

Agenda

City of Las Vegas

PLANNING COMMISSION MEETING

NOVEMBER 16, 2006

Council Chambers 400 Stewart Avenue

Phone 229-6301

TDD 386-9108

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Las Vegas City Council

Mayor Oscar B. Goodman

Mayor Pro-Tem Gary Reese, Ward 3

Councilman Larry Brown, Ward 4

Councilman Lawrence Weekly, Ward 5

Councilman Steve Wolfson, Ward 2

Councilwoman Lois Tarkanian, Ward 1

Councilman Steven D. Ross, Ward 6

City Manager, Douglas Selby

Commissioners

Glenn E. Trowbridge, Chairperson

Steven Evans, Vice-Chairperson

Byron Goynes

Richard Truesdell

Leo Davenport

David W. Steinman

Sam C. Dunnam

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE. UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

CALL TO ORDER: 6:00 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ROLL CALL:

ANNOUNCEMENT: Compliance with the Open Meeting Law

NOTICE: This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2nd Floor Skybridge
Clark County Government Center, 500 South Grand Central Parkway
Las Vegas Library, 833 Las Vegas Boulevard North
Grant Sawyer Building, 555 East Washington Avenue
Bulletin Board, City Hall Plaza (next to Metro Records)

MINUTES: Approval of the October 5, 2006 and October 19, 2006 Planning Commission Meeting minutes by reference (___ vote)

ACTIONS: ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

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ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received; the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

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CONSENT ITEMS:

Consent items are considered routine by the Planning Commission and may be enacted by one motion. However, any item may be discussed if a commission member or applicant so desires.

1. TMP-17237 - TENTATIVE MAP - EMERALD CREST CONDOMINIUMS - APPLICANT/OWNER: NEVADA EQUITIES, LLC - Request for a Tentative Map FOR A PROPOSED 32-UNIT ADDITION TO AN EXISTING CONDOMINIUM DEVELOPMENT on 4.14 acres at the northeast corner of Torrey Pines Drive and Garwood Avenue (APNs 138-35-517-001 through 006; 138-35-517-013 through 030; 138-35-517-059 through 070), R-3 (Medium Density Residential) Zone and R-1 (Single Family Residential) Zone under Resolution of Intent to R-3 (Medium Density Residential) Zone, Ward 1 (Tarkanian).

ONE MOTION – ONE VOTE:

The following are items that may be considered in one motion/one vote. They are considered routine non-public and public hearing items that have no protests or condition changes by the applicant or staff. All public hearings and non-public hearings will be opened at one time. Any person representing an application or a member of the public or a member of the Planning Commission not in agreement with the conditions and all standard conditions for the application recommended by staff, should request to have that item removed from this part of the agenda.

2. RQR-17040 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: LAMAR OUTDOOR ADVERTISING - OWNER: RANCHO AIR CENTER, INC. - Required One-Year Review of an approved Special Use Permit (U-0059-01) WHICH ALLOWED TWO (2) 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS at the northeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-18-410-007), C-M (Commercial/ Industrial) Zone under Resolution of Intent to R-PD16 (Residential Planned Development - 16 Units Per Acre) Zone, Ward 5 (Weekly).
3. SUP-17308 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: EMAD KASHAT - OWNER: GERVASIA ENTERPRISE LIVING 1993 TRUST - Request for a Special Use Permit FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT IN CONJUNCTION WITH AN EXISTING RETAIL STORE at 6595 Smoke Ranch Road, Suites #140, #145, and #150 (APN 138-23-110-034), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

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4. **SUP-17310 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: V'S CHOC'LET CITY, INC. - OWNER: 7TH STREET PROPERTIES, LLC** - Request for a Special Use Permit FOR A PROPOSED TAVERN-LIMITED ESTABLISHMENT at 115 North 7th Street (APN 139-34-612-007), C-2 (General Commercial) Zone, Ward 5 (Weekly).
5. **VAC-17077 - VACATION - PUBLIC HEARING - APPLICANT: PULTE HOMES - OWNER: PN IL, INC.** - Petition to Vacate U.S. Government Patent Easements generally located south of Centennial Parkway, west of Schaumber Road, Ward 6 (Ross).
6. **SDR-17298 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: REPUBLIC SERVICES OF SOUTHERN NEVADA - OWNER: PREMIER TRUST OF NEVADA** - Request for a Site Development Plan Review FOR A PROPOSED PARKING LOT AND A WAIVER TO ALLOW A REDUCTION OF THE PERIMETER LANDSCAPING BUFFERING REQUIREMENTS on 0.52 acres adjacent to the north side of Sahara Avenue, approximately 600 feet east of 6th Street (APN 162-03-801-018), C-1 (Limited Commercial) Zone, Ward 3 (Reese).

PUBLIC HEARING ITEMS:

7. **ABEYANCE - RENOTIFICATION - GPA-16511 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST** - Request to Amend a portion of the Southwest Sector Plan of the Master Plan FROM: ML (MEDIUM-LOW DENSITY RESIDENTIAL) TO: MLA (MEDIUM-LOW ATTACHED DENSITY RESIDENTIAL) on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).
8. **ABEYANCE - RENOTIFICATION - ZON-16519 - REZONING RELATED TO GPA 16511 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST** - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) TO: R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE) on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).

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9. **ABEYANCE - RENOTIFICATION - VAR-16525 - VARIANCE RELATED TO GPA-16511 AND ZON-16519 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST** - Request for a Variance TO ALLOW 35,642 SQUARE FEET OF OPEN SPACE WHERE 53,370 SQUARE FEET IS THE MINIMUM REQUIRED on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone [PROPOSED: R-PD12 (Residential Planned Development - 12 Units Per Acre) Zone], Ward 5 (Weekly).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 35,642 SQUARE FEET OF OPEN SPACE WHERE 53,370 SQUARE FEET IS THE MINIMUM REQUIRED TO 33,226 SQUARE FEET OF OPEN SPACE WHERE 55,321 SQUARE FEET IS THE MINIMUM REQUIRED

10. **ABEYANCE - RENOTIFICATION - SDR-16522 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-16511, ZON-16519, AND VAR-16525 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST** - Request for a Site Development Plan Review FOR A PROPOSED 77-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone [PROPOSED: R-PD12 (Residential Planned Development - 12 Units Per Acre) Zone], Ward 5 (Weekly).
NOTE: THIS APPLICATION IS BEING AMENDED TO INCLUDE PROPOSED THREE-STORY DEVELOPMENT

11. **ABEYANCE - RENOTIFICATION - GPA-16578 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC.** - Request to Amend a portion of the Centennial Hills Sector Plan of the Master Plan FROM: DR (DESERT RURAL DENSITY RESIDENTIAL) TO: PCD (PLANNED COMMUNITY DEVELOPMENT) on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), Ward 6 (Ross).
NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER.

12. **ABEYANCE - RENOTIFICATION - ZON-16580 - REZONING RELATED TO GPA-16578 - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC.** - Request for a Rezoning FROM: U (UNDEVELOPED) [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION] TO: PD (PLANNED DEVELOPMENT) on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), Ward 6 (Ross).
NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER.

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13. **ABEYANCE - RENOTIFICATION - SDR-16581 - SITE DEVELOPMENT REVIEW RELATED TO GPA-16578 AND ZON-16580 - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC.** - Request for a Site Development Review FOR A PROPOSED TWO-STORY, 56-UNIT ASSISTED LIVING APARTMENT DEVELOPMENT WITH A 43,283 SQUARE-FOOT COMMERCIAL AMUSEMENT/RECREATION (INDOOR) FACILITY, 3,024 SQUARE FEET OF MEDICAL OFFICE SPACE, AND 1,382 SQUARE FEET OF RETAIL SPACE on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), U (Undeveloped) Zone [DR (Desert Rural Density Residential) Master Plan Designation] [PROPOSED: PCD (Planned Community Development) General Plan Designation] [PROPOSED: PD (Planned Development) Zone] Ward 6 (Ross).
NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER.
14. **ABEYANCE - RENOTIFICATION - ZON-16179 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Rezoning FROM: R-3 (MEDIUM DENSITY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE
15. **ABEYANCE - RENOTIFICATION - VAR-16181 - VARIANCE RELATED TO ZON-16179 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Variance TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 56.25 FEET WHERE 77.25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A TRASH ENCLOSURE TO BE PLACED 6 FEET FROM RESIDENTIAL PROPERTY WHERE 50 FEET IS THE MINIMUM on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (MEDIUM DENSITY RESIDENTIAL) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE
16. **ABEYANCE - RENOTIFICATION - VAR-17191 - VARIANCE RELATED TO ZON-16179 AND VAR-16181 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG** - Request for a Variance TO ALLOW A MINIMUM LOT WIDTH OF 87 FEET WHERE 100 FEET IS REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

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17. ABEYANCE - RENOTIFICATION - SDR-16180 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-16179, VAR-16181, AND VAR-17191 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Site Development Plan Review FOR A 3,000 SQUARE FOOT COMMERCIAL BUILDING AND A WAIVER OF THE PERIMETER LANDSCAPE REQUIREMENTS on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian). **NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE**
18. ABEYANCE - RENOTIFICATION - ZON-16510 - REZONING - PUBLIC HEARING - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Rezoning FROM: U (UNDEVELOPED) [SC (SERVICE COMMERCIAL) GENERAL PLAN DESIGNATION] TO: C-1 (LIMITED COMMERCIAL) on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), Ward 5 (Weekly).
19. ABEYANCE - RENOTIFICATION - VAR-16512 - VARIANCE RELATED TO ZON-16510 - PUBLIC HEARING - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Variance TO ALLOW 68 PERCENT LOT COVERAGE WHERE 50 PERCENT LOT COVERAGE IS THE MAXIMUM PERMITTED on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly).
20. ABEYANCE - RENOTIFICATION - VAR-16516 - VARIANCE RELATED TO ZON-16510 AND VAR-16512 - PUBLIC HEARING - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Variance TO ALLOW 89 PARKING SPACES WHERE 121 PARKING SPACES IS THE MINIMUM REQUIRED FOR A PROPOSED MIXED-USE DEVELOPMENT on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly).

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21. ABEYANCE - RENOTIFICATION - SUP-16520 - SPECIAL USE PERMIT RELATED TO ZON-16510, VAR-16512 AND VAR-16516 - PUBLIC HEARING - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Special Use Permit FOR A PROPOSED MIXED-USE DEVELOPMENT at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly).

22. ABEYANCE - RENOTIFICATION - SDR-16508 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-16510, VAR-16512, VAR-16516 AND SUP-16520 - PUBLIC HEARING - APPLICANT: NUVISION HOLDINGS, LLC - OWNER: THE MOYER TRUST - Request for a Site Development Plan Review FOR A PROPOSED 5-STORY, MIXED-USE DEVELOPMENT CONSISTING OF 10,500 SQUARE FEET OF COMMERCIAL SPACE AND 32 RESIDENTIAL UNITS on 0.98 acres at the southwest corner of Rainbow Boulevard and Peak Drive (APN 138-15-701-002), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] [PROPOSED: C-1 (Limited Commercial) Zone], Ward 5 (Weekly).
NOTE: THIS APPLICATION IS BEING AMENDED TO ADD A WAIVER TO ALLOW A REDUCTION IN THE PERIMETER LANDSCAPE BUFFER REQUIREMENTS AND TO ALLOW A SETBACK OF 60 FEET WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE 140 FEET

23. ABEYANCE - RENOTIFICATION - VAR-16497 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: KEN BERRYDANE - Request for a Variance TO ALLOW A NINE-FOOT SETBACK IN THE FRONT YARD WHERE 25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A FIVE-FOOT SETBACK IN THE REAR YARD WHERE 15 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE-FAMILY RESIDENCE on 0.48 acres at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 2521 DRIFTWOOD DRIVE TO 2520 DRIFTWOOD DRIVE

24. ABEYANCE - RENOTIFICATION - SUP-16498 - SPECIAL USE PERMIT RELATED TO VAR-16497 - PUBLIC HEARING - APPLICANT/OWNER: KEN BERRYDANE - Request for a Special Use Permit FOR A PROPOSED HABITABLE ACCESSORY STRUCTURE at 2521 Driftwood Drive (APN 139-32-512-016), R-PD4 (Residential Planned Development - 4 Units Per Acre) Zone, Ward 1 (Tarkanian).
NOTE: THIS APPLICATION IS BEING AMENDED FROM 2521 DRIFTWOOD DRIVE TO 2520 DRIFTWOOD DRIVE

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25. ABEYANCE - SUP-13490 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: FIRST PRESBYTERIAN CHURCH OF LV NV - Request for a Special Use Permit FOR A PROPOSED 40-FOOT TALL, 14 X 48 FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 1619 West Charleston Boulevard (APN 162-04-510-002), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
26. ZON-17242 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE) on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), Ward 6 (Ross).
27. VAR-17244 - VARIANCE RELATED TO ZON-17242 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Variance TO ALLOW A RESIDENTIAL PLANNED DEVELOPMENT ON 2.86 ACRES WHERE FIVE ACRES IS THE MINIMUM REQUIRED on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
28. SDR-17247 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-17242 AND VAR-17244 - PUBLIC HEARING - APPLICANT/OWNER: TOUSA HOMES, INC. - Request for a Site Development Plan Review FOR A PROPOSED FIVE-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT AND A WAIVER OF THE STREETSCAPE REQUIREMENTS on 2.86 acres at the northwest corner of Bradley Road and Deer Springs Way (APN 125-24-203-022), R-E (Residence Estates) Zone [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre) Zone], Ward 6 (Ross).
29. ZON-17304 - REZONING - PUBLIC HEARING - APPLICANT: DAVID PAWL - OWNER: VP PROPERTIES, LLC - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) AND C-1 (LIMITED COMMERCIAL) TO C-2 (GENERAL COMMERCIAL) on 2.67 acres at 2020 through 2022 West Bonanza Road and 719 Clarkway Drive (APN 139-28-301-020 and 029), Ward 5 (Weekly).

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30. VAR-17127 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC - Request for a Variance TO ALLOW 926 PARKING SPACES WHERE 937 PARKING SPACES ARE THE MINIMUM REQUIRED on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).
31. SDR-17128 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17127 - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC - Request for a Site Development Plan Review FOR A PROPOSED 124-UNIT ADDITION TO AN APPROVED APARTMENT COMPLEX on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).
32. VAR-17156 - VARIANCE - CORRECTED - PUBLIC HEARING - APPLICANT/OWNER: GLENN J. SORRELLS - Request for a Variance TO ALLOW A SEVEN-FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM HEIGHT PERMITTED IN A PORTION OF THE FRONT YARD on 0.15 acres at 1109 Shifting Sands Drive (APN 138-26-615-088), R-1 (Single Family Residential) Zone, Ward 5 (Weekly).
NOTE: THE APPLICATION IS FOR AN EIGHT FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM
33. VAR-17299 - VARIANCE - PUBLIC HEARING - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC. - Request for a Variance TO ALLOW 13 PARKING SPACES WHERE 27 PARKING SPACES ARE THE MINIMUM REQUIRED on 0.79 acres at 6565 Smoke Ranch Road (APN 138-23-110-031), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).
34. SUP-17301 - SPECIAL USE PERMIT RELATED TO VAR-17299 - PUBLIC HEARING - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC. - Request for a Special Use Permit FOR A PROPOSED PET BOARDING ESTABLISHMENT at 6565 Smoke Ranch Road (APN 138-23-110-031), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

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35. VAR-17306 - VARIANCE - PUBLIC HEARING - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC. - Request for a Variance TO ALLOW 15 PARKING SPACES WHERE 25 PARKING SPACES ARE THE MINIMUM REQUIRED FOR AN EXISTING SHOPPING CENTER on 0.63 acres at 4441 East Bonanza Road (APN 140-32-101-003), C-1 (Limited Commercial) Zone, Ward 3 (Reese).
36. SDR-17302 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17306 - PUBLIC HEARING - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC. - Request for a Site Development Plan Review FOR A PROPOSED 6,180 SQUARE-FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 4,480 SQUARE FEET OF RETAIL SPACE AND A 1,700 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH on 0.63 acres at 4441 East Bonanza Road (APN 140-32-101-003), C-1 (Limited Commercial) Zone, Ward 3 (Reese).
37. SUP-17204 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: MBD DEVELOPMENT - OWNER: PAULA A. AND KIMBERLY A. SCHNEIDER - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER at 6131 Grand Teton Drive (APN 125-14-504-001), R-E (Residence Estates) Zone, Ward 6 (Ross).
38. SDR-17205 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-17204 - PUBLIC HEARING - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLY A. SCHNEIDER - Request for a Site Development Plan Review FOR A PROPOSED 8,220 SQUARE-FOOT CHILD CARE CENTER on 0.97 acres at 6131 Grand Teton Drive (APN 125-14-504-001), R-E (Residence Estates) Zone, Ward 6 (Ross).
39. RQR-17098 - REQUIRED FOUR YEAR REVIEW - PUBLIC HEARING - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: CONSTANTINO NOVAL NV, LLC - Required Four-Year Review of an approved Special Use Permit (U-0025-98) WHICH ALLOWED A 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 73 South Martin L King Boulevard (APN 139-33-510-002), M (Industrial) Zone, Ward 5 (Weekly).

Agenda

City of Las Vegas

PLANNING COMMISSION MEETING

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40. SUP-17307 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH at 2620 Regatta Drive, Suite #117 (APN 138-16-717-002), C-1 (Limited Commercial) Zone, Ward 4 (Brown).
41. SDR-17057 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: SANTA FE 124, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 124-UNIT APARTMENT COMPLEX TO A CONDOMINIUM DEVELOPMENT on 6.0 acres at 1111 Warbonnet Way (APN 163-04-501-004), R-PD23 (Residential Planned Development - 23 Units Per Acre) Zone, Ward 2 (Wolfson).
42. SDR-17211 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC - Request for a Site Development Plan Review FOR A 3,560 SQUARE-FOOT ADDITION TO AN EXISTING OFFICE BUILDING AND A WAIVER TO ALLOW A REDUCTION OF PERIMETER LANDSCAPE BUFFER WIDTH REQUIREMENTS on 1.46 acres at 700 East Charleston Boulevard (APN 162-03-501-003), P-R (Professional Office and Parking) Zone, Ward 3 (Reese).
43. SDR-17259 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Site Development Plan Review FOR THE PROPOSED RENOVATION OF A CITY PARK on a portion of 68 acres at 850 North Mojave Road (APN 139-25-701-002), C-V (Civic) Zone, Ward 3 (Reese).

DIRECTOR'S BUSINESS:

44. TXT-17570 - TEXT AMENDMENT - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - Discussion and possible action to amend Title 19 of the Las Vegas Municipal Code to revise the standards for Mixed-Use Development, institute Transit-Oriented Development standards, and to revise associated standards accordingly.
45. DIR-17768 - DIRECTOR'S BUSINESS - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - Discussion and possible action to approve the 2007 Planning Commission Dates.

Agenda

City of Las Vegas

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CITIZENS PARTICIPATION:

Public comment during this portion of the agenda must be limited to matters within the jurisdiction of the Planning Commission no subject may be acted upon unless that subject is on the agenda and is scheduled for action. If you wish to be heard, give your name for the record. The amount of discussion on any single subject, as well as the amount of time any single speaker is allowed to speak, may be limited.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at (702) 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is (702) 386-9108.

AFFIDAVIT OF MAILING

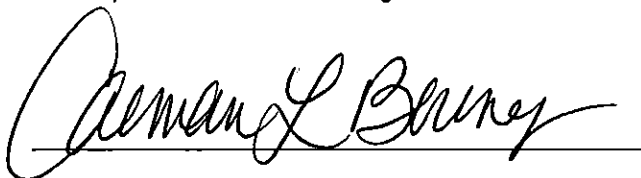
(Mailing required under the provisions of NRS Chapter 241)

STATE OF NEVADA)

) ss

COUNTY OF CLARK)

I Carman Livingston Burney, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of November 9, 2006, a copy of the November 16, 2006 Planning Commission Agenda, the attached of which is a true and correct copy, was mailed electronically and/or deposited in the United States Mail, Postage prepaid, First Class Mail, to each person and/or organization whose name appears on the list maintained in the Department of Planning and Development, Current Planning Division.



SIGNATURE

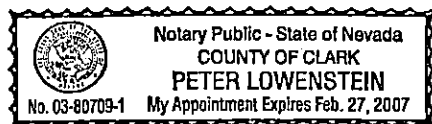
Planning and Development Department

Subscribed and sworn to before me this

9th day of November, 2006



NOTARY PUBLIC in and for said County and State



AFFIDAVIT OF POSTING

(Posting required under the provision of NRS 241, Sec. 1.3 and 1.5)

State of Nevada)

County of Clark)

City of Las Vegas)

I Ed Oakley, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of November 9, 2006, at the hour of 2:00 PM, there were posted copies of the November 16, 2006 Planning Commission Agenda, the attached of which is a true and correct copy, at the following locations:

1. In the Clark County Government Center
500 South Grand Central Parkway
2. In the Grant Sawyer Building
555 East Washington Avenue
(Go in through the main entrance. Straight ahead is the security desk. Ask one of the guards to unlock the bulletin board so that you may post the agenda.)
3. In the Las Vegas Library
833 Las Vegas Boulevard North
(Go through the double doors. To the right of the desk is the bulletin board. I am told that they keep it very neat. Take some extra pushpins as they may not have any).
4. City Clerk's Bulletin Board
400 Stewart Avenue, 2nd Floor Skybridge
(in the walkway area next to the entrance of the Human Resources Department. See City Clerk for key)
5. On the Public Bulletin Board at the Plaza Level to the City Hall
400 Stewart Avenue
(Near the entrance to the Court Clerk's Office)

Ed Oakley

(Signature)

Planning and Development Department

Subscribed and sworn to before me

This 9th day of November, 2006,

Teresa K. Morrell
Notary Public in and for said County and State





PLANNING COMMISSION AGENDA
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE.

THESE PROCEEDINGS ARE BEING PRESENTED LIVE ON KCLV, CABLE CHANNEL 2. THE PLANNING COMMISSION MEETING, AS WELL AS ALL OTHER KCLV PROGRAMMING, CAN BE VIEWED ON THE CITY'S INTERNET AT www.kclv.tv. THE PROCEEDINGS WILL BE REBROADCAST ON KCLV CHANNEL 2 AND THE WEB SATURDAY AT 10:00 AM, THE FOLLOWING MONDAY AT MIDNIGHT AND TUESDAY AT 5:00 PM.

PLEDGE OF ALLEGIANCE was led by CHAIRMAN TROWBRIDGE.

CALL TO ORDER: 6:01 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ANNOUNCEMENT RE: COMPLIANCE WITH OPEN MEETING LAW

MINUTES:

PRESENT: CHAIRMAN GLENN TROWBRIDGE, MEMBERS STEVEN EVANS, RICHARD TRUESDELL, BYRON GOYNES, LEO DAVENPORT, DAVID STEINMAN AND SAM DUNNAM arrived at 6:45

STAFF PRESENT: MARGO WHEELER – PLANNING & DEVELOPMENT DEPT., DOUG RANKIN – PLANNING & DEVELOPMENT DEPT., NATHAN GOLDBERG – PLANNING & DEVELOPMENT DEPT., BART ANDERSON – PUBLIC WORKS, RICK SCHROEDER – PUBLIC WORKS, BRYAN SCOTT – CITY ATTORNEY'S OFFICE, YDOLEENA YTURRALDE – CITY CLERK'S OFFICE, CARMEL VIADO – CITY CLERK'S OFFICE

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT **PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006**

SUBJECT:

Approval of the minutes of the October 5, 2006 Planning Commission Meeting

MOTION:

EVANS – ABEYANCE to 12/07/2006 – UNANIMOUS with DUNNAM excused

SUBJECT:

Approval of the minutes of the October 19, 2006 Planning Commission Meeting

MOTION:

EVANS – APPROVED – UNANIMOUS with DUNNAM excused

MINUTES:

There was no discussion.

(6:03)

1-50

MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and WITHDRAW WITHOUT PREJUDICE Item 37 [SUP-17204] and Item 38 [SDR-17205] – UNANIMOUS with DUNNAM excused

MINUTES:

DOUG RANKIN, Planning and Development Department, stated that the applicants for the following items requested the items be held in abeyance or withdrawn without prejudice. Letters are on file for each of the requests.

Item 14 [ZON-16179]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 15 [VAR-16181]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 16 [VAR-17191]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 17 [SDR-16180]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 26 [ZON-17242]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 27 [VAR-17244]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 28 [SDR-17247]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 29 [ZON-17304]	Abeyance to 1/25/2007 Planning Commission Meeting
Item 30 [VAR-17127]	Abeyance to 12/21/2006 Planning Commission Meeting

City of Las Vegas

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Housekeeping Items

MINUTES – Continued:

Item 31 [SDR-17128]	Abeyance to 12/21/2006 Planning Commission Meeting
Item 37 [SUP-17204]	WITHDRAWN WITHOUT PREJUDICE
Item 38 [SDR-17205]	WITHDRAWN WITHOUT PREJUDICE
Item 44 [TXT-17570]	Abeyance to 12/07/2006 Planning Commission Meeting

MR. RANKIN stated that Items 14 through 17 were requested by the applicant to be held in abeyance to 12/07/2006; however, staff requested the items be abeyed to 12/21/2006 to allow ample time to review any plan revisions and notice the public appropriately.

MR. RANKIN stated that the applicant of Items 26 through 28 requested an abeyance to the 12/21/2006 Planning Commission meeting; Item 29 [ZON-17304] was requested to be held in abeyance to 01/25/2007 in order to submit a site plan.

The applicant of Item 30 [VAR-17127] and related Item 31 [SDR-17128] requested the items be held to the 12/21/2006 Planning Commission meeting because the plans are being revised.

Item 37 [SUP-17204] and Item 38 [SDR-17205] were requested by the applicant to be withdrawn without prejudice.

MR. RANKIN reported that Item 44 [TXT-17570] is to be held to the 12/07/2006 Planning Commission meeting.

(6:04 – 6:07)



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

CHAIRMAN TROWBRIDGE announced the subdivision items could be appealed by the applicant or aggrieved person or a review requested by a member of the City Council.

ACTIONS:

ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

CHAIRMAN TROWBRIDGE read the statement on the order of the items and the time limitations on persons wishing to be heard on an item.

ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDA ITEM.



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

CHAIRMAN TROWBRIDGE noted the Rules of Conduct.

PLANNING COMMISSION MEETING RULES OF CONDUCT.

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received, the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☒ **CONSENT** ☐ **DISCUSSION**

SUBJECT:

TMP-17237 - TENTATIVE MAP - EMERALD CREST CONDOMINIUMS -
APPLICANT/OWNER: NEVADA EQUITIES, LLC - Request for a Tentative Map FOR A PROPOSED 32-UNIT ADDITION TO AN EXISTING CONDOMINIUM DEVELOPMENT on 4.14 acres at the northeast corner of Torrey Pines Drive and Garwood Avenue (APNs 138-35-517-001 through 006; 138-35-517-013 through 030; 138-35-517-059 through 070), R-3 (Medium Density Residential) Zone and R-1 (Single Family Residential) Zone under Resolution of Intent to R-3 (Medium Density Residential) Zone, Ward 1 (Tarkanian).

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation

MOTION:

EVANS – APPROVED subject to conditions – UNANIMOUS with DUNNAM excused

This is Final Action

MINUTES:

There was no discussion.

(6:07-6:08)

1-161

CONDITIONS:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 1 – TMP-17237

CONDITIONS – Continued:

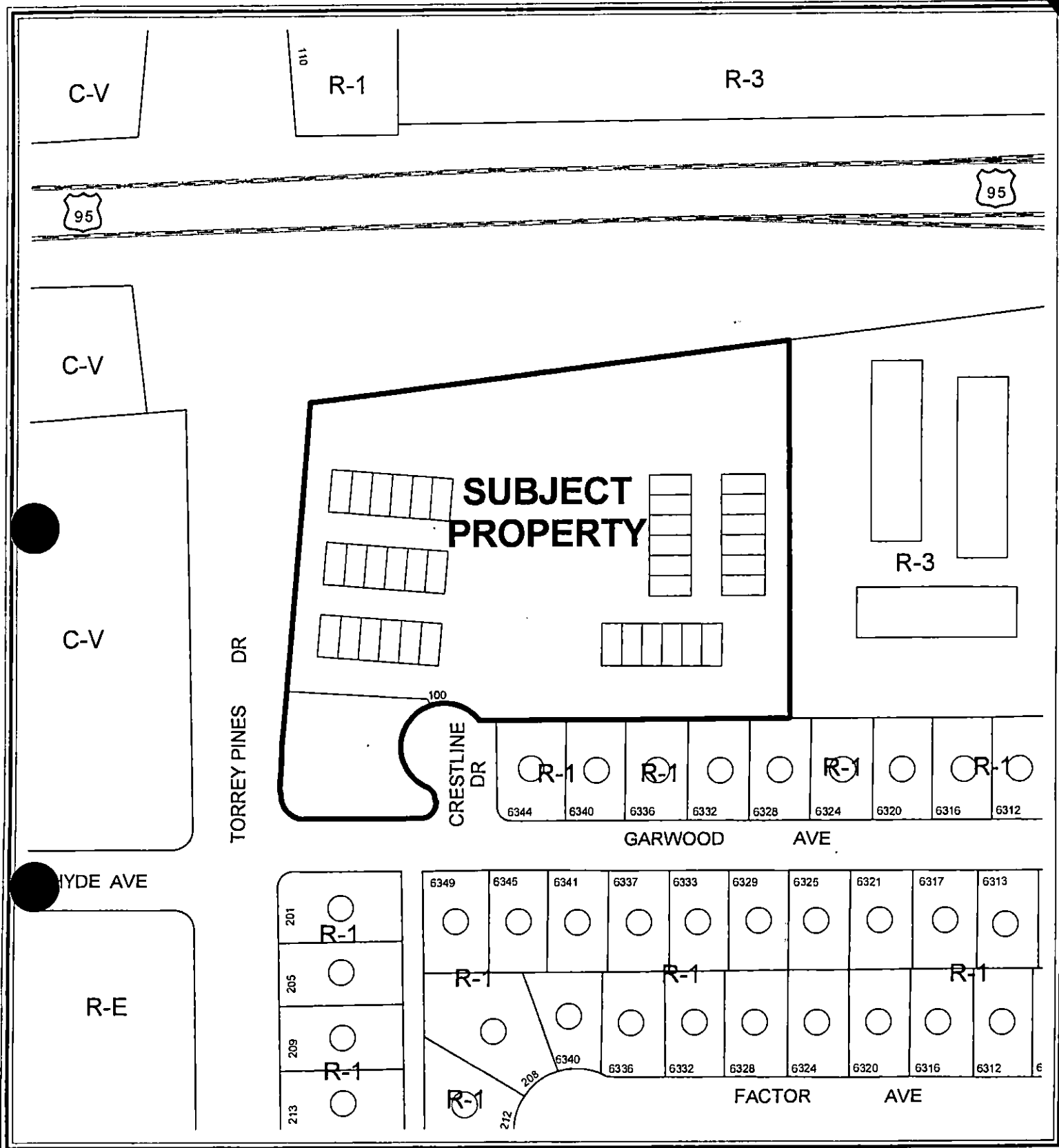
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-12930), Variances (VAR-12933 and VAR-13352), Rezoning (ZON-12932) and Vacation (VAC-12934).
3. If service from the Las Vegas Valley Water District (District) is planned, the applicant shall meet with the District to insure compliance with applicable standards for the installation of water mains. If easements are pursued, the plans must comply with District Service Rules Section 10.1j and Uniform Design and Construction Standards for Water Distribution Systems Section 2.04.
4. Coordinate with the City Surveyor to determine whether a Reversionary Map or other Map is necessary. If such a map is required, it shall record prior to the issuance of any permits for this site.
5. The applicant shall meet with the Las Vegas Valley Water District and the applicable Fire Department to insure compliance with standards for fire hydrants and water provision.
6. Street names must be provided in accordance with the City's Street Naming Regulations.
7. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.
8. All development is subject to the conditions of City Departments and State Subdivision Statutes.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 1 -- TMP-17237

CONDITIONS – Continued:

Public Works

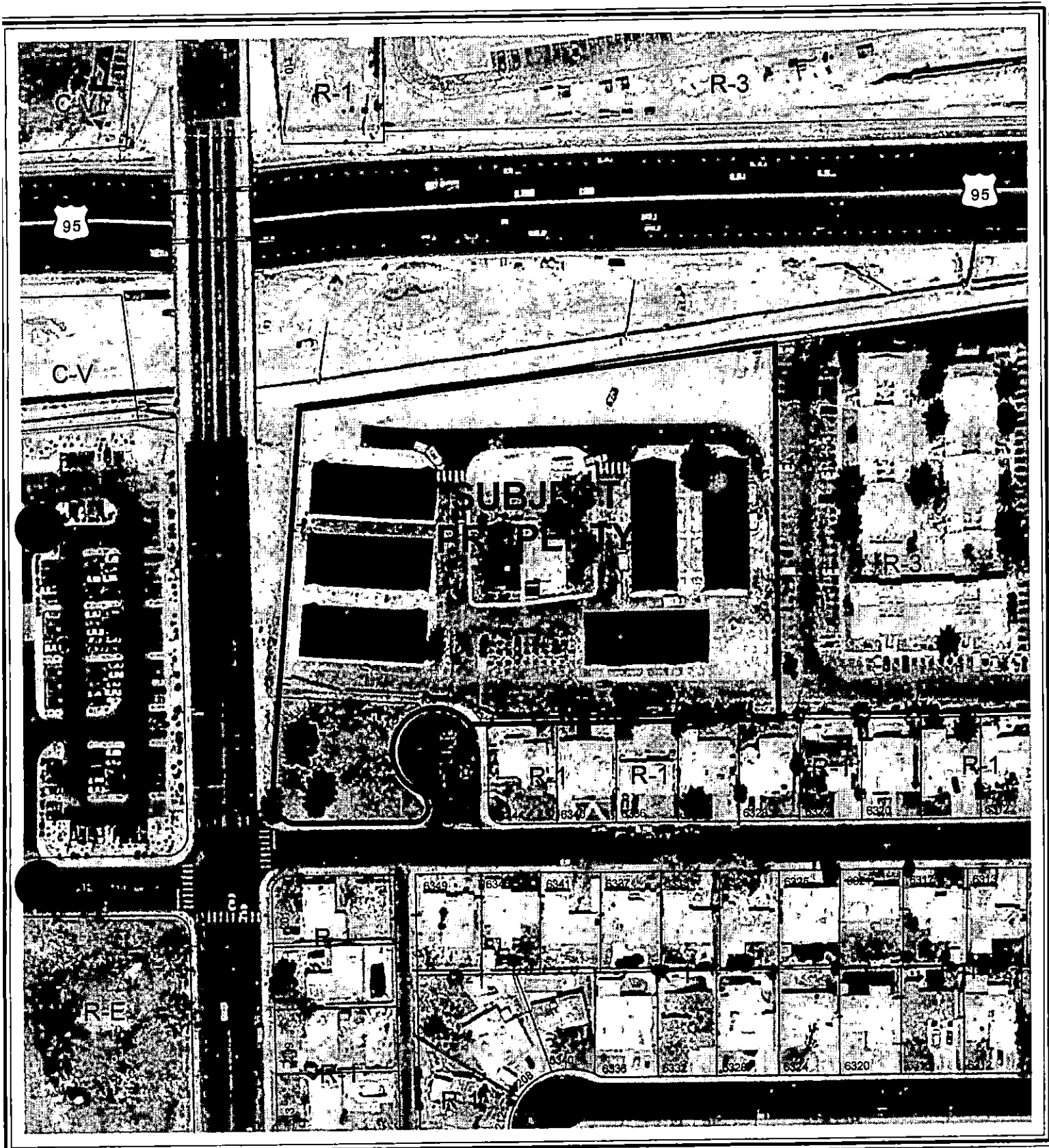
9. A Petition of Vacation for Crestline Drive, such as Vacation VAC-12934, shall record prior to the recordation of a map for this site.
10. Provide proof acceptable to the City Engineer that this site has legal access rights to use the eastern half of Crestline Drive for the project entrance prior to recordation of a Final Map for this site.
11. The Final Map for this site shall show the property line at the Garwood Avenue right-of-way alignment; the City of Las Vegas does not accept public ingress/egress easements. Alternatively, label the ingress/egress area as “private”.
12. Private drives shall be granted and labeled on the Final Map for this site as a Public Utility Easement (P.U.E.), City of Las Vegas Sewer Easement and Public Drainage Easement to be Privately Maintained by the Homeowners’ Association.
13. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
14. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-12932, Site Development Plan Review SDR-12930 and all other applicable site-related actions.
15. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



CASE: TMP-17237

ZONING OF SUBJECT PROPERTY:

R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-3 (MEDIUM DENSITY RESIDENTIAL) AND R-3 (MEDIUM DENSITY RESIDENTIAL)



CASE: TMP-17237

ZONING OF SUBJECT PROPERTY:

R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-3 (MEDIUM DENSITY RESIDENTIAL) AND R-3 (MEDIUM DENSITY RESIDENTIAL)



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: TMP-17237 - EMERALD CREST CONDOMINIUMS -****APPLICANT/OWNER: NEVADA EQUITIES, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-12930), Variances (VAR-12933 and VAR-13352), Rezoning (ZON-12932) and Vacation (VAC-12934) .
3. If service from the Las Vegas Valley Water District (District) is planned, the applicant shall meet with the District to insure compliance with applicable standards for the installation of water mains. If easements are pursued, the plans must comply with District Service Rules Section 10.1j and Uniform Design and Construction Standards for Water Distribution Systems Section 2.04.
4. Coordinate with the City Surveyor to determine whether a Reversionary Map or other Map is necessary. If such a map is required, it shall record prior to the issuance of any permits for this site.
5. The applicant shall meet with the Las Vegas Valley Water District and the applicable Fire Department to insure compliance with standards for fire hydrants and water provision.
6. Street names must be provided in accordance with the City's Street Naming Regulations.
7. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to

TMP-17237 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.

8. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

9. A Petition of Vacation for Crestline Drive, such as Vacation VAC-12934, shall record prior to the recordation of a map for this site.
10. Provide proof acceptable to the City Engineer that this site has legal access rights to use the eastern half of Crestline Drive for the project entrance prior to recordation of a Final Map for this site.
11. The Final Map for this site shall show the property line at the Garwood Avenue right-of-way alignment; the City of Las Vegas does not accept public ingress/egress easements. Alternatively, label the ingress/egress area as "private".
12. Private drives shall be granted and labeled on the Final Map for this site as a Public Utility Easement (P.U.E.), City of Las Vegas Sewer Easement and Public Drainage Easement to be Privately Maintained by the Homeowners' Association.
13. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
14. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-12932, Site Development Plan Review SDR-12930 and all other applicable site-related actions.
15. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written

TMP-17237 - Conditions Page Three
November 16, 2006 - Planning Commission Meeting

approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

TMP-17237 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The application is a request for a Tentative Map to construct 6 new buildings (32-units) within an existing 36 unit condominium development, a new clubhouse, pool, surface parking and garages, landscaping, and playground. The project is located on 4.14 acres located at the northeast corner of Torrey Pines Drive and Garwood Avenue. The project will require conformance to the conditions of approval for SDR-12930 and associated Rezone (ZON-12932), Variances (VAR-12933 and VAR-13352), and Vacation (VAC-12934).

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/21/06	The City Council approved a request for a Site Development Plan Review (SDR-12930) for a proposed 34-unit addition to an existing condominium development and a waiver for a reduction of perimeter landscaping on 4.14 acres at the northeast corner of Torrey Pines Drive and Garwood Avenue. A related Rezoning (ZON-12932), two Variances (VAR-12933 and VAR-13352), and Vacation (VAC-12934) were also considered with the request. Staff and Planning Commission recommended approval.
<i>Pre-Application Meeting</i>	
09/19/06	A Pre-application meeting was held with the project applicant. Development services staff informed the applicant that the project would require compliance with all conditions of approval for SDR-12930 and the associated Rezone (ZON-12932), Variances (VAR-12934 and VAR-13352), and Vacation (VAC-12934).
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this project nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	4.14 acres

TMP-17237 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Landscaping and Multi-Family Residential	Medium Density Residential	R-3 (Medium Density Residential)
North	State Right-of-Way (I-95)	State Right-of-Way (I-95)	ROW
South	Single Family Residential	Low Density Residential	R-1 (Single Family Residential)
East	Multi-Family Residential	Medium Density Residential	R-3 (Medium Density Residential)
West	Public Elementary School	Public Facilities	C-V (Civic)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

In accordance with Title 19.08, the following Development Standards apply to the proposed project:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	6,500	180,338	Y
Min. Setbacks	20 FEET	10 FEET	N*
• Front	5 FEET	20 FEET	Y
• Side	5 FEET	20 FEET	Y
• Corner	20 FEET	17.59 FEET	N*
• Rear			
Max. Building Height	2 stories or 35 FEET (lesser of the two)	2 stories / 23.8 FEET	Y

* The subject property does not meet the required front and rear setbacks. Therefore, the project will require compliance with approved Variance (VAR-12933).

TMP-17237 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

<i>Residential Adjacency Standards</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
3:1 proximity slope	63 foot setback for building No. 3	53 feet	N*
Adjacent development matching setback	15 feet	53 feet	Y

*Variance (VAR-13352) was approved to provide relief from the residential adjacency setback requirement.

ANALYSIS

- **Project Background and General Plan Compliance:**

The previous Site Development Plan Review (SDR-12930) approved a 34-unit, 6 building addition to an existing condominium site. The current project has been reduced to 32-units resulting in density of 16 units per acre which is within the density threshold of 25 units per acre for Medium Density Residential. Existing surrounding uses include public right-of-way (I-95) to the north, Torrey Pines Drive to the west, Garwood Avenue and single family residential to the south, and multi-family residential to the east.

- **Zoning**

The subject project requires compliance with approved Site Development Plan Review (SDR-12930), and Variances (VAR-13352 and VAR-12933). A Rezoning (ZON-12932) and Resolution of Intent (ROI) were approved for the site to change a 0.29 acre portion of the 4.14 acre property from R-1 (Single Family Residential) to R-3 (Medium Density Residential).

- **Residential Adjacency**

Approved variances addressed non-compliance with Title 19 Residential Development Standards for front and rear setbacks as well as Residential Adjacency setbacks. The project provides a 10-foot front setback where 20-feet is required, and a 17.59-foot rear setback where 20-feet is required. Furthermore, the project would not meet Residential Adjacency 3:1 proximity slope standards. Building 3 is 21 feet in height (mid-point of roof) and requires a 63 foot setback from the southern property line which is shared with existing single family residences. This development is setback 52 feet from the protected property line. As such, VAR-13352 was approved providing relief from the city standard. The minimum rear setback for the adjacent R-1 (Single Family Residential) zoning district is 15 feet. Building 3 is setback 52 feet from the protected property and is in compliance with Title 19 Residential Adjacency Standards. Lastly, a Waiver of the perimeter landscape standards was approved relieving the applicant from parking and perimeter landscape requirements.

TMP-17237 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

FINDINGS

- General information

The proposed project would add 32 condominium units to an existing 36 unit complex on a portion of 4.14 acres located at the intersection of Torrey Pines Drive and Garwood Avenue. The project includes 6 new residential buildings, a new community club house, playground area, garages and surface parking, landscaping and a swimming pool. The project site is designated as Medium Density Residential in the General Plan and is zoned R-3 (Medium Density Residential) which allows for up to 25 units per acre. Implementation of the proposed project would result in a total of 68 total units for a density of 16.4 units per acre. The proposed project would be compatible with neighboring residential uses.

- Cross Section

Project elevations show existing retaining wall heights of 6-feet along the entire perimeter of the site.

- Special Conditions of Approval (from SDR-12930)

1. A Waiver from Title 19.12 is hereby approved, to allow a reduction of perimeter buffer widths along the south and east property lines, and to allow 51 perimeter trees where 61 are required.
2. An Exception from Title 19.12 is hereby approved, to allow zero parking lot trees where four are required.
3. The minimum distance between buildings shall be 10 feet.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

17

ASSEMBLY DISTRICT N/A

SENATE DISTRICT N/A

NOTICES MAILED N/A

TMP-17237 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-17237** APN: see attached list.

Name of Property Owner: Nevada Equities, LLC

Name of Applicant: Nevada Equities, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

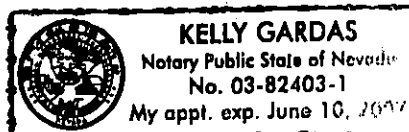
Print Name: Craig Burr

Subscribed and sworn before me

This 7th day of September, 2006

Kelly Gardas

Notary Public in and for said County and State



Existing APN numbers for Emerald Crest:

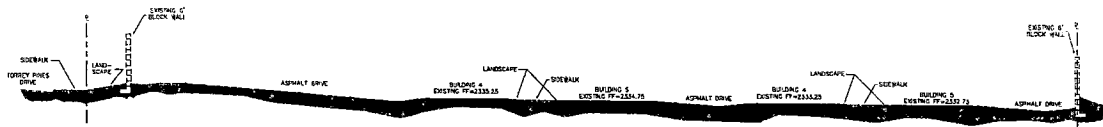
138-35-517-001 thru 006

138-35-517-013 thru 030

138-35-517-059 thru 070

TMP-17237
11/16/06 PC

	BAUGHMAN & TURNER, INC.		REGISTERED 2000	
	CIVIL ENGINEERS	LAND SURVEYORS	LAND PLANNERS	DATE
1210 HANSON STREET PHOENIX (602) 870-0771		LAS VEGAS, NEVADA FAX (702) 870-8905		JOB DRAWN CHECK SCALE



EAST/WEST PROPERTY PROFILE W/ FINISH FLOOR ELEVATIONS



NORTH/SOUTH PROPERTY PROFILE W/ FINISH FLOOR ELEVATIONS

RECEIVED
 OCT 12 2006

TMP-17237
 11/16/06 PC

EMERALD GUEST CONDOMINIUMS 2000 S. TOPEKA ST. SUITE 200 LAS VEGAS, NV 89102 TEL: (702) 735-1111 FAX: (702) 735-1112		BAUGHMAN & TURNER, INC. 1000 S. TOPEKA ST. SUITE 200 LAS VEGAS, NV 89102 TEL: (702) 735-1111 FAX: (702) 735-1112	NEVADA EMITER, LLC 1000 S. TOPEKA ST. SUITE 200 LAS VEGAS, NV 89102 TEL: (702) 735-1111 FAX: (702) 735-1112
2000 S. TOPEKA ST. SUITE 200 LAS VEGAS, NV 89102 TEL: (702) 735-1111 FAX: (702) 735-1112		2000 S. TOPEKA ST. SUITE 200 LAS VEGAS, NV 89102 TEL: (702) 735-1111 FAX: (702) 735-1112	

TMP 17237				
Emerald Crest Condominiums				
NEC Garwood & Torrey Pines				
Proposed 32 unit multi-family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RES. CONDO/TOWNHOUSE [DWELL]	32	5.86	188
AM Peak Hour			0.44	14
PM Peak Hour			0.52	17
<i>(heaviest 60 minutes)</i>				
Existing traffic on all nearby streets: Counts are not available for Garwood Avenue				
Torrey Pines Drive				
Average Daily Traffic (ADT)	15,055			
PM Peak Hour	1204			
<i>(heaviest 60 minutes)</i>				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Torrey Pines Drive	32585			
This project will add approximately 188 trips per day on Garwood and Torrey Pines. This will increase expected volumes by about one percent on Torrey Pines. Torrey Pines is at 46 percent of capacity. Counts are not available for Garwood, but it is believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 17 additional cars into the area; which works out to about two every seven minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



TMP-17237 - EMERALD CREST CONDOMINIUMS - APPLICANT/OWNER: NEVADA EQUITIES, LLC
NORTHEAST CORNER OF TORREY PINES DRIVE AND GARWOOD AVENUE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06



TMP-17237 - EMERALD CREST CONDOMINIUMS - APPLICANT/OWNER: NEVADA EQUITIES, LLC
NORTHEAST CORNER OF TORREY PINES DRIVE AND GARWOOD AVENUE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06



TMP-17237 - EMERALD CREST CONDOMINIUMS - APPLICANT/OWNER: NEVADA EQUITIES, LLC
NORTHEAST CORNER OF TORREY PINES DRIVE AND GARWOOD AVENUE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

RQR-17040 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: LAMAR OUTDOOR ADVERTISING - OWNER: RANCHO AIR CENTER, INC. - Required One-Year Review of an approved Special Use Permit (U-0059-01) WHICH ALLOWED TWO (2) 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS at the northeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-18-410-007), C-M (Commercial/ Industrial) Zone under Resolution of Intent to R-PD16 (Residential Planned Development - 16 Units Per Acre) Zone, Ward 5 (Weekly).

IF APPROVED: C.C.: 12/20/06

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location, Aerial, Separation and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. City Council Approval Letters for RQR-6794
5. City Council Approval Letters for RQR-4239

MOTION:

GOYNES – APPROVED subject to conditions and deleting Condition 4 – **UNANIMOUS** with **DUNNAM** excused

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

This item was under the One Motion /One Vote portion of the agenda and was brought forward for discussion upon **COMMISSIONER STEINMAN'S** request.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 2 – RQR-17040

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, indicated that this is the fourth review of the billboard and he recommended approval with the deletion of Condition 4.

ATTORNEY STEPHANIE ALLEN, 3800 Howard Hughes Parkway, appeared on behalf of the applicant, noted staff's favorable recommendation and concurred with the deletion of Condition 4.

DON DOERING, 4324 Mark Avenue, expressed concern about embellishments on the sign located at Smoke Ranch Road and Rancho Drive.

DEPUTY CITY ATTORNEY BRYAN SCOTT clarified that under the City's billboard Code embellishments are permitted; however, embellishments that include words or logos are not allowed. MR. DOERING stated that Lamar Advertising has another sign that does not abide by Code and he requested the matter be denied in order to inform billboard companies that the City will not tolerate non-compliance.

ATTORNEY ALLEN confirmed that the sign under review does not have any embellishments. She assured the Commissioner that she would follow up with Lamar Advertising about any other billboards that may not be in compliance with the City's Code.

COMMISSIONER STEINMAN concurred with the concerns of embellishments and stated that he has witnessed billboard companies deliberately erect embellishments. He requested clarification about the Code in regard to the number of signs per face. MR. RANKIN clarified that the Code does not restrict the number of signs per face and the City Council has approved reviews without that restriction. The deletion of Condition 4 would support the City Council's acceptance of two signs per face.

COMMISSIONER STEINMAN recollected that last year the item was approved with the caveat that should development occur at the subject property, the signs would be removed. MARGO WHEELER, Director of Planning and Development, explained that Condition 1 and Conditions 2 address the development caveat that COMMISSIONER STEINMAN pointed out. She stated that Condition 2 is in effect should the applicant fail to file for any permits in the ensuing year. ATTORNEY ALLEN acknowledged and confirmed that Lamar Advertising would honor all conditions.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

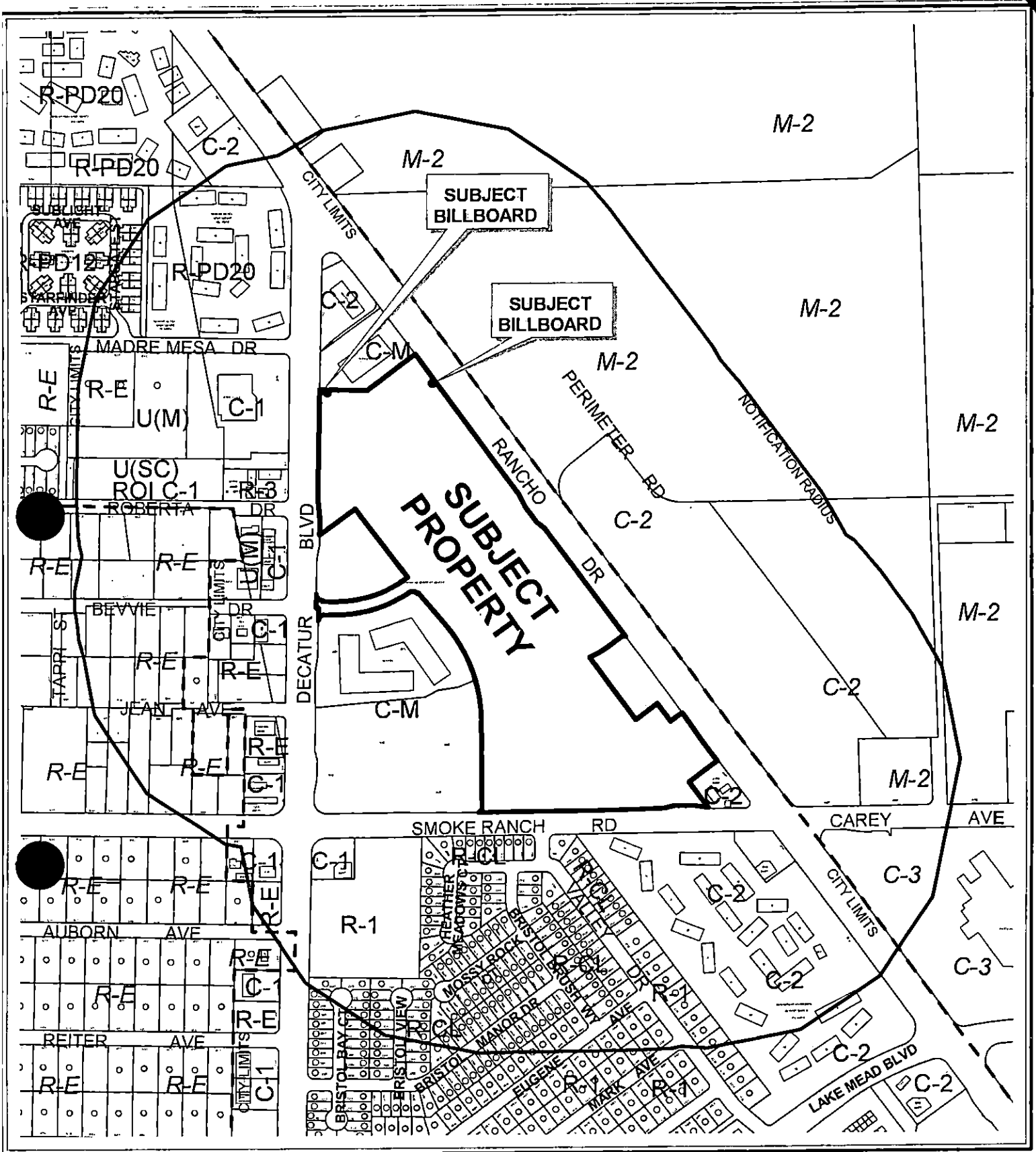
CONDITIONS:

Planning and Development

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 2 – RQR-17040

CONDITIONS – Continued:

1. The subject billboards shall comply with condition of approval number four (4) from Site Development Plan Review (SDR-10806), which stated “The two existing billboards located on the subject property shall be removed prior to the time application is made for a building permit”.
2. The Special Use Permit shall be reviewed in one (1) year if no building permits have been issued on the subject site. At which time the City Council may require the off-premise sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign is removed.
3. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign
4. Only one advertising sign is permitted per sign face.
5. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, and (2) the location is in compliance with all applicable standards of Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
6. All City Code requirements and design standards of all City Departments shall be satisfied.



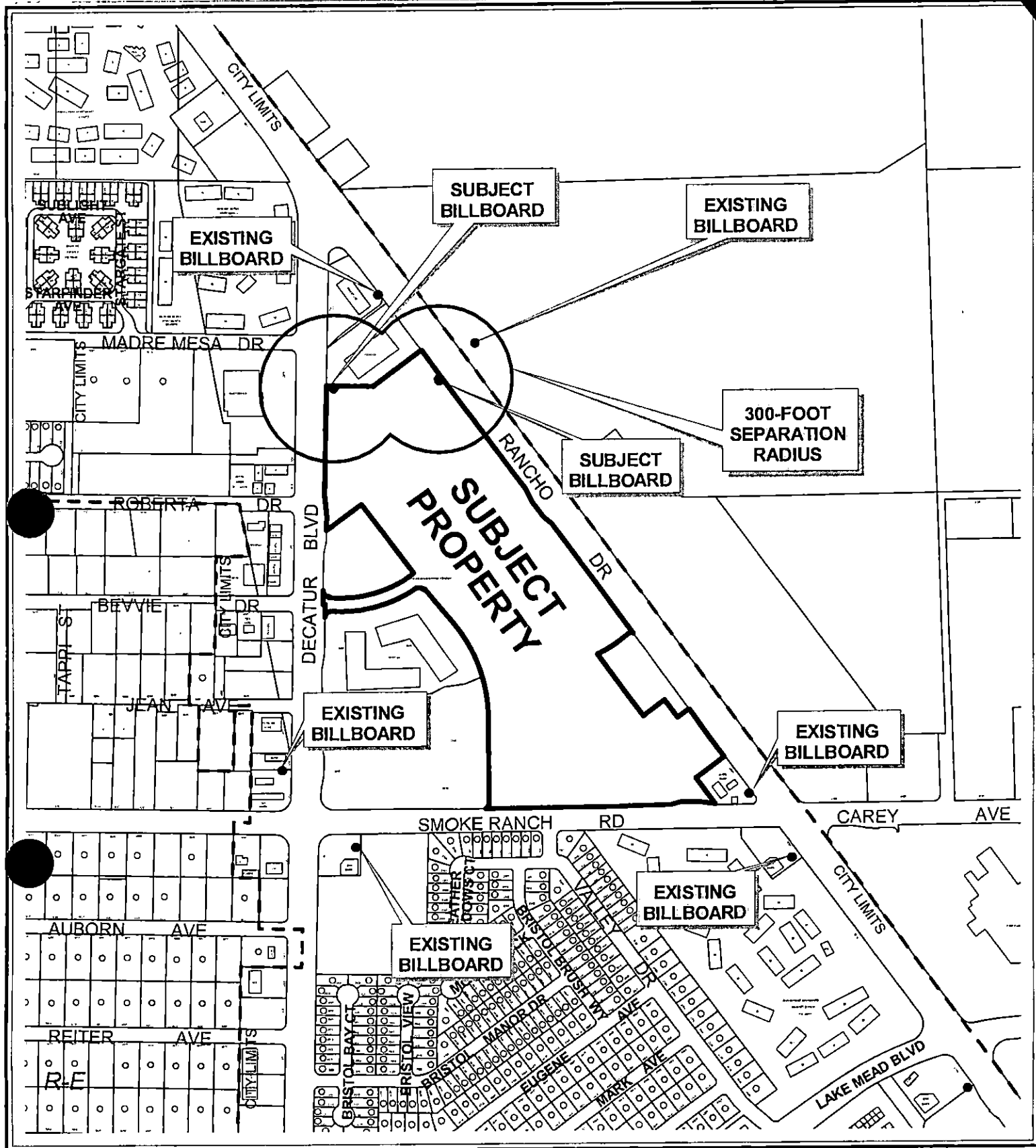
CASE: **RQR-17040**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

C-M (COMMERCIAL/INDUSTRIAL) UNDER RESOLUTION OF INTENT TO R-PD16
(RESIDENTIAL PLANNED DEVELOPMENT - 16 UNITS PER ACRE)





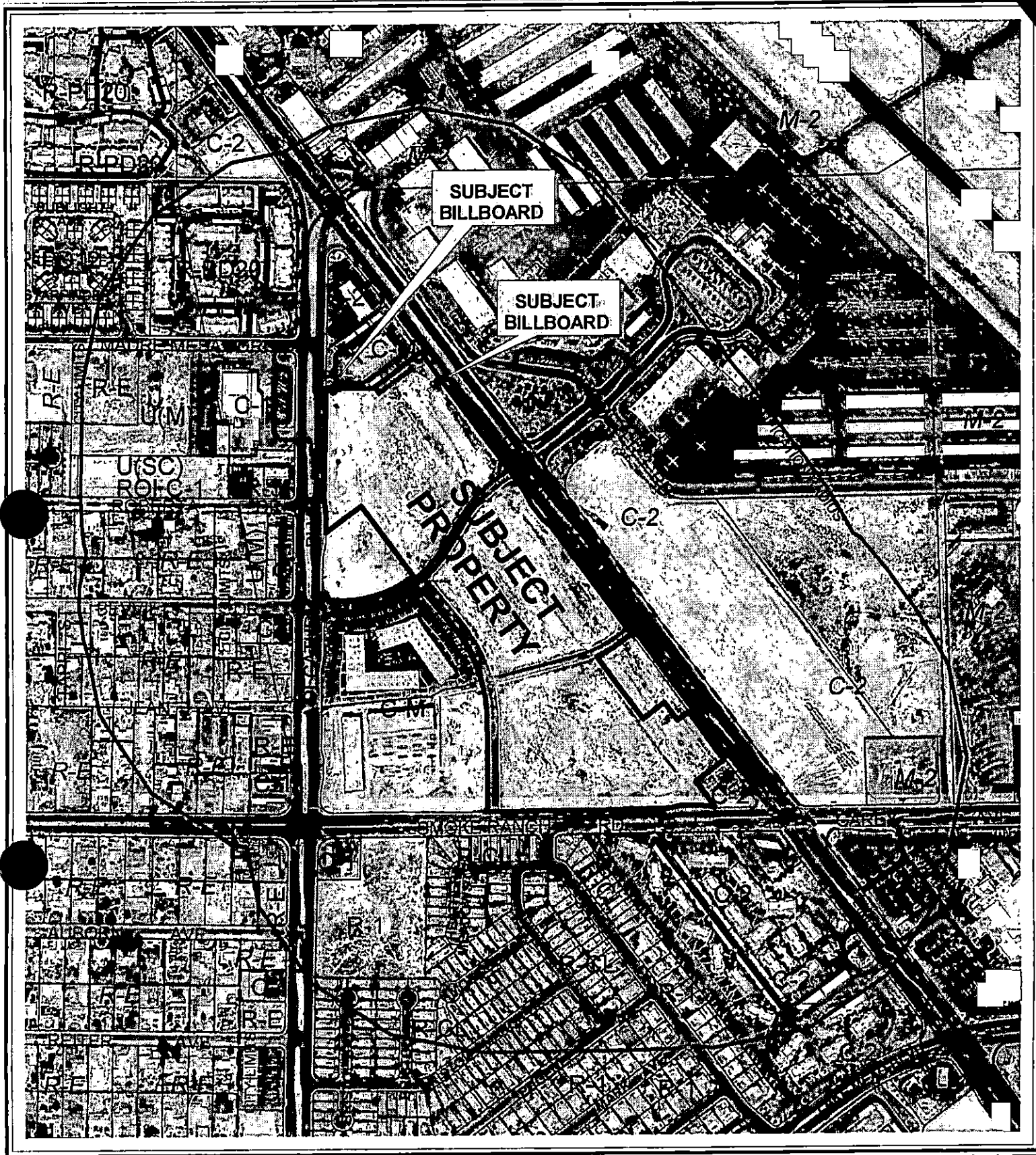
CASE: RQR-17040

SEPARATION RADIUS: 300 FT

ZONING OF SUBJECT PROPERTY:

C-M (COMMERCIAL/INDUSTRIAL) UNDER RESOLUTION OF INTENT TO R-PD16
(RESIDENTIAL PLANNED DEVELOPMENT - 16 UNITS PER ACRE)





CASE: **RQR-17040**

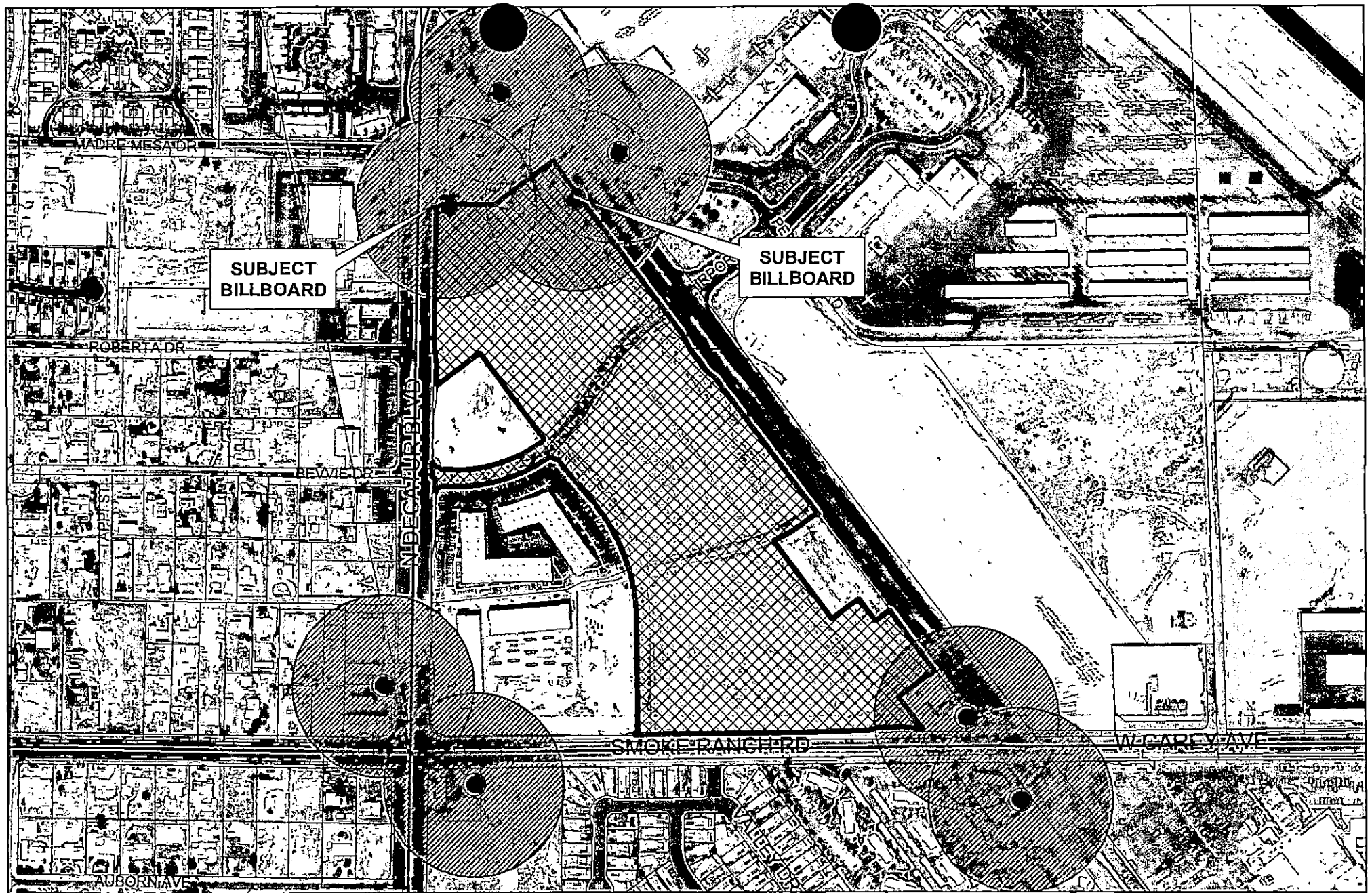
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

C-M (COMMERCIAL/INDUSTRIAL) UNDER RESOLUTION OF INTENT TO R-PD16
(RESIDENTIAL PLANNED DEVELOPMENT - 16 UNITS PER ACRE)

0 800 1600 Feet





RQR-17040

City of Las Vegas Billboard Data

- | | | |
|--|--|---|
|  Subject Parcel |  300 Foot Buffer Around Billboard |  Off Premise Sign Exclusion Area |
|  City of Las Vegas Billboard Location |  750 Foot Buffer Around Freeway Billboard |  Exempt - Off Premise Area Sign Area |
|  Clark County Billboard Location | | |



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: RQR-17040 - APPLICANT: LAMAR OUTDOOR
ADVERTISING - OWNER: RANCHO AIR CENTER, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. The subject billboards shall comply with condition of approval number four (4) from Site Development Plan Review (SDR-10806), which stated "The two existing billboards located on the subject property shall be removed prior to the time application is made for a building permit".
2. The Special Use Permit shall be reviewed in one (1) year if no building permits have been issued on the subject site. At which time the City Council may require the off-premise sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign is removed.
3. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
4. Only one advertising sign is permitted per sign face.
5. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, and (2) the location is in compliance with all applicable standards of Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
6. All City Code requirements and design standards of all City Departments shall be satisfied.

RQR-17040 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a required One-Year Review of an approved Special Use Permit (U-0059-01) which allowed two (2) 14-foot x 48-foot Off-Premise Advertising (Billboard) Signs at the northeast corner of Smoke Ranch Road and Decatur Boulevard.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/21/88	The City Council approved a Special Use Permit (U-0157-88) for two 40-foot tall, 12-foot by 24-foot Off-Premise Advertising (Billboard) Signs on the subject site, subject to review in five years. The Board of Zoning Adjustment and staff recommended approval.
06/21/89	The City Council approved a Special Use Permit (U-0054-89) to allow an additional Off-Premise Advertising (Billboard) Sign on this site. The Board of Zoning Adjustment and staff recommended approval.
08/21/91	The City Council approved a Variance (V-0081-91) to allow a three-sided Off-Premise Advertising (Billboard) Sign on this site. This Variance was never exercised. The Board of Zoning Adjustment took no action due to a tie vote. Staff recommended approval.
01/19/94	The City Council approved a Five Year Review [U-0157-88(1)] of an approved Special Use Permit, which allowed two 40-foot tall, 12-foot by 24-foot Off-Premise Advertising (Billboard) Signs on the subject site, subject to review in five years. The Board of Zoning Adjustment and staff recommended approval.
07/20/94	The City Council approved a Five Year Review [U-0054-89(1)] on an approved Off-Premise Advertising (Billboard) Sign on this site. The Board of Zoning Adjustment and staff recommended approval.
09/20/95	The City Council approved a Special Use Permit (U-0092-95) for two (2) 12-foot by 24-foot Off-Premise Advertising (Billboard) Signs on this site. The Board of Zoning Adjustment and staff recommended approval.
02/16/00	The City Council approved the appeal of the Planning Commission denial of a Five Year Review [U-0157-88(2)] of an approved Special Use Permit, which allowed two 40-foot tall, 12-foot by 24-foot Off-Premise Advertising (Billboard) Signs on the subject site, subject to review in two years. Staff had recommended denial.
11/01/00	The City Council accepted the Withdrawal of a Five-year Review [U-0092-95(1)] for two (2) Off-Premise Advertising (Billboard) Signs on this site. The Planning Commission and staff had recommended approval.

RQR-17040 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

08/01/01	The City Council approved an appeal of the Planning Commission denial of a Special Use Permit (U-0059-01) to allow six (6) 40-foot tall, 14-foot by 48-foot Off-Premise Advertising (Billboard) Signs on this site. The approval was amended to five off-premise signs by the City Council, subject to review in two years. Staff recommended approval.
05/21/03	The City Council approved a Two Year Review (RQR-1994) of an approved Special Use Permit (U-0059-01), which allowed five 40-foot tall, 14-foot by 48-foot Off-Premise Advertising (Billboard) Signs on the subject site, subject to review in one year. The Planning Commission and staff recommended approval on 04/24/03.
07/07/04	The City Council approved a Required Review (RQR-4239) of an approved Special Use Permit (U-0059-01) for five (5) 14-foot x 48-foot Off-Premise Advertising (Billboard) Signs adjacent to the northeast corner of Smoke Ranch Road and Decatur Boulevard. The Planning Commission and staff recommended approval on 05/27/04.
09/07/05	The City Council approved a Required Review (RQR-6794) of an approved Special Use Permit (U-0059-01) for two (2) 14-foot x 48-foot Off-Premise Advertising (Billboard) Signs adjacent to the northeast corner of Smoke Ranch Road and Decatur Boulevard. The Planning Commission and staff recommended denial of the request 07/28/05.
03/01/06	The City Council approved a General Plan Amendment (GPA-10799) to amend a portion of the Southeast Sector Plan of the Master Plan from L-I/R (Light Industrial/Research) to M (Medium Density Residential); Rezoning (ZON-10803) from C-M (Commercial/Industrial) to R-PD16 (Residential Planned Development - 16 Units per Acre); and a Site Development Plan Review (SDR-10806) for a 513 unit Condominium Development; 33.70 acres adjacent to the east side of Decatur Boulevard, approximately 900 feet north of Smoke Ranch Road. The Planning Commission recommended approval, but staff recommended denial on 01/26/06.
03/23/06	The Planning Commission approved a Tentative Map (TMP-11703) for a 513-unit condominium subdivision on 33.70 acres adjacent to the east side of Decatur Boulevard, approximately 900 feet north of Smoke Ranch Road. Staff recommended approval of the request.
<i>Related Building Permits/Business Licenses</i>	
12/10/01	Two building permits were issued on 10/17/01 and finalized on 12/10/01. The permit numbers are L-4947-01 and L-5158-65.
<i>Pre-Application Meeting</i>	
	A pre-application meeting is not required for the subject required review.
<i>Neighborhood Meeting</i>	
	A neighborhood meeting is not required for the subject required review.

RQR-17040 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Details of Application Request	
Site Area	
Gross Acres	30.08

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped (Approved Site Development Plan Review (SDR- 10806)	M (Medium Density Residential)	C-M (Commercial/Industrial) under Resolution of Intent to R-PD16 (Residential Planned Development – 16 Units Per Acre)
North	Office	LI/R (Light Industrial/Research)	C-M (Commercial/Industrial)
South	Undeveloped/Offices	LI/R (Light Industrial/Research)	C-M (Commercial/Industrial)
East	North Las Vegas	North Las Vegas	North Las Vegas
West	Post Office/Multi- tenant retail	SC (Service Commercial) M (Medium Density Residential)	C-1 (Limited Commercial) R-3 (Medium Density Residential)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		
A-O (Airport Overlay) District	X		Y
Trails		X	
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance	X		Y

Airport Overlay District

The subject property is directly across Rancho Drive from the North Las Vegas Airport and is in the 35-foot notification zone. The proposal calls for a maximum building height of 34 feet and is in compliance with this requirement.

Project of Regional Significance

The proposed development is deemed to be a Project of Regional Significance due to the project being a residential development consisting of more than 500 units. The applicant has completed the proper forms and is in compliance with the requirements pertaining to a Project of Regional Significance.

BTS

RQR-17040 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

ANALYSIS

This is the fourth review for the subject Special Use Permit (U-0059-01). Building permits were issued for the subject billboards on 10/17/01 and finalized on 12/10/01. A Site Development Plan Review (SDR-10806) was recently approved by the City Council on 03/01/06. Condition of approval number four (4) stated "The two existing billboards located on the subject property shall be removed prior to the time application is made for a building permit". No building permits have been issued on the subject site. A condition of approval has been included, which requires a review of the billboards in one year, if no permits have been issued on the subject site. Therefore, staff is recommending approval of the Required Review as conditioned.

CONDITIONS OF APPROVAL FROM REQUIRED REVIEW (RQR-6794)

1. Denial is recommended only for the Off-Premise Advertising (Billboard) Sign along Decatur Boulevard. A recommendation for approval is given for the Off-Premise Advertising (Billboard) Sign along Rancho Drive. This billboard shall be subject to review in one (1) year, at which time the City Council may require the Off-Premise Advertising (Billboard) Sign be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign be removed.
2. This Special Use Permit shall be reviewed in one (1) year, at which time the City Council may require the Off-Premise Advertising (Billboard) Sign be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign be removed.
3. All embellishments not in compliance with Title 19.14 and 19.20 on any sign shall be removed within 90 days of final approval.
4. Double sign faces shall be replaced by single advertisements within 30 days of final approval.
5. Bird deterrent devices shall be installed on the sign within 90 days of final approval.
6. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
7. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.

RQR-17040 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

8. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City of Las Vegas, or (2) the location is in compliance with all applicable standards of Title 19 including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
9. All City Code requirements and design standards of all City departments must be satisfied.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

Title 19.14.100 allows the removal of an Off-Premise Advertising (Billboard) Sign if conditions in the surrounding area have changed such that the off-premise sign no longer meets the standards of the Code. The continued use of the Off-Premise Advertising (Billboard) Sign on the subject site is appropriate; however, the site recently received approval for a 513 unit condominium development. The billboards have been conditioned to be removed upon issuance of building permits. Staff has recommended that this use be subject to a review again in one year if no permits are issued.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The site is physically suitable for the proposed Off-Premise Advertising (Billboard) Signs use.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The Off-Premise Advertising (Billboard) Sign use does not generate any additional traffic to this site and will not require provisions for additional access.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

RQR-17040 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

The Off-Premise Advertising (Billboard) Sign use does not compromise the public health, safety, and welfare, as it is subject to the provisions of the Sign Code and the Uniform Building Code.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 3

ASSEMBLY DISTRICT 7

SENATE DISTRICT 4

NOTICES MAILED 246

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **RQR-17040** APN: 139-18-410-007
Name of Property Owner: Rancho Air Center Inc
Name of Applicant: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: SCOTT NAFIZER

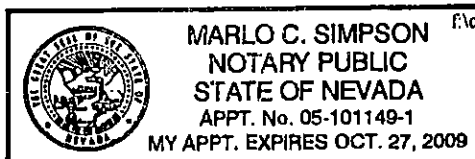
Subscribed and sworn before me

on behalf of owner

This 14th day of September, 2006
Marlo C. Simpson
Notary Public in and for said County and State

RECEIVED

SEP 21 2006



LINE	LENGTH	BEARING
1	150.00	N 84° 25' 11" E
2	142.43	S 84° 25' 11" E

LEGEND

---	STREET CENTERLINE
---	PROPERTY LINE
---	BUILDING LINE
---	EDGE OF PAVEMENT
---	STREETLIGHT
---	ELECTRIC VAULT
---	TELEPHONE VAULT



SCALE 1" = 100'

A.P.N.
130-18-503-003
ZONING M-2

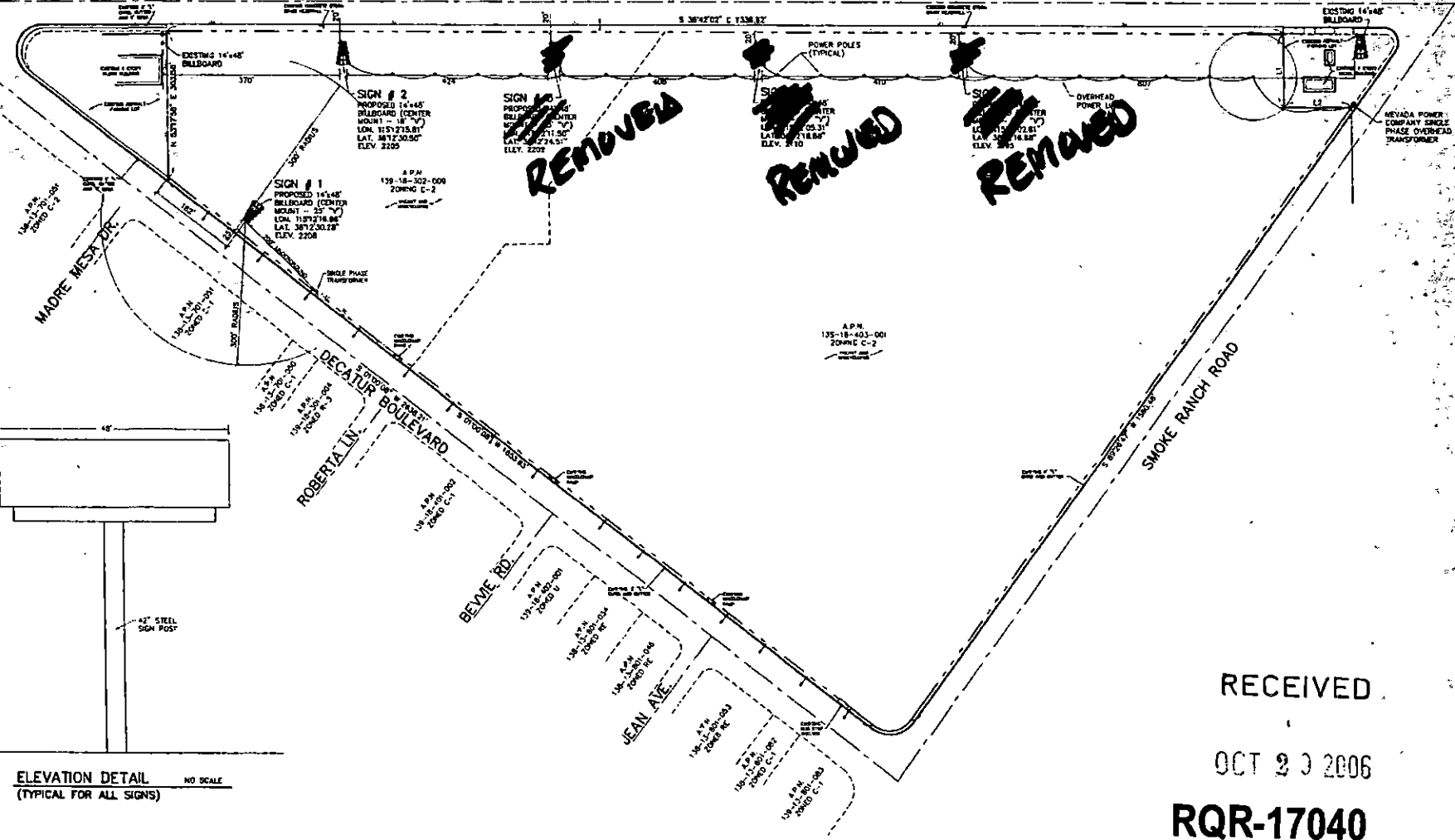
A.P.N.
130-18-404-001
ZONING C-2

US HIGHWAY No. 95
(RANCHO DRIVE)
S 36° 42' 02" E 3283.91'

REMOVED

REMOVED

REMOVED



ELEVATION DETAIL
(TYPICAL FOR ALL SIGNS)

RECEIVED

OCT 20 2006

RQR-17040

REVISED

11/16/06 PC

BAUGHMAN & TURNER, INC.
CIVIL ENGINEERS, LAND PLANNERS, SURVEYORS
1320 W. HARRIS STREET, SUITE 201, LAS VEGAS, NEVADA 89103
(702) 870-8771

LAMAR ADVERTISING COMPANY

BILLBOARD APPLICATION MAP
A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 1E, TOWNSHIP 20 SOUTH, RANGE 11 EAST, COUNTY OF CLATSOP, WASHINGTON



RQR-17040 - APPLICANT: LAMAR OUTDOOR ADVERTISING - OWNER: RANCHO AIR CENTER, INC.
NORTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



RQR-17040 - APPLICANT: LAMAR OUTDOOR ADVERTISING - OWNER: RANCHO AIR CENTER, INC.
NORTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



RQR-17040 - APPLICANT: LAMAR OUTDOOR ADVERTISING - OWNER: RANCHO AIR CENTER, INC.
NORTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

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18112-001-06-05
CLV 7009

October 3, 2005

Rancho Air Center
2300 West Sahara Avenue
Las Vegas, Nevada 89102

RE: RQR-6794 - REQUIRED REVIEW
CITY COUNCIL MEETING OF SEPTEMBER 7, 2005

Dear Applicant:

The City Council at a regular meeting held September 7, 2005 APPROVED the Required One-Year Review of an approved Special Use Permit (U-0059-01) FOR TWO (2) 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS adjacent to the northeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-18-410-007), C-M (Commercial/ Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on September 8, 2005. This approval is subject to:

Planning and Development

1. This Special Use Permit shall be reviewed in one (1) year, at which time the City Council may require the Off-Premise Advertising (Billboard) Sign be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign be removed.
2. All embellishments not in compliance with Title 19.14 and 19.20 on any sign shall be removed within 90 days of final approval.
3. Bird deterrent devices shall be installed on the sign within 90 days of final approval.
4. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
5. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.

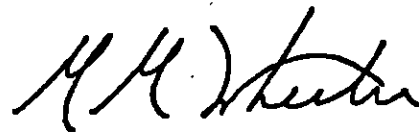
RQR-17040
11/16/06 PC

6. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City of Las Vegas, or (2) the location is in compliance with all applicable standards of Title 19 including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
7. All City Code requirements and design standards of all City departments must be satisfied.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk



M. Margo Wheeler, AICP
Director
Planning and Development Department

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

Mr. Scott Naftgzer
Lamar Outdoor Advertising Company
1863 Helm Drive
Las Vegas, Nevada 89119

RQR-17040
11/16/06 PC



054781



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYORGARY REESE
MAYOR PRO TEMLARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSSDOUGLAS A. SELBY
CITY MANAGER

July 29, 2005

Rancho Air Center
2300 West Sahara Avenue
Las Vegas, Nevada 89102**RE: RQR-6794 - REQUIRED REVIEW**

Dear Applicant:

Your Required One-Year Review of an approved Special Use Permit (U-0059-01) FOR TWO (2) 14-FOOT X 48 FOOT OFF PREMISE ADVERTISING (BILLBOARD) SIGNS adjacent to the northeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-18-410-007); C-M (Commercial/ Industrial) Zone, Ward 5 (Weekly), was considered by the Planning Commission on July 28, 2005.

The Planning Commission voted to **DENY** your request for the off-premise advertising (billboard) sign located on Decatur Boulevard because this existing billboard was found to be non-compliant with several aspects of the Code, thereby deemed an inappropriate continued use at this location. This action by the Planning Commission on July 28, 2005 is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on July 29, 2005.

The Planning Commission voted to recommend **APPROVAL** of the off-premise advertising (billboard) sign on Rancho Drive, subject to the following:

Planning and Development

1. Denial is recommended only for the Off-Premise Advertising (Billboard) Sign along Decatur Boulevard. A recommendation for approval is given for the Off-Premise Advertising (Billboard) Sign along Rancho Drive. This billboard shall be subject to review in one (1) year, at which time the City Council may require the Off-Premise Advertising (Billboard) Sign be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign be removed.
2. This Special Use Permit shall be reviewed in one (1) year, at which time the City Council may require the Off-Premise Advertising (Billboard) Sign be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign be removed.
3. All embellishments not in compliance with Title 19.14 and 19.20 on any sign shall be removed within 90 days of final approval.

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400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

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18112-001-06-05
CLV 7009**RQR-17040****11/16/06 PC**

4. Double sign faces shall be replaced by single advertisements within 30 days of final approval.
5. Bird deterrent devices shall be installed on the sign within 90 days of final approval.
6. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
7. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
8. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City of Las Vegas, or (2) the location is in compliance with all applicable standards of Title 19 including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
9. All City Code requirements and design standards of all City departments must be satisfied.

This item will be considered by the City Council on *July 20, 2005*, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Gary Leobold, Planning Supervisor
Planning and Development Department
Current Planning Division

GL:clb

cc: Mr. Scott Nafziger
Lamar Outdoor Advertising Company
1863 Helm Drive
Las Vegas, Nevada 89119

RQR-17040
11/16/06 PC



July 12, 2004

Rancho Aircenter
2300 West Sahara Avenue
Las Vegas, Nevada 89102

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN

LAWRENCE WEEKLY

MICHAEL MACK

JANET MONCRIEF

STEVE WOLFSON

DOUGLAS A. SELBY
CITY MANAGER

RE: RQR-4239 - REQUIRED TWO YEAR REVIEW
CITY COUNCIL MEETING OF JULY 7, 2004

Dear Applicant:

The City Council at a regular meeting held July 7, 2004 APPROVED the request for Required Two Year Review of an approved Special Use Permit (U-0059-01) FOR FIVE (5) 14 FOOT X 48 FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS adjacent to the northeast corner of Smoke Ranch Road and Decatur Boulevard (APN: 139-18-410-003), C-M (Commercial/ Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on July 8, 2004. This approval is subject to:

Planning and Development

1. The Special Use Permit shall be reviewed in one year at which time the City Council may require the off-premise sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the off-premise advertising (billboard) sign is removed.
2. Prior to the submittal of a building permit, the applicant shall submit to the Planning and Development Department a site plan that depicts the location of all existing off-premise advertising (billboard) signs with an overlay of the developments approved as part of SDR-1404. The Planning and Development Department will review the site plan to ensure compatibility. If conflicts exist, the Planning and Development Department may impose adequate measures to ensure the billboards do not compromise public health, safety, and welfare.
3. If a Site Development Plan Review for new development includes property in which an off-premise advertising (billboard) sign is located, the billboard(s) shall be reviewed as part of the site development plan review for compatibility with the proposed development. Conditions of approval may be imposed that require the removal of some or all of the off-premise advertising (billboard) signs.
4. If a existing off-premise advertising sign structure is removed, this Special Use Permit will not pertain to the removed sign, a new off-premise

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LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TDD 702.386.9108

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18112-001-5/04

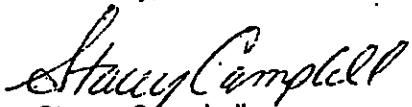
RQR-17040
11/16/06 PC

Rancho Aircenter
RQR-4239 – Page Two
July 12, 2004

advertising sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of Title 19 including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.

5. The off-premise advertising (billboard) sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the off-premise advertising (billboard) sign.
6. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the off-premise advertising sign.
7. Only one advertising sign is permitted per sign face.
8. All City Code requirements and design standards of all City departments must be satisfied.

Sincerely,



Stacey Campbell
Deputy City Clerk I for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

Mr. Scott Naftzger
Lamar Outdoor Advertising
1863 Helm Drive
Las Vegas, Nevada 89119

RQR-17040
11/16/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-17308 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: EMAD KASHAT - OWNER: GERVASIA ENTERPRISE LIVING 1993 TRUST - Request for a Special Use Permit FOR A PROPOSED BEER/WINE/COOLER OFF-SALE ESTABLISHMENT IN CONJUNCTION WITH AN EXISTING RETAIL STORE at 6595 Smoke Ranch Road, Suites #140, #145, and #150 (APN 138-23-110-034), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

IF APPROVED: C.C.: 12/20/06

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – protest letter by Rosie Mania

MOTION:

GOYNES – APPROVED subject to conditions – UNANIMOUS with DUNNAM excused

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

This item was under the One Motion /One Vote portion of the agenda and was brought forward for discussion upon COMMISSIONER DAVENPORT'S request.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 3 – SUP-17308

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, reported there are no protected uses within the 400-foot distance separation and recommended approval of the application.

JIM SHERYL, 6445 Peach Wood Road, Vice President of the Tangier Wood homeowners association, expressed concern for the residential adjacency issue. There is an elementary school nearby and a two-acre park troubled with vagrancy that the homeowners association has struggled to maintain. MR. SHERYL stated that he would rather support a more useful project to the community.

COMMISSIONER DAVENPORT had requested the matter be held in abeyance in order to obtain consent from the applicant to all conditions but DEPUTY CITY ATTORNEY BRYAN SCOTT indicated that since the matter was originally placed on the One Motion/One Vote portion of the agenda, it was assumed that the applicant has agreed to the conditions and MR. RANKIN concurred.

MR. RANKIN confirmed for CHAIRMAN TROWBRIDGE that the park is within an acceptable distance from the proposed use, but COMMISSIONER STEINMAN noted that the Code restricts consumption of alcohol within 1,000 feet of the site. Alcohol consumption at nearby parks would cause an issue and MR. SHERYL added that there are two parks within the 1,000-foot distance that should be considered.

JAY BROWN, 300 South Fourth Street, arrived to represent the item and agreed to the conditions of approval.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(6:18 – 6:24)

1-501

CONDITIONS:

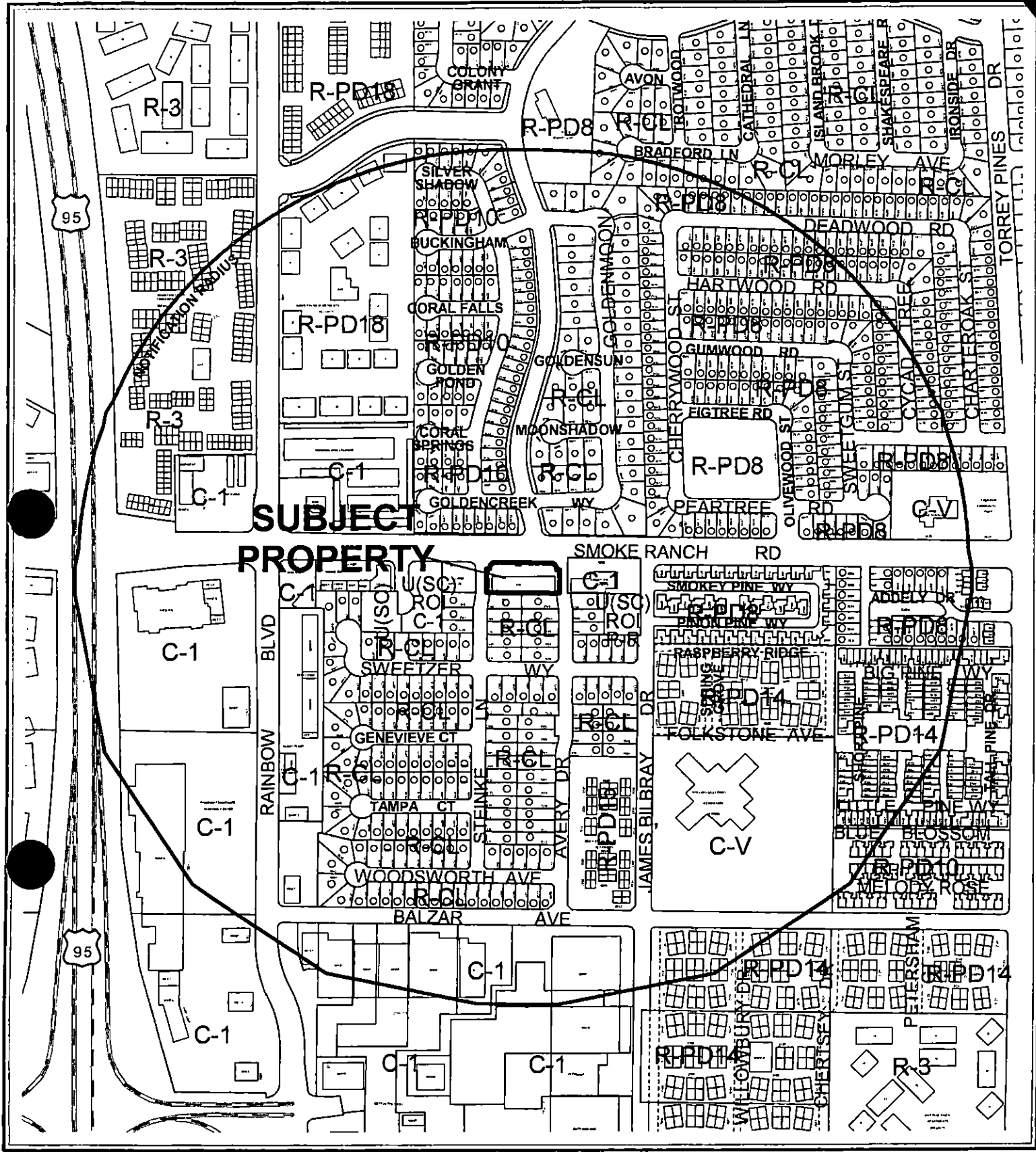
Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Beer/Wine/Cooler off-sale establishment use.
2. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-1385) and Variance (VAR-1763) shall be required.
3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 3 – SUP-17308

CONDITIONS – Continued:

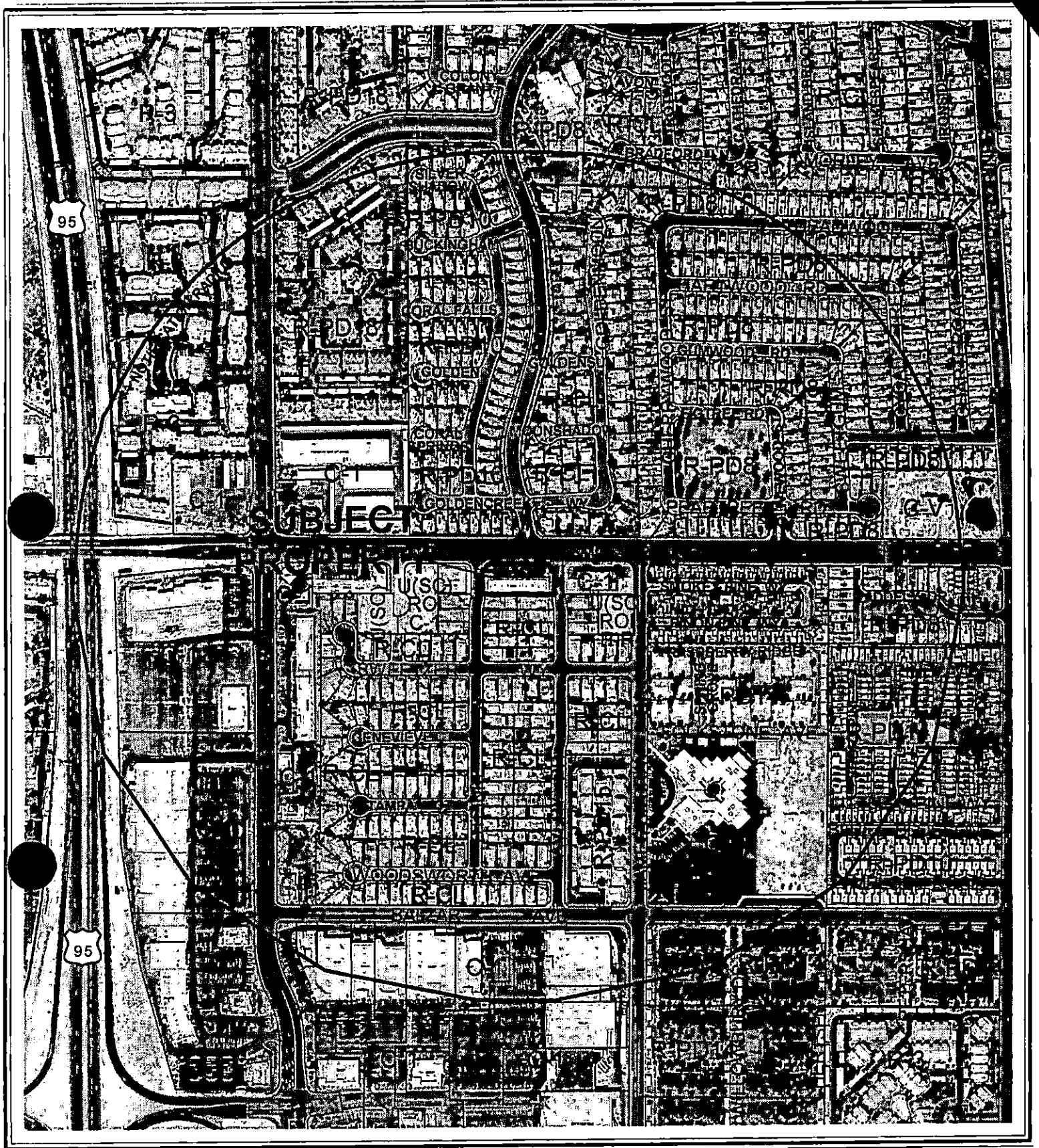
4. Approval of this Special Use Permit does not constitute approval of a liquor license.
5. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.
6. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
7. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.
8. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.



CASE: SUP-17308

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



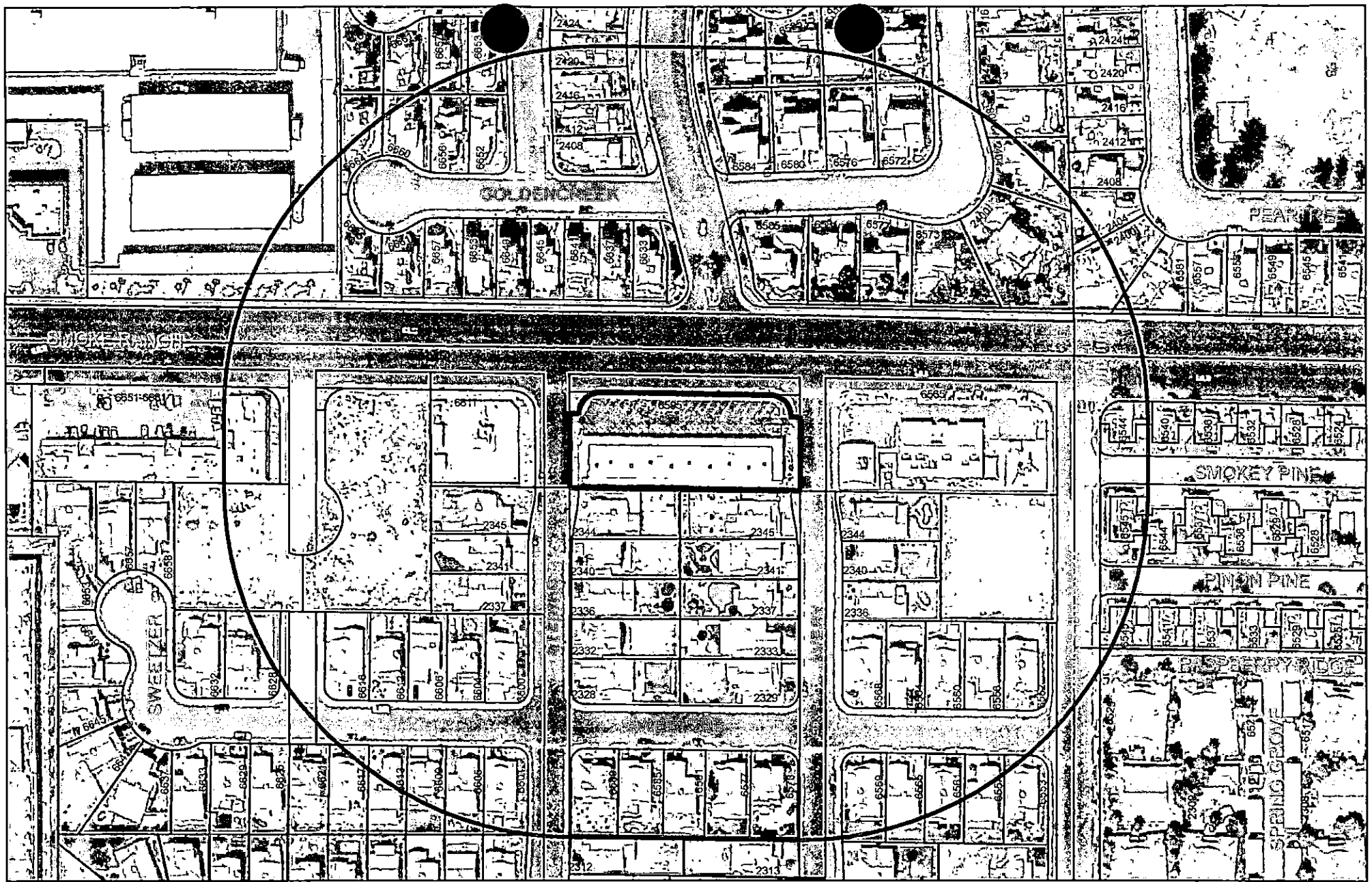
CASE: SUP-17308

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 300 600 Feet





SUP-17308

**BEER/WINE/COOLER
OFF-SALE ESTABLISHMENT**

Business Licenses

- Child Care/
Children Facility
- Supper Club/
Restaurant Service Bar
- Tavern
- Liquor on/off Sales

- RELIGIOUS
- CITY PARKS
- SCHOOLS

- Subject Property
- 400 foot buffer



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SUP-17308 - APPLICANT: EMAD KASHAT - OWNER:
GERVASIA ENTERPRISE LIVING 1993 TRUST**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Beer/Wine/Cooler off-sale establishment use.
2. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-1385) and Variance (VAR-1763) shall be required.
3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Approval of this Special Use Permit does not constitute approval of a liquor license.
5. The sale of individual containers of any size of beer, wine coolers or screw cap wine is prohibited. All such products shall remain in their original configurations as shipped by the manufacturer. Further, no repackaging of containers into groups smaller than the original shipping container size shall be permitted.
6. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
7. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.
8. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.

SUP-17308 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The project requests approval of Special Use Permit for the operation of a Beer/Wine/Cooler Off-sale establishment in an existing commercial tenant office structure located at 6595 Smoke Ranch Road - Suites #140, #145, and #150.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/07/03	The City Council approved a request for a Variance (VAR-1763) allowing 45 parking spaces where 61 parking spaces are the minimum required on 2 acres adjacent to the south side Smoke Ranch Road between Avery Drive and Steinke Lane. Staff and Planning Commission recommended approval.
02/19/03	The City Council reviewed a Site Development Plan Review (SDR-1385) for a proposed 10,000 square foot retail building; a waiver to allow a 15 foot front setback where 20 feet is required and a 15 foot rear yard setback where 20 feet is required; a waiver to allow no landscaping between the parking area and the building; a waiver of the requirement to have all parking in the rear or sides of the lot, and a waiver to allow 10 feet of landscaping along smoke ranch road where 15 feet is required on two acres adjacent to the south side Smoke Ranch Road, between Avery Drive and Steinke Lane. The Planning Commission recommended no recommendation on 01/23/03. City council unanimously recommended approval.
<i>Pre-Application Meeting</i>	
09/08/06	A Pre-application meeting was held with the applicant. The applicant was informed of the previous approvals (VAR-1763, SDR-1385) for the site.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this application type nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.65 acres

SUP-17308 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Retail	Office	C-1 (Limited Commercial)
North	Single Family Residential	Residential	R-CL (Residential Compact Lot)
South	Single Family Residential	Residential	R-CL (Residential Compact Lot)
East	Vacant Daycare Facility (license expired 8/2006)	Commercial	C-1 (Limited Commercial)
West	Public Utility	Public Utility	C-V (Civic)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Beer/Wine/Cooler Off sales establishment	3,000	1 space/175 square feet of gross floor area	17	1	32 for entire multi-tenant commercial office structure	2	Y
SubTotal			17	1	32	2	
TOTAL				18		34	Y

ANALYSIS

The proposed project is an application for a Special Use Permit to allow for operation of a Beer/Wine/Cooler off-sale establishment in an existing commercial tenant office building. The project site is surrounded by single family residential uses to the north, south; a former child

SUP-17308 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

daycare facility to the east; and city utility land to the west. The project site is located within the C-1 (Limited Commercial) Zone, the Airport Overlay District for North Las Vegas operations, Southwest Sector of the City of Las Vegas Master Plan.

- Zoning

The project site is located within the C-1 (Limited Commercial) Zone.

- Use

The proposed alcohol sales use is compatible with the Service Commercial land use designation of the general plan.

- Special District/Plan Overlay

The subject site is located within the Airport Overlay District for North Las Vegas Airport. No new development is proposed and the use will not involve operation of any equipment that would generate electrical interference with airport operations.

- Minimum Separation Distance

The business license for the vacant daycare center located at 6565 Smoke Ranch Road expired on August 19, 2006 therefore no protected land uses would be affected by the proposed project and no distance separation is required.

- Parking:

The proposed 3,000 square foot Beer/Wine/Cooler off-sales establishment will occupy three tenant suites within a 10,000 square foot commercial office building approved under Site Development Plan Review (SDR-1385). Per Title 19, the retail project requires 17 regular spaces and 1 handicapped space.

Subsequent to completion of the Variance (VAR-1763) project review by development services staff, the applicant submitted revised property dimensions (April 11, 2003). Discrepancies between the dimensions of the Assessor's map and data collected from an updated property survey determined the lot width to be less than the measurements provided for the initial project review. This reduction is attributed to a required 20 Right-of-Way along Smoke Ranch Road further reducing parking and landscape areas. As such, the applicant requested additional relief in required parking from 45 to 36 spaces. The City Council recommended approval while Staff and Planning Commission recommended the request be denied. Presently, the site contains 32 regular parking spaces and 2 handicapped spaces which constitutes a 5 percent (2 spaces) parking deficiency under the previously approved variance (36 spaces). In accordance with Title 19 – Section 19.10, the project site is considered parking impaired.

SUP-17308 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

Two other tenants (insurance business and consulting firm) currently operate at the project site. Adequate parking is available on the project site for the proposed special use.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The project location is surrounded by existing residential, commercial, and public utility development. The proposed retail store is a use consistent with the underlying C-1 (Limited Commercial) Zone and the SC (Service Commercial) and Neighborhood Center land use designations of the General Plan. The C-1 (Limited Commercial) Zoning District is intended to provide retail shopping and personal services located on the periphery of residential neighborhoods. The Service Commercial category allows low to medium intensity retail, office, or other commercial uses that serve primarily local area patrons and does not include more intense general commercial characteristics. The proposed use is compatible with existing and future commercial, office, and residential uses within the immediate vicinity.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed alcohol retail store will be established in three adjoining tenant suites located within an existing 10,000 square foot one-story commercial office structure with a 34 space surface parking lot. The existing commercial tenant office is parking deficient. However, adequate parking is provided on-site to accommodate the requested use. No new development will occur with this proposal.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The proposed use is located on Smoke Ranch Road which is classified as a four lane major thoroughfare. Driveway access to the project site will be provided on Steinke Lane and Avery Drive and will therefore avoid adverse effects to traffic along Smoke Ranch Road.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

SUP-17308 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

The proposed retail store use will be located along the periphery of residential uses, adjacent to public utility land, and property designated for commercial use.' The proposed use is consistent with the underlying C-1 (Limited Commercial) Zone and the Service Commercial land use designation. As such, the proposed retail use will not negatively affect human health and public safety.

5. The use meets all of the applicable conditions per Title 19.04.

The project is consistent with all C-1 (Limited Commercial) Zone requirements for Beer/Wine/Cooler off-sale establishments.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

4

ASSEMBLY DISTRICT 37

SENATE DISTRICT 3

NOTICES MAILED 1,106

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number **SUP-17308** APN: 138-23-110-034
Name of Property Owner: SPAINIA ENTERPRISE LIVING TRUST
Name of Applicant: Emad Kashat

To the best of your knowledge, does the Mayor or any member of the City Council, Planning Commission, or a Hearings Officer have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes

 No

If yes, please indicate the member of the City Council, Planning Commission or Hearings Officer who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partners: _____

APN: _____

Signature of Property Owner/Authorized Agent: _____

KIRK ARAMBULO - TRUSTEE

Subscribed and sworn before me

This 12th day of July, 2008
Jennifer Lynn Theobald
Notary Public in and for said County and State



STATE OF Nevada
COUNTY OF Clark

THE FOLLOWING INFORMATION IS NOT SUBJECT'S PIA
 ANALYSIS AT JO FORMER PER EXAMINE WITH RECORD

BASIC PIA _____

EXAMINE ADDRESS _____ HOME PIA _____

EMPLOYER AND ADDRESS _____ NAME _____

EDUCATION _____

TYPE OF OCCUPATION _____

EMPLOYMENT _____

FINANCIAL STATUS _____

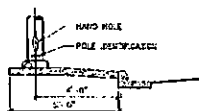
OCCUPATION _____

WORK EXPERIENCE _____

REMARKS for file _____

DATE 11/14/63 _____

ALL HAND HOLE COUPLERS MUST BE INSTALLED.
POLE CAPS POURED, AND FULL BOX LIDS
BOLTED DOWN PRIOR TO ENERGIZING CIRCUIT.
ALL WIRE MUST HAVE THE INSULATION.



STREET LIGHT LOCATION

3" PVC WATER
 1 1/2" R.P.P.A.
 1 1/2" WATER SERVICE W/ 1 1/2" W.N.
 1" R.P.P.A. FOR LANDSCAPING

[illegible][illegible]

VICINITY MAP



AVE. DAILY = 2,000 GAL/DAY
PEAK = 8,000 GAL/DAY

SMOKE RANCH (PUBLIC)

ROAD

STEINKE
(PUBLIC)
LANE

JAKE'S RANCH/UNIT 6

SAVERY (PUBLIC) DRIVE

RECEIVED
OCT 03 2006

DeLUNA, INC.

U DEVELOPMENT, INC.
BRANCH OFFICE PLAZA
UTILITY PLAN

SHEET CONTENTS:

MA	SMOK
SHEET	4
7 SHEETS	

THE HEARING OF SOUTH 65°37'00" EAST, AS BEING THE BEARING OF THE NORTH LINE OF THE NORTHWEST QUARTER (NW 1/4), OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 23, TOWNSHIP 20 SOUTH, RANGE 6R EAST, N.D.M., AS SHOWN BY A MAP ON FILE WITH THE CLARK COUNTY RECORDER'S OFFICE AS BOOK 74, PAGE 28 OF PLATS.

SUP-17308
11/16/06 PC

CLV 504 0500230070, RVET AND PLAT BY DONGPHI MOYUNTHI
NORTHEAST CORNER BUILT IN AMBON BOULEVARD AND BALZAN
AVENUE.
ELEVATION = 2530.200 FEET } 200000
717.651 METERS }

THESE PLANS REFLECT HIGHER DATUM TO CONVERT FROM NAVD83
DATUM YOU MUST SUBTRACT 2.147 FEET.

[Handwritten signature]

WFO LAY WRENS PAUL HANSEN

CARL

[Handwritten signature]

LWS WRENS PAUL HANSEN

CARL

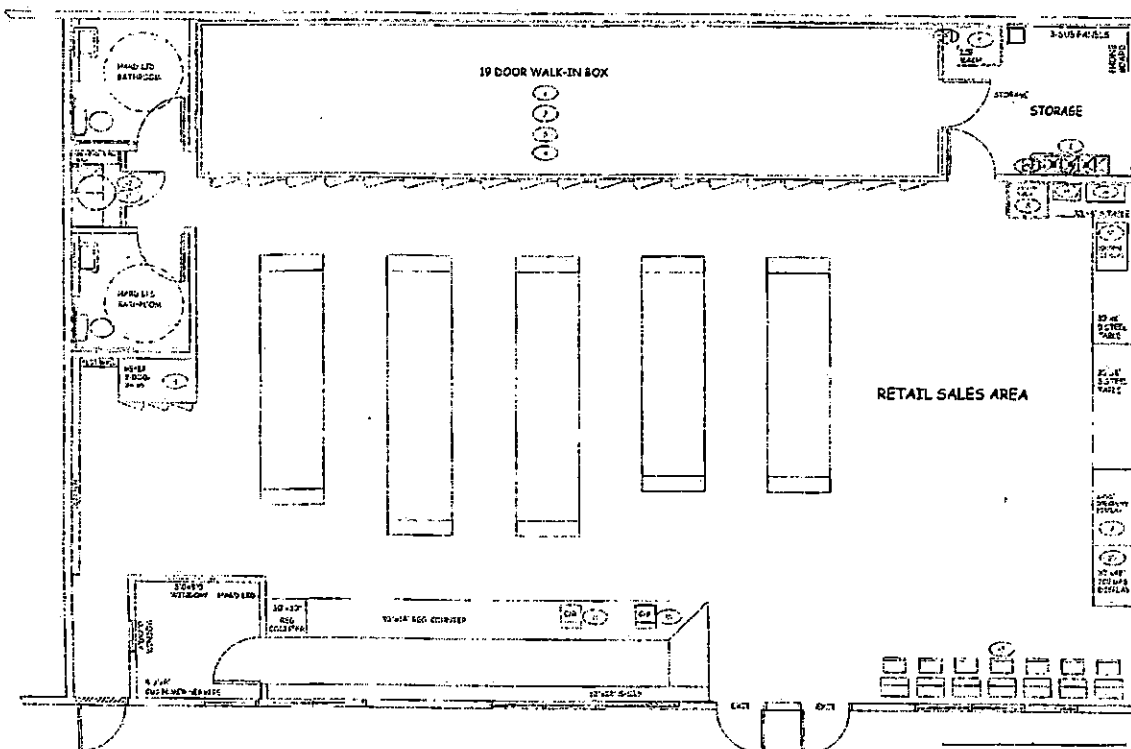
HIS APPROVAL IS FOR THE FRAGMENT OF CAPTAIN'S
OF COMPTONIGHT AIR SPECIAL 1987 DISTILLATION COPY.

[Handwritten signature] *[Handwritten signature]*

SEVERAL MONTHS AGO CARL

SAT

DEK	LENGH	TANGEN	DELTA
CO	35.74	22.75	01°34'18"
ET	35.25	21.27	00°47'45"



EQUIPMENT SCHEDULE (SUPPLIED BY OTHER)

Item	Description	Manufacturer	Model	Qty	Unit	Amperage	Notes
1	Water Cooler	Whisper		1	1/2		2 Year Warranty
2	Refrigerator	Whisper		1	1/2		2 Year Warranty
3	Refrigerator	Whisper		1	1/2		2 Year Warranty
4	Refrigerator	Whisper		1	1/2		2 Year Warranty
5	Refrigerator	Whisper		1	1/2		2 Year Warranty
6	Refrigerator	Whisper		1	1/2		2 Year Warranty
7	Refrigerator	Whisper		1	1/2		2 Year Warranty
8	Refrigerator	Whisper		1	1/2		2 Year Warranty
9	Refrigerator	Whisper		1	1/2		2 Year Warranty
10	Refrigerator	Whisper		1	1/2		2 Year Warranty
11	Refrigerator	Whisper		1	1/2		2 Year Warranty
12	Refrigerator	Whisper		1	1/2		2 Year Warranty
13	Refrigerator	Whisper		1	1/2		2 Year Warranty
14	Refrigerator	Whisper		1	1/2		2 Year Warranty
15	Refrigerator	Whisper		1	1/2		2 Year Warranty
16	Refrigerator	Whisper		1	1/2		2 Year Warranty
17	Refrigerator	Whisper		1	1/2		2 Year Warranty
18	Refrigerator	Whisper		1	1/2		2 Year Warranty
19	Refrigerator	Whisper		1	1/2		2 Year Warranty
20	Refrigerator	Whisper		1	1/2		2 Year Warranty
21	Refrigerator	Whisper		1	1/2		2 Year Warranty
22	Refrigerator	Whisper		1	1/2		2 Year Warranty
23	Refrigerator	Whisper		1	1/2		2 Year Warranty

DOOR SCHEDULE

Item	Size	Door Type	Frame Finish	Frame Type	Frame Finish	Hardware
1	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
2	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
3	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
4	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
5	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
6	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
7	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS

WINDOW SCHEDULE

Item	Size	Window Type	Window Finish	Frame Type	Frame Finish	Hardware
1	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
2	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
3	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
4	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
5	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
6	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS
7	3'0" x 7'0"	REINFORCED	PAINT	STANDARD	STAINLESS	STAINLESS

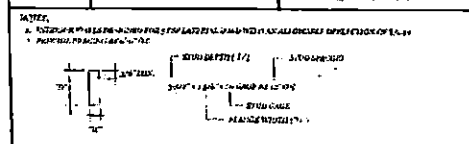
TOILET ACCESSORY SCHEDULE

Item	Item Description	Manufacturer	Finish	Remarks
1	TOWEL DISP.	STANDARD OR BETTER	CHROME	
2	SOAP DISP.	STANDARD OR BETTER	CHROME	
3	GRAB BAR 42"	STANDARD OR BETTER	CHROME	
4	GRAB BAR 36" MIRROR	STANDARD OR BETTER	CHROME	
5	MIRROR	STANDARD OR BETTER	CHROME	
6				
7				

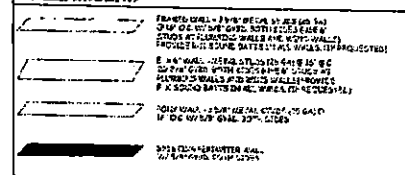
NOTE: ALL BATHROOM ACCESSORIES SHALL BE INSTALLED AS PER ANSI 4.15 THRU 4.19

TYPICAL NON-BEARING STEEL STUD SCHEDULE

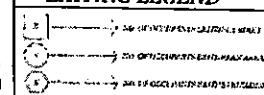
Height	Width	Thickness	Material
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL
8'0" x 8'0"	3'0" x 1/2"	1/2"	STEEL



WALL LEGEND



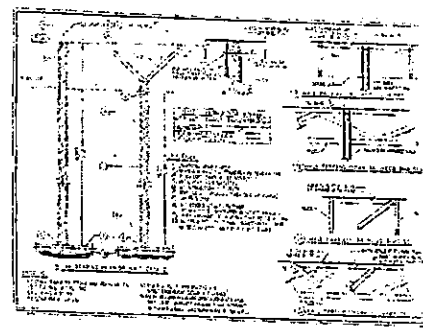
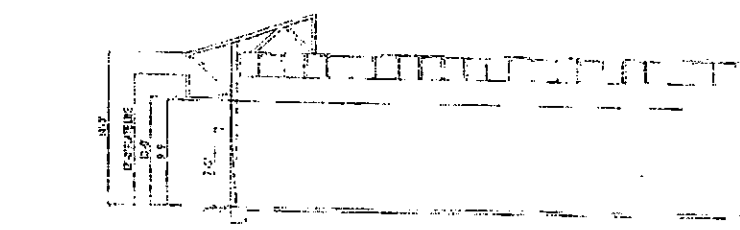
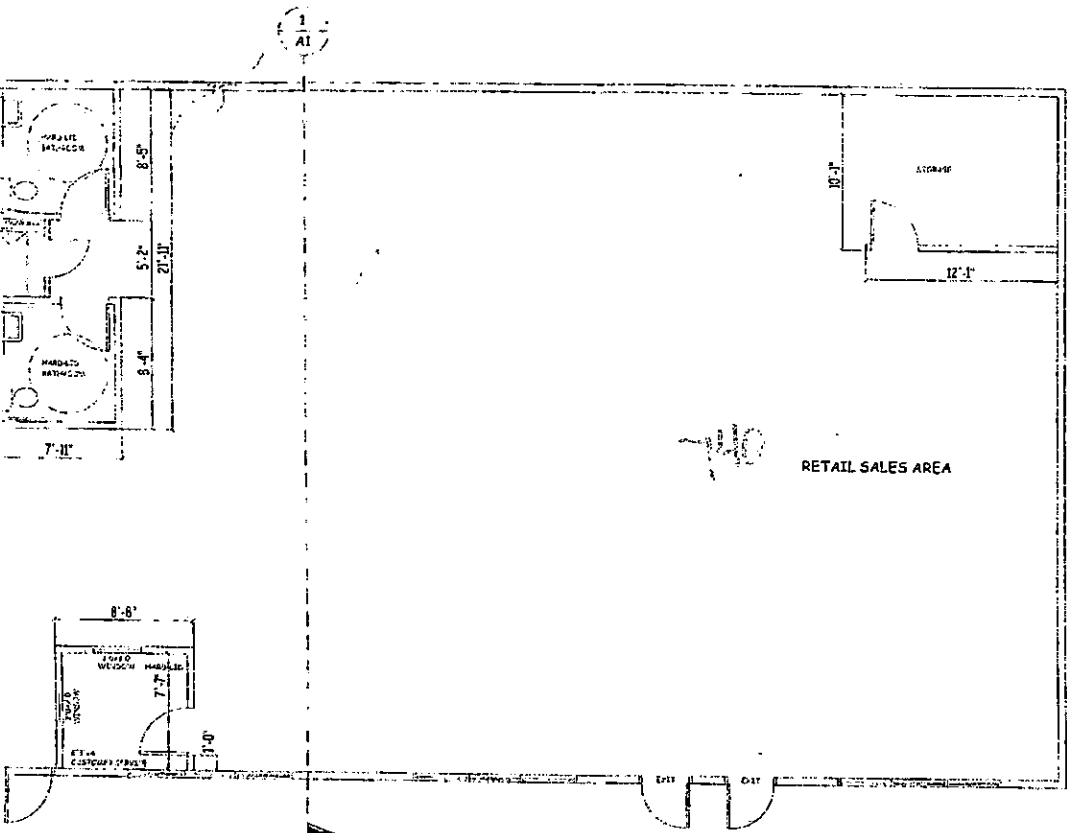
EXITING LEGEND



SUP-17308
11/16/06 PC

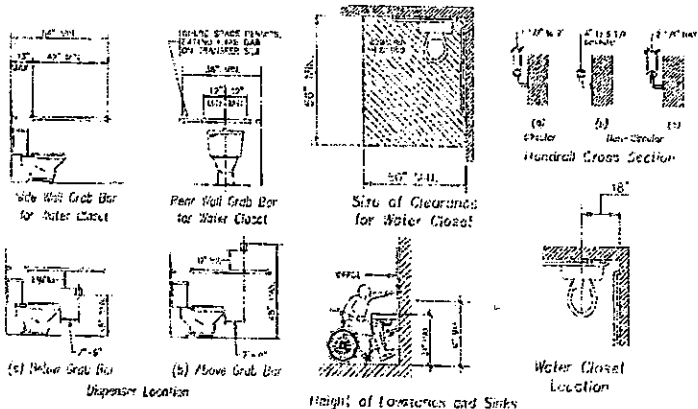
FLOOR PLAN

RECEIVED
11/16/06
CITY OF LAS VEGAS
PERMITS



TOILET & BATHROOMS

- GENERAL:**
ACCESSIBLE TOILET AND BATHROOM SHALL COMPLY WITH SECTION 603
- CLEARANCES:**
WHEELCHAIR TURNING SPACE:
WHEELCHAIR TURNING SPACE COMPLYING WITH SECTION 304 SHALL BE PROVIDED WITHIN THE ROOM.
- OVERLAP:**
CLEAR FLOOR OR GROUND SPACES, CLEARANCES AT FIXTURES, AND WHEELCHAIR TURNING SPACES SHALL BE PERMITTED TO OVERLAP.
- DOORS:**
DOORS SHALL NOT SWING INTO THE CLEAR FLOOR OR GROUND SPACE OR CLEARANCE FOR ANY FIXTURE.
- EXCEPTIONS:**
WHERE THE ROOM IS FOR INDIVIDUAL USE AND A CLEAR FLOOR OR GROUND SPACE COMPLYING WITH SECTION 303 IS PROVIDED WITHIN THE ROOM, BEYOND THE ARC OF THE DOOR SWING.
- MIRRORS:**
MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40 INCHES MAX ABOVE THE FLOOR OR GROUND.
- COAT HOOKS & SHELVES:**
COAT HOOKS PROVIDED WITHIN TOILET ROOMS SHALL ACCOMMODATE A FORWARD REACH OR SIDE REACH COMPLYING WITH SECTION 308. WHERE PROVIDED, A FOLD-DOWN SHELF SHALL BE 40 INCHES MIN & 40 INCHES MAX ABOVE THE FLOOR OR GROUND.



DOOR NOTES

- COORDINATE DOOR AND FRAME FINISH WITH BUILDING OWNER. ALL DOORS HAVE NO WINDOWS OR SIDELITES.
- DOOR HARDWARE, CONTRACTOR GRADE OR BETTER.
- PROVIDE PANIC HARDWARE AS REQUIRED BY CODE.
- COORDINATE ALL KEYING REQUIREMENTS WITH BUILDING OWNER.
- ALL DOORS IN MEANS OF EGRESS SYSTEM TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- THE MAXIMUM EFFORT TO OPERATE DOORS CANNOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5.0 POUNDS FOR INTERIOR DOORS.
- THE BOTTOM 10" ON THE PUSH SIDE OF THE DOOR SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE THAT ALLOWS THE DOOR TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITIONS.
- DOOR TO RESTROOM TO BE 32" CLEAR PER A.D.A. STANDARDS - FIELD VERIFY AND REPLACE IF NECESSARY.

RECEIVED
11/16/06
PC



SUP-17308 - APPLICANT: EMAD KASHAT - OWNER: GERVASIA ENTERPRISE LIVING 1993 TRUST
6595 SMOKE RANCH ROAD, SUITES #140, #145, AND #150
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SUP-17308 - APPLICANT: EMAD KASHAT - OWNER: GERVASIA ENTERPRISE LIVING 1993 TRUST
6595 SMOKE RANCH ROAD, SUITES #140, #145, AND #150
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06

LAW OFFICE

Jay H. Brown, Ltd.

A PROFESSIONAL CORPORATION
520 SOUTH FOURTH STREET
LAS VEGAS, NEVADA 89101

TELEPHONE (702) 384-5563
FACSIMILE (702) 385-1023
EMAIL: jay@jhbrownltd.com

October 2, 2006

City of Las Vegas Planning & Development
731 S Fourth Street
Las Vegas, Nevada 89101

Re: Special Use Permit and Variance
Super Mart
6595 Smoke Ranch Road
Las Vegas, NV 89108

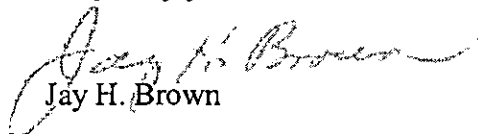
Gentlemen:

Pleased be advised that I represent Super Mart with regard to its application for a special use permit to allow off premise sale of beer/wine/cooler within its convenience store.

The convenience store is located at 6595 Smoke Ranch Road, Las Vegas, NV 89108 and this use is allowed under the existing C-1 zoning. My client seeks to have off premise sale of beer/wine/cooler. There will be no added impact on the site by allowing this use.

If you have any questions, please contact me or my assistant, Carol Caldwell.

Very truly yours,


Jay H. Brown

JHB:cc

SUP-17308
11/16/06 PC

The Officer-In-Charge
Planning And Development Department
Current Planning Division
Development Services Center

2345 Avery Drive
Las Vegas, NV 89108

13 November 2006

RE: SUP-17308

Dear Sir/Ma'am:

I am writing to express my objection to SUP-17308, request for a special use permit for BEER/WINE/COOLER ESTABLISHMENT at 6595 Smoke Ranch Road.

First, that Establishment with the same address was approved by the Planning Commission sometime in 1998 as professional/office building and not for use as retail stores.

Second, FONG, LILLY AND WING ELEMENTARY SCHOOL is very close to that Establishment.

Third, if you will notice that the Establishment is the only commercial building surrounded by homes from left to right and front to back and that majority of the students living in the neighborhood attending classes in 3 schools namely 1) FONG, LILLY AND WING ELEMENTARY SCHOOL, 2) BRINLEY, J HAROLD MIDDLE/JUNIOR HIGH SCHOOL 3) CIMMARON-MEMORIAL HIGH SCHOOL are passing or walking by along the Establishment on their way to school and home.

Fourth, I do not like to live adjacent to a retail stores especially one selling alcohol drink and had I known that this would happen I would have chosen a house not close the it.

My neighborhood is a quiet and peaceful one and I hope you will zone that commercial area in question as a professional/office building.

Thank you for protecting my rights and for your attention on my concerns.

Very truly yours,


ROSIE MANIA

Submitted after final agenda

Date 11/16/06 Item #3

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-17310 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: V'S CHOC'LET CITY, INC. - OWNER: 7TH STREET PROPERTIES, LLC - Request for a Special Use Permit FOR A PROPOSED TAVERN-LIMITED ESTABLISHMENT at 115 North 7th Street (APN 139-34-612-007), C-2 (General Commercial) Zone, Ward 5 (Weekly).

IF APPROVED: C.C.: 12/20/06

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letter

MOTION:

EVANS – APPROVED subject to conditions Item 4 [SUP-17310] and Item 5 [VAC-17077]
– UNANIMOUS with **DUNNAM** excused

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE explained that these items will be considered in One Motion/One Vote and are routine public and non-public hearing items that have no protests, waivers from the Code, or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

PLANNING COMMISSION MEETING NOVEMBER 16, 2006
Planning and Development Department
Item 4 – SUP-17310

MINUTES – Continued:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [SUP-17310] and Item 5 [VAC-17077].

There was no discussion.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [SUP-17310] and Item 5 [VAC-17077].

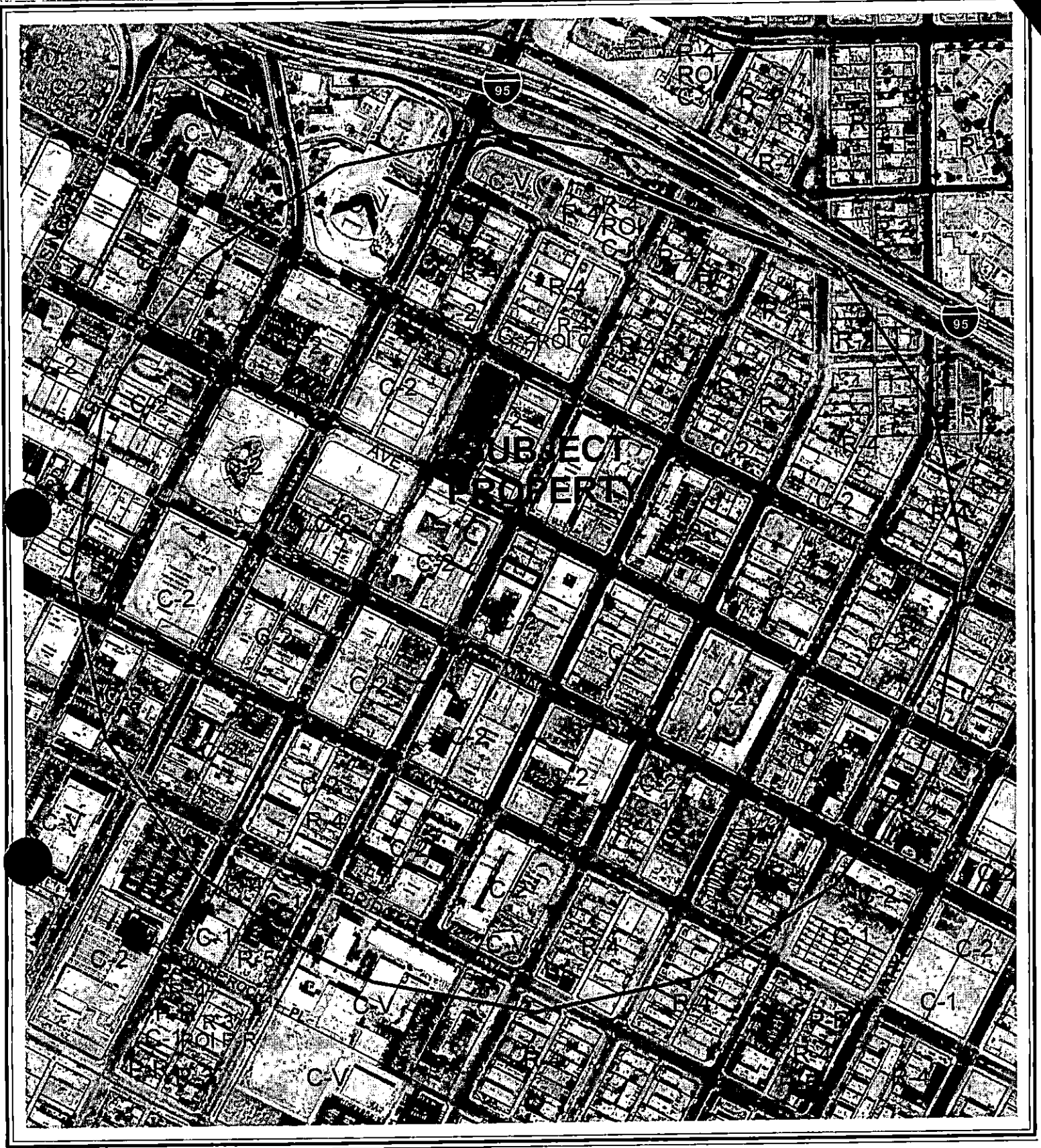
(6:08 – 6:11)

1-185

CONDITIONS:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Tavern-Limited Establishment use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



CASE: **SUP-17310**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-17310 - APPLICANT: V'S CHOC'LET CITY, INC. -

OWNER: 7TH STREET PROPERTIES, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Tavern-Limited Establishment use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
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4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-17310 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Special Use permit for a proposed tavern-limited establishment at 115 North 7th Street. The proposed project is a 9,000 square-foot restaurant, nightclub, and internet café. Parking for this project is available in the public parking garage located in a casino across Seventh Street. Previous uses of the building were a print shop and warehouse. Modifications to the building are primarily interior with minor exterior changes to the facade.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/16/64	The City Council approved a Rezoning to C-2 (General Commercial) on the subject site as part of a larger request (Z-0100-64).
<i>Related Building Permits/Business Licenses</i>	
No building permits pertain to this site.	
<i>Pre-Application Meeting</i>	
8/18/06	The applicant was informed at the pre-application meeting that their proposed project would require a Special Use Permit for liquor sales as a tavern-limited establishment use. Staff then outlined for the applicant the various items required for a submittal.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	0.16

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Commercial	C (Commercial)	C-2 (General Commercial)
North	Vacant	C (Commercial)	C-2 (General Commercial)
South	Motel	C (Commercial)	C-2 (General Commercial)
East	Motel	C (Commercial)	C-2 (General Commercial)
West	Hotel & Casino	C (Commercial)	C-2 (General Commercial)

JM

SUP-17310 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan	X		Y
Redevelopment Plan Area	X		Y
Downtown Centennial Plan – East Fremont	X		Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		Y
Downtown Entertainment Overlay District	X		Y
Downtown Overlay District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

Parking Requirement - Downtown							
Use	Gross Floor Area or Number of Units	Base Parking Requirement			Provided Parking		Compliance
		Parking Ratio	Parking		Regular	Handi-capped	
			Regular	Handi-capped			
Tavern Limited Establishment	5,040 SF	1:50 (Seating)	101				
	3,960 SF	1:200 (Other)	20				
SubTotal	9,000 SF		121	5			
TOTAL			121		0		Y

The proposed use would typically require 121 parking spaces. The applicant intimates in their justification letter that there is available public parking garage located in a casino across Seventh Street and at the northwest corner of Las Vegas Boulevard and Carson. As this project is located in the Downtown Centennial Plan Area, it is exempt from the automatic application of Title 19.10 parking requirements.

ANALYSIS

- Zoning

Redevelopment Plan Area

The parcel is within the boundaries of the Las Vegas Redevelopment Area, with a C (Commercial) land use designation. The proposed uses are in conformance with the Redevelopment Plan.

JM

SUP-17310 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Downtown Centennial Plan Area (East Fremont)

The parcel is within the Downtown Centennial Plan boundaries, and is located in the East Fremont District. The East Fremont District is the logical extension of the Fremont Street Experience eastward and includes the El Cortez Hotel and Casino, other small casinos, and supporting commercial, motel, and residential uses. This transitional district is bound by the centerline of Las Vegas Boulevard on the west, the centerline of Ogden Avenue on the north, the centerline crossing of Eastern Avenue and Charleston Boulevard on the east and the centerline of Carson Avenue on the south. The East Fremont District will present future opportunities for new commercial ventures and the integration of medium density mixed-income residential neighborhoods. The potential for open space to center these new neighborhoods should be investigated in the area of Fremont Street and Maryland Parkway.

Downtown Overlay District

In order to encourage the development of a complex, visually interesting and urbane walkable mixed-use environment, and to encourage transit-oriented development as future transit routes and stations develop within the Downtown area, properties within the Downtown Overlay District are exempt from the automatic application of the mandatory maximum building height, required building setback, maximum lot coverage, residential adjacency, standard landscaping requirements, and standard parking requirements in Section 19.08.040, Section 19.08.050, Section 19.08.060, Chapter 19.10, and Chapter 19.12.

Downtown Entertainment Overlay District

The subject property is located within the Downtown Entertainment Overlay District, which sets forth sign requirements and allows waivers from the liquor establishment separation distance requirements.

- Use

A Tavern-Limited Establishment is a permitted use in this zoning district with the approval of a Special Use Permit.

- Site Plan

The applicant is requesting a Special Use Permit for a tavern-limited establishment on the site. The proposed project is a 9,000 square-foot restaurant, nightclub, and internet café. Parking for this project is available in the public parking garage located in a casino across Seventh Street. Previous uses of the building were a print shop and warehouse. Changes to the building are primarily interior with minor exterior changes to the facade.

SUP-17310 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

- Conditions

The use shall conform to the provisions of LVMC Chapter 6.50.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed land use can be conducted in a manner that is harmonious and compatible with the surrounding land uses. This area is intended for this and other similar type uses that offer food, drink, and entertainment. The proposal is in compliance with the area and the General Plan.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The subject site is physically suitable for the type and intensity of land use proposed.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The street and highway facilities providing access to the property are adequate for this type of development.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

This Special Use Permit request is in compliance with all applicable plans and policies and will not adversely affect the public health or the general welfare.

5. **The use meets all of the applicable conditions per Title 19.04.**

This Special Use Permit request is in compliance with all the conditions of Title 19.04

SUP-17310 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 19

ASSEMBLY DISTRICT 9

SENATE DISTRICT 3

NOTICES MAILED 233

APPROVALS 0

PROTESTS 1



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17310** APN: **139-34-612-007**

Name of Property Owner: 714 STREET PROPERTIES

Name of Applicant: VERA K. BUCEK

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

7TH STREET PROPERTIES, LLC
Signature of Property Owner: Frank J. [Signature], MANAGER

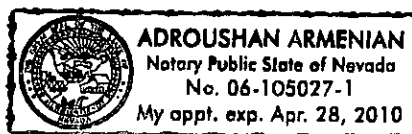
Print Name: FRANKLIN J. ELAN

Subscribed and sworn before me

This 10 day of August, 2006

CLARK, NEVADA

Notary Public in and for said County and State



general notes

7. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DETERMINATION OF CONSTRUCTION METHODS, SEQUENCES OF CONSTRUCTION AND THE MEANS AND METHODS OF CONSTRUCTION, AND THE INFORMATION OF THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE STRUCTURE, INCLUDING THE STRUCTURAL ANALYSIS, IN THE SCOPE OF THE CONTRACT.
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SPACING OF REINFORCEMENT OF WALLS, COLUMNS, BEAMS, AND SLABS, AND SHALL BE RESPONSIBLE FOR THE ADEQUACY OF THE REINFORCEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT WHENEVER THE CONTRACTOR SHALL
9. CONTRACTORS SHALL FOLLOW THE SET BY THE CONTRACTOR IN CONSTRUCTION OF THE STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT, INCLUDING THE DESIGN OF THE REINFORCEMENT, IN THE SCOPE OF THE CONTRACT.
10. WHERE IT IS CONSIDERED THAT A CONCRETE SURFACE HAS A CRACK OF A Width Greater Than 0.3 mm, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA, AND SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA, AND SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA.
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19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA, AND SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA, AND SHALL BE RESPONSIBLE FOR THE PROVISION OF REINFORCEMENT IN THE CRACKED AREA.

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Sampling points	
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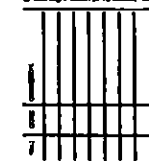
**architecture
interior design**

100 E. Charleston Suite 100
Las Vegas NV 89104
tel. 702.898.1723
fax. 702.898.1724
mailto:info@artudio.com

Disasters caused by the conflict and hurricanes of earlier times are again, with support by the Japanese, the American and other states, including copyright, the world still not used to share the values of the earthquake disasters, disaster by natural causes is still.

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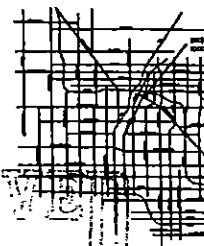
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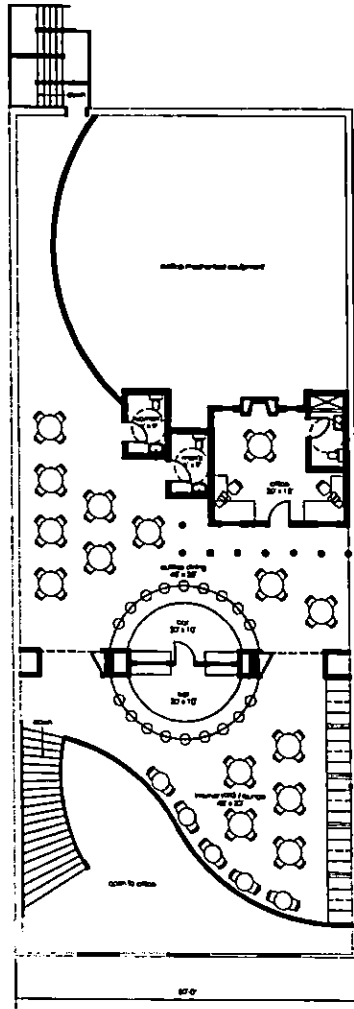
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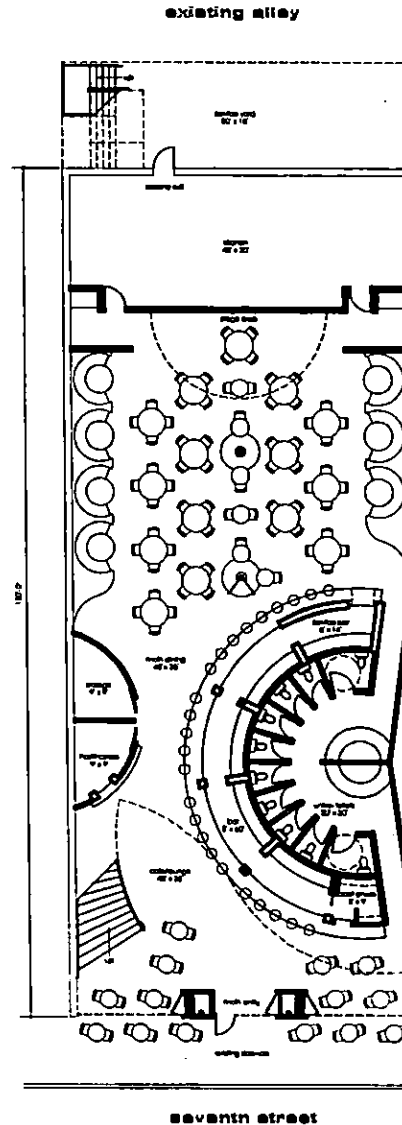
A1 site plan

SUP-17310
11/16/06 PC

OCT 03 2000



A2 floor plan



A1 floor plan



studio
architecture
interior design

103 E. Charleston Suite 106
Las Vegas NV 89104
tel. 702.698.1723
fax. 702.698.1724
mol@jcwastudio.com

Project Name: _____
Client: _____
Date: _____
Scale: _____

Drawings prepared by the architect
for the purpose of showing the general
idea of the project. The architect
and client agree that the architect
will not be responsible for the
accuracy of the drawings or the
results of the construction unless
indicated by a separate agreement.

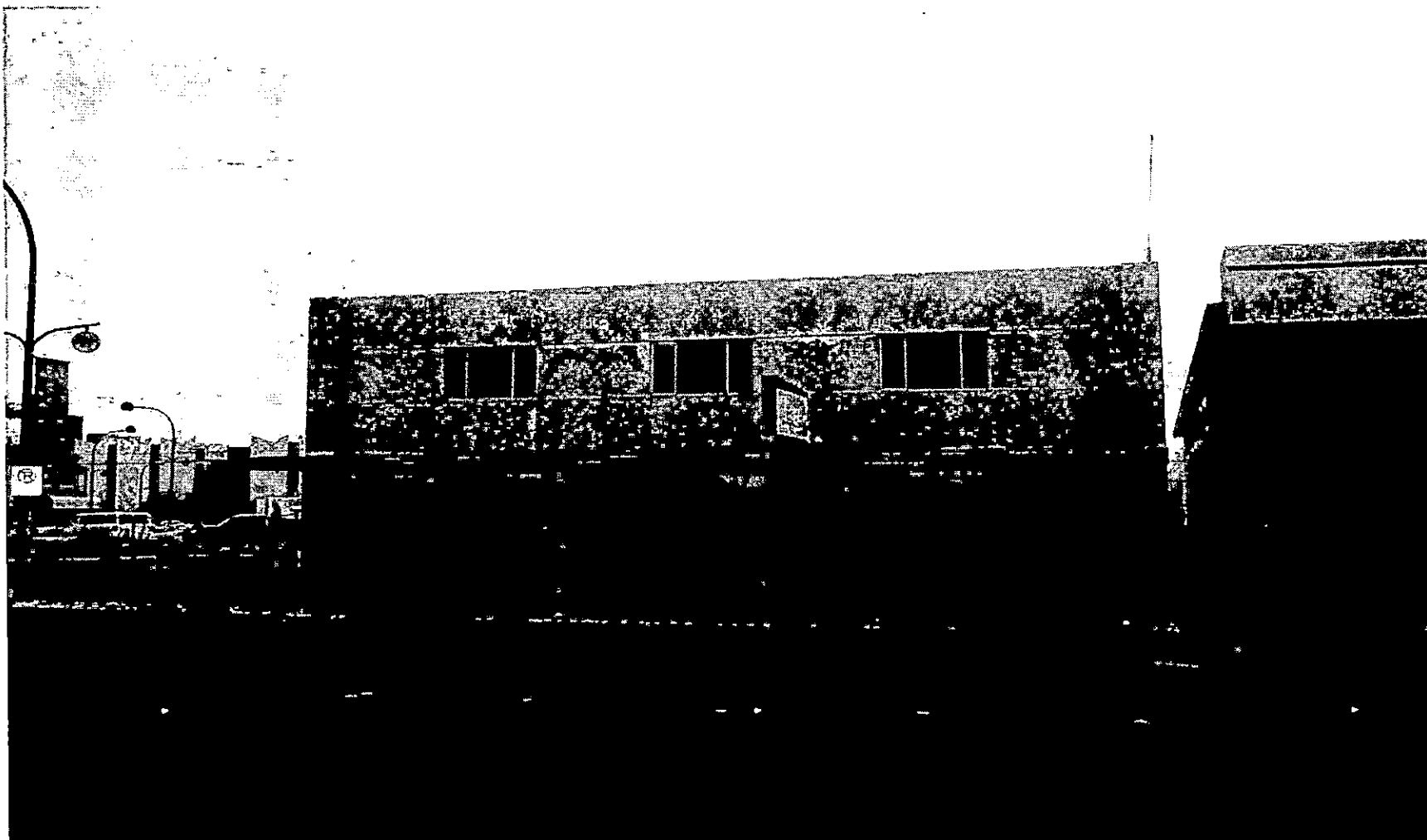
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vis chocolate city
15 N. Seventh Street
Las Vegas, Nevada

SUP-17310
11/16/06 PC

RECEIVED
OCT 03 2006

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SUP-17310 - APPLICANT: V'S CHOC'LET CITY, INC. - OWNER: 7TH STREET PROPERTIES, LLC
115 NORTH 7TH STREET
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SUP-17310 - APPLICANT: V'S CHOC'LET CITY, INC. - OWNER: 7TH STREET PROPERTIES, LLC
115 NORTH 7TH STREET
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06

10.03.06
planning & development
development services center
city of las vegas

re: special use permit
downtown
las vegas, nv
apn: 139-34-612-007

this submittal is to request a special use permit for liquor sales at the above referenced site. the proposed project is a 9,000 s.f. restaurant, nightclub and internet cafe located in the building situated on the parcel referenced above. parking for this project is available in the public parking garage at the north west corner of las vegas blvd. and carson as well as the parking garage located across seventh street in the el cortez. the proposed use complies with applicable provisions of the development code and the general plan; is compatible with adjacent uses in terms of scale, site design and operating characteristics; and will not cause substantial diminution of the value of other properties in the area it is located. public safety, transportation and utility facilities/services will be available to the subject property having no effect on the availability of the same services to existing adjacent development.

please call if you have any questions or need additional information

thank you,



J. david ellertsen

SUP-17310
11/16/06 PC

Miracle Realty & Investment LLC

6399 Wilshire Blvd, Suite 507

Los Angeles, Ca 90048

Tel: 323-651-9373

braffi@yahoo.com

Nov 9 ,2006

**City council chambers
400 Stewart ave
Las Vegas NV**

Re; Sup-16515, Sup 17310

Owner of 310-314 N 7th st and 220 N 8th st

I strongly oppose these two zoning changes. It appears there is too many of these coming to this area; I get one almost every other month. I think the area is going to be attracting drunks and crime and will not be suitable for more residential development if it continues to have so many taverns, bars and liquor stores.

I propose that you put a moratorium on these requests for this area for the next 3 years.

Thank you

Ben Raffi



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAC-17077 - VACATION - PUBLIC HEARING - APPLICANT: PULTE HOMES - OWNER: PN II, INC. - Petition to Vacate U.S. Government Patent Easements generally located south of Centennial Parkway, west of Schaumber Road, Ward 6 (Ross).

SET DATE: 12/06/06

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – APPROVED subject to conditions Item 4 [SUP-17310] and Item 5 [VAC-17077]
– UNANIMOUS with **DUNNAM** excused

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE explained that these items will be considered in One Motion/One Vote and are routine public and non-public hearing items that have no protests, waivers from the Code, or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 5 – VAC-17077

MINUTES – Continued:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 4 [SUP-17310] and Item 5 [VAC-17077].

There was no discussion.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 4 [SUP-17310] and Item 5 [VAC-17077].

(6:08 – 6:11)

1-185

CONDITIONS:

Planning and Development

1. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress there from shall be provided if required.
2. All development shall be in conformance with code requirements and design standards of all City Departments.
3. If the Order of Relinquishment of Interest is not recorded within one (1) year after approval by the City of Las Vegas or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted.

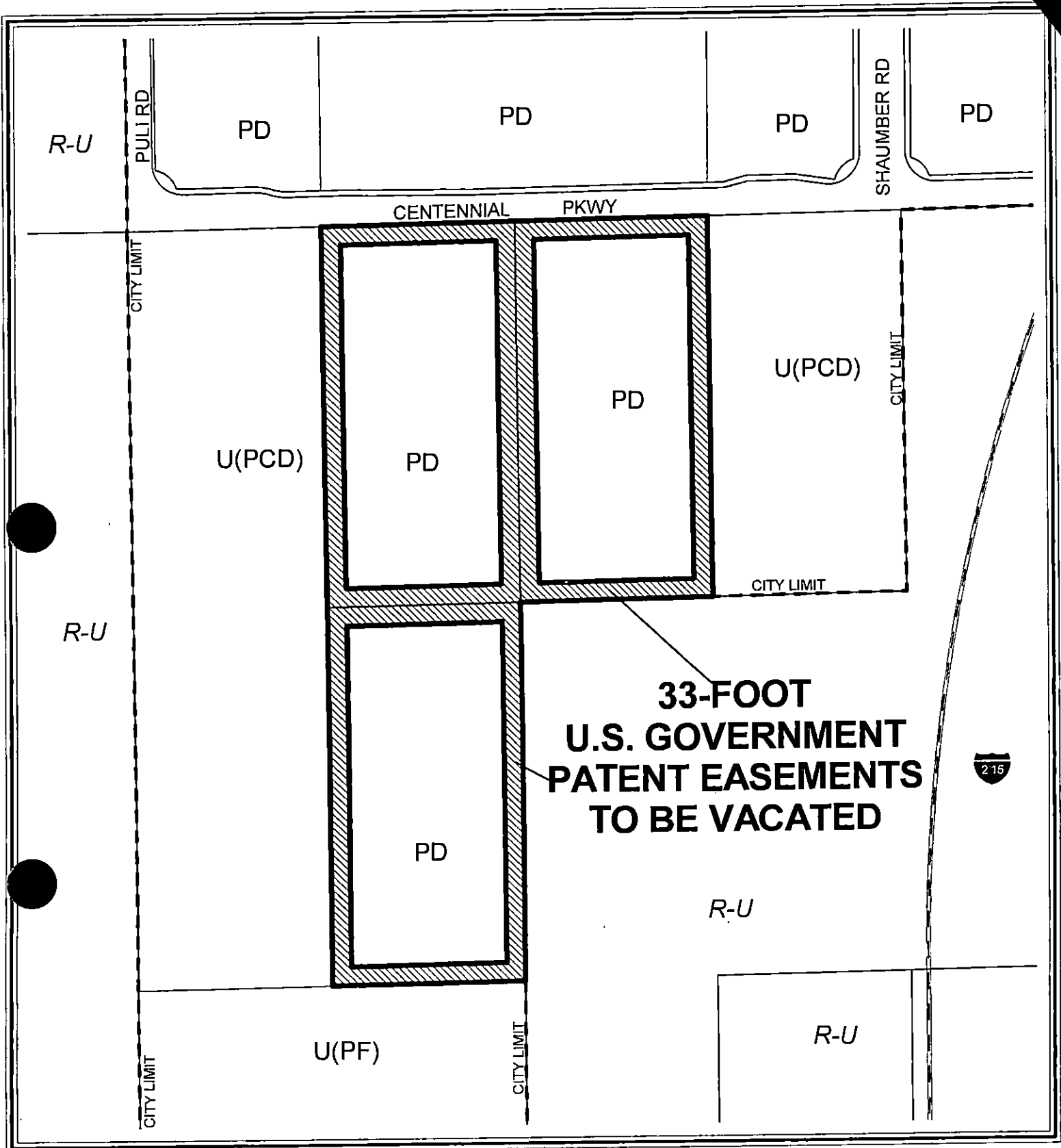
Public Works

4. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Relinquishment of Interest for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The drainage study required by ZON-12345 may be used to satisfy this requirement provided that it addresses the area to be vacated.
5. Coordinate with the Collection Systems Planning section of the Department of Public Works to provide an alternate sanitary sewer path for this site; grant necessary easements prior to or concurrent with recordation of an Order of Relinquishment of Interest.
6. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Relinquishment of Interest.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 5 – VAC-17077

CONDITIONS – Continued:

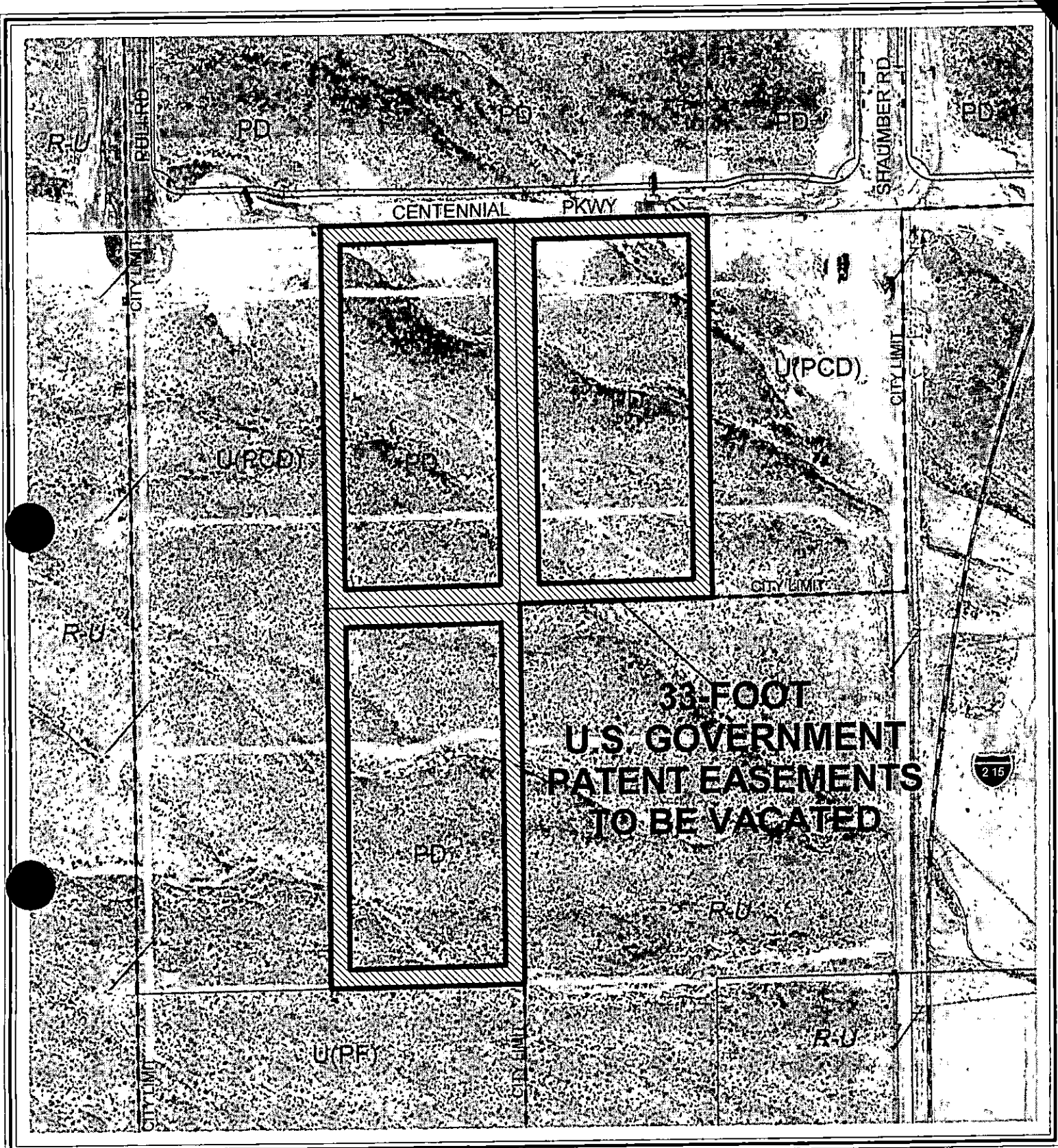
7. The Order of Relinquishment of Interest shall not be recorded until all of the conditions of approval have been met provided, however, the conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.



0 100 200 Feet

CASE: VAC-17077





0 100 200 Feet

CASE: VAC-17077



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: VAC-17077 - APPLICANT: PULTE HOMES - OWNER: PN II, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress there from shall be provided if required.
2. All development shall be in conformance with code requirements and design standards of all City Departments.
3. If the Order of Relinquishment of Interest is not recorded within one (1) year after approval by the City of Las Vegas or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted.

Public Works

4. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Relinquishment of Interest for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The drainage study required by ZON-12345 may be used to satisfy this requirement provided that it addresses the area to be vacated.
5. Coordinate with the Collection Systems Planning section of the Department of Public Works to provide an alternate sanitary sewer path for this site; grant necessary easements prior to or concurrent with recordation of an Order of Relinquishment of Interest.
6. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Relinquishment of Interest.

VAC-17077 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

7. The Order of Relinquishment of Interest shall not be recorded until all of the conditions of approval have been met provided, however, the conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.

VAC-17077 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

Petition to Vacate U.S. Government Patent Easements generally located south of Centennial Parkway, west of Schaumber Road. The proposal would vacate 33 foot wide patent easements along perimeter property lines for 3 parcels (APN 126-25-101-001, 126-25-101-002, and 126-25-101-005).

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/07/06	City Council approved a request for a Site Development Plan Review (SDR-12342) for a proposed 118-lot single-family residential development on 15 acres adjacent to the south side of Centennial Parkway, approximately 340 feet west of Schaumber Road. Staff and Planning Commission recommended approval
06/07/06	City Council approved a request for a Rezoning (ZON-12345) from U (Undeveloped) [PCD (Planned Community Development) Master Plan Designation] under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) to PD (Planned Development) on 15 acres adjacent to the south side of Centennial Parkway, approximately 340 feet west of Schaumber Road. Staff and Planning Commission recommended approval.
<i>Pre-Application Meeting</i>	
A Pre-application meeting was not held nor is one required for this type of request.	
<i>Neighborhood Meeting</i>	
A neighborhood meeting was not held for this request.	

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped - Vacant	Planned Community Development	Planned Development
North	Undeveloped - Vacant	Planned Community Development	Planned Development
South	Undeveloped - Vacant	Planned Community Development	Undeveloped
East	Undeveloped - Vacant	Planned Community Development	Undeveloped
West	Undeveloped - Vacant	Planned Community Development	Undeveloped

VAC-17077 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Trails		N	Y
Rural Preservation Overlay District	Y		Y
Development Impact Notification Assessment	N		Y
Project of Regional Significance	N		Y

DETAILS OF APPLICATION REQUEST

The property is legally described as the north, east, south, and west 33.00 feet of the West Half (W½) of the Northeast Quarter (NE¼) of the Northwest Quarter (NW¼) of the northwest quarter (NW¼) of Section 25, Township 19 South, Range 59 East, M.D.M.; and

The north, east, south, and west 33.00 feet of the East Half (E½) of the Northwest Quarter (NW¼) of the Northwest Quarter (NW¼) of the Northwest Quarter (NW¼) of Section 25, Township 19 South, Range 59 East, M.D.M.; and

The north, east, south, and west 33.00 feet of the East Half (E½) of the Southwest Quarter (SW¼) of the Northwest Quarter (NW¼) of the Northwest Quarter (NW¼) of Section 25, Township 19 South, Range 59 East, M.D.M.

ANALYSIS

Planning

Planning staff has no objection to the Vacation request. Access to the project parcels will be available via Centennial Parkway. Development of the project parcels is proposed as single-family residential in accordance with SDR-12342 and ZON-12345.

Public Works

We have no objection to the vacation application request to vacate U.S. Government Patent Reservations generally located south of Centennial Parkway, west of Shaumber Road.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 1

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

VAC-17077 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

NOTICES MAILED 2

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAC-17077** APN: 125.25.101-001, 002 & 005

Name of Property Owner: PNII Inc

Name of Applicant: Pulte Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

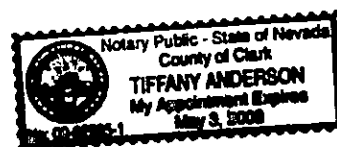
APN: _____

Signature of Property Owner: *Don Boettcher*

Print Name: Don Boettcher

Subscribed and sworn before me

This 5th day of September, 20 06
Tiffany Anderson
Notary Public in and for said County and State





VAC-17077 - APPLICANT: PULTE HOMES - OWNER: PN II, INC.
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAC-17077 - APPLICANT: PULTE HOMES - OWNER: PN II, INC.
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



ENGINEERS PLANNERS SURVEYORS

G. C. WALLACE, INC.

Writer's Contact Information:

September 21, 2006

City of Las Vegas
Planning & Development
731 S. Fourth Street
Las Vegas, Nevada 89101

RE: Justification Letter – Centennial 15 – Vacation Request
APN's: 126-25-101-001; 126-25-101-002 & 126-25-101-005

To whom it may concern:

On behalf of our Client PN II, Inc. dba Pulte Homes, G.C. Wallace Inc., requests the review and approval of this Vacation Application for a single-family residential project generally located west of Shaumber Road and south of Cimarron.

The zoning (ZON-12345) and Site Development Review (SDR-12342) for this project were both approved by City Council on June 22, 2006.

We are requesting to vacate 33' wide patent easements along the property lines for each 5-acre parcel as no utilities or roadways are required for these portions of the development. This vacation package includes copies of the original Patent Reservation Documents, APN map, vacation exhibits and the legal descriptions showing the locations of the areas to be vacated.

If you should need any additional information or have any questions, please feel free to contact us.

Sincerely,
G.C. Wallace, Inc.

Jodi Bennett
Project Coordinator

CC: Aaron Schwerman, Pulte Homes
John Moran, Pulte Homes
Rick Read, GCW
Tabitha Keetch, KKBRF

VAC-17077 RECEIVED
11/16/06 PC SEP 22 2006

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17298 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: REPUBLIC SERVICES OF SOUTHERN NEVADA - OWNER: PREMIER TRUST OF NEVADA - Request for a Site Development Plan Review FOR A PROPOSED PARKING LOT AND A WAIVER TO ALLOW A REDUCTION OF THE PERIMETER LANDSCAPING BUFFERING REQUIREMENTS on 0.52 acres adjacent to the north side of Sahara Avenue, approximately 600 feet east of 6th Street (APN 162-03-801-018), C-1 (Limited Commercial) Zone, Ward 3 (Reese).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – APPROVED subject to conditions – **UNANIMOUS** with **DUNNAM** excused

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

This item was under the One Vote/One Motion and was brought forward for discussion upon **DOUG RANKIN'S** request, Planning and Development Department.

MR. RANKIN supported the waivers since they are minimal and the request would upgrade the unused vacant lot.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 6 – SDR-17298

MINUTES – Continued:

NED THOMAS, Wood Rogers Engineering, appeared on behalf of the applicant and apologized for not providing the necessary paperwork to confirm agreement with the conditions. He acknowledged all conditions and requested support.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(6:24 – 6:26)

1-705

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/03/06, except as amended by conditions herein.
3. A Waiver from 19.12 is hereby approved, to allow a reduction in the perimeter landscape buffer widths where 8 feet is the minimum width allowed. Landscape buffer zone widths will be 2 feet along the east, 7 feet to the north, and 0 feet along the south property line.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: (1) Add one 24 inch box trees within the landscape buffer along the western property line and two 24 inch box trees within the landscape buffer along the eastern property boundary.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

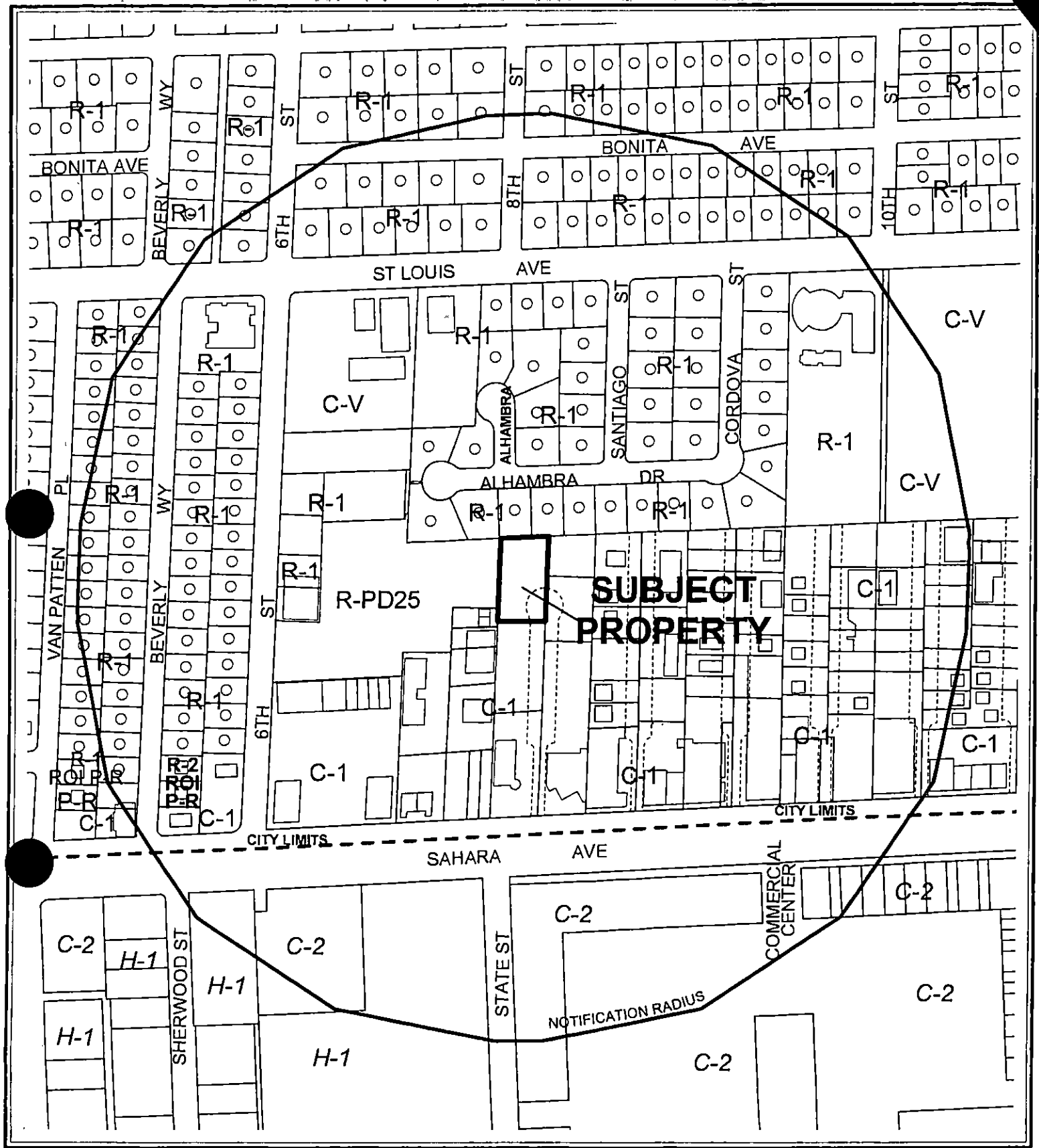
PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 6 – SDR-17298

CONDITIONS – Continued:

6. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
7. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
8. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

9. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.



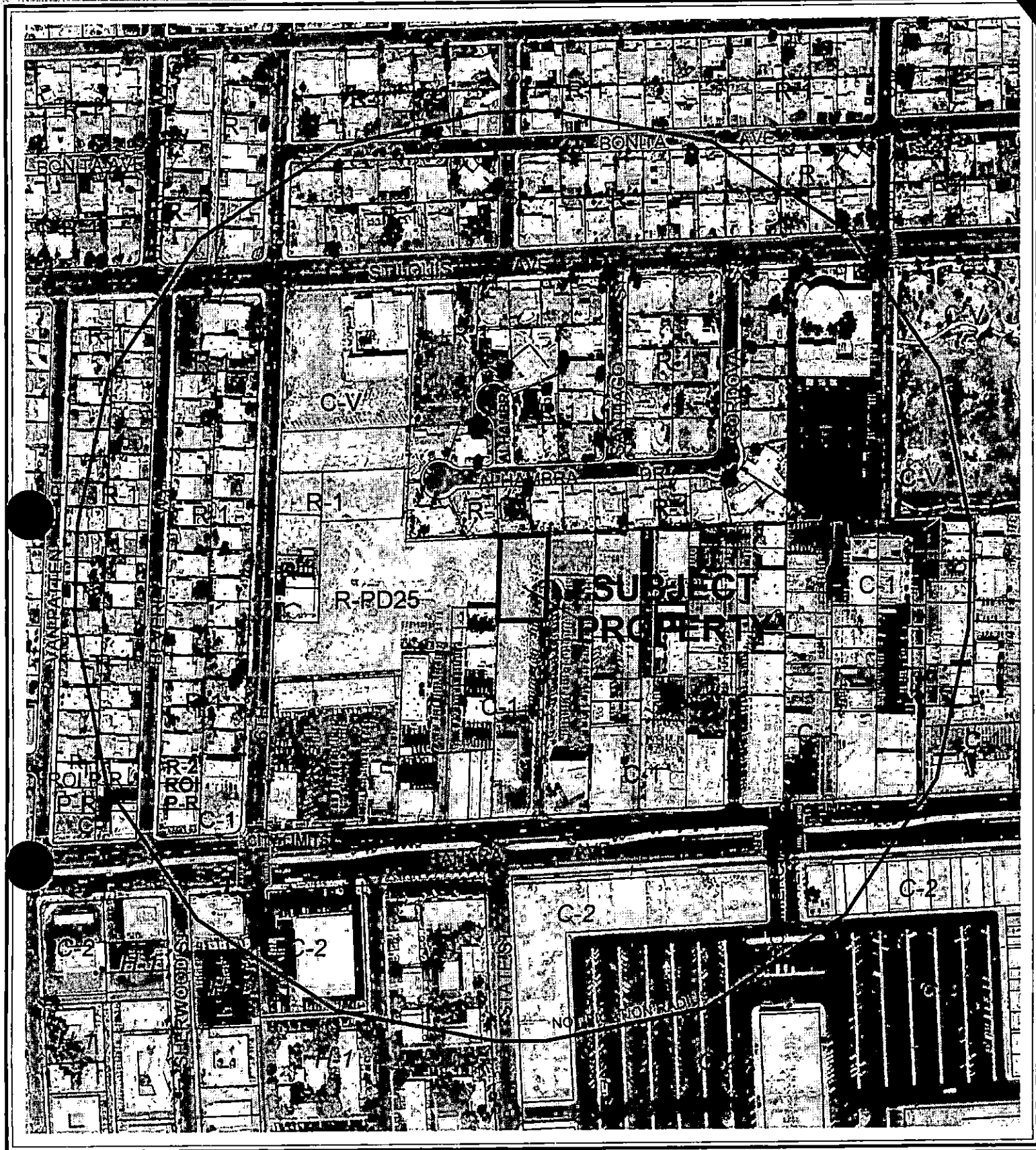
CASE: **SDR-17298**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **SDR-17298**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17298 - APPLICANT: REPUBLIC SERVICES OF SOUTHERN NEVADA - OWNER: PREMIER TRUST OF NEVADA**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/03/06, except as amended by conditions herein.
3. A Waiver from 19.12 is hereby approved, to allow a reduction in the perimeter landscape buffer widths where 8 feet is the minimum width allowed. Landscape buffer zone widths will be 2 feet along the east, 7 feet to the north, and 0 feet along the south property line.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: (1) Add one 24 inch box trees within the landscape buffer along the western property line and two 24 inch box trees within the landscape buffer along the eastern property boundary.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

SDR-17298 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

7. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
8. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

9. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

SDR-17298 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This application is for a Site Development Plan Review for a 38 space parking lot with a Waiver of the perimeter landscaping requirements on an undeveloped 0.52 acre site located on the north side of Sahara Avenue, approximately 600 feet east of 6th Street. The parking lot will provide parking for employees of the adjacent commercial office located southeast of the project site.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/20/04	City Code Enforcement reported site violations involving litter, trash, debris, weeds, and other waste on the project site.
<i>Pre-Application Meeting</i>	
09/20/06	A Pre-Application Meeting was held with the applicant. The applicant was informed of the Title 19 landscape perimeter buffer zone as well as parking lot landscape requirements.
<i>Neighborhood Meeting</i>	
This application does not require a neighborhood meeting nor was one held	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.52

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Vacant lot	Commercial	C-1 (Limited Commercial)
North	Residential	Residential	R-1 (Single Family Residential)
South	Vacant lot	Commercial	C-1 (Limited Commercial)
East	Surface Parking and public right-of-way	Commercial	C-1 (Limited Commercial)
West	Vacant lot	Residential	R-PD (Residential Planned Development)

SDR-17298 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan			
Beverly Green Southridge Neighborhood Plan	Y		Y
Las Vegas 2020 Master Plan -- Revitalization Area	Y		Y
Las Vegas Redevelopment Plan	Y		Y
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	NA	NA	Y
Min. Lot Width	100	NA	Y
Min. Setbacks	20	Not applicable	Y
• Front	10	as no new building(s)	
• Side	15	is included	
• Corner	20	in this	
• Rear		proposal	
Min. Distance Between Buildings	NA	NA	Y
Max. Lot Coverage	NA	NA	Y
Max. Building Height	NA	NA	Y
Trash Enclosure	NA	NA	Y
Mech. Equipment	NA	NA	Y

SDR-17298 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 tree for every 6 spaces	6	8	Y
Buffer: Min. Trees	1 per 30 Linear Feet	13 Trees	13	N
TOTAL		19	21	N
Min. Zone Width	8 Feet		8 Feet on West property line; 7 Feet along the North property line; 2 feet along the east property line; 0 feet along the southern property line.	N
Wall Height	NA		Y	Y

Waivers		
Request	Requirement	Staff Recommendation
Waive the requirement for perimeter landscape buffer zone.	8 feet	Approve the Waiver

ANALYSIS

The proposed project is for the approval of a Site Development Plan Review to construct a new 38 space parking lot on an undeveloped parcel. Surrounding land uses include single family residential to the north, a surface parking lot to the east, and undeveloped dirt lots to the west and south. The project site is located in the C-1 (Limited Commercial) Zone, Beverly Green Southridge Plan Area, Las Vegas Redevelopment Plan Area – Downtown Revitalization, and the Airport Overlay District.

The project plans were reviewed and development service staff determined that the landscape buffer zones along the north, south, and east property lines are not consistent with Title 19 Landscape Standards. Title 19 Perimeter Landscape Buffer Widths require a minimum zone depth of 8 feet for interior lot lines. The landscaping plan shows a 2 foot buffer along the east property line; a 7-15 foot buffer along the northern property lines; and a 0-15 foot buffer along the southern property line. As such, the project requires a Waiver of perimeter landscaping buffers.

JA

SDR-17298 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

The project parcel received a violation from city code enforcement on 04/21/04 related to illegal dumping of trash, debris and other associated waste and accumulation of weeds and grasses. Development of the project site as a parking lot would be an improvement over existing conditions and would be consistent with the intent of city revitalization efforts.

- **Zoning:**

The project is consistent with Title 19 Commercial Development Standards for the C-1 (Limited Commercial) Zone, and on-site parking standards.

- **Special Area Plan:**

The project is located within the Las Vegas Redevelopment Plan Area, and the Revitalization Area of the City Master Plan.

- **Landscaping plan:**

The project landscape plan does not meet the buffer zone requirements. Title 19 Landscape buffer standards require a minimum 8-foot zone depth for commercial uses. The project landscape plans show buffer widths of 8 feet along the western property line, 7-15 feet along the northern property line, 2 feet along the eastern property line, and 0-15 feet along the southern boundary. As such, a Waiver of the perimeter landscape buffer zone requirement is included with this development proposal.

Project landscaping will include Mondel pine and honey mesquite trees; cassia, Texas Ranger, and wheelers dwarf pitosporum for shrubs; new gold lantana for ground cover, and 2-inch deep rock mulch.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed parking lot is compatible with development in the immediate vicinity.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

SDR-17298 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

The proposal meets the intent of the General Plan – Revitalization area goals, Title 19, Las Vegas Redevelopment Plan, and Commercial Development Design Standards and the landscape standards. The requested Waiver of the landscape buffer zones is acceptable as the project would improve an underutilized site, address a history of code compliance concerns, and provide an upgraded surface parking area for an existing business.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Vehicular access to the project site would not adversely affect traffic movements along East Sahara Boulevard or residential neighborhoods.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Landscaping would be appropriate for the area.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The proposed parking lot would complement existing commercial and adjacent residential development in the immediate area by providing and maintaining landscaped areas.

- 6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

No detrimental effects to Public health and safety would result with development of this site as a surface parking and landscaping.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

14

ASSEMBLY DISTRICT 9

SENATE DISTRICT 10

NOTICES MAILED 220

SDR-17298 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SDR-17298

Case Number: _____ APN: 162-03-801-018

Name of Property Owner: Stanley M. Zurawski Jr. IRA

Name of Applicant: Republic Services of Southern Nevada

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

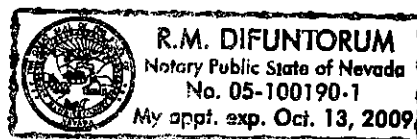
APN: _____

Signature of Property Owner: Stacy Libbey, AUP/Trust Officer
Print Name: Pratt Trust, Inc. custodian
for Stanley M. Zurawski Jr. IRA

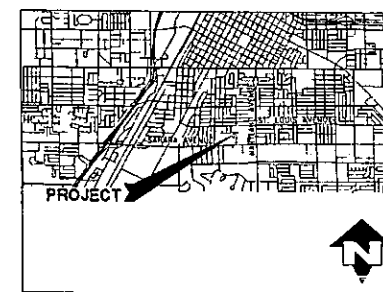
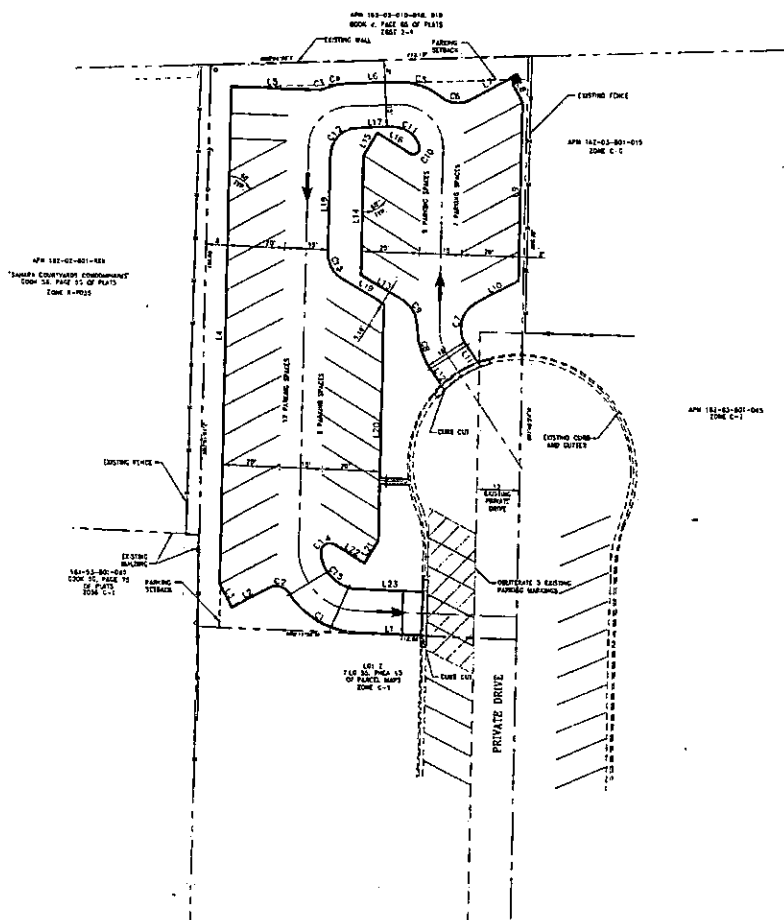
Subscribed and sworn before me

This 2nd day of October, 2009
R.M. Difuntorum

Notary Public in and for said County and State



LINE TABLE		
LINE	LENGTH	DEARING
L1	12.15	5000000000
L2	12.20	5000000000
L3	9.14	5000000000
L4	155.81	5000000000
EA	79.51	5000000000
L8	12.10	5000000000
L9	19.65	5000000000
L10	9.93	5000000000
L11	87.78	5000000000
L16	19.21	5000000000
L17	7.17	5000000000
L18	4.26	5000000000
L19	7.72	5000000000
L20	47.56	5000000000
L21	4.70	5000000000
L16	1.80	5000000000
L17	11.07	5000000000
L18	54.93	5000000000
L19	37.37	5000000000
L10	83.36	5000000000
L21	9.83	5000000000
L22	17.31	5000000000



VICINITY MAP

BASIS OF BEARINGS

BENCHMARK

SECTION OF TOWNSHIP 21 SOUTH, RANGE 21
EAST, N.M.M., CITY OF LAS VEGAS CLARK
COUNTY, NEVADA.

PROJECT DATA

AFN# 151-95-031-A15
EXISTING ZONING C-1
PROPOSED ZONING C-2
NO PLANNED IMPROVEMENTS

PARKING SPACES

SIZE: 8' X 18'
PROVIDED: 38
REMOVED: 9
NET: 33

ADA PARKING: SPACE NEAR ENTRANCE OF REPUBLIC SERVICE BUILDING (OFFSITE) TO BE CONVERTED TO PROVIDE TWO (2) ADA SPACES INCLUDING ONE VAN ACCESSIBLE SPACE.

LEGEND

- | PROJECT / UNIT SOUNDING | |
|---|---------------|
|  | FIRE HYDRANT |
|  | SEWER MANHOLE |
|  | WATER VALVE |
|  | ELECTRIC POLE |
|  | GUT WIRE |

DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE OWNER ASSUMES NO RESPONSIBILITY FOR OTHERS' ONSITE OR OFFSITE UTILITIES. THE OWNER'S OFFICE LOCATION, CONSTRUCTION SITE, AND LOCATION OF ANY PERMITS OR ENCUMBRANCES.

Call before you Overhead
1-702-277-2825
Service Proper
Commitment and Safety

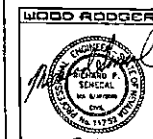
Call
before you
Dig
1-800-227-2899

Underground

Install Motor, Underpass,
Traffic Signal System
and Street Light System
Conducts & Cables
Cable Route
TOD
CONSTRUCTION

Underground

1-702-455-7511
CLARK COUNTY TRAFFIC OPERATIONS
AND
1-702-223-6811
LAS VEGAS AREA COMPUTERED TRAFFIC



Date: Sept 26, 2006

PRELIMINARY - INITIAL SUBMITTAL

[illegible]

J. J. ROGGE'S

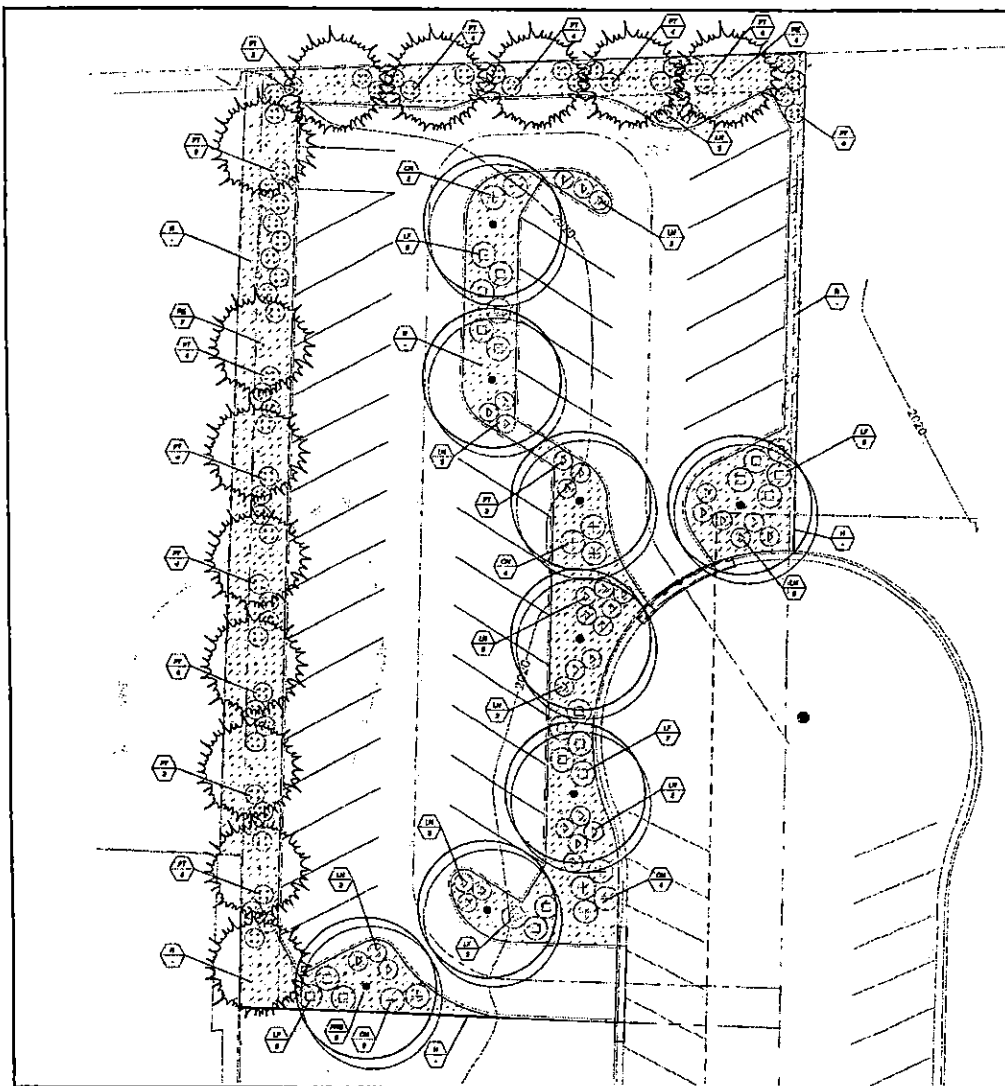
IMPROVEMENT PLANS FOR
SAHARA PARKING LOT

PROJECT NO.	1749.304
DRAWING	H-1

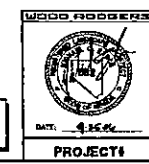
SHT 4 OF

RECEIVED
OCT 03 2006

SDR-17298
11/16/06 PC



See Sheet L-4 for Planting
Legend and Notes



WOOD ROBBERS LANDSCAPE ARCHITECTS 1000 S. LAS VEGAS BLVD., SUITE 100 LAS VEGAS, NV 89101 PHONE: (702) 735-1111 FAX: (702) 735-1112 WWW.WOODROBBERS.COM		PRELIMINARY - INITIAL SUBMITTAL DATE: 11/16/06 DRAWN BY: J. ROBBERS CHECKED BY: J. ROBBERS PROJECT NO.: 11/16/06
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RECEIVED
OCT 03 2006

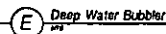
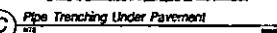
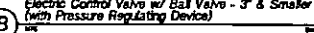
SDR-17298
11/16/06 PC



SDR-17298
11/16/06 PC

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EMITTER SCHEDULE			
PLANT TYPE	EMITTER SIZE	# OF EMITTERS PER PLANT	REMARKS
SHRUBS	1/4" DIA	1	LOCALLY SPACED AROUND SHRUBS ON OPPOSITE SIDE OF PLANT
GROUND COVER	1/4" DIA	1	

[illegible]

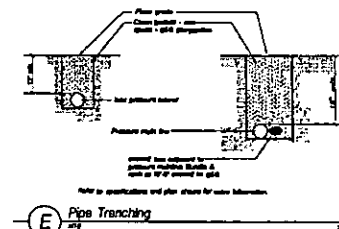
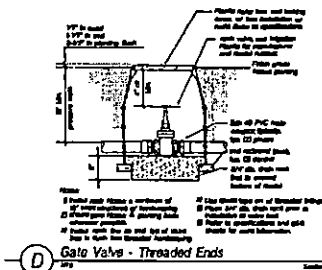
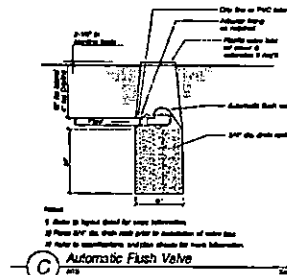
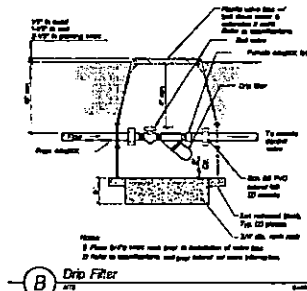
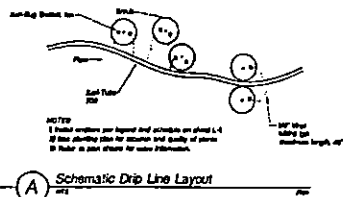
LANDSCAPE IMPROVEMENT PLANS FOR
SAHARA PARKING LOT
ACTION LEGEND, NOTES AND DETAILS

PROJECT NO.
1740-009

DRAWING
L-1

SHEET 8 OF 10

SDR-17298
11/16/06 PC



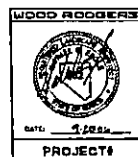
IRRIGATION SCHEDULE

CONTROLLER A

Area	Type	Days	Amount	Rate	Notes
1	D	1	1	1	
2	D	2	2	2	
3	D	3	3	3	
4	D	4	4	4	
5	D	5	5	5	
6	D	6	6	6	
7	D	7	7	7	
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10	D	10	10	10	
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Notes: 1. Indicate drip irrigation in schedule. 2. Indicate date for next irrigation. 3. Indicate amount for next irrigation. 4. Indicate rate for next irrigation. 5. Indicate cycles for next irrigation. 6. Indicate cycles for next irrigation. 7. Indicate cycles for next irrigation. 8. Indicate cycles for next irrigation. 9. Indicate cycles for next irrigation. 10. Indicate cycles for next irrigation. 11. Indicate cycles for next irrigation. 12. Indicate cycles for next irrigation. 13. Indicate cycles for next irrigation. 14. Indicate cycles for next irrigation. 15. Indicate cycles for next irrigation. 16. Indicate cycles for next irrigation. 17. Indicate cycles for next irrigation. 18. Indicate cycles for next irrigation. 19. Indicate cycles for next irrigation. 20. Indicate cycles for next irrigation. 21. Indicate cycles for next irrigation. 22. Indicate cycles for next irrigation. 23. Indicate cycles for next irrigation. 24. Indicate cycles for next irrigation. 25. Indicate cycles for next irrigation. 26. Indicate cycles for next irrigation. 27. Indicate cycles for next irrigation. 28. Indicate cycles for next irrigation. 29. Indicate cycles for next irrigation. 30. Indicate cycles for next irrigation. 31. Indicate cycles for next irrigation. 32. Indicate cycles for next irrigation. 33. Indicate cycles for next irrigation. 34. Indicate cycles for next irrigation. 35. Indicate cycles for next irrigation. 36. Indicate cycles for next irrigation. 37. Indicate cycles for next irrigation. 38. Indicate cycles for next irrigation. 39. Indicate cycles for next irrigation. 40. Indicate cycles for next irrigation. 41. Indicate cycles for next irrigation. 42. Indicate cycles for next irrigation. 43. Indicate cycles for next irrigation. 44. Indicate cycles for next irrigation. 45. Indicate cycles for next irrigation. 46. Indicate cycles for next irrigation. 47. Indicate cycles for next irrigation. 48. Indicate cycles for next irrigation. 49. Indicate cycles for next irrigation. 50. Indicate cycles for next irrigation. 51. Indicate cycles for next irrigation. 52. Indicate cycles for next irrigation. 53. Indicate cycles for next irrigation. 54. Indicate cycles for next irrigation. 55. Indicate cycles for next irrigation. 56. Indicate cycles for next irrigation. 57. Indicate cycles for next irrigation. 58. Indicate cycles for next irrigation. 59. Indicate cycles for next irrigation. 60. Indicate cycles for next irrigation. 61. Indicate cycles for next irrigation. 62. Indicate cycles for next irrigation. 63. Indicate cycles for next irrigation. 64. Indicate cycles for next irrigation. 65. Indicate cycles for next irrigation. 66. Indicate cycles for next irrigation. 67. Indicate cycles for next irrigation. 68. Indicate cycles for next irrigation. 69. Indicate cycles for next irrigation. 70. Indicate cycles for next irrigation. 71. Indicate cycles for next irrigation. 72. Indicate cycles for next irrigation. 73. Indicate cycles for next irrigation. 74. Indicate cycles for next irrigation. 75. Indicate cycles for next irrigation. 76. Indicate cycles for next irrigation. 77. Indicate cycles for next irrigation. 78. Indicate cycles for next irrigation. 79. Indicate cycles for next irrigation. 80. Indicate cycles for next irrigation. 81. Indicate cycles for next irrigation. 82. Indicate cycles for next irrigation. 83. Indicate cycles for next irrigation. 84. Indicate cycles for next irrigation. 85. Indicate cycles for next irrigation. 86. Indicate cycles for next irrigation. 87. Indicate cycles for next irrigation. 88. Indicate cycles for next irrigation. 89. Indicate cycles for next irrigation. 90. Indicate cycles for next irrigation. 91. Indicate cycles for next irrigation. 92. Indicate cycles for next irrigation. 93. Indicate cycles for next irrigation. 94. Indicate cycles for next irrigation. 95. Indicate cycles for next irrigation. 96. Indicate cycles for next irrigation. 97. Indicate cycles for next irrigation. 98. Indicate cycles for next irrigation. 99. Indicate cycles for next irrigation. 100. Indicate cycles for next irrigation.

See Sheet L-1 for Irrigation Legend and Notes



LANDSCAPE ARCHITECT FIRM FOR
SAHARA PARKING LOT
IRRIGATION SCHEDULE, WATER CALCS, AND DETAILS
CITY OF LAS VEGAS

PRELIMINARY - INITIAL SUBMITTAL
REV. DESCRIPTION
DATE
BY
CHECKED
DATE
BY
APPROVED
DATE
BY

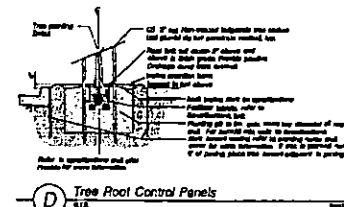
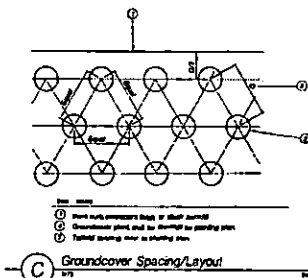
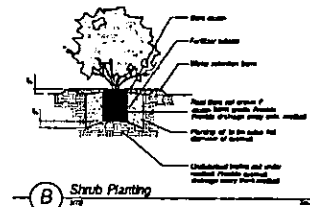
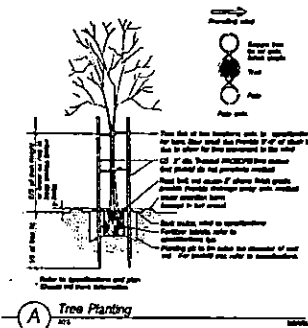
RECEIVED
OCT 03 2006

SDR-17298
11/16/06 PC

PLANT LEGEND			
KEY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
TREES			
TR	FRAX DOMESTICA / MONSIEUR JANE	4" DBH	
TR	PROSTERA QUINQUELOBA / MONSIEUR JANE	4" DBH	
SHRUBS			
TS	CHENEA ARBORESCENS / CASHA	6" DBH	
TS	LEUCOPHYLLUM PULCHERRUM / BEAR BRASSER	6" DBH	
TS	PROSTERA QUINQUELOBA / MONSIEUR JANE	6" DBH	
GROUNDCOVER			
GC	LEUCOPHYLLUM PULCHERRUM / BEAR BRASSER	1" DBH	
ROOT MALLS			
A	2" DEEP ROOT MALL TO BE INSTALLED BETWEEN PLANTING NOTES		
OTHER			
H	ALUMINUM RODS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS		

PLANTING NOTES

1. Plant material shall be delivered to the site in accordance with the schedule of work. The material shall be delivered to the site in accordance with the schedule of work.
2. Landscaping shall be completed within the specified time frame. The material shall be delivered to the site in accordance with the schedule of work.
3. Landscaping shall be completed within the specified time frame. The material shall be delivered to the site in accordance with the schedule of work.
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20. Landscaping shall be completed within the specified time frame. The material shall be delivered to the site in accordance with the schedule of work.



PRELIMINARY - INITIAL SUBMITTAL

DATE: 11/16/06

PROJECT NO. 17298

DRAWING L-4

SHEET 8 OF 10

SAHARA PARKING LOT

PLANTING LEGEND, NOTES AND DETAILS

CITY OF LAS VEGAS

PROJECT

DECET

OCT 03 2006

SDR-17298

11/16/06 PC



SDR-17298 - APPLICANT: REPUBLIC SERVICES OF SOUTHERN NEVADA - OWNER: PREMIER TRUST OF NEVADA
NORTH SIDE OF SAHARA AVENUE, APPROXIMATELY 600 FEET EAST OF 6TH STREET
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SDR-17298 - APPLICANT: REPUBLIC SERVICES OF SOUTHERN NEVADA - OWNER: PREMIER TRUST OF NEVADA

NORTH SIDE OF SAHARA AVENUE, APPROXIMATELY 600 FEET EAST OF 6TH STREET

NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



October 2, 2006

City of Las Vegas
731 S. 4th Street
Las Vegas, Nevada 89101

SDR-17298
11/16/06 PC

Re: Application for Site Development Plan Review & Waiver, . . . APN 162-03-801-018

To Whom It May Concern:

On behalf of the Republic Services of Southern Nevada (Republic Services), Wood Rodgers Inc. respectfully submits the attached application for a site development plan review. The proposed project is exclusively located at APN 162-03-801-018 and will include the construction of an employee parking lot.

Mr. Stanley Zurawski Jr., as owner of the parcel in question, maintains a lease agreement with Republic Services and has given consent for the proposed parking lot use. The subject parcel is currently unimproved, unoccupied and is accessed by a paved private drive owned by Republic Services of Southern Nevada, and Mr. Stanley Zurawski Jr. Both parties agree to maintain access to the site as it is today.

The proposed parking lot will be for the use of Republic Services of Southern Nevada employees who work at 770 East Sahara Avenue, Las Vegas, Nevada. In total, there will be 38 parking spaces constructed, with all parking slots being numbered and assigned. The lot will include drought resistant landscaping to exceed the City of Las Vegas (City) requirements, landscape buffers as required by the City, an automatic drip irrigation system, and lighting to exceed the City requirements. There will be no compact car spaces provided within the new parking lot, and two additional handicapped access parking spaces (one van accessible) will be provided in the current handicapped parking location adjacent to the main door of the Republic Services of Southern Nevada office building. Additionally, the current parking on the West side, running North/South along the private drive will be eliminated, and those employees will be assigned parking spaces in the proposed lot.

Waiver Request: We respectfully request a waiver of the landscape island requirements within the parking lot defined by the City of Las Vegas "Urban Design and Guideline Standards".

Justification: We are providing a tree every twenty (20) feet along the perimeter of the parking lot, and within the proposed island within the parking lot. Additionally, we are providing over twenty five (25) clusters of drought resistant shrubs and bushes throughout the parking lot. This proposed landscape scheme exceeds all City requirements. As the adjacent properties are currently zoned residential, we paid particular attention to the North and West border of the proposed parking lot. We feel that

the proposed landscape scheme will significantly beautify the area, more than adequately buffer the existent residential zoned parcels and significantly improve the esthetics of the area.

Waiver Request: We respectfully request a waiver for the requirement of two (2) handicapped parking spaces within the proposed parking lot as described in the City of Las Vegas "Urban Design and Guideline Standards".

Justification: We will provide two (2) handicapped parking spaces (one van accessible) in the current handicapped parking area adjacent to the main door of the Republic Services of Southern Nevada offices. These proposed spaces will be in addition to the twelve existing handicap spaces and meet ADA requirements.

This proposed parking lot will eliminate the current parking along the West side of the private drive at 770 East Sahara Avenue, and will significantly improve the esthetics of the area in general. We respectfully request approval of our application.

Thank you for your time and attention to our request.

Sincerely,
Wood Rodgers, Inc.

A handwritten signature in cursive script, appearing to read "Paul Minto".

Paul Minto, P.M.P.
Principal

SDR-17298
11/16/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - GPA-16511 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST - Request to Amend a portion of the Southwest Sector Plan of the Master Plan **FROM: ML (MEDIUM-LOW DENSITY RESIDENTIAL) TO: MLA (MEDIUM-LOW ATTACHED DENSITY RESIDENTIAL)** on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions (Not Applicable) and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – Motion carried with STEINMAN voting NO

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 7 [GPA-16511], Item 8 [ZON-16519], Item 9 [VAR-16525] and Item 10 [SDR-16522].

NATHAN GOLDBERG, Planning and Development Department, reported that the project would allow up to four units to the acre more than the current land use designation allows and would also require a 40 percent deviation from the open space requirement. Overall, the proposal is inconsistent with the area and he recommended denial.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 7 – GPA-16511

MINUTES – Continued:

RUSSELL SKUSE, 7525 Hickam Avenue, appeared on behalf of the applicant and stated the applicant has made a plan change to make the project more affordable. The proposal consists of a mini-lot cluster that has been accepted in the valley. He described surrounding zoning designations and pointed out that the plan offers fewer lots than adjacent property owners with a greater buffer than what was originally presented. MR. SKUSE further compared the previous plan consisting of a 15-foot rear yard setback and noted that the revised plan offers a 25-foot buffer in addition to the setbacks. He shared that a neighborhood meeting had been conducted and opposition had been expressed.

DON DOERING, 4324 Mark Avenue, displayed a notice that was mailed about the neighborhood meeting encouraging community input about the proposal. He stated that the project's intensity has gradually increased and it lacks significant open space. He expressed concern about fire safety issues and traffic congestion and recommended denial.

MR. SKUSE stated the plan has not changed beside the rearrangement of open space and the addition of the a three story home option. COMMISSIONER TROWBRIDGE inquired if the project would be age restricted as it could impact the nearby schools that already exceed capacity. MR. SKUSE confirmed it would not be age restricted and pointed out that the intent of the project is to establish affordability and any in-lieu-of fees could be used throughout the neighborhood in any way the Councilman and staff find necessary. MR. SKUSE acknowledged the concern about open space and reiterated that the previous plan had even less rear yard setbacks.

COMMISSIONER GOYNES stated that the quality of life is sacrificed when open space is jeopardized. He queried where the three story homes would be placed on the property since the project is so dense. MR. SKUSE explained that the entire project would be three-story homes and he displayed renderings depicting the area with a wider buffered area.

COMMISSIONER TRUESDELL commented that this project would be welcomed in other areas. As presented, the project would only serve as a large buffer to surrounding development and would offer nothing beneficial for those within the project since it lacks open space. The in-lieu-of fees can be beneficial for many reasons but if the site were one to three lots fewer, the project could provide the necessary open space. The major concern was not of the density but of the quality of product offered and while COMMISSIONER TRUESDELL has supported this product at other locations, he could not support this project for the lack of quality presented.

COMMISSIONER STEINMAN questioned if a park could be developed within the community so that the \$80,000 in-lieu-of fee could be used where it is needed and whether the applicant has

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 7 – GPA-16511

MINUTES – Continued:

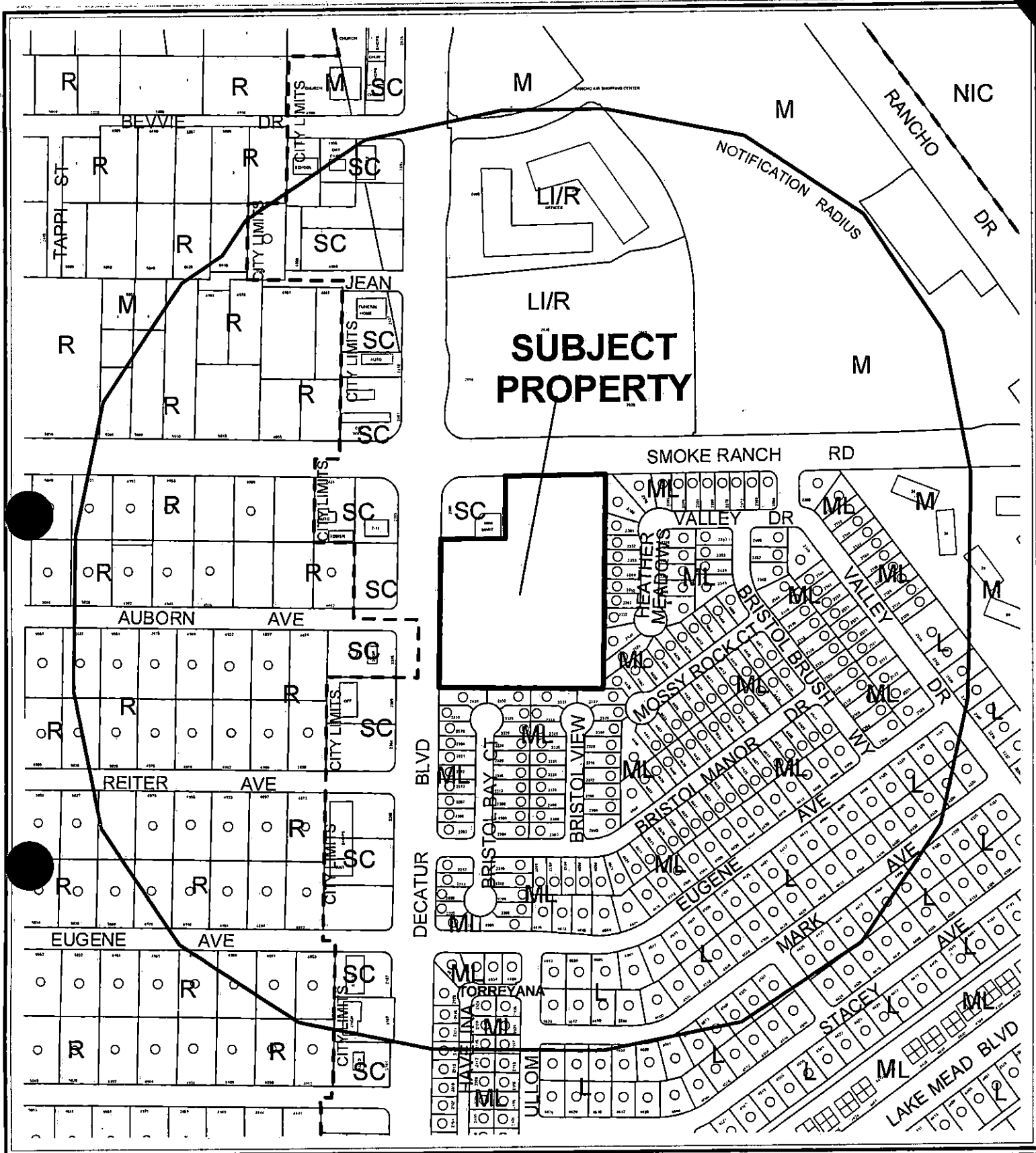
considered single-story homes as perimeter lots. MR. SKUSE was unable to confirm if single story homes are feasible and stated that in order to provide the necessary open space, 10 lots would need to be sacrificed. COMMISSISONER STEINMAN stated that a buffer on the east side would be helpful and while he would not normally support a park within a development, a park could definitely benefit this project.

COMMISSIONER GOYNES concurred with COMMISSIONER STEINMAN and COMMISSIONER TRUESDELL'S comments.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 7 [GPA-16511], Item 8 [ZON-16519], Item 9 [VAR-16525] and Item 10 [SDR-16522].

(6:26 – 6:51)

1-763



CASE: **GPA-16511**

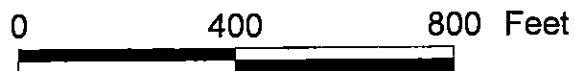
RADIUS: 1000 FT

GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:

ML (MEDIUM LOW DENSITY RESIDENTIAL)

PROPOSED GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:

MLA (MEDIUM LOW ATTACHED DENSITY RESIDENTIAL)



MLA (MEDIUM LOW ATTACHED DENSITY RESIDENTIAL)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - GPA-16511 -

APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL.

NG

GPA-16511 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is requesting to amend a portion of the Southwest Sector Plan of the Master Plan from ML (Medium-Low Density Residential) to MLA (Medium-Low Attached Density Residential).

The proposed MLA (Medium-Low Attached Density Residential) Land Use Designation is not considered appropriate for this location. The surrounding area is ML (Medium-Low Density Residential) and L (Low Density Residential). The proposed designation allows up to four units per acre more than what is currently permitted on the site. This General Plan Amendment would allow 25 lots more than the current land-use designation and zoning. The additional density is not compatible with the area and denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/28/05	The Planning Commission tabled a request for a Rezoning (ZON-5669) from R-1 (Single-Family Residential) to C-1 (Limited Commercial) on the subject property. Staff recommended approval.
11/16/05	The City Council approved a General Plan Amendment (GPA-7678) from SC (Service Commercial) to MLA (Medium-Low Attached Density Residential); a Waiver (WVR-9060) of Title 18.12.160 to allow 88 feet between street intersections where 220 feet is the minimum separation required; a Site Development Plan Review (SDR-9061) for a 50-lot single-family residential development; and a Rezoning (ZON-9058) from R-1 (Single-Family Residential) to R-PD8 (Residential Planned Development - 8 Units Per Acre). The Planning Commission and staff recommended approval.
12/01/05	The Planning Commission approved a Tentative Map (TMP-9764) for a 50-lot, single-family residential subdivision. Staff recommended approval.
10/19/06	Companion items for a Rezoning (ZON-16519), a Variance (VAR-16525), and a Site Development Plan Review (SDR-16522) were held in abeyance.
11/02/06	The Planning Commission voted to hold this item in abeyance to the November 16, 2006 Planning Commission meeting.
11/16/06	Companion items for a Rezoning (ZON-16519), a Variance (VAR-16525), and a Site Development Plan Review (SDR-16522) will be considered.
<i>Related Building Permits/Business Licenses</i>	
There are no building permits or business licenses related to this application.	
<i>Pre-Application Meeting</i>	
08/14/06	A pre-application meeting was held and the following items were noted: A bus turnout and a drainage study are required. The General Plan Amendment was discussed. A knuckle deviation would be necessary. The homes would be sprinkled.

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GPA-16511 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Neighborhood Meeting	
09/26/06	A neighborhood meeting was held at Brinley Middle School, 2480 Maverick Street, Las Vegas, Nevada. In attendance were the applicant, one staff member, and one member of the public. Concerns regarding the density of the project, lack of open space, and an increase in traffic were discussed.

Details of Application Request	
Site Area	
Gross Acres	6.19
Net Acres	5.33

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	ML (Medium-Low Density Residential)	R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development, 8 Units per Acre) Zone
North	Storage	LI/R (Light Industry/Research)	C-M (Commercial/Industrial)
South	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
East	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
West	Convenience Store Single-Family Residential	SC (Service Commercial)	C-1 (Limited Commercial) R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		
A-O Airport Overlay District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

NG

GPA-16511 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
R-1 (Single Family Residential) under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre)	8.49 Units Per Acre	52 Units under the R-PD8 (Residential Planned Development - 8 Units Per Acre) Designation	R-PD12 (Residential Planned Development - 12 Units Per Acre)	12.49 Units per Acre	MLA (Medium-Low Attached Density Residential)	12.49 Units Per Acre 77 Units under the R-PD12 Designation (Residential Planned Development - 12 Units Per Acre)

ANALYSIS

The proposed General Plan Amendment would allow up to 12.49 units per acre. Currently 8.49 units per acre are permitted on the subject property. The adjacent property also carries a land-use designation that permits 8.49 units per acre. While the increase is only one land-use category more intense than what is currently permitted, the change would permit an additional 25 homes on the site. The increase in density will have an overall negative affect on the area and denial of this request is recommended.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations,
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts,
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

GPA-16511 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

In regard to "1":

The density and intensity of the proposed General Plan Amendment are not compatible with the adjacent land-use designations. The adjacent property carries a ML (Medium-Low Density Residential) land-use designation. The ML category permits up to 8.49 units per acre. The proposed MLA (Medium-Low Attached Density Residential) land-use designation permits up to 12.49 units per acre. The additional density would permit an additional 25 homes on this property and is not considered appropriate.

In regard to "2":

The proposed R-PD12 (Residential Planned Development – 12 Units Per Acre) District is not compatible with the surrounding uses. The R-PD12 (Residential Planned Development – 12 Units Per Acre) District would feature lot sizes that are approximately half the size of the smallest lots on adjacent properties.

In regard to "3":

The site gains access from Smoke Ranch Road a 100-foot Primary Arterial. A crash gate is provided from Decatur Boulevard. Smoke Ranch Road will provide adequate access to and from the subject property.

In regard to "4":

There are no additional plans and policies that affect the proposed General Plan Amendment. It is noted that the project related to this General Plan Amendment does not conform to Title 19.06 requirements for open space and a Variance (VAR-16525) is required.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 3

ASSEMBLY DISTRICT 7

SENATE DISTRICT 4

NOTICES MAILED 349 [Mailed with ZON-16519, VAR-16525 & SDR-16522]

APPROVALS 0

PROTESTS 0

NG

STATEMENT OF FINANCIAL INTEREST

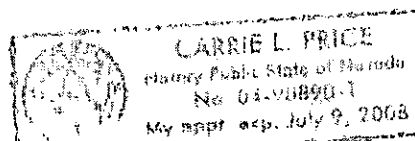
Name of Applicant: Richmond American Homes

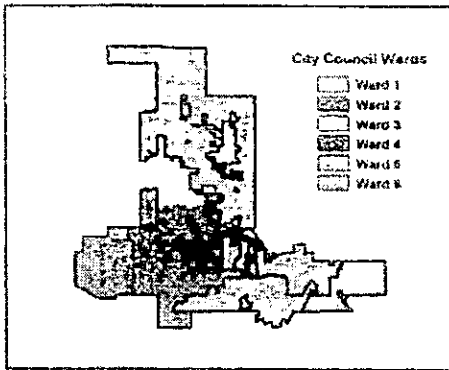
X No

APN: _____

Mark A Schnitzler

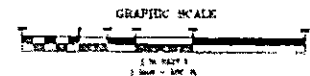
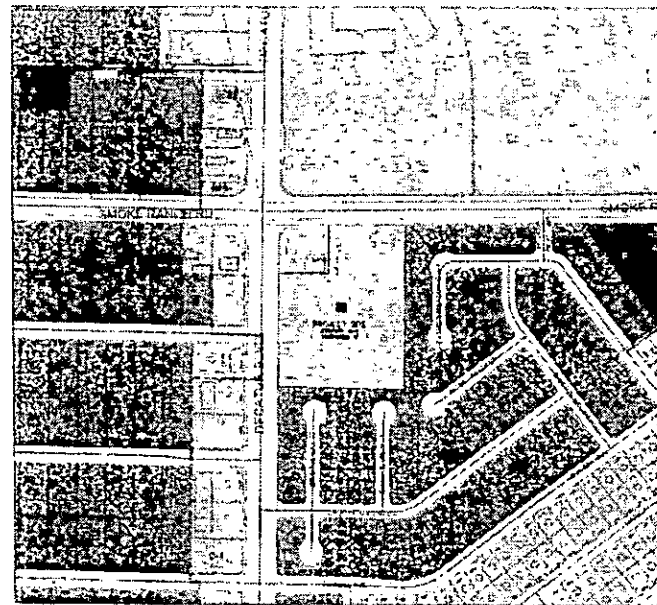
Clara E. Rice
Notary Public in and for said County and State





- Rural Estates
- Desert Rural
- Rural
- Low
- Medium - Low
- Medium - Low Attached
- Medium
- High
- Office
- Service Commercial
- General Commercial
- Town Center
- Las Vegas Medical District
- Light Industrial / Recreation
- Planned Community Development
- Downtown Reinvestment Area
- Park / Recreation / Open Space
- Public Facility
- Public Facility - School
- Public Facility - Court County
- Town Center
- Resource Conservation
- Downtown - Commercial
- Downtown - Mixed Use
- Hotel City
- Highway / Way

General Plan Designations



CPA-16511

11/16/06 PC

PROVIDING AMERICAN SERVICES OF NEVADA, INC.

SMITH, HARRIS / DESIGN

LOCATION PLAN

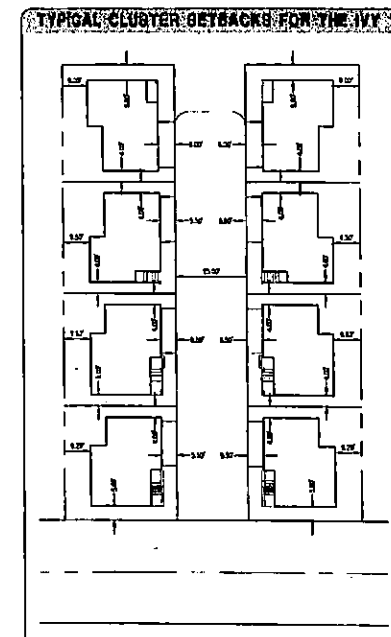
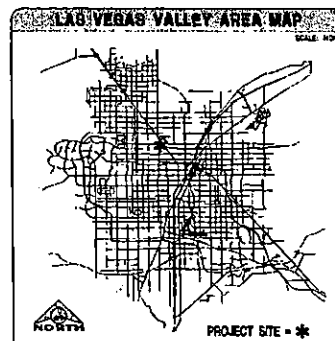
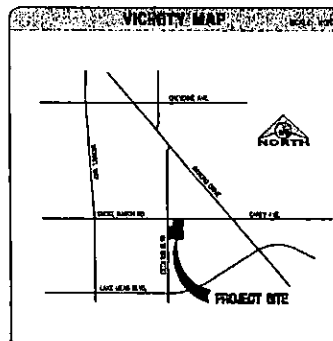
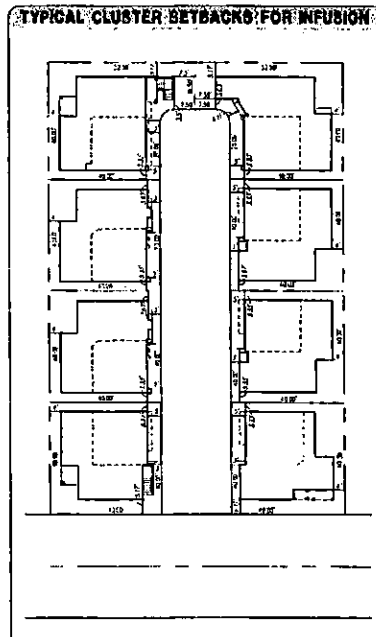
1

TRITON Engineering

11/16/06

SITE PLAN OF SMOKE RANCH / DECATUR II

A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE
NORTH HALF (N 1/2) OF SECTION 19, TOWNSHIP 20 SOUTH,
RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA.



LEGAL DESCRIPTION
THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA.

ENGINEER
TERRY R. CHRISTENSEN, CIVIL ENGINEER
1400 S. CHARLOTTE BLVD., SUITE 214
LAS VEGAS, NV 89104
OFFICE: (702) 234-1445
FAX: (702) 234-1446

BENCHMARK
CLARK COUNTY VERTICAL CONTROL POINT "SMOKE RANCH"
BEING A CITY OF LAS VEGAS POINT AND FOUND PLACED BY
COMPOSITE CLARK COUNTY NORTHWEST CORNER OF JONES BLVD.
AND BAKER STREET.
ELEVATION: 2,387.25 (1985)
CLARK COUNTY VERTICAL CONTROL POINT "SMOKE RANCH"
BEING A CITY OF LAS VEGAS POINT AND FOUND PLACED BY
COMPOSITE CLARK COUNTY NORTHWEST CORNER OF JONES BLVD.
AND BAKER STREET.
ELEVATION: 2,387.25 (1985)

ASSESSOR'S PARCEL NUMBER
120-19-101-002

OWNER
SMOKE RANCH TRUST
1400 S. CHARLOTTE BLVD., SUITE 214
LAS VEGAS, NV 89104
OFFICE: (702) 234-1445

BASIS OF BEARING
NORTH BEARING: TRUE, BEING THE BEARING OF THE
EAST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF
SECTION 19, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.,
CLARK COUNTY, NEVADA, AS SHOWN ON THE PLAT AT
THE CLARK COUNTY ENGINEER'S OFFICE.

SHEET INDEX
1. COVER SHEET
2. SITE PLAN

DEVELOPER
RICHMOND AMERICAN HOMES OF NEVADA, INC.
2400 RIVINGTON AVENUE, SUITE 214
DECATUR, GA 30030
OFFICE: (770) 478-4378

SETBACK REQUIREMENTS
CLARK COUNTY TITLE 20
FRONT: 10' MIN.
SIDE: 5' MIN.
REAR: 5' MIN.

SURVEYOR
TERRY R. CHRISTENSEN, CIVIL ENGINEER
1400 S. CHARLOTTE BLVD., SUITE 214
LAS VEGAS, NV 89104
OFFICE: (702) 234-1445
FAX: (702) 234-1446

LAND-USE TABULATION

LAND-USE DESIGNATION	DATE	SYMBOL	AREA
PROPOSED ZONING	8-10-06 (RESIDENTIAL PLANNED DEVELOPMENT)		77 LOTS
EXISTING ZONING	8-10-06 (RESIDENTIAL PLANNED DEVELOPMENT)		77 LOTS
NET AREA			12.17 LOTS / 1,000
USABLE OPEN SPACE			33,225 SF
TOTAL REQUIRED			33,225 SF
TOTAL PROVIDED			33,225 SF

COMMON LOT AREAS

COMMON LOTS	NOT USABLE	USABLE	TOTAL
COMMON LOT 1	2,504 SF	8,781 SF	11,285 SF
COMMON LOT 2	1,784 SF	21,323 SF	23,107 SF
COMMON LOT 3	1,784 SF	0 SF	1,784 SF
COMMON LOT TOTAL	6,072 SF	28,104 SF	34,176 SF

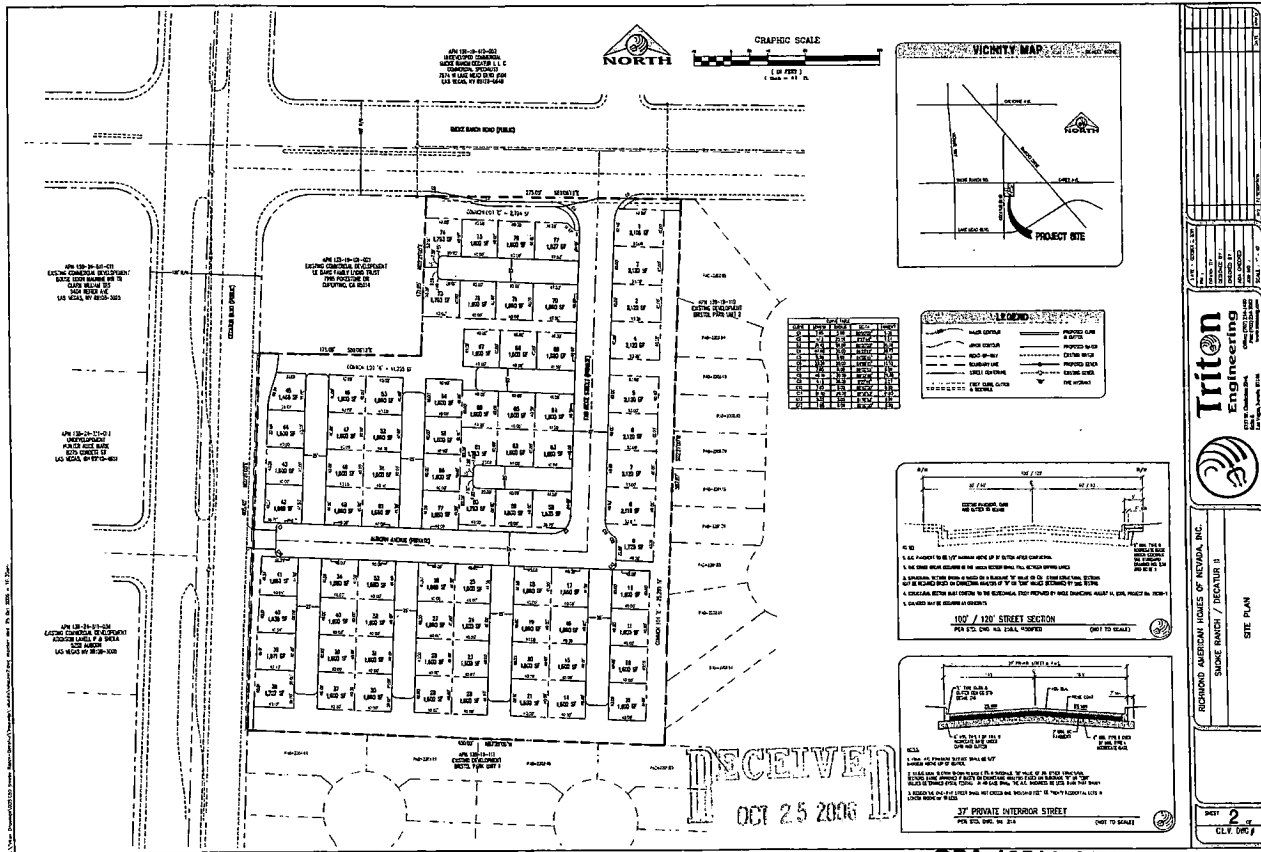
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OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC

Triton Engineering
1400 S. CHARLOTTE BLVD., SUITE 214
LAS VEGAS, NV 89104
OFFICE: (702) 234-1445
FAX: (702) 234-1446

RICHMOND AMERICAN HOMES OF NEVADA, INC.
SMOKE RANCH / DECATUR II
COVER SHEET

CLV. DWG. 1



Triton
Engineering
INCORPORATED
10000 N. 100TH AVE.
SUITE 100
EDMONTON, ALBERTA T5A 1C6
CANADA
403.443.8888
TRITON@TRITON-ENGINEERING.COM



RICHMOND AMERICAN HOMES OF NEVADA, INC.
SMOKE BARNCH / LOCATOR 3

SITE PLAN

Sheet 2
of 2



Sunny Hills
(Smoke Ranch/Decatu
Richmond American Homes
Las Vegas, Nevada

#	Revisions	Date	By
1	rendering	08.09.05	mh
2	buffer	12.10.05	mh
3	base revision	11.11.06	adv
4	base revision	02.01.06	adv
5	engineering	02.20.06	mf
6	base revision	08.30.06	mh
7	base revision	10.23.06	mh

This landscape drawing is for design/build use by Landaco Landscaping and Grading only. Landaco Landscaping and Grading does not assume any responsibility for projects created by any contractor other than Landaco Landscaping and Grading.

Drawing:
**Common Area
Landscape
Plan**

Date: 07.12.05
Scale: 1" = 30'-0"
Drawn By: kd
Checked By: kny
Project #

Sheet # 1 of 1

L-1



Triton

Engineering

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Smoke Ranch / Decatur II
APN # 139-19-101-002**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 77 lot single family project called "Smoke Ranch/ Decatur II".

The applicant is requesting a Site Development Review for a proposed 77 lot single-family residential development. Parcels adjacent to the proposed site have the following land use and zoning:

NEC – Light Industrial (C-M)
NWC – Service Commercial and Rural (C-1 & R-E)
SEC – Medium – Low, High & Service Commercial (R-CL, C-2 & C-1)
SWC – Service Commercial (C-1)

We are requesting the following setbacks for the RPD-12:

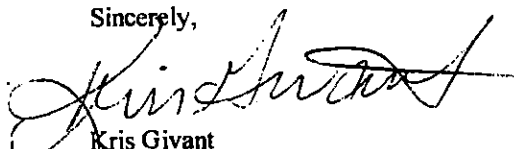
Typical Lot Size:	1,500 sq ft
Front to Roof Edge/Building:	3' Minimum
Front to Garage:	5' to 6' Min. or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	4' feet
Rear Yard	3' feet

RECEIVED
OCT 16 2006

Richmond American Homes believes that requesting RPD-12 zoning will compliment the area and would be a proposed buffer between the R-CL SFR's and the C-1 Commercial Property.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,


Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

6757 W. Charleston Blvd., Suite B • Las Vegas, Nevada 89146
Office: (702) 254-1480 • Fax: (702) 254-3062 • www.tritoneng.com

11/16/06 PC

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Variance of Open Space Requirements
Smoke Ranch / Decatur II
APN # 139-19-101-002**

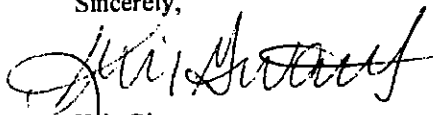
To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Variance of Open Space Requirements for a proposed 77 lot single family project called "Smoke Ranch / Decatur II".

At this time we are requesting a variance of the required open spaces based on our re-designed plan that provides for 33,226 s.f. of open space where 53,370 s.f. is required which is a 38% reduction in open space requirements. The open spaces we are providing serves two purposes: The first is to provide a buffer from the existing C-1 convenience store adjacent to the site while two, providing amenities for the proposed 77 residential units, such as tot lots, play areas and walking paths. The open space amenities within the proposed residential subdivision have changed with the revised plan based on a new product for this site and the community. Although we are now lacking in overall open spaces for the site we are willing to accept the in-lieu of fee and plan to coordinate with the City of Las Vegas and the Councilman's office in determining a current need for additional amenities to be used for parks and/or schools in the surrounding community that may possibly need upgrades to there existing facilities. Richmond American Homes is committed to working with the City of Las Vegas and the community in providing open space for its project as well as providing for the community at large and respectfully request your approval of our open space variance.

Please place the attached request on the Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - ZON-16519 - REZONING RELATED TO GPA 16511 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE) TO: R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE) on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – Motion carried with STEINMAN voting NO

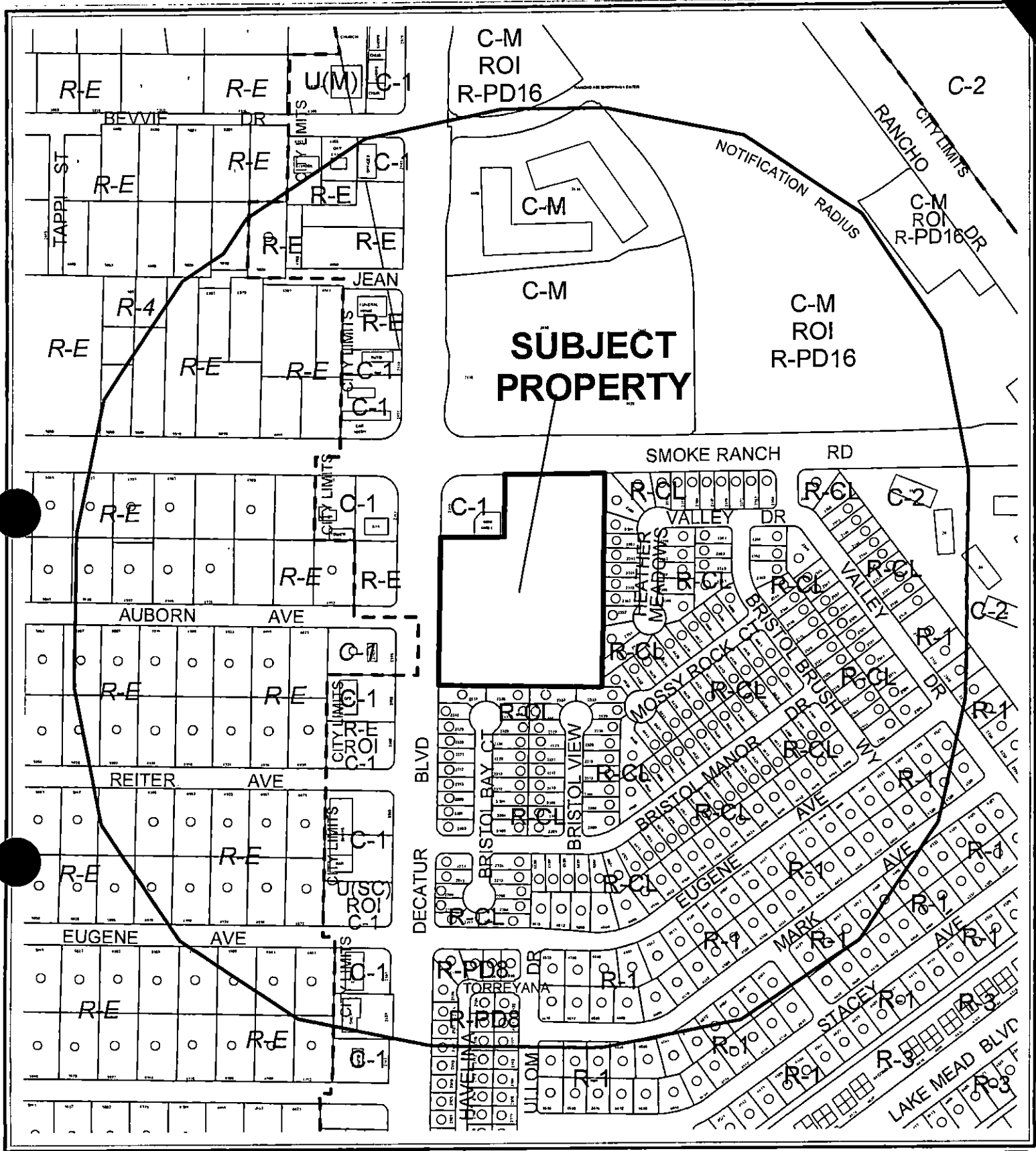
To be heard by City Council on 12/20/2006

MINUTES:

NOTE: See Item 7 [GPA-16511] for all related discussion.

(6:26 – 6:51)

1-763



CASE: ZON-16519

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

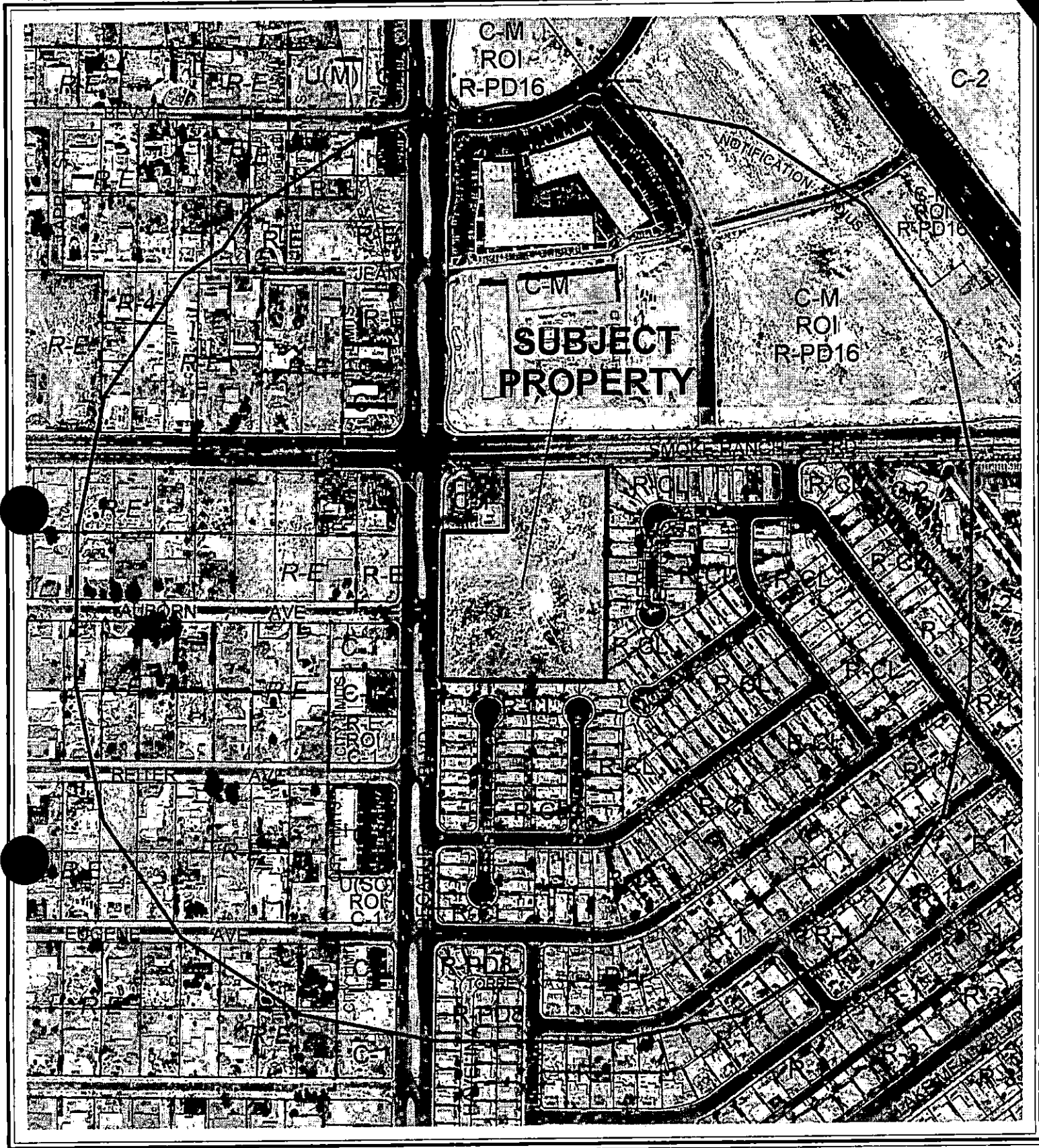
R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE)

0 400 800 Feet





CASE: **ZON-16519**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - ZON-16519 -****APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A General Plan Amendment (GPA-16511) to a Medium-Low Attached Density Residential Land Use Designation approved by the City Council.
2. A Resolution of Intent with a two-year time limit is hereby granted.
3. A Site Development Plan Review (SDR-16522) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Dedicate all additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes and additional right-of-way for a bus turnout on Smoke Ranch Road unless otherwise allowed by the City Traffic Engineer.
5. Construct all incomplete half-street improvements on Smoke Ranch Road and Decatur Boulevard adjacent to this site concurrent with development of this site.
6. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current City Standards concurrent with on-site development activities. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study

NG

ZON-16519 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-16519 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Rezoning from R-1 (Single-Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone to R-PD12 (Residential Planned Development - 12 Units Per Acre).

The proposed rezoning is not considered appropriate for this location. The lot sizes and density that would be permitted by the proposed rezoning are not compatible with surrounding development. The project calls for lots that are approximately half the size of the smallest adjacent lots. While the single-family use is considered appropriate for this location, a design that features lots more comparable to the adjacent development and that meets open space requirements is sought. Due to these factors, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/28/05	The Planning Commission tabled at the request of the applicant an application for a Rezoning (ZON-5669) from R-1 (Single-Family Residential) to C-1 (Limited Commercial) on the subject property. Staff recommended approval.
11/16/05	The City Council approved a General Plan Amendment (GPA-7678) from SC (Service Commercial) to MLA (Medium-Low Attached Density Residential); a Waiver (WVR-9060) of Title 18.12.160 to allow 88 feet between street intersections where 220 feet is the minimum separation required; a Site Development Plan Review (SDR-9061) for a 50-lot, single-family residential development; and a Rezoning (ZON-9058) from R-1 (Single Family Residential) to R-PD8 (Residential Planned Development - 8 Units per Acre). The Planning Commission and staff recommended approval.
12/01/05	The Planning Commission Approved a Tentative Map (TMP-9764) for a 50-lot, single-family residential subdivision. Staff recommended approval.
10/19/06	Companion items for a General Plan Amendment (GPA-16511), a Variance (VAR-16525), and a Site Development Plan Review (SDR-16522) were held in abeyance.
11/02/06	Companion items for a General Plan Amendment (GPA-16511), a Variance (VAR-16525), and a Site Development Plan Review (SDR-16522) were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16511), a Variance (VAR-16525), and a Site Development Plan Review (SDR-16522) will be heard concurrently with this item.

ZON-16519 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Related Building Permits/Business Licenses	
There are no building permits or business licenses related to this application.	
Pre-Application Meeting	
08/14/06	A pre-application meeting was held and the following items were noted. A bus turnout and drainage study is required. The General Plan change was discussed. A knuckle deviation would be necessary. The homes would be sprinkled.

Neighborhood Meeting	
09/26/06	A neighborhood meeting was held at Brinley Middle School, 2480 Maverick Street, Las Vegas, Nevada. In attendance were the applicant, one staff member, and one member of the public. Concerns regarding the density of the project, lack of open space, and an increase in traffic were discussed.

Details of Application Request	
Site Area	
Gross Acres	6.19
Net Acres	5.33

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	ML (Medium-Low Density Residential)	R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development, 8 Units Per Acre) Zone
North	Storage	LI/R (Light Industry/Research)	C-M (Commercial/Industrial)
South	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
East	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
West	Convenience Store Single-Family Residential	SC (Service Commercial)	C-1 (Limited Commercial) R-E (Residence Estates)

ZON-16519 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		
A-O Airport Overlay District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A	1,468 SF	Y
Min. Lot Width	N/A	31 Feet	Y
Min. Setbacks			
• Front	N/A	3 Feet	Y
		5 Feet or 18 Feet (Garage)	Y
• Side	N/A	3 Feet	Y
• Corner	N/A	4 Feet	Y
• Rear	N/A	3 Feet	Y
Min. Distance Between Buildings	N/A	6 Feet	Y
Max. Building Height	N/A	3 Stories/35 Feet	Y

Existing Zoning	Permitted Density	Units Allowed	Proposed Zoning	Permitted Density	General Plan	Permitted Density
R-1 (Single-Family Residential) under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre)	8.49 Units Per Acre	52 Units under the R-PD8 Designation	R-PD12 (Residential Planned Development - 12 Units Per Acre)	12.49 Units per Acre	MLA (Medium-Low Attached Density Residential)	12.49 Units Per Acre 77 Units under the R-PD12 (Residential Planned Development - 12 Units Per Acre) Designation

ZON-16519 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

Per Title 19.12 the following Landscape Standards apply:

<i>Landscape and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Buffer: Min. Trees	1 Tree/30 Linear Feet	69 Trees	96 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 Feet		6 Feet	Y

<i>Open Space</i>							
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>			<i>Provided</i>		<i>Compliance</i>
		<i>Ratio</i>	<i>Percent</i>	<i>Area</i>	<i>Percent</i>	<i>Area</i>	
6.19 Acres	12.44	1.65	20.53	1.27 Acres or 55,321 SF	12.28	0.76 Acres or 33,226 SF	N

ANALYSIS

The proposed Rezoning to an R-PD12 (Residential Planned Development – 12 Units Per Acre) District is not considered appropriate for the area. The site was previously approved for an R-PD8 (Residential Planned Development – 8 Units Per Acre) zone; however, that proposal met open space requirements and included larger lot sizes that were more compatible with adjacent development. The current proposal calls for lot sizes that are less than half the size of the smallest adjacent lots and fails to meet open space requirements, which is covered in Variance (VAR-16525). The R-PD12 (Residential Planned Development – 12 Units Per Acre) District is considered too intense for this location and denial of this request is recommended.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

This proposal requires a General Plan Amendment (GPA-16511) to a Medium-Low Attached Density (MLA) land-use designation. The requested General Plan Amendment to an MLA land-use designation is considered inappropriate for this location as the proposed development contains lot sizes that are less than half the size of the smallest adjacent lots and lacks the required amount of open space. Denial of the General Plan Amendment is recommended.

NG

ZON-16519 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

The single-family use is considered appropriate for the site; however, due to the small lot sizes and increased density this proposal is not compatible with surrounding development. A single-family development with a lower density and larger lots that meets Title 19 requirements would be more appropriate for this location.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

Growth and development factors in the community do not indicate the need for this rezoning. The property is currently under Resolution of Intent to an R-PD8 (Residential Planned Development – 8 Units Per Acre) District. This is considered an appropriate threshold for density on this site as these lot sizes are more compatible with adjacent development.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The site gains access from Smoke Ranch Road a 100-foot Primary Arterial. A crash gate is provided from Decatur Boulevard. Smoke Ranch Road will provide adequate access to and from the subject property.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 3

ASSEMBLY DISTRICT 7

SENATE DISTRICT 4

NOTICES MAILED 349 [Mailed with GPA-16511, VAR-16525 & SDR-16522]

APPROVALS 0

PROTESTS 0

STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Richmond American Homes

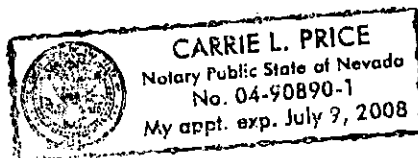
8 No

APN: _____

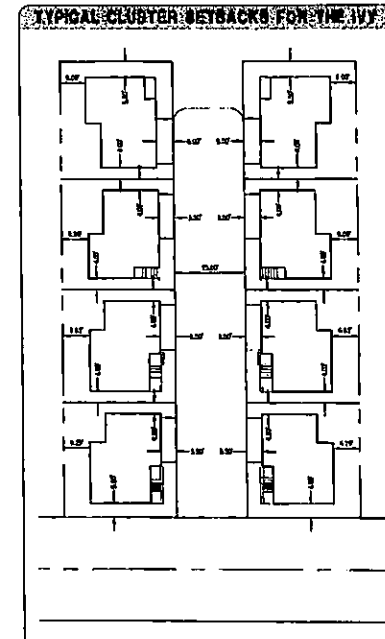
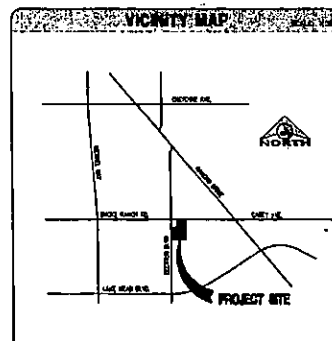
Print Name:

Mark A. Schnippe

Carrie L. Price
Notary Public in and for said County and State



**A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE
NORTH HALF (N 1/2) OF SECTION 19, TOWNSHIP 20 SOUTH,
RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA.**



LEGAL DESCRIPTION

THE WEST HALF (1/2) OF THE NORTHEAST QUARTER (1/4) OF THE NORTH HALF (1/2) OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 11 EAST, N.M.S., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ASHEBORN'S PARCEL NUMBER

SHEET INDEX

1. COVER SHEET

2. SITE PLAN

ENGINEER
 TITON DESIGNING
 5753 N. CHARLESTON BLVD., SUITE 8
 LAS VEGAS, NV 89148
 OFFICE: (702) 236-1080
 FAX: (702) 236-3082

OWNER
BONAPPE FAMILY TRUST
2140 CHEVON AVENUE, SUITE 210
LAS VEGAS, NV 89119
OFFICE (702) 364-1949

DEVELOPER
 BOWMAN AMERICAN HOUSE OF BOWEN, INC
 8150 FAIRVIEW PARKWAY, SUITE 120
 NEWTON, MA 02459
 OFFICE: (781) 557-8400

SURVEYOR

THE CONE SURVEYING
2725 W. CHARLESTON BLVD., SUITE A
LAS VEGAS NV 89148
OFFICE: (702) 821-1520
FAX: (702) 810-4378

BENCH MARK

CLARK COUNTY HISTORICAL COMMISSION POINT 121900 122000
SEMI & CITY OF LAS VEGAS STREET AND ROUND PLATE
CONCRETE CULINDER, NORTHEAST CORNER OF JONES BL
AND RACE STREET.

ELEVATION: 2865.553 (FEET)
791.825 (METERS)

CLARK COUNTY HISTORICAL COMMISSION 20002 BASED ON
COUNTY AMERICAN VERTICAL DATUM OF 1988 (NAVD 83)

BASIC OF BEARING

NORTH 000°01'N 4801, BEING THE BEARING OF THE EAST LINE OF THE NORTHEAST QUARTER (SE 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 90 EAST, MERIDIAN 45 WEST IN TOWNSHIP 10N, PAGE 39 OF PLATS ON FILE AT THE CLARK COUNTY, ARKANSAS RECORDS OFFICE.

COMMON LOT AREAS			
COMMON LOTS	NOT LEASABLE	LEASABLE	TOTAL
COMMON LOT "A"	2,504 SF	6,731 SF	11,235 SF
COMMON LOT "B"	1,784 SF	21,323 SF	23,107 SF
COMMON LOT "C"	2,734 SF	0 SF	2,734 SF
COMMON LOT TOTAL	7,022 SF	33,126 SF	40,148 SF

5 CLY. ENG. 1 CLY. ENG.		RICHMOND AMERICAN HOMES OF NEVADA, INC. SHORE RANCH / DECATUR II COVER SHEET		 Triton Engineering 6711 W. Chatham Blvd. Las Vegas, Nevada 89146 OFFICES: 248-1100 248-1101 248-1102 248-1103		DATE: 12/20/2000 BY: [Signature] DESIGNED BY: [Signature] CHECKED BY: [Signature] SCALE: 1" = 1'-0" NO. 1 NO. 2 NO. 3 NO. 4 NO. 5 NO. 6 NO. 7 NO. 8 NO. 9 NO. 10 NO. 11 NO. 12 NO. 13 NO. 14 NO. 15 NO. 16 NO. 17 NO. 18 NO. 19 NO. 20 NO. 21 NO. 22 NO. 23 NO. 24 NO. 25 NO. 26 NO. 27 NO. 28 NO. 29 NO. 30 NO. 31 NO. 32 NO. 33 NO. 34 NO. 35 NO. 36 NO. 37 NO. 38 NO. 39 NO. 40 NO. 41 NO. 42 NO. 43 NO. 44 NO. 45 NO. 46 NO. 47 NO. 48 NO. 49 NO. 50 NO. 51 NO. 52 NO. 53 NO. 54 NO. 55 NO. 56 NO. 57 NO. 58 NO. 59 NO. 60 NO. 61 NO. 62 NO. 63 NO. 64 NO. 65 NO. 66 NO. 67 NO. 68 NO. 69 NO. 70 NO. 71 NO. 72 NO. 73 NO. 74 NO. 75 NO. 76 NO. 77 NO. 78 NO. 79 NO. 80 NO. 81 NO. 82 NO. 83 NO. 84 NO. 85 NO. 86 NO. 87 NO. 88 NO. 89 NO. 90 NO. 91 NO. 92 NO. 93 NO. 94 NO. 95 NO. 96 NO. 97 NO. 98 NO. 99 NO. 100	
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Plant Schedule

Plant	Quantity	Common Name
1. 1/2" Blue Acacia	100	Shannon Blue
2. 1/2" Blue Acacia	100	Shannon Blue
3. 1/2" Blue Acacia	100	Shannon Blue
4. 1/2" Blue Acacia	100	Shannon Blue

5. 1/2" Blue Acacia	100	Shannon Blue
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6. 1/2" Blue Acacia	100	Shannon Blue
7. 1/2" Blue Acacia	100	Shannon Blue
8. 1/2" Blue Acacia	100	Shannon Blue
9. 1/2" Blue Acacia	100	Shannon Blue
10. 1/2" Blue Acacia	100	Shannon Blue

11. 1/2" Blue Acacia	100	Shannon Blue
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Landscape Schedule

1. 1/2" Blue Acacia	100	Shannon Blue
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2. 1/2" Blue Acacia	100	Shannon Blue
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3. 1/2" Blue Acacia	100	Shannon Blue
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4. 1/2" Blue Acacia	100	Shannon Blue
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5. 1/2" Blue Acacia	100	Shannon Blue
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6. 1/2" Blue Acacia	100	Shannon Blue
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7. 1/2" Blue Acacia	100	Shannon Blue
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8. 1/2" Blue Acacia	100	Shannon Blue
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9. 1/2" Blue Acacia	100	Shannon Blue
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10. 1/2" Blue Acacia	100	Shannon Blue
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11. 1/2" Blue Acacia	100	Shannon Blue
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12. 1/2" Blue Acacia	100	Shannon Blue
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13. 1/2" Blue Acacia	100	Shannon Blue
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14. 1/2" Blue Acacia	100	Shannon Blue
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15. 1/2" Blue Acacia	100	Shannon Blue
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16. 1/2" Blue Acacia	100	Shannon Blue
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17. 1/2" Blue Acacia	100	Shannon Blue
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18. 1/2" Blue Acacia	100	Shannon Blue
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19. 1/2" Blue Acacia	100	Shannon Blue
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20. 1/2" Blue Acacia	100	Shannon Blue
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21. 1/2" Blue Acacia	100	Shannon Blue
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22. 1/2" Blue Acacia	100	Shannon Blue
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23. 1/2" Blue Acacia	100	Shannon Blue
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24. 1/2" Blue Acacia	100	Shannon Blue
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25. 1/2" Blue Acacia	100	Shannon Blue
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26. 1/2" Blue Acacia	100	Shannon Blue
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27. 1/2" Blue Acacia	100	Shannon Blue
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28. 1/2" Blue Acacia	100	Shannon Blue
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29. 1/2" Blue Acacia	100	Shannon Blue
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30. 1/2" Blue Acacia	100	Shannon Blue
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31. 1/2" Blue Acacia	100	Shannon Blue
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32. 1/2" Blue Acacia	100	Shannon Blue
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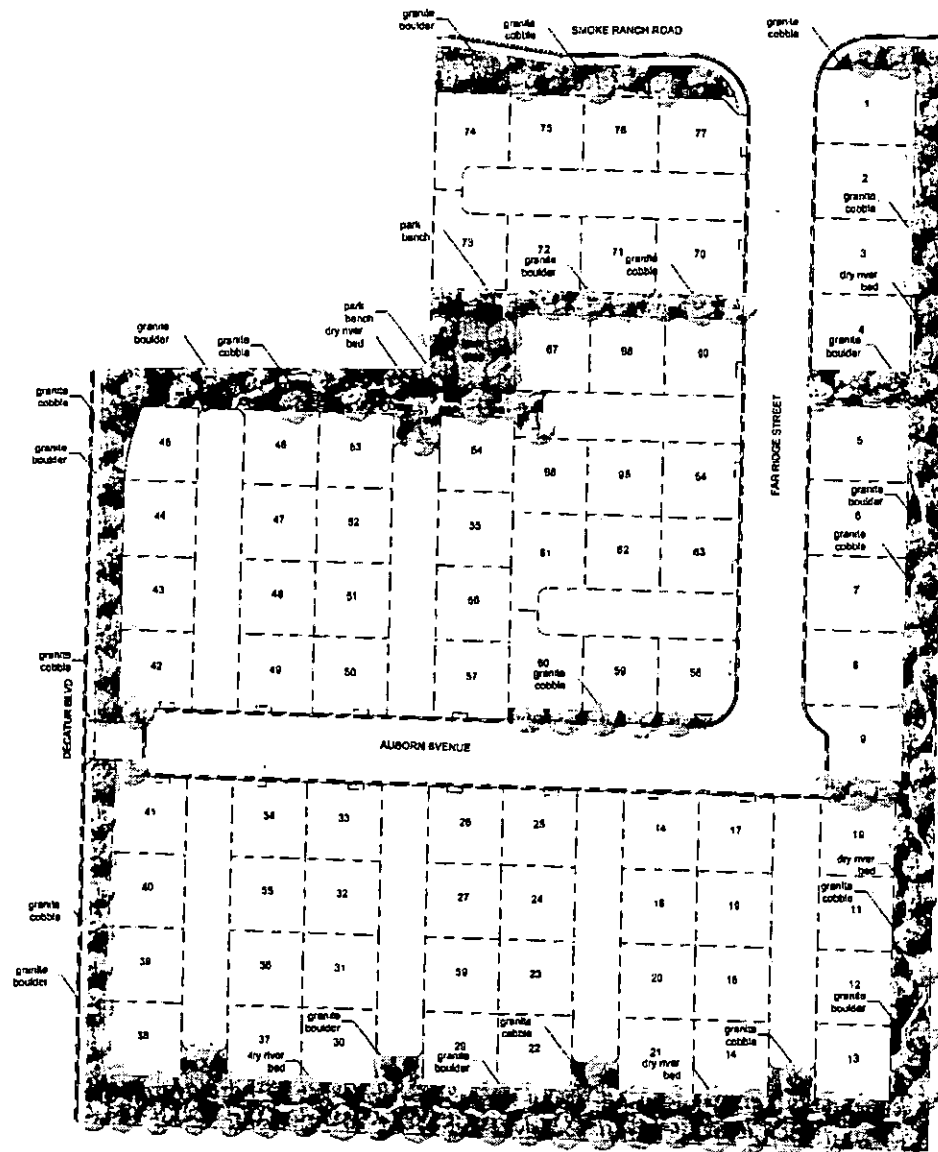
33. 1/2" Blue Acacia	100	Shannon Blue
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34. 1/2" Blue Acacia	100	Shannon Blue
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35. 1/2" Blue Acacia	100	Shannon Blue
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36. 1/2" Blue Acacia	100	Shannon Blue
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37. 1/2" Blue Acacia	100	Shannon Blue
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landaco landscaping and grading
design build landscape architecture
4480 South Pecos Las Vegas NV 89123
702.885.7881 fax 702.885.7880

Project Name:

Sunny Hills
(Smoke Ranch/Dacatu
Richmond American Homes
Las Vegas, Nevada)

#	Revisions	Date	By
1	rendering	08.08.05	mh
2	buffer	10.10.05	mh
3	base revision	01.11.06	mh
4	base revision	02.01.06	mh
5	engineering	02.20.06	mh
6	base revision	08.30.06	mh
7	base revision	10.23.06	mh

This landscape drawing is for design/build use
by Landaco Landscaping and Grading only.
Landaco Landscaping and Grading does not
assume any responsibility for projects created
by any contractor other than Landaco
Landscaping and Grading.

Drawing:

**Common Area
Landscape
Plan**

Date: 07.12.05

Scale: 1" = 30'-0"

Drawn By: kd

Checked By: kny

Project #

Sheet # 1 of 1

L-1

RECEIVED
OCT 25 2005

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC**



Triton

Engineering

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Smoke Ranch / Decatur II
APN # 139-19-101-002**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 77 lot single family project called "Smoke Ranch/ Decatur II".

The applicant is requesting a Site Development Review for a proposed 77 lot single-family residential development. Parcels adjacent to the proposed site have the following land use and zoning:

NEC – Light Industrial (C-M)
NWC – Service Commercial and Rural (C-1 & R-E)
SEC – Medium – Low, High & Service Commercial (R-CL, C-2 & C-1)
SWC – Service Commercial (C-1)

We are requesting the following setbacks for the RPD-12:

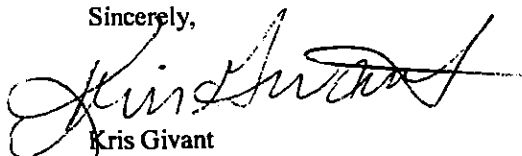
Typical Lot Size:	1,500 sq ft
Front to Roof Edge/Building:	3' Minimum
Front to Garage:	5' to 6' Min. or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	4' feet
Rear Yard	3' feet

RECEIVED
OCT 17 2006

Richmond American Homes believes that requesting RPD-12 zoning will compliment the area and would be a proposed buffer between the R-CL SFR's and the C-1 Commercial Property.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,


Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Variance of Open Space Requirements
Smoke Ranch / Decatur II
APN # 139-19-101-002**

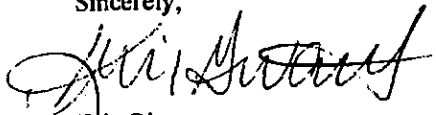
To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Variance of Open Space Requirements for a proposed 77 lot single family project called "Smoke Ranch / Decatur II".

At this time we are requesting a variance of the required open spaces based on our re-designed plan that provides for 33,226 s.f. of open space where 53,370 s.f. is required which is a 38% reduction in open space requirements. The open spaces we are providing serves two purposes: The first is to provide a buffer from the existing C-1 convenience store adjacent to the site while two, providing amenities for the proposed 77 residential units, such as tot lots, play areas and walking paths. The open space amenities within the proposed residential subdivision have changed with the revised plan based on a new product for this site and the community. Although we are now lacking in overall open spaces for the site we are willing to accept the in-lieu of fee and plan to coordinate with the City of Las Vegas and the Councilman's office in determining a current need for additional amenities to be used for parks and/or schools in the surrounding community that may possibly need upgrades to there existing facilities. Richmond American Homes is committed to working with the City of Las Vegas and the community in providing open space for its project as well as providing for the community at large and respectfully request your approval of our open space variance.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - VAR-16525 - VARIANCE RELATED TO GPA-16511 AND ZON-16519 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST - Request for a Variance TO ALLOW 35,642 SQUARE FEET OF OPEN SPACE WHERE 53,370 SQUARE FEET IS THE MINIMUM REQUIRED on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone [PROPOSED: R-PD12 (Residential Planned Development - 12 Units Per Acre) Zone], Ward 5 (Weekly). NOTE: THIS APPLICATION IS BEING AMENDED FROM 35,642 SQUARE FEET OF OPEN SPACE WHERE 53,370 SQUARE FEET IS THE MINIMUM REQUIRED TO 33,226 SQUARE FEET OF OPEN SPACE WHERE 55,321 SQUARE FEET IS THE MINIMUM REQUIRED

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS

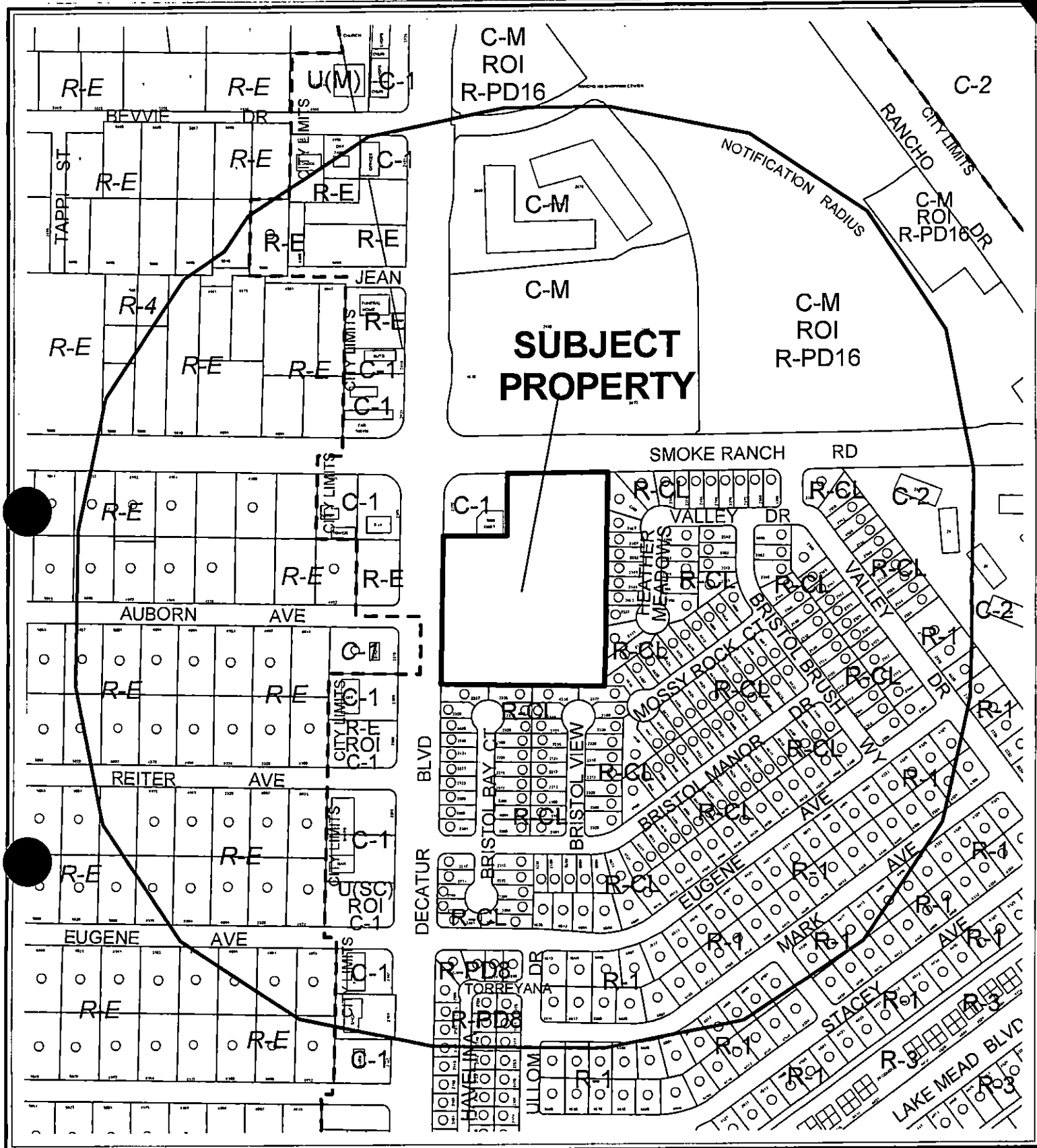
To be heard by City Council on 12/20/2006

MINUTES:

NOTE: See Item 7 [GPA-16511] for all related discussion.

(6:26 – 6:51)

1-763



CASE: **VAR-16525**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-16525 -

APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUS

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the conditions for General Plan Amendment (GPA-16511), Rezoning (ZON-16519), and Site Development Plan Review (SDR-16522) if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. The applicant shall make a contribution To Whom It May Concern: the City of Las Vegas Parks CIP Fund in the amount of \$88,380 to be utilized by the City Council for improvements to existing public parks nearby. This contribution must be made to Land Development prior to approval of a Final Map; otherwise the developer is still required to comply with the Open Space requirement in accordance with Title 19 of the Las Vegas Municipal Code.

VAR-16525 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is requesting to provide 33,226 square feet of open space where 55,321 square feet is the minimum amount of open space required. This is a 40 percent deviation from requirements. The open space does not provide an adequate amount of useable space and is primarily a buffer between the proposed development and adjacent properties. The nearest park is approximately one mile from the site. This is considered a self-imposed hardship and denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/28/05	The Planning Commission tabled at the request of the applicant an application for a Rezoning (ZON-5669) from R-1 (Single-Family Residential) to C-1 (Limited Commercial) on the subject property. Staff recommended approval.
11/16/05	The City Council approved a General Plan Amendment (GPA-7678) from SC (Service Commercial) to MLA (Medium-Low Attached Density Residential); a Waiver (WVR-9060) of Title 18.12.160 to allow 88 feet between street intersections where 220 feet is the minimum separation required; a Site Development Plan Review (SDR-9061) for a 50-lot, single-family residential development; and a Rezoning (ZON-9058) from R-1 (Single Family Residential) to R-PD8 (Residential Planned Development - 8 Units per acre). The Planning Commission and staff recommended approval.
12/01/05	The Planning Commission Approved a Tentative Map (TMP-9764) for a 50-lot, single-family residential subdivision. Staff recommended approval.
10/19/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Site Development Plan Review (SDR-16522) were held in abeyance.
11/02/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Site Development Plan Review (SDR-16522) were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Site Development Plan Review (SDR-16522) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no building permits or business licenses related to this application.	
<i>Pre-Application Meeting</i>	
08/14/06	A pre-application meeting was held and the following items were noted. A bus turnout and drainage study is required. The General Plan change was discussed. A knuckle deviation would be necessary. The homes would be sprinkled.

NG

VAR-16525 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Neighborhood Meeting	
09/26/06	A neighborhood meeting was held at Brinley Middle School, 2480 Maverick Street, Las Vegas, Nevada. In attendance were the applicant, one staff member, and one member of the public. Concerns regarding the density of the project, lack of open space, and an increase in traffic were discussed.

Details of Application Request	
Site Area	
Gross Acres	6.19
Net Acres	5.33

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	ML (Medium-Low Density Residential)	R-1 (Single-Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units per Acre) Zone
North	Storage	LI/R (Light Industry/Research)	C-M (Commercial/Industrial)
South	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
East	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
West	Convenience Store Single-Family Residential	SC (Service Commercial)	C-1 (Limited Commercial) R-E (Residence Estates)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts	X		
A-O Airport Overlay District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

VAR-16525 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.12 the following Landscape Standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Buffer: Min. Trees	1 Tree/30 Linear Feet	69 Trees	96 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 Feet		6 Feet	Y

<i>Open Space</i>							
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>			<i>Provided</i>		<i>Compliance</i>
		<i>Ratio</i>	<i>Percent</i>	<i>Area</i>	<i>Percent</i>	<i>Area</i>	
6.19 Acres	12.44	1.65	20.53	1.27 Acres or 55,321 SF	12.28	0.76 Acres or 33,226 SF	N

ANALYSIS

The open space for the proposed development does not meet Title 19.06 requirements as designed. The open space provided for the proposed development is used primarily as a buffer between this property and adjacent uses and does not include an adequate amount of useable open space. Amenities for children or other recreational areas are not provided. The nearest park is approximately one mile south of the proposed development. The lack of required open space is considered a self-imposed hardship and denial of this request is recommended.

In lieu of compliance with the open space requirements of Municipal Code 19.06.040, the developer will be allowed to make a contribution To Whom It May Concern: the City of Las Vegas Parks CIP Fund in the amount of **[Square Feet of Open Space waived x \$4.00]** to be utilized by the City Council for improvements to existing public parks nearby. This contribution must be made to Land Development prior to approval of a Final Map; otherwise the developer is still required to comply with the Open Space requirement in accordance with Title 19 of the Las Vegas Municipal Code. For the purposes of this development that total is **55,321 SF – 33,226 SF = 22,095 SF Waived. 22,095 SF x \$4.00 = \$88,380.**

VAR-16525 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature.”

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through the applicants design choices. Alternative design would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 3

ASSEMBLY DISTRICT 7

SENATE DISTRICT 4

NOTICES MAILED 349 [Mailed with GPA-16511, ZON-16519 & SDR-16522]

APPROVALS 0

PROTESTS 0

STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Richmond American Homes

Yes 8 No

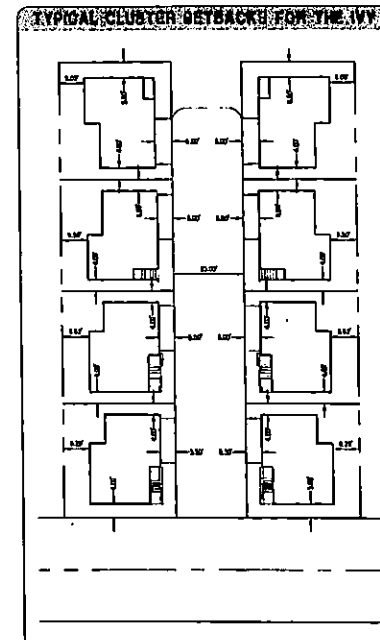
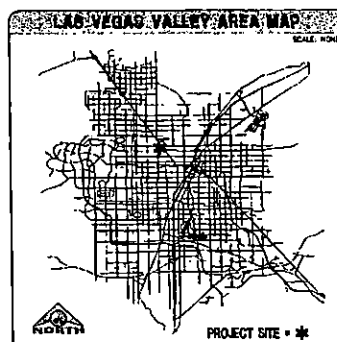
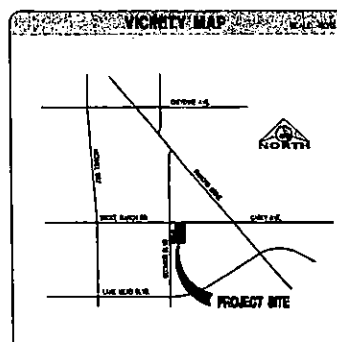
APN: _____

Print Name:

Carrie L. Price
Notary Public in and for said County and State



**A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE
NORTH HALF (N 1/2) OF SECTION 19, TOWNSHIP 20 SOUTH,
RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA.**



THE WEST HALF (W 1/2) OF THE SOUTHWEST CORNER
 (SW 1/4) OF THE NORTH HALF (N 2/2) OF SECTION 12,
 TOWNSHIP 30 SOUTH, RANGE 81 EAST, N.D.M., CITY OF
 LAS VEGAS, CLARK COUNTY, NEVADA.

TESTING EQUIPMENT
6367 W. CHARLOTTE BLVD. SUITE 8
LAS VEGAS, NV 89146
OFFICE (702) 236-1485
FAX (702) 236-1083

CLARK COUNTY VERTICAL CONTROL POINT "BLANK LISTING"
BEING A CITY OF LAS VEGAS STREET AND ROAD PLATE IN
CONCRETE CYLINDER, NORTHEAST CORNER OF JONES BLVD
AND RACE STREET.

125-10-705-021

ROOSEVELT FAMILY TRUST
STAG OVERSHEE ACCOUNT, BOX 270
LAS VEGAS, NV 89170
OFFICE (702) 200-1212

1. COVER SHEET

DOMINION AMERICAN HOUSE OF RETIRED, INC
1400 PARK DRIVE PARKWAY, SUITE 120
MONROVIA, NEB 68706
OFFICE (701) 837-8400

NORTH 00°16' WEST, BEING THE BEARING OF THE EAST LINE OF THE SOUTHEAST QUARTER (1/4) OF THE SOUTHEAST QUARTER (1/4) OF SECTION 12, TOWNSHIP 10 NORTH, RANGE 30 EAST, MERID., AS SHOWN IN BOOK 108, PAGE 31 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDS OFFICE.

CLARK COUNTY TREAS	
RECEIVED	8-8-75

THE CORP. EMPLOYING
4725 W. CHARLESTON BLVD., SUITE A
LAS VEGAS, N7 90443
OFFICE (702) 821-1304
FAX (702) 821-4725

COMMON LOTS	NOT USABLE	USABLE	TOTAL
COMMON LOT 'A'	2,504 SF	8,701 SF	11,205 SF
COMMON LOT 'B'	1,784 SF	24,523 SF	26,307 SF
COMMON LOT 'C'	2,784 SF	0 SF	2,784 SF
COMMON LOT TOTAL	7,062 SF	33,224 SF	40,286 SF

<u>LAND USE DESIGNATION</u>	
PROJECT: TOWN OF	R-400 (RESIDENTIAL PLANNED DEVELOPMENT)
PROPOSED ZONING	R-P012 (RESIDENTIAL PLANNED DEVELOPMENT)
<u>SITE SUMMARY</u>	
TOTAL UNITS	77 UNITS
SUBSTANDARD UNITS	NONE
GROSS ACRES	0.18 ACRES
DENSITY (UNITS)	12.83 UNITS / ACRE
<u>USABLE OPEN SPACE</u>	
% REQUIRED	33.25 %
TOTAL PROVIDED	33.25 %

RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC

COVER SHEET

1
CLV. DMC.

Plant Schedule

Plant	Latin Name	Common Name
1	Acacia greggii	Shamash Acacia
2	Quercus laevis	Shiny Oak
3	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
4	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
5	Quercus agrifolia	Live Oak
6	Quercus agrifolia	Live Oak
7	Quercus agrifolia	Live Oak
8	Quercus agrifolia	Live Oak
9	Quercus agrifolia	Live Oak
10	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
11	Quercus agrifolia	Live Oak

Landscape Schedule

Plant	Latin Name	Common Name
12	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
13	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
14	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
15	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
16	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
17	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
18	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
19	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
20	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
21	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
22	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
23	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
24	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
25	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
26	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
27	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
28	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
29	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
30	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
31	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
32	Quercus agrifolia	Live Oak

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34	Quercus agrifolia	Live Oak

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35	Quercus agrifolia	Live Oak

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36	Quercus agrifolia	Live Oak

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Plant	Latin Name	Common Name
39	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
40	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
41	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
42	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
43	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
44	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
45	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
46	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
47	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
48	Quercus agrifolia	Live Oak

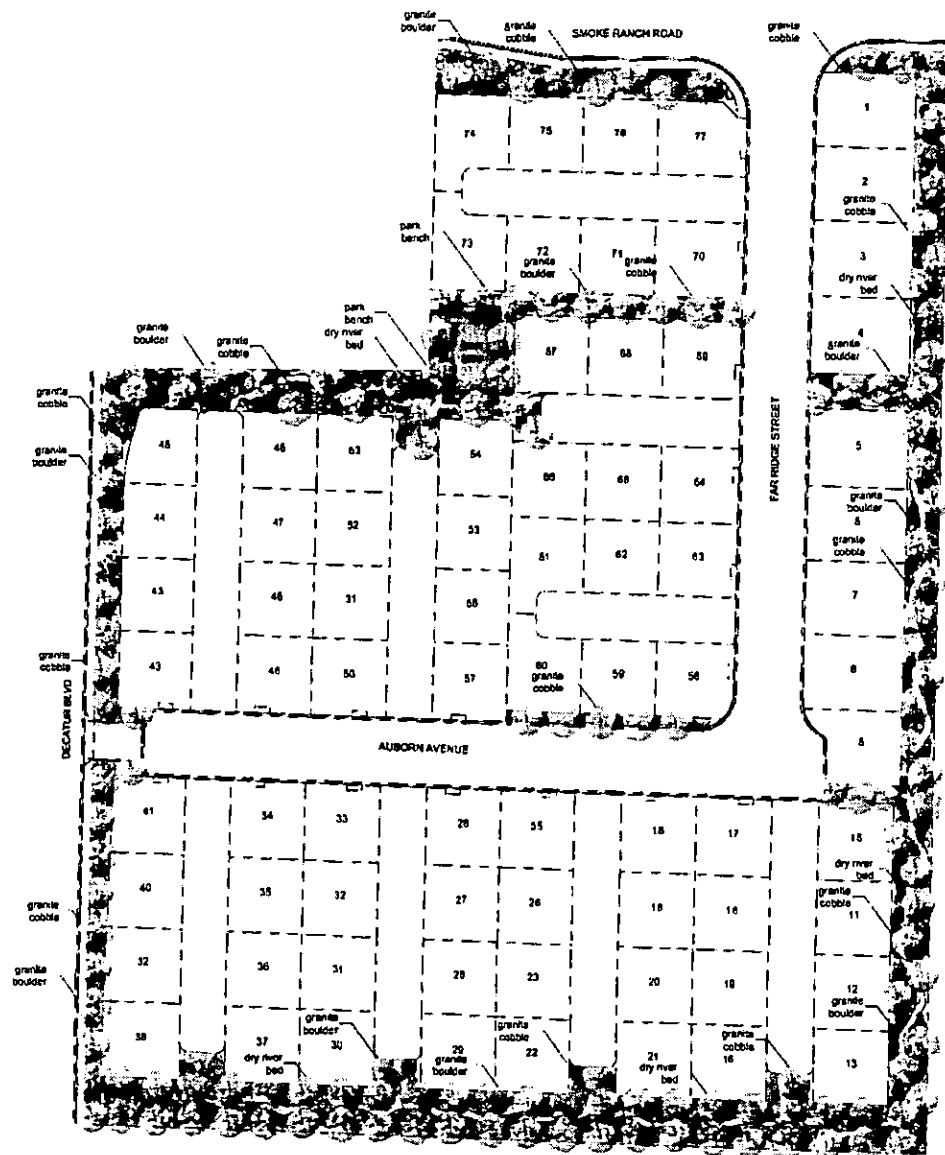
Plant	Latin Name	Common Name
49	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
50	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
51	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
52	Quercus agrifolia	Live Oak

Plant	Latin Name	Common Name
53	Quercus agrifolia	Live Oak



landaco landscaping
design build landscape architecture
4880 South Pecos Las Vegas NV 89121
702.885.7881 fax 702.885.7885

Project Name:

Sunny Hills
(Smoke Ranch/Decatur)
Richmond American Homes
Las Vegas, Nevada

#	Revisions	Date	By
1	reworking	08.05.05	mh
2	buffer	08.10.05	mh
3	base revision	01.11.05	mh
4	base revision	02.01.05	mh
5	engineering	02.20.05	mh
6	base revision	08.30.05	mh
7	base revision	10.23.05	mh

This landscape drawing is for informational use only. Landaco Landscaping and Grading only. Landaco Landscaping and Grading does not assume any responsibility for projects created by any contractor other than Landaco Landscaping and Grading.

Drawing:
Common Area Landscape Plan

Date: 07.12.05
Scale: 1" = 30'-0"
Drawn By: kd
Checked By: kny
Project #

Sheet # 1 of 1

L-1

RECEIVED
01 25 2005

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC

Triton

Engineering

October 25, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Variance of Open Space Requirements
Smoke Ranch / Decatur II
APN # 139-19-101-002**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Variance of Open Space Requirements for a proposed 77 lot single family project called "Smoke Ranch / Decatur II".

At this time we are requesting a variance of the required open spaces based on our re-designed plan that provides for 33,226 s.f. of open space where 53,370 s.f. is required which is a 38% reduction in open space requirements. The open spaces we are providing serves two purposes: The first is to provide a buffer from the existing C-1 convenience store adjacent to the site while two, providing amenities for the proposed 77 residential units, such as tot lots, play areas and walking paths. The open space amenities within the proposed residential subdivision have changed with the revised plan based on a new product for this site and the community. Although we are now lacking in overall open spaces for the site we are willing to accept the in-lieu of fee and plan to coordinate with the City of Las Vegas and the Councilman's office in determining a current need for additional amenities to be used for parks and/or schools in the surrounding community that may possibly need upgrades to there existing facilities. Richmond American Homes is committed to working with the City of Las Vegas and the community in providing open space for its project as well as providing for the community at large and respectfully request your approval of our open space variance.

Please place the attached request on the Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

RECEIVED
OCT 25 2006

Triton

Engineering

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Smoke Ranch / Decatur II
APN # 139-19-101-002**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 77 lot single family project called "Smoke Ranch/ Decatur II".

The applicant is requesting a Site Development Review for a proposed 77 lot single-family residential development. Parcels adjacent to the proposed site have the following land use and zoning:

NEC – Light Industrial (C-M)
NWC – Service Commercial and Rural (C-1 & R-E)
SEC – Medium – Low, High & Service Commercial (R-CL, C-2 & C-1)
SWC – Service Commercial (C-1)

We are requesting the following setbacks for the RPD-12:

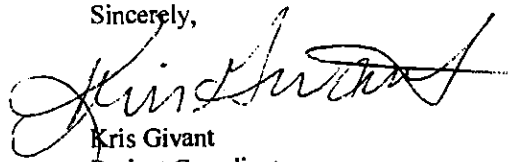
Typical Lot Size:	1,500 sq ft
Front to Roof Edge/Building:	3' Minimum
Front to Garage:	5' to 6' Min. or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	4' feet
Rear Yard	3' feet

RECEIVED
OCT 17 2006

Richmond American Homes believes that requesting RPD-12 zoning will compliment the area and would be a proposed buffer between the R-CL SFR's and the C-1 Commercial Property.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,


Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Variance of Open Space Requirements
Smoke Ranch / Decatur II
APN # 139-19-101-002**

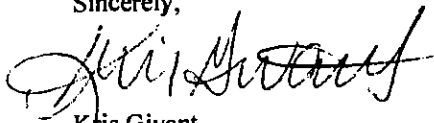
To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Variance of Open Space Requirements for a proposed 77 lot single family project called "Smoke Ranch / Decatur II".

At this time we are requesting a variance of the required open spaces based on our re-designed plan that provides for 33,226 s.f. of open space where 53,370 s.f. is required which is a 38% reduction in open space requirements. The open spaces we are providing serves two purposes: The first is to provide a buffer from the existing C-1 convenience store adjacent to the site while two, providing amenities for the proposed 77 residential units, such as tot lots, play areas and walking paths. The open space amenities within the proposed residential subdivision have changed with the revised plan based on a new product for this site and the community. Although we are now lacking in overall open spaces for the site we are willing to accept the in-lieu of fee and plan to coordinate with the City of Las Vegas and the Councilman's office in determining a current need for additional amenities to be used for parks and/or schools in the surrounding community that may possibly need upgrades to there existing facilities. Richmond American Homes is committed to working with the City of Las Vegas and the community in providing open space for its project as well as providing for the community at large and respectfully request your approval of our open space variance.

Please place the attached request on the Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - SDR-16522 - SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA-16511, ZON-16519, AND VAR-16525 - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST - Request for a Site Development Plan Review FOR A PROPOSED 77-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION on 6.19 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), R-1 (Single Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development - 8 Units Per Acre) Zone [PROPOSED: R-PD12 (Residential Planned Development - 12 Units Per Acre) Zone], Ward 5 (Weekly). NOTE: THIS APPLICATION IS BEING AMENDED TO INCLUDE PROPOSED THREE-STORY DEVELOPMENT

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

GOYNES – DENIED – UNANIMOUS

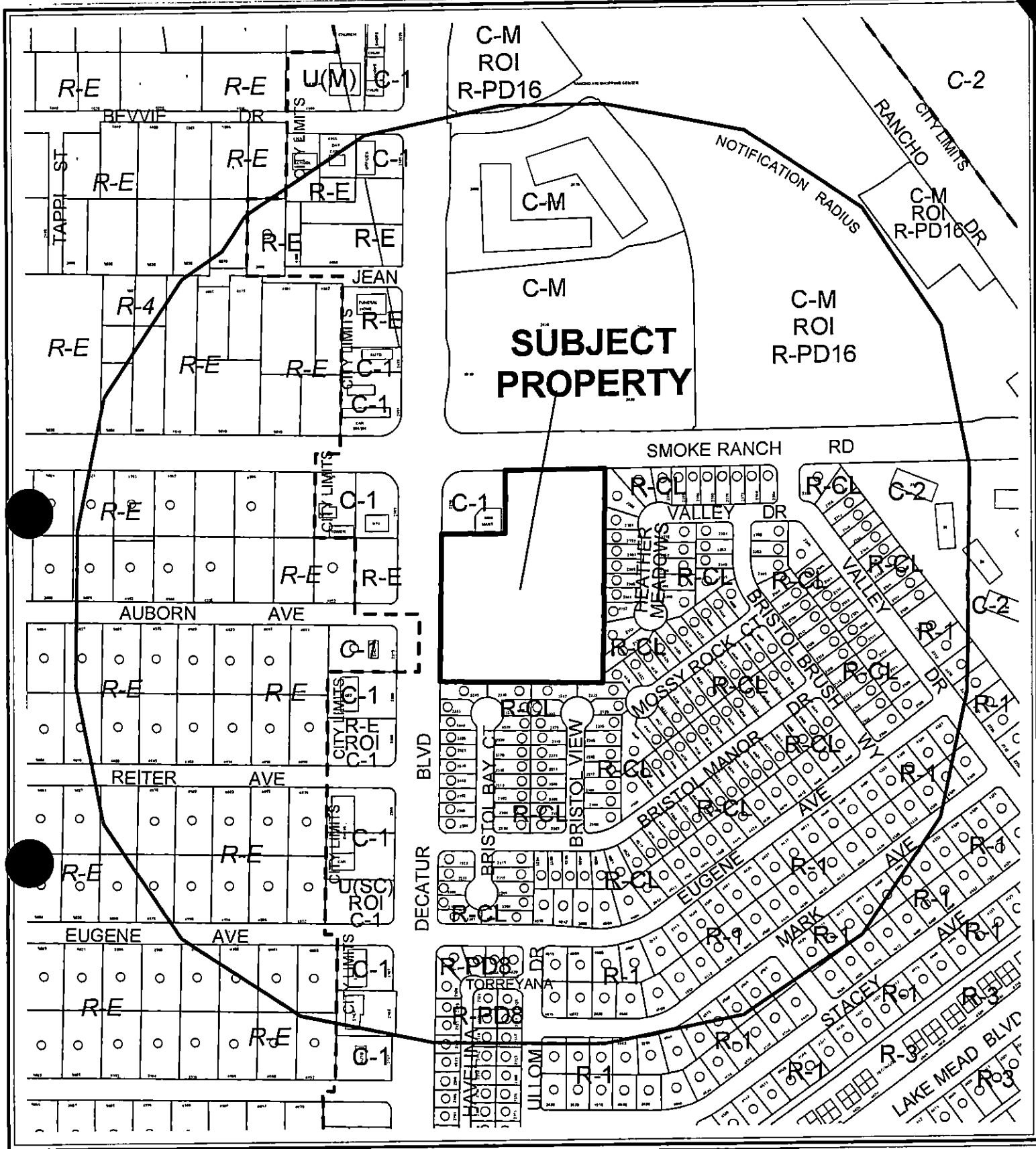
To be heard by City Council on 12/20/2006

MINUTES:

NOTE: See Item 7 [GPA-16511] for all related discussion.

(6:26 – 6:51)

1-763



CASE: **SDR-16522**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-1 (SINGLE FAMILY RESIDENTIAL) UNDER RESOLUTION OF INTENT TO R-PD8 (RESIDENTIAL PLANNED DEVELOPMENT - 8 UNITS PER ACRE)

PROPOSED ZONING OF SUBJECT PROPERTY:

R-PD12 (RESIDENTIAL PLANNED DEVELOPMENT - 12 UNITS PER ACRE)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - SDR-16522 -****APPLICANT: RICHMOND AMERICAN HOMES - OWNER: SCHNIPPLE FAMILY TRUST**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions for General Plan Amendment (GPA-16511), Rezoning (ZON-16519), Variance (VAR-16525), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations date stamped 10/25/06, except as amended by conditions herein.
4. The standards for this development shall include a minimum lot size of 1,468 square feet and building height shall not exceed three stories or 35 feet, whichever is less.
5. The setbacks for this development shall be a minimum of three feet to the front of the house, either five feet or less or 18 feet or greater to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, three feet on the side, four feet on the corner side, and three feet in the rear.
6. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
7. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.

SDR-16522 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

8. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
9. Air conditioning units shall not be mounted on rooftops.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
14. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
15. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-16519, Waiver WVR-9060 and all other applicable site-related actions.

SDR-16522 - Conditions Page Three
November 16, 2006 - Planning Commission Meeting

17. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-16522 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a proposed 77-lot single-family residential subdivision that includes proposed three-story development.

The proposed 77-lot single-family residential subdivision lacks the required amount of open space, would consist of lots that are less than half the size of adjacent development, contains proposed three-story development, and is considered incompatible with development in the area. A Variance (VAR-16525) has been requested to permit the deviation from open space requirements. The project also requires a Rezoning (ZON-16519) and a General Plan Amendment (GPA-16511) that are considered inappropriate as they would permit a density that is greater than adjacent development. Due to the incompatibility with the area and lack of required open space, denial of this application is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/28/05	The Planning Commission tabled at the request of the applicant an application for a Rezoning (ZON-5669) from R-1 (Single-Family Residential) to C-1 (Limited Commercial) on the subject property. Staff recommended approval.
11/16/05	The City Council approved a General Plan Amendment (GPA-7678) from SC (Service Commercial) to MLA (Medium-Low Attached Density Residential); a Waiver (WVR-9060) of Title 18.12.160 to allow 88 feet between street intersections where 220 feet is the minimum separation required; a Site Development Plan Review (SDR-9061) for a 50-lot, single-family residential development; and a Rezoning (ZON-9058) from R-1 (Single-Family Residential) to R-PD8 (Residential Planned Development - 8 Units per acre). The Planning Commission and staff recommended approval.
12/01/05	The Planning Commission Approved a Tentative Map (TMP-9764) for a 50-lot, single-family residential subdivision. Staff recommended approval.
10/19/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Variance (VAR-16525), were held in abeyance.
11/02/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Variance (VAR-16525), were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16511), a Rezoning (ZON-16519), and a Variance (VAR-16525), will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no building permits or business licenses related to this application.	

SDR-16522 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Pre-Application Meeting	
08/14/06	A pre-application meeting was held and the following items were noted. A bus turnout and drainage study is required. The General Plan change was discussed. A knuckle deviation would be necessary. The homes would be sprinkled.

Neighborhood Meeting	
09/26/06	A neighborhood meeting was held at Brinley Middle School, 2480 Maverick Street, Las Vegas, Nevada. In attendance were the applicant, one staff member, and one member of the public. Concerns regarding the density of the project, lack of open space, and an increase in traffic were discussed.

Details of Application Request	
Site Area	
Gross Acres	6.19
Net Acres	5.33

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped	ML (Medium-Low Density Residential)	R-1 (Single-Family Residential) Zone under Resolution of Intent to R-PD8 (Residential Planned Development, 8 dwelling units per acre) Zone
North	Storage	LI/R (Light Industry/Research)	C-M (Commercial/Industrial)
South	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
East	Single-Family Residential	ML (Medium-Low Density Residential)	R-CL (Single-Family Compact-Lot)
West	Convenience Store Single-Family Residential	SC (Service Commercial)	C-1 (Limited Commercial) R-E (Residence Estates)

SDR-16522 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		
A-O Airport Overlay District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards apply:

<i>Standard</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	1,468 SF	Y
Min. Lot Width	31 Feet	Y
Min. Setbacks		
• Front	3 Feet	Y
	5 Feet or 18 Feet (Garage)	Y
• Side	3 Feet	Y
• Corner	4 Feet	Y
• Rear	3 Feet	Y
Min. Distance Between Buildings	6 Feet	Y
Max. Building Height	3 Stories/35 Feet	Y

Per Title 19.12 the following Landscape Standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Buffer:				
Min. Trees	1 Tree/30 Linear Feet	69 Trees	96 Trees	Y
Min. Zone Width	6 Feet		6 Feet	Y
Wall Height	6 Feet		6 Feet	Y

<i>Open Space</i>							
<i>Total Acreage</i>	<i>Density</i>	<i>Required</i>			<i>Provided</i>		<i>Compliance</i>
		<i>Ratio</i>	<i>Percent</i>	<i>Area</i>	<i>Percent</i>	<i>Area</i>	
6.19 Acres	12.44	1.65	20.53	1.27 Acres or 55,321 SF	12.28	0.76 Acres or 33,226 SF	N

NG

SDR-16522 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

ANALYSIS

The proposed single-family residential subdivision consists of 77 lots. The lots range from approximately 1,468 square feet to 2,120 square feet. The elevations show two and three story buildings with a maximum height of approximately 35 feet. Three-story development is not permitted in a single-family residential development of comparable and adjacent zoning districts, such as R-CL. The floor plans show three and four bedroom models. Building materials will consist of stucco and Spanish tile. The color palate will be desert southwest. Both the material and color palate are consistent with typical single-family residential development in the City of Las Vegas. The open space for the proposed development does not meet Title 19.06 requirements and a Variance (VAR-16525) is required, as designed. The open space for the proposed development is primarily used to provide a buffer between this property and the adjacent uses and does not include adequate usable open space. Amenities for children or other recreational areas are not provided. Access to this development is provided from Smoke Ranch Road with a crash gate from Decatur Boulevard.

The lots in the adjacent single-family development range from 4,000 square feet to 6,000 square feet. The largest lots in this development are approximately half the size of the smallest adjacent lots. The density of this development is greater than the surrounding development. Therefore; the proposed development is not compatible with the adjacent uses. Due to the incompatibility with the area and lack of required open space, denial of this application is recommended.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development is not compatible with development in the area. The lot sizes proposed as part of this development are less than half the size of the adjacent single-family development.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development requires a Variance from the open space requirements of Title 19.06. Denial of this Variance is recommended as the lack of open space is due to the overbuilding of the site and is considered a self-imposed hardship.

SDR-16522 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access from Smoke Ranch Road a 100-foot Primary Arterial. A crash gate is provided from Decatur Boulevard. Smoke Ranch Road will provide adequate access to and from the subject property.

4. **Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The elevation plans show two and three-story homes with a maximum height of approximately 35 feet. There are six models to choose from that range from 1,262 square feet to 1,730 square feet. These are three and four bedroom models. The design features are not unsightly nor are they undesirable; however, the development is considered out of character as the lot sizes, overall density of the project, and three-story development are not appropriate for this location.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposed development will not endanger the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 3

ASSEMBLY DISTRICT 7

SENATE DISTRICT 4

NOTICES MAILED 349 [Mailed with GPA-16511, ZON-16519 & VAR-16525]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SDR-16522

Case Number: _____ APN: 139-19-101-002

Name of Property Owner: SCHNIPPLE FAMILY TRUST

Name of Applicant: Richmond American Homes

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

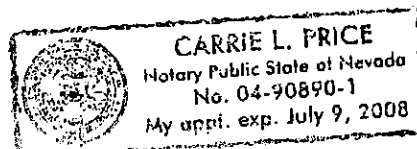
Signature of Property Owner: _____

Print Name: Mark A. Schnippel

Subscribed and sworn before me

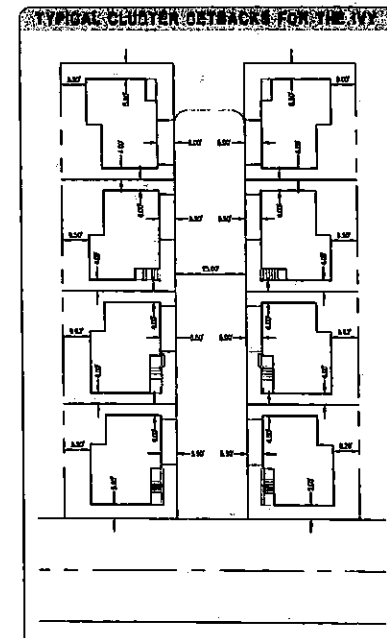
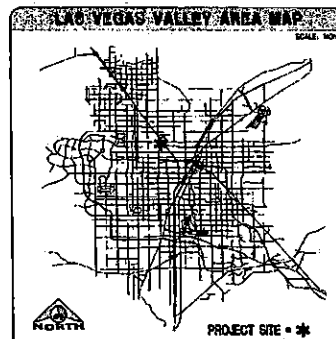
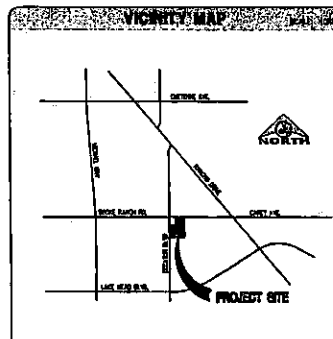
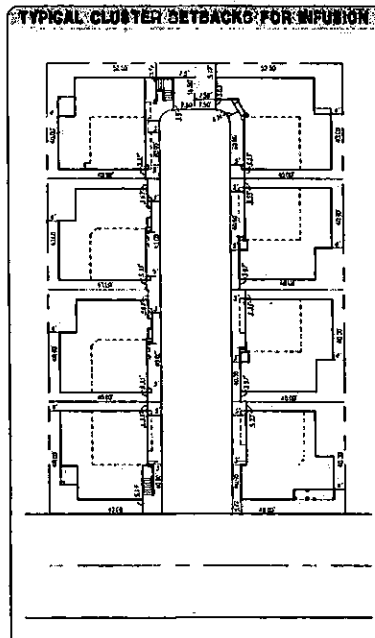
This 1st day of September 2006

Carrie L. Price
Notary Public in and for said County and State



SITE PLAN OF SMOKE RANCH / DECATUR II

A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE
NORTH HALF (N 1/2) OF SECTION 19, TOWNSHIP 20 SOUTH,
RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA.



LEGAL DESCRIPTION
THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTH HALF (N 1/2) OF SECTION 19, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ENGINEER
TERRY ENGINEERING
1725 S. LAS VEGAS BLVD., SUITE 8
LAS VEGAS, NV 89102
OFFICE: (702) 244-1400
FAX: (702) 244-1282

BENCHMARK
CLARK COUNTY METRIC CONTROL POINT "BLVD CORNER"
BEING A CORNER OF LAS VEGAS BLVD AND MOORE BLVD IN
CLARK COUNTY, NEVADA, NEAR THE CORNER OF MOORE BLVD
AND MOORE STREET.
ELEVATION: 2,047.253 (FEET)
CLARK COUNTY METRIC CONTROL POINT "BLVD CORNER"
BEING A CORNER OF LAS VEGAS BLVD AND MOORE BLVD IN
CLARK COUNTY, NEVADA, NEAR THE CORNER OF MOORE BLVD
AND MOORE STREET.

ASSessor'S PARCEL NUMBER
120-10-100-000

OWNER
SOMMER FARM TRUST
1725 S. LAS VEGAS BLVD., SUITE 8
LAS VEGAS, NV 89102
OFFICE: (702) 244-1400

BASIS OF BEARING
NORTH "000°00'00" WEST, BEING THE BEARING OF THE
EAST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF
THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 19,
TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK
COUNTY, NEVADA, BEING A CORNER OF LAS VEGAS
BLVD AND MOORE STREET.

SHEET INDEX
1. COVER SHEET
2. SITE PLAN

DEVELOPER
RICHMOND AMERICAN HOMES OF NEVADA, INC.
1725 S. LAS VEGAS BLVD., SUITE 8
LAS VEGAS, NV 89102
OFFICE: (702) 244-1400

LAND USE TABULATION

LAND USE DESIGNATION	6-POB (RESIDENTIAL PLANNED DEVELOPMENT)	8-POB (RESIDENTIAL PLANNED DEVELOPMENT)
PURPOSE ZONING	6-POB	8-POB
TOTAL LOTS	77 LOTS	77 LOTS
NET AREA	8.19 ACRES	8.19 ACRES
GROSS AREA	12.47 ACRES	12.47 ACRES
DENSITY (GROSS)	12.47 LOTS / ACRE	12.47 LOTS / ACRE
USABLE OPEN SPACE	11,257 SF	11,257 SF
TOTAL PROJECT	11,257 SF	11,257 SF

SETBACK REQUIREMENTS
CLARK COUNTY TITLE 20

SETBACK	MINIMUM	MAXIMUM
FRONT TO BUILDING	5' MIN	5' MIN
FRONT TO GARAGE	5' MIN	5' MIN
SIDE TO BUILDING	5' MIN	5' MIN
SIDE TO ROOF EAVE	5' MIN	5' MIN
USE ON CORNER	5' MIN	5' MIN
REAR	5' MIN	5' MIN

COMMON LOT AREAS

COMMON LOT	NOT USABLE	USABLE	TOTAL
COMMON LOT 1	2,504 SF	4,701 SF	11,205 SF
COMMON LOT 2	1,784 SF	21,525 SF	23,309 SF
COMMON LOT 3	1,784 SF	2,794 SF	4,578 SF
COMMON LOT TOTAL	6,072 SF	33,020 SF	39,092 SF

SURVEYOR
TERRY ENGINEERING
1725 S. LAS VEGAS BLVD., SUITE 8
LAS VEGAS, NV 89102
OFFICE: (702) 244-1400
FAX: (702) 244-1282

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ZON-16519 SDR-16522
REVISED 11/16/06 PC

Triton Engineering
1725 S. LAS VEGAS BLVD., SUITE 8
LAS VEGAS, NV 89102
OFFICE: (702) 244-1400
FAX: (702) 244-1282

COVER SHEET

SMOKE RANCH / DECATUR II

1

CLV. DWG.

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ZON-16519 SDR-16522
REVISED 11/16/06 PC



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ZON-16519 SDR-16522
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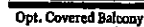


A2.b

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



1430

PICKET
LANE

SECRET

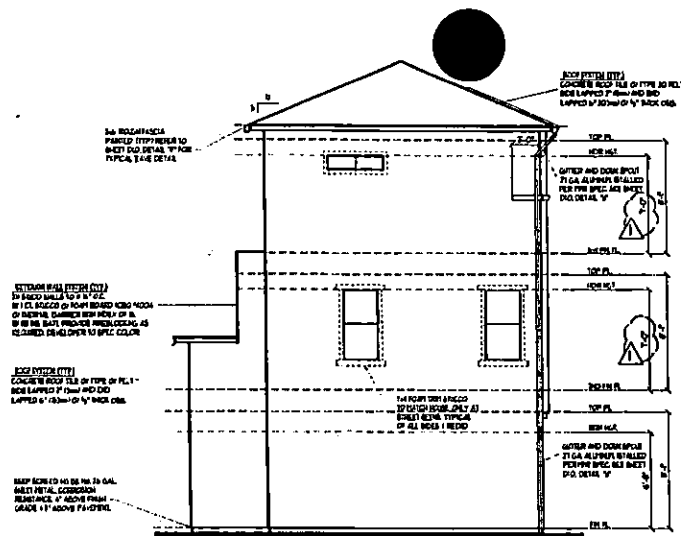
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ZON-16519 SDR-16522
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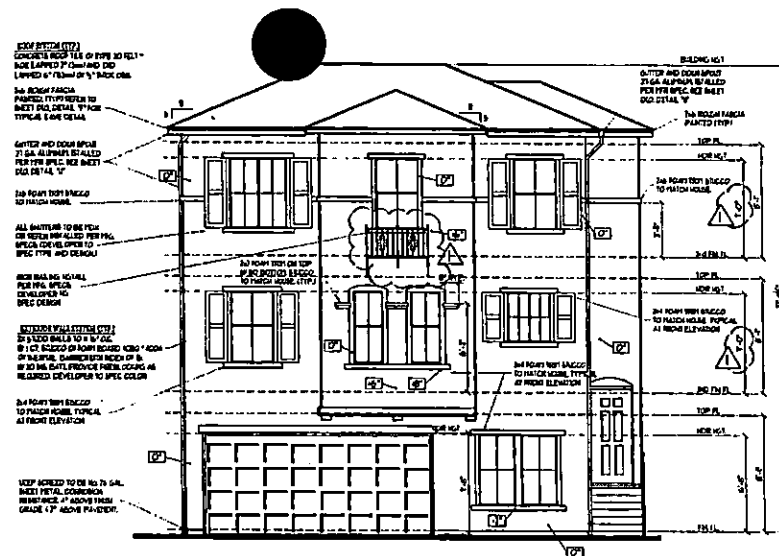


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ZON-16519 SDR-16522
REVISED 11/16/06 PC



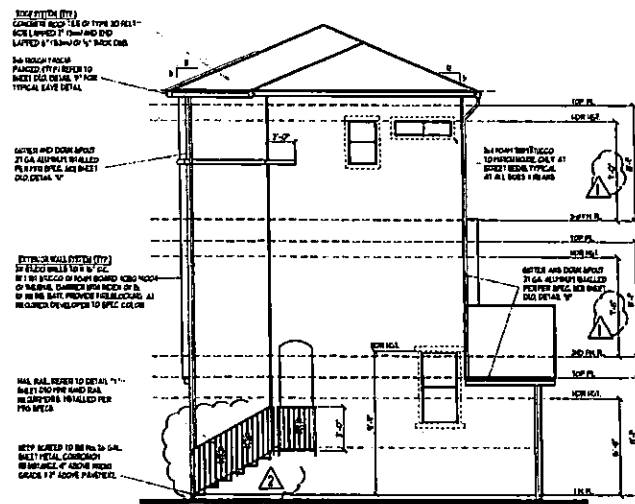
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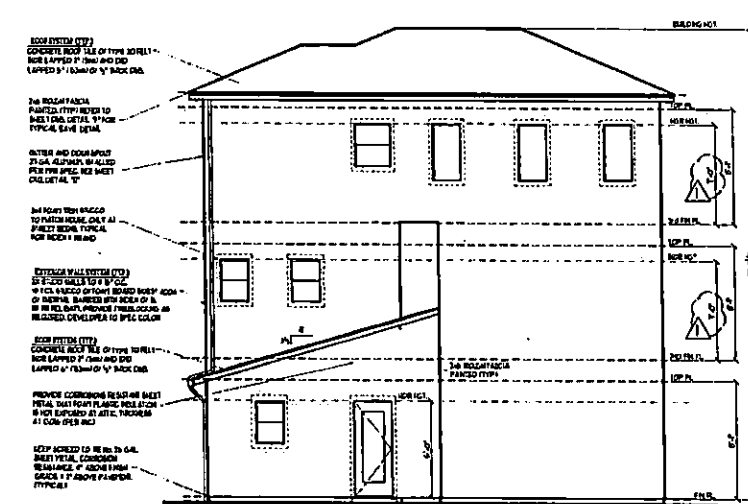
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Right Elevation - B

SCALE: 1/4\"/>



Rear Elevation - B

SCALE: 1/4\"/>

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ZON-16519 SDR-16522
REVISED 11/16/06 PC

LAS VEGAS DIVISION
7250 West Post, Suite 212
LAS VEGAS, NV 89120 (702) 240-5600

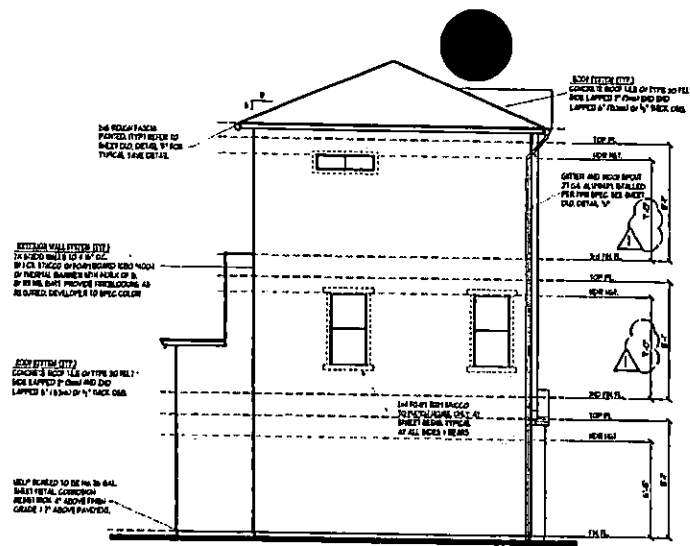
RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON
LAS VEGAS, NV 89015 LAS VEGAS

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BY: R.M.D.
CHECKED: 10/10/06
APPROVED: 10/10/06

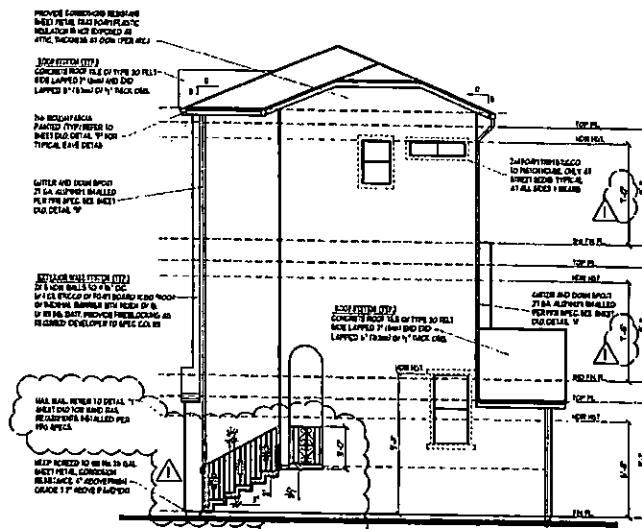
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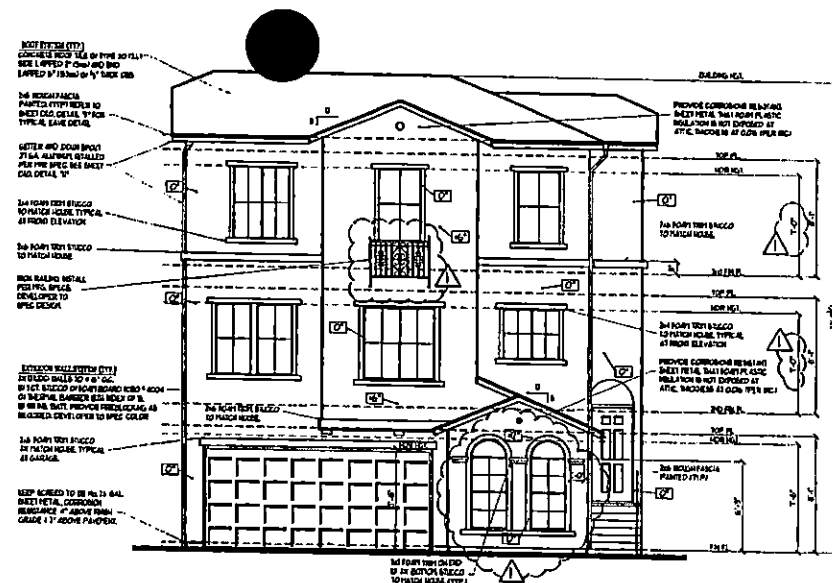
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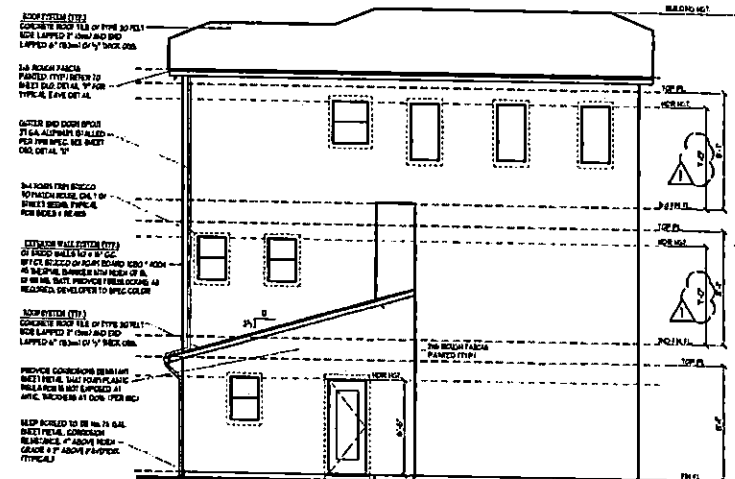
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SCALE 1/4" = 1'-0"



Front Elevation - C

SCALE 1/4" = 1'-0"



Rear Elevation - C

SCALE 1/4" = 1'-0"

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ZON-16519 SDR-16522
REVISED 11/16/06 PC

LAS VEGAS DIVISION
7250 West Flamingo Ave. Suite 212
LAS VEGAS, NV 89120 (702) 240-5600

RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON
LAS VEGAS, NV 89120

ELEVATION - C

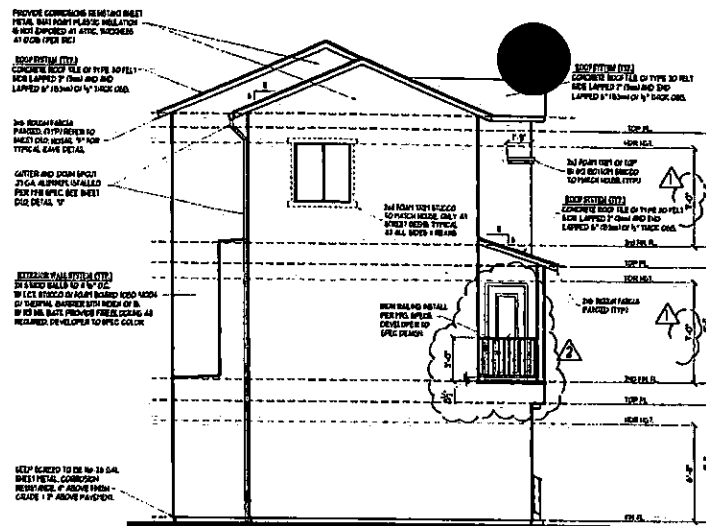
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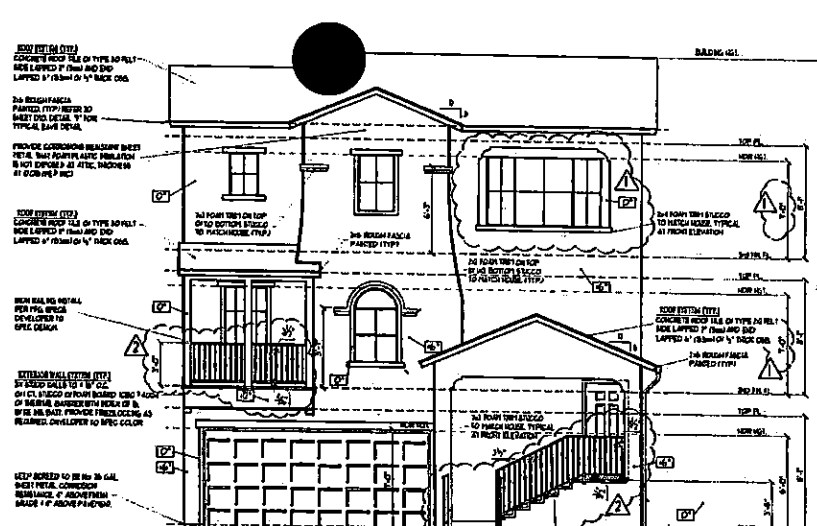
BARRETT PICKET LANE

SHEET NO.

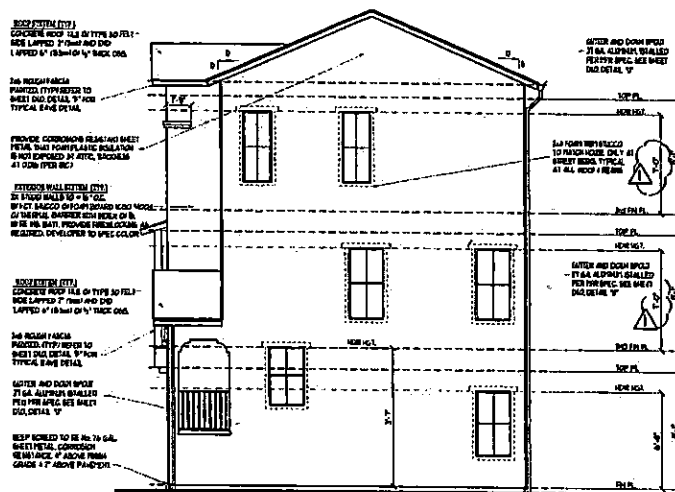
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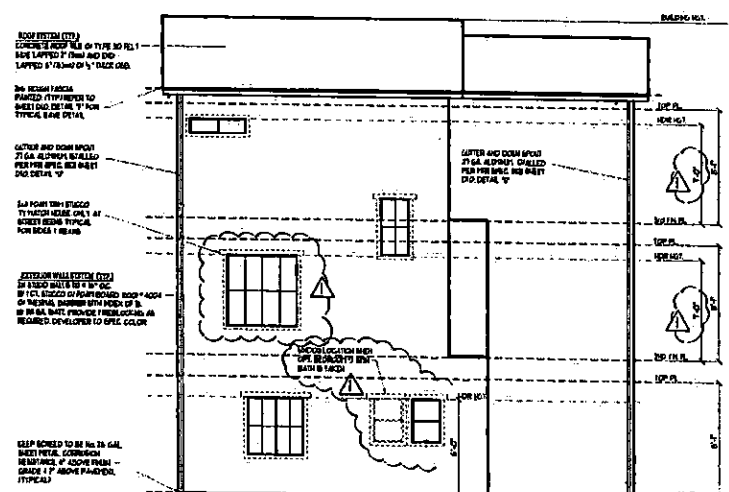
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Front Elevation - A



Right Elevation - A



Rear Elevation - A

RECEIVED
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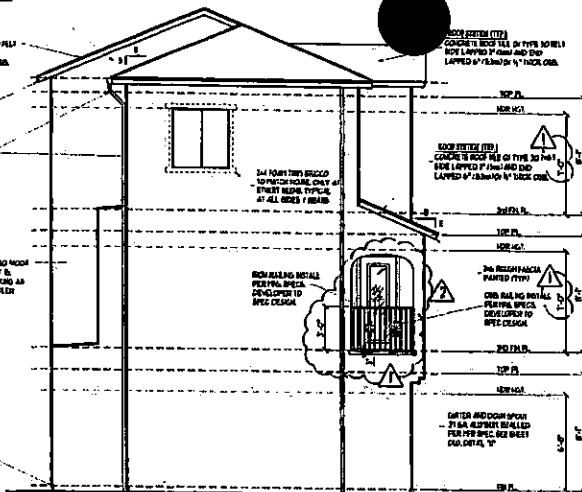
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ZON-16519 SDR-16522
REVISED 11/16/06 PC

PROVIDE EXTERIOR WALL FINISH
TYPICAL. TWO-TONE PLASTIC VINYL SIDING
IS NOT EMPLOYED AT ENTRY, WINDOWS
AT CORNER UPON ENTRY

ROOF SYSTEM (TYP)
CONCRETE ROOF TILE OF TYPE 30 FELL-
SIDE LAPPED 1" DOWN AND DOW
LAPPED 1" UPWARD ON 1" THICK ONE.

EXTERIOR WALL FINISH (TYP)
AT ENTRY WALLS TO 6" O.C.
OF 1" O.C. BRICK OR POINT BOARDS KERO-
WOOD OF INTERIOR, SHOWN WITH REDWOOD
OR 1" O.C. BRICK, PROVIDE FINISHING AS
REQUIRED DEVELOPER TO SPEC COLOR.

KEEP SCALED TO BE IN 1/4" O.C.
BEST FINE, CONCRETE
FINISH, 1" ABOVE FINISH.



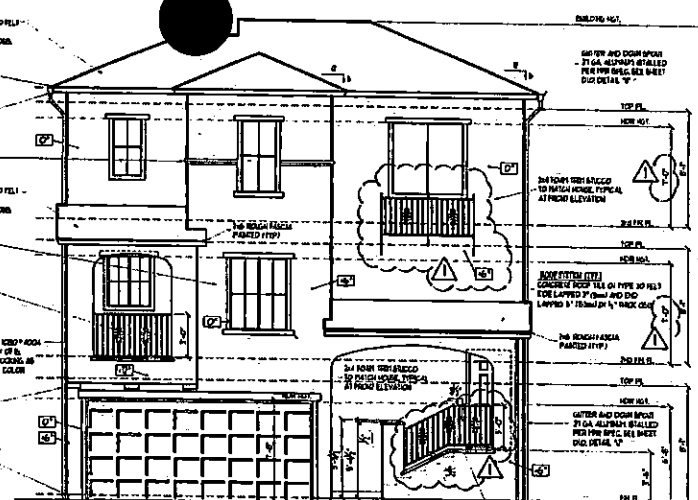
Left Elevation - B

SCALE 1/4" = 1'-0"

ROOF SYSTEM (TYP)
CONCRETE ROOF TILE OF TYPE 30 FELL-
SIDE LAPPED 1" DOWN AND DOW
LAPPED 1" UPWARD ON 1" THICK ONE.

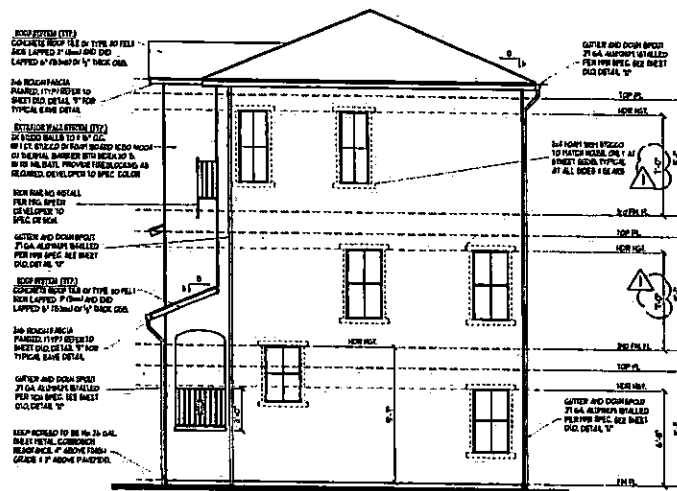
EXTERIOR WALL FINISH (TYP)
AT ENTRY WALLS TO 6" O.C.
OF 1" O.C. BRICK OR POINT BOARDS KERO-
WOOD OF INTERIOR, SHOWN WITH REDWOOD
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FINISH, 1" ABOVE FINISH.



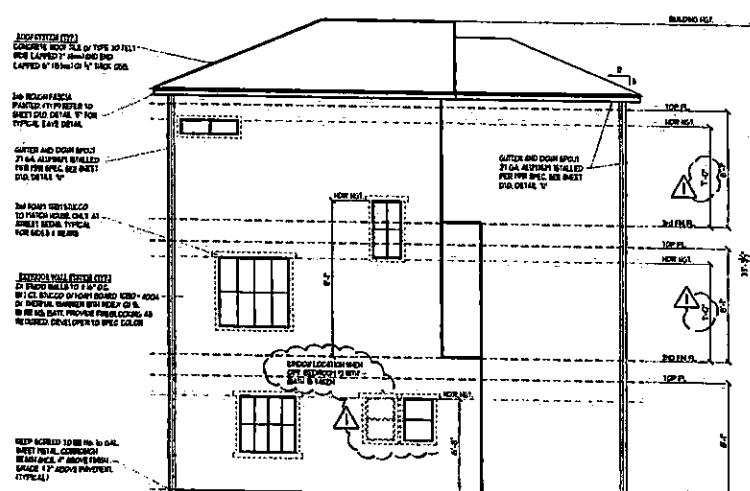
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Right Elevation - B

SCALE 1/4" = 1'-0"



Rear Elevation - B

SCALE 1/4" = 1'-0"

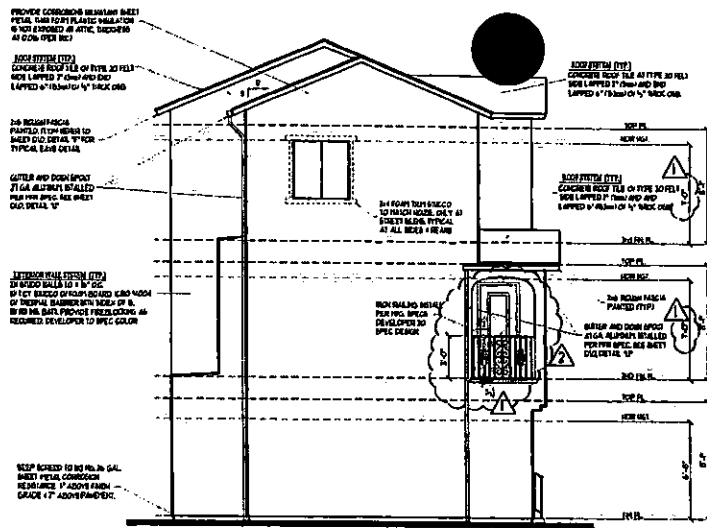
LAS VEGAS DIVISION
7250 West Park, Suite 212
LAS VEGAS, NV 89128 (702) 240-5600

RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON,
LAS VEGAS & NORTH LAS VEGAS

ELEVATION-B
DATE: 10/25/06
BY: [Signature]
CHECKED: [Signature]
APP'D: [Signature]
1532
SECTION: PICKET
LINE
A2.b

RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



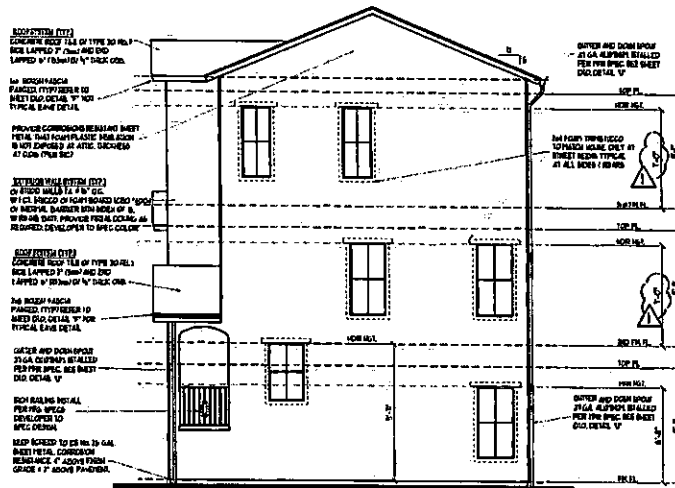
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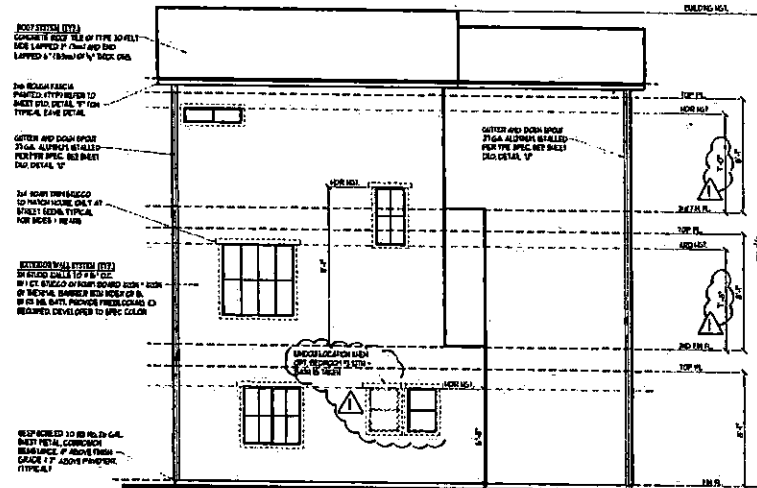
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SCALE 1/4\"/>



Right Elevation - C

SCALE 1/4\"/>



Rear Elevation - C

SCALE 1/4\"/>

LAS VEGAS DIVISION
7250 West Peak, Suite 212
CLARK COUNTY - HENDERSON, NV 89128 (702) 240-5600

RICHMOND AMERICAN HOMES
LAS VEGAS & NORTH LAS VEGAS

ELEVATION - C
DATE: 10/19/04
BY: R.M.C.
CHECKED: J.A.
DATE: 11/16/06
BY: J.A.
DATE: 11/16/06
BY: J.A.

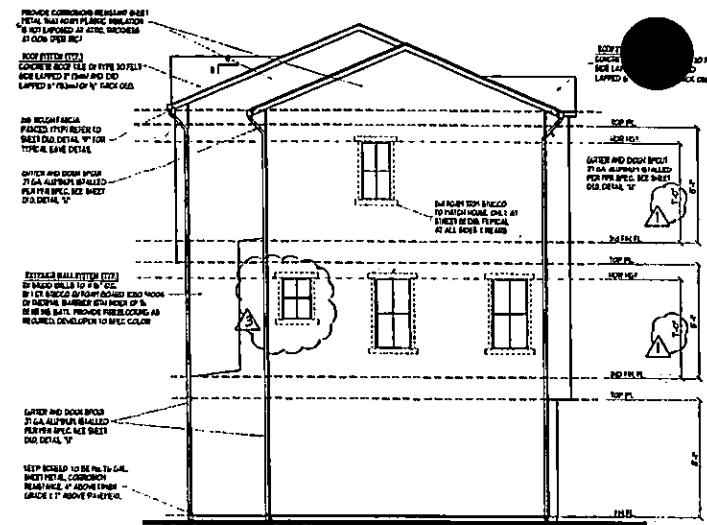
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PICKET LANE

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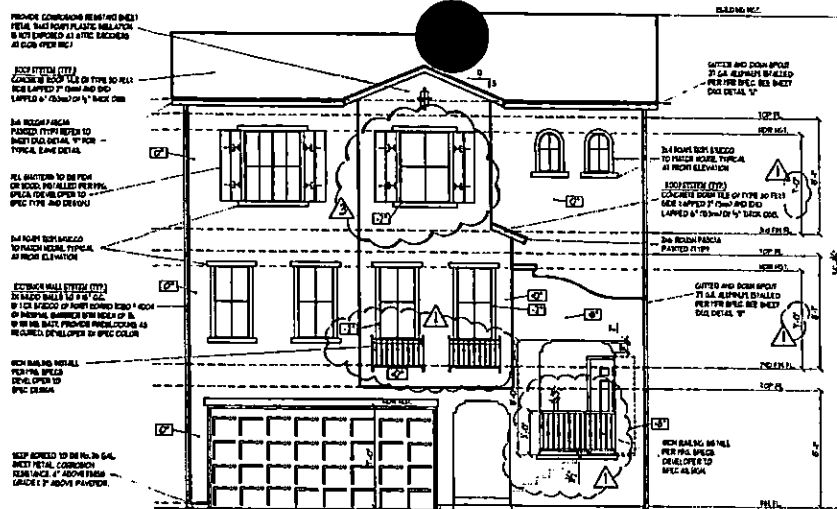
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OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



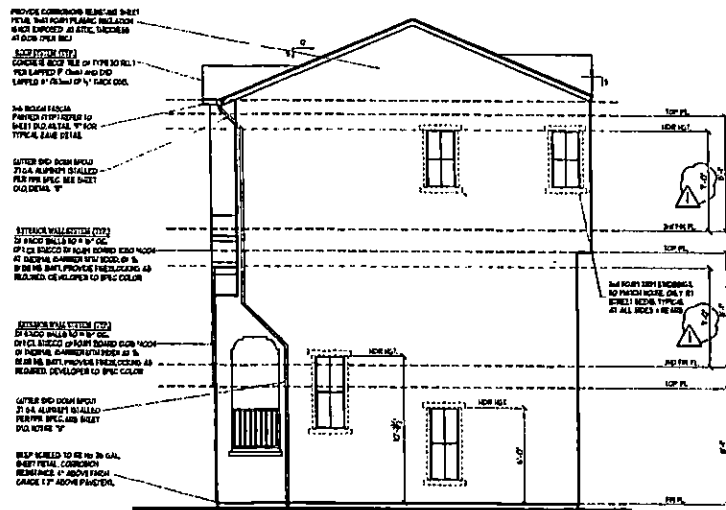
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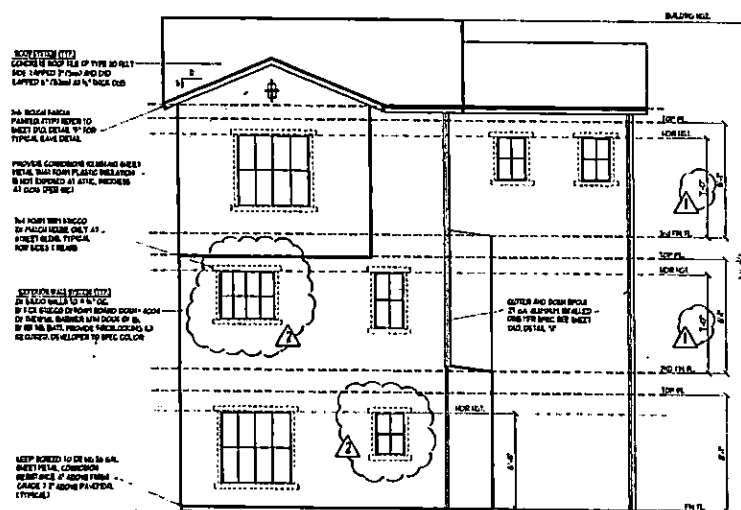
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SCALE 1/4" = 1'-0"



Right Elevation - A

SCALE 1/4" = 1'-0"



Rear Elevation - A

SCALE 1/4" = 1'-0"

RICHMOND
ARCHITECTURAL
CLARK COUNTY, KENTUCKY
LAS VEGAS, A NORTH LAS VEGAS

LAS VEGAS DIVISION
7250 West Peak Suite 212
LAS VEGAS, NV 89128 (702) 240-560

ELEVATION - A
TITLE

DATE: 10/10/04
BY: [Signature]
CHECKED: 10/10/04
DATE: 10/10/04
DATE: 10/10/04

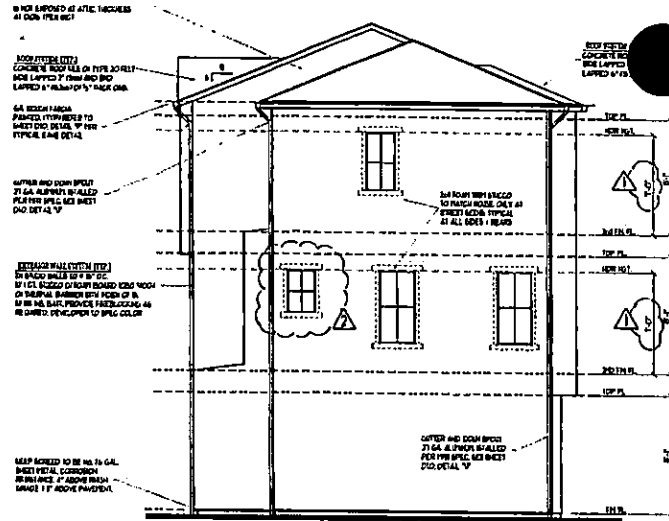
1730

PACKET
LANE

A2.a

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GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



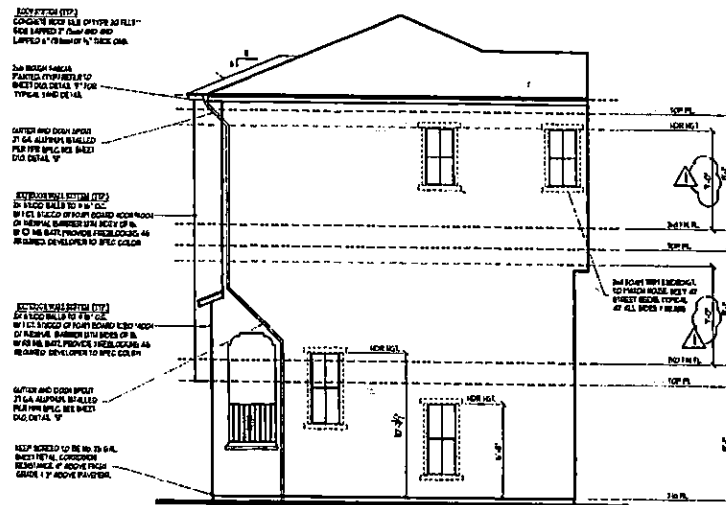
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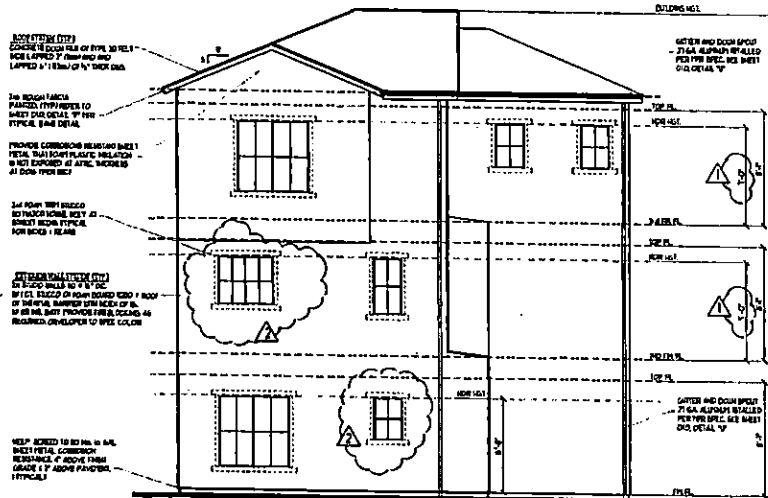
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SCALE: 1/4" = 1'-0"



Right Elevation - B

SCALE: 1/4" = 1'-0"



Rear Elevation - B

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
7250 West Peak, Suite 212
LAS VEGAS, NV 89128 (702) 240-5600

RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON
LAS VEGAS & NORTH LAS VEGAS

ELEVATION - B
TITLE

DATE: 10/18/04
BY: R.M.D.
CHECKED: 10/18/04
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CHECKED: 10/18/04

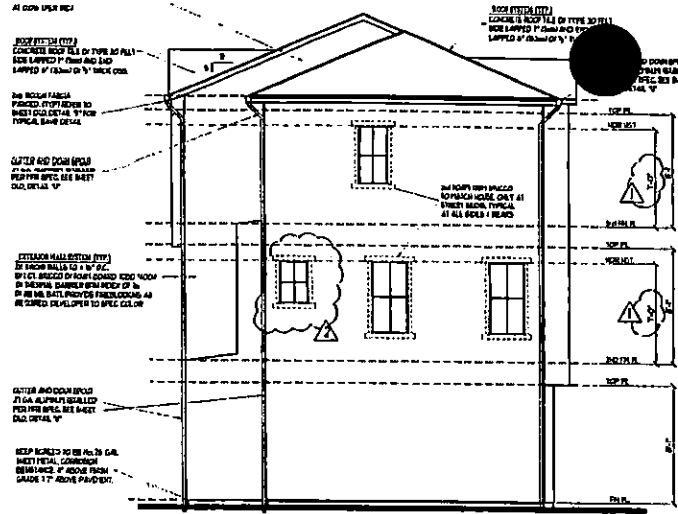
1730

PICKET LANE

A2.b

RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



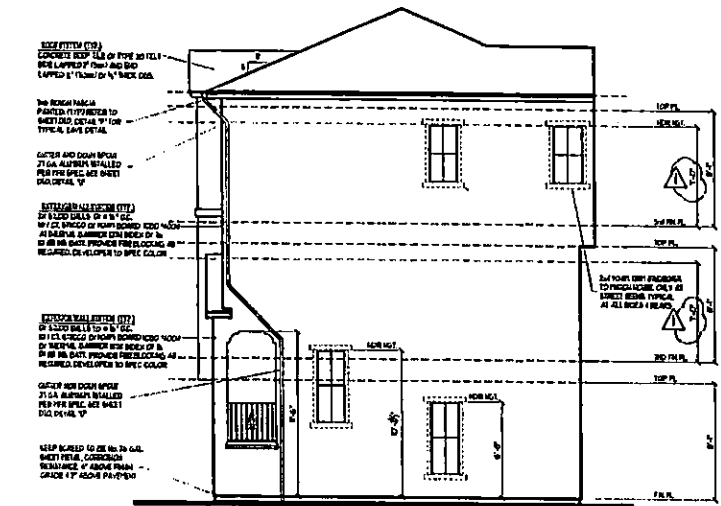
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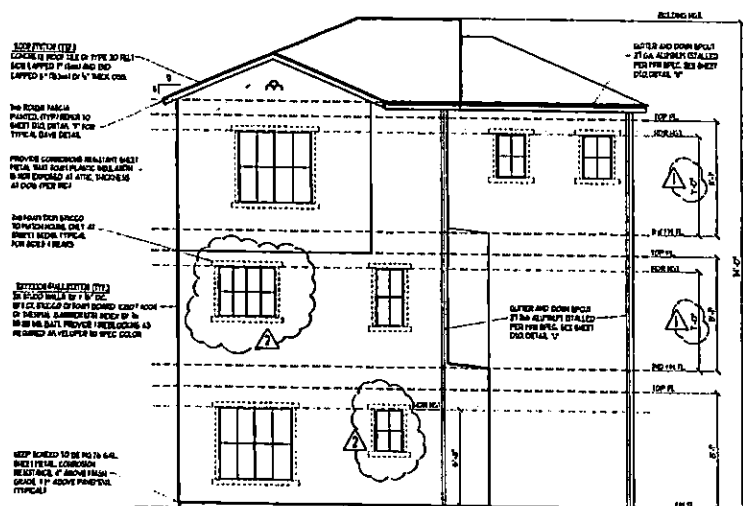
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SCALE 1/4" = 1'-0"



Right Elevation - C

SCALE 1/4" = 1'-0"



Rear Elevation - C

SCALE 1/4" = 1'-0"

RICHMOND
AMERICAN HOMES
CLARK COUNTY, HENDERSON,
LAS VEGAS & NORTH LAS VEGAS

LAS VEGAS DIVISION
7250 West Park, Suite 212
LAS VEGAS, NV 89126 (702) 240-6600

PLAN # 1730

DATE 11/16/06

PROJECT PICKET LANE

DATE 11/16/06

PROJECT PICKET LANE

DATE 11/16/06

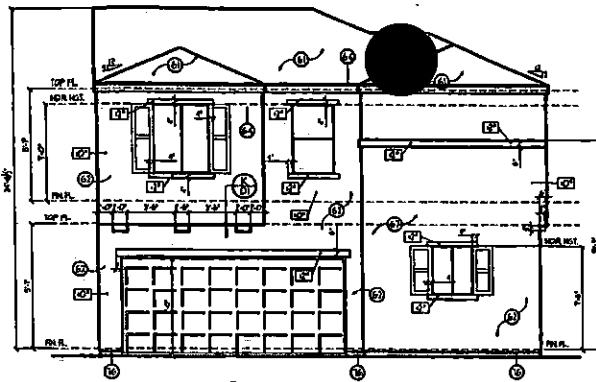
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DATE 11/16/06

RECEIVED

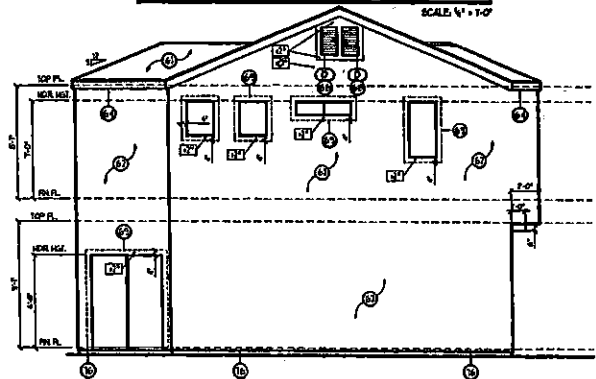
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



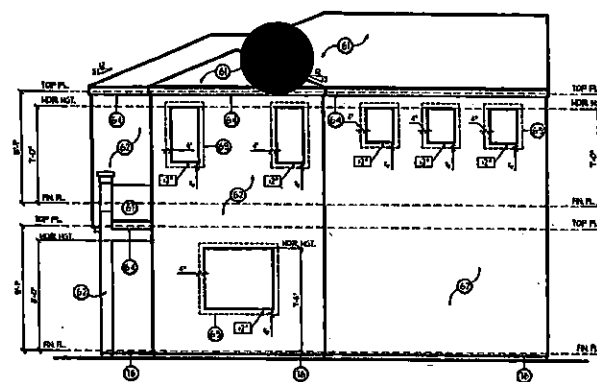
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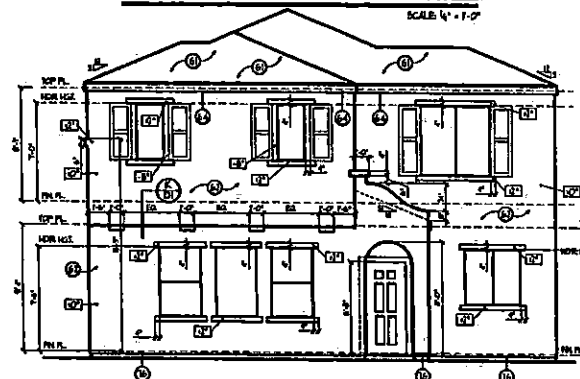
Left Elevation

SCALE 1/4" = 1'-0"



Rear Elevation - A

SCALE 1/4" = 1'-0"



Right Elevation

SCALE 1/4" = 1'-0"

- KEYNOTES**
1. FOAM APPLICATIONS SHALL COMPLY PER IRC
 2. WINDOW HEADERS HEIGHTS NOTES ON PLANS
 3. REFER TO SHEET ASD FOR ATTIC VENTILATION CALCULATIONS
 4. ALL FOAM PLANT-ONS AROUND WINDOW TO BE INSTALLED WHEN REQUIRED PER ALL ZONING CONDITION
 5. CONCRETE TILE IS TYPE 10 FLY ASH LAPPED 1" (MIN) L AND LAPPED 1" (MIN) WITH ONE END (TYP)
 6. BRIDGE JOINTS/JOINTS LESS THAN 1/8" GROUND BARRIER - PER IRC
 7. ROOF JOINTS/JOINTS 1" APPLICATION SHALL COMPLY TO IRC (REDOOR/ROOF)
 8. 1/8" ROOF BARRIER
 9. REPAIRED GLASS/PANES BLACK FOR DECORATIVE PURPOSES ONLY
 10. PROVIDE COMMON RESISTANT METAL FLASH OF FIRM DIMENSIONS OF 1/4" (MIN) IN TYPICAL
 11. ADHESIVE FLASH = 1/4" (MIN) COACH LIGHT = 1/4"
 12. 1/4" (MIN) FLASH
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 98. 1/4" (MIN) FLASH
 99. 1/4" (MIN) FLASH
 100. 1/4" (MIN) FLASH

LAS VEGAS DIVISION

9700 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV 89129 (702) 246-5000

RICHMOND
SINCE 1911
DIVISION PRESIDENT

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION 'A'

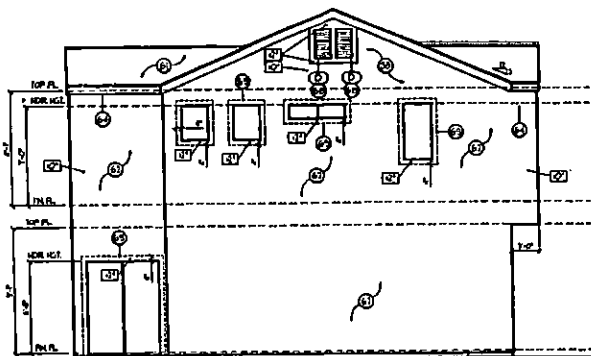
1262

Kenneth Square

A2.A

RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



Left Elevation

SCALE 1/4" = 1'-0"



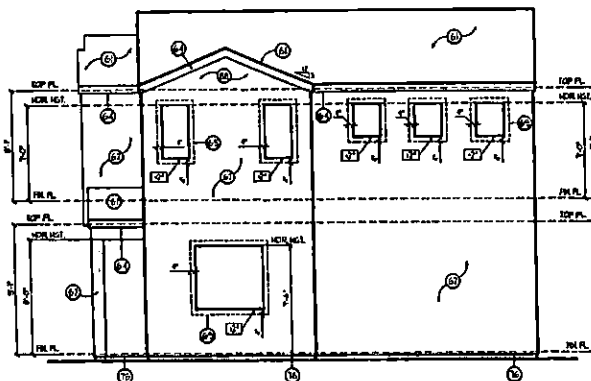
Front Elevation - B

SCALE 1/4" = 1'-0"



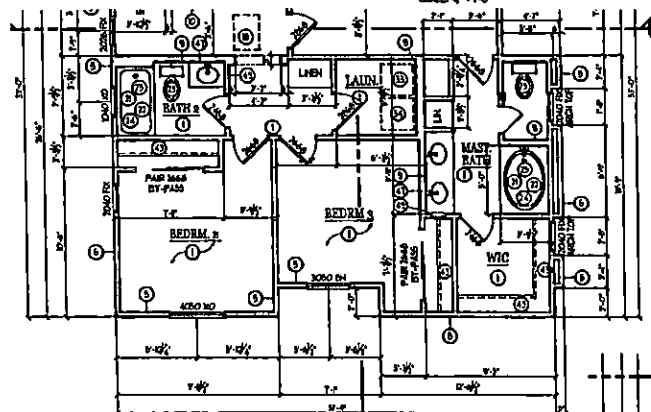
Right Elevation

SCALE 1/4" = 1'-0"



Right Elevation

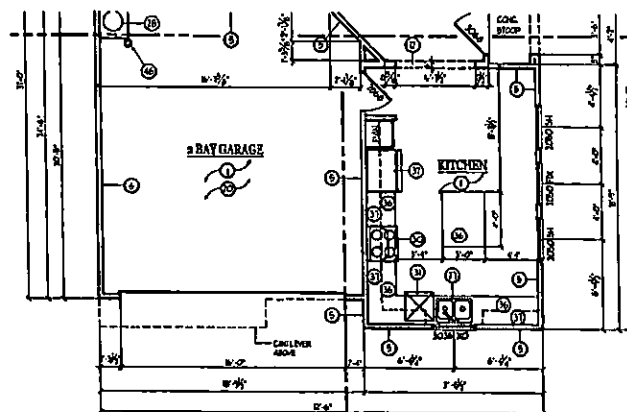
SCALE 1/4" = 1'-0"



2nd Floor Plan

Elevation - B

SCALE 1/4" = 1'-0"



1st Floor Plan

Elevation - B

SCALE 1/4" = 1'-0"

LAS VEGAS DIVISION
9770 W. Conover Ave. Suite 100
LAS VEGAS, NV 89123 (702) 240-5000

RICHMOND
STATE CONSULTANTS, INC.
ARCHITECTS
DANSON PRESIDENT
PATENT & DESIGN, INC.

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "B"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	09/23/06
2		
3		
4		
5		

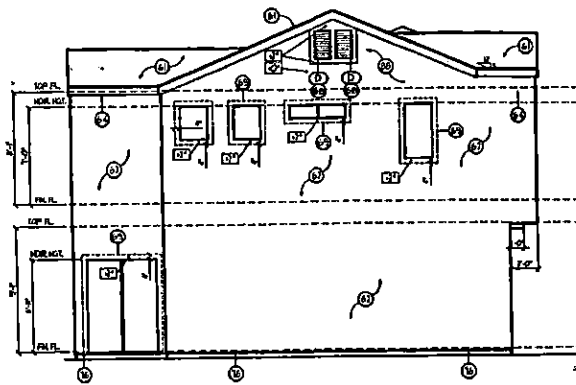
1262

REVISION
Kamuel
Square

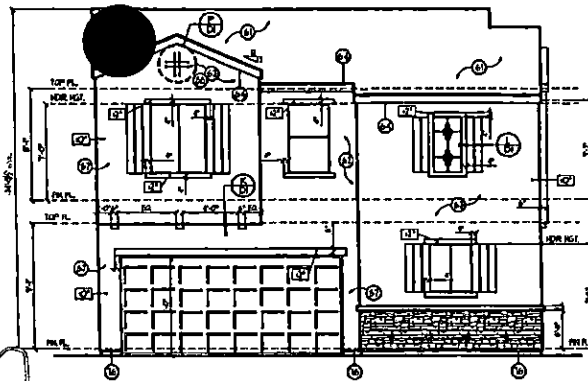
A2.B

RECEIVED
OCT 25 2006

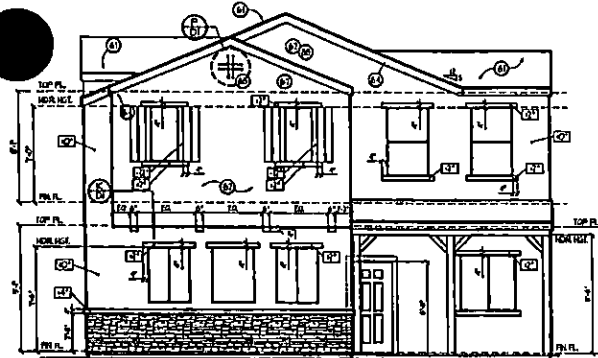
GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



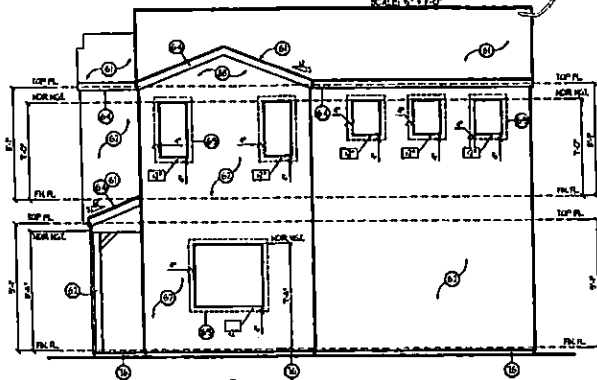
Left Elevation



Front Elevation - C

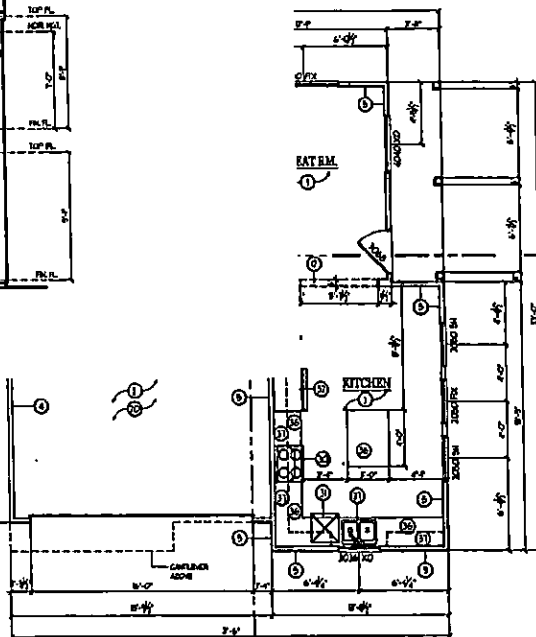


Right Elevation



Rear Elevation

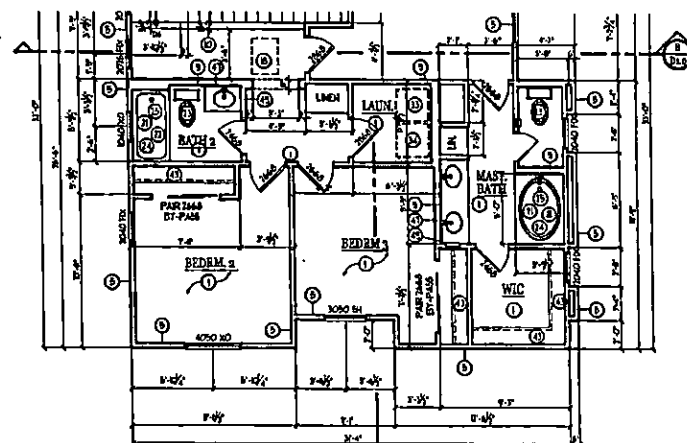
SCALE: 1/4" = 1'-0"



1st Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"



2nd Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
9970 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV 89123 (702) 240-5600

RICHMOND
ARCHITECTS
STATE CONTRACTOR LICENSE #22647
DIVISION PRESSION
PRINCE & BRYAN, JR.

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "C"

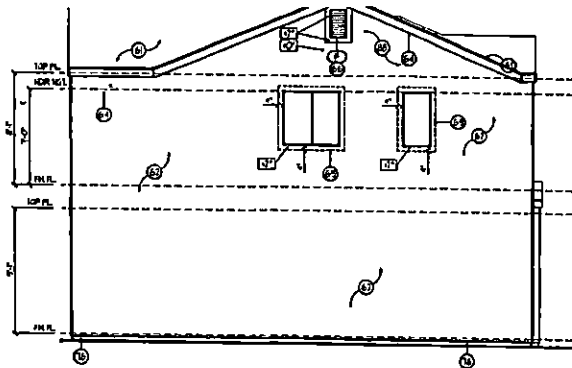
1262

1262

A2.C

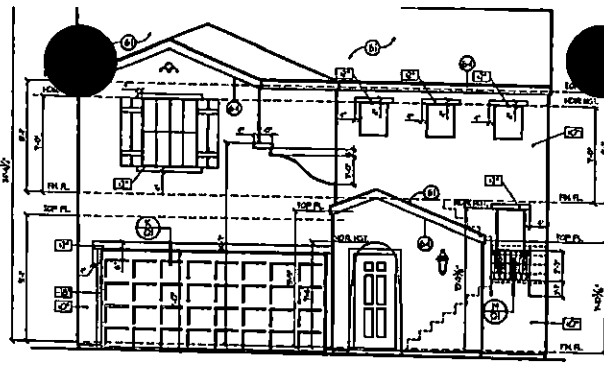
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



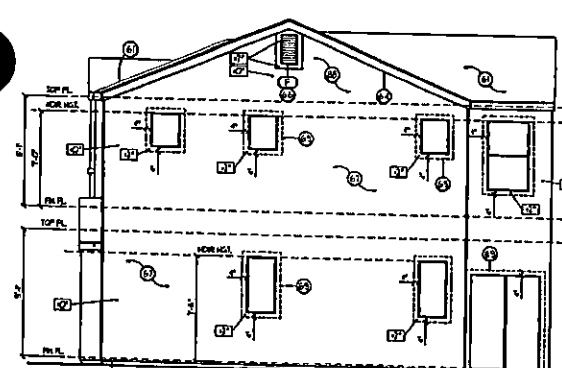
Left Elevation

SCALE: 1/4" = 1'-0"



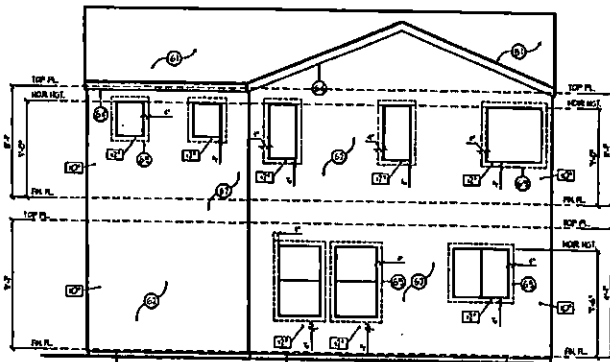
Front Elevation - B

SCALE: 1/4" = 1'-0"



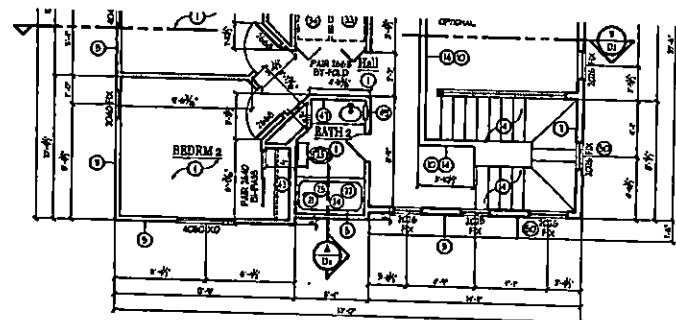
Right Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation

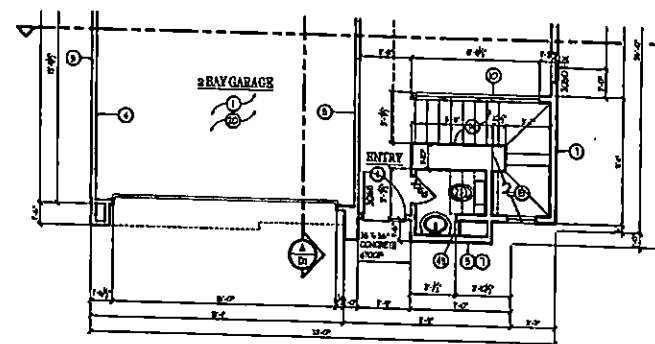
SCALE: 1/4" = 1'-0"



2nd Floor Plan

Elevation - B

SCALE: 1/4" = 1'-0"



1st Floor Plan

Elevation - B

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
9870 W. Chartrand Ave. Suite 100
LAS VEGAS, NV 89123 (702) 240-5500

RICHMOND
AMERICAN HOMES
STATE OF NEVADA
DENISE PRESIDENT

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "B"

DATE	BY	CHKD.
08/22/06		

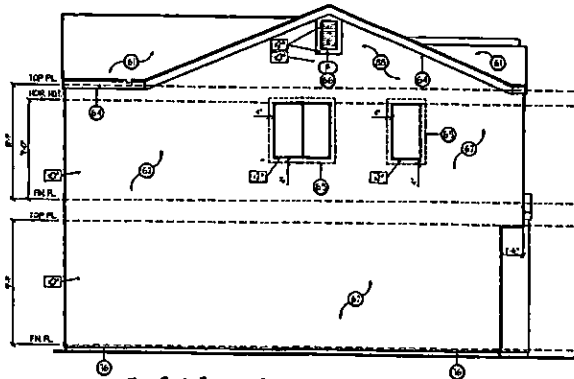
1310

Kenneth
Squibb

A2.B

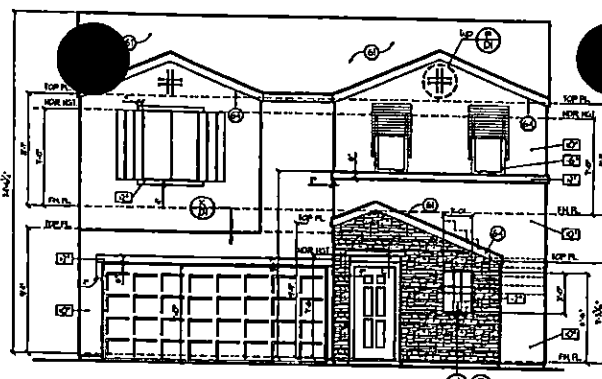
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



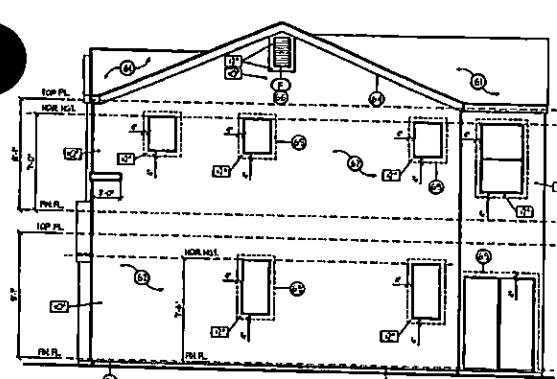
Left Elevation

SCALE 1/4" = 1'-0"



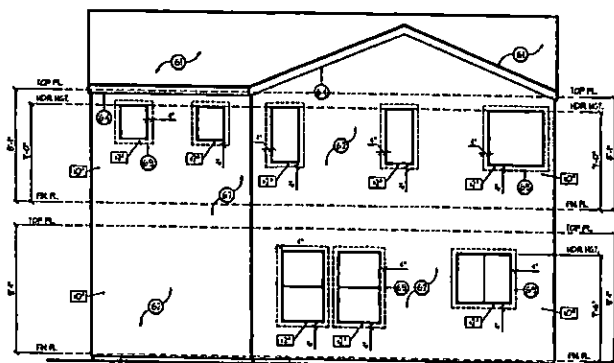
Front Elevation - C

SCALE 1/4" = 1'-0"



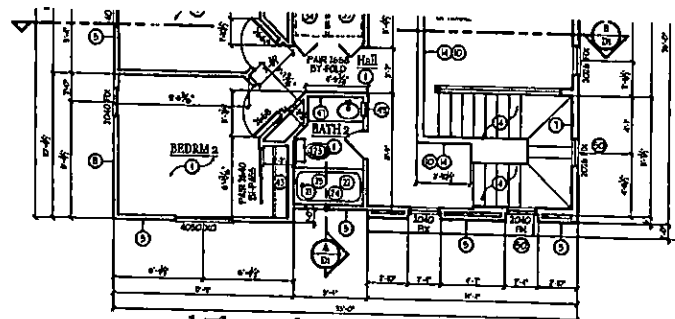
Right Elevation

SCALE 1/4" = 1'-0"



Rear Elevation

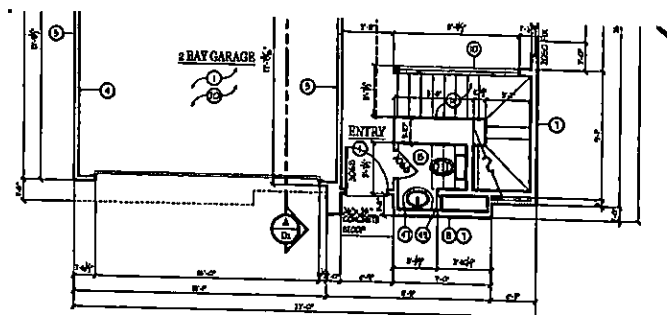
SCALE 1/4" = 1'-0"



2nd Floor Plan

Elevation - C

SCALE 1/4" = 1'-0"



1st Floor Plan

Elevation - C

SCALE 1/4" = 1'-0"

LAS VEGAS DIVISION
9970 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV 89129 (702) 240-5800

RICHMOND
AMERICAN PORTS
SHELL
DIVISION PRESENT
BRUNNEN & DELANEY, INC.

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION 'C'

REVISIONS
1. 11/16/06
2. 11/16/06
3. 11/16/06
4. 11/16/06
5. 11/16/06
6. 11/16/06
7. 11/16/06
8. 11/16/06
9. 11/16/06
10. 11/16/06

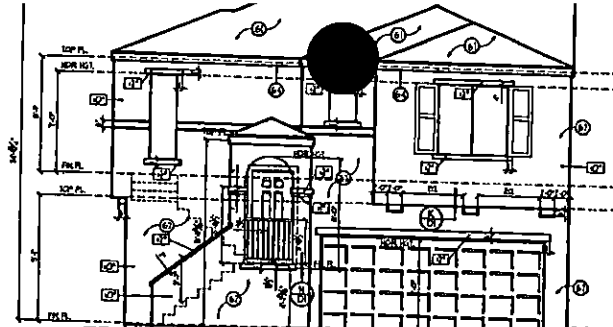
PLAN #
1310

REVISION
Korwin
Square

REV. #
A2.C

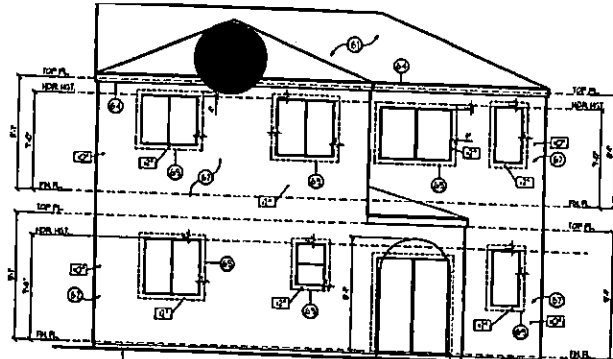
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



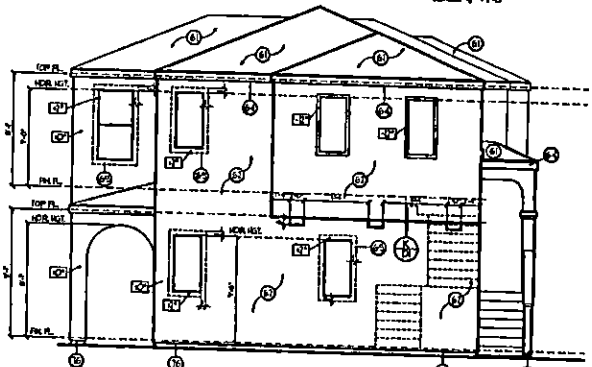
Front Elevation - A

SCALE 1/4" = 1'-0"



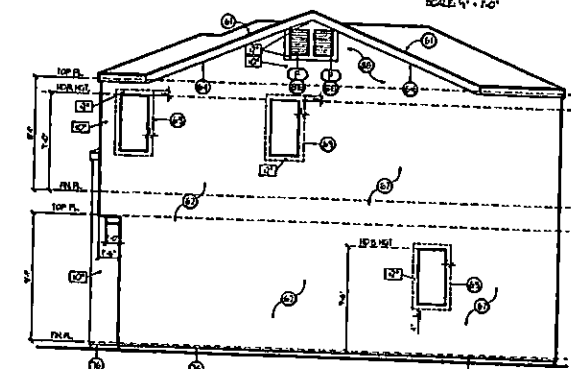
Rear Elevation - A

SCALE 1/4" = 1'-0"



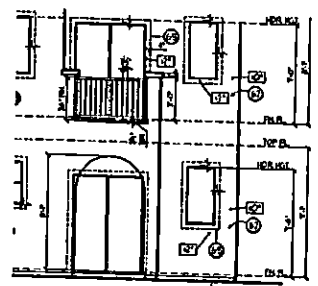
Left Elevation

SCALE 1/4" = 1'-0"



Right Elevation

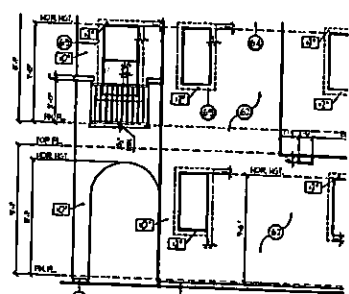
SCALE 1/4" = 1'-0"



Optional Deck Rear Elevation

Typical (rear elevations)

SCALE 1/4" = 1'-0"



Optional Deck

Typical (side elevations)

SCALE 1/4" = 1'-0"

- Q. KEYNOTES**
1. ROOF APPLICATIONS SHALL COMPLY PER IRC
 2. WINDOW HEADERS HEIGHTS NOTE ON PLANS
 3. REFER TO SHEET ALSO FOR ATTIC VENTILATION CALCULATIONS
 4. ALL FOAM PLANT-OUTS AROUND WINDOWS TO BE INSTALLED WHEN REQUIRED PER ALL ZONING CONDITIONS
 5. CONCRETE TIE OF TYPE 30 FULL SIZE LAPPED 2' (3" MIN) AND LAPPED BY 6" MIN (4" MIN) (SEE DETAIL)
 6. BRICK VENEER 1 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)
 7. BRICK VENEER 2 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)
 8. BRICK VENEER 3 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)
 9. BRICK VENEER 4 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)
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 104. BRICK VENEER 99 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)
 105. BRICK VENEER 100 APPLICATION SHALL COMPLY TO IRC (100% TYPICAL)

RICHMOND
STATE CONTRACTOR LICENSE #0000000000
BRIDGE PRESIDENT

LAS VEGAS DIVISION
1070 W. CHANDLER AVE. Suite 100
LAS VEGAS, NV 89120 (702) 501-5800

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "A"

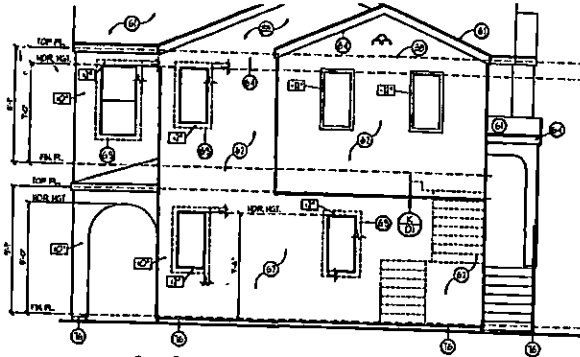
DATE: 10/25/06
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

1343

A2.A

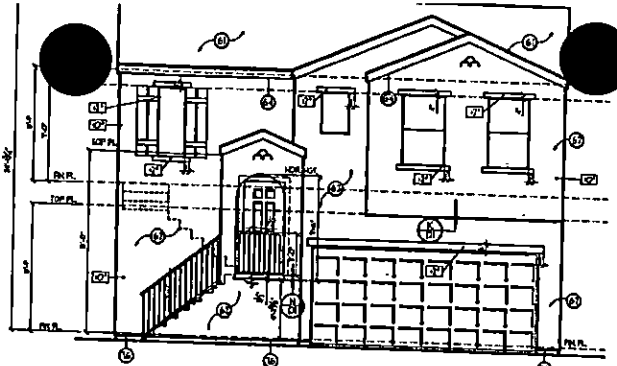
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



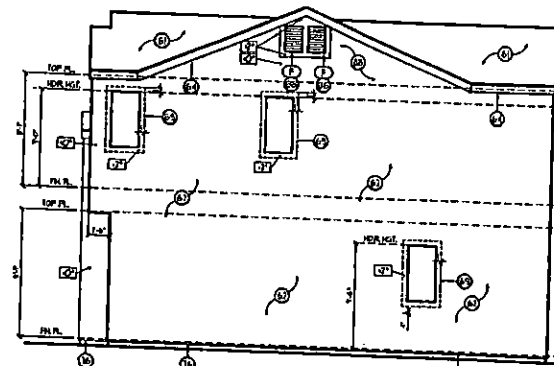
Left Elevation

SCALE 1/4" = 1'-0"



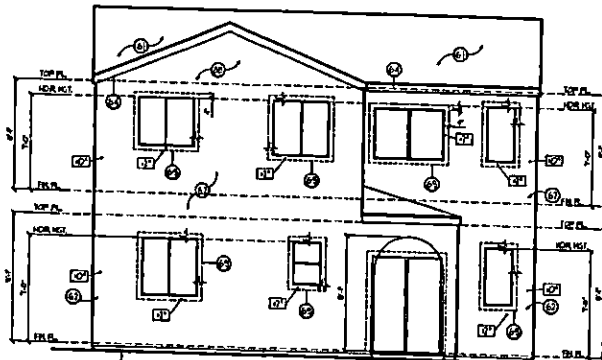
Front Elevation - B

SCALE 1/4" = 1'-0"



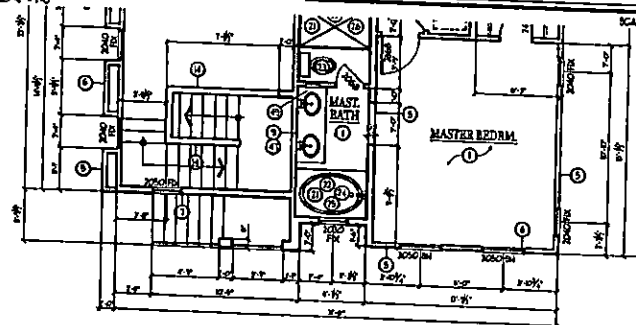
Right Elevation

SCALE 1/4" = 1'-0"



Rear Elevation

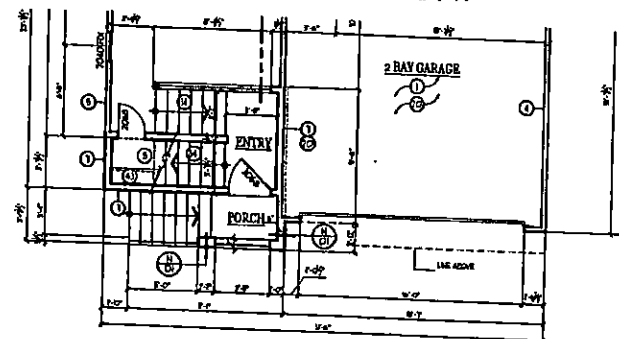
SCALE 1/4" = 1'-0"



2nd Floor Plan

Elevation - B

SCALE 1/4" = 1'-0"



1st Floor Plan

Elevation - B

SCALE 1/4" = 1'-0"

LAS VEGAS DIVISION
9970 W. Cleveland Ave. Suite 100
LAS VEGAS, NV, 89123 (702) 240-5600

RICHMOND
BOWEN
STATE CONSULTING ENGINEERS
DIVISION PRESENT

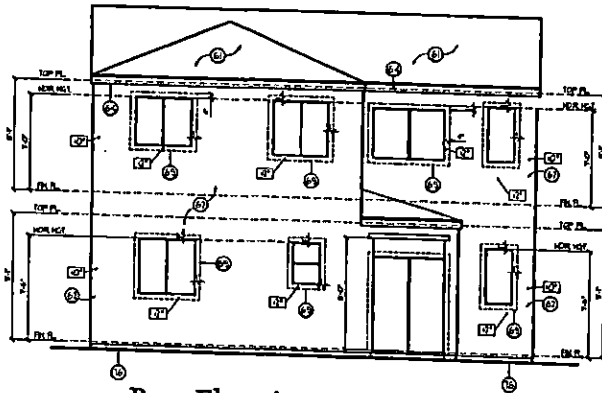
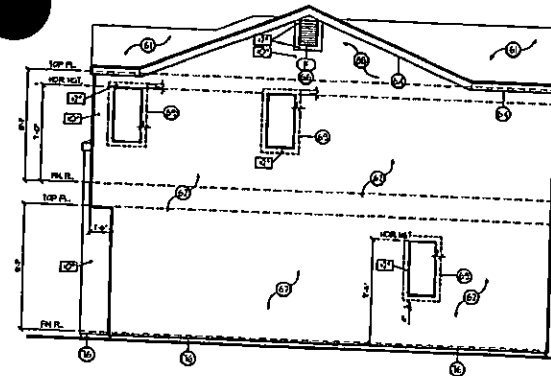
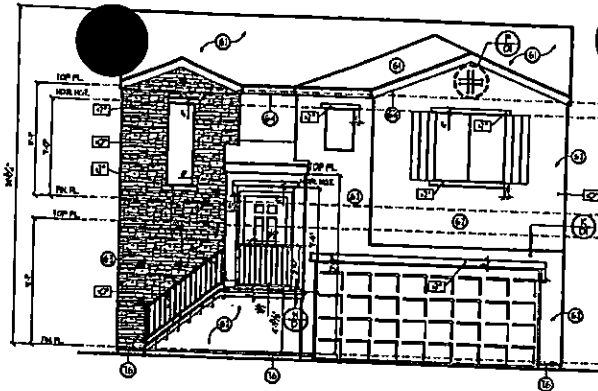
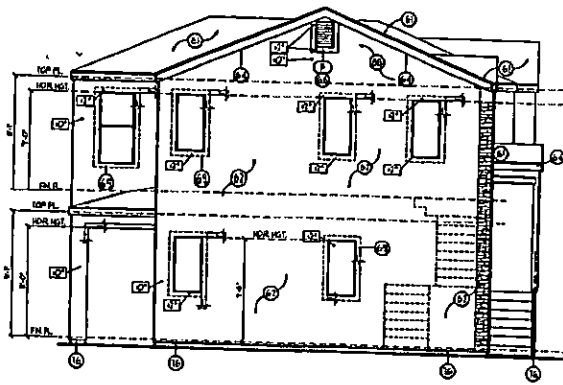
ROOF FRAMING FRONT, REAR, & SIDE
OF ELEVATION "B"

DATE: 09/22/06
BY: [Signature]
CHECKED BY: [Signature]

A2.B

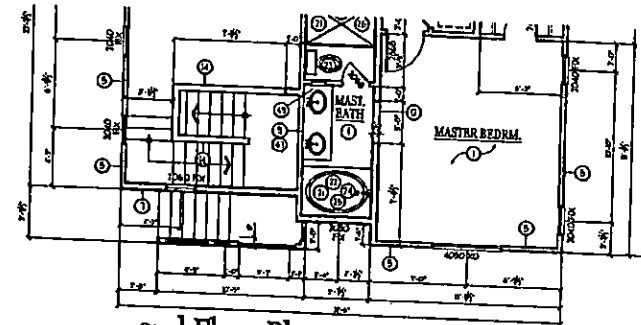
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GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



Rear Elevation

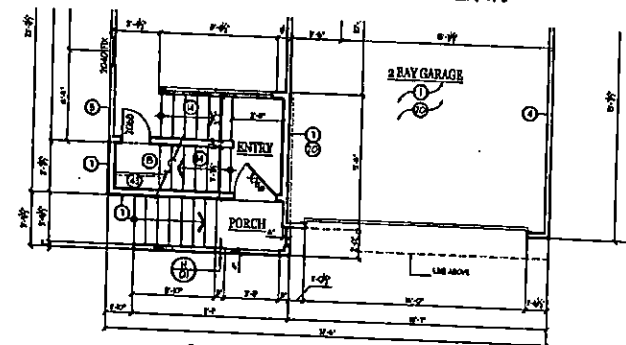
SCALE: 1/4" = 1'-0"



2nd Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"



1st Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
 8979 E. Cheyenne Ave. Suite 188
 LAS VEGAS, NV. 89120 (702) 240-5006

RICHMOND
 STATE CONTRACTOR LICENSE # 60000
 DIVISION PRESIDENT
 ERNEST B. BROWN, JR.

ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "C"

NO.	DATE	BY	REVISION
1	11/16/06	PC	REVISED

1343

A2 C

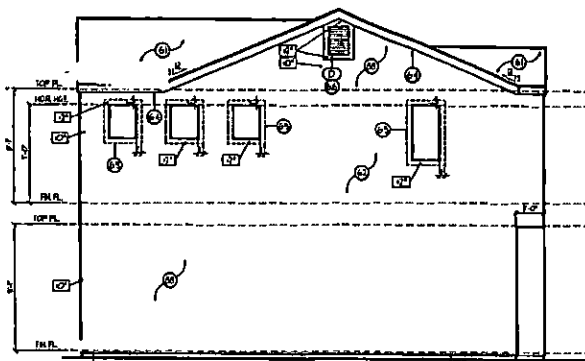
RECEIVED
 OCT 25 2006

GPA-16511 VAR-16525
 ZON-16519 SDR-16522
 REVISED 11/16/06 PC



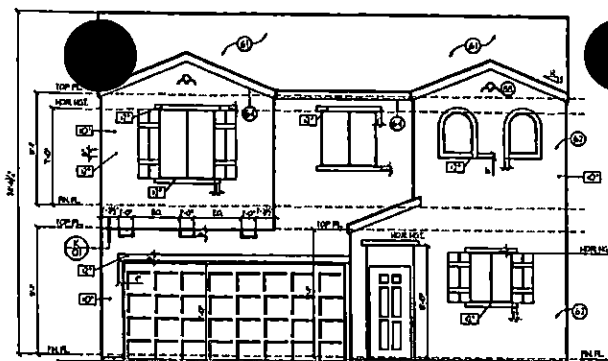
- A2.A**

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



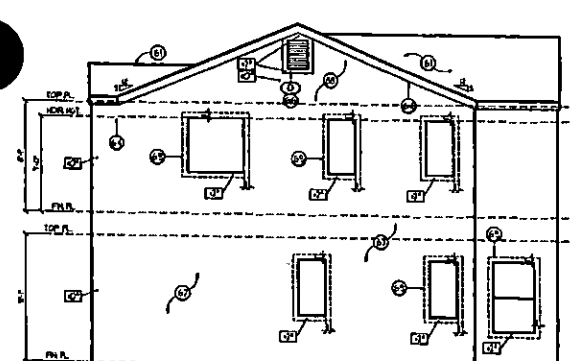
Left Elevation

SCALE: 1/4" = 1'-0"



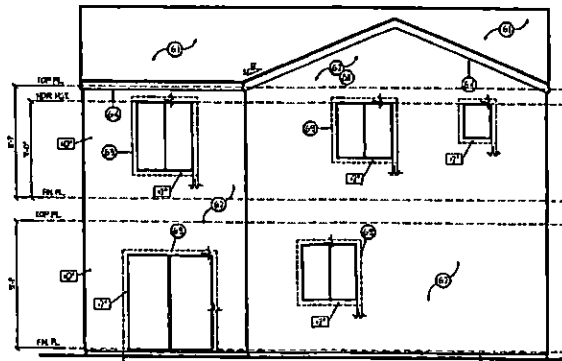
Front Elevation - B

SCALE: 1/4" = 1'-0"



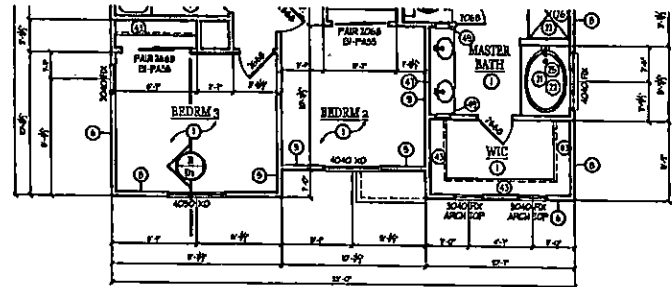
Right Elevation

SCALE: 1/4" = 1'-0"



Rear Elevation

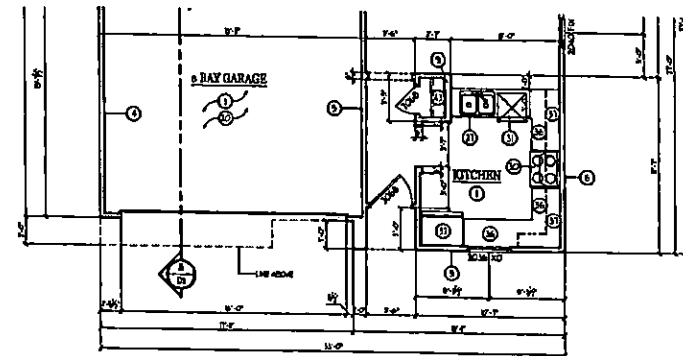
SCALE: 1/4" = 1'-0"



2nd Floor Plan

Elevation - B

SCALE: 1/4" = 1'-0"



1st Floor Plan

Elevation - B

SCALE: 1/4" = 1'-0"

LAS VEGAS DIVISION
9970 W. Chrysalis Ave. Suite 100
LAS VEGAS, NV 89123 (702) 240-5600

RICHMOND
SUNBELT HOMES
SUNBELT CONSTRUCTION GROUP, INC.
BRIAN PRESIDENT
BRIAN PRESIDENT

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "B"

DATE: 08/22/06
BY: [Signature]

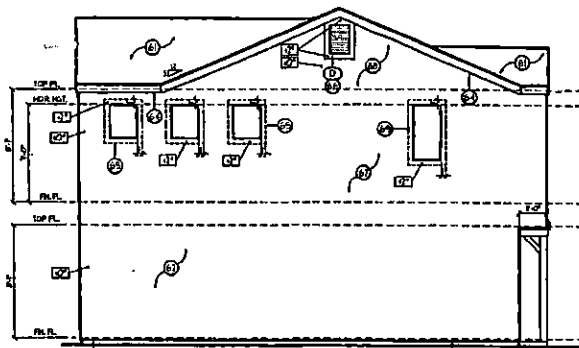
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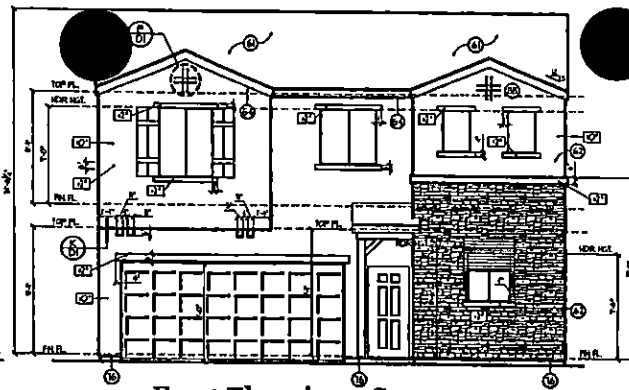
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



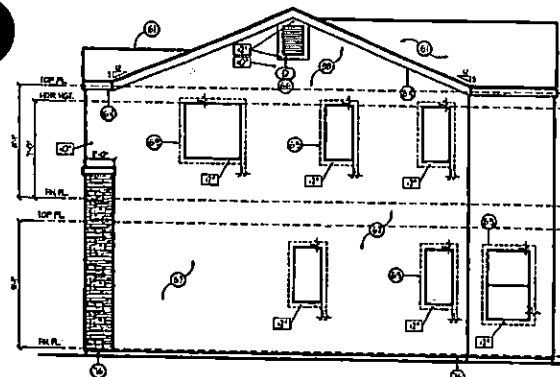
Left Elevation

SCALE 1/4" = 1'-0"



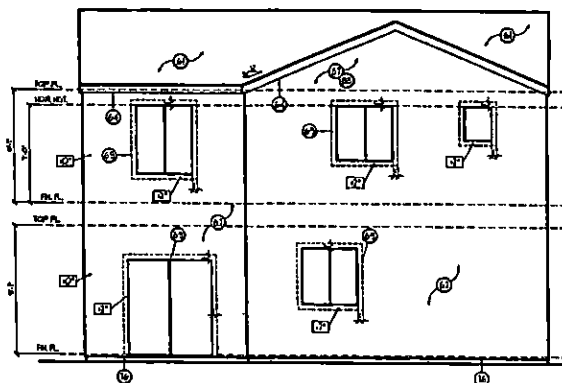
Front Elevation - C

SCALE 1/4" = 1'-0"



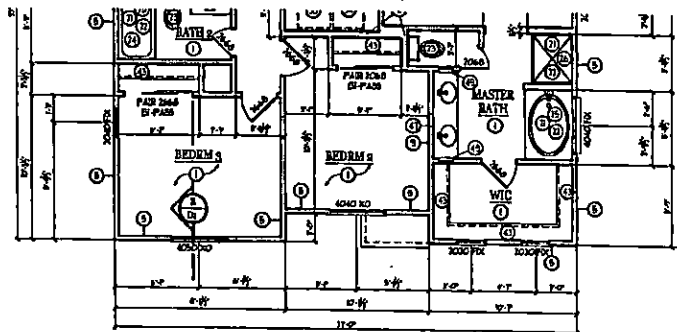
Right Elevation

SCALE 1/4" = 1'-0"



Rear Elevation

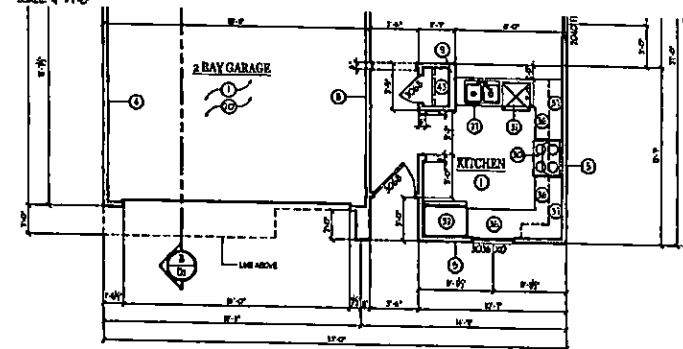
SCALE 1/4" = 1'-0"



2nd Floor Plan

Elevation - C

SCALE 1/4" = 1'-0"



1st Floor Plan

Elevation - C

SCALE 1/4" = 1'-0"

LAS VEGAS DIVISION
9970 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV 89123 (702) 240-5600

RICHMOND
ARCHITECTS
STATE CONTRACTOR LICENSE #0034417
UNION PRESIDENT
— EMERGENCY REPAIR —

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "C"

DATE: 08/22/06
BY: [Signature]

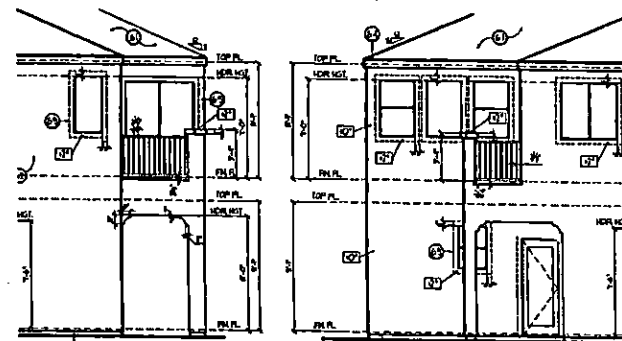
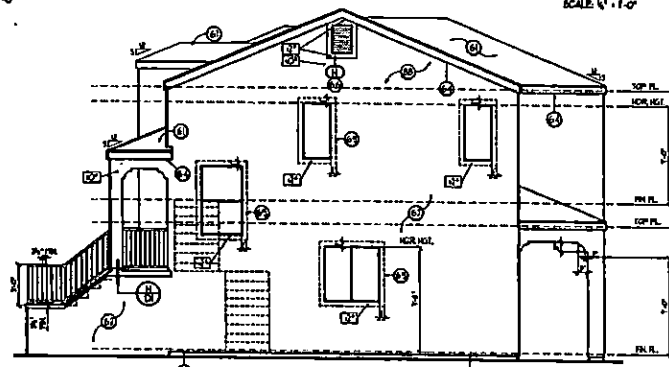
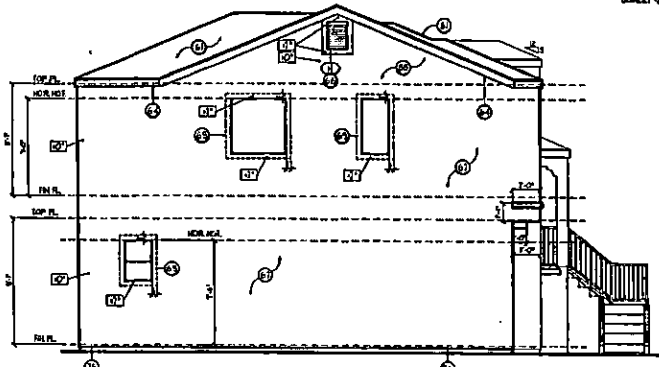
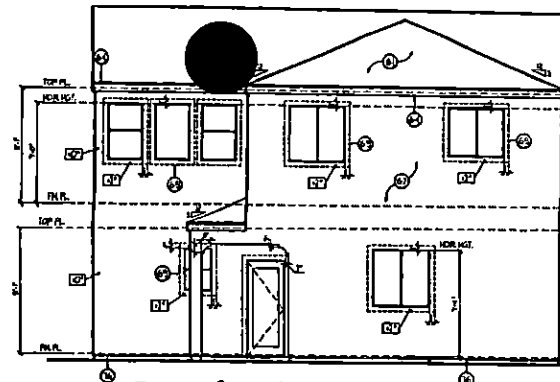
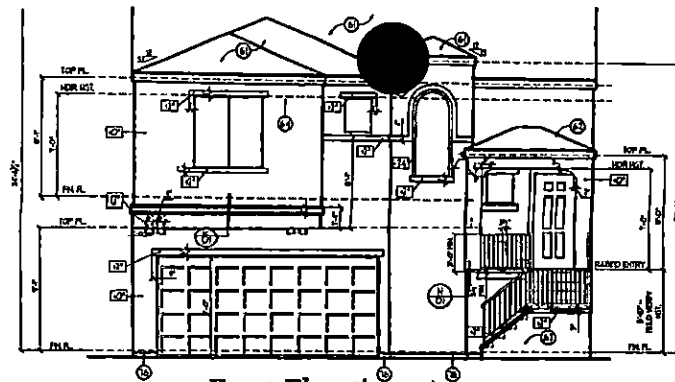
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REVISED 11/16/06 PC



Opt. Deck (Typical)

Rear and side elevations

- # KEYNOTES
- ISSUED: 10/26/2011
1. FACILITY APPLICATIONS SHALL COMPLY PER UFGI
 2. WINDOW HEADERS HEIGHTS NOTED ON PLANS.
 3. REFER TO SHEET A3.0 FOR ATTIC VENTILATION CALCULATIONS
 4. ALL ROOF PLANT-ONS AROUND WINDOW TO BE INSTALLED WHEN REQUIRED PER ALL ZONING CONDITION.
- (61) LOCATIONS THAT ARE NOTED ARE LAPPED 6" (3/4") AND LAPPED 6" (3/4") MAX 48" (4") OR (17")
- (62) SUGGO IMPROVEMENT BOARD 1/2" (1/2") MAX 48" (4") OR (17")
- (63) WHEN NUMBER 1 APPLICATION SHALL COMPLY TO THE LOCAL DRAIN PAGES
- (64) THE ROOF DRAIN PAGES
- (65) IMPROVED GLASS (PLANTED GLASS) FOR DECORATIVE PURPOSES ONLY
- (66) PROVIDER CORROSION RESISTANT METAL FLASH AT FLASH INTERFERENCE OF ANY FLASHING INTERFERENCE
- (67) ROOFING FLASH 1/2" (1/2") OR (17")
- (68) FLASHING FLASH 1/2" (1/2") OR (17")
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LAS VEGAS DIVISION
9370 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV. 89120 (702) 240-5600

RICHMOND
AMERICAN HONTS
STATE CONTRACTOR LICENSE #0026417
DANSON PRESIDENT

EMERY O. BIRD, JR., JR.

100' OF FRAMING, FRONT, REAR, & SIDE
IF ELEVATION "A"

NAME <u> </u>	
<u>R.M.G.</u>	
DATE <u>08/22/06</u>	
KEY	DATE
1	
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4	
5	
6	

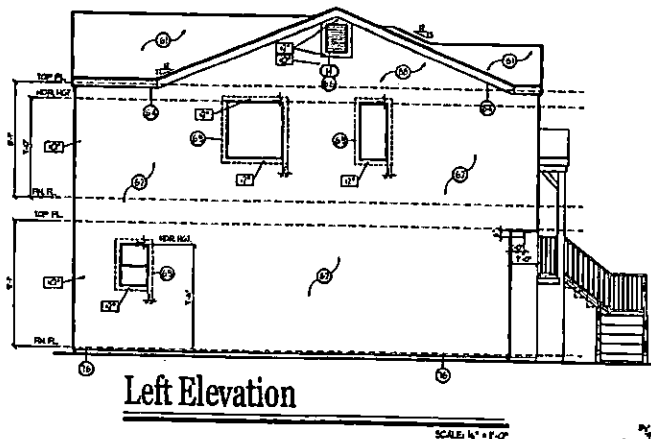
PLATE #
1555

Location
Kenneth Square

A2.A

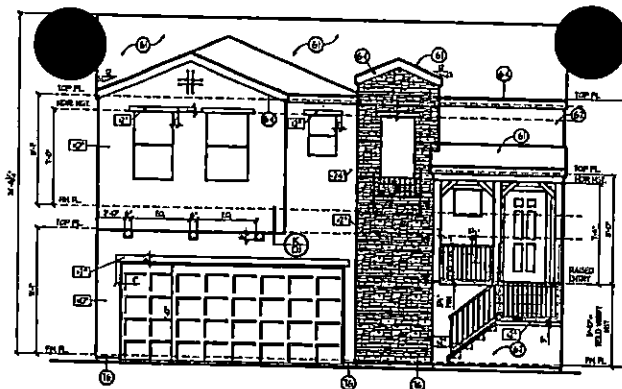
RECEIVED
OCT 25 2006

GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



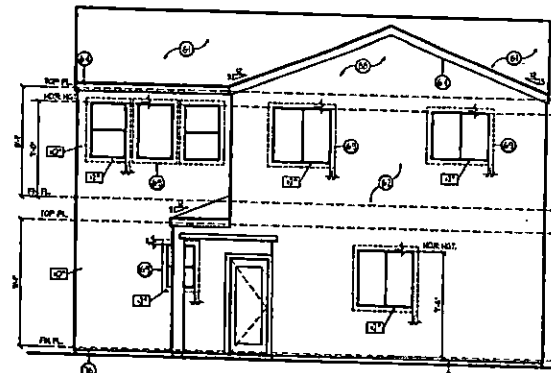
Left Elevation

SCALE: 1/4" = 1'-0"



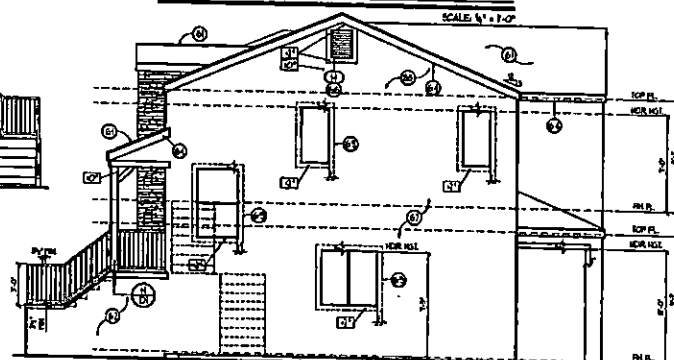
Front Elevation - C

SCALE: 1/4" = 1'-0"



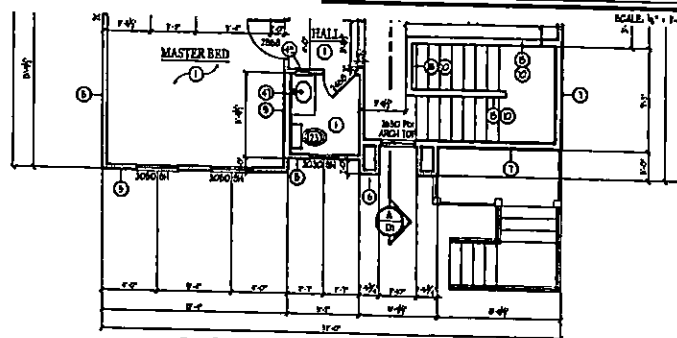
Rear Elevation

SCALE: 1/4" = 1'-0"



Right Elevation

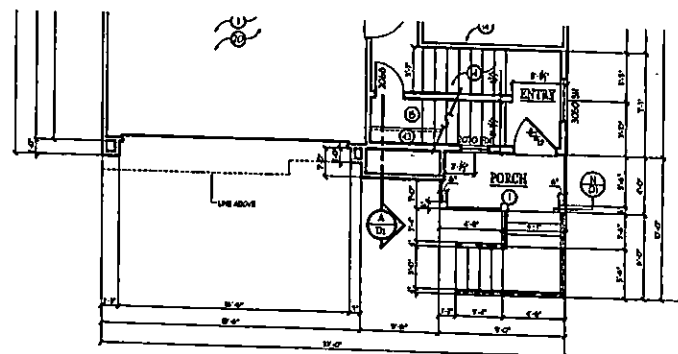
SCALE: 1/4" = 1'-0"



2nd Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"



1st Floor Plan

Elevation - C

SCALE: 1/4" = 1'-0"

RICHMOND
ARCHITECTS & ENGINEERS
 STATE CONTRACT LICENSE #0008117
 DESIGN PROFESSIONAL

LAS VEGAS DIVISION
 9370 W. CHARLES AVE. SUITE 100
 LAS VEGAS, NV. 89129 (702) 240-5500

PROJECT: ROOF FRAMING, FRONT, REAR, & SIDE OF ELEVATION "C"

DATE: 11/16/06

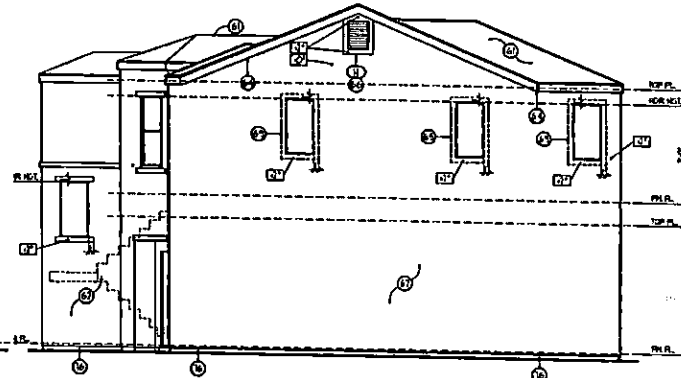
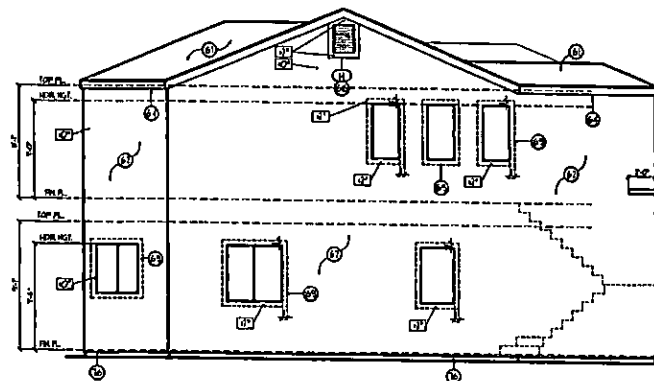
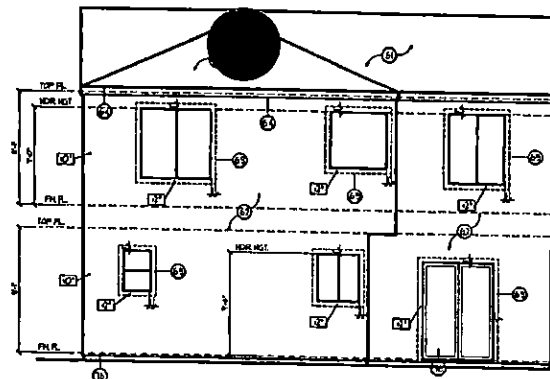
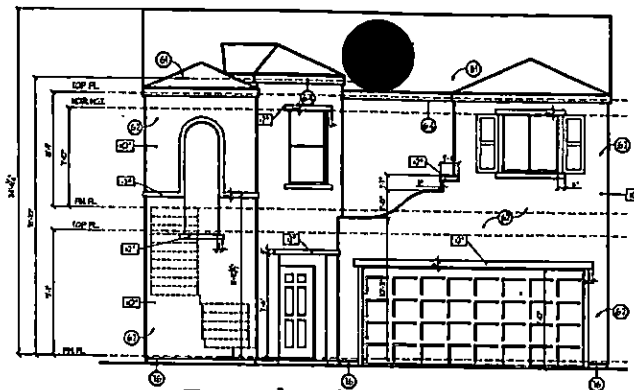
REVISION: 1555

DESIGNER: Kenneth Squares

NOTED: A2.C

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GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED 11/16/06 PC



- [illegible]

LAS VEGAS DIVISION
9970 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV. 89129 (702) 240-5600

RICHMOND
AMERICAN HOMES
STATE CONTRACTOR LICENSE #00206417
DIVISION PRESIDENT

PLG
ROOF FRAMING, FRONT, REAR, & SIDE
OF ELEVATION "A"

NAME Ed

DATE 08/22/08

KEY No.	DATE
1	
2	
3	
4	
5	
6	

PLAN # **1636**

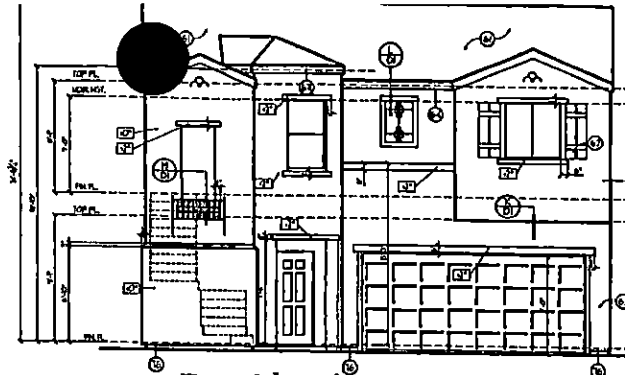
ADDRESS **Kenneth Square**

SHEET NO. **A2.A**

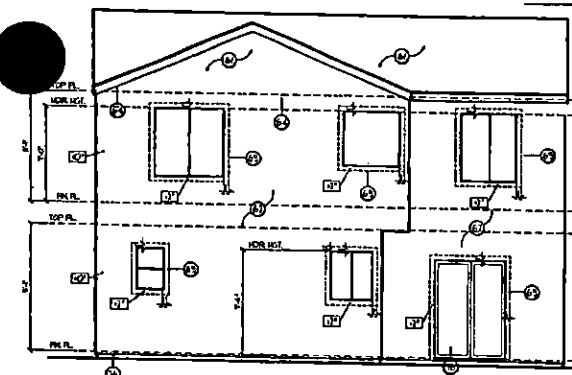
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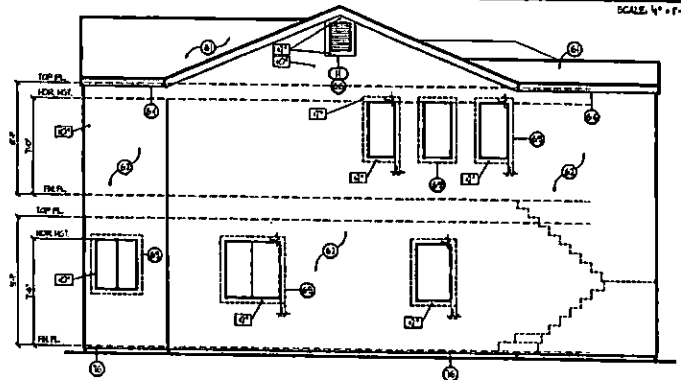
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ZON-16519 SDR-16522
REVISED 11/16/06 PC



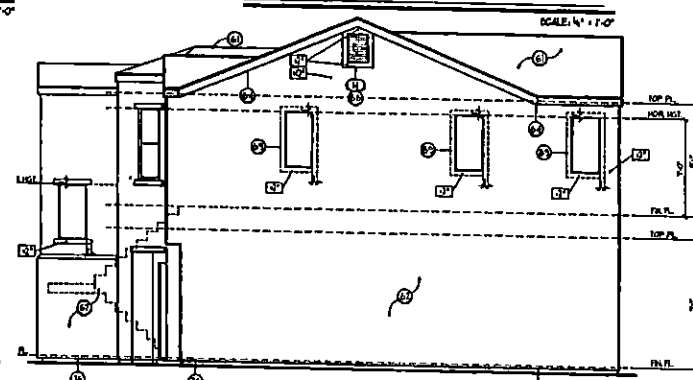
Front Elevation - B



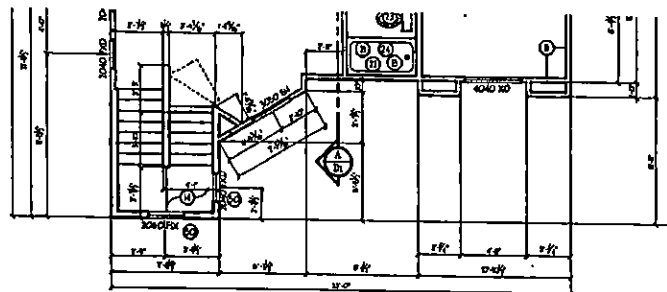
Rear Elevation



Left Elevation

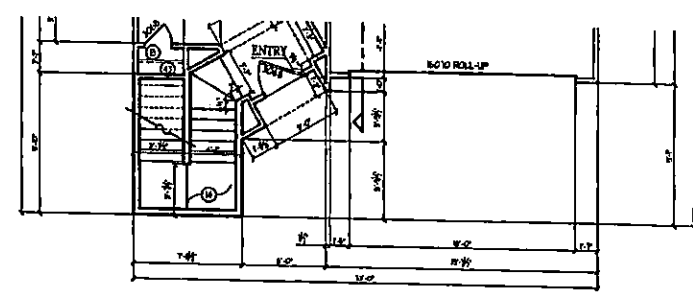


Right Elevation



2nd Floor Plan

Elevation - B



1st Floor Plan

Elevation - B

LAS VEGAS DIVISION
9970 W. Cheyenne Ave. Suite 100
LAS VEGAS, NV 89129 (702) 240-5600

RICHMOND
AMERICAN
ARCHITECTS
SANTA MONICA
DIVISION PRESIDENT
PENNY J. BRADY, JR.

ROOF FRAMING, FRONT, REAR & SIDE
OF ELEVATION "B"

DATE	REV	DESCRIPTION
11/16/06	1	REVISED

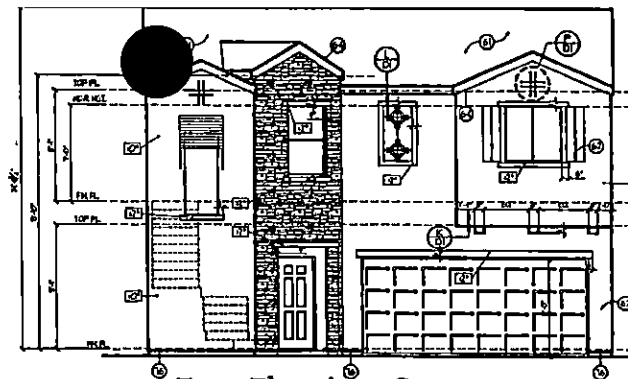
1636

Kenneth
Square

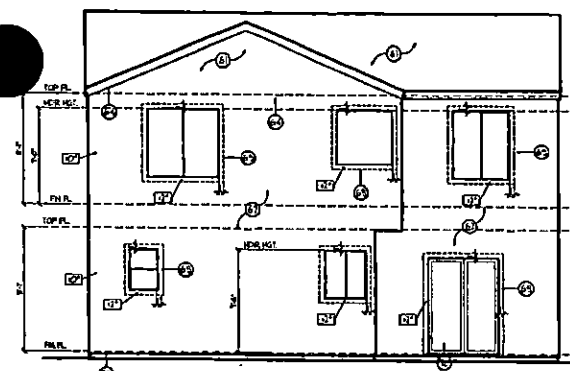
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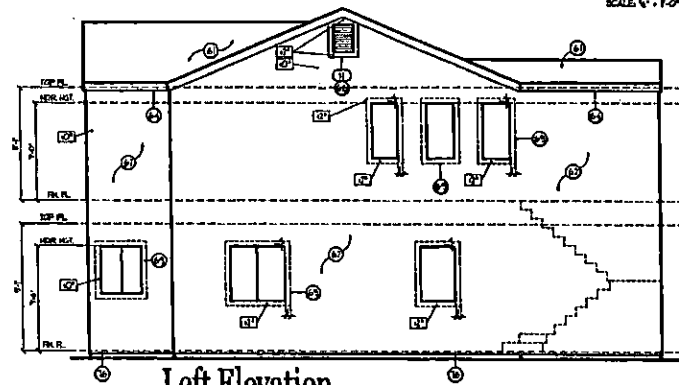
GPA-16511 VAR-1652!
ZON-16519 SDR-1652!
REVISED 11/16/06 PC



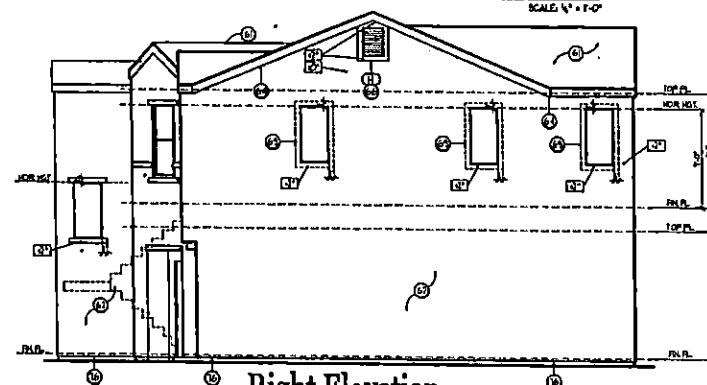
Front Elevation - C



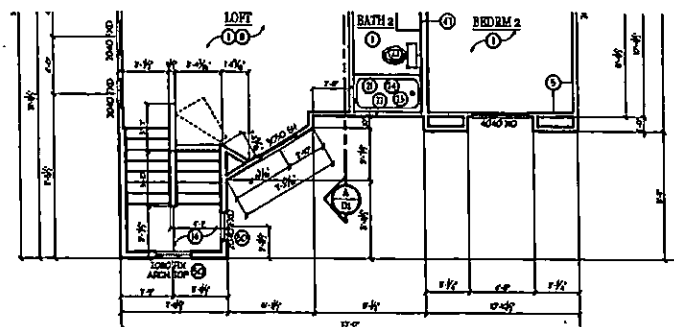
Rear Elevation



Left Elevation

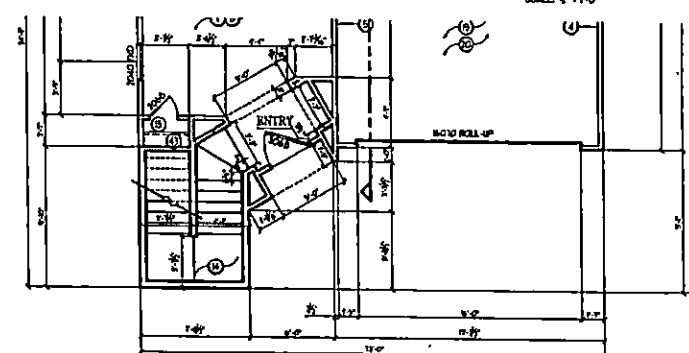


Right Elevation



2nd Floor Plan

Elevation - C



1st Floor Plan

Elevation - C

LAS VEGAS DIVISION
970 T. Chuyenas Ave. Suite 100
LAS VEGAS, NV 89129 (702) 240-5800

RICHMOND
AMERICAN ROOFS
SINCE 1900
DIVISION PRESENT

ROOF FRAMING, FRONT, REAR, & SIDE
OF ELEVATION 'C'

REV	DATE	BY	CHK
1	08/22/06		
2			
3			
4			
5			
6			

1636

Kenneth
Squire

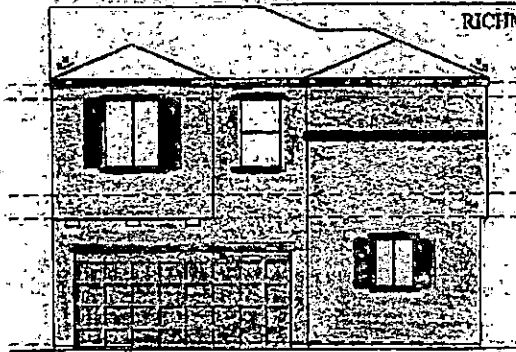
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ZON-16519 SDR-16522
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KENNETH SQUARE

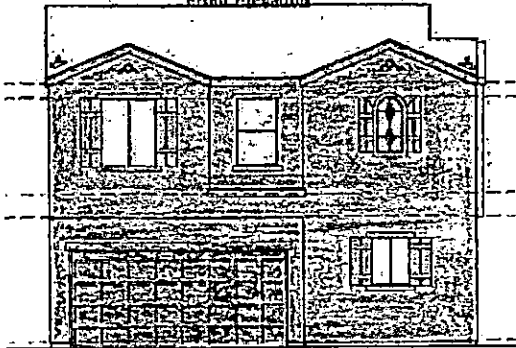
RICHMOND - LAS VEGAS



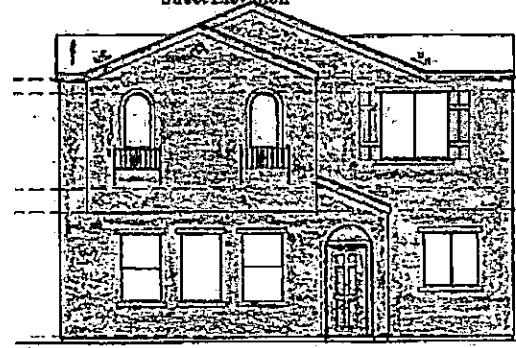
PLAN 1A
Front Elevation



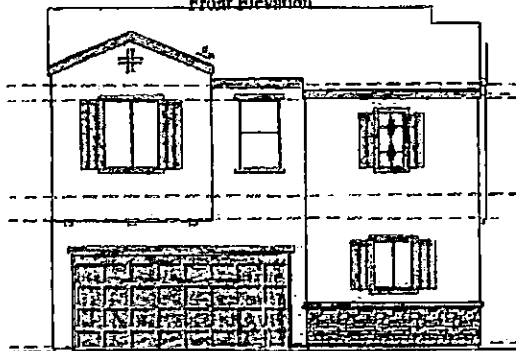
PLAN 3A
Street Elevation



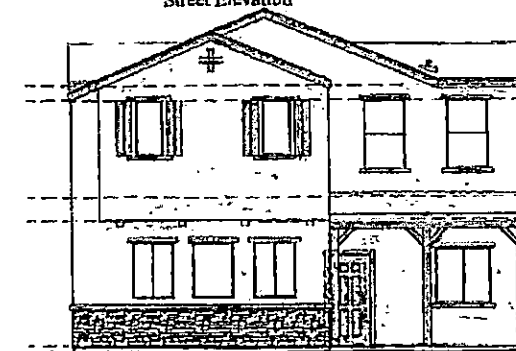
PLAN 1B
Front Elevation



PLAN 1B
Street Elevation



PLAN 1C
Front Elevation



PLAN 1C
Street Elevation

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KENNETH SQUARE

RICHMOND - LAS VEGAS



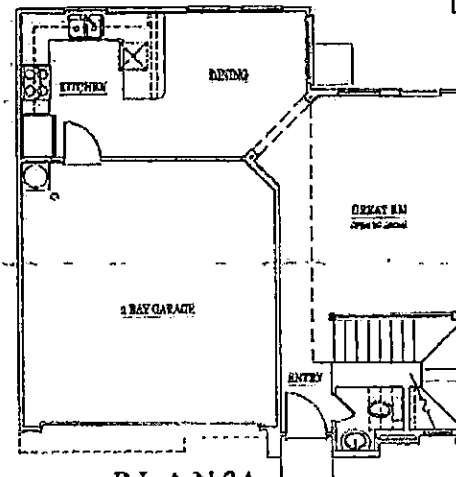
PLAN 2A
Front Elevation



PLAN 2B
Front Elevation

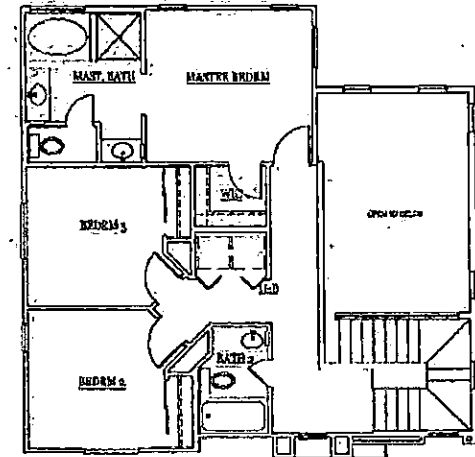


PLAN 2C
Front Elevation



PLAN 2A
First Floor Plan

PLAN 2
FIRST FLOOR - 592 SF
SECOND FLOOR - 718 SF
TOTAL - 1,310 SF



PLAN 2A
Second Floor Plan

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11/15/06 Kenneth Square 1st Floor Plan
11/15/06 Kenneth Square 2nd Floor Plan
11/15/06 Kenneth Square 3rd Floor Plan
11/15/06 Kenneth Square 4th Floor Plan
11/15/06 Kenneth Square 5th Floor Plan
11/15/06 Kenneth Square 6th Floor Plan
11/15/06 Kenneth Square 7th Floor Plan
11/15/06 Kenneth Square 8th Floor Plan
11/15/06 Kenneth Square 9th Floor Plan
11/15/06 Kenneth Square 10th Floor Plan

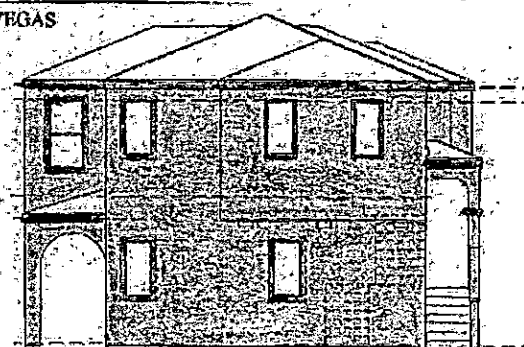
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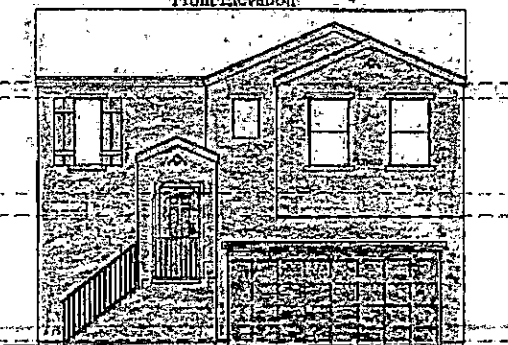
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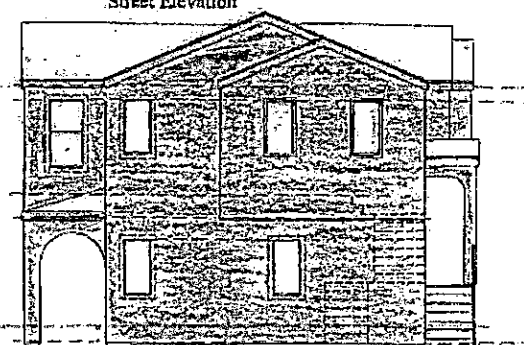
PLAN 3A
Front Elevation



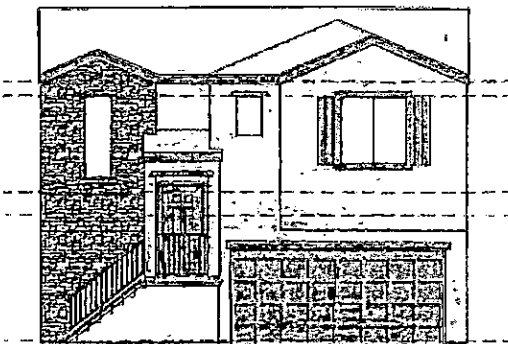
PLAN 3A
Street Elevation



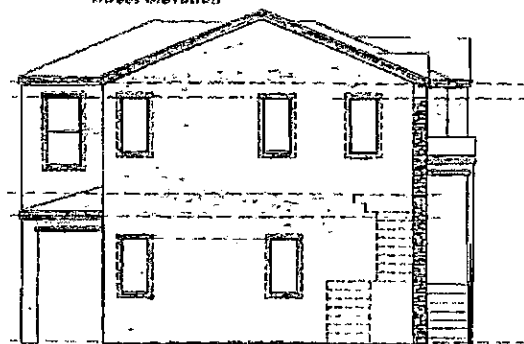
PLAN 3B
Front Elevation



PLAN 3B
Street Elevation



PLAN 3C
Front Elevation



PLAN 3C
Street Elevation

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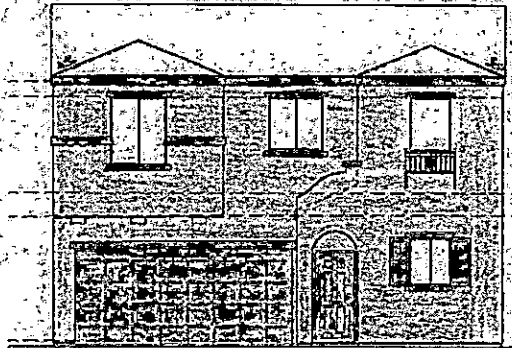
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11/15/05 Scope: Single-family house, 1-1/2
2/1/06 Richmond, NV, 710-28-1200
2/1/06 11/15/05
2/1/06 11/15/05
2/1/06 11/15/05

11/15/05 Scope: Single-family house, 1-1/2
2/1/06 Richmond, NV, 710-28-1200
2/1/06 11/15/05
2/1/06 11/15/05

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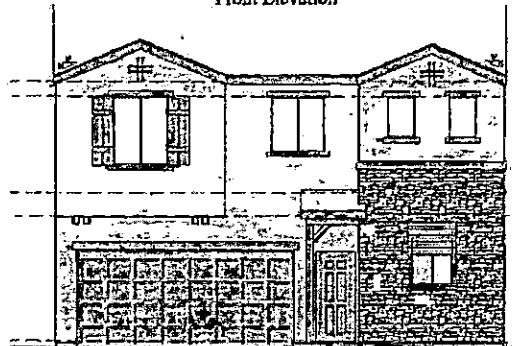
RICHMOND - LAS VEGAS



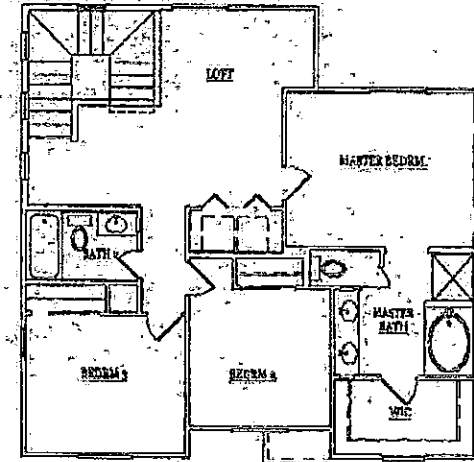
PLAN 4A
Front Elevation



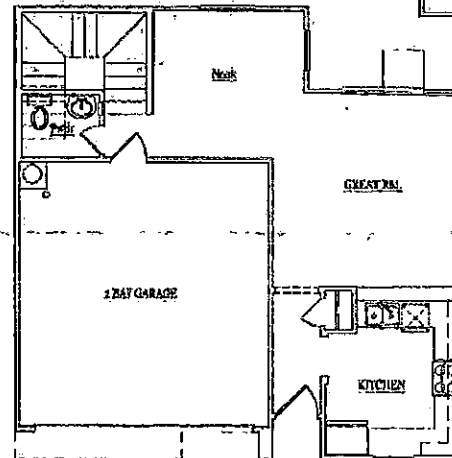
PLAN 4B
Front Elevation



PLAN 4C
Front Elevation



PLAN 4A
Second Floor Plan



PLAN 4A
First Floor Plan

PLAN 4
FIRST FLOOR - 600 SF
SECOND FLOOR - 923 SF
TOTAL - 1,523 SF

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AND ASSOCIATES
ARCHITECTS, INC.

1117 South Rainbow Blvd. #100
Las Vegas, NV 89102
Tel: 702.733.1111
Fax: 702.733.1111
1117 South Rainbow Blvd. #100
Las Vegas, NV 89102
Tel: 702.733.1111
Fax: 702.733.1111

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KENNETH SQUARE

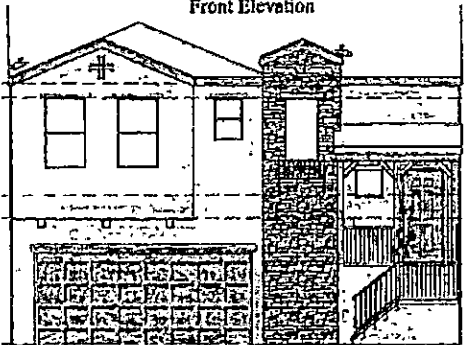
RICHMOND - LAS VEGAS



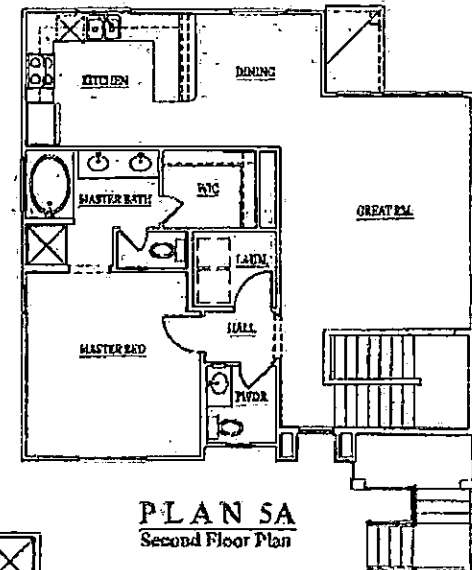
PLAN 5A
Front Elevation



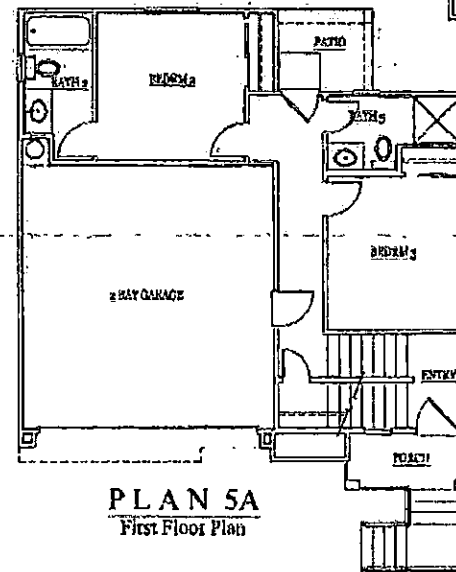
PLAN 5B
Front Elevation



PLAN 5C
Front Elevation



PLAN 5A
Second Floor Plan



PLAN 5A
First Floor Plan

PLAN 5
FIRST FLOOR - 566 SF
SECOND FLOOR - 989 SF
TOTAL - 1,555 SF

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KENNETH SQUARE

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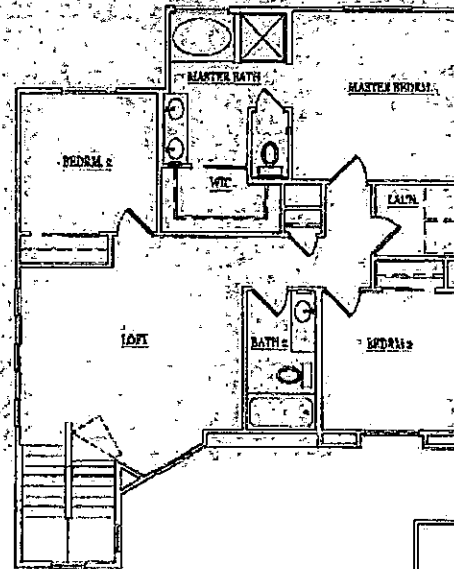
PLAN 6A
Front Elevation



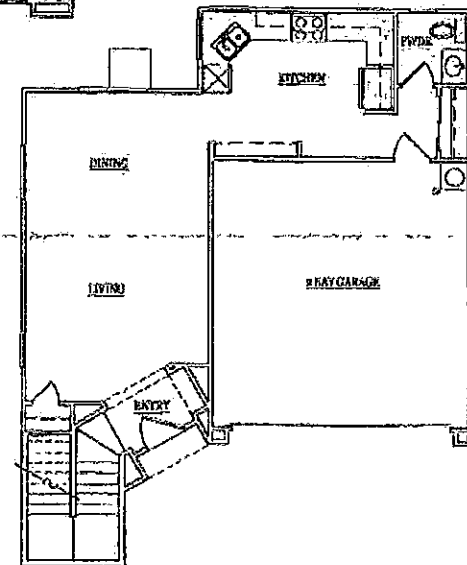
PLAN 6B
Front Elevation



PLAN 6C
Front Elevation



PLAN 6A
Second Floor Plan



PLAN 6A
First Floor Plan

PLAN 6
FIRST FLOOR - 648 SF
SECOND FLOOR - 988 SF
TOTAL - 1,636 SF

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4750 South Reynolds, and Suite 100
Las Vegas, Nevada 89149
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Fax: (702) 735-1112
www.woodleyarchitect.com

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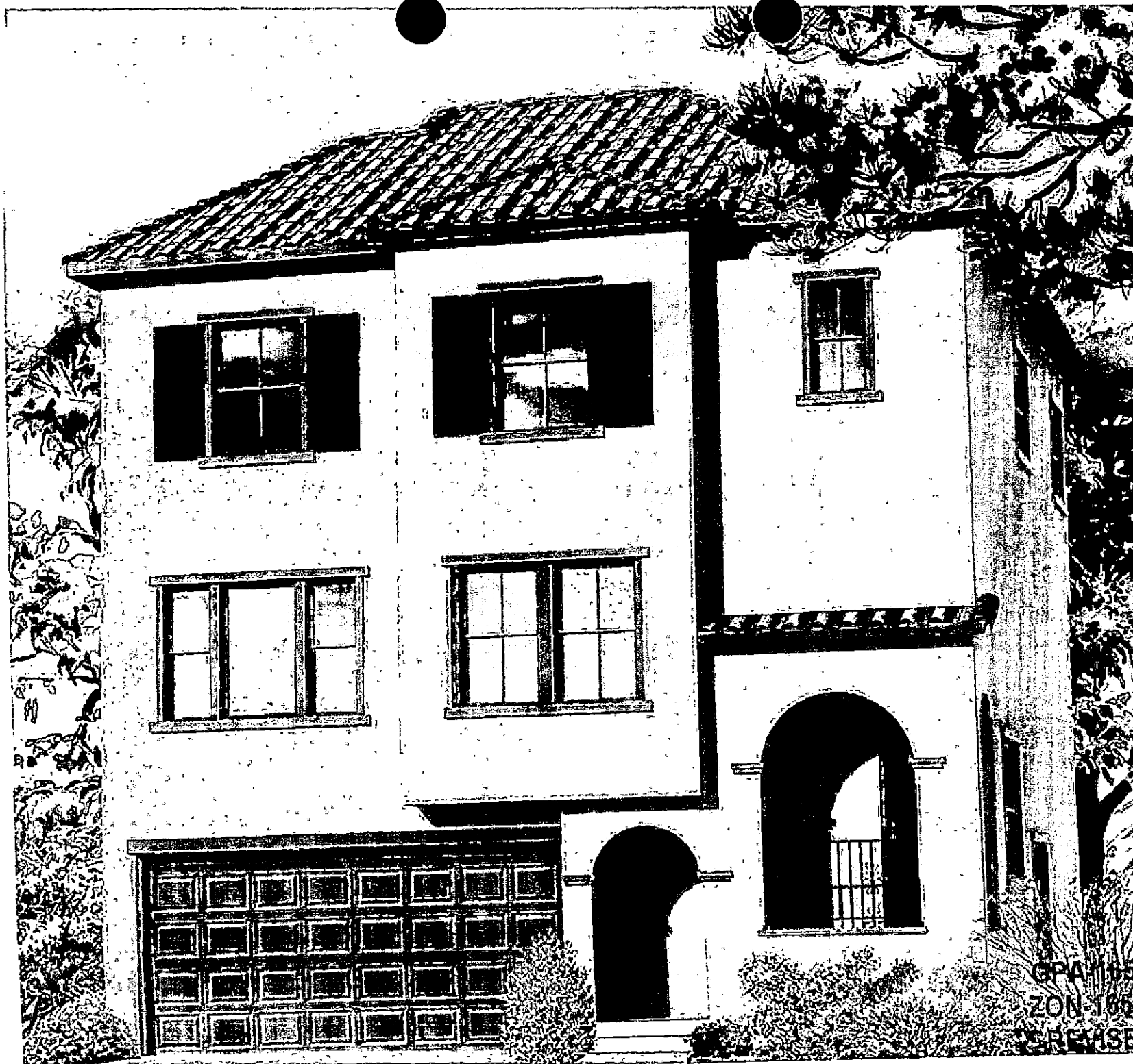
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ZON-16519 SDR-16522

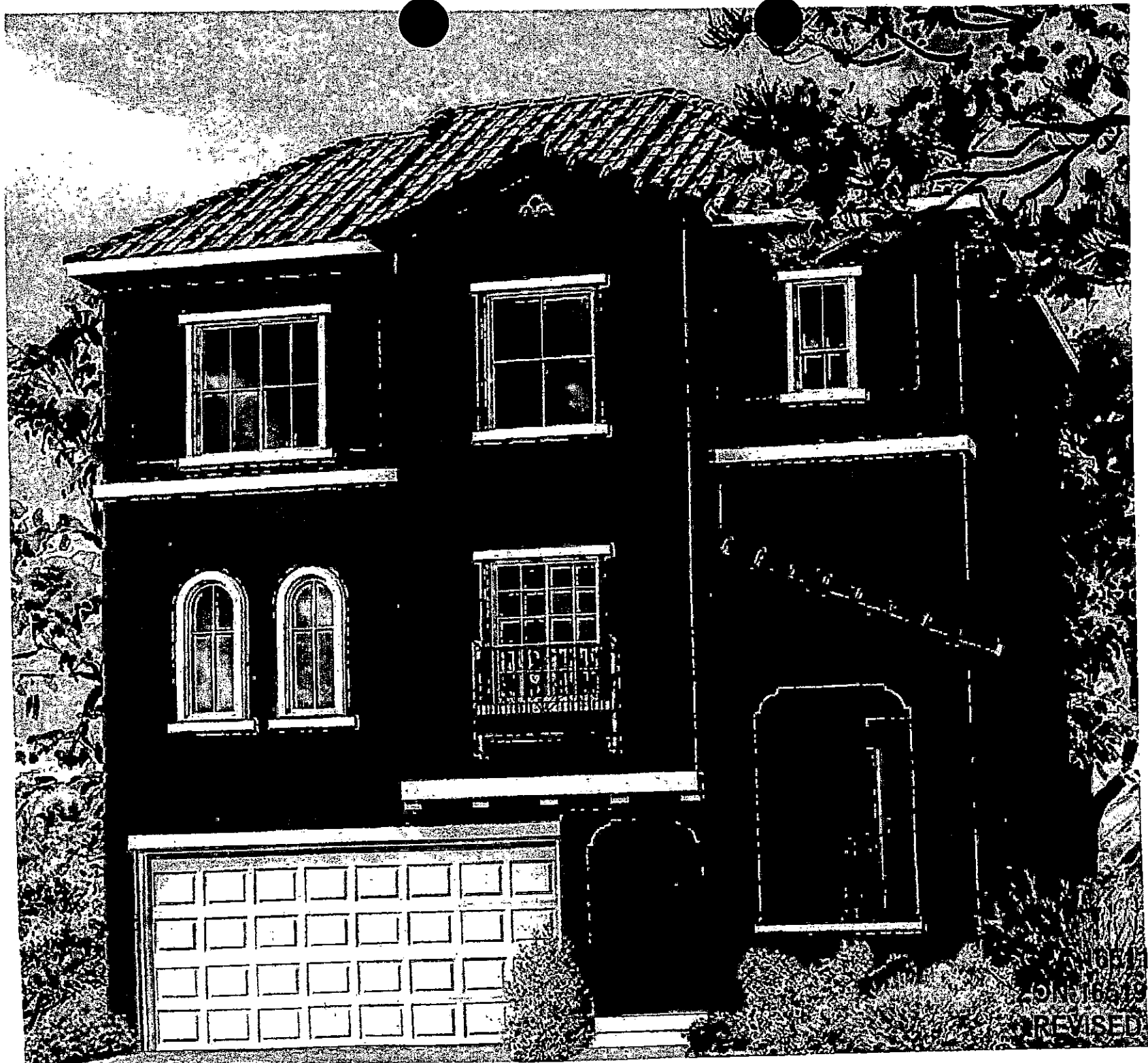
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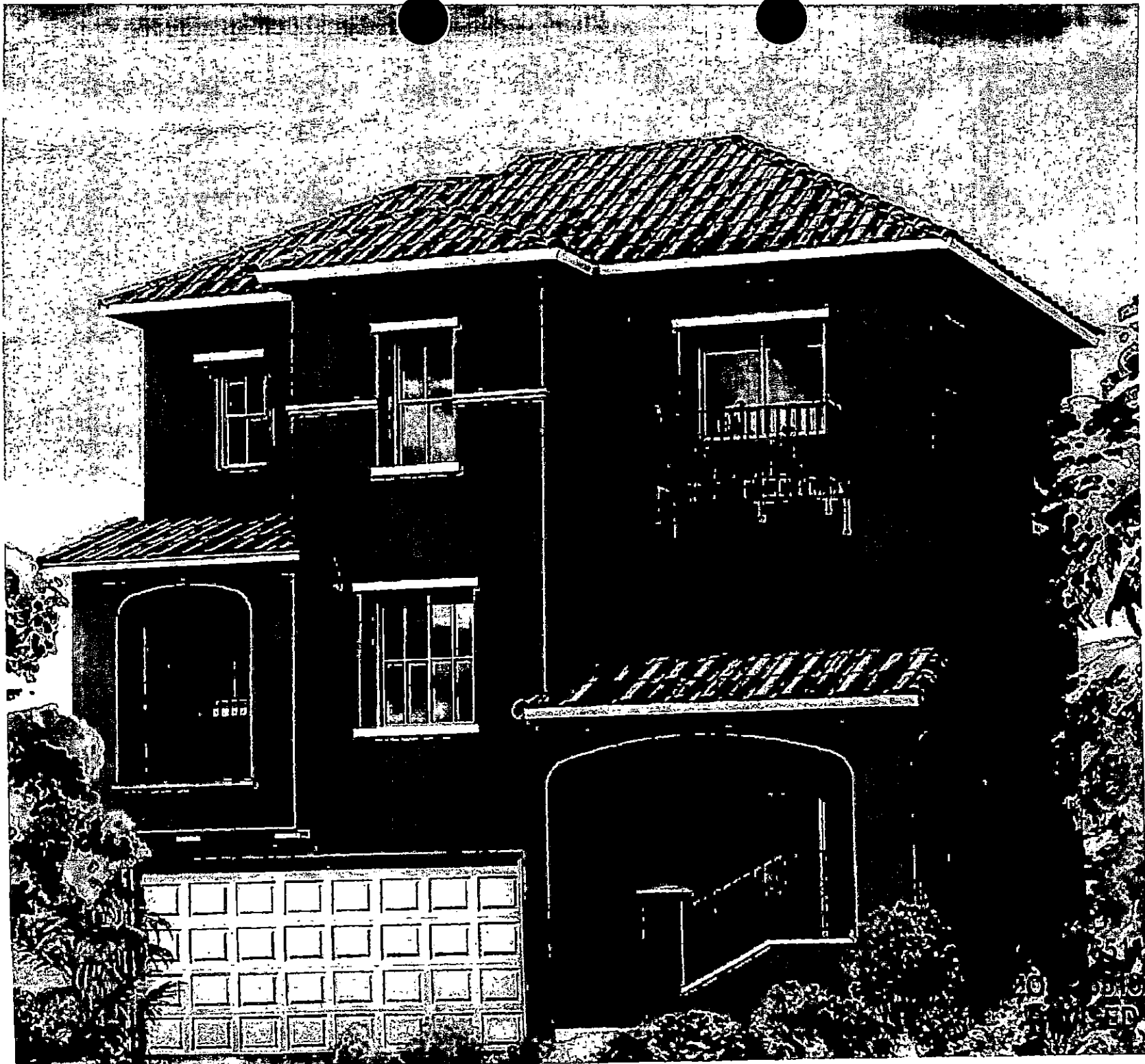
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REVISED 11/16/06 PC



VAR-16525
SDR-16522
REVISED 11/16/06 PC



VAR-16525
SDR-16522
1/16/06 PC



VAR-16525
SDR-16522
11/16/06 PC



VAR-16525
SDR-16522
1/16/06 PC



VAR-16525
SDR-16522
16/16/06 PC



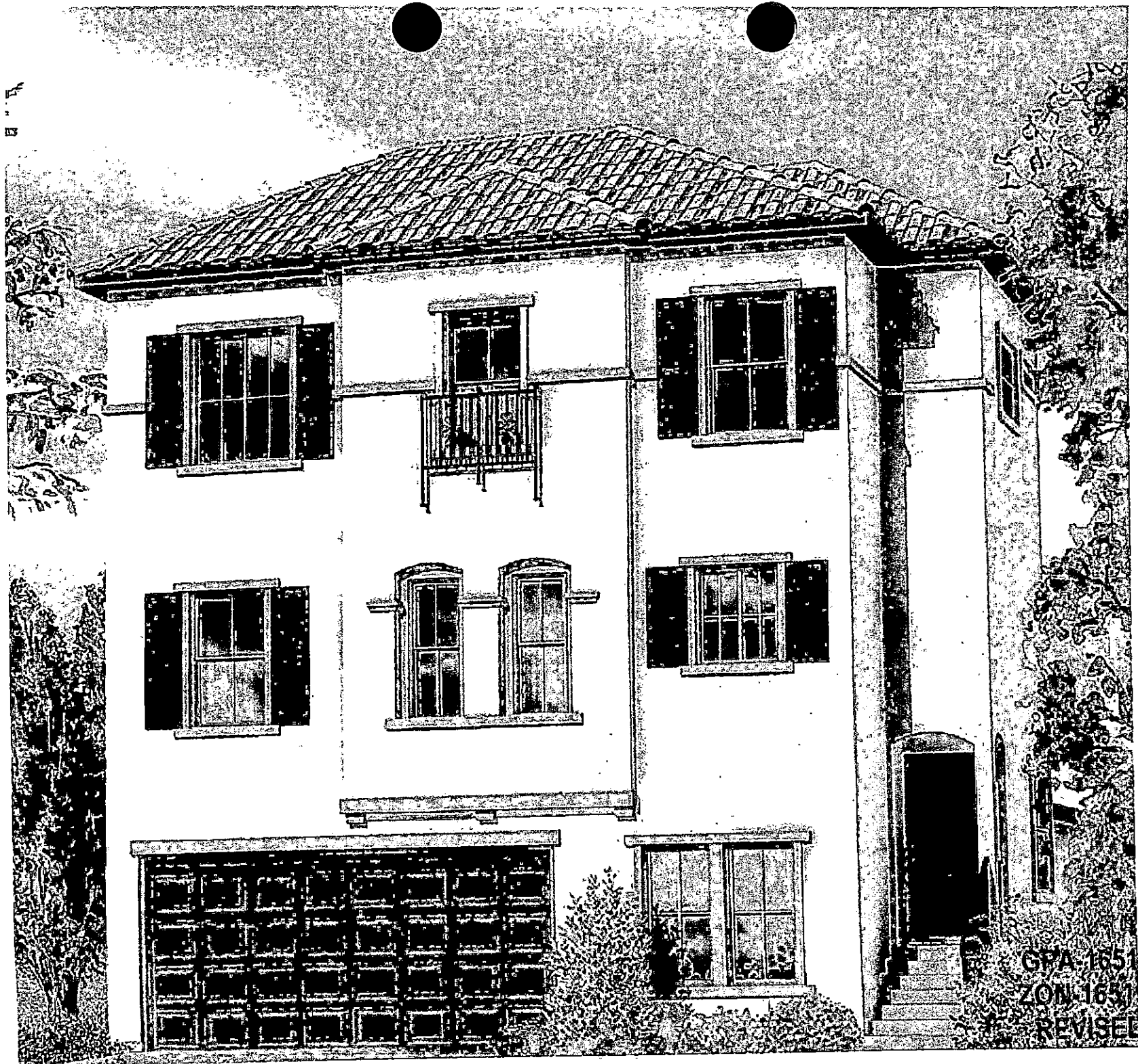
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11/16/06 PC



CPA-16511 VAR-16525
ZON-16511 SDR-16522
REVISED 11/16/06 PC



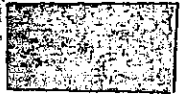
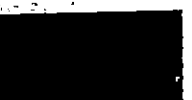
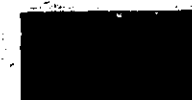
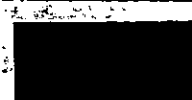
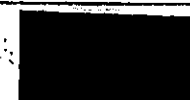
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GPA-16511 VAR-16525
ZON-16519 SDR-16522
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Color Scheme Document

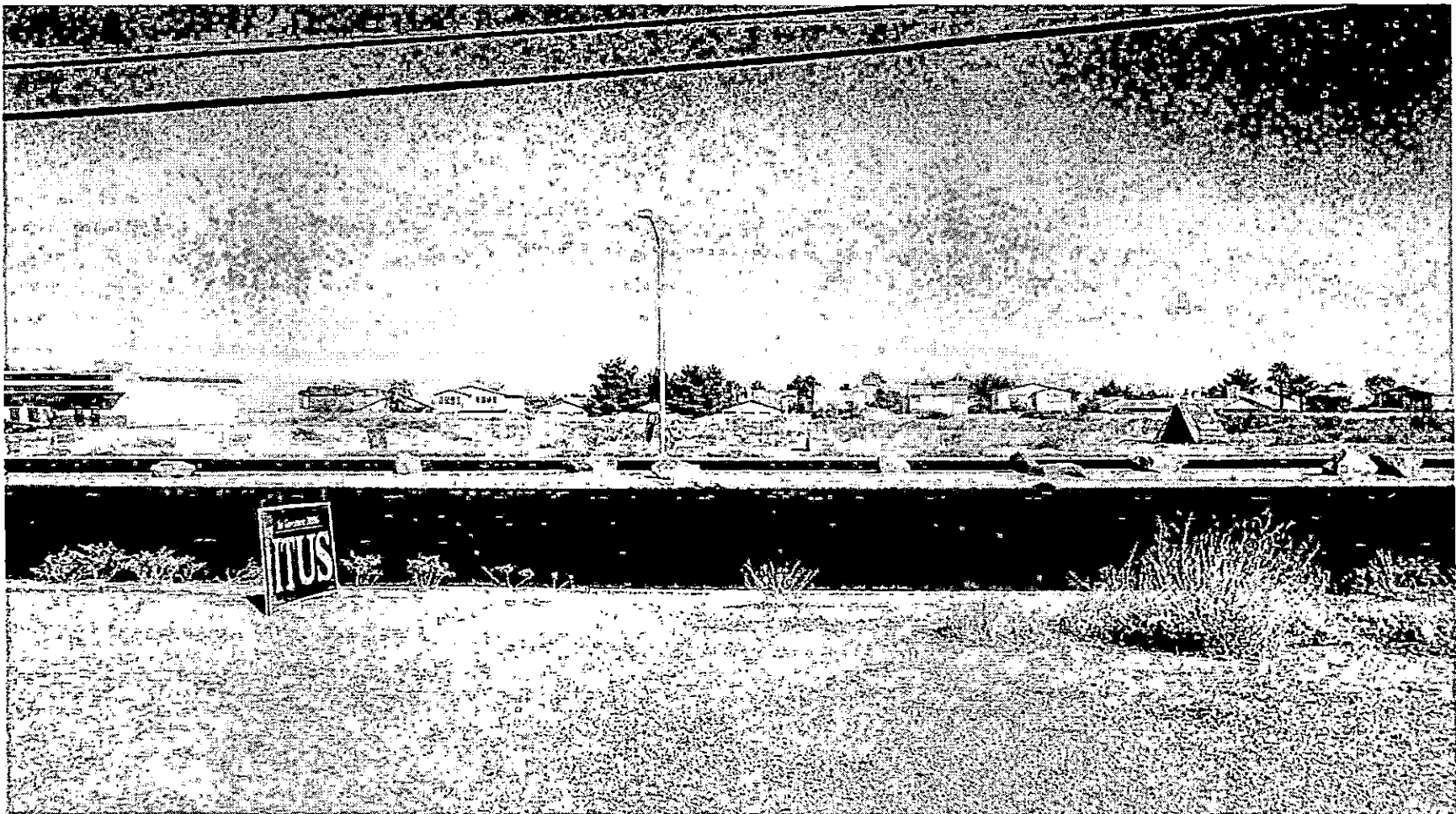
Design for **RICHMOND AMERICAN HOMES**

Color A	Scheme #1	Scheme #2	Scheme #3	Scheme #4	Scheme #5	Scheme #6	Scheme #7	Scheme #8
Lightest Stucco & Trim Color	 CZ 15 11293	 CZ 15 10497	 8233M CRISP KHAKI	 CZ 15 11520	 381 MESA TAN	 CZ 15 9361	 8883W TINDERBOX	 CZ 15 8506
Medium Stucco & Trim Color	 .525 BAJA BEIGE	 CZ 15 12768	 CZ 15 9568	 CZ 15 12094	 CZ 15 6286	 CZ 15 6683	 CZ 15 12772	 CZ 15 11856
Darkest Stucco & Trim Color	 CZ 15 8111	 CZ 15 10150	 CZ 15 8109	 CZ 15 12481	 CZ 15 12130	 CZ 15 12771	 CZ 15 10436	 CZ 15 12774
Trim & Accent Color #1	 CZ 15 7897	 CZ 15 11869	 CZ 15 7399	 CZ 15 12769	 8825D JACARANDA BROWN	 CZ 15 6306	 CZ 15 10733	 CZ 15 10144
Trim & Accent Color #2	 8745A KAYAK BROWN	 CZ 15 8700	 CZ 15 9838	 CZ 15 12770	 8746N TIMBER TRAIL	 CZ 15 10188	 CZ 15 12773	 CZ 15 12775
Trim & Accent Color #3	 540 GABLES	 8656N GREEK OLIVE	 8316N BLACK BURGUNDY	 8296N TREASURE CHEST	 8796N BLACK METAL	 8696N TWISTED BRANCH	 8816N BURNT HICKORY	 8646N BLACKENED BEAN

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SDR 16522				
Richmond American Homes				
SEC Smoke Ranch & Decatur				
Proposed 77 single family development.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SINGLE FAMILY DETACHED [DWELL]	77	9.57	737
AM Peak Hour			0.75	58
PM Peak Hour			1.01	78
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Smoke Ranch Road				
Average Daily Traffic (ADT)	14,661			
PM Peak Hour	1173			
(heaviest 60 minutes)				
Decatur Boulevard				
Average Daily Traffic (ADT)	26,972			
PM Peak Hour	2158			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Smoke Ranch	32585			
Decatur	51700			
This project will add approximately 737 trips per day on Smoke Ranch and Decatur. This will increase expected volumes by about five percent on Smoke Ranch and about three percent on Decatur. Smoke Ranch is at about 45 percent of capacity and Decatur at about 52 percent of capacity.				
Based on Peak Hour use, this development will add roughly 78 additional cars into the area; which works out to about four every three minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



GPA-16511, ZON-16519, VAR-16525, & SDR-16522 - APPLICANT: RICHMOND AMERICAN HOMES -
OWNER: SCHNIPPLE FAMILY TRUST
SOUTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

09/16/06



GPA-16511, ZON-16519, VAR-16525, & SDR-16522 - APPLICANT: RICHMOND AMERICAN HOMES -
OWNER: SCHNIPPLE FAMILY TRUST
SOUTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

09/16/06

Triton

Engineering

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Site Development Review
Smoke Ranch / Decatur II
APN # 139-19-101-002**

To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Zone Change request for a proposed 77 lot single family project called "Smoke Ranch/ Decatur II".

The applicant is requesting a Site Development Review for a proposed 77 lot single-family residential development. Parcels adjacent to the proposed site have the following land use and zoning:

NEC – Light Industrial (C-M)
NWC – Service Commercial and Rural (C-1 & R-E)
SEC – Medium – Low, High & Service Commercial (R-CL, C-2 & C-1)
SWC – Service Commercial (C-1)

We are requesting the following setbacks for the RPD-12:

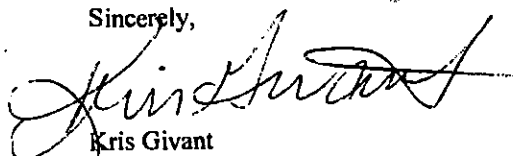
Typical Lot Size:	1,500 sq ft
Front to Roof Edge/Building:	3' Minimum
Front to Garage:	5' to 6' Min. or 18' plus
Side Yard to side of building or roof edge:	3' feet
Side on Corner to Side of building	4' feet
Rear Yard	3' feet

RECEIVED
OCT 15 2006

Richmond American Homes believes that requesting RPD-12 zoning will compliment the area and would be a proposed buffer between the R-CL SFR's and the C-1 Commercial Property.

Please place the attached request on the Planning Commission agenda. If you have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,


Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

October 16, 2006

City of Las Vegas
Development Services Center
731 S. Fourth Street
Las Vegas, NV 89102

**Reference: Request for Variance of Open Space Requirements
Smoke Ranch / Decatur II
APN # 139-19-101-002**

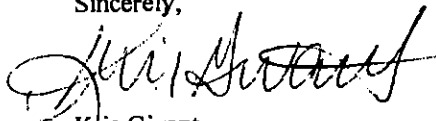
To Whom It May Concern:

On behalf of our client, Richmond American Homes, we respectfully submit this letter of justification for a Variance of Open Space Requirements for a proposed 77 lot single family project called "Smoke Ranch / Decatur II".

At this time we are requesting a variance of the required open spaces based on our re-designed plan that provides for 33,226 s.f. of open space where 53,370 s.f. is required which is a 38% reduction in open space requirements. The open spaces we are providing serves two purposes: The first is to provide a buffer from the existing C-1 convenience store adjacent to the site while two, providing amenities for the proposed 77 residential units, such as tot lots, play areas and walking paths. The open space amenities within the proposed residential subdivision have changed with the revised plan based on a new product for this site and the community. Although we are now lacking in overall open spaces for the site we are willing to accept the in-lieu of fee and plan to coordinate with the City of Las Vegas and the Councilman's office in determining a current need for additional amenities to be used for parks and/or schools in the surrounding community that may possibly need upgrades to there existing facilities. Richmond American Homes is committed to working with the City of Las Vegas and the community in providing open space for its project as well as providing for the community at large and respectfully request your approval of our open space variance.

Please place the attached request on the Planning Commission agenda. If your have any questions or require additional information, please contact me at 254-1480 (office) or 300-2912 (cell).

Sincerely,



Kris Givant
Project Coordinator

**GPA-16511 VAR-16525
ZON-16519 SDR-16522
REVISED**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - GPA-16578 - GENERAL PLAN AMENDMENT - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC. - Request to Amend a portion of the Centennial Hills Sector Plan of the Master Plan FROM: DR (DESERT RURAL DENSITY RESIDENTIAL) TO: PCD (PLANNED COMMUNITY DEVELOPMENT) on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), Ward 6 (Ross). NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

11

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions (Not Applicable) and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

TRUEDELL – APPROVED – UNANIMOUS with DUNNAM abstaining because he shares property holdings with Architect JOHN BURKE

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 11 [GPA-16578], Item 12 [ZON-16580] and Item 13 [SDR-16581].

NATHAN GOLDBERG, Planning and Development Department, reported that the project is for an assisted living apartment complex and community center to serve the immediate residents and those of other New Vista communities. The site is within a single family neighborhood and would be significantly different and out of scale with surrounding development. The proposed equestrian trail does not meet City trail requirements and a revised landscape plan must be

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 11 – GPA-16578

MINUTES – Continued:

provided showing the multi-use transportation trail. A revised development agreement was submitted and has resulted in several condition changes to the Zoning application. MR. GOLDBERG read the many changes applicable.

ATTORNEY CHRIS KAEMPFER, 3800 Howard Hughes Parkway, appeared on behalf of New Vista with applicant and architect, JOHN BURKE. He described the property and its surrounding development. New Vista has owned the property for 20 years serving the intellectually challenged and desires to create a place for those individuals to live, work and play. The project would not be developed for public use and would accommodate 60 adults, a community center, a basketball court, swimming pool and a place to hold events and gatherings for the intellectually challenged.

ATTORNEY KAEMPFER stated three neighborhood meetings were held and announced agreement to all conditions suggested at the second meeting; however, the third meeting did not produce compromise. He offered to read the conditions suggested and requested they be imposed upon the applicant.

DOUG RANKIN, Planning and Development, stated the applicant submitted a revised Master Development Agreement which incorporated the conditions that ATTORNEY KAEMPFER requested. MR. RANKIN explained that since those conditions are already a part of the development agreement, the only conditions needing to be imposed are those suggested by MR. GOLDBERG.

COMMISSIONER EVANS commented on the conditions suggested by MR. GOLDBERG and the discussions with the applicant and inquired about how staff's recommendation is affected. MR. GOLDBERG confirmed that the conditions provided are the 'if approved' conditions and do not change staff's recommendation of denial. MR. RANKIN explained that the recommendation is based on the location and surrounding development but acknowledged that the use and components are unique.

ATTORNEY KAEMPFER read the additional conditions and explained the intent behind each condition. He emphasized that there would be no retail or commercial uses on the site. MR. RANKIN commented on the condition affecting lighting and stated that the Summerlin standards would be too intense since ATTORNEY KAEMPFER had conveyed the neighborhood's desire to have minimal lighting. CHAIRMAN TROWBRIDGE provided different language to appease the request for specific lighting standards and MR. RANKIN concurred with the language.

ATTORNEY KAEMPFER agreed to develop Rainbow Boulevard in accordance to rural standards, and to have an alternate parking lot with drought tolerant trees, gravel, chat and other

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 11 – GPA-16578

MINUTES – Continued:

landscaping. He agreed to work with staff for guidance so as not to create an asphalt parking lot. Any change in use would require a public hearing noticed within one half mile radius. He anticipated that many would speak in opposition about the zone change for fear that this action may set an unwanted precedent. He also pointed out their concern about insufficient funds to complete the project but ATTORNEY KAEMPFER stated that upon approval there would be additional tactics for obtaining funds. He urged the Commissioners not to allow fear keep the project from being approved because the project has tremendous value.

BARRY STEVENS, 6535 Fence Jumper Avenue, stated he is opposed to a project of this size in his community and expressed concern that without sufficient funding, the property could be used for another purpose. PAM BAILEY, 6665 Jo Marcy Drive, described the surrounding area and commented about the size of the facility. She requested half the parking space be eliminated to provide more useable open space. DEBBIE VERGO, 6161 Jo Marcy Drive, opposed the zoning request because it would disturb the horse community. She requested the General Plan Amendment not be altered since there are County islands throughout the area which support the rural preservation. DON CULLISON, 6598 Golden Bit Avenue, stated he is part of the association located within the notification area. He supported New Vista Ranch but stated that the request is far too massive for the area.

CAROLE PECK, 8039 Leather Harness Street, requested clarification about Title 19a and DEPUTY CITY ATTORNEY BRYAN SCOTT explained that Title 19a has been replaced with Title 19. MS. PECK concurred with many against the rezoning request for fear that the project would set a negative precedent. LAURA PERISH, 6650 West Via Provenza Avenue, agreed with opposing comments regarding the rezoning and expressed concern about proper drainage. BILL BURGOS, 6161 Jo Marcy Drive, concurred with opposing comments about the zone change and requested the applications be denied. MR. BURGOS agreed that approval would set an unwanted precedent. STEVE HEGLIN, 6614 Fence Jumper Avenue, inquired about why Rainbow Boulevard was blocked off a year ago. MR. HEGLIN used Rainbow Boulevard and is interested to know if it would be reopened. He supported the idea of minimizing the amount of parking required. NEIL GALLOTS, 7350 North Rainbow Boulevard, requested all conditions be placed in writing and he inquired about any deed restrictions. He acknowledged the condition that would require a Public Hearing if the use should ever change but expressed concern for the result of the project should it fail. PAT SPILOTRO, 8177 Bay Colony, complained about the drainage of the subject property and stated the project is not suitable for the location. He recommended denial. NANCY SEMANSKI, 7725 North Rainbow Boulevard, concurred with all opposing comments and reiterated the concern about proper drainage.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 11 – GPA-16578

MINUTES – Continued:

MARGO WHEELER, Director of Planning and Development, stated that the General Plan Amendment differs from the request to change the zoning. She explained that the Planned Development (PD) zoning requires a development agreement which dictates the site plan and sets the uses while restricting practices through the terms stated in the development agreement. The Code states development of property within the PD district may proceed only in strict accordance with the approved master development plan and development standard. Any changes to the site plan and to the uses would require a modification to the development agreement at a Public Hearing. This zoning requires the development agreement which goes beyond the usual zoning and site plan standards that you would normally see.

BART ANDERSON, Public Works Department, explained that the drainage concern would be mitigated and described the drainage needs of the project. MR. ANDERSON stated this area is identified as a Regional Flood Control District Regional Facility and is not scheduled to begin construction for another five to ten years. Ultimately, there will be a concrete channel that will tie into underground boxed coverts that will go down Rainbow Boulevard and tie into the Elk Horn facility. Until that happens, New Vista Ranch would have to complete a drainage study and identify how to mitigate the drainage that passes through their site to the satisfaction of the Flood Control Engineer.

In response to CHAIRMAN TROWBRIDGE'S inquiry about excess parking, MR. BURKE verified City Code requirements and agreed that there is excess parking. He suggested creating a park and retention pond to address drainage concerns while eliminating excess parking.

MR. ANDERSON stated that portions of Rainbow Boulevard have been vacated and the closure at Grand Teton Drive was a response to residents who petitioned the City and the County because of traffic concerns. The closure is not a vacation as the street right-of-way remains and it could be opened if needed.

COMMISSIONER GOYNES requested clarification about the drainage labeled as a regional issue and MR. ANDERSON clarified that the City is part of the Regional Flood Control District so it is still a responsibility of the City. Regional facilities have very specific criteria and essentially no landscaping of any kind within the easement; therefore, it would be a concrete channel since anything else would be very costly. Upon COMMISSIONER GOYNES' request, ATTORNEY KAEMPFER replied that he has not seen the deed but confirmed that the Gilcrest family would have every right to object to the use of the property should it differ from New Vista's intent or some other philanthropic organization. ATTORNEY KAEMPFER stated that if the property were not used by New Vista, his firm would attempt to find a way to see that the property revert to its original zoning.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 11 – GPA-16578

MINUTES – Continued:

COMMISSIONER EVANS inquired about the concrete channel as an option versus an underground bank and whether drainage can be mitigate with some landscaping to offer a more attractive solution. MR. ANDERSON stated that because there is so much water, it is difficult to maintain vegetation in a flood environment. The maintenance is expensive and when the City has allowed developers to landscape such areas with the caveat that the homeowners association is to maintain it, the homeowners association has complained about the expense to do so. COMMISSIONER EVANS expressed regret for the lack of a better solution but nonetheless he did not view the project as egregious.

COMMISSIONER TRUESDELL stated he understands how New Vista inherited this property and that if there were a more appropriate place for this project given the amount of land needed, another location would have been considered. Regardless of the lack of funding, COMMISSIONER TRUESDELL stated he would not be influenced as to how he would vote on the matter and inquired about the average daytime population of the facility. MR. BURKE confirmed there would be 56 residential units and including staff there would be approximately 120 to 150 people. MS.WHEELER confirmed for COMMISSIONER TRUESDELL that PD zoning allows onsite vehicular and pedestrian circulation and parking as items that can be considered and modified within the development agreement. COMMISSIONER TRUESDELL supported the suggestion to reduce parking so as to provide more functional space.

COMMISSIONER STEINMAN noted there is only a need for 50 parking spaces where 243 are provided in the north lot. He suggested the area be converted into a detention basin/park consisting of material other than chat. CHAIRMAN TROWBRIDGE inquired about the equestrian trail and MR. GOLDBERG stated that the master plan trails elements shows that the trail would be on the east side of Rainbow Boulevard and the trails element calls for a multi-use trail on the west side.

CHAIRMAN TROWBRIDGE acknowledged the conditions discussed that if the project were to fail, the zoning should revert back to its original condition; that light pollution be mitigated; that the onsite parking be restricted to 50 to 100 parking spaces broken into smaller pieces; that the development of the retention basin have a terraced floor and access to the retention basin accommodate vehicular traffic. ATTORNEY KAEMPFER agreed with all comments relating to reduction of parking and providing a retention basin. He asked those present in support of the project to stand to show support and several people in attendance rose.

MS. WHEELER requested the plan be revised to show that the lighting, parking and drainage issues can be accommodated. She stated that it would be difficult to revert the zoning decision because the buildings that would exist would not satisfy the old zone and noted a development agreement already stipulates the uses.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 11 – GPA-16578

MINUTES – Continued:

COMMISSIONER TRUESDELL acknowledged that the development agreement is limiting on the use and in conjunction with all the other conditions set forth, the project could be successful. He requested that the zoning request be approved with all conditions presented by staff.

MR. ANDERSON clarified all discussions about Summerlin style lighting are referring to internal lighting only and not to the exterior street lighting. Rather than rural standards for street lighting on Rainbow Boulevard, he suggested deferring the sidewalk and street lights to leave the curb line in its normal position, which would change Condition 6 of Item 12 [ZON-16580]. COMMISSIONER TRUESDELL confirmed that the use stipulation is part of the development agreement.

DEPUTY CITY ATTORNEY SCOTT stated that the City Attorney's office has not reviewed the development agreement and he cannot confirm whether language stipulating those uses does exist. He advised the Commissioners that it would be best that he review the document to determine the content.

CHAIRMAN TROWBRIDGE requested all conditions be memorialized in writing and attached as a document before the items are heard at City Council and COMMISSIONER DAVENPORT added that the City Attorney should review the document to ensure that all stipulations are present. ATTORNEY KAEMPFER agreed to all conditions.

COMMISSIONER TRUESDELL noted the reduction of parking and MR. RANKIN supported all aforementioned condition recommendations and suggested they be included in the Zoning application as it relates to the development agreement. COMMISSIONER TRUESDELL specified that parking be restricted to 100 parking spaces for daily use and that the applicant submit a plan for approval. MR. RANKIN suggested the site plan be revised in accordance with the master development and standards agreement as approved and ATTORNEY KAEMPFER agreed.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 11 [GPA-16578], Item 12 [ZON-16580] and Item 13 [SDR-16581].

(6:51 – 8:45)

1-1649

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

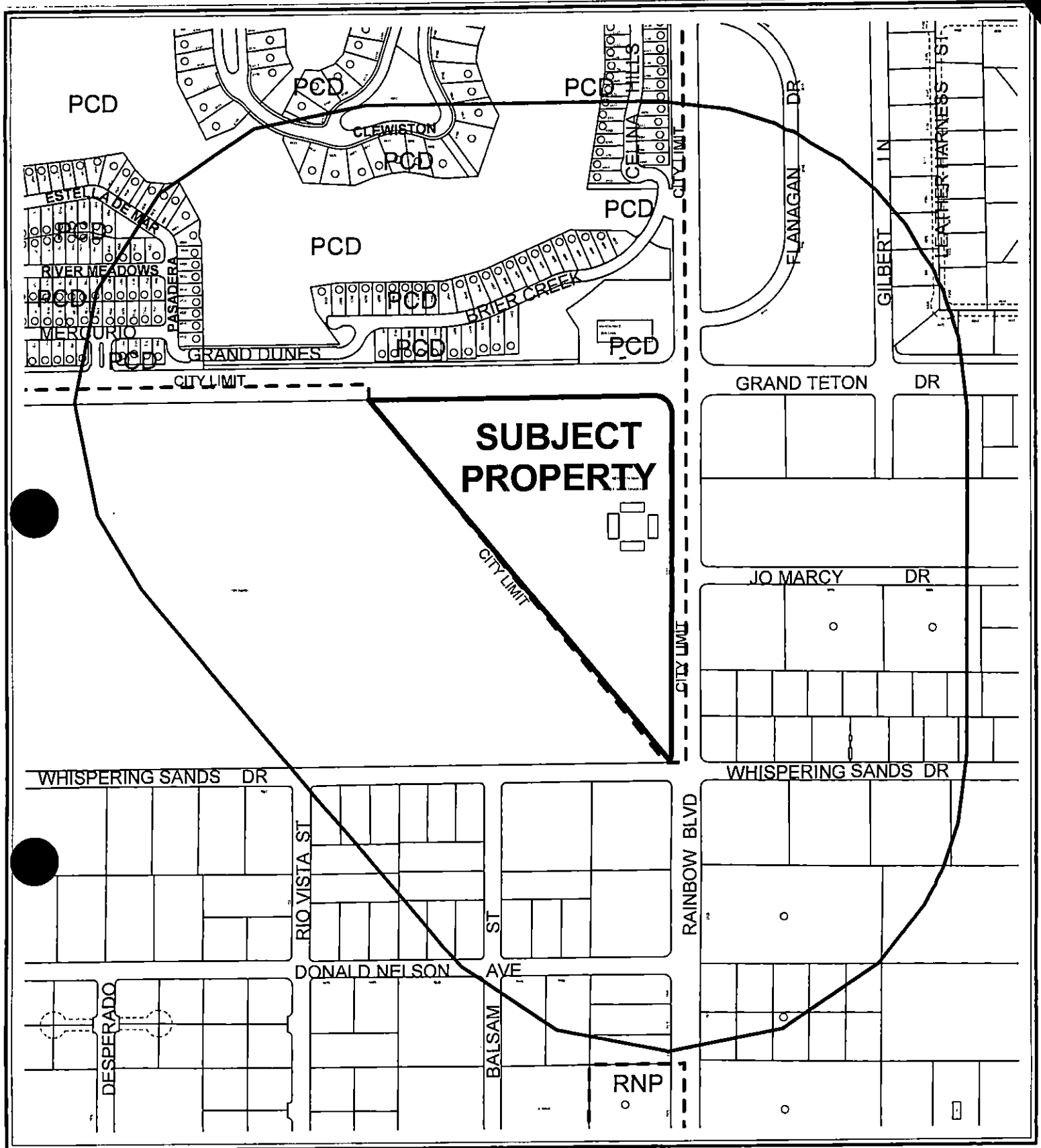
DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - GPA-16578 -

APPLICANT/OWNER: NEW VISTA RANCH, INC.

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL.

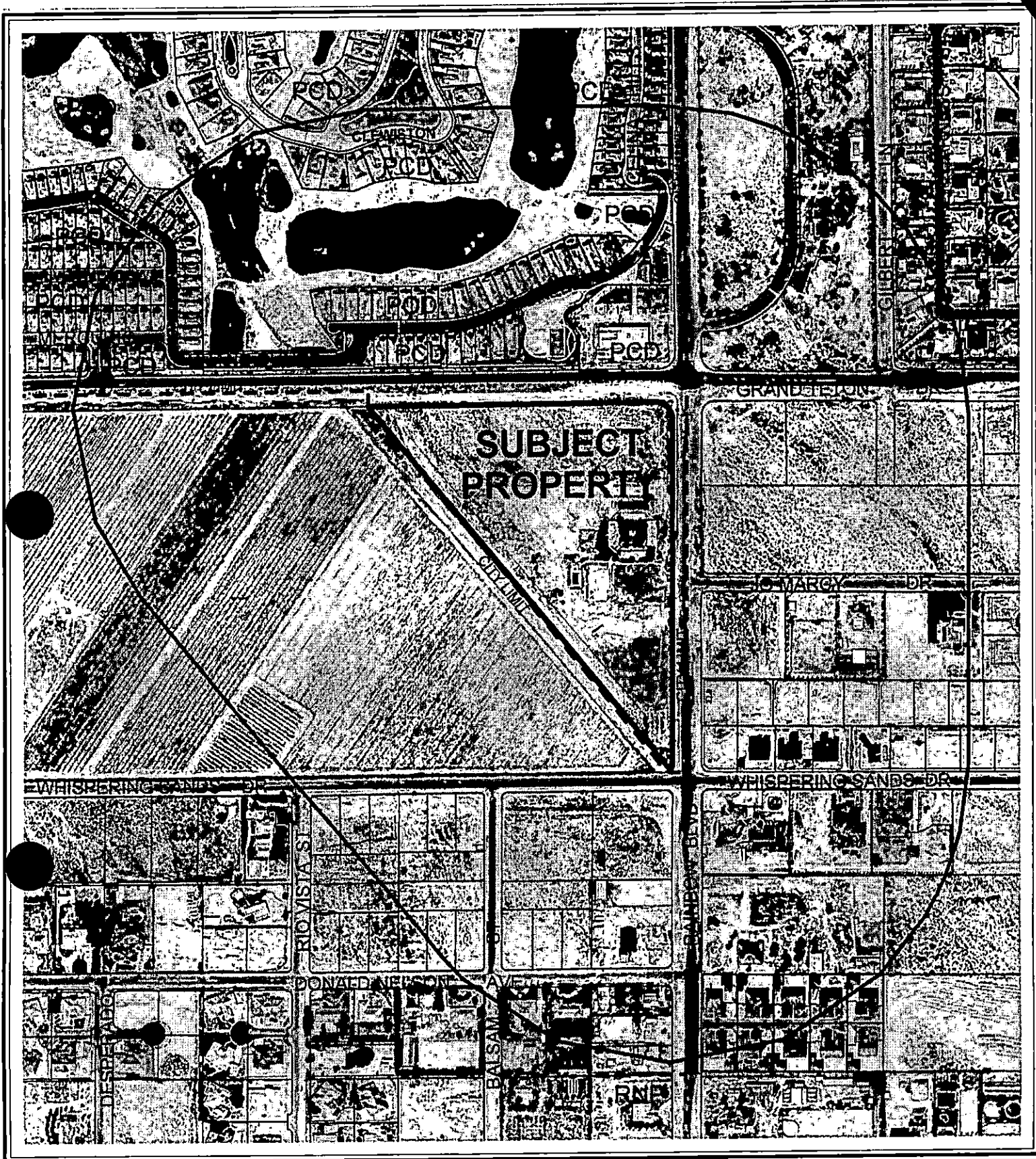


CASE: **GPA-16578**

RADIUS: 1000 FT

GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:
DR (DESERT RURAL DENSITY RESIDENTIAL)

PROPOSED GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:
PCD (PLANNED COMMUNITY DEVELOPMENT)



CASE: **GPA-16578**

RADIUS: 1000 FT

GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:
DR (DESERT RURAL DENSITY RESIDENTIAL)

PROPOSED GENERAL PLAN LAND USE DESIGNATION OF SUBJECT PROPERTY:
PCD (PLANNED COMMUNITY DEVELOPMENT)

0 300 600 Feet



GPA-16578 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request to amend a portion of the Centennial Hills Sector Plan of the Master Plan from DR (Desert Rural Density Residential) to PCD (Planned Community Development).

The proposed development does not meet the intent of the PCD (Planned Community Development) land use designation. The project is a large scale development located in a primarily single-family residential neighborhood. As the project does not meet the intent of the General Plan, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/19/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There is an active business license on the property for a homeless shelter/rescue mission.	
<i>Pre-Application Meeting</i>	
06/01/06	A pre-application meeting was held. It was noted that a drainage study, off-site improvements, and a neighborhood meeting would be required. Trails may be required.
<i>Neighborhood Meeting</i>	
09/26/06	A neighborhood meeting was held at Silverstone Golf Club, 8600 Cupp Drive, Las Vegas, Nevada. In attendance were five members of the applicant's team, a Council liaison, one staff member, and 17 members of the public. The following concerns were raised: • There should be no retail or commercial uses on the site • The facilities should not be rented to the general public • Financial support for the facility (and whether they would need to add commercial uses to support the operating costs of the facilities) • The height of the structures are excessive and don't fit in with the rural neighborhood • Concerns about the number of driveways/traffic on Rainbow • Residents would prefer to see the number of parking spaces reduced • The parking lot shouldn't be paved - it should be left in a natural state so that it blends in with the rural character of the neighborhood

GPA-16578 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

	- Concerns about drainage across the site and the existing drainage problems at Rainbow and Whispering Sands The applicant agreed to the following: - Only the gym will be 35' high; all other structures will be under 30' high - Buildings will have a residential appearance - Main access to the site will be from Grand Teton, with overflow access from Rainbow - The applicant will submit a Variance application for a 50% parking reduction - The trail feature along Rainbow will be increased to 25' in width to allow horse path per City approval - Parking lot light will be low-intensity, downward-directed fixtures with the height of the fixtures as low as the City will allow - The applicant will request that there be no street lighting (rural standards), subject to Public Works and City approval - The applicant will attempt to architecturally reduce the massing of the community center/recreation center - Any change in use will require a full public hearing/notification process
--	---

Details of Application Request	
Site Area	
Gross Acres	15.05
Net Acres	14.80

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped Homeless Shelter	DR (Desert Rural Density Residential)	U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]
North	Single-Family Residential	PCD (Planned Community Development)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
South	Undeveloped	Clark County (RNP)	Clark County
East	Undeveloped	Clark County (RE) and (RNP)	Clark County
West	Orchard	Clark County (RE)	Clark County

GPA-16578 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		
PD Planned Development District	X		Y
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]	2.49 Units Per Acre	37 Units under the current designation	PD (Planned Development)	8 Units Per Acre	PCD (Planned Community Development)	8 Units Per Acre 120 units under the proposed designation

ANALYSIS

The PCD (Planned Community Development) land use designation is intended to be used primarily for residential development. This land use designation is also intended to be used for commercial, public facilities and office developments when the development is used as a buffer. The proposed development does not meet the intent of the PCD land use designation. The project is a large scale development located in a primarily single-family residential neighborhood. As the project does not meet the intent of the General Plan, denial of this request is recommended.

FINDINGS

Section 19.18.030.1 of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations,

GPA-16578 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts,
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

In regard to "1":

The proposed use as an assisted living center with a community recreational facility is considered too intense for the adjacent land uses. The area is primarily single-family residential and a project of this size is out of character with the surrounding uses and land use designations.

In regard to "2":

The PCD (Planned Community Development) land use designation correlates with the PD (Planned Development) District. The PD (Planned Development) district allows for a variety of uses and is intended to promote creative design incorporating multiple uses on large tracts of land that assist in buffering small infill tracts and adjacent uses. The proposed project does not act as a buffer. Rather the proposed development is a large development in the midst of a single-family residential area. Therefore; the proposed project is considered inappropriate for this location and the companion Rezoning to a PD (Planned development) District is also considered inappropriate.

In regard to "3":

The site gains access from Grand Teton Drive a 120-foot Parkway Arterial. This street will provide adequate access to and from the proposed development. A secondary point of ingress/egress is provided from Rainbow Boulevard. This access point is proposed to be gated and will only be used for special events.

In regard to "4":

The proposed General Plan Amendment is not affected by any other plans or policies. Although not required in the PD (Planned Development) zoning district the site does not meet the requirements of Title 19.12 for similar development, as designed. Conditions of approval have been added to the Site Development Plan review addressing these issues.

GPA-16578 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 138 [Mailed with ZON-16580 & SDR-16581]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **GPA-16578** APN: 125-15-501-002

Name of Property Owner: NEW VISTA RANCH, INC.

Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

X Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: SAMUEL DUNNAN, PLANNING COMMISSIONER

Partner(s): JOHN DAVID BURKE, BAD INVESTMENTS, LLC

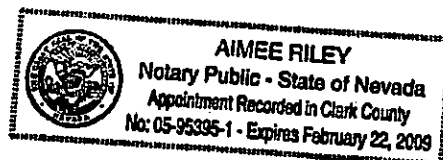
APN: 162-32-202-009

Signature of Property Owner: JOHN DAVID BURKE, MANAGING PARTNER
Print Name: BAD INVESTMENTS, LLC

Subscribed and sworn before me

This 6th day of September, 2006

Aimee Riley
Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **GPA-16578** APN: 125-15-501-002
Name of Property Owner: NEW USTA RANCH, INC.
Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

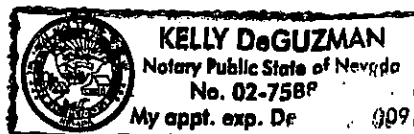
Signature of Property Owner: _____

Print Name: Don Finken

Subscribed and sworn before me

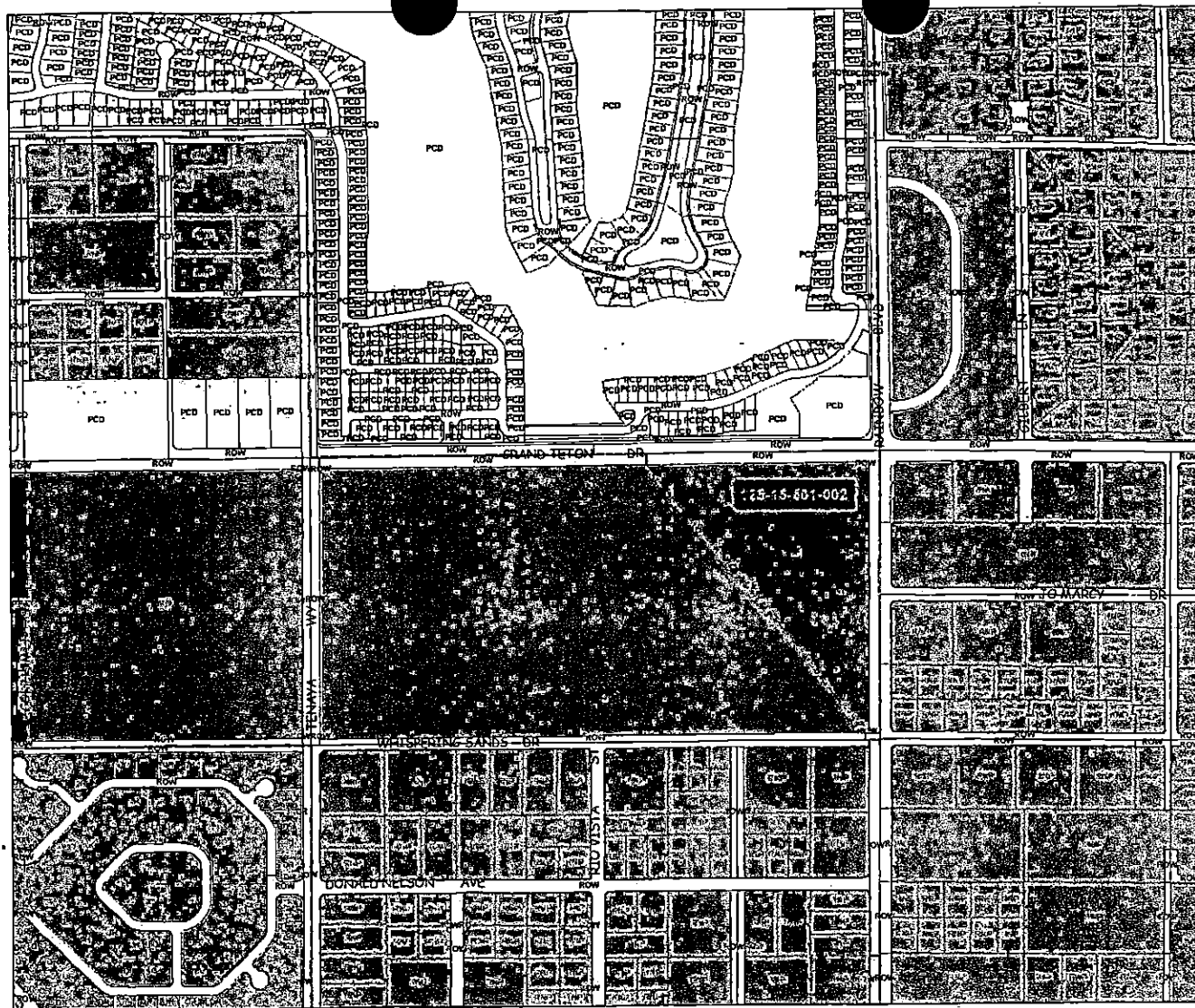
This 6th day of September, 2006

Kelly DeGuzman
Notary Public in and for said County and State



City of Las Vegas

Future Land Use Map



- ~ City Limits
- Rural Neighborhood Preservation
- Rural Estates
- Desert Rural
- Rural
- Low
- Medium - Low
- Medium - Low Attached
- Medium
- High
- Office
- Service Commercial
- General Commercial
- Tourist Commercial
- Las Vegas Medical District
- Light Industrial / Research
- Planned Community Development
- Downtown Redevelopment Area
- Parks/Recreation/Open Space
- Public Facility
- Public Facility - School
- Public Facility - Clark County
- Town Center
- Resource Conservation
- Downtown - Commercial
- Downtown - Mixed Use
- Not in City
- Right - of - Way

Map Printed: June 1, 2006



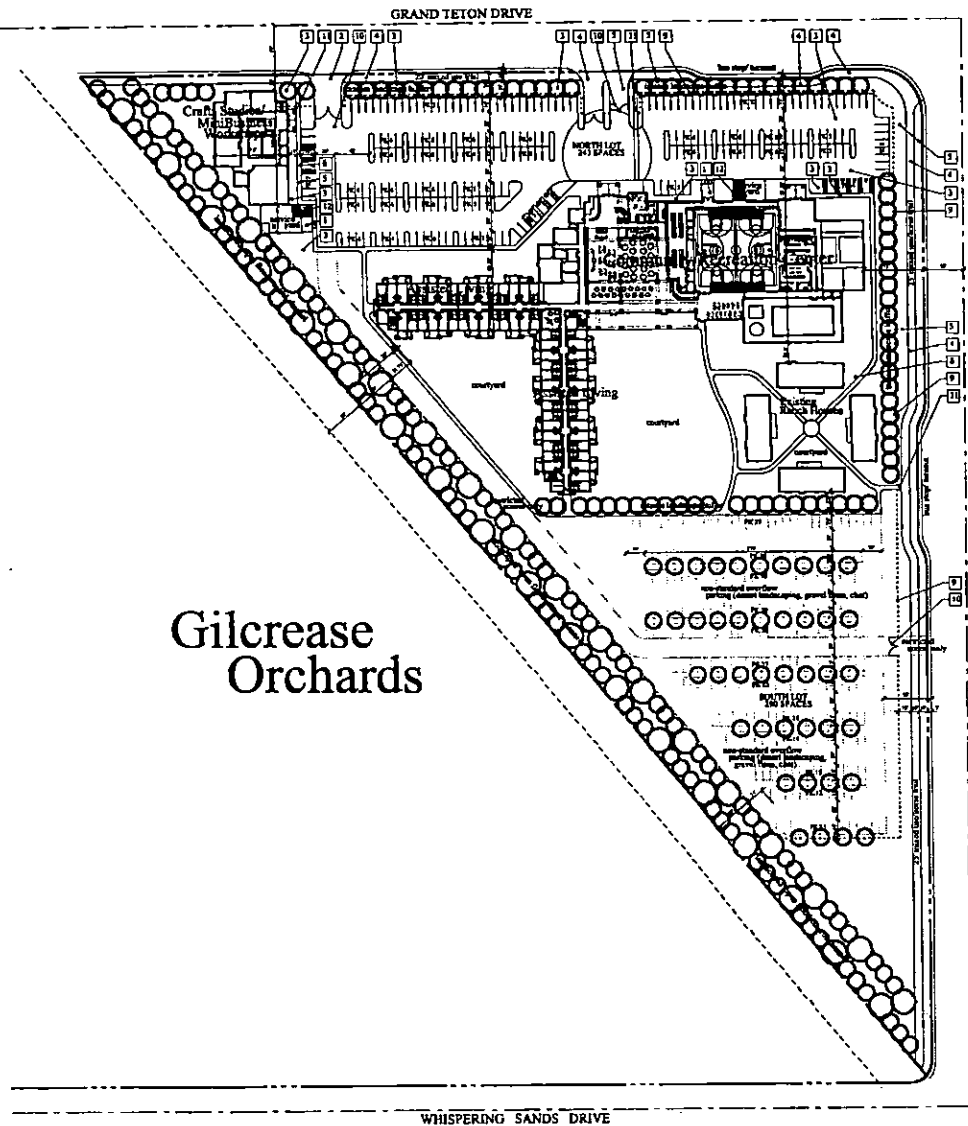
GIS maps are normally produced
only to meet the needs of the City.
Due to continuous development activity
this map is for reference only.
Geographic Information System
Planning & Development Dept
702-229-6301



GPA-16578
11/16/06 PC

SFP 0 6 2006

RECEIVED
SEP 0 6 2006



① CONCEPTUAL SITE & LANDSCAPING PLAN
SCALE: 1" = 60'-0"

RECEIVED
OCT 30 2006

GPA-16578 ZON-16580
SDR-16581 11/16/06 PC

REVISED

KEYNOTES

#	Description
1	8" TIGHT CONCRETE BLOCK TRASH ENCLOSURE WITH PAIR OF STEEL TUBE GATES WITH STAMPED METAL BACKING AND LIFT PIN LOCKLATCH
2	2" A.C. PAVING
3	LANDSCAPED AREA - BY OTHERS
4	TIERSWALK CURB & GUTTER
5	4" CONCRETE SIDEWALK W/ DECKSALT FINISH
6	FLUSH OUT SIDEWALK WITH PAVING FOR HANDICAP ACCESS
7	HANDICAP ACCESS AISLE
8	HANDICAP ACCESSIBLE ROUTE
9	DECORATIVE # FENCE/WALL
10	DECORATIVE AUTOMATIC GATES
11	DECORATIVE MAIN GATE
12	15' x 25' LOADING ZONE

PROJECT DATA

EXISTING ZONING:	GP-DRA/1 ZONING
REQUIRED ZONING:	GP-LWD ZONING
EXISTING USE:	RESIDENTIAL HOUSING
PROPOSED USE:	ASSISTED LIVING COMMUNITY RECREATIONAL CENTER

AREA SUMMARY:

	AREA
ASSISTED LIVING/RECREATIONAL	10,512 S.F.
EXISTING RESIDENTIAL HOUSING	9,901 S.F.
COMMUNITY REC. CENTER	73,098 S.F.
NON-BUSINESS/WORKSHOP	10,502 S.F.
TOTAL BUILDING AREA:	104,013 S.F.

PARKING SUMMARY:

	FACTOR	REQ
SENSE CITIZEN APT:	UNIT/1000 S.F. UNITS	48
RESIDENTIAL HOUSING	30/1000 S.F.	8
COMMUNITY REC. CENTER	1/200 GFA	144
NON-BUSINESS/WORKSHOP	1/250 GFA	43
TOTAL PARKING REQUIRED:		443

PARKING PROVIDED: 555 SPACES
(143 STANDARD SPACES)
(212 NON-STANDARD SPACES)

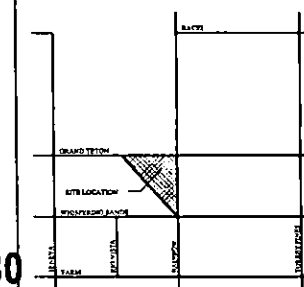
TOTAL SITE AREA: 827,314 S.F. (18.03 A.C.) - net
775,968 S.F. (17.71 A.C.) - gross

BUILDING FOOTPRINT: 104,240 S.F.

BUILDING COVERAGE: 13.9%

APN: 125-155-01-002

LOCATION



REVISIONS
AKK

jon
coul
burke, architect

3411 W. COMPTON RD. PM LAS VEGAS, NV 89118 (702) 438-4433

New Vista Community
Assisted Living Residential Unit/
Community & Recreational Center
City of Las Vegas Nevada

date
proj. no.
dwn. by
chkd. by

sheet no.
A1

September 5, 2006

**CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, Nevada 89101**

**Re: Justification Letter – General Plan Amendment – DR to PCD
Zone Change – U to PD
Site Plan Development Review
Variance to reduce required parking**

**New Vista Community
Assisted Living Apartments
Community and Recreation Center
SW corner Rainbow and Grand Teton
Tax Assessor's Parcel No.: 125-15-501-002**

Overview

The plans and documents we are submitting today for your review depict proposed assisted living apartments (56 units) and a proposed community/recreation center. This is a 15.05 net acre, 17.81 gross acre site on the southwest corner of Rainbow Boulevard and Grand Teton Drive in the City of Las Vegas.

General Plan Amendment (DR to PCD) and Rezone (U to PD)

The is a request to amend the General Plan from DR (Desert Rural – 2 residential units per acre) to PCD (Planned Commercial District) and rezone from district U (Undeveloped) to PD (Planned Development). The range of uses being requested (see section 3.4 of the “Master Development Plan Document” for full description) requires the PD rezone and the PCD General Plan designation. The density of residential units being requested is 4.93 DUA.

Per the intent of the PD zoning district and PCD General Plan designation, the goals of this project are to permit and encourage comprehensively planned developments whose purpose is redevelopment, economic development, cultural enrichment, or to provide a single purpose or multi-use planned development. The General Plan Amendment of property to the PCD

**GPA-16578
11/16/06 PC**

designation and the PD zoning may be deemed appropriate if the development if the development proposed can accomplish one or more of the following goals:

1. Providing for an orderly and creative arrangement of land uses that are harmonious and beneficial to the community.
2. Providing for flexibility in the distribution of land uses, in the density of development, and in other matters typically regulated in zoning districts.
3. Providing for cultural, civic, educational, medical, religious or recreational facilities, or any combination thereof, in a planned or a unique setting and design.
4. Promoting or allowing development to occur in accordance with a uniform set of standards, which reflect the specific circumstances of the site.
5. Avoiding premature or inappropriate development that would result in incompatible uses or would create traffic and public service demands that exceed the capacity of existing or planned facilities.
6. Encouraging area sensitive site planning and design.

Contribution to the health, safety and general welfare of the community and providing development, which is compatible with the City's goals and objectives

We believe these goals will be met by the proposed project as described in the "Master Development Plan Document".

Site Plan Development Review

The documents submitted depict a one and two story residential project with community and recreational facilities. All of the buildings are designed with consistent "Western" detail –

- | | | |
|----|-----------------|---|
| 1. | Exterior Walls: | Stucco, Stone veneer, Painted concrete tilt-up walls,
Split face masonry |
| 2. | Glazing: | Green reflective/tinted glass |
| 3. | Roofing: | Existing sloped roofs are to remain as is
New sloped roofs to be concrete tile
New flat roof are to be built-up roofing |

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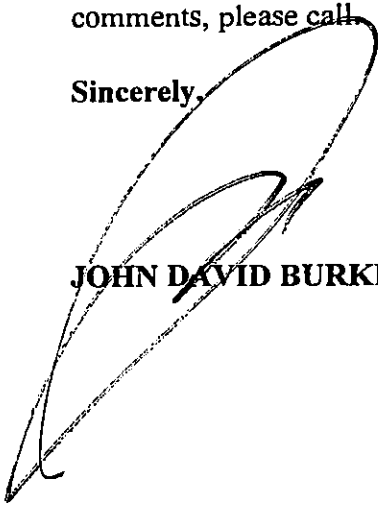
Page 3 of 3

All setbacks and design criteria are further described in the "Master Development Plan Document". There will be approximately half of the site fully landscaped with a desert tolerant plant palette. The project presents an attractive, consistent residential style that is appropriate to the neighborhood.

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,



JOHN DAVID BURKE, ARCHITECT

**GPA-16578
11/16/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - ZON-16580 - REZONING RELATED TO GPA-16578 - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC. - Request for a Rezoning FROM: U (UNDEVELOPED) [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION] TO: PD (PLANNED DEVELOPMENT) on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), Ward 6 (Ross). NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

11

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

5

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

TRUEDELL – APPROVED subject to conditions deleting Condition 3 and 4 and amending Condition 6 as read for the record as follows:

6. Construct all incomplete half-street improvements, including appropriate transition paving and overpaving (if legally able), on Grand Teton Drive and Rainbow Boulevard adjacent to this site concurrent with development of this site. Sidewalk improvements may be deferred at this time on Rainbow Boulevard, provided a Covenant Running with Land Agreement is recorded for all such improvements deferred. Streetlights on Rainbow Boulevard may also be deferred, provided the applicant provides such streetlights to the City for future installation, and constructs all needed underground infrastructure necessary for such future installation. Alternatively, monies in lieu of such streetlights may be contributed to the City if allowed by the City Engineer. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 12 – ZON-16580

MOTION – Continued:

by this development shall be restored at its original location and to its original width concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).

And adding the following conditions as read for the record as follows:

- A revised landscape plan shall be submitted prior to the time application is made for a building permit depicting a 20-foot multi-use transportation trail consisting of a five foot landscaped corridor, a 10-foot sidewalk, and a 5-foot transition strip along Rainbow Boulevard and Grand Teton Drive.
- All discussion regarding Summerlin style lighting are referring to internal lighting only; not to the exterior street lighting. Lighting on Grand Teton Drive would match the City's current plan.
- The planning and development is really presented for the absolute use delineated in the development agreement for assisted care; non-retail uses. There will be no retail uses on this site in any way shape or form under that agreement.
- The City Attorney must review the Development Agreement to assure there is no interest in non-commercial resources.
- The parking that is specified for the site be restricted to 100 spaces for daily use and the applicant must submit a design of the site plan that incorporates that.
- All items recommended will be part of the development agreement that goes forward.
- The height of the parking lot lighting shall be restricted to 20 feet and that proper shrubs be incorporated into the design so as to eliminate any light pollution that might reach on the north side of Grand Teton or on the east side of Rainbow Boulevard.
- UNANIMOUS with DUNNAM abstaining because he shares property holdings with Architect JOHN BURKE

To be heard by City Council on 12/20/2006

MINUTES:

NOTE: See Item 11 [GPA-16578] for all related discussion.

(6:51 – 8:45)

1-1649

CONDITIONS:

Planning and Development

1. A General Plan Amendment (GPA-16578) to PCD (Planned Community Development) land use designation approved by the City Council.

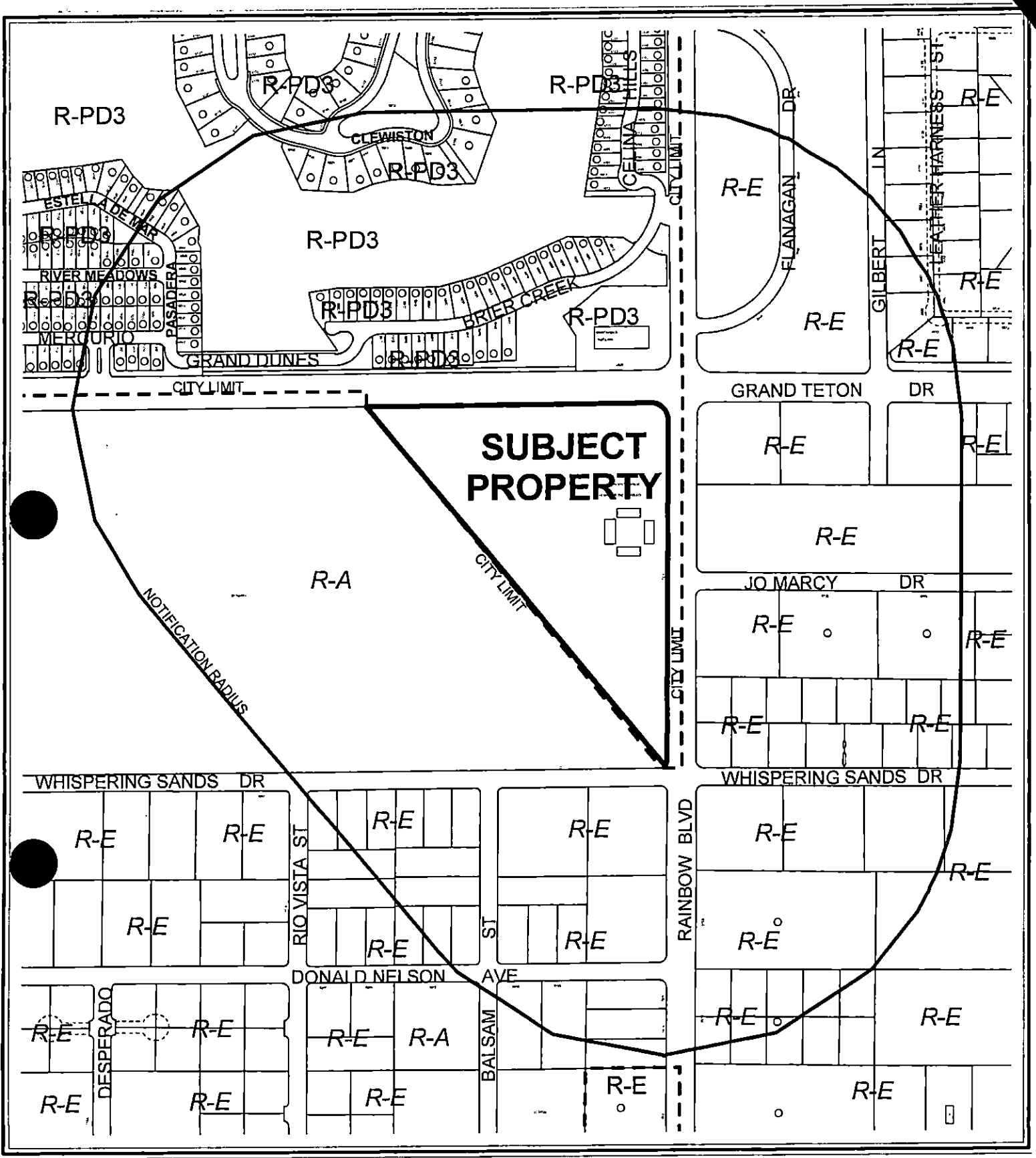
PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 12 – ZON-16580

CONDITIONS – Continued:

2. A Site Development Plan Review (SDR-16581) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.
3. Section 4.1 of the Development Agreement shall be modified to eliminate the sentence that states: "Any portion of a building over 35 feet in height shall be setback an additional one-foot for each foot of height in excess of 35 feet."
4. Section 5.3 shall be modified to eliminate #2 that states "The Community/Recreation Building shall not exceed 55 feet in height."

Public Works

5. Dedicate an additional 10 feet of right-of-way for a total half-street width of 60 feet on Grand Teton Drive and the additional right-of-way necessary to maintain a 54-foot radius at the southwest corner of Grand Teton Drive and Rainbow Boulevard adjacent to this site prior to the issuance of any permits. In addition, dedicate all additional rights-of-way required for a bus turnout on Rainbow Boulevard prior to the issuance of any permits unless otherwise allowed by the City Traffic Engineer.
6. Construct all incomplete half-street improvements, including appropriate transition paving and overpaving on Grand Teton Drive and Rainbow Boulevard adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City.



CASE: **ZON-16580**

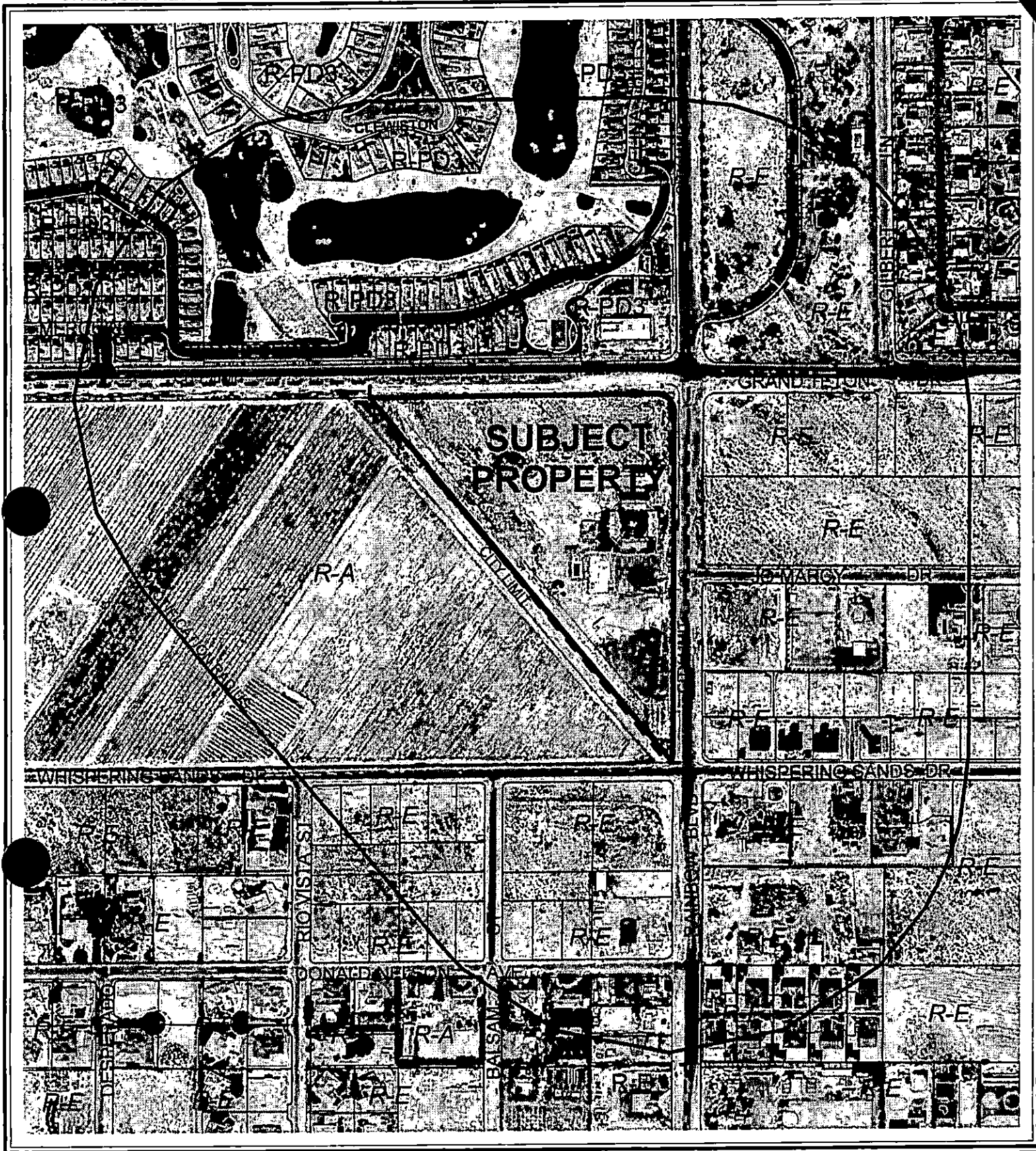
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN LAND USE DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY:

P-C (PLANNED COMMUNITY)



CASE: **ZON-16580**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN
LAND USE DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY:

P-C (PLANNED COMMUNITY)

0 300 600 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE – RENOTIFICATION - ZON-16580 –****APPLICANT/OWNER: NEW VISTA RANCH, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. A General Plan Amendment (GPA-16578) to PCD (Planned Community Development) land use designation approved by the City Council.
2. A Site Development Plan Review (SDR-16581) application approved by the City of Las Vegas is required prior to issuance of any permits, any site grading, and all development activity for the site.
3. Section 4.1 of the Development Agreement shall be modified to eliminate the sentence that states: "Any portion of a building over 35 feet in height shall be setback an additional one-foot for each foot of height in excess of 35 feet."
4. Section 5.3 shall be modified to eliminate #2 that states "The Community/Recreation Building shall not exceed 55 feet in height."

Public Works

5. Dedicate an additional 10 feet of right-of-way for a total half-street width of 60 feet on Grand Teton Drive and the additional right-of-way necessary to maintain a 54-foot radius at the southwest corner of Grand Teton Drive and Rainbow Boulevard adjacent to this site prior to the issuance of any permits. In addition, dedicate all additional rights-of-way required for a bus turnout on Rainbow Boulevard prior to the issuance of any permits unless otherwise allowed by the City Traffic Engineer.
6. Construct all incomplete half-street improvements, including appropriate transition paving and overpaving on Grand Teton Drive and Rainbow Boulevard adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).

ZON-16580 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

ZON-16580 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Rezoning from U (Undeveloped) [DR (Desert Rural Density Residential)] to PD (Planned Development).

The proposed rezoning is not considered appropriate for this location. Although the parcel meets the minimum size requirements for the proposed PD (Planned Development) District, the site does not meet with the intent of the implementation of a planned development. The proposed development is too intense for this location within a single-family residential area. The development will not act as a buffer between residential and more intense uses; rather it stands out as being drastically different than any other development in the vicinity. The proposed development will not enhance the area and would have a negative effect on the adjacent single-family neighborhoods. Due to these factors denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/19/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There is an active business license on the property for a homeless shelter/rescue mission.	
<i>Pre-Application Meeting</i>	
06/01/06	A pre-application meeting was held. It was noted that a drainage study, off-site improvements, and a neighborhood meeting would be required. Trails may be required.
<i>Neighborhood Meeting</i>	
09/26/06	A neighborhood meeting was held at Silverstone Golf Club, 8600 Cupp Drive, Las Vegas, Nevada. In attendance were five members of the applicant's team, a Council liaison, one staff member, and 17 members of the public. The following concerns were raised: • There should be no retail or commercial uses on the site • The facilities should not be rented to the general public • Financial support for the facility (and whether they would need to add commercial uses to support the operating costs of the facilities) • The height of the structures are excessive and don't fit in with the rural neighborhood

ZON-16580 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

	- Concerns about the number of driveways/traffic on Rainbow - Residents would prefer to see the number of parking spaces reduced - The parking lot shouldn't be paved - it should be left in a natural state so that it blends in with the rural character of the neighborhood - Concerns about drainage across the site and the existing drainage problems at Rainbow and Whispering Sands The applicant agreed to the following: - Only the gym will be 35' high; all other structures will be under 30' high - Buildings will have a residential appearance - Main access to the site will be from Grand Teton, with overflow access from Rainbow - The applicant will submit a Variance application for a 50% parking reduction - The trail feature along Rainbow will be increased to 25' in width to allow horse path per City approval - Parking lot light will be low-intensity, downward-directed fixtures with the height of the fixtures as low as the City will allow - The applicant will request that there be no street lighting (rural standards), subject to Public Works and City approval - The applicant will attempt to architecturally reduce the massing of the community center/recreation center - Any change in use will require a full public hearing/notification process
--	---

Details of Application Request

Site Area

Gross Acres 15.05

Net Acres 14.80

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped Homeless Shelter	DR (Desert Rural Density Residential)	U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]
North	Single-Family Residential	PCD (Planned Community Development)	R-PD3 (Residential Planned Development – 3 Units Per Acre)
South	Undeveloped	Clark County (RNP)	Clark County
East	Undeveloped	Clark County (RE) and (RNP)	Clark County
West	Orchard	Clark County (RE)	Clark County

ZON-16580 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		
PD Planned Development District	X		Y
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards are proposed:

<i>Standard</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	655,314 SF	Y
Min. Lot Width	993 Feet	Y
Min. Setbacks		
• Front	20 Feet	Y
• Side	56 Feet	Y
• Corner	53 Feet	Y
• Rear	N/A	N/A
Min. Distance Between Buildings	14 Feet	Y
Max. Lot Coverage	15.9 %	Y
Max. Building Height	35 Feet	Y
Trash Enclosure	Two	Y
Mech. Equipment	Screened	Y

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]	2.49 Units Per Acre	37 Units under the current designation	PD (Planned Development)	8 Units Per Acre	PCD (Planned Community Development)	8 Units Per Acre 120 units under the proposed designation

ZON-16580 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

<i>Landscaping and Open Space Standards</i>		
<i>Standards</i>	<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	
Parking Area	42 Trees	N
Buffer:	59 Trees	N
Min. Trees	Zero Trees	N
TOTAL	101 Trees	N
Min. Zone Width	10 Feet	Y
	8 Feet	Y

Pursuant to Title 19.10, the following parking standards apply:

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Assisted Living	56 Units	1 Space per 3 Residents	19				
Residence	4 Units	2 Spaces per Unit	8				
Community Recreational Facility and Additional Uses	83,681 SF	1:200	419				
Subtotal			446	9	533	9	Y
TOTAL			446		533		Y

ANALYSIS

The PD (Planned Development) District is intended to be a flexible district which may be applied to individual properties, larger planning areas or areas with multiple properties for redevelopment, economic development and cultural enrichment. The PD (Planned Development) District may be used for office, retail, entertainment or commercial uses or for mixed-use developments where commercial and residential uses are combined. The PD (Planned Development) District is further intended to buffer small infill tracts and adjacent uses, encourage the conservation of open space, promote creative site arrangements, preserve prominent natural features, provide for the efficient development of large tracts for multiple uses,

ZON-16580 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

The proposed development does not meet many of these criteria. The project is out of character with the area due to its large scale and commercial nature. Despite not being open to the public, the proposed development will create an increased traffic flow that will be inconsistent with the surrounding neighborhood. The existing buildings on the site are small ranch style homes and are clustered in a similar manner to the surrounding development. The proposed structures are much larger, resembling a large apartment building and commercial center. The project is inappropriate for this location and will not enhance the surrounding single-family residential development.

The development standards within the development agreement mostly comply with Title 19 development standards for similar type development. However, the parking section allows non-paved surfaces to be used for the overflow parking lot. Staff cannot support this request as there are potential hazards such as dust that could result from the use of this material. It is noted that the applicant is intending to use this parking lot for overflow and "special vent" parking. The applicant has not stated what a special event would consist of or how often these events would occur.

It is noted that modifications are required to the development agreement in order to bring it into compliance with the submitted plans and elevations. Section 4.1 shall be modified to eliminate the sentence that states: "Any portion of a building over 35 feet in height shall be setback an additional one-foot for each foot of height in excess of 35 feet." This is required as the applicant has agreed to a maximum building height of 35 feet and this language is not necessary and causes confusion. Also Section 5.3 shall be modified to eliminate #2 that states "The Community/Recreation Building shall not exceed 55 feet in height" Again the applicant has agreed to a maximum height off 35 feet and this is an incorrect statement. Elevations show building heights with a 35-foot maximum height.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The PCD (Planned Community Development) land use designation is intended to be used primarily for residential development. This land use designation is also intended to be used for commercial, public facilities and office developments when the development is used as a buffer. The proposed development does not meet the intent of the PCD land use designation. The project is a large scale development located in a primarily single-family residential neighborhood. As the project does not meet the intent of the General Plan, denial of this request is recommended.

ZON-16580 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

As this is a Planned Development all uses must be called out in the Development Agreement. The proposed uses are listed in section 3.4 of the New Vista Community Master Development Plan and Development Standards. The surrounding neighborhood is primarily single-family residential development. The uses associated with the community recreational facility are commercial in nature, even though they are not open to the general public. The scale of the project is also out of character with the area. The proposed development is not considered compatible with the surrounding land uses and zoning districts.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

Growth and development factors in the community do not indicate the need for or appropriateness of the rezoning. The development would be better located in an area that is not primarily single-family residential.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The site gains access from Grand Teton Drive a 120-foot Parkway Arterial. This street will provide adequate access to and from the proposed development. A secondary point of ingress/egress is provided from Rainbow Boulevard. This access point is proposed to be gated and will only be used for special events.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 138 [Mailed with GPA-16578 & SDR-16581]

APPROVALS 0

PROTESTS 0





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ZON-16580** APN: 125-15-501-002

Name of Property Owner: NEW VISTA RANCH, INC.

Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

X Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: SAMUEL DUNHAM, PLANNING COMMISSIONER

Partner(s): JOHN DAVID BURKE, BAAD INVESTMENTS, LLC

APN: 162-32-202-009

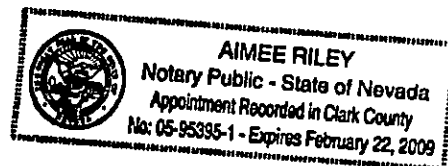
Signature of Property Owner: JOHN DAVID BURKE, MANAGING PARTNER
BAAD INVESTMENTS, LLC

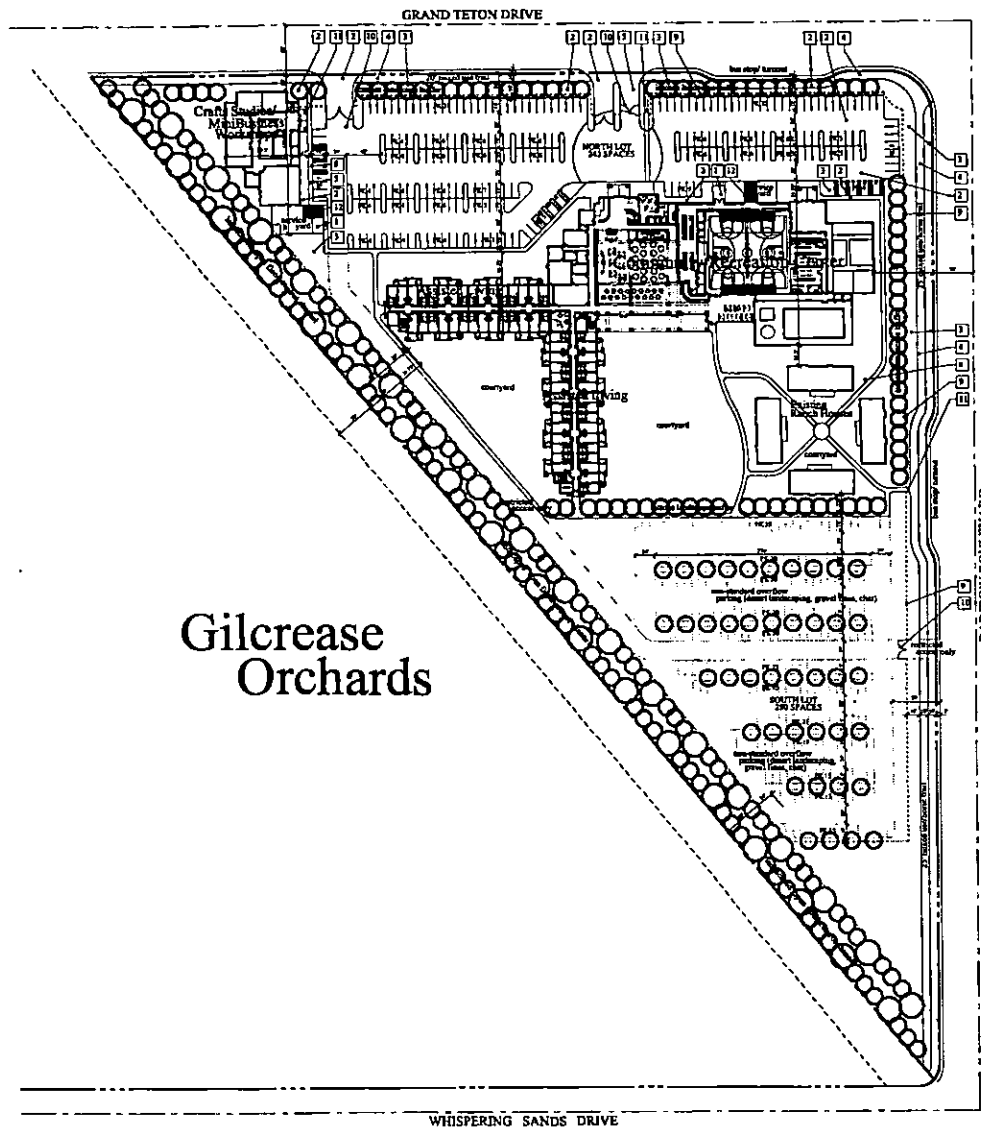
Print Name: _____

Subscribed and sworn before me

This 6th day of September, 2006

Aimee Riley
Notary Public in and for said _____ County and State





① CONCEPTUAL SITE & LANDSCAPING PLAN
SCALE: 1" = 60'-0"

RECEIVED
OCT 30 2006

GPA-16578 ZON-16580
SDR-16581 11/16/06 PC

REVISED

KEYNOTES

#	description
1	2" X 4" JOIST/SLAB ON GROUND TRASH ENCLOSURE WITH PAIR OF STEEL TUBE GATES WITH STAMPED METAL BACKING AND LOCK FOR LOCK/LATCH
2	2" A.C. PAVING
3	LANDSCAPED AREA - BY OTHERS
4	SIDEWALK CURB & CUTTER
5	4" CONCRETE SIDEWALK W/ROCKSALT FINISH
6	FLUSH OUT SIDEWALK WITH PAVING FOR HANDICAP ACCESS
7	HANDICAP ACCESS ASSE
8	HANDICAP ACCESSIBLE ROUTE
9	DECORATIVE F FENCE/WALL
10	DECORATIVE AUTOMATIC GATES
11	DECORATIVE MAIN GATE
12	15' X 25' LOADING DOCK

PROJECT DATA

EXISTING ZONING:	GP-DRA ZONING
REQUIRED ZONING:	GP-LPD ZONING
EXISTING USE:	RESIDENTIAL HOUSING
PROPOSED USE:	ASSISTED LIVING COMMUNITY RECREATIONAL CENTER

AREA SUMMARY:

	AREA
ASSISTED LIVING APARTMENTS	9,911 S.F.
EXISTING RESIDENTIAL HOUSING	9,911 S.F.
COMMUNITY REC. CENTER	73,099 S.F.
MONI-BUSINESS/WORKSHOP	13,542 S.F.
TOTAL BUILDING AREA	141,463 S.F.

PARKING SUMMARY:

	FACTOR	488
SENIOR CITIZEN APT.	1/UNIT - 11 GUESTS/5 UNITS	61
RESIDENTIAL HOUSING	2/UNIT	8
COMMUNITY REC. CENTER	1/200 GFA	146
MONI-BUSINESS/WORKSHOP	1/250 GFA	47
TOTAL PARKING REQUIRED		485

PARKING PROVIDED	535 SPACES (242 STANDARD SPACES) (293 NON-STANDARD SPACES)
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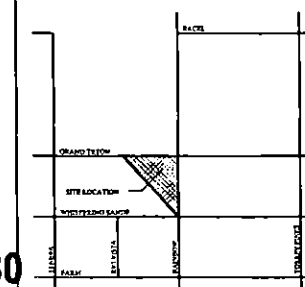
TOTAL SITE AREA:	659,319 S.F. (15.05 A.C.) - net 775,989 S.F. (17.81 A.C.) - gross
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BUILDING FOOTPRINT:	134,249 S.F.
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BUILDING COVERAGE	15.9%
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APNR: 125-155-01-002

LOCATION



REVISIONS

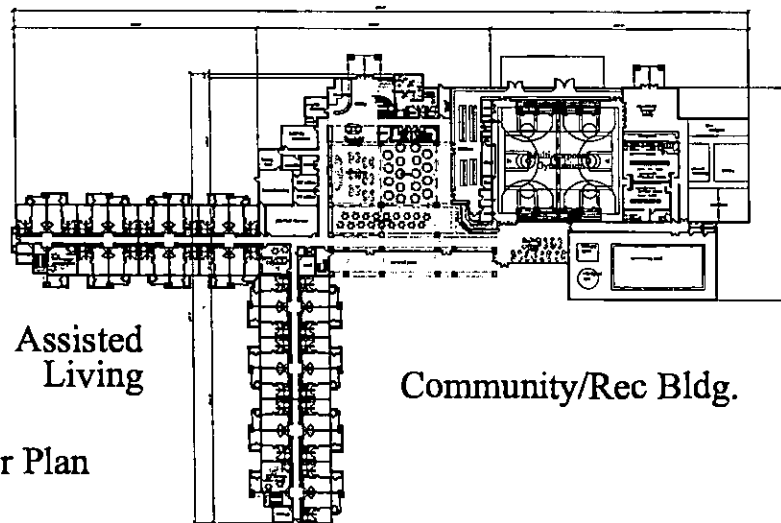
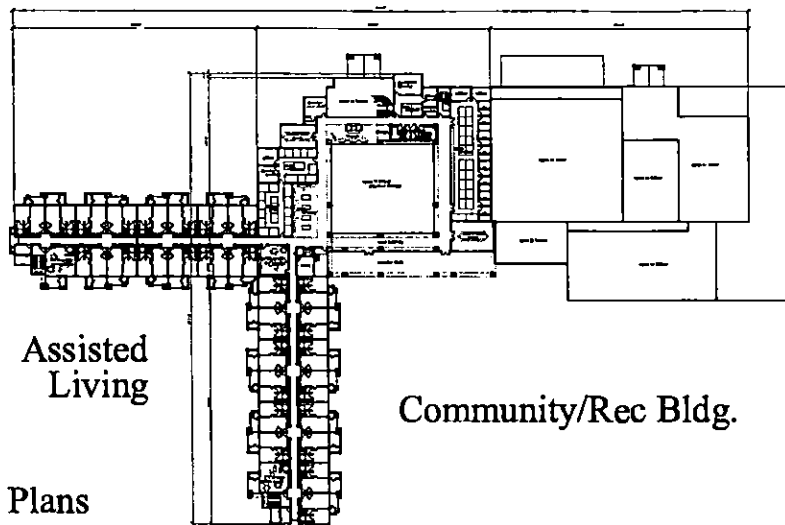
jon
dunne
architect

3071 W. OGDEN RD. AND LAS VEGAS, NV 89119 (702) 444-4444

New Vista Community
Assisted Living Residential Unit
Community & Recreational Center
City of Las Vegas Nevada

date
proj. no.
dwg. by
chkd. by

sheet no.
A1



① FLOOR PLANS
SCALE: 1" = 40'-0"

Area Summary

AL: ASSISTED LIVING
APARTMENTS (56 UNITS) 49,912 S.F.

Wk: CRAFTS STUDIOS/
MiniBusiness Workshops 10,582 S.F.

1st FLOOR COMMUNITY/REC CENTER

A: LOBBY/RECEPTION/DINING
MULTI-PURPOSE/BREAKFAST 14,429 S.F.
B: BEAUTY SALON 1,154 S.F.
C: PHYSICAL THERAPY/OT/
HOUSEKEEPING/OFFICES 5,493 S.F.
D: KITCHEN 4,742 S.F.
E: MULTI-PURPOSE GYMNASIUM 10,796 S.F.
F: POOL/FITNESS/LOCKER ROOMS
SNACK BAR/LOBBIES 19,876 S.F.

SUBTOTAL: 56,490 S.F.

2nd FLOOR COMMUNITY/REC CENTER

G: NURSING/CARE STAFF OFFICES 5,823 S.F.
H: CORPORATE OFFICES 10,786 S.F.

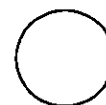
SUBTOTAL: 16,609 S.F.

COMMUNITY/REC CENTER BLDG. TOTAL: 73,099 S.F.

GRAND TOTAL NEW BUILDING AREA: 133,593 S.F.

RECEIVED
OCT 30 2006

GPA-16578 ZON-16580
SDR-16581 11/16/06 PC
REVISED



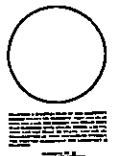
jon
cou
burne. architect
1411 W. DELMOND RD. LAS VEGAS, NV 89102 (702) 441-4401



New Vista Community
Assisted Living Residential Unit/
Community & Recreational Center
City of Las Vegas Nevada

date
proj. no.
dwn. by
chkd. by
A2

KEYNOTES	
#	description
1	SYNTHETIC STUCCO FINISH SYSTEM WITH BATTING AND 1/2" PLASTER
2	ALUMINUM STUCCO-FRONT DOOR OR WINDOW
3	CULTURED STONE VENEER
4	STUCCO FASCIA
5	STANDING SEAM METAL ROOF
6	DECORATIVE METAL SASHING
7	ROLL-UP METAL DOOR

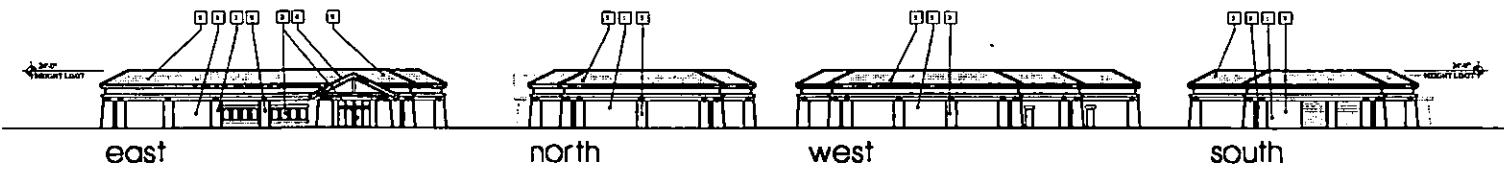


revisions

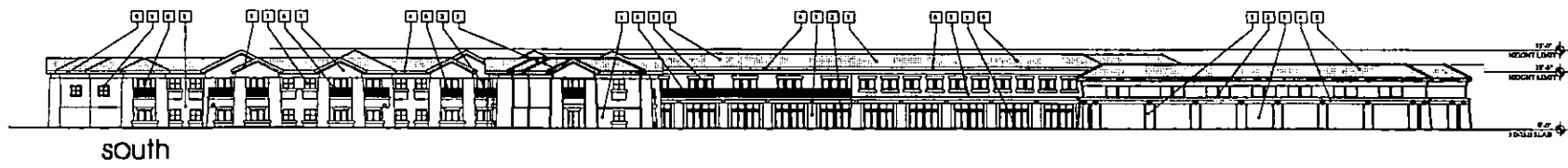
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john
adair
burke
architects

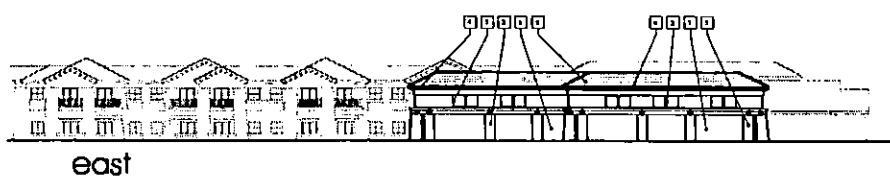
3411 W. GARDEN ROAD, SUITE 100, LAS VEGAS, NV 89103 (702) 734-1111



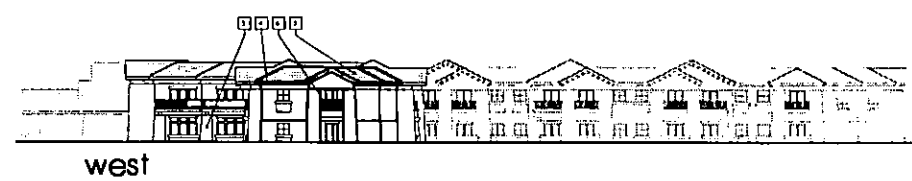
MiniBusiness Workshops



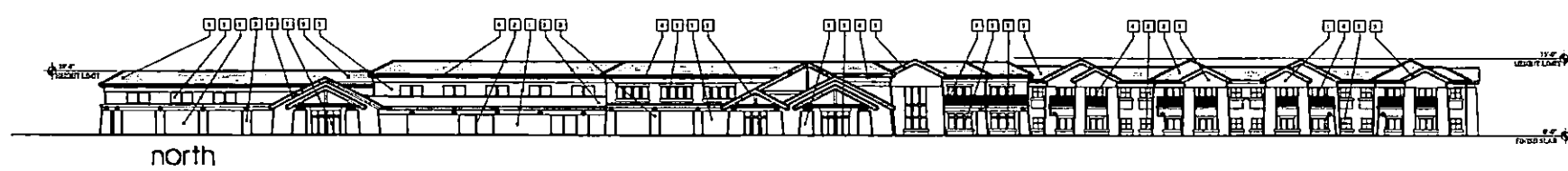
south



east



west



north

Community/Recreation Building & Assisted Living

1 ELEVATIONS
SCALE: 1" = 20'-0"

GPA-16578 ZON-16580 OCT 30 2006
SDR-16581 11/16/06 PC

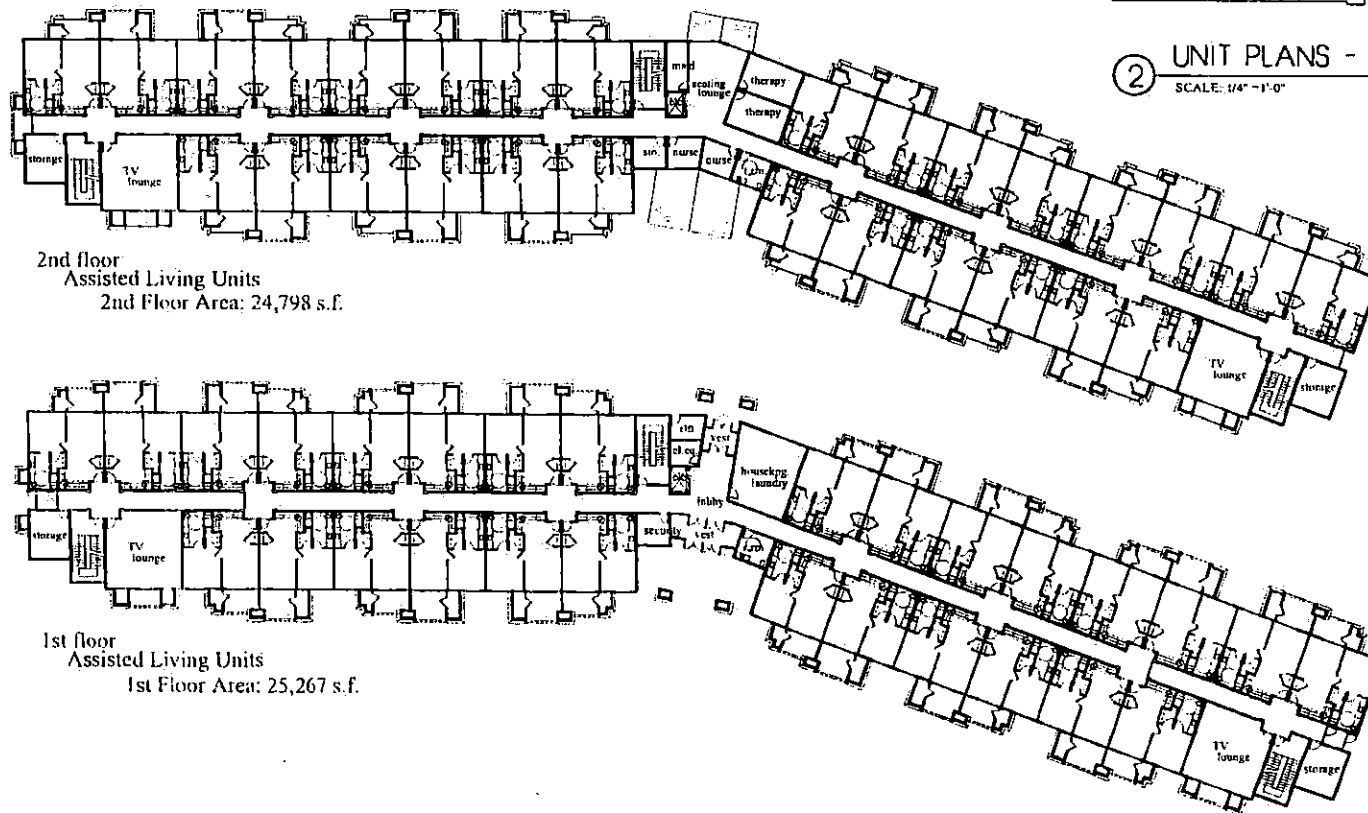
REVISED

New Vista Community
Assisted Living Residential Units/
Community & Recreational Center

City of Las Vegas Nevada

date	drawn
11/16/06	11/16/06
proj. no.	drawn by
GPA-16578	SDR-16581
chkd. by	chkd. by

sheet no. A3



① FLOOR PLANS - assisted living apartments
SCALE: 1/16" = 1'-0"

Total Building Area: 50,065 s.f.

RECEIVED
SEP 27 2006

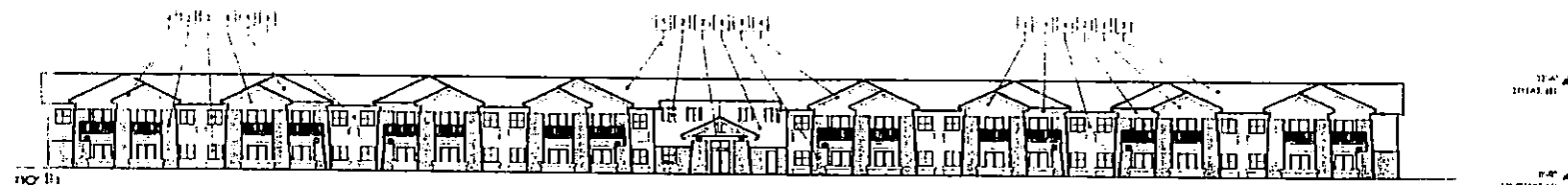
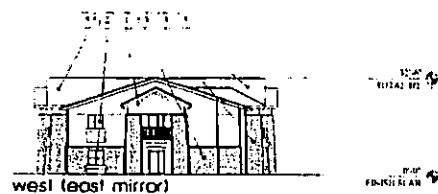
GPA-16578 ZON-16580
SDR-16581 REVISED
11/16/06 PC

revisions
1/1/06

john
dunn
burtch, architect

New Vista Community
Assisted Living Residential Units
Community & Recreational Center
City of Las Vegas

date: 11/16/06
proj. no.: 16581
drawn by: A5
checked by:



KEYNOTES

#	description
1	SYNTHETIC STUCCO FINISH SYSTEM: SHEETING AND JOINT FINISHING
2	ALUMINUM STORM FRONT DOOR WITH WINDOW
3	CULTURED STONE VENEER
4	STUCCO FASCIA
5	STANDING SEAM METAL ROOF
6	SIGNAGE

REVISIONS

John
Duke, architect

New Vista Community
Assisted Living Residential Units
Community & Recreational Center
City of Las Vegas

date
D/O: NO.
drawn by
checked by

1 EXTERIOR ELEVATIONS - assisted living apartments
SCALE: 1/4" = 1'-0"

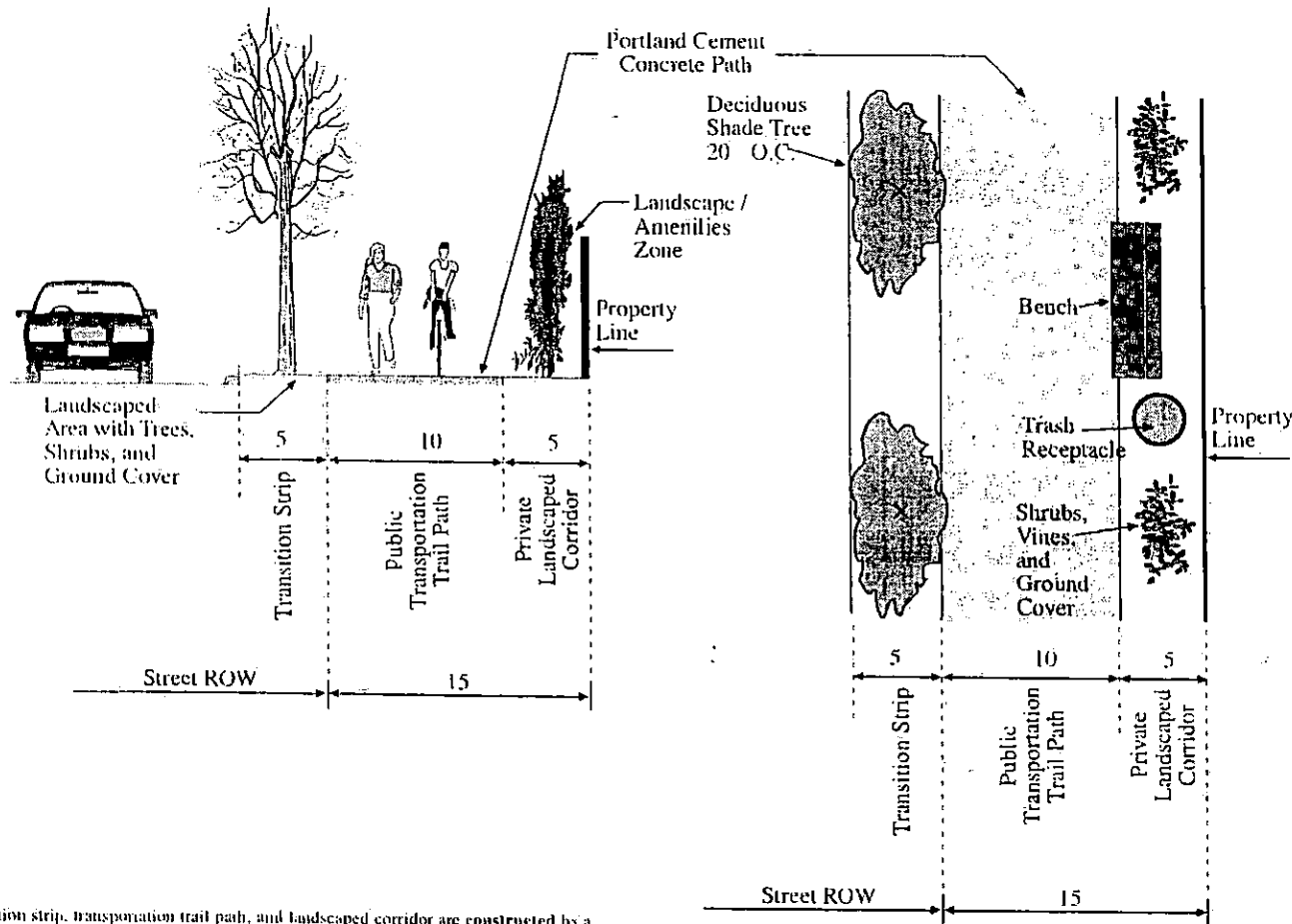
GPA-16578 ZON-16580
SDR-16581 REVISED

11/16/06 PC

A4

Exhibit I Multi-Use Transportation Trail

Adopted January 16, 2002



Notes:

The transition strip, transportation trail path, and landscaped corridor are constructed by a developer; the landscaped corridor is established as a common lot and owned by an adjacent property owner or homeowners association; the transportation trail path is dedicated to the City; the transition strip, transportation trail path, and landscaped corridor are maintained by an adjacent maintenance or homeowners association.

RECEIVED
SEP 27 2006

11/16/06 PC
GPA-16578 ZON-16580
SDR-16581 REVISED

September 5, 2006

**CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, Nevada 89101**

**Re: Justification Letter – General Plan Amendment – DR to PCD
Zone Change – U to PD
Site Plan Development Review
Variance to reduce required parking**

**New Vista Community
Assisted Living Apartments
Community and Recreation Center
SW corner Rainbow and Grand Teton
Tax Assessor's Parcel No.: 125-15-501-002**

Overview

The plans and documents we are submitting today for your review depict proposed assisted living apartments (56 units) and a proposed community/recreation center. This is a 15.05 net acre, 17.81 gross acre site on the southwest corner of Rainbow Boulevard and Grand Teton Drive in the City of Las Vegas.

General Plan Amendment (DR to PCD) and Rezone (U to PD)

The is a request to amend the General Plan from DR (Desert Rural – 2 residential units per acre) to PCD (Planned Commercial District) and rezone from district U (Undeveloped) to PD (Planned Development). The range of uses being requested (see section 3.4 of the "Master Development Plan Document" for full description) requires the PD rezone and the PCD General Plan designation. The density of residential units being requested is 4.93 DUA.

Per the intent of the PD zoning district and PCD General Plan designation, the goals of this project are to permit and encourage comprehensively planned developments whose purpose is redevelopment, economic development, cultural enrichment, or to provide a single purpose or multi-use planned development. The General Plan Amendment of property to the PCD

**ZON-16580
11/16/06 PC**

designation and the PD zoning may be deemed appropriate if the development if the development proposed can accomplish one or more of the following goals:

1. **Providing for an orderly and creative arrangement of land uses that are harmonious and beneficial to the community.**
2. **Providing for flexibility in the distribution of land uses, in the density of development, and in other matters typically regulated in zoning districts.**
3. **Providing for cultural, civic, educational, medical, religious or recreational facilities, or any combination thereof, in a planned or a unique setting and design.**
4. **Promoting or allowing development to occur in accordance with a uniform set of standards, which reflect the specific circumstances of the site.**
5. **Avoiding premature or inappropriate development that would result in incompatible uses or would create traffic and public service demands that exceed the capacity of existing or planned facilities.**
6. **Encouraging area sensitive site planning and design.**

Contribution to the health, safety and general welfare of the community and providing development, which is compatible with the City's goals and objectives

We believe these goals will be met by the proposed project as described in the "Master Development Plan Document".

Site Plan Development Review

The documents submitted depict a one and two story residential project with community and recreational facilities. All of the buildings are designed with consistent "Western" detail –

- | | | |
|----|-----------------|--|
| 1. | Exterior Walls: | Stucco, Stone veneer, Painted concrete tilt-up walls,
Split face masonry |
| 2. | Glazing: | Green reflective/tinted glass |
| 3. | Roofing: | Existing sloped roof s are to remain as is
New sloped roofs to be concrete tile
New flat roof are to be built-up roofing |

**11/16/06 PC
ZON-16580**

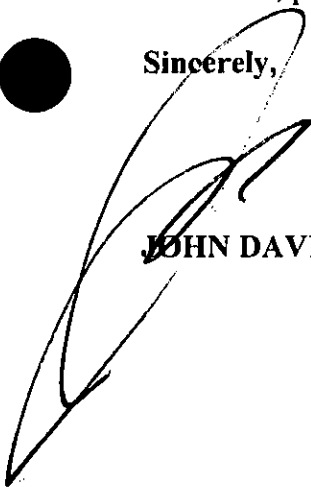
Page 3 of 3

All setbacks and design criteria are further described in the "Master Development Plan Document". There will be approximately half of the site fully landscaped with a desert tolerant plant palette. The project presents an attractive, consistent residential style that is appropriate to the neighborhood.

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,



JOHN DAVID BURKE, ARCHITECT

**11/16/06 PC
ZON-16580**

November 9, 2006

Councilman Steven D. Ross
City Hall – 10th floor
400 Stewart Ave
Las Vegas, NV 89101

NEW VISTA COMMUNITY EXPANSION – YES!

Via fax:
702-464-2556

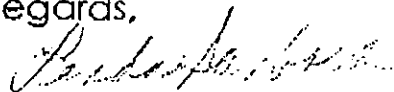
Dear Councilman Ross,

We are parents of a resident at New Vista Ranch, on 7875 North Rainbow Blvd in Ward 6. We are writing to you in support of the New Vista Community expansion plans. New Vista has had a facility in that neighborhood since 1984 providing an independent living facility for the disabled.

They are now ready to expand their facilities providing a much-needed service to the disabled community both young and old.

I strongly urge you to support their application for a zone change being heard by the Las Vegas City Planning Commission on November 16th.

Regards,



Linda J. Sanborn
10243 Andante Court
Las Vegas, NV 89135

Submitted after final agenda

Date 11/13/06 Item #12

November 13, 2006

Councilman Steven D. Ross
City Hall, Tenth Floor
400 Stewart Ave
Las Vegas, NV 89101

RE: NEW VISTA COMMUNITY EXPANSION

Via fax: 702-464-2556

Dear Councilman,

I am a friend of the parents of a resident at New Vista Ranch, on 7875 North Rainbow Blvd in Ward 6. I am writing to you in support of the New Vista Community expansion plans. New Vista has had a facility in that neighborhood since 1984 providing an independent living facility for the disabled.

They are now ready to expand their facilities providing a much-needed service to the disabled community both young and old.

I strongly urge you to support their application for a zone change being heard by the Las Vegas City Planning Commission on November 16th.

Regards,

Jinny Schilling
4445 Regalo Bello St.
LV NV 89135

November 11, 2006

Councilman Steven D. Ross
City Hall, Tenth Floor
400 Stewart Ave
Las Vegas, NV 89101

NEW VISTA COMMUNITY EXPANSION – YES!

Via fax: 702-464-2556

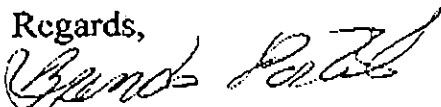
Dear Councilman,

I am a friend of the parents of a resident at New Vista Ranch, on 7875 North Rainbow Blvd in Ward 6. I am writing to you in support of the New Vista Community expansion plans. New Vista has had a facility in that neighborhood since 1984 providing an independent living facility for the disabled.

They are now ready to expand their facilities providing a much-needed service to the disabled community both young and old.

I strongly urge you to support their application for a zone change being heard by the Las Vegas City Planning Commission on November 16th.

Regards,



Brenda Portela
7500 Mountain Quail
Las Vegas, NV. 89131

November 13, 2006

Councilman Steven D. Ross
City Hall, Tenth Floor
400 Stewart Ave
Las Vegas, NV 89101

Via fax: 702-464-2556

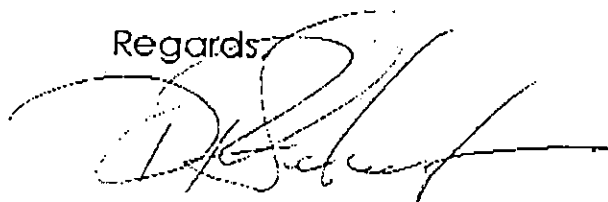
Dear Councilman,

I am a step-parent of a disabled adult living at New Vista Ranch in your Ward. I would very much appreciate your support of their expansion plans. New Vista has provided an independent living facility for the disabled since 1984.

They are now ready to expand their facilities providing a much-needed service to the disabled community both young and old.

I strongly urge you to support their Zone Change Application that will be heard by the Las Vegas City Planning Commission on November 16th.

Regards,

A handwritten signature in black ink, appearing to read 'D. Sanborn', with a long horizontal flourish extending to the right.

Donald R. Sanborn
10243 Andante Ct
Las Vegas, NV 89135

11.13.06

Dear Council Members:

I am the sibling of a resident of New Vista Ranch. My sister, Melissa Lofchie, is 31. She has been fortunate to have lived there for two years. She works off-site during the day at Opportunity Village.

Thanks are due to the individuals who have taken on the building of such facilities. **Not only do residential living facilities for the handicapped help the individual foster an independent lifestyle and feeling of self worth, but they ease the burden on the state to manage their care and provide such opportunities.** It is not an easy task to provide clean, safe and properly supervised housing for challenged individuals.

The expansion of the New Vista Ranch campus to include a facility that can care for Melissa as she grows older is very important. If we do not allow such places to grow and succeed, where will these special citizens go?

We are striving to get the funds through our capital campaign drive; the land is in place through a generous land grant many years ago. The fact that the neighborhood has expanded rapidly, around New Vista Ranch, and the "new" residents don't want our handicapped family members lowering property values is a sad statement on our inclusion policies for the retarded. **PLEASE help this cause and let us protect our children and give them a future as elderly citizens.**

The core issue here must be decided from a humanitarian perspective, not a fiscal one. This is bigger than "property values", it is "people values".

Thank you for your consideration,



Jennifer Sher
9121 Eagle Hills Drive
Las Vegas, NV 89134

November 9, 2006

Councilman Steven D. Ross
City Hall, Tenth Floor
400 Stewart Ave
Las Vegas, NV 89101

Via fax: 702-464-2556

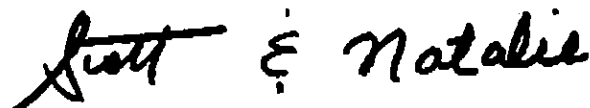
Dear Councilman Ross,

We are residents of Ward 6 and are writing to you in support of the New Vista Community expansion plans. New Vista has had a facility in our neighborhood since 1984 providing an independent living facility for the disabled.

They are now ready to expand their facilities providing a much-needed service to the disabled community both young and old.

I strongly urge you to support their application for a zone change being heard by the Las Vegas City Planning Commission on November 16th.

Regards,

A handwritten signature in black ink that reads "Scott & Natalie". The signature is written in a cursive, flowing style.

Scott & Natalie Gingerich
7253 Lansbrook Avenue
Las Vegas, NV 89131
702-270-0131

Submitted after final agenda

Date 11/16/06 Item #12

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - SDR-16581 - SITE DEVELOPMENT REVIEW RELATED TO GPA-16578 AND ZON-16580 - PUBLIC HEARING - APPLICANT: JOHN DAVID BURKE ARCHITECT - OWNER: NEW VISTA RANCH, INC. - Request for a Site Development Review FOR A PROPOSED TWO-STORY, 56-UNIT ASSISTED LIVING APARTMENT DEVELOPMENT WITH A 43,283 SQUARE-FOOT COMMERCIAL AMUSEMENT/RECREATION (INDOOR) FACILITY, 3,024 SQUARE FEET OF MEDICAL OFFICE SPACE, AND 1,382 SQUARE FEET OF RETAIL SPACE on 15.05 acres at 7875 North Rainbow Boulevard (APN 125-15-501-002), U (Undeveloped) Zone [DR (Desert Rural Density Residential) Master Plan Designation] [PROPOSED: PCD (Planned Community Development) General Plan Designation] [PROPOSED: PD (Planned Development) Zone] Ward 6 (Ross). NOTE: NEW VISTA RANCH, INC. IS THE APPLICANT/OWNER

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

11

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

TRUESDELL – APPROVED subject to conditions and adding the following conditions as read for the record as follows:

- The Site Plan must incorporate the amended design standards set forth in the zoning.
- The site plan shall be revised in accordance with in accordance with the master development and standards agreement as approved.
- **UNANIMOUS** with **DUNNAM** abstaining because he shares property holdings with Architect **JOHN BURKE**

To be heard by City Council on 12/20/2006

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 13 – SDR-16581

MINUTES:

NOTE: See Item 11 [GPA-16578] for all related discussion.

(6:51 – 8:45)

1-1649

CONDITIONS:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for General Plan Amendment (GPA-16578) and Rezoning (ZON-16580) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/30/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: The applicant shall provide an additional 47 trees in the parking lot area; an additional 50 trees in the perimeter landscape buffer along the right-of-way; and an additional 54 trees in an eight-foot wide landscape buffer along the eastern edge of the flood control channel.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 13 – SDR-16581

CONDITIONS – Continued:

8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

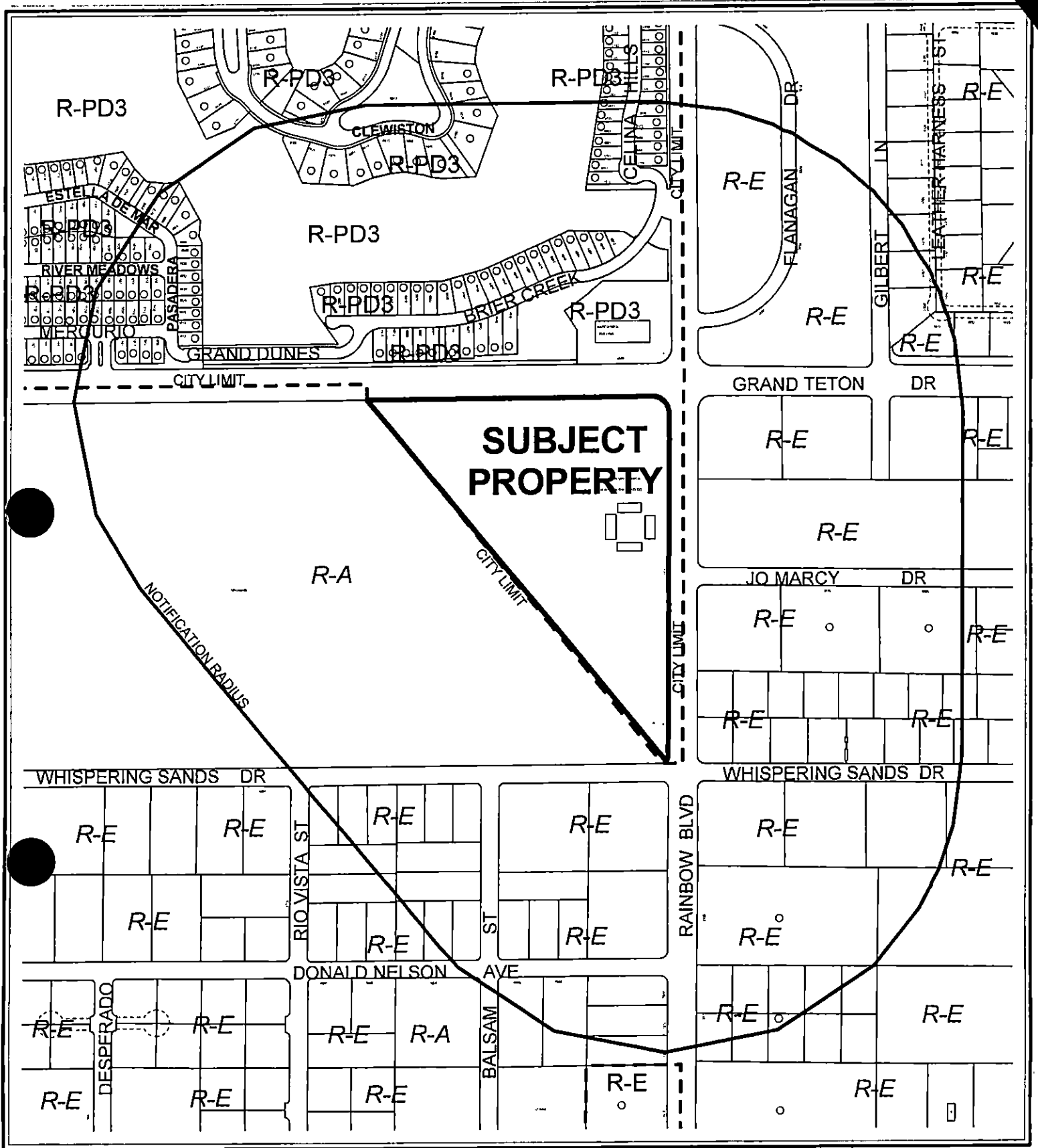
Public Works

13. Gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222a.
14. Landscape and maintain all unimproved rights-of-way, if any, on Grand Teton Drive and Rainbow Boulevard adjacent to this site.
15. Submit an Encroachment Agreement for all landscaping, if any, located in the Grand Teton Drive and Rainbow Boulevard public rights-of-way adjacent to this site prior to occupancy of this site.
16. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 13 – SDR-16581

CONDITIONS – Continued:

17. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
18. Site development to comply with all applicable conditions of approval for ZON-16580 and all other applicable site-related actions.
19. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.



CASE: SDR-16581

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN LAND USE DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY:

P-C (PLANNED COMMUNITY)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - SDR-16581 -****APPLICANT/OWNER: NEW VISTA RANCH, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Approval of and conformance to the Conditions of Approval for General Plan Amendment (GPA-16578) and Rezoning (ZON-16580) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/30/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. The technical landscape plan shall include the following changes from the conceptual landscape plan: The applicant shall provide an additional 47 trees in the parking lot area; an additional 50 trees in the perimeter landscape buffer along the right-of-way; and an additional 54 trees in an eight-foot wide landscape buffer along the eastern edge of the flood control channel.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

SDR-16581 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222a.
14. Landscape and maintain all unimproved rights-of-way, if any, on Grand Teton Drive and Rainbow Boulevard adjacent to this site.
15. Submit an Encroachment Agreement for all landscaping, if any, located in the Grand Teton Drive and Rainbow Boulevard public rights-of-way adjacent to this site prior to occupancy of this site.
16. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

SDR-16581 - Conditions Page Three
November 16, 2006 - Planning Commission Meeting

17. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
18. Site development to comply with all applicable conditions of approval for ZON-16580 and all other applicable site-related actions.
19. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

SDR-16581 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed development will consist of a 56-unit assisted living complex attached to a large community recreation facility. The overall floor area of the entire development is proposed to be 143,498 square feet. The community recreational facility will consist of several uses including a pool, gymnasium, snack bar, banquet facility, beauty salon, and a craft shop and would be used by the residents of this assisted living facility and which are to be used by the residents of other similar facilities operated by the same group. This facility would not be open to the general public.

The proposed development is considered inappropriate for the area as it is out of scale with surrounding development. The facility would generate a large amount of traffic. The surrounding area is primarily single-family residential and this facility would have similar characteristics to that of a commercial development. Denial of this project is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
10/19/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) were held in abeyance.
11/16/06	Companion items for a General Plan Amendment (GPA-16578) and a Rezoning (ZON-16580) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There is an active business license on the property for a homeless shelter/rescue mission.	
<i>Pre-Application Meeting</i>	
06/01/06	A pre-application meeting was held. It was noted that a drainage study, off-site improvements, and a neighborhood meeting would be required. Trails may be required.
<i>Neighborhood Meeting</i>	
09/26/06	A neighborhood meeting was held at Silverstone Golf Club, 8600 Cupp Drive, Las Vegas, Nevada. In attendance were five members of the applicant's team, a Council liaison, one staff member, and 17 members of the public. The following concerns were raised: • There should be no retail or commercial uses on the site • The facilities should not be rented to the general public • Financial support for the facility (and whether they would need to add commercial uses to support the operating costs of the facilities) • The height of the structures are excessive and don't fit in with the rural neighborhood

SDR-16581 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

	- Concerns about the number of driveways/traffic on Rainbow - Residents would prefer to see the number of parking spaces reduced - The parking lot shouldn't be paved - it should be left in a natural state so that it blends in with the rural character of the neighborhood - Concerns about drainage across the site and the existing drainage problems at Rainbow and Whispering Sands The applicant agreed to the following: - Only the gym will be 35' high; all other structures will be under 30' high - Buildings will have a residential appearance - Main access to the site will be from Grand Teton, with overflow access from Rainbow - The applicant will submit a Variance application for a 50% parking reduction - The trail feature along Rainbow will be increased to 25' in width to allow horse path per City approval - Parking lot light will be low-intensity, downward-directed fixtures with the height of the fixtures as low as the City will allow - The applicant will request that there be no street lighting (rural standards), subject to Public Works and City approval - The applicant will attempt to architecturally reduce the massing of the community center/recreation center - Any change in use will require a full public hearing/notification process
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Details of Application Request

Site Area

Gross Acres	15.05
Net Acres	14.80

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Undeveloped Homeless Shelter	DR (Desert Rural Density Residential)	U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]
North	Single-Family Residential	PCD (Planned Community Development)	R-PD3 (Residential Planned Development - 3 Units Per Acre)
South	Undeveloped	Clark County (RNP)	Clark County
East	Undeveloped	Clark County (RE) and (RNP)	Clark County
West	Orchard	Clark County (RE)	Clark County

NG

SDR-16581 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		
PD Planned Development District	X		Y
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Per Title 19.06 the following Development Standards are proposed:

<i>Standard</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	655,314 SF	Y
Min. Lot Width	993 Feet	Y
Min. Setbacks		
• Front	20 Feet	Y
• Side	56 Feet	Y
• Corner	53 Feet	Y
• Rear	N/A	N/A
Min. Distance Between Buildings	14 Feet	Y
Max. Lot Coverage	15.9 %	Y
Max. Building Height	35 Feet	Y
Trash Enclosure	Two	Y
Mech. Equipment	Screened	Y

<i>Existing Zoning</i>	<i>Permitted Density</i>	<i>Units Allowed</i>	<i>Proposed Zoning</i>	<i>Permitted Density</i>	<i>General Plan</i>	<i>Permitted Density</i>
U (Undeveloped) [DR (Desert Rural Density Residential) land use designation]	2.49 Units Per Acre	37 Units under the current designation	PD (Planned Development)	8 Units Per Acre	PCD (Planned Community Development)	8 Units Per Acre 120 units under the proposed designation

SDR-16581 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

<i>Landscaping and Open Space Standards</i>		
<i>Standards</i>	<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	
Parking Area	42 Trees	N
Buffer:	59 Trees	N
Min. Trees	Zero Trees	N
TOTAL	101 Trees	N
	10 Feet	Y
Min. Zone Width	8 Feet	Y

Pursuant to Title 19.10, the following parking standards apply:

As such to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Assisted Living	56 Units	1 Space per 3 Residents	19				
Residence	4 Units	2 Spaces per Unit	8				
Community Recreational Facility and Additional Uses	83,681 SF	1:200	419				
Subtotal			446	9	533	9	Y
TOTAL			446		533*		Y

* The parking lot will consist of 290 spaces with a chat surface. Per Title 19.10 these are not typically counted toward the total parking as the surface is not paved. However, the applicant has requested this surface as part of their development agreement. Staff does not support this request.

ANALYSIS

The proposed planned development calls for a 56-unit assisted living complex and a large community recreational facility. The community recreational facility will have several uses including a gymnasium (10,796 SF), pool with a snack bar and locker rooms (19,876 SF), craft studio (10,582 SF), beauty salon (1,154 SF), medical and corporate offices (16,609 SF). The total floor area of the buildings will be 143,498 square feet. The applicant has stated in their development agreement that the site is not open to the general public.

SDR-16581 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

The proposed development requires several revisions to the landscape plan. There shall be no landscaping permitted in the 50-foot flood control channel at the request of Flood Control and the Department of Public Works. If approved conditions have been added requesting the applicant provide additional trees in the parking lot area to meet Title 19.12 requirements. Trees shall be added along the entire perimeter adjacent to the right-of-way, placed 20 feet on center. An eight-foot wide landscape buffer shall be provided along the eastern edge of the flood control channel, this buffer shall contain trees placed 30 feet on center.

The proposed development will consist of stucco cultured stone, and a metal roof. The color palate includes white/off white stucco with custard, rose, and hemlock green accents. These materials and colors are acceptable for the area and the City of Las Vegas.

The proposed project is situated in an area that is primarily single-family residential development. A development of this magnitude is considered inappropriate for the area. There will be a significant effect on the area in terms of increased traffic and the sheer size of the development in relation to surrounding development. The proposal calls for 54 percent of the parking to be on a chat surface. Although this is overflow parking, this is not supported as during the special events there would be a large amount of traffic flow on this surface and the potential for dust problems would be an issue.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The proposed development is considerably larger and more intense than any other development in the vicinity. The surrounding neighborhood is primarily single-family residential development and the addition of a 56-unit assisted living center and a large community recreational facility is considered out of character with the area.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development requires General Plan Amendment and Rezoning applications and does not meet the intent of the General Plan. Additionally the project does not meet landscaping requirements as designed. Conditions of approval have been added regarding the landscaping. It is also noted that a development of this nature that is not located in a PD (Planned Development) District would not be permitted to use a non-paved surface for the majority of its parking lot area.

SDR-16581 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access from Grand Teton Drive a 120-foot Parkway Arterial. This street will provide adequate access to and from the proposed development. A secondary point of ingress/egress is provided from Rainbow Boulevard. This access point is proposed to be gated and will only be used for special events.

- 4. Building and landscape materials are appropriate for the area and for the City;**

Building materials will include stucco and stone. These materials are appropriate for the area and the City of Las Vegas. Landscape materials will include trees and shrubs that meet City of Las Vegas requirements.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Building elevations show structures with a maximum height of 35 feet. The architectural design is intended to be reminiscent of the "Colorado Rockies Western" area. While the design of the project will be aesthetically pleasing it is noted that the sheer mass of the buildings is out of scale with development in the area and is considered inappropriate.

- 6. Appropriate measures are taken to secure and protect the public health, safety and general welfare;**

The proposed development would not endanger the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

8

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 138 [Mailed with GPA-16578 & ZON-16580]

APPROVALS 0

PROTESTS 0





STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-16581** APN: 125-15-501-002
Name of Property Owner: NEW VISTA RANCH, INC.
Name of Applicant: JOHN DAVID BURKE ARCHITECT

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

~~X~~ Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: SAMUEL DUNHAM PLANNING COMMISSIONER

Partner(s): JOHN DAVID BURKE, BAAD INVESTMENTS, LLC

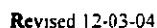
APN: 162-32-202-009

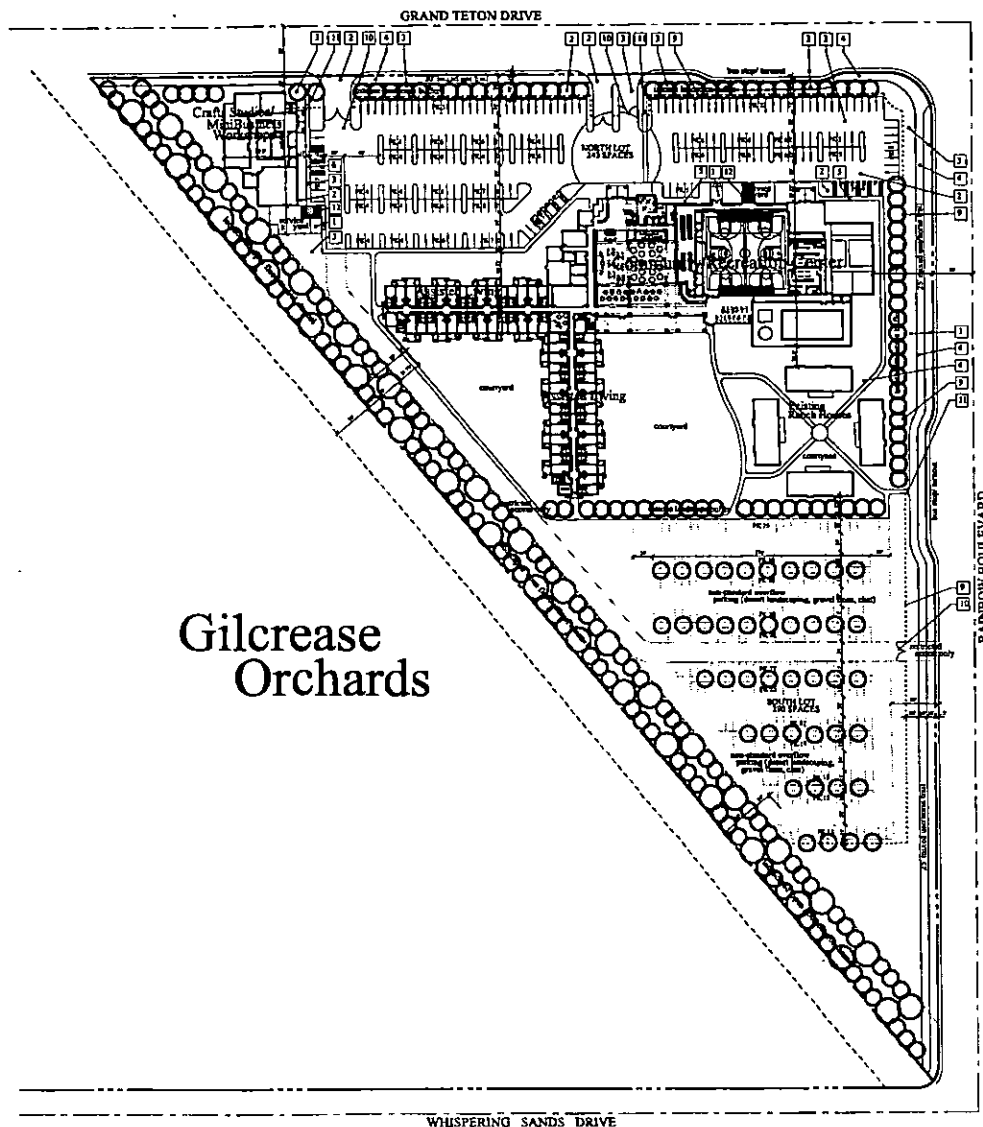
Signature of Property Owner: JOHN FRANK BURKE, MANAGING PARTNER
Print Name: EXAD INVESTMENTS, LLC

Subscribed and sworn before me

This 6th day of September, 2006

Aimee R.
Notary Public in and for said County and State





① CONCEPTUAL SITE & LANDSCAPING PLAN
SCALE: 1" = 60'-0"

RECEIVED
OCT 30 2006

GPA-16578 ZON-16580
SDR-16581 11/16/06 PC

REVISED

KEYNOTES

#	Description
1	8" STIFF CONCRETE BLOCK TRASH ENCLOSURE WITH PAIR OF STEEL TUBE GATES WITH STAMPED METAL BACKING AND LEFT FOR LOCK/LATCH
2	2" A.C. PAVING
3	LANDSCAPED AREA - BY OTHERS
4	SIDEWALK CURB & GUTTER
5	4" CONCRETE SIDEWALK W/LOCKSALE T FINISH
6	FLUSH OUT SIDEWALK WITH PAVING FOR HANDICAP ACCESS
7	HANDICAP ACCESS AISLE
8	HANDICAP ACCESSIBLE ROUTE
9	DECORATIVE FENCE/WALL
10	DECORATIVE AUTOMATIC GATES
11	DECORATIVE MAIN GATE
12	15' x 25' LOADPAD ZONE

PROJECT DATA

EXISTING ZONING:	GP-DRAU ZONING
REQUIRED ZONING:	GP-LPD ZONING
EXISTING USE:	RESIDENTIAL HOUSING
PROPOSED USE:	ASSISTED LIVING/COMMUNITY RECREATIONAL CENTER

AREA SUMMARY:

	AREA
ASSISTED LIVING APARTMENT:	49,913 S.F.
EXISTING RESIDENTIAL HOUSING:	6,905 S.F.
COMMUNITY B.C. CENTER:	73,000 S.F.
MDI-BUSINESS/WORKSHOP:	10,782 S.F.
TOTAL BUILDING AREA:	140,599 S.F.

PARKING SUMMARY:

	FACTOR	NO.
SENIOR CITIZEN APT.	1 UNIT = 1 CLEVELY'S UNITS	68
RESIDENTIAL HOUSING:	21.00	8
COMMUNITY B.C. CENTER:	1,700 C/F	366
MDI-BUSINESS/WORKSHOP:	1,750 C/F	43
TOTAL PARKING REQUIRED:		481

PARKING PROVIDED:	535 SPACES (143 STANDARD SPACES) (392 NON-STANDARD SPACES)
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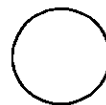
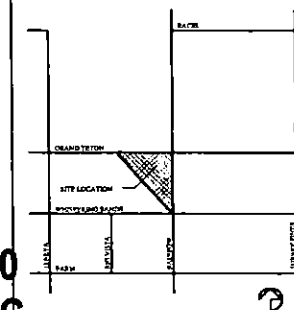
TOTAL SITE AREA:	651,314 S.F. (15.03 A.C.) - net 775,968 S.F. (17.81 A.C.) - gross
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BUILDING FOOTPRINT:	104,249 S.F.
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BUILDING COVERAGE:	15.9%
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APN: 125-155-01-002

LOCATION



REVISIONS
1. 11/16/06

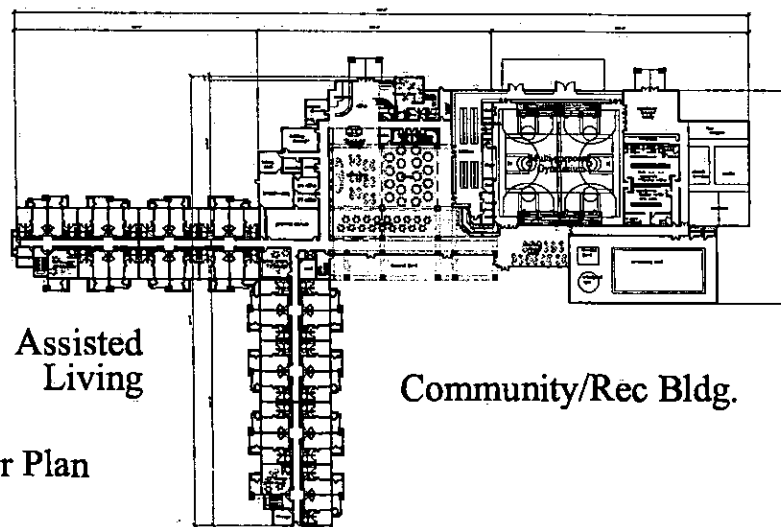
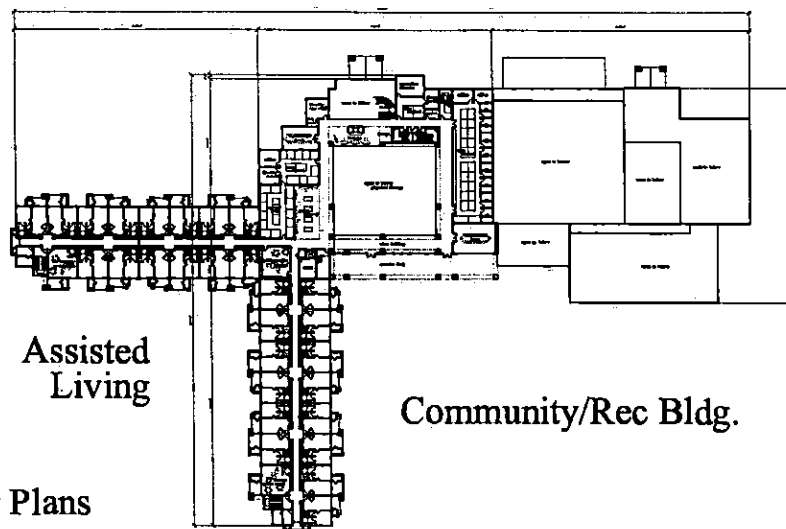
jon
dunne, architect

1111 W. CORNELL RD., SUITE 100, LAS VEGAS, NV 89115 (702) 734-1100

New Vista Community
Assisted Living Residential Unit/
Community & Recreational Center
City of Las Vegas, Nevada

date	proj. no.	drawn by	checked by
11/16/06	1111	jon	jon

sheet no.
A1



1 FLOOR PLANS
SCALE: 1" = 40'-0"

Area Summary

AL: ASSISTED LIVING APARTMENTS (56 UNITS) 49,912 S.F.

Wk: CRAFTS STUDIOS/ MiniBusiness Workshops 10,582 S.F.

1st FLOOR COMMUNITY/REC CENTER

A: LOBBY/RECEPTION/DINING MULTIPURPOSE/BREAKFAST 14,429 S.F.
B: BEAUTY SALON 1,154 S.F.
C: PHYSICAL THERAPY/OT/ HOUSEKEEPING/OFFICES 5,493 S.F.
D: KITCHEN 4,742 S.F.
E: MULTI-PURPOSE GYMNASIUM 10,796 S.F.
F: POOL/FITNESS/LOCKER ROOMS SNACK BAR/LOBBIES 19,876 S.F.

SUBTOTAL: 56,490 S.F.

2nd FLOOR COMMUNITY/REC CENTER

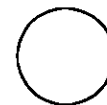
G: NURSING/CARE STAFF OFFICES 5,823 S.F.
H: CORPORATE OFFICES 10,786 S.F.

SUBTOTAL: 16,609 S.F.

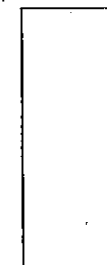
COMMUNITY/REC CENTER BLDG. TOTAL: 73,099 S.F.

GRAND TOTAL NEW BUILDING AREA: 133,593 S.F.

RECEIVED
OCT 30 2006



jon
can
dunke. arnica
3471 W. QUINN RD. SUITE 100 LAS VEGAS, NV 89119 (702) 734-4443



New Vista Community
Assisted Living Residential Units/
Community & Recreational Center
City of Las Vegas Nevada

date: 11/16/06
proj. no.: 11/16/06 PC
dwn. by: A2
chkd. by:

steel no.: A2

GPA-16578 ZON-16580
SDR-16581 11/16/06 PC
REVISED

KEYNOTES

#	description
1	SYNTHETIC STUCCO FINISH SYSTEM OPERATIONS AND REPAIRS
2	ALUMINUM STOLEIGHT DOOR OR WINDOW
3	CULTURED STONE VENTERS
4	STUCCO FINISH
5	STANDING SEAM METAL ROOF
6	DECORATIVE METAL RAILING
7	ROLL UP METAL DOOR

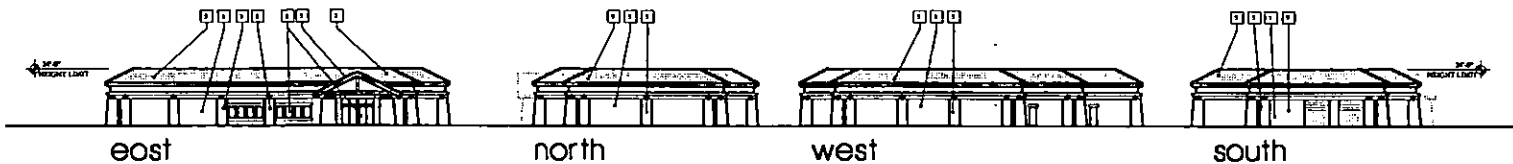
revisions
AKK

jon
odile
burne. architect
341 W. OGDEN ROAD #11 LAS VEGAS, NV 89102 (702) 444-1443

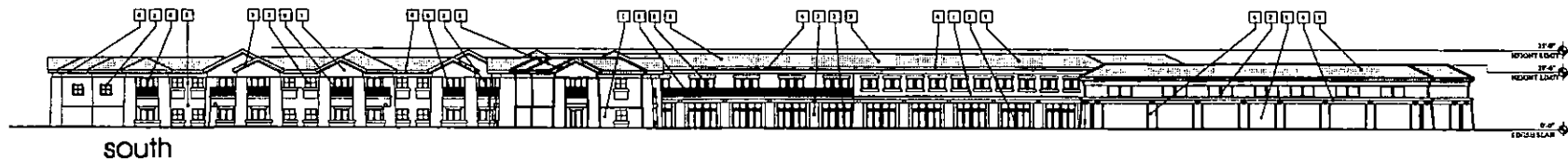
New Vista Community
Assisted Living Residential Units/
Community & Recreational Center
City of Las Vegas Nevada

date
proj. no.
drawn by
chkd. by

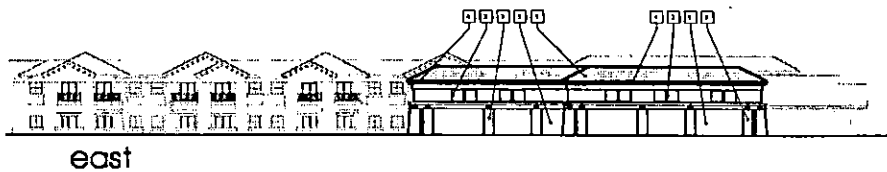
sheet no.
A3



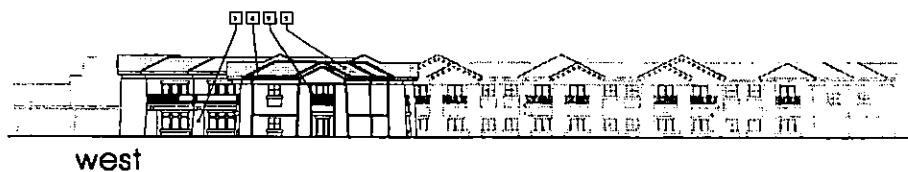
MiniBusiness Workshops



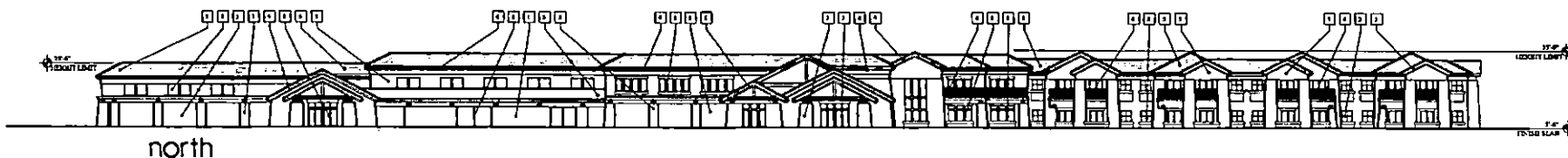
south



east



west



north

Community/Recreation Building & Assisted Living

1 ELEVATIONS
SCALE: 1" = 20'-0"

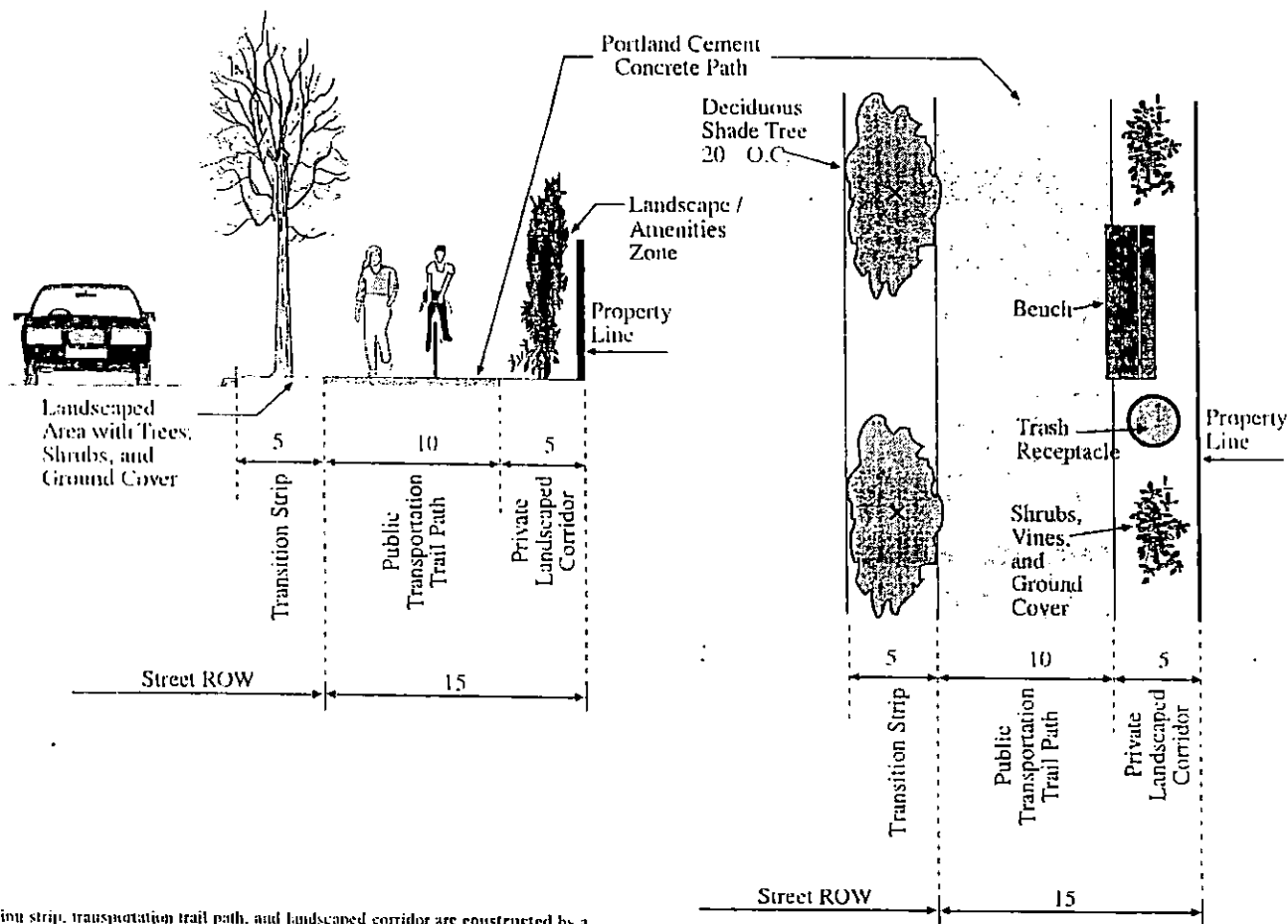
GPA-16578 ZON-16580 OCT 30 2006
SDR-16581 11/16/06 PC

REVISED

Exhibit I

Multi-Use Transportation Trail

Adopted January 16, 2002



Notes:

The transition strip, transportation trail path, and landscaped corridor are constructed by a developer; the landscaped corridor is established as a common lot and owned by an adjacent property owner or homeowners association; the transportation trail path is dedicated to the City; the transition strip, transportation trail path, and landscaped corridor are maintained by an adjacent maintenance or homeowners association.

REVISED
SEP 27 2006

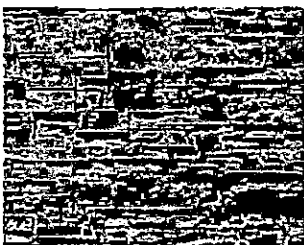
11/16/06 PC
GPA-16578 ZON-16580
SDR-16581 REVISED



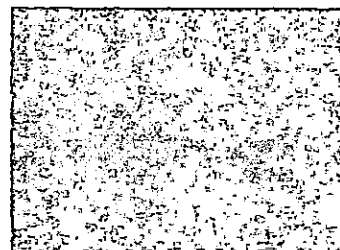
Berridge Standing Metal Seam Roof
Color: Hemlock Green



Paint Color:
'Frazee' Paint "8385D Brick Rose"



Split Faced CMU : Cultured Stone
Shale Pro-Ft Ledgesone (PF-8016)



Stucco Finish

Accents / Plant-ons
'Frazee' Crystal Ball - 8780W

Accents
'Frazee' - Custard

Storefront: White Kynar

Glass: Evergreen Tint

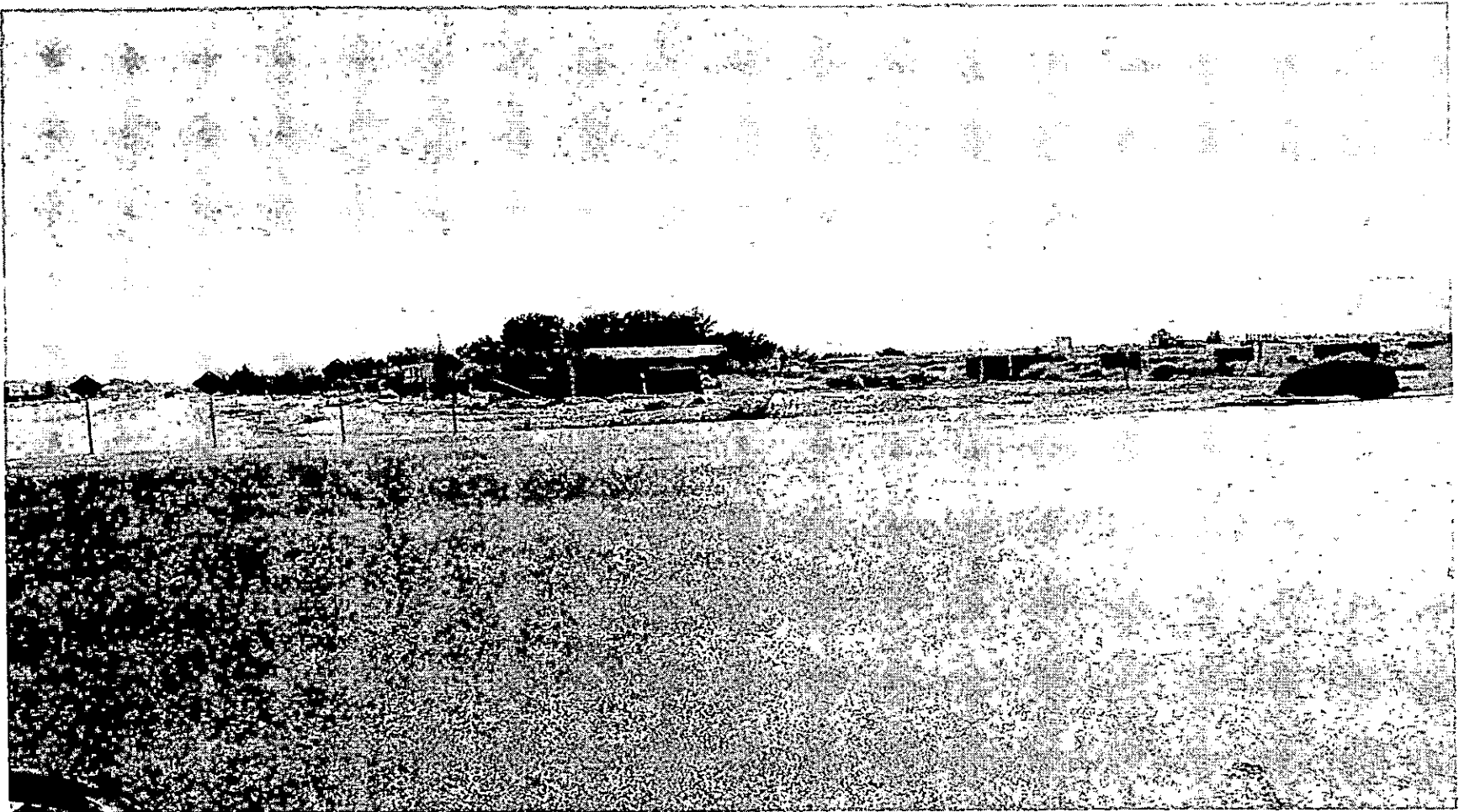
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SEP 27 2006

NEW VISTA COMMUNITY

GPA-16578 ZON-16580
SDR-16581 REVISED
11/16/06 PC

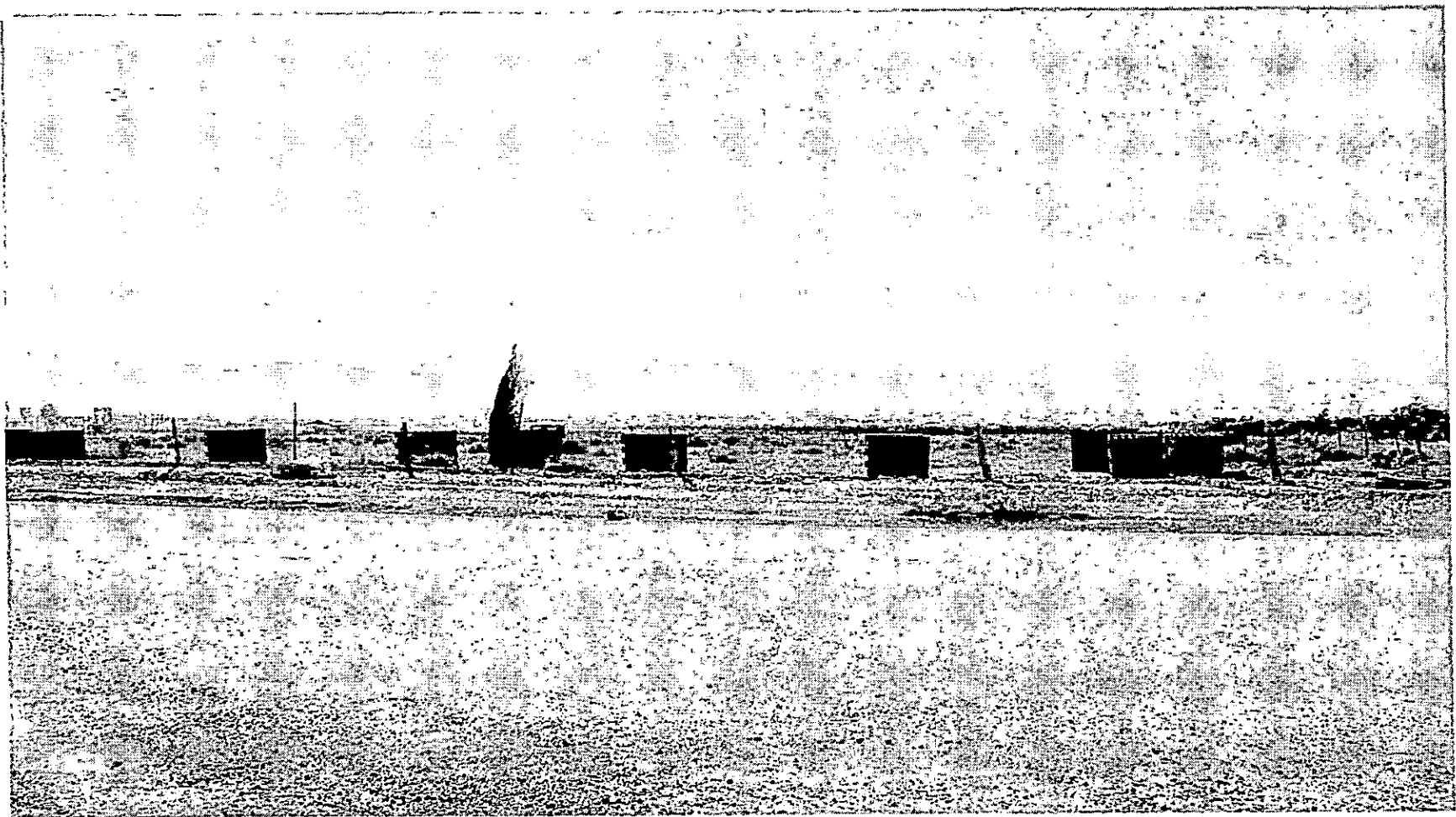
SDR 16581				
John David Burke Architect				
SWC Grand Teton & Rainbow				
Proposed 84.363 thousand square foot recreational/community center.				
Traffic produced by proposed development:				
New Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RECREATIONAL COMM CTR [1000SF]	84.363	22.88	1,930
AM Peak Hour			1.62	137
PM Peak Hour			1.64	138
(heaviest 60 minutes)				
Previous Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	ASSISTED LIVING [BEDS]	56	2.66	149
AM Peak Hour			0.14	8
PM Peak Hour			0.22	12
(heaviest 60 minutes)				
Net Change	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RECREATIONAL COMM CTR [1000SF]	84.363		2,079
AM Peak Hour				145
PM Peak Hour				151
(heaviest 60 minutes)				
Existing traffic on all nearby streets: Counts not available for Rainbow Boulevard in this location				
Grand Teton Drive				
Average Daily Traffic (ADT)	5,437			
PM Peak Hour	435			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Grand Teton Drive	51700			
This project will add approximately 2,079 trips per day on Grand Teton and Rainbow. Note that this is based on the trip generation for a standard recreational community center. The actual proposed use is expected to				

generate substantially less traffic than shown. This will increase expected			
volumes by about 38 percent on Grand Teton. Grand Teton at about 11			
percent of capacity. Counts are not available for Rainbow in this vicinity,			
but it is believed to be under capacity.			
Based on Peak Hour use, this development will add roughly 151 additional			
cars into the area; which works out to about five every two minutes.			
Note that this report assumes all traffic from this development uses all named streets.			



GPA-16578, ZON-16580 & SDR-16581 - APPLICANT/OWNER: NEW VISTA RANCH, INC.
7875 NORTH RAINBOW BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

09/15/06



GPA-16578, ZON-16580 & SDR-16581 - APPLICANT/OWNER: NEW VISTA RANCH, INC.
7875 NORTH RAINBOW BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

09/15/06



GPA-16578, ZON-16580 & SDR-16581 - APPLICANT/OWNER: NEW VISTA RANCH, INC.
7875 NORTH RAINBOW BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

09/15/06

September 5, 2006

**CITY OF LAS VEGAS
DEPARTMENT OF PLANNING & DEVELOPMENT**
731 South Fourth Street
Las Vegas, Nevada 89101

**Re: Justification Letter – General Plan Amendment – DR to PCD
Zone Change – U to PD
Site Plan Development Review
Variance to reduce required parking**

**New Vista Community
Assisted Living Apartments
Community and Recreation Center
SW corner Rainbow and Grand Teton
Tax Assessor's Parcel No.: 125-15-501-002**

Overview

The plans and documents we are submitting today for your review depict proposed assisted living apartments (56 units) and a proposed community/recreation center. This is a 15.05 net acre, 17.81 gross acre site on the southwest corner of Rainbow Boulevard and Grand Teton Drive in the City of Las Vegas.

General Plan Amendment (DR to PCD) and Rezone (U to PD)

The is a request to amend the General Plan from DR (Desert Rural – 2 residential units per acre) to PCD (Planned Commercial District) and rezone from district U (Undeveloped) to PD (Planned Development). The range of uses being requested (see section 3.4 of the "Master Development Plan Document" for full description) requires the PD rezone and the PCD General Plan designation. The density of residential units being requested is 4.93 DUA.

Per the intent of the PD zoning district and PCD General Plan designation, the goals of this project are to permit and encourage comprehensively planned developments whose purpose is redevelopment, economic development, cultural enrichment, or to provide a single purpose or multi-use planned development. The General Plan Amendment of property to the PCD

**SDR-16581
11/16/06 PC**

designation and the PD zoning may be deemed appropriate if the development if the development proposed can accomplish one or more of the following goals:

1. **Providing for an orderly and creative arrangement of land uses that are harmonious and beneficial to the community.**
2. **Providing for flexibility in the distribution of land uses, in the density of development, and in other matters typically regulated in zoning districts.**
3. **Providing for cultural, civic, educational, medical, religious or recreational facilities, or any combination thereof, in a planned or a unique setting and design.**
4. **Promoting or allowing development to occur in accordance with a uniform set of standards, which reflect the specific circumstances of the site.**
5. **Avoiding premature or inappropriate development that would result in incompatible uses or would create traffic and public service demands that exceed the capacity of existing or planned facilities.**
6. **Encouraging area sensitive site planning and design.**

Contribution to the health, safety and general welfare of the community and providing development, which is compatible with the City's goals and objectives

We believe these goals will be met by the proposed project as described in the "Master Development Plan Document".

Site Plan Development Review

The documents submitted depict a one and two story residential project with community and recreational facilities. All of the buildings are designed with consistent "Western" detail –

- | | | |
|----|-----------------|--|
| 1. | Exterior Walls: | Stucco, Stone veneer, Painted concrete tilt-up walls,
Split face masonry |
| 2. | Glazing: | Green reflective/tinted glass |
| 3. | Roofing: | Existing sloped roof s are to remain as is
New sloped roofs to be concrete tile
New flat roof are to be built-up roofing |

**SDR-16581
11/16/06 PC**

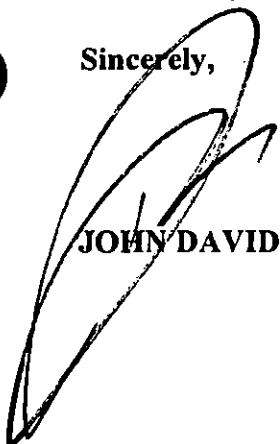
Page 3 of 3

All setbacks and design criteria are further described in the "Master Development Plan Document". There will be approximately half of the site fully landscaped with a desert tolerant plant palette. The project presents an attractive, consistent residential style that is appropriate to the neighborhood.

Otherwise, these plans are consistent with the master plan and with the requirements of City of Las Vegas Zoning Code.

We respectfully request your consideration in this matter. If you have any questions or comments, please call.

Sincerely,



JOHN DAVID BURKE, ARCHITECT

**SDR-16581
11/16/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - ZON-16179 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Rezoning FROM: R-3 (MEDIUM DENSITY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), Ward 1 (Tarkanian). NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the December 7, 2006 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

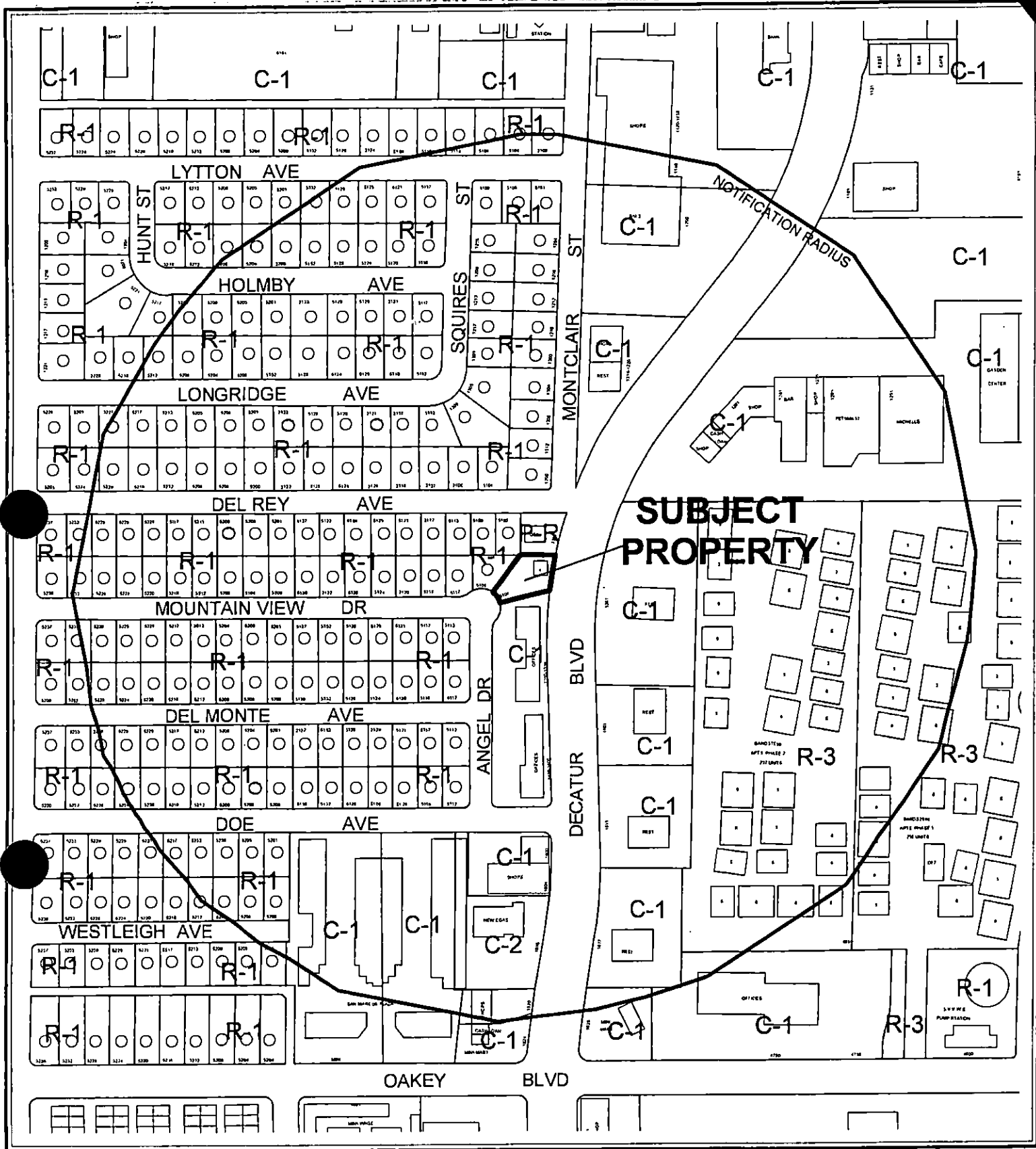
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and WITHDRAW WITHOUT PREJUDICE Item 37 [SUP-17204] and Item 38 [SDR-17205] – UNANIMOUS with DUNNAM excused

MINUTES:

MR. RANKIN stated that Items 14 through 17 were requested by the applicant to be held in abeyance to 12/07/2006; however, staff requested the items be abeyed to 12/21/2006 to allow ample time to review any plan revisions and notice the public appropriately.

(6:04 – 6:07)

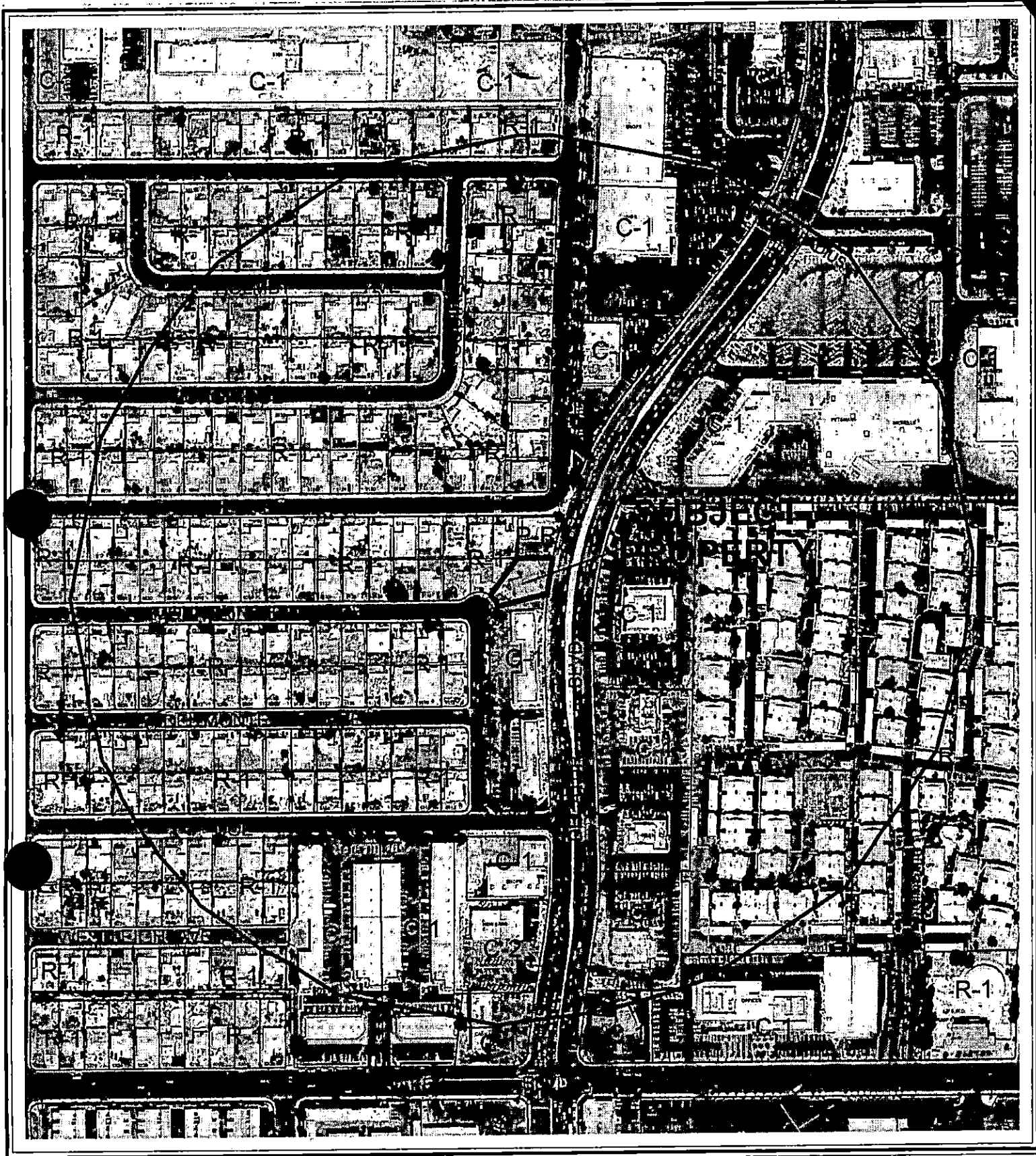


CASE: **ZON-16179**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



CASE: **ZON-16179**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - ZON-16179 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE DECEMBER 7, 2006
PLANNING COMMISSION MEETING***

D.J.R. CONSTRUCTION, INC.

NV Lic. # 55636

General Contracting and Construction Mgmt.

October 30, 2006

City Of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

/ Rob Lavrent

Re: Zon-16179 - Rezoning /SDR-16180/Variance 16181 /1333 Angel Drive

and Var. -17191 DJR.

To Whom It May Concern,

Pursuant to the telephone call we received from your office today indicating the necessity of an address change on the subject applications, for correct public notification purposes, to the subject property to match the county tax assessor's records showing this property address as 5104 Mountain View Drive, we acknowledge this. As well, we acknowledge that this agenda item will now be held until the ~~November 16th~~, 2006 Planning Commission Meeting. We will come down and make the changes to the applications in your office.

If you have any other requirements or questions of us, please do not hesitate to contact the undersigned.

*December 7th, 2006**DJR*

Sincerely,

DJR

David J. Roberts
President
D.J.R. CONSTRUCTION, INC.
Lic. #55636, Limit: \$750,000

w/ attachment

cc: Peter Chang, Yan Yin

8255 Hickam Ave. · Las Vegas, NV 89129 · (702) 210-8143 · Fax (702) 396-6868



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number **ZON-16179** APN: *163-01-612-039*

Name of Property Owner: Peter Chung & Yin YAN

Name of Applicant: peter cheng & Yin YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

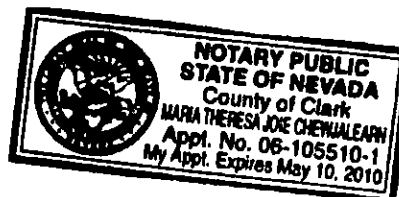
Signature of Property Owner: Yinger Robert

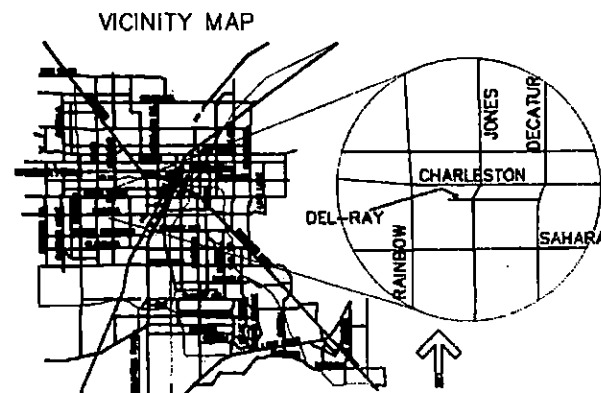
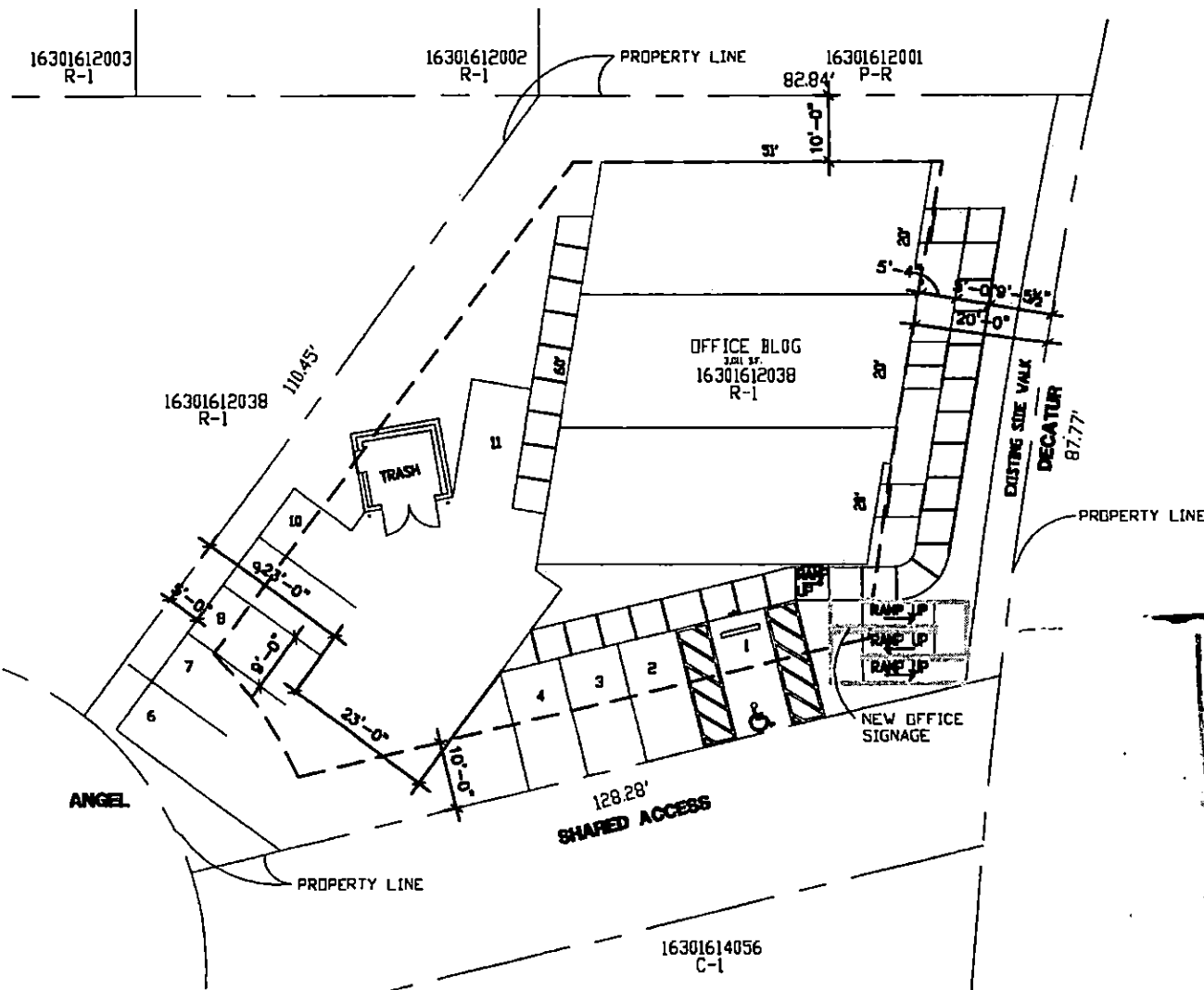
Print Name: Yin Yan & Peter chng

Subscribed and sworn before me

This 21 day of August, 2001

Notary Public in and for said County and State





PROJECT SUMMARY

SITE	
SITE AREA:	PHASE 1 8.55 ACRES (372,412 SQ. FT.)
PARCEL NUMBERS:	PHASE 1 135-27-EC2-C04
CURRENT ZONING:	LIMITED COMMERCIAL C-1
LOT COVERAGE BY BUILDING FOOT PRINT: (MAXIMUM)	50%
ALLOWABLE	
SETBACKS	
FRONT YARD:	20 FEET
SIDE YARDS:	10 FEET
REAR YARDS:	20 FEET
BUILDING HEIGHT ALLOWED:	NONE

BUILDING OCCUPANCY

ONE STORY OFFICE	2,000 sq. ft.
MAXIMUM CAPACITY:	31 PEOPLE

PARKING

PHASE 1:	
TOTAL PARKING REQUIRED	3,011/300 = 10 SPACES
1 SPACE FOR EVERY 300 S.F.	260 SPACES
TOTAL:	(1 SPACES)
(HANDICAP SPACES)	
TOTAL PARKING PROVIDED	
PARKING SPACES	(11 SPACES)
(HANDICAP SPACES)	(1 SPACES)

SITE PLAN

ANGEL OFFICE



North



GRAPHIC SCALE IN FEET

LENDALL MAINS
ARCHITECT
3000 10th Avenue
N.W.
Atlanta, GA 30309
(404) 525-1100

SHEET No.

AS-1

DATE: 8/21/06

SEP 14 2006

ZON-16179 VAR-16181
SDR-16180 REVISED
11/16/06 PC

LENDALL MAINS ARCHITECT

August 21, 2004

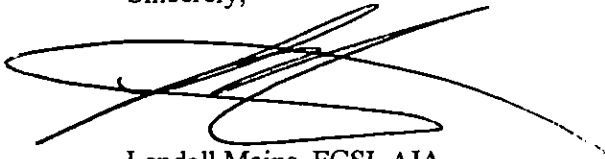
Doug Rankin, Planner
City of Las Vegas
731 S. 4th St.
Las Vegas, NV 89101

RE: 1333 Angel Drive
Request for Zoning Change, Site development, landscape wavers and trash and building variance.

Please accept this letter as justification for re-zoning changes to A.P.No. 163-016-120-38. We are also requesting perimeter landscape and parking landscape wavers and a variance for trash enclosure location and front pediment height at Decatur side of building.

We request that A.P. No. 163-016-120-38 be re-zoned from R-3 to C-1 Commercial which compliments the c-1 zoning to the property directly south that joint access is shared with. We are also changing the entry to the site from Angel Drive which is residential to Decatur Boulevard. We will comply with all C-1 requirements on the parcel except as follows. We are requesting that the following items be approved due to this being a small, odd shaped lot; parking and perimeter landscape will be provided as shown with a waiver for widths; variance to have trash enclosure next to the adjacent C-1 parcel to keep the trash from being back by the adjacent residence; and a height variance for the front center parapet pediment that is along Decatur Boulevard from 18'-9" to 25'-9".

Sincerely,



Lendall Mains, FCSI, AIA
Principal

ZON-16179 VAR-16181
SDR-16180 11/16/06 PC

3930 E. Patrick Lane, Ste. 1
Las Vegas NV 89120
(702) 437-5621 Phone
(702) 437-5623 Fax

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006**DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR:** M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION****SUBJECT:**

ABEYANCE - RENOTIFICATION - VAR-16181 - VARIANCE RELATED TO ZON-16179 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Variance TO ALLOW A RESIDENTIAL ADJACENCY SETBACK OF 56.25 FEET WHERE 77.25 FEET IS THE MINIMUM REQUIRED AND TO ALLOW A TRASH ENCLOSURE TO BE PLACED 6 FEET FROM RESIDENTIAL PROPERTY WHERE 50 FEET IS THE MINIMUM on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (MEDIUM DENSITY RESIDENTIAL) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian). **NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE**

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the December 7, 2006 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

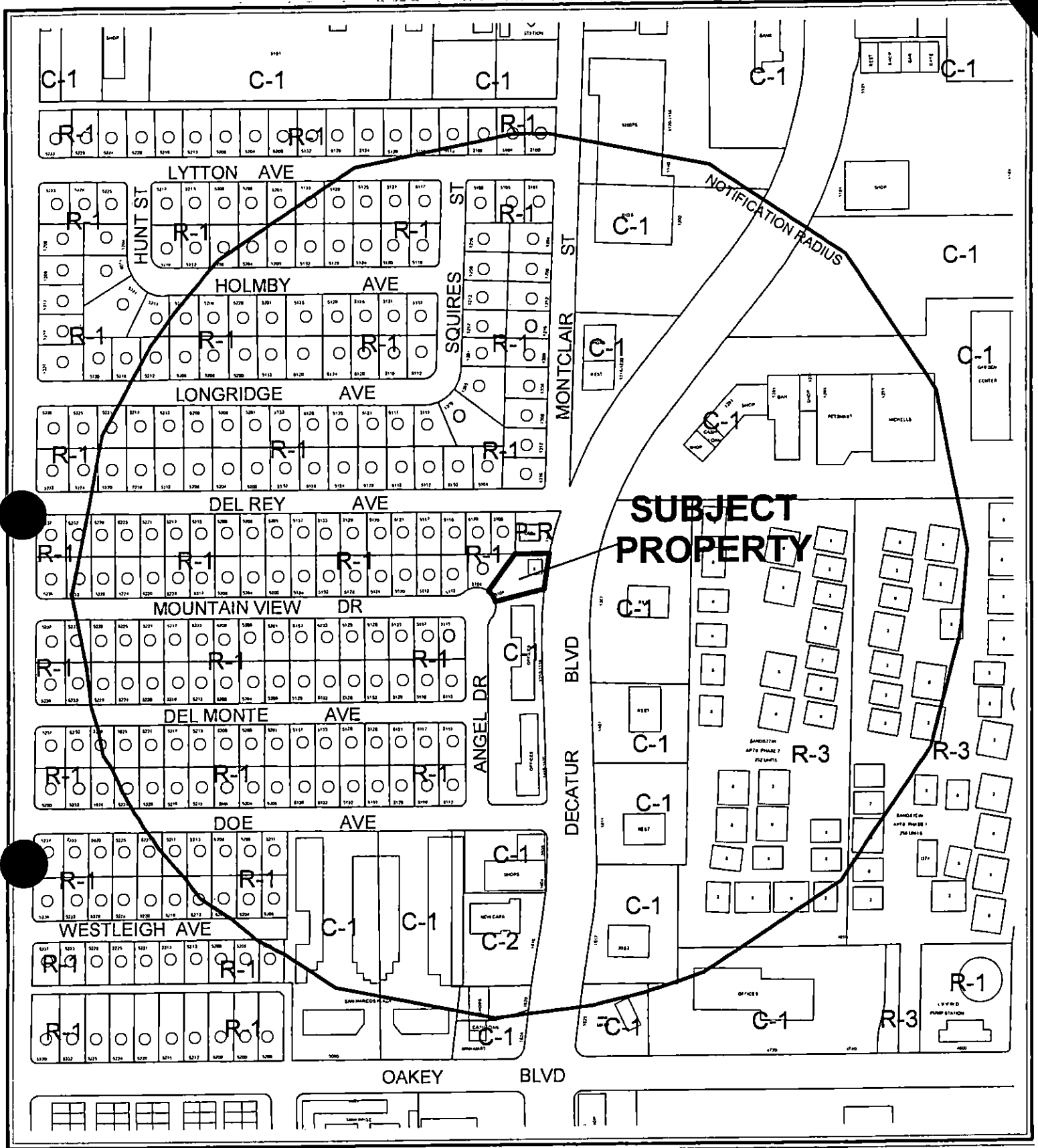
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and **WITHDRAW WITHOUT PREJUDICE** Item 37 [SUP-17204] and Item 38 [SDR-17205] – **UNANIMOUS** with DUNNAM excused

MINUTES:

MR. RANKIN stated that Items 14 through 17 were requested by the applicant to be held in abeyance to 12/07/2006; however, staff requested the items be abeyed to 12/21/2006 to allow ample time to review any plan revisions and notice the public appropriately.

(6:04 – 6:07)



CASE: **VAR-16181**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-16181 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE DECEMBER 7, 2006
PLANNING COMMISSION MEETING***

D.J.R. CONSTRUCTION, INC.

NV Lic. # 55636

General Contracting and Construction Mgmt.

October 30, 2006

City Of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

/ Rob Lavrent

Re: Zon-16179 - Rezoning /SDR-16180/Variance 16181 /1333 Angel Drive

and Var.-17191 DJR.

To Whom It May Concern,

Pursuant to the telephone call we received from your office today indicating the necessity of an address change on the subject applications, for correct public notification purposes, to the subject property to match the county tax assessor's records showing this property address as 5104 Mountain View Drive, we acknowledge this. As well, we acknowledge that this agenda item will now be held until the ~~November 16th~~, 2006 Planning Commission Meeting. We will come down and make the changes to the applications in your office.

If you have any other requirements or questions of us, please do not hesitate to contact the undersigned.

*December 7th, 2006**DJR*

Sincerely,

DJR

David J. Roberts
President
D.J.R. CONSTRUCTION, INC.
Lic. #55636, Limit: \$750,000

w/ attachment

cc: Peter Chang, Yan Yin

8255 Hickam Ave. · Las Vegas, NV 89129 · (702) 210-8143 · Fax (702) 396-6868



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-16181** APN: 163-01-612-039
Name of Property Owner: Peter Chung & Yin YAN
Name of Applicant: Peter Chung & Yin YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

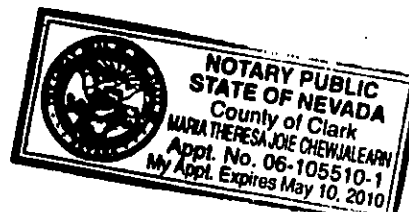
APN: _____

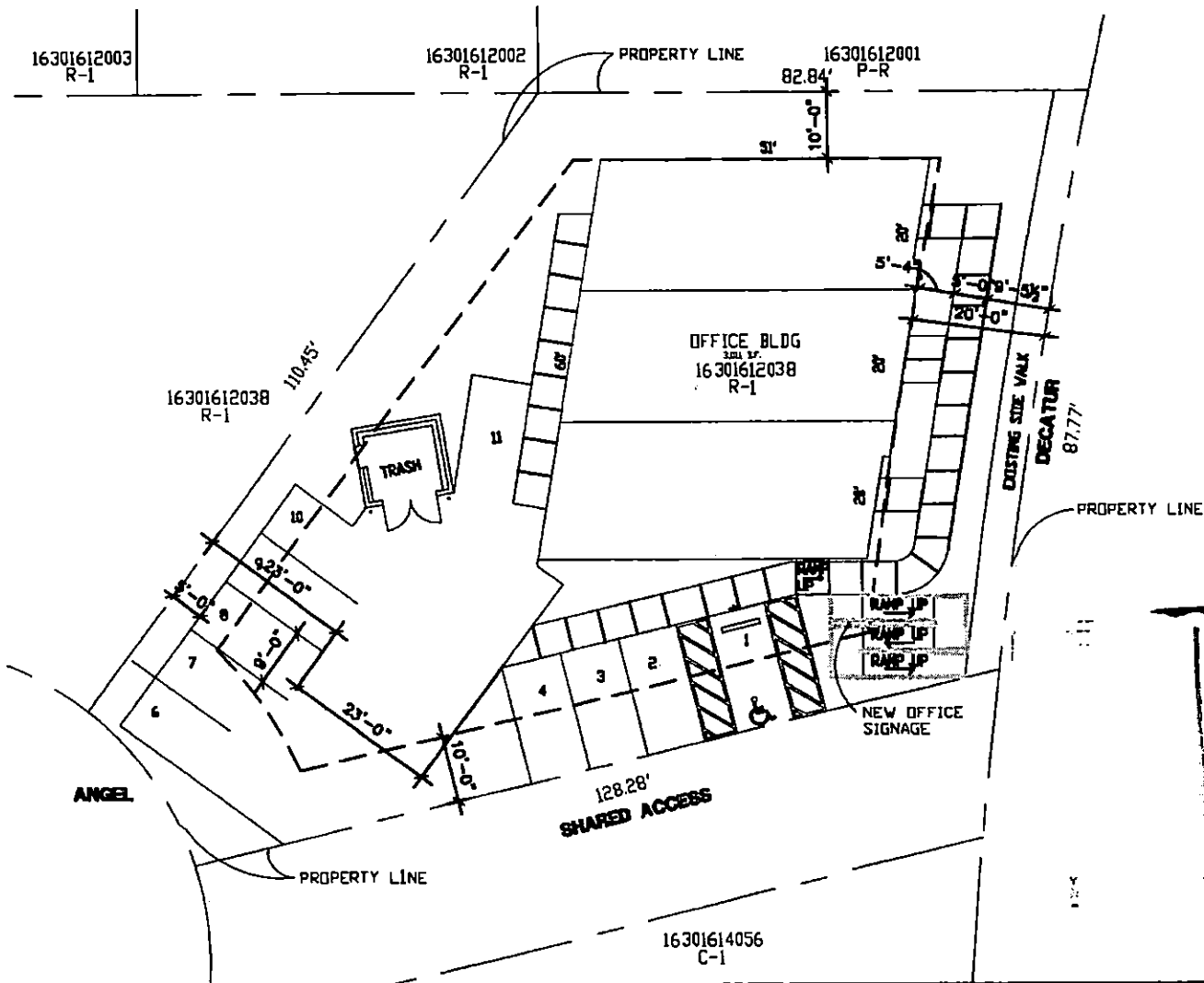
Signature of Property Owner: [Signature]
Print Name: Yin YAN & Peter Chung

Subscribed and sworn before me

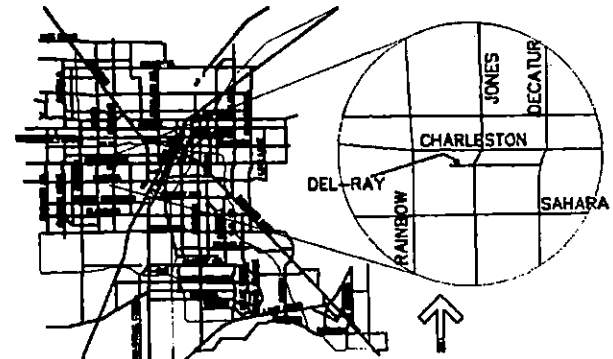
This 21 day of August, 2006

[Signature]
Notary Public in and for said County and State





VICINITY MAP



PROJECT SUMMARY

SITE

SITE AREA: PHASE 1 8.55 ACRES (372,412 SQ. FT.)
 PARCEL NUMBERS: PHASE 1 135-27-002-C04
 CURRENT ZONING: LIMITED COMMERCIAL C-1
 LOT COVERAGE BY BUILDING FOOT PRINT: (PERMITTED) 30%

SETBACKS

FRONT YARD: 20 FEET
 SIDE YARDS: 0 FEET
 REAR YARDS: 20 FEET

BUILDING HEIGHT
 ALLOWED:

NONE

BUILDING OCCUPANCY

ONE STORY OFFICE 7,000 SQ. FT.
 MAXIMUM CAPACITY: 31 PEOPLE

PARKING

PHASE 1:

TOTAL PARKING REQUIRED 1 SPACE FOR EVERY 300 S.F. 3,011/300 = 10 SPACES
 TOTAL: 260 SPACES (1 SPACES)
 (HANDICAP SPACES)
 TOTAL PARKING PROVIDED
 PARKING SPACES (11 SPACES)
 (HANDICAP SPACES) (1 SPACES)

SITE PLAN

ANGEL OFFICE



North



GRAPHIC SCALE IN FEET

LENDALL MAINS
 ARCHITECT
 1300 N. 10TH ST.
 SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1111
 FAX: 303.733.1112

SHEET No.

AS-1

DATE: 8/21/06

SEP 14 2006

ZON-16179 VAR-16181
 SDR-16180 REVISED
 11/16/06 PC

LENDALL MAINS ARCHITECT

August 21, 2004

Doug Rankin, Planner
City of Las Vegas
731 S. 4th St.
Las Vegas, NV 89101

RE: 1333 Angel Drive
Request for Zoning Change, Site development, landscape wavers and trash and building variance.

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Sincerely,



Lendall Mains, FCSI, AIA
Principal

VAR-16181
11/16/06 PC

3930 E. Patrick Lane, Ste. 1
Las Vegas NV 89120
(702) 437-5621 Phone
(702) 437-5623 Fax

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - RENOTIFICATION - VAR-17191 - VARIANCE RELATED TO ZON-16179 AND VAR-16181 - PUBLIC HEARING - APPLICANT/OWNER: YIN YAN & PETER CHUNG - Request for a Variance TO ALLOW A MINIMUM LOT WIDTH OF 87 FEET WHERE 100 FEET IS REQUIRED on 0.26 acres at 1333 Angel Drive (APN 163-01-612-039), R-3 (Medium Density Residential) Zone [PROPOSED: C-1 (Limited Commercial) Zone], Ward 1 (Tarkanian). NOTE: THIS APPLICATION IS BEING AMENDED FROM 1333 ANGEL DRIVE TO 5104 MOUNTAIN VIEW DRIVE

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the December 7, 2006 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

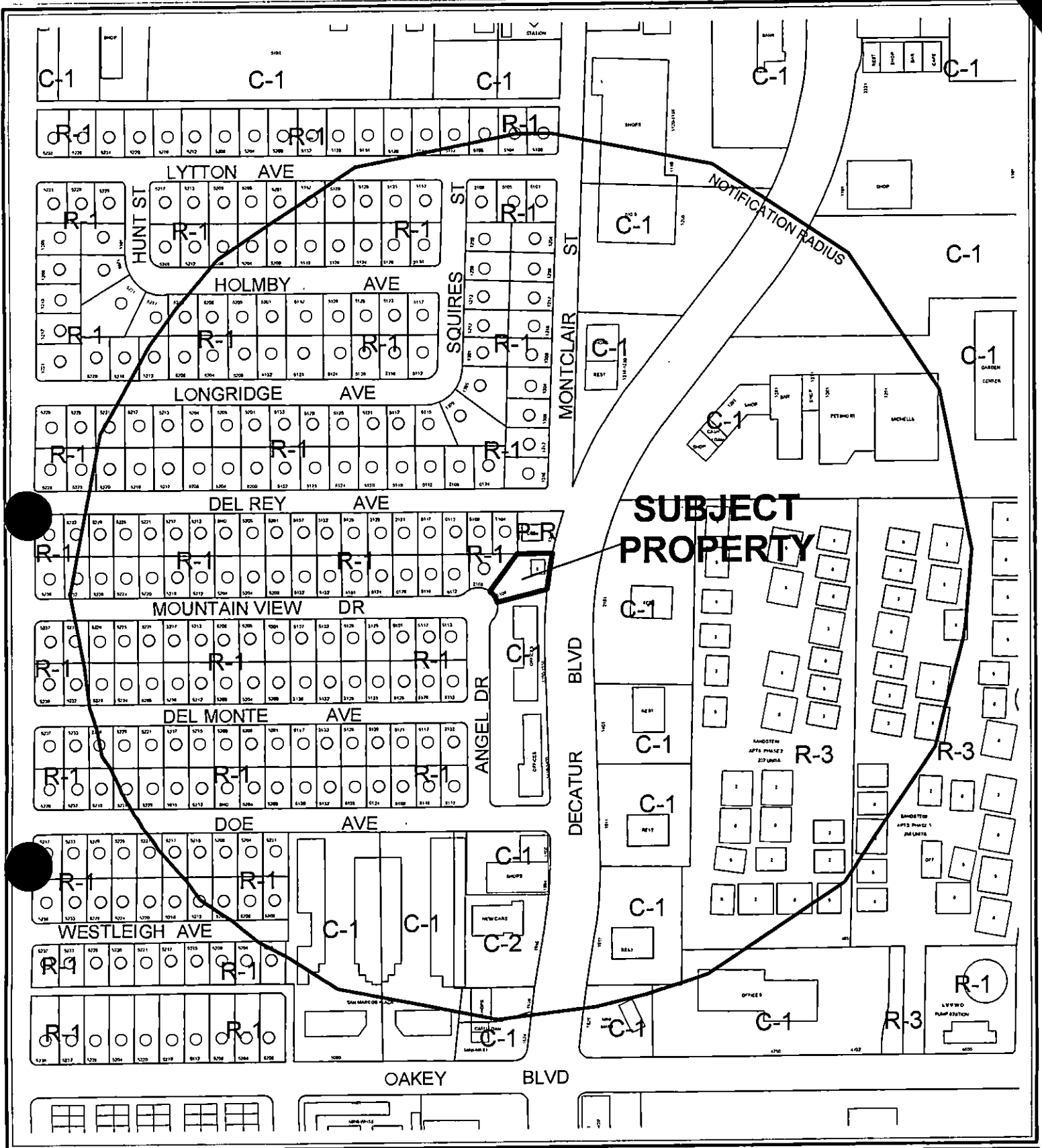
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and WITHDRAW WITHOUT PREJUDICE Item 37 [SUP-17204] and Item 38 [SDR-17205] – UNANIMOUS with DUNNAM excused

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(6:04 – 6:07)



CASE: **VAR-17191**

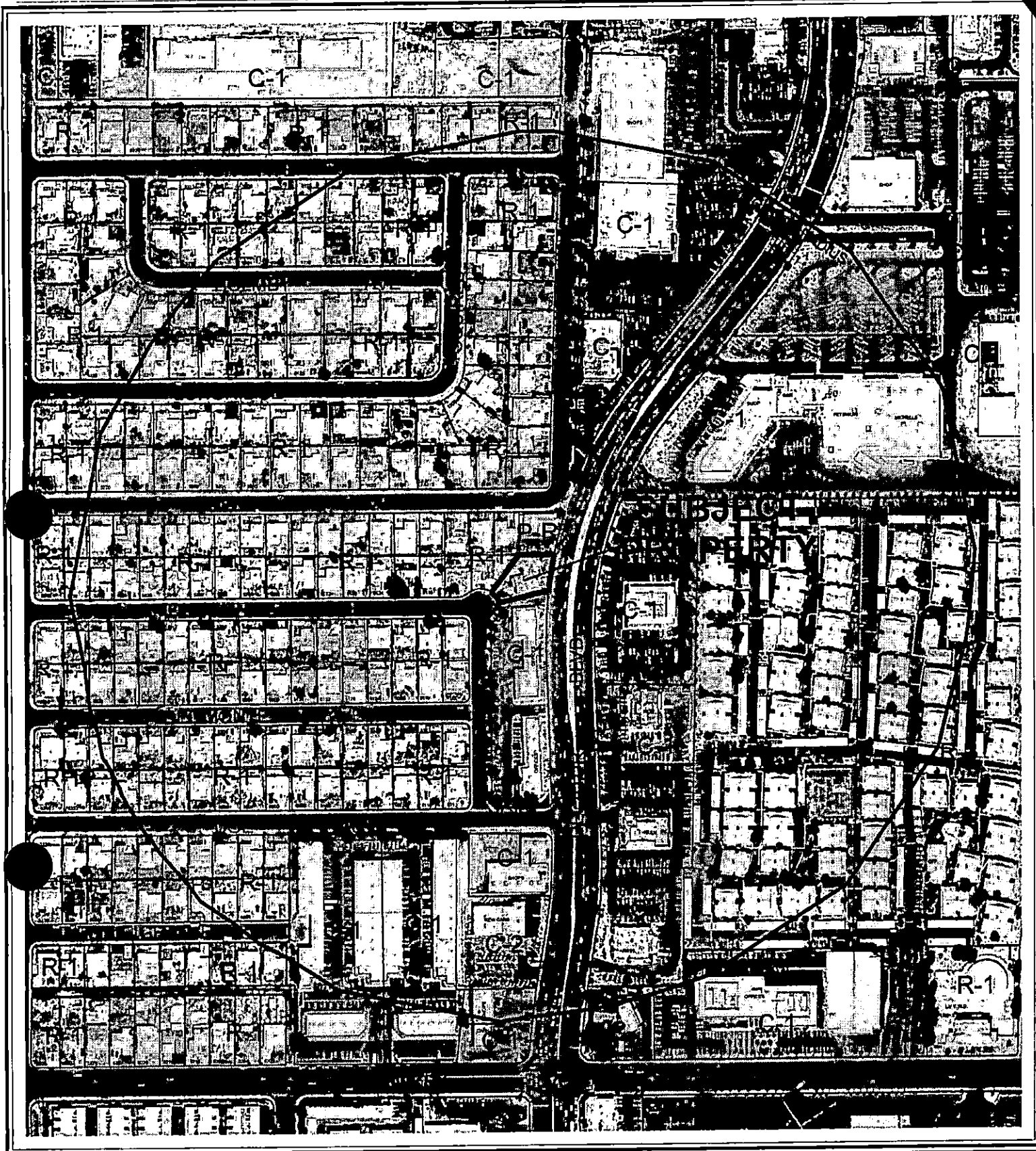
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **VAR-17191**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-3 (MEDIUM DENSITY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RENOTIFICATION - VAR-17191 -

APPLICANT/OWNER: YIN YAN & PETER CHUNG

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE DECEMBER 7, 2006
PLANNING COMMISSION MEETING***

D.J.R. CONSTRUCTION, INC.

NV Lic. # 55636

General Contracting and Construction Mgmt.

October 30, 2006

City Of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

/ Rob Lavrao

Re: Zon-16179 - Rezoning /SDR-16180/Variance 16181 /1333 Angel Drive

and Var.-17191 DGR.

To Whom It May Concern,

Pursuant to the telephone call we received from your office today indicating the necessity of an address change on the subject applications, for correct public notification purposes, to the subject property to match the county tax assessor's records showing this property address as 5104 Mountain View Drive, we acknowledge this. As well, we acknowledge that this agenda item will now be held until the ~~November 16th~~, 2006 Planning Commission Meeting. We will come down and make the changes to the applications in your office.

If you have any other requirements or questions of us, please do not hesitate to contact the undersigned.

*December 7th, 2006**DGR*

Sincerely,

DGR

David J. Roberts
President
D.J.R. CONSTRUCTION, INC.
Lic. #55636, Limit: \$750,000

w/ attachment

cc: Peter Chang, Yan Yin

8255 Hickam Ave. • Las Vegas, NV 89129 • (702) 210-8143 • Fax (702) 396-6868



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-17191 APN: 163-01-612-039

Name of Property Owner: PETER CHUNG & YIN YAN

Name of Applicant: PETER CHUNG & YIN YAN

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

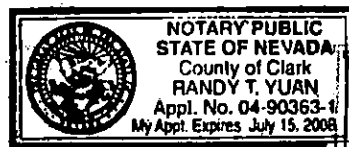
Signature of Property Owner: [Signature]

Print Name: PETER CHUNG & YIN YAN

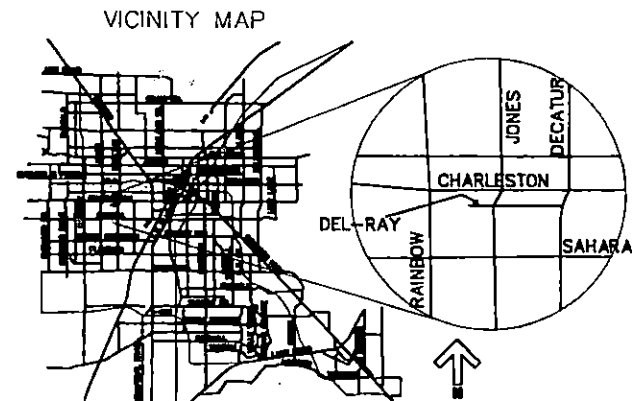
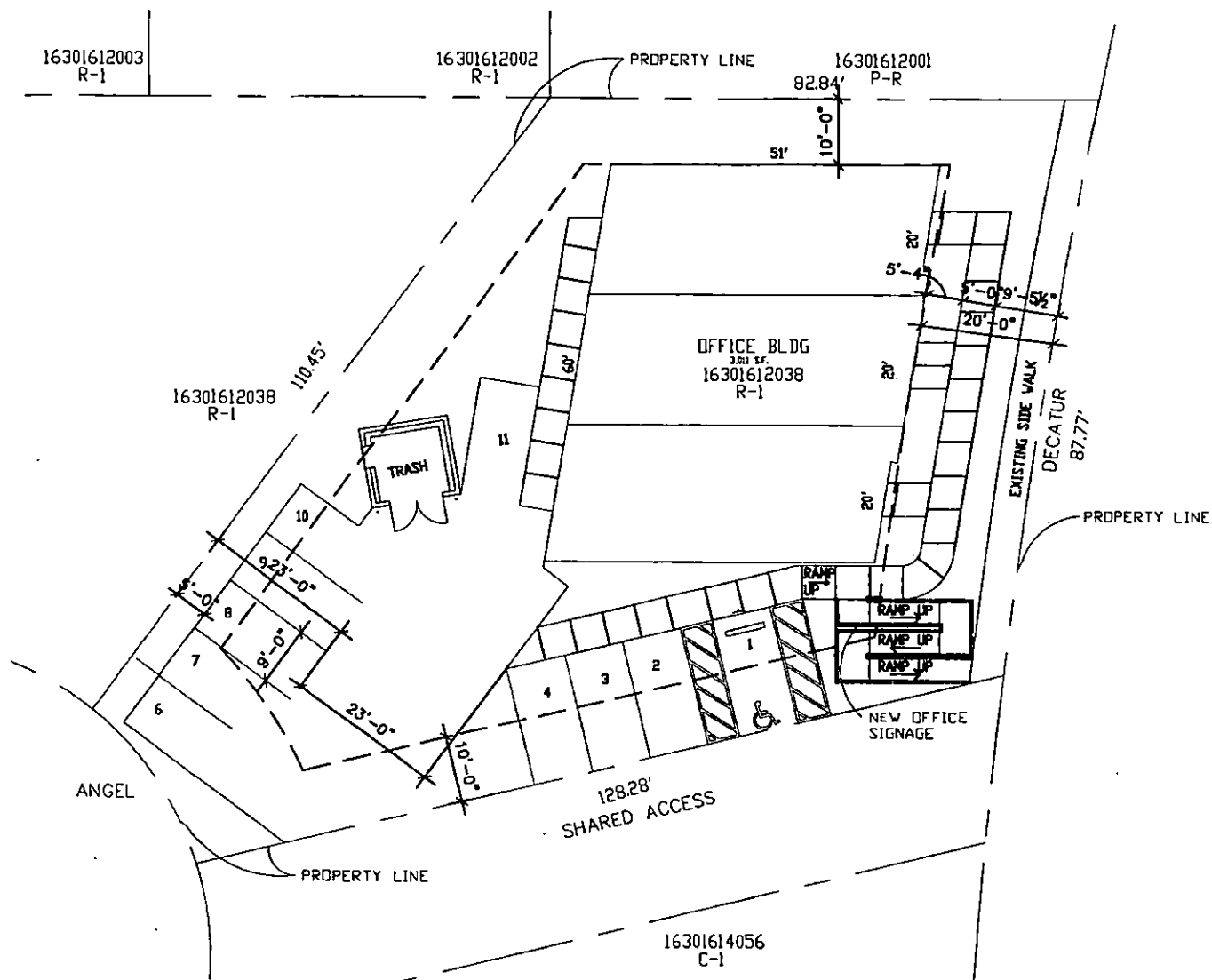
Subscribed and sworn before me

This 25th day of Sep, 2006

[Signature]
Notary Public in and for said County and State



SEP 28 2006



PROJECT SUMMARY

SITE

SITE AREA:	PHASE 1	8.55 ACRES	(372,412 SQ.FT.)
PARCEL NUMBERS:	PHASE 1		138-27-802-004
CURRENT ZONING:	LIMITED COMMERCIAL		C-1
LOT COVERAGE BY BUILDING FOOT PRINT: (APPROX)	ALLOWABLE		50%

SETBACKS

FRONT YARD:	20 FEET
SIDE YARDS:	10 FEET
REAR YARDS:	20 FEET

BUILDING HEIGHT ALLOWED:

NONE

BUILDING OCCUPANCY

ONE STORY OFFICE	3,060 sq. ft.
MAXIMUM CAPACITY:	31 PEOPLE

VAR-17191

PARKING

PHASE 1:

TOTAL PARKING REQUIRED	3,011/300 = 10 SPACES
1 SPACE FOR EVERY 300 S.F.	260 SPACES
TOTAL:	(1 SPACES)
(HANDICAP SPACES)	
TOTAL PARKING PROVIDED	(11 SPACES)
PARKING SPACES	(1 SPACES)
(HANDICAP SPACES)	

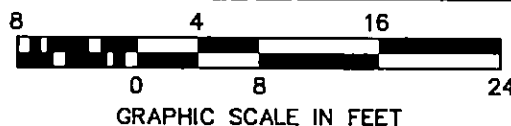
SEP 28 2006

SITE PLAN

ANGEL OFFICE



North



LENDALL MAINS
ARCHITECT
3930 East Paces Lane
Suite #1
Las Vegas, Nevada 89120
Phone: 702.437.5621
Fax: 702.437.5623

SHEET No.

AS-1

DATE: 8/21/06

D.J.R. CONSTRUCTION, INC.

NV Lic. # 55636

General Contracting and Construction Mgmt.

September 22, 2006

City Of Las Vegas
Planning & Development
731 South Fourth Street
Las Vegas, NV 89101

Re: Zon-16179 - Rezoning / 1333 Angel Drive

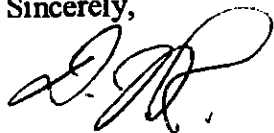
To Whom It May Concern,

Pursuant to the telephone call we received from your office today indicating the necessity of an additional variance to be filed in conjunction with the subject property re-zoning request related to the existing lot not meeting minimum lot width, please find the attached additional variance per your request. This letter serves also as the confirmation you requested of the need to address this minimum lot width variance, as well as your indication that it should not hinder the re-zoning of this property.

If you have any other requirements or questions of us, please do not hesitate to contact the undersigned.

*Further, it is acknowledged, that this will now be held until the
11/2/06 Planning Commission Mtg.*

Sincerely,



David J. Roberts
President
D.J.R. CONSTRUCTION, INC.
Lic. #55636, Limit: \$750,000

SEP 28 2006

w/ attachment

xc: Peter Chang, Yan Yin

8255 Hickam Ave. • Las Vegas, NV 89129 • (702) 210-8143

Fax (702) 306-6868

VAR-17191

11/16/06 PC