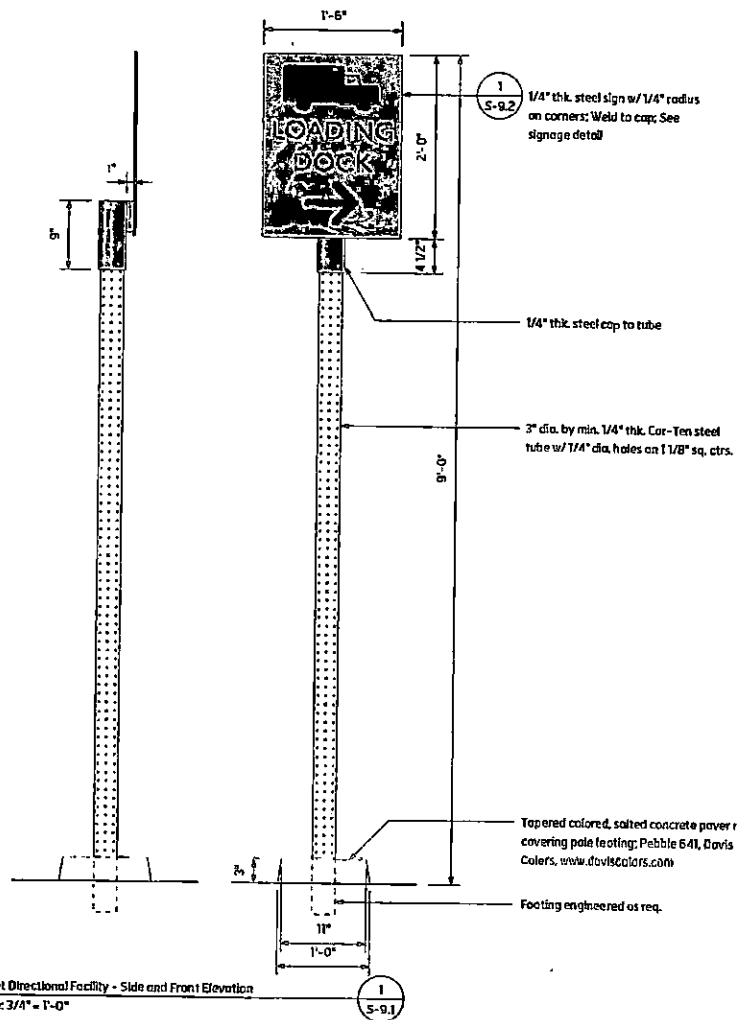
SIGN TYPE ▲ 2.1
MAJOR STREET
DIRECTIONALS (2+ ARROWS)

SIGN TYPE ▲ 2.2
MINOR STREET
DIRECTIONALS (1 ARROW)
Located in medians and
along thoroughfares to provide
motorists and pedestrians
direction at all intersections
and decision points within
the Springs Preserve site.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 © 510 251-9212

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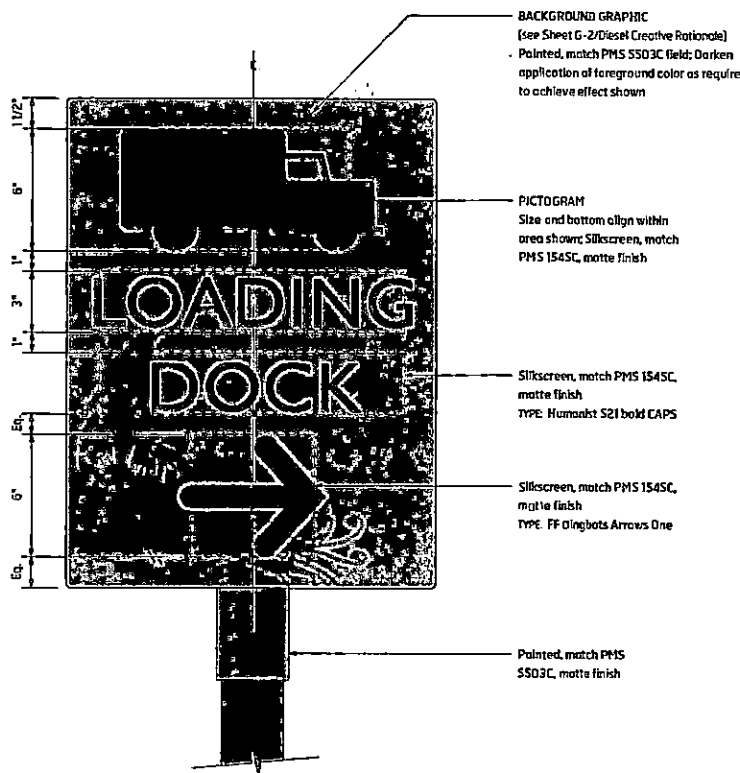
MSP-18047
12/21/06 PC



DATE May 2006	WEST OFFICE EXHIBITION DESIGN 225 Third St. Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212
PROJECT Springs Preserve Signage Standards	
SHEET S-9.1	
SIGN TYPE ▲ 2.3 NON-PUBLIC FACILITY SIGNS Used to direct non-public access along interior facility roads.	
SIGN TYPE ▲ 2.4 TRAFFIC SIGNS Used to mark speed limit and pedestrian crossways along all public and non-public thoroughfares.	

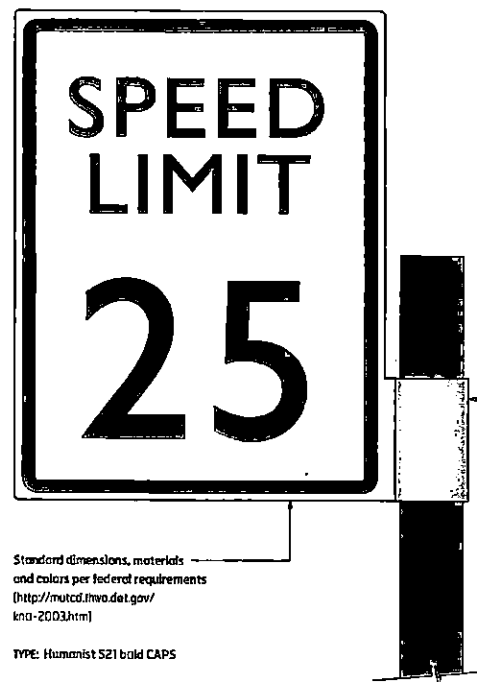
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NOV 07 2006

MSP-18047
12/21/06 PC



Street Directional Facility - Graphic Layout
Scale: 2" = 1'-0"

1
S-9.2



Street Directional Traffic - Graphic Layout
Scale: 2" = 1'-0"

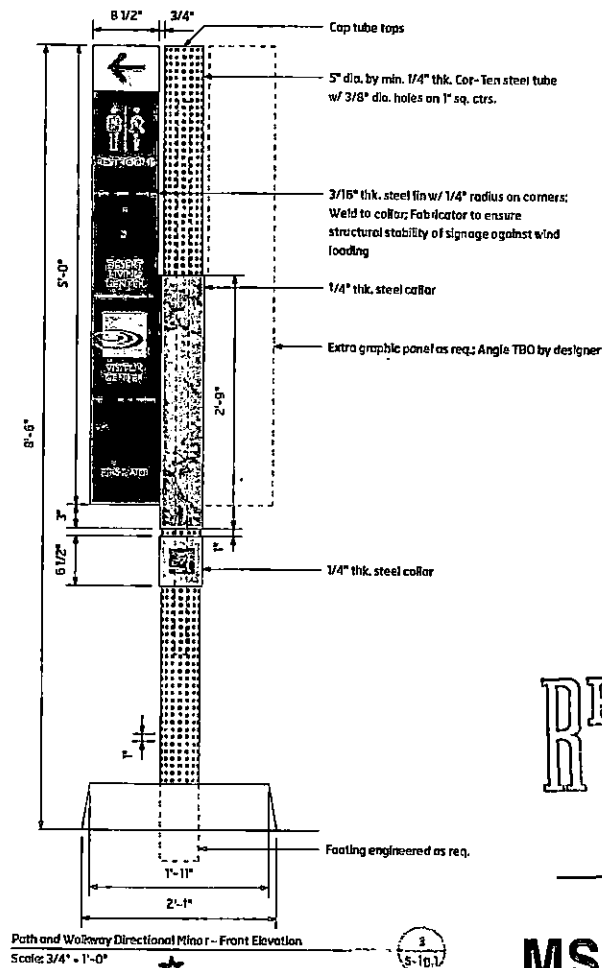
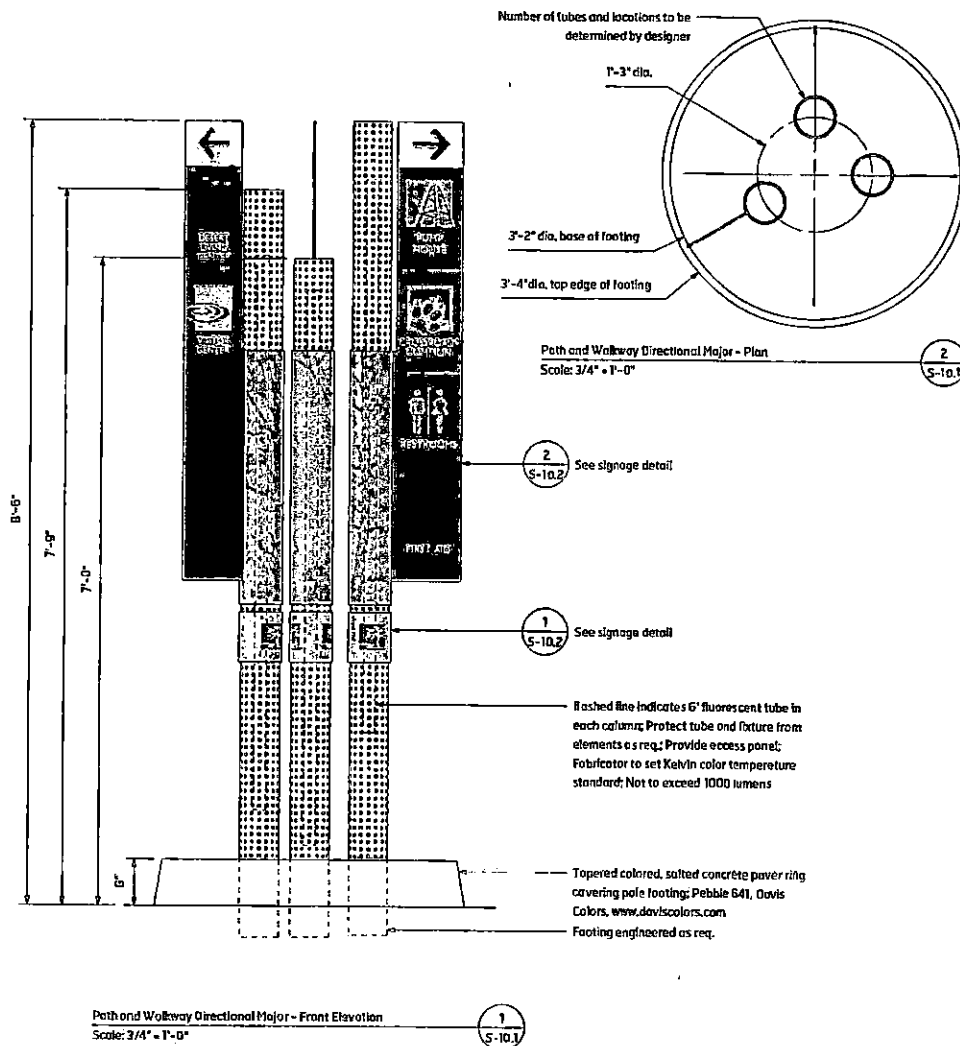
2
S-9.2

DATE May 2005
PROJECT Springs Preserve Signage Standards
SHEET S-9.2
SIGN TYPE ▲ 2.3 NON-PUBLIC FACILITY SIGNS Used to direct non-public access along interior facility roads.
SIGN TYPE ▲ 2.4 TRAFFIC SIGNS Used to mark speed limit and pedestrian crosswalks along all public and non-public thoroughfares.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9632 ✉ 510 251-9212

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12/21/06 PC



DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-10.1

SIGN TYPE 3.1
MAJOR PATH & WALKWAY
DIRECTIONS (2+ ARROWS)

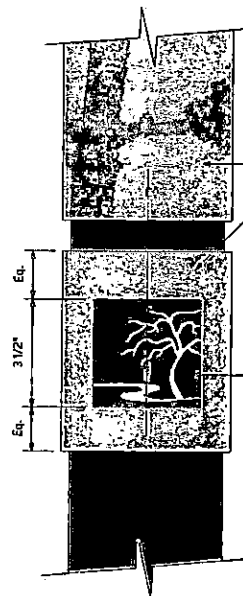
SIGN TYPE 3.2
MINOR
MAJOR PATH & WALKWAY
DIRECTIONS (2+ ARROWS)
Located along walkways and at
path intersections, to provide
visitors directions to all major
destinations within the Springs
Preserve.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9532 ✉ 510 251-9212

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Apply graphics double face as required.



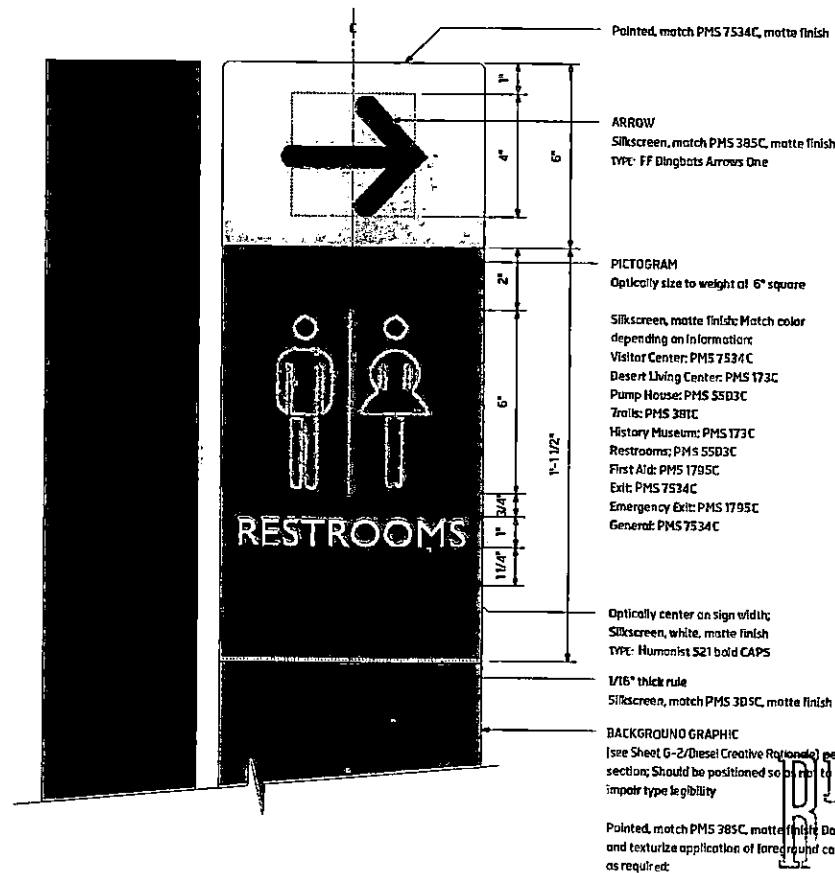
BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
continuous across full length of fin and should be
positioned so as not to impair type legibility

Painted, match PMS 7534C, matte finish; Darken
and texturize application of foreground color as
required

SPRINGS PRESERVE LOGO
Silkscreen, match
PMS 166C, matte finish

Path and Walkway Directional Minor - Graphic Layout
Scale: 3" = 1'-0"

1
S-10.2



Painted, match PMS 7534C, matte finish

ARROW
Silkscreen, match PMS 385C, matte finish
TYPE: FF Dingbats Arrows One

PICTOGRAM
Optically size to weight of 6" square

Silkscreen, matte finish; Match color
depending on information:
Visitor Center: PMS 7534C
Desert Living Center: PMS 173C
Pump House: PMS 55B3C
Trails: PMS 381C
History Museum: PMS 173C
Restrooms: PMS 55B3C
First Aid: PMS 1795C
Exit: PMS 7534C
Emergency Exit: PMS 1795C
General: PMS 7534C

Optically center on sign width;
Silkscreen, white, matte finish
TYPE: Humanist 521 bold CAPS

1/16" thick rule
Silkscreen, match PMS 3D5C, matte finish

BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
continuous across full length of fin and should be
positioned so as not to impair type legibility

Painted, match PMS 385C, matte finish; Darken
and texturize application of foreground color
as required

Path and Walkway Directional Minor - Graphic Layout 2
Scale: 3" = 1'-0"

2
S-10.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-10.2

SIGN TYPE 3.1
MAJOR PATH & WALKWAY
DIRECTIONS (2+ ARROWS)

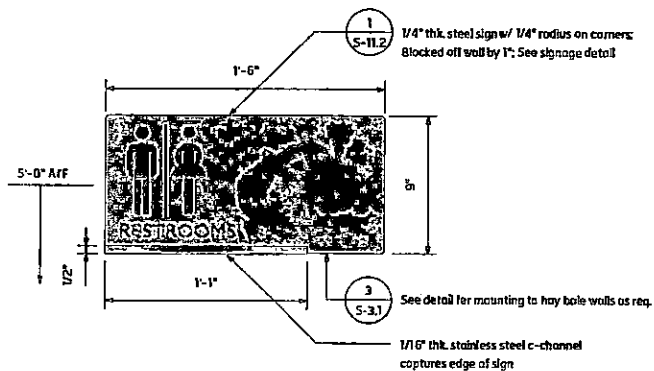
SIGN TYPE 3.2
MAJOR PATH & WALKWAY
DIRECTIONS (2+ ARROWS)

Located along walkways and at
path intersections, to provide
visitors directions to all major
destinations within the Springs
Preserve.

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9222

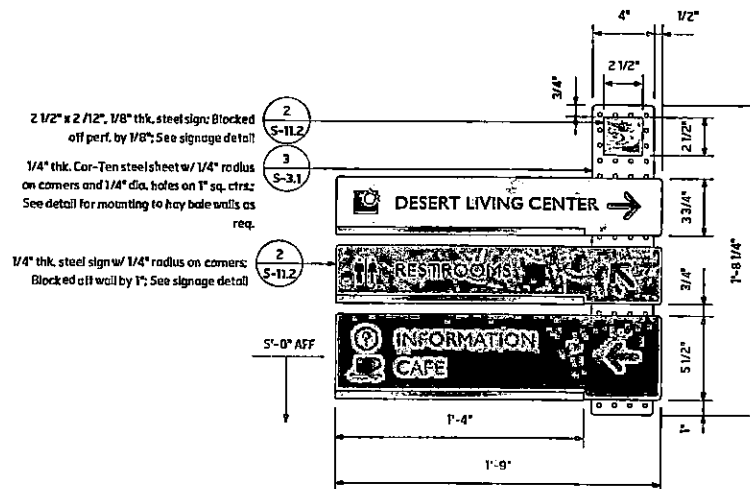
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NOV 07 2006

MSP-18047
12/21/06 PC



Wall Mounted Sign Code Required - Front Elevation
Scale: 1 1/2" = 1'-0"

1
S-11.1



Wall Mounted Sign Building Directional - Front Elevation
Scale: 1 1/2" = 1'-0"

2
S-11.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-11.1

SIGN TYPE 4.1
WALL-MOUNTED
BUILDING DIRECTIONALS
Intended for room identification
and general information.

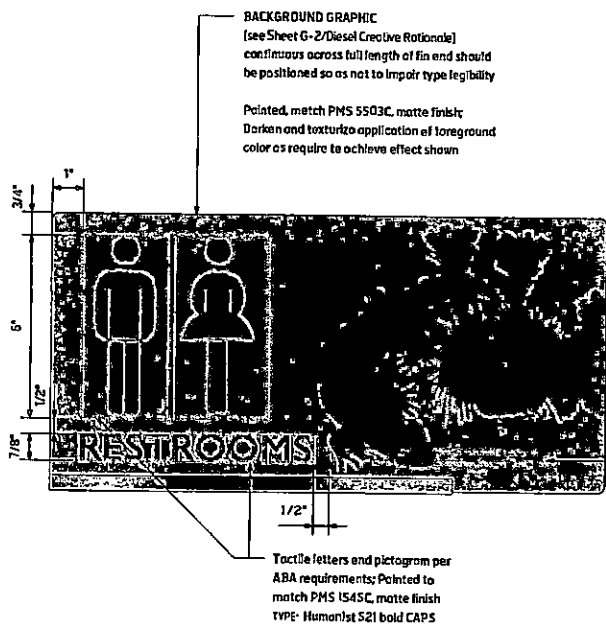
SIGN TYPE 4.2
CODE-REQUIRED
BUILDING SIGNS

Perform regulatory functions,
including restroom, first aid and
non-smoking declaration.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607
SIO 251-9533 SIO 251-9512

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Wall Mounted Sign Code Required - Graphic Layout
Scale: 3" = 1'-0"

1
S-11.2

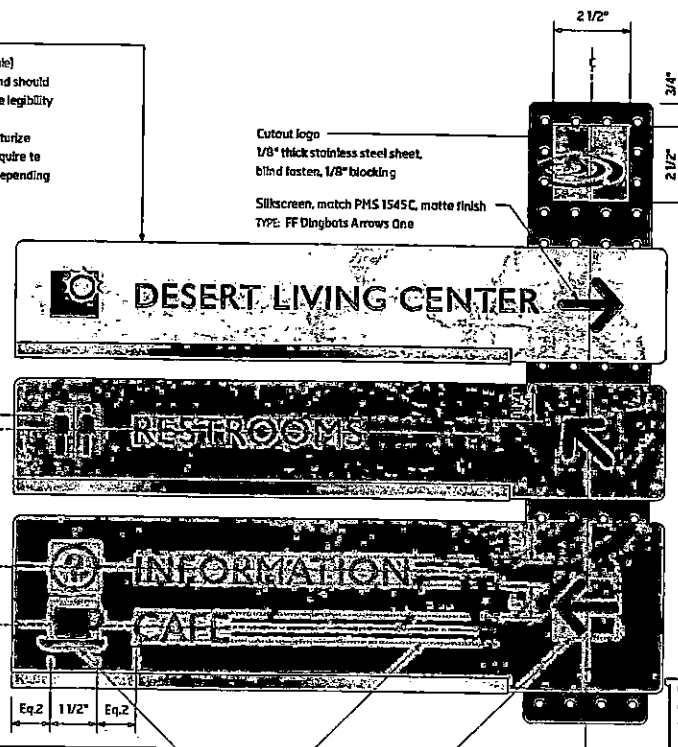
BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
continuous across full length of fin and should
be positioned so as not to impair type legibility

Painted, matte finish; Darken and texturize
application of foreground color as require to
achieve effect shown; Match colors depending
on sign information:
Desert Living Center: PMS 173C
Visitor Center: PMS 7534C
Pump House: PMS 5593C
Trails: PMS 381C

LOGO or PICTOGRAM
Optically size to weight of
1 1/2" square
Silkscreen, match PMS 1545C,
matte finish

Bead Braille to match field,
per ADA requirements

Silkscreen, match PMS 1545C,
matte finish



Cutout logo
1/8" thick stainless steel sheet,
blind fasten, 1/8" blocking

Silkscreen, match PMS 1545C, matte finish
TYPE: FF Dingbats Arrows One

Wall Mounted Sign Building Directional - Graphic Layout
Scale: 3" = 1'-0"

2
S-11.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-11.2

SIGN TYPE 4.1

WALL-MOUNTED
BUILDING DIRECTIONALS

Intended for room identification
and general information.

SIGN TYPE 4.2

CODE-REQUIRED
BUILDING SIGNS

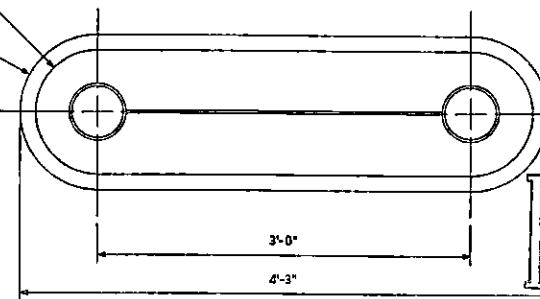
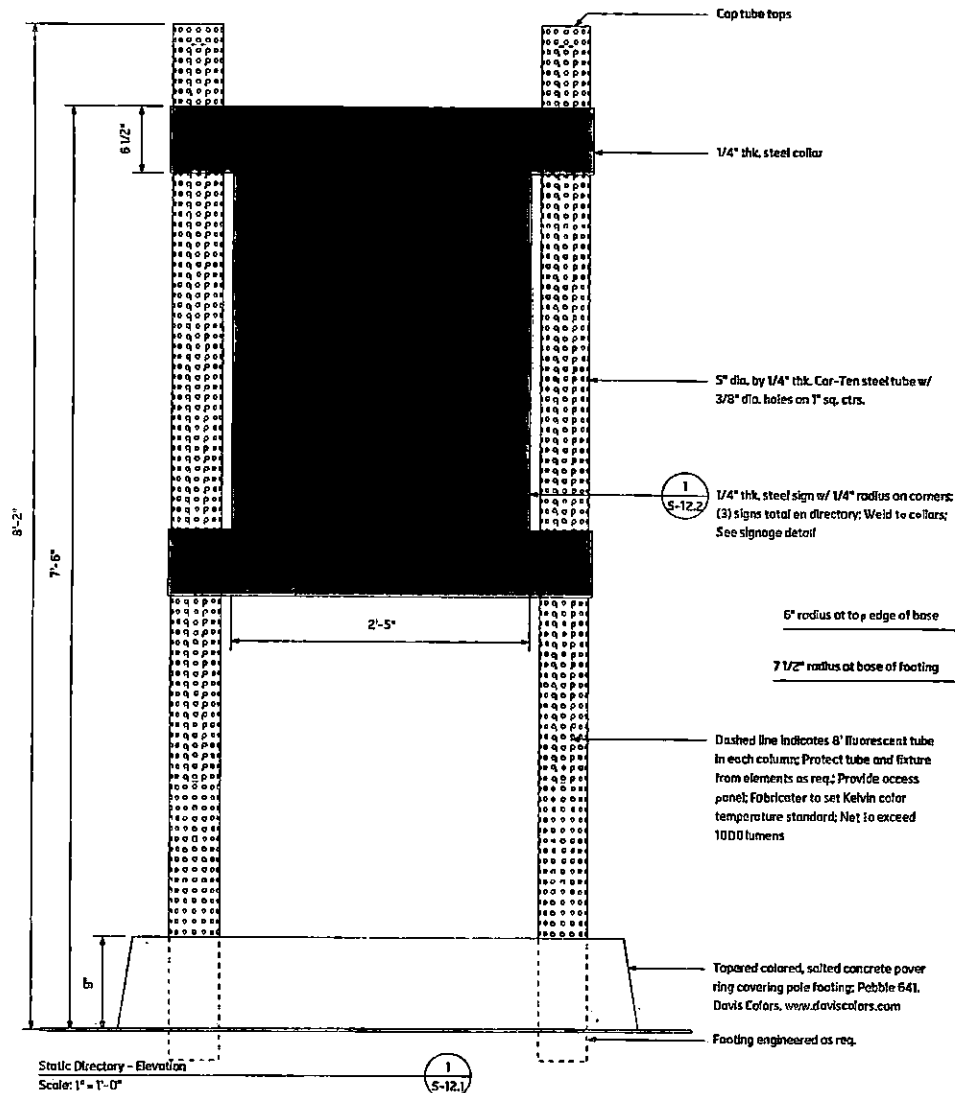
Perform regulatory functions,
including restroom, first aid and
non-smoking declaration.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9632 ✉ 510 251-9202

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PROJECT
Springs Preserve
Signage Standards

SHEET
S-12.1

SIGN TYPE # S.1
STATIC DIRECTORY

Located in the Orientation Plaza, at the entrance to each of the facilities, and at major walkway intersections. Intended to orient the visitor and provide directional assistance to all major destinations within the Springs Preserve.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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BACKGROUND GRAPHIC
 [see Sheet G-2/Diesel Creative Rationale]
 to wrap around collars and main panel. Position so as not
 to impair type legibility of Wayfinding Map

Painted, match PMS 385C, matte finish. Darken and
 texturize application of foreground color as required to
 achieve effect shown



WAYFINDING MAP
 on main panel TBD by sign designer
 TYPE: Helvetica S21

Static Directory - Graphic Layout
 Scale: 1 1/2" = 1'-0"

1
 S-12.2

DATE
 May 2006

PROJECT
 Springs Preserve
 Signage Standards

SHEET
S-12.2

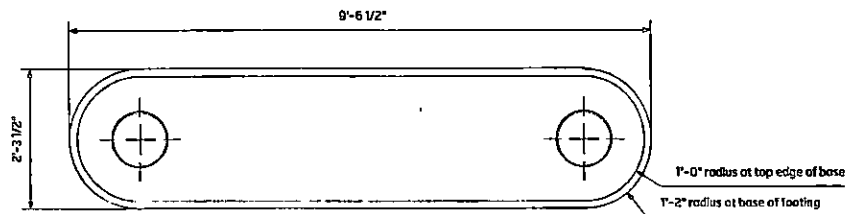
SIGN TYPE #S.1
STATIC DIRECTORY

Located in the Orientation
 Plaza, at the entrance to each
 of the facilities, and at major
 walkway intersections. Intended
 to orient the visitor and provide
 directional assistance to all
 major destinations within the
 Springs Preserve.

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 510 251-9633 FAX 510 251-9212

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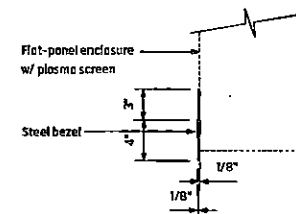
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Orientation and Information - Section Detail
Scale: 1/2\" = 1'-0"

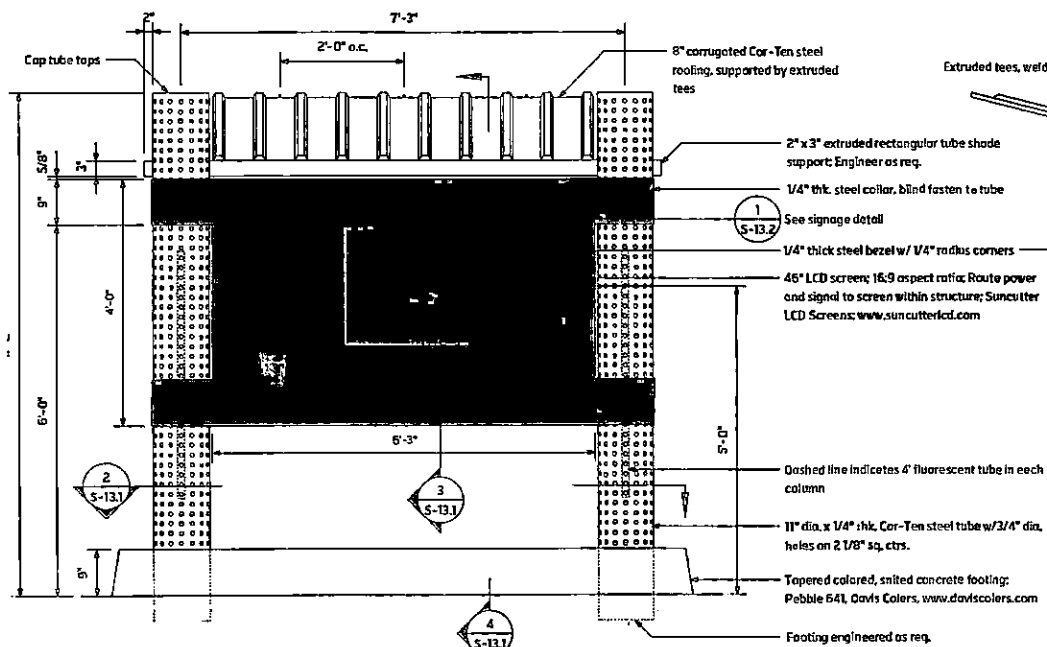
3
S-13.1

MONITOR IS BEING TESTED FOR SUITABILITY:
LVSP TO DETERMINE WHETHER TO GO
FORWARD WITH SIGN AT A LATER DATE



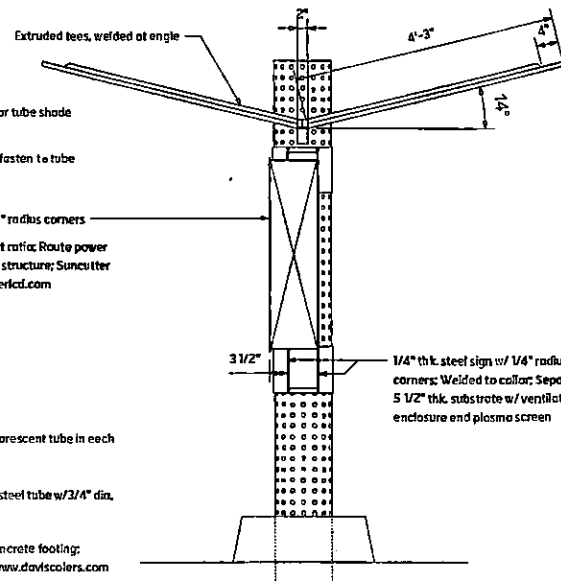
Bezel - Section Detail
Scale: 1\" = 1'-0"

3
S-13.1



Orientation and Information - Front Elevation
Scale: 1/2\" = 1'-0"

1
S-13.1



Orientation and Information - Section Elevation
Scale: 1/2\" = 1'-0"

2
S-13.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-13.1

SIGN TYPE # S.2
DYNAMIC DIRECTORY
Feature a large plasma screen
and are networked together
to provide visitors with hourly
updates of events within the
site. Also provide static direc-
tory information for visitor
orientation.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ✉ SIO 251-9612

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BACKGROUND GRAPHIC
 (see Sheet G-2/Diesel Creative Rationale) to
 wrap around collars, main panel and
 monitor bezel; Position so as not to impair
 type legibility

Painted, match PMS 385C, matte finish;
 Darken and texturize application of
 foreground color as required to achieve
 effect shown

Silkscreen, match PMS 166C,
 matte finish
 TYPE Humanist 521 bold CAPS

Silkscreen, match PMS 166C on
 white field, matte finish

Painted, black, matte finish

Apply graphics double face as required; STATIC
 WAYFINDING MAP may substitute plasma
 screen on reverse, layout TBD by sign designer

Dynamic Directory - Graphic Layout
 Scale: 1" = 1'-0"

1
 S-13.2

DATE
 May 2006

PROJECT
 Springs Preserve
 Signage Standards

SHEET
S-13.2

SIGN TYPE # S.2
DYNAMIC DIRECTORY
 Feature a large plasma screen
 and are networked together
 to provide visitors with hourly
 updates of events within the
 site. Also provide static direc-
 tory information for visitor
 orientation.

WEST OFFICE EXHIBITION DESIGN
 225 Third St., Oakland CA 94607 ☎ 510-251-9633 ☎ 510-251-9212

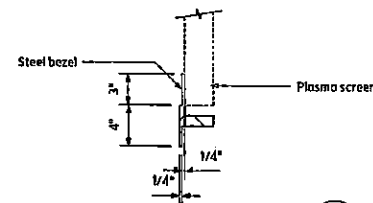
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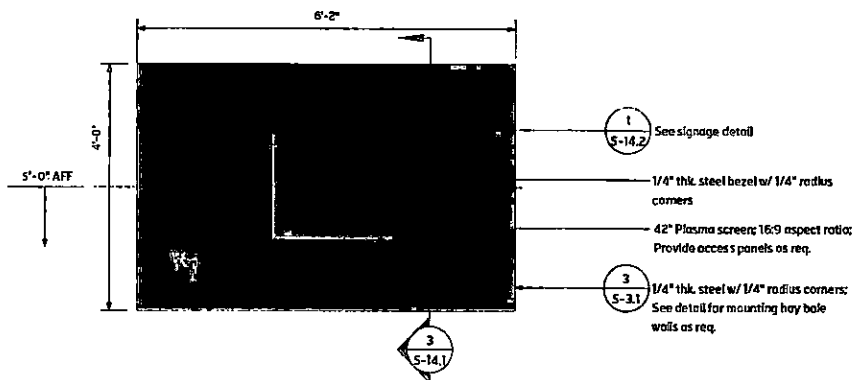
Wall Mounted Dynamic Directory - Plan
Scale: 1/2" = 1'-0"

2
S-14.1



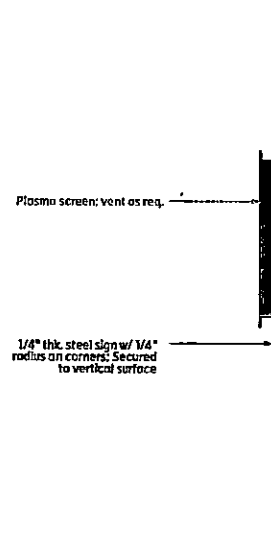
Bezel - Section Detail
Scale: 1" = 1'-0"

3
S-14.1



Wall Mounted Dynamic Directory - Front Elevation
Scale: 1/2" = 1'-0"

1
S-14.1



Wall Mounted Dynamic Directory - Section Elevation
Scale: 1/2" = 1'-0"

4
S-14.1

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
S-14.1

SIGN TYPE #S.3
WALL-MOUNTED
DYNAMIC DIRECTORY
Feature a large plasma screen
for interior applications and
are networked together to
provide visitors with hourly
updates of events within
the site. Also provide static
directory information for visitor
orientation.

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9812

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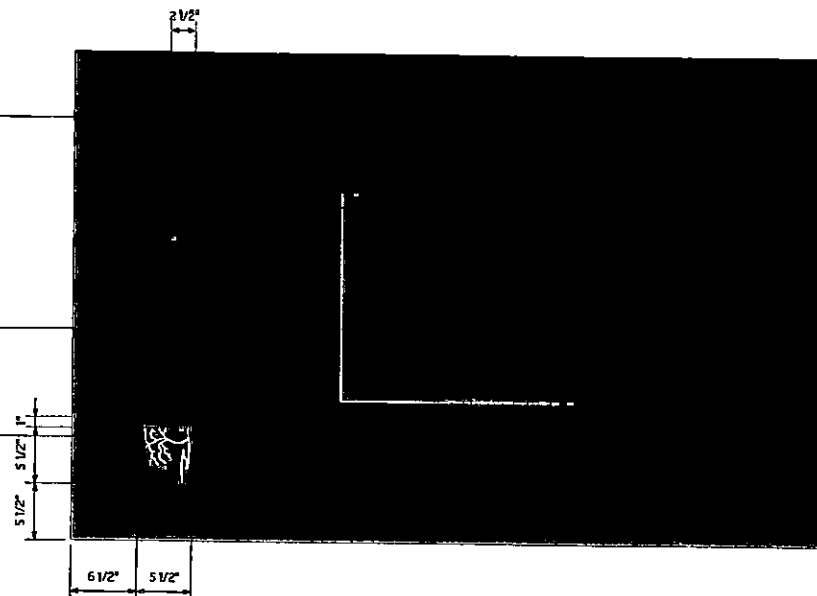
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BACKGROUND GRAPHIC
(see Sheet G-2/Diesel Creative Rationale)
to wrap around main panel and monitor bezel. Position so as
not to impale type legibility

Painted, match PMS 385C, matte finish; Darken and texturize
application of foreground color as required to achieve effect
shown

Silkscreen, match PMS 166C, matte finish
TYPE: Humanist 521 bold CAPS

Silkscreen, match PMS 166C on white
field, matte finish



Painted, black, matte finish

Wall Mounted Dynamic Directory - Graphic Layout
Scale: 1" = 1'-0"

1
S-14.2

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

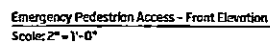
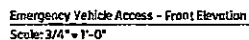
SHEET
S-14.2

SIGN TYPE # S.3
WALL-MOUNTED
DYNAMIC DIRECTORY
Feature a large plasma screen
for interior applications and
are networked together to
provide visitors with hourly
updates of events within
the site. Also provide static
directory information for visitor
orientation.

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9533 ✉ 510 251-9212

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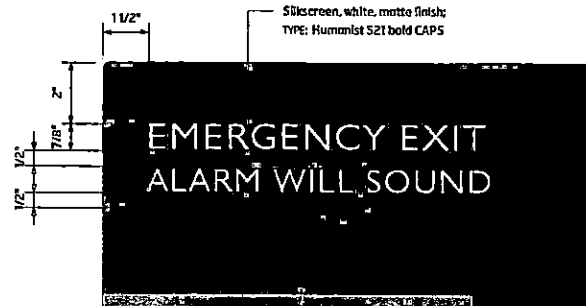
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Standard materials and colors
per federal requirements
(<http://mutcd.fhwa.dot.gov/kno-2003.htm>)
TYPE: Humanist 521 bold CAPS



Match sign
background color



Painted, match PMS 1795C,
matte finish

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PROJECT
Springs Preserve
Signage Standards

SHEET
S-1S.2

SIGN TYPE ★ 6.1
EMERGENCY VEHICLE ACCESS

Located along Valley View Blvd.
and within the site to direct
emergency vehicles to fire and
emergency access lanes.

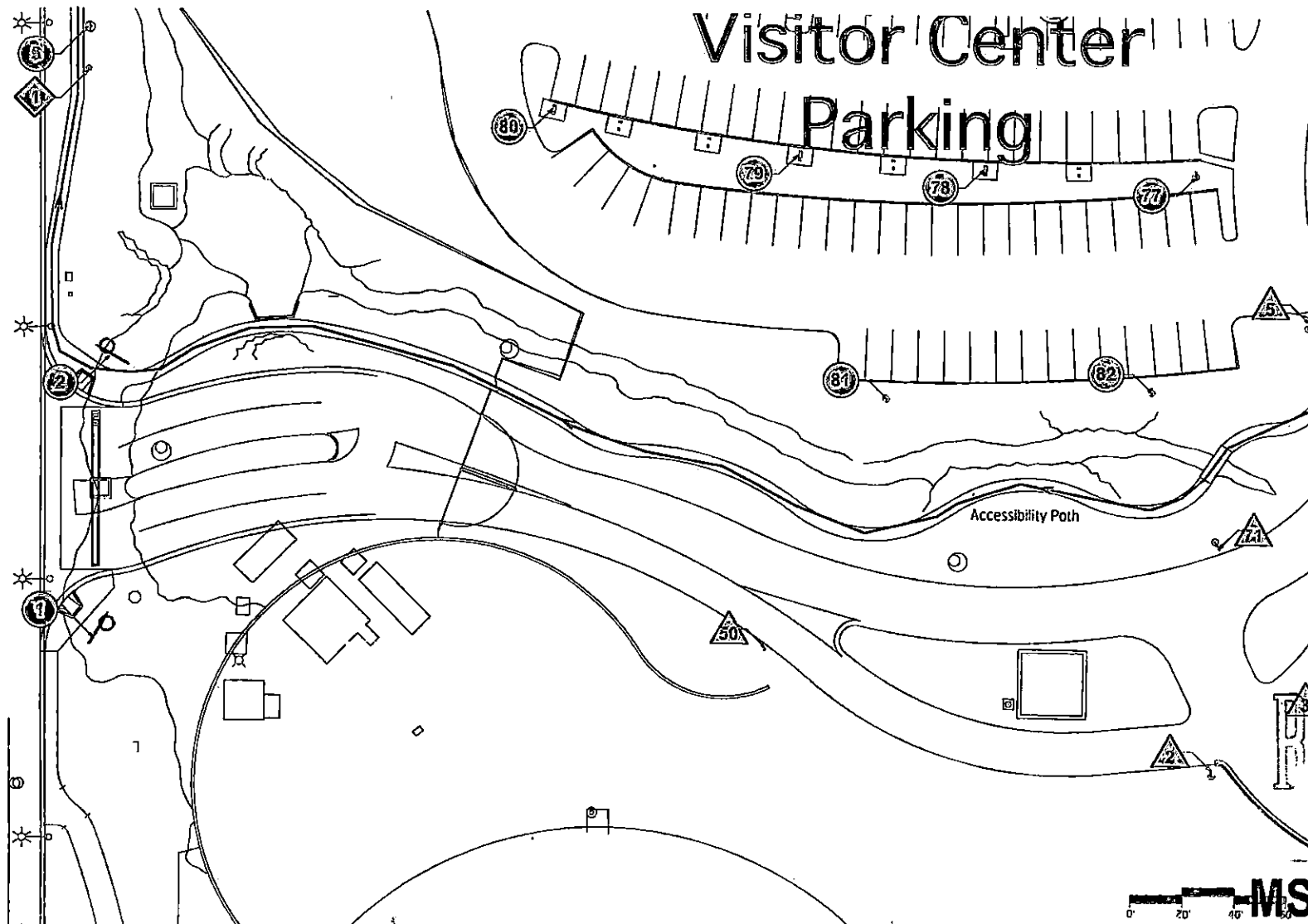
SIGN TYPE ★ 6.2
EMERGENCY
PEDESTRIAN ACCESS

Provide the public direction
along walkways to safe areas
away from buildings.

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May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-1.1

SITE SIGNAGE
LOCATION MAP
Springs Preserve Entrance

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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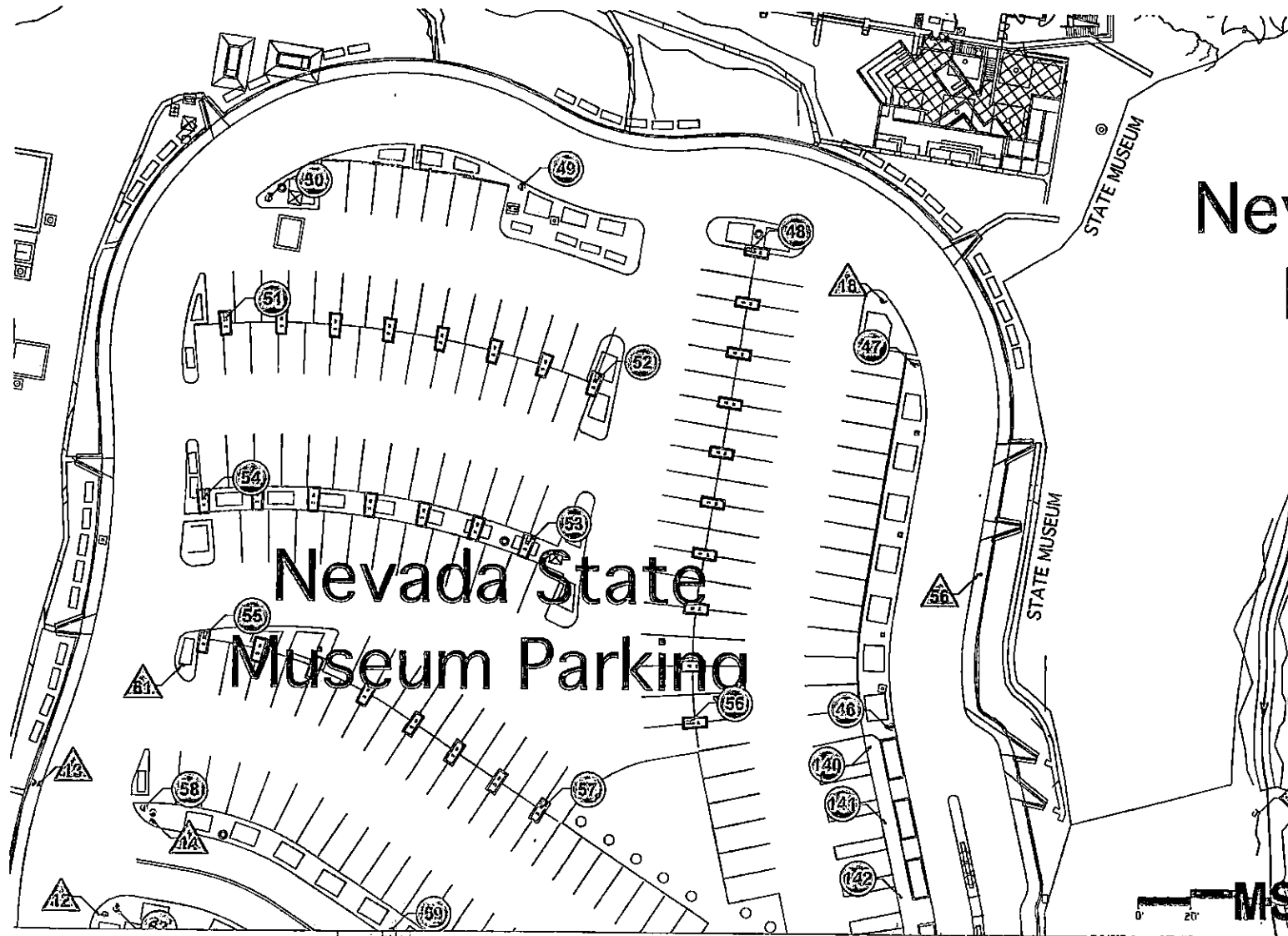


DATE May 2006	
PROJECT Springs Preserve Signage Standards	
SHEET L-1.2	
SITE SIGNAGE LOCATION MAP Visitor Parking and Orientation Plaza	

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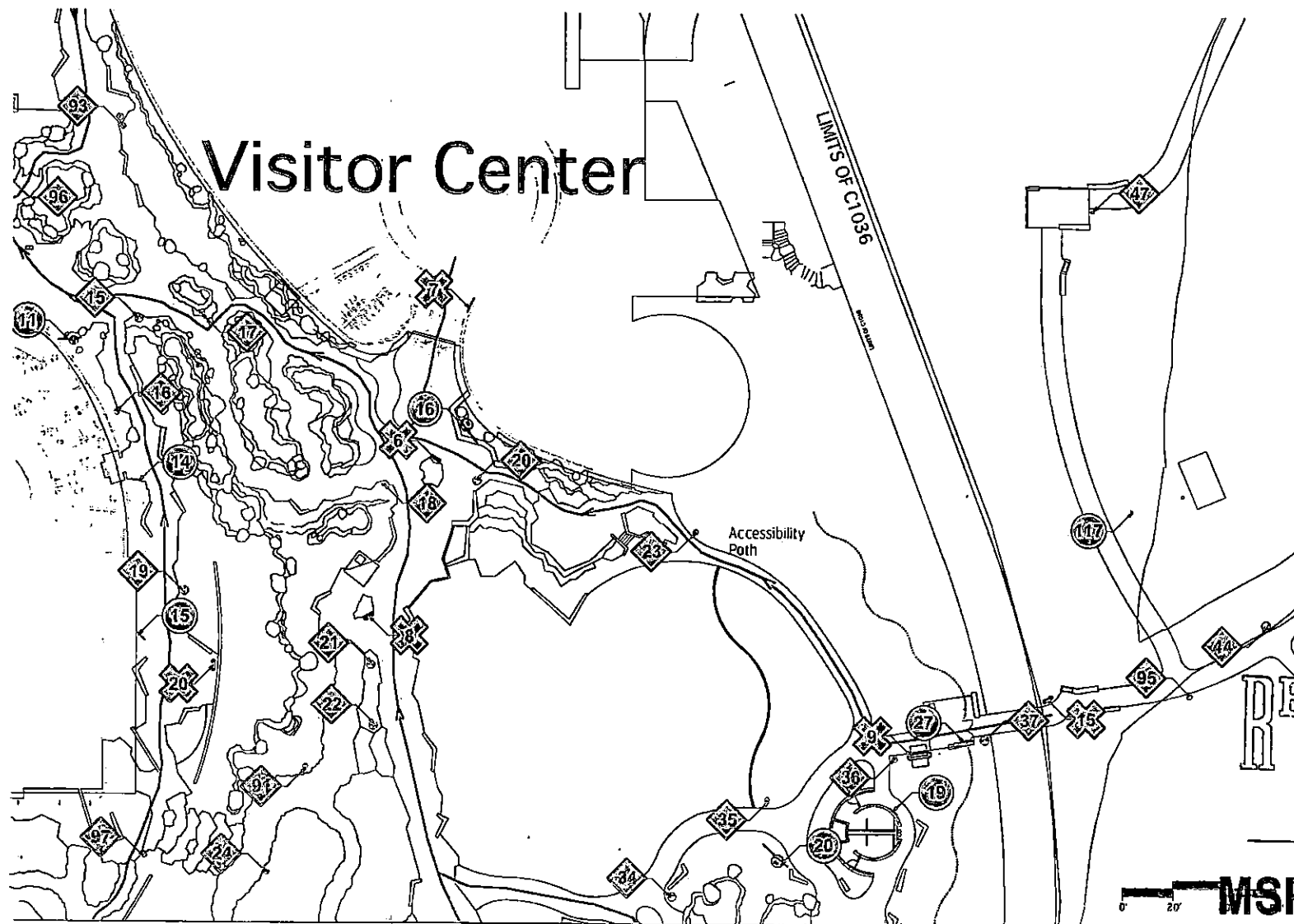
DATE May 2006	WEST OFFICE EXHIBITION DESIGN 225 Third St, Oakland CA 94607 ☎ 510 251-5633 ☎ 510 251-9212
PROJECT Springs Preserve Signage Standards	
SHEET L-1.3	
SITE SIGNAGE LOCATION MAP Visitor Parking	

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M

Nevada State
Museum Parking

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0' 20' MSP-18047
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DATE
May 2006

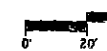
PROJECT
Springs Preserve
Signage Standards

SHEET
L-1.4

SITE SIGNAGE
LOCATION MAP
Visitor Center and Crossroads
Common

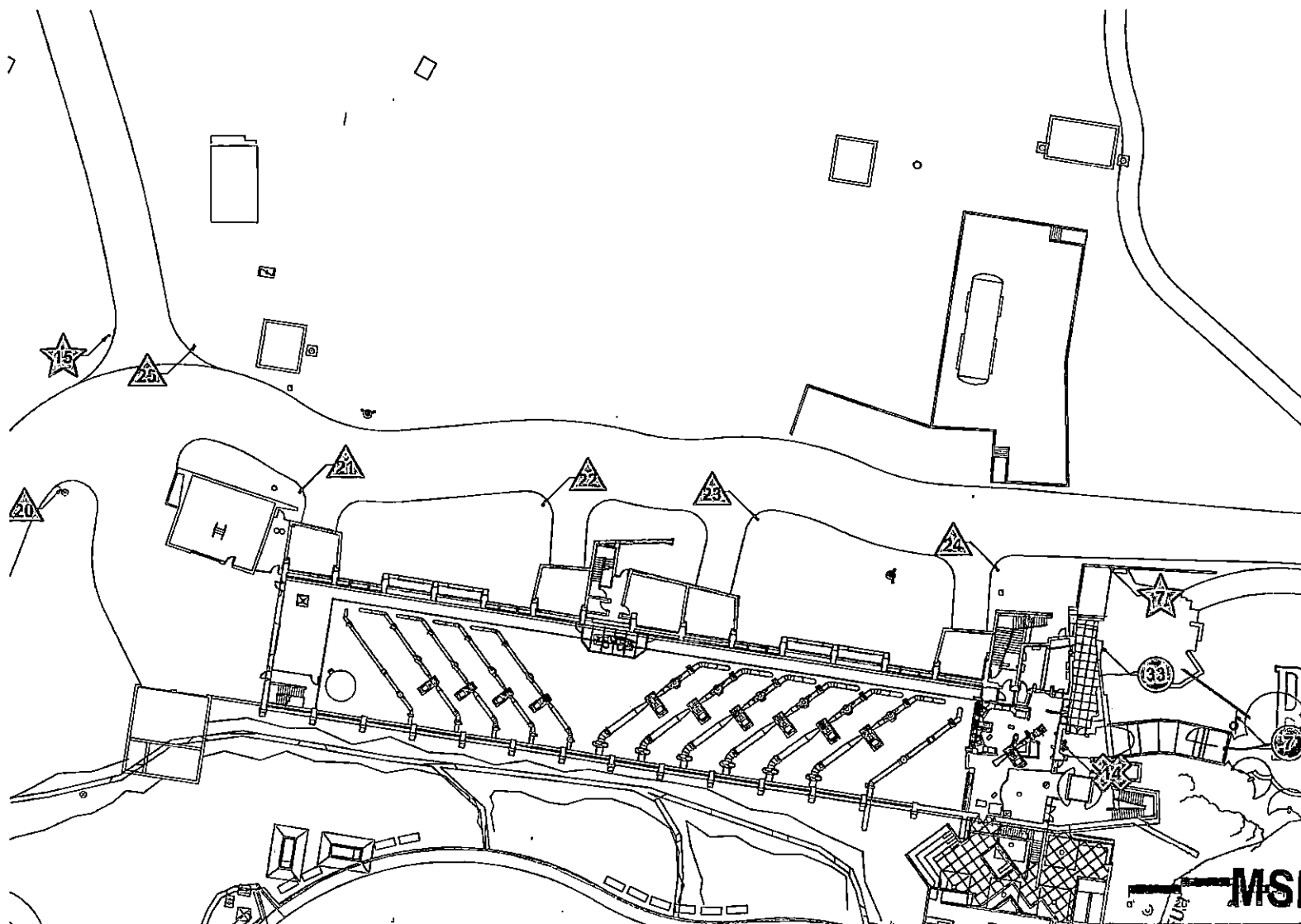
WEST OFFICE EXHIBITION DESIGN
225 Third St. Cotland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

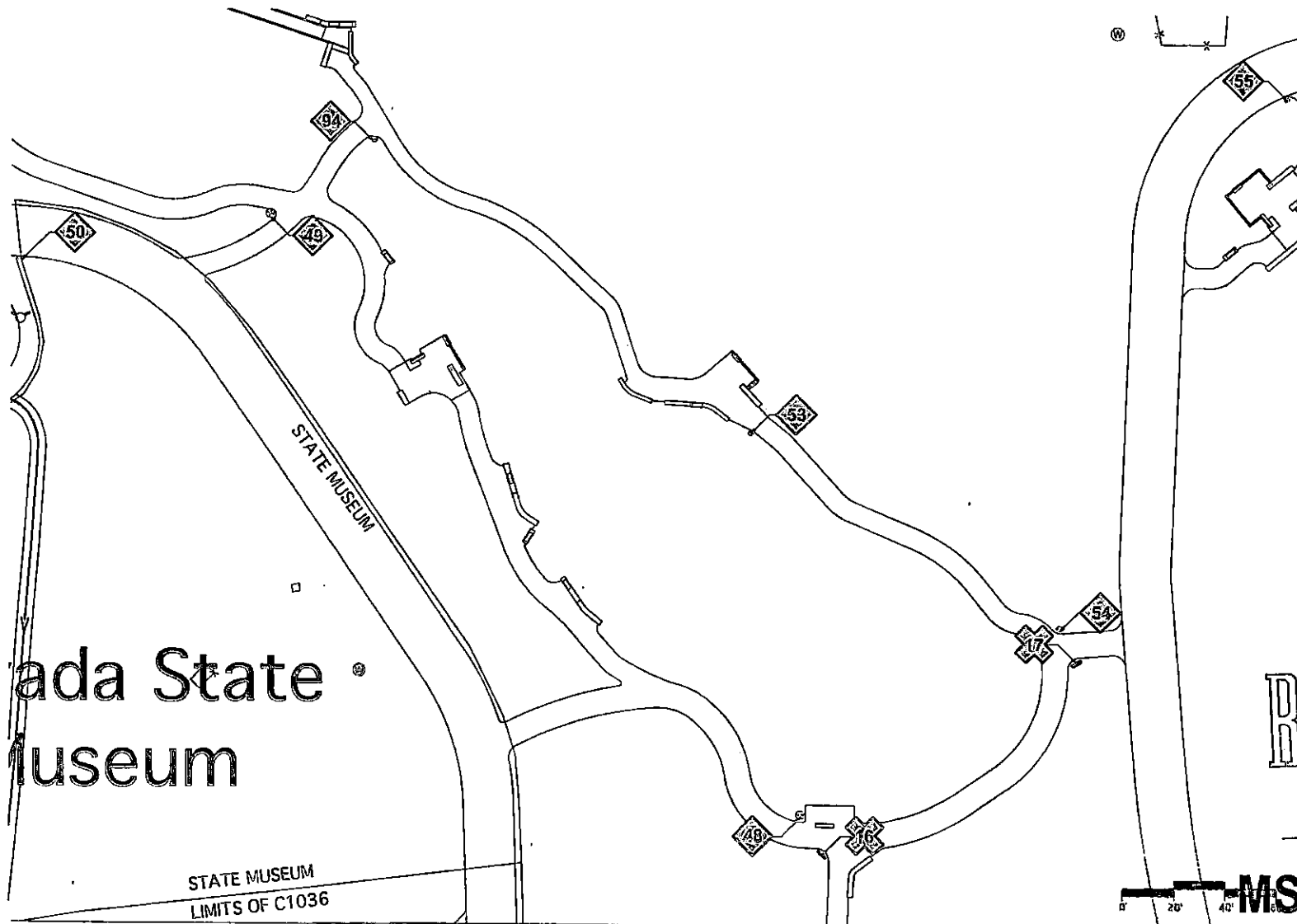
SHEET
L-1.5

SITE SIGNAGE
LOCATION MAP
Pump House

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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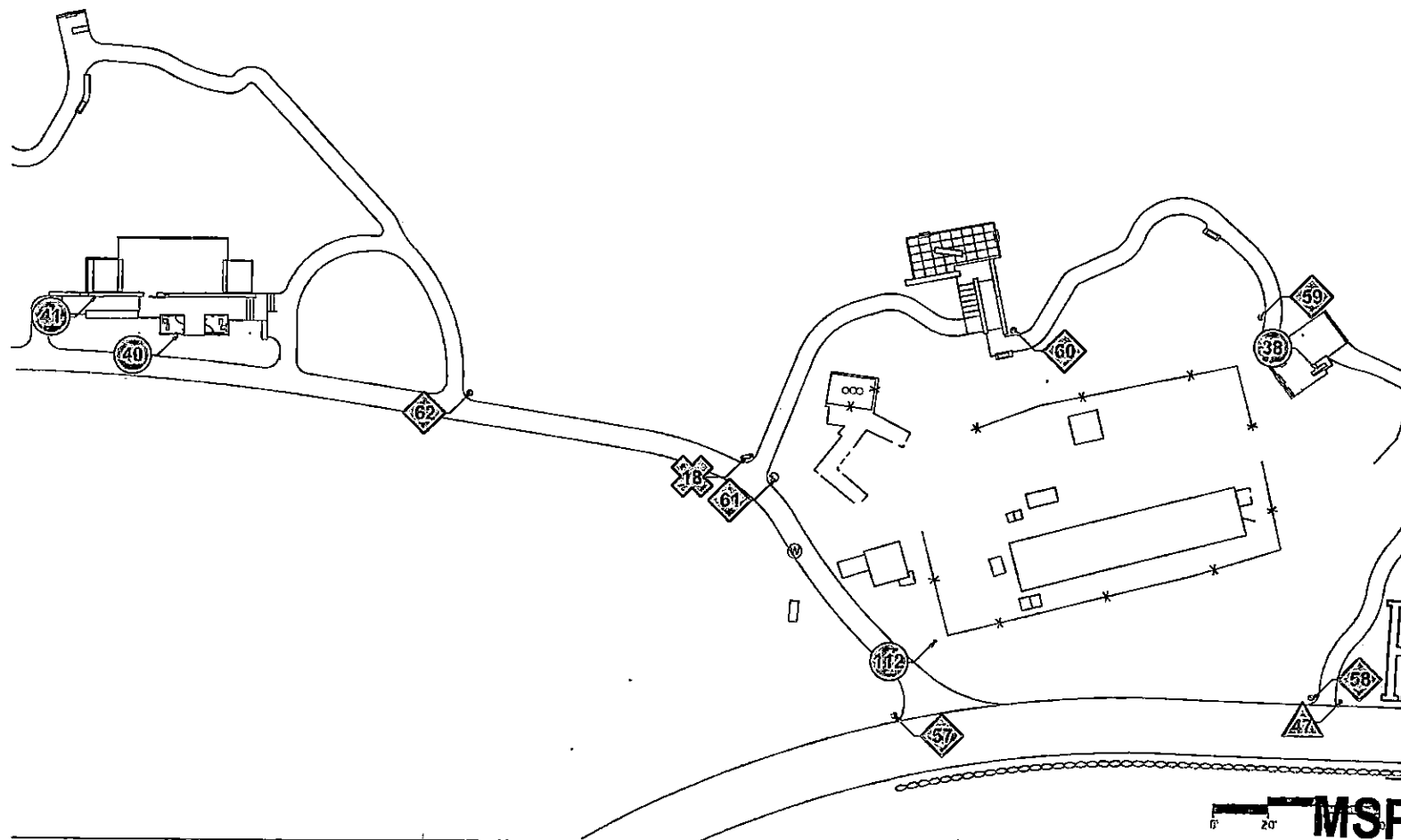


DATE May 2006
PROJECT Springs Preserve Signage Standards
SHEET L-1.6
SITE SIGNAGE LOCATION MAP Trails

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9812

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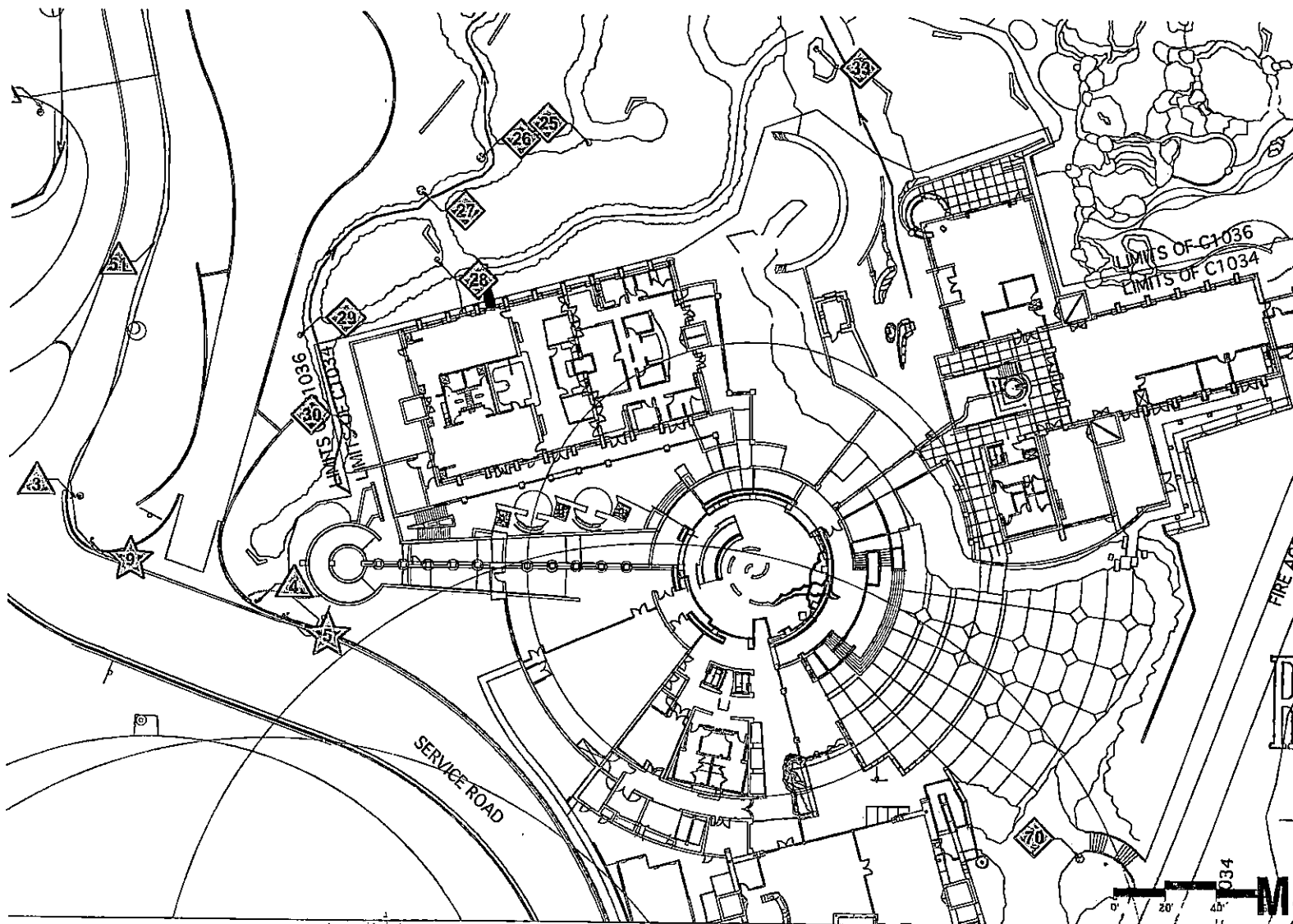
MSP-18047
12/21/06 PC



DATE May 2006	WEST OFFICE EXHIBITION DESIGN 225 Third St. Berkeley CA 94607 ☎ 510 251-9633 ☎ 510 251-9212
PROJECT Springs Preserve Signage Standards	
SHEET L-1.7	
SITE SIGNAGE LOCATION MAP Trails	

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DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-1.8

SITE SIGNAGE
LOCATION MAP
Desert Collection Garden and
Desert Living Center

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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PROJECT
Springs Preserve
Signage Standards

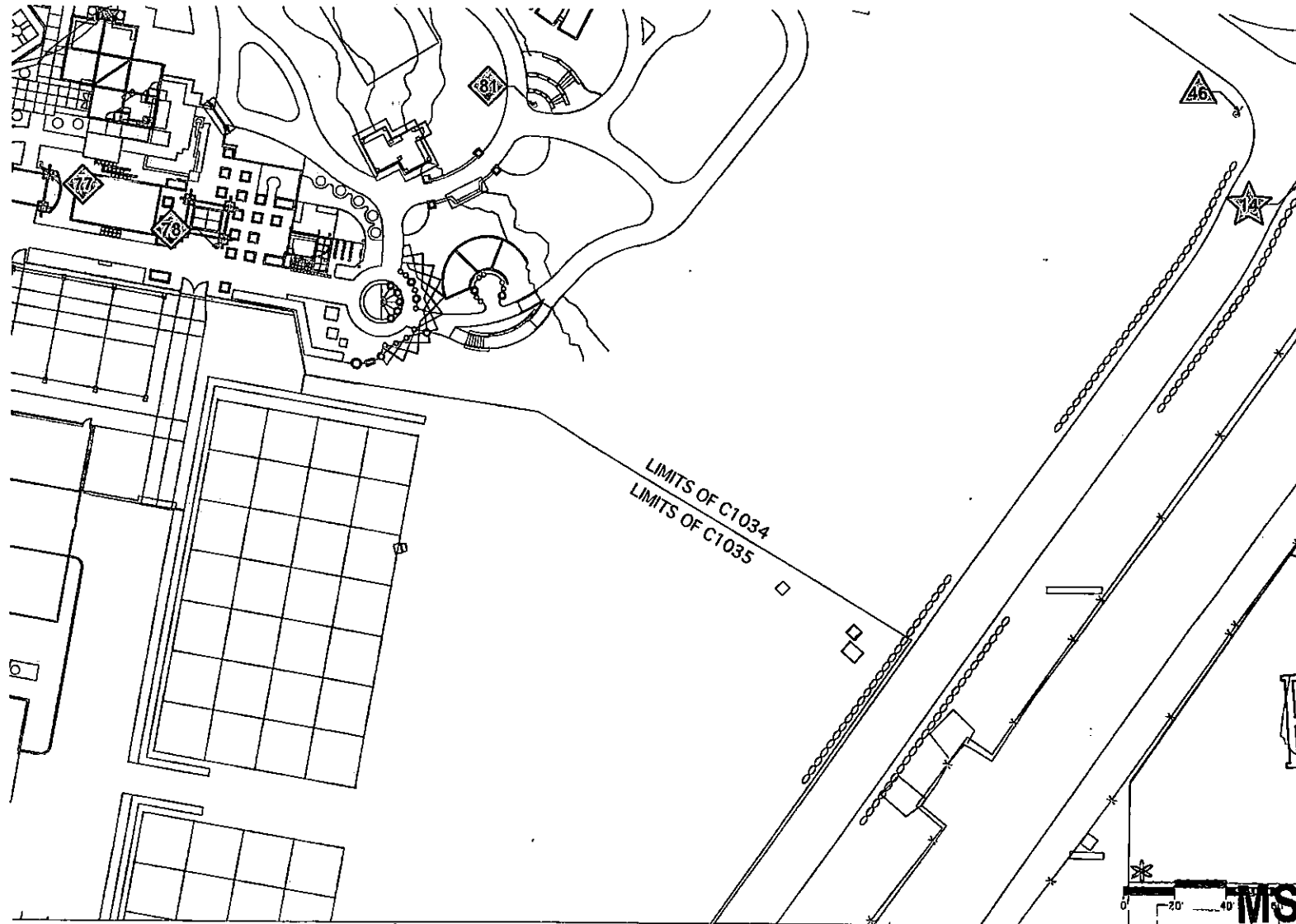
SHEET
L-1.9

SITE SIGNAGE
LOCATION MAP
Desert Living Center and
Gardens

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510-251-1827 ✉ 510-251-2012

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DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

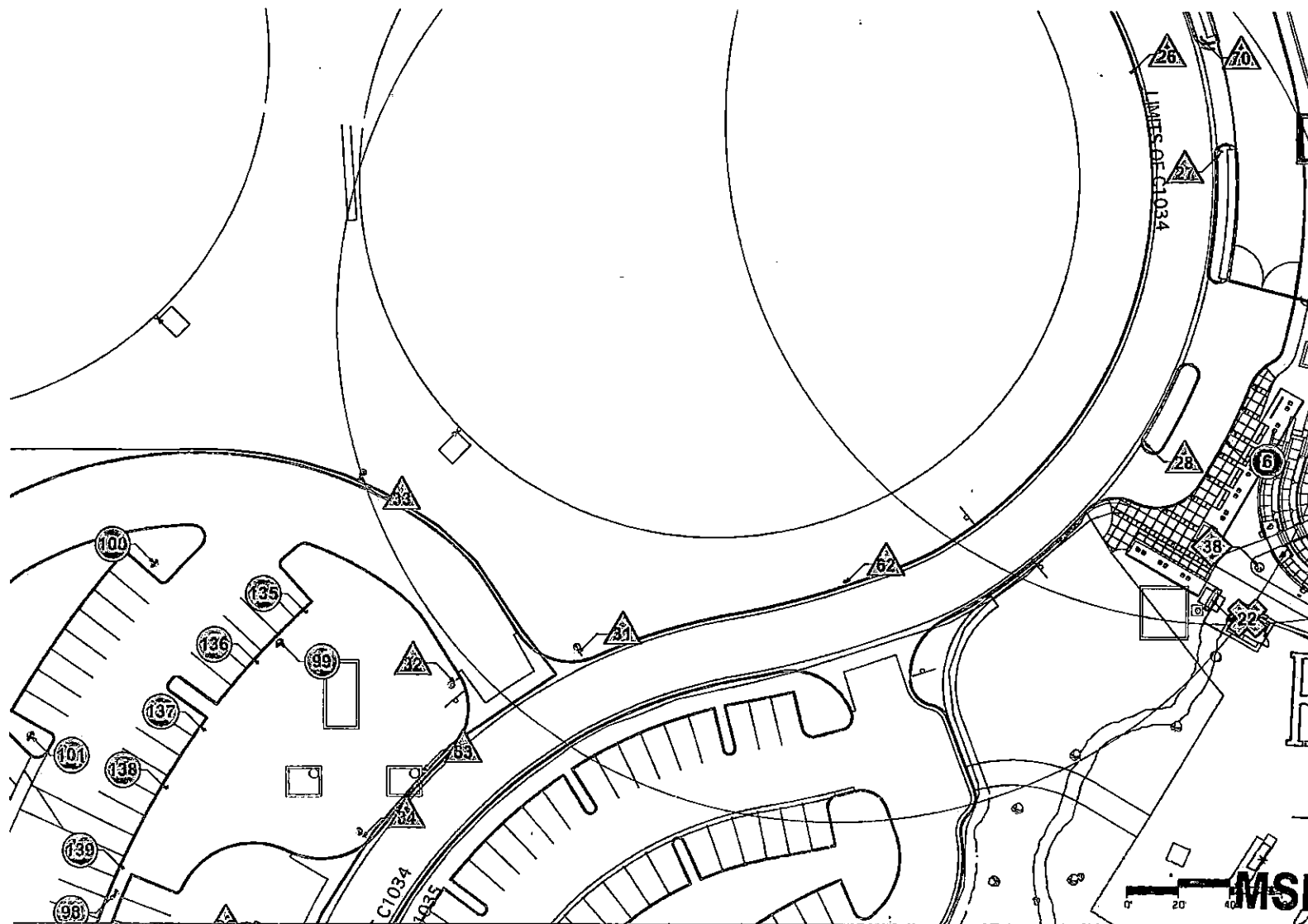
SHEET
L-1.10

SITE SIGNAGE
LOCATION MAP
Desert Living Center Gardens

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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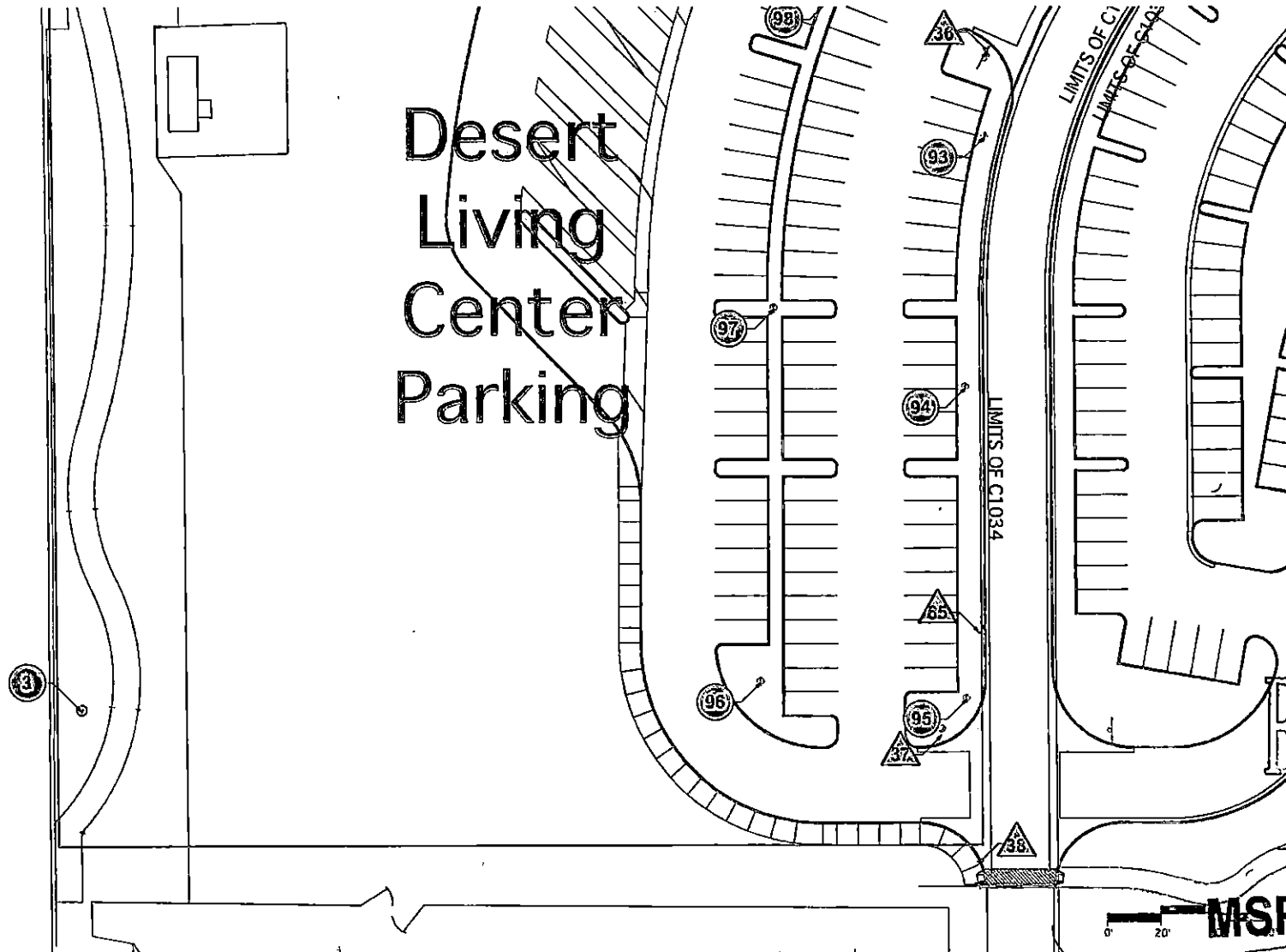
DATE May 2006
PROJECT Springs Preserve Signage Standards
SHEET L-1.11
SITE SIGNAGE LOCATION MAP South Parking Lot

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225 Third St., Oakland CA 94607 ☎ 510 251-9633 ✉ 510 251-9212

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Desert Living Center Parking



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PROJECT
Springs Preserve
Signage Standards

SHEET
L-1.12

SITE SIGNAGE
LOCATION MAP
South Parking Lot

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9633 ☎ 510 251-9212

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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
IDENTIFICATION						
1	1.1.2 entrance marquee	street	•			Springs Preserve
2	1.1.2 entrance marquee	street	•			Springs Preserve
3	1.1.1 pre entrance marquee	street	•			Springs Preserve
4	1.1.1 pre entrance marquee	street	•			Springs Preserve
5	1.1.1 pre entrance marquee	public bus stop	•			Springs Preserve
6	1.2.2 facility - ground-mounted	bus stop - desert living center	•			Springs Preserve
7	1.3.1 major building id	pump house	•			Pump House
8	1.3.2 minor building id	orientation plaza	•			Welcome to the Springs Preserve
9	1.3.2 minor building id	orientation plaza theater	•			Orientation Plaza Theater
10	1.3.2 minor building id	visitor center - office	•			Visitor Center Office
11	1.3.2 minor building id	restrooms - visitor center office	•			Restrooms
12	1.3.2 minor building id	food / retail - visitor center office	•			Gift Shop and Café
13	1.3.1 major building id	visitor center entrance	•			Visitor Center
14	1.3.2 minor building id	restrooms - crossroads common	•			Restrooms
15	1.3.2 minor building id	children's play area	•			Children's Play Area
16	1.3.2 minor building id	desert living center	•			Desert Living Center
17	1.3.2 minor building id	demo garden theater	•			Demo Garden Theater
18	1.3.2 minor building id	#14 crossroads common node - entrance	•			Crossroads Common Node
19	1.3.2 minor building id	#12 cauldron pool	•			Cauldron Pool
20	1.3.2 minor building id	restrooms / water - pump house	•			Restrooms
21	1.3.2 minor building id	#9 shanty and settling basin	•			Shanty and Settling Basin
22	1.3.2 minor building id	restrooms / water - interpretive pavilion	•			Restrooms
23	1.3.2 minor building id	#5 interpretive pavilion	•			Interpretive Pavilion
24	1.3.2 minor building id	#5 prehistoric hearths	•			Prehistoric Hearths
25	1.4.1 parking zone id	north parking lot	•			A
26	1.4.1 parking zone id	north parking lot	•			A

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.1

SIGNAGE LIST

- 1 Identification
- ▲ 2 Directional - Street
- ◆ 3 Directional - Paths and Walkways
- ◇ 4 Directional - Buildings
- ✕ 5 Orientation and Information
- ★ 6 Emergency

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607 ☎ 510 251-9533

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CONTINUED ON SHEET L-2.2

MSP-18047
12/21/06 PC

Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
46	1.4.1 parking zone id	north parking lot			A	
47	1.4.1 parking zone id	north parking lot			A	
48	1.4.2 mounted parking zone id	north parking lot			B	
49	1.4.1 parking zone id	north parking lot			C	
50	1.4.1 parking zone id	north parking lot			C	
51	1.4.2 mounted parking zone id	north parking lot			D	
52	1.4.2 mounted parking zone id	north parking lot			D	
53	1.4.2 mounted parking zone id	north parking lot			D	
54	1.4.2 mounted parking zone id	north parking lot			E	
55	1.4.2 mounted parking zone id	north parking lot			E	
56	1.4.2 mounted parking zone id	north parking lot			F	
57	1.4.2 mounted parking zone id	north parking lot			F	
58	1.4.1 mounted parking zone id	north parking lot			F	
59	1.4.1 parking zone id	north parking lot			G	
60	1.4.1 parking zone id	north parking lot			G	
61	1.4.1 parking zone id	north parking lot			G	
62	1.4.1 parking zone id	north parking lot			H	
63	1.4.1 parking zone id	north parking lot			H	
64	1.4.1 parking zone id	north parking lot			H	
65	1.4.1 parking zone id	north parking lot			I	
66	1.4.1 parking zone id	north parking lot			I	
67	1.4.2 mounted parking zone id	north parking lot			J	
68	1.4.2 mounted parking zone id	north parking lot			J	
69	1.4.2 mounted parking zone id	north parking lot			K	
70	1.4.2 mounted parking zone id	north parking lot			K	
71	1.4.2 mounted parking zone id	north parking lot			L	
72	1.4.2 mounted parking zone id	north parking lot			L	
73	1.4.1 parking zone id	north parking lot			L	
74	1.4.2 mounted parking zone id	north parking lot			L	
75	1.4.2 mounted parking zone id	north parking lot			M	
76	1.4.2 mounted parking zone id	north parking lot			M	
77	1.4.1 parking zone id	north parking lot			M	
78	1.4.2 mounted parking zone id	north parking lot			N	
79	1.4.2 mounted parking zone id	north parking lot			N	
80	1.4.2 mounted parking zone id	north parking lot			N	
81	1.4.1 parking zone id	north parking lot			N	
82	1.4.1 parking zone id	north parking lot			O	

DATE May 2006		 WEST OFFICE EXHIBITION DESIGN 225 Third St. Oakland CA 94607 ☎ 510-251-9622 ☎ 510-251-9212
PROJECT Springs Preserve Signage Standards		
SHIFT L-2.2		
SIGNAGE LIST		
●	1 Identification	
▲	2 Directional - Street	
◆	3 Directional - Paths and Walkways	
❖	4 Directional - Buildings	
✱	5 Orientation and Information	
★	6 Emergency	

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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
93	1.4.1 parking zone id	south parking lot			P	
94	1.4.1 parking zone id	south parking lot			P	
95	1.4.1 parking zone id	south parking lot			P	
96	1.4.1 parking zone id	south parking lot			Q	
97	1.4.1 parking zone id	south parking lot			Q	
98	1.4.1 parking zone id	south parking lot			R	
99	1.4.1 parking zone id	south parking lot			R	
100	1.4.1 parking zone id	south parking lot			S	
101	1.4.1 parking zone id	south parking lot			S	
102	1.3.2 minor building id	desert living center				Desert Living Center
105						
106						
107						
108	1.2.2 facility - ground-mounted	historic well				Historic Well
109	1.2.2 facility - ground-mounted	historic well derrick				Historic Well Derrick
110						
111						
112	1.2.2 facility - ground-mounted	historic industrial site - spring loop trail				Historic Industrial Site
113	1.2.2 facility - ground-mounted	historic clark street pump station				Clark Street Pump Station
114	1.2.2 facility - ground-mounted	historic industrial site - reservoir				Historic Industrial Site
115						
116						
117	1.2.2 facility - ground-mounted	historic well derrick - trailhead entrance				Historic Well Derrick
119						
120	1.2.2 facility - ground-mounted	historic well derrick - desert living center				Historic Well Derrick
122						
123						
124						
125	1.2.2 facility - ground-mounted	south parking lot				Open Box
127	1.2.2 facility - ground-mounted	rate of flow control station				Rate of Flow Control Station
132	1.1.1 pre entrance marquee	roadway				Springs Preserve
133	1.1.1 pre entrance marquee	roadway				Springs Preserve
134	1.2.1 facility - wall-mounted	visitor center - office				Visitor Center Office Loading Dock
135	1.2.2 facility - ground-mounted	south parking lot				Carpool Only →
136	1.2.2 facility - ground-mounted	south parking lot				Carpool Only ↔
137	1.2.2 facility - ground-mounted	south parking lot				Carpool Only ↔
138	1.2.2 facility - ground-mounted	south parking lot				Carpool Only ↔
139	1.2.2 facility - ground-mounted	south parking lot				Carpool Only ←

DATE May 2006	
PROJECT Springs Preserve Signage Standards	
SHEET L-2.3	SIGNAGE LIST ● 1 Identification ▲ 2 Directional - Street ◆ 3 One-way ◆ 4 Directional - Buildings ✕ 5 Orientation and Information ★ 6 Emergency
WEST OFFICE EXHIBITION DESIGN 255 Third St. Oakland CA 94607 ☎ 510 251-9633 ☯ 510 251-9212	

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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
140	1.4.3 accessible parking space id	north parking lot				Van Accessible →
141	1.4.3 regulatory parking space id	north parking lot				Van Accessible ↔
142	1.4.3 accessible parking space id	north parking lot				Van Accessible ↔
143	1.4.3 regulatory parking space id	north parking lot				Van Accessible ↔
144	1.4.3 accessible parking space id	north parking lot				Van Accessible ↔
2. DIRECTIONAL - STREET						
2	2.1 major directional	roadway	●			N- Parking, Drop Off; S- Staff Parking
3	2.1 major directional	roadway	●			N- Parking, Drop Off; W- Exit
4	2.3 non public	service entrance				Visitor Center Service Entrance
5	2.3 major directional	roadway	●			S- Exit, Bus Parking
6	2.2 minor directional	roadway	●			N- Drop Off
7	2.3 non public	roadway				Bus Drop Off
9	2.1 major directional	roadway	●			N- Parking, Drop Off; S- Exit, Buses, Trucks
10	2.1 major directional	roadway	●			N- Parking, Drop Off; E- Exit
11	2.1 major directional	roadway	●			S- Parking; E- Exit
12	2.2 minor directional	roadway	●			E- Visitor Drop Off
13	2.2 minor directional	roadway	●			S- Exit
14	2.2 minor directional	roadway	●			S- Exit
15	2.2 minor directional	roadway	●			W- Exit
16	2.2 minor directional	roadway	●			E- Drop Off Only
17	2.3 non public	roadway				Drop Off Only
18	2.3 non public	roadway				Drop Off Only
20	2.1 major directional	service entrance	●			S- Pump Station; N- Trails; E- Service Road
21	2.3 non public	service entrance				Loading Dock 1
22	2.3 non public	service entrance				Loading Dock 2
23	2.3 non public	service entrance				Loading Dock 3
24	2.3 non public	service entrance				Loading Dock 4
25	2.3 non public	service entrance				Trails
26	2.3 non public	service entrance				OLC Service Entrance
27	2.3 non public	service entrance				OLC Service Entrance
28	2.3 non public	service entrance				OLC Service Entrance
31	2.1 major directional	roadway	●			S- Service Road; W- Parking
32	2.1 major directional	roadway	●			N- Exit, Visitor parking; S- Service Road
33	2.2 major directional	south parking lot	●			E- Exit, W- Bus Parking, S- Parking
34	2.1 major directional	south parking lot	●			W- Parking; S- Service Road
36	2.1 major directional	south parking lot	●			N- Exit, Visitor Parking; S- Service Road
37	2.1 major directional	south parking lot	●			S- Service Road, N- Exit
38	2.3 non public	service entrance				Service Entrance

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.4

SIGNAGE LIST

- 1 Identification
- ▲ 2 Directional - Street
- ◆ 3 Directional - Paths and Walkways
- ❖ 4 Directional - Buildings
- ✱ 5 Orientation and Information
- ★ 6 Emergency

WEST OFFICE EXHIBITION DESIGN
235 Third St. Oakland CA 94607 ☎ 510.251-9633 ☎ 510.251-9212

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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
▲ 41	2.3 non public	service entrance				Service Entrance
▲ 42	2.3 non public	service entrance				Service Entrance
▲ 43	2.1 major directional	roadway				E- Service Road, W- Stall Parking
▲ 44	2.3 non public	service entrance				Service Entrance
▲ 45	2.3 non public	service entrance				Service Entrance
▲ 46	2.1 major directional	service entrance				N- Cienega & Trails: W- Visitor Center, Desert Living Center, Pump House
▲ 47	2.3 non public	service entrance				Service Entrance
▲ 48	2.3 non public	service entrance				Service Entrance
▲ 49	2.3 non public	service entrance				Service Entrance
▲ 50	2.4 traffic sign	roadway				Speed Limit
▲ 51	2.4 traffic sign	roadway				Speed Limit
▲ 52	2.4 traffic sign	roadway				Speed Limit
▲ 53	2.4 traffic sign	roadway				Pedestrian Crossing
▲ 54	2.4 traffic sign	roadway				Pedestrian Crossing
▲ 55	2.4 traffic sign	roadway				Speed Limit
▲ 56	2.4 traffic sign	roadway				Speed Limit
▲ 57	2.4 traffic sign	roadway				Speed Limit
▲ 58	2.4 traffic sign	roadway				Speed Limit
▲ 59	2.4 traffic sign	roadway				Speed Limit
▲ 60	2.4 traffic sign	roadway				Speed Limit
▲ 61	2.4 traffic sign	roadway				Speed Limit
▲ 62	2.4 traffic sign	roadway				Speed Limit
▲ 63	2.4 traffic sign	roadway				Speed Limit
▲ 64	2.4 traffic sign	roadway				Speed Limit
▲ 65	2.4 traffic sign	roadway				Speed Limit
▲ 66	2.4 traffic sign	roadway				Speed Limit
▲ 67	2.3 non public	service entrance - visitor center				Managerial Space
▲ 68	2.3 non public	service entrance - visitor center				Loading Dock
▲ 69	2.3 non public	service entrance - visitor center				Loading Dock
▲ 70	2.3 non public	service entrance - desert living center				Desert Living Center Service Entrance
▲ 71	2.1 major directional	roadway				W- Exit S- Bus Parking, Stall Parking
DIRECTIONAL - PATHS AND WALKWAYS						
◆ 1	3.2 minor directional	roadway/bus stop				S- Springs Preserve Entrance
◆ 2	3.2 minor directional	north parking				N- Springs Preserve Entrance, S- Orientation Plaza, Emergency Exit
◆ 3	3.2 minor directional	orientation plaza				E- Elevator, S- Visitor Center, Emergency Exit
◆ 4	3.1 minor directional	orientation plaza				S- Emergency Exit, Bus Drop Off
◆ 5	3.1 minor directional	orientation plaza				N- Parking, S- Emergency Exit, W- Visitor Center, Elevator
◆ 6	3.1 minor directional	orientation plaza				N- Parking, S- Emergency Exit, W- Visitor Center, Elevator
◆ 7	3.1 minor directional	orientation plaza				E- Emergency Exit, Visitor Center
◆ 8	3.1 minor directional	orientation plaza				E- Emergency Exit, Visitor Center
◆ 9	3.2 minor directional	north parking				N- Orientation Plaza, E- Staff Entrance, First aid, Restrooms
◆ 10	3.2 minor directional	north parking				N- Orientation Plaza, E- Staff Entrance, First aid, Restrooms
◆ 11	3.2 minor directional	north parking				N- Orientation Plaza, E- Staff Entrance, First aid, Restrooms
◆ 12	3.2 minor directional	box canyon				E- Ticketing, Visitor Center, Gift Shop & Café, W- Box Canyon
◆ 13	3.2 minor directional	box canyon				E- Ticketing, Visitor Center, Gift Shop & Café, W- Box Canyon
◆ 14	3.2 minor directional	box canyon				E- Ticketing, Visitor Center, Gift Shop & Café, W- Box Canyon

DATE May 2006		 WEST OFFICE EXHIBITION DESIGN 125 Third St., Oakland, CA 94607 Tel: 510.251.3633 Fax: 510.251.3612
PROJECT Springs Preserve Signage Standards		
SHEET L-2.5		
SIGNAGE LIST		
●	1 Identification	
▲	2 Directional - Street	
◆	3 Directional - Paths and Walkways	
❖	4 Directional - Bulbways	
✱	5 Orientation and Information	
★	6 Emergency	

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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
◆ 15	3.1 major directional	ravine walk	○		●	S- Gift Shop & Café, Restrooms, First Aid, Exit; E- Visitor Center, Desert Living Center, Crossroads Common; N- History Museum; W- Emergency Exit
◆ 16	3.2 minor directional	ravine walk	○		●	S- Gift Shop & Café; N- Ticketing
◆ 17	3.2 minor directional	ravine walk	○		●	E- Visitor Center, Desert Living Center, Gift Shop & Café; W- Ticketing
◆ 18	3.2 minor directional	ravine walk	○		●	W- Café & Gift Shop, First Aid, Exit, Emergency Exit; E- restrooms
◆ 19	3.1 major directional	visitor center office	○		●	N- History museum, Visitor Center, Emergency Exit; S- Desert Living Center, First aid; W- Exit
◆ 20	3.1 major directional	visitor center	○		●	E- Trails; S- Desert Living Center; W- Café & Gift Shop, Exit
◆ 21	3.1 major directional	ravine walk / desert collection garden	○		●	N- Visitor Center, Café & Gift Shop, History Museum; S- Desert Living Center
◆ 22	3.1 major directional	ravine walk / desert collection garden	○		●	W- Café & Gift Shop, Exit; N- Visitor Center, Emergency Exit, S- Desert Living Center
◆ 23	3.1 major directional	crossroads common	○		●	E- Trails; W- Visitor Center, Desert Living Center, Restrooms
◆ 24	3.2 minor directional	desert collection garden	○		●	N- Visitor Center, Desert Living Center; W- Café & Gift Shop, First Aid, Restrooms, Exit
◆ 25	3.2 minor directional	desert collection garden	○		●	W- Desert Living Center; N- Visitor center, Café & Gift Shop
◆ 26	3.2 minor directional	desert collection garden	○		●	E- Visitor Center, N- Café & Gift Shop, First Aid, Exit, Emergency Exit; W- Desert Living Center
◆ 27	3.1 major directional	desert collection garden	○		●	S- Desert Living Center, E- Visitor Center, Café & Gift Shop, Exit; W- Desert Living Center
◆ 28	3.2 minor directional	desert collection garden	○		●	E- Desert Living Center, Visitor Center; N- Café & Gift shop, Restrooms
◆ 29	3.2 minor directional	desert collection garden	○		●	E- Visitor Center, Desert Living Center; N- Café & Gift Shop, Restrooms, Exit
◆ 30	3.2 minor directional	desert collection garden	○		●	N- Visitor Center, Café & Gift Shop, Desert Living Center
◆ 33	3.2 minor directional	desert collection garden	○		●	E- Trails, Restrooms; N- Visitor Center, Café & Gift Shop, Exit, Emergency Exit; First Aid
◆ 34	3.1 major directional	children's play area	○		●	E- Children's Play Area, Restrooms, Trails; W- Visitor Center, Café & Gift Shop;
◆ 35	3.2 minor directional	restrooms - crossroads common	○		●	W- Desert Living Center, First Aid; E- Visitor Center, Trails, Restrooms
◆ 36	3.2 minor directional	crossroads common	○		●	N- Visitor Center, Emergency Exit; W- Desert Living Center, First Aid, Café & Gift Shop Exit
◆ 37	3.1 major directional	trailheads	○		●	W- Visitor Center, Desert Living Center, Emergency Exit; N-S- Service Road; E- Trails
◆ 38	3.1 major directional	demo garden theater	○		●	W- Bus stop; N- Desert Living Center; E- Gardens, Visitor Center, Exit
◆ 43	3.1 major directional	spring mound spur trail #1				SE- Cienega; W- Crossroads Common, Spring Mound, Spring Loop Trail
◆ 44	3.1 major directional	spring mound spur trail #1				E- Cienega; S- Spring mound, W- Spring Loop Trail, Crossroads Common
◆ 46	3.2 minor directional	spring mound spur trail #1				NW- Crossroads Common, Spring Mound; SE- Service Road
◆ 47	3.2 minor directional	entrance trail				S- Crossroads Common, 1st Aid, Restrooms; N- Spring Loop Trail
◆ 48	3.1 major directional	entrance trail				S- Crossroads Common, Restrooms, First Aid; E-W- Spring Loop Trail
◆ 49	3.1 major directional	crossroads loop trail 2				NE- Big Spring Springhouse; SE- Crossroads Common, First Aid; SW- Pump House, Restrooms; NW- Pithouse
◆ 50	3.2 minor directional	pump house spur trail				E- Spring Loop Trail, Crossroads Common, Emergency Exit
◆ 51	3.1 major directional	crossroads loop trail 2				E- Pithouse, Prehistoric Hearths; W- Crossroads Common; S- Big Spring Springhouse, First Aid, Restrooms
◆ 52	3.2 minor directional	crossroads loop trail 1				S- Crossroads Common, N- Pithouse, Prehistoric Hearths
◆ 53	3.2 minor directional	crossroads loop trail 1				NW- Big Spring Springhouse; SE- Crossroads Common
◆ 54	3.1 major directional	crossroads loop trail 1				E- Dugout Wayside; NW- Big Spring Springhouse; S- Crossroads Common
◆ 55	3.2 minor directional	spring loop trail 2				S- Crossroads Common, First Aid; N- Dugout
◆ 56	3.2 minor directional	spring loop trail 2				W- Crossroads Common; E- Caretaker's House, Shanty
◆ 57	3.2 minor directional	spring loop trail 2				NW- Pavilion Ramada, Caretaker's House, Restrooms; W- Crossroads Common; N- Big Spring Springhouse
◆ 58	3.2 minor directional	spring loop trail 3				W- Crossroads Common; N- Shanty, Caretaker's House
◆ 59	3.2 minor directional	spring loop trail 3				W- Pavilion Ramada, Restrooms; E- Dugout, Crossroads Common
◆ 60	3.2 minor directional	spring loop trail 3				E- Shanty; W- Pavilion Ramada, Restrooms

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.6

SIGNAGE LIST

- 1 Identification
- ▲ 2 Directional - Street
- ◆ 3 Directional - Paths and Walkways
- ❖ 4 Directional - Buildings
- ✕ 5 Orientation and Information
- ★ 6 Emergency

WEST OFFICE EXHIBITION DESIGN
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Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
61	3.1 major directional	spring loop trail 3				N- Caretaker's House, Shanty; S- Dugout; W- Pavilion Ramada, Restrooms
62	3.2 minor directional	spring loop trail 5				E- Caretaker's House, Crossroads Common; W- Pavilion Ramada, Restrooms
63						
64						
65						
66	3.1 major directional	spring loop trail 4				W- First Aid, Crossroads Common, N- Chicken Coop, E- Pavilion Ramada, Caretaker's House, Restrooms
67						
68	3.2 minor directional	spring loop trail 1				E- Big Spring Springhouse, Pavilion Ramada, W- Caretaker's House, Shanty
69						
70	3.1 major directional	demonstration gardens				N- Visitor Center, First Aid, Restrooms, Exit; S- Gardens; E- Service Road
71	3.2 minor directional	demonstration gardens				N- Visitor Center, Desert Living Center, Exit; S- Gardens
72	3.2 minor directional	demonstration gardens				N- Visitor Center, Exit, S- Gardens
73	3.2 minor directional	demonstration gardens				N- Desert Living Center, Visitor Center, Exit; S- Gardens
74	3.1 major directional	demonstration gardens				N- Desert Living Center, Visitor Center, Restrooms, Exit; E- Gardens
75	3.1 major directional	demonstration gardens				E- Gardens; N- Visitor Center, Exit; W- Bus Stop
76	3.2 minor directional	demonstration gardens				NW- Desert Living Center, Exit
77	3.2 minor directional	demonstration gardens				N- Desert Living Center, Restrooms, First Aid, Exit
78	3.2 minor directional	demonstration gardens				N- Desert Living Center, Restrooms, First Aid, Exit
79						
80						
81	3.2 minor directional	demonstration gardens				N- Desert Living Center, Restrooms, First Aid, Exit
82	3.2 minor directional	demonstration gardens				NW- Desert Living Center, Restrooms, First Aid, Exit
83						
84	3.2 minor directional	demonstration gardens				N- Desert Living Center, Restrooms, First Aid, Exit
85	3.2 minor directional	demonstration gardens				SW- Desert Living Center, Restrooms, First Aid, Exit
86	3.2 minor directional	demonstration gardens				W- Restrooms, First Aid, Exit
87	3.2 minor directional	demonstration gardens				S- Desert Living Center, Restrooms, First Aid, Exit
88						
89						
90						
91	3.2 minor directional	ravine walk/desert collection garden				S- Restrooms, First Aid
92	3.2 minor directional	visitor center				S- Restrooms, First Aid, Emergency Exit; N- History Museum
93	3.2 minor directional	ravine walk				SW- Restrooms, First Aid; N- History Museum
94	3.2 minor directional	to trailheads				SW- Restrooms, First Aid
95	3.2 minor directional	spring mound spur trail #1				W- Restrooms, First Aid
96	3.2 minor directional	visitor center office				S- Restrooms, First Aid; N- Emergency Exit
97	3.2 minor directional	visitor center office				W- First Aid; N- Restrooms, Exit, Emergency Exit
4. DIRECTIONAL - BUILDINGS						
98						
99						
5. ORIENTATION / INFORMATION						
100						
101	5.1 directory - static	orientation plaza				
102	5.1 directory - static	orientation plaza				
103						
104						

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.7

SIGNAGE LIST

- 1 Identification
- 2 Directional - Street
- 3 Directional - Paths and Walkways
- 4 Directional - Buildings
- 5 Orientation and Information
- 6 Emergency

WEST OFFICE EXHIBITION DESIGN
225 Third St. Oakland CA 94607
SIB 85-9633 SID 251-9212

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12/21/06 PC

Sign No.	Sign Type	Location	Power / Light	Data	Ext. Lighting	Text
5	5.3 directory - wall-mounted dynamic	visitor center office	●	●		
6	5.1 directory - static	visitor center	●	●	●	
7	5.3 directory - wall-mounted dynamic	visitor center	●	●		
8	5.1 directory - static	ravine walk	●	●	●	
9	5.2 directory - dynamic	to trailheads	●	●	●	
10						
11						
12						
13						
14	5.1 directory - static	pump house	●	●		
15	5.1 directory - static	entrance trail	●	●		
16	5.1 directory - static	entrance / crossroads loop trails	●	●		
17	5.1 directory - static	crossroads loop trails / spring loop trails	●	●		
18	5.1 directory - static	spring loop trails	●	●		
19	5.1 directory - static	crossroads loop trails / spring loop trails	●	●		
20	5.1 directory - static	visitor center office / retail	●	●	●	
21						
22	5.2 directory - dynamic	drama garden theater	●	●		
23						
6 EMERGENCY						
★ 1	6.1 vehicle access	roadway / service entrance				Fire Route
★ 2	6.1 vehicle access	roadway / service entrance				Fire Route
★ 3						
★ 4						
★ 5	6.2 pedestrian emergency access	desert living center			●	Emergency Exit
★ 6						
★ 7	6.1 vehicle access	pump house				Fire Route
★ 8						
★ 9	6.1 vehicle access	desert living center				Fire Route
★ 10						
★ 11						
★ 12						
★ 13						
★ 14	6.1 vehicle access	roadway / service entrance				Fire Route
★ 15	6.1 vehicle access	roadway / service entrance				Fire Route
★ 16						
★ 17						

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.8

SIGNAGE LIST

- 1 Identification
- ▲ 2 Directional - Street
- ◆ 3 Directional - Paths and Walkways
- ◇ 4 Directional - Buildings
- ✕ 5 Orientation and Information
- ★ 6 Emergency

WEST OFFICE EXHIBITION DESIGN
225 Third St., Oakland CA 94607 ☎ 510 251-9212

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Sign Symbol	Sign Type	Amount
DESERT LIVING CENTER SIGNAGE: Reference: Exhibit 1034; Drawings: A47, A52		
●	1.2.1 facility - wall-mounted	53
●	1.3.1 major building id	3
●	1.3.2 minor building id	7
◆	3.1 major directional	2
◆	3.2 minor directional	13
◆	4.1 wall-mounted building directionals	28
◆	4.2 code-required building signs	34
✱	5.1 directory - static	2
✱	5.2 directory - dynamic	1
★	6.2 pedestrian emergency access	38

DATE
May 2006

PROJECT
Springs Preserve
Signage Standards

SHEET
L-2.9

SIGNAGE LIST

- 1 Identification
- ▲ 2 Directional - Street
- ◆ 3 Directional - Paths and Walkways
- ◆ 4 Directional - Buildings
- ✱ 5 Orientation and Information
- ★ 6 Emergency

WEST OFFICE EXHIBITION DESIGN
225 Third St, Oakland CA 94607 ☎ 510 251-9333 ☎ 510 251-9212

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lucchesi galati

November 6, 2006

City of Las Vegas
Development Services Center
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

To Whom It May Concern:

It is with great pleasure that we are pleased to submit the Springs Preserve Master Sign Plan for your review. This package encompasses all signs that will be used on the Springs Preserve site.

The Springs Preserve is a 180-acre national historic site commonly known as the "birthplace of Las Vegas." When it opens in 2007, this cultural and historic attraction will offer a fun, educational and recreational gathering place to commemorate Las Vegas' dynamic history and provide a vision for a sustainable future. Upon completion, the Preserve will feature a series of historic museums, galleries, outdoor concerts/events, the Nevada State Museum & Historical Society, an interpretive trail system, a botanical garden and more. We have also attached a three page document with an over view of the Springs Preserve's history and the vision for the future development of the site.

The attached sign package as been developed with a great deal of thought and professional design input to reflect the unique opportunities that are presented within the site boundaries. The package has been designed a series of varying signs that direct and enhance the visitor experience on site as well as meet the intent of the City of Las Vegas Planning and Zoning regulations established in Title 19.

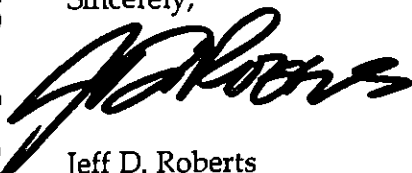
The numerous signs in the package range from pre-entrance marques down to room/space names. The signs were designed with consideration of materials in each sign and for the environmental impact and sustainable life of the project.

If you have any questions, please call me at any time.

500 pilot road, suite a
las vegas, nevada 89119
t 702-263-7111
f 702-263-8111
www.lgainc.com

raymond j. lucchesi, aia
craig s. galati, aia
john a. haddad
j. denise cook, aia
jeffrey d. roberts, aia

Sincerely,



Jeff D. Roberts

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SPRINGS PRESERVE

MISSION: To encourage communities to sustain our land and embrace our culture.

HISTORIC OVERVIEW

Listed on the National Register of Historic Places since 1978, the Springs Preserve is a 180-acre tract of land located approximately three miles west of downtown Las Vegas. The site represents one of the richest and most unique cultural and biological resources in Southern Nevada.

Palatial artesian springs here once nourished all fragile life – plant, animal and human – that happened upon them. Although the springs have since dried, evidence of their role in our history remains in rich artifacts and other archaeological clues.

Man's first imprint here dates back nearly 5,000 years. Generations of nomadic Native American tribes dwelled here seasonally, hunted small game and drank their fill of the spring's flowing waters.

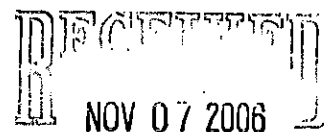
Harboring visions of the rich California coast, Spanish traders of the early 19th century forged a path that became known as the Old Spanish Trail. Upon discovering this vale of sanctuary, they christened it "Las Vegas" (in their native tongue: "The Meadows").

In the years that followed, the Las Vegas Springs welcomed weary travelers, explorers, traders, settlers and Mormon missionaries...all of them drawn here by one common denominator...water from the springs.

Enticing many to remain and make use of its waters, land near the springs was purchased by the railroad, which created the Las Vegas town site. It was water from the natural springs that powered the railroad's steam locomotives.

Acquiring the water rights with the land, the railroad established the Las Vegas Land & Water Company to manage the fledgling town site and its water supply.

In later years, when the springs had dried, the Nevada Legislature created the Las Vegas Valley Water District. Among the Water District's inherited holdings was the Las Vegas Springs property, which remained relatively untouched.



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12/21/06 PC

THE PRESERVE TODAY

Today, the Springs Preserve site is still owned by the Water District— a steward of water resources in the valley for more than 50 years. During this time, human progress has surrounded this timeless plot of land, but operational wells and water distribution facilities have saved the site from development.

The site has already begun the gradual transformation from fragile, restricted land to public educational and cultural resource.

The Water District and the Springs Preserve Foundation have formed a public-private partnership that will serve as a unique model for teaching cultural and environmental sustainability.

THE FUTURE PRESERVE

Beginning in 2007, the story of the Las Vegas Springs will be presented through both guided and self-guided tours, interpretive stations and several museum galleries. The venue expects to attract upwards of 600,000 annual visitors. The Preserve plans six major educational components:

- the Visitor Center
- the Desert Living Center
- an 8-acre, regional botanical garden
- the Nevada State Museum & Historical Society
- a scenic trail system bordered by historic structures
- a Cienega, or desert wetland area

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The Visitor Center

This unique educational facility reveals the rich and varied history of our valley, from the native plant and animal species that make this unique place their home, to the cultural influences that have profoundly shaped Las Vegas into the thriving community it is today.

The Visitor Center uses numerous interactive exhibits to interpret the crucial role the springs have played in the formation and sustainability of Las Vegas. The center also features an immersive, high-definition theater and a photo gallery. Adjacent to the Visitor Center is an amphitheater, with a café and retail area nearby.

This facility is designed to capture the essence of the land and early inhabitants who made the springs their original home. The Visitor Center will bring new life to the stories of the many generations of people who have relied on the springs. And while the story is unique to Las Vegas, the final message is applicable to communities all over the world – the need to rethink how we allocate and utilize our resources.

The Desert Living Center

This world-class facility will be a showcase for urban sustainability in the West. An action-based technical assistance, education and research facility, the Desert Living Center (DLC) will promote sustainability through community-wide education and outreach activities. Environmental programming will encourage homeowners, commercial homebuilders and educators at all levels to embrace environmental practices.

The Botanical Gardens

This 8-acre, regional garden facility will promote a greater understanding of native, drought tolerant plants in landscaping, while emphasizing responsible water use in the desert.

The Trails

This scenic component of the Preserve will be left largely undeveloped due to the abundance of significant historical and archaeological resources in these areas. Comprised of approximately 6,500 linear feet of walking trails and 14 interpretive ramadas, visitors will relive the early settlement and development of Las Vegas. Historic structures and archaeological sites will offer insight into the history and pre-history of the valley.

The Cienega

A picturesque Cienega, or desert wetland, area will border the trail walk serving as a tranquil home for hundreds of native plant and animal species. A reconstructed cauldron pool will depict the natural springs that once bubbled from beneath the valley floor.

RECEIVED
NOV 07 2006

The Nevada State Museum and Historical Society

This longstanding community attraction will relocate to the Springs Preserve to become an integral part of the visitor experience. The museum will remain an independent facility operated by the State of Nevada and will help provide a more complete historical experience for visitors.

MSP-18047
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-17998 - VARIANCE - PUBLIC HEARING - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA - Request for a Variance TO ALLOW 15 PARKING SPACES WHERE 23 SPACES ARE REQUIRED FOR A PROPOSED RESTAURANT WITH DRIVE-THROUGH on 0.52 acres at 4717 West Charleston Boulevard (APN 162-06-102-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DAVENPORT – APPROVED subject to conditions – UNANIMOUS with EVANS and TRUESDELL excused

To be heard by City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 6 [VAR-17998] and Item 7 [SDR-17999].

These items were under the One Motion/One Vote portion of the agenda and were brought forward for discussion upon COMMISSIONER DAVENPORT'S request.

DOUG RANKIN, Department of Planning and Development, reported that the Variance and Site Development Review requests are reasonable since the City is taking a portion of the property in order to provide a right turn lane. He recommended approval of both applications.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 6 – VAR-17998

MINUTES – Continued:

RON LABAR, 458 West 15th Avenue, Spokane, Washington, architect on behalf of the project noted that the subject property is an existing Taco Bell restaurant and the proposal would offer an entirely new building while the City obtains 10 feet off Decatur Boulevard. The new site plan would offer a reverse orientation allowing access off Charleston Boulevard and the Nevada Department of Transportation supports the layout. He agreed to all conditions and added that the site plan is as efficient as possible considering the right-of-way dedication.

COMMISSIONER DAVENPORT expressed concern about the access, its effect on traffic and limited parking. He also requested details about the landscaping waiver and the area which the Variance would affect. MR. LABAR confirmed that the driveway onto the site would be 29 feet wide where Code requires 24 feet and he detailed the areas to be landscaped.

COMMISSIONER DUNNAM concurred with MR. LABAR about proposing the most efficient site plan possible according to the limitations of property and existing traffic concerns with respect to the right turn dedication to the City. While the proposal is not ideal, it is the best solution considering its existing use and constraints with regard to public right-of-way.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 6 [VAR-17998] and Item 7 [SDR-17999].

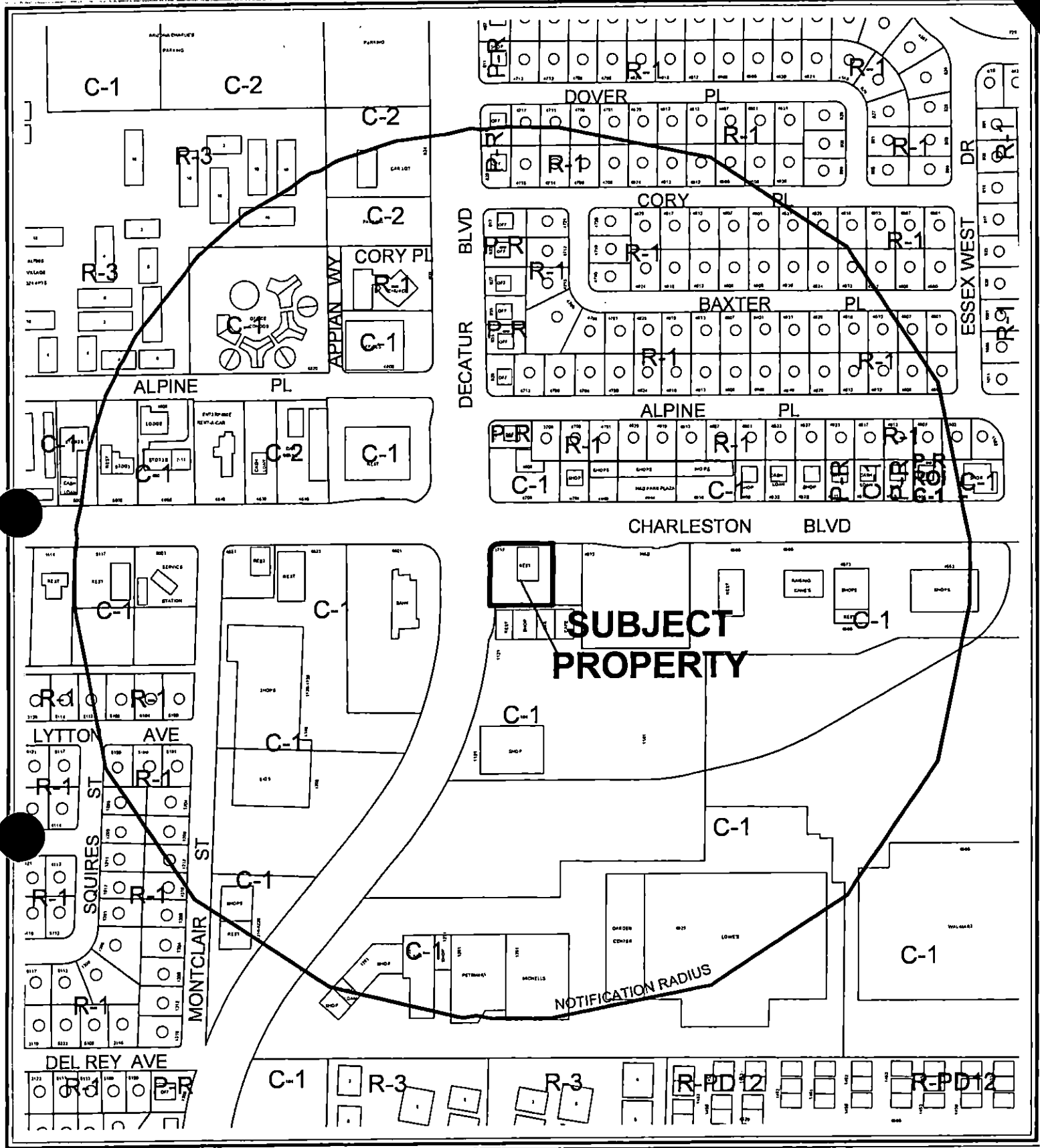
(6:12 – 6:23)

1-316

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-17999) shall be required.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Prior to the issuance of the Building Permit, a revised site plan shall be submitted to the Department of Planning and Development that depicts a 15-foot by 25-foot loading space consistent with Title 19 – Section 19.10 .020 On-Site Loading Parking Standards.



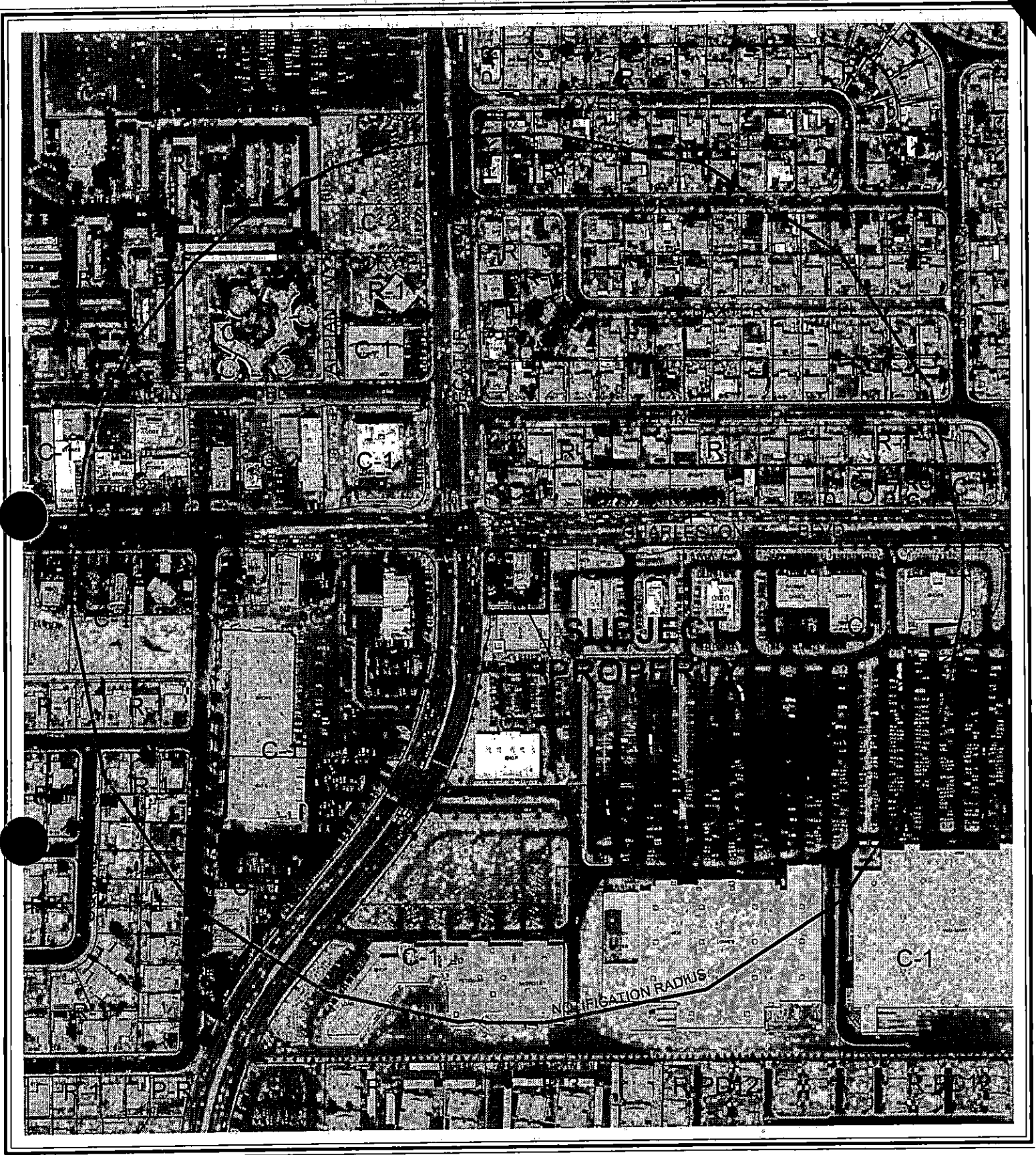
CASE: **VAR-17998**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 100 200 Feet





CASE: **VAR-17998**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 100 200 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-17998 - APPLICANT: LASCAL CORPORATION -

OWNER: MARIA FERRA

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-17999) shall be required.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Prior to the issuance of the Building Permit, a revised site plan shall be submitted to the Planning and Development Department that depicts a 15-foot by 25-foot loading space consistent with Title 19 – Section 19.10 .020 On-Site Loading Parking Standards.

VAR-17998 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The project is a request for a Variance to allow 15 parking spaces where 23 spaces are the minimum number of parking spaces required for a proposed restaurant with drive-through on a 0.52 acre site located at 4717 West Charleston Boulevard, southeast corner of Decatur Road at West Charleston Boulevard. This request shall be considered concurrently with Site Development Plan Review (SDR-18051).

BACKGROUND INFORMATION

<i>Pre-Application Meeting</i>	
11/06/06	A Pre-application meeting was held with the applicant. The applicant was informed of City Public Works requirement for a Right-of-Way (ROW) dedication. The applicant was informed of Title 19 parking standards as well.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this type of application nor was one held.	

Details of Application Request:

<i>Site Area</i>	
Gross Acres	0.52 acres

Land Use and Zoning:

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Restaurant	SC (Service Commercial)	C-1 (Limited Commercial)
North	Commercial Retail	SC (Service Commercial)	C-1 (Limited Commercial)
South	Commercial Retail	SC (Service Commercial)	C-1 (Limited Commercial)
East	Commercial Retail	SC (Service Commercial)	C-1 (Limited Commercial)
West	Commercial Retail	SC (Service Commercial)	C-1 (Limited Commercial)

VAR-17998 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Area Plans and Special Districts/Overlays:

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O Airport Overlay District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

The following commercial development standards from Section 19.08.050 of Title 19 apply to the project site:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	NA	Y
Min. Lot Width	100 feet	103 feet	Y
Min. Setbacks			
• Front	20	26 feet	Y
• Side	10	20 feet	Y
• Corner	15	100 feet	Y
• Rear	20	40 feet	Y
Max. Lot Coverage	50 percent	10 percent	Y
Max. Building Height	NA	25 feet	Y
Trash Enclosure	1	1	Y

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Restaurant	2,227 square feet	1/100 square feet of gross floor area	23	1	15	1	N

VAR-17998 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

TOTAL (including handicap)		23		15		N
Loading Spaces	1 per 10,000 square feet	1		1		Y
Percent Deviation				35 percent		N

ANALYSIS

The proposed restaurant use is required to dedicate 14-feet of Right-of-Way (ROW) along Decatur Road which will directly affect the ability of the project to meet Title 19 commercial development parking standards. The project will involve demolition of an existing freestanding restaurant with drive through to allow for construction of a new 2,227 square foot restaurant with drive through with associated hardscape and landscape improvements.

- **Parking**

The ROW dedication is required along Decatur Road for future construction of a right turn lane onto eastbound West Charleston Boulevard. The dedication will result in a reduction in developable land area that will constrain the ability of the project to meet required commercial parking. In accordance with Title 19 Commercial Development Parking Standards, a restaurant greater than 2,000 square feet with drive through service must provide 1 space for every 100 square feet of gross floor area. The proposed 2,227 square foot restaurant requires 23 parking spaces. The site plan indicates a total of 15 spaces which is 35 percent less than required. Staff recommends approval of the Variance request.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

VAR-17998 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

The required 14-foot Right-of-Way dedication along Decatur Road will limit the ability of the project to meet Title 19 Commercial Development Parking Standards. The resultant site constraint is not considered a self imposed hardship therefore staff recommends approval.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 17

ASSEMBLY DISTRICT 3

SENATE DISTRICT 11

NOTICES MAILED 135 [Mailed with SDR-17999]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17998** APN: 162-06-102-001

Name of Property Owner: _____

Name of Applicant: David Bonanni of Las Cal Corporation dba Taco Bell

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

Signature of Property Owner: Mauri Serra, trustee

Print Name: Mauri Serra, trustee

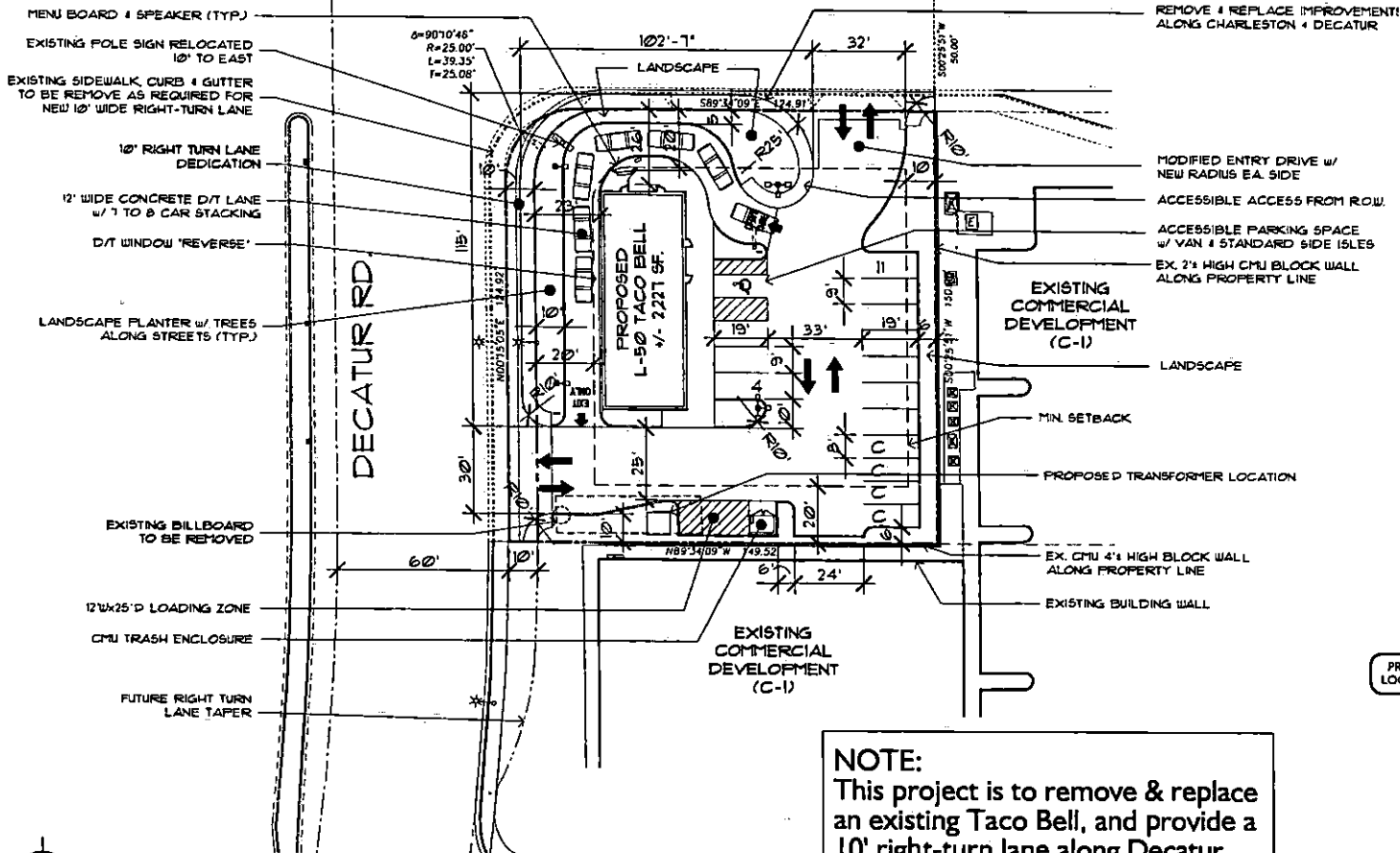
Subscribed and sworn before me

This 5th day of October, 2006

Jana K. Turner; Cullman, Alabama
Notary Public in and for said County and State

JANA K. TURNER
Notary Public, AL State at Large
My Comm. Expires April 20, 2009

CHARLESTON BLVD.



Site Plan

Scale: 1" = 40'-0"

NOTE:

This project is to remove & replace an existing Taco Bell, and provide a 10' right-turn lane along Decatur

Site Data

ASSESSOR'S PARCEL NUMBER (APN) 167-06-102-001
CURRENT ZONING C-1
SITE AREA 22,328 SF ± PRIOR TO 10' DEDICATION
BLDG. FOOTPRINT 2277
FAIR 107%

PARKING ANALYSIS

TACO BELL: 2277 SF 1022 SF ± 22.3
PARKING REQUIRED 23 SPACES

PARKING PROVIDED: 23 SPACES

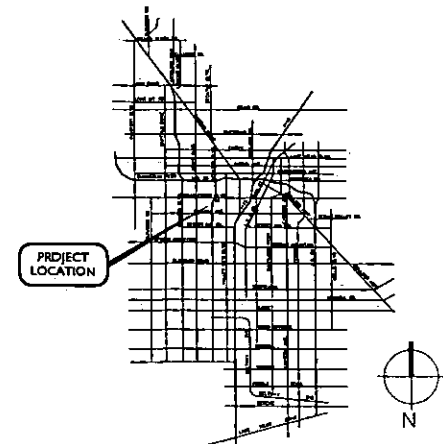
(INCLUDING 1 MC SPACE AND 4 CONTRACT SPACES)
4 CONTRACT SPACES + 21%
DRIVE-THRU STACK + 110.6 CARS

- VARIANCE REQUIRED FOR REDUCTION OF 5 PARKING SPACES
- WAIVER REQUIRED FOR REDUCTION LANDSCAPE

Owner / Developer

LAS-CAL CORPORATION c/o TACO BELL
3279-A RAINBOW BLVD, SUITE 102
LAS VEGAS, NV 89146
PH (702) 880-5018 FAX (702) 880-5019
DAVID BONANNI, VP OF DEVELOPMENT

Vicinity Map



North

Note: This plan is Conceptual in Nature and No Guarantee of its accuracy is implied.

July 2006

Site Development Review

Taco Bell Restaurant @ Charleston & Decatur

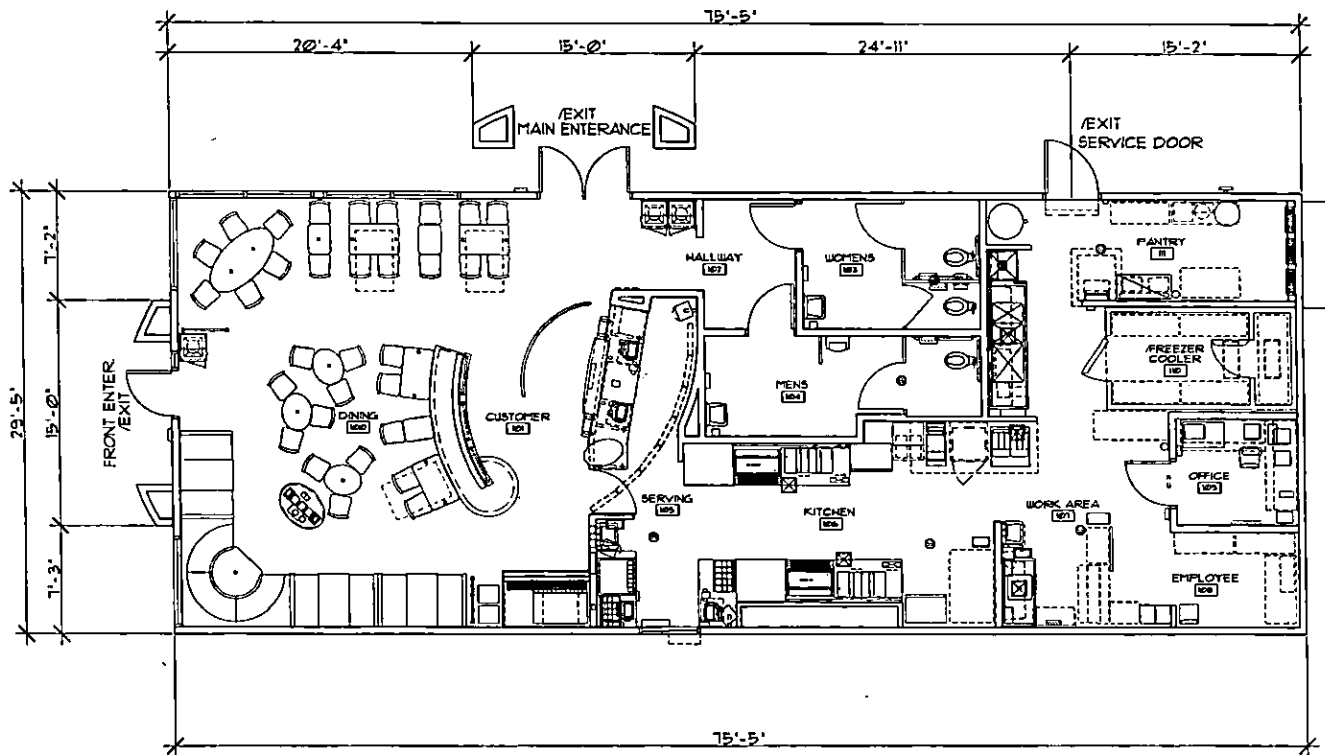
VAR-17998
12/21/06 PC

RECEIVED
NOV 06 2006

LABAR
architecture, inc.

architecture & design planning
458 WEST 15th AVENUE
SPOKANE, WA 99203
ph.509.363.0248 fx.509.363.8241

City of Las Vegas, Nevada



Floor Plan

Scale: 1/8" = 1'-0"

BUILDING AREA: 2,227 SF

OCCUPANT LOAD : 67 PERSONS
(2 EXITS REQ'D; 3 PROVIDED)

FIXED SEATS = 50.

Taco Bell Restaurant @ Charleston & Decatur

July 2006

Site Development Review

City of Las Vegas, Nevada

VAR-17998
12/21/06 PC

RECEIVED
NOV 06 2006

LABAR
architecture, inc.
architecture • design • planning
458 WEST 15th AVENUE
SPOKANE, WA 99203
ph.509.353.0240 fx.509.303.0241



July 11, 2006

Ronald D. LaBar, AIA
45B West 15th Avenue
Spokane, WA 99203
Ph: (702) 304-1660 or (509) 363-0240
Fx: (509) 363-0241

City of Las Vegas
Planning & Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101

Re: **Justification Letter – Taco Bell Restaurant @ W. Charleston & Decatur Blvd.**

To Whom It May Concern:

This letter is addressed to the City of Las Vegas, Planning & Development Department as required by the Title 19A: Site Development Plan Review Submittal Requirements. Assessor's Parcel Number(s) are **163-06-102-001**.

The site is currently an existing Taco Bell restaurant and is nearing the end of its life-cycle. For the past few years the franchisee has considered remodeling the restaurant but was informed that Public Works would require a right-turn lane dedication of 10' along Decatur as a condition of any building permit issuance. A direct result of losing 10' on an already tight site would have eliminated (7) parking stalls, but it also created a snowball affect for the redevelopment of the site. Along with the dedication, the entry drive on Charleston closest to the intersection would require a redesign to meet current standards...Charleston is under control of NDOT and Kent Sears of NDOT said they would not approve a design that has an entry drive that close to the intersection. They would only support a design that has one entry/exit drive as far as possible to the east property line on Charleston. NDOT has reviewed this proposed site design and will support it. The location of the Decatur entry/exit drive as far to the south property line is supported by Public Works. Along with the redesign of the entry drives the Development Code would require additional landscaping and a loading zone. It was determined that the only way to satisfy the requirements of the various agency having control over the site was to completely demolish the existing building and site improvements and start with a blank site. This includes eliminating the overhead billboard located in the southwest corner of the site along Decatur.

By completely redeveloping the site we are able to provide the 10' dedication for a right-turn lane along Decatur, provide drive locations as requested by NDOT and Public

VAR-17998
12/21/06 PC

Works, and provide more landscaping, including a loading zone for Planning. The site also flows better than the prior design and the drive-thru lane has more stacking and is easier to access than before. The new Taco Bell building will be slightly smaller than the current building so the parking demand will not be increased, but due to all of the above conditions the parking provided for the site will be reduced. The Gross Area of the building is 2,227 SF, and at 1/100 SF that is 22.3 or rounded up to 23 required parking spaces were 15 parking spaces are provided, including (1) Accessible space and (4) compact spaces. We are requesting a Variance for the reduction of (8) parking spaces due to the hardship incurred to provide the right-turn dedication as requested by Public Works and the other related issues as mentioned above. The Taco Bell franchisee and YUM Brands! are comfortable with this site's reduced parking because there are several factors that will help mitigate the situation: (1) The drive-thru has been redesigned with more stacking and better site flow which will handle more customers than the current arrangement...as much as 70% of a stores business can be conducted through the drive-thru alone relieving the need for parking spaces; (2) The site's proximity to a large shopping center development with ample parking will allow patrons of the shopping center businesses to dine at Taco Bell without the need to park onsite; and (3) There is a large amount of pedestrian traffic in the area that will not require parking.

The landscaping in the proposed design is a significant improvement over, and more than doubles what is existing in the current development, but will still require a Waiver for Reduction of Landscape. We have provided a 10' landscape buffer along Decatur where 15' is required (5' is existing); Charleston requires a 15' buffer, which is provided, but the depth is reduced to 5' adjacent to the drive-thru lane (as little as 3' is existing). The south and east property lines require an 8' buffer where no landscape is provided on the existing site. There is a CMU wall along these property lines that is about 4' high on the south and 2' high on the east. We can provide a varying depth of landscape along the south ranging from 10' to 3' and on the east ranging from 25' to 6', both property lines will receive trees and various shrubs as indicated on the landscape plan.

The proposed use complies with the current approved and adjacent property uses, which are commercial. Again, this site is an existing Taco Bell restaurant that is proposed to be replaced with a new building and site development so there is no change of use.

With the exceptions noted above, the proposed facility complies with the provisions of the Development Code provided by the City of Las Vegas.

The proposed facility will not impose any new use impacts to the adjacent properties and neighborhood in general. This includes architectural aesthetics. This development will enhance the street landscape and site development.

Public Safety, transportation and utility services will be able to access and serve the proposed facility's property.

Maintenance of subject property and accompanying utilities/infrastructure will be assured.

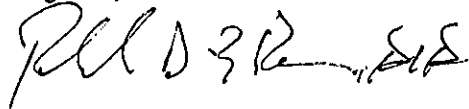
The natural environment surrounding the proposed facility will not be compromised in any fashion. Any potential conflicts would be mitigated. The proposed facility will not exceed the capacity of public services, which cannot be mitigated.

VAR-17998
12/21/06 PC

In general, we request approval base on the above information and drawings provided.

If you have any questions or require further information regarding this request letter,
please do not hesitate to contact me.

Regards,

A handwritten signature in black ink, appearing to read 'RDL 12/21/06', followed by a stylized flourish.

Ronald D. LaBar, AIA

VAR-17998
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17999 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17998 - PUBLIC HEARING - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA - Request for a Site Development Plan Review FOR A PROPOSED 2,227 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH AND A WAIVER TO ALLOW A ZERO-FOOT LANDSCAPE BUFFER ALONG INTERIOR LOT LINES WHERE 8 FEET IS REQUIRED AND A 5-FOOT LANDSCAPE BUFFER WHERE 15 FEET IS REQUIRED ALONG PUBLIC RIGHT-OF-WAY on 0.52 acres at 4717 West Charleston Boulevard (APN 162-06-102-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

DAVENPORT – APPROVED subject to conditions – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused

To be heard by City Council on 01/17/2007

MINUTES:

See Item 6 [VAR-17998] for all related discussion.

(6:12 – 6:23)

1-3166

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 7 – SDR-17999

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan date stamped 12/5/06, and landscape plan and building elevations date stamped 11/06/06, except as amended by conditions herein.
3. A Waiver of Title 19 – Section 19.12 Commercial Development landscape standards is hereby approved to allow a zero foot landscape buffer along interior lot lines where 8-feet is the required minimum, and a 5 foot landscape buffer where 15 feet is the required minimum along public right-of-way.
4. A revised site plan shall be submitted to and approved by the Department of Planning and Development, prior to the time application is made for building permit to reflect the changes herein: Modify the site plan to provide a 15-foot by 25-foot loading parking space per Title 19 Commercial Development parking standards.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Department of Planning and Development must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
7. Prior to the issuance of the Building Permit, revised elevations shall be submitted to the Department of Planning and Development to depict a screened and covered trash enclosure in accordance with Title 19 – Section 19.08.050 Commercial Development Standards.

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 7 – SDR-17999

CONDITIONS – Continued:

8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. Dedicate a 14 foot right turn lane along the east side of Decatur Boulevard adjacent to this site prior to the issuance of any permits.
15. Grant a Traffic Signal Chord Easement at the southeast corner of Charleston Boulevard and Decatur Boulevard prior to the issuance of any permits.
16. Coordinate the construction of any new improvements with the City Engineer's Section of the Department of Public Works.
17. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. Driveways on Charleston Boulevard shall be designed, located and constructed in accordance with Standard Drawing #222a; Driveways on Decatur Boulevard shall meet the approval of the Nevada Department of Transportation (N.D.O.T.).

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 7 – SDR-17999

CONDITIONS – Continued:

18. Landscape and maintain all unimproved rights-of-way, if any, on Charleston Boulevard and Decatur Boulevard adjacent to this site.
19. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.
20. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17999 - APPLICANT: LASCAL CORPORATION -
OWNER: LASCAL CORPORATION**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan date stamped 12/5/06, and landscape plan and building elevations date stamped 11/06/06, except as amended by conditions herein.
3. A Waiver of Title 19 – Section 19.12 Commercial Development landscape standards is hereby approved to allow a zero foot landscape buffer along interior lot lines where 8-feet is the required minimum, and a 5 foot landscape buffer where 15 feet is the required minimum along public right-of-way.
4. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for building permit to reflect the changes herein: Modify the site plan to provide a 15-foot by 25-foot loading parking space per Title 19 Commercial Development parking standards.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

SDR-17999 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

7. Prior to the issuance of the Building Permit, revised elevations shall be submitted to the Planning and Development Department to depict a screened and covered trash enclosure in accordance with Title 19 – Section 19.08.050 Commercial Development Standards.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

14. Dedicate a 14 foot right turn lane along the east side of Decatur Boulevard adjacent to this site prior to the issuance of any permits.
15. Grant a Traffic Signal Chord Easement at the southeast corner of Charleston Boulevard and Decatur Boulevard prior to the issuance of any permits.
16. Coordinate the construction of any new improvements with the City Engineer's Section of the Department of Public Works.
17. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. Driveways on Charleston Boulevard shall be designed, located and constructed in accordance with Standard Drawing #222a; Driveways on Decatur Boulevard shall meet the approval of the Nevada Department of Transportation (N.D.O.T.).

SDR-17999 - Conditions Page Three
December 21, 2006 - Planning Commission Meeting

18. Landscape and maintain all unimproved rights-of-way, if any, on Charleston Boulevard and Decatur Boulevard adjacent to this site.
19. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.
20. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

SDR-17999 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed project is a request for a Site Development Plan Review for a proposed 2,227 square-foot restaurant with drive-through and a Waiver to allow a zero foot landscape buffer along interior property lines where 8-feet is the required minimum and a 5 foot landscape buffer where 15 feet is the required minimum along public right-of-way. The project site is located on 0.52 acres at 4717 West Charleston Boulevard, southeast corner of Decatur Road at West Charleston Boulevard. A companion Variance (VAR-17998) for a reduction in required commercial parking shall be considered concurrently with this Site Development Plan Review.

BACKGROUND INFORMATION

Pre-Application Meeting	
06/23/06	A Pre-application meeting was held with the applicant. The applicant was advised of Title 19 Commercial Development Standards related to parking, signage, and the requirement for a Waiver of perimeter landscaping. In addition, public works requires a Right-of-Way dedication along Decatur Road.
Neighborhood Meeting	
A neighborhood meeting is not required for this type of application nor was one held.	

Details of Application Request:

Site Area	
Gross Acres	0.52 acres

Land Use and Zoning:

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Restaurant with drive-through	SC (Service Commercial)	C-1 (Limited Commercial)
North	Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
South	Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
East	Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
West	Commercial	SC (Service Commercial)	C-1 (Limited Commercial)

SDR-17999 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Area Plans and Special Districts/Overlays:

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O Airport Overlay District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

The following commercial development standards from Section 19.08.050 of Title 19 apply to the project site:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Width	100	103	Y
Min. Setbacks			
• Front	20	26	Y
• Side	10	20	Y
• Corner	15	100	Y
• Rear	20	40	Y
Max. Lot Coverage	50 percent	10 percent	Y
Max. Building Height	NA	25	Y
Trash Enclosure	Y	Y	Y

In accordance with Title 19.10 and 19.12, the following landscape standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Trees/6 Spaces	2 Trees	2	Y
Buffer: Min. Trees	1 Trees/30 Linear Feet	4 trees along west property line 4 trees along north property line 4 trees along east property line 4 trees along south property line	4 4 4 3	N
TOTAL		18 trees	17 trees	N*
Min. Zone Width	15 Feet along Right-of-Way 8 Feet along interior lot lines		20 Feet 0 Feet	N*
Wall Height	8 feet maximum		4 feet	Y

*A Waiver to allow reduction in perimeter landscape buffering requirements is requested.

JA

SDR-17999 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Service Commercial	2,227	1/100 gross floor area	23	1	15	1	N*
TOTAL (including handicap)			23		15		N
Loading Spaces		<10,000 square feet	1		1		Y
Percent Deviation (VAR only)					35 PERCENT		N

*A companion Variance (VAR 17998) shall be considered with this request.

Waivers		
Request	Requirement	Staff Recommendation
Waiver of perimeter landscaping zone standards	15 feet zone along Right- of-Way 8 feet zone for interior lot lines	Approve

ANALYSIS

The project proposes the demolition of an existing restaurant with drive-through to allow for construction of a new 2,227 square foot restaurant with drive-through.

- **General Plan**

The proposed restaurant is consistent with the SC (Service Commercial) use as designated in the General Plan.

- **Zoning**

The proposed restaurant will be located within the C-1 (Limited Commercial) zone. A restaurant 2,000 square feet and greater with drive-through is a permitted use with conditions.

JA

SDR-17999 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

- **Site Plan**

The proposal involves construction of a one story 2,275 square foot restaurant with drive through at the intersection of West Charleston and Decatur Road.

- **Landscape and Parking Plan**

City Public Works requires a 14-foot Right-of-Way (ROW) dedication on Decatur Road along the northern property line to allow for a right turn lane from Decatur Road onto eastbound West Charleston. The dedication will result in site constraints which will directly affect the ability of the project to meet Title 19 perimeter landscaping and parking standards. A Waiver of the commercial development landscape standards is requested to relieve the applicant from the requirement of a 15-foot landscape buffer zone for property lines abutting public Right-of-Way and an 8-foot zone along interior lot lines. Furthermore, Title 19 parking standards requires 1 space for every 100 square feet of gross floor area. The project proposes 15 parking spaces where 23 is the minimum required. A companion Variance (17998) shall be considered with this application to address the parking deficiency.

Additionally, the required loading parking space is not designed to Title 19 standards. A condition of approval will be incorporated into the project requiring the submission of revised parking plans showing a 15-foot by 25-foot loading space. The landscape Waiver will allow a zero setback along the loading space area.

- **Elevations**

The project elevations depict a modern architectural design featuring the use of earth tones, stucco finish with aluminum accents, and drystack stone. The new restaurant structure will be 25-feet at the highest point and includes wall and awning signage.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed restaurant will complement existing commercial development surrounding the project site.

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December 21, 2006 - Planning Commission Meeting

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The project is consistent with the General Plan land use designation for SC (Service Commercial) development. In addition, the proposal will not meet the commercial development, landscaping, and parking standards of Title 19 therefore the applicant requests approval of a Waiver of perimeter landscape standards as well as a Variance to allow a reduction in required parking. A condition of approval will be included to address compliance with Title 19 Commercial loading space standard dimensions.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Access onto the project site will be made via driveway access from Decatur Road as well as West Charleston Boulevard. The project would not adversely affect traffic circulation along either corridor.

4. **Building and landscape materials are appropriate for the area and for the City;**

The building and landscape materials proposed will complement existing surrounding development.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The project will implement a contemporary architectural design resulting in a building that blends well with surrounding structures and assists the city in meeting the intent of revitalization goals.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposal will not adversely affect human health and public safety.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

15

ASSEMBLY DISTRICT 3

SDR-17999 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

SENATE DISTRICT 11

NOTICES MAILED 135 [Mailed with VAR-17998]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17999** APN: 162-06-102-001

Name of Property Owner: _____

Name of Applicant: David Bonanni of Las Cal Corporation dba Taco Bell

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

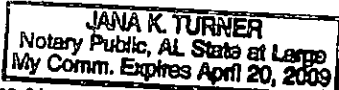
Signature of Property Owner: _____

Print Name: _____

Subscribed and sworn before me

This 26th day of OCTOBER, 2006

Jana K. Turner, Notary Public, Alameda County, California
Notary Public in and for said County and State



CHARLESTON BLVD.

MENU BOARD & SPEAKER (TYP.)
EXISTING POLE SIGN RELOCATED
10' TO EAST
EXISTING SIDEWALK, CURB & GUTTER
TO BE REMOVE AS REQUIRED FOR
NEW 10' WIDE RIGHT-TURN LANE

14' RIGHT TURN LANE
DEDICATION

12' WIDE CONCRETE D/T LANE
w/ 7 TO 8 CAR STACKING

D/T WINDOW 'REVERSE'

LANDSCAPE PLANTER w/ TREES
ALONG STREETS (TYP.)

EXISTING BILLBOARD
TO BE REMOVED

12'x25' D LOADING ZONE

CHU TRASH ENCLOSURE

FUTURE RIGHT TURN
LANE TAPER

DECATUR RD.

PROPOSED
L-50 TACO BELL
4'- 2221 SF.

EXISTING
COMMERCIAL
DEVELOPMENT
(C-1)

EXISTING
COMMERCIAL
DEVELOPMENT
(C-1)

REMOVE & REPLACE IMPROVEMENT
ALONG CHARLESTON & DECATUR

MODIFIED ENTRY DRIVE w/
NEW RADIUS EA. SIDE

ACCESSIBLE ACCESS FROM ROW

ACCESSIBLE PARKING SPACE
w/ VAN & STANDARD SIDE ISLES

EX. 2' HIGH CHU BLOCK WALL
ALONG PROPERTY LINE

LANDSCAPE

MIN. SETBACK

PROPOSED TRANSFORMER LOCATION

EX. CHU 4' HIGH BLOCK WALL
ALONG PROPERTY LINE

EXISTING BUILDING WALL

NOTE:
This project is to remove & replace
an existing Taco Bell, and provide a
14' right-turn lane along Decatur

Site Data

ASSESSORS PARCEL NUMBER (APN) 167-06-107-001
CURRENT ZONING C-1
SITE AREA 22,328 SF, PRIOR TO 14' DEDICATION
22,378 SF ± 3,180 SF ± 26,224 SF (NET)
BLDG. FOOTPRINT 2,221
F.A.R.U. 116

PARKING ANALYSIS:

TACO BELL: 2,221 SF. 1,000 SF ± 2,221
PARKING REQUIRED: 25 SPACES

PARKING PROVIDED: 25 SPACES

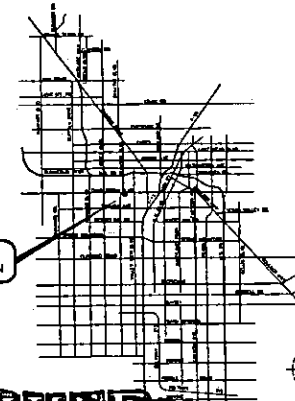
(INCLUDING 1 HIC SPACE AND 4 COMPACT SPACES)
4 COMPACT SPACES ± 21%
DRIVE-THRU STACK ± 7 TO 8 CARS

- VARIANCE REQUIRED FOR REDUCTION OF 8 PARKING SPACES
- WAIVER REQUIRED FOR REDUCTION LANDSCAPE

Owner / Developer

LAS-CAL CORPORATION dba TACO BELL
3225-A RAINBOW BLVD., SUITE 102
LAS VEGAS, NV 89146
PH (702) 680-5018 FX (702) 680-5018
DAVID BONANNI, VP OF DEVELOPMENT

Vicinity Map



PROJECT LOCATION



North

Site Plan

Scale: 1" = 40'-0"

Taco Bell Restaurant @ Charleston & Decatur

Note: This plan is Conceptual in Nature and
No Guarantee of its accuracy is implied.

July 2006 (REVISED 11-24-06)

Site Development Review

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DEC 03 2006

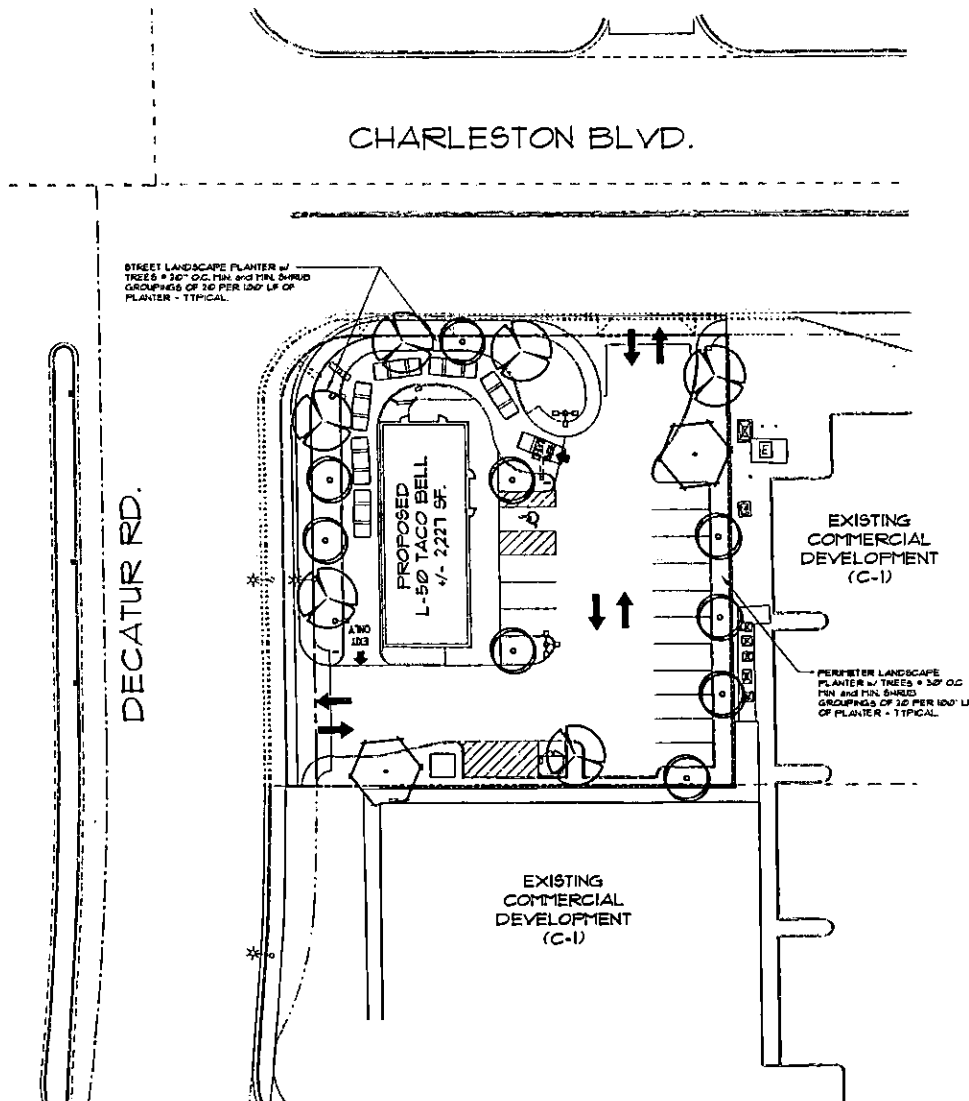
LABAR
architecture, inc.

architecture designs planning
458 WEST 15th AVENUE
DENVER, CO 80202
(303) 733-1000

SDR-17999

REVISED

12/21/06 PC



Conceptual Landscape Plan

Scale: 1" = 40'-0"

Taco Bell Restaurant @ Charleston & Decatur

July 2006

Site Development Review

Planting Legend:

SYMBOL	BOTANICAL/CULTIVAR NAME	SIZE	QUANTITY
	ACACIA STENOPHYLLA SHADETREES ACACIA	24" BOX	5
	CHITALPA TASHKENTENSIS CHITALPA	24" BOX	6
	PROSOPIS JULIFLORA THORNLESS MESQUITE	24" BOX	2

SUGGESTED SHRUB LIST

CASSIA PHYLLOIDES SILVER LEAF CASSIA	5 GALLON
CHRYSEALANTHA PERUVIANA DARWINIA	1 GALLON
DALEA CAPitata 'SIERRA GOLD' SIERRA GOLD DALEA	1 GALLON
DASYLIRION WHEELERI DESERT SPOON	5 GALLON
HEPERALOE PARVIFLORA RED HESPERALOE	5 GALLON
LANTANA NEW GOLD NEW GOLD LANTANA	5 GALLON
LEUCOPHYLLUM SPECIES TEXAS RANGEL	5 GALLON
TRILENERGIA CAPILLARIS REGAL TWIST DEER GRASS	1 GALLON

Notes:

1. DECOMPOSED GRANITE (D.G.) - INSTALLED A 2" LAYER OF 3/4" DECOMPOSED GRANITE TO MATCH THE ADJACENT SHOPPING CENTER ROCK PAVEMENT COLOR CONTINUOUS IN ALL PLANTERS UNDER ALL TREES AND SHRUBS.



North

Note: This plan is Conceptual in Nature and No Guarantee of its accuracy is implied.

LABAR
architecture, inc.

architecture & design planning
458 WEST 16th AVENUE
SPOKANE, WA 99203
ph: 509 363 0240 fax: 509 363 0241

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NOV 06 2006

Color Legend

PT-1: #SW6132
CAPLBACK
Sherwin Williams

PT-2: #SW6657
AMBER WAVE
Sherwin Williams

PT-3: #SW2823
ROCKWOOD CLAY
Sherwin Williams

PT-4a: #SW6383
GOLDEN RULE
Sherwin Williams

PT-4b: #SW2851
AVOCADO
Sherwin Williams

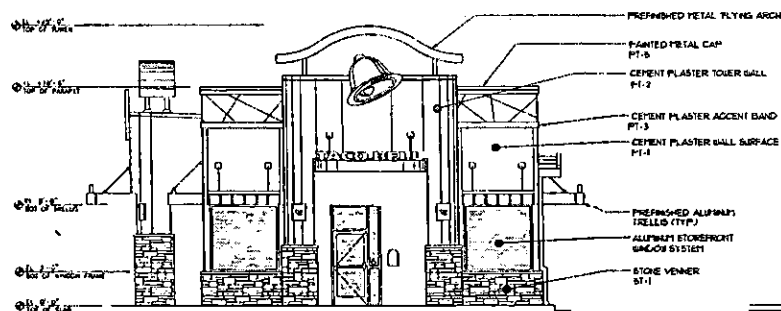
PT-4c: #SW2803
ROCKWOOD TERRA COTTA
Sherwin Williams

PT-4d: #SW6558
PLUM-IT
Sherwin Williams

PT-5: #SW7069
IRON ORE
Sherwin Williams

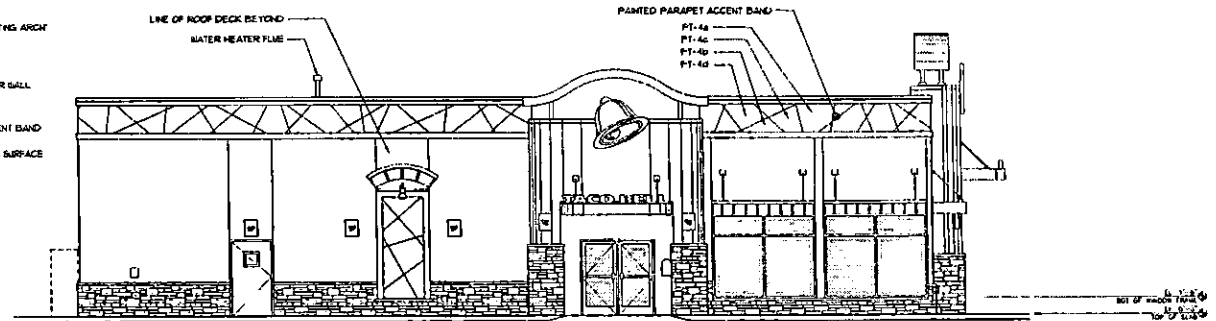


ST-1: Idaho Drystack
CARMEL MOUNTAIN
Coronado Stone Products



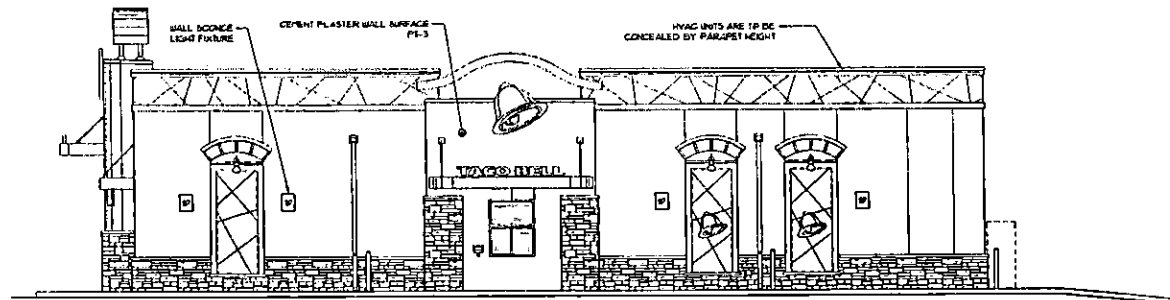
Front Elevation (North)

Scale: 3/32" = 1'-0"



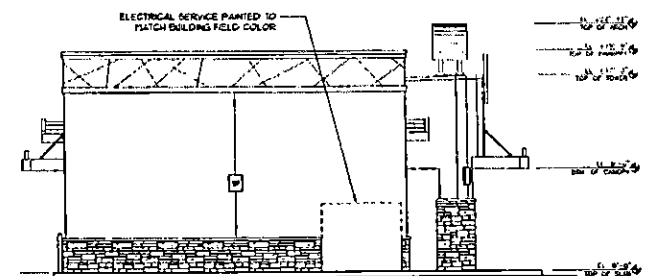
Front Side Elevation (East)

Scale: 3/32" = 1'-0"



Drive-Thru Side Elevation (West)

Scale: 3/32" = 1'-0"



Rear Elevation (South)

Scale: 3/32" = 1'-0"

NOTE: SIGNAGE (N.I.C.) TO BE REVIEWED
UNDER SEPARATE SUBMITTAL.

Taco Bell Restaurant @ Charleston & Decatur

July 2006

Site Development Review

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architecture • design • planning
458 WEST 150th AVENUE
SPOKANE, WA 99203
ph 509 363 6640 fx 509 363 6241

Paint Color Legend

PT-1: #SW6122
CAMELBACK
Sherwin Williams



PT-2: #SW6657
AMBER WAVE
Sherwin Williams



PT-3: #SW2823
ROCKWOOD CLAY
Sherwin Williams



PT-4a: #SW6383
GOLDEN RULE
Sherwin Williams



PT-4b: #SW2861
AVOCADO
Sherwin Williams



PT-4c: #SW2803
ROCKWOOD TERRA COTTA
Sherwin Williams

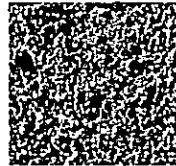


PT-4d: #SW6558
PLUMMY
Sherwin Williams

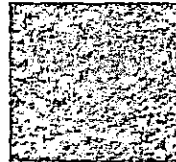


PT-5: #SW7069
IRON ORE
Sherwin Williams

Material Legend



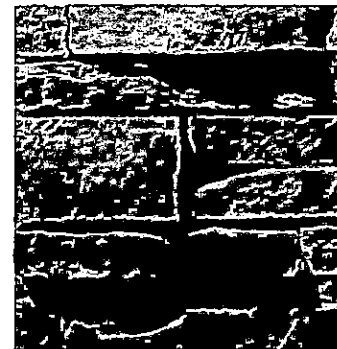
STUCCO FINISH - MEDIUM DASH



STUCCO FINISH - HEAVY SAND FLOAT



ALUM. STOREFRONT w/
POWDER COATED PAINT FINISH
& TINTED INSUL. GLASS



ST-1: Idaho Drystack
CARMEL MOUNTAIN
Coronado Stone Products

Color & Materials Board

Scale: N.T.S.

Taco Bell Restaurant @ Charleston & Decatur

July 2006

Site Development Review

City of Las Vegas, Nevada

VAR-17998
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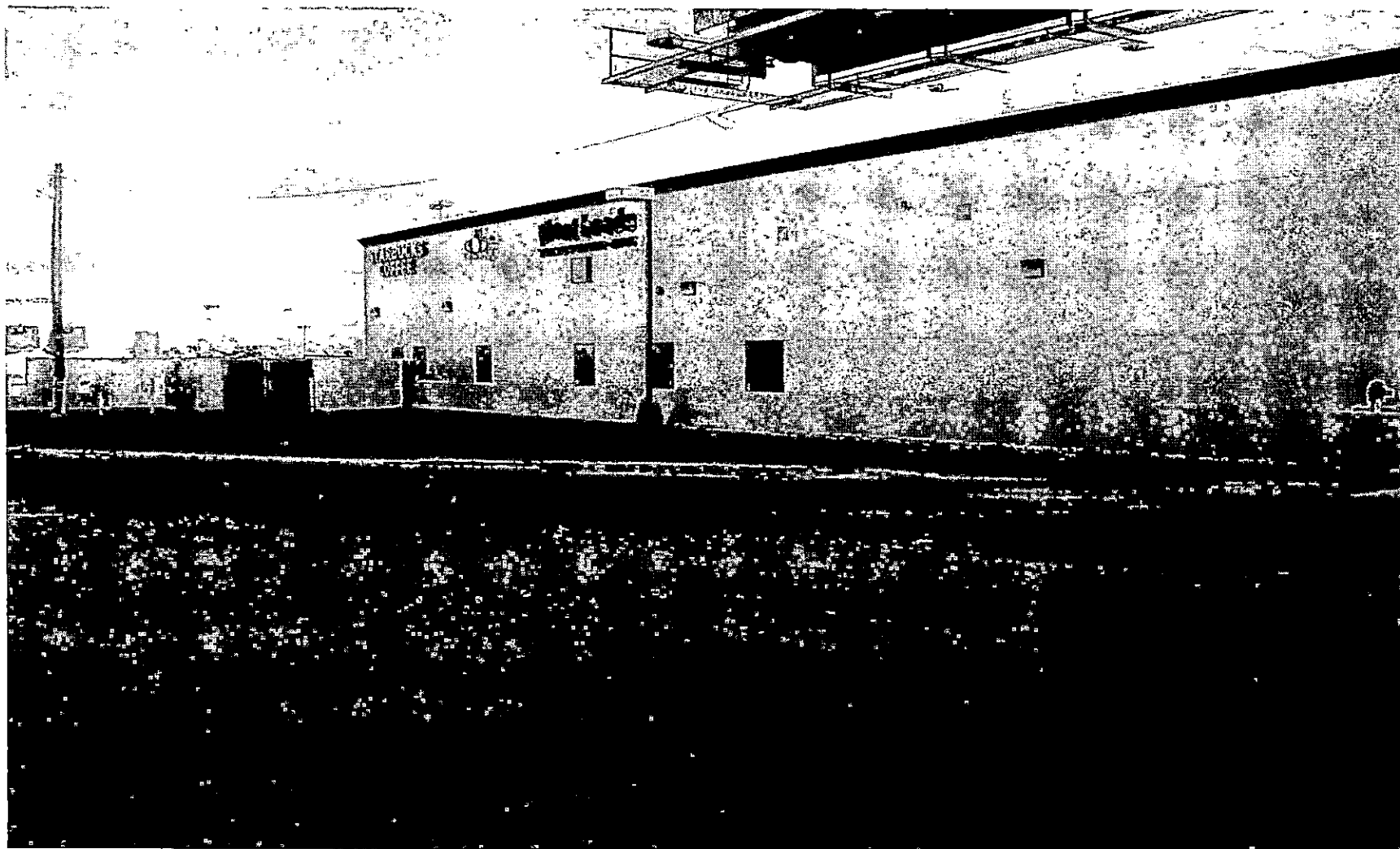
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architecture & design planning
458 WEST 16th AVENUE
SPOKANE, WA 99203
ph.509.353.0240 fx.509.353.0241

RECEIVED
NOV 06 2006



VAR-17998 & SDR-17999 - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA
4717 WEST CHARLESTON BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

11/27/06



VAR-17998 & SDR-17999 - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA
4717 WEST CHARLESTON BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

11/27/06



VAR-17998 & SDR-17999 - APPLICANT: LASCAL CORPORATION - OWNER: MARIA FERRA
4717 WEST CHARLESTON BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

11/27/06



July 11, 2006

Ronald D. LaBar, AIA
458 West 15th Avenue
Spokane, WA 99203
Ph: (702) 304-1660 or (509) 363-0240
Fx: (509) 363-0241

City of Las Vegas
Planning & Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101

Re: **Justification Letter – Taco Bell Restaurant @ W. Charleston & Decatur Blvd.**

To Whom It May Concern:

This letter is addressed to the City of Las Vegas, Planning & Development Department as required by the Title 19A: Site Development Plan Review Submittal Requirements. Assessor's Parcel Number(s) are **163-06-102-001**.

The site is currently an existing Taco Bell restaurant and is nearing the end of its life-cycle. For the past few years the franchisee has considered remodeling the restaurant but was informed that Public Works would require a right-turn lane dedication of 10' along Decatur as a condition of any building permit issuance. A direct result of losing 10' on an already tight site would have eliminated (7) parking stalls, but it also created a snowball affect for the redevelopment of the site. Along with the dedication, the entry drive on Charleston closest to the intersection would require a redesign to meet current standards...Charleston is under control of NDOT and Kent Sears of NDOT said they would not approve a design that has an entry drive that close to the intersection. They would only support a design that has one entry/exit drive as far as possible to the east property line on Charleston. NDOT has reviewed this proposed site design and will support it. The location of the Decatur entry/exit drive as far to the south property line is supported by Public Works. Along with the redesign of the entry drives the Development Code would require additional landscaping and a loading zone. It was determined that the only way to satisfy the requirements of the various agency having control over the site was to completely demolish the existing building and site improvements and start with a blank site. This includes eliminating the overhead billboard located in the southwest corner of the site along Decatur.

By completely redeveloping the site we are able to provide the 10' dedication for a right-turn lane along Decatur, provide drive locations as requested by NDOT and Public

SDR-17999
12/21/06 PC

Works, and provide more landscaping, including a loading zone for Planning. The site also flows better than the prior design and the drive-thru lane has more stacking and is easier to access than before. The new Taco Bell building will be slightly smaller than the current building so the parking demand will not be increased, but due to all of the above conditions the parking provided for the site will be reduced. The Gross Area of the building is 2,227 SF, and at 1/100 SF that is 22.3 or rounded up to 23 required parking spaces were 15 parking spaces are provided, including (1) Accessible space and (4) compact spaces. We are requesting a Variance for the reduction of (8) parking spaces due to the hardship incurred to provide the right-turn dedication as requested by Public Works and the other related issues as mentioned above. The Taco Bell franchisee and YUM Brands! are comfortable with this site's reduced parking because there are several factors that will help mitigate the situation: (1) The drive-thru has been redesigned with more stacking and better site flow which will handle more customers than the current arrangement...as much as 70% of a stores business can be conducted through the drive-thru alone relieving the need for parking spaces; (2) The site's proximity to a large shopping center development with ample parking will allow patrons of the shopping center businesses to dine at Taco Bell without the need to park onsite; and (3) There is a large amount of pedestrian traffic in the area that will not require parking.

The landscaping in the proposed design is a significant improvement over, and more than doubles what is existing in the current development, but will still require a Waiver for Reduction of Landscape. We have provided a 10' landscape buffer along Decatur where 15' is required (5' is existing); Charleston requires a 15' buffer, which is provided, but the depth is reduced to 5' adjacent to the drive-thru lane (as little as 3' is existing). The south and east property lines require an 8' buffer where no landscape is provided on the existing site. There is a CMU wall along these property lines that is about 4' high on the south and 2' high on the east. We can provide a varying depth of landscape along the south ranging from 10' to 3' and on the east ranging from 25' to 6', both property lines will receive trees and various shrubs as indicated on the landscape plan.

The proposed use complies with the current approved and adjacent property uses, which are commercial. Again, this site is an existing Taco Bell restaurant that is proposed to be replaced with a new building and site development so there is no change of use.

With the exceptions noted above, the proposed facility complies with the provisions of the Development Code provided by the City of Las Vegas.

The proposed facility will not impose any new use impacts to the adjacent properties and neighborhood in general. This includes architectural aesthetics. This development will enhance the street landscape and site development.

Public Safety, transportation and utility services will be able to access and serve the proposed facility's property.

Maintenance of subject property and accompanying utilities/infrastructure will be assured.

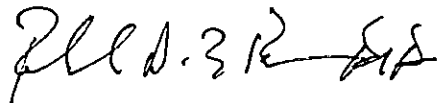
The natural environment surrounding the proposed facility will not be compromised in any fashion. Any potential conflicts would be mitigated. The proposed facility will not exceed the capacity of public services, which cannot be mitigated.

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12/21/06 PC

In general, we request approval base on the above information and drawings provided.

If you have any questions or require further information regarding this request letter,
please do not hesitate to contact me.

Regards,

A handwritten signature in black ink, appearing to read "R.D. LaBar" with a stylized flourish at the end.

Ronald D. LaBar, AIA

SDR-17999
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-18001 - SPECIAL USE PERMIT - PUBLIC HEARING – APPLICANT/OWNER: LESLIE DIANE - Request for a Special Use Permit FOR A PROPOSED PACKAGE LIQUOR ESTABLISHMENT at 625 South Las Vegas Boulevard (APN 139-34-410-182), C-2 (General Commercial) Zone, Ward 3 (Reese).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

2

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter

MOTION:

STEINMAN – APPROVED subject to conditions and added the following condition as read for the record:

- There shall be a one-year administrative review following the issuance of the business license.**
- Motion carried with GOYNES voting NO and EVANS and TRUESDELL excused**

To be heard by City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

This item was under the One Motion/One Vote portion of the agenda and was brought forward for discussion upon DOUG RANKIN'S request, Department of Planning and Development.

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 8 – SUP-18001

MINUTES – Continued:

MR. RANKIN, Department of Planning and Development, noted there are no protected uses within the distance separation and recommended approval.

LESLIE DIANE appeared to inform the Commissioners of her intent to build a gourmet shop of wine and spirits, caviar and pâté to be titled Wine Gourmet and Goodies.

RAYMOND PISTOL, 631 Las Vegas Boulevard, noted he owns several properties south and southwest of the subject site. MR. PISTOL indicated that his Sexually Oriented Business (SOB) of a totally nude dance establishment restricts the consumption of alcohol on his property and is opposed to the proposed use as it could potentially create a problem for him. He requested the matter be denied.

MS. DIANE stated that it was not her intention to contribute to those who should not consume alcohol.

Upon COMMISSIONER TROWBRIDGE'S inquiry, DEPUTY CITY ATTORNEY JAMES LEWIS explained that the imposition of conditions to keep people from the adjacent property may be unreasonable. COMMISSIONER DAVENPORT queried if the adjacent property owner would be held criminally responsible simply because alcohol was purchased and transported from his parking lot. DEPUTY CITY ATTORNEY LEWIS confirmed that would not always be the case but it is the property owner's responsibility to keep people with alcohol off his property.

MR. PISTOL confirmed that there is no alcohol allowed on his property whatsoever because of the nature of the business.

COMMISSIONER GOYNES described a scenario where any individual could purchase packaged alcohol from the proposed facility, drink it swiftly and walk over to the SOB. MS. DIANE stated she would do her best to judge those to whom she would sell alcohol as it is not her intent to attract people that frequent the adjacent SOB.

COMMISSIONER STEINMAN questioned DEPUTY CITY ATTORNEY LEWIS about whether the prosecution would determine her intent to sell to people that she knows might frequent the SOB. DEPUTY CITY ATTORNEY LEWIS explained that she cannot control what other's intent might be once they leave her place of business and it is up to the Commissioners to decide, upon all these circumstances, whether this proposal is appropriate for the area.

COMMISSIONER STEINMAN expressed belief in MS. DIANE'S intention to sell upscale products. MS. DIANE concluded that the entire proposal would only come to fruition

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 8 – SUP-18001

MINUTES – Continued:

after the market has proven an equitable outcome for her products. MARGO WHEELER, Director of Planning and Development, stated that the business license would be valid for one year only and should the applicant need additional time to start the business, an Extension of Time would need to be requested. Upon CHAIRMAN TROWBRIDGE'S suggestion, MS. WHEELER explained that if a review period were desired, it would need to be added as a condition of approval and would follow the issuance of a business license.

COMMISSIONER DAVENPORT pointed out that Condition 6 addresses the prohibition of selling beer, wine coolers or screw cap wines and DOUG RANKIN stated that the consumption on the premises is prohibited under State law. DEPUTY CITY ATTORNEY LEWIS added that if a person is caught consuming alcohol in a prohibited area, that person would be cited rather than the purveyor.

MS. WHEELER crafted the additional condition of a one-year administrative review upon issuance of the business license and MS. DIANE agreed to all conditions.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(6:23 – 6:41)

1-651

CONDITIONS:

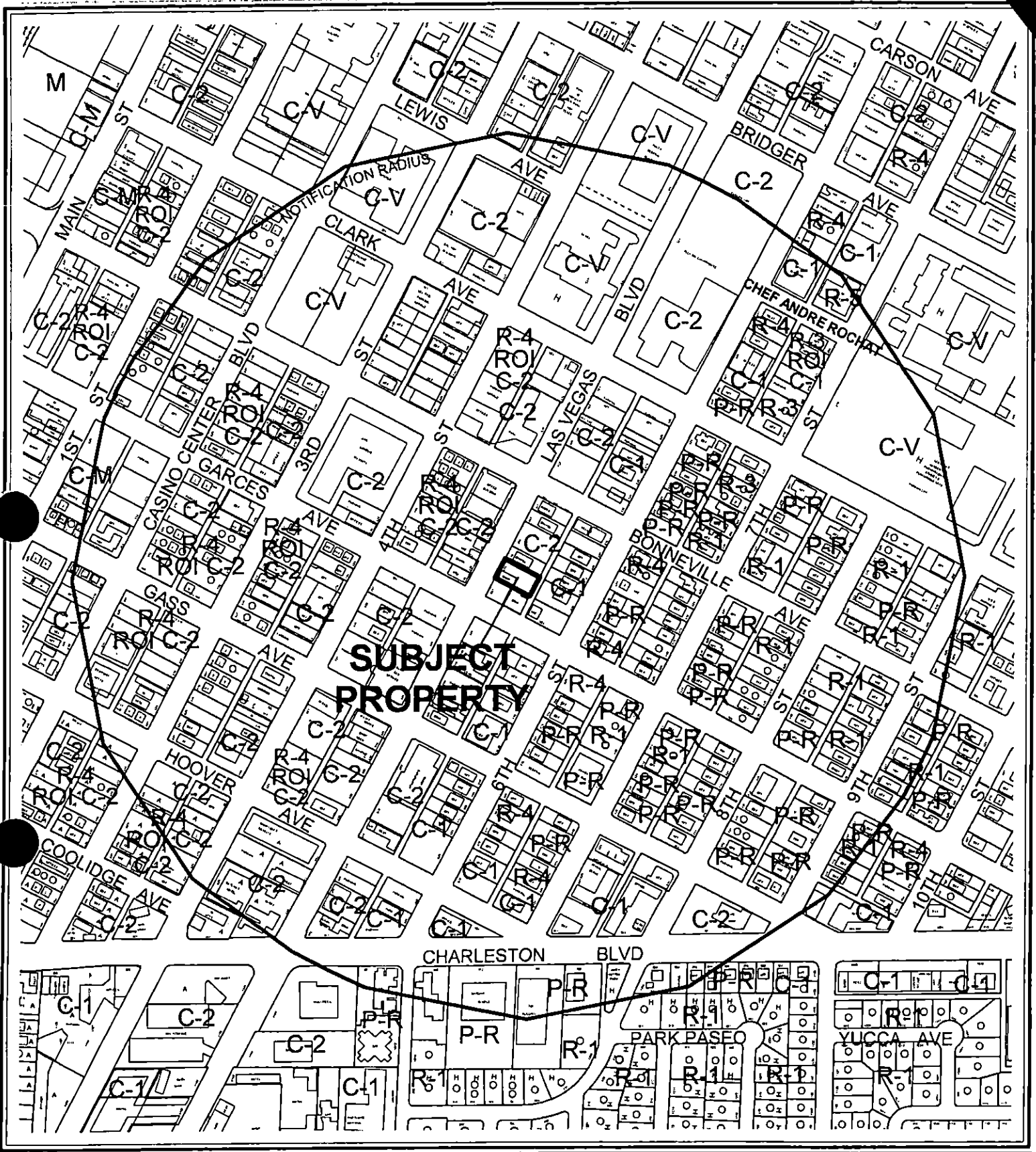
Planning and Development

1. Prior to the issuance of a business license the removal of the barbed wire and repair of the chain link fence that is being used as rear-entry screening must be completed.
2. Conformance with the City of Las Vegas Sign Code, Title 19.14.140, regarding abandoned signs shall be required. Existing signage must be removed, covered with a blank sign face, or replaced with appropriate signage for an on-premise, licensed business within 30 days of final action. Blank sign face or replacement signage is subject to Planning and Development staff review prior to any Building Department permit approval.
3. Conformance to all Minimum Requirements under LVMC Title 19.04 for a Package Liquor Off-Sale Establishment use.
4. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 8 – SUP-18001

CONDITIONS – Continued:

5. Approval of this Special Use Permit does not constitute approval of a liquor license.
6. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.
7. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
8. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



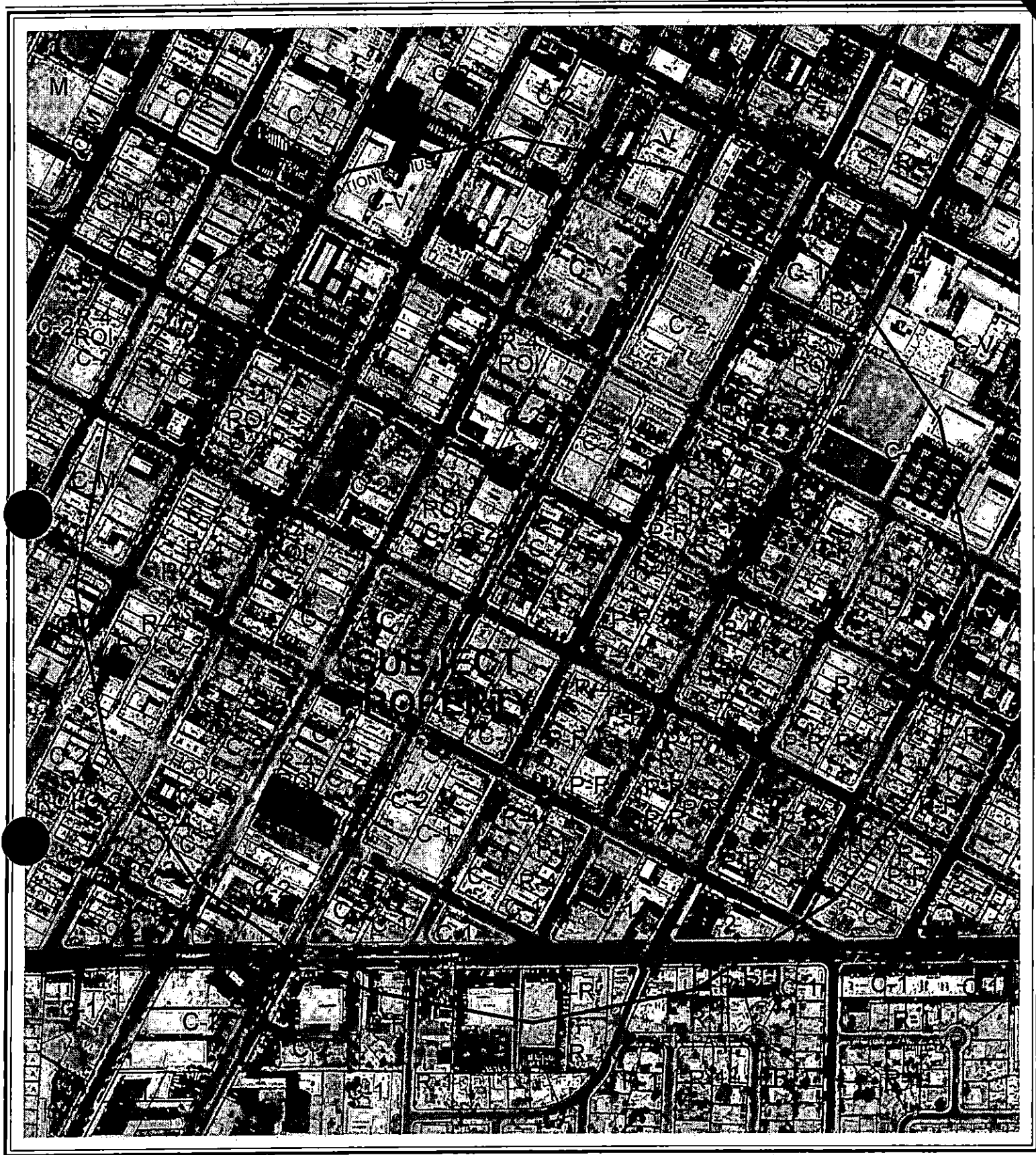
CASE: **SUP-18001**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 200 400 Feet





CASE: **SUP-18001**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 200 400 Feet





SUP-18001

Business Licenses

-  Child Care/
Children Facility
-  Supper Club/
Restaurant Service Bar
-  Tavern
-  Liquor on/off Sales

-  RELIGIOUS
-  CITY PARKS
-  SCHOOLS

-  Subject Property
-  400 foot buffer



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SUP-18001 – APPLICANT/OWNER: LESLIE DIANE**

**** CONDITIONS ******STAFF RECOMMENDATION:** **APPROVAL**, subject to:**Planning and Development**

1. Prior to the issuance of a business license the removal of the barbed wire and repair of the chain link fence that is being used as rear-entry screening must be completed.
2. Conformance with the City of Las Vegas Sign Code, Title 19.14.140, regarding abandoned signs shall be required. Existing signage must be removed, covered with a blank sign face, or replaced with appropriate signage for an on-premise, licensed business within 30 days of final action. Blank sign face or replacement signage is subject to Planning and Development staff review prior to any Building Department permit approval.
3. Conformance to all Minimum Requirements under LVMC Title 19.04 for a Package Liquor Off-Sale Establishment use.
4. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
5. Approval of this Special Use Permit does not constitute approval of a liquor license.
6. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.
7. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
8. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-18001 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Special Use Permit for a Package Liquor Off-Sale Establishment on 0.24 acres at 625 South Las Vegas Boulevard. The applicant wishes to provide specialty wines, imported beers and ales, liquors and gourmet items to the local office and professional trades as well as the residents of the new downtown high-rise residential developments.

The subject proposal meets all Title 19 standards for Package Liquor Off-Sale Establishment uses. The Downtown Centennial Plan does not have an automatic parking application and under that plan the provided parking is adequate. This use is compatible with the surrounding area. Staff recommends approval.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
08/18/93	The City Council granted an appeal, thereby approving the Variance (V-0064-93) to allow the secondhand sale of jewelry, electronics, tools and collectibles on the subject site. The Planning Commission and staff had recommended denial.
10/03/01	The City Council approved a request for a Special Use Permit (U-0115-01) for a proposed second hand dealer. The Planning Commission and staff had recommended approval.
<i>Related Building Permits/Business Licenses</i>	
10/12/06	A business license for a L15 (Package - A package license authorizes the retail sale of alcoholic beverages in original sealed or corked containers for consumption off the premises) category license was processed in by the Department of Finance and Business Services. This license (L15-98531) was denied by planning, on 10/19/06, pending approval of a Special Use Permit.
10/18/06	A business license for a M06 (Miscellaneous Sales - Sales of tangible goods not otherwise specified in the Code) category license was processed in by the Department of Finance and Business Services. This license (M06-98649) was approved by planning, on 10/19/06. As of 11/17/06 this license had not been issued.
<i>Pre-Application Meeting</i>	
10/11/06	A pre-application meeting was held and elements of this application were discussed. It was noted that photos of the existing building would suffice for the building elevation requirements. Submittal requirements were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required nor was one held.	

SUP-18001 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	0.24

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Retail (Vacant)	C (Downtown Commercial)	C-2 (General Commercial)
North	Wedding Chapel	C (Downtown Commercial)	C-2 (General Commercial)
South	SOB	C (Downtown Commercial)	C-2 (General Commercial)
East	Office	C (Downtown Commercial)	C-1 (Limited Commercial)
West	Office	C (Downtown Commercial)	C-2 (General Commercial)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan			
Downtown Centennial Plan	X		Y
Special Districts/Zones	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
Downtown Overlay District	X		Y
Las Vegas Boulevard Scenic Byway Overlay District	X		Y
Trails		X	
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

SUP-18001 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Pursuant to Title 19.04 and Title 19.10, the following parking standards apply:

Parking Requirement - Downtown							
Use	Gross Floor Area or Number of Units	Base Parking Requirement			Provided Parking		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
General Retail Store, Other Than Listed (Less than 3500 Sq. Ft.)	1600 SF	1 Space /175 SF of GFA	9	1	8	1	Yes *
TOTAL (including handicap)	1600 SF	1 Space /175 SF of GFA	9		8		Yes*

* Note: Sites within the Las Vegas Downtown Centennial Plan do not have an automatic application of Title 19.04 or Title 19.10 parking standards.

ANALYSIS

The subject property has a land use designation of C (Downtown Commercial). This designation allows for a variety of commercial uses ranging from those designed primarily for local area patrons to those of a higher intensity commercial use. The underlying zoning of C-2 (General Commercial) complies with this designation. Projects located within the Las Vegas Downtown Centennial Plan area are not subject to the automatic application of parking requirements.

Package Liquor, Off-Sale Establishments are allowed in a C-2 (General Commercial) zone with approval of a Special Use Permit. The nearest alcohol use, a tavern, is located south of the property at 910 South Las Vegas Boulevard.

The proposed use is appropriate for the area and will be located in an existing structure previously occupied by a second hand dealer. There are no protected uses within the required separation distance.

There is existing signage on the windows and awning that are from the previous business which ceased activity January 2006. Title 19.14.140 requires that this signage be replaced or removed within 30 days of business termination and a Condition of Approval has been added to reflect this requirement. This site is within the Las Vegas Boulevard Scenic Byway Overlay District. Due to this the Urban Design Coordinator will have to review and approve any change in signage prior to the issuance of any Building and Safety Department sign permit. Minimum Requirements of Approval for Package Liquor, Off-Sale Establishment in a C-2 (General Commercial) Zoning District.

RTS

SUP-18001 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

- *1. Except as otherwise provided, no package liquor off-sale establishment use (herein after "establishment") shall be located within 400 feet of any church, synagogue, school, childcare facility licensed for more than twelve children, or City park.
- *2. Except as otherwise provided in Requirement 3 below, the distances referred to in Requirement 1 shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed establishment which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed establishment. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:
 - a. Any leasehold parcel; or
 - b. Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Requirement 1.
- *3. In the case of an establishment proposed to be located on a parcel of at least 80 acres in size, the minimum distances referred to in Requirement 1 shall be measured in a straight line:
 - a. From the nearest property line of the existing use to the nearest portion of the structure in which the establishment will be located, without regard to intervening obstacles; or
 - b. In the case of a proposed establishment which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the establishment will be located, without regard to intervening obstacles.
- 4. The minimum distance requirements in Requirement 1 do not apply to:
 - a. An establishment which has a non-restricted gaming license in connection with a hotel having 200 or more guest rooms on or before July 1, 1992 or in connection with a resort hotel having in excess of 200 guest rooms after July 1, 1992; or
 - b. A proposed retail establishment having more than 50,000 square feet or retail floor space.
- *5. All businesses, which sell alcoholic beverages, shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

The proposed package liquor, off-sale establishment meets the minimum requirements for approval.

SUP-18001 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

As this is in the C (Downtown Commercial) area, the subject proposal will be harmonious and compatible with existing surrounding land uses and with future uses as projected by the General Plan.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

Package liquor, off-sale establishment at this location will not greatly affect the intensity of uses on the site. Although, the site does not meet the base parking standards staff finds that there is adequate parking on the site to accommodate the proposed use.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The site is served by South Las Vegas Boulevard (an 80-foot secondary collector). This thoroughfare can accommodate the proposed package liquor, off-sale establishment use.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

Approval of this request will not compromise the public health, safety or welfare of the general public and will not jeopardize the overall objectives of the General Plan.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

19

ASSEMBLY DISTRICT 9

SENATE DISTRICT 3

SUP-18001 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

NOTICES MAILED 437

APPROVALS 0

PROTESTS 1



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18001** APN: 139-34-410-182

Name of Property Owner: LESLIE DIANE

Name of Applicant: LESLIE DIANE

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

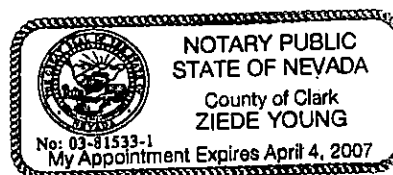
Signature of Property Owner: Leslie Diane

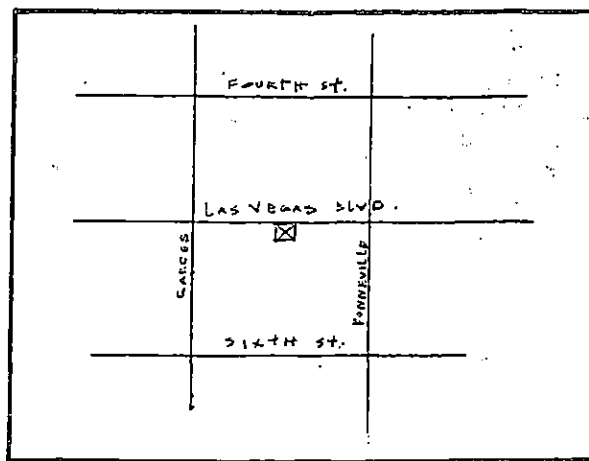
Print Name: LESLIE DIANE

Subscribed and sworn before me

This 6 day of November, 2006

Notary Public in and for said County and State



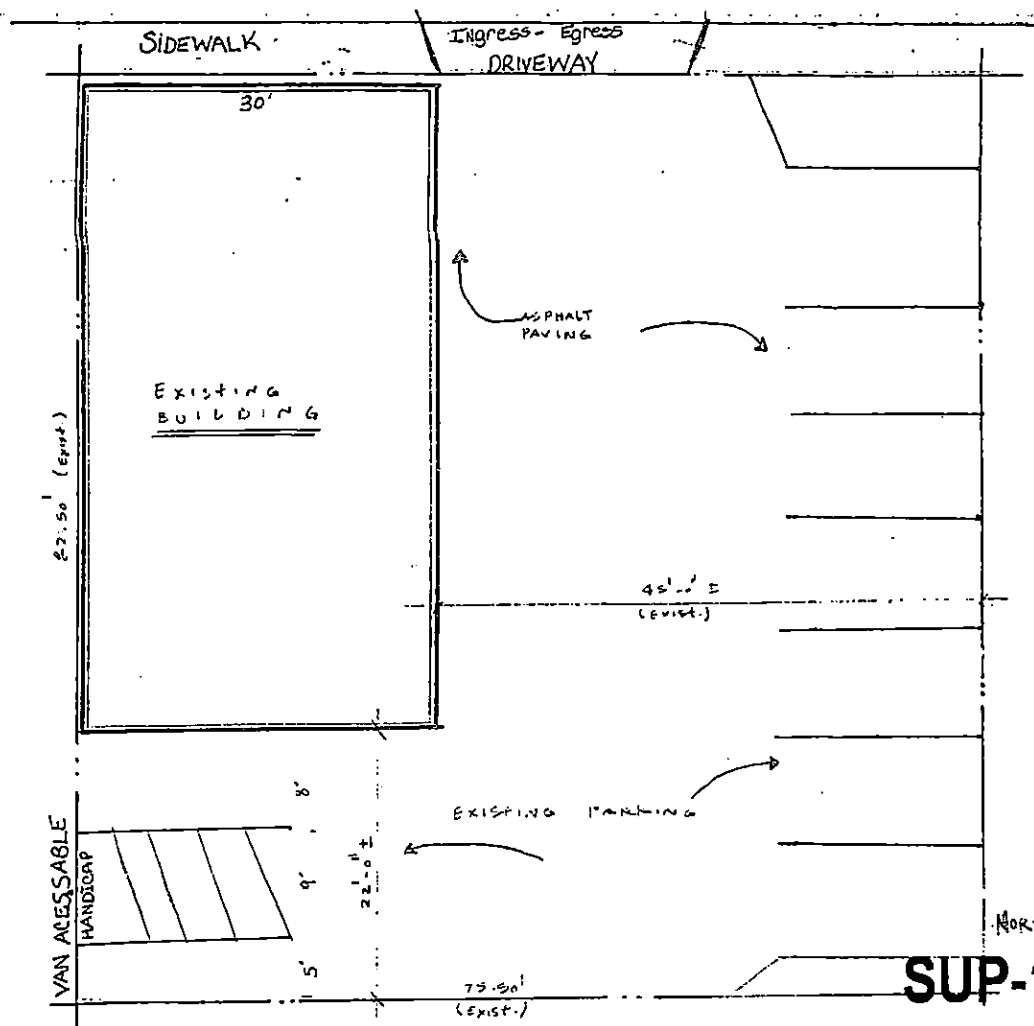


VICINITY MAP

NO SCALE

625 S. LAS VEGAS BLVD.

C2
S.O.B



C2
Wedding
Chapel

PARKING
BLD-11000"
REQUIRED 7.2 SPACES
EXISTING 8 SPACES
1 VAN ACCESSABLE
HANDICAP SPACE

VAN ACCESSABLE
HANDICAP

ALLEY

SITE PLAN

SCALE: 1" = 1/8'

625 S. LAS VEGAS BL

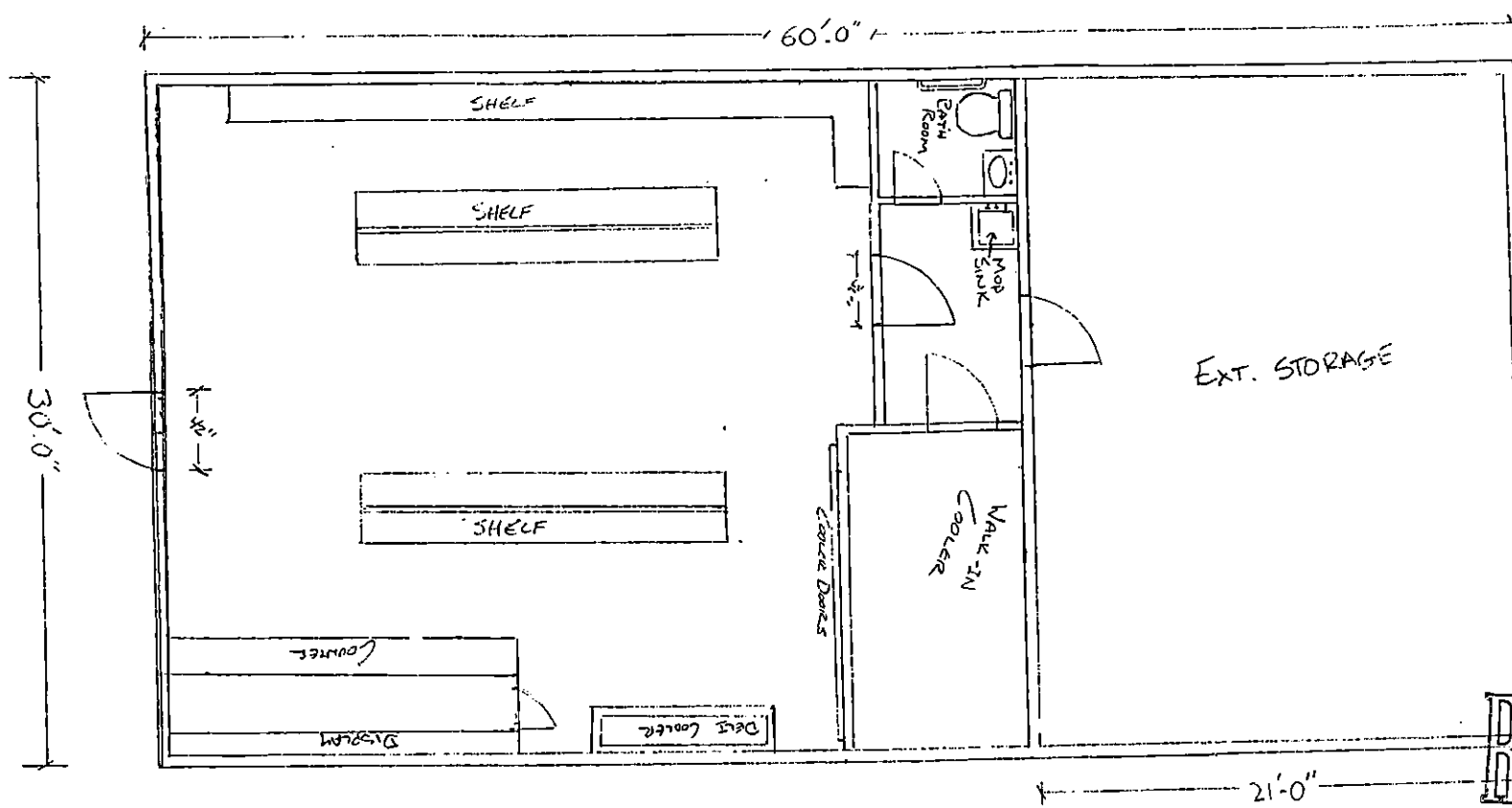
Las Vegas 89101

SUP-18001

12/21/06 PC

RECEIVED

NOV 06 2006



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NOV 06 2006

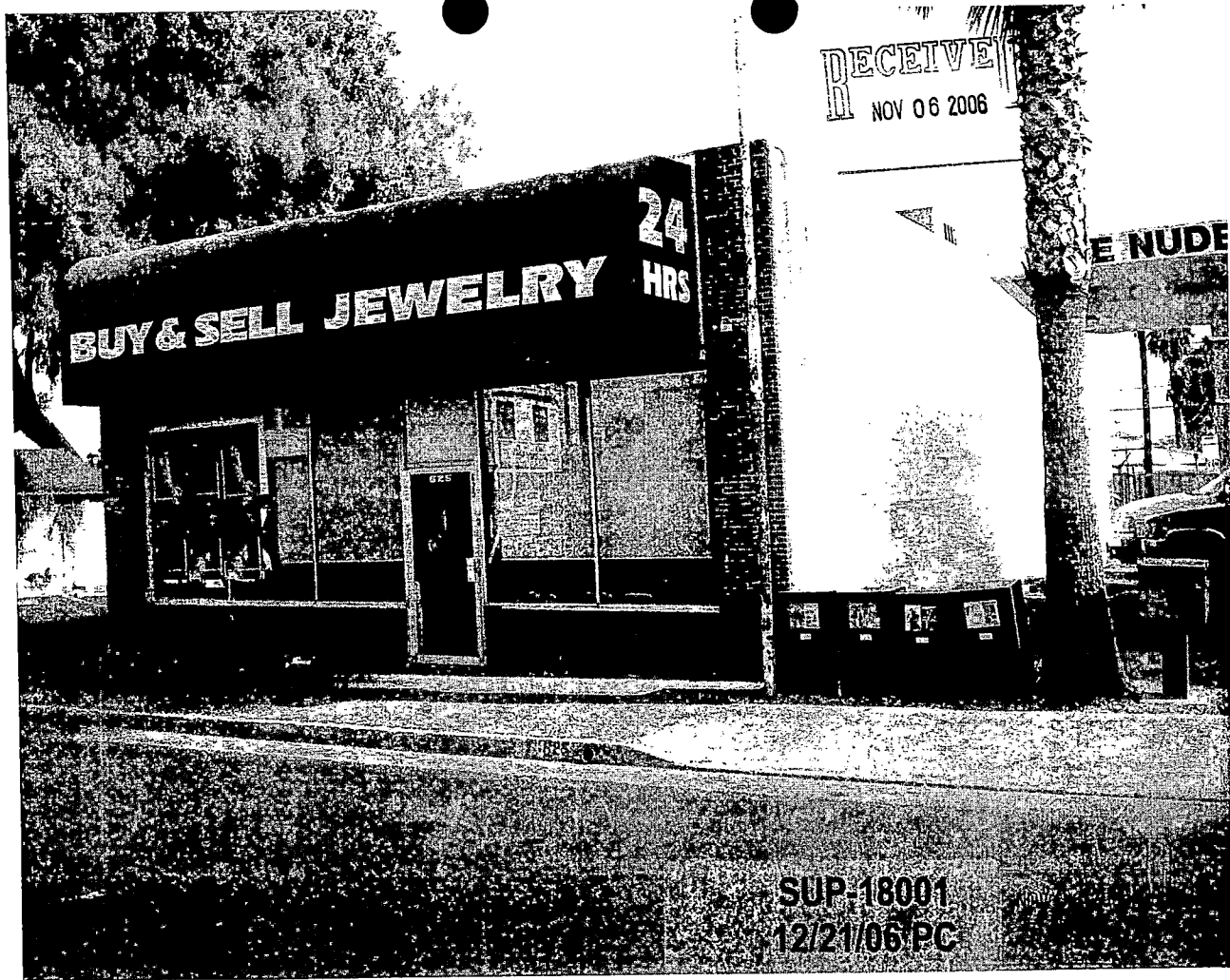
SUP-18001
12/21/06 PC

WINE GOURMET & GOODIES		
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: COL
DATE: 7-25-06		REVISED
625 S. Las Vegas Blvd.		

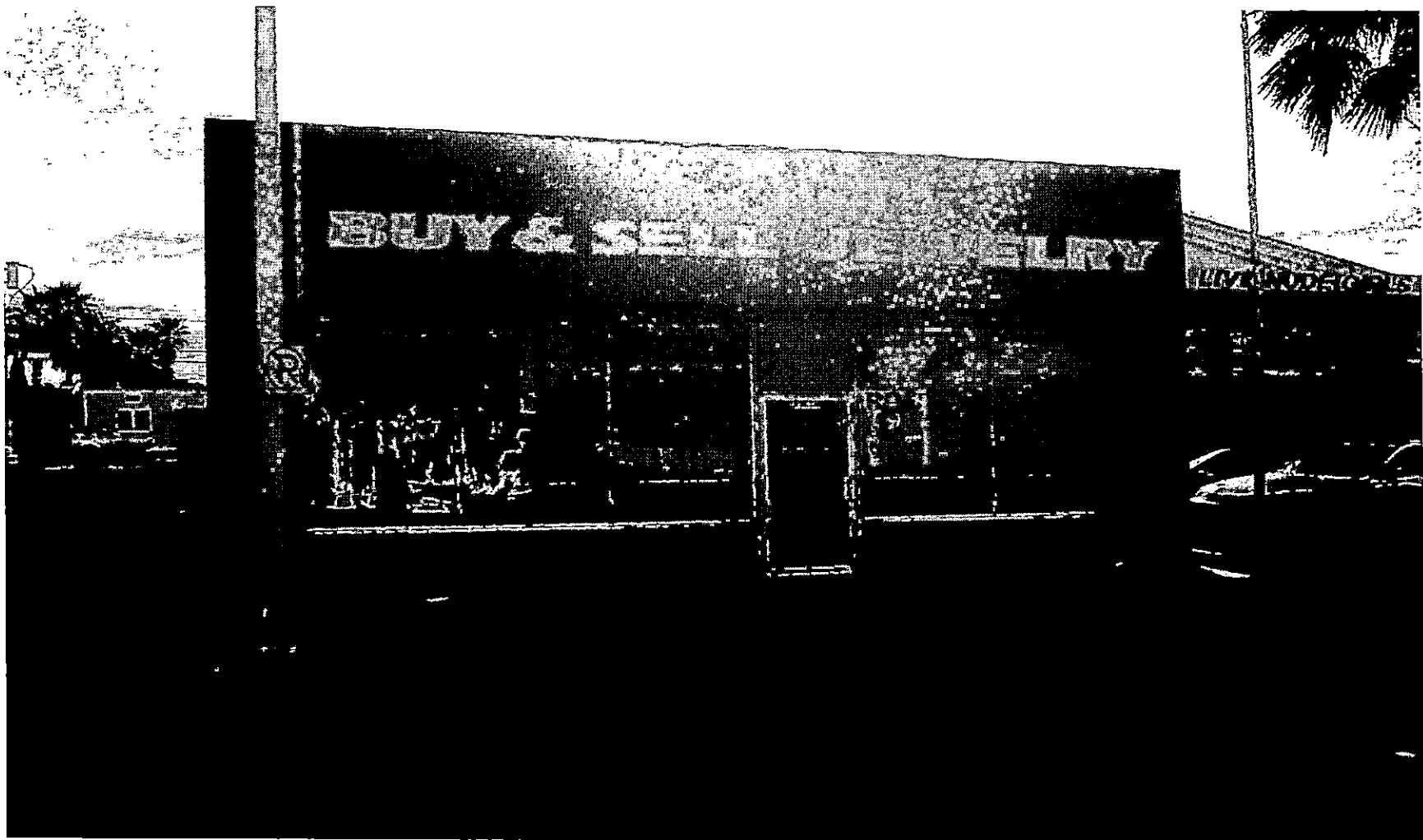
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NOV 06 2006

SUP-18001
12/21/06 PC

NOV 06 2006



SUP-18001
12/21/06/PC



SUP-18001 - APPLICANT/OWNER: LESLIE DIANE
625 SOUTH LAS VEGAS BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

11/22/06

WINE GOURMET & GOODIES
625 S. LAS VEGAS BLVD.
LAS VEGAS, NV 89101

WILL BE A SPECIALTY LIQUOR AND WINE STORE CATERING TO
THE PROFESSIONAL TRADE AND OCCUPANTS IN THE NEWLY
DEVELOPING CONDOS AND LOFTS IN THE DOWNTOWN AREA.

IT IS MY DESIRE TO HANDLE MOSTLY FINE WINES, A SMALL
AMOUNT OF LIQUOR AND GOURMET ITEMS. IMPORT BEERS
AND ALE WILL ALSO BE INCLUDED, HOWEVER IN LIMITED
QUANTITY.

IT IS MY INTENT THAT WINE GOURMET & GOODIES WILL BE
A MORE SOPHISTICATED AND POSITIVE BUSINESS ACTIVITY
FOR OUR DYNAMIC DEVELOPING DOWNTOWN NEIGHBORHOOD.

RECEIVED
NOV 06 2006

SUP-18001
REVISED
12/21/06 PC

RONALD H. REYNOLDS
MATTHEW D. CALLISTER

ROBERT H. REYNOLDS*
JONATHAN C. CALLISTER
ALISA J. KODY
BRUCE H. BDHLKE**
PHILIP C. ALEXANDER***
R. DUANE FRIZELL †
BRADLEY R. TATUM
MATTHEW P. PAWLOWSKI
KENNA K. ODUNZE

* Also licensed in NY
** Also licensed in VA
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† Also licensed in NM & TX

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www.callister-reynolds.com

ROBERT CALLISTER
1921-1998

December 13, 2006

Douglas J. Rankin, Planning Supervisor
Planning & Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, NV 89101

Re: **SUP-18001**
Leslie Diane - 625 South Las Vegas Boulevard
Package Liquor Establishment

Dear Mr. Rankin:

I represent the owners of three properties located near the proposed site of the special use permit referenced above. These properties are 823 and 901 South Las Vegas Boulevard and 823 South Sixth Street. I wish to memorialize their objections to this application for a special use permit.

The proposed business represents the low end of liquor sales and would be a "bum-magnet" in the Redevelopment District. The proposed use as a package liquor establishment would not be consistent with its predominantly financial and administrative surroundings. Further, as you are already aware, a package liquor store increases the crime rate of its neighborhood. This is contrary to the zoning intentions already adopted for the downtown area.

Thank you for your consideration of our objections.

Very truly yours,

CALLISTER & REYNOLDS



Ronald H. Reynolds, Esq.

RHR/vh

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-18032 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: VIOLET SAHAKYAN - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER at 5150 North Jones Boulevard (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

IF APPROVED: C.C.: 01/17/07

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009] – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused and **COMMISSIONER DAVENPORT** abstaining on Item 5 [MSP-18047] because he lives within the notice area

To be heard by City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

There was no discussion.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 9 – SUP-18032

MINUTES – Continued:

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

(6:10 – 6:12)

1-248

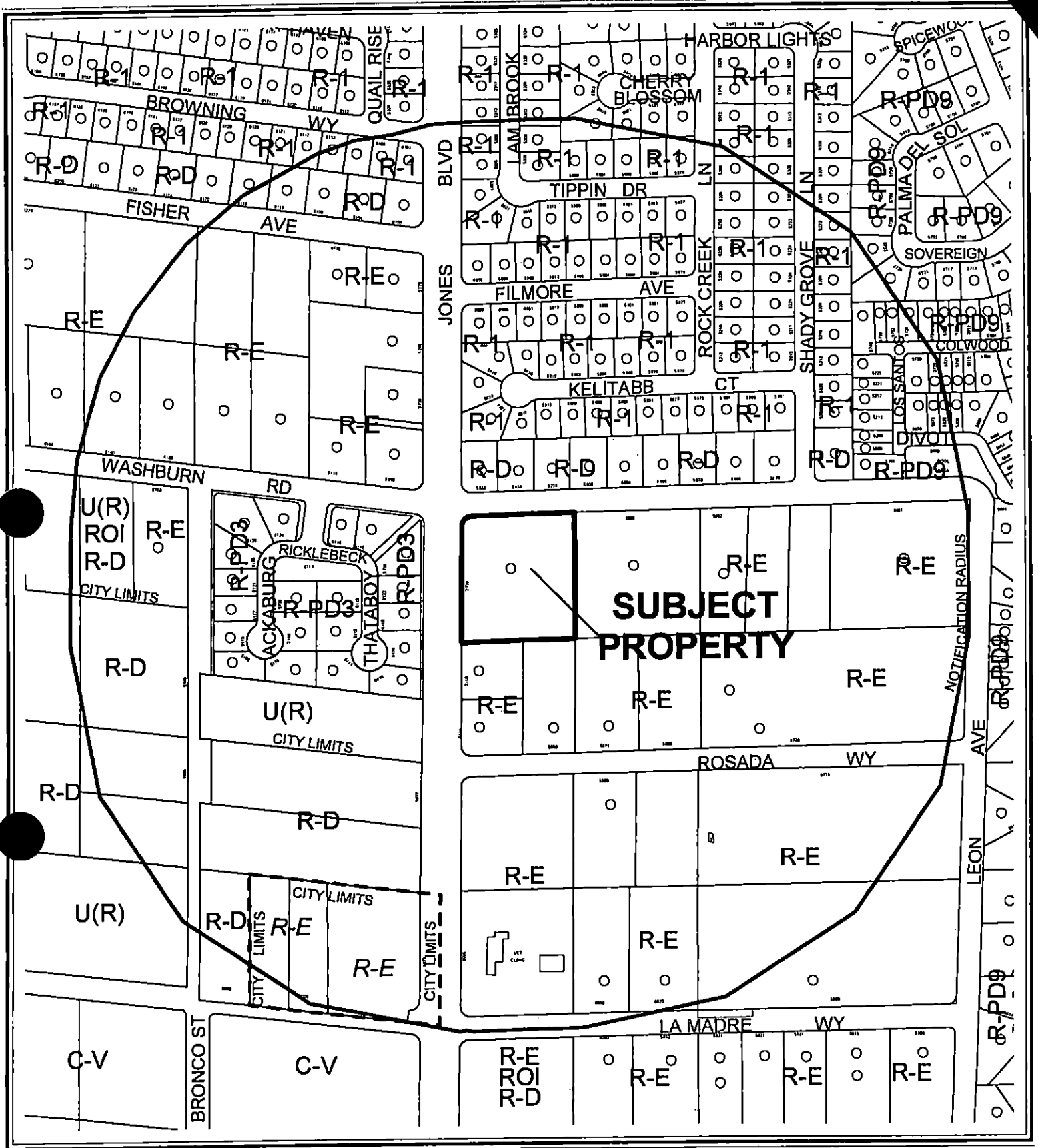
CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for the Site Development Plan Review (SDR-6018) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Public Works

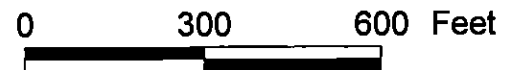
4. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of an Occupancy Permit for this site. Provide and improve all drainageways as recommended in the approved drainage plan/study.

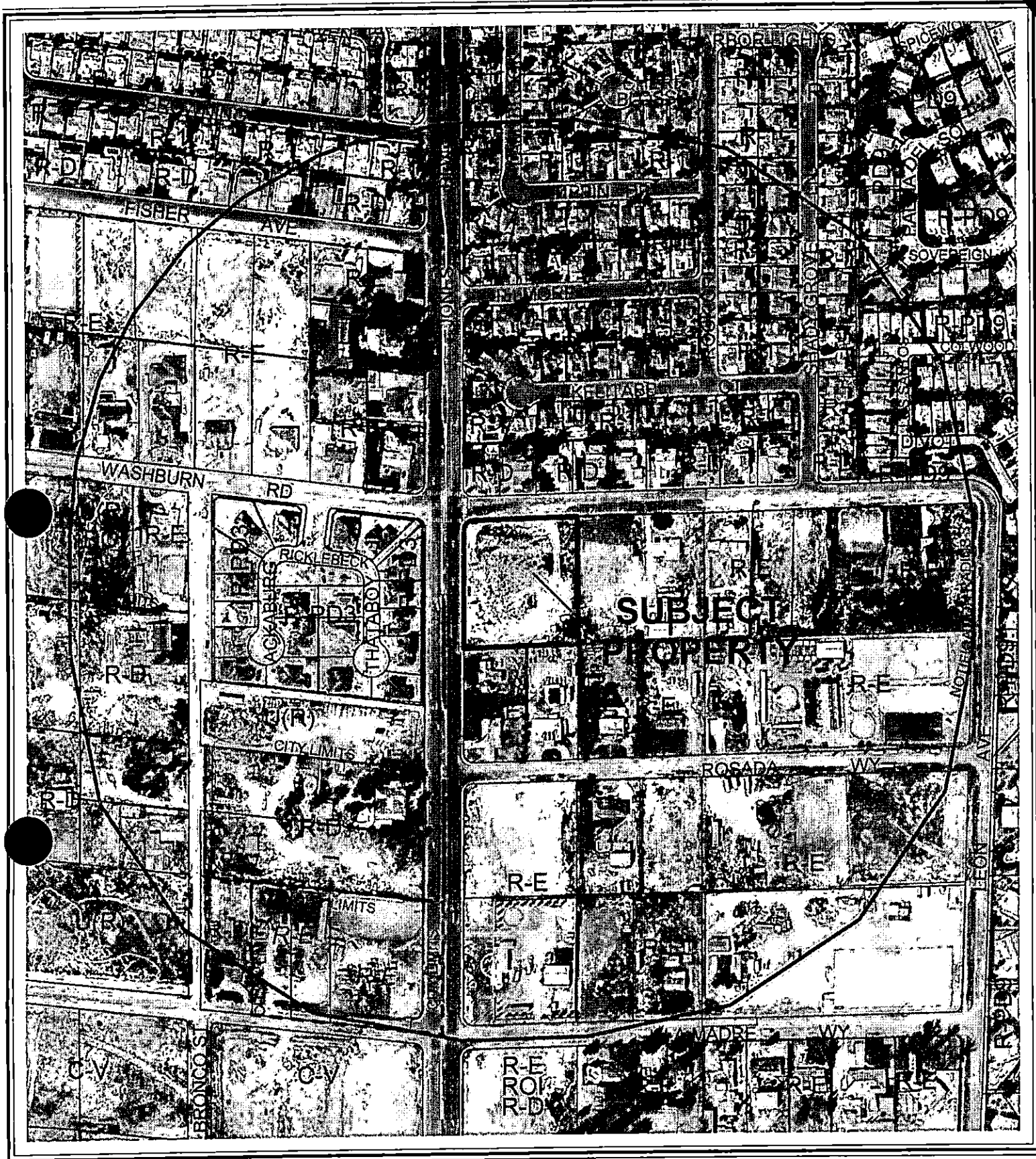


CASE: SUP-18032

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)





CASE: **SUP-18032**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SUP-18032 - APPLICANT/OWNER: VIOLET SAHAKYAN**

**** CONDITIONS ******STAFF RECOMMENDATION:** **APPROVAL**, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for the Site Development Plan Review (SDR-6018) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Public Works

4. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of an Occupancy Permit for this site. Provide and improve all drainageways as recommended in the approved drainage plan/study.

SUP-18032 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This request is for a Special Use Permit for a Child Care Center adjacent to the southeast corner of North Jones Boulevard and Washburn Road. An approved Special Use Permit (SUP-6020) expired in April 2006 for this site due to a one-year time limitation. The Site Development Plan Review (SDR-6018), which has a two-year approval, is still valid.

The applicant intends the proposed childcare center to provide day care services while providing an attractive, aesthetically pleasing new structure to compliment the neighborhood. This request conforms to the Site Development Plan Review (SDR-6018) and the use is compatible with the surrounding area. Staff recommends approval.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/06/05	The City Council approved a request for a Site Development Plan Review (SDR-6018) and Special Use Permit (SUP-6020) for a proposed Child Care Center. The Planning Commission and staff had recommended approval of both items.
<i>Related Building Permits/Business Licenses</i>	
08/25/06	A business license for a N16 (Child Care Center - Preschool - Nursery - Combination of a child care center (N10), a nursery for infants and toddlers (N12), and a preschool (N13) category license was processed in. This license (N16-97625) was denied by the Planning and Development Department, on 09/05/06, pending approval of a new Special Use Permit as the prior approval (SUP-6020) expired on 04/06/06.
07/19/06	A building permit application, plan check C-193-06, was submitted 01/17/06. The permit was issued 07/19/06. The Planning and Development Department review began 02/22/06 and recorded approval on 07/11/06.
<i>Pre-Application Meeting</i>	
10/18/06	A pre-application meeting was held and elements of this application were discussed. It was noted that the project must comply with all conditions of approval for the Site Development Plan Review (SDR-6018). Additionally, the applicant was informed that due to the approval of an annexation (ANX-6493) case effective 08/11/05 this location no longer needed the Project of Regional Significance forms as a part of the application. Submittal requirements were discussed.

SUP-18032 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

Neighborhood Meeting

A neighborhood meeting is not required nor was one held. However, one was held prior to the previous Special Use Permit's (SUP-6020) approval. At that neighborhood meeting on February 25, 2005 at the Lamb of God Lutheran Church located at 6220 North Jones Boulevard, where there were five (5) people in attendance representing neighborhood interests. At the meeting the following items were discussed:

1. Neighborhood traffic concerns as well as perceived adverse impacts of the site development;
2. The hours of operations and the ages of the children being served;
3. The tree size of the proposed site landscaping;

The neighbors expressed concerns about the possible traffic impact the learning center would have on Washburn Road. The suggestion was made that possibly both driveways entering and exiting the site is located along Jones Boulevard. The attendees also expressed concerns about the proposed landscaping, specifically the size of the proposed trees that are to be planted around the perimeter of the site. It was stated that a 24-inch box tree may be too small and the size may need to be increased to help screen the site better. No specific detail was proposed on what size those trees should be. It was also discussed the possibility of an opening being placed in the median along Jones Boulevard to allow southbound traffic from Jones Boulevard to make a left hand turn into the learning center site. It was discussed that this may be possible, but there may not be enough room between Washburn Road and a proposed left hand turn lane to not interfere with traffic flow. Lastly it was mentioned that the traffic impacts, drainage impacts and associated mitigation measures for the proposed learning center will completely addressed at a later date when the design of the facility is finalized.

Details of Application Request

Site Area

Gross Acres	2.15
Net Acres	2.07

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	R (Rural Density Residential)	R-E (Residential Estate)
North	Single-family Residential	L (Low Density Residential)	R-D (Residential-Restricted)
South	Single-family Residential	R (Rural Density Residential)	R-E (Residential Estate)
East	Single-family Residential	R (Rural Density Residential)	R-E (Residential Estate)
West	Single-family Residential	R (Rural Density Residential)	R-PD3 (Residential Planned Development – 3 Units Per Acre)

SUP-18032 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan			
A-O Airport Overlay District	X		Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	
Trails		X	
Rural Preservation Overlay District	X		Y
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

DEVELOPMENT STANDARDS

Pursuant to Title 19.04 and Title 19.10, the following parking standards apply:

Pursuant to Title 19.04 and Title 19.10, the following parking standards apply.							
Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Child Care Center	n/a	1 Space / Staff Member & 1 Space / 10 Children	68	3	68	3	Y
TOTAL (including handicap)			68		68		

ANALYSIS

The site is designated R (Rural Residential) on the Centennial Hills Map General Plan. This designation allows for rural to semi-rural residential lots, which allows up to 3.5 dwelling units per acre. The current R-E (Residential Estate) zoning does conform to the R (Rural Density Residential), which will allow for a Child Care Center use with the approval of a Special Use Permit. There are no base conditions for approval of a Special Use Permit for a Child Care Center use. These projects are evaluated on a case-by-case basis and conditions are imposed as needed.

SUP-18032 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

A Child Care Center by definition is a commercial facility in which the licensee regularly provides day or overnight care for more than 12 children. The facility is subject to the childcare regulations and standards of the Department of Business Activity. The proposed Child Care Center is an allowed use with the approval of this Special Use Permit. There are no other Child Care Center's within the notification radius.

This site is within the Rural Preservation Neighborhood Overlay (RPN) buffer. The proposed project does not affect the allowable density and does not impact the rural preservation neighborhood standards as outlined in Title 19.06.150.

The site is within the North Las Vegas Airport Overlay Map portion of the Airport Overlay District. The submitted elevations are in compliance with Title 19.06.080 (B) which allows a "structure to a height up to thirty five feet above the surface of the land on any parcel" without a height limitation review or prohibition.

The parking standard for a Child Care Center is one space for each staff member plus one space for each 10 students at peak capacity. The site will have sufficient parking for the proposed 38 staff members and the potential of up to a maximum 300 students at any one time. The business license review by the Department of Finance and Business Services may reduce the number of allowable students based on their evaluation during the licensing process. There are no on-site loading spaces required.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

Although the subject property is surrounded by single family homes, the proposed use will not have an adverse affect on those surrounding properties and can be harmonious with the surrounding land uses and any future land uses.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The approved site plan will provide sufficient play areas, parking and building facilities to accommodate the students and staff.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

SUP-18032 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

Jones Boulevard is a Primary Thoroughfare (100-foot) per the City's Master Planned Streets and Highways that will provide the primary access to the site. Washburn Road is also adequate in size to accommodate traffic entering and leaving the site.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

The proposed Child Care Center development will be subject to inspections for Certificate of Occupancy, and therefore the development will not compromise the public health, safety or welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 6

NOTICES MAILED 194

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-18032** APN: 125-36-301-001
Name of Property Owner: SARUN AND VIOLET SAHAKYAN
Name of Applicant: Violet SAHAKYAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

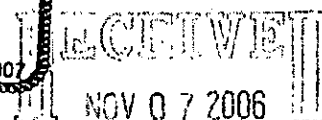
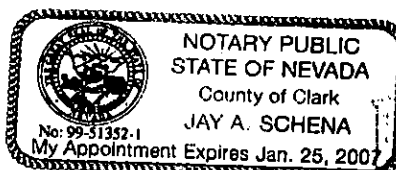
Signature of Property Owner: V. Sahakyan

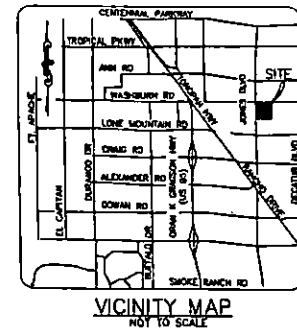
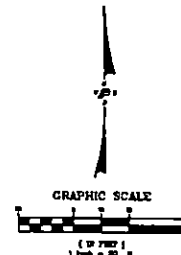
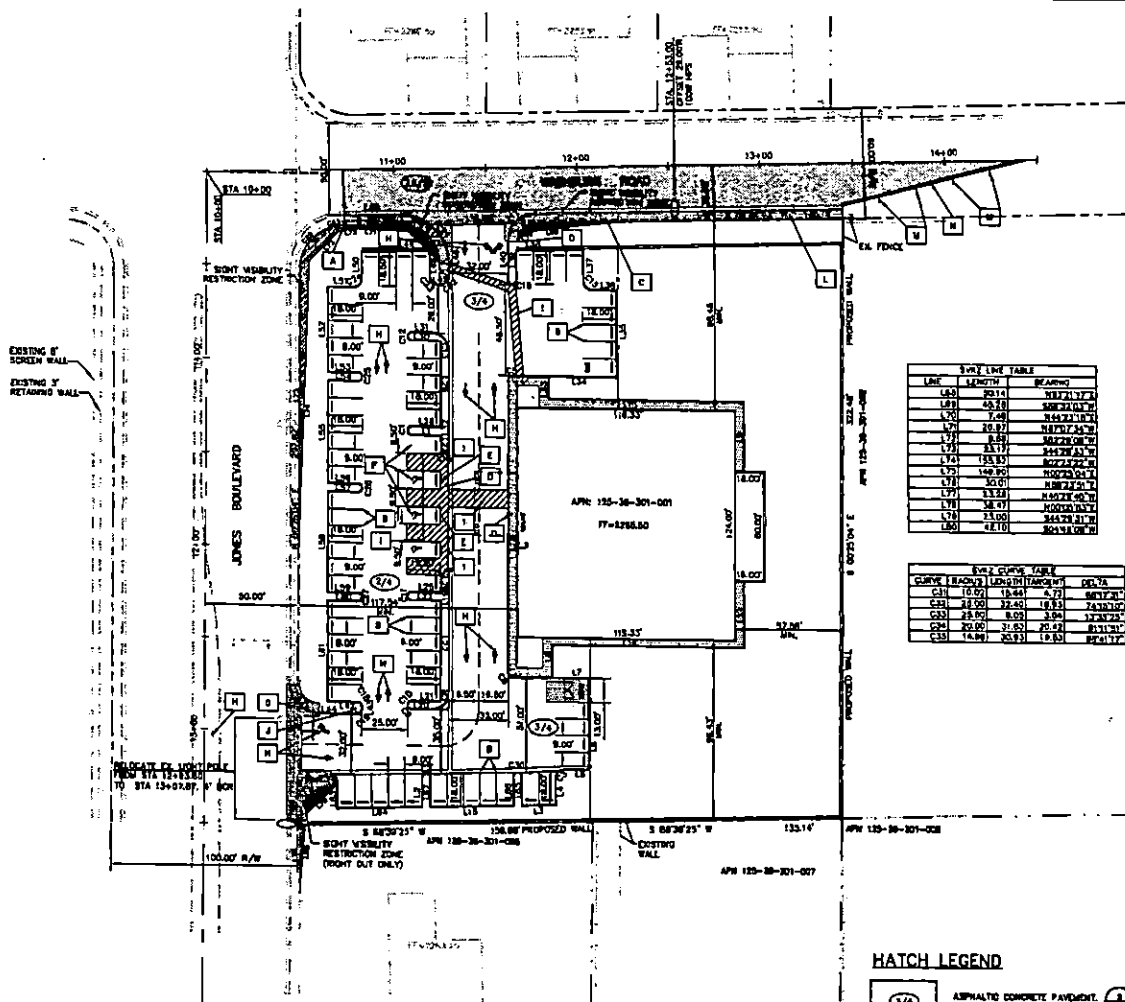
Print Name: Violet SAHAKYAN

Subscribed and sworn before me

This 7 day of Nov., 2006

Jay A. Schena
Notary Public in and for said County and State





SIDE LINE TABLE

LINE	LENGTH	BEARING
1.00	20.11	S87.21°E
1.01	45.18	S80.21°E
1.02	1.00	N44.71°E
1.03	20.87	N87.07°E
1.04	8.00	N87.07°E
1.05	1.00	N87.07°E
1.06	135.85	N02.22°W
1.07	149.80	N02.22°W
1.08	30.01	N02.22°W
1.09	13.23	N02.22°W
1.10	28.07	N02.22°W
1.11	1.00	N02.22°W
1.12	1.00	N02.22°W
1.13	1.00	N02.22°W
1.14	1.00	N02.22°W
1.15	1.00	N02.22°W
1.16	1.00	N02.22°W
1.17	1.00	N02.22°W
1.18	1.00	N02.22°W
1.19	1.00	N02.22°W
1.20	1.00	N02.22°W

CURVE TABLE

CURVE	BEARING	LENGTH	DELTA
C01	10.00	18.44	4.72
C02	21.00	32.40	18.83
C03	25.00	8.00	3.09
C04	20.00	21.62	22.49
C05	14.98	20.83	18.83

LINE TABLE

LINE	DESC	LENGTH	BEARING
1.01	TRC	18.02	S87.21°E
1.02	TRC	14.99	S80.21°E
1.03	TRC	21.00	N44.71°E
1.04	TRC	20.87	N87.07°E
1.05	TRC	8.00	N87.07°E
1.06	TRC	13.00	N87.07°E
1.07	TRC	43.84	N02.22°W
1.08	TRC	14.00	N02.22°W
1.09	TRC	1.00	N02.22°W
1.10	TRC	1.00	N02.22°W
1.11	TRC	1.00	N02.22°W
1.12	TRC	1.00	N02.22°W
1.13	TRC	1.00	N02.22°W
1.14	TRC	1.00	N02.22°W
1.15	TRC	1.00	N02.22°W
1.16	TRC	1.00	N02.22°W
1.17	TRC	1.00	N02.22°W
1.18	TRC	1.00	N02.22°W
1.19	TRC	1.00	N02.22°W
1.20	TRC	1.00	N02.22°W
1.21	TRC	1.00	N02.22°W
1.22	TRC	1.00	N02.22°W
1.23	TRC	1.00	N02.22°W
1.24	TRC	1.00	N02.22°W
1.25	TRC	1.00	N02.22°W
1.26	TRC	1.00	N02.22°W
1.27	TRC	1.00	N02.22°W
1.28	TRC	1.00	N02.22°W
1.29	TRC	1.00	N02.22°W
1.30	TRC	1.00	N02.22°W
1.31	TRC	1.00	N02.22°W
1.32	TRC	1.00	N02.22°W
1.33	TRC	1.00	N02.22°W
1.34	TRC	1.00	N02.22°W
1.35	TRC	1.00	N02.22°W
1.36	TRC	1.00	N02.22°W
1.37	TRC	1.00	N02.22°W
1.38	TRC	1.00	N02.22°W
1.39	TRC	1.00	N02.22°W
1.40	TRC	1.00	N02.22°W
1.41	TRC	1.00	N02.22°W
1.42	TRC	1.00	N02.22°W
1.43	TRC	1.00	N02.22°W
1.44	TRC	1.00	N02.22°W
1.45	TRC	1.00	N02.22°W
1.46	TRC	1.00	N02.22°W
1.47	TRC	1.00	N02.22°W
1.48	TRC	1.00	N02.22°W
1.49	TRC	1.00	N02.22°W
1.50	TRC	1.00	N02.22°W
1.51	TRC	1.00	N02.22°W
1.52	TRC	1.00	N02.22°W
1.53	TRC	1.00	N02.22°W
1.54	TRC	1.00	N02.22°W
1.55	TRC	1.00	N02.22°W
1.56	TRC	1.00	N02.22°W
1.57	TRC	1.00	N02.22°W
1.58	TRC	1.00	N02.22°W
1.59	TRC	1.00	N02.22°W
1.60	TRC	1.00	N02.22°W
1.61	TRC	1.00	N02.22°W
1.62	TRC	1.00	N02.22°W
1.63	TRC	1.00	N02.22°W
1.64	TRC	1.00	N02.22°W
1.65	TRC	1.00	N02.22°W
1.66	TRC	1.00	N02.22°W
1.67	TRC	1.00	N02.22°W
1.68	TRC	1.00	N02.22°W
1.69	TRC	1.00	N02.22°W
1.70	TRC	1.00	N02.22°W
1.71	TRC	1.00	N02.22°W
1.72	TRC	1.00	N02.22°W
1.73	TRC	1.00	N02.22°W
1.74	TRC	1.00	N02.22°W
1.75	TRC	1.00	N02.22°W
1.76	TRC	1.00	N02.22°W
1.77	TRC	1.00	N02.22°W
1.78	TRC	1.00	N02.22°W
1.79	TRC	1.00	N02.22°W
1.80	TRC	1.00	N02.22°W
1.81	TRC	1.00	N02.22°W
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1.83	TRC	1.00	N02.22°W
1.84	TRC	1.00	N02.22°W
1.85	TRC	1.00	N02.22°W
1.86	TRC	1.00	N02.22°W
1.87	TRC	1.00	N02.22°W
1.88	TRC	1.00	N02.22°W
1.89	TRC	1.00	N02.22°W
1.90	TRC	1.00	N02.22°W
1.91	TRC	1.00	N02.22°W
1.92	TRC	1.00	N02.22°W
1.93	TRC	1.00	N02.22°W
1.94	TRC	1.00	N02.22°W
1.95	TRC	1.00	N02.22°W
1.96	TRC	1.00	N02.22°W
1.97	TRC	1.00	N02.22°W
1.98	TRC	1.00	N02.22°W
1.99	TRC	1.00	N02.22°W
2.00	TRC	1.00	N02.22°W

CURVE TABLE

CURVE	DESC	RADIUS	LENGTH	DELTA
C01	TRC	2.00	8.33	86.91°
C02	TRC	3.00	6.43	57.41°
C03	TRC	1.00	1.00	4.84°
C04	TRC	2.00	2.14	8.00°
C05	TRC	2.00	2.14	8.00°
C06	TRC	2.00	2.14	8.00°
C07	TRC	2.00	2.14	8.00°
C08	TRC	2.00	2.14	8.00°
C09	TRC	2.00	2.14	8.00°
C10	TRC	2.00	2.14	8.00°
C11	TRC	2.00	2.14	8.00°
C12	TRC	2.00	2.14	8.00°
C13	TRC	2.00	2.14	8.00°
C14	TRC	2.00	2.14	8.00°
C15	TRC	2.00	2.14	8.00°
C16	TRC	2.00	2.14	8.00°
C17	TRC	2.00	2.14	8.00°
C18	TRC	2.00	2.14	8.00°
C19	TRC	2.00	2.14	8.00°
C20	TRC	2.00	2.14	8.00°
C21	TRC	2.00	2.14	8.00°
C22	TRC	2.00	2.14	8.00°
C23	TRC	2.00	2.14	8.00°
C24	TRC	2.00	2.14	8.00°
C25	TRC	2.00	2.14	8.00°
C26	TRC	2.00	2.14	8.00°
C27	TRC	2.00	2.14	8.00°
C28	TRC	2.00	2.14	8.00°
C29	TRC	2.00	2.14	8.00°
C30	TRC	2.00	2.14	8.00°
C31	TRC	2.00	2.14	8.00°
C32	TRC	2.00	2.14	8.00°
C33	TRC	2.00	2.14	8.00°
C34	TRC	2.00	2.14	8.00°
C35	TRC	2.00	2.14	8.00°
C36	TRC	2.00	2.14	8.00°
C37	TRC	2.00	2.14	8.00°
C38	TRC	2.00	2.14	8.00°
C39	TRC	2.00	2.14	8.00°
C40	TRC	2.00	2.14	8.00°
C41	TRC	2.00	2.14	8.00°
C42	TRC	2.00	2.14	8.00°
C43	TRC	2.00	2.14	8.00°
C44	TRC	2.00	2.14	8.00°
C45	TRC	2.00	2.14	8.00°
C46	TRC	2.00	2.14	8.00°
C47	TRC	2.00	2.14	8.00°
C48	TRC	2.00	2.14	8.00°
C49	TRC	2.00	2.14	8.00°
C50	TRC	2.00	2.14	8.00°

BENCHMARK

IRVY AND PLATE IN TOP OF CURVE # 100 CORNER OF WASHINGTON AND JONES 11.00 2000

ELEVATION=2285.83 NAD83

BASIS OF BEARING

THE NORTH QUARTER CORNER BEING THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 10, TOWNSHIP 13 SOUTH, RANGE 50 EAST, MERIDIAN, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, ALSO BEING THE CENTERLINE OF JONES BOULEVARD AS SHOWN BY A MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN FILE 15 OF SURVEY 2000-20.

Call before you dig.

800-4-A-DIG

CLV-0808

TRAFFIC KEYNOTES

- A CONNECT TO R EXISTING EX 3" PVC STRIP, FULL WIDE
- B PAINT ASPHALT W/WHITE PAINT SPACING AS SHOWN ON PLAN IN ACCORDANCE W/
- C PROVIDE & INSTALL 6" PVC CONDUIT W/2" (A) & (1) IN THIS WIDE
- D INSTALL 30"x30" (N-1) STOP SIGN, POST MOUNTED
- E INSTALL 12" x 12" (N-1) "YIELD TO PAVEMENT" SIGN WITH AN ADDITIONAL "YIELD TO PAVEMENT" PLATE MOUNTED BELOW THE SIGN, IN ACCORDANCE WITH DETAIL
- F PAINT ASPHALT WITH WHITE ON BLUE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN ACCORDANCE WITH DETAIL
- G PAINT CURVE BLUE WITH INDUSTRIAL GRADE CHALK
- H IN FRONT OF ALL HANDICAP ACCESSIBLE SPACES
- I INSTALL COLD POLYMER FILM THROUGH LANE-USE ARROW WHERE INDICATED IN ACCORDANCE WITH
- J INSTALL AS INDICATED 1" WIDE WHITE PAINT STRIPS AS 2'-10" O.C.
- K INSTALL 30"x30" (N-2) "YIELD TO PAVEMENT" SIGN, POST MOUNTED
- L INSTALL 36"x12" (N-1) "ONE WAY" SIGN, POST MOUNTED
- M STUB AND CAP 2" STREETLIGHT CONDUIT 5' PAST PL
- N INSTALL 18"x24" (N-1) CHERRYWOOD SIGN, POST MOUNTED
- O INSTALL 6" SOLID WHITE EDGE LINE

HATCH LEGEND

- ASPHALTIC CONCRETE PAVEMENT, SEE DETAIL
- ASPHALTIC CONCRETE PAVEMENT, SEE DETAIL
- CONCRETE PAVEMENT, SIDEWALK, OR CUTTER
- SIGHT VISIBILITY RESTRICTION ZONE

SUP-18032

12/21/06 PC

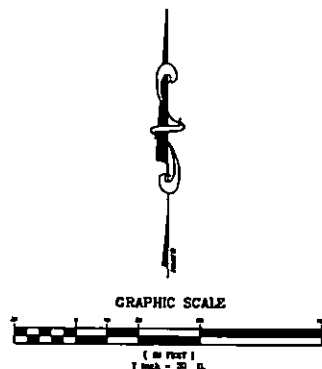
NOV 07 2006

VIOLET SAHAKYAN
SAHAKYAN & ASSOCIATES
1430 W. LAS VEGAS BLVD. SUITE 200
CLV-0808

KIDS-R-KIDS
CITY OF LAS VEGAS, NEVADA

CS.01
CLV-0808

**SITE EXHIBIT
FOR
KIDS 'R KIDS LEARNING CENTER**
A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 36, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT Diablo MERIDIAN,
CLARK COUNTY, NEVADA.



ZONING DATA:
CURRENT ZONING: R-E
FRONT SET BACK: 50' FEET
SIDE SET BACK: 10' FEET
REAR SET BACK: 35' FEET
MIN. CORNER SIDE SET BACK: 15' FEET
MIN. LOT WIDTH: 100' FEET
MIN. LOT SIZE: 20,000 SQ. FT.
MIN. LOT WIDTH: 100' FEET
DWELLINGS PER LOT: 1
BUILDING HEIGHT: 2 STORES OR 35' FEET
WHICHEVER IS LESS

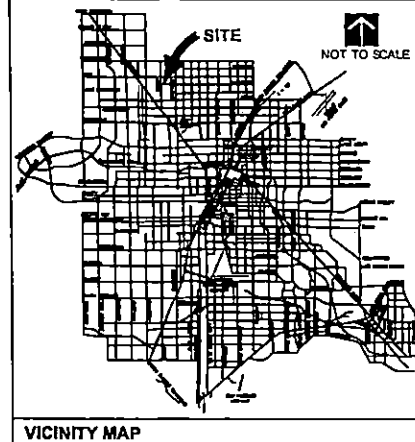
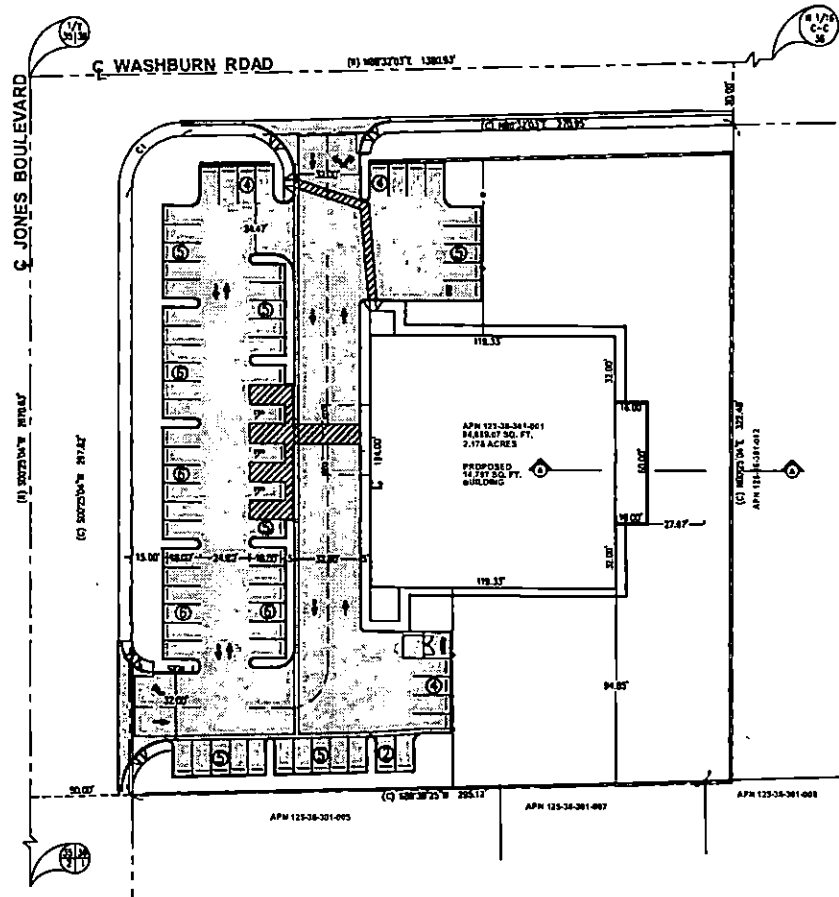
SITE DATA:
APN 125-36-301-001
94,880'± SQ. FT.
2.188 ACRES

PARKING DATA:
84 SPACES (8' x 18')
1 BUS SPACE (12' x 18')
3 HANDICAP (8.5' x 18')
88 TOTAL PARKING SPACES

CURVE TABLE:

CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	38.46	25.00	105.00'	24.30

- LEGEND**
- LOT BOUNDARY LINE
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - PROPOSED 6' HIGH BLOCK WALL
 - PROPOSED 4' HIGH CYCLONE FENCE
 - (C) = CALCULATED BEARING AND DISTANCE
 - (R) = RECORD BEARING AND DISTANCE
 - ⊙ = NUMBER OF PARKING SPACES
 - HC = HANDICAPED PARKING STALL
 - R.O.S. = RECORD OF SURVEY
 - A.P.N. = ASSESSOR'S PARCEL NUMBER

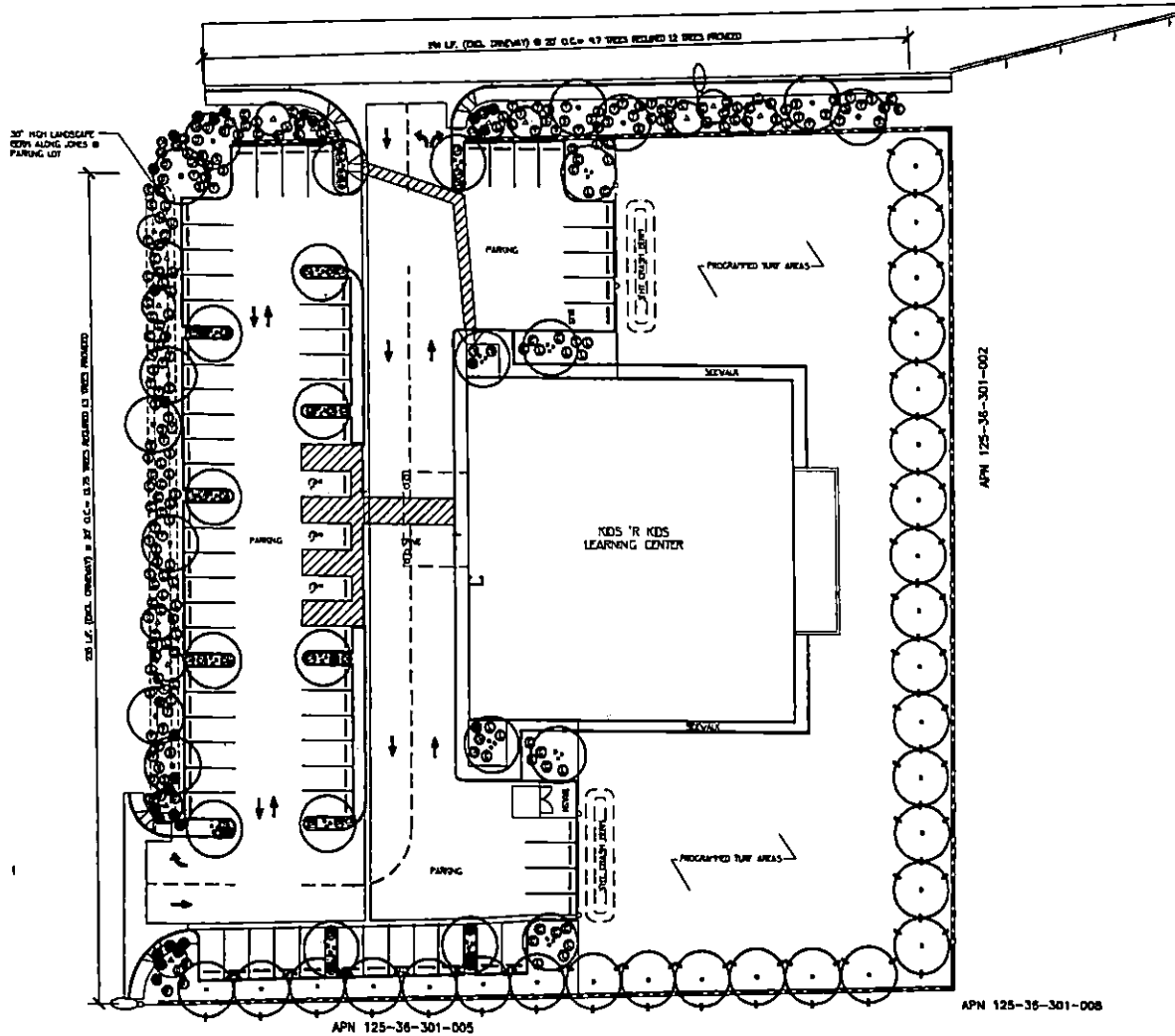


RECEIVED
NOV 16 2006

**SUP-18032
REVISED
12/21/06 PC**

**SITE EXHIBIT
FOR
KIDS 'R KIDS LEARNING CENTER**
A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 36, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT Diablo MERIDIAN,
CLARK COUNTY, NEVADA.

POGGE MEYER DESIGN GROUP REGISTERED LAND SURVEYORS, PLANNERS & LANDSCAPE ARCHITECTS 1000 NORTH TEXAS WAY LAS VEGAS, NEVADA 89101 (702) 886-7800	JOB NUMBER 050044 CHECKED BY U.C.L. JR. CAD DRAWING SEE TAB DRAWING DATE 01-29-05 DRAWN BY C. JOHNSON
--	--



PLANT SCHEDULE					
TREES					
NO.	QTY	SYMBOL	COMMON NAME	HEIGHT	PLANT SPEC.
1	1	(Symbol)	MONROVIA	12' HGT.	MONROVIA
2	1	(Symbol)	YUCCA	12' HGT.	YUCCA
3	1	(Symbol)	YUCCA	12' HGT.	YUCCA
4	1	(Symbol)	YUCCA	12' HGT.	YUCCA
5	1	(Symbol)	YUCCA	12' HGT.	YUCCA
6	1	(Symbol)	YUCCA	12' HGT.	YUCCA
7	1	(Symbol)	YUCCA	12' HGT.	YUCCA
8	1	(Symbol)	YUCCA	12' HGT.	YUCCA
9	1	(Symbol)	YUCCA	12' HGT.	YUCCA
10	1	(Symbol)	YUCCA	12' HGT.	YUCCA
SHRUBS					
NO.	QTY	SYMBOL	COMMON NAME	HEIGHT	PLANT SPEC.
11	1	(Symbol)	YUCCA	12' HGT.	YUCCA
12	1	(Symbol)	YUCCA	12' HGT.	YUCCA
13	1	(Symbol)	YUCCA	12' HGT.	YUCCA
14	1	(Symbol)	YUCCA	12' HGT.	YUCCA
15	1	(Symbol)	YUCCA	12' HGT.	YUCCA
16	1	(Symbol)	YUCCA	12' HGT.	YUCCA
17	1	(Symbol)	YUCCA	12' HGT.	YUCCA
18	1	(Symbol)	YUCCA	12' HGT.	YUCCA
19	1	(Symbol)	YUCCA	12' HGT.	YUCCA
20	1	(Symbol)	YUCCA	12' HGT.	YUCCA
NOTES					
1. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 2. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 3. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 4. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 5. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 6. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 7. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 8. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 9. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT. 10. ALL NEW LANDSCAPE SHALL BE PLANTED WITHIN 14 DAYS OF THE DATE OF THE PERMIT.					

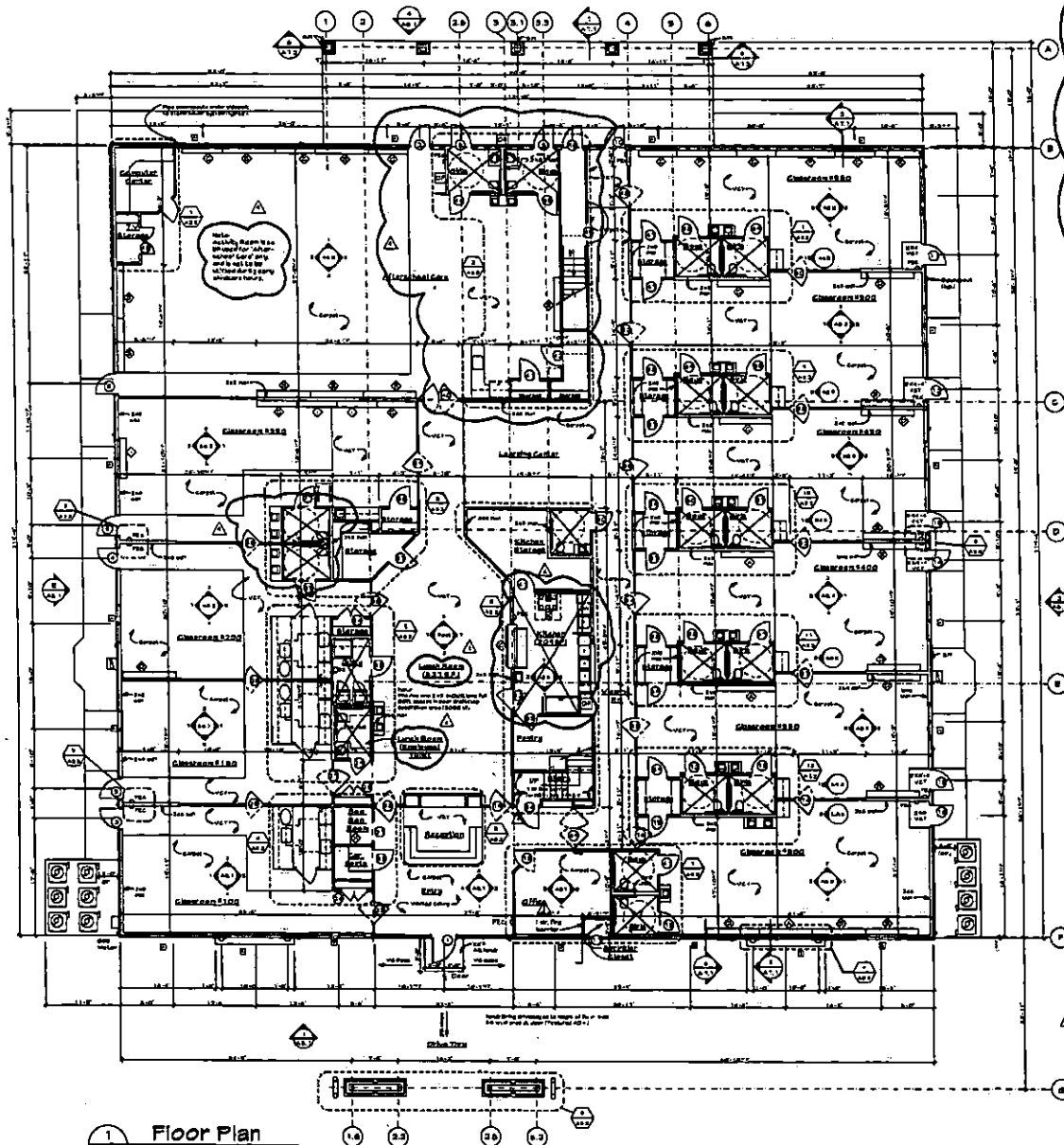
poggemeyer
design group, inc.
landscape architecture
1000 South Main Street, Suite 100
Las Vegas, NV 89101
702.735.1111
www.poggemeyer.com

LANDSCAPE PLAN
**KIDS 'R' KIDS
LEARNING CENTER
LAS VEGAS, NEVADA**

NO. 00004-0
DESIGNED BY WND
CHECKED BY WND
DATE 12/22/06
SCALE 1/8"=1'-0"

SUP-18032
12/21/06 PC

NOV 07 2006



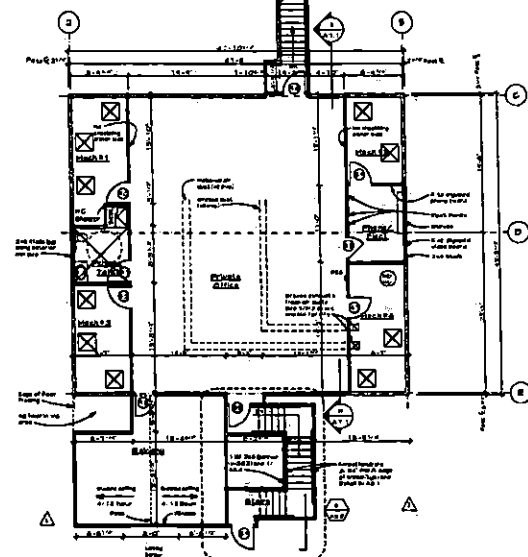
1 Floor Plan
1/8" = 1'-0"

HALL/PARTITION TYPES

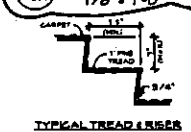
- NOTE: ALL SYSTEM HALLWAYS SHALL BE SCHEDULED TO A FLOOR FINISH.
- 1" = 2" A HALL STUDY AT 1" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 2" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON EACH SIDE, EXTEND HALL TO INSIDE SIDE OF STRUCTURE EXCEPT WHERE NOTED.
 - 3" = 4" A HALL STUDY AT 1/2" ON CENTER WITH 1/2" FLYMOOD ON INSIDE AND 1/2" STYROFOAM HALLBOARD ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 4" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 5" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 6" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 7" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 8" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 9" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 10" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 11" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.
 - 12" = 4" A HALL STUDY AT 1/2" ON CENTER WITH ONE LAYER OF 1/2" STYROFOAM HALLBOARD ON INSIDE FACE, 1/2" FLYMOOD ON INSIDE AND 1" STYROFOAM ON OUTSIDE WITH STYROFOAM VENEER PROVIDED 1/2" BATT INSULATION IN HALL.

Window Schedule

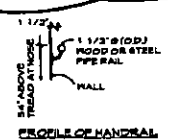
- 1. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 2. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 3. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 4. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 5. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 6. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 7. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 8. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 9. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 10. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 11. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.
- 12. 2'-0" x 4'-0" or 4'-0" x 6'-0" or 6'-0" x 8'-0" (standard color) aluminum single hung window with 6-20-10 divided light, 1/2" air space, double pane, 1" clear glass, clear insulated unit.



2 Mezzanine Plan
1/8" = 1'-0"



3 Stair Details
1" = 1'-0"



4 Profile of Handrail

No construction alterations may be made, varying from the design in these drawings, without prior written authorization from both the architect, Howard S. Baker & Associates, and the owner, Kids 'R' Kids Quality Learning Center.

Revisions	
1	Complete
2	Complete
3	Complete
4	Complete
5	Complete
6	Complete
7	Complete
8	Complete
9	Complete
10	Complete
11	Complete
12	Complete



Howard S. Baker & Associates
200 North Tower Way, Suite 100
Las Vegas, Nevada 89101
Tel: 702/735-1111
Fax: 702/735-1112
Email: hsb@hsbakercorp.com
Website: www.hsbakercorp.com
Kids 'R' Kids Quality Learning Center
Washington Road and Jones Boulevard • Las Vegas, Nevada

PROJECT TITLE	Floor Plan
PROJECT NUMBER	91004.07
DATE	04/21/05
SHEET NUMBER	A3.1

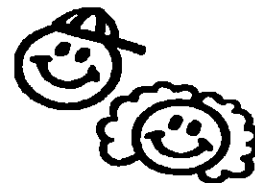
SUP-18032
12/21/06 PC

NOV 07 2006



SUP-18032 - APPLICANT/OWNER: VIOLET SAHAKYAN
5150 NORTH JONES BOULEVARD
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



5150 N. Jones Blvd. Las Vegas, NV 89130

(702) 243-1800 Fax: (702) 243-2018

www.kidsrkidsnorthlv.com

November 17, 2006

RE: Special Use Permit – Justification letter for Kids R Kids Learning Center to be located at the southeast corner of Jones Blvd. and Washburn Road (Parcel # 125-36-301-001)

Dear Sir/ Madam:

The purpose of this letter is to provide justification for the development of a child care center for the above property for the following reasons;

- The proposed use would provide a desirable service for the neighborhood and surrounding areas by making available day care services for working parents with young children;
- The project would provide a learning center for young children to better prepare them for entrance into the elementary school system; and
- It would provide an attractive, aesthetically pleasing new structure that would compliment the neighborhood
- The expected capacity is less than originally anticipated 38 teachers and 300 children. In the future if parking will become a problem I understand that more parking will be provided.

Your favorable consideration is appreciated for this needed facility. If there are any questions, I can be contacted at (702) 869-4205.

Sincerely,

A handwritten signature in cursive script that reads "V. Sahakyan".

Violet Sahakyan
Kids R Kids
Owner

**SUP-18032
REVISED
12/21/06 PC**

RECEIVED
NOV 20 2006

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17979 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Site Development Plan Review FOR A PROPOSED 45,650 SQUARE-FOOT LIBRARY on a portion of 37.5 acres at 6601 North Buffalo Drive (APN 125-21-701-011), C-V (Civic) Zone [PF-TC (Public Facilities) Town Center Land Use Designation], Ward 6 (Ross).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the January 25, 2007 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report (Not Applicable)
3. Supporting Documentation (Not Applicable)
4. Justification Letter
5. Telephone Protest

MOTION:

EVANS – Motion to **HOLD IN ABEYANCE** Item 21 [SUP-17737], Item 22 [SDR-17735], Item 25 [VAR-17732], Item 26 [SDR-17730] and Item 49 [TXT-18023] to the 01/11/2007 Planning Commission Meeting; Item 3 [SDR-15322], Item 10 [SDR-17979], Item 30 [ZON-17248], Item 31 [SDR-17249], Item 32 [ZON-17250], Item 33 [VAR-17253] and Item 34 [SDR-17254] to the 01/25/2007 Planning Commission Meeting; Item 41 [RQR-17661], Item 42 [RQR-17763] and Item 43 [RQR-17764] to the 03/22/2007 Planning Commission Meeting; and **WITHDRAW WITHOUT PREJUDICE** Item 23 [SUP-17534] – **UNANIMOUS** with **EVANS** and **TRUESDELL** excused

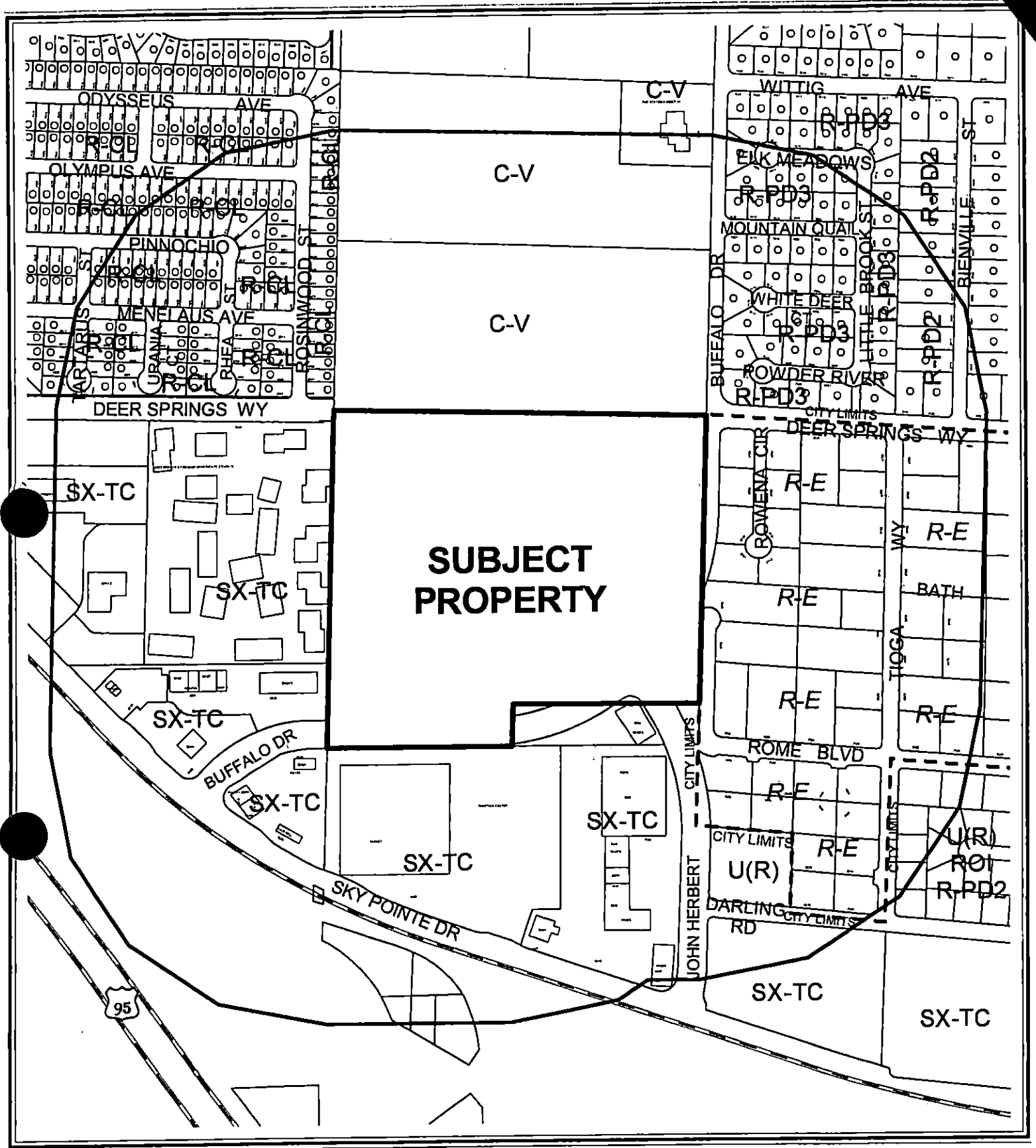
PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 10 – SDR-17979

MINUTES:

DOUG RANKIN, Planning and Development, stated that Item 3 [SDR-15322] and Item 10 [SDR-17979] were requested to be held in abeyance to the 01/25/2007 Planning Commission meeting.

(6:03 – 6:09)

1-50



CASE: **SDR-17979**

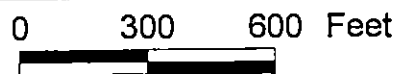
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

C-V (CIVIC)

0 300 600 Feet





C-V (CIVIC)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SDR-17979 - APPLICANT/OWNER: CITY OF LAS VEGAS

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE JANUARY 25, 2007
PLANNING COMMISSION MEETING***



elevated architecture

December 7, 2006

City of Las Vegas
Development Services Center
731 S. 4th Street
Las Vegas, NV 89101

Attn: Planning Staff

Re: Centennial Hills Library
JMA No. 2006140
Held Item
Application Number: #SDR-17979

Apn: 125-21-701-011

Dear Sir or Madam:

We respectfully request application #SDR-17979 be held in abeyance until Thursday, January 25, 2007 Planning Commission meeting, (Wednesday, February 21, 2007 City Council meeting), to allow the development team the opportunity to continue on revisions for the project.

If you should have any questions regarding this request, please do not hesitate to call our office.
Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Cherie L. Guzman'.

Cherie L. Guzman
Senior Designer/Entitlements Coordinator



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17979** APN: 125-21-701-001
Name of Property Owner: _____ of Las Vegas
Name of Applicant: JMA Architecture

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

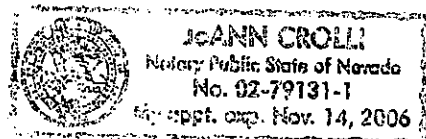
Signature of Property Owner: *Robin Yeakum*

Print Name: Robin Yeakum

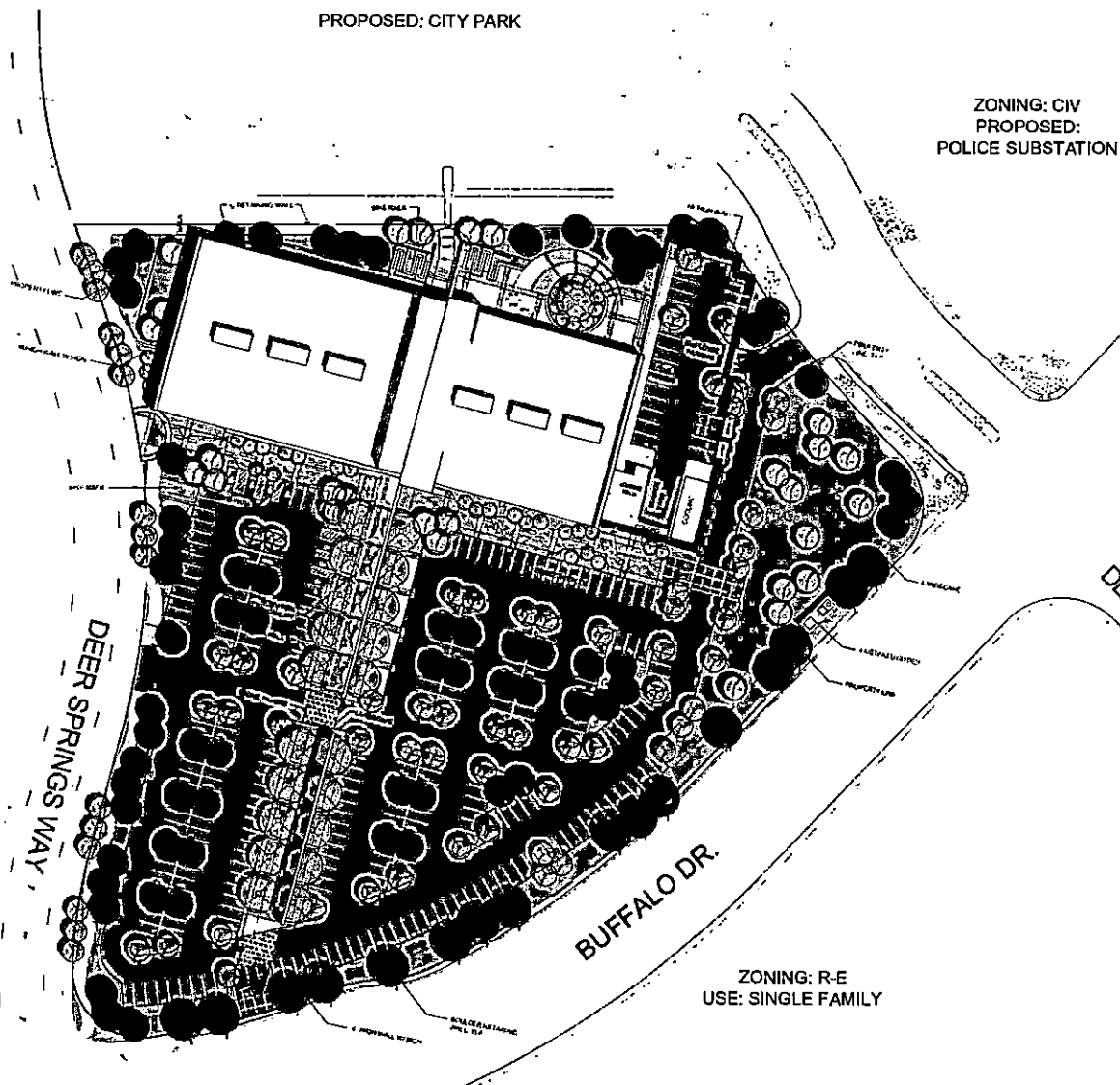
Subscribed and sworn before me

This 16 day of October, 2006

JoAnn Croll
Notary Public in and for said County and State
Clark Nevada.



ZONING: CIV
PROPOSED:
POLICE SUBSTATION



SYMBOL	OFFICIAL NAME	COMMON NAME	CHY	SWN	REMARKS
	THIRU				
	THIRU - 1 (THIRU)	THIRU - 1 (THIRU)	1	1	THIRU - 1 (THIRU)
	THIRU - 2 (THIRU)	THIRU - 2 (THIRU)	2	2	THIRU - 2 (THIRU)
	THIRU - 3 (THIRU)	THIRU - 3 (THIRU)	3	3	THIRU - 3 (THIRU)
	THIRU - 4 (THIRU)	THIRU - 4 (THIRU)	4	4	THIRU - 4 (THIRU)
	THIRU - 5 (THIRU)	THIRU - 5 (THIRU)	5	5	THIRU - 5 (THIRU)
	THIRU - 6 (THIRU)	THIRU - 6 (THIRU)	6	6	THIRU - 6 (THIRU)
	THIRU - 7 (THIRU)	THIRU - 7 (THIRU)	7	7	THIRU - 7 (THIRU)
	THIRU - 8 (THIRU)	THIRU - 8 (THIRU)	8	8	THIRU - 8 (THIRU)
	THIRU - 9 (THIRU)	THIRU - 9 (THIRU)	9	9	THIRU - 9 (THIRU)
	THIRU - 10 (THIRU)	THIRU - 10 (THIRU)	10	10	THIRU - 10 (THIRU)
	THIRU - 11 (THIRU)	THIRU - 11 (THIRU)	11	11	THIRU - 11 (THIRU)
	THIRU - 12 (THIRU)	THIRU - 12 (THIRU)	12	12	THIRU - 12 (THIRU)
	THIRU - 13 (THIRU)	THIRU - 13 (THIRU)	13	13	THIRU - 13 (THIRU)
	THIRU - 14 (THIRU)	THIRU - 14 (THIRU)	14	14	THIRU - 14 (THIRU)
	THIRU - 15 (THIRU)	THIRU - 15 (THIRU)	15	15	THIRU - 15 (THIRU)
	THIRU - 16 (THIRU)	THIRU - 16 (THIRU)	16	16	THIRU - 16 (THIRU)
	THIRU - 17 (THIRU)	THIRU - 17 (THIRU)	17	17	THIRU - 17 (THIRU)
	THIRU - 18 (THIRU)	THIRU - 18 (THIRU)	18	18	THIRU - 18 (THIRU)
	THIRU - 19 (THIRU)	THIRU - 19 (THIRU)	19	19	THIRU - 19 (THIRU)
	THIRU - 20 (THIRU)	THIRU - 20 (THIRU)	20	20	THIRU - 20 (THIRU)
	THIRU - 21 (THIRU)	THIRU - 21 (THIRU)	21	21	THIRU - 21 (THIRU)
	THIRU - 22 (THIRU)	THIRU - 22 (THIRU)	22	22	THIRU - 22 (THIRU)
	THIRU - 23 (THIRU)	THIRU - 23 (THIRU)	23	23	THIRU - 23 (THIRU)
	THIRU - 24 (THIRU)	THIRU - 24 (THIRU)	24	24	THIRU - 24 (THIRU)
	THIRU - 25 (THIRU)	THIRU - 25 (THIRU)	25	25	THIRU - 25 (THIRU)
	THIRU - 26 (THIRU)	THIRU - 26 (THIRU)	26	26	THIRU - 26 (THIRU)
	THIRU - 27 (THIRU)	THIRU - 27 (THIRU)	27	27	THIRU - 27 (THIRU)
	THIRU - 28 (THIRU)	THIRU - 28 (THIRU)	28	28	THIRU - 28 (THIRU)
	THIRU - 29 (THIRU)	THIRU - 29 (THIRU)	29	29	THIRU - 29 (THIRU)
	THIRU - 30 (THIRU)	THIRU - 30 (THIRU)	30	30	THIRU - 30 (THIRU)
	THIRU - 31 (THIRU)	THIRU - 31 (THIRU)	31	31	THIRU - 31 (THIRU)
	THIRU - 32 (THIRU)	THIRU - 32 (THIRU)	32	32	THIRU - 32 (THIRU)
	THIRU - 33 (THIRU)	THIRU - 33 (THIRU)	33	33	THIRU - 33 (THIRU)
	THIRU - 34 (THIRU)	THIRU - 34 (THIRU)	34	34	THIRU - 34 (THIRU)
	THIRU - 35 (THIRU)	THIRU - 35 (THIRU)	35	35	THIRU - 35 (THIRU)
	THIRU - 36 (THIRU)	THIRU - 36 (THIRU)	36	36	THIRU - 36 (THIRU)
	THIRU - 37 (THIRU)	THIRU - 37 (THIRU)	37	37	THIRU - 37 (THIRU)
	THIRU - 38 (THIRU)	THIRU - 38 (THIRU)	38	38	THIRU - 38 (THIRU)
	THIRU - 39 (THIRU)	THIRU - 39 (THIRU)	39	39	THIRU - 39 (THIRU)
	THIRU - 40 (THIRU)	THIRU - 40 (THIRU)	40	40	THIRU - 40 (THIRU)
	THIRU - 41 (THIRU)	THIRU - 41 (THIRU)	41	41	THIRU - 41 (THIRU)
	THIRU - 42 (THIRU)	THIRU - 42 (THIRU)	42	42	THIRU - 42 (THIRU)
	THIRU - 43 (THIRU)	THIRU - 43 (THIRU)	43	43	THIRU - 43 (THIRU)
	THIRU - 44 (THIRU)	THIRU - 44 (THIRU)	44	44	THIRU - 44 (THIRU)
	THIRU - 45 (THIRU)	THIRU - 45 (THIRU)	45	45	THIRU - 45 (THIRU)
	THIRU - 46 (THIRU)	THIRU -			

GENERAL NOTES

1. $\frac{1}{x^2} = x^{-2}$ $\frac{d}{dx} x^{-2} = -2x^{-3} = -\frac{2}{x^3}$

2. $\frac{1}{x^3} = x^{-3}$ $\frac{d}{dx} x^{-3} = -3x^{-4} = -\frac{3}{x^4}$

3. $\frac{1}{x^4} = x^{-4}$ $\frac{d}{dx} x^{-4} = -4x^{-5} = -\frac{4}{x^5}$

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jma

Design
10150 Covington Cross Drive
Las Vegas NV 89144
702.731.2003

Gentennial Hills Library
2006140

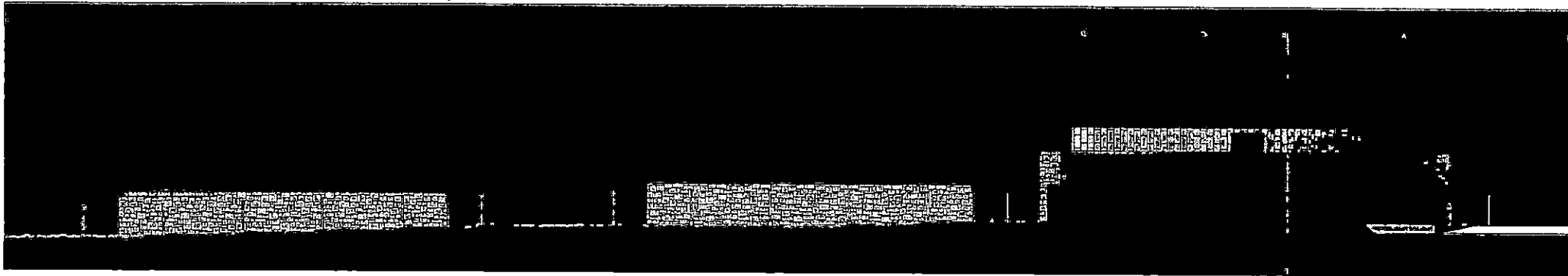
Site Plan/Landscape
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09:06:06

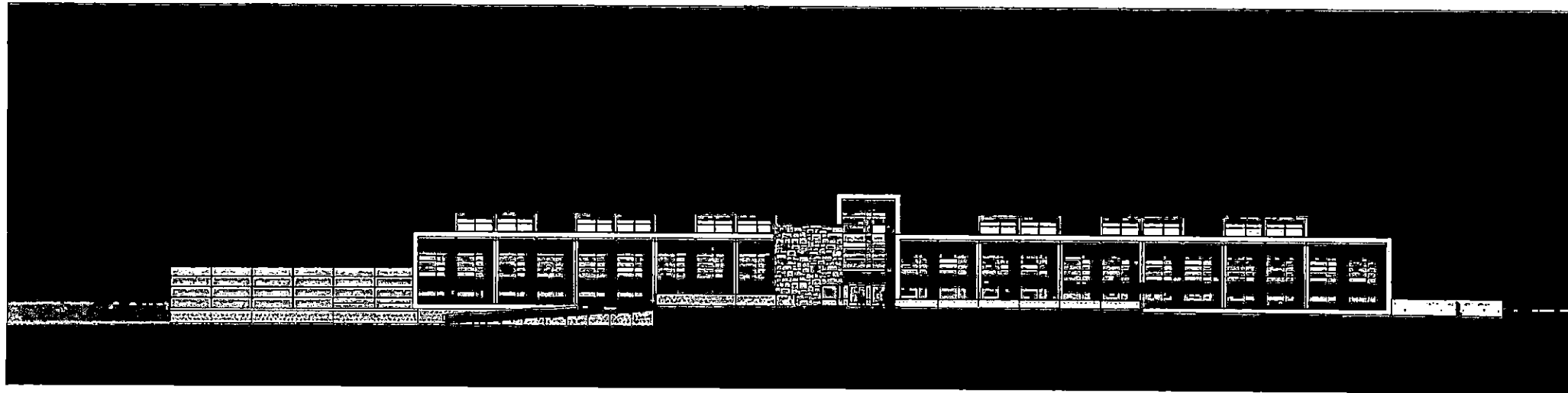
RECEIVED

NOV 3 2006

SDR-17979
12/21/06 PC



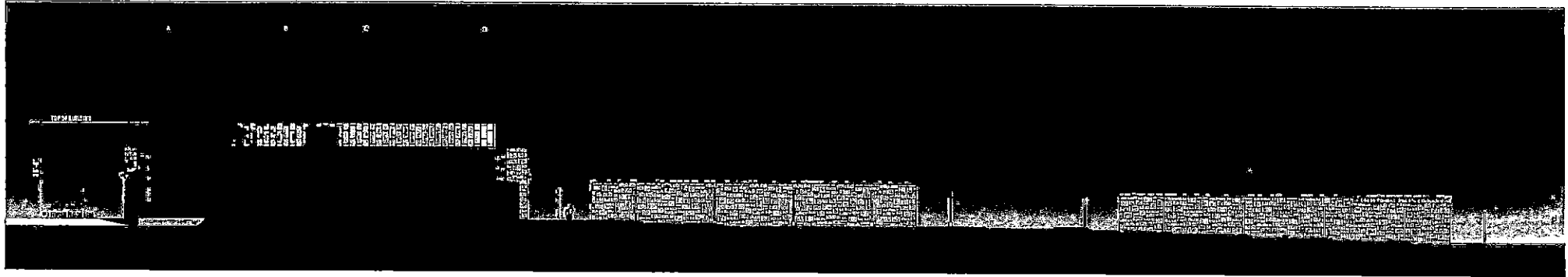
East Elevation



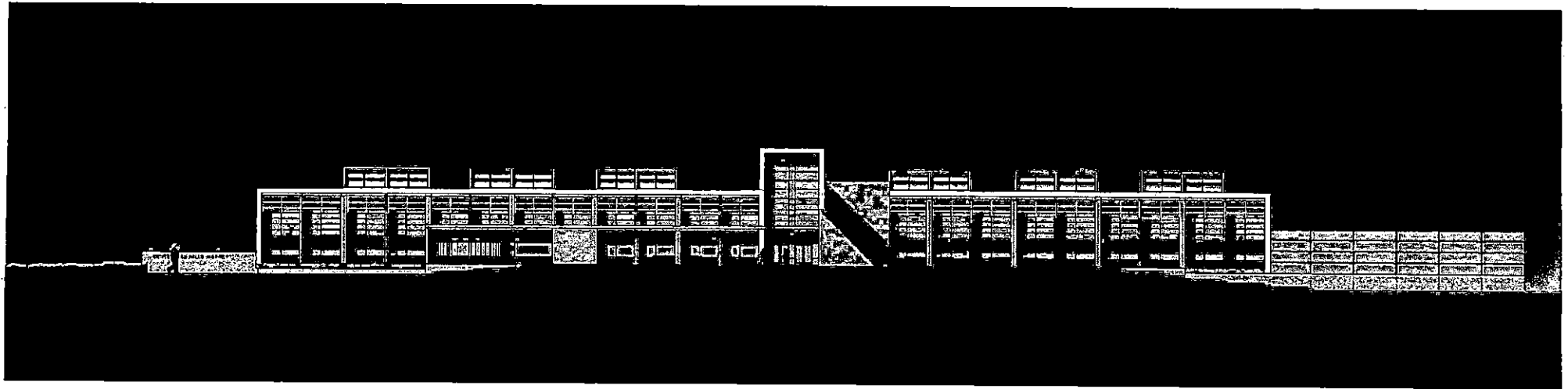
North Elevation

jma	Design 10150 Covington Cross Drive Las Vegas NV 89144 702.731.2003	Centennial Hills Library 2006140	Library Elevation Scale: 1/8" = 1'-0"	RECEIVED 09/06/06 NOV 3 2006 SDR-17979
-----	---	-------------------------------------	--	---

12/21/06 PC



West Elevation



South Elevation

RECEIVED

jma

Design
10130 Covington Cross Drive
Las Vegas NV 89144
702.731.2033

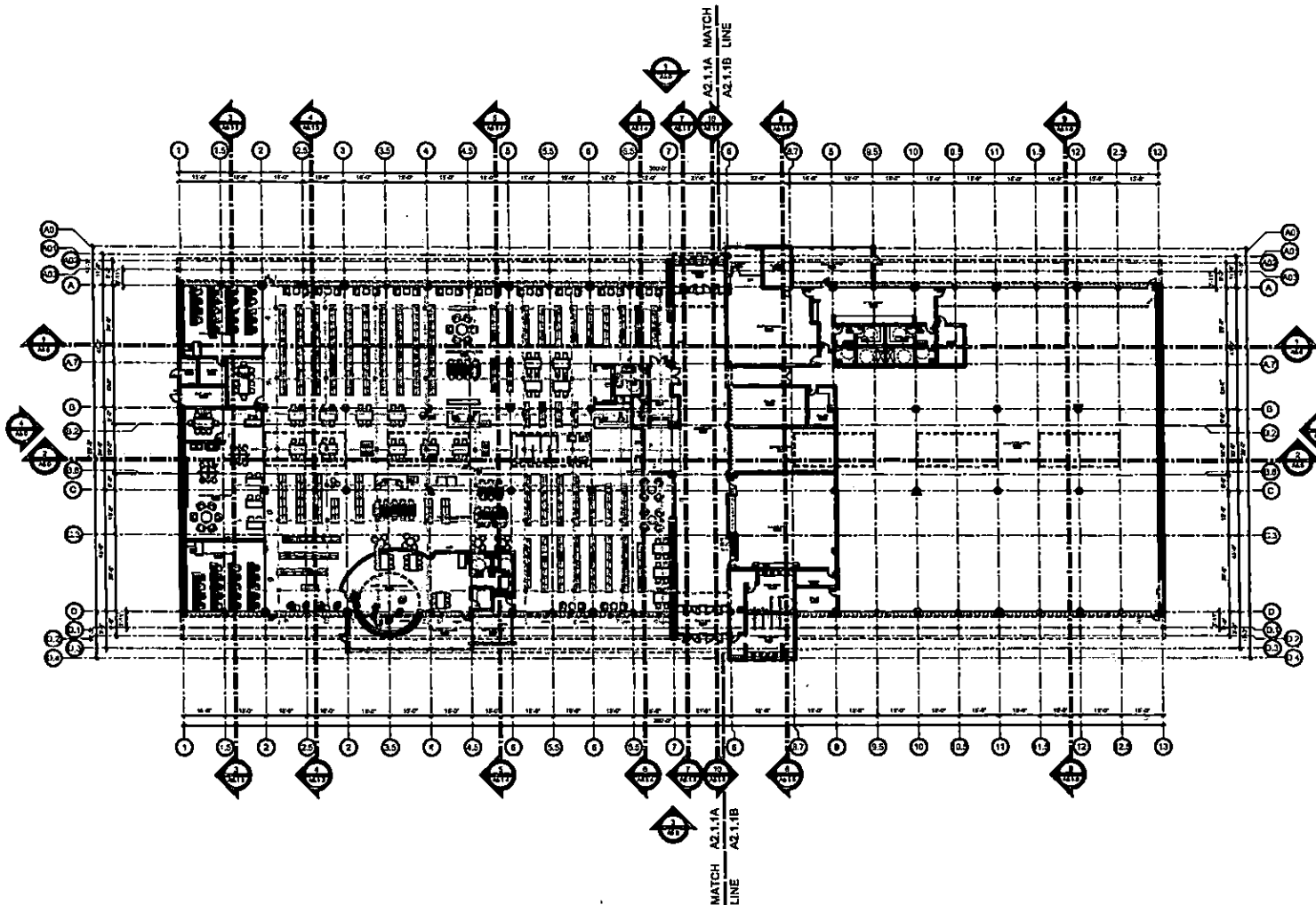
Centennial Hills Library
2006140

Library Elevation
Scale = 1/8" = 1'-0"

09.06.06 NOV 8 2006

SDR-17979

12/21/06 PC



1 OVERALL FLOOR PLAN

1/10/06

SDR-17979

12/21/06 PC

RECEIVED

NOV 3 2006

jma
Corporate
Not Not
Green Valley
R&D Center
San Diego
San Antonio
Superior
R&D Center

CENTENNIAL HILLS LIBRARY
LAS VEGAS, NEVADA

Overall Floor Plan
1/10/06
Copyright 2006 JMA Architects
A2.00

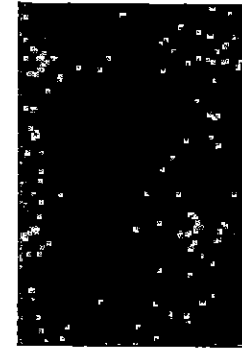
Overall Floor Plan
1/10/06
Copyright 2006 JMA Architects
A2.00

Overall Floor Plan

A2.00

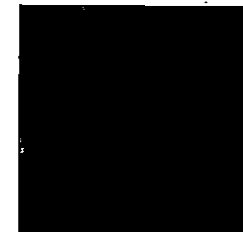
Centennial Hills Library Exterior Building Material Selection

Glazing



GL-1 - PPG Solarbranze
Flat Glass

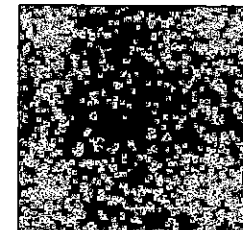
GL-2 - 3-Form Chroma Topaz
Low-E Glazing



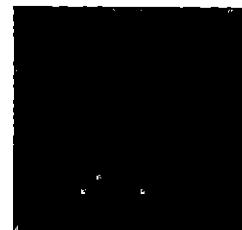
GL-3 - 3-Form Chroma Lime
Low-E Glazing



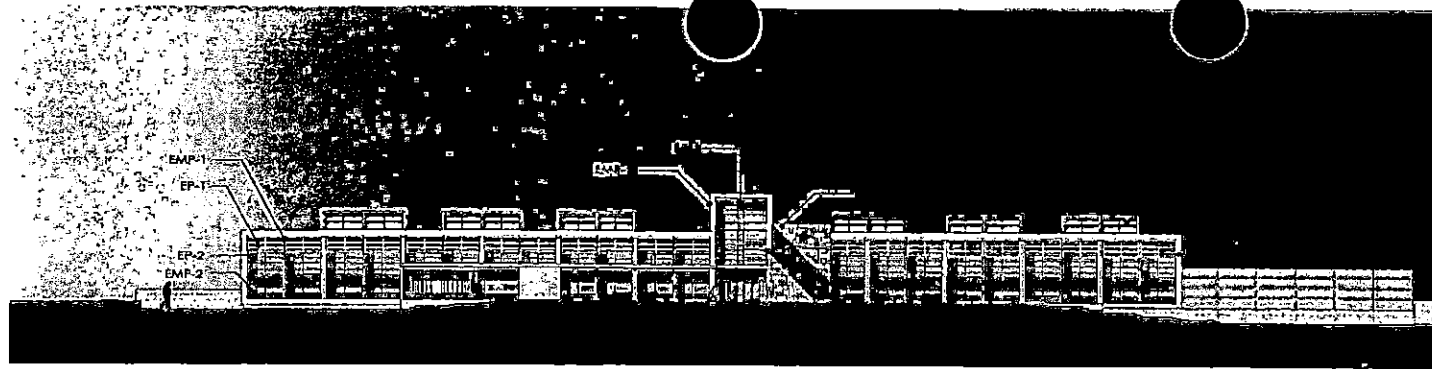
GL-4 - 3-Form Chroma Wheat
Low-E Glazing



GL-5 - 3-Form Chroma Mango
Low-E Glazing



GL-6 - 3-Form Chroma Renew
Renewable Matte

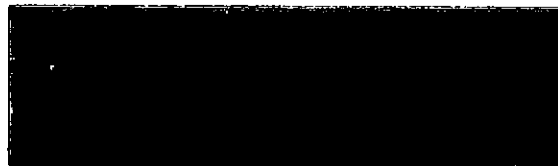


Paint

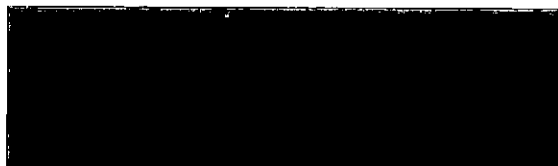
Wall Finish



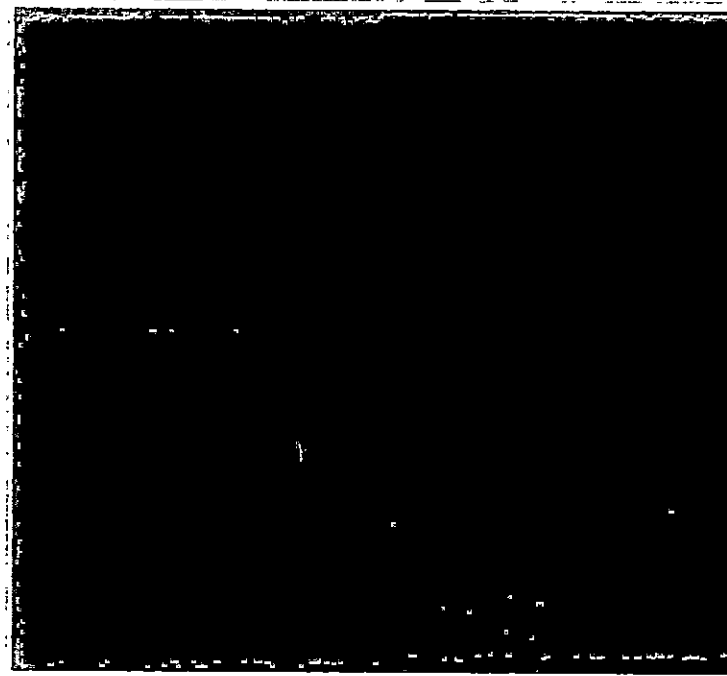
EP-1 - FRAZEE PAINT
CW002W RAIN SHIMMER



EP-2 - FRAZEE PAINT
8675D Wooden Oak



EP-3 - FRAZEE PAINT
8676N Turned Earth



S-1 - 3DRTHSTONE
MONACO

jma

Design
10150 Cowington Cross Drive
Las Vegas NV 89144
702.731.2033

Centennial Hills Library
2006140

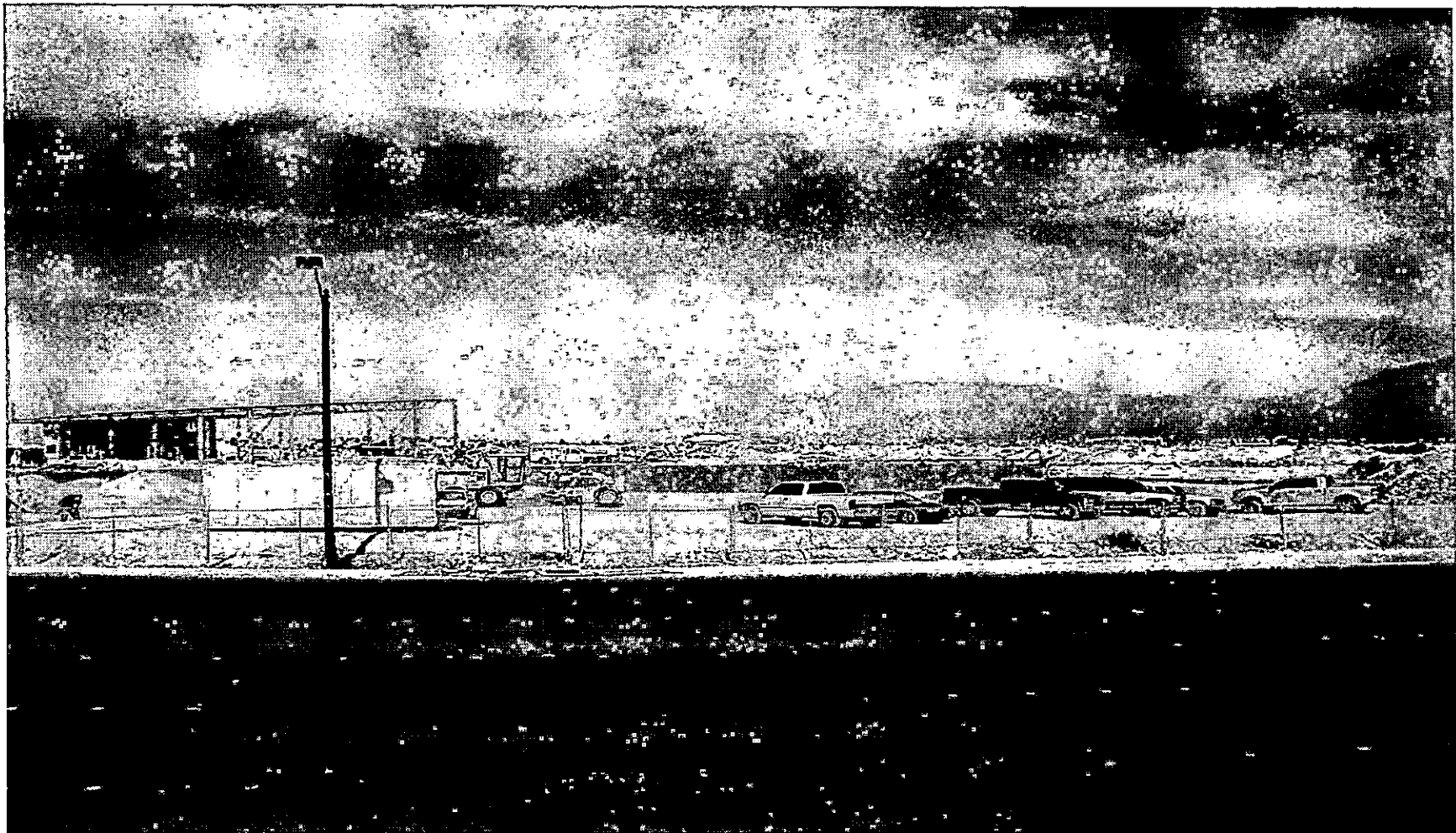
Material Board

09.06.06

RECEIVED

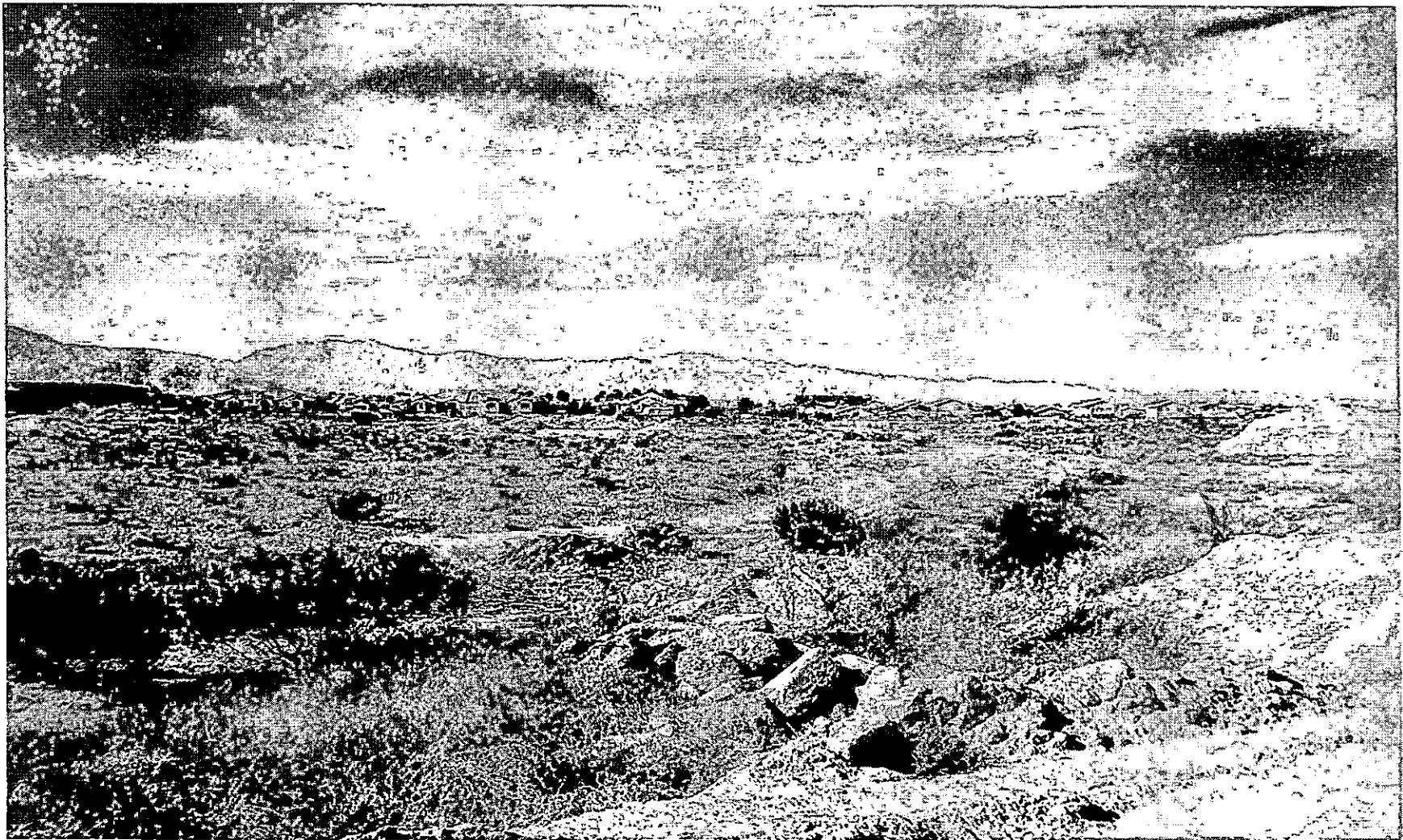
SDR-17979 NOV 3 2006
12/21/06 PC

SDR 17979				
City of Las Vegas				
NWC Deer Springs & Buffalo				
Proposed 45.65 thousand square foot library.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	LIBRARY [1000SF]	45.65	54.00	2,465
AM Peak Hour			1.06	48
PM Peak Hour			7.09	324
(heaviest 60 minutes)				
Existing traffic on all nearby streets: Deer Springs not yet constructed in this vicinity				
Buffalo Drive				
Average Daily Traffic (ADT)	10,045			
PM Peak Hour	804			
(heaviest 60 minutes)				
Elkhorn Road				
Average Daily Traffic (ADT)	2,611			
PM Peak Hour	209			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Buffalo Drive	51700			
Elkhorn Road	51700			
This project will add approximately 2,465 trips per day on Deer Springs, Buffalo and Elkhorn. This will increase expected volumes by about twenty-five percent on Buffalo and about ninety-four percent on Elkhorn. Buffalo is at about 19 percent of capacity and Elkhorn is at about 5 percent of capacity. Deer Springs has not yet been constructed in this vicinity.				
Based on Peak Hour use, this development will add roughly 324 additional cars into the area; which works out to about five every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



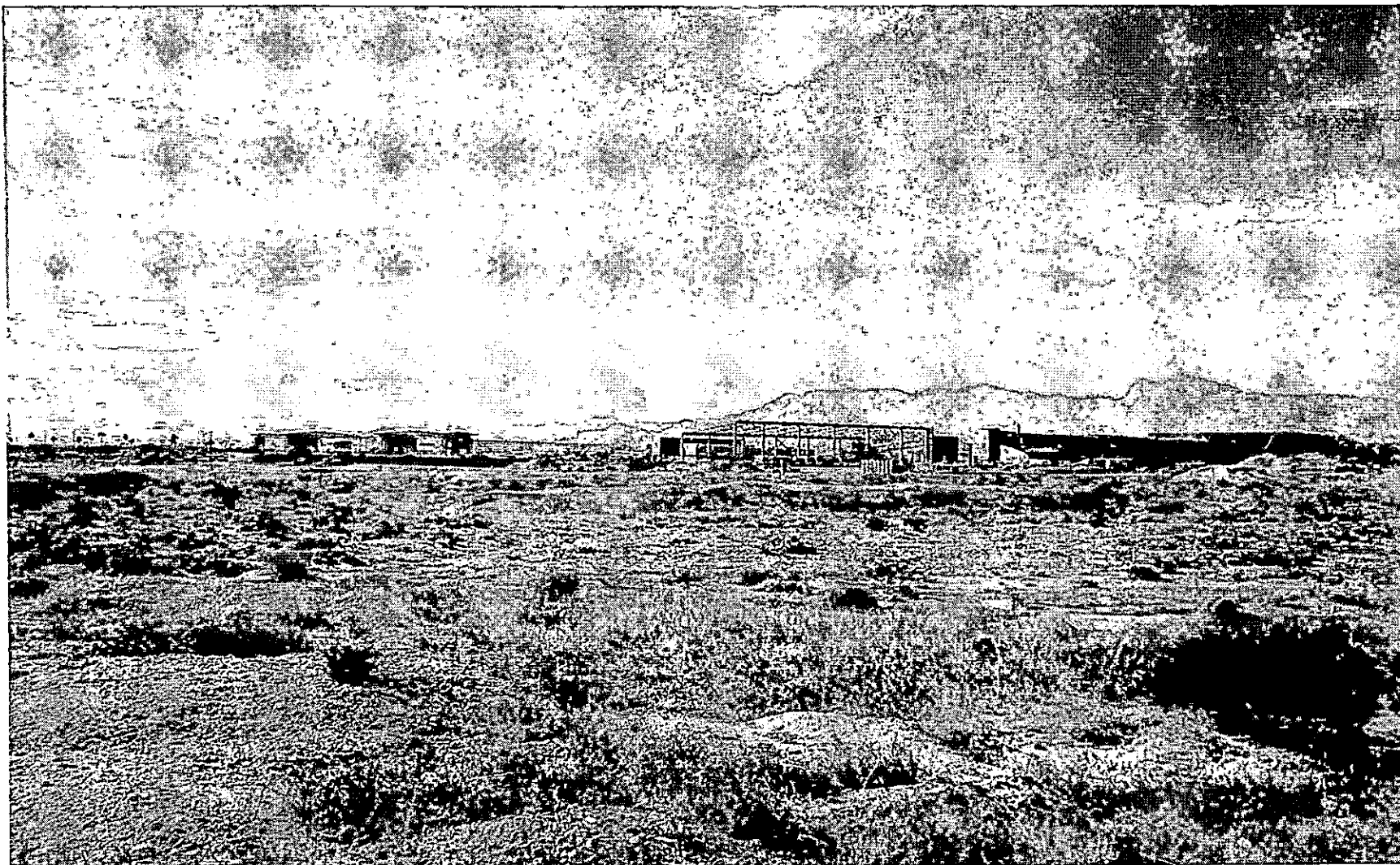
SDR-17979 - APPLICANT/OWNER: CITY OF LAS VEGAS
6601 NORTH BUFFALO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



SDR-17979 - APPLICANT/OWNER: CITY OF LAS VEGAS
6601 NORTH BUFFALO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



SDR-17979 - APPLICANT/OWNER: CITY OF LAS VEGAS
6601 NORTH BUFFALO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06

jma

elevated architecture

November 3, 2006

City of Las Vegas
Current Planning Division
Development Services Center
731 South 4th Street
Las Vegas, NV 89101

Re: Centennial Hills Library
Justification Letter / Project Description
JMA No. #2006140

Apn: A Portion Of #125-21-701-011

Dear Sir or Madam:

We are requesting a Site Development Plan Review for the development of the Centennial Hills Library. The project consists of approximately 46,000 gross square feet. This development will be located on southwest corner of Deer Springs Way and Buffalo Drive. The General Plan designation is Master Planned Town Center and the site is zoned C-V (Civic District).

Contemporary materials are used on the building exterior, which include various colors of smooth finish stucco, stone veneer and glass wall system with high performance low E reflectivity not to exceed 22%.

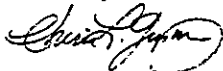
The parking requirement for this project is 108 spaces. The project provides 285 spaces.

This project will be an integral and vital component to the environment of its location.

If you should have any questions regarding this application, please do not hesitate to call our office.

Thank you.

Sincerely,



Cherie L. Guzman
Senior Designer/
Entitlements Coordinator

SDR-17979
12/21/06 PC

Telephone Protest/ Approval Log

Meeting Date: 12/21/06

Case Number: SDR 17979

Date: _____
Name: Clifford & Kirby Betz
Address: 6760 N Tioga Way
Las Vegas NV 89131
Phone: 257-1256
☐ PROTEST ☒ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

Date: _____
Name: _____
Address: _____
Phone: _____
☐ PROTEST ☐ APPROVE

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☐ PROTEST ☐ APPROVE

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-18009 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: DR. NEVILLE POKROY - OWNER: 36 ACRE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 9,000 SQUARE-FOOT MEDICAL OFFICE BUILDING on 0.77 acres adjacent to the south side of Deer Springs Way, approximately 300 feet east of Durango Drive (APN 125-20-710-008), T-C (Town Center) Zone [Mixed-Use Commercial – Montecito Town Center Special Land Use Designation], Ward 6 (Ross).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009] – UNANIMOUS with EVANS and TRUESDELL excused and COMMISSIONER DAVENPORT abstaining on Item 5 [MSP-18047] because he lives within the notice area

This is Final Action

MINUTES:

CHAIRMAN TROWBRIDGE explained that these items will be considered in One Motion/One Vote and are routine public and non-public hearing items that have no protests, waivers from the Code, or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 11 – SDR-18009

MINUTES – Continued:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

There was no discussion.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [MSP-18000], Item 5 [MSP-18047], Item 9 [SUP-18032], and Item 11 [SDR-18009].

(6:10 – 6:12)

1-248

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/06/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Department of Planning and Development must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

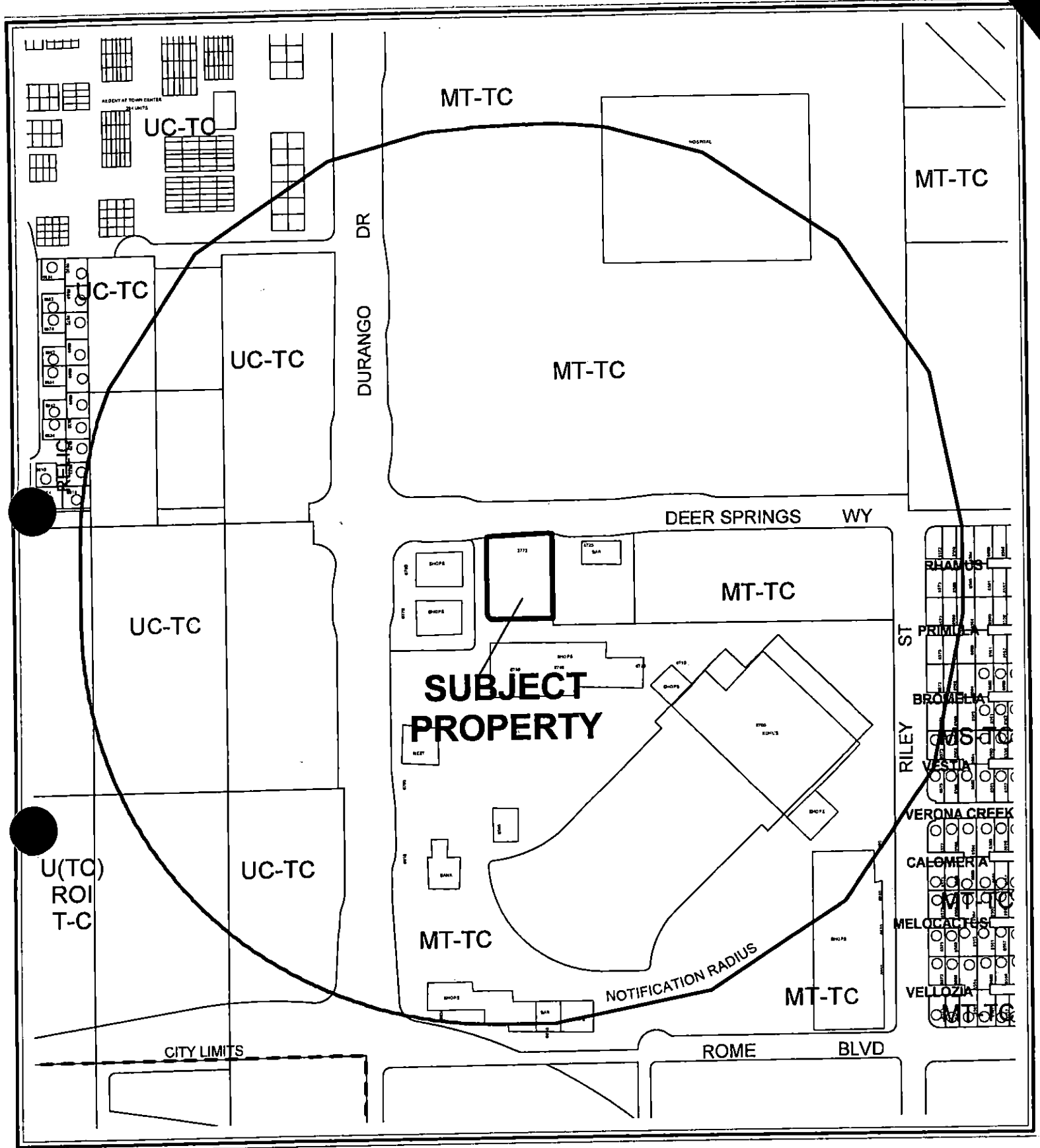
PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 11 – SDR-18009

CONDITIONS – Continued:

5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

11. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
12. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
13. Site development to comply with all applicable conditions of approval for the Montecito Lifestyles Center commercial subdivision and all other site-related actions.



CASE: **SDR-18009**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [MIXED-USE (MONTECITO TOWN CENTER)
LAND USE DESIGNATION]





CASE: **SDR-18009**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [MIXED-USE (MONTECITO TOWN CENTER)
LAND USE DESIGNATION]

0 90 180 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-18009 - APPLICANT: DR. NEVILLE POKROY - OWNER:
36 ACRE, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/06/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

JM

SDR-18009 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

11. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
12. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or the submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
13. Site development to comply with all applicable conditions of approval for the Montecito Lifestyles Center commercial subdivision and all other site-related actions.

SDR-18009 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is requesting a Site Development Plan Review for a proposed 9,506 square-foot medical office building on 0.77 acres adjacent to the south side of Deer Springs Way, approximately 300 feet east of Durango Drive.

The proposed Medical Office fits within the context of the previously approved site plan for the entire Montecito Lifestyles Center project, and is suited to the overall development plan that has evolved within the Montecito Town Center Development Agreement area.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
03/14/96	The City Council approved an annexation (A-0002-96) of land generally located south of Deer Springs Way between El Capitan Way and Durango Drive, including the subject site. The effective date of this annexation was 03/23/96. The Planning Commission recommended approval on 04/25/96.
12/07/98	The City Council approved a request for a rezoning (Z-0076-98) on 1,468 acres located within the area designated Town Center on the Northwest Amendment to the General Plan, including the subject site, from U (Undeveloped), R-E (Residence Estates), R-PD7 (Residential Planned Development - 7 Units Per Acre), R-PD11 (Residential Planned Development - 11 Units Per Acre), R-PD13 (Residential Planned Development - 13 Units Per Acre), R-PD18 (Residential Planned Development - 18 Units Per Acre), R-CL (Single Family Compact-Lot), C-1 (Limited Commercial), C-2 (General Commercial), C-V (Civic), and P-D (Planned Development) to T-C (Town Center).
11/07/01	The City Council approved the Town Center Development Standards Manual, which designated the subject site as UC-TC (Urban Center Mixed-Use - Town Center).
12/19/01	The City Council approved a request for a Site Development Plan Review [Z-0076-98(24)] for a proposed 361,560 square-foot retail commercial center on 38.78 acres adjacent to the southeast corner of El Capitan Way and Deer Springs Way. The Planning Commission recommended approval on 11/01/01.
02/06/02	The City Council approved a request for a Master Sign Plan (MSP-0013-01) for the Montecito Town Center on 38.78 acres on the southwest corner of Riley Street and Deer Springs Way. The Planning Commission recommended approval on 12/20/01.

SDR-18009 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

08/23/02	The Planning and Development Department administratively approved a request for a Site Development Plan Review [Z-0076-98(34)] for a proposed 344,120 square-foot shopping center on 39.50 acres adjacent to the southeast corner of El Capitan Way and Deer Springs Way.
04/02/03	The City Council approved a request for a Special Use Permit (SUP-1525) for a Tavern to allow the development of a 5,600 square-foot Tavern on the pad site immediately to the south of the subject pad site. The Planning Commission recommended approval on 02/27/03.
07/16/03	The City Council approved a Special Use Permit (SUP-2298) for a Supper Club and a Site Development Plan Review (SDR-2297) to allow the development of a 6,702 square-foot restaurant on the pad site immediately to the southwest of the subject pad site, and to allow a waiver of several Town Center standards. The Planning Commission recommended approval.
08/06/03	The City Council approved a Special Use Permit (SUP-2471) and a Site Development Plan Review (SDR-2472) to allow the development of a 5,388 square-foot restaurant on the pad site immediately west of the subject pad site, and to allow a waiver of the Town Center Standards with respect to a number of standards on the subject pad site. The Planning Commission recommended approval.
10/16/03	The Planning and Development Department administratively approved a Non-Material Modification of the Montecito Town Center Standards to amend Section 2.3 of the Agreement to allow drive-through facilities with approval of a Special Use Permit.
11/05/03	The City Council approved a request for a Site Development Plan Review (SDR-2776) and a Waiver of the Town Center Build-To-Line Development Standard for a proposed 5,000 square-foot restaurant/tavern on 0.77 acres (subject site) adjacent to the south side of Deer Springs Way, approximately 200 feet east of [new] Durango Drive. The Planning Commission and staff recommended approval.
11/05/03	The City Council approved a request for a request for a Special Use Permit (SUP-2777) for a tavern adjacent to the south side of Deer Springs Way, approximately 200 feet east of Durango Drive. The Planning Commission and staff recommended approval.
12/17/03	The City Council approved a request for a Site Development Plan Review (SDR-3208) for a 4,626 square-foot financial institution and a waiver of the build-to-line and 70% glazing standards of town center, at 6610 North Durango Drive. The Planning Commission and staff recommended approval.
12/17/03	The City Council approved a request for a Special Use Permit (SUP-3210) for a drive-thru as part of a financial institution at 6610 North Durango Drive. The Planning Commission and staff recommended approval.
10/05/05	The City Council approved a request for a proposed 8,500 square-foot commercial development and waivers of the build to line, perimeter landscaping, and trash enclosure standards on 22.78 acres adjacent to the southeast corner to Durango Drive and Deer Springs Way

SDR-18009 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

Pre-Application Meeting	
10/29/06	At the pre-application meeting, the applicant was informed that the previous approved application for the site (SDR-2776) was a 5,000 square-foot restaurant/tavern. Since the proposed medical office is larger than the previously approved site plan, the applicant was informed that they would need to apply for a new Site Development Plan Review.
Neighborhood Meeting	
A neighborhood meeting was not held, nor was one required.	

Details of Application Request	
Site Area	
Net Acres	0.77

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	*UC-TC (Urban Center Mixed Use - Town Center) and *MS-TC (Main Street Mixed Use - Town Center)	T-C (Town Center)
North	Undeveloped (Hospital)	*UC-TC (Urban Center Mixed Use - Town Center)	T-C (Town Center)
South	Retail	*UC-TC (Urban Center Mixed Use - Town Center) and *MS-TC (Main Street Mixed Use - Town Center)	T-C (Town Center)
East	Tavern	*UC-TC (Urban Center Mixed Use - Town Center) and *MS-TC (Main Street Mixed Use - Town Center)	T-C (Town Center)
West	Retail/Restaurant	*UC-TC (Urban Center Mixed Use - Town Center)	T-C (Town Center)

**Note: these areas are located within the Montecito Town Center Development Agreement Area. The Montecito Town Center Mixed Use Commercial designation in that Agreement overrides these other land use designations*

SDR-18009 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan	X		Y
Montecito Town Center	X		Y
T-C Town Center District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Pursuant to Town Center Development Standards and Montecito Development Agreement Standards the following apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	NA	NA
Min. Lot Width	NA	NA	NA
Min. Setbacks • Front	Zero Feet	15 Feet	Y
Max. Lot Coverage	NA	NA	NA
Max. Building Height	*7 story	31.1 Feet	Y
Trash Enclosure	Yes	Yes	Y
Mech. Equipment	Yes	Not Shown	Y

** The Site is in the Urban Zone which allows a seven-story maximum*

Pursuant to Title 19.12 the following standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/ 6 Spaces	10 Trees	12 Trees	Y
Buffer: Min. Trees	1 Tree/ 20 Linear Feet	6 Trees	6 Trees	Y
TOTAL		16 Trees	18 Trees	Y
Min. Zone Width (Deer Springs Way)	15 Feet		15 Feet	Y
Wall Height	8 Feet		NA	NA

SDR-18009 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Shopping Center	297,443	1 per 250 SF	1,190	27	1,638	47	Y
TOTAL			1,190	27	1,638	47	Y

Open Space - Montecito Town Center per 5.1.7					
Total Acreage	SF Required	Percent Required	SF Provided	Provided	Compliance
0.77	4,025 SF	12%	6,900 SF	20.6	Y

ANALYSIS

- **Zoning**

The subject site is currently zoned T-C (Town Center) with a UC-TC (Urban Center Mixed Use - Town Center) General Plan designation; however, the Montecito Town Center Mixed Use Commercial Area designation applied by the Montecito Town Center Development Agreement supersedes this land use designation and zoning district.

The proposed Medical Office is within the range of uses permitted within the Montecito Town Center Mixed Use Commercial Area designation.

- **Site Plan**

The proposed Medical Office is located on the northeast corner of the pad site, with parking provided on the south of the building. Access to the pad site parking area will be from Deer Springs Way and internally within the overall shopping center.

For the purpose of calculating parking requirements for the site, the pad site is part of a larger shopping center per Title 19.10 Parking Standards. Therefore, the site is parked as a shopping center which permits one space for each 250 square feet of gross floor area. The site provides 1,638 parking spaces where 1,190 total parking spaces are required. The site also provides 47 handicap accessible parking spaces where 27 are required.

SDR-18009 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

- **Landscape Plan**

The submitted landscape plan depicts landscaping in a 15-foot wide landscape planter along Deer Springs Way. Some landscaping is also provided in several parking lot islands. Both perimeter and parking lot landscaping as indicated is in compliance with the required minimum standard of the Zoning Code.

Plant materials indicated include 24-inch box Chitalpas and Chilean Mesquite Trees, as well as 24-inch box Chaste Trees.

- **Elevation**

The submitted elevation depicts a flat-roofed building with a pitched roof entry feature that measures approximately 31 feet. The structure is adorned with four columns, cornice details and a pitched tile roof accent at the entrance.

Per the Montecito Development Agreement, the tile and stone veneer shall cover a minimum of ten percent of the building elevation. Building materials include a stucco exterior with stone veneer, tile wainscot and concrete roofing tiles. The site meets these requirements.

- **Floor Plan**

The floor plan indicates a medical office with areas for processing, examining and storing of equipment.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The proposed Medical Office fits within the context of the previously approved site plan for the entire Montecito Lifestyles Center project, and is suited to the overall development plan that has evolved within the Montecito Town Center Development Agreement area.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

SDR-18009 - Staff Report Page Seven
December 21, 2006 - Planning Commission Meeting

The proposed site plan for a Medical Office is consistent with the design requirements of the Montecito Town Center Development Agreement, and with the design parameters of the approved overall site plan for the Montecito Lifestyles Center project, of which this application is a part.

3. **“Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;”**

The site is directly adjacent to Deer Springs Way which is designated as a Town Center (80-foot) Collector on Map 6 of the Town Center Development Standards Manual. The site also has access via internal commercial drive aisles to Durango Drive.

4. **“Building and landscape materials are appropriate for the areas and for the City;”**

The building materials for the proposed Medical Office meet the requirements of Town Center Development Standards Manual. The type of landscaping materials as proposed is appropriate.

5. **“Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;”**

The exterior appearance of the proposed Medical Office presents an aesthetically pleasing design that will contribute in a positive manner to the appearance of the overall Montecito Lifestyles Center project. This project will be harmonious with the future development in the area.

6. **“Appropriate measures are taken to secure and protect the public health, safety and general welfare.”**

The proposed Medical Office use will be subject to regular City and County inspections for licensing and will therefore not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

5

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

SDR-18009 - Staff Report Page Eight
December 21, 2006 - Planning Commission Meeting

NOTICES MAILED 262

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18009** APN: 125-20-710-008

Name of Property Owner: 36 ACRE, LLC

Name of Applicant: DR. NEVILLE BOYKOV

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: 36 ACRE, LLC
Mark Villafra

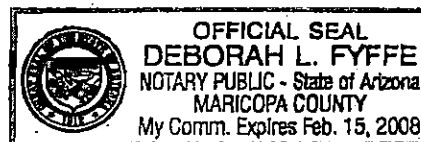
Print Name: 36 ACRE, LLC

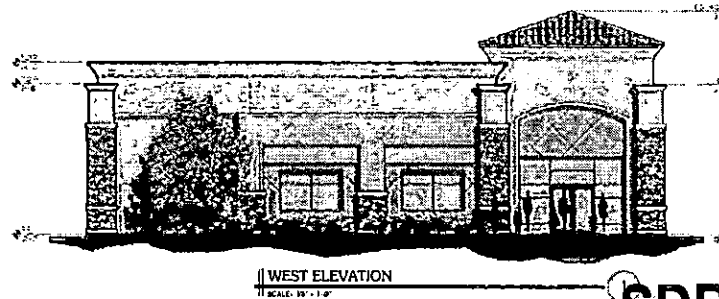
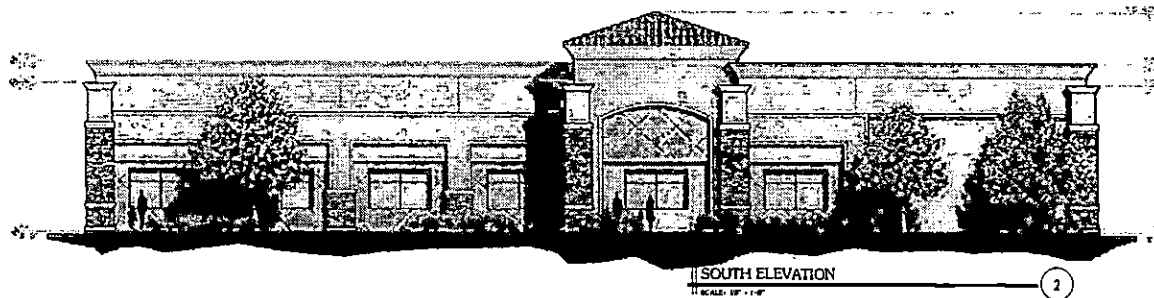
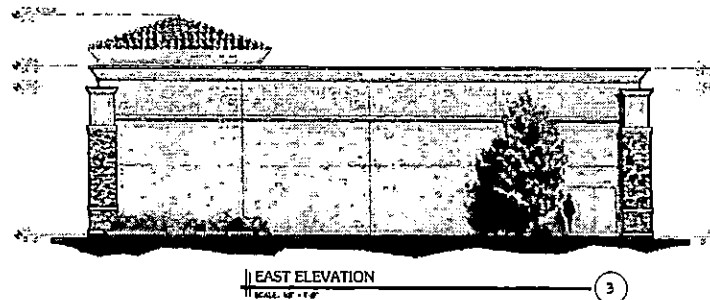
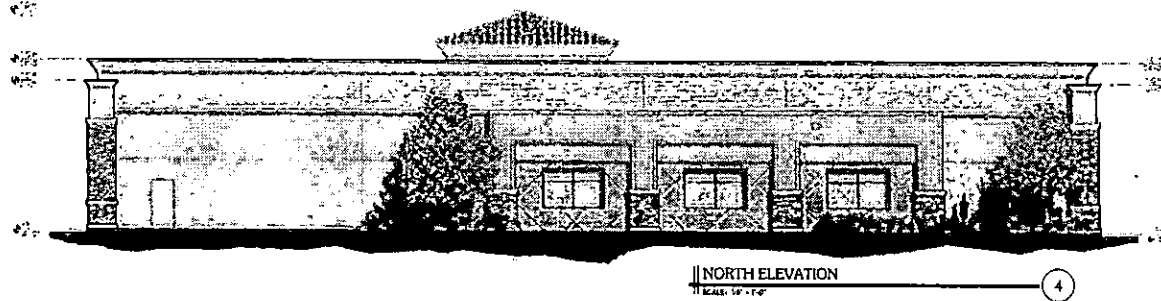
Subscribed and sworn before me

This 16th day of October, 2006

Deborah L. Fyffe
Notary Public in and for said County and State

State of Arizona, Maricopa County





GENERAL NOTES

- 1. ROOF F.L. IS AS SHOWN. ROOFING IS TO BE DETERMINED BY THE OWNER.
- 2. STAIRCASE IS AS SHOWN. LANDSCAPE IS TO BE DETERMINED BY THE OWNER.

LEGEND

- 1. FINE LINE (EXCEPT FOR ROOF)
- 2. FINE LINE (EXCEPT FOR ROOF)
- 3. FINE LINE (EXCEPT FOR ROOF)
- 4. FINE LINE (EXCEPT FOR ROOF)
- 5. FINE LINE (EXCEPT FOR ROOF)
- 6. FINE LINE (EXCEPT FOR ROOF)

WETZEL
ARCHITECTURE
ARCHITECTURE - PLANNING - DESIGN
8332 MILLCREEK BLVD. #2
LAS VEGAS, NV 89123
702.735.1111 FAX 702.735.1112



Contract No. _____
Project No. _____
Client Name _____
Address _____
City _____ State _____ Zip _____

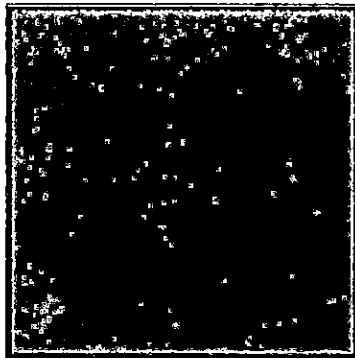
Centennial Dialysis
APR. 12-20-2006
Las Vegas, Nevada
36 ACRE LLC

Rev	Date	Description
1	11/06/06	Initial Set
2	11/06/06	Revised
3	11/06/06	Revised
4	11/06/06	Revised
5	11/06/06	Revised
6	11/06/06	Revised
7	11/06/06	Revised
8	11/06/06	Revised
9	11/06/06	Revised
10	11/06/06	Revised

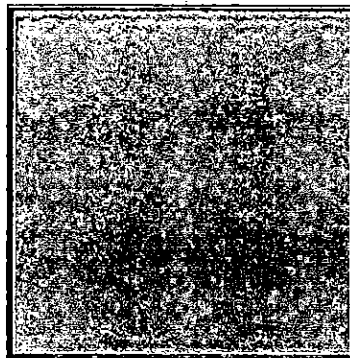
EXTERIOR ELEVATIONS

A 5.00

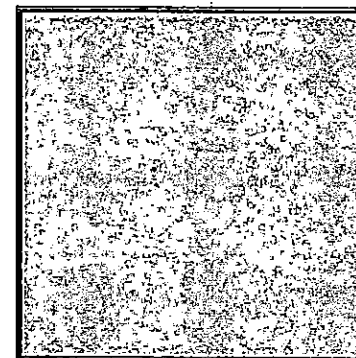
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SDR-18009
12/21/06 PC
NOV 06 2006



EXTERIOR PAINT
TO MATCH DRYVIT "430 HOT CHOCOLATE"



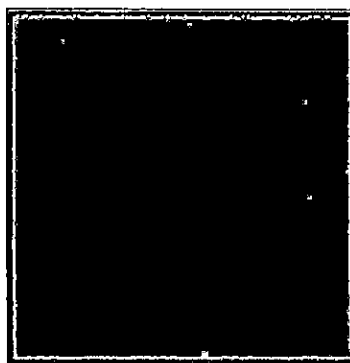
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TO MATCH DRYVIT "103 EGG SHELL CREAM"



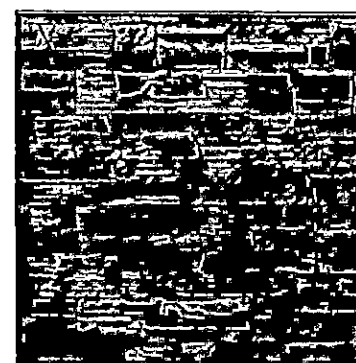
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TO MATCH DRYVIT "413A SAND"



ROOF TILE
US TILE TWO PIECE M561X TILE "EXPORT BLEND"



EXTERIOR PAINT
TO MATCH DRYVIT "303 MONEY THIST"

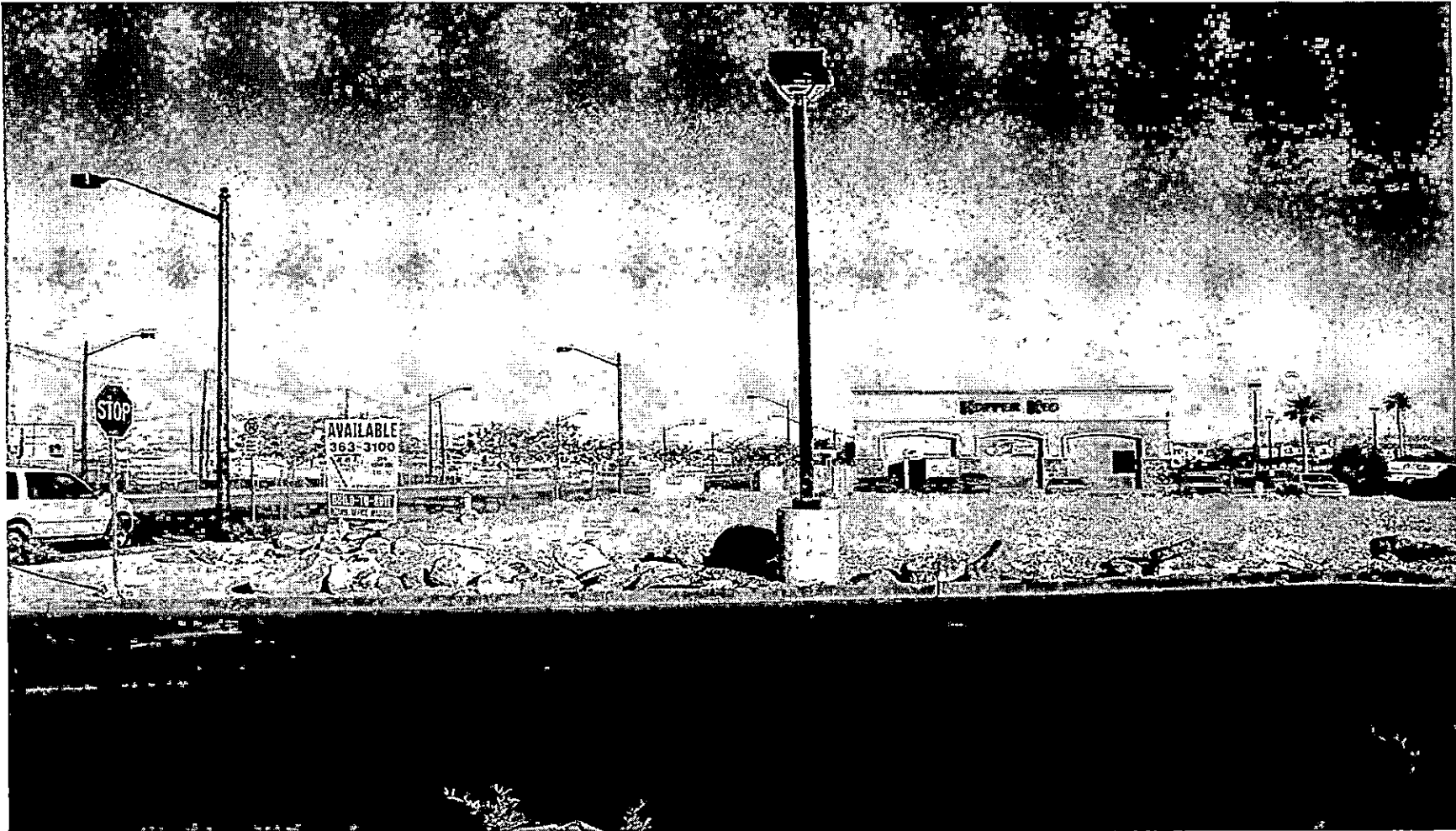


STONE
CULTURED STONE
PROPERTY LEADERSHIP "MOUNTAIN" FIN-0001

SDR-18009
12/21/06 PC

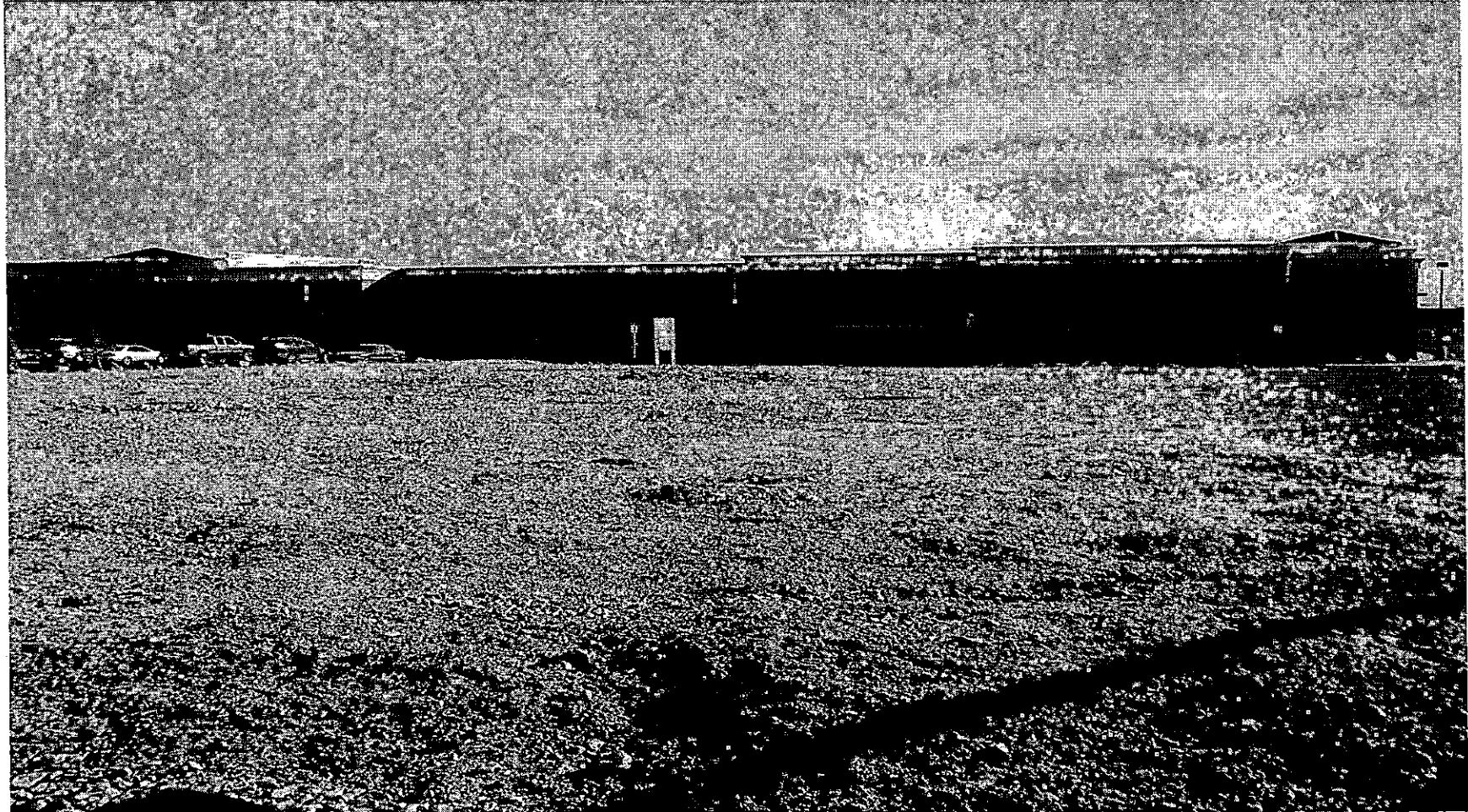
RECEIVED
NOV 06 2006

WETZEL ARCHITECTURE ARCHITECTS - PLANNERS - DESIGNERS 8880 ECLIPSE DR. #6 LOS ANGELES, CA 90045 TEL: (310) 798-7800 FAX: (310) 798-7800	
PROJECT NO. 18009	
CLIENT: Centennial Dialysis	
ADDRESS: 36 ACRE LLC 4001 12TH AVE. N. LAS VEGAS, NEVADA 89102	
DATE: 12/21/06	
DRAWN BY: SDR-18009	
CHECKED BY:	
SCALE:	
COLOR BOARD: A2.40	



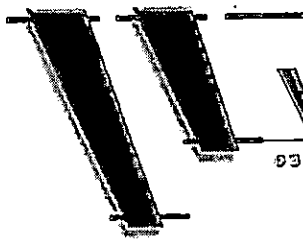
SDR-18009 - APPLICANT: NEVILLE POKROY - OWNER: 36 ACRE, LLC
ADJACENT TO THE SOUTH SIDE OF DEER SPRINGS WAY, APPROXIMATELY 300 FEET EAST OF
DURANGO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/20/06



SDR-18009 - APPLICANT: NEVILLE POKROY - OWNER: 36 ACRE, LLC
ADJACENT TO THE SOUTH SIDE OF DEER SPRINGS WAY, APPROXIMATELY 300 FEET EAST OF
DURANGO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/20/06



WETZEL ARCHITECTURE

9362 McLEOD DR. #6 LAS VEGAS, NV 89120 P: 702-798-7900 F: 702-798-9888

October 9, 2006

City of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

RE: Justification Letter to Accompany Site Development Plan Review
Montecito Medical Office Building
Project No. 06-032
APN Nos.: 125-20-710-008

To Whom It May Concern:

Dakem & Associates is proposing to construct one new office building on a pad site located on the southeast corner of Durango and Deer Springs. The proposed building will be approximately 9,000 square feet, with approximately 45 parking spaces (see site plan included with this submittal).

Wetzel Architecture, Ltd., is requesting on behalf of Vertical Holdings Co. LLC, that a Site Development Plan Review be performed for the aforementioned site. The site is within the Town Center District area. The building is proposed to consist of architectural features consistent with the existing shopping center. The results of the review will be used to complete the construction drawings for the building and any required onsite improvements. The proposed facility and intended use is anticipated to conform to the existing General Plan requirements.

This submittal contains a site plan containing the following information: site dimensions and offsets, proposed building locations, conceptual floor plan layout(s), onsite parking analysis and corresponding onsite parking locations and dimensions, and onsite improvements.

It is our pleasure to submit this justification letter, accompanying application and all other attachments as required by City of Las Vegas – Current Planning Division for completion of a Site Development Plan Review. If you have any questions or require additional information, please call me at (702) 798-7900.

Sincerely,
WETZEL Architecture, Ltd

Michael E. Wetzel, AIA
Principal

Attachments

cc: Daniel S. Amster, Dakem & Associates

SDR-18009
12/21/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-18036 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING -
APPLICANT: NOVA SOURCE DEVELOPMENT - OWNER: NS SOUTHWEST #4, LLC
- Request for a Major Modification to Site Development Plan Review (SDR-9827) FOR A PROPOSED 5,000 SQUARE FOOT GENERAL RETAIL BUILDING on 1.97 acres at the northwest corner of Durango Drive and Grand Teton Drive (APN 125-08-813-006), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 6 (Ross).

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter

MOTION:

STEINMAN – APPROVED subject to conditions, deleting Conditions 18, 19, 20, 21, and 22 and amending Condition 1 and 17 as read for the record as follows:

1. Conformance to the conditions and the approval of SDR-9827 except as amended herein.

17. Site development to comply with all applicable conditions of approval for Site Development Plan Review SDR-9827 the Grand Teton/Durango Commercial Subdivision and all other applicable site-related actions.

– UNANIMOUS with EVANS and TRUESDELL excused

NOTE: COMMISSIONER DUNNAM disclosed that he is the engineer of record on property within the notification area but would vote on the matter.

This is Final Action

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 12 – SDR-18036

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

This item was under the One Motion/One Vote portion of the agenda and was brought forward at DOUG RANKIN'S request, Department of Planning and Development.

MR. RANKIN announced an amendment to Condition 1 and BART ANDERSON, Department of Public Works, read an amendment to Condition 17 and stated that Conditions 18 through 22 needed to be deleted.

MR. RANKIN confirmed that the applicant agreed to all modified conditions.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(6:41 – 6:43)

1-1293

CONDITIONS:

Planning and Development

1. Approval of this application shall expunge the previous Site Development Plan Review (SDR-9827).
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/07/06, except as amended by conditions herein.
4. A revised site plan shall be submitted prior to the time application is made for a building permit depicting that the compact parking spaces are spread out throughout the development with no more than three compact spaces in a single row of parking spaces.
5. A Waiver to allow five landscaped fingers in the parking lot area where 11 landscaped fingers are the minimum required is hereby approved.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 12 – SDR-18036

CONDITIONS – Continued:

following changes from the conceptual landscape plan; seven trees, minimum 24-inch box size, shall be added to the property.

7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Department of Planning and Development must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. Prior to the submittal of a building permit application, the applicant shall meet with Department of Planning and Development staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 12 – SDR-18036

CONDITIONS – Continued:

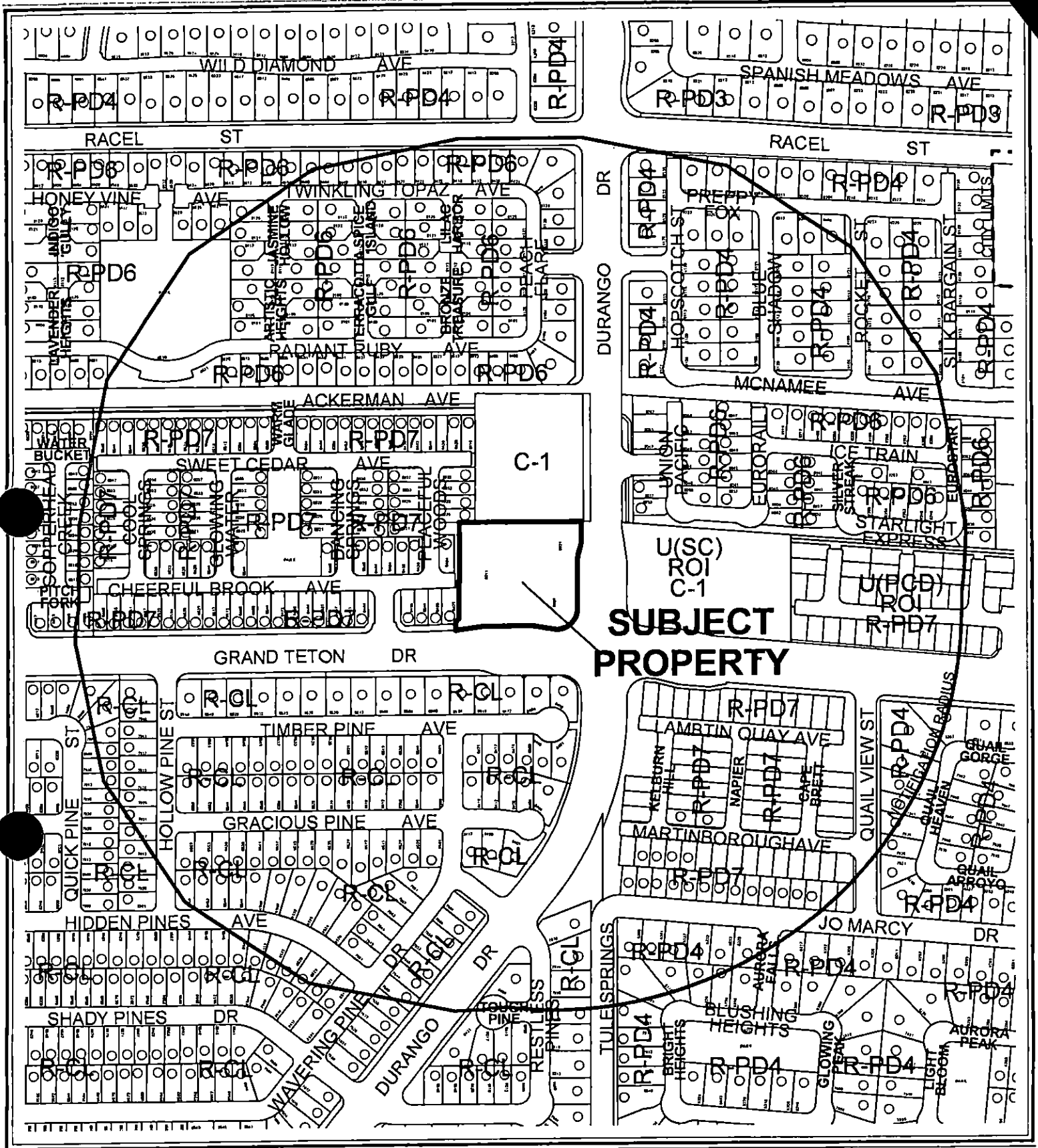
Public Works

15. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
17. Site development to comply with all applicable conditions of approval for the Grand Teton/Durango Commercial Subdivision and all other applicable site-related actions.
18. Construct half-street improvements on Grand Teton Drive and Durango Drive adjacent to this site including the required bus turnout and the widened median island on Grand Teton Drive concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Landscape and maintain all unimproved rights-of-way, if any, adjacent to this site.
21. Submit an Encroachment Agreement for all landscaping, if any, located in the public right-of-way adjacent to this site prior to occupancy of this site.
22. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 12 – SDR-18036

CONDITIONS – Continued:

or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: SDR-18036

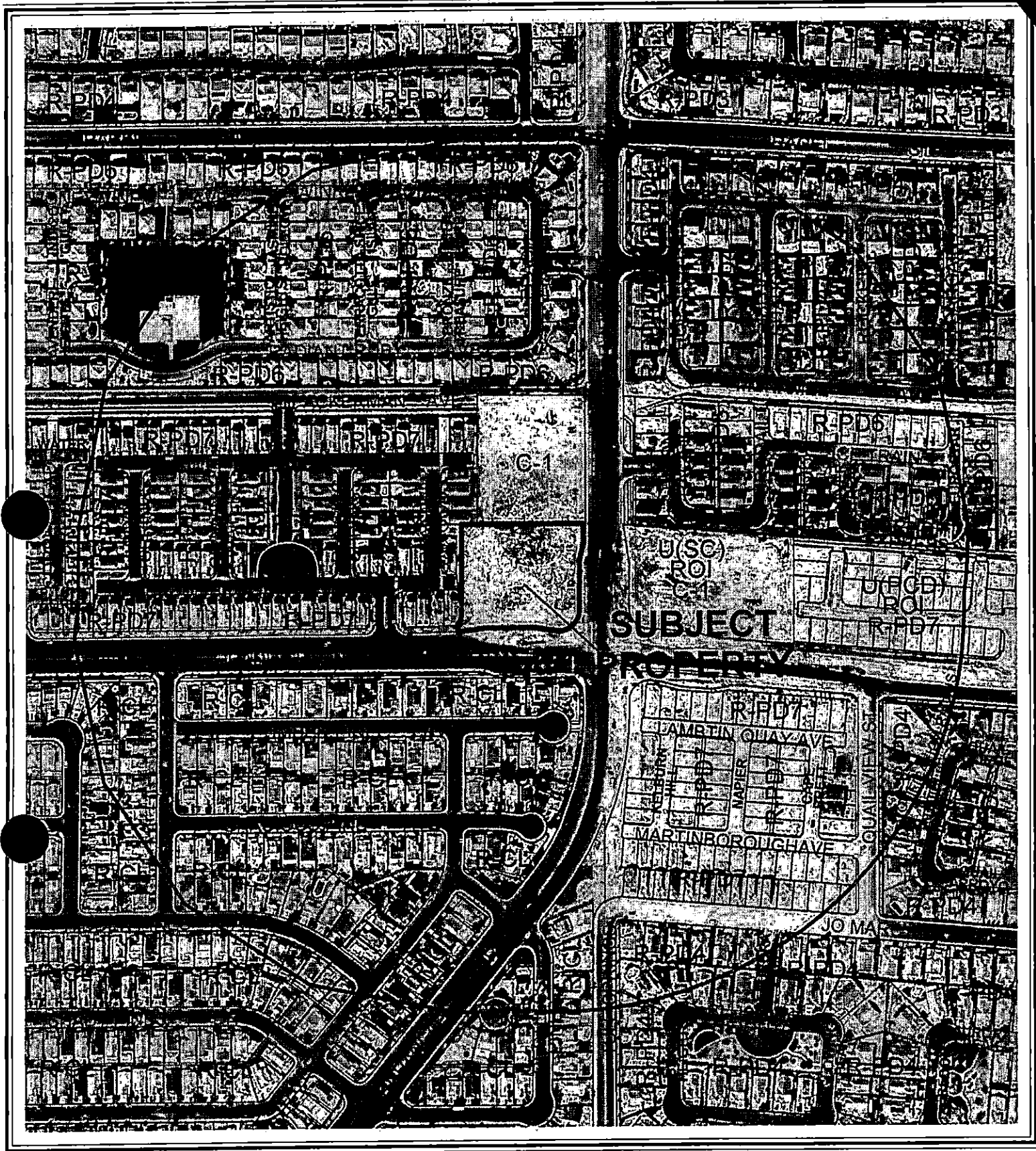
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)

0 100200 Feet





CASE: SDR-18036

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)

0 100200 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-18036 - APPLICANT: NOVA SOURCE DEVELOPMENT -****OWNER: NS SOUTHWEST #4, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Approval of this application shall expunge the previous Site Development Plan Review (SDR-9827).
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/07/06, except as amended by conditions herein.
4. A revised site plan shall be submitted prior to the time application is made for a building permit depicting that the compact parking spaces are spread out throughout the development with no more than three compact spaces in a single row of parking spaces.
5. A Waiver to allow five landscaped fingers in the parking lot area where 11 landscaped fingers are the minimum required is hereby approved.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan; seven trees, minimum 24-inch box size, shall be added to the property.
7. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

SDR-18036 - Conditions Page Two
December 21, 2006 - Planning Commission Meeting

8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

15. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
17. Site development to comply with all applicable conditions of approval for the Grand Teton/Durango Commercial Subdivision and all other applicable site-related actions.

SDR-18036 - Conditions Page Three
December 21, 2006 - Planning Commission Meeting

18. Construct half-street improvements on Grand Teton Drive and Durango Drive adjacent to this site including the required bus turnout and the widened median island on Grand Teton Drive concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
19. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
20. Landscape and maintain all unimproved rights-of-way, if any, adjacent to this site.
21. Submit an Encroachment Agreement for all landscaping, if any, located in the public right-of-way adjacent to this site prior to occupancy of this site.
22. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

SDR-18036 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Major Modification to Site Development Plan Review (SDR-9827) for a proposed 5,000 square-foot general retail building.

The applicant is proposing to change "Building C" of an approved Site Development Plan Review (SDR-9827). The building was previously a 2,700 square-foot restaurant with drive through. Per this application the building would become a 5,000 square-foot retail building. The proposal changes the parking requirements and configuration. These changes are in compliance with Code requirements. A waiver is required to allow six landscape fingers in the parking lot area where 11 landscaped fingers are the minimum required. The proposed changes will not have a negative affect on the site or the surrounding area. Approval of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/17/00	The City Council approved a Site Development Plan Review (SD-0031-99) for a proposed 31,700 square-foot retail center, a Special Use Permit (U-0039-00) which allowed the sale of packaged liquor in conjunction with the proposed 15,120 square-foot drug store, and accepted a withdrawal of an appeal from the denial by the Planning Commission for gasoline sales in conjunction with an 8,000 square-foot convenience store.
10/01/03	The City Council approved a request for Extension of Time (EOT-2742) of an approved Special Use Permit [U-0039-00(1)] which allowed the sale of packaged liquor in conjunction with the proposed 15,120 square-foot drug store at the northwest corner of Grand Teton Drive and Durango Drive. The Planning Commission and Staff recommended approval.
05/17/05	The City Council accepted a withdrawal of an appeal from the denial by the Planning Commission for the off-premise sale of beer and wine in conjunction with an 8,000 square-foot convenience store.
02/15/06	The City Council approved a Site Development Plan Review (SDR-9827) for two proposed retail buildings totaling 12,500 square feet and a 2,700 square-foot restaurant with drive-through. The Planning Commission and staff recommended approval.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this Site Development Plan Review.	
<i>Pre-Application Meeting</i>	
10/19/06	A pre-application meeting was held and submittal requirements for this project were discussed.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

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SDR-18036 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	1.97

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	PCD (Planned Community Development)	U (Undeveloped) Zone [PCD (Planned Community Development) land use designation] under Resolution of Intent to C-1 (Limited Commercial)
North	Undeveloped	PCD (Planned Community Development)	C-1 (Limited Commercial)
South	Single-Family Residential	PCD (Planned Community Development)	R-CL (Single-Family Compact-Lot)
East	Undeveloped	SC (Service Commercial)	U (Undeveloped) Zone [SC (Service Commercial) land use designation] under Resolution of Intent to C-1 (Limited Commercial)
West	Single-Family Residential	PCD (Planned Community Development)	R-PD7 (Residential Planned Development – 7 Units Per Acre)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

Per Title 19.08:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	1.97 Acres	Y
Min. Lot Width	100 Feet	271 Feet	Y
Min. Setbacks			
• Front	20 Feet	20 Feet	Y
• Side	10 Feet	10 Feet	Y
• Corner	15 Feet	15 Feet	Y
• Rear	20 Feet	20 Feet	Y
Max. Lot Coverage	50 %	20.4 %	Y
Trash Enclosure	Y	3	Y
Mech. Equipment	Screened	Screened	Y

Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/6 Spaces	18 Trees	15 Trees	N
Buffer:	1 Tree/20 Linear Feet	24 Trees	24 Trees	
Min. Trees	1 Tree/30 Linear Feet	18 Trees	14 Trees	N
TOTAL		60 Trees	53 Trees	N
	8 Feet (interior)		8 Feet	
Min. Zone Width	15 Feet (ROW)		15 Feet	Y
Wall Height	8 Feet		Existing	Y

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required Parking		Provided Parking		Compliance
			Regular	Handi-capped	Regular	Handi-capped	
Sub-Total			100	4	104	4	
TOTAL			100		104		Y
Loading Spaces			3		3		Y

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SDR-18036 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Waivers		
Request	Requirement	Staff Recommendation
Parking lot landscape fingers	1/6 Spaces	The site is deficient six landscape fingers in the parking lot. The addition of these fingers would require the site to obtain a parking variance. The waiver is supported.

ANALYSIS

The applicant is proposing a major modification to an approved Site Development Plan Review (SDR-9827). The change is primarily to "Building C". In SDR-9827 this building was approved as a 2,700 square-foot restaurant with a drive through. The proposal is to change this building to a 5,000 square-foot retail pad. The alteration will also change the parking requirements and the configuration of the parking lot.

The change in use will result in a more effective traffic flow on the site as there is no longer a potential for congestion from the drive through. Although there is an overall increase in square footage to the site of approximately 14 percent, the retail use is less intense than the previously approved restaurant with a drive through.

The primary change to the parking lot configuration is the removal of a driveway connection between the subject property and the adjacent development to the north. Additionally, the applicant is now utilizing the maximum allowable amount of compact parking spaces. It is preferred that the compact parking spaces be spread out throughout the site rather than in a single cluster. A condition of approval shall be added requiring the compact spaces to be spread out with one or two per row rather than an entire row made up of strictly compact spaces.

The proposed project is deficient in the required number of trees. A condition of approval has been added requiring a revised landscape plan depicting an additional seven trees, minimum 24-inch box size located throughout the site.

A waiver is required to allow five landscaped fingers in the parking lot where a total of 11 landscaped fingers are the minimum required. This waiver is supported as the addition of these fingers would require the removal of several parking spaces. This would then require the site to obtain a parking variance. This reduction in landscaped fingers is considered a better solution given the condition requiring the required number of trees throughout the site.

The proposed change of "Building C" to a 5,000 square-foot retail pad is in compliance with all other plans and policies. The change will not have a negative effect on the site or adjacent properties and approval of this request is recommended. Approval of this Site Development Plan Review will expunge the previous case (SDR-9827).

SDR-18036 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development is consistent with adjacent development and development in the area. The proposed changes will not have a negative effect on the surrounding area.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development requires a waiver from parking lot landscaping requirements; specifically the applicant is providing five landscaped fingers where 11 landscaped fingers are the minimum required. This waiver is supported. Other deficiencies are addressed with conditions of approval.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Site access is provided from Grand Teton Drive, a 120-foot Parkway Arterial, and Durango Drive, a 100-foot Primary Arterial. These streets provide adequate access to and from the subject property.

- 4. Building and landscape materials are appropriate for the area and for the City;**

The building and landscape materials are compatible and appropriate for the area. The proposed building elevations include proposed stucco material with cornice accents in coffee, bright white, and siesta color schemes. Each of the storefronts will include insulated glass and decorate lighting fixtures.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Elevations and design characteristics are not unsightly or obnoxious in appearance and are harmonious and compatible with adjacent development and development in the area.

SDR-18036 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The project will be subject to inspections, and appropriate measures will be taken to protect public health, safety, and general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 15

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 452

APPROVALS 0

PROTESTS 1



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-18036** APN: 12508813006

Name of Property Owner: NS Southwest #4 LLC

Name of Applicant: Loy Taylor

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

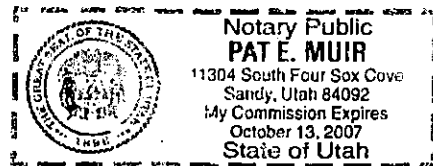
APN: _____

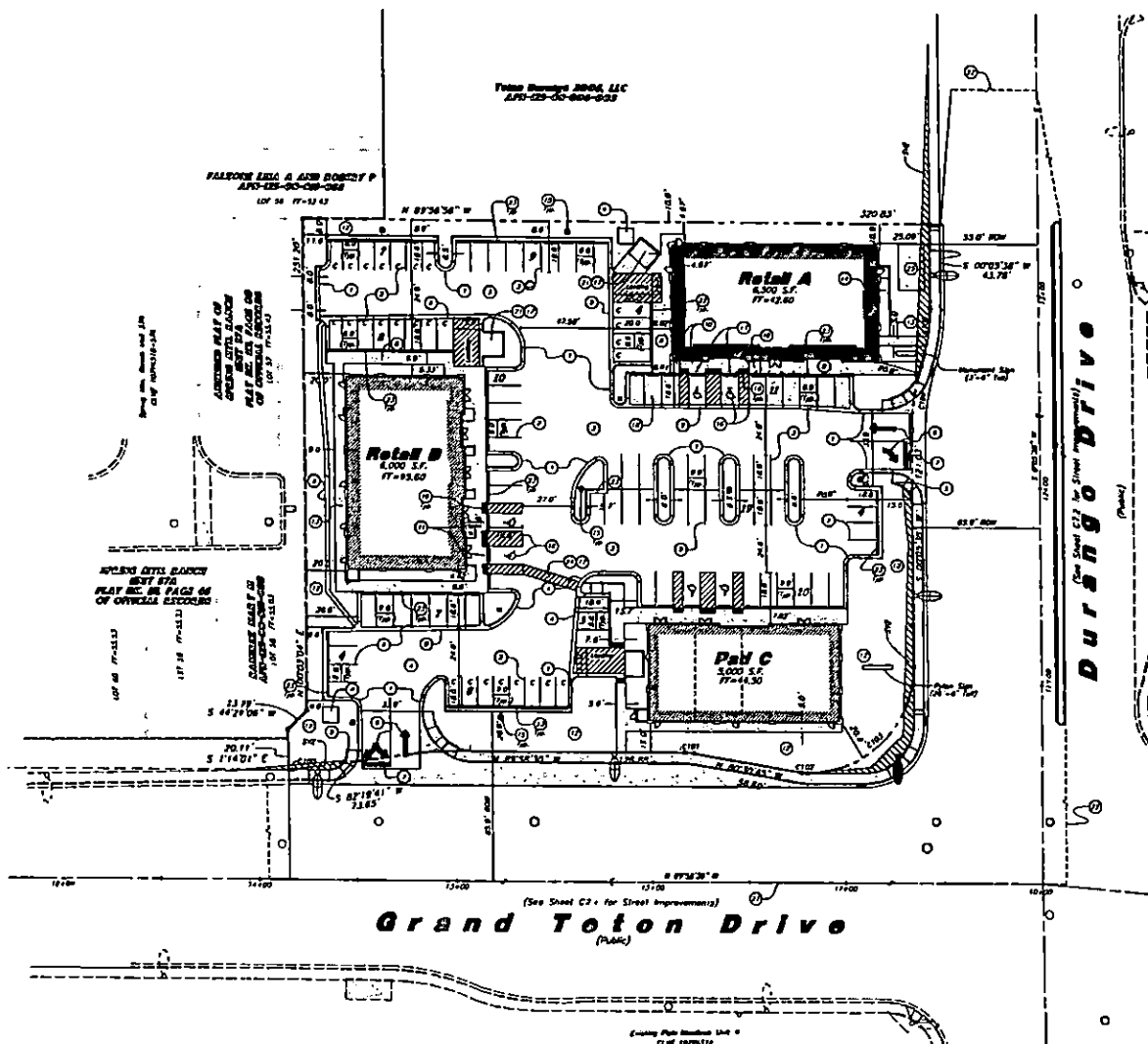
Signature of Property Owner: Ronald D. Witze

Print Name: Ronald D. Witze

Subscribed and sworn before me

This 31 day of October, 2006
Pat E. Muir
Notary Public in and for said County and State





Property Line Curve Table			
Curve	Length	Radius	Chord
C1	24.00	1000.00	24.00
C2	24.00	1000.00	24.00
C3	24.00	1000.00	24.00
C4	24.00	1000.00	24.00
C5	24.00	1000.00	24.00
C6	24.00	1000.00	24.00
C7	24.00	1000.00	24.00
C8	24.00	1000.00	24.00
C9	24.00	1000.00	24.00
C10	24.00	1000.00	24.00

Wheel Slope/Curbing
 Complete wheel slope at parking at least 1/2 inch high and 1/2 inch wide and to be provided by ground subsurface utility survey, including, but not limited to, water, gas, and sewer lines. The contractor shall be responsible for the design and construction of the wheel slope and curbing. The contractor shall be responsible for the design and construction of the wheel slope and curbing. The contractor shall be responsible for the design and construction of the wheel slope and curbing.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR
 The Contractor agrees that he shall assume full and complete responsibility for the job site conditions during the course of construction of this project, including, but not limited to, the design and construction of the wheel slope and curbing. The contractor shall be responsible for the design and construction of the wheel slope and curbing. The contractor shall be responsible for the design and construction of the wheel slope and curbing.

- General Site Notes**
1. Site boundaries to be established by a licensed surveyor.
 2. The site boundaries and lines to be located as shown on the site plan.
 3. The site boundaries and lines to be located as shown on the site plan.
 4. The site boundaries and lines to be located as shown on the site plan.
 5. The site boundaries and lines to be located as shown on the site plan.
 6. The site boundaries and lines to be located as shown on the site plan.
 7. The site boundaries and lines to be located as shown on the site plan.
 8. The site boundaries and lines to be located as shown on the site plan.
 9. The site boundaries and lines to be located as shown on the site plan.
 10. The site boundaries and lines to be located as shown on the site plan.

Site Data Table
 Site Area = 1.97 Ac.
 Zoning = C-1
 Total Building Area = 17,500 s.f.
 Parking Required:
 Retail = 17,500 s.f. @ 1/125 = 100
 Total Parking Required = 100 Stalls
 Parking Provided = 104 Stalls (594/1000)
 Compact Stalls Provided = 30 Stalls (29%)
 Floor Area Ratio = 4.90/1
 Density = 10.4/s

Available Data
 Contractor shall maintain a minimum water depth of 24 inches and a minimum depth of 24 inches of water at all times during the construction of the project. The contractor shall be responsible for the design and construction of the wheel slope and curbing.

On-Site Construction Notes

1. Construct 24" curb & gutter.
2. Construct 12" curb & gutter.
3. Construct 12" curb & gutter.
4. Construct 12" curb & gutter.
5. Construct 12" curb & gutter.
6. Construct 12" curb & gutter.
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14. Construct 12" curb & gutter.
15. Construct 12" curb & gutter.
16. Construct 12" curb & gutter.
17. Construct 12" curb & gutter.
18. Construct 12" curb & gutter.
19. Construct 12" curb & gutter.
20. Construct 12" curb & gutter.

Call before you Dig
 1-800-222-5829

Call before you Overhead
 1-800-222-5829

Base of Bearings

North 89°54'30" West, being the South line of the Southwest quarter (SE 1/4) of section 8, Township 11 North, Range 4 East, N.E. 1/4, as shown on plat map 86, page 7 on file in the office of the county recorder, Clark County, Nevada.

Benchmark

City of Las Vegas vertical control use (5190 1702) used and grade to top of curb @ SW corner of Grand Teton & Durango
 Elevation = 774.140 (Station) / 7549.71 (Foot)
 North American Vertical Datum of 1988

SDR-18036
12/21/06 PC
 NOV 07 2006

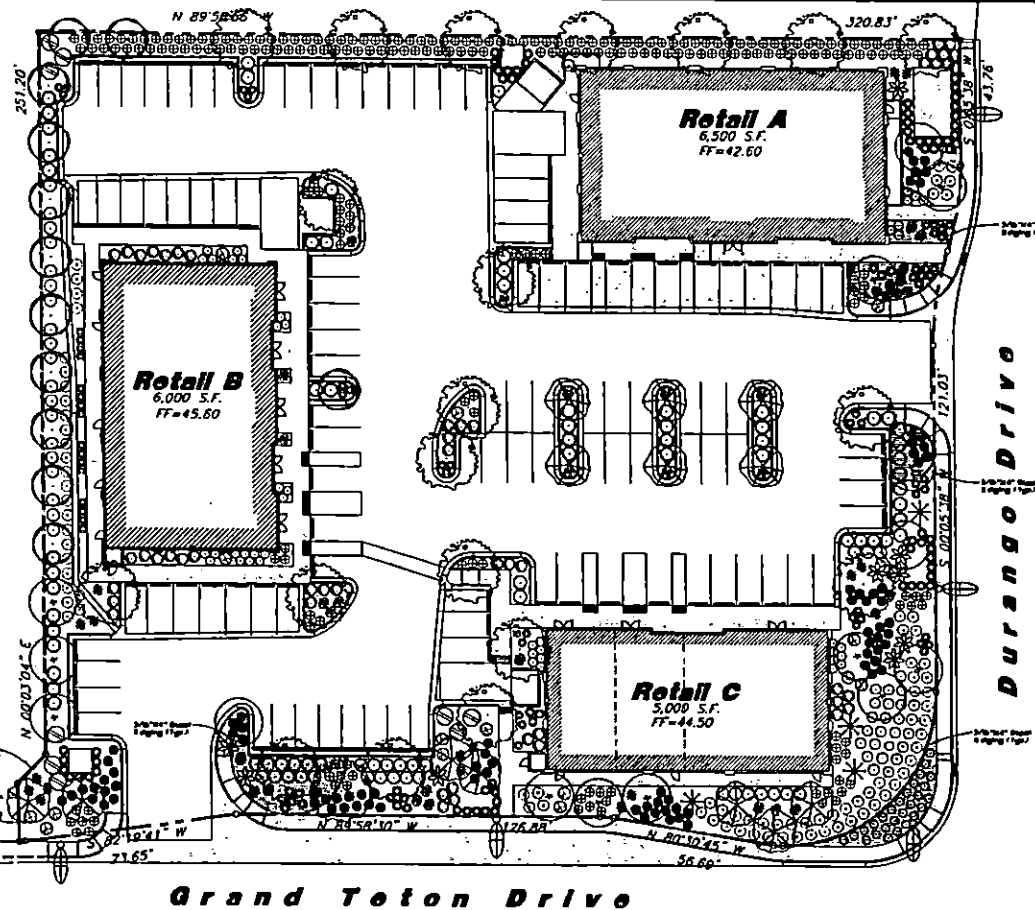
GREAT BASIN ENGINEERING - SOUTH
 CONSULTING ENGINEERS AND LAND SURVEYORS
 2010 North Redwood Road, P.O. Box 180417
 Salt Lake City, Utah 84116
 Tel: (801) 486-1100 Fax: (801) 486-1101
 www.greatbasineng.com

Site Construction Plan
Durango Center
 NW Corner of Durango Drive & Grand Teton Drive
 Las Vegas, Nevada

1 Nov, 2006
 SHEET NO. **C3** of 12

RECEIVED
NOV 06 2006

SDR-18036
12/21/06 PC



Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
20		Acacia stenophylla	Shoreland Acacia	24" Box	10'-12' Height
5		Chorizanthe humilis	Mediterranean Fan Palm	24" Box	5'-6' Height
17		Cholla leucocarpa hybrid	Cholla	24" Box	10'-12' Height
15		Eucalyptus microtheca 'Blue Ghost'	Blue Ghost Eucalyptus	30" Box	10'-12' Height
5		Prosopis juliflora	Chilean Mesquite	24" Box	10'-12' Height

Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
85		Acacia reticulata 'Desert Carpet'	Desert C. Prostrate Acacia	5 Gallon	10" x 10"
15		Agave americana	Century Plant	5 Gallon	15" x 15"
50		Cercia arborescens	Feather Tree	5 Gallon	10" x 24"
15		Conyza allardii	Desert Spoon	5 Gallon	10" x 10"
40		Fouquieria splendens	Red Yucca	5 Gallon	10" x 10"
5		Neovivianthe parviflora	Desert Spoon	5 Gallon	10" x 10"
50		Myrica cinerea 'Compacta'	Compact Myrica	5 Gallon	10" x 10"
45		Prosopis juliflora	Chilean Mesquite	5 Gallon	10" x 10"
55		Raphanistrum indica 'Springtime'	Springtime Indian Hawthorn	5 Gallon	10" x 10"
71		Rosemaria officinalis 'Prostrata'	Prostrate Rosemary	5 Gallon	10" x 10"
45		Yucca congesta	Yucca	5 Gallon	10" x 10"
21		Yucca recurvifolia	Curved Yucca	5 Gallon	10" x 10"

Plant List (GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
10		Conyza allardii	Ferns Grass	5 Gallon	30" x 36"
55		Pennisetum c. 'Regal Plant'	Regal Plant	5 Gallon	10" x 10"
71		Pennisetum c. 'Regal Plant'	Regal Plant	5 Gallon	10" x 10"
61		Pennisetum c. 'Regal Plant'	Regal Plant	5 Gallon	10" x 10"
11		Pennisetum c. 'Regal Plant'	Regal Plant	5 Gallon	10" x 10"

Planting Notes

- All landscaped areas shall receive topsoil and/or 18" material to provide a rough grade at 1/4" inches below utility finish grade, allowing for the seed bed, fabric, and gravel surfacing installation.
- All plant material shall be dug to the diameter of the rootball and 16" inches deeper. Excavated material removed from the site.
- Plant material shall be composed of 3 parts topsoil, to 1 part native soil, to 1 part, have such additive and shall be mixed and installed prior to installation.
- Plant material shall be 'Agilious' brand 71 granular used as per manufacturer's recommendations.
- Upon completion of planting operations, all shrubs and trees shall receive a 2" high maximum depth of stone surfacing as specified. The stone surfacing shall be placed immediately following the installation of the seed bed.
- All areas where different types of stone surfacing are to be used shall be separated with 3/16" x 1/2" steel edging, and shall be installed per manufacturer's recommendations.
- The project shall be kept clear of dirt and debris prior to completion of the project.
- The contractor shall comply with all ordinances and guidelines set forth by the Owner, and in no case shall that period be less than one year following the date of final completion and acceptance.
- The contractor shall be responsible for completing all maintenance requirements as outlined in the project specifications.

General Notes

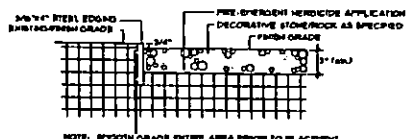
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any bumps, depressions or other grading irregularities. The finish grade of all landscaped areas shall be graded consistently 3/4" below the top of all surrounding existing curbs, etc.
- The contractor shall take the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and groundcovers shall be triangular and equidistant spaced.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- The contractor shall be responsible for completing all maintenance requirements as outlined in the project specifications.

Irrigation Notes (Design Build System)

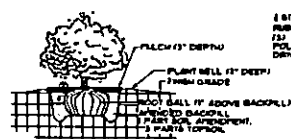
- The contractor shall design and install an automatic irrigation system for all landscaped areas of the site, and submit the shop drawings to the Owner/Architect for approval prior to construction.
- All areas shall be irrigated using "Drip" type irrigation, using either individual emitter placement, in-line or in-line tubing, or a combination of both. The contractor shall be responsible for obtaining the necessary design information such as the location of the water source and the pressure at the source.
- The contractor shall coordinate with the general contractor for installation of required cleanouts under all paved and concrete surfaces. All cleanouts shall be 2" minimum of the size of the actual pipe/s to pass through.
- The contractor shall install all components associated with the point of connection, including shut off valve, backflow prevention device, and quick coupler valve for winterization purposes to be installed in all work to be in compliance with local codes.
- Upon completion of the irrigation system, the contractor shall provide to the Owner two sets of test drawings showing the maintenance of the system. In addition, they shall provide "As-Built" drawings showing all deviations from the original plan.

Stone Surfacing

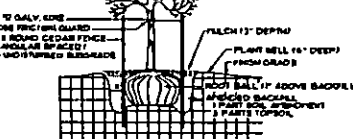
1. Place pre-emergent herbicide on the grade layer.
2. Place 3" stone decomposed granite to finish grade.
3. Place pre-emergent herbicide on finish grade.



1 Steel Edging / Stone Surfacing
N.T.S.



2 Shrub Planting
N.T.S.



3 Tree Planting
N.T.S.

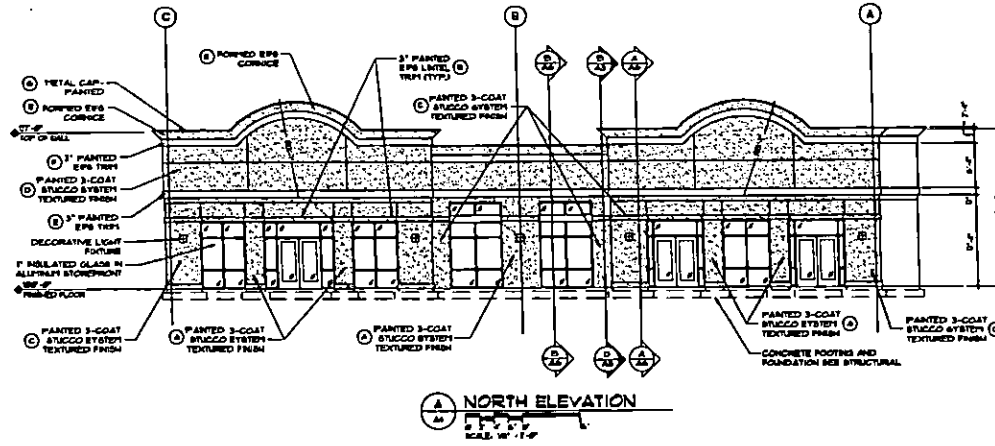
GREAT BASIN ENGINEERING - SOUTH
LANDSCAPE ARCHITECTS AND LAND SURVEYORS
2010 East 1st Ave., Suite 107
Salt Lake City, Utah 84111
Tel: (801) 462-1111 Fax: (801) 462-1112

Landscape Plan
Durango Square
NW Corner of Durango Drive & Grand Teton Drive
Las Vegas, Nevada

1 Nov. 2006

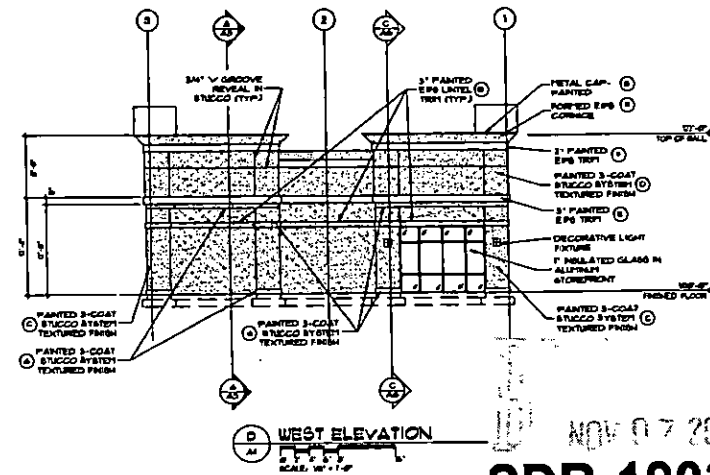
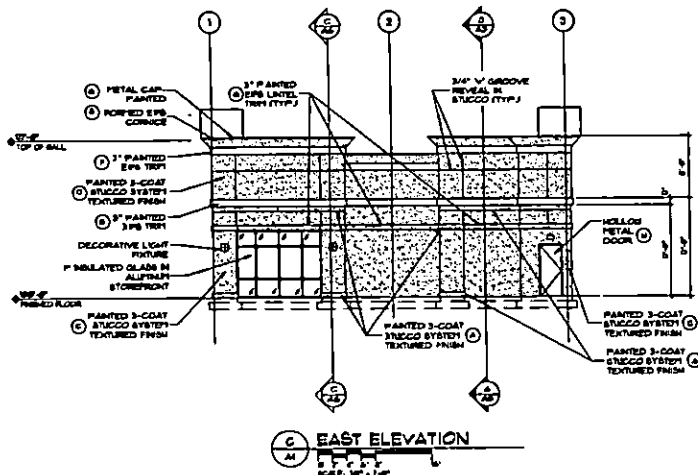
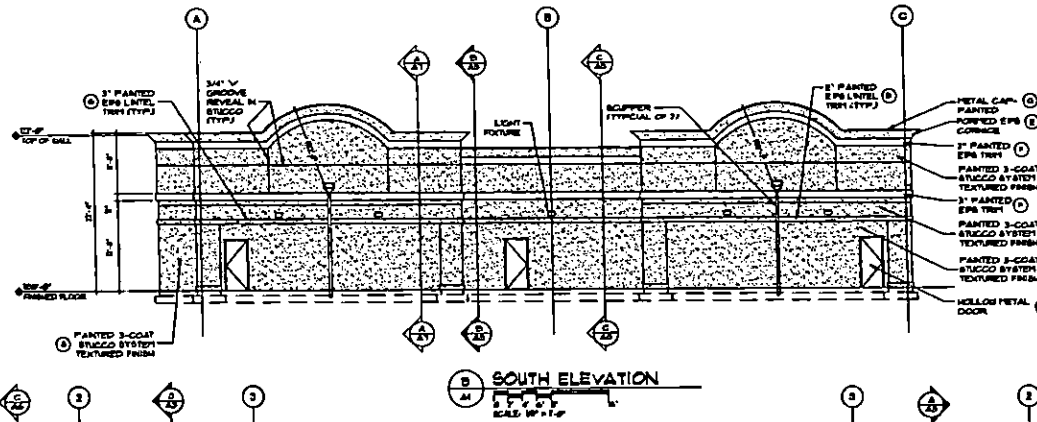
11

12/21/06 PC



GENERAL NOTE:
REFLECTIVE GLAZING AT THE PEDESTRIAN LEVEL IS PROHIBITED, AND GLAZING ABOVE THE PEDESTRIAN LEVEL IS LIMITED TO 22% REFLECTIVITY.

EXTERIOR COLOR/FINISHES SCHEDULE	
A	3-COAT STUCCO SYSTEM - COLOR TO MATCH - DRYVIT COLOR: #56 OYSTOR SHELL
B	NOT USED
C	3-COAT STUCCO SYSTEM - COLOR TO MATCH - DRYVIT COLOR: #04 ACIDIC ACCENT
D	DRYVIT COLOR: #341 CORNICE FINE
E	DRYVIT COLOR: #02 TRITE WHITE
F	DRYVIT COLOR: #55A TRITE
G	METAL CAP TO MATCH TRIM COLOR A
H	HOLLOW METAL DOOR TO MATCH 3-COAT STUCCO COLOR C



PROJECT NUMBER
05-88

REVISIONS

SHEET TITLE
EXTERIOR ELEVATIONS

PROJECT / OWNER
NEW RETAIL BUILDING SHELL CO.
NEW CORNER OF DURANGO DRIVE
8445 GRAND TULON DRIVE
LAS VEGAS, NEVADA 89115
3130 S.E. 25th L. #410 S.E. UT

ARCHITECT

RUSS NAYLOR
ARCHITECT
1535 EAST WASHINGTON AVENUE SUITE 250
SALT LAKE CITY, UTAH 84106 (801) 487-3320



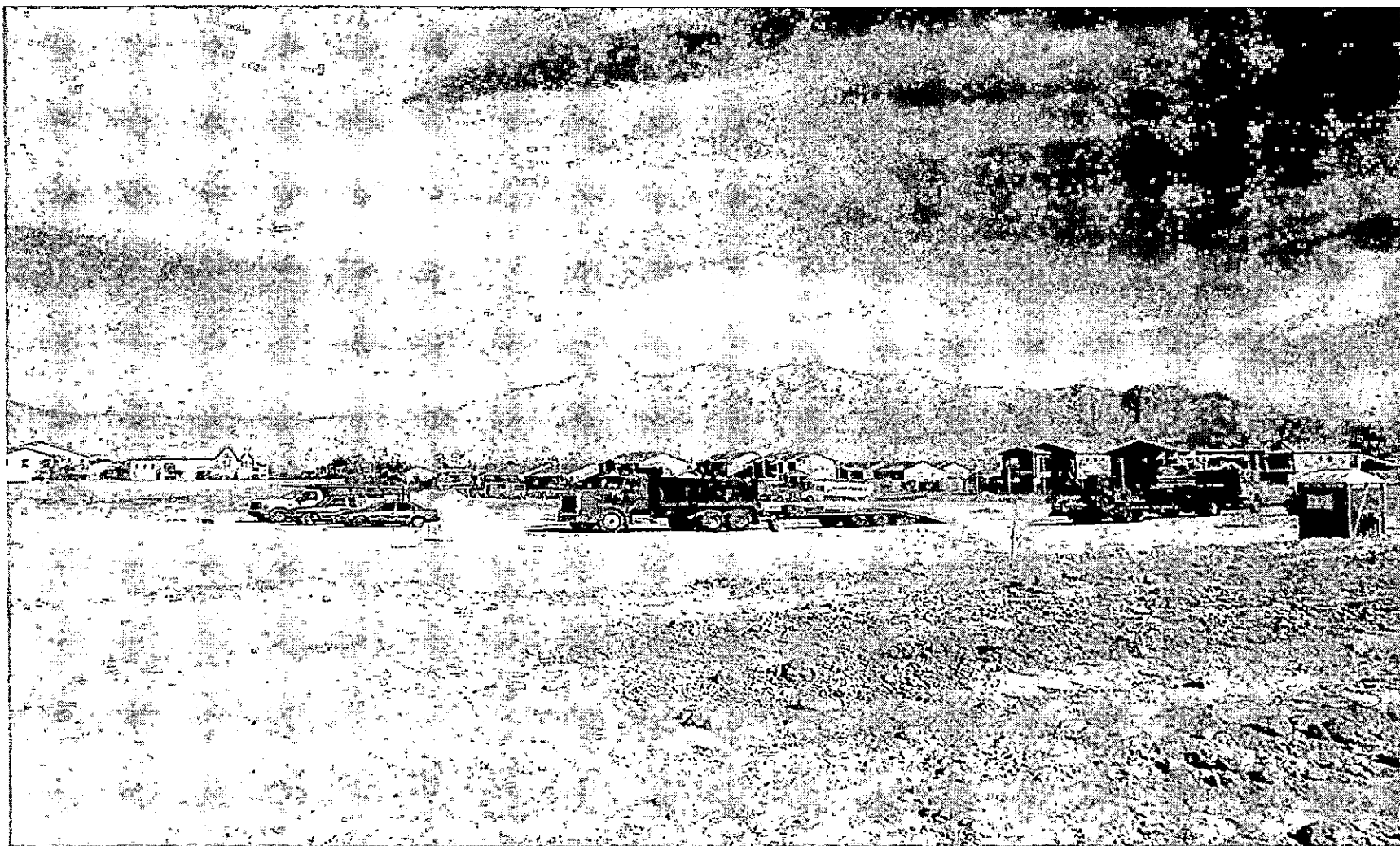
DATE
03/30/06

SHEET NUMBER
A4

NOV 07 2006
SDR-18036
12/21/06 PC

SDR 18036				
Nova Source Development				
NWC Grand Teton & Durango				
Proposed 5 thousand square foot retail building.				
Traffic produced by proposed development:				
New Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	5	42.94	215
AM Peak Hour			1.03	5
PM Peak Hour			3.75	19
(heaviest 60 minutes)				
Approved Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	2.7	496.12	1,340
AM Peak Hour			53.11	143
PM Peak Hour			34.64	94
(heaviest 60 minutes)				
Net Change	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER [1000 SF]	2.3		-1,125
AM Peak Hour				-138
PM Peak Hour				-75
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Grand Teton Drive				
Average Daily Traffic (ADT)	3,904			
PM Peak Hour	312			
(heaviest 60 minutes)				
Durango Drive				
Average Daily Traffic (ADT)	9,755			
PM Peak Hour	780			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			

	Capacity			
Grand Teton Drive	51700			
Durango Drive	51700			
This project will add approximately 215 trips per day on Grand Teton and Durango, which is 1,125 fewer trips than the approved use. This will increase expected volumes by about six percent on Grand Teton and about two percent on Durango. Grand Teton is at about 8 percent of capacity and Durango is at about 19 percent of capacity.				
Based on Peak Hour use, this development will add roughly 19 additional cars into the area; which works out to about one every three minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



SDR-18036 - APPLICANT: NOVA SOURCE DEVELOPMENT - OWNER: NS SOUTHWEST #4, LLC
8001 AND 8021 NORTH DURANGO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06



SDR-18036 - APPLICANT: NOVA SOURCE DEVELOPMENT - OWNER: NS SOUTHWEST #4, LLC
8001 AND 8021 NORTH DURANGO DRIVE
DECEMBER 21, 2006 PLANNING COMMISSION

11/21/06

GREAT BASIN ENGINEERING - South

2010 North Redwood Road • P.O. Box 16747 • Salt Lake City, Utah 84116
(801) 521-8529 • (801) 394-7288 • Fax (801) 521-9551



CONSULTING ENGINEERS
AND LAND SURVEYORS

November 3, 2006

City of Las Vegas
731 South Fourth Street
Las Vegas, NV 89101

**RE: Durango Center – Major Modification
NWC Durango Drive & Grand Teton
Las Vegas, Nevada**

To Whom It May Concern:

The original site plan, SDR-9827 had shown a 2,700 s.f. fast food restaurant with a drive thru for Pad C. As a part of the City Council Approval a condition was added that the fast food be removed and replaced with something else. The pad has been redesigned with a 5,000 s.f. retail building. Due to the increase in square footage a major modification to the approved site plan is required.

The new 5,000 s.f. building has been designed to be compatible with the approved architecture for the site. The site plan is substantially the same as the approved plan. Adequate parking is provided to meet the city parking requirements. The building is currently proposed as a retail shell with tenants unknown at this time.

The overall approved site plan has been followed with this new plan and no additional impacts will be incurred by the city or public.

Please send all information to 2010 No. Redwood Road, Salt Lake City, Utah, 84116. If you have any questions or concerns, please contact me at (801) 521-8529.

Sincerely,
Great Basin Engineering – South

Jeff Randall
Project Manager

**SDR-18036
12/21/06 PC**

1 VOTE NO on Case SDR-18036
Gary R. Kronenberg
Dec 9, 2006

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

12516110007
KRONENBERG GARY R
8316 BLUSHING HEIGHTS AVE
LAS VEGAS NV 89131-4610

Case: SDR-18036

MEETING: PLANNING COMMISSION
DATE: DECEMBER 21, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

DEC. 9, 2006
1 VOTE NO on
CASE: SDR-18036

SDR-18036

Gary R. Kronenberg

APPLICANT: NOVA SOURCE DEVELOPMENT - OWNER: NS SOUTHWEST #4, LLC - REQUEST FOR A MAJOR MODIFICATION TO SITE DEVELOPMENT PLAN REVIEW (SDR-9827) FOR A PROPOSED 5,000 SQUARE FOOT GENERAL RETAIL BUILDING ON 1.97 ACRES AT THE NORTHWEST CORNER OF DURANGO DRIVE AND GRAND TETON DRIVE (APN 125-08-813-006), U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL) ZONE, WARD 6 (ROSS).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 8, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request, or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUGLAS J. RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - ZON-16179 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Rezoning FROM: R-3 (MEDIUM DENSITY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), Ward 1 (Tarkanian).

NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS with EVANS and TRUESDELL excused

To be forwarded to City Council on 01/17/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 13 [ZON-16179], Item 14 [VAR-16181], Item 15 [VAR-17191] and Item 16 [SDR-16180].

JOHN KORKOSZ, Department of Planning and Development, stated the application requires Waivers for landscaping and Variances for front, rear, trash enclosure, residential adjacency setbacks and lot-width Variance. The number of Variances indicated that the site would be overbuilt; therefore, he recommended denial.

PLANNING COMMISSION MEETING OF DECEMBER 21.2006
Department of Planning and Development
Item 13 – ZON-16179

MINUTES – Continued:

A representative of the applicant, 3930 East Patrick Lane, stated that he has met with the Planning staff on numerous occasions in an effort to modify and gain approval of the proposal. He noted that the front setback presented has been 20 feet since the first proposal, and MR. KORKOSZ clarified that the front setback is measured from the back of the right-of-way and not the back of curb and constitutes 15 feet. The representative expressed understanding but also frustration for the several attempts to propose a suitable plan without the need for so many Variances.

MR. KORKOSZ stated that since the original proposal there has not been any change of requirements or Codes. The cause of the need to revise the original plan was due to the incorrect scale of the original proposal. Once staff realized the scale of the plan was incorrect, the need for additional Variances became apparent.

The representative pointed out there is nearly a three-foot grade difference between Decatur Boulevard and the subject site, which makes it difficult to propose access off Decatur Boulevard. He noted that there is a shared access drive at the south side of the property in addition to parking and some landscaping. There would be approximately 10 feet of landscaping at the front of the building with a sidewalk and due to the incline off Decatur Boulevard, the position of the trash enclosure has changed several times to satisfy the request of the Planning staff. He requested approval.

TODD FARLOW, 240 North Nineteenth Street, supported the proposal.

COMMISSIONER DAVENPORT pointed out that the adjacent residential property would not have a buffered landscaped area and he could not support a project with so many Variances. He concurred that the proposal would overbuild the site and stated he would rather see the site remain as residential property.

COMMISSIONER GOYNES questioned if a home and business currently exist on the same property and MR. KORKOSZ explained the report which confirms that single family currently exists on the site. COMMISSIONER GOYNES agreed that the project is an attempt to overbuild the site.

COMMISSIONER STEINMAN commented that the City should investigate the current use of the site. He inquired why the handicapped accessibility was chosen to be near the residential property while the trash enclosure was moved. The representative responded that in order to provide proper public way, there must be handicapped access; therefore, the access was chosen to run from the existing sidewalk. He added that the shared access existed long before this project was proposed and he did not know how long the access agreement would remain.

PLANNING COMMISSION MEETING OF DECEMBER 21, 2006
Department of Planning and Development
Item 13 – ZON-16179

MINUTES – Continued:

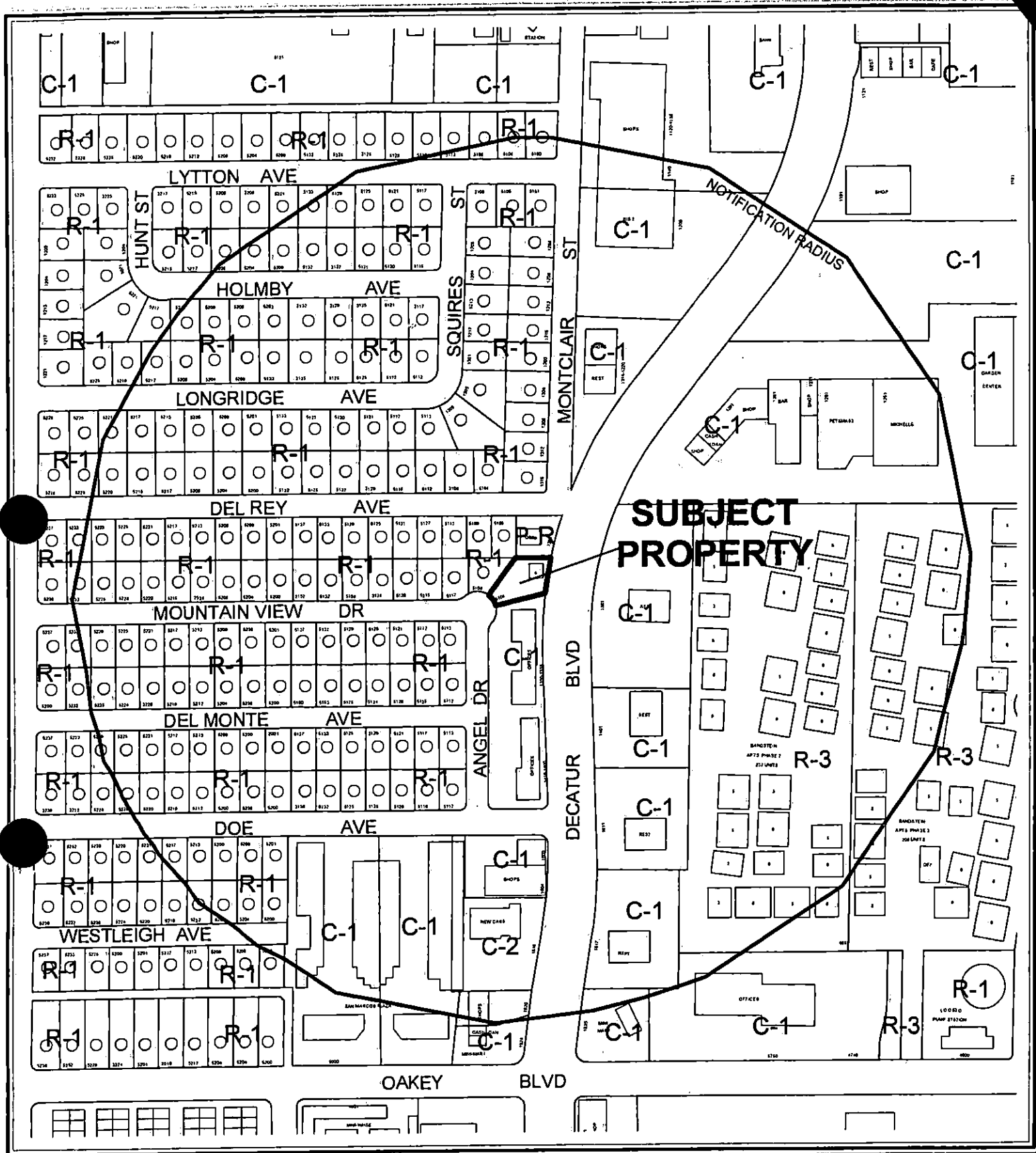
COMMISSIONER DAVENPORT noted that the trash enclosure may not be located on the shared access area because it is not the applicant's property. DEPUTY CITY ATTORNEY LEWIS stated that the City Attorney's Office had not reviewed the access agreement and could not confirm whether the agreement is in perpetuity with the land use.

CHAIRMAN TROWBRIDGE concurred that the site would be overbuilt.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 13 [ZON-16179], Item 14 [VAR-16181], Item 15 [VAR-17191] and Item 16 [SDR-16180].

(6:43 – 7:00)

1-1369



CASE: **ZON-16179**

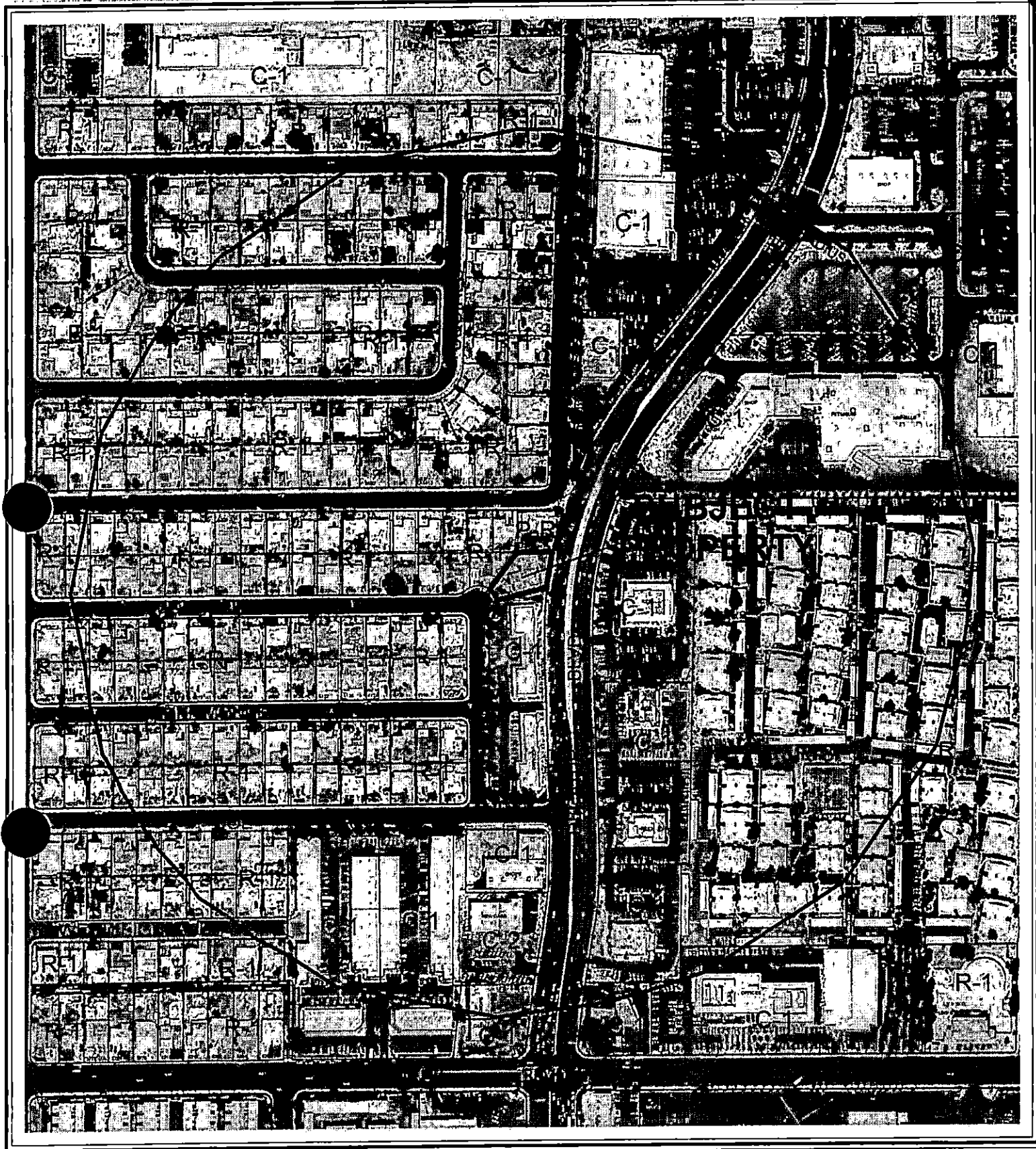
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **ZON-16179**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - ZON-16179 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit is hereby granted.
2. Conformance to the conditions for Variance (VAR-16181), Variance (VAR-17191) and Site Development Plan Review (SDR-16180), if approved.

Public Works

3. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
4. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

ZON-16179 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application seeks a rezoning of the subject property located at 5104 Mountain View Drive from R-3 (Medium Density Residential) to C-1 (Limited Commercial). A companion Site Development Plan Review (SDR-16180), Variance (VAR-16181) and Variance (VAR-17191) have been filed with this request.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/05/06	Planning Commission held in abeyance applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site.
11/02/06	Planning Commission held in abeyance to the 11/16/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
11/16/06	Planning Commission held in abeyance to the 12/21/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.

ZON-16179 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

12/21/06	Planning Commission will consider concurrent applications for a for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of 6 feet where 50 feet is required and to allow a front and a rear yard setback of 15 feet where 20 feet is required on the subject site, and a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required, and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
----------	---

Pre-Application Meeting	
08/04/06	At a Pre-application meeting, the applicant was informed that the proposed office development will require a Rezoning, a Site Development Plan Review, and a Variance for residential adjacency for a trash enclosure.
Neighborhood Meeting	
	A Neighborhood Meeting is not required for this application, nor was one held.
Details of Application Request	
Site Area	
Gross Acres	0.26

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Duplex	SC (Service Commercial)	R-3 (Medium Density Residential)
North	Office	SC (Service Commercial)	SC (Service Commercial)
South	Office	SC (Service Commercial)	C-1 (Limited Commercial)
East	Service Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	Y
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		Y
A-O Airport Overlay District – 200 Foot Buffer	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y

ZON-16179 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	0.26 Acres	Y
Min. Lot Width	100 SF	87.77 SF	N*
Min. Setbacks			
• Front	20 Feet	15 Feet	N**
• Side	10 Feet	10 Feet	Y
• Corner	15 Feet	NA	NA
• Rear	20 Feet	15 Feet	N**
Max. Lot Coverage	50%	27%	Y
Max. Building Height	2 Stories 35 Feet	1 Story 25 Feet including Parapet	Y
Trash Enclosure	50 Feet	6 Feet	N**
Mech. Equipment	Screened	Yes	Y
<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	56.25 Feet	77.25 Feet	N**
Adjacent development matching setback	15 Feet	15 Feet	Y
Trash Enclosure	50 Feet	6 Feet	N**

* Addressed in companion Variance (VAR-17191)

** Addressed in companion Variance (VAR-16181)

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-3 (Medium Density Residential)	13-25 2 units on subject site	6 units/acre 2 units on subject site	C-1 (limited Commercial)	0	SC (Service Commercial)	0

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	1 Tree	1 Tree	Y
Buffer: Min. Trees	1 Tree/20 Linear Feet	17 Trees	14 Trees	N***
TOTAL		18 Trees	15 Trees	N***

RL

ZON-16179 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Min. Zone Width			
• East	15 Feet	5 Feet	N***
• Others	8 Feet	5 Feet	N***
Wall Height	6-8 Feet	Not Shown	

*** Requested Waivers in companion Site Development Plan Review (SDR-16180)

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	3,000 SF	1/300 SF	9	1	9	1	Y
TOTAL			10		10		Y

Waivers		
Request	Requirement	Staff Recommendation
No Landscaping Buffer along south property line	8 -foot Buffer	Denial
5-foot Buffer along a 41-foot portion of the 110-foot west property lines	8 -foot Buffer	Denial
5-foot Buffer along a east property line	15 -foot Buffer	Denial

ANALYSIS

The C-1 (Limited Commercial) zone is intended to provide most retail shopping and personal services. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. The C-1 (Limited Commercial) District is consistent with the Service Commercial category of the General Plan. The location of the subject site meets all of the above criteria, but the site itself is ill-suited to this zone, and would be more appropriately zoned for P-R (Professional Office and Parking). The site does not meet the 100-foot minimum lot width required for a rezoning to C-1 (Limited Commercial), and therefore a related Variance (VAR-17191) must be approved in order to permit this request. The proposed site plan further requires waivers of the perimeter landscape buffer widths on the east and west property lines in order to allow a 5-foot buffer where a 15-foot and an 8-foot buffer is required, respectively and additional Variances as it fails to meet the requirements for residential adjacency, front yard, and rear yard setbacks. Therefore, staff recommends denial of this request.

RL

ZON-16179 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The proposed C-1 (Limited Commercial) zone is in conformance with SC (Service Commercial) General Plan designation.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

The purpose of the C-1 (Limited Commercial) zoning district is to provide commercial land uses that are less intense in nature, and may be appropriate for mixed-use developments. As the property is proposed to front Decatur Boulevard, a 100-foot Primary Arterial, the subject site will be compatible with development along Decatur Boulevard. However, the property still abuts residential uses on Mountain View Drive, and requires a Variance for residential adjacency for the trash enclosure and setback. Therefore this request is not compatible with surrounding land uses.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

While the General Plan calls for the lot to ultimately be converted to commercial use, the size, shape and other constraints on the lot make it insufficient to support the proposed development appropriately.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

Decatur Boulevard, a 100-foot Primary Arterial, is sufficient to meet the access needs of the proposed zoning district.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

15

ASSEMBLY DISTRICT

3

SENATE DISTRICT

11

ZON-16179 - Staff Report Page Six
December 21, 2006 - Planning Commission Meeting

NOTICES MAILED 215 (Mailed with VAR-16181 and SDR-16180)

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number ZON-16179 APN: 163-01-612-039
Name of Property Owner: Peter Chung & Yin YAN
Name of Applicant: peter chung & Yin YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

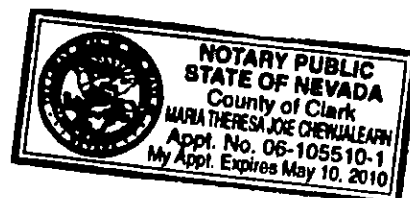
Signature of Property Owner: _____

Print Name: YIN YAN & peter chung

Subscribed and sworn before me

This 21 day of August, 2006

[Signature]
Notary Public in and for said County and State



16301612003
R-1

16301612002
R-1

16301612001
P-R

16301612038
R-1

OFFICE BLDG
16301612038
R-1



TRASH

ANGEL

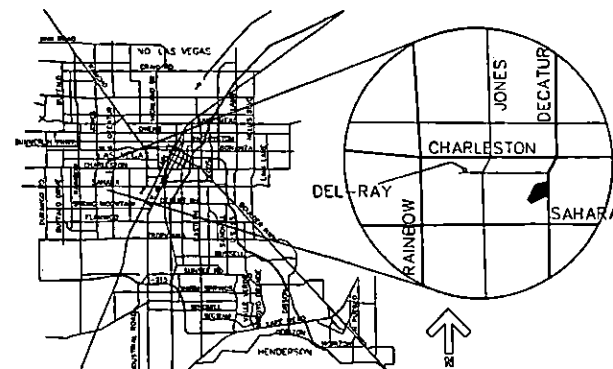
128.28'
SHARED ACCESS

16301614056
C-1

EXISTING SIDE WALK
DECATUR 87.77'

PROPERTY LINE

VICINITY MAP



PROJECT SUMMARY

SITE

SITE AREA: PHASE 1 8.55 ACRES (372,412 SQ.FT.)

PARCEL NUMBERS: PHASE 1 13B-27-802-004

CURRENT ZONING: LIMITED COMMERCIAL C-1

LDT COVERAGE BY BUILDING FOOT PRINT: (APPROX) ALLOWABLE 50%

SETBACKS

FRONT YARD: 20 FEET
SIDE YARDS: 10 FEET
REAR YARDS: 20 FEET

BUILDING HEIGHT ALLOWED: NONE

BUILDING OCCUPANCY

ONE STORY OFFICE 3,000 sq. ft.

MAXIMUM CAPACITY: 30 PEOPLE

PARKING

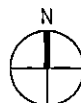
TOTAL PARKING REQUIRED
1 SPACE FOR EVERY 300 S.F. 3,000/300 = 10 SPACES
(HANDICAP SPACES) (1 SPACES)

REVISED
11.20.06

TOTAL PARKING PROVIDED
PARKING SPACES (10 SPACES)
(HANDICAP SPACES) (1 SPACES)

ANGEL OFFICE

NOV 20 2006
RECEIVED



GRAPHIC SCALE IN FEET

LENDALL MAINS
ARCHITECT
2300 East Perimeter Lane
Suite #11
Las Vegas, Nevada 89119
Phone 702.437.5621
Fax 702.437.5623

AS-1

NOV 20 2006
RECEIVED

ZON-16179 VAR-16181
VAR-17191 SDR-16180
12/21/06 PC REVISED

LENDALL MAINS ARCHITECT

August 21, 2004

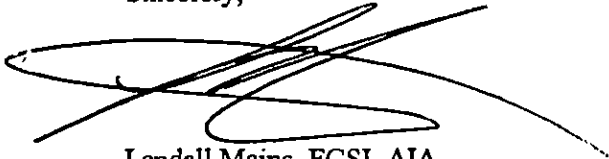
Doug Rankin, Planner
City of Las Vegas
731 S. 4th St.
Las Vegas, NV 89101

RE: 1333 Angel Drive
Request for Zoning Change, Site development, landscape wavers and trash and building variance.

Please accept this letter as justification for re-zoning changes to A.P.No. 163-016-120-38. We are also requesting perimeter landscape and parking landscape wavers and a variance for trash enclosure location and front pediment height at Decatur side of building.

We request that A.P. No. 163-016-120-38 be re-zoned from R-3 to C-1 Commercial which compliments the c-1 zoning to the property directly south that joint access is shared with. We are also changing the entry to the site from Angel Drive which is residential to Decatur Boulevard. We will comply with all C-1 requirements on the parcel except as follows. We are requesting that the following items be approved due to this being a small, odd shaped lot; parking and perimeter landscape will be provided as shown with a waver for widths; variance to have trash enclosure next to the adjacent C-1 parcel to keep the trash from being back by the adjacent residence; and a height variance for the front center parapet pediment that is along Decatur Boulevard from 18'-9" to 25'-9".

Sincerely,



Lendall Mains, FCSI, AIA
Principal

ZON-16179 VAR-16181

SDR-16180

12/21/06 PC

3930 E. Patrick Lane, Ste. 1
Las Vegas NV 89120
(702) 437-5621 Phone
(702) 437-5623 Fax

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - VAR-16181 - VARIANCE RELATED TO ZON-16179 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG -
Request for a Variance TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 56.25 FEET WHERE 77.25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A TRASH ENCLOSURE TO BE PLACED 6 FEET FROM RESIDENTIAL PROPERTY WHERE 50 FEET IS THE MINIMUM REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (MEDIUM DENSITY RESIDENTIAL) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).

NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE AND TO REDUCE THE FRONT YARD SETBACK TO 15 FEET WHERE A MINIMUM SETBACK OF 20 FEET AND TO REDUCE THE REAR SETBACK 15 FEET WHERE A MINIMUM SETBACK OF 20 FEET IS REQUIRED

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	1
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS with EVANS and TRUESDELL excused

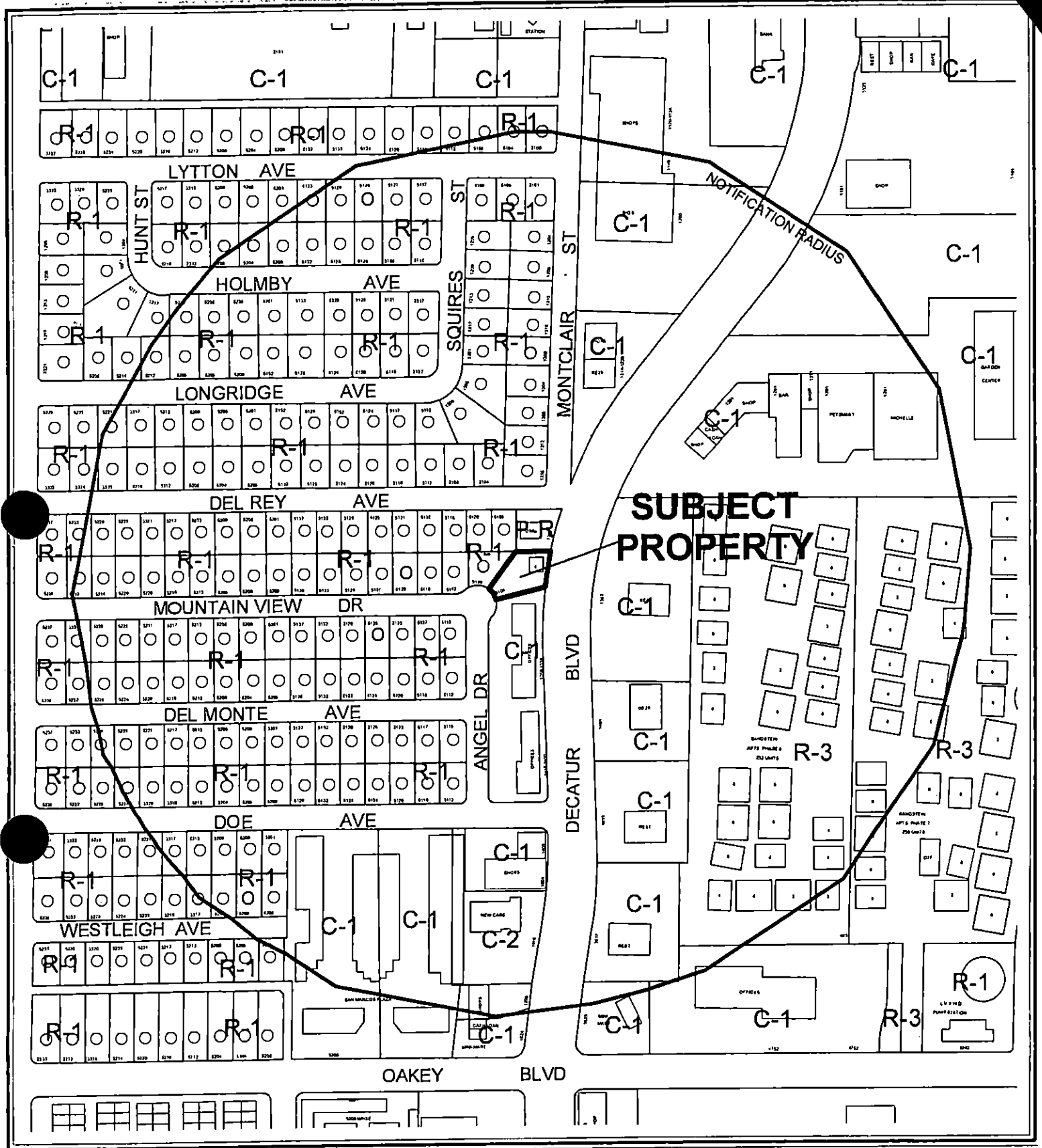
To be forwarded to City Council on 01/17/2007

MINUTES:

See Item 13 [ZON-16179] for all related discussion.

(6:43 – 7:00)

1-1369

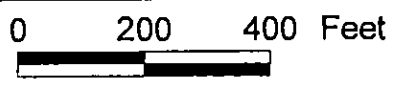


CASE: **VAR-16181**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-16181 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-16179), Variance (VAR-17191), and Site Development Plan Review (SDR-16180) if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-16181 - Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application serves to request a Variance to allow a trash enclosure to be located six feet from a residential property where 50 feet is required and to allow a residential adjacency setback of 56.25 feet where 77.25 feet is required, as well as a 15-foot front yard setback where 20 feet is required, and a 15-foot rear yard setback where 20 feet is required on 0.26 acres at 5104 Mountain View Drive. Companion applications include ZON-16179, VAR-17191, and SDR-16180.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/05/06	Planning Commission held in abeyance applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site.
11/02/06	Planning Commission held in abeyance to the 11/16/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
11/16/06	Planning Commission held in abeyance to the 12/21/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.

VAR-16181 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

12/21/06	Planning Commission will consider concurrent applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), and a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required, and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
----------	--

<i>Pre-Application Meeting</i>	
08/04/06	At a Pre-application meeting, the applicant was informed that the proposed office development will require a Rezoning, a Site Development Plan Review, and a Variance for residential adjacency for a trash enclosure.
<i>Neighborhood Meeting</i>	
	A Neighborhood Meeting is not required for this application, nor was one held.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.26

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning		
Subject Property	Duplex	SC (Service Commercial)	R-3 (Medium Density Residential)		
North	Office	SC (Service Commercial)	SC (Service Commercial)		
South	Office	SC (Service Commercial)	C-1 (Limited Commercial)		
East	Service Commercial	SC (Service Commercial)	C-1 (Limited Commercial)		
West	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)		
Special Districts/Zones			Yes	No	Compliance
Special Area Plan				X	N/A
Special Districts/Zones			Yes	No	Compliance
Special Purpose and Overlay Districts			X		Y
A-O Airport Overlay District – 200 Foot Buffer			X		Y
Trails				X	N/A
Rural Preservation Overlay District				X	N/A
Development Impact Notification Assessment				X	N/A
Project of Regional Significance				X	N/A

VAR-16181 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	0.26 Acres	Y
Min. Lot Width	100 Square Feet	87.77 Square Feet	N*
Min. Setbacks			
• Front	20 Feet	15 Feet	N
• Side	10 Feet	10 Feet	Y
• Corner	15 Feet	NA	NA
• Rear	20 Feet	15 Feet	N
Max. Lot Coverage	50%	27%	Y
Max. Building Height	2 Stories	1 Story and 25.75	Y
Trash Enclosure	50 Feet	6 Feet	N
Mech. Equipment	Screened	Yes	Y
<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	77.25 Feet	56.25 Feet	N
Adjacent development matching setback	15 Feet	15 Feet	Y
Trash Enclosure	50 Feet	6 Feet	N

* Addressed in companion Variance (VAR-17191)

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-3 (Medium Density Residential)	13-25 2 du on subject site	6 du/acre 2 du on subject site	C-1 (Limited Commercial)	0	SC (Service Commercial)	0

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	1 Tree	1 Tree	Y
Buffer:				
Min. Trees	1 Tree/20 Linear Feet	17 Trees	14 Trees	N**
TOTAL		18 Trees	15 Trees	N**
Min. Zone Width				
• East	15 Feet		5 Feet	N**
• Others	8 Feet		5 Feet	N**
Wall Height	6-8 Feet		Not Shown	

** Requested Waivers in companion Site Development Plan Review (SDR-16180)

VAR-16181 - Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	3,000 SF	1/300 SF	9	1	9	1	Y
TOTAL			10		10		Y

ANALYSIS

This variance has been requested because the front of the subject proposal does not meet several setback requirements. This development does not meet the 20-foot front yard setback requirement. The building is proposed to be located 15 feet from the front property line. Additionally, this development does not meet the residential adjacency and the rear yard setback requirements. The site elevations depict a 3:1 proximity slope setback of 56.25 feet where 77.25 feet is required, and the site plan shows a trash enclosure setback of six feet where 50 feet is required. The 25.75-foot overall building height, including the parapet requires a variance from residential adjacency setback requirements. Had the design incorporated a building height, including the parapet of 19 feet or less, no variance for residential adjacency would be needed. Additionally, the large size of the building prevents the trash enclosure from meeting the required residential adjacency requirement. Finally, because of the angled rear property line, the rear yard setback is as few as 15 feet near the northwest corner of the property where 20 feet is required. A companion Variance (VAR-17191) seeks to allow the C-1 (Limited Commercial) zoning on a site with a minimum width of 87 feet where 100 feet is required.

The subject proposal does not meet current Title 19 standards for landscaping. There is no parking area landscaping provided where two trees are required. Further, there is no buffer along the south property line in order to meet parking and access requirements.

While the subject site is undoubtedly restricted by an unusual shape and a sewer easement running along the southern edge of the property, the deviation from standards is considered a self-imposed hardship. The applicant is choosing to deviate from standards by requesting a zoning district which requires a wider lot where the alternative P-R (Professional Office and Parking) zoning district requires only a minimum lot width of 60 feet, exceeded by the subject site. Due to their design choice in utilizing a 25-foot high building, including the parapet, on a single-story structure and building a 3,000 square-foot office building, the applicant is proposing to overbuild the site.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

RL

VAR-16181 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

While this parcel is of an irregular shape and is further encroached by a sewer easement along the south property line, no evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship simply by proposing to overbuild on this site. A slightly smaller office building would allow conformance to the Title 19 setback, trash enclosure, parking and setback requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

15

ASSEMBLY DISTRICT 3

SENATE DISTRICT 11

NOTICES MAILED 215 [Mailed with ZON-16179, VAR-17191 & SDR-16180]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-16181** APN: 163-01-612-039
Name of Property Owner: Peter Chung & Yin YAN
Name of Applicant: Peter Chung & Yin YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

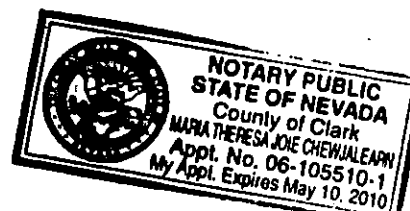
Signature of Property Owner: [Signature]

Print Name: Yin YAN & Peter Chung

Subscribed and sworn before me

This 21 day of August, 2006

[Signature]
Notary Public in and for said County and State



16301612003
R-1

16301612002
R-1

PROPERTY LINE

16301612001
P-R

82.84'

50'-3"

10'-0"

OFFICE BLDG
16301612038
R-1

TRASH

16301612038
R-1

110.45'

ANGEL

PROPERTY LINE

128.28'
SHARED ACCESS

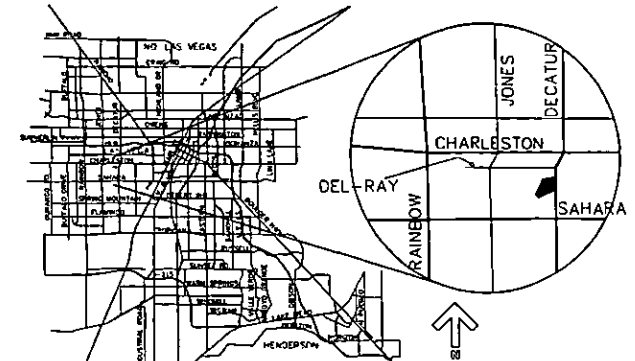
16301614056
C-1

EXISTING SIDE WALK
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87.77'

PROPERTY LINE

NEW OFFICE
SIGNAGE

VICINITY MAP



PROJECT SUMMARY

SITE

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REAR YARDS: 20 FEET

BUILDING HEIGHT
ALLOWED: NONE

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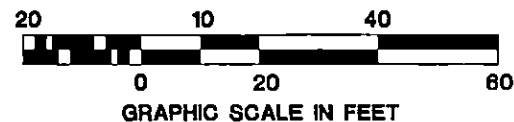
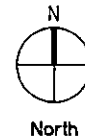
PARKING

TOTAL PARKING REQUIRED
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TOTAL PARKING PROVIDED
PARKING SPACES (10 SPACES)
(HANDICAP SPACES) (1 SPACES)

REVISED
11.20.06

ANGEL OFFICE

NOV 2 2006
RECEIVED



LENDALL MAINS
ARCHITECT
2250 East Pecos Lane
Suite #1
Las Vegas, Nevada 89120
Phone 702.437.5521
Fax 702.437.5623

AS-1

ZON-16179 VAR-16181
VAR-17191 SDR-16180
12/21/06 PC REVISED

LENDALL MAINS ARCHITECT

August 21, 2004

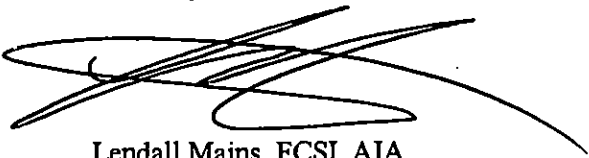
Doug Rankin, Planner
City of Las Vegas
731 S. 4th St.
Las Vegas, NV 89101

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Sincerely,



Lendall Mains, FCSI, AIA
Principal

VAR. 16181
12/21/06 PC

3930 E. Patrick Lane, Ste. 1
Las Vegas NV 89120
(702) 437-5621 Phone
(702) 437-5623 Fax

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: DECEMBER 21, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - VAR-17191 - VARIANCE RELATED TO ZON-16179 AND VAR-16181 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Variance TO ALLOW A MINIMUM LOT WIDTH OF 87 FEET WHERE 100 FEET IS THE MINIMUM WIDTH REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).

NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

C.C.: 01/17/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	1
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS with EVANS and TRUESDELL excused

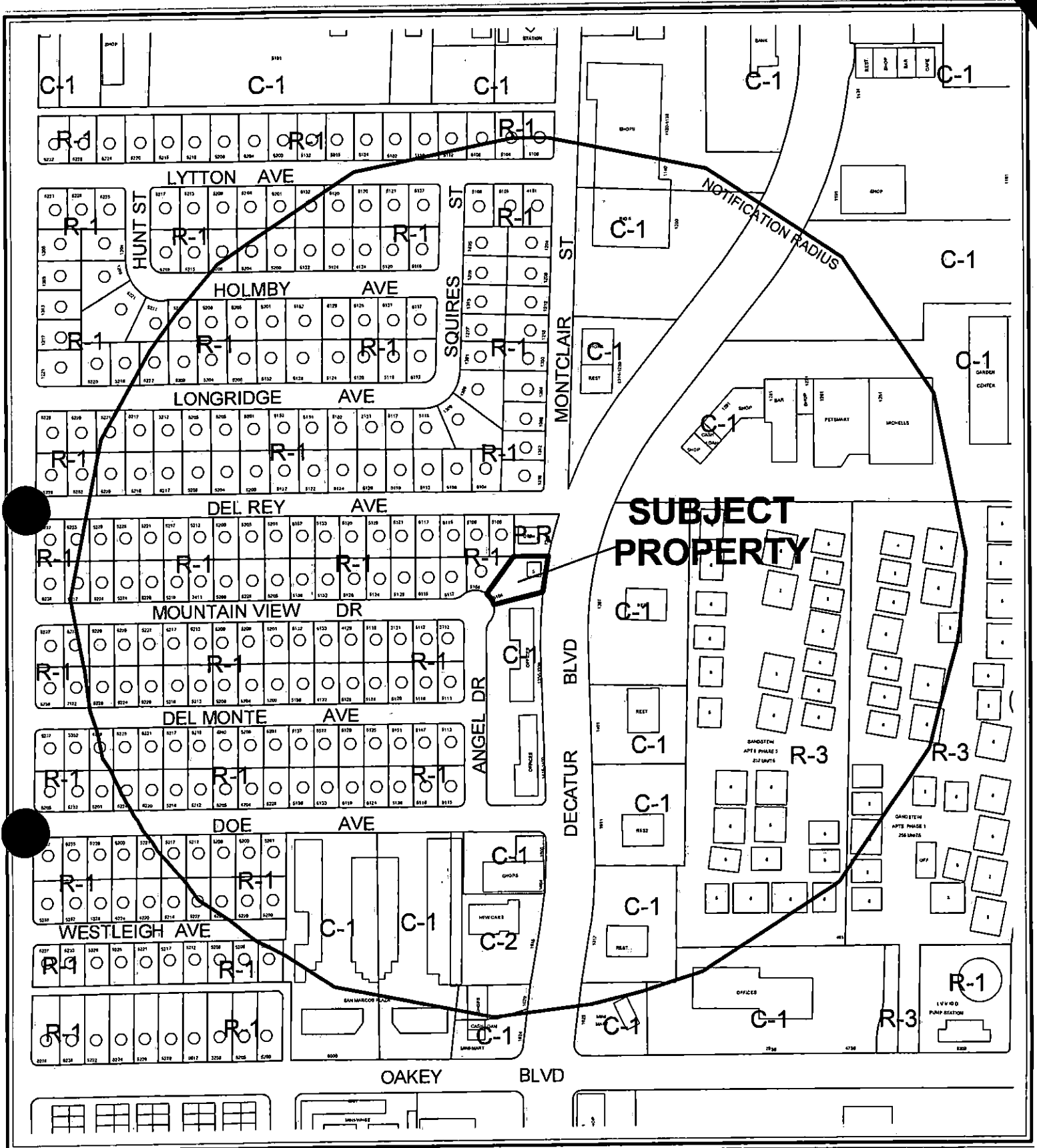
To be forwarded to City Council on 01/17/2007

MINUTES:

See Item 13 [ZON-16179] for all related discussion.

(6:43 – 7:00

1-1369

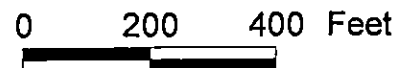


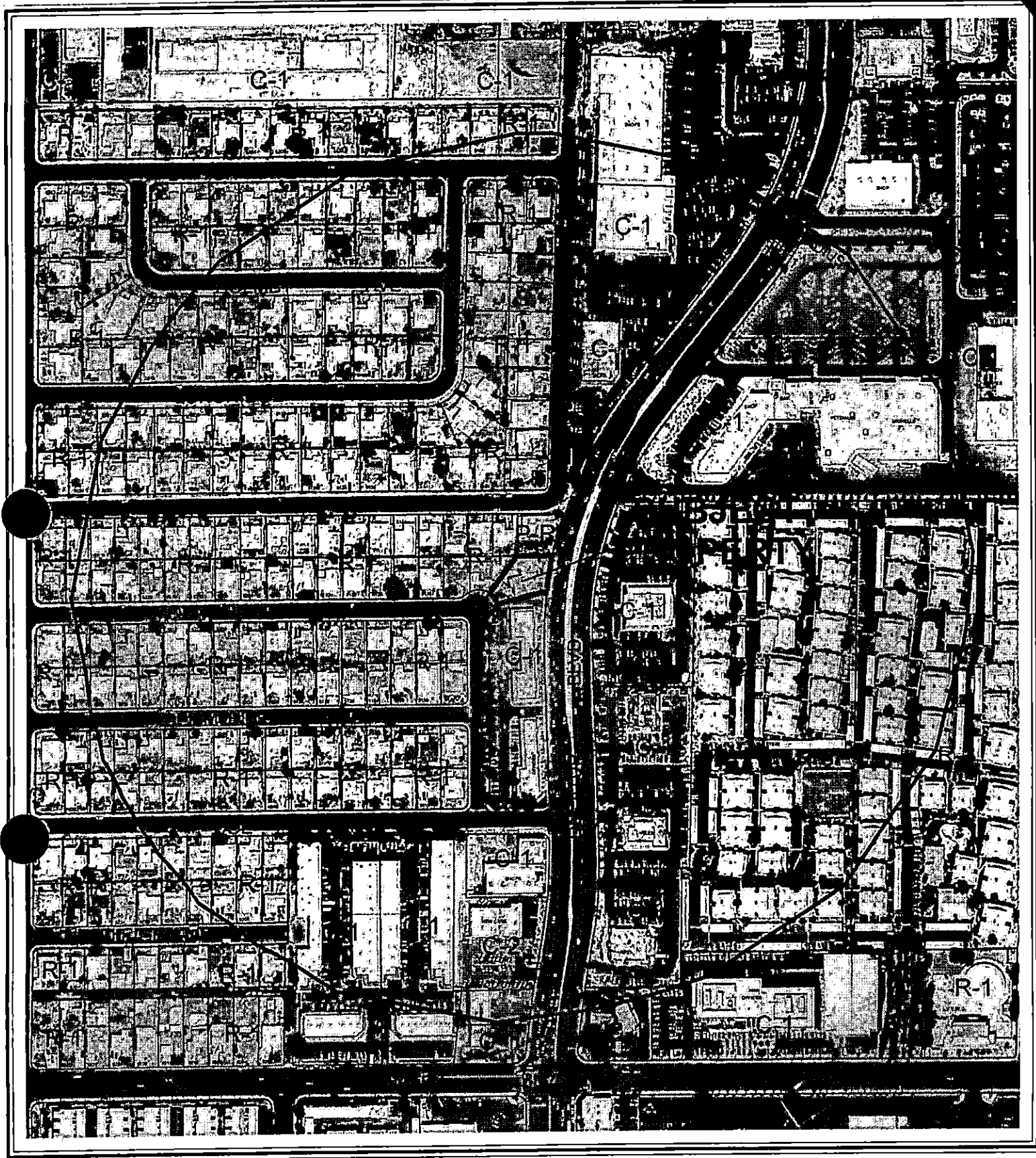
CASE: **VAR-17191**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)





CASE: **VAR-17191**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: DECEMBER 21, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-17191 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for Rezoning (ZON-16179), Variance (VAR-16181) and Site Development Plan Review (SDR-16180), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas

VAR-17191- Staff Report Page One
December 21, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application serves to request a Variance to allow a lot width of 87 feet where 100 feet is required on 0.26 acres at 5104 Mountain View Drive. Companion applications include ZON-16179, VAR-16181 and SDR-16180.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/05/06	Planning Commission held in abeyance applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site.
11/02/06	Planning Commission held in abeyance to the 11/16/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
11/16/06	Planning Commission held in abeyance to the 12/21/06 meeting applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site, a Variance (VAR-17191) to allow a 87-foot lot width where 100 feet is required and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.

VAR-17191 - Staff Report Page Two
December 21, 2006 - Planning Commission Meeting

12/21/06	Planning Commission will consider concurrent applications for a Rezoning (ZON-16179) from R-3 (Medium Density Residential) to C-1 (Limited Commercial), for a Variance (VAR-16181) to allow a trash enclosure residential adjacency setback of six feet where 50 feet is required on the subject site and to allow 15 foot front and rear setbacks where a 20 foot setback is required, and a Site Development Plan Review (SDR-16180) for a 3,000 square-foot office building on the subject site. Staff recommends denial on all applications.
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Pre-Application Meeting

08/04/06	At a Pre-application meeting, the applicant was informed that the proposed office development will require a Rezoning, a Site Development Plan Review, and a Variance for residential adjacency for a trash enclosure.
Neighborhood Meeting	
	A Neighborhood Meeting is not required for this application, nor was one held.

Details of Application Request

Site Area

Gross Acres	0.26
-------------	------

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Duplex	SC (Service Commercial)	R-3 (Medium Density Residential)
North	Office	SC (Service Commercial)	SC (Service Commercial)
South	Office	SC (Service Commercial)	C-1 (Limited Commercial)
East	Service Commercial	SC (Service Commercial)	C-1 (Limited Commercial)
West	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	Y
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		Y
A-O Airport Overlay District – 200 -foot Buffer	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y

RL

VAR-17191 - Staff Report Page Three
December 21, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	0.26 Acres	Y
Min. Lot Width	100 Square Feet	87.77 Square Feet	N
Min. Setbacks			
• Front	20 Feet	15 Feet	N*
• Side	10 Feet	10 Feet	Y
• Corner	15 Feet	NA	NA
• Rear	20 Feet	15 Feet	N*
Max. Lot Coverage	50%	27%	Y
Max. Building Height	2 Stories	1 Story	Y
Trash Enclosure	50 Feet	6 Feet	N*
Mech. Equipment	Screened	Yes	Y
<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	56.25 Feet	77.25 Feet	N*
Adjacent development matching setback	15 Feet	15 Feet	Y
Trash Enclosure	50 Feet	6 Feet	N*

* Addressed in companion Variance (VAR-16181)

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-3 (Medium Density Residential)	13-25 2 du on subject site	6 du/acre 2 du on subject site	C-1 (Limited Commercial)	0	SC (Service Commercial)	0

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	1 Tree	1 Tree	Y
Buffer:				
Min. Trees	1 Tree/20 Linear Feet	17 Trees	14 Trees	N**
TOTAL		18 Trees	15 Trees	N**
Min. Zone Width				
• East	15 Feet		5 Feet	N**
• Others	8 Feet		5 Feet	N**
Wall Height	6-8 Feet		Not Shown	

** Requested as waivers in companion Site Development Plan Review (SDR-16180)

VAR-17191- Staff Report Page Four
December 21, 2006 - Planning Commission Meeting

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office	3,000 SF	1/300 SF	9	1	9	1	Y
TOTAL			10		10		Y

Waivers		
Request	Requirement	Staff Recommendation
No Landscaping Buffer along south property line	8 -foot Buffer	Denial
5-foot Buffer along a 41-foot portion of the 110-foot west property lines	8 -foot Buffer	Denial
5-foot Buffer along a east property line	15 -foot Buffer	Denial

ANALYSIS

This variance has been requested because the subject proposal does not meet the minimum lot width requirements. The minimum lot width in the C-1 (Limited Commercial) zoning district is 100 feet where this lot is only 87 feet wide along the Decatur Avenue frontage. In addition, the size of the floor plan as well as the parking required to support an office of that size require the building to encroach the required rear yard setback by five feet and force the placement of the trash enclosure within six feet of the adjacent residential property. A related Variance (VAR-16181) will be considered concurrently for setback and residential adjacency deficiencies.

The subject proposal does not meet current Title 19 standards for landscaping in two areas. First, there is no parking area landscaping provided where two trees are required. Further, there is no buffer along the south property line in order to meet parking and access requirements.

While the subject site is undoubtedly restricted by an unusual shape and a sewer easement running along the southern edge of the property, the deviation from standards is considered a self-imposed hardship. The applicant is choosing to deviate from standards through their design choice in utilizing a 25-foot high building, including parapet and building a 3,000 square-foot office building on a site more suited to a smaller structure. Therefore, staff is recommending denial.

VAR-17191 - Staff Report Page Five
December 21, 2006 - Planning Commission Meeting

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship in proposing to overbuild this site. Alternatively proposing a site plan for a smaller structure along with a Rezoning request for P-R (Professional Office and Parking) would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

15

ASSEMBLY DISTRICT 3

SENATE DISTRICT 11

NOTICES MAILED 215 [Mailed with ZON-16179, VAR-16181 & SDR-16180]

APPROVALS 0

PROTESTS 0

RL



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17191** APN: 163-01-612-039

Name of Property Owner: PETER CHUNG & YIN YAN

Name of Applicant: PETER CHUNG & YIN YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

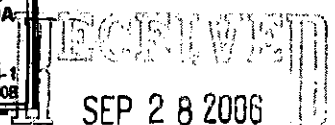
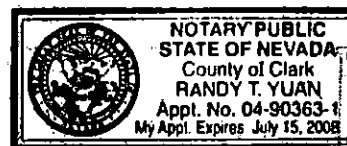
Signature of Property Owner: [Signature]

Print Name: PETER CHUNG & YIN YAN

Subscribed and sworn before me

This 25th day of Sep, 2006

[Signature]
Notary Public in and for said County and State



16301612003
R-1

16301612002
R-1

PROPERTY LINE

16301612001
P-R

82.84'

50'-3"

10'-0"

16301612038
R-1

110.45'

TRASH

OFFICE BLDG
16301612038
R-1

EXISTING SIDE WALK
DECATUR
87.77'

PROPERTY LINE

ANGEL

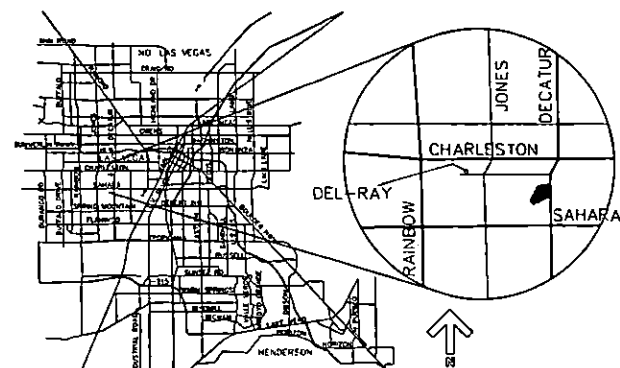
PROPERTY LINE

128.28'
SHARED ACCESS

16301614056
C-1

NEW OFFICE
SIGNAGE

VICINITY MAP



PROJECT SUMMARY

SITE

SITE AREA: PHASE 1 8.55 ACRES (372,412 SQ.FT.)
PARCEL NUMBERS: PHASE 1 138-27-802-004
CURRENT ZONING: LIMITED COMMERCIAL C-1
LOT COVERAGE BY BUILDING FOOT PRINT: (MAXIMUM) 50%
ALLOWABLE
SETBACKS
FRONT YARD: 20 FEET
SIDE YARDS: 10 FEET
REAR YARDS: 20 FEET

BUILDING HEIGHT ALLOWED: NONE

BUILDING OCCUPANCY

ONE STORY OFFICE 3,080 sq. ft.
MAXIMUM CAPACITY: 30 PEOPLE

PARKING

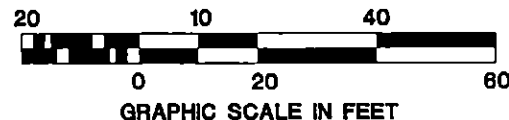
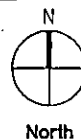
TOTAL PARKING REQUIRED
1 SPACE FOR EVERY 300 S.F. 3,000/300 = 10 SPACES
(HANDICAP SPACES) (1 SPACES)

TOTAL PARKING PROVIDED
PARKING SPACES (10 SPACES)
(HANDICAP SPACES) (1 SPACES)

REVISED
11.20.06

ANGEL OFFICE

NOV 20 2006
RECEIVED



LENDALL MAINS
ARCHITECT
2920 East Pecos Lane
Suite #1
Las Vegas, Nevada 89120
Phone 702.437.5821
Fax 702.437.5823

AS-1

ZON-16179 VAR-16181
VAR-17191 SDR-16180
12/21/06 PC REVISED

D.J.R. CONSTRUCTION, INC.

NV Lic. # 55636

General Contracting and Construction Mgmt.

September 22, 2006

City Of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

Re: Zon-16179 - Rezoning / 1333 Angel Drive

To Whom It May Concern,

Pursuant to the telephone call we received from your office today indicating the necessity of an additional variance to be filed in conjunction with the subject property re-zoning request related to the existing lot not meeting minimum lot width, please find the attached additional variance per your request. This letter serves also as the confirmation you requested of the need to address this minimum lot width variance, as well as your indication that it should not hinder the re-zoning of this property.

If you have any other requirements or questions of us, please do not hesitate to contact the undersigned.

*Further, it is acknowledged, that this will now be held until the
11/2/06 Planning Commission Mtg. DJR*

Sincerely,



David J. Roberts
President
D.J.R. CONSTRUCTION, INC.
Lic. #55636, Limit: \$750,000

RECEIVED
SEP 28 2006

w/ attachment

cc: Peter Chang, Yan Yin

8255 Hickam Ave. • Las Vegas, NV 89129 • (702) 210-8143 • Fax: (702) 210-1220

VAR-17191
12/21/06 PC