

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17128 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17127 - PUBLIC HEARING - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC -
 Request for a Site Development Plan Review FOR A PROPOSED 124-UNIT ADDITION TO AN APPROVED APARTMENT COMPLEX on 18.98 acres at 6851 North Hualapai Way (APN 126-24-610-004), PD (Planned Development) Zone and U (Undeveloped) Zone [PCD (Planned Community Development) Land Use Designation under Resolution of Intent to PD (Planned Development) Zone] [Medium Density Residential Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	0
City Council Meeting	

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the December 21, 2006 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

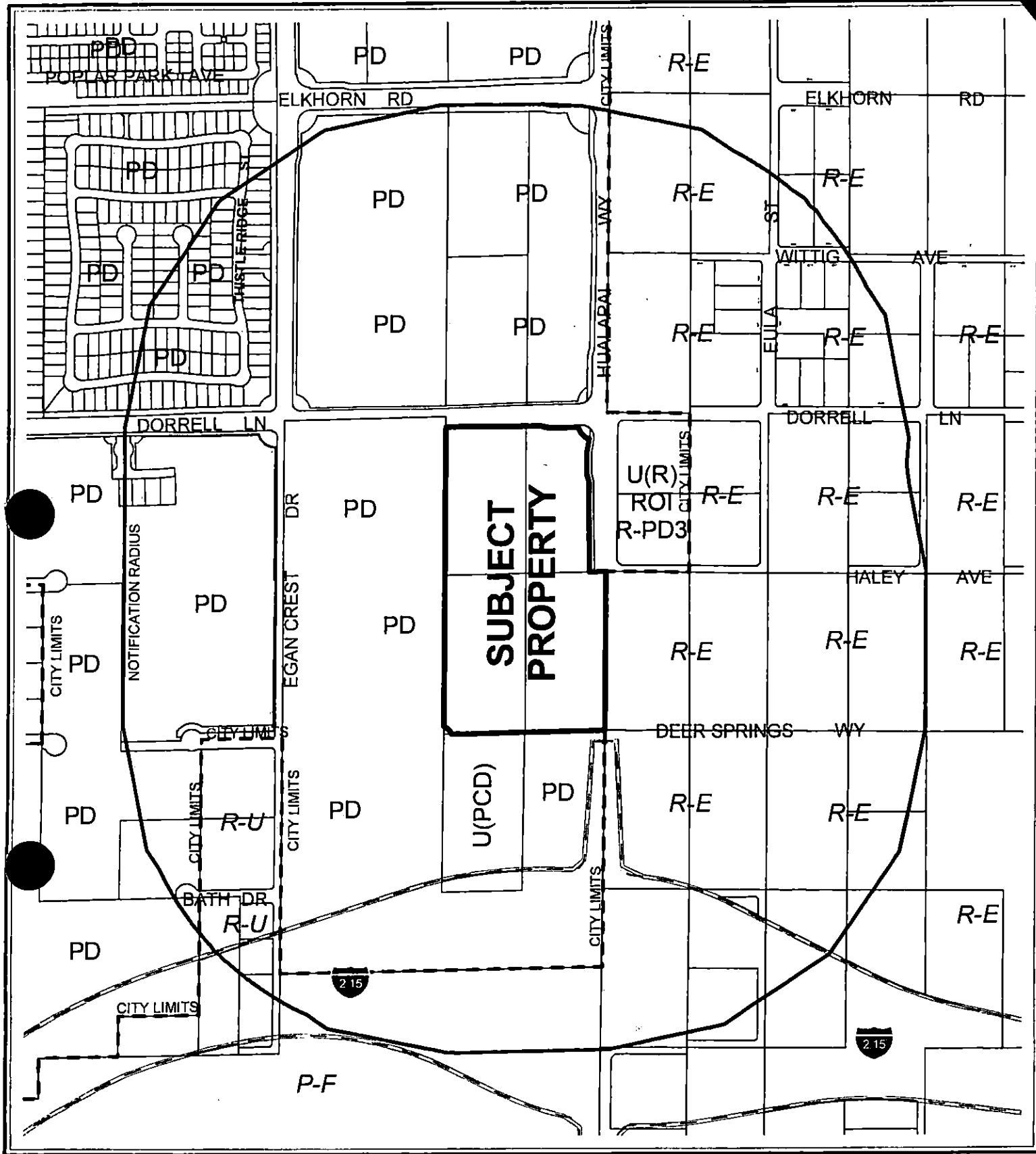
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and **WITHDRAW WITHOUT PREJUDICE** Item 37 [SUP-17204] and Item 38 [SDR-17205] – **UNANIMOUS** with **DUNNAM** excused

MINUTES:

The applicant of Item 30 [VAR-17127] and related Item 31 [SDR-17128] requested the items be held to the 12/21/2006 Planning Commission meeting because the plans are being revised.

(6:04 – 6:07)



CASE: SDR-17128

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

PD (PLANNED DEVELOPMENT) AND U (UNDEVELOPED) ZONE [PCD (PLANNED COMMUNITY DEVELOPMENT) LAND USE DESIGNATION] UNDER RESOLUTION OF INTENT TO PD (PLANNED DEVELOPMENT) ZONE [M (MEDIUM DENSITY RESIDENTIAL) CLIFF'S EDGE SPECIAL LAND USE DESIGNATION]

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE
II, LLC

***APPLICANT REQUESTS THIS ITEM BE HELD
IN ABEYANCE TO THE DECEMBER 21, 2006
PLANNING COMMISSION MEETING***

**KUMMER KAEMPFFER BONNER
RENSHAW & FERRARIO**

ATTORNEYS AT LAW

LAS VEGAS OFFICE

ROBERT J. GRONAUERrgronauer@kkbrf.com
702.792-7000LAS VEGAS OFFICE
3600 Howard Hughes Parkway
Seventh Floor
Las Vegas, NV 89169
Tel: 702.792 7000
Fax: 702.796.7181RENO OFFICE
5585 Kleitzke Lane
Reno, NV 89511
Tel: 775.852 3900
Fax: 775.852 3982SUMMERLIN OFFICE
3425 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89129
Tel: 702.893.4280
Fax: 702.939.8457CARSON CITY OFFICE
516 W. Fourth Street
Carson City, NV 89703
Tel: 775.882 1311
Fax: 775.882.0257

November 9, 2006

VIA FACSIMILE
385-7268Mr. Doug Rankin
LAS VEGAS PLANNING & DEVELOPMENT
731 South Fourth Street
Las Vegas, NV 89101**Re: SDR-17128 & VAR-17127
Providence II**

Dear Doug:

Our office represents the property owner in the above-referenced matter. We respectfully request this matter be continued from the presently scheduled Planning Commission meeting of November 16, 2006 until December 21, 2006. The additional time is needed so staff can review the revised plans.

Thank you for your consideration. Please let me know if you have any questions or need anything further.

Sincerely,

KUMMER KAEMPFFER BONNER RENSCHAW & FERRARIO

Robert J. Gronauer

RJG/mlt





STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Picerne Providence II

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

APN: _____

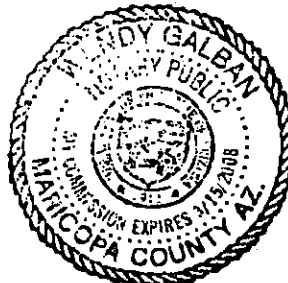
Picerno Providence, LLC
Picerno Development Corporation
Developer, Authorized Agent

Print Name: Ernesto R. Alvarez

Subscribed and sworn before me

This 1st day of August, 2006

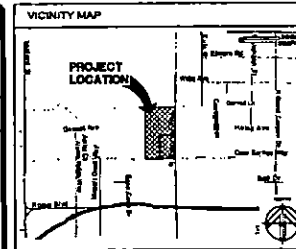
Wendy Baker
Notary Public in and for said County and State



PROJECT DATA (PHASE 1)			
SITE DATA:			
ADDRESS:	S.W.C. DORRELL LANE & HUALAPAI WAY CITY OF LAS VEGAS, NEVADA		
SITE AREA:	18.88 ACRES	PHASE	PHASE 1
PROPOSED ZONING:	MULTIFAMILY RESIDENTIAL	PROPOSED USE:	MULTIFAMILY RESIDENTIAL
DENSITY (GROSS):	23 UNITS PER ACRE	REQUIRED PROVIDED:	21 UNITS PER ACRE
OPEN SPACE:	100 S.F./UNIT = 36,300 S.F.	REQUIRED PROVIDED:	21 S.F. S.F. / AC
BUILDING AREA:			
BUILDING TYPE	AREA	QUANTITY	TOTAL AREA
BUILDING 1	18,832 S.F.	4	75,328 S.F.
BUILDING 2	20,348 S.F.	4	81,392 S.F.
BUILDING 3	14,070 S.F.	4	56,280 S.F.
BUILDING 4	9,816 S.F.	4	39,264 S.F.
BUILDING 5	18,432 S.F.	4	73,728 S.F.
BUILDING 6	13,288 S.F.	4	53,152 S.F.
BUILDING 7 (LOFT)	8,816 S.F.	4	35,264 S.F.
BUILDING 8 (LOFT)	17,396 S.F.	4	69,584 S.F.
TOTAL			502,544 S.F.
LOT COVERAGE:			
BUILDING TYPE	AREA	QUANTITY	TOTAL AREA
BUILDING 1	7,248 S.F.	4	28,992 S.F.
BUILDING 2	10,008 S.F.	4	40,032 S.F.
BUILDING 3	5,760 S.F.	4	23,040 S.F.
BUILDING 4	3,772 S.F.	4	15,088 S.F.
BUILDING 5	7,144 S.F.	4	28,576 S.F.
BUILDING 6	4,288 S.F.	4	17,152 S.F.
BUILDING 7 (LOFT)	4,888 S.F.	4	19,552 S.F.
BUILDING 8 (LOFT)	17,200 S.F.	4	68,800 S.F.
CLIMATE / WOODS	12,808 S.F.	2	25,616 S.F.
CAVANA	888 S.F.	2	1,776 S.F.
WILSON ENCLOSURE	124 S.F.	13	1,612 S.F.
TOTAL			198,424 S.F.

PROJECT DATA (PHASE 2)			
SITE DATA:			
ADDRESS:	S.W.C. DORRELL LANE & HUALAPAI WAY CITY OF LAS VEGAS, NEVADA		
SITE AREA:	4.48 ACRES	PHASE	PHASE 2
PROPOSED ZONING:	MULTIFAMILY RESIDENTIAL	PROPOSED USE:	MULTIFAMILY RESIDENTIAL
DENSITY (GROSS):	23 UNITS PER ACRE	REQUIRED PROVIDED:	21 UNITS PER ACRE
OPEN SPACE:	100 S.F./UNIT = 36,300 S.F.	REQUIRED PROVIDED:	21 S.F. S.F. / AC
BUILDING AREA:			
BUILDING TYPE	AREA	QUANTITY	TOTAL AREA
BUILDING 9	35,368 S.F.	3	106,104 S.F.
BUILDING 10	4,288 S.F.	3	12,864 S.F.
BUILDING 11	15,972 S.F.	3	47,916 S.F.
TOTAL			166,884 S.F.
LOT COVERAGE:			
BUILDING TYPE	AREA	QUANTITY	TOTAL AREA
BUILDING 9	10,008 S.F.	3	30,024 S.F.
BUILDING 10	5,760 S.F.	3	17,280 S.F.
BUILDING 11	3,772 S.F.	3	11,316 S.F.
LOFT	1,212 S.F.	3	3,636 S.F.
CAVANA	888 S.F.	3	2,664 S.F.
WILSON ENCLOSURE	124 S.F.	13	1,612 S.F.
TOTAL			66,532 S.F.

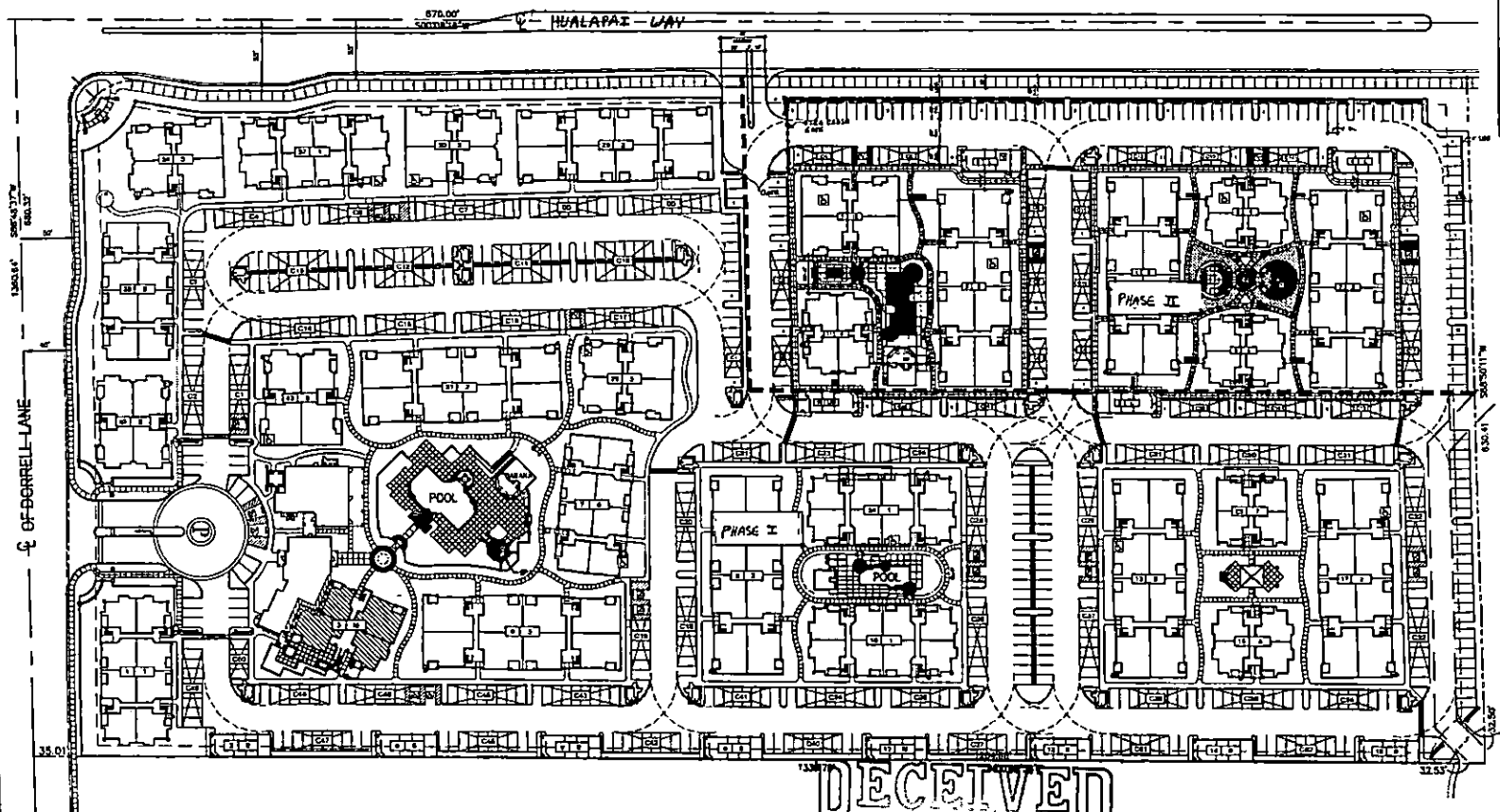
PROJECT DATA (OVERALL)			
SITE DATA:			
TOTAL UNITS:	8 UNITS	SPACES REQD.	245 P.A.
1 BEDROOM UNIT	196	1.37	268 P.A.
2 BEDROOM UNIT	342	1.12	382 P.A.
3 BEDROOM UNIT	30	2.00	60 P.A.
TOTAL REQUIRED:			610 P.A.
PROVIDED:			610 P.A.
UNIMPROVED COVERED			300 P.A.
BARAGE			310 P.A.
TOTAL PROVIDED:			610 P.A.
ACCESSIBLE PARKING:			
STANDARD ACCESSIBLE	1 P.A. = 1.5 (1.5)	15 P.A.	15 P.A.
VEH. ACCESSIBLE	1 P.A. = 1.5 (1.5)	15 P.A.	15 P.A.
TOTAL PROVIDED:			30 P.A.



SYMBOL SCHEDULE	
[Symbol]	BUILDING NUMBER BUILD 448/UNIT TYPE
[Symbol]	REFUSE ENCLOSURE - SEE DETAIL 14/ARZ2
[Symbol]	ACCESSIBLE UNIT/PARKING - SEE DETAIL 17/ARZ1
[Symbol]	PODESTAL ENCLOSURE - SEE DETAIL 15/ARZ1
[Symbol]	NO. OF SPACES IN THIS PARKING BAY
[Symbol]	FIRE LANE AND TURNING RADIUS (32'/20')
[Symbol]	PHASE 2 BOUNDARY LINE

biltform
architecture
VAR-17127 SDR-17128
REVISED 11/16/06

Biltform architecture group
of nevada, inc.
1212 West Sahara Blvd. Suite 121
Phoenix, Arizona 85016
Phone: 602.288.0700 Fax: 602.288.0701



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NOV 16 2006

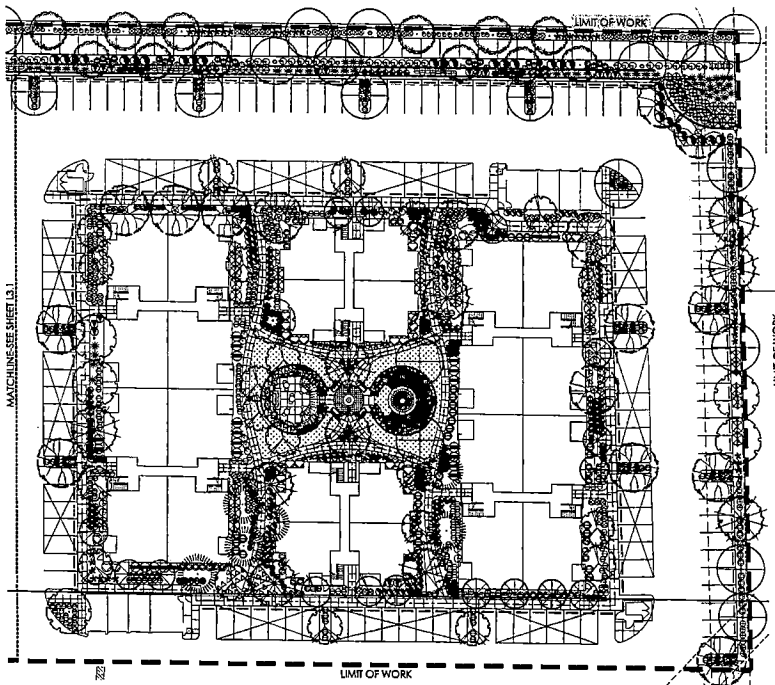
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Piceme at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada
Piceme Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE: (602) 278-9404 FAX: (602) 281-1000

NO. 10/20/06	11/17/06 - ENTRY COMPLETION
NO. 11/17/06	NO. 11/17/06
NO. 11/17/06	NO. 11/17/06
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A1.0
OVERALL - SITE PLAN

VAR-17127 SDR-17128
REVISED 11/16/06 PC



MATCHLINE-SEE SHEET 13.1

LIMIT OF WORK—

PLANT MATERIALS LEGEND

Trees		
	Single column circular crown	10' crown x 12" 5
	Single column circular crown	10' crown x 12" 12
	Single column circular crown	10' crown x 12" 12
	Single column circular crown	10' crown x 12" 12
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	Single column circular crown	10' crown x 12" 12
	Single column circular crown	10' crown x 12" 12

Phylo-

[illegible]

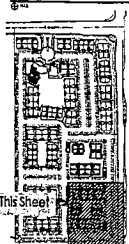
PLANT MATERIALS LEGEND (CONTINUED)

[illegible]

YOUNG

	Ceramic tile Ceramic tile	1 sq
	Grout Grout	1 sq
	Grout Grout	1 sq
	Grout Grout	1 sq
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	Grout Grout	1 sq

KEY WORDS

biform
architecture

blitform architecture
group
of nevada, inc.
1128 ave. terra mar . suite 10
spring . nj 08164
Phone 609.643.7777 Fax 609.643.7777



Picerne at Providence - Phase II

Picrme Development Corp.
1420 E Missouri Ave. Suite 100 Phoenix Arizona 85014-2469

REVISED

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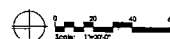
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DATE 06/01/01

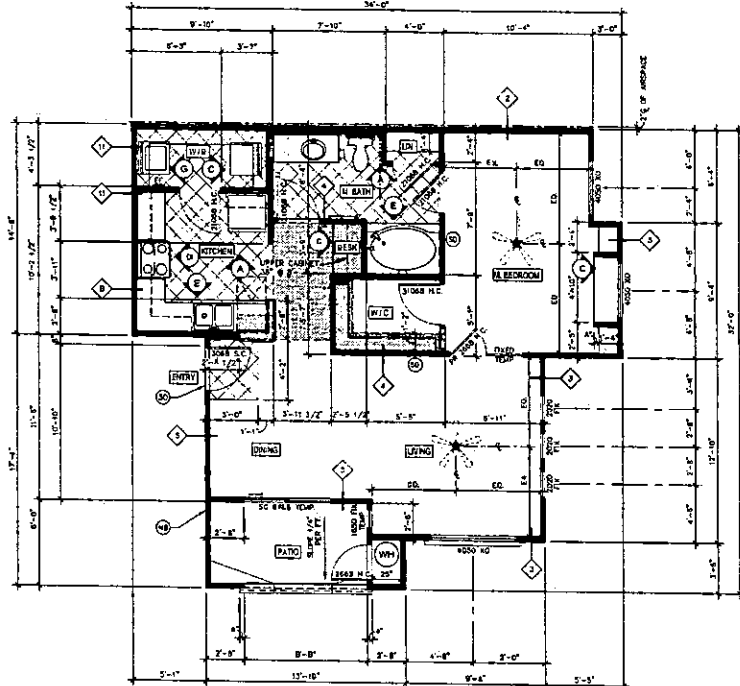
BY 3301

L3.2 Planting

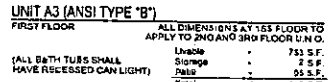
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SDR-17128
11/16/06 PC

[illegible]

UNIT A3 (ANSI TYPE "B")		
SECOND FLOOR	ALL KEYED NOTES AS 2ND & 3RD FLOOR TO APPLY TO 155 FLOOR U.N.C.	
(ALL BATH TUBS & CHALL HAVE RECESSED CAN LIGHT)	Unble	751 N.Y.
	Storage	7 N.F.
	Bakery	813 F.
	Total	8103 F.



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UNIT A3 FLOOR PLANS

SDR-17128
11/16/06 PC

biltform
architecture

blitform architecture
group
of nevada, inc.
222 east main road suite 101
stamps shore 85914
Phone 802.241.9700 Fax 802.241.9702

Picmerne at Providence - Phase II
Rental Apartment Community
Las Vegas Avenue

Picmerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE: (602) 278-6584 FAX: (602) 255-1825

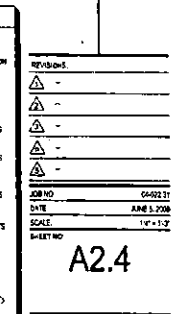
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JOB NO:	04-007 D
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SCALE	1/4" = 1'-0"
SHEET NO	

A2.1

© ULIFORM ARCHITECTURE GROUP, INC

form
lecture



bltform architecture
group
of nevada, inc.
3275 east main road suite 101
pahrump nv 89018
Phone 702/281-0790 Fax 702/281-0229

SDR-17128
11/16/06 PC



biform architecture group
of nevada, inc.
1210 S. MOUNTAIN VIEW, SUITE 111
PHOENIX, ARIZONA 85014-2469
PHONE 602.959.9257 FAX 602.959.9258

Picmerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada
Picmerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE (602) 259-9257 FAX (602) 259-9258

NO. 1004	
DATE	11/16/06
SCALE	1/8" = 1'-0"
BY	11/16/06
CHKD	11/16/06
APP'D	11/16/06
DATE	11/16/06
SCALE	1/8" = 1'-0"
BY	11/16/06
CHKD	11/16/06
APP'D	11/16/06
DATE	11/16/06

A5.1

© BIFORM ARCHITECTURE GROUP, INC.

- SYMBOL SCHEDULE**
- NEW: PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. VERIFY SIZE W/ ELECTRICAL CONTRACTOR PRIOR TO START. METER PACE SHALL NOT BE LESS THAN 1" PAST ANY ELECTRICAL EQUIPMENT. SEE DETAIL SHEETS FOR METER SET. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION AND OTHER INFORMATION.
 - TELEPHONE TERMINAL CABINET, CABLE TO TAP BOX & WATER METER CABINET, ONE IN EACH WOOD TRAIL. SEE ELECTRICAL FOR EXACT LOCATION. VERIFY SIZE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
 - ADJUSTS STAR TYPE. SEE SHEET 4141 FOR STAR PLANS AND STAR SECTIONS.
 - ATTC ACCESS - SEE DETAIL 27/04.
 - SEE SHEET 27/04 FOR SOUND AND FIRE RATED DETAILS.
 - CONCRETE UNIT.
 - OPTIONAL FIRE RATED LOCATION. SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
 - PORTABLE FIRE EXTINGUISHER WITH CABINET NOT TO BE LOCKED. INSTALLED AT A MAXIMUM HEIGHT OF 4'.
- BUILDING PLAN NOTES**
- FOR TYPICAL UNIT PLANS SEE SHEETS A2.1, A2.2, A2.3, A2.4, A2.5, A2.6, A2.7, A2.8, A2.9, A2.10, A2.11.
 - ONLY TO FACE OF STUD UNIT.

B SECOND FLOOR PLAN
1/8" = 1'-0"

A FIRST FLOOR PLAN
1/8" = 1'-0"

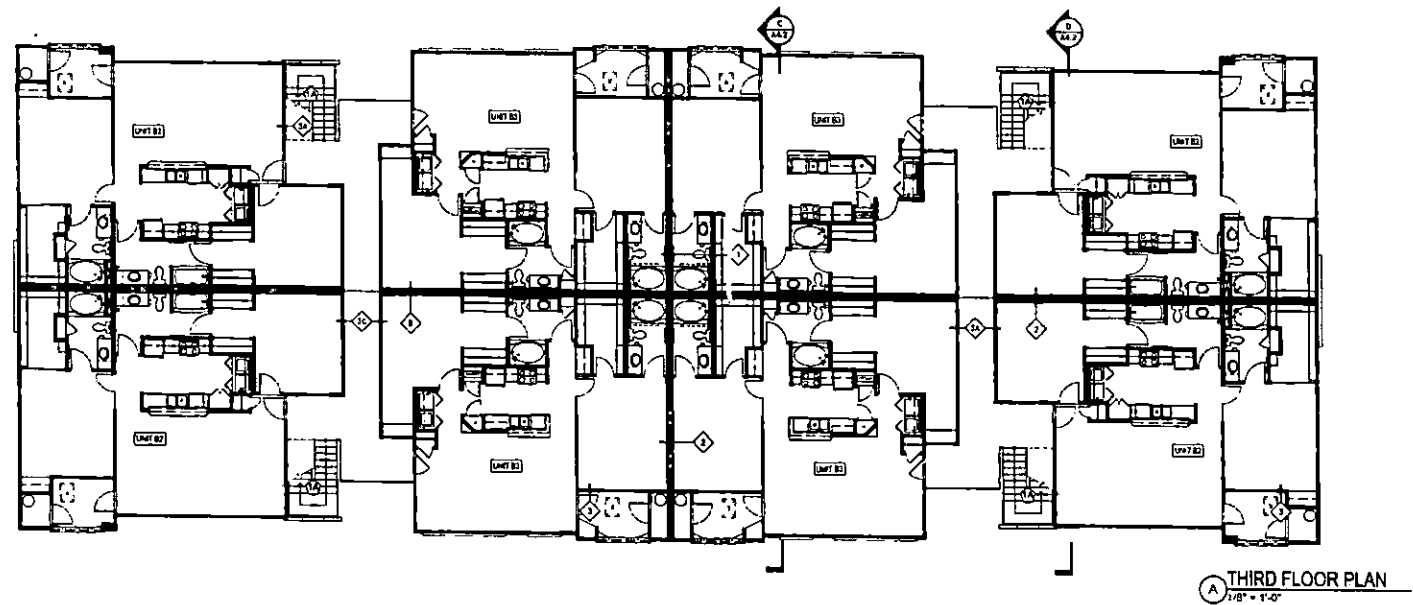
BUILDING TYPE 2
FIRST & SECOND FLOOR PLANS

SDR-17128
11/16/06 PC

billform
architecture

billform architecture
group
of nevada, inc.
1228 W. WASH. RD. SUITE 101
LAS VEGAS, NEVADA 89101
PHONE 602.766.8225 FAX 602.766.8225

- SYMBOL SCHEDULE**
- ⊙ METER PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. VERIFY SIZE W/ ELECTRICAL CONTRACTOR PRIOR TO START. METER PACE SHALL NOT PROJECT MORE THAN 1" PAST ANY ELECTRICAL EQUIPMENT. SEE DETAIL SHEETS FOR METER DET. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
 - ⊙ TELEPHONE TERMINAL CABINET, CABLE TV TAP BOX & WATER METER CABINET ONE IN EACH BUILDING. SEE ELECTRICAL FOR EXACT LOCATION. VERIFY SIZE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
 - ⊙ INDICATES STAIR TYPE. SEE SHEET A141 FOR STAIR PLANS AND STAIR SECTIONS.
 - ⊗ ATTIC ACCESS - SEE DETAIL ST-03A.
 - ◇ SEE SHEET FRI FOR SOUND AND FRI RATED DETAILS.
 - ⊠ CONDENSING UNIT.
 - ⊙ ORIGINAL FIRE BOX LOCATION. SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
 - ⊙ PORTABLE FIRE EXTINGUISHER WITH CABLE. NOT TO BE LOANED. INSTALLED AT A MAXIMUM HEIGHT OF 4.5'.
- BUILDING PLAN NOTES**
1. FOR TYPICAL UNIT PLANS SEE SHEETS A23, A26, A28, A212, A213, A217.
 2. DIMS TO FACE OF STUD UNIT.



Picerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHONE 602.274.6461 FAX 602.274.6461

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SEP 26 2006

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SEP 26 2006

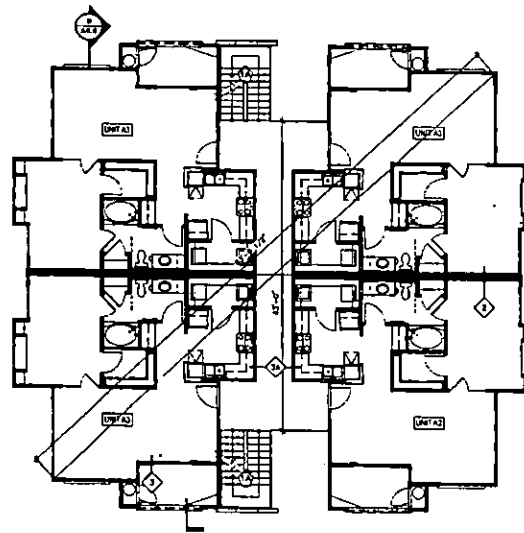
BUILDING TYPE 2
THIRD FLOOR

SDR-17128
11/16/06 PC

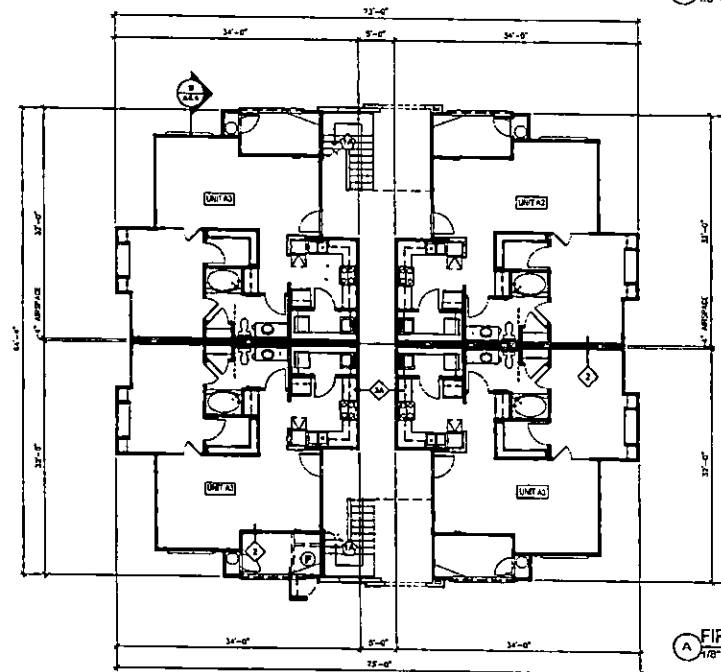
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A5.2

C. BILLFORM ARCHITECTURAL GROUP INC



B SECOND FLOOR PLAN
1/8" = 1'-0"



A FIRST FLOOR PLAN
1/8" = 1'-0"

SYMBOL SCHEDULE	
Ⓜ	METER PACE LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION, VERIFY SIZE W/ ELECTRICAL CONTRACTOR PRIOR TO START. METER PACE SHALL NOT PROJECT MORE THAN 1" PAST ANY ELECTRICAL EQUIPMENT. SEE OTHER SHEETS FOR EXACT DET. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION AND OTHER INFORMATION.
Ⓣ	TELEPHONE TERMINAL CABINET, CABLE TV TAP BOX & WATER METER CABINET, ONE IN EACH BUILDING. SEE ELECTRICAL PLAN FOR EXACT LOCATION, VERIFY SIZE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
Ⓢ	INDICATES STAIR TYPE SEE SHEET A1.1 FOR STAIR PLANS AND STAIR SECTIONS.
ⓧ	ATRS ACCESS - SEE DETAIL 37.7A
Ⓢ	SEE SHEET TPA FOR SOUND AND FIRE RATED DETAILS
Ⓢ	CONDENSING UNIT
Ⓢ	OPTIONAL FIRE RISER LOCATION, SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
Ⓢ	PORTABLE FIRE EXTINGUISHER P/N CABINET NOT TO BE LOCATED OR INSTALLED AT A MAXIMUM HEIGHT OF 42"
BUILDING PLAN NOTES	
1. FOR TYPICAL UNIT PLANS SEE SHEETS A2.1, A2.2, A2.3, A2.4, A2.5, A2.6, A2.7, A2.8, A2.9, A2.10, A2.11, A2.12.	
2. DIMS TO FACE OF STUD UNIT	

biltform
architecture

biltform architecture
group
of nevada, inc.
1210 WEST WASHINGTON AVE. SUITE 101
PHOENIX, ARIZONA 85014
PHONE (602) 831-5114
FAX (602) 831-5115

Picerne at Providence - Phase II
Rental Apartment Community
Las Vegas, Nevada

Picerne Development Corp.
1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
PHOENIX (602) 775-6661

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SEP 26 2006

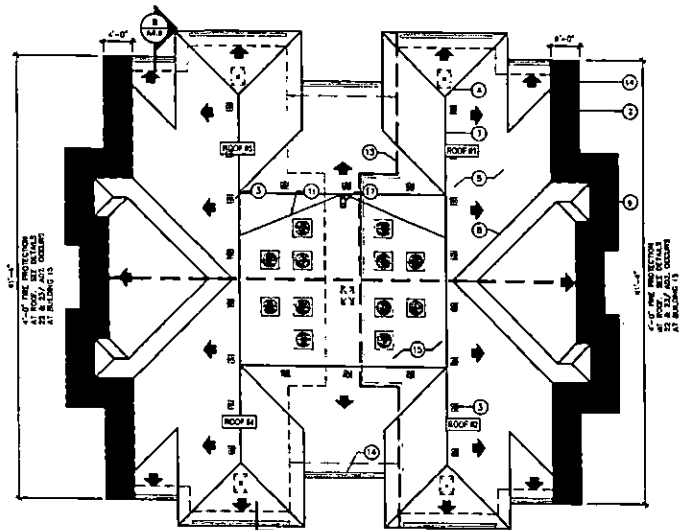
BUILDING TYPE 4
FIRST & SECOND FLOOR PLANS

SDR-17128
11/16/06 PC

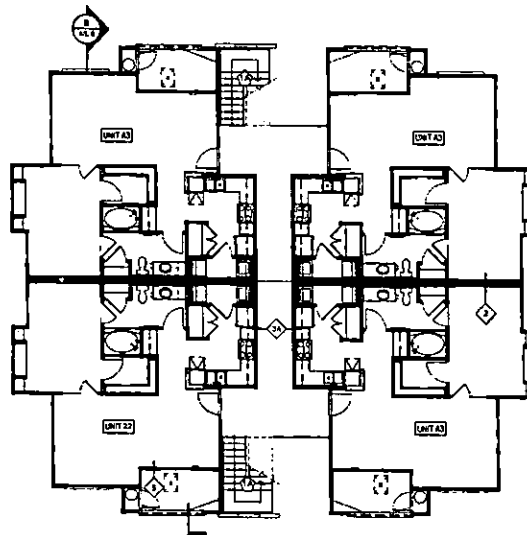
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B ROOF PLAN
1/8" = 1'-0"



A THIRD FLOOR PLAN
1/8" = 1'-0"

ROOF VENTILATION CALCULATIONS - BUILDING TYPE 1					
ROOF AREA (SF) = 115		REQUIRED VENT AREA (SF)			
ROOF #	ROOF AREA (SF)	REQUIRED VENT AREA	FREE VENT AREA PROVIDED		
			EAVE VENT	CLOAK VENT	TOTAL PROVIDED
ROOF 1	1,029	861	(48 LF) x 10	(3) x 110	1,040
ROOF 2	1,369	911	(48 LF) x 10	(3) x 110	1,240
ROOF 3	1,289	1,236	(48 LF) x 10	(9) x 110	1,190
ROOF 4	1,289	1,236	(48 LF) x 10	(9) x 110	1,190

ROOF VENTILATION CALCULATIONS NOTES
 1. CLEAN VENT - 25 x 30 (FREE VENT AREA 114 S.F.) AS MANUFACTURED BY GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA SHALL BE THE SAME OR BETTER THE REQUIREMENTS OF THE CALCULATION TABLE)
 2. CLEAN VENT FREE VENT AREA 114 S.F. PER FOOT

- KEYED NOTES**
- CHIMNEY - SEE DETAIL 80/07
 - LINE OF WALL 80/04
 - CLEANED ROOF VENT - SEE DETAIL 33/04
 - PARCHA - SEE DETAIL 32/02
 - CONCRETE ROOF TILE - 12.8 x 18.4 (18-180)
 - HP - 5W TO DETAIL 34/03
 - NOSE - SEE DETAIL 31/03
 - VALLEY - SEE DETAIL 31/03
 - LINE OF ROOF BELOW
 - TUBE STEEL TRUSS FRAMING 418 TOP & BOTTOM
 - CHIMNEY - PROVIDE MIN. SLOPE OF 1/4" PER FT.
 - PARAPET - SEE DETAIL 80/04
 - LOCATION OF GRAFTTOP AT ATTIC SPACE AND AT FLOOR/CEILING SPACE - SEE DETAIL 1/01 & 4/01
 - EAVE VENT - FIELD VERIFY LOCATION, COORDINATE WITH STRUCTURAL TRUSS WALL LOCATION
 - MECHANICAL WELL - SEE DETAIL 77/01
 - 3" DRAIN & OVERFLOW FROM 3" ROOF DRAIN LEADERS TO 3" DRAIN - SEE DETAIL 43/02 AND 34/02
 - 3" DRAIN & OVERFLOW FROM MECHANICAL WELL TO DRAINAGE DOWN TO GRADE AT 1/4" PER FT.
 - LINE OF ROOF BELOW
 - ROOF GUTTER AND DOWNSPOUT
 - PARCHA - SEE DETAIL 43/02
 - 3-PLY BUILT UP CLASS "B" ROOF

- SYMBOL LEGEND**
- DIRECTION OF ROOF SLOPE - 1/4" UNCL
 - DIRECTION OF CHIMNEY SLOPE
 - DRAINAGE TOP SHALL BE COORDINATED TO UNDERLIE OF ROOF BEARING WALLS INCLUDING BUILD-UP GUTTERS & 15' OF EXTERIOR WALL & 4' MINIMUM
 - INDICATES EAVE VENT
 - INDICATES CLOAK VENT
 - ATTIC ACCESS - SEE DETAIL 31/04
 - 3" x 5" ROOF ACCESS - SEE DETAIL 78/01

- GENERAL NOTES**
- ALL PENETRATIONS OF FIRE-RESISTIVE ROOF OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTING FOR "THROUGH-ROOF PENETRATION FIRE STOP SYSTEMS". THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS FURNISHED BY THE MANUFACTURER OF THE FIRE STOP MATERIAL, WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT, AND SUCH DRAWINGS SHALL BE AVAILABLE TO CLARK COUNTY INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH APPROPRIATE U.S. PROVIDED WITH ALL VARIABLES DEFINED.
 - DRAFTSTOPS SHALL BE CONTINUED TO UNDER SIDE OF ROOF OVERLAPPING HOLDINGS SET-UP CHIMNEYS, AND TO FACE OF EXTERIOR WALL & OVERHANG.
 - ALL PENETRATIONS IN EXTERIOR WALLS REFER TO CALCULATIONS THIS SHEET.
 - ROOFING SHALL BE INSTALLED IN ACCORDANCE W/ MANUFACTURER'S SPECIFICATIONS.
 - SEE SECTIONS FOR ADDITIONAL HEIGHTS.
 - CONC. ROOF TILE TYPE "B" (12.8 x 18.4) (18-180) WITH BATTING OVER 1/4" FILL OR FILLER ROOF SHELTERING.
 - TYPICAL ROOF SLOPE 1/4" IN 12
 - SAW CUT ROOF TILE 43 VALLEYS - TYP
 - ROOF OVERHANGS SHALL BE 1'-0" UNCL
 - ALL ROOF'S MUST BE A MINIMUM OF A CLASS-B RATING

Picerne at Providence - Phase II
 Rental Apartment Community
 Las Vegas, Nevada

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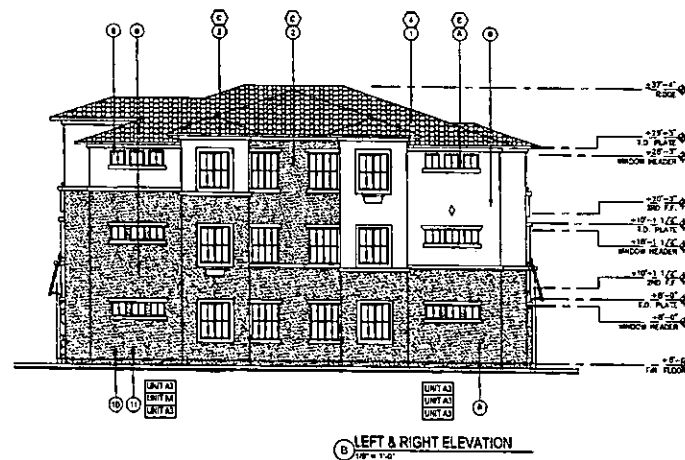
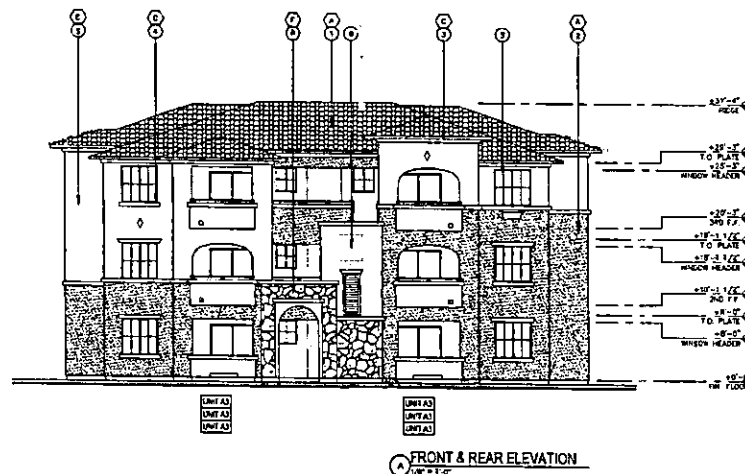
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BUILDING TYPE 4
 THIRD FLOOR & ROOF PLAN
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ELEVATION KEY NOTES: ①	
1	CONCRETE ROOF TILE - ICCB D-2733
2	STUCCO SYSTEM - SEE DETAIL 24/01
3	STUCCO FASCIA - SEE DETAIL 22/02
4	STUCCO POP-OUT - SEE DETAIL 41/04
5	ALUMINUM WINDOW
6	FIELDESTONE ACCENT
7	FOUR FLORER PLANTER
8	BUILDING IDENTIFICATION SIGN
9	METER PACH LOCATION
10	TELEPHONE SERVICE LOCATION
11	CABLE TELEVISION LOCATION

EXTERIOR COLOR SCHEME 1: ①	
① ROOF TILE	EAGLE ROOFING SUNSET BLEND "PUERTA DEL SOL BLEND"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOUNDER PLANTERS	10 "SEA LARK"
③ STUCCO FASCIA, TRIM AND POP-OUTS	10 "SEA LARK"
④ PRIMARY STUCCO	10 "SEA LARK"
⑤ SECONDARY STUCCO & CHARGE DOORS	10 "SEA LARK"
⑥ FIELDESTONE ACCENT	10 "SEA LARK"

EXTERIOR COLOR SCHEME 2: ①	
① ROOF TILE	EAGLE ROOFING SUNSET BLEND "MISSION SANTA CRUZ"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOUNDER PLANTERS	10 "MISSION SANTA CRUZ"
③ STUCCO FASCIA, TRIM AND POP-OUTS	10 "MISSION SANTA CRUZ"
④ PRIMARY STUCCO	10 "MISSION SANTA CRUZ"
⑤ SECONDARY STUCCO & CHARGE DOORS	10 "MISSION SANTA CRUZ"
⑥ FIELDESTONE ACCENT	10 "MISSION SANTA CRUZ"

EXTERIOR COLOR SCHEME 3: ①	
① ROOF TILE	EAGLE ROOFING SUNSET BLEND "CAJON BLIND BLEND"
② DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOUNDER PLANTERS	10 "CAJON BLIND BLEND"
③ STUCCO FASCIA, TRIM AND POP-OUTS	10 "CAJON BLIND BLEND"
④ PRIMARY STUCCO	10 "CAJON BLIND BLEND"
⑤ SECONDARY STUCCO & CHARGE DOORS	10 "CAJON BLIND BLEND"
⑥ FIELDESTONE ACCENT	10 "CAJON BLIND BLEND"



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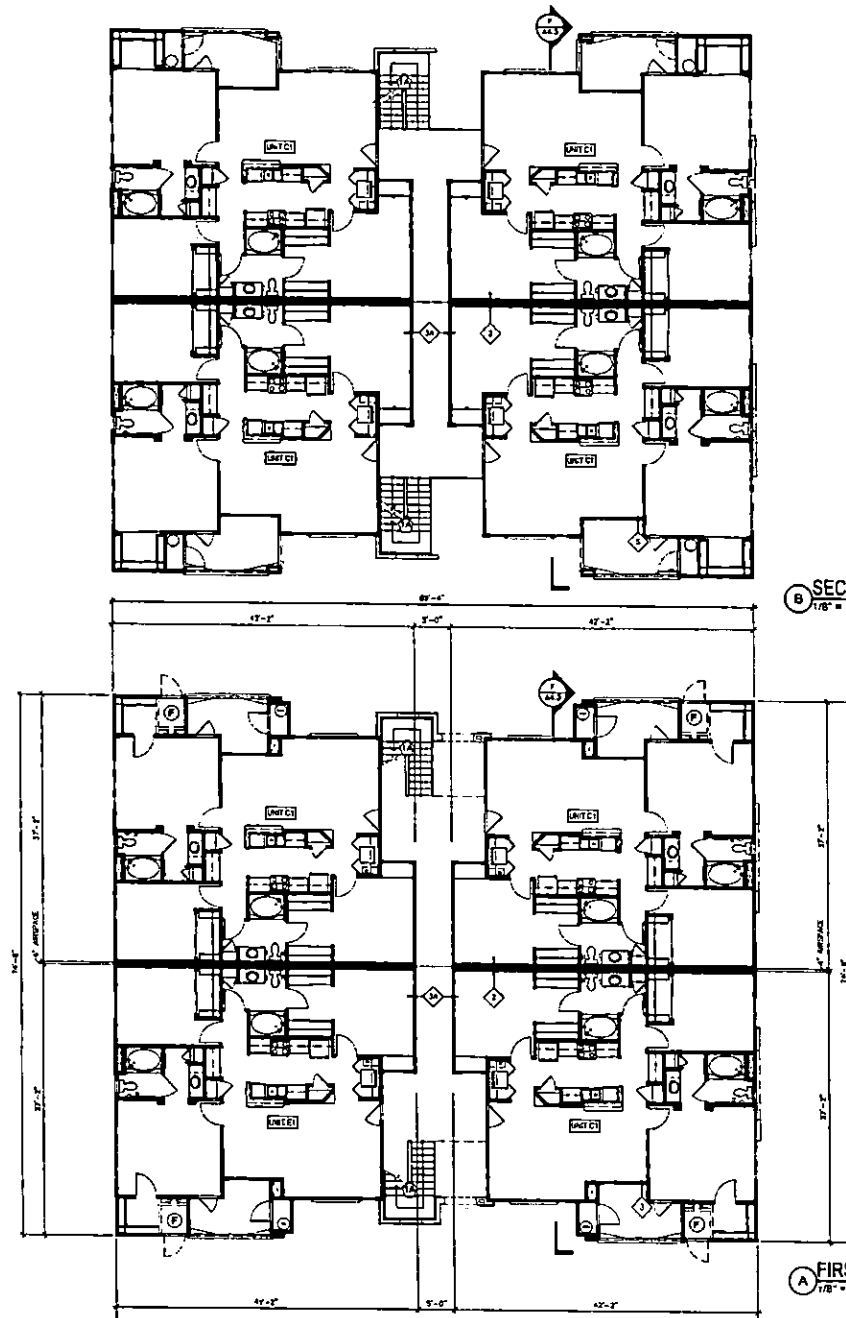
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BUILDING TYPE 4
EXTERIOR ELEVATIONS

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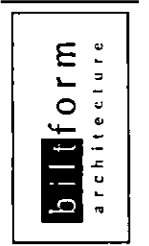
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SYMBOL SCHEDULE	
(METER)	METER PAD LOCATION SEE ELECTRICAL PLAN FOR EXACT LOCATION. VERIFY SIZE W/ ELECTRICAL CONTRACTOR PRIOR TO START. METER PAD SIZE SHALL NOT EXCEED MORE THAN 1' DIA. VERIFY SIZE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
(TERMINAL)	TERMINAL TERMINAL CABLE TO HAP SEE & MATCH WITH CABLE ONLY & 2' DIA. BLUE PLAN SEE ELECTRICAL FOR EXACT LOCATION. VERIFY SIZE WITH ELECTRICAL CONTRACTOR PRIOR TO START. SEE ELECTRICAL PLANS FOR LOCATION, CONFIGURATION & OTHER INFORMATION.
(STAR)	INDICATES STAR TYPE. SEE SHEET 4741 FOR STAR PLANS AND STAR SECTION.
(X)	STAIR ACCESS - SEE DETAIL 27/04
(DIAMOND)	SEE SHEET 1741 FOR SOUND AND FIRE RATED DETAILS
(SQUARE)	CONDENSING UNIT
(CIRCLE)	OPTIONAL FIRE RISKER LOCATION. SEE FLOOR AND SITE PLANS FOR LOCATION AND OTHER INFORMATION.
(FIRE)	PORTABLE FIRE EXTINGUISHER. SEE SHEET 4741 FOR LOCATION. CANNISTER NOT TO BE LOCATED INSTALLED AT A MAXIMUM HEIGHT OF 42"

BUILDING PLAN NOTES	
1	FOR TYPICAL UNIT PLANS SEE SHEETS A21, A23, A24, A25, A212, A213, A217
2	DWS TO FACE OF 3/8" WMD



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BUILDING TYPE 15
FIRST & SECOND FLOOR PLANS
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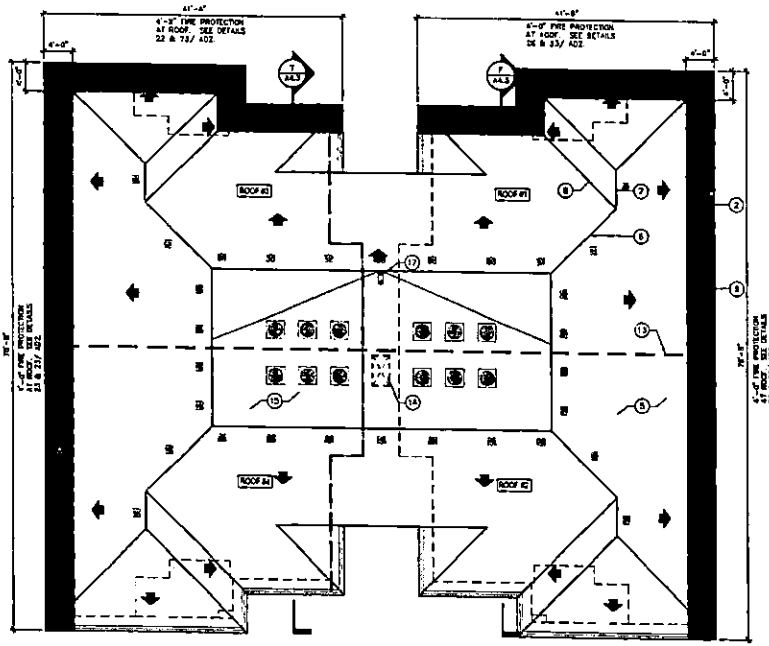
ROOF VENTILATION CALCULATIONS - BUILDING TYPE I					
ROOF AREA (S.F.)		REQUIRED VENT AREA (S.F.)			
ROOF #	ROOF AREA S.F.	REQUIRED VENT AREA	FREE VENT AREA PROVIDED		
			EAVER VENT	CLEAR VENT	TOTAL PROVIDED
ROOF 1	1,807	1,733	(87 LF) X 10	(8) X 110	1,750
ROOF 2	1,807	1,733	(87 LF) X 10	(8) X 110	1,750
ROOF 3	1,807	1,733	(87 LF) X 10	(8) X 110	1,750
ROOF 4	1,807	1,733	(87 LF) X 10	(8) X 110	1,750

ROOF VENTILATION CALCULATIONS NOTES:
 CLEAR VENT - 25 X 20 (FREE VENT AREA IS 116 S.F.) AS MANUFACTURED BY GENERAL METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA SHALL BE THE SAME OR BETTER THE REQUIREMENTS OF THE CALCULATION TABLE).
 EAVER VENT FREE VENT AREA IS 18 S.F. (NOT 200)

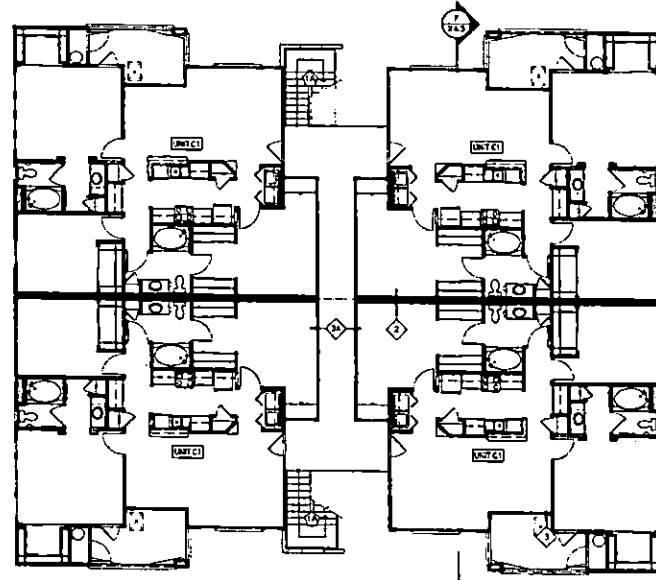
- KEYED NOTES**
- CHIMNEY - SEE DETAIL 80/23
 - LINE OF WALL BEHOLD
 - GLAZED ROOF VENT - SEE DETAIL 33/28
 - FLASHING - SEE DETAIL 12/22
 - CONCRETE ROOF TILE - 10/80 IN-4650
 - W/P - 3/4" IN DETAIL 34/23
 - RIDGE - SEE DETAIL 34/23
 - VALLEY - SEE DETAIL 31/23
 - LINE OF ROOF BEHOLD
 - FLUE STEEL WALLS FRAMING AND TOP & BOTTOM
 - CHIMNEY - PROVIDE MIN. SLOPE OF 1/4" PER FT.
 - PARAPET - SEE DETAIL 82/26
 - LOCATION OF DRAFTSTOP AT ATIC SPACE AND AT FLOOR JOINTING SPACE - SEE DETAIL 1/20 & 4/20
 - EAVER VENT - REFER VENTY LOCATION COORDINATE WITH STRUCTURAL SHEAR WALL LOCATIONS
 - MECHANICAL WELLS - SEE DETAIL 72/27
 - DRAIN & OVERFLOW WITH 3" ROOF DRAIN LEADERS TO DAY-LEAD - SEE DETAILS 82/28 AND 14/22
 - 3" DRAIN & OVERFLOW FROM MECHANICAL WELLS TO COLUMNS, DOWN TO DRAIN AT 1/4" PER FT.
 - LINE OF SOFFIT BELOW
 - ROOF GUTTER AND DOWNSPOUT
 - FLASHING - SEE DETAIL 82/28
 - 3-PLY BUILT UP GLAZED TO ROOF

- SYMBOL LEGEND**
- DIRECTION OF ROOF SLOPE - 1/2 U.O.Z.
 - DIRECTION OF CHIMNEY SLOPE
 - DRAFTSTOP SHALL BE CONTINUED TO INTERSECTION OF ROOF SLOPES INCLUDING BUILDUP CHIMNEYS & TO FACE OF SECTION WALL & OVERLAP
 - INDICATES CLEAR VENT SEE DETAIL 33/28
 - ATIC ACCESS - SEE DETAIL 37/24
 - 30", 34" ROOF ACCESS - SEE DETAIL 78/27

- GENERAL NOTES**
- ALL PENETRATIONS OF FIRE-RESISTIVE ROOF OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORIES LISTINGS FOR "PENETRATION-RESISTANT FIRE STOP SYSTEMS". THE PENETRATION SHALL BE IN ACCORDANCE WITH THE LISTINGS OF THE FIRE STOP MATERIAL, WHICH SHOWN COMPLETE CONFORMANCE TO THE U.L. LISTING TO THE ARCHITECT, AND BUILDING DEPARTMENT SHALL BE AVAILABLE TO CLASH COORDINATION INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH APPROPRIATE U.L. # PROVIDED WITH ALL VARIABLES LISTED.
 - DRAFTSTOPS SHALL BE CONTINUED TO UNDER SIDE OF ROOF (SEE FRAMA INCLUDES BUILDUP CHIMNEY AND TO FACE OF EXTERIOR WALL & OVERLAP).
 - ATIC VENTILATION IS REQUIRED. REFER TO CALCULATIONS THIS SHEET.
 - ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - SEE SECTIONS FOR ADDITIONAL DETAILS.
 - CONC. ROOF IS TYPE "5" 10/80 IN-4650 WITH 3/4" DRAIN OVER 1/2" IN-4650 ROOF SLOPING.
 - TYPICAL ROOF SLOPE IS 4/12.
 - 3/4" OUT ROOF TILE AT VALLEYS - TYP.
 - ROOF OVERLAP SHALL BE 1'-0" U.O.Z.
 - ALL ROOF'S MUST BE A MINIMUM OF A CLASS-B RATING.



ROOF PLAN
 1/8" = 1'-0"



THIRD FLOOR PLAN
 1/8" = 1'-0"

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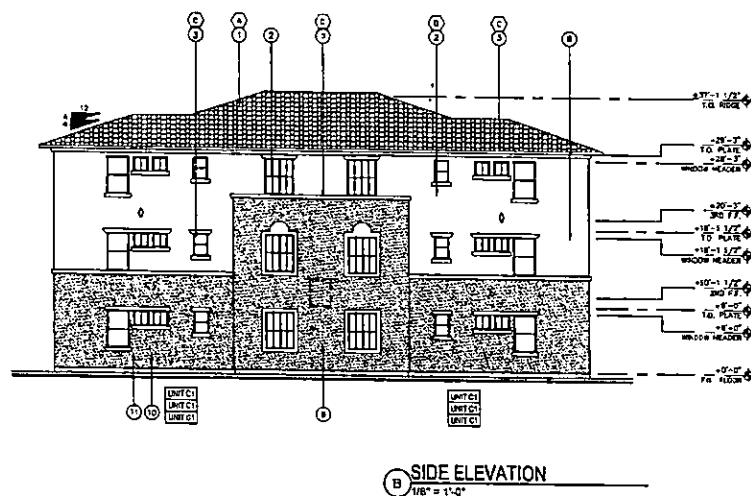
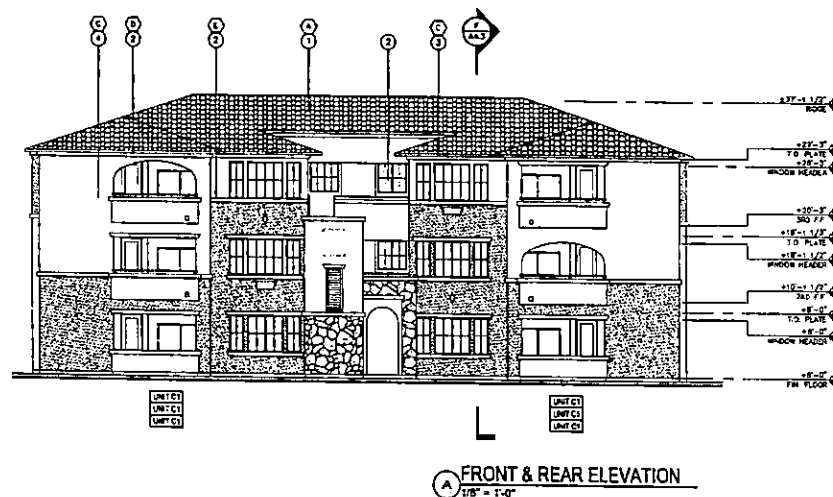
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BUILDING TYPE 15
 THIRD FLOOR & ROOF PLAN

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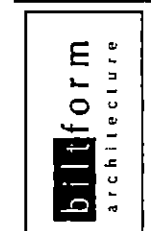
ELEVATION KEY NOTES (2)	
1. CONCRETE ROOF TILE - 1 C.B.D. 2003	
2. STUCCO SYSTEM - SEE DETAIL 21/01	
3. STUCCO FASCIA - SEE DETAIL 22/03	
4. STUCCO POP-OUT - SEE DETAIL 21/04	
5. ALUMINUM WINDOW	
6. FIELDSTONE ACCENT	
7. FACE FLOOR PLANTER	
8. BUILDING IDENTIFICATION SIGN	
9. METER PACK LOCATION	
10. TELEPHONE SERVICE LOCATION	
11. CABLE TELEVISION LOCATION	

EXTERIOR COLOR SCHEME 1	
1. ROOF TILE	DAVE ROOFING SAC #111 PUEBLO DEL SOL BUILDING
2. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #103 "SEA LANE"
3. STUCCO FASCIA, TRIM AND PORCHES	ICI #112 "HALE VILLAGE"
4. PRIMARY STUCCO	ICI #104 "MAPLE SEASON"
5. SECONDARY STUCCO & GARAGE DOORS	ICI #1030 "CASTLE COAT"
6. FIELDSTONE ACCENT	EL CORRALO STONE LIMESTONE "SALO"

EXTERIOR COLOR SCHEME 2	
1. ROOF TILE	DAVE ROOFING SAC #111 "WATERBURY CRUISE"
2. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #116 "STERN HOUSE"
3. STUCCO FASCIA, TRIM AND PORCHES	ICI #112 "HALE VILLAGE"
4. PRIMARY STUCCO	ICI #122 "CENTURY BROWN"
5. SECONDARY STUCCO & GARAGE DOORS	ICI #113 "TRADITIONAL TAN"
6. FIELDSTONE ACCENT	EL CORRALO STONE LIMESTONE "SALO"

EXTERIOR COLOR SCHEME 3	
1. ROOF TILE	DAVE ROOFING SAC #111 "CAPSTRAND BUILDING"
2. DOORS, SHUTTERS, STAIR & BALCONY RAILINGS & FLOWER PLANTERS	ICI #112 "WOOD HAVEN"
3. STUCCO FASCIA, TRIM AND PORCHES	ICI #112 "HALE VILLAGE"
4. PRIMARY STUCCO	ICI #122 "AFTERNOON TEA"
5. SECONDARY STUCCO & GARAGE DOORS	ICI #113 "SAL"
6. FIELDSTONE ACCENT	EL CORRALO STONE LIMESTONE "SALO"

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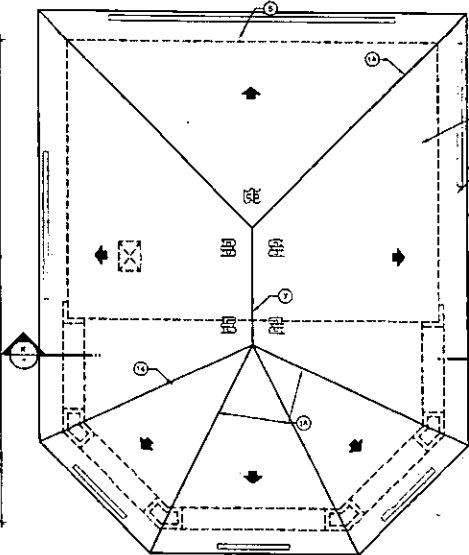
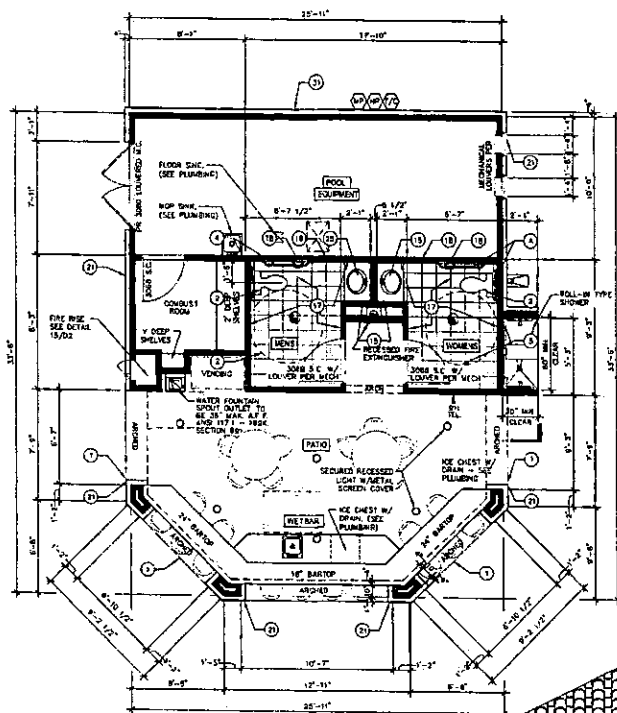
A7.3

BUILDING TYPE 15
EXTERIOR ELEVATIONS

SDR-17128
11/16/06 PC

© BILTFORM ARCHITECTURE GROUP INC.

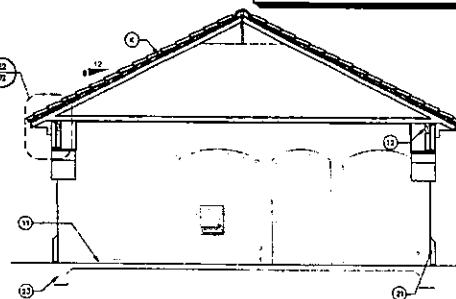
B. B. TOPMARCHITZ & GROUP INC.



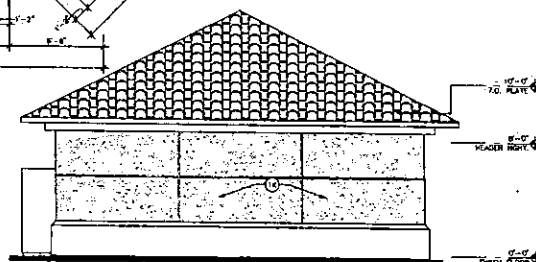
ROOF VENTILATION CALCULATIONS - BUILDING TYPE 1				
ROOF AREA (S.F.) = 116.5 = REQUIRED VENT AREA (S.F.)				
ROOF #	ROOF AREA S.F.	REQUIRED VENT AREA	FREE VENT AREA PROVIDED	
			SAVE VENT	CLOCK VENT
ROOF 1	1,063	1,001	(52 S.F.) X 18	(33) X 318
				1,070

ROOF VENTILATION CALCULATIONS NOTES:
 1. DRAINAGE VENT - 25 X 20 (FREE VENT AREA IS 116.5) AS MANUFACTURED BY SONENET METALS MANUFACTURING AND SUPPLY COMPANY OR EQUAL (NET FREE AREA SHALL BE THE SAME OR MEET THE REQUIREMENTS OF THE CALCULATION TABLE).
 2. FREE VENT FREE VENT AREA IS 10.21 PER FOOT.

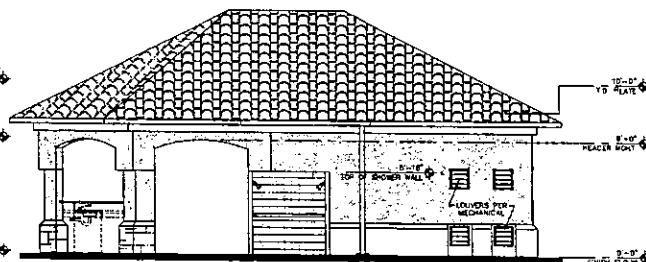
GENERAL ROOF PLAN NOTES:
 1. CONCRETE THE ROOF AREAS SHALL HAVE 1/2" SLOPE AWAY FROM ROOF DRAINAGE.
 2. TYPICAL OVERHANG SHALL BE PER 24/02.
 3. DASHED LINE INDICATES BUILDING BULK.
 4. SAW CUT ROOF TILE AT VALLEYS - TYP.
 5. DRAINAGE VENT SHALL BE 24" X 20" (FREE VENT AREA IS 10.21 PER FOOT) FREE VENT SHALL BE THE SAME OR MEET THE ABOVE REQUIREMENTS.



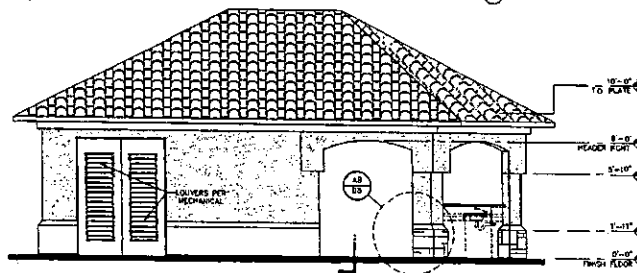
1. BUILDING SECTION



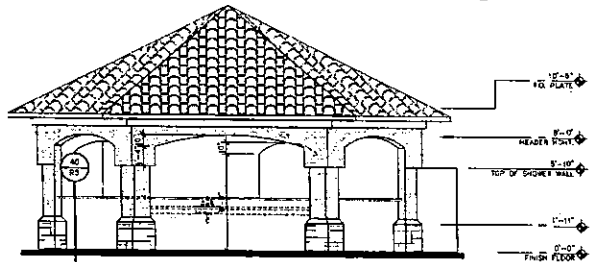
2. REAR ELEVATION



3. RIGHT ELEVATION



4. LEFT ELEVATION



5. FRONT ELEVATION

KEYED NOTING:

- FRAMED ARCH AND PORCH ABOVE
- HANGCAP WATER CLOSET - 17' HIGH
- 10" DIA. TURNING CIRCLE
- 3/4" AND 45° 1 1/2" STAINLESS STEEL GRAB BARS - PROVIDE SOLID BLOCKING SEE DETAIL 7/401
- LINE OF WALL BELOW
- CONCRETE ROOF TILE - TYPE 12 - 12.000 AREA-MADE WITH BATTENS OVER 404 PLY ON PLYWOOD ROOF SHEATHING TYPICAL
- ROOF
- VALLEY
- FASCIA - SEE DETAIL 22/03
- STUCCO SYSTEM - SEE SHEET 3/101
- CONCRETE TORSION TO MATCH WALL DECK OVER CONCRETE SLAB SEE STRUCTURAL OF FINISHES
- DEAN SEE STRUCTURAL DRAWINGS
- CONCRETE FOOTING SEE STRUCTURAL DRAWINGS
- WP
- 18 PLASTIC LAMINATE COUNTERTOP & LAVATORY
- BORRICH (E800) PAPER TOWEL AND WASTE DISPENSER
- BORRICH (B152) TOILET TISSUE DISPENSER
- BORRICH (B82) LAV MOUNTED SOAP DISPENSER
- CEFRANC TILE COUNTERTOP & BATH
- BUILDING START - 38/05
- CONTINUOUS SOFT VENT

SYMBOL SCHEDULE:

- INDICATES CLEARED VENT
- DIRECTION OF SLOPE 8:12
- CEILING MOUNTED EXHAUST FAN
- FAN MECHANICAL
- ADDRESS PANEL - SEE 37/04

EXTERIOR COLOR SCHEME 1:

- ROOF TILE: EAGLE ROOFING INC. #125 "PUERTA DEL SOL BLEND"
- DOORS, SHUTTERS, SLAB: #10 "SEA LANE"
- STUCCO FASCIA, TRIM AND PORCHES: #12 "HALE VILLAGE"
- PRIMARY STUCCO: #13 "LAUREL CREEK"
- SECONDARY STUCCO & ENTRANCE DOORS: #14 "LAUREL GOAT"
- FIELDSTONE ACCENT: #15 "DORADO STONE Limestone 'SHILO'

EXTERIOR COLOR SCHEME 2:

- ROOF TILE: EAGLE ROOFING INC. #125 "PUERTA DEL SOL BLEND"
- DOORS, SHUTTERS, SLAB: #10 "SEA LANE"
- STUCCO FASCIA, TRIM AND PORCHES: #12 "HALE VILLAGE"
- PRIMARY STUCCO: #13 "LAUREL CREEK"
- SECONDARY STUCCO & ENTRANCE DOORS: #14 "LAUREL GOAT"
- FIELDSTONE ACCENT: #15 "DORADO STONE Limestone 'SHILO'

EXTERIOR COLOR SCHEME 3:

- ROOF TILE: EAGLE ROOFING INC. #125 "PUERTA DEL SOL BLEND"
- DOORS, SHUTTERS, SLAB: #10 "SEA LANE"
- STUCCO FASCIA, TRIM AND PORCHES: #12 "HALE VILLAGE"
- PRIMARY STUCCO: #13 "LAUREL CREEK"
- SECONDARY STUCCO & ENTRANCE DOORS: #14 "LAUREL GOAT"
- FIELDSTONE ACCENT: #15 "DORADO STONE Limestone 'SHILO'

Piceme at Providence - Phase II
 Rental Apartment Community
 Las Vegas, Nevada

Piceme Development Corp.
 1420 E. Missouri Ave., Suite 100 Phoenix, Arizona 85014-2469
 PHONE (602) 775-8464 FAX (602) 285-1956

NO.	DATE	BY	SCALE
1	11/16/06	PC	1/4" = 1'-0"

A10.1

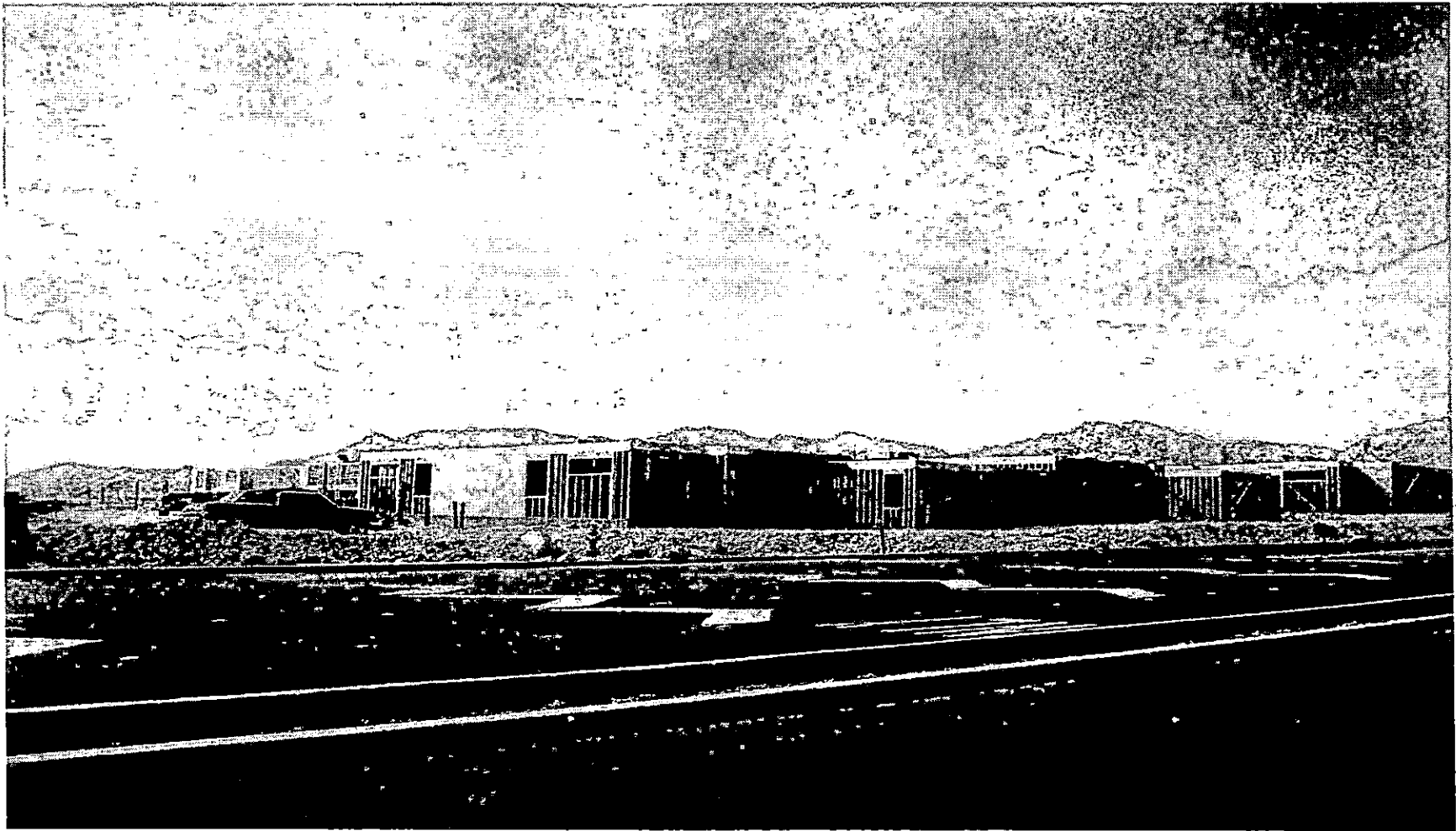
RECEIVED
 SEP 26 2006

CABANA C1 FLOOR,
 ROOF, & ELEVATION PLANS

SDR-17128
11/16/06 PC

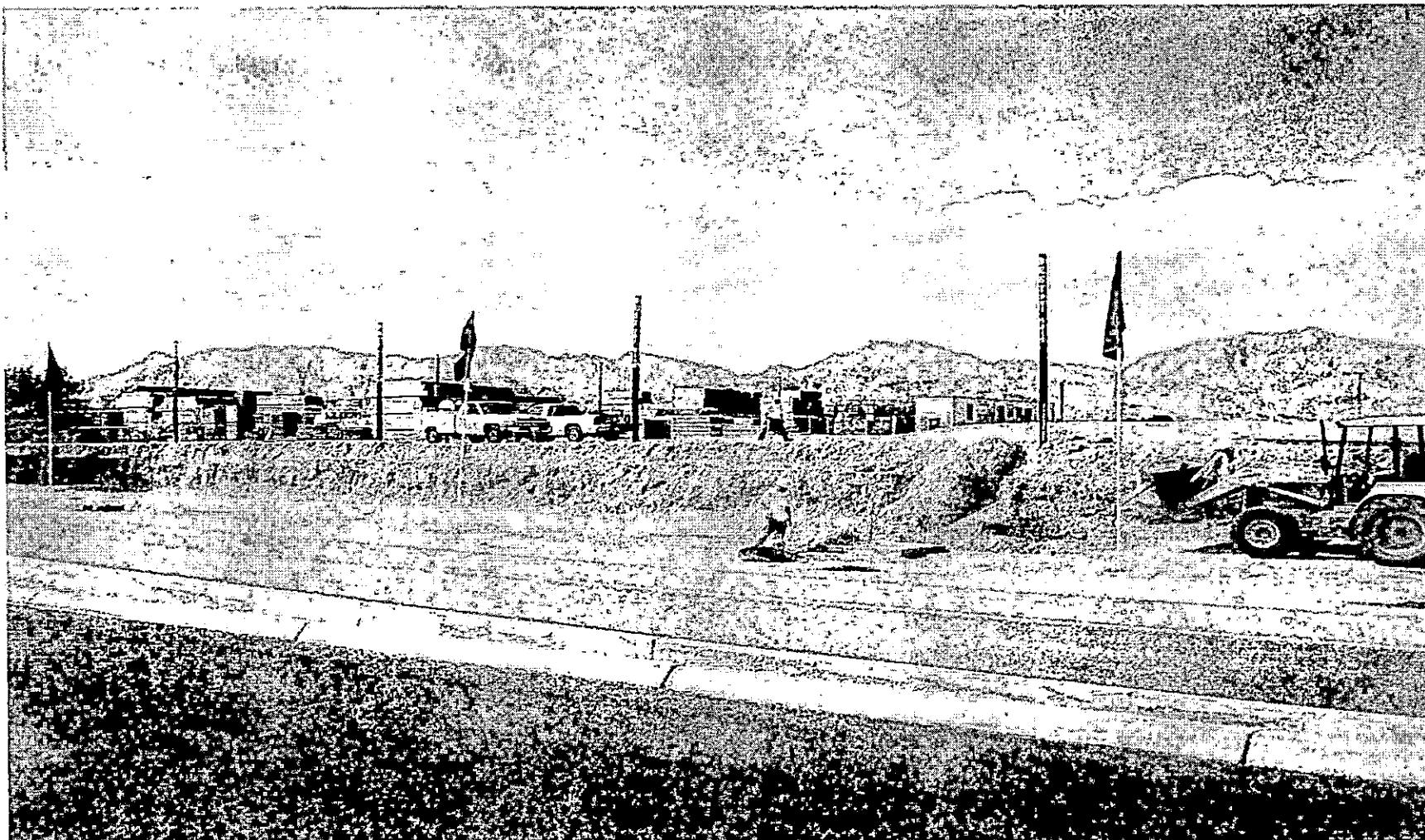
© KLT DESIGN ARCHITECTURE FIRM, INC.

SDR 17128				
Picrme Providence II, LLC				
6851 N Hualapai				
Proposed 124 unit multi-family housing development expansion.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	RES. CONDO/TOWNHOUSE [DWELL]	124	5.86	727
AM Peak Hour			0.44	55
PM Peak Hour			0.52	64
<i>(heaviest 60 minutes)</i>				
No counts are available for existing traffic in this vicinity.				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Dorrell Drive	32585			
Hualapai Way	34300			
This project will add approximately 727 trips per day on Dorrell or Hualapai. Counts are not available in this vicinity, but Dorrell and Hualapai are believed to be under capacity. This project will use roughly 2 percent of the capacity of Dorrell and Hualapai.				
Based on Peak Hour use, this development will add roughly 64 additional cars into the area; which works out to about over one every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAR-17127 & SDR-17128 - APPLICANT/OWNER: PICERNE PROVIDENCE II, LLC
6851 NORTH HUALAPAI WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



KUMMER KAEMPFER BONNER RENSHAW & FERRARIO
ATTORNEYS AT LAW

WWW.KKBRF.COM

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sallen@kkbrf.com
702.792.7000

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Seventh Floor
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Fax: 702.796.7181

RENO OFFICE
5250 S. Virginia Street
Suite 220
Reno, NV 89502-6000
Tel: 775.852.3900
Fax: 775.852.3982

SUMMERLIN OFFICE
3425 Cliff Shadows Parkway
Suite 150
Las Vegas, NV 89129-5074
Tel: 702.693.4260
Fax: 702.939.8457

September 26, 2006

VIA HAND DELIVERY

City of Las Vegas
Planning & Development Dept.
731 So. Fourth Street
Las Vegas, NV 89101

**RE: Justification Letter
Site Development Review & Parking Variance
APN 126-24-610-004**

To Whom It May Concern:

Please be advised our office represents the applicant in the above-referenced matter. The property is located at the northwest corner of Deer Springs Way and Hualapai Way, more specifically known as assessor's parcel number 126-24-610-004 ("Site").

The Site is approximately five (5) acres in size and is located within the Cliff's Edge Providence Master Planned Community. The applicant has an approved apartment development ("Phase I") adjacent to the Site and intends to add the Site into that development as Phase II of the development. The Cliff's Edge Design Review Committee ("DRC") has approved the Phase II development with a minor reduction in parking for the overall development. See DRC Approval Letter and Analysis attached hereto as Exhibit A.

A. Site Development Review

The Site that will be incorporated into the applicant's approved Phase I development will consist of one hundred twenty-four (124) apartment units with a density of 24.9 units per acres. There will be thirty-six (36) one bedroom units, seventy-six (76) two bedroom units and twelve (12) three bedroom units on the Site. There will be access to the Site from Hualapai Way and internal driveway cross access to Phase I. There will be excess open space on the Site with a pool and a recreation area. The required open space is 12,400 square feet and the applicant is providing 32,352 square feet of open space. The applicant meets the parking on the Site with two hundred thirty-eight (238) parking spaces on the Site where two hundred twenty-seven (227) parking spaces are



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**SDR-17128
11/16/06 PC**

required. However, when the Site is incorporated into Phase I, a slight parking variance for the overall development is necessary.

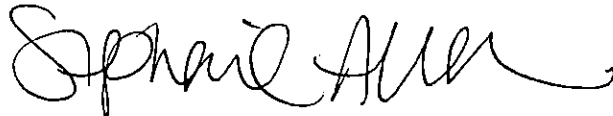
B. Parking Variance (slightly over 1 %)

Although the approved Phase I development complied with the City's parking requirements as a stand alone development, and the proposed Phase II development complies with the City's parking requirements as a stand alone development, the overall project requires a minor parking variance of just over 1%. There will be five hundred sixteen (516) apartments with Phase I and Phase II combined. The overall development will require nine hundred thirty-seven (937) parking spaces, and the applicant is providing nine hundred twenty-six (926) parking spaces overall. This is a parking reduction of slightly over 1%. The reason for the slight reduction in overall parking is a result of the driveway configurations on the new Site to allow appropriate internal access between Phase I and Phase II. The Cliff's Edge DRC approved the variance because it was so slight and because both Phase I and Phase II meet the parking requirements as stand alone developments.

Should you have any questions or concerns, please do not hesitate to contact me. Thank you for your time and consideration.

Sincerely,

KUMMER KAEMPFER BONNER RENSHAW & FERRARIO



Stephanie H. Allen

SDR-17128
11/16/06 PC



PROVIDENCE

3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 568-2044

September 13, 2006

Kevin Reis
Picerne
4880 West University Avenue
Suite B6
Las Vegas, NV 89103

**RE: *Cliff's Edge Master Plan Community
Parking Requirement Variance Request
POD: 125a - Phase II Additional 5 Acres***

Dear Kevin,

The Cliff's Edge Design Review Committee (DRC) is in receipt of the Picerne letter dated August 24, 2006 requesting to provide 926 spaces for 516 apartment units where a total of 937 spaces are required.

Upon review of your request and the attached tentative map table review dated August 24, 2006 this deviation has been found to be just slightly over 1% therefore the DRC "approves with conditions" your request subject to the following:

- Final review and approval by the City of Las Vegas.
- A copy of the approved CLV Tentative Map should be submitted to the Providence DRC.

Any other deviations must be submitted to the DRC for review and approval prior to submitting to the City. Due to the location of your community within the Providence Master Plan, the DRC suggests your perimeter walls and landscape be in accordance with Providence design standards to provide seamless blending with the adjacent communities. As a courtesy, the DRC is willing to perform a review of your perimeter walls and landscape designs at no cost in an effort to provide continued design flow throughout the community.

If you have any questions, please do not hesitate to contact our office.

Sincerely,

CLIFF'S EDGE, LLC

Carmen Shukis
Design Review Manager

cc via email: Don Richards, Heather Motogawa, Amber Abel - Focus
Mo Seebeck, Dave Browning - Landtek

Enclosures: (Picerne request letter dated 08/24/06, Tentative Map table review dated 08/24/06 and Landtek Tentative Map review dated 08/24/06)

**SDR-17128
11/16/06 PC**



PROVIDENCE

3455 Cliff Shadows Parkway, Suite 220, Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 568-2044

August 24, 2006

Kevin Reis
Picerne
4880 West University Avenue
Suite B6
Las Vegas, NV 89103

RE: Project Plan Tentative Map Review for Providence POD 125a Picerne Phase II Multi-Family (Phase II: additional 5 acres)

Dear Kevin,

The Providence Design Review Committee (DRC) is in receipt of the Project Plan Tentative Map submittal. This submittal has been reviewed against Section 3.2.1 (Medium Density Residential – Up to 25 Du/Ac) of the Design Guidelines based on the approved use and density of Pod 125A.

Standards	Required	Provided	Compliance
Building Setbacks			
Principal Buildings and Accessory Structures from Adjacent Parcel PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	20' min	Yes
• Three Story Structures	30'	30' min	Yes
• Four Story Structures	40'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Street R.O.W. at Parcel Perimeter:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	20'	92.5'	Yes
• Three Story Structures	25'	92.5'	Yes
• Four Story Structures	30'	N/A	N/A
Principal Buildings and Accessory Structures Adjacent to Parks, Open Space, Landscape Areas Adjacent to Perimeter Streets, or Paseo PL:			
• Single Story Structures	10'	N/A	N/A
• Two Story Structures	10'	10'	Yes
• Three Story Structures	10'	10'	Yes
• Four Story Structures	10'	N/A	N/A
Living Area or Porch from Private	10'	SDR-17128	Yes

11/16/06 PC



PROVIDENCE

August 24, 2006
Page 2 of 2

Street or Parking		10'	
Garage Face Setback from Private Street	Less than 5' or 18'+	<5'	Yes
Building Separation			
Balcony to Balcony	30'	30'	Yes
Balcony to Non-Balcony	20'	20'	Yes
Non-Balcony to Non-Balcony	15'	15'	Yes
Between Main Building and Accessory Structure	10'	10'	Yes
Maximum Building Height Principal Buildings and Accessory Structures	50' Subject to setback criteria above	Per Phase 1	Yes
Minimum Open Space Common Open Space⁽¹⁾	100 Sq. Ft. / Unit	261 Sq. Ft./Unit	Yes
Parking: Minimum No. of Spaces Required			
Studio or 1 bedroom units	1.25/Unit	1.25/Unit	Yes*
Two bedroom units	1.75/Unit	1.75/Unit	Yes*
Units with more than 2 bedrooms	2/Unit	2/Unit	Yes*
Visitor Parking	0.2/Unit	0.2/Unit	Yes*
Senior Housing	1 covered or enclosed space/Unit	N/A	N/A
1. The minimum square footage of the recreation area is 10,000 Sq. Ft. Additional recreation area, when required, may be combined with the main recreation area, or may be utilized as a separate satellite recreation area with a minimum square footage of 4,000 Sq. Ft. The balance of any cumulative recreation requirement exceeding 14,000 Sq. Ft. may be devoted to common open space distributed throughout the project as the builder desires. The minimum width of a common open space area shall be 20'.			

* Phase II of this development, as submitted and reviewed herein, has adequate parking. However, it is our understanding that the development as a whole, Phases I and II combined, falls short of the overall parking requirements by 11 spaces. This is a less than 1% deviation. The Providence DRC conditionally approves this deviation subject to the approval of the City of Las Vegas.

SDR-17128
11/16/06 PC



MEMORANDUM

DATE: August 24, 2006
TO: Carmen Shukis, Design Review Manager
FROM: Don Rodriguez
CC: DAVE BROWNING
RE: Providence - Picerne Pod 125a Phase II Tentative Map, 2nd Submittal

Upon our review of the revised Tentative Map (SDR) for Picerne Pod 125a, Phase II, at Providence, we recommend "*Conditional Approval*" of the plan subject to the approval of the City of Las Vegas.

The builder's Tentative Map (SDR) should be remitted to the Providence DRC once approved by the City of Las Vegas.

Should you have any questions, please feel free to contact me.

Thank you.

Don Rodriguez, APM
Providence

August 24, 2006

Design Review Committee
Cliff's Edge, LLC
C/O LANDTEK, LLC
3455 Cliff Shadows Parkway, Suite 290
Las Vegas, NV 89129

Subject: Picerne at Providence Apartments- variance for parking requirements

To whom it may concern:

The combining of phase I and phase II has created a shortage of 11 parking spaces overall, per City of Las Vegas standards. The project is 516 apartment units. The parking required is 937 spaces, and the parking provided is 926 spaces, which is a deficit of just slightly over 1%.

Picerne has been actively developing and managing apartments in the Las Vegas market for the last 20 years and we are very comfortable with both the parking count and parking distribution for the project.

Please consider the above information in providing us with an approval for the project.

Sincerely,

Kevin Reis
Vice President

SDR-17128
11/16/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ CONSENT ☒ DISCUSSION

SUBJECT:

VAR-17156 - VARIANCE - CORRECTED - PUBLIC HEARING -
APPLICANT/OWNER: GLENN J. SORRELLS - Request for a Variance TO ALLOW A SEVEN-FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM HEIGHT PERMITTED IN A PORTION OF THE FRONT YARD on 0.15 acres at 1109 Shifting Sands Drive (APN 138-26-615-088), R-1 (Single Family Residential) Zone, Ward 5 (Weekly).
NOTE: THE APPLICATION IS FOR AN EIGHT FOOT HIGH WALL WHERE A FIVE-FOOT HIGH WALL IS THE MAXIMUM

P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

4

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – protest letter by M. L. Ferguson
6. Submitted at meeting – support letter by Glenn J. Sorrells

MOTION:

EVANS – DENIED – UNANIMOUS

This is Final Action

NOTE: COMMISSIONER DAVENPORT disclosed that although **MR. BEERS** is the father to **FRANK BEERS**, a personal friend, he would still vote on the matter. **COMMISSIONER STEINMAN** also disclosed his friendship with **FRANK BEERS** and the fact they served on the Sun City Summerlin Board together, but noted it would not affect his decision and therefore would vote on the matter.

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 32 – VAR-17156

MINUTES – Continued:

DOUG RANKIN, Planning and Development Department, stated that he could not support the request Variance as it is a self-imposed hardship. He recommended denial.

GLENN SORRELLS, 1109 Shifting Sands Drive, proposed an eight foot wall with an additional four feet forward between his property and his neighbors. MR. SORRELLS stated the wall would be constructed of ornamental wrought iron and used to fence his front courtyard. MR. SORRELLS submitted a letter of support from his neighbor across the street

JOYCE DELAROSA, 1105 Shifting Sands Drive, appeared on behalf of herself, her family and MILLIE DOMINGUEZ, 6232 Chinook Way. MS. DELAROSA submitted a letter of opposition from STEVE FRIHIGHT, 1325 Clifton Circle. She expressed displeasure for the proposal since it could affect her property's value and noted MR. SORRELLS' previous failed attempts at constructing a courtyard. MS. DELAROSA presented pictures to support her argument and requested the matter be denied. ANGEL ESCOBAR, 917 Shifting Sands Drive, concurred that such proposal could affect property value and encourage others to construct without obtaining necessary permits. FRANK BEERS, 3008 Hawksdale Drive, was unaware that an eight-foot wall was acceptable even on the side of the yard. He opposed the proposal.

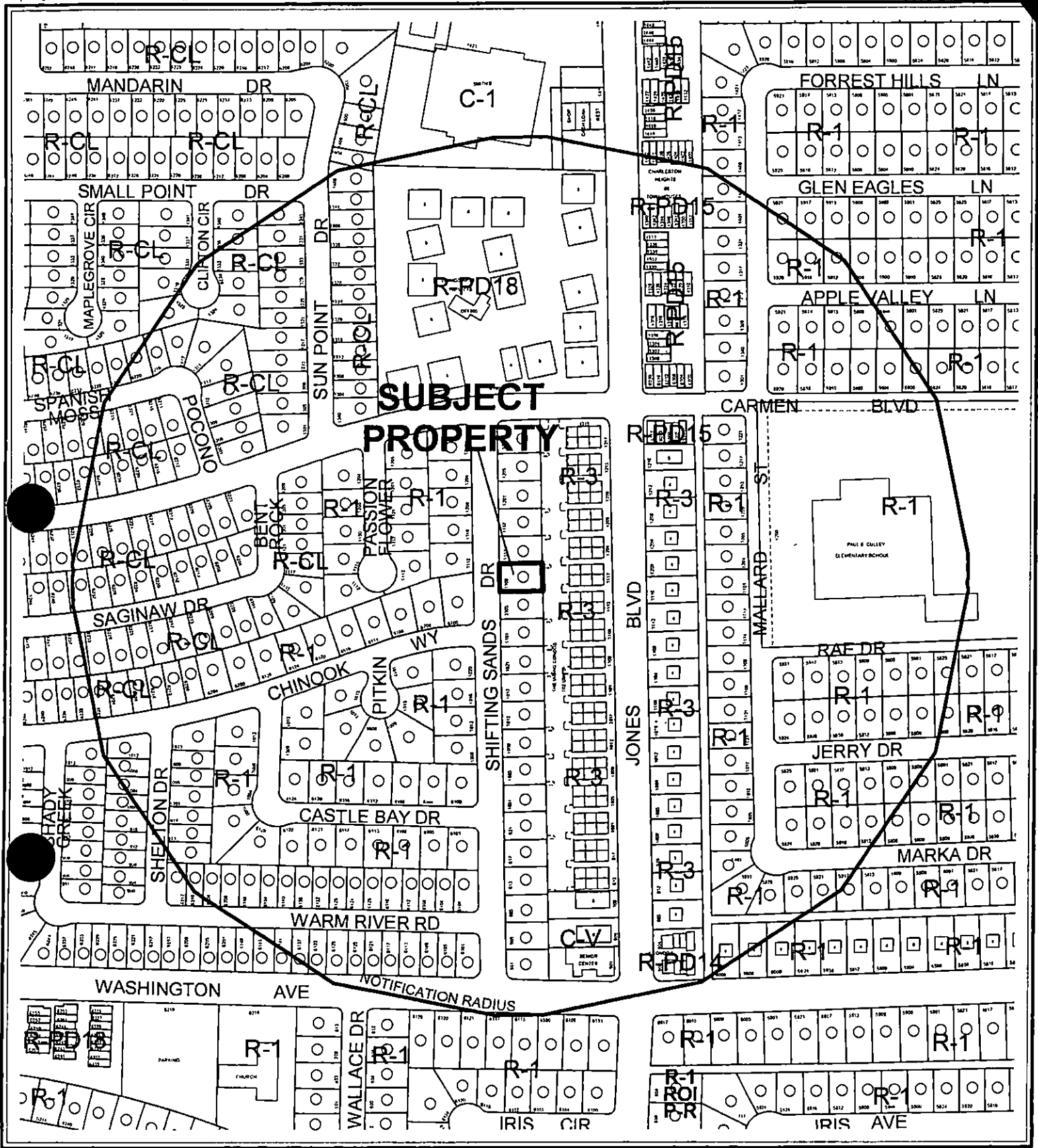
MR. SORRELLS admitted that he had previously erected a wooden fence that was not permitted but removed the fence upon the City's request. COMMISSIONER GOYNES stated that research must be conducted prior to building or constructing in order to avoid appearing before the Commission and to prevent disputes between neighbors.

COMMISSIONER EVANS noted that construction is often conducted without necessary permits. He verified that MR. SORRELLS is requesting seven feet where five feet is the maximum permitted. COMMISSIONER EVANS did not object to the intent but because the immediate neighbor is opposed, he could not support the request.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(9:19 – 9:38)

2-3173



CASE: **VAR-17156**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-1 (SINGLE FAMILY RESIDENTIAL)





CASE: **VAR-17156**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-1 (SINGLE FAMILY RESIDENTIAL)

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-17156 - APPLICANT/OWNER: GLENN J. SORRELLS

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17156 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The project is a Variance request to allow for the construction of a 8 foot high combination masonry wall with the top 3 feet providing visibility, and ornamental fencing along a portion of the southern property line where 5 feet with the top 3 feet providing visibility is the permitted maximum height pursuant to Title 19 Wall Standards. The project is proposed within the front yard of a 0.15 acre single family residential site located at 1109 Shifting Sands Drive.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
08/05/1987	The City Council approved a Plot Plan Review of an addition to a child care center on the property located at 6565 West Smoke Ranch Road, N-U Zone (under Resolution of Intent to C-1). Staff and the Planning Commission recommended approval.
<i>Pre-Application Meeting:</i>	
09/16/2006	A Pre-application meeting was held with the applicant. Development Services – Current Planning staff informed the applicant that front yard walls/fences heights shall be 5 feet with the top 3 vertical feet open to permit visibility. In addition, the applicant was informed perimeter walls may be a maximum of eight feet high.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this type of development request nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.15 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Single Family Residential	Low Density Residential	R-1 (Single Family Residential)
North	Single Family Residential	Low Density Residential	R-1 (Single Family Residential)
South	Single Family Residential	Low Density Residential	R-1 (Single Family Residential)
East	Single Family Residential	Medium Density Residential	R-3 (Medium density Residential)
West	Single Family Residential	Low Density Residential	R-1 (Single Family Residential)

VAR-17156 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Size	6,500 square feet	NA	Y
Min. Lot Width	65 feet	NA	Y
Min. Setbacks		NA	Y
• Front	20		
• Side	5		
• Corner	15		
• Rear	15		
Max. Lot Coverage	50%	NA	Y
Max. Building Height	2 stories or 35 feet, whichever is less	NA	Y

Title 19.12.040

<i>Landscaping and Open Space Standards</i>			
<i>Standards</i>	<i>Maximum Height</i>	<i>Provided</i>	<i>Compliance</i>
Wall Height	5 feet	8 feet	N

ANALYSIS

The project proposes to construct a masonry block wall in the front yard and an ornamental iron fence along the side yard (southern property line shared with an existing single family residence). The wall will be as high as 8 feet within the front setback area, where 5-feet with the top three vertical feet open to permit visibility, is the maximum permitted height. The ornamental iron fence proposed along the side yard is proposed at 8 feet high which is the maximum permitted height consistent with Title 19 Residential Development Standards. The proposed wall would be constructed of 4 foot high masonry along the front with the top 3 feet a viewable fence.

VAR-17156 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

The subject property does not possess any topographical constraints that precludes the applicant from meeting Title 19 wall height standards. As such, staff recommends denial of the requested variance.

Furthermore, City Council Bill 2006—43, Section 19.12.075 Wall Standards states that no screening wall shall be built in the front yard of a residential property.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature.”

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship with the proposed wall exceeding wall/fence height requirements as stipulated in Title 19.12.075. A reduction in the wall height will provide a design alternative that would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site’s physical characteristics, it is concluded that the applicant’s hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

11

ASSEMBLY DISTRICT 34

VAR-17156 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

SENATE DISTRICT 3

NOTICES MAILED 357

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17156** APN: 138-26715-088

Name of Property Owner: John J. Brels

Name of Applicant: Cheryl Sorells

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

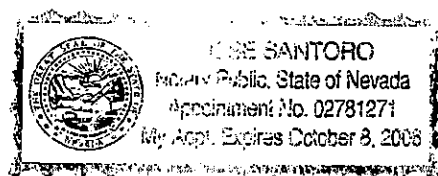
Signature of Property Owner:

Print Name: _____

Subscribed and sworn before me

This 1 day of Sept, 2000

Notary Public in and for said County and State



155011
11/5/24

Existing Wall

CLAMMENTAL
IRON

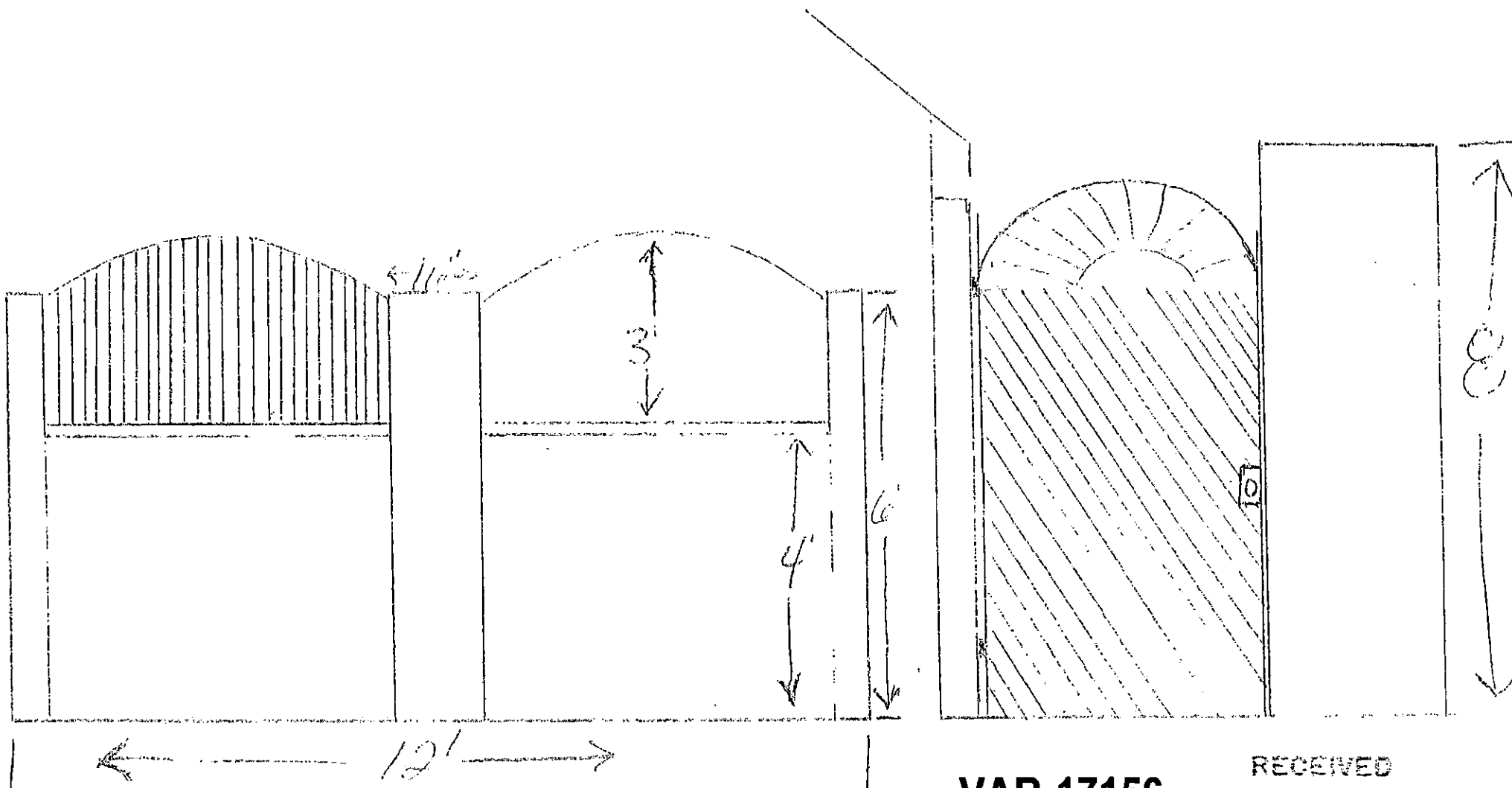
12' 11"
12' 11"

11/5/24
Sands Shifting

Shifting Sands De.

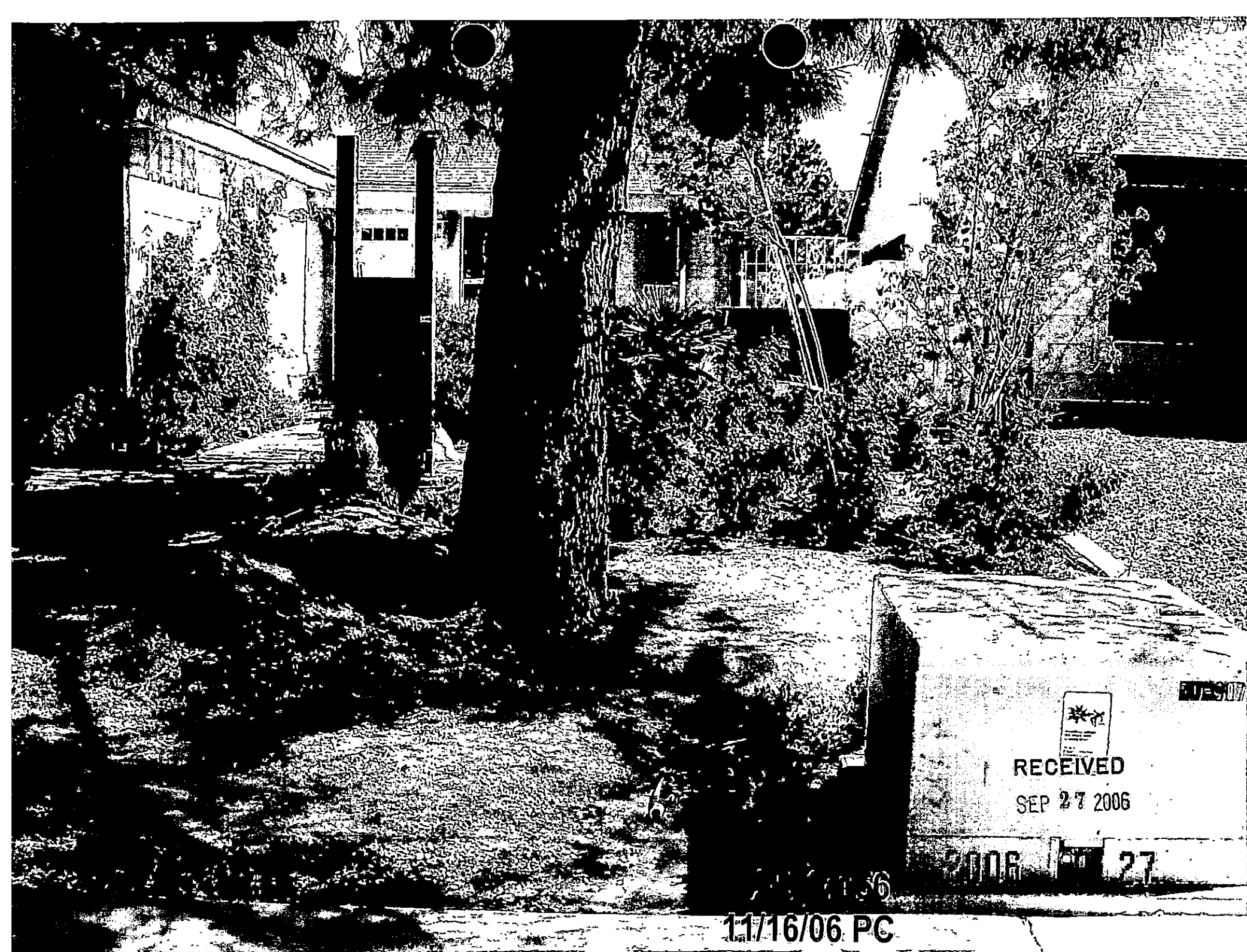
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SEP 27 2006

VAR-17156
11/16/06 PC



VAR-17156
11/16/06 PC

RECEIVED
SEP 27 2006



11/16/06 PC



VAR-17156 - APPLICANT/OWNER: GLENN J. SORRELLS
1109 SHIFTING SANDS DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06



VAR-17156 - APPLICANT/OWNER: GLENN J. SORRELLS
1109 SHIFTING SANDS DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06

Glenn Sorrells
1109 Shifting Sands Ave.
Las Vegas, NV 89108
Phone (702) 429-5029

September 5, 2006

Planning and Development
City of Las Vegas

Re: Variance @ 1109 Shifting Sands Ave.

To whom it may concern:

I would like to request a variance for a courtyard wall. The proposed wall extends 6 ½ ft. beyond the home, and is projected to be 4' tall solid block with ornamental iron 2 ½ ft. tall on top. The purpose for the wall is to enclose a courtyard area in front of the home for privacy and security.

Sincerely,



Glenn Sorrells
Homeowner

VAR-17156
11/16/06 PC

8 Nov. 2006

Chairman, Planning Commission
731 So. 4th St.
Las Vegas, NV. 89101

Re: Var-17156 Correction

Dear Planning Chairman:

I am one of the original home owners in this neighborhood, having bought my home in 1989, and I've been pleased that my neighborhood has pretty much held its property values in spite of the seventeen years.

However, I am not pleased that Glenn J. Farrells has petitioned for a variance of a 7 to 8' patio wall extending into his front yard. I can see no reason to extend a large patio wall into a front yard - how far out is not spelled out in the variance - it can't be for Parks!

I've seen what variances and owners' change in architecture do to a neighborhood and I don't want that to happen to mine.

Please, please deny this request for the sake of our good neighborhood!

Yours sincerely,
M.L. Ferguson

PO Box 34195
Las Vegas, NV. 89133

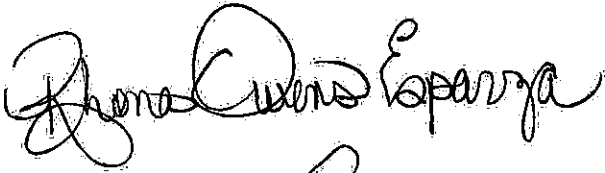
You have my permission to use this letter in this matter.

Thursday, November 16, 2006

To Whom It May Concern,

We are the neighbors of Glen Sorrells. We feel that the wall addition that he is proposing will add beauty and security to his home, as well as the neighborhood. We are in complete agreement with his proposal.

Sincerely,
Jerry Esparza
Rhona Owens-Esparza
1112 Shifting Sands Dr.
Las Vegas, NV 89108
702-242-3388




Submitted at Planning Commission

Date 11/16/06 Item # 32

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-17299 - VARIANCE - PUBLIC HEARING - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC. - Request for a Variance TO ALLOW 13 PARKING SPACES WHERE 27 PARKING SPACES ARE THE MINIMUM REQUIRED on 0.79 acres at 6565 Smoke Ranch Road (APN 138-23-110-031), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

2

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – protest letter by Rosie Mania

MOTION:

EVANS – APPROVED subject to conditions – Motion carried with **DUNNAM** voting **NO**

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 33 [VAR-17299] and Item 34 [SUP-17301].

DOUG RANKIN, Planning and Development Department, reported that the proposal is for a pet-boarding facility that constitutes a change of use and an increase of parking. He could not make a finding for approval. The parking Variance and the Special Use Permit cannot exist without the parking Variance; consequently, both applications are recommended for denial.

RICHARD MORENO, 300 South Fourth Street, appeared on behalf of the applicant and indicated that the building has been vacant for over a year. He explained that the applicant's

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 33 – VAR-17299

MINUTES – Continued:

intent is to offer a doggy daycare since this type of business has become a successful trend. The daycare requirement for a child daycare is one parking space per ten children thus the site was originally approved for 148 children. The applicant would not handle more than 90 dogs at a time and would only board approximately 50 to 60 dogs per day over the next two to three years. MR. MORENO noted the staggered hours of operation and pointed out that all paperwork would be completed via the Internet and prior to drop off. He stated that the 13 parking spaces would be sufficient for the use and respectfully requested approval.

YIHONG LIU, adjacent property owner, appeared in opposition as the use is not appropriate for the site and there is a parking deficiency. He stated there would be a noise and odor issue for nearby residential properties and requested the matter be denied.

JIM CHIRO, 6445 Peachwood Road, Vice President of the Tangerwoods Homeowners Association, inquired about overnight usage and MR. MORENO confirmed that 10 to 20 percent of their customers would utilize the business for overnight purposes. While the homeowners association is in favor of the application, he expressed concern for noise pollution.

In response to the sound and odor concerns, MR. MORENO indicated that such concerns would be mitigated as it is an incentive to provide a clean attractive environment for dogs. COMMISSIONER EVANS inquired whether a review period is a condition of approval for the Special Use Permit and MR. RANKIN stated there was no recommendation for a review. COMMISSIONER EVANS supported the applications with the added condition for a one-year administrative review. COMMISSIONER DAVENPORT suggested to also adding a condition that would restrict the amount of overnight stays allowed but COMMISSIONER EVANS noted that the one-year review would give the City an opportunity to evaluate the business at that time.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 33 [VAR-17299] and Item 34 [SUP-17301].

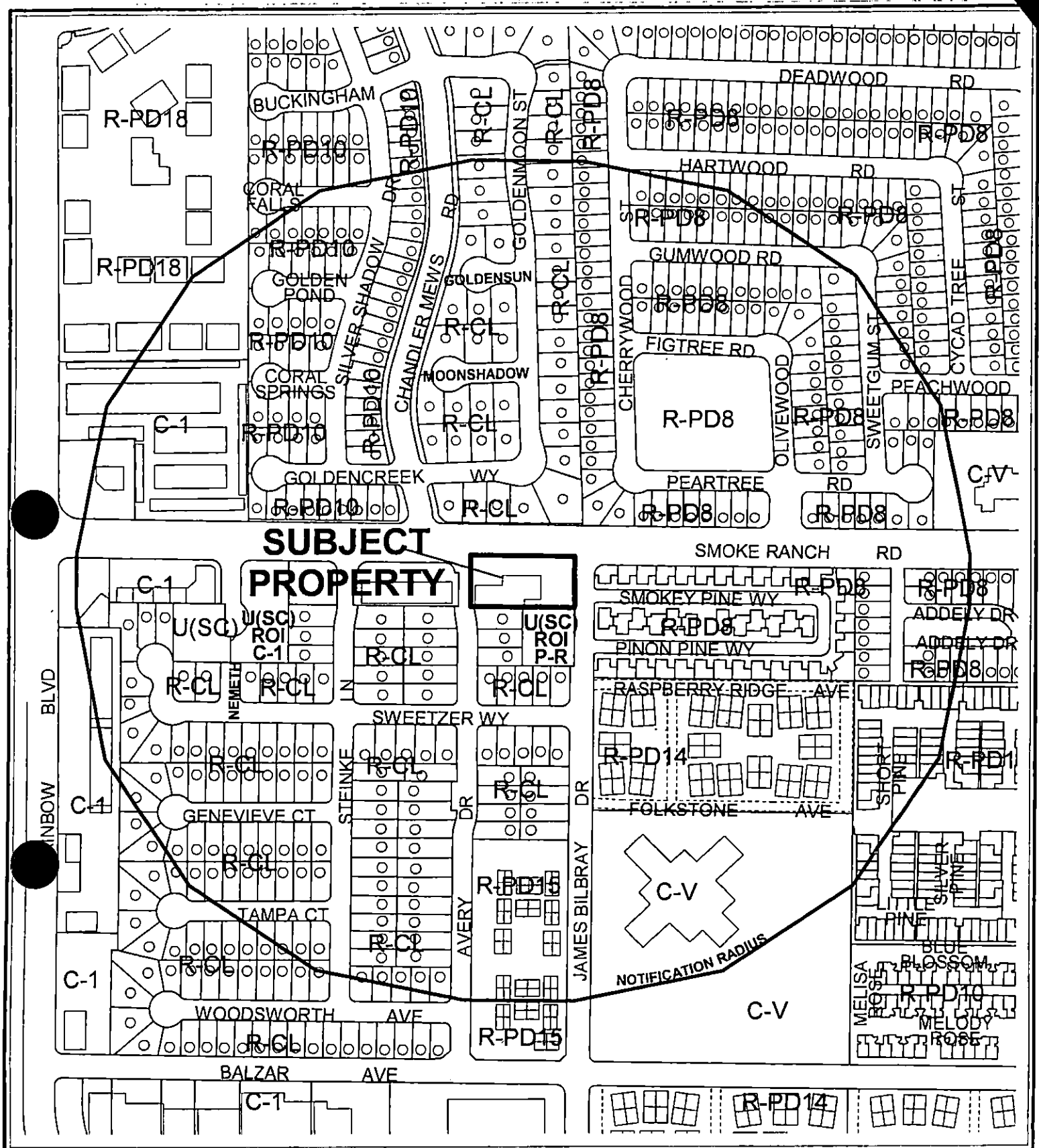
(9:38 – 9:50)

3-479

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-17301) shall be required if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



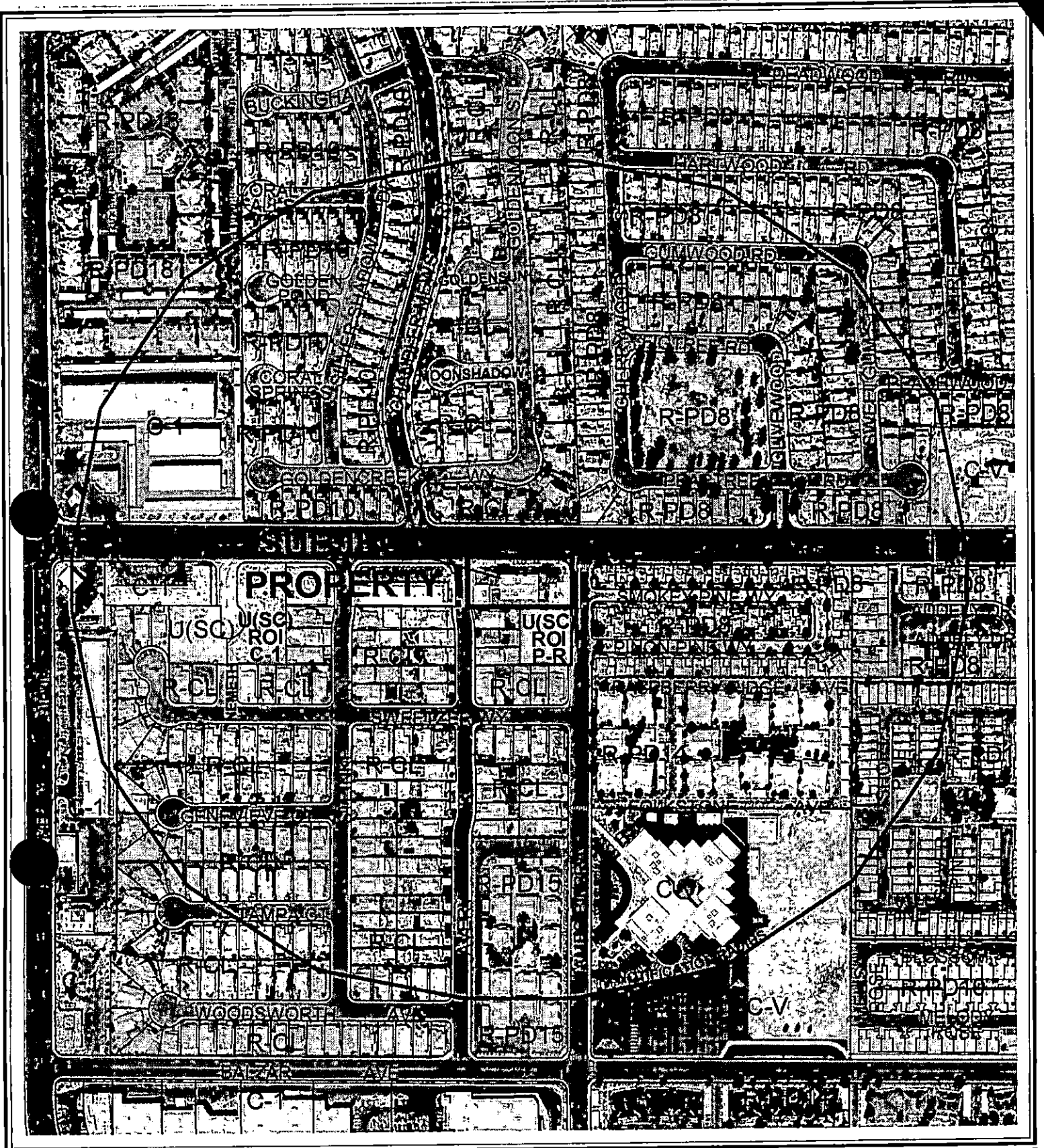
CASE: **VAR-17299**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **VAR-17299**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: VAR-17299 - APPLICANT: MICHAEL LAWSON - OWNER:
SANDCASTLE ENTERPRISES, INC.**

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Special Use Permit (SUP-17301) shall be required if approved.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17299 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed project is a request for a Variance to allow 13 parking spaces where 27 parking spaces are the minimum required. The 0.79 acre project parcel is located at 6565 Smoke Ranch Road. The requested parking reduction is associated with an associated application for a Special Use Permit (SUP-17301) request to operate a pet boarding facility at the same site. If the proposed SUP-17301 is approved and the subject variance application is denied, parking for the proposed use will be deficient by 50 percent. Staff recommends denial of the requested Variance.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
08/05/87	The City Council approved a Plot Plan Review of an addition to a child care center on the property located at 6565 West Smoke Ranch Road, N-U Zone (under Resolution of Intent to C-1). Staff and the Planning Commission recommended approval.
<i>Related Building Permits/Business Licenses</i>	
08/15/06	The business permit for the former child daycare center expired.
<i>Pre-Application Meeting</i>	
09/11/06	A Pre-Application meeting was held with the applicant. Development Services -- Current Planning Staff were informed that the proposed use would be an "Upscale" pet boarding facility that would not include exterior pens, but would potentially utilize existing exterior rear yard areas for training.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this development type nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.79 acres

VAR-17299 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Vacant Child Care Facility	Service Commercial	C-1 (Limited Commercial)
North	Residential	Medium Low Residential	R-CL (Residential Compact Lot)
South	Residential	Medium Low Residential	R-CL (Residential Compact Lot)
East	Residential	Medium Low Attached Residential	R-PD (Residential Planned Development)
West	Commercial Office space	Service Commercial	C-1 (Limited Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

The following Commercial Development Standards from Section 19.08.050 of Title 19 apply to the subject site.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required Parking		Provided Parking		Compliance
			Regular	Handi-capped	Regular	Handi-capped	
Service Commercial	6,712	1 space/250 square feet	25	2	12	1	N
TOTAL			27		13		N
Percent Deviation					50 percent		N

VAR-17299 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

ANALYSIS

The proposed project is located within the C-1 (Limited Commercial) Zone, Southwest Sector of the City General Plan. The project site is currently developed with a former Child Daycare Center and associated parking. A companion application Special Use Permit (SUP-17301) to operate a 6,711 square foot pet boarding facility at a former Child Daycare Center site shall be considered with this variance request.

- **Site Plan**

The project site contains two existing one story commercial structures and a 13 space surface parking lot accessible from Smoke Ranch Road. The site is surrounded by existing residential uses to the north, south, and east, and commercial office to the west.

- **Parking**

In accordance with Title 19 Commercial Development Parking Standards, the proposed pet boarding use requires 1 parking space per 250 square feet of gross floor area (27 spaces) on-site. Existing site parking contains 13 standard spaces; 50 percent below zoning code requirements. Staff finds that the proposed use is not suitable for this site and the parking deficit could negatively affect surrounding residential uses. Therefore, staff recommends denial of the requested parking Variance.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

VAR-17299 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship in selecting a project site that is unable to provide required parking. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 4

ASSEMBLY DISTRICT 37

SENATE DISTRICT 3

NOTICES MAILED 458 [Mailed with SUP-17301]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

VAR-17299

Case Number: _____ APN: 138-23-110-31

Name of Property Owner: Sandcastle Enterprises, Inc.

Name of Applicant: Michael Lawson

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Carol Lewis

Print Name: CAROL LEWIS

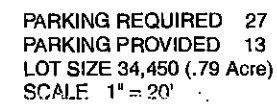
Subscribed and sworn before me

This 2 day of October, 2006

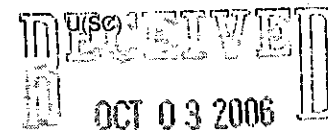
Paul R. Smith

Notary Public in and for said County and State





VAR-17299
11/16/06 PC





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OCT 03 2006

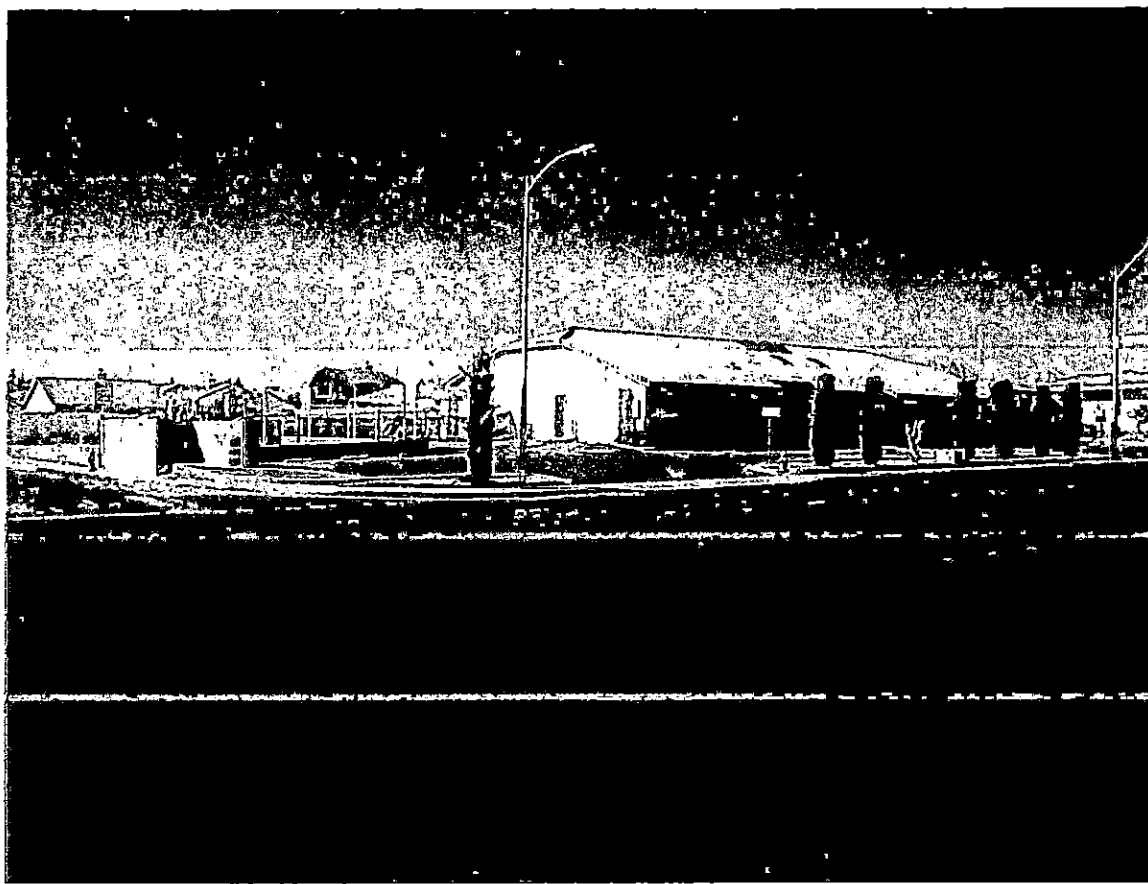
VAR-17299
11/16/06 PC



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OCT 03 2006

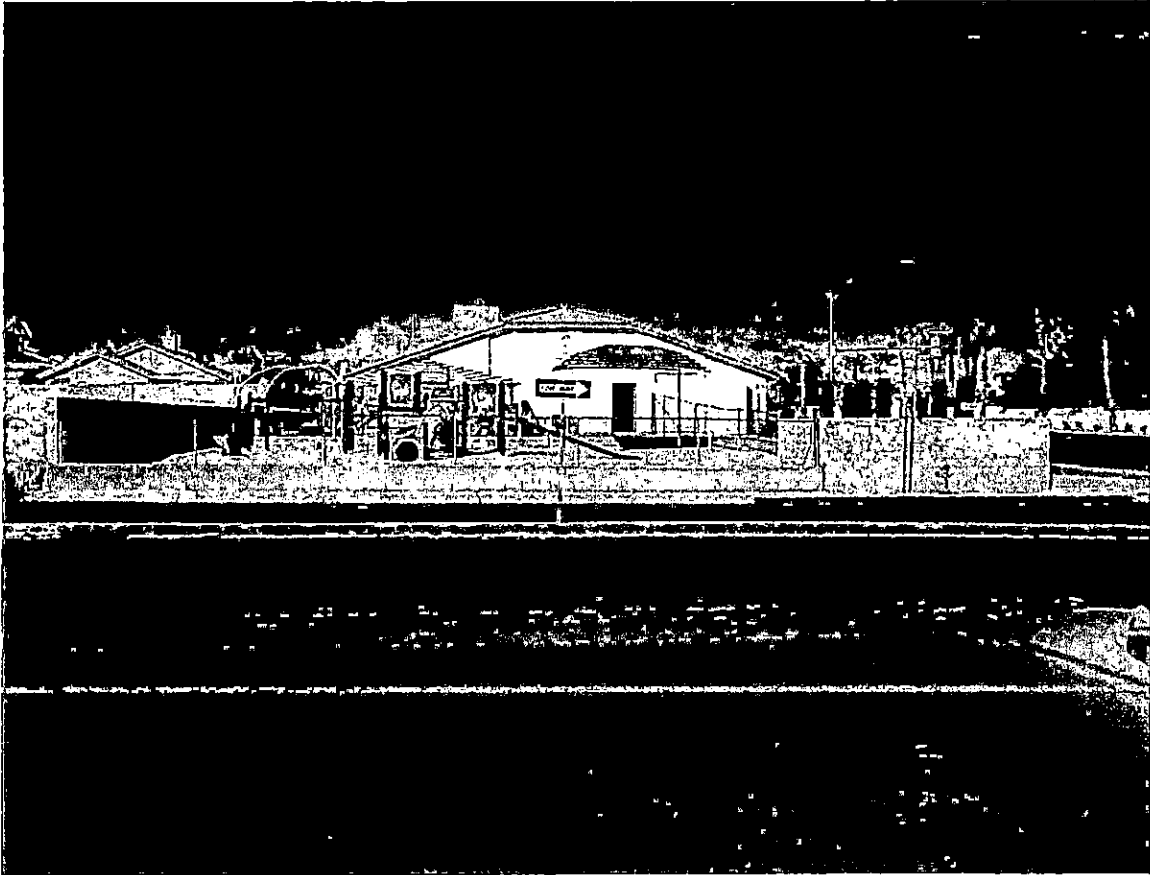
VAR-17299
11/16/06 PC



FRONT

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OCT 03 2006

VAR-17299
11/16/06 PC



EAST END

RECEIVED
OCT 03 2006

VAR-17299
11/16/06 PC

September 28, 2006

City of Las Vegas
Planning & Development Department
731 South Fourth Street
Las Vegas, NV 89101

**Justification Letter
Parking Variance**

Re: 138-23-110-031

Fr: Michael Lawson
dba Bark Avenue

We are requesting a parking variance for the property located at 6565 Smoke Ranch Road. This is in conjunction with submittal for a special use permit to change the occupancy from child daycare to pet boarding/daycare. Both of these issues are contingencies for the subsequent purchase of the property. According to current city code, 27 parking spaces are required but only 13 parking spaces exist.

We believe the variance should be granted based on the following reasons:

1. Currently, as a child daycare facility it is approved for up to 148 children plus the staff. Though similar in traffic drop-off and pick-up patterns significant differences exist for the proposed use.
 - a. It would be rare to reach 75 dogs in attendance on any given day and we would agree to a limit of 90 maximum, lessening the drop-offs and pick-ups by approximately 40% to 50% comparatively.
 - b. Research has shown that 10% to 20% of the drop-offs and pick-ups on any given day will be of groups of 2 to 3 or more dogs from a single vehicle.
 - c. The drop-off hours will be from 6:30 am to 11:30 am, there are no scheduled beginning times for classes to cause a bottleneck.
 - d. The pick-up hours are between 2:00 pm and 7:00 pm. 10% to 20% will be for overnight stays not requiring a daily drop-off or pick-up.
2. If need arises for additional parking in the area it will be rare and of a very temporary nature.
3. Extensive use of video surveillance will allow a staff size not to exceed 6 people on any one shift
4. Utilizing the Internet to manage reservations and prepay fees allows the typical repeat customer to spend very little time in the drop-off, pick-up routine.

Your time and support will be very much appreciated.

Sincerely,



Michael Lawson

**VAR-17299
11/16/06 PC**

The Officer-In-Charge
Planning And Development Department
Current Planning Division
Development Services Center

2345 Avery Drive
Las Vegas, NV 89108

13 November 2006

RE: VAR-17299

Dear Sir/Ma'am:

I am writing to express my objection to VAR-17299.

I object to cars parking in front of my house because this is a residential area anything that has to do with regular or constant business transactions should have a designated area or confined to that area covered only by commercial zone. I value quiet and peaceful environment and letting cars park in front of my house could mean strangers hanging around, loud radio, loud noise, honking of horn, the noise of constant arrival and departure of cars and littering. Cleanliness, peace and order in the neighborhood could greatly be affected.

I have a question why was that big commercial building with address at 6595 Smoke Ranch Road with 10-DOOR SUITE approved by the City to be erected on such a small area and without enough space for parking for tenants and customers.

I would be very grateful for supporting me, this matter is really very important for me being located adjacent to that commercial building.

Thank you again for protecting my right and for your prudent decision on this matter.

Very truly yours,



ROSIE MANIA

Submitted after final agenda

Date 11/16/06 Item #33

The Officer-In-Charge
Planning And Development Department
Current Planning Division
Development Services Center

2345 Avery Drive
Las Vegas, NV 89108

13 November 2006

RE: VAR-17299

Dear Sir/Ma'am: - - - - -

I am writing to express my objection to VAR-17299.

I object to cars parking in front of my house because this is a residential area anything that has to do with regular or constant business transactions should have a designated area or confined to that area covered only by commercial zone. I value quiet and peaceful environment and letting cars park in front of my house could mean strangers hanging around, loud radio, loud noise, honking of horn, the noise of constant arrival and departure of cars and littering. Cleanliness, peace and order in the neighborhood could greatly be affected.

I have a question why was that big commercial building with address at 6595 Smoke Ranch Road with 10-DOOR SUITE approved by the City to be erected on such a small area and without enough space for parking for tenants and customers.

I would be very grateful for supporting me, this matter is really very important for me being located adjacent to that commercial building.

Thank you again for protecting my right and for your prudent decision on this matter.

Very truly yours,



ROSIE MANIA

Submitted after final agenda

Date 11/16/06 Item #33

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-17301 - SPECIAL USE PERMIT RELATED TO VAR-17299 - PUBLIC HEARING -
APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC. -
Request for a Special Use Permit FOR A PROPOSED PET BOARDING ESTABLISHMENT at
6565 Smoke Ranch Road (APN 138-23-110-031), C-1 (Limited Commercial) Zone, Ward 5
(Weekly).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

EVANS – APPROVED subject to conditions and adding the following as read for the
record as follows:

- There shall be a one-year administrative review.
- Motion carried with **DUNNAM** voting **NO**

To be heard by City Council on 12/20/2006

MINUTES:

NOTE: See Item 33 [VAR-17299] for all related discussion.

(9:38 – 9:50)

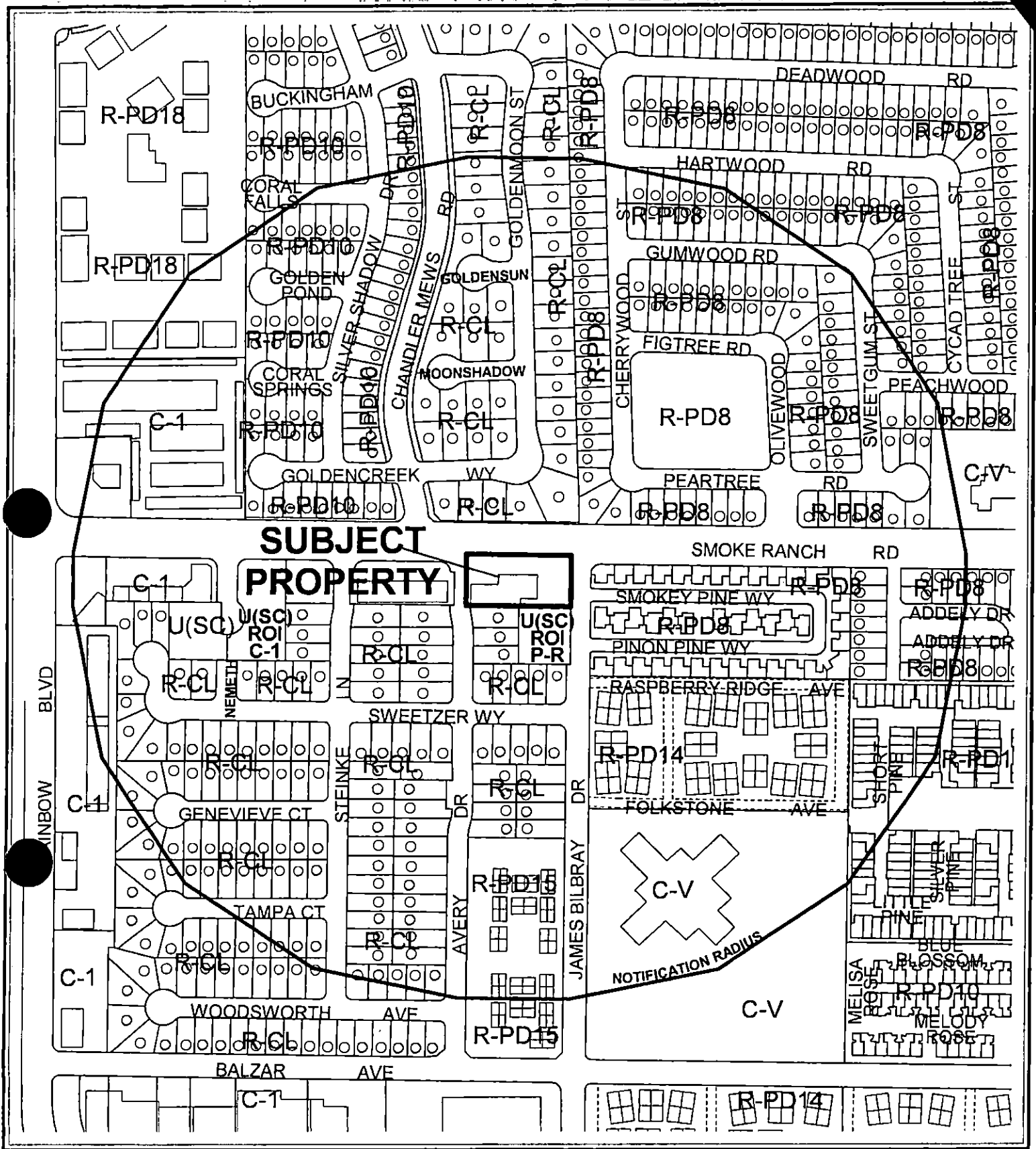
3-479

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 34 – SUP-17301

CONDITIONS:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Pet Boarding use.
2. Conformance to the Conditions of Approval for Variance (VAR-17299) shall be required.
3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.



CASE: **SUP-17301**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: SUP-17301 - APPLICANT: MICHAEL LAWSON - OWNER:
SANDCASTLE ENTERPRISES, INC.**

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Pet Boarding use.
2. Conformance to the Conditions of Approval for Variance (VAR-17299) shall be required.
3. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-17301 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed project is a request for a Special Use Permit (SUP-17301) for the operation of a 6,711 square foot pet boarding facility on a 0.79 acre project parcel located at 6565 Smoke Ranch Road. A companion item Variance (VAR-17299) request to reduce required parking shall be considered with this proposal.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
08/05/1987	The City Council approved a Plot Plan Review of an addition to a child care center on the property located at 6565 West Smoke Ranch Road, N-U Zone (under Resolution of Intent to C-1). Staff and the Planning Commission recommended approval.
<i>Related Building Permits/Business Licenses</i>	
08/15/2006	The business permit for the former child daycare center expired.
<i>Pre-Application Meeting</i>	
09/11/2006	A Pre-Application meeting was held with the applicant. Development Services -- Current Planning Staff were informed that the proposed use would be an "Upscale" pet boarding facility that would not include exterior pens, but would potentially utilize existing exterior rear yard areas for training.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this development type nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.79 acres

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Vacant Child Care Facility	Service Commercial	C-1: Limited Commercial
North	Residential	Medium Low Residential	R-CL: Residential Compact Lot
South	Residential	Medium Low Residential	R-CL: Residential Compact Lot
East	Residential	Medium Low Attached Residential	R-PD: Residential Planned Development
West	Commercial Office space	Service Commercial	C-1: Limited Commercial

SUP-17301 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	X		Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

The following Commercial Development Standards from Section 19.08.050 of Title 19 apply to the subject site.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Service Commercial	6,712	1 space/250 square feet	25	2	12	1	N
TOTAL			27		13		N
Percent Deviation					50 percent		N

Residential Adjacency Standards	Required/Allowed	Provided	Compliance
Trash Enclosure	50 FEET	125 FEET	Y

ANALYSIS

The proposed project is located within the C-1 (Limited Commercial) Zone, Southwest Sector of the City General Plan. The project site is currently developed with two commercial buildings which previously operated as a Child Daycare Center. The project site includes surface parking to the north of the structures as well as exterior useable lawn areas at the south of the property. A variance request to reduce parking requirements will be considered concurrently with this special use proposal.

SUP-17301 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

- General Plan

The project site is located within an area designated for Service Commercial (SC) uses in the Southwest Sector of the City Master Plan.

- Zoning

The project is located within the C-1 (Limited Commercial) Zone.

- Site Plan

The project site is currently developed with two existing commercial structures totaling 6,711 square feet. The site is surrounded by existing residential to the north, east, and south; commercial office to west, and undeveloped land to the south.

- Parking

Existing parking on the project includes 13 standard parking spaces. A Variance for required parking will be considered with this Special Use Permit. Title 19 parking standards for pet shelter require 1 space per 250 square feet of gross floor area (27 spaces for the proposed use). As such, the project would result in a parking deficiency of 50 percent.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed pet boarding center would be located adjacent to existing residential uses to the south, east, and north; commercial office to the west, and undeveloped land to the south. As this proposal would be located directly adjacent to residentially protected uses, the pet facility is not considered an appropriate use with existing residential uses as well as future surrounding land uses.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

SUP-17301 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

Existing parking on the project site would not meet minimum parking standards of Title 19 – Commercial Development Standards. As such, the intensity of the proposed use is considered incompatible for the subject site.

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

Access to the project site would be made on Smoke Ranch Road which is classified as a 4-lane major thoroughfare. As such, existing streets are capable of accommodating the proposed use.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The proposed Special Use Permit would allow for establishment of a pet boarding facility adjacent to existing residentially protected uses. Operation of this type of use may result in adverse effects to human health and safety.

5. **The use meets all of the applicable conditions per Title 19.04.**

The use will meet the conditions for special use requirements as described in Title 19 Section 19.04.050.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 4

ASSEMBLY DISTRICT 37

SENATE DISTRICT 3

NOTICES MAILED 458 [Mailed with VAR-17299]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17301** APN: 138-23-110-31
Name of Property Owner: Sandcastle Enterprises, Inc.
Name of Applicant: Michael Lawson

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

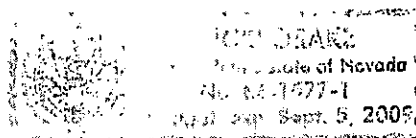
Signature of Property Owner: Carol Levins

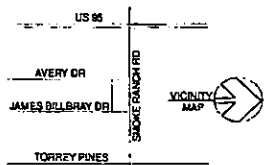
Print Name: CAROL LEVINS

Subscribed and sworn before me

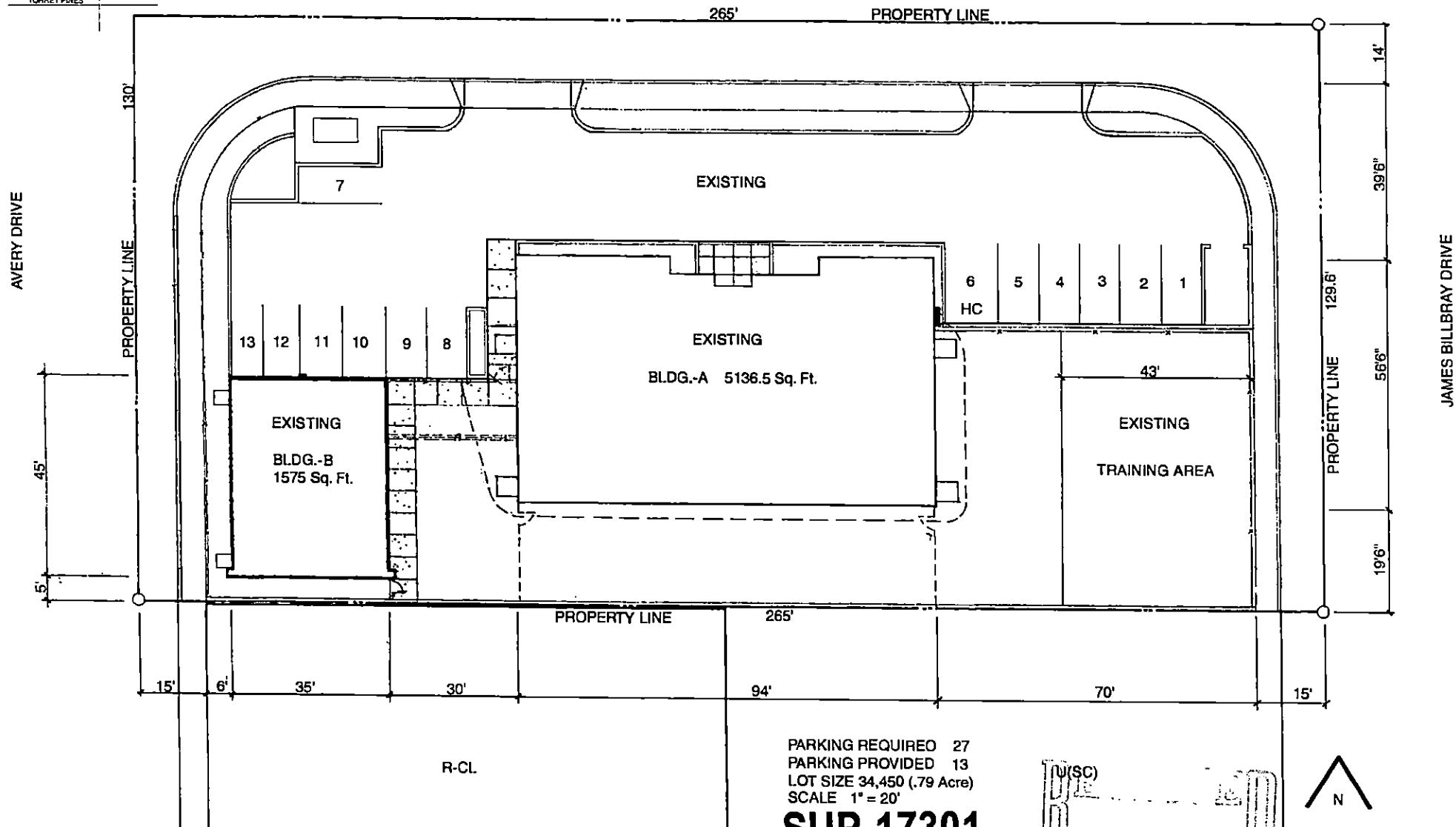
This 2 day of October, 2006

Notary Public
Notary Public in and for said County and State





6565 SMOKE RANCH ROAD

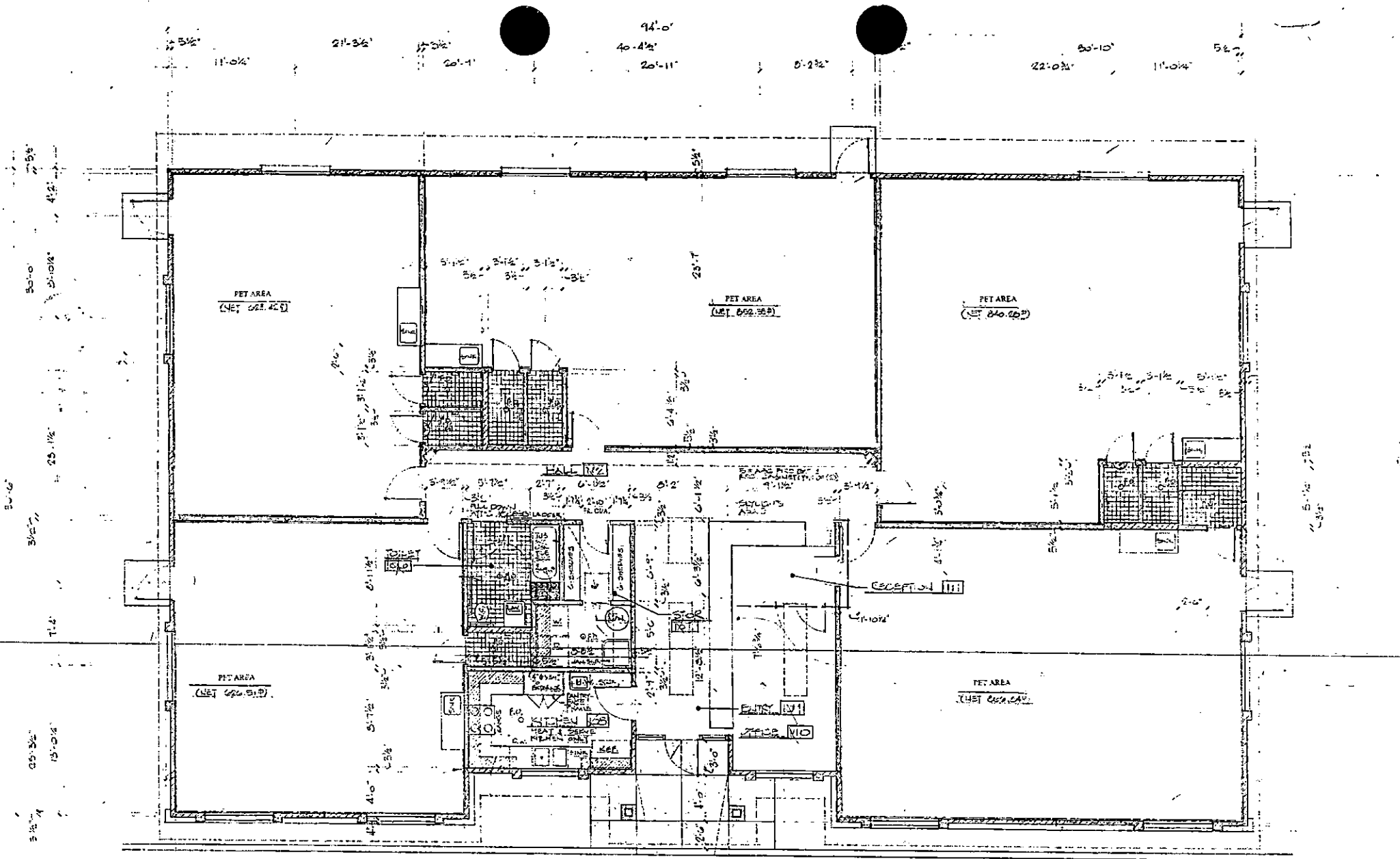


PARKING REQUIRED 27
PARKING PROVIDED 13
LOT SIZE 34,450 (.79 Acre)
SCALE 1" = 20'

SUP-17301
11/16/06 PC

U(SC)
OCT 03 2006





NOTE: DIMENSIONS WERE LOCATED BY STAFF. 3' LINES CENTER IN, 3' OUT, 6' EXTENSION.

FLOOR PLAN BLDG-A

MAXIMUM OCCUPANCY 51

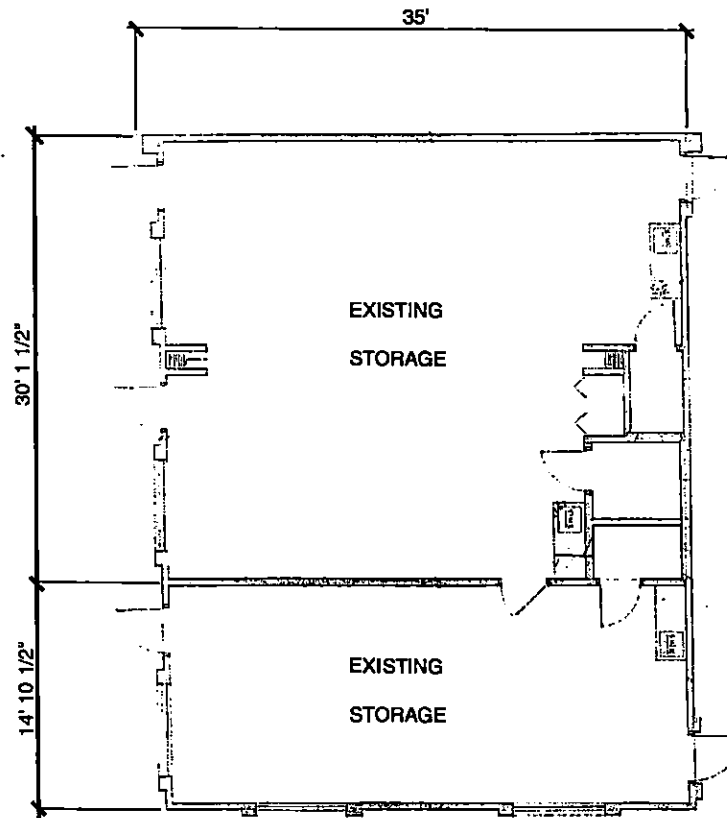
516 550 FT

RECEIVED
OCT 03 2006

SUP-17301
11/16/06 PC

SCALE 1" = 1'





FLOOR PLAN BLDG.-B MAXIMUM OCCUPANCY 15 1575 SQ. FT.

SCALE: 1/4" = 1'



SUP-17301
11/16/06 PC

OCT 03 2008



VAR-17299 & SUP-17301 - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC.

6565 SMOKE RANCH ROAD

NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAR-17299 & SUP-17301 - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC.

6565 SMOKE RANCH ROAD

NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAR-17299 & SUP-17301 - APPLICANT: MICHAEL LAWSON - OWNER: SANDCASTLE ENTERPRISES, INC.

6565 SMOKE RANCH ROAD

NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06

September 28, 2006

City of Las Vegas
Planning & Development Department
731 South Fourth Street
Las Vegas, NV 89101

**Justification Letter
Special Use Permit**

Re: 138-23-110-031

Fr: Michael Lawson
dba Bark Avenue

This letter is to seek a Special Use Permit to operate an upscale pet boarding/daycare facility located at 6565 Smoke Ranch Rd., in conjunction with submittal for a parking variance.

The subject property is a former childcare facility and is the ideal property for a pet boarding/daycare business. Pet boarding/daycare and child daycare have many similarities and the impact to the community will be very minimal.

The facility will meet or exceed all requirements as dictated by the City of Las Vegas for a pet boarding/daycare facility. In fact, strict management of all five conditional use regulations, especially odor and noise are main concerns and top priorities in order to counter the stereotypical pet boarding/daycare image so as to attract the upscale customer.

This letter meets and supports the city of Las Vegas policies and regulations.

Your time and support will be very much appreciated.

Sincerely,



Michael Lawson

**SUP-17301
11/16/06 PC**

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

VAR-17306 - VARIANCE - PUBLIC HEARING - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC. - Request for a Variance TO ALLOW 15 PARKING SPACES WHERE 25 PARKING SPACES ARE THE MINIMUM REQUIRED FOR AN EXISTING SHOPPING CENTER on 0.63 acres at 4441 East Bonanza Road (APN 140-32-101-003), C-1 (Limited Commercial) Zone, Ward 3 (Reese).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

TRUEDELL – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open for Item 35 [VAR-17306] and Item 36 [SDR-17302].

NATHAN GOLDBERG, Planning and Development Department, stated that the applicant's proposal is to fill a vacant pad within a shopping center. The existing development is parking impaired and the proposal would contribute to that deficiency by 10 spaces thus, the Variance is recommended for denial.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 35 – VAR-17306

MINUTES – Continued:

PAUL FENKELL of Perkowitz and Ruth Architects, 3980 Howard Hughes Parkway, appeared with HOWARD STEIN of West One Properties. MR. FENKELL presented a photo of the existing shopping center and pointed out that while the parking lot is deficient, there are temporary uses for festive sales such as Christmas trees proving that the site is currently underutilized. He noted that the drive thru lane would be on the rear of the parcel and that the point of service would face the opposite direction. MR. FENKELL stated the applicant would improve the front streetscape, comply with trash enclosure requirements and the proposal would not hinder emergency vehicle access within the site. He noted there is a cross access and parking agreement with the seller.

MR. STEIN reiterated Albertson's support through the parking agreement and acknowledged a condition to limiting the proposal to one food use. MR. STEIN agreed to the condition as the food use component would have a drive thru that would alleviate some of the parking concerns.

COMMISSIONER STEINMAN visited the site and stated that the parking lot is not used to the fullest extent and confirmed this center could benefit from this proposal. COMMISSIONER DAVENPORT concurred with COMMISSIONER STEINMAN but requested additional landscaping to beautify the area. MR. FENKELL stated that the Site Development Review has conditions that require parking lot landscaping and he agreed to add additional landscaping west of the site along the frontage. COMMISSIONER DUNNAM read a modification to Condition 14 of Item 36 [SDR-17302].

CHAIRMAN TROWBRIDGE declared the Public Hearing closed for Item 35 [VAR-17306] and Item 36 [SDR-17302].

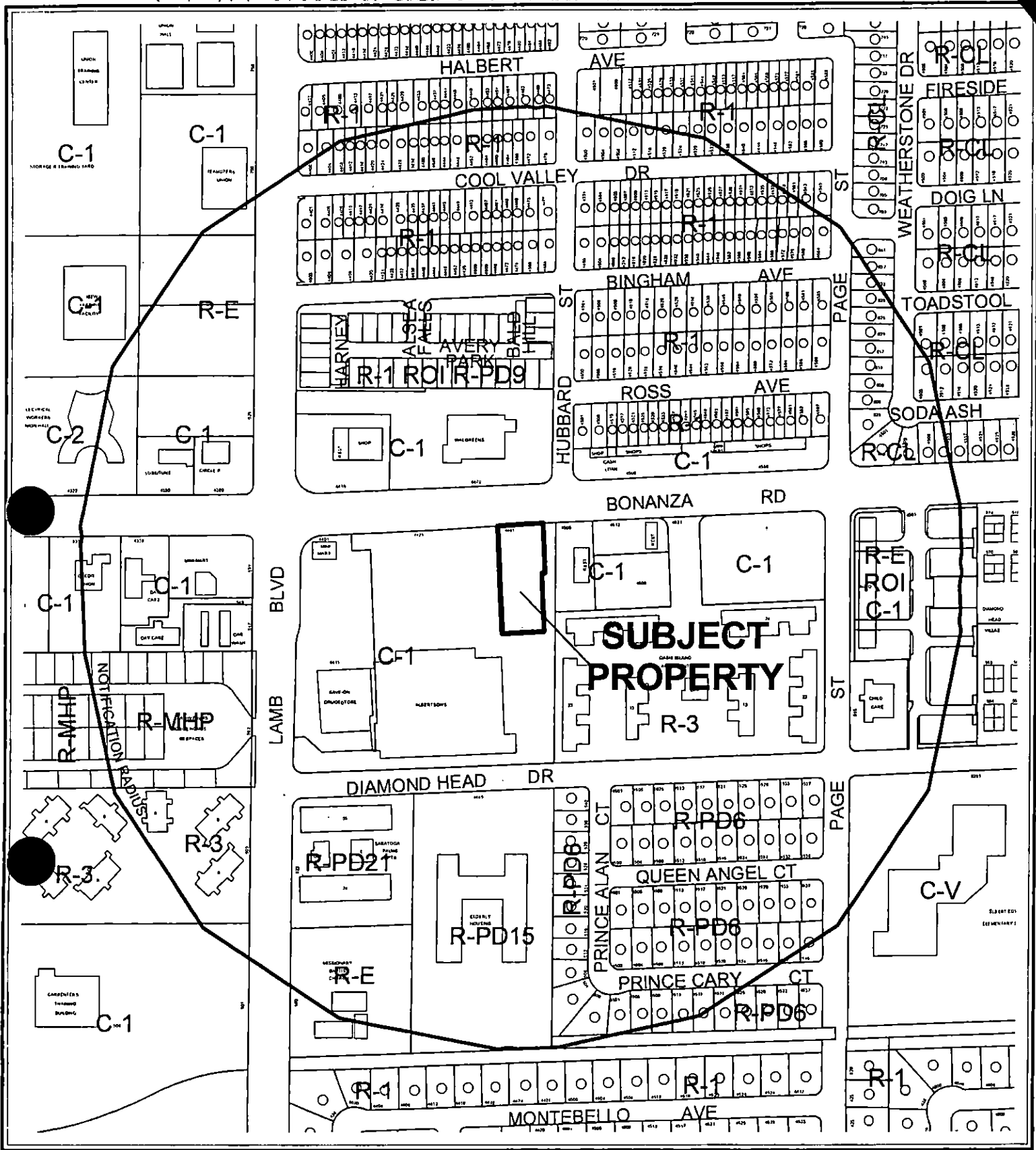
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3-867

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-17302), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.



CASE: **VAR-17306**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **VAR-17306**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: VAR-17306 - APPLICANT: WEST ONE PROPERTIES, LTD -
OWNER: ASP REALTY, INC.**

**** CONDITIONS ****

STAFF RECOMMENDATION: DENIAL. If Approved, subject to:

Planning and Development

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-17302), if approved.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

VAR-17306 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

Request for a Variance to allow 15 parking spaces where 25 parking spaces are the minimum required for an existing shopping center.

The proposed development of a 6,180 square-foot commercial development would require the addition of 25 parking spaces to this site. The applicant would be providing 15 additional spaces. This variance is to permit this ten space deviation from requirements, if approved. The site is currently parking impaired and this project would increase the parking deficiency on site by ten spaces. Denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/17/78	The City Council approved a reclassification of property (Z-0032-78) at this location for a proposed shopping center. The Planning Commission recommended approval.
11/16/06	A companion Site Development Plan Review (SDR-17302) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this request.	
<i>Pre-Application Meeting:</i>	
12/21/05	A pre-application meeting was held. It was noted that handicapped parking must be brought up to Code requirements and that this is a parking impaired development. Parking requirements were discussed and a cross access agreement would be required.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.63
Net Acres	0.63

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Parking-lot	SC (Service Commercial)	C-1 (Limited Commercial)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)

NG

VAR-17306 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

South	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
East	Restaurant	SC (Service Commercial)	C-1 (Limited Commercial)
West	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan		X	
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.08 the following Development Standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Lot Width	100 Feet	110 Feet	Y
Min. Setbacks			
• Front	20 Feet	76 Feet	Y
• Side	10 Feet	15 Feet	Y
• Corner	15 Feet	N/A	N/A
• Rear	20 Feet	77 Feet	Y
Max. Lot Coverage	50 %	23 %	Y
Trash Enclosure	50 Feet from a protected property	53 Feet	Y
Mech. Equipment	Screened	Screened	Y

Per Title 19.12 the following Landscape Standards apply:

<i>Landscape and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	7 Trees	10 Trees	Y
Buffer:				
Min. Trees	1 Tree/30 Linear Feet	3 Trees	4 Trees	Y
TOTAL			19 Trees	Y

NG

VAR-17306 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

	15 Feet right-of-way	15 Feet	Y
Min. Zone Width	8 Feet	Zero Feet	Y (per Z-32-78)

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Shopping Center (existing)	96,017 SF	1:250 SF	384	7			
Retail Pad (proposed)	6,180 SF	1:250 SF	25	2			
SubTotal			409	9	360	14	
TOTAL			409		360		N
Loading Spaces			1		1		Y
Percent Deviation					12 % Deviation from requirements		

ANALYSIS

The site is currently parking impaired. Per Title 19.10: A land use or building which is existing on the effective date of this Title and which complied with the applicable parking standards at the time the use or building was established, but which does not comply with the requirements of this Section, shall not be considered a nonconforming use or non-conforming building; but rather, it shall be considered a parking-impaired development.

The proposed development would increase this deficiency by ten spaces; thus this parking variance indicates that the variance is to allow 15 spaces where 25 spaces are required. This development is making a site that is already deficient in parking by current standards deficient by an additional ten spaces. The differences in the parking conditions on the site are as follows:

- Current conditions are a total of 384 parking spaces are required and a total of 345 spaces are provided.

VAR-17306 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

- The proposed development will require 25 additional parking spaces and through this development 15 additional spaces are being added to the site, thus the variance is worded to allow 15 parking spaces where 25 parking spaces are the minimum required.
- The new overall total for the site, if this development is approved, would be 409 parking spaces are required and a total of 360 parking spaces are provided.

FINDINGS

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature.”

Additionally, Title 19.18.070L states:

“Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship through their design choices. Alternative design with less square-footage would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site’s physical characteristics, it is concluded that the applicant’s hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

4

ASSEMBLY DISTRICT 14

SENATE DISTRICT 10

VAR-17306 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

NOTICES MAILED 287 [Mailed with SDR-17302]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-17306** APN: 140-32-101-003
Name of Property Owner: ASP Realty, Inc.
Name of Applicant: West One Properties, Ltd.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

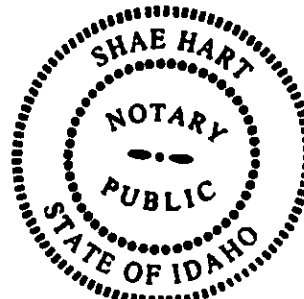
Partner(s): _____

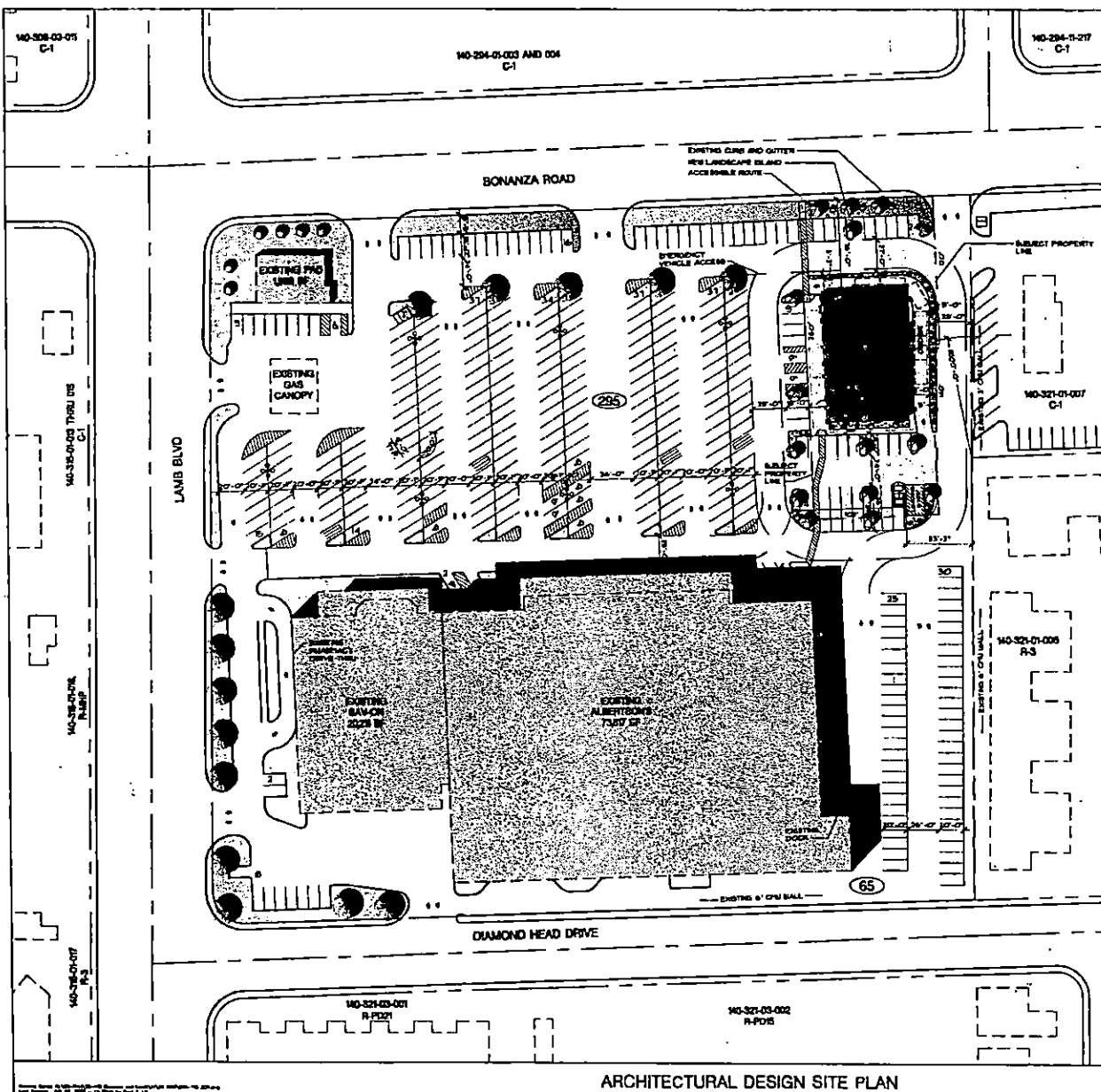
APN: _____
ASP Realty, Inc.

Signature of Property Owner: BY: [Signature]
William H. Arnold, Vice President
Print Name: _____

Subscribed and sworn before me

This 2 day of October, 2006
Shae Hart My Commission Expires August 17, 2011
Notary Public in and for said County and State





Property Information

APN#: 140-32-101-003 (Subject Parcel)
Jurisdiction: City of Las Vegas

27,348 sf Subject Parcel
63 Acres
6,180 sf New Pad Building
23 FAR Subject Parcel

± 351,304 sf Land Area (Exist. Center)
± 8.06 Acres
96,017 sf Existing Total Building Area
102,197 sf New Total Building Area
29 FAR Entire Center (New)

384 Stalls Existing Parking Required
25 Stalls New Parking Required

409 Stalls Total Parking Required

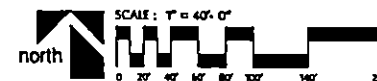
345 Stalls Existing Parking Provided
360 Stalls New Parking Provided

15 Stalls Net Gain to Existing
Parking Impaired Development

3.59 Stalls/1,000 sf Existing Parking Ratio
3.92 Stalls/1,000 sf New Parking Ratio

Parking required based on the following:

Shopping Center = 132.67 sf ± 1,250 sf = 428 Spaces



THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.
PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL DESIGN SITE PLAN

PR

3580 Howard Hughes Pkwy.
Suite 430
Las Vegas, Nevada 89103
702-492-8500
702-492-8514 fax

www.parkowitza.com

Corporate Office
Long Beach, CA

Regional Office
Newport Beach, CA
Washington, DC
Las Vegas, NV

Parkowitz, Roth
ARCHITECTS

New Real Pad at 552 Bonanza and Lamb
LAS VEGAS,
NEVADA

Revisions

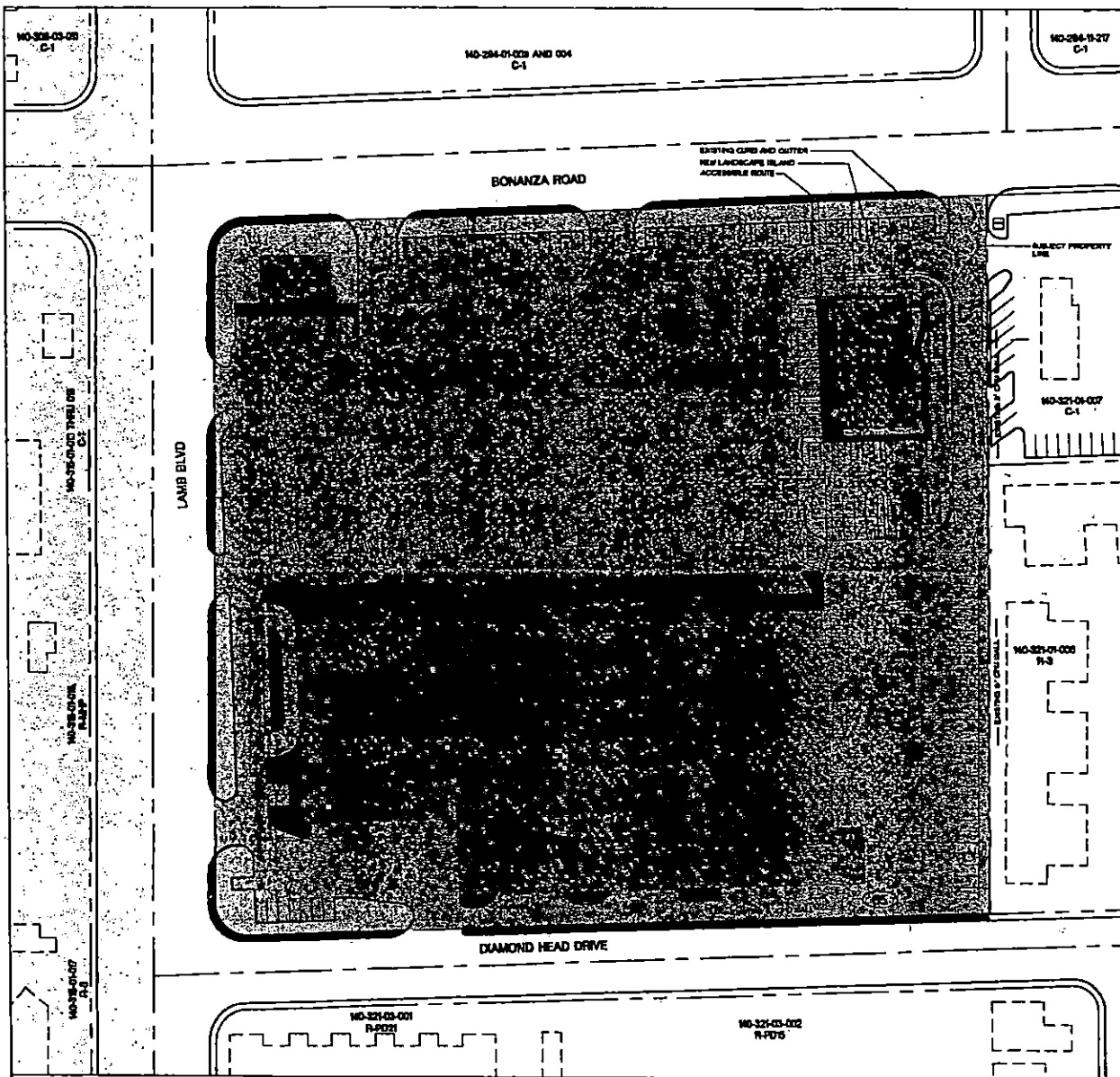
Date: 10/05/06
Drawn By: PTF
Checked By: DM
Project No: 06-1511
File Name: SDR_2006.dwg
Scale: 1" = 40'

SITE PLAN

09

VAR-17306
11/16/06 PC

RECEIVED
OCT 9 3 2006



Property Information

APN#: 140-32-101-003 (Subject Parcel)
Jurisdiction: City of Las Vegas

27,346 sf Subject Parcel
.53 Acres
6,180 sf New Pad Building
23 FAR Subject Parcel

± 351,304 sf Land Area (Exist. Center)
± 8.05 Acres
96,017 sf Existing Total Building Area
102,197 sf New Total Building Area
29 FAR Entire Center (New)

384 Stalls Existing Parking Required
25 Stalls New Parking Required

409 Stalls Total Parking Required

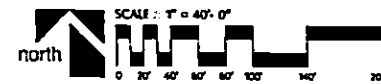
345 Stalls Existing Parking Provided
350 Stalls New Parking Provided

15 Stalls Net Gain to Existing
Parking Impaired Development

359 Stalls/1,000 sf Existing Parking Ratio
352 Stalls/1,000 sf New Parking Ratio

Parking required based on the following:

Shopping Center = 102,287 sf ÷ 1,000 sf = 408 Spaces



THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.
PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL DESIGN SITE PLAN

PR

3580 Howard Hughes Pkwy.
Suite 450
Las Vegas, Nevada 89169
702.492.4300
702.492.4344 fax

www.parkowiczroth.com

Corporate Office
Long Beach, CA

Regional Office:
Newport Beach, CA
Washington, DC
Las Vegas, NV

Parkowicz, Roth
ARCHITECTS

New Beach Pad - 652 Commerce and Lamb

LAS VEGAS,
NEVADA

Revisions

Date: 02/08
Drawn By: POF
Checked By: DM
Project No: 06-1511
File Name: Site_08.dwg
Scale: 1" = 40'

SITE PLAN

09

VAR-17306
11/16/06 PC

RECEIVED
OCT 30 2006



October 3, 2006

City of Las Vegas Planning Department
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101

RE: Justification Letter
APN#: 140-32-101-003

To Whom It May Concern:

Please accept the attached application package on behalf of West One Properties LLC, for a Site Development Review for a 6,180 sf retail pad with drive-thru on 0.63 acres. Also requested is a Parking Variance to allow a net gain of 15 spaces to an existing parking impaired shopping center. A full cross access and shared parking declaration between the proposed project and existing center is provided under the pending sale of the property. The project is limited to a single food use not greater than 1,700 sf.

The subject parcel is zoned C-1. The project is entirely surrounded by C-1 zoning with the exception of a small portion of R-3 to the southeast. This pad has remained vacant for the entire life of the Center, (at least 30 years). This project aims to put that lot to use.

The project provides improvements to 29 existing spaces and adds 15 new spaces to the existing Center. The subject property provides 22 spaces on site and an additional 8 spaces partially on site to enhance the parking layout of the overall Center.

The project meets setback and height/bulk requirements. The project exceeds the 50'-0" separation between the trash enclosure and the existing residential to the east. The drive thru-configuration meets stacking and orientation requirements, while exceeding the 100' huffer from residential. A standard loading zone is provided. The project meets landscaping and streetscape requirements. Emergency vehicle and solid waste access, including turning radii and lane clearances are provided.

Materials consist of painted stucco, aluminum storefront, and painted tube steel shading devices similar in character to other developments at that intersection.

We respectfully request your review and approval of the attached application.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS
Paul Fenkell,
Designer

3980 Howard Hughes Parkway
Suite 450
Las Vegas, NV 89109
702.892.8500
702.892.8514 fax

www.prarchitects.com

Corporate Office
Long Beach, CA

Regional Offices
Costa Mesa, CA
Washington, D.C.
Las Vegas, NV
Portland, OR
Northwest, AR

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Marios A. Savopoulos, AIA
J. Todd Stoutenborough, AIA
Brian Wolfe, AIA

Senior Associates

Don Grainger, AIA
Rick Overley, AIA
Vasilis G. Papadatos, AIA
Michael Salmon, AIA
Ted Yoshizaki, AIA

Associates

Tarek Anan
Farooq Ameen, AIA, RIBA
Ronald E. Bernhardt, AIA
Michael Bohn
Ken Capilitan
Winston Chang, AIA
Edmond H. Classen
Wilson Deomampo
Kirk Ellis
Mitra Esfandiari
Yong Heng
Scott Jackson
Hans Kaufmann
David Littman
Deborah B. Loayza, AIA
Deborah McCutchen
Keith Mericle
Steven J. Phillips, AIA
Steve Stoyaov
Jim Thury
Terry Todd
Sean Unsell
John Vann
Brad Williams
Henry G. Wong, AIA

VAR-17306
11/16/06 PC

RECEIVED
OCT 03 2006

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17302 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-17306 - PUBLIC HEARING - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC. - Request for a Site Development Plan Review FOR A PROPOSED 6,180 SQUARE-FOOT COMMERCIAL DEVELOPMENT CONSISTING OF 4,480 SQUARE FEET OF RETAIL SPACE AND A 1,700 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH on 0.63 acres at 4441 East Bonanza Road (APN 140-32-101-003), C-1 (Limited Commercial) Zone, Ward 3 (Reese).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter

MOTION:

TRUESDELL – APPROVED subject to conditions, amending Condition 14 as read for the record as follows:

14. Provide a copy of a recorded Joint Access and Parking Agreement between this site and the parcel adjacent to this site (Assessor's Parcel Number 140-32-101-012) prior to the issuance of any permits.

And adding the following:

- The applicant shall work enhance landscaping west of the site along the frontage.**
- UNANIMOUS**

To be heard by City Council on 12/20/2006

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 36 – SDR-17302

MINUTES:

NOTE: See Item 35 [VAR-17306] for all related discussion.

(9:50 – 10:01)

3-867

CONDITIONS:

Planning and Development

1. Conformance to the Conditions of Approval for Variance (VAR-17306) and Reclassification of Property (Z-0032-78), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/03/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 36 – SDR-17302

CONDITIONS – Continued:

9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

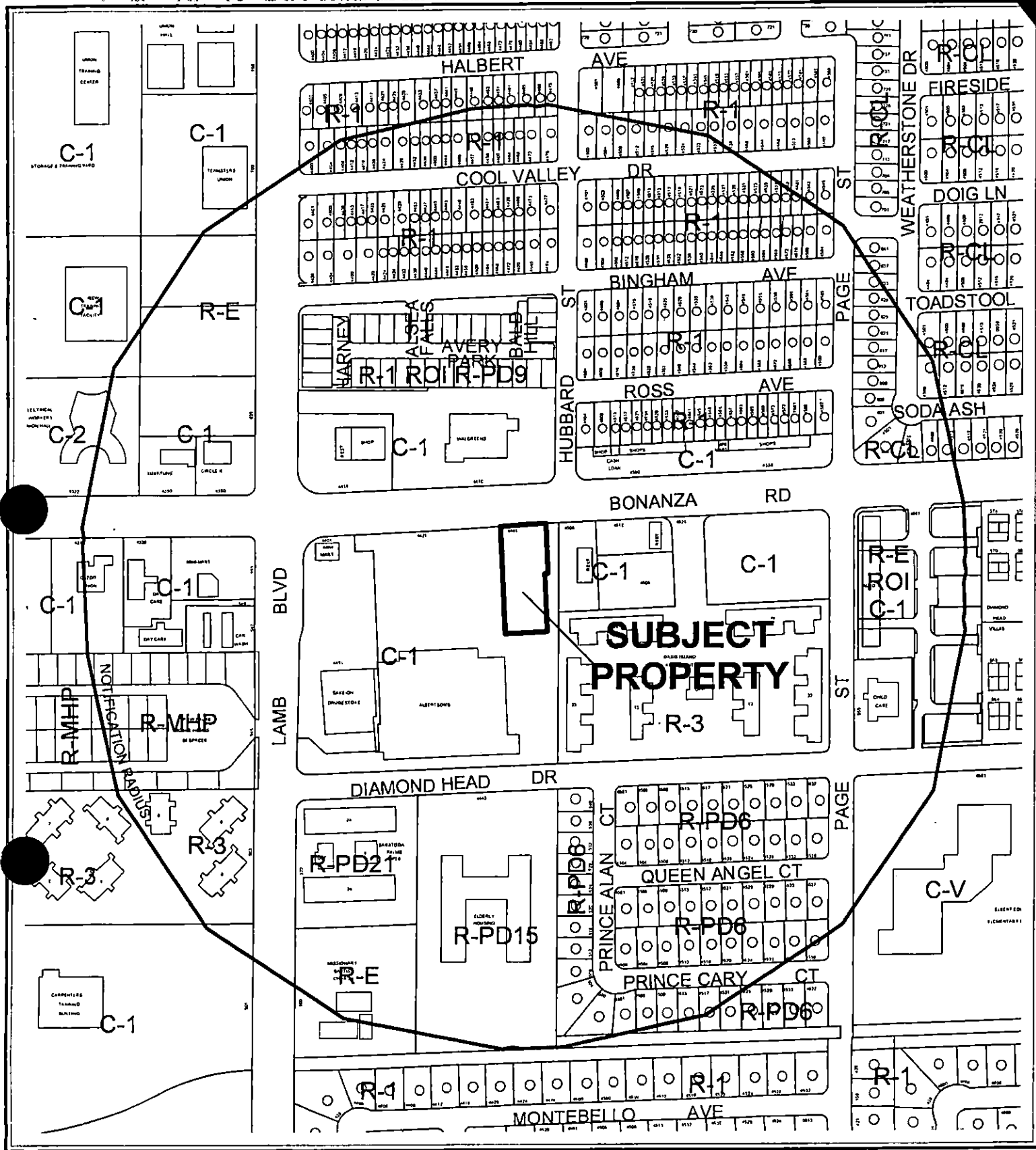
13. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
14. Provide a copy of a recorded Joint Access Agreement between this site and the parcel adjacent to this site (Assessor's Parcel Number 140-32-101-012) prior to the issuance of any permits.
15. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, the submittal of any construction drawings or the recordation of a map for this site, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 36 – SDR-17302

CONDITIONS – Continued:

specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

16. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



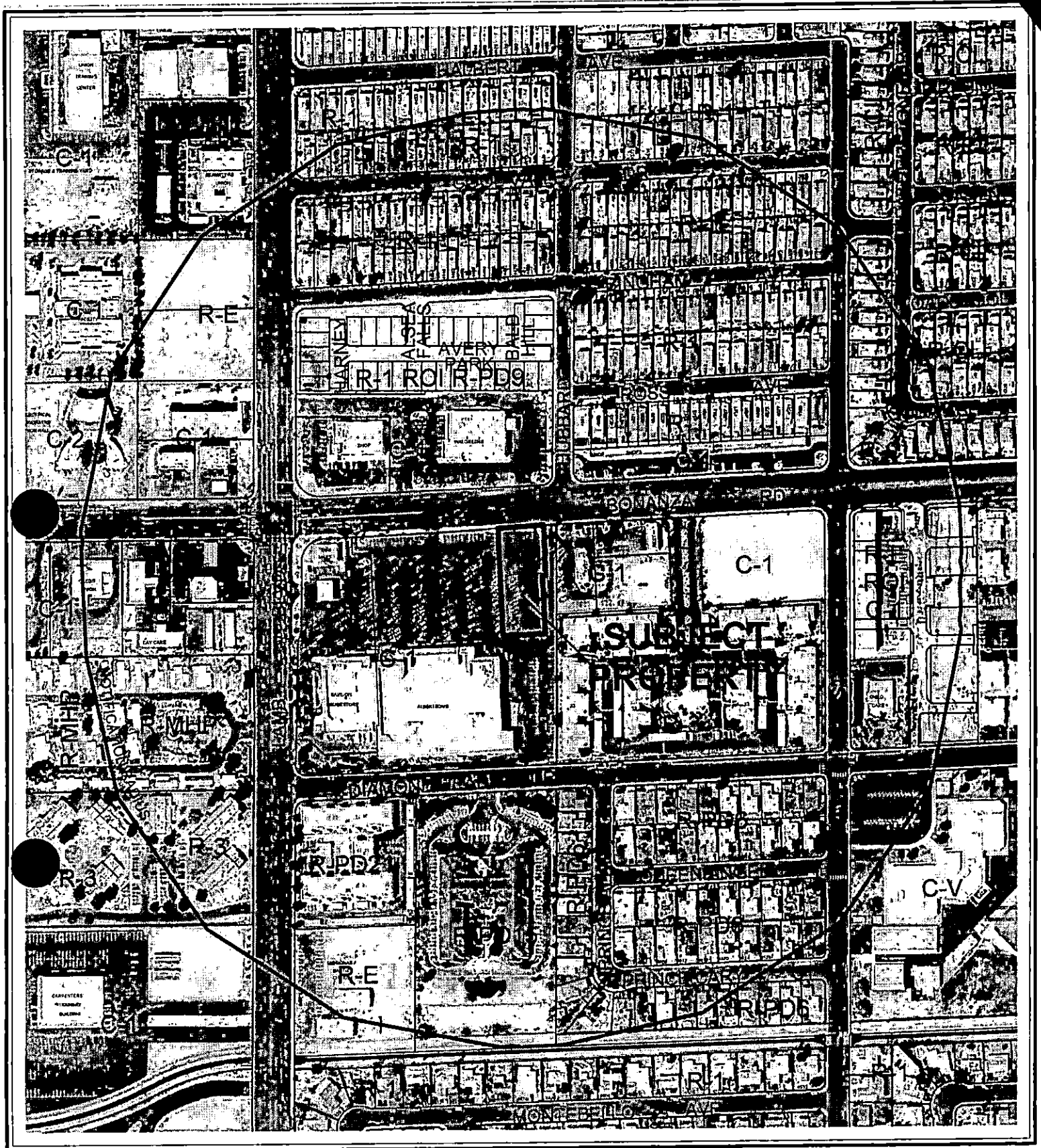
CASE: **SDR-17302**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: **SDR-17302**

RADIUS: 1000 FEET

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17302 - APPLICANT: WEST ONE PROPERTIES, LTD -
OWNER: ASP REALTY, INC.**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to the Conditions of Approval for Variance (VAR-17306) and Reclassification of Property (Z-0032-78), if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 10/03/06, except as amended by conditions herein.
4. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
5. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

NG

SDR-17302 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
14. Provide a copy of a recorded Joint Access Agreement between this site and the parcel adjacent to this site (Assessor's Parcel Number 140-32-101-012) prior to the issuance of any permits.
15. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, the submittal of any construction drawings or the recordation of a map for this site, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

SDR-17302 - Conditions Page Three
November 16, 2006 - Planning Commission Meeting

16. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

SDR-17302 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is proposing to add a 6,180 square-foot development on a vacant pad of an existing retail development. The proposed project would consist of 4,480 square feet of retail space and a 1,700 square-foot restaurant with a drive-through. The proposed development is parking impaired and this development would increase the parking deficiency by a total of ten spaces. A Variance (VAR-17306) has been requested to permit this deviation from standards. Due to the proposed development increasing the parking deficiency at this location, denial of this request is recommended.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/17/78	The City Council approved a reclassification of property (Z-0032-78) at this location for a proposed shopping center. The Planning Commission recommended approval.
11/16/06	A companion Variance (VAR-17306) will be heard concurrently with this item.
<i>Related Building Permits/Business Licenses</i>	
There are no permits or licenses related to this request.	
<i>Pre-Application Meeting</i>	
12/21/05	A pre-application meeting was held. It was noted that handicapped parking must be brought up to Code requirements and that this is a parking impaired development. Parking requirements were discussed and a cross access agreement would be required.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required, nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	0.63
Net Acres	0.63

SDR-17302 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Parking-lot	SC (Service Commercial)	C-1 (Limited Commercial)
North	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
South	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)
East	Restaurant	SC (Service Commercial)	C-1 (Limited Commercial)
West	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	
Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts		X	
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Per Title 19.08, the following Development Standards apply:

Standard	Required/Allowed	Provided	Compliance
Min. Lot Width	100 Feet	110 Feet	Y
Min. Setbacks			
• Front	20 Feet	76 Feet	Y
• Side	10 Feet	15 Feet	Y
• Corner	15 Feet	N/A	N/A
• Rear	20 Feet	77 Feet	Y
Max. Lot Coverage	50 %	23 %	Y
Trash Enclosure	50 Feet from a protected property	53 Feet	Y
Mech. Equipment	Screened	Screened	Y

SDR-17302 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Per Title 19.12, the following Landscape Standards apply:

<i>Landscaping and Open Space Standards</i>				
<i>Standards</i>	<i>Required</i>		<i>Provided</i>	<i>Compliance</i>
	<i>Ratio</i>	<i>Trees</i>		
Parking Area	1 Tree/6 Spaces	7 Trees	10 Trees	Y
Buffer: Min. Trees	1 Tree/30 Linear Feet	3 Trees	4 Trees	Y
TOTAL			19 Trees	Y
	15 Feet right-of-way		15 Feet	Y
Min. Zone Width	8 Feet		Zero Feet	Y (per Z-32-78)

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Shopping Center (existing)	96,017 SF	1:250 SF	384	7			
Retail Pad (proposed)	6,180 SF	1:250 SF	25	2			
SubTotal			409	9	360	14	
TOTAL			409		360		N
Loading Spaces			1		1		Y
Percent Deviation					12 % Deviation from requirements		

SDR-17302 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

ANALYSIS

The proposed development would fill in a pad on an existing retail site. The development would consist of four suites. Three of these suites are proposed to be used for retail development and the fourth is for a restaurant with a drive-through.

The site does not provide landscaping in the side yard; however this is an existing condition common to the entire shopping center and a waiver is not required. As it was part of the approval of Z-0032-78, the perimeter wall on this property is three feet tall where the property is adjacent to commercial development and six feet tall where adjacent to residential development. Elevations for the proposed development show a single story building. The design is typical of small commercial development. Materials include stucco, aluminum, metal trellis and canopies, and parapets for accents.

The site is currently parking impaired. A land use or building which is existing on the effective date of this Title and which complied with the applicable parking standards at the time the use or building was established, but which does not comply with the requirements of this Section, shall not be considered a nonconforming use or non-conforming building; but rather, it shall be considered a parking-impaired development. The proposed development would increase this deficiency by ten spaces; thus the parking Variance (VAR-17306) indicates that the variance is to allow 15 spaces where 25 spaces are required. This development is making a site that is already deficient in parking by current standards deficient by an additional ten spaces. Due to this increase in the parking deficiency on the site, denial of this request is recommended.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

Although the proposed retail and restaurant uses are compatible with adjacent development, the proposed development cannot be supported as the development would require an increase in the current parking deficiency at this location.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development is not consistent with Title 19.10 parking requirements. A Variance (VAR-17306) has been requested and will be heard concurrently with this item. The proposed development is consistent with all other plans and policies.

SDR-17302 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting .

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access from Bonanza Road and Lamb Boulevard. Both are 100-foot primary arterials. These streets provide adequate access to and from the site.

4. **Building and landscape materials are appropriate for the area and for the City;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Building elevations and design characteristics are not unsightly and will be harmonious and compatible with development in the area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare;**

The site will not compromise the public health or the general welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 4

ASSEMBLY DISTRICT 14

SENATE DISTRICT 10

NOTICES MAILED 287 [Mailed with VAR-17306]

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SDR-17302

Case Number: _____ APN: 140-32-101-003

Name of Property Owner: ASP Realty, Inc.

Name of Applicant: West One Properties, Ltd.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

ASP Realty, Inc.

Signature of Property Owner: By: [Signature]

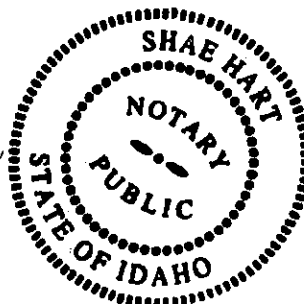
William H. Arnold, Vice President

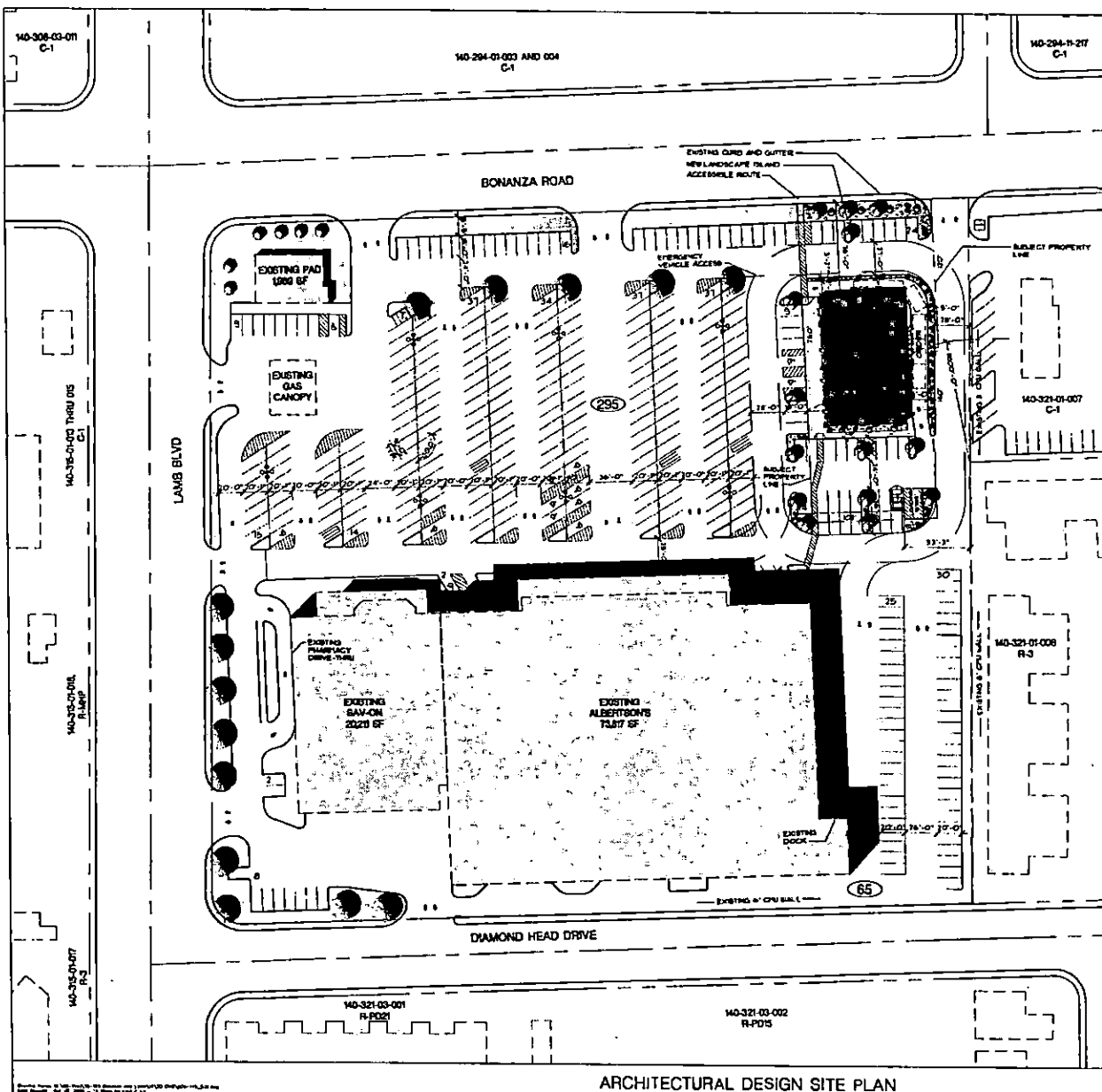
Print Name: _____

Subscribed and sworn before me

This 2 day of October, 2006

Shae Hart my commission Expires August 17, 2011
Notary Public in and for said County and State





Property Information

APN#: 140-32-101-003 (Subject Parcel)
Jurisdiction: City of Las Vegas

27,346 sf Subject Parcel
63 Acres
6,180 sf New Pad Building
23 FAR Subject Parcel

± 351,304 sf Land Area (Exist. Center)
± 8.06 Acres
96,017 sf Existing Total Building Area
102,197 sf New Total Building Area
29 FAR Entire Center (New)

384 Stalls Existing Parking Required
25 Stalls New Parking Required

409 Stalls Total Parking Required

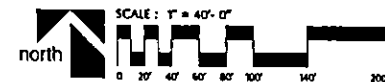
345 Stalls Existing Parking Provided
360 Stalls New Parking Provided

15 Stalls Net Gain to Existing
Parking Impaired Development

359 Stalls/1,000 sf Existing Parking Ratio
352 Stalls/1,000 sf New Parking Ratio

Parking required based on the following:

Shopping Center = 102.57 sf ± 1,000 sf = 408 Spaces



THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.
PRELIMINARY - NOT FOR CONSTRUCTION

PR

3950 Howard Hughes Pkwy.
Suite 450
Las Vegas, Nevada 89109
702-892-8500
702-892-8504 fax

www.parkcity.com

Corporate Office
Long Beach, CA

Regional Offices
Newport Beach, CA
Washington, DC
Las Vegas, NV

**Parkwitz, Roth
& Associates**

New Pad Pad - SDR Bonanza and Lamb

**LAS VEGAS,
NEVADA**

Revisions

Date: 10/06
Drawn By: PDF
Checked By: DM
Project No.: 06-17302
File Name: SDR_17302
Scale: 1" = 40'

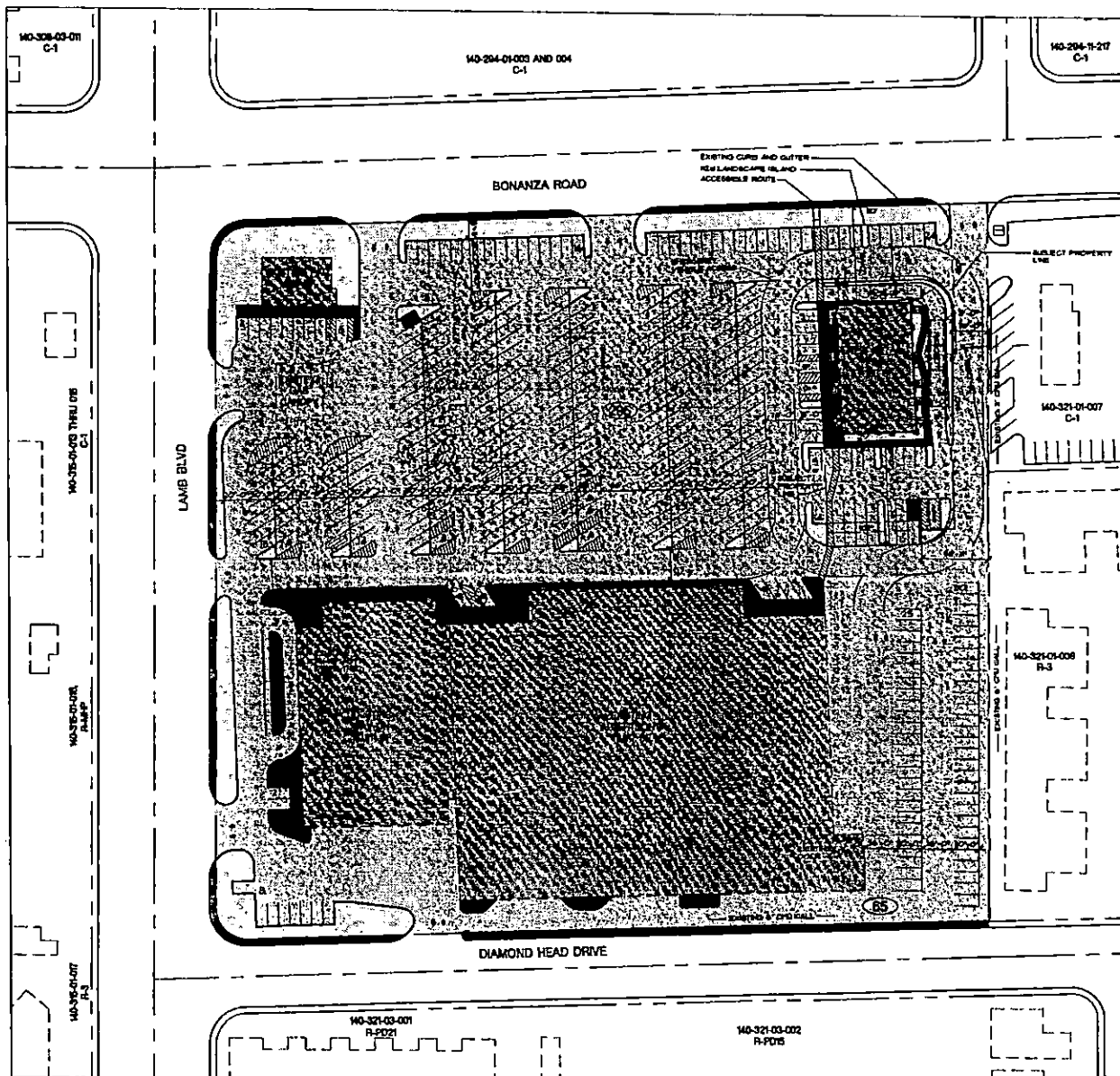
SITE PLAN

09

SDR-17302
11/16/06 PC

RECEIVED
OCT 9 8 2006

ARCHITECTURAL DESIGN SITE PLAN



Property Information

APN#: 140-32-101-003 (Subject Parcel)
Jurisdiction: City of Las Vegas

27,346 sf Subject Parcel
63 Acres
6,180 sf New Pad Building
23 FAR Subject Parcel

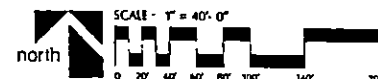
± 351,304 sf Land Area (Exist. Center)
± 806 Acres
96,017 sf Existing Total Building Area
102,197 sf New Total Building Area
29 FAR Entire Center (New)

384 Stalls Existing Parking Required
25 Stalls New Parking Required
409 Stalls Total Parking Required

345 Stalls Existing Parking Provided
360 Stalls New Parking Provided
15 Stalls Net Gain to Existing
Parking Impaired Development

319 Stalls/1000 sf Existing Parking Ratio
352 Stalls/1000 sf New Parking Ratio

Parking required based on the following:
Shopping Center = 100,197 sf = 1/250 sf = 409 Spaces



THIS PLAN HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE SURVEY. IT IS CONCEPTUAL IN NATURE AND NO GUARANTEE OF ITS ACCURACY IS IMPLIED.
PRELIMINARY - NOT FOR CONSTRUCTION

PR

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www.parkovitz.com

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Regional Offices
Newport Beach, CA
Washington, DC
Las Vegas, NV

Parkovitz, Roth
ARCHITECTS

New Real Pad • SSC Bonanza and Lamb

**LAS VEGAS,
NEVADA**

Revisions

Date: 10/03/06
Drawn By: POF
Checked By: DM
Project No.: 06-15-11
File Name: SDR_17302.dwg
Scale: 1" = 40'

SITE PLAN

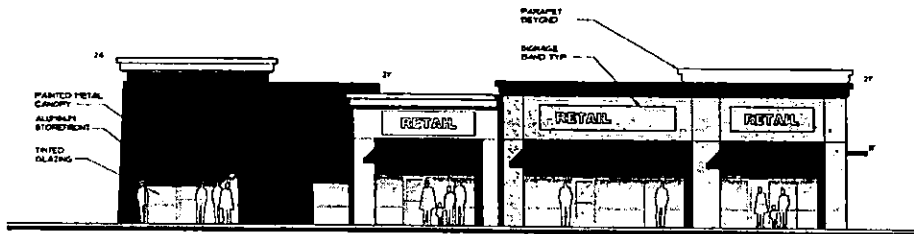
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ARCHITECTURAL DESIGN SITE PLAN

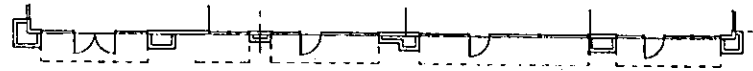
**SDR-17302
11/16/06 PC**

11/16/06

11/16/06



WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL DESIGN ELEVATIONS

PR

3380 Howard Hughes Pkwy.
Suite 450
Las Vegas, Nevada 89109
702-832-8500
702-832-8511 fax

www.parkowitzruth.com

Corporate Office
Long Beach, CA

Regional Offices
Newport Beach, CA
Washington, DC
Las Vegas, NV

Parkowitz Ruth
Architects

Las Vegas,
NEVADA

RETAIL AND SEC. BUILDING - LUMB

Revisions

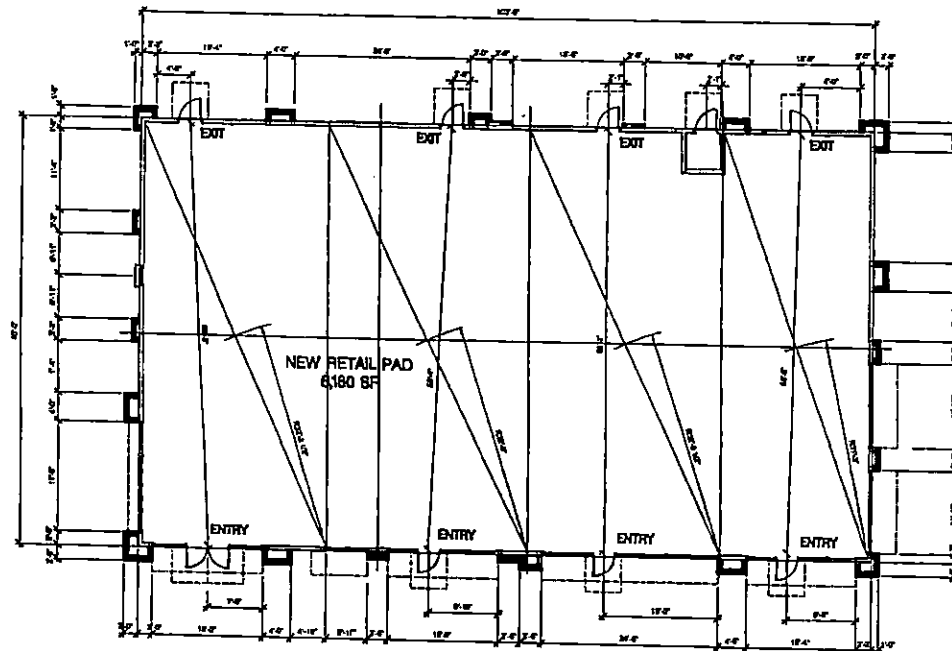
Date 10.03.06
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Checked By
Project No 06-15.11
File Name
Scale 1/8"=1'-0"

Concept Elev

04

SDR-17302
11/16/06 PC

RECEIVED
NOV 9 3 2006



PRELIMINARY - NOT FOR CONSTRUCTION

ARCHITECTURAL DESIGN FLOOR PLAN

PR

3900 Howard Hughes Pkwy.
Suite 400
Las Vegas, Nevada 89129
702-892-3500
702-892-4874 fax

www.parkowitch.com

Corporate Office
Long Beach, CA

Regional Offices
Newport Beach, CA
Washington, DC
Las Vegas, NV

**Parkowitch Rullh
ARCHITECTS**

RETAIL PAD 652 BOWMAN • LAMB
**Las Vegas,
NEVADA**

Revisions

Date: 11/16/06
Drawn By: PCF
Checked By: DM
Project No: 05-15.1
File Name:
Scale: 1/8"=1'-0"

Floor Plan

02

SDR-17302
11/16/06 PC

11/16/06
11/16/06

SDR 17302				
West One Properties, LTD				
4441 E Bonanza				
Proposed 6.18 thousand square foot fast food restaurant with drive-through.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	6.18	496.12	3,066
AM Peak Hour			53.11	328
PM Peak Hour			34.64	214
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Bonanza Road				
Average Daily Traffic (ADT)	28,810			
PM Peak Hour	2305			
(heaviest 60 minutes)				
Lamb Boulevard				
Average Daily Traffic (ADT)	40,491			
PM Peak Hour	3239			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
	Adjacent street ADT			
	Capacity			
Bonanza Road	51700			
Lamb Boulevard	51700			
This project will add approximately 3,066 trips per day on Bonanza and Lamb. This will increase expected volumes by about eleven percent on Bonanza and about eight percent on Lamb. Bonanza is at 56 percent of capacity and Lamb is at about 78 percent of capacity.				
Based on Peak Hour use, this development will add roughly 214 additional cars into the area; which works out to about seven every two minutes.				
Note that this report assumes all traffic from this development uses all named streets.				



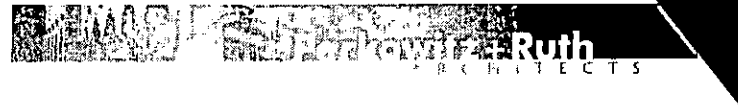
VAR-17306 & SDR-17302 - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC.
4441 EAST BONANZA ROAD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



VAR-17306 & SDR-17302 - APPLICANT: WEST ONE PROPERTIES, LTD - OWNER: ASP REALTY, INC.
4441 EAST BONANZA ROAD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



October 3, 2006

City of Las Vegas Planning Department
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101

RE: Justification Letter
APN#: 140-32-101-003

To Whom It May Concern:

Please accept the attached application package on behalf of West One Properties LLC, for a Site Development Review for a 6,180 sf retail pad with drive-thru on 0.63 acres. Also requested is a Parking Variance to allow a net gain of 15 spaces to an existing parking impaired shopping center. A full cross access and shared parking declaration between the proposed project and existing center is provided under the pending sale of the property. The project is limited to a single food use not greater than 1,700 sf.

The subject parcel is zoned C-1. The project is entirely surrounded by C-1 zoning with the exception of a small portion of R-3 to the southeast. This pad has remained vacant for the entire life of the Center, (at least 30 years). This project aims to put that lot to use.

The project provides improvements to 29 existing spaces and adds 15 new spaces to the existing Center. The subject property provides 22 spaces on site and an additional 8 spaces partially on site to enhance the parking layout of the overall Center.

The project meets setback and height/bulk requirements. The project exceeds the 50'-0" separation between the trash enclosure and the existing residential to the east. The drive thru-configuration meets stacking and orientation requirements, while exceeding the 100' buffer from residential. A standard loading zone is provided. The project meets landscaping and streetscape requirements. Emergency vehicle and solid waste access, including turning radii and lane clearances are provided.

Materials consist of painted stucco, aluminum storefront, and painted tube steel shading devices similar in character to other developments at that intersection.

We respectfully request your review and approval of the attached application.

Sincerely,

PERKOWITZ + RUTH ARCHITECTS
Paul Fenkell,
Designer

14141 W. Hughes Parkway
Suite 100
Las Vegas, NV 89109
702.850.8500
info@prarchitects.com

www.prarchitects.com

Corporate Office
Las Vegas, NV

Regional Offices
San Francisco, CA
Washington, D.C.
New York, NY
Los Angeles, CA
Chicago, IL

Dr. Perkowski, AIA, PE
President & CEO

Steven J. Ruth, AIA
Vice President

Principals
Michael B. Gunther, AIA
John J. Leubsdorf
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA

Senior Associates
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA
John J. Leubsdorf, AIA

Associates
John J. Leubsdorf, AIA

John J. Leubsdorf, AIA
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John J. Leubsdorf, AIA

SDR-17302
11/16/06 PC

RECEIVED
OCT 03 2006
City of Las Vegas
Planning Department
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-17204 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLY A. SCHNEIDER - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER at 6131 Grand Teton Drive (APN 125-14-504-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **WITHDRAWN WITHOUT PREJUDICE**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

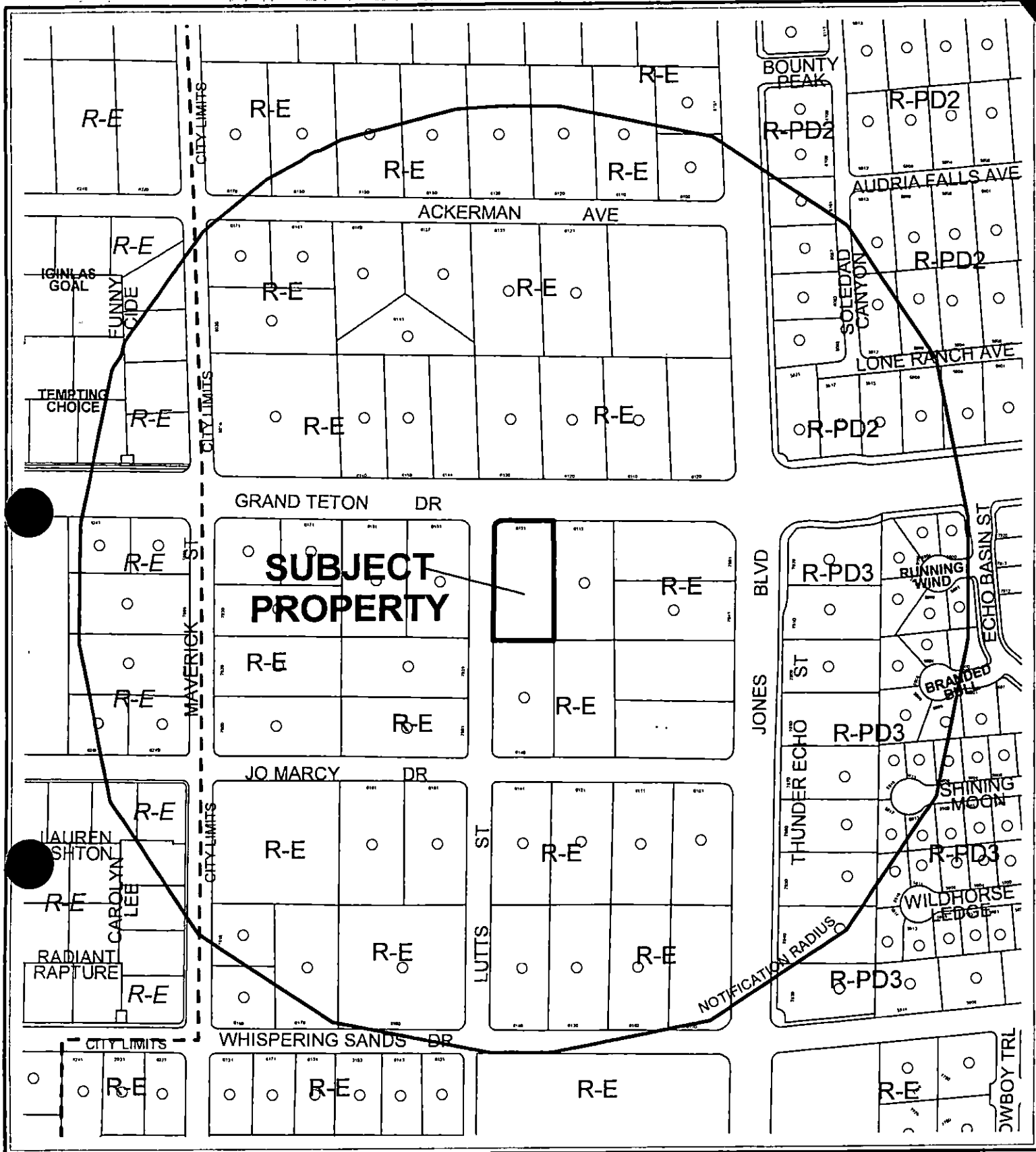
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to 12/07/2006; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to 12/21/2006; Item 29 [ZON-17304] to 1/25/2007, and **WITHDRAW WITHOUT PREJUDICE** Item 37 [SUP-17204] and Item 38 [SDR-17205] – **UNANIMOUS**

MINUTES:

Item 37 [SUP-17204] and Item 38 [SDR-17205] were requested by the applicant to be withdrawn without prejudice.

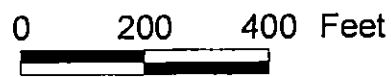
(6:04 – 6:07)



CASE: **SUP-17204**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)





CASE: SUP-17204

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-17204 - APPLICANT: MBD DEVELOPMENT - OWNER:
PAUL A. AND KIMBERLY A. SCHNEIDER

***APPLICANT REQUESTS THIS ITEM BE
WITHDRAWN WITHOUT PREJUDICE***

OCT-27-2006 11:05 From:WRG

7029909305

To:7024747463

P.1/1



November 27, 2006

Margo Wheeler
City of Las Vegas
Development Services
731 South 4th Street
Las Vegas, NV 89101

LAND
PLANNINGCIVIL
ENGINEERINGLANDSCAPE
ARCHITECTURELAND
SURVEYWATER
RESOURCES

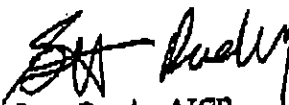
SUP-17204 & SDR-17205- GODDARD SCHOOL
Withdraw Letter

Dear Ms. Wheeler,

On behalf of our client, we respectfully request to withdraw without prejudice the above referenced applications from the November 16, 2006 Planning Commission meeting.

Please contact our office if you have any questions or require additional information.

Sincerely,
WRG Design, Inc.


Scott Ruedy, AICP
Project Planning Manager

3011 West
Horizon Ridge Pkwy.
Suite 100
Henderson, NV
89082

PH 702/980-0300
FX 702/980-0305

www.wrgdesign.com

PLANNING &
DEVELOPMENT

DEVELOPMENT
SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-17204**

APN: 125-14-504-001

Name of Property Owner: Kimberly & Paul Schneider

Name of Applicant: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: _____

Paul Schneider
Kimberly Schneider

Print Name: Kimberly Schneider & Paul Schneider

Subscribed and sworn before me

This 21st day of October, 2009

Notary Public in and for said County and State

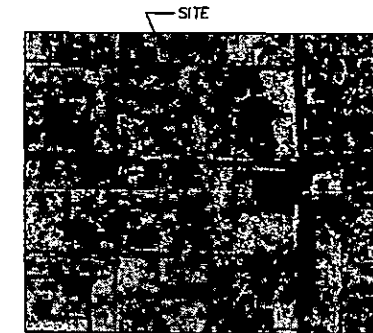


NAOMI T. LAMB
NOTARY PUBLIC
STATE OF NEVADA
CLARK COUNTY
APPT. No. 06-104697-1
MY APPT. EXP. MARCH 22, 2010

1. NEW 8" WIDE SIDEWALK AND CURB
2. INFANT PLAYGROUND WITH UMBRELLA SHADE UNIT
3. PRESCHOOL PLAYGROUND WITH UMBRELLA SHADE UNIT
4. LANDSCAPING
5. DUMPSTER IN SCREENED ENCLOSURE
6. CEDAR FENCE - SEE DETAIL 1/A.1.1
7. DEDICATED P.D.W. (CROSS-HATCHED AREA)
8. CMU WALL

Site Analysis

EXISTING SITE AREA	42,253 S.F.
SITE AREA AFTER DEDICATION	40,828 S.F.
BUILDING SIZE	8,220 S.F.
(P.A.R.) FLOOR AREA RATIO	20.1%



Vicinity Map

Owner:
MBD
Development,
LLC

1202 NW 17th Avenue, Ste.
Portland, Oregon 97209

Project:
The
Goddard
School

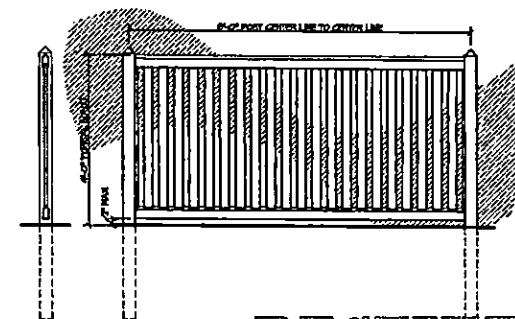
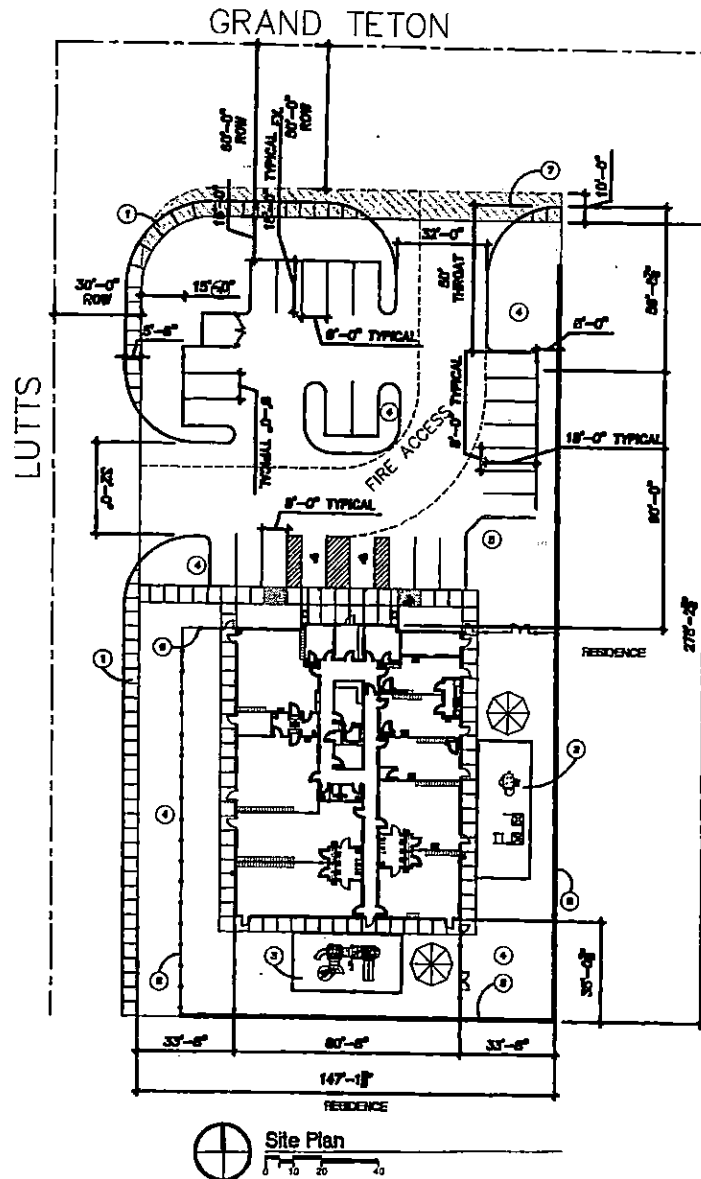
Las Vegas, Nevada

Site Plan

Revisiting

Date: 22 September 2
Drawn by: _____ Checked: _____
Job Number: 105

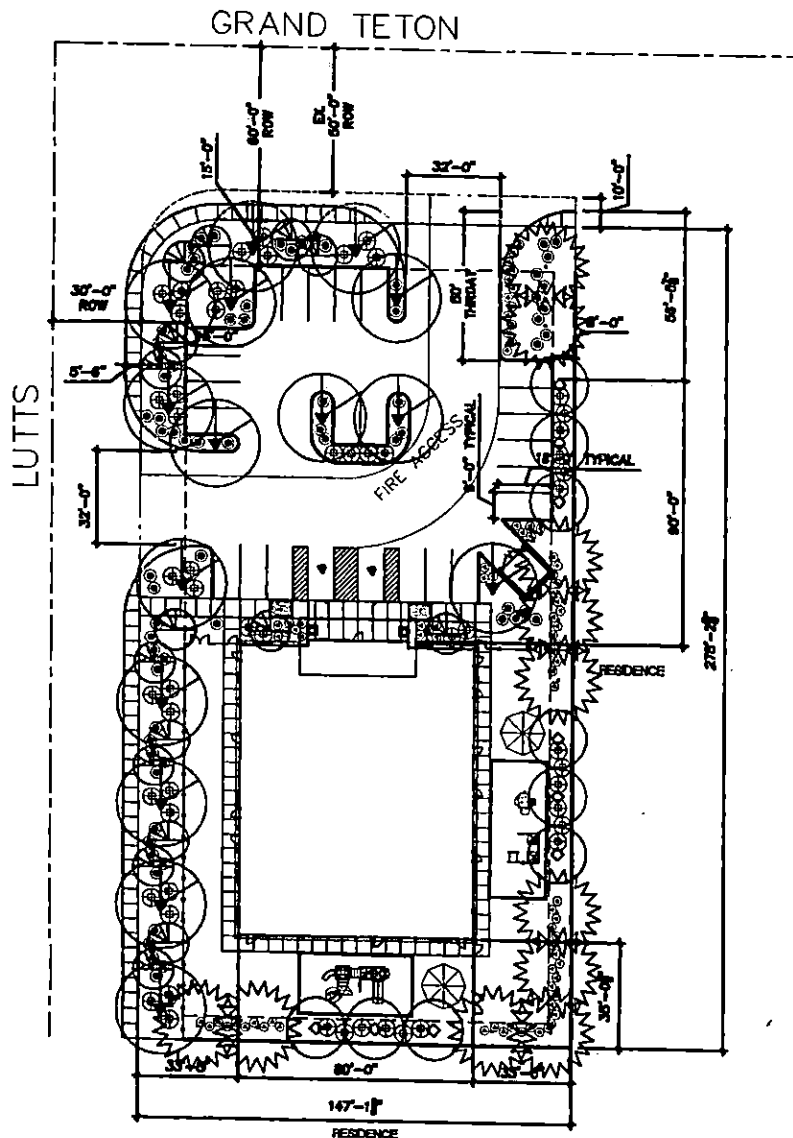
A.I.I



SUP-17204
REVISED
11/16/06 PC

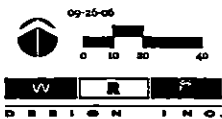
RECEIVED
OCT 19 2006

Fence Detail
All - Not to Scale



PLANT LEGEND				
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY. COMMENT
	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL	15 -
	PINUS EDULIS	MONTELL PINE	24" BOX	11 -
	PROSOPIS GLANDULOSA	HONEY MESQUITE	24" BOX	15 -
	QUERCUS VIRGINIANA	LIVE OAK	24" BOX	8 -
SHRUBS				
	BACCHARIS X 'STARRY'	COYOTE BUSH	5 GAL	72 -
	LEUCOPHYLLUM LAEVIS	CHRISTIANSLAND BACE	5 GAL	58 -
	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	81 -

RECEIVED
SEP 29 2006



GODDARD DAYCARE CENTER

A MBD Development

SUP-17204 SCHEMATIC LANDSCAPE
11/16/06 PC

General Notes

A. ELEVATION HEIGHTS BASED ON FINISH FLOOR OF 100'-0". SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION HEIGHTS.

EXTERIOR MATERIALS/COLORS

STUCCO: P1 MILLER PAINT 0872H TEOLISA
 TRIM: P2 MILLER PAINT 0894H WOOD CUT
 STUCCO BASE/DOORS: P3 MILLER PAINT 8582D SHAKEDRUSH
 GLAZING: PRUXINGTON BLUE-GREEN SOLIPSE
 ADVANTAGE
 EXPOSED FRAMING: CEDAR OLYMPIC STAIN 01
 EXPOSED METAL TIES/FASTENERS: BLACK

RECEIVED
 SEP 29 2006



WEST ELEVATION
 SCALE 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE 1/8" = 1'-0"

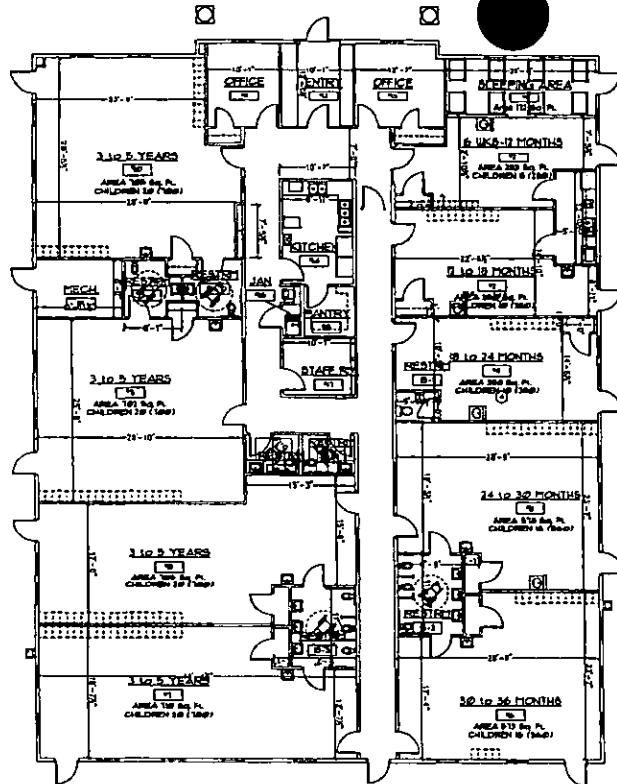


EAST ELEVATION
 SCALE 1/8" = 1'-0"



NORTH ELEVATION
 SCALE 1/8" = 1'-0"

SUP-17204
 11/16/06 PC



Floor Plan
0 2 4 6 8 10

Owner:
**MBD
Development,
LLC**

1202 NW 17th Avenue, Ste.
Portland, Oregon 97209

Project:
**The
Goddard
School**

Las Vegas, Nevada

Sheet Title
Floor Plan

Revisions

Date: 22 September 2
Drawn by: [Signature]
Checked by: [Signature]
Job Number: 100
Sheet

A2.1

RECEIVED
SEP 29 2006

**SUP-17204
11/16/06 PC**

September 19, 2006

Margo Wheeler, AICP
Planning & Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101



LAND
PLANNING



CIVIL
ENGINEERING



LANDSCAPE
ARCHITECTURE



LAND
SURVEY



WATER
RESOURCES

**RE: Special Use Permit & Site Development Review- Child Care Center
Justification Letter APN: 125-14-504-001**

Dear Ms. Wheeler,

On behalf of the applicant, MBD Development, we respectfully request your review of the attached Special Use Permit and Site Development Review application for Goddard School an early childhood development center. The site is located at the southeast corner of Grand Teton Drive and Lutts Street which is 430 feet west of Jones Boulevard. The one acre site is currently zoned R-E (Residence Estates District). The site will be developed with a one-story 15-foot high building that is 8,220 square feet in size.

Goddard School is an early childhood development program which provides care to children from 6 weeks to 5 years old. Goddard School is a fully licensed childcare facility operating from 7:00am to 6:00pm Monday through Friday, year around. The school is closed for legal holidays and teacher in-service days. The Goddard School is dedicated to providing the best possible environment for the education and development of children.

The parking counts are based on the number of children the facility can accommodate and the number of employees working on a shift. It is anticipated that the facility will have up to 100 children and up to 15 employees on a shift. This would in turn require 25 parking spaces to be provided for the facility. A total of 25 parking spaces have been provided for the site.

The site does meet the following requirements of Title 19.04.040 related to a Child Care Center.

(1) Access to the child care center shall be by means of a collector street or larger.

Primary access to the site is from Grand Teton Drive which is identified as a Parkway Arterial (120 ft.) on the City of Las Vegas Master Plan of Streets and Highways. The secondary access for the site is along Lutts Street which is required for fire access to the site.

3011 West
Horizon Ridge Pkwy.
Suite 100
Henderson, NV
89052

PH 702/990-9300
FX 702/990-9305

www.wrgdesign.com

**SUP-17204
11/16/06 PC**

(2) The maximum lot coverage shall not exceed thirty percent.

The lot coverage of the site is proposed at 20% which is significantly less than the 30% requirement.

(3) The site shall be designed so that all discharging or loading of passengers from a vehicle is accomplished on the site. The layout of driveways, circulation patterns and parking shall be approved by the City Traffic Engineer prior to the issuance of any building permits.

The site has been designed to ensure that the discharging or loading of passengers is accomplished on the site. Goddard School maintains a strict Child drop-off procedure (see attached) that must be adhered to by the parents. This policy is designed to ensure the well being and safety of the children. If required, a traffic study will be completed to address any issues with the driveways or circulation patterns.

(4) Where structures or play areas have residential adjacency:

(a) An eight foot high block wall shall be installed along the common property line, with an additional buffer of evergreen trees along the play area. The trees shall be a minimum of twenty four inch box and shall be installed at a minimum of twenty feet on center and shall be a variety that will grow together to form a visual screen.

An eight foot block wall will be constructed on the east and south property lines. Also, evergreen trees will be planted along the property lines as required.

(b) The building entrance and access shall be oriented away from residential uses on local streets.

The building entrance and primary access to the site has been oriented toward Grand Teton Drive which is a 120' Parkway Arterial.

(c) Outdoor play shall be limited to daylight hours.

The operating hours of the daycare center is from 7am to 6pm Monday through Friday. Limiting outdoor play to daylight hours will not be an issue.

(d) Outdoor lighting shall be designed so as to not shine directly onto any abutting residential property.

Any outdoor lighting will be designed to not shine onto any abutting residential properties.

(5) The use is subject to the child care regulations and standards of the Department of Finance and Business Services.

The Goddard School will comply with the child care regulations and standards of the Department of Finance and Business Services.

SUP-17204
11/16/06 PC

W	R	G
D E S I G N I N C .		

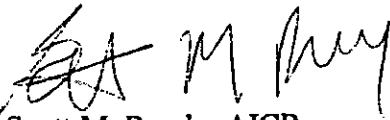
The structure has been designed to meet the requirements of 19.08.060 Residential Adjacency Standards. The maximum building height is 15' which meets the height requirements adjacent to the residential properties to the east and south.

Although near residential properties the site has been designed to fit into the neighborhood. The parcel is located adjacent to a 120' Parkway Arterial which will require an additional 10' of dedication along the north property line. Also, this parcel is recommended for removal from the RNP district as well as the parcels across the street that front Grand Teton Drive.

We feel that this development will have a positive impact to the area, to the economy, and to those individuals who would like quality child care close to home. We respectfully ask for your recommendation of approval of this application.

Please contact our office if you should have any questions or require additional information. Thank you for your assistance with this project.

Sincerely,
WRG Design, Inc.



Scott M. Ruedy, AICP
Planning Project Manager

SUP-17204
11/16/06 PC

W	R	G
DESIGN INC.		

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17205 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-17204 - PUBLIC HEARING - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLY A. SCHNEIDER - Request for a Site Development Plan Review FOR A PROPOSED 8,220 SQUARE-FOOT CHILD CARE CENTER on 0.97 acres at 6131 Grand Teton Drive (APN 125-14-504-001), R-E (Residence Estates) Zone, Ward 6 (Ross).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **WITHDRAWN WITHOUT PREJUDICE.**

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions (Not Applicable) and Staff Report (Not Applicable)
3. Supporting Documentation
4. Justification Letter

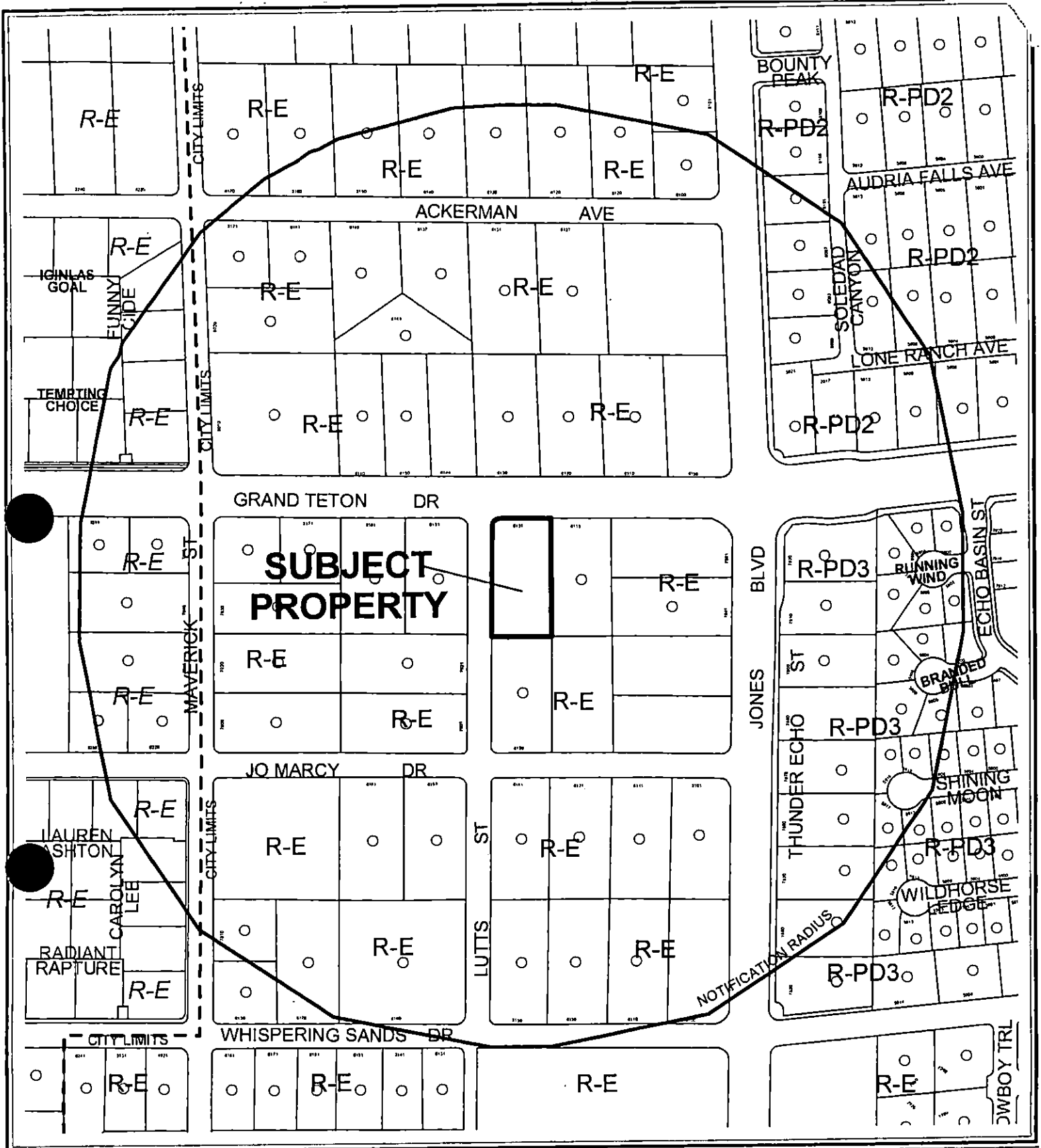
MOTION:

EVANS – Motion to HOLD IN ABEYANCE Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to 12/07/2006; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to 12/21/2006; Item 29 [ZON-17304] to 1/25/2007, and WITHDRAW WITHOUT PREJUDICE Item 37 [SUP-17204] and Item 38 [SDR-17205] – UNANIMOUS

MINUTES:

Item 37 [SUP-17204] and Item 38 [SDR-17205] were requested by the applicant to be withdrawn without prejudice.

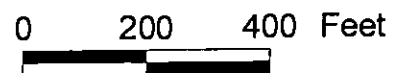
(6:04 – 6:07)



CASE: **SDR-17205**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SDR-17205 - APPLICANT: MBD DEVELOPMENT - OWNER:
PAUL A. AND KIMBERLY A. SCHNEIDER

***APPLICANT REQUESTS THIS ITEM BE
WITHDRAWN WITHOUT PREJUDICE***

OCT-27-2006 11:05 From:WRG

7029909305

To:7024747463

P.1/1



November 27, 2006

Margo Wheeler
City of Las Vegas
Development Services
731 South 4th Street
Las Vegas, NV 89101

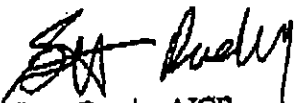
SUP-17204 & SDR-17205- GODDARD SCHOOL
Withdraw Letter

Dear Ms. Wheeler,

On behalf of our client, we respectfully request to withdraw without prejudice the above referenced applications from the November 16, 2006 Planning Commission meeting.

Please contact our office if you have any questions or require additional information.

Sincerely,
WRG Design, Inc.


Scott Rudy, AICP
Project Planning Manager

LAND
PLANNINGCIVIL
ENGINEERINGLANDSCAPE
ARCHITECTURELAND
SURVEYWATER
RESOURCES

3011 West
Harrison Blvd Pkwy.
Suite 100
Henderson, NV
89002

PH 702/090-0300
FX 702/990-9305

www.wrgdesign.com

PLANNING &
DEVELOPMENT

DEVELOPMENT
SERVICES CENTER

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17205** APN: 125-14-504-001

Name of Property Owner: Kimberly & Paul Schneider

Name of Applicant: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

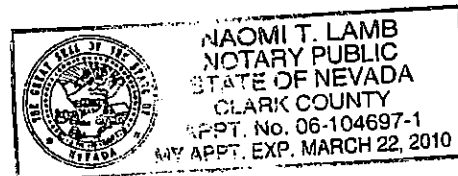
Signature of Property Owner/Authorized Agent: *[Handwritten Signature]*

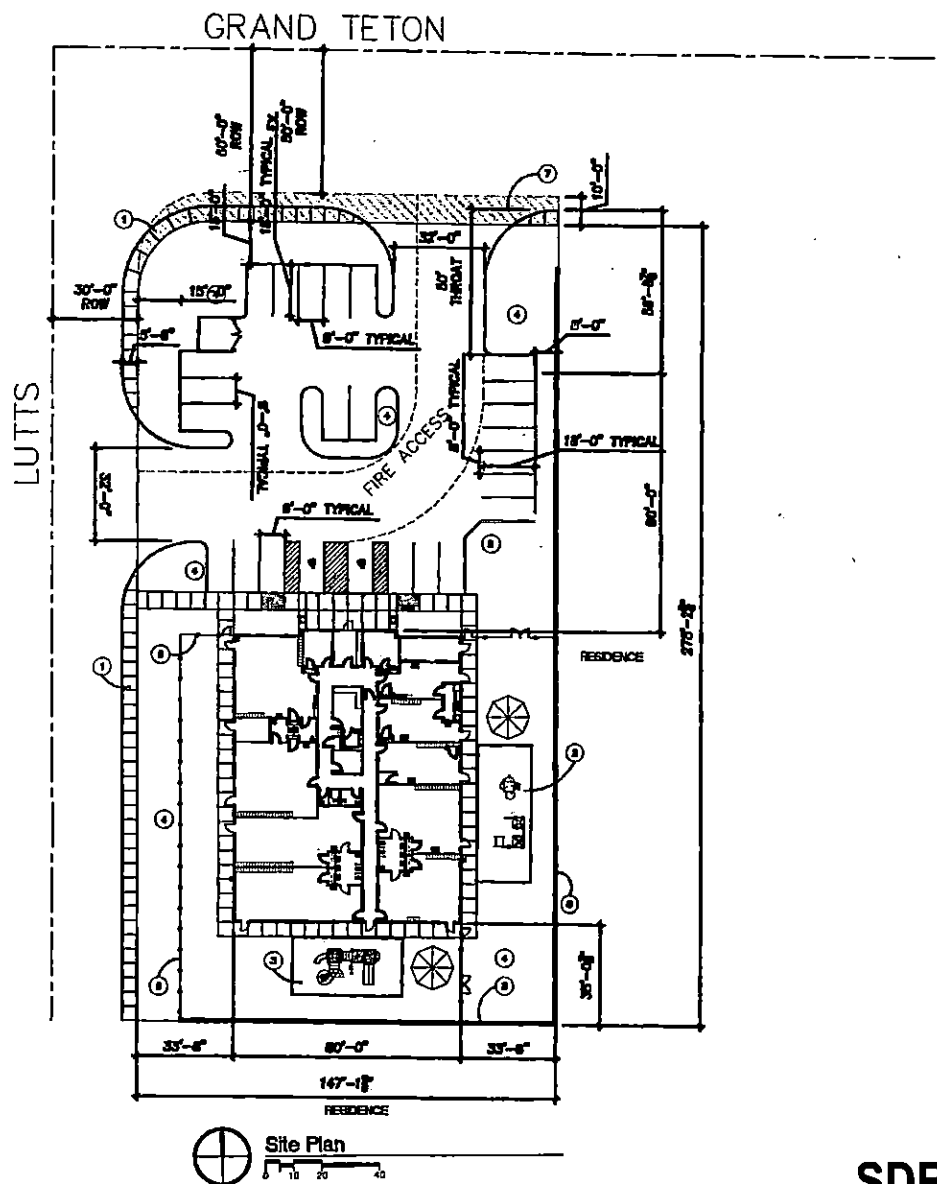
Print Name: Kimberly Schneider & Paul Schneider

Subscribed and sworn before me

This 11 day of July, 2009

Notary Public in and for said County and State



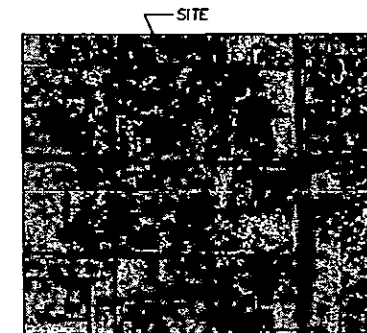


Keynotes

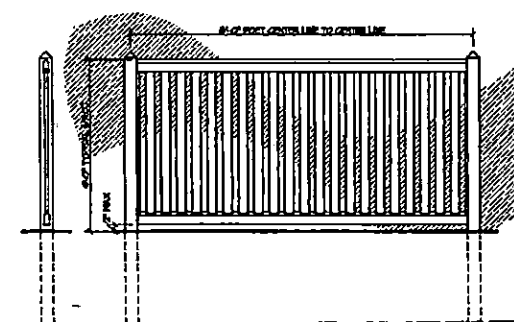
1. NEW 5' WIDE SIDEWALK AND CURB
2. INFANT PLAYGROUND WITH UMBRELLA SHADE UNIT
3. PRESCHOOL PLAYGROUND WITH UMBRELLA SHADE UNIT
4. LANDSCAPING
5. DUMPSTER IN SCREENED ENCLOSURE
6. CEDAR FENCE - SEE DETAIL 1/ALL
7. DEDICATED R.O.W. (CROSS-HATCHED AREA)
8. CMU WALL

Site Analysis

EXISTING SITE AREA	42,253 S.F.
SITE AREA AFTER DEDICATION	40,820 S.F.
BUILDING SIZE	0,227 S.F.
(F.A.R.) FLOOR AREA RATIO	22.1%



Vicinity Map



SDR-17205
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11/16/06 PC

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OCT 19 2006

Handwritten signature and notes.

Owner
MBD Development, LLC

1222 NW 17th Avenue, Ste. Portland, Oregon 97229

Project
The Goddard School

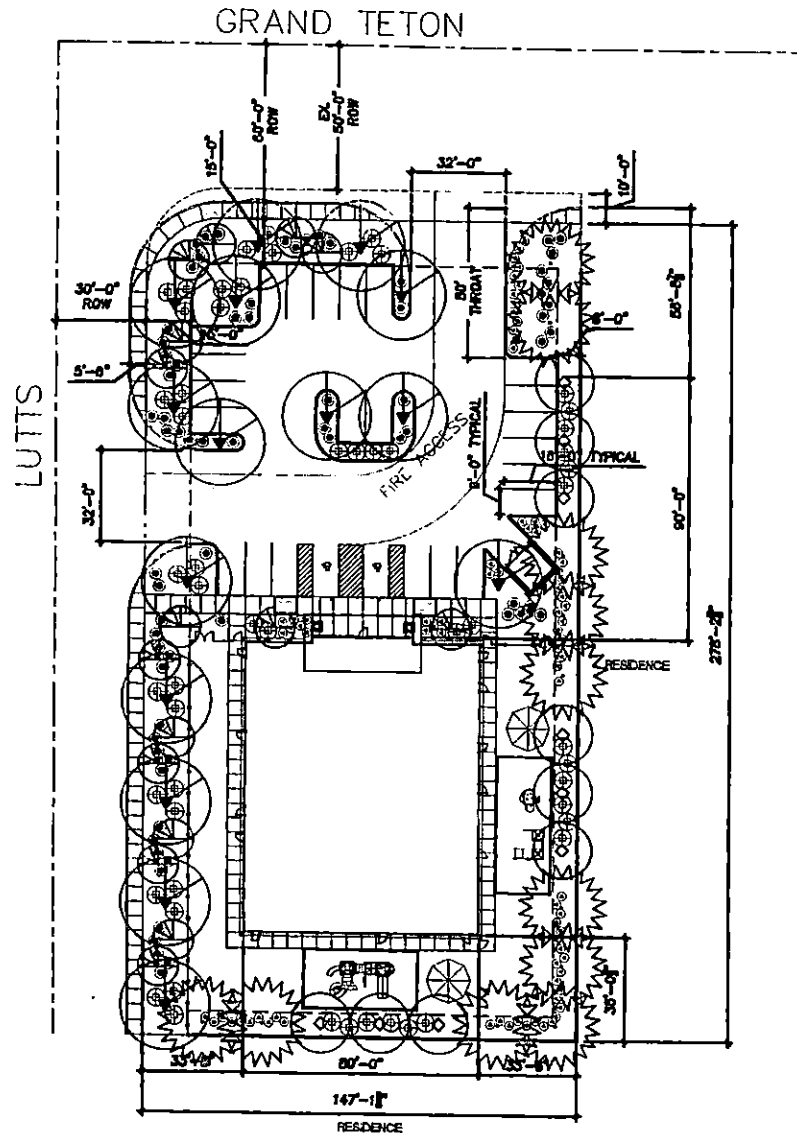
Las Vegas Nevada

Sheet Title
Site Plan

Revisions

Date	22 September 2
Drawn by	Checked
Job Number	105
Sheet	

A.I.J.



PLANT LEGEND				
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY. COMMENT
	CHILOPSIS LINEARIS	DESERT WILLOW	15 GAL	10 -
	PINUS ELDARICA	MONDELL PINE	24" BOX	11 -
	PROSOPIS GLANDULOSA	HONEY MESQUITE	24" BOX	15 -
	QUERCUS VIRGINIANA	LIVE OAK	24" BOX	8 -
SHRUBS				
	BACCHARIS X STARRY	COYOTE BUSH	5 GAL	72 -
	LEUCOPHYLLUM LAEVIGATUM	CREOSOTE BUSH	5 GAL	55 -
	ROSMARINUS OFFICINALIS	ROSEMARY	5 GAL	81 -
	MUNTINGTON CARPET			

GODDARD DAYCARE CENTER

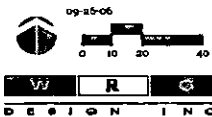
A MBD Development

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SEP 29 2006

SDR-17205

11/16/06 PC SCHEMATIC LANDSCAPE



General Notes

A. ELEVATION HEIGHTS BASED ON FINISH FLOOR OF 10'-0" SEE CIVIL DRAWINGS FOR ACTUAL ELEVATION HEIGHTS

EXTERIOR MATERIALS/COLOURS

STUCCO: P3 MILLER PAINT 6672W TEGULA
 TRIM: P3 MILLER PAINT 6644W WOOD CUT
 STUCCO BASE/DOORS: P3 MILLER PAINT 6645D BUCKERUSH
 GLAZING: PULKINGTON BLUE-GREEN EQUIPSE
 ADVANTAGE
 EXPOSED FRAMING: CEDAR OLYMPIC STAIN DIT
 EXPOSED METAL TILES/
 FASTENERS: BLACK

MILBURN DESIGN GROUP INC.
 ARCHITECTURE - INTERIOR DESIGN
 213310 213311 213312 213313
 213314 213315 213316 213317
 213318 213319 213320 213321



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



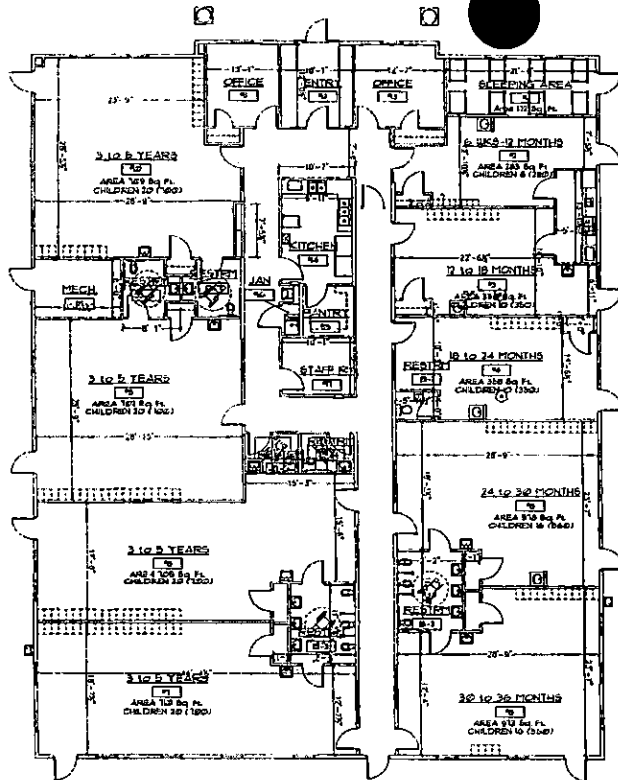
EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

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SDR-17205
11/16/06 PC



 Floor Plan

MALDEN DESIGN GROUP
ARCHITECTS + INTERIORS
7650 S.W. Beaverton, Suite
Tyndall, Oregon 97223-3602
503 244 0332

Owner
**MBD
Development
LLC**

1244 NW 17th Avenue, S
Portland, Oregon 97239

Project
**The
Goddard
School**

Las Vegas, Nevada

Sheet Title
Floor Plan

Revisions

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
ASCE, STANDARD AND SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS
ACI, STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE
IBC, INTERNATIONAL BUILDING CODE
IRC, INTERNATIONAL RESIDENTIAL CODE
IRC, INTERNATIONAL RESIDENTIAL CODE

Date: 22 September
Drawn by: [Signature]
Check:

Sub Number
Sheet

A2.1

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**SDR-17205
11/16/06 PC**



Botanical: Quercus virginiana
Common: Southern Live Oak

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SEP 29 2006

Height: 40-80 ft. tall

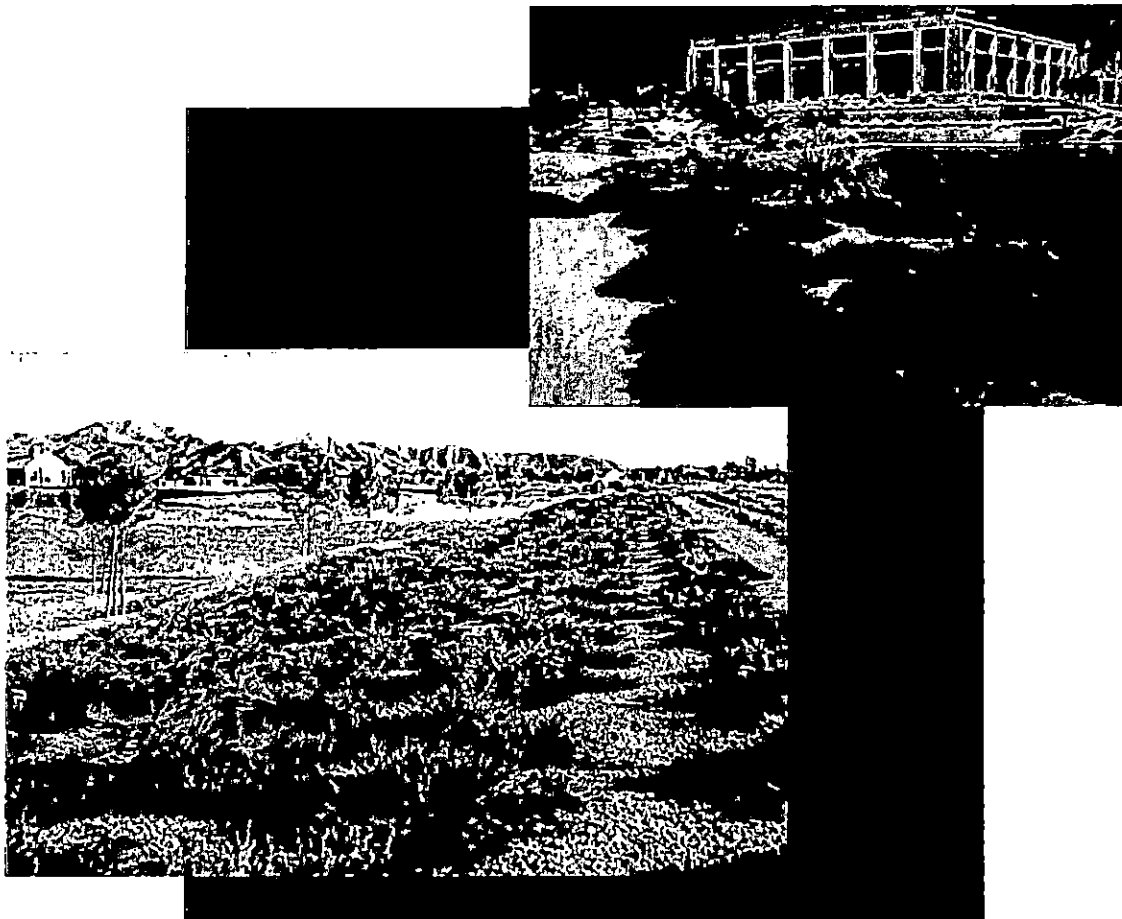
Spread: 40-80 ft. wide

Flower Color: N/A

Comments: Evergreen tree; Grows at a moderate to fast rate, eventually reaching 40-80 ft. tall; Long lived, with age bark becomes dark and checked. Leaves are shiny dark green.

SDR-17205
11/16/06 PC

W R G
DESIGN INC.



Botanical: Baccharis hybrid 'Starn'

Common: Baccharis

Height: 2-3 ft.

Spread: 5-6 ft.

Flower Color: N/A

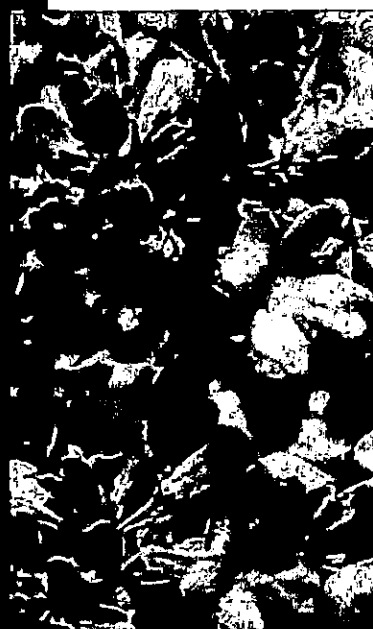
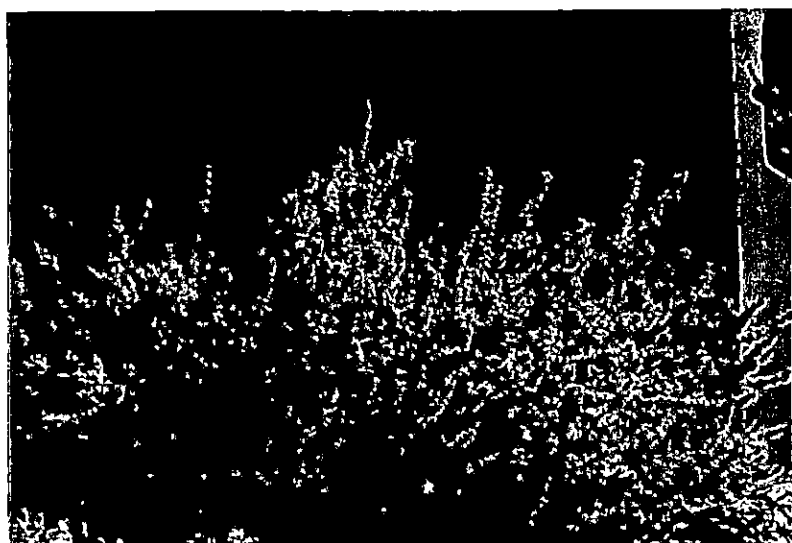
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Comments: Grows 3-4' x 5'. Evergreen, Tolerant of extreme heat and sun. No fluffy seeds to spread. One of the best groundcovers for hot summers.

**SDR-17205
11/16/06 PC**

**W R G
DESIGN INC.**



Botanical: *Leucophyllum laevigatum*

Common: Chihuahuan Sage

Height: up to 4 feet

Spread: up to 5 feet

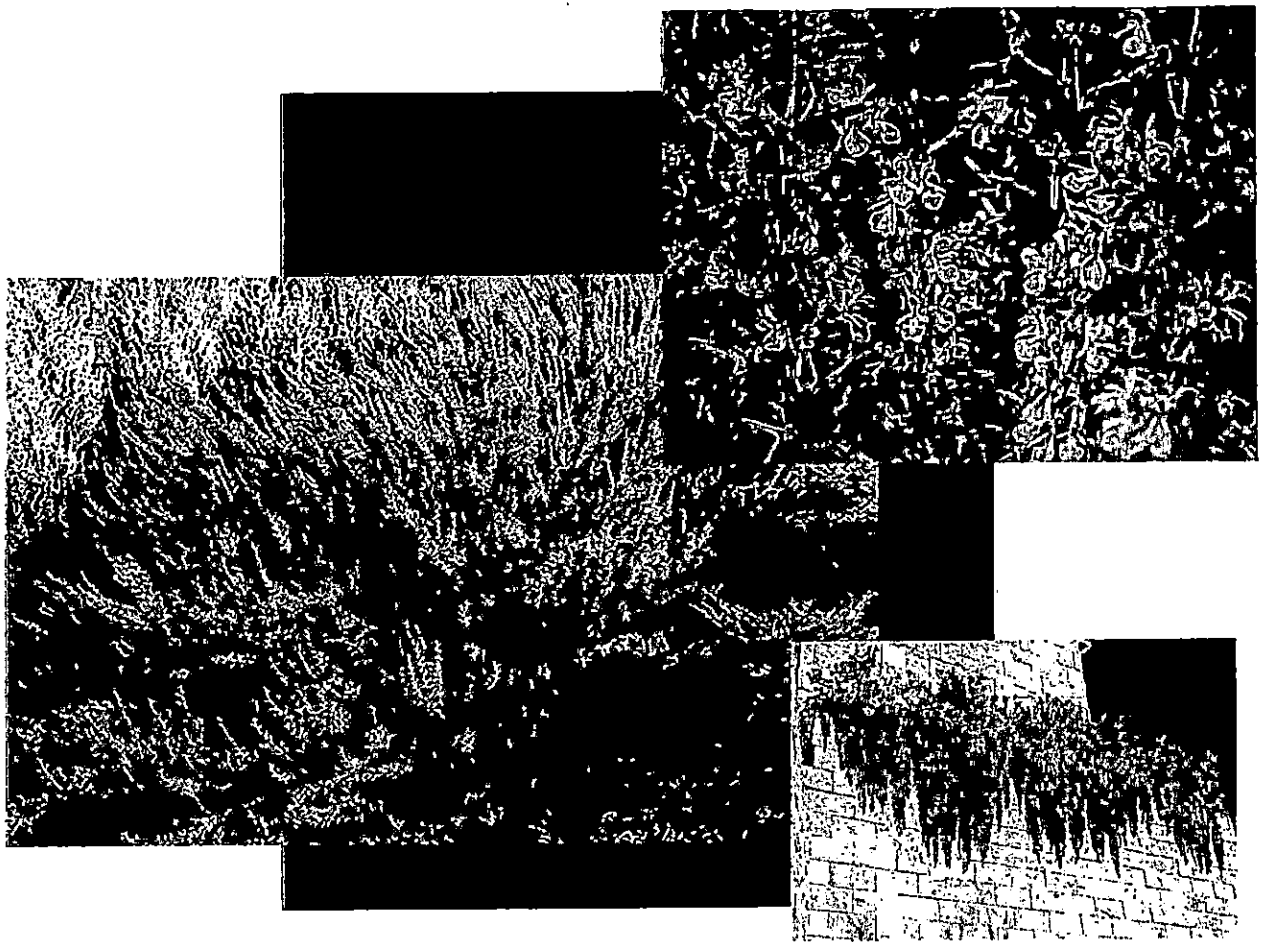
Flower Color: Lavender flowers.

Comments: An evergreen shrub. This plant has small green foliage and fragrant blue flowers. It is drought tolerant and attracts hummingbirds. It has a loose, spiky form.

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SDR-17205
11/16/06 PC

W R G
DESIGN INC.



Botanical: Rosmarinus Officinalis
'Huntington Carpet'

Common: Trailing Rosemary

Height: 1 1/2 ft. tall

Spread: 4-6 ft. wide

Flower Color: Blue

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Comments: In comparison to other varieties of rosmarinus, the 'Huntington Carpet' is less woody, and the leaf color is much greener. It maintains a center foliage better than other prostrates. Adaptable to most any soil conditions or climate.

SDR-17205
11/16/06 PC

W R C
DESIGN INC.



Botanical: Prosopis glandulosa
'Maverick'

Common: Thornless Honey Mesquite

Height: 20'-30'

Spread: 30-35'

Flower Color: N/A

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SEP 29 2006

Comments: Most reliable hardy mesquite; Leaves are bright green with widely spaced leaflets. Light dapples shade; smooth gray bark.

SDR-17205
11/16/06 PC





Botanical: Pinus eldarica

Common: Mondel Pine

Height: 30 to 80 Ft.

Spread: 15 to 25 Ft.

Flower Color: N/A

Comments: Commonly used classic pine shaped tree. Thrives in heat, wind and poor soil.

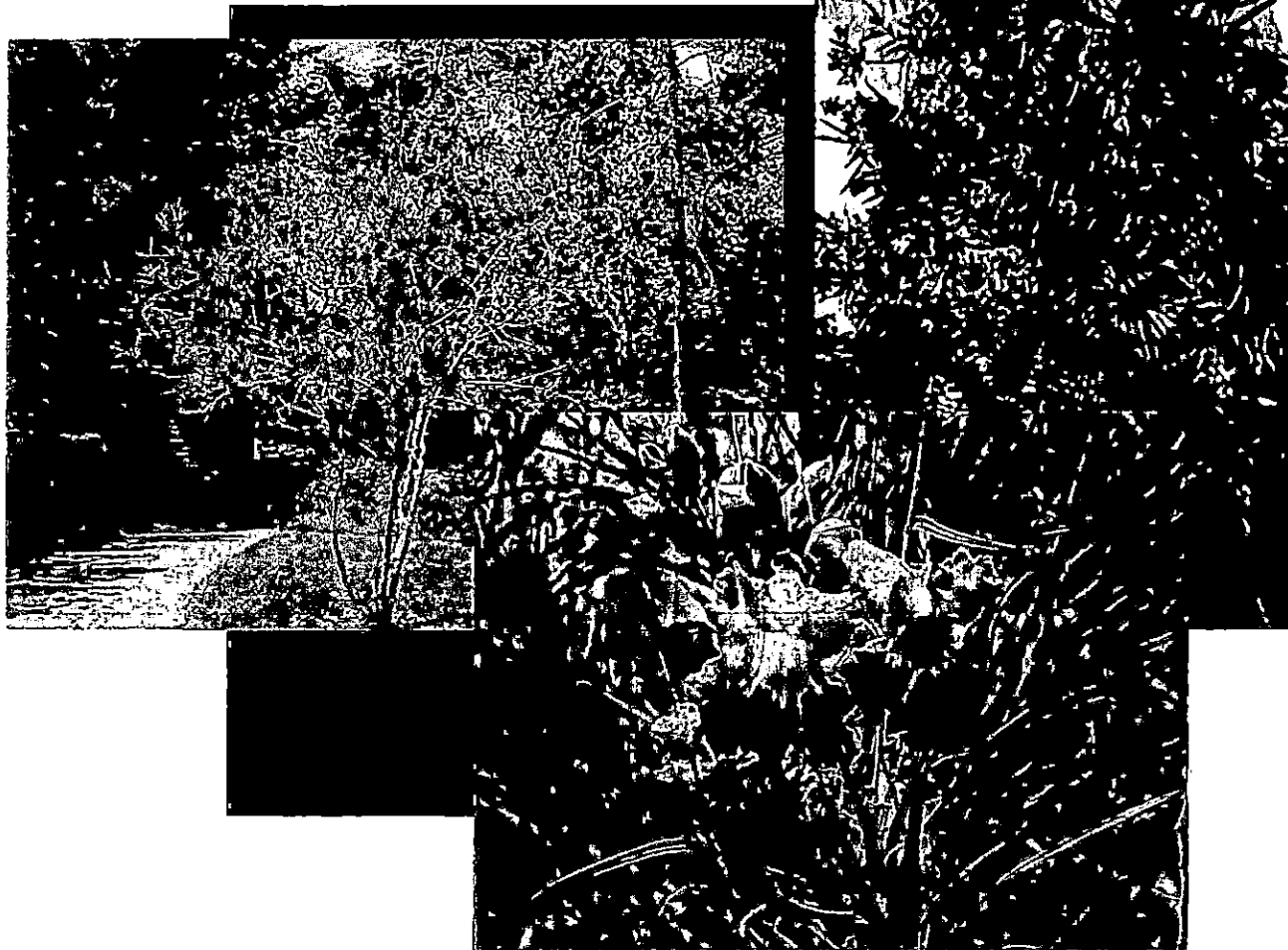
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SDR-17205
11/16/06 PC



D E S I G N I N G



Botanical: Chilopsis linearis
Common: Desert Willow

Height: Up to 15 ft. tall

RECE

Spread: Up to 15 ft. wide

SEP 29 2006

Flower Color: reddish purple, lavender or rose

Comments: Native to desert washes and stream beds below 5000 ft. Shaggy bark develops with age, and twisting trunks. Spring to fall produces trumpet shaped flowers, similar to those of the Catalpa.

SDR-17205
11/16/06 PC

W E R G
 DESIGN INC.

SDR 17205				
MBD Development				
SEC Grand Teton & Lutts				
Proposed 8.22 thousand square foot child care center.				
Traffic produced by proposed development:				
	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	DAY CARE CENTER [1000 SF]	8.22	79.26	652
AM Peak Hour			12.79	105
PM Peak Hour			13.18	108
(heaviest 60 minutes)				
Existing traffic on all nearby streets: Counts not available for Lutts Street				
Jones Boulevard				
Average Daily Traffic (ADT)	8,188			
PM Peak Hour	655			
(heaviest 60 minutes)				
Grand Teton Drive				
Average Daily Traffic (ADT)	5,437			
PM Peak Hour	435			
(heaviest 60 minutes)				
Traffic Capacity of adjacent streets:				
Adjacent street ADT				
Capacity				
Jones Boulevard	16200			
Average Daily Traffic (ADT)	16200			
This project will add approximately 652 trips per day on Grand Teton, Lutts and Jones. This will increase expected volumes by about twelve percent on Grand Teton and about eight percent on Jones. Grand Teton is at about 51 percent of capacity and Jones is at about 34 percent of capacity. Counts are not available for Lutts, but it is believed to be under capacity.				
Based on Peak Hour use, this development will add roughly 108 additional cars into the area; which works out to about two every minute.				
Note that this report assumes all traffic from this development uses all named streets.				



SUP-17204 & SDR-17205 - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLEY A.
SCHNEIDER
6131 GRAND TETON DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SUP-17204 & SDR-17205 - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLEY A.
SCHNEIDER
6131 GRAND TETON DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SUP-17204 & SDR-17205 - APPLICANT: MBD DEVELOPMENT - OWNER: PAUL A. AND KIMBERLEY A. SCHNEIDER
6131 GRAND TETON DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



September 19, 2006

Margo Wheeler, AICP
Planning & Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101



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PLANNING



CIVIL
ENGINEERING



LANDSCAPE
ARCHITECTURE



LAND
SURVEY



WATER
RESOURCES

**RE: Special Use Permit & Site Development Review- Child Care Center
Justification Letter APN: 125-14-504-001**

Dear Ms. Wheeler,

On behalf of the applicant, MBD Development, we respectfully request your review of the attached Special Use Permit and Site Development Review application for Goddard School an early childhood development center. The site is located at the southeast corner of Grand Teton Drive and Lutts Street which is 430 feet west of Jones Boulevard. The one acre site is currently zoned R-E (Residence Estates District). The site will be developed with a one-story 15-foot high building that is 8,220 square feet in size.

Goddard School is an early childhood development program which provides care to children from 6 weeks to 5 years old. Goddard School is a fully licensed childcare facility operating from 7:00am to 6:00pm Monday through Friday, year around. The school is closed for legal holidays and teacher in-service days. The Goddard School is dedicated to providing the best possible environment for the education and development of children.

The parking counts are based on the number of children the facility can accommodate and the number of employees working on a shift. It is anticipated that the facility will have up to 100 children and up to 15 employees on a shift. This would in turn require 25 parking spaces to be provided for the facility. A total of 25 parking spaces have been provided for the site.

The site does meet the following requirements of Title 19.04.040 related to a Child Care Center.

(1) Access to the child care center shall be by means of a collector street or larger.

Primary access to the site is from Grand Teton Drive which is identified as a Parkway Arterial (120 ft.) on the City of Las Vegas Master Plan of Streets and Highways. The secondary access for the site is along Lutts Street which is required for fire access to the site.

3011 West
Horizon Ridge Pkwy.
Suite 100
Henderson, NV
89052

PH 702/990-9300
FX 702/990-9305

www.wrgdesign.com

**SDR-17205
11/16/06 PC**

(2) The maximum lot coverage shall not exceed thirty percent.

The lot coverage of the site is proposed at 20% which is significantly less than the 30% requirement.

(3) The site shall be designed so that all discharging or loading of passengers from a vehicle is accomplished on the site. The layout of driveways, circulation patterns and parking shall be approved by the City Traffic Engineer prior to the issuance of any building permits.

The site has been designed to ensure that the discharging or loading of passengers is accomplished on the site. Goddard School maintains a strict Child drop-off procedure (see attached) that must be adhered to by the parents. This policy is designed to ensure the well being and safety of the children. If required, a traffic study will be completed to address any issues with the driveways or circulation patterns.

(4) Where structures or play areas have residential adjacency:

(a) An eight foot high block wall shall be installed along the common property line, with an additional buffer of evergreen trees along the play area. The trees shall be a minimum of twenty four inch box and shall be installed at a minimum of twenty feet on center and shall be a variety that will grow together to form a visual screen.

An eight foot block wall will be constructed on the east and south property lines. Also, evergreen trees will be planted along the property lines as required.

(b) The building entrance and access shall be oriented away from residential uses on local streets.

The building entrance and primary access to the site has been oriented toward Grand Teton Drive which is a 120' Parkway Arterial.

(c) Outdoor play shall be limited to daylight hours.

The operating hours of the daycare center is from 7am to 6pm Monday through Friday. Limiting outdoor play to daylight hours will not be an issue.

(d) Outdoor lighting shall be designed so as to not shine directly onto any abutting residential property.

Any outdoor lighting will be designed to not shine onto any abutting residential properties.

(5) The use is subject to the child care regulations and standards of the Department of Finance and Business Services.

The Goddard School will comply with the child care regulations and standards of the Department of Finance and Business Services.

SDR-17205
11/16/06 PC



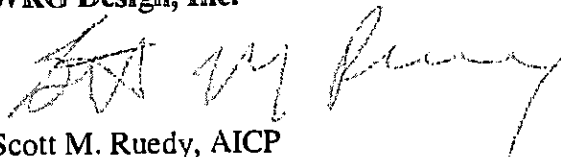
The structure has been designed to meet the requirements of 19.08.060 Residential Adjacency Standards. The maximum building height is 15' which meets the height requirements adjacent to the residential properties to the east and south.

Although near residential properties the site has been designed to fit into the neighborhood. The parcel is located adjacent to a 120' Parkway Arterial which will require an additional 10' of dedication along the north property line. Also, this parcel is recommended for removal from the RNP district as well as the parcels across the street that front Grand Teton Drive.

We feel that this development will have a positive impact to the area, to the economy, and to those individuals who would like quality child care close to home. We respectfully ask for your recommendation of approval of this application.

Please contact our office if you should have any questions or require additional information. Thank you for your assistance with this project.

Sincerely,
WRG Design, Inc.


Scott M. Ruedy, AICP
Planning Project Manager

SDR-17205
11/16/06 PC



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

RQR-17098 - REQUIRED FOUR YEAR REVIEW - PUBLIC HEARING - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: CONSTANTINO NOVAL NV, LLC - Required Four-Year Review of an approved Special Use Permit (U-0025-98) WHICH ALLOWED A 14-FOOT X 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 73 South Martin L King Boulevard (APN 139-33-510-002), M (Industrial) Zone, Ward 5 (Weekly).

IF APPROVED: C.C.: 12/20/06

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
 City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
 City Council Meeting

0

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location, Aerial, Separation and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. City Council Approval Letter for U-0025-98(2)
6. City Council Approval Letter for U-0025-98(1)
7. City Council Approval Letter for U-0025-98

MOTION:

GOYNES – DENIED – Motion carried with STEINMAN and DUNNAM voting NO

This is Final Action

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

DOUG RANKIN, Planning and Development Department, reported that this is the third review of the billboard and he recommended denial since the applicant has not complied with Condition 4 of the original approval requiring all City Codes be met.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 39 – RQR-17098

MINUTES – Continued:

ROD CARTER, 2880 Meade Avenue, stated the finalization of permits have been an ongoing issue and stated that many similar cases have been dismissed at the City Council with the deletion of those conditions. He humbly requested approval.

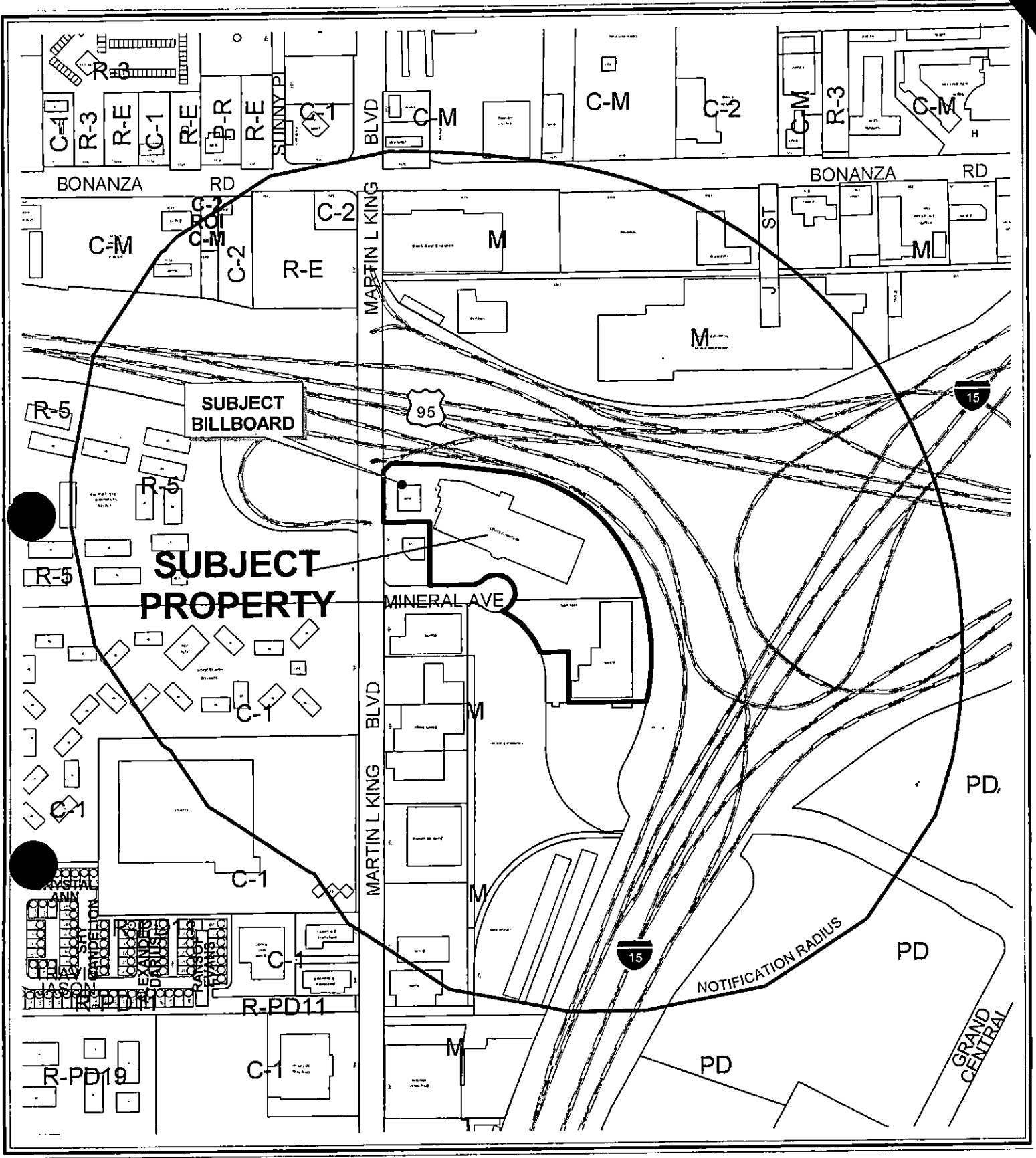
COMMISSIONER TRUESDELL commented that the billboard is massive yet there is not a building permit proving that the structure is safe. It would be in the company's best interest and should be their burden to ensure that the product is acceptable and safe. Upon his request, MR. CARTER indicated he would be unable to provide a permit since the Codes have been updated since the date of origination and consequently, the billboard would fail inspection.

MARGO WHEELER, Director of Planning and Development, clarified that the condition does not require a permit but rather that the billboard meet City Code. COMMISSIONER STEINMAN requested an explanation of Condition 1 and MS. WHEELER stated that the Department of Building and Safety can handle that matter in any way they choose and MR. RANKIN explained that the billboard has not been in compliance with City Code for nine years.

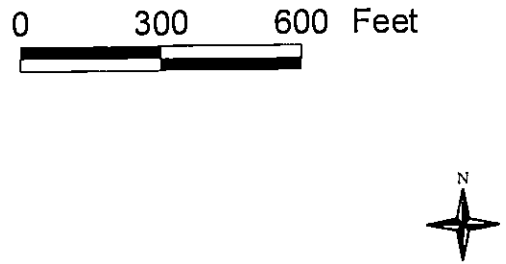
CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

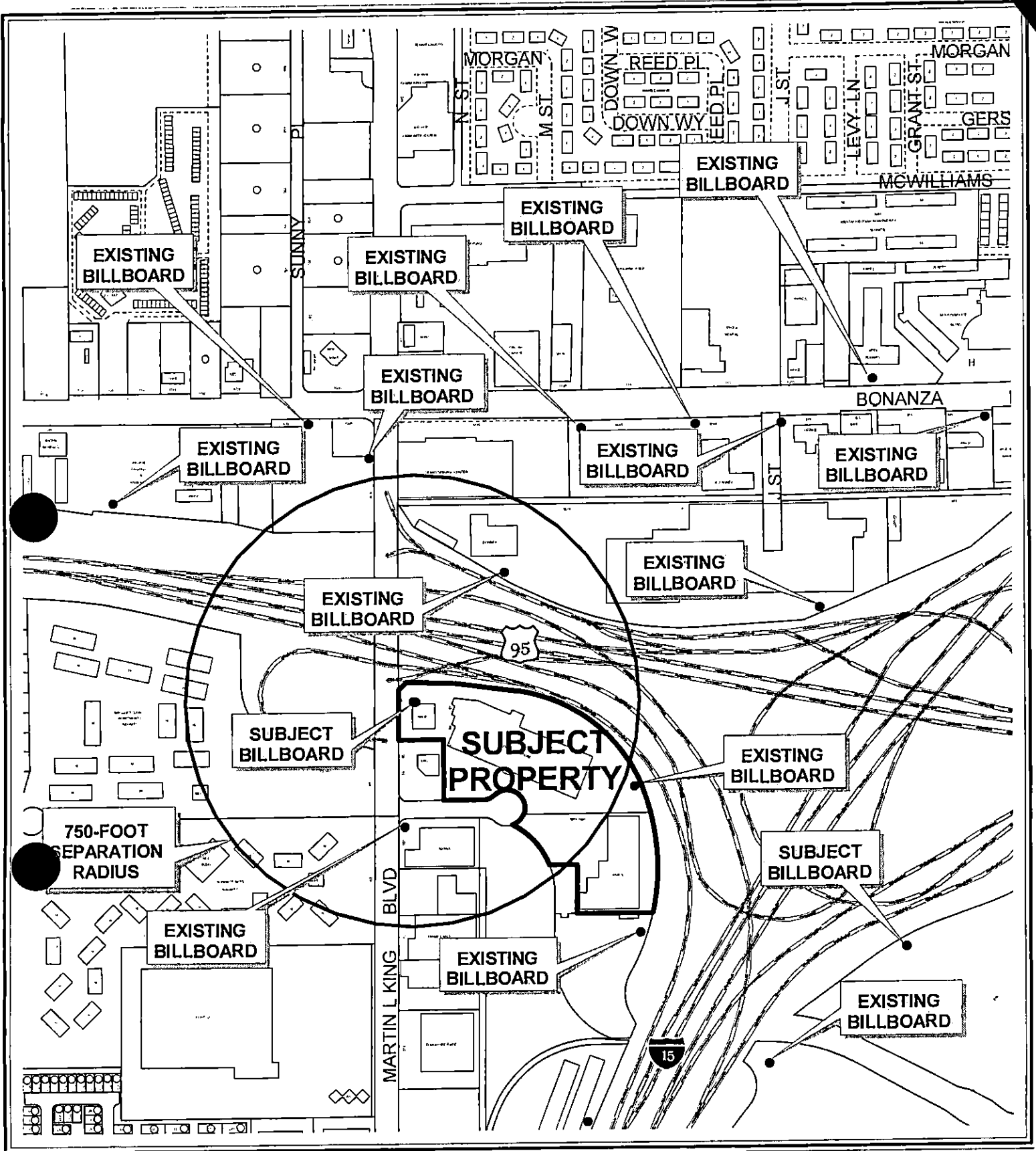
(10:01 – 10:08)

3-1258



CASE: **RQR-17098**
RADIUS: 1000 FT
ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)





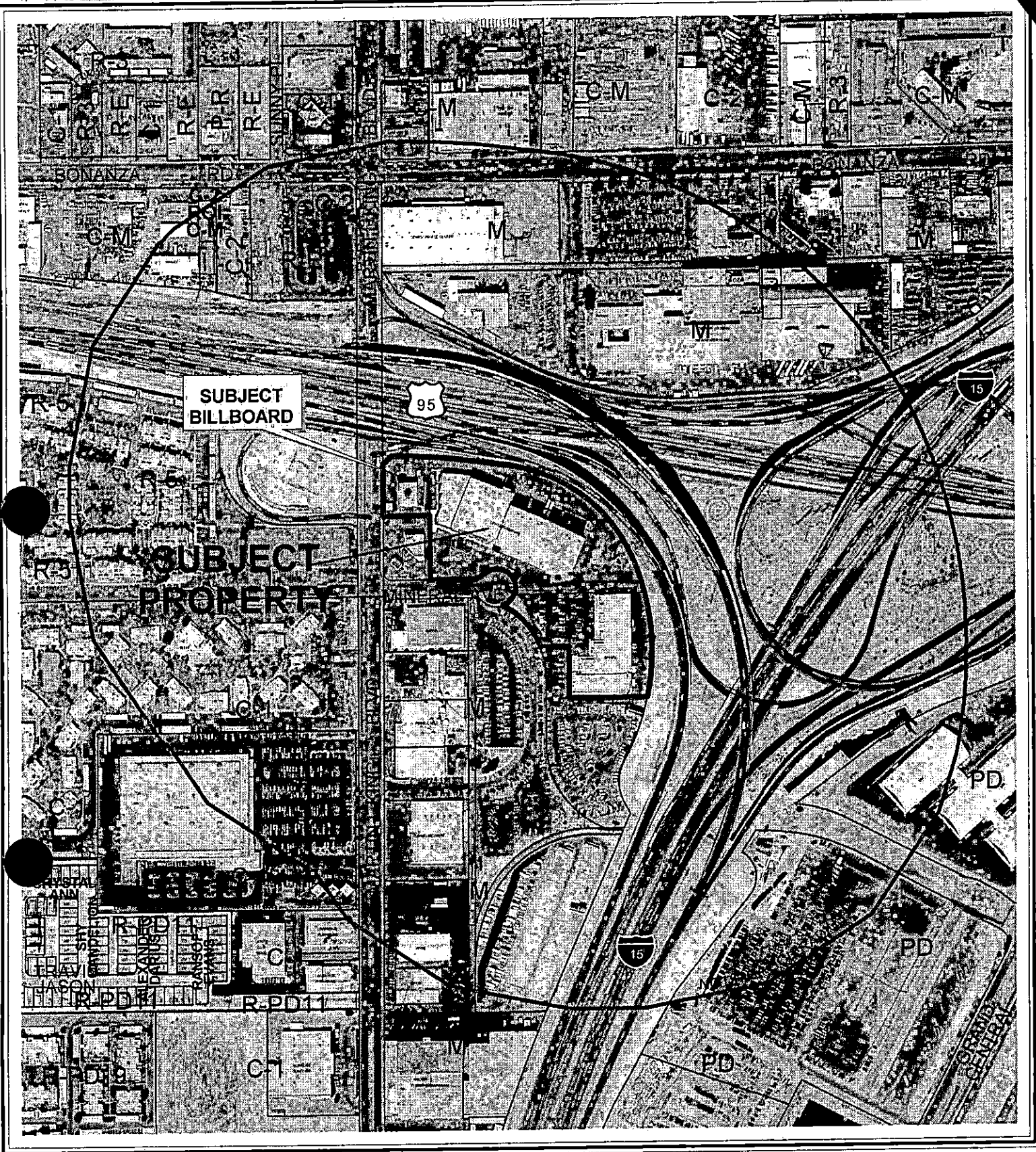
CASE: **RQR-17098**

SEPARATION RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)

0 400 800 Feet

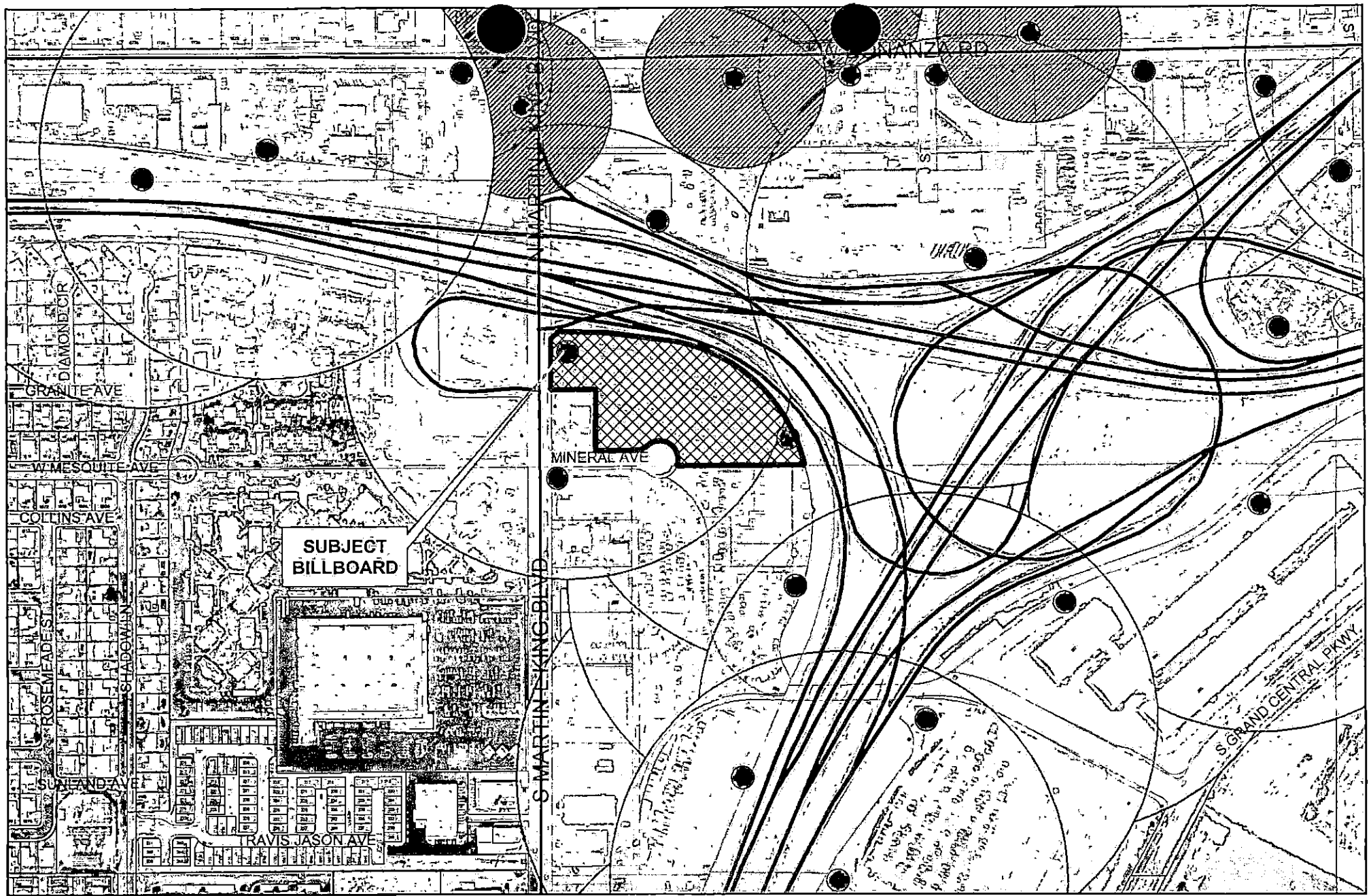




CASE: RQR-17098
RADIUS: 1000 FT
ZONING OF SUBJECT PROPERTY: M (INDUSTRIAL)

0 300 600 Feet





RQR-17098

City of Las Vegas Billboard Data

- | | | |
|--|--|---|
|  Subject Parcel |  300 Foot Buffer Around Billboard |  Off Premise Sign Exclusion Area |
|  City of Las Vegas Billboard Location |  750 Foot Buffer Around Freeway Billboard |  Exempt - Off Premise Area Sign Area |
|  Clark County Billboard Location | | |



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: RQR-17098 - APPLICANT: CLEAR CHANNEL OUTDOOR -
OWNER: CONSTANTINO NOVAL NV, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Approval of outstanding matters to be obtained from the Department of Building and Safety.
2. The Special Use Permit shall be reviewed in two (2) years at which time the City Council may require the Off-Premise Advertising (Billboard) Sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign is removed.
3. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
4. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the off-premise sign.
5. Only one advertising sign is permitted per sign face.
6. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, and (2) the location is in compliance with all applicable standards of Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
7. All City Code requirements and design standards of all City Departments shall be satisfied.

RQR-17098 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a required Four-Year Review of an approved Special Use Permit (U-0025-98) which allowed a 14-foot x 48-foot Off-Premise Advertising (Billboard) Sign at 73 South Martin L. King Boulevard.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
06/08/98	The City Council approved a Special Use Permit (U-0025-98) for a 14-foot by 48-foot Off-Premise Advertising (Billboard) Sign at a height of 74 feet. The Planning Commission and staff recommended approval on 04/09/98.
08/02/00	The City Council approved a Two Year Required Review [U-0025-98(2)] of an approved Special Use Permit for a 672 square foot – 48-foot tall Off-Premise Sign (Billboard) Sign.
09/18/02	The City Council approved a Two Year Required Review [U-0025-98(2)] of an approved Special Use Permit which allowed a 74-foot high, 14-foot x 48-foot Off-Premise Advertising (Billboard) Sign. The Planning Commission and staff recommended approval on 08/22/02.
<i>Related Building Permits/Business Licenses</i>	
07/30/98	A building permit (98015524) was issued on 07/30/98, but never received a final building inspection.
<i>Pre-Application Meeting</i>	
	A pre-application meeting is not required for this type of application.
<i>Neighborhood Meeting</i>	
	A neighborhood meeting is not required for this type of application.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Gross Acres	5.6

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Retail Building	LI/R (Light Industrial/Research)	M (Industrial)
North	R.O.W. (US-95)	R.O.W. (US-95)	R.O.W. (US-95)
South	Retail Buildings	LI/R (Light Industrial/Research) C (Downtown - Commercial)	M (Industrial)
East	R.O.W. (I-15)	R.O.W. (I-15)	R.O.W. (I-15)
West	Tennis Courts	MXU (Mixed Use)	R-5 (Apartment)

BTS

RQR-17098 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Area Plan	X		
Redevelopment Plan Area	X		Y
<i>Special Districts/Zones</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts	X		
A-O (Airport Overlay) District	X		Y
Trails		X	
Rural Preservation Overlay District		X	
Development Impact Notification Assessment		X	
Project of Regional Significance		X	

ANALYSIS

This is the third review of the subject Special Use Permit (U-0025-98). A building permit for the subject sign was issued on 07/30/98, but was never finalized. The applicant has not complied with Condition Number four (4) from the previous Required Review [U-0025-98(2)]. Condition four (4) stated "All City Code requirements and design standards of all City Departments must be satisfied". Since the applicant has never received a final from the Building Department, staff cannot support the subject Required Review. Therefore, staff is recommending denial of the subject Required Review.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

Title 19.14.100 allows the removal of an Off-Premise Advertising (Billboard) Sign if conditions in the surrounding area have changed such that the Off-Premise sign no longer meets the standards of the Code.

The continued use of the Off-Premise Advertising (Billboard) Sign on the subject site is inappropriate. The sign fails to meet requirements of all City Departments as it has not been properly inspected by the Building Department.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

RQR-17098 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

The subject site is physically suitable for the type of billboard if properly permitted. The failure of the applicant to comply with all City Code requirements creates a potentially dangerous situation.

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

Staff finds the continuation of the Off-Premise Advertising (Billboard) Sign use will not affect traffic onto or near Martin L. King Boulevard.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

Staff cannot support the continued use of the existing billboard at its present location. The billboard has never received a final inspection by the building department. The existing structure may have an adverse affect on the public health, safety, and welfare until proper inspections are completed.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

23

ASSEMBLY DISTRICT 6

SENATE DISTRICT 4

NOTICES MAILED 30

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **RQR-17098** APN: 139 33 510 002
Name of Property Owner: CONSTANTINO NOVAL LLC
Name of Applicant: CLEAR CHANNEL OUTDOOR

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

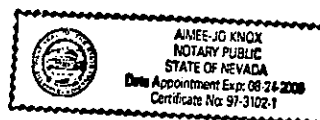
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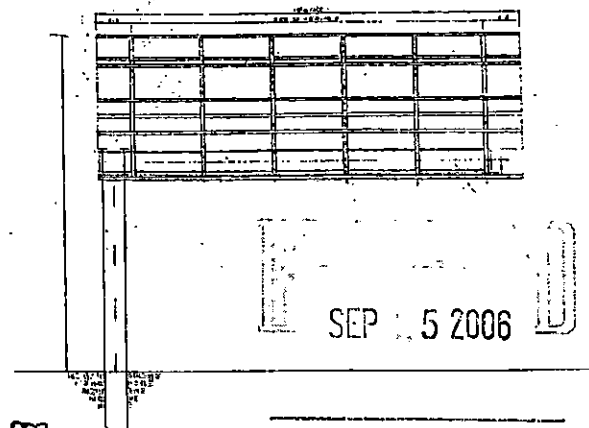
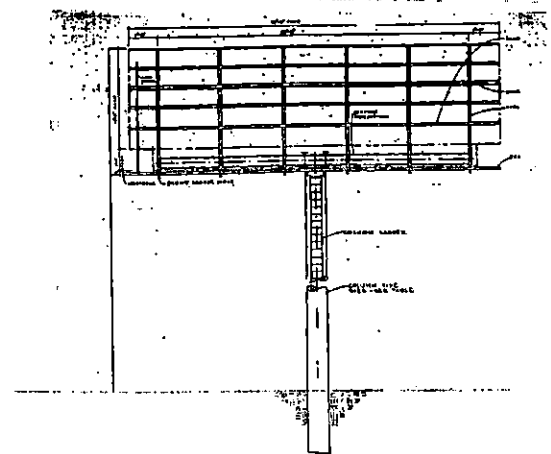
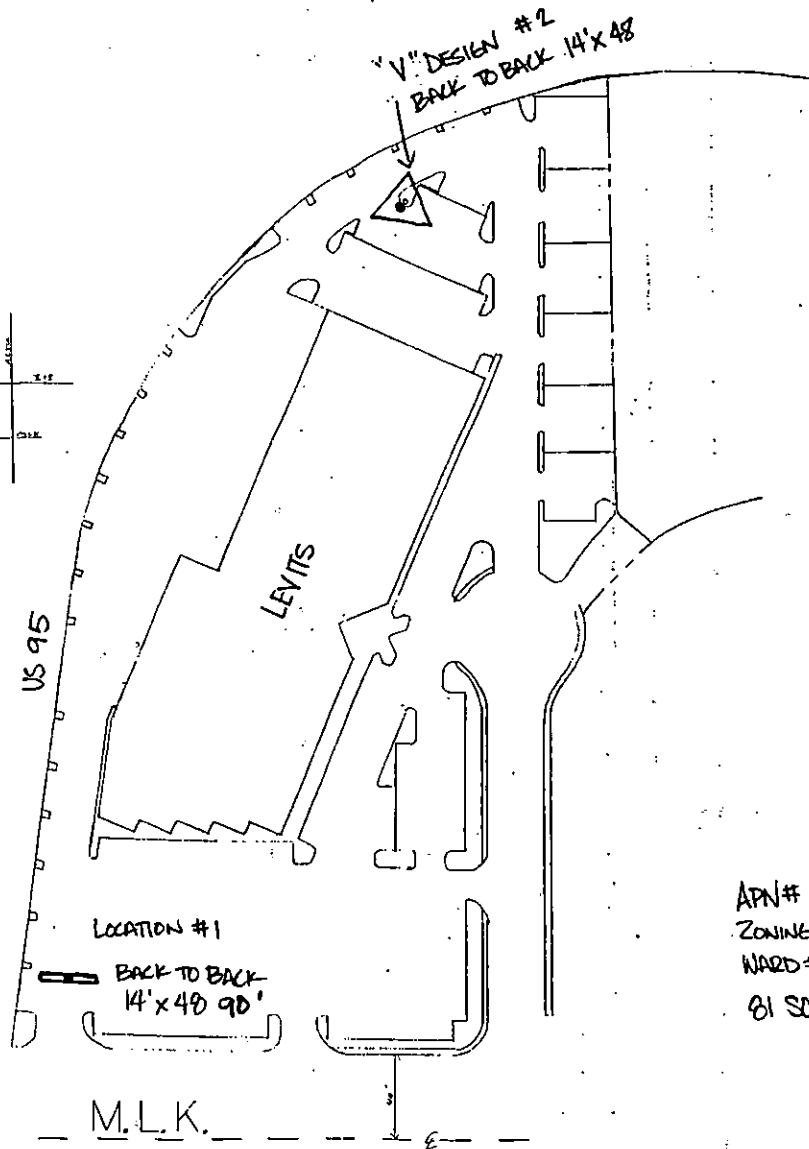
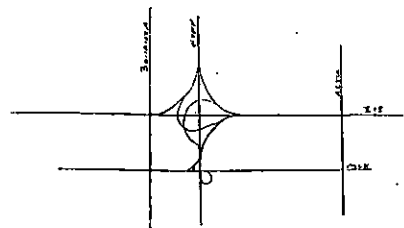
TEDD ROSENSTEIN

Subscribed and sworn before me

This 20 day of September 2006

Aimee J. Knox
Notary Public in and for said County and State



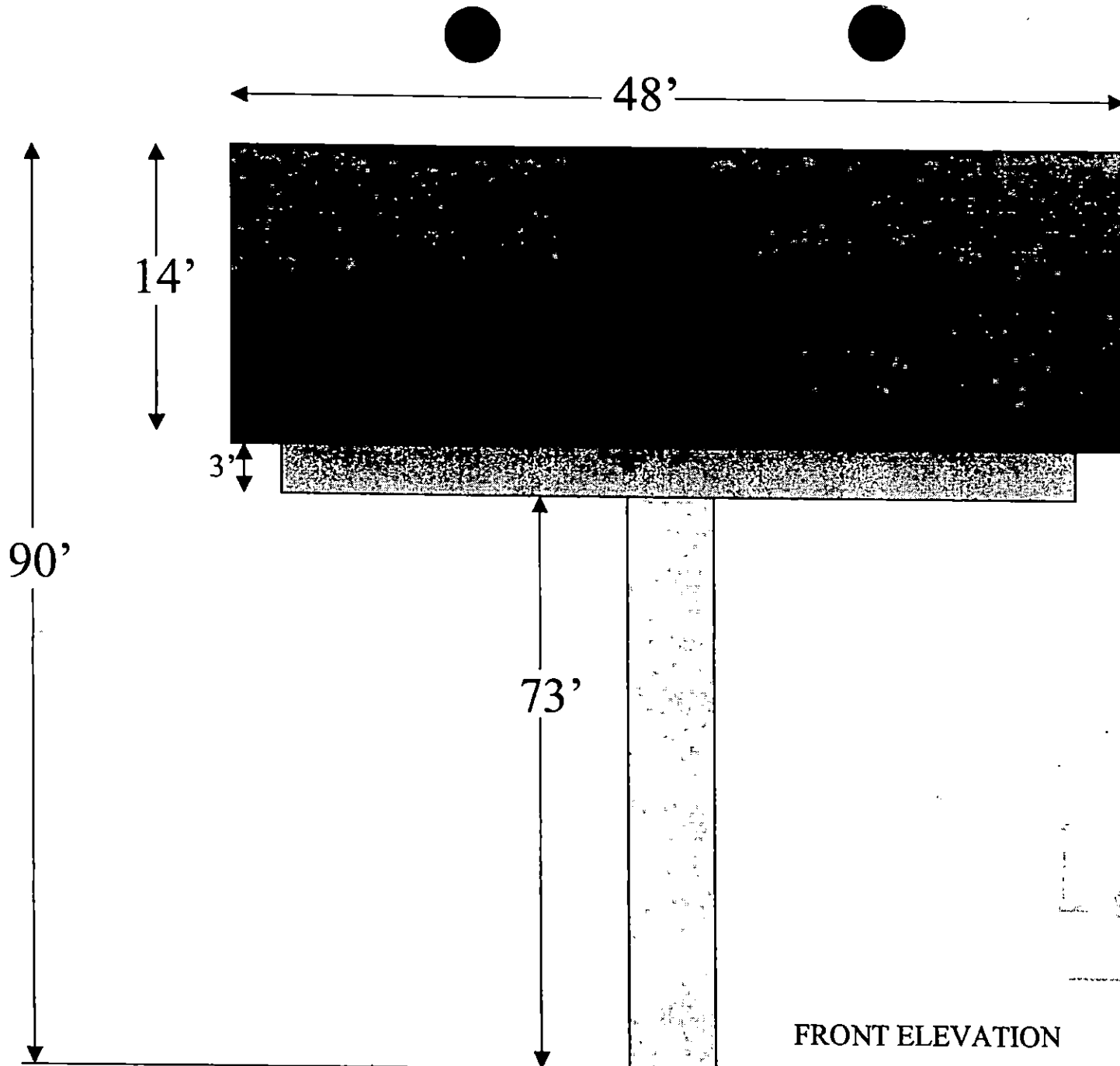


APN# 139 33 510 002
 ZONING # M
 WARD # 5
 81 SOUTH MARTIN L. KING BLVD

RQR-17098
11/16/06 PC

ch DONREY ch

Scale: 1" = 50'	Drawing Number: 1	Author: Saxon / M.L.K. + M.H.
1222 West Donnelly Road, Decatur, GA 30030 Phone: 404-383-5030		



FRONT ELEVATION

RQR-17098

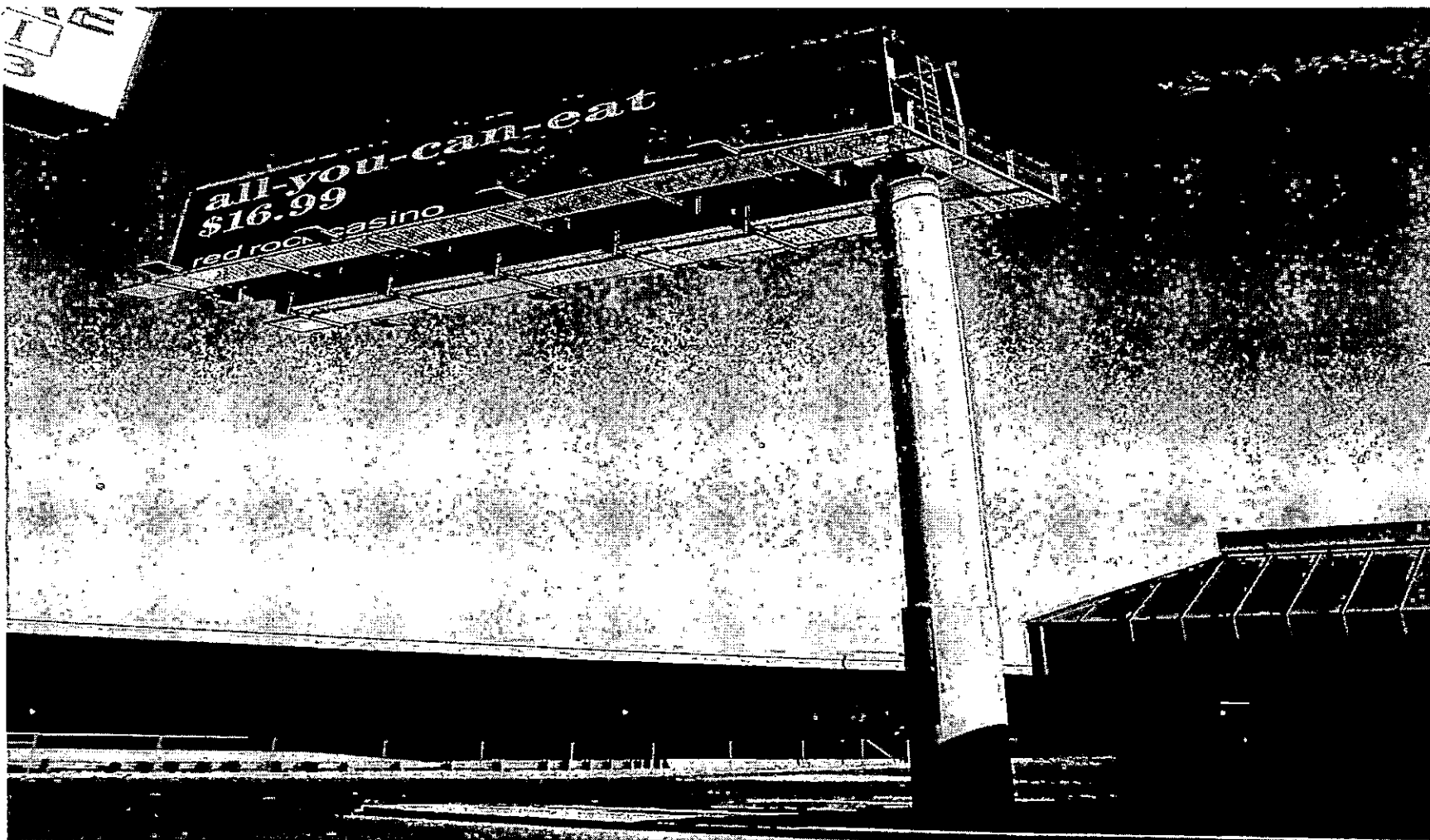
11/16/06 PC

NOT TO SCALE



RQR-17098 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: CONSTANTINO NOVAL NV, LLC
81 SOUTH MARTIN L KING BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/19/06



RQR-17098 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: CONSTANTINO NOVAL NV, LLC
81 SOUTH MARTIN L KING BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/19/06



RQR-17098 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: CONSTANTINO NOVAL NV, LLC
81 SOUTH MARTIN L KING BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/19/06



September 20, 2002

MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)
MICHAEL J. McDONALD
LARRY BROWN
ROBERT B. McDONALD
LORRENCE WEEKLY
MICHAEL MACK

CITY MANAGER
DOUGLAS A. SELBY

Saxton, Inc.
5440 West Sahara Avenue
Las Vegas, Nevada 89102

RE: U-0025-98(2) - SPECIAL USE PERMIT
CITY COUNCIL MEETING OF SEPTEMBER 18, 2002

Dear Applicant:

The City Council at a regular meeting held September 18, 2002 APPROVED the Required Two Year Review of an approved Special Use Permit WHICH ALLOWED A 74 FOOT HIGH, 14 FOOT X 48 FOOT OFF PREMISE ADVERTISING (BILLBOARD) SIGN at 73 South Martin L. King Boulevard (APN: 139-33-510-002), M (Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on September 19, 2002. This approval is subject to:

Planning and Development

1. The Special Use Permit shall be reviewed in four years at which time the City Council may require the off-premise sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the off-premise advertising (billboard) sign is removed.
2. If the existing off-premise advertising sign structure is removed, this Special Use Permit shall be expunged and a new off-premise advertising sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of Title 19A including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19A has been approved for the new structure by the City Council.
3. The off-premise advertising (billboard) sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the off-premise advertising (billboard) sign.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

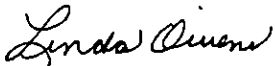
VOICE 702.229.6011
TTY 702.386.9108
www.ci.las-vegas.nv.us

RQR-17098
11/16/06 PC

Saxton, Inc.
Page Two -- U-0025-98(2)
September 20, 2002

4. All City Code requirements and design standards of all City Departments must be satisfied.

Sincerely,



LINDA OWENS
DEPUTY CITY CLERK II for
BARBARA JO RONEMUS, CITY CLERK

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

Ms. Debbie Torres
Clear Channel Outdoor
1211 West Bonanza Road
Las Vegas, Nevada 89106

RQR-17098
11/16/06 PC



August 8, 2000

MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD
JENNIFER WEEKLY
MICHAEL MACK

CITY MANAGER
VIRGINIA VALENTINE

Saxton, Inc.
5440 West Sahara Avenue
Las Vegas, Nevada 89102

RE: U-0025-98(1) - TWO YEAR REQUIRED REVIEW - SPECIAL USE PERMIT
CITY COUNCIL MEETING OF AUGUST 2, 2000

Dear Applicant:

The City Council at a regular meeting held August 2, 2000 APPROVED the Two Year Required Review on an approved Special Use Permit which allowed a 672 square foot, 74 foot high off-premise advertising sign (billboard) at 73 South Martin Luther King Boulevard (APN: 139-33-510-002), M (Industrial) Zone, Ward 5 (Weekly). The Notice of Final Action was filed with the Las Vegas City Clerk on August 3, 2000. This approval is subject to:

1. This use shall be reviewed in two years by the Planning Commission and the City Council at which time the sign may be required to be removed.

Sincerely,

BARBARA JO RONEMUS
City Clerk

/lo

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Donrey Outdoor Advertising
1211 West Bonanza Road
Las Vegas, Nevada 89106

Levitz Plaza, Limited Liability Company
c/o Capital #020932
P. O. Box 811097
Chicago, Illinois 60681

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

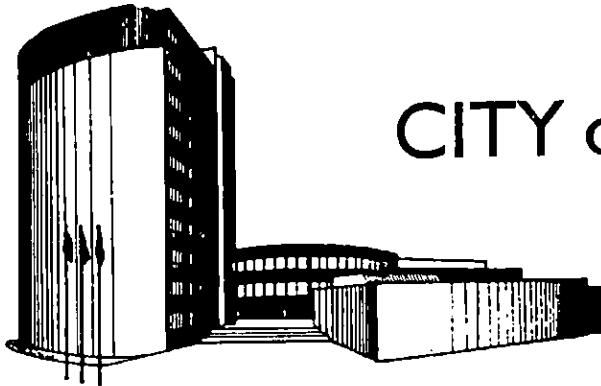
VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

RQR-17098
11/16/06 PC

MAYOR
JAN LAVERTY JONES

COUNCILMEN
ARNIE ADAMSEN
MICHAEL J. McDONALD
GARY REESE
LARRY BROWN

CITY MANAGER
LARRY K. BARTON



CITY of LAS VEGAS

June 10, 1998

Mr. James Saxton
Saxton Corporation
5440 West Sahara Avenue, 3rd Floor
Las Vegas, Nevada 89102

RE: U-25-98 - SPECIAL USE PERMIT

Dear Mr. Saxton:

The City Council at a regular meeting held June 8, 1998 APPROVED the request for a Special Use Permit on property located at 73 South Martin L. King Boulevard FOR A 14 FOOT BY 48 FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN AT A HEIGHT OF 74 FEET, M (Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on June 9, 1998. This approval is subject to:

1. This use shall be reviewed in two years at which time the City Council may require the sign to be removed.
2. The applicant shall obtain a sign permit from the State of Nevada before acquiring an off-premise sign certificate from the Planning and Development Department of the City of Las Vegas.
3. All development shall be in conformance with the plot plan and building elevations.
4. All City Code requirements and design standards of all City departments must be satisfied.

Sincerely,

BARBARA JO RONEMUS
City Clerk

/ac
See Attached List



Mr. James Saxton
U-25-98 -- Page Two
June 10, 1998

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Mr. Mike Cordero
Donrey Outdoor Advertising
1211 West Bonanza Road
Las Vegas, Nevada 89106

RQR-17098
11/16/06 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SUP-17307 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR AND A WAIVER OF THE 400-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING CHURCH at 2620 Regatta Drive, Suite #117 (APN 138-16-717-002), C-1 (Limited Commercial) Zone, Ward 4 (Brown).

IF APPROVED: C.C.: 12/20/06

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

2

RECOMMENDATION:

Staff recommends **DENIAL**.

BACKUP DOCUMENTATION:

1. Location, Aerial and Special Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Approval Letter
6. Submitted after final agenda – protest letter by Frank A. Ellis III, Esq. and informational letter by John Alabado
7. Submitted at meeting – support letter by Rabbi Yisroel Schanowitz

MOTION:

EVANS – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 01/03/2007

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

DOUG RANKIN, Planning and Development Department, stated that the proposed is located within 400 feet of a protected use; therefore, he recommended denial.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 40 – SUP-17307

MINUTES – Continued:

RUDY STARKS of RSJ Architecture, 8375 West Flamingo Road, stated that the application would allow a service bar in conjunction with the restaurant Ivy Grill; however, the service bar would not allow drink service without a meal. MR. STARKS stated there was a meeting with the homeowners association but there was no objection. He recollected the previous application which obtained approval was for a 22 percent parking reduction and since then the City Code has changed to allow shopping centers in excess of 25,000 feet to be parked at one space per 250 square feet. MR. STARKS indicated that the proposal is in compliance and no longer requires a parking Variance.

COMMISSIONER EVANS pointed out that parking concerns are not the basis for the recommendation of denial but rather the close proximity to a church. MR. STARKS submitted a letter of support from the Synagogue.

JEFFERY ECKMANN, 8125 Sapphire Bay Circle, member of the Board of the of Directors of the Diamond Bay Homeowners Association, stated that many enjoy the shopping center and only remain concerned about the plans which would potentially affect the shopping center. He acknowledged that this development would be an enhancement to the area and requested that the homeowners association be provided with any information about the establishment.

Though MR. STARKS was unable to provided specifics, he noted that the new restaurants would be of similar quality and hours. He committed to meet with and inform the Diamond Bay Homeowners Association about the projects as details become available.

COMMISSIONER STEINMAN advised the Commissioners that the center is successful and well-maintained. He noted that the Synagogue has been a nice addition and expressed support of the proposal.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(10:08 – 10:16)

3-1503

CONDITIONS:

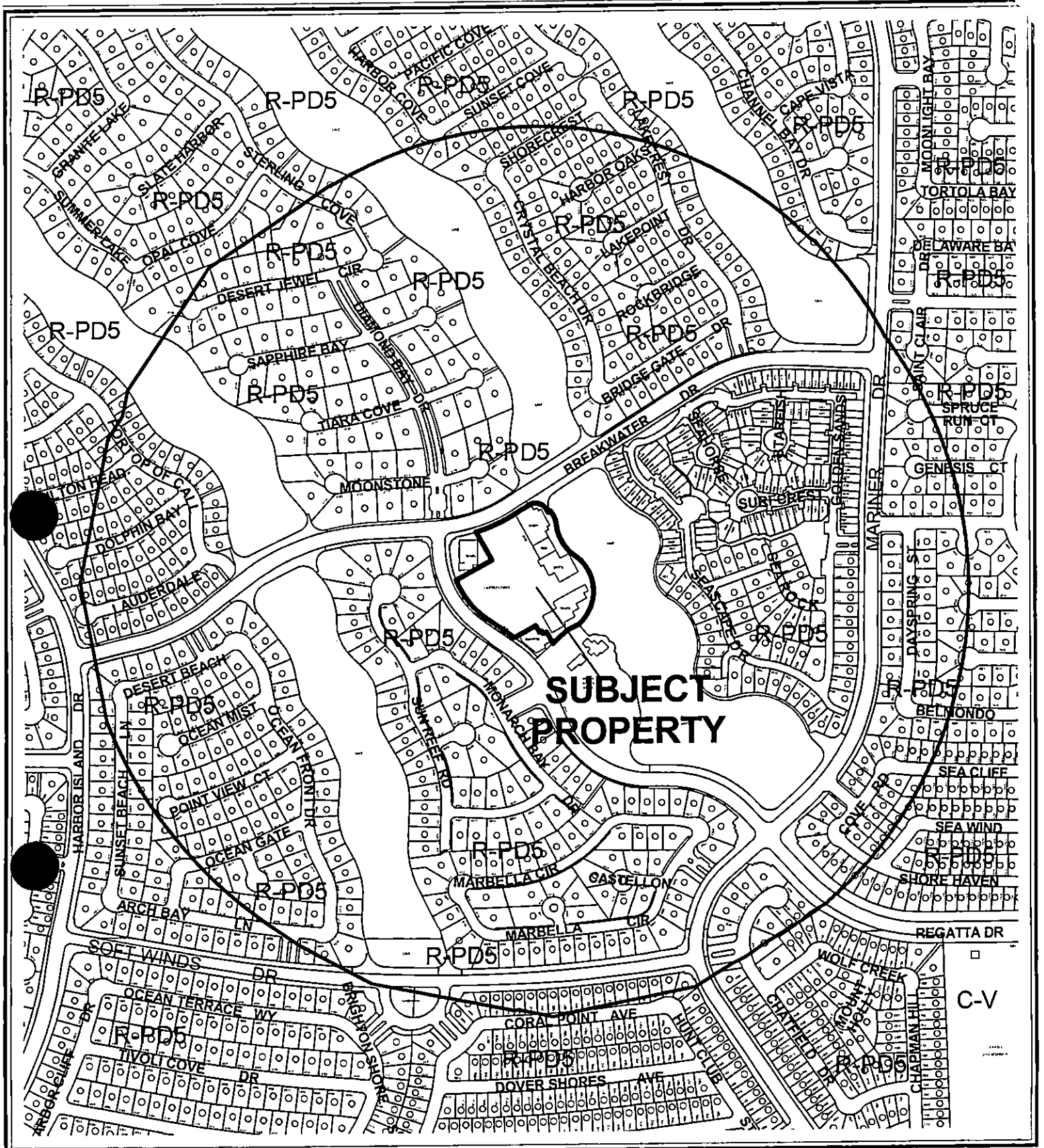
Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Restaurant Service Bar use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 40 – SUP-17307

MINUTES – Continued:

3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

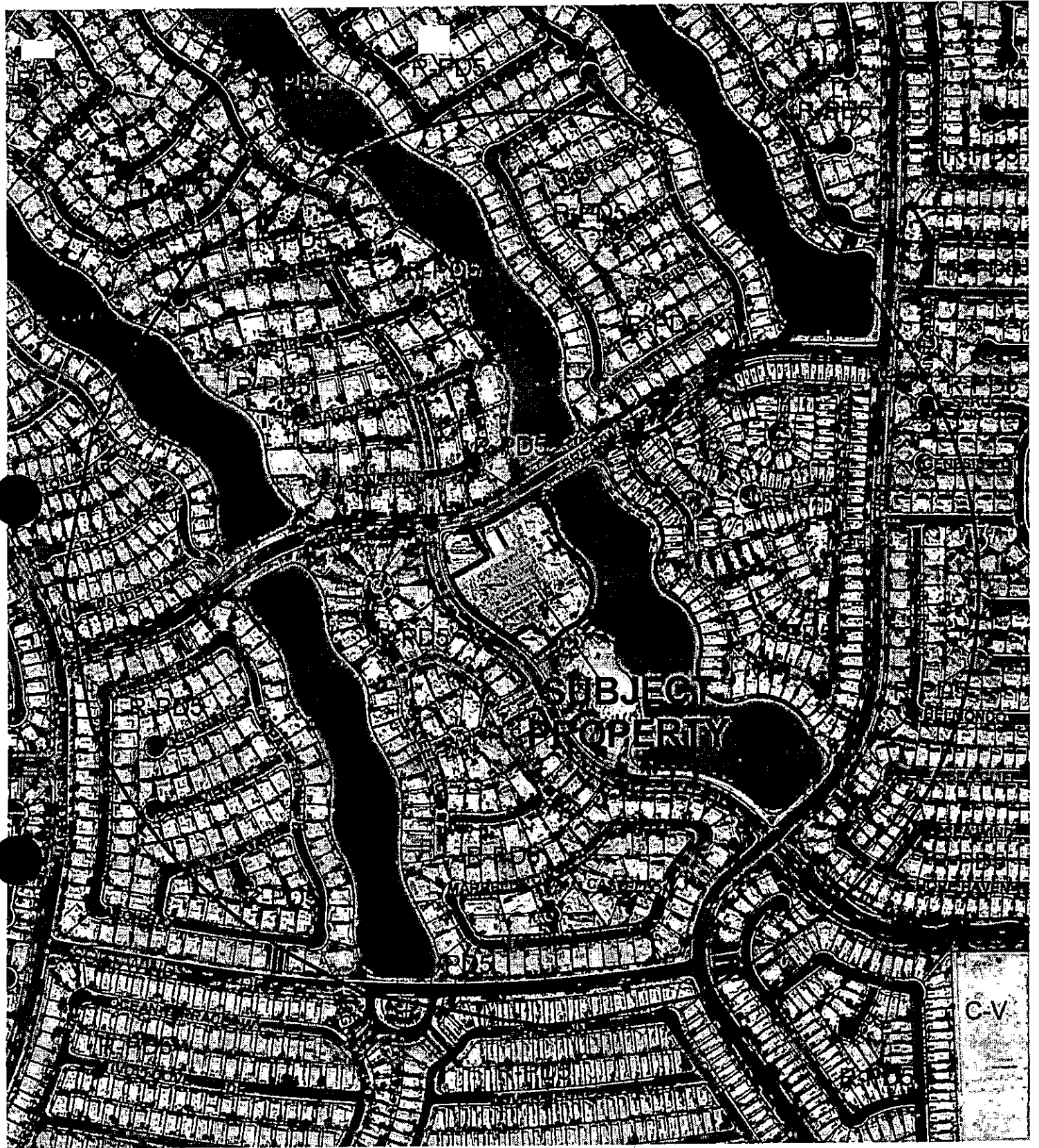


CASE: **SUP-17307**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)





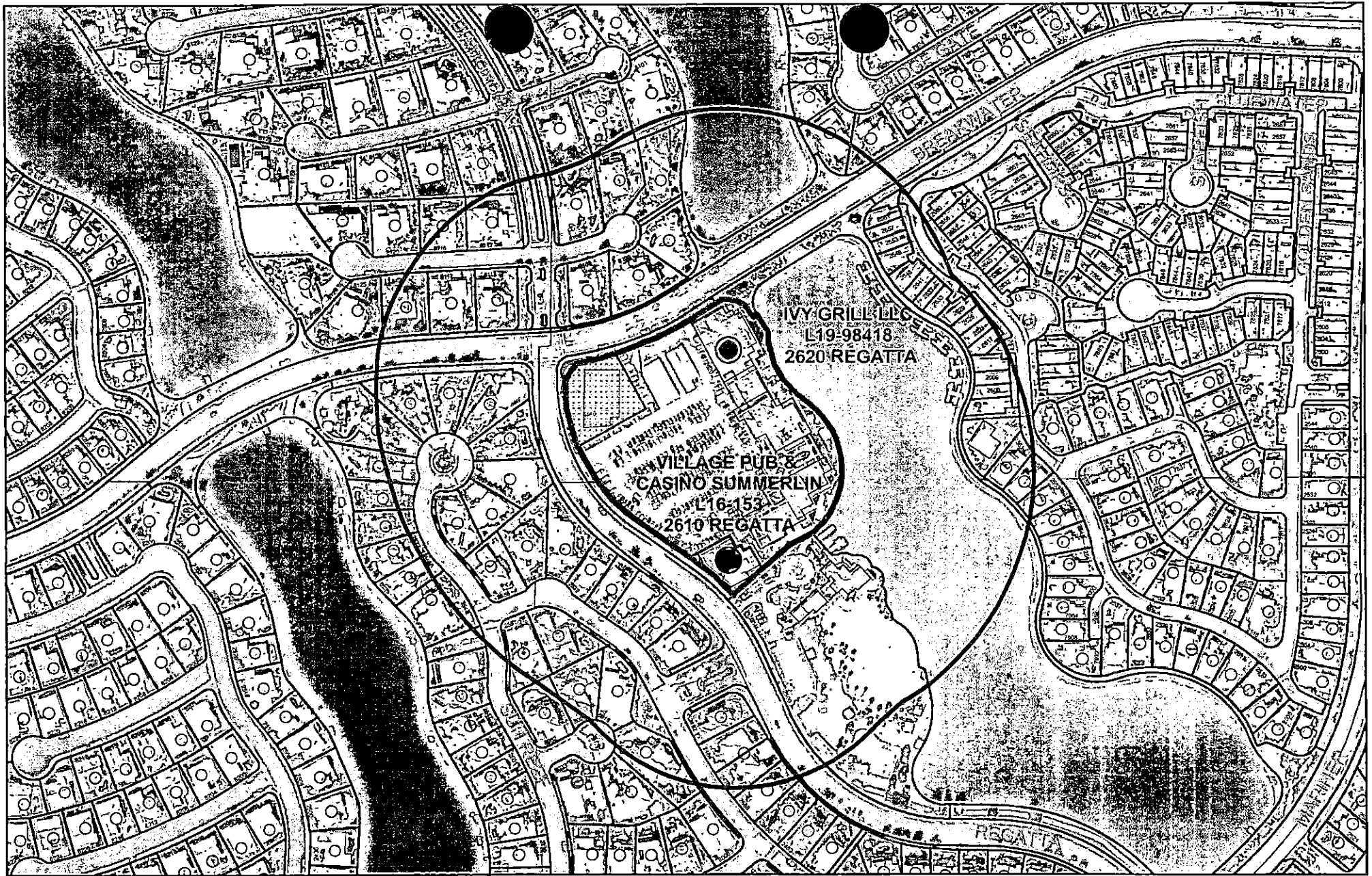
CASE: **SUP-17307**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 300 600 Feet





SUP-17307

Protected Landuses

- | | |
|--|---|
|  CITY PARKS |  RELIGIOUS |
|  SCHOOLS | |

Business Licenses

- | | |
|---|--|
|  Tavern |  Child Care/
Children Facility |
|  Supper Club/
Restaurant Service, Bar | |

 Subject Property

 400 foot buffer



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SUP-17307 - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for Restaurant Service Bar use.
2. This approval shall be void one year from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

SUP-17307 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

The proposed project is a request for a Special Use Permit to operate a restaurant and service bar with a Waiver of the 400-foot distance separation requirement from an existing church at 2620 Regatta Drive at the southeast corner of Regatta Drive and Breakwater Drive.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
01/06/88	The City Council approved a Reclassification of Property (Z-0121-87) on the subject site as part of a larger request for a proposed residential and commercial development.
01/26/89	The Board of Zoning Adjustment approved a Variance (V-0154-88) to allow 315 parking spaces where 394 are required in conjunction with a proposed commercial shopping center.
02/19/92	The City Council approved a Special Use Permit (U-0311-91) for the sale of packaged liquor in conjunction with a market on the subject site. The Board of Zoning Adjustment recommended approval.
12/06/00	The City Council approved a Special Use Permit (U-0169-00) for a restaurant service bar in conjunction with a market/deli on the subject site. The Planning Commission recommended approval.
12/19/01	The City Council approved a Site Development Plan Review [Z-0121-87(1)] for a proposed 8,325 square-foot synagogue and a Variance (V-0073-01) to allow 315 parking spaces where 405 are required on the subject site. The Planning Commission recommended approval of both applications.
<i>Pre-Application Meeting</i>	
09/13/06	A Pre-Application meeting was held with the applicant. The applicant was informed that the proposed Service Bar/Restaurant use requires a Waiver of the 400-foot separation distance from the existing synagogue. In addition, new commercial shopping center parking requirements are applicable to this project.
<i>Neighborhood Meeting</i>	
A neighborhood meeting is not required for this use application nor was one held.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	5.50 acres

SUP-17307 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Retail	Service Commercial	C-1 (Service Commercial)
North	Residential	Low Density Residential	R-PD5 (Residential Planned Development – 5 Units Per Acre)
South	Residential	Parks and Recreation/Open Space	R-PD5 (Residential Planned Development – 5 Units Per Acre)
East	Residential	Parks and Recreation/Open Space	R-PD5 (Residential Planned Development – 5 Units Per Acre)
West	Residential	Low Density Residential	R-PD5 (Residential Planned Development – 5 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District	Y		Y
Trails		N	Y
Rural Preservation Overlay District		N	Y
Development Impact Notification Assessment		N	Y
Project of Regional Significance		N	Y

DEVELOPMENT STANDARDS

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required Parking		Provided Parking		Compliance
			Regular	Handi-capped	Regular	Handi-capped	
Service Bar/Restaurant	67,942 SQUARE FEET	1 SPACE/250 SQUARE FEET OF GROSS FLOOR AREA	272	7	307	8	Y
TOTAL			279		315		Y

SUP-17307 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

ANALYSIS

The project requests approval of a Special Use Permit (SUP) to operate a restaurant service bar within an existing multi-tenant retail center on a 5.5 acre site. The location of the proposed special use is within 400 feet from an existing synagogue therefore the use request requires a Waiver of separation requirements.

- **General Plan**

The project site is located in area designated as Service Commercial in the City Master Plan and the proposed use is consistent with this category.

- **Zoning**

The project site is zoned C-1 (Limited Commercial) and the proposed use is allowed with a Special Use Permit.

- **Separation Distance Requirements**

Title 19 minimum requirements for issuance of a Special Use Permit requires the proposed use to be located greater than 400 feet of an existing church, synagogue, school, child care facility with more than 12 children enrolled, or any city park. An existing synagogue is located directly northwest of the project site and within the minimum distance separation standard. As the project proposes operation of a restaurant with service bar, the proposed use is considered incompatible with the adjacent religious center. Therefore, staff does not support the requested Special Use Permit and Waiver of separation requirement and thereby recommends denial of the application.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed use is inappropriate for the area and would not complement the existing adjacent religious use.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

SUP-17307 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

The project site is an existing developed commercial tenant shopping center with surface parking. The location is capable of accommodating the proposed restaurant service bar use.

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

Existing transportation corridors along Break Water Drive and Regatta Drive are capable of accommodating traffic generated by the proposed use.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The proposed use would is not compatible with the goals and intent of the General Plan. The project could adversely affect human health and public safety of the adjacent religious center.

5. **The use meets all of the applicable conditions per Title 19.04.**

The proposed use would not meet the Title 19 requirement for a minimum 400 foot separation from the existing synagogue on site.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

6

ASSEMBLY DISTRICT 34

SENATE DISTRICT 6

NOTICES MAILED 807

APPROVALS 1

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

SUP-17307

Case Number: _____ APN: 138-16-717-002

Name of Property Owner: WFT NV LLC

Name of Applicant: Ivy Grill

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN _____

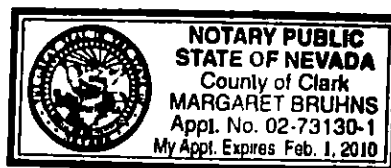
Signature of Property Owner: _____

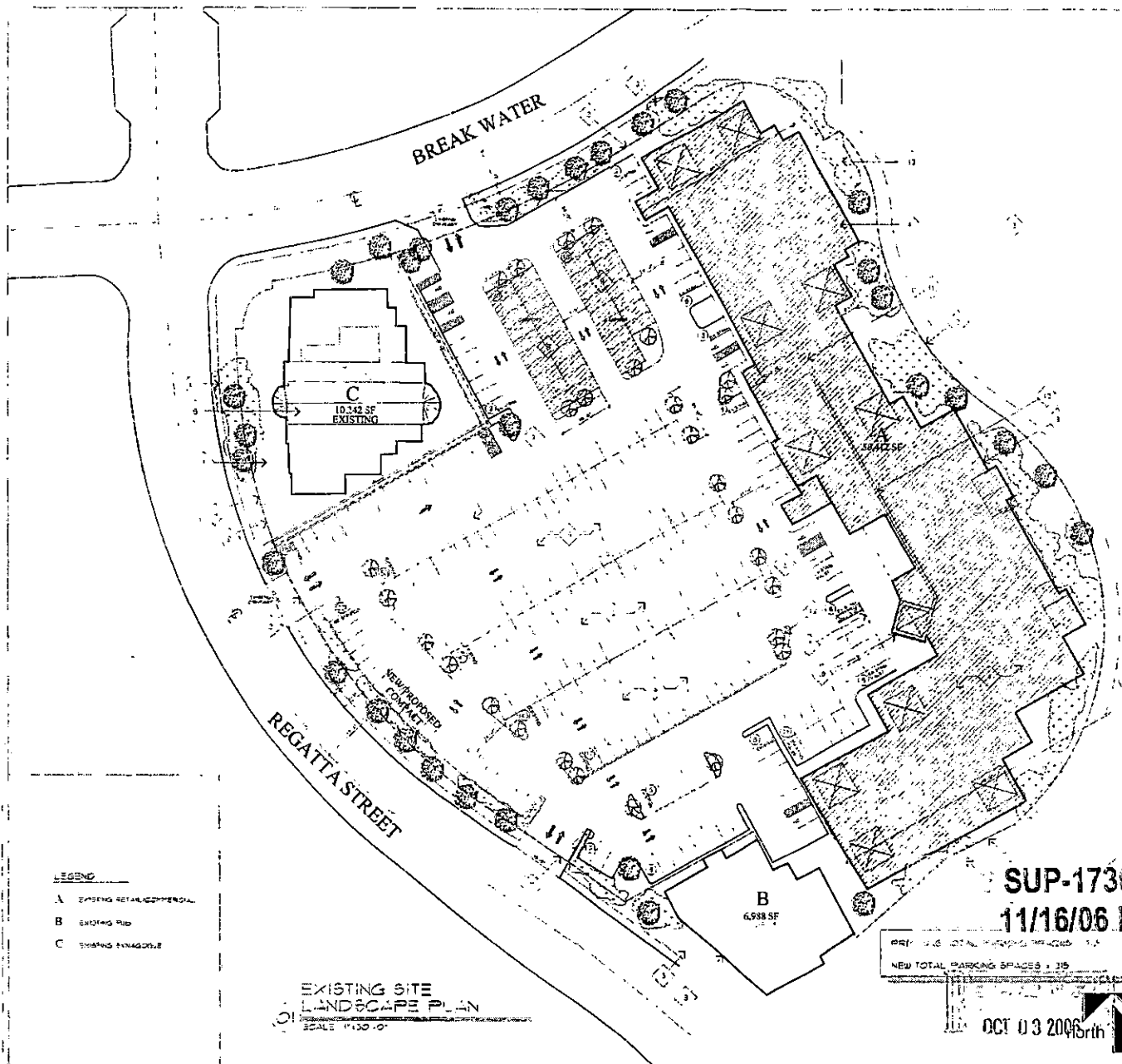
Print Name: Hamilton von Watts

Subscribed and sworn before me

This 3rd day of October, 2006

Margaret Bruhns
Notary Public in and for said County and State





LEGEND

- A EXISTING RETAIL/COMMERCIAL
- B EXISTING PUB
- C EXISTING ANNEX/STORE

EXISTING SITE
LANDSCAPE PLAN
SCALE: 1"=50'-0"

NEW TOTAL PARKING SPACES: 215

SUP-17307
11/16/06 PC

OCT 03 2006

PARKING SPACE ANALYSIS

OVERALL SITE AREA	140,000 SF
TOTAL SHOPPING CENTER BCR	10,342 SF
EXISTING RETAIL	10,342 SF
EXISTING PUB	6,988 SF
EXISTING ANNEX/STORE	10,342 SF
EXISTING COVERAGE	10,342 SF
PROPOSED COVERAGE	10,342 SF
SHOPPING CENTER SPACES PER 1,000 SF	15 SPACES REQUIRED
OUTSIDE COVERAGE SPACES PER 1,000 SF	10 SPACES REQUIRED
TOTAL SPACES REQUIRED	25 SPACES REQUIRED
TOTAL SPACES PROVIDED	25 SPACES PROVIDED
PERCENTAGE ALLOCATED FOR PARKING	100%

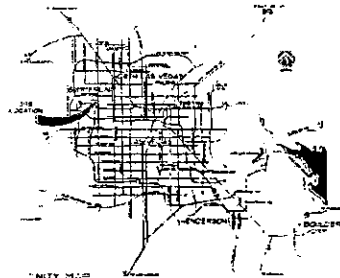
SITE PLAN KEYNOTES

- 1 EXISTING AS PAVING
- 2 EXISTING ASPHALT
- 3 EXISTING DRIVE
- 4 EXISTING DRIVE
- 5 EXISTING DRIVE
- 6 EXISTING DRIVE
- 7 EXISTING DRIVE
- 8 EXISTING DRIVE
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EXISTING PARCEL NUMBERS

1384611002
1384614003
1384610001

JURISDICTION: LAS VEGAS 2808



UNITY MAP

BREAK WATER DRIVE

PROJECT LOCATION

REGATTA STREET

LOCATION MAP

REVISIONS

NO.	DATE	DESCRIPTION
1	11/16/06	PC

ALL REVISIONS TO BE MADE BY THE DESIGNER

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]

DATE: 11/16/06

SCALE: 1"=50'-0"

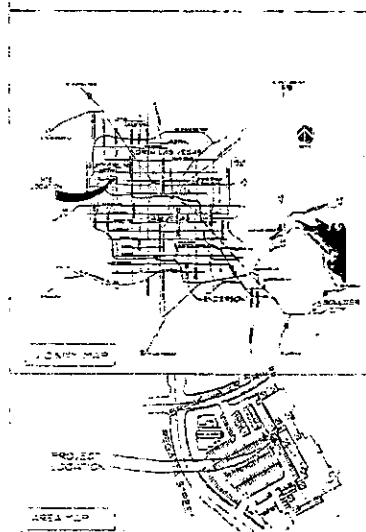
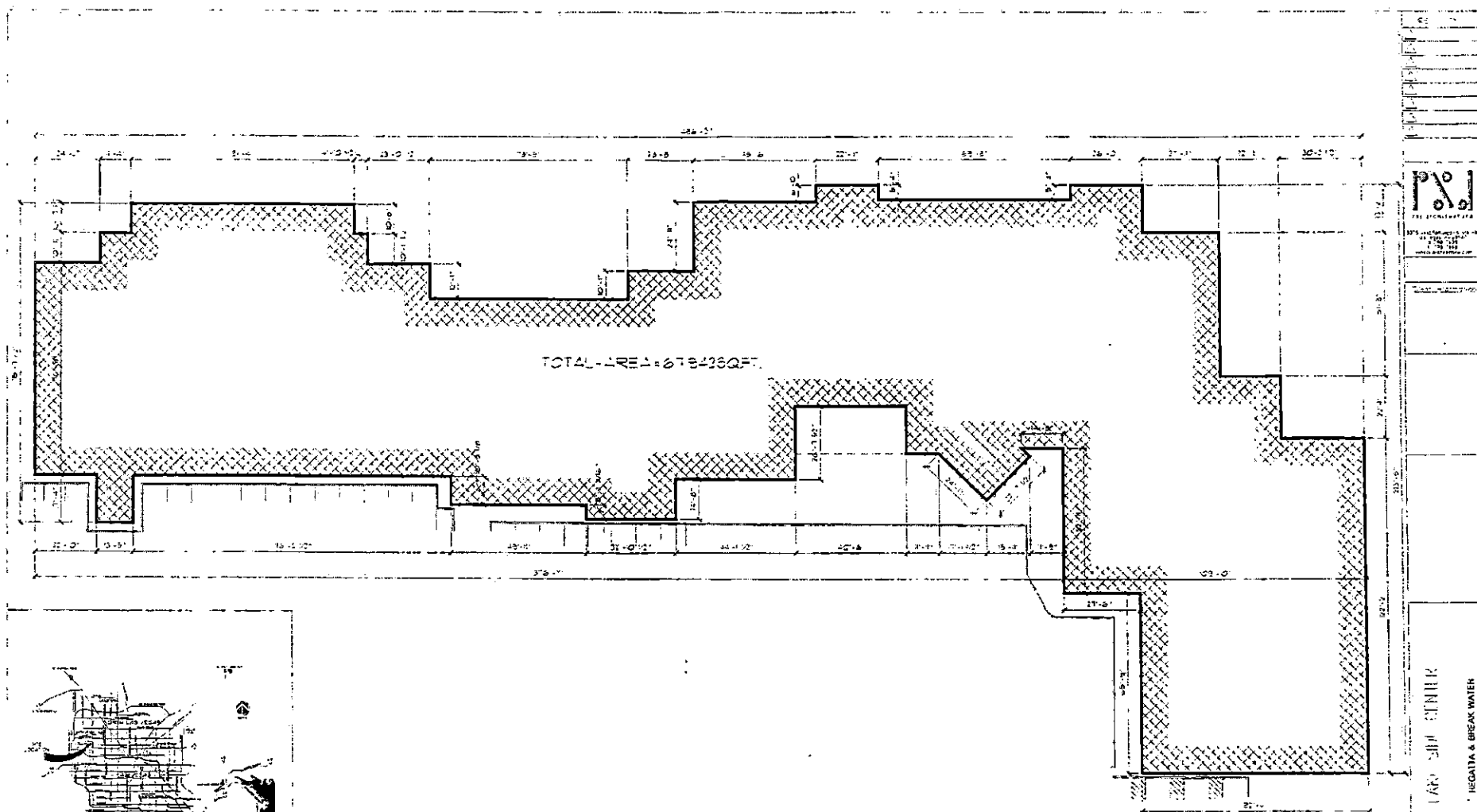
SHEET NO. 1

TOTAL SHEETS: 1

PROJECT: SUP-17307

LOCATION: HENDERSON, NV

CLIENT: [Name]



EXISTING-BUILDING-LAYOUT-PLAN
SCALE 1/8"=1'-0"

OCT 03 2006

SUP-17307
11/16/06 PC

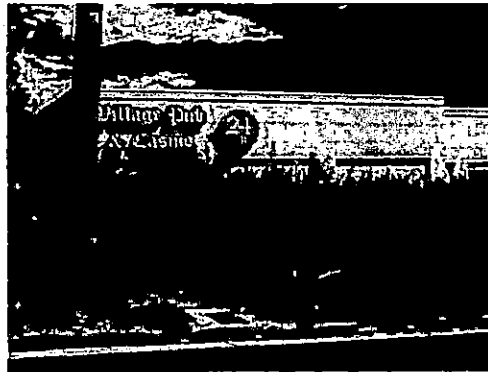
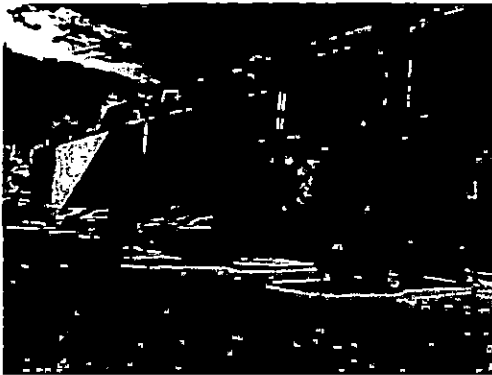


A1.1



1000 S. 1000 E. SUITE 100
MIDLAND, TEXAS 79701
TEL: 817.343.1000
WWW.ENGINEERS.COM

LAGO SUP CENTER
LEGATA & BREAK WATER
HENDERSON, NEVADA



REVISIONS	
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Δ	
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REGAN & BROS. WATER
1075 N. 10TH AVE. SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.REGANBROS.COM

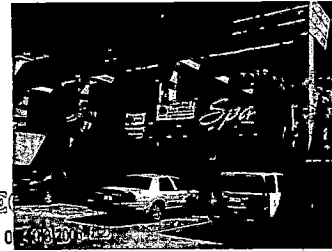
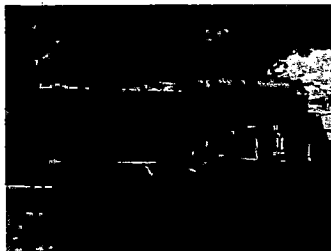
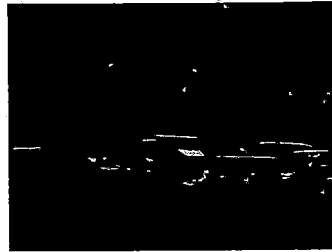
Client Information

LAKE SIDE CENTER
REGAN & BROS. WATER
DENVER, COLORADO

SUP-17307
11/16/06 PC

DATE:	
ADD. NOTES:	
DATE:	
PROJECT:	
DRAWN BY:	
CHECKED BY:	
DATE:	
PROJECT:	
DRAWN BY:	
CHECKED BY:	
DATE:	

A2.1



REVISION



Alert Information

LAKE SIDE CENTER
FRONTA & URBAN WATER
ENCLOSURE, EVIDENCE

SUP-17307
11/16/06 PC

DATE
TIME
FILE

A20



SUP-17307 - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC
SOUTHEAST CORNER OF REGATTA DRIVE AND BREAKWATER DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



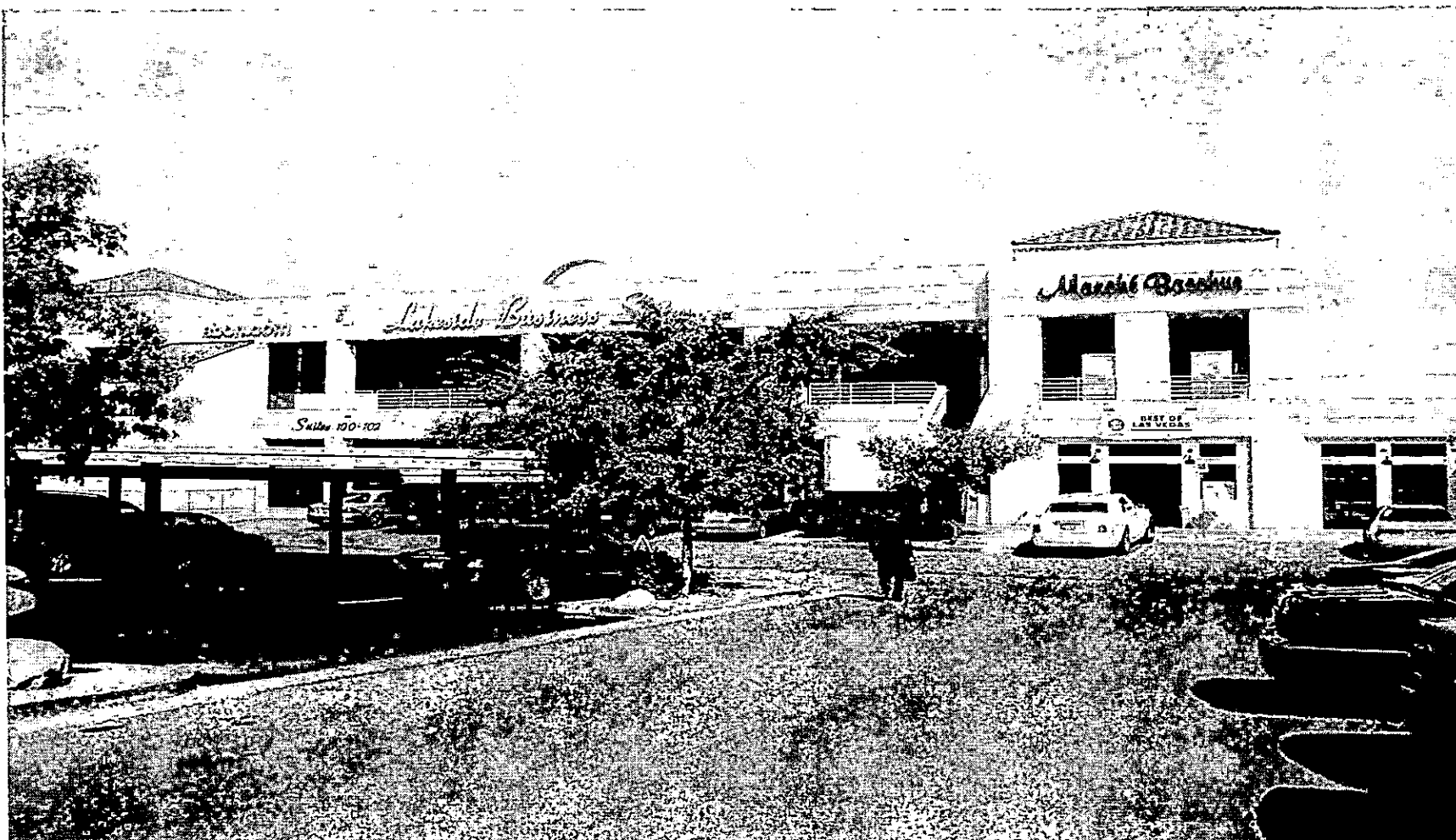
SUP-17307 - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC
SOUTHEAST CORNER OF REGATTA DRIVE AND BREAKWATER DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



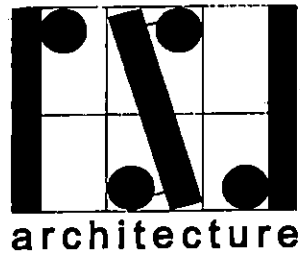
SUP-17307 - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC
SOUTHEAST CORNER OF REGATTA DRIVE AND BREAKWATER DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SUP-17307 - APPLICANT: LAKESIDE CENTER - OWNER: WFTNV, LLC
SOUTHEAST CORNER OF REGATTA DRIVE AND BREAKWATER DRIVE
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



October 2, 2006

City of Las Vegas Planning & Development
731 S. Fourth Street
Las Vegas, NV 89101

Re: Justification letter: SUP – Waiver of Separation of Service Bar and Synagogue
Existing Shopping Center
APN: 138-16-717-002, 003 & 138-16-820-001

Dear Planning Authorities:

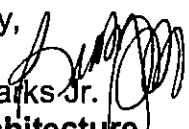
On behalf of my client, the Ivy Grill, we are pleased to be submitting the attached application requesting a special use permit for a restaurant service bar located within the Lakeside Center retail area.

We feel the surrounding area is currently underserved by the existing uses located within this Limited Commercial District, especially with respect to a business of this type. Although a synagogue is located within 400 feet of the proposed restaurant, we feel its addition to the almost 68,000 square foot center will have zero negative impacts. Furthermore, we anticipate the Ivy's hours of operation to have little overlap with the synagogue.

On January 16, 2002 this center was approved for a Parking Variance allowing for a total of 315 spaces where 405 were required. We are pleased to announce that with recent changes to the development code and some adjustments on our site, we no longer require this Parking Variance.

Thank you for your consideration of this application. Please contact us with any questions you may have.

Sincerely,


Rudy Starks Jr.
rsj architecture



Chabad of Summerlin/Desert Shores

ב"ה

An affiliate of the Worldwide Chabad Lubavitch Movement

Chabad of Summerlin
2640 Regatta Drive
Las Vegas, Nevada 89128
(702) 855-0770
(702) 433-0770 Fax
www.chabadofsummerlin@yahoo.com

November 7, 2006

Rabbi Yisroel Schanowitz
Director

Rabbi Chaim Ozer Metal
Youth and Program Director

John Korkosz
Planning Supervisor
City of Las Vegas
731 S. 4th Street
Las Vegas, NV 89101

Regional Headquarters
261 S. Arville Street
Las Vegas, Nevada 89102
(702) 259-0770
(702) 877-0770 Fax
www.chabadlv@aol.com

Rabbi Shea Harlig
Director

RE: Lakeside Center - Ivy Grill

Dear Mr. Korkosz;

I'm writing on behalf of the Chabad of Summerlin Located at 2640 Regatta Drive In the Lakeside Center, to express our support for the proposed Ivy Grill with Accompanying service bar. Having worked with the owners of Lakeside Center Now for over 10 years, we know they will continue their established trend of Professionalism while bringing yet another wonderful amenity to the area.

Thank you for taking time to consider our position on this item.


Sincerely,
Chabad of Summerlin

Rabbi Yisroel Schanowitz
Director

- Adult Education • Burial Society • Crisis Counseling • Daily Minyan • Desert Torah Academy Day School • Early Childhood Mommy & Me •
- Family Holiday Programs • Gan Israel Day Camp • Hebrew School • Informative Lecture Series • Jewish Super Phone • Koshering Services •
- Lending Library • Mikvah • Moshiah Awareness • N'shei Chabad • One on One Rabbinical Studies • Prison & Hospital Visitations •
- Religious Studies • Shabbatons • Torah Tots Preschool • Visits to Retirement Homes • Weekly Torah Fax • Youth Groups •

A

Ellis & Gordon

Attorneys At Law

510 S. Ninth Street - Las Vegas, NV 89101
Phone: (702) 385-3727 Facsimile: (702) 386-6826

November 14, 2006

HAND-DELIVERED

Mr. Doug Rankin
Planning Supervisor
Planning and Development Department
Current Planning Division
Development Services Center
731 South Fourth Street
Las Vegas, NV 89101

Re: SUP-17307

Meeting: Planning Commission
Date: November 16, 2006
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, NV

Dear Mr. Rankin:

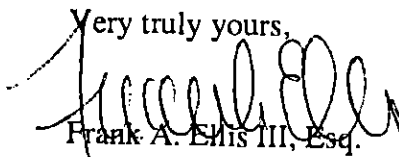
I represent Village Pub Summerlin Holdings, the owner of the real property and improvements at 2610 Regatta Drive (Parcel # 13816820001), and Village Pub & Casino-Summerlin the company that owns and operates the business upon those premises.

Village Pub Summerlin Holdings also owns a portion of the parking lot adjacent its building, and has rights to all of the parking lot by virtue of, among other things, a cross parking easement with the owner of the Lakeside Center.

We are concerned with the application only to the extent that the applicant is seeking, or will seek in the future, a variance to the minimum parking spaces required for the proposed restaurant and service bar. Parking is already tight at this center.

If you have any questions in this regard, please do not hesitate to contact me.

Very truly yours,



Frank A. Ellis III, Esq.

Submitted after final agenda

Date 10/16/06 Item #40

SUP-17307

P 40

DATE: November 14, 2006

TO: DOUG RANKIN
Planning Supervisor

FROM: JOHN ALABADO
Planner I

SUBJECT: IVY GRILL SUP-17307; EXISTING ON-SITE LIQUOR SALES
LICENSES AT LAKESIDE CENTER

Additional research related to business licensing at Lakeside Center was conducted for the Special Use Application for the proposed Ivy Grill Restaurant (SUP-17307). The following information was compiled:

Lakeside Center currently has a tenant restaurant use licensed to sell liquor and a freestanding gaming tavern currently operates on site. Additionally, both restaurants are located within a 400 foot radius of the existing synagogue.

- The use at 2620 Regatta Drive is permitted to sell beer and wine as well as package liquor.
- The use at 2610 Regatta Drive is licensed to sell liquor and operate gaming activities.

Both licenses are active.

Submitted after final agenda

Date 11/16/06 Item #40



7"ב

Chabad of Summerlin/Desert Shores

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2640 Regatta Drive
Las Vegas, Nevada 89128
(702) 855-0770
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November 7, 2006

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Director

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Rabbi Shosh Harlig
Director

RE: Lakeside Center - Ivy Grill

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Thank you for taking time to consider our position on this item.


Sincerely,
Chabad of Summerlin

Rabbi Yisroel Schanowitz
Director

Submitted at Planning Commission

Date 11/16/06 Item #40

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17057 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: SANTA FE 124, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 124-UNIT APARTMENT COMPLEX TO A CONDOMINIUM DEVELOPMENT on 6.0 acres at 1111 Warbonnet Way (APN 163-04-501-004), R-PD23 (Residential Planned Development - 23 Units Per Acre) Zone, Ward 2 (Wolfson).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends DENIAL.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted at meeting – parking analysis by Jay Brown

MOTION:

STEINMAN – APPROVED subject to conditions, deleting Conditions 7 and 18 and amending Condition 3 as read for the record as follows:

3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made of a Final Map. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

– UNANIMOUS

To be heard by City Council on 12/20/2006

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 41 – SDR-17057

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

DOUG RANKIN, Planning and Development Department, stated the conversion is parking deficient and recommended denial.

ATTORNEY JAY BROWN, 520 South Fourth Street, appeared with Engineer DAVID TURNER. ATTORNEY BROWN indicated the site has been operating as a rental community for nearly 17 years and the request would convert 120 units to a condominium development on six acres. Although there is a parking deficiency, ATTORNEY BROWN noted there are one and a half parking spaces per unit. He referenced a parking study analysis that has proved ample parking is available at all times.

ATTORNEY BROWN read three conditions which he requested be imposed upon the applicant. In addition, he requested a modification to Condition 3 to reflect a "final map" instead of "prior to filing for a building permit." He requested Condition 7 be deleted which pertains to air conditioning units prohibited from roof tops. The units currently exist upon the roof tops but are screened. He requested the deletion of Condition 18 which makes reference to the removal of a shed that would be costly to remove, and he also asked that Condition 19 be modified to reflect a "tentative map" rather than a "final map".

MARGO WHEELER, Director of Planning and Development, concurred with the modification to Condition 3 and the deletion of Condition 7 but not to the deletion of Condition 18 nor the change to Condition 19. She stated that the accessory structure referenced in Condition 18 should be a minimum distance from the property lines and that necessary repairs should be made as soon as possible.

DEPUTY CITY ATTORNEY BRYAN SCOTT stated that the additional conditions requested by ATTORNEY BROWN to be imposed are not conditions that the City would be able to enforce. He suggested that ATTORNEY BROWN work directly with the tenants on those matters.

COMMISSIONER STEINMAN commented that the removal of the accessory structure would potentially offer at least three additional parking spaces and should be enforced.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(10:16 – 10:22)

3-1822

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 41 – SDR-17057

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 09/22/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. Air conditioning units shall not be mounted on rooftops.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 41 – SDR-17057

CONDITIONS – Continued:

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All units, as well as the common ownership facilities, shall be brought into compliance with all applicable state and local building, housing, mechanical and fire codes adopted for use by the city at the time of original construction.
12. Each dwelling unit shall be served by gas and/or electric services completely within the lot lines or ownership space of each separate unit. Easements for gas and/or electric lines shall be provided in the common ownership area where lateral service connections shall take place. Each dwelling unit shall be separately metered for gas and/or electricity. A plan for equitable sharing of communal water metering, where required, shall be included in the covenants, conditions and restrictions.
13. All new on-site and off-site minor utilities except switch boxes, transformer boxes and cap banks across property frontage shall be underground.
14. The applicant shall provide a building and grounds condition report prepared by a licensed civil engineer or licensed architect to the Planning and Development Department for review and approval upon application for Tentative Map approval. This report shall contain an evaluation of the structural condition of each building in the project, and an evaluation of the condition of all site features such as parking areas, accessory buildings, landscaped areas, driveways, sidewalks, carports, any amenities, fences and utility systems. A copy of the report shall be provided to all prospective buyers.
15. Upon application for a Tentative Map, the applicant shall provide proof that a notice of intent to convert has been delivered to each tenant as required by Nevada Revised Statutes. The applicant is further responsible for providing each tenant with notice of any and all future public hearings held regarding the conversion or mapping process.
16. Any remodeling or construction work in conjunction with the conversion of the apartments shall require permits from the Department of Building and Safety, with the exception of painting, carpeting, or other similar finish work. The conversion from apartments to condominiums shall require the payment of additional sewer connection fees. The additional fees shall be paid prior to the recordation of the Final Map. Proof of payment shall be required upon submittal of the Final Map.
17. Handicap parking spaces must be provided in accordance with Title 19.10 standards.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 41 – SDR-17057

CONDITIONS – Continued:

18. All accessory structures shall be located a minimum distance of three feet from the side and rear property lines per Title 19.08.
19. The applicant shall repair all damage to perimeter walls, covered parking, trash enclosures, and chipped metal railing on the site prior to time an application is made for a Tentative Map.
20. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

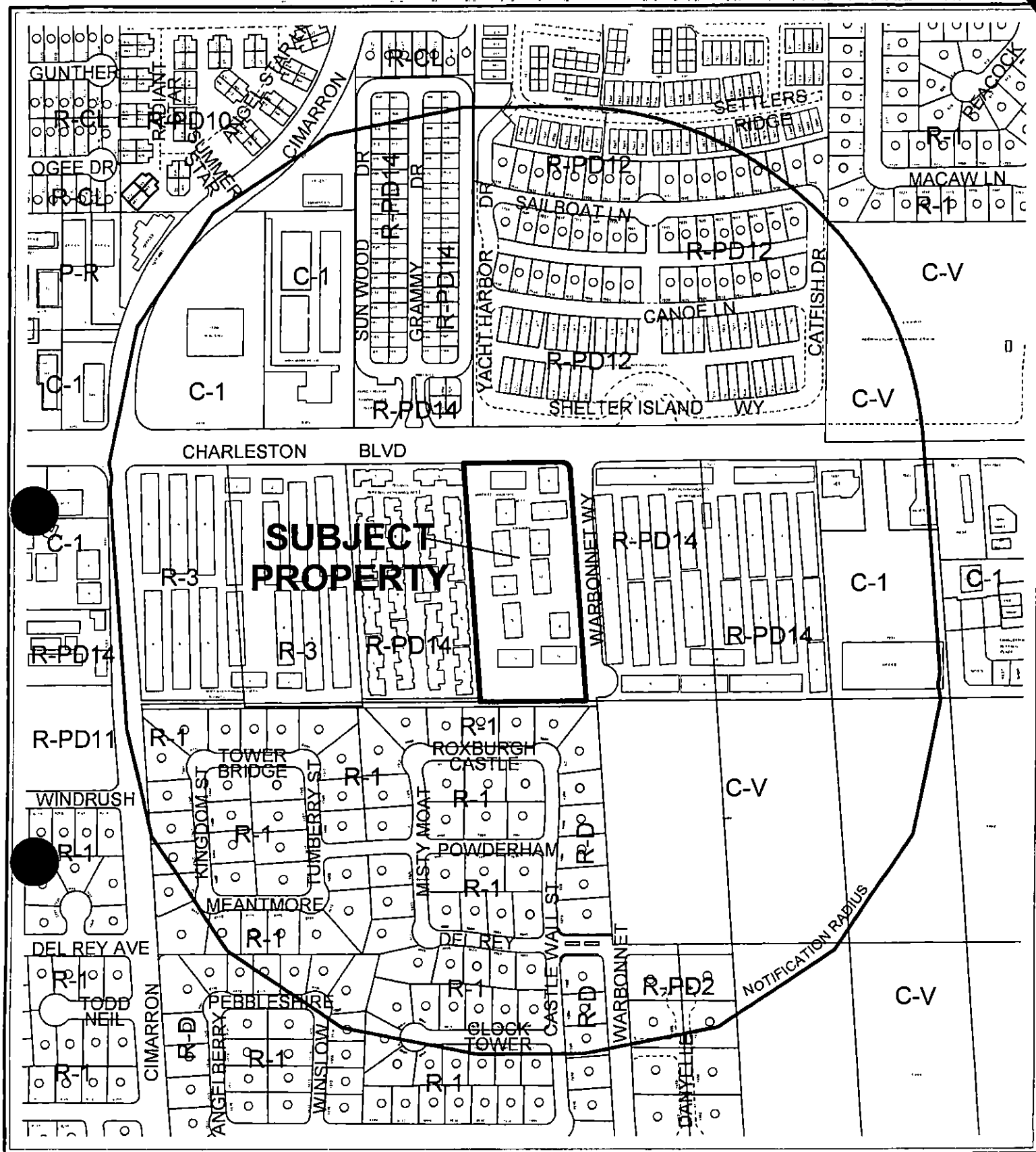
Public Works

21. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
22. Obtain an Occupancy Permit for all landscaping and private improvements in the Charleston Boulevard public right-of-way, if any, adjacent to this site.
23. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Submit copies of the receipts to the Collection Systems Planning Section of the Department of Public Works with Final Map mylar submittal.
24. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
25. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
26. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits,

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 41 – SDR-17057

CONDITIONS – Continued:

submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: **SDR-17057**

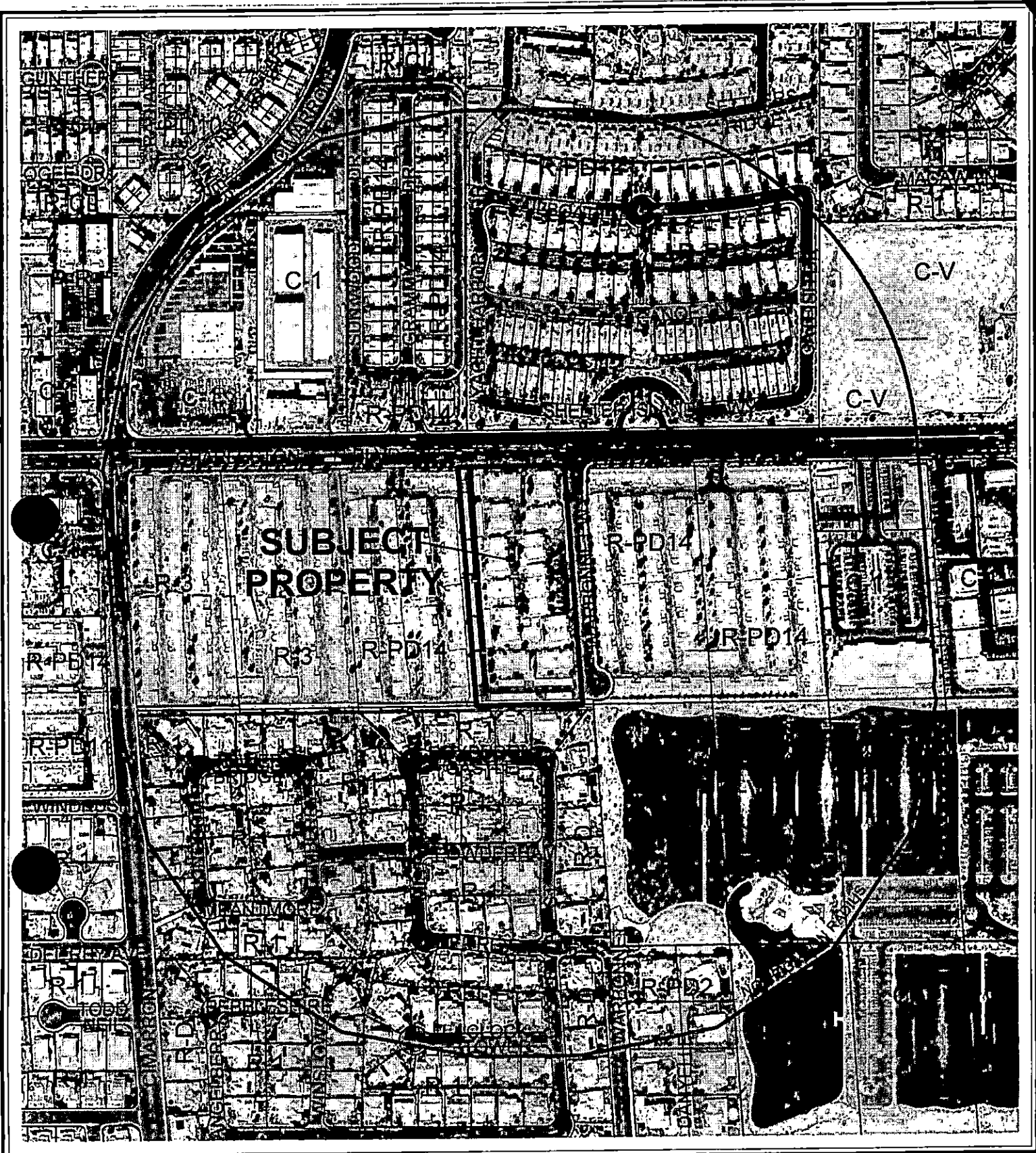
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ZONING OF SUBJECT PROPERTY:

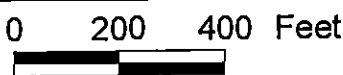
R-PD23 (RESIDENTIAL PLANNED DEVELOPMENT - 23 UNITS PER ACRE)

0 200 400 Feet





CASE: **SDR-17057**
RADIUS: 1000 FEET
ZONING OF SUBJECT PROPERTY:
R-PD23 (RESIDENTIAL PLANNED DEVELOPMENT - 23 UNITS PER ACRE)



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17057 - APPLICANT/OWNER: SANTA FE 124, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: DENIAL.** If Approved, subject to:**Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 09/22/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. Air conditioning units shall not be mounted on rooftops.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

JM

SDR-17057 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All units, as well as the common ownership facilities, shall be brought into compliance with all applicable state and local building, housing, mechanical and fire codes adopted for use by the city at the time of original construction.
12. Each dwelling unit shall be served by gas and/or electric services completely within the lot lines or ownership space of each separate unit. Easements for gas and/or electric lines shall be provided in the common ownership area where lateral service connections shall take place. Each dwelling unit shall be separately metered for gas and/or electricity. A plan for equitable sharing of communal water metering, where required, shall be included in the covenants, conditions and restrictions.
13. All new on-site and off-site minor utilities except switch boxes, transformer boxes and cap banks across property frontage shall be underground.
14. The applicant shall provide a building and grounds condition report prepared by a licensed civil engineer or licensed architect to the Planning and Development Department for review and approval upon application for Tentative Map approval. This report shall contain an evaluation of the structural condition of each building in the project, and an evaluation of the condition of all site features such as parking areas, accessory buildings, landscaped areas, driveways, sidewalks, carports, any amenities, fences and utility systems. A copy of the report shall be provided to all prospective buyers.
15. Upon application for a Tentative Map, the applicant shall provide proof that a notice of intent to convert has been delivered to each tenant as required by Nevada Revised Statutes. The applicant is further responsible for providing each tenant with notice of any and all future public hearings held regarding the conversion or mapping process.
16. Any remodeling or construction work in conjunction with the conversion of the apartments shall require permits from the Department of Building and Safety, with the exception of painting, carpeting, or other similar finish work. The conversion from apartments to condominiums shall require the payment of additional sewer connection fees. The additional fees shall be paid prior to the recordation of the Final Map. Proof of payment shall be required upon submittal of the Final Map.

SDR-17057 - Conditions Page Three
November 16, 2006 - Planning Commission Meeting

17. Handicap parking spaces must be provided in accordance with Title 19.10 standards.
18. All accessory structures shall be located a minimum distance of three feet from the side and rear property lines per Title 19.08.
19. The applicant shall repair all damage to perimeter walls, covered parking, trash enclosures, and chipped metal railing on the site prior to time an application is made for a Tentative Map.
20. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

21. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
22. Obtain an Occupancy Permit for all landscaping and private improvements in the Charleston Boulevard public right-of-way, if any, adjacent to this site.
23. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Submit copies of the receipts to the Collection Systems Planning Section of the Department of Public Works with Final Map mylar submittal.
24. A Homeowners' Association shall be established to maintain all private roadways, landscaping and common areas created with this development. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
25. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
26. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the

SDR-17057 - Conditions Page Four
November 16, 2006 - Planning Commission Meeting

approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

SDR-17057 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for the conversion of a 124-unit apartment complex to a condominium development. The site has been operating as a multi-family rental community since 1989 and does not meet applicable parking standards for this type of multi-family development. The site plan depicts 171 parking spaces where 224 parking spaces are required. By current standards, this is a 24 percent parking deficiency. In addition, three handicap accessible spaces are being provided where seven are required. The site is deficient with respect to the number and spacing of trees and shrubs planted in the parking lot and perimeter planter areas. Staff cannot recommend this development as parking and landscaping are seriously deficient.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/04/85	The City Council approved the Re-classification of property (Z-0075-85) generally located on the southwest corner of Charleston Boulevard and Placid Avenue, from N-U (Non-Urban), to R-PD23 (Residential Planned Development – 23 Units Per Acre).
01/20/88	The City Council approved the Reinstatement and Extension of Time of property located on the southwest corner of Charleston Boulevard and Warbonnet Way, N-U (Non-Urban) Zone under Resolution of Intent to R-PD23 (Residential Planned Development – 23 Units Per Acre).
<i>Related Building Permits/Business Licenses</i>	
08/05/87	A Plot Plan Review was approved to construct a 12 apartment, 124 unit development.
<i>Pre-Application Meeting</i>	
Month/date/year	Description
09/21/06	At the pre-application meeting, the applicant was informed that the conversion request must comply with Title 19.04 parking standards for a condominium. The applicant was also informed that Title 19.12 landscape requirements would have to be upheld as closely as possible. Staff closed the meeting by explaining submittal requirements for the application.
<i>Neighborhood Meeting</i>	
A neighborhood meeting was not held, nor was one required.	

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	4.7
Gross Acres	6.0

JM

SDR-17057 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Apartment	M (Medium Density Residential)	R-PD23 (Residential Planned Development – 23 Units Per Acre)
North	Townhouse	ML (Medium-Low Density Residential)	R-PD12 (Residential Planned Development – 12 Units Per Acre)
South	Single Family Residential	R (Rural Density Residential)	R-1 (Single Family Residential)
East	Apartment	M (Medium Density Residential)	R-PD14 (Residential Planned Development – 14 Units Per Acre)
West	Apartment	M (Medium Density Residential)	R-PD14 (Residential Planned Development – 14 Units Per Acre)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	Y
Special Purpose and Overlay Districts		X	Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

DEVELOPMENT STANDARDS

Standard	Provided	Compliance
Min. Lot Size	6.0 Acres	Y
Min. Lot Width	301.75 Feet	Y
Min. Setbacks		Y
• Front	26 Feet	
• Side	20 Feet	
• Corner	58 Feet	
• Rear	75 Feet	
Min. Distance Between Buildings	10 Feet	Y
Max. Lot Coverage	N/A	Y
Max. Building Height	24 Feet	Y
Trash Enclosure	3	Y
Mech. Equipment	Screened	Y

SDR-17057 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1 Tree/ 6 Spaces	4 Trees	Zero Trees	N
Buffer: Min. Trees	1 Tree/20 Linear Feet	96 Trees	47 Trees	N
Interior			65 Trees	N/A
TOTAL		100 Trees	112 Trees	N
Min. Zone Depth- Adjacent to Right- of-Way	10 Feet		5 Feet	N
Min. Zone Depth- Interior Lot Lines	6 Feet		Zero Feet	N
Wall Height	8 Feet		8 Feet	Y

Pursuant to Title 19.06, the following Open Space Standards apply to the subject proposal:

Total Acreage	Density	Required			Provided	
		Ratio	Percent	Area	Percent	Area
6.00 acres	21 d.u./ac	1.65	35 %	90,561 SF	30%	79,558 SF

The proposal is deficient in the required amount of open space by approximately 5%.

Pursuant to Title 19.10, the following parking standards apply:

in accordance with Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
One Bedroom	28 Units	1 per 1.25	35				
Two Bedroom	96 Units	1 per 1.75	168				
Guest	124 Units	1 per 6 units	21				
SubTotal			224	7	171	3	
TOTAL			224	7	171	3	
Percent Deviation					24%		

SDR-17057 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

ANALYSIS

- **Zoning**

The subject proposal is located in an R-PD23 (Residential Planned Development – 23 Units Per Acre) zone. R-PD (Residential Planned Development) zones allow applicants to define their own development standards. As such, the subject proposal, at a density of 21 units per acre, conforms to the applicable zoning designation.

- **Site Plan**

The request is for the conversion of a 124-unit apartment project to a condominium development on 6.00 acres. The site receives access from Warbonnet Way, a 60-foot collector street and 24-foot drives provide internal circulation for the site. The site consists of 28 one-bedroom and 96 two-bedroom units.

The complex was constructed in 1989 and provides 171 parking spaces where 224 parking spaces are required. The site is considered parking impaired as it complied with all applicable parking requirements on its date of construction, but does not meet current Title 19 requirements. If held to current standards, the site would be deficient by a total of 57 parking spaces (53 regular and 4 handicapped). This would constitute a 24% reduction of required parking. It should be noted that 47 are open stalls and 124 are covered stalls.

On the southwest portion of the site, the site plan depicts a shed. A site visit demonstrated that the shed does not meet the accessory structure setbacks expressed in Title 19.08 which state that a detached, accessory structure must be located a minimum distance of three feet from the side and rear property lines. A condition has been added requiring the shed to meet Title 19.08 standards.

- **Waivers**

As the project has already been built, waivers of the deficiencies noted above (handicap accessible parking spaces and parking and perimeter landscaping) will not be required. However, conditions of approval are being placed on the proposal to insure that the project complies with Title 19 standards when the conversion to condominiums is completed.

- **Landscape Plan**

The site is deficient with respect to the number and spacing of trees and shrubs planted in the parking lot and perimeter planter areas. No landscape fingers are provided, most noticeably within the perimeter parking spaces. Four fingers should accompany the parking lot, with one tree per finger. Per Title 19.14, the applicant is required to

SDR-17057 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

provide a minimum of 49 additional trees (24-gallon minimum size) along the perimeter of the site spaced at a maximum of 20 feet apart on center to comply with current code requirements. Although the site is deficient 49 parking, street, and perimeter trees, the applicant does provide an additional 65 trees on the interior portion of the site. In addition, staff considers it would be adverse to the existing site to require trees along the south and west interior landscape buffers as it is populated with existing covered parking stalls.

- **Open Space**

Per Title 19.06 open space standards, the site shows a total of 79,558 square feet of open space where 90,561 square feet of open space is required. The proposal is deficient in the required amount of open space by approximately 5%. However, since the development was approved before open space requirements were considered for Residential Planned Developments (R-PD), the standards are not applicable.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The site has been operating as a multi-family rental community since 1989, and the conversion of the complex to condominium units will not significantly impact the area. Although the proposed development is compatible with surrounding development, staff cannot recommend this development as the site is parking deficient.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The existing site was in compliance with all applicable development standards at the time of its construction. City policy dictates that all proposed condominium conversions meet Title 19 minimum landscape requirements. The proposed development is deficient in perimeter landscaping and parking lot fingers.

The subject proposal does not meet applicable parking standards for this type of multi-family development. The site plan depicts 171 parking spaces where 224 parking spaces are required. In addition, three handicap accessible spaces are being provided where seven are required. Therefore, Staff cannot recommend this request.

SDR-17057 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

3. **“Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;”**

The site gains access from Warbonnet Way, 60-foot Local Street. The conversion of the existing apartments to condominiums will not impact the traffic generated by the site. As such, adjacent roadways will not be negatively impacted by approval of this project.

4. **“Building and landscape materials are appropriate for the areas and for the City;”**

The type of materials used for both building and landscaping are appropriate. However, a site inspection revealed there has been considerable wear and damage to the trash enclosures, perimeter walls, and covered parking stalls that will need to be repaired and fixed before a Tentative Map application can be filed.

5. **“Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;”**

The existing development is harmonious and compatible with other developments in the area.

6. **“Appropriate measures are taken to secure and protect the public health, safety and general welfare.”**

The public health, safety, and general welfare will not be compromise by approval of this project.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 8

ASSEMBLY DISTRICT 2

SENATE DISTRICT 8

NOTICES MAILED 441

SDR-17057 - Staff Report Page Seven
November 16, 2006 - Planning Commission Meeting

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17057** APN: 163-04-501-004

Name of Property Owner: Santa Fe 124, LLC

Name of Applicant: Santa Fe 124, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

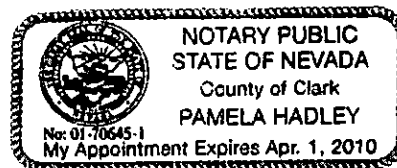
Print Name: Santa Fe 124, LLC Seth McCormick - Manager

Subscribed and sworn before me

This 20 day of September, 2006

Pamela Hadley
Notary Public in and for said County and State

Clark - Nevada



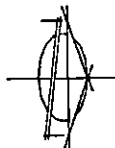
SEP 22 2006

SANTA FE SHADOWS CONDOMINIUMS

APN# 163-04-501-004
CONDOMINIUM SUBDIVISION
LAS VEGAS, NEVADA

LEGEND

STREET CENTERLINE
PROPERTY LINE
ADJACENT PROPERTY LINE
CL. OF THE
BLOCK WALL
THICK EXTERIOR
CL. COVERED PARKING



BASIS OF BEARING

SOUTH BEING 40° WEST, BEING THE BEARING OF THE SOUTH
LINE OF THE BOUNDARY QUARTER THE 1/4 OF SECTION 36
TOWNSHIP 36 NORTH, RANGE 90 EAST, T14N, R90E IN
SECTION 12, PAGE 11 OF PLATS ON FILE AT THE CLERK COUNTY,
NEVADA RECORDER'S OFFICE.

SITE DATA

SECTION'S PARCEL NUMBER 163-04-501-004
SECTION/TOWNSHIP/RANGE SEC. 04, T. 36 N., R. 90 E., S. 14 N.
LAND USE RESIDENTIAL CONDOMINIUMS
APPROVED ZONING RESIDENTIAL PLANNED DEVELOPMENT DISTRICT (RPD-24)
NUMBER OF BUILDINGS 12
NUMBER OF UNITS 134
TOTAL AREA 6.0 ACRES (260,000 SQ. FT.)
BUILDING HEIGHT 40' MAX
DENSITY 21 UNITS/ACRE

EXISTING PARKING

COVERED SPACES 40
UNCOVERED SPACES 10
TOTAL SPACES 50

DEVELOPER/OWNER

BEN HOWELL
2222 WILSON BLVD. SUITE 200
LAS VEGAS, NV 89102
TEL: (702) 875-8871
FAX: (702) 875-8871

BUILDING/PARKING DATA

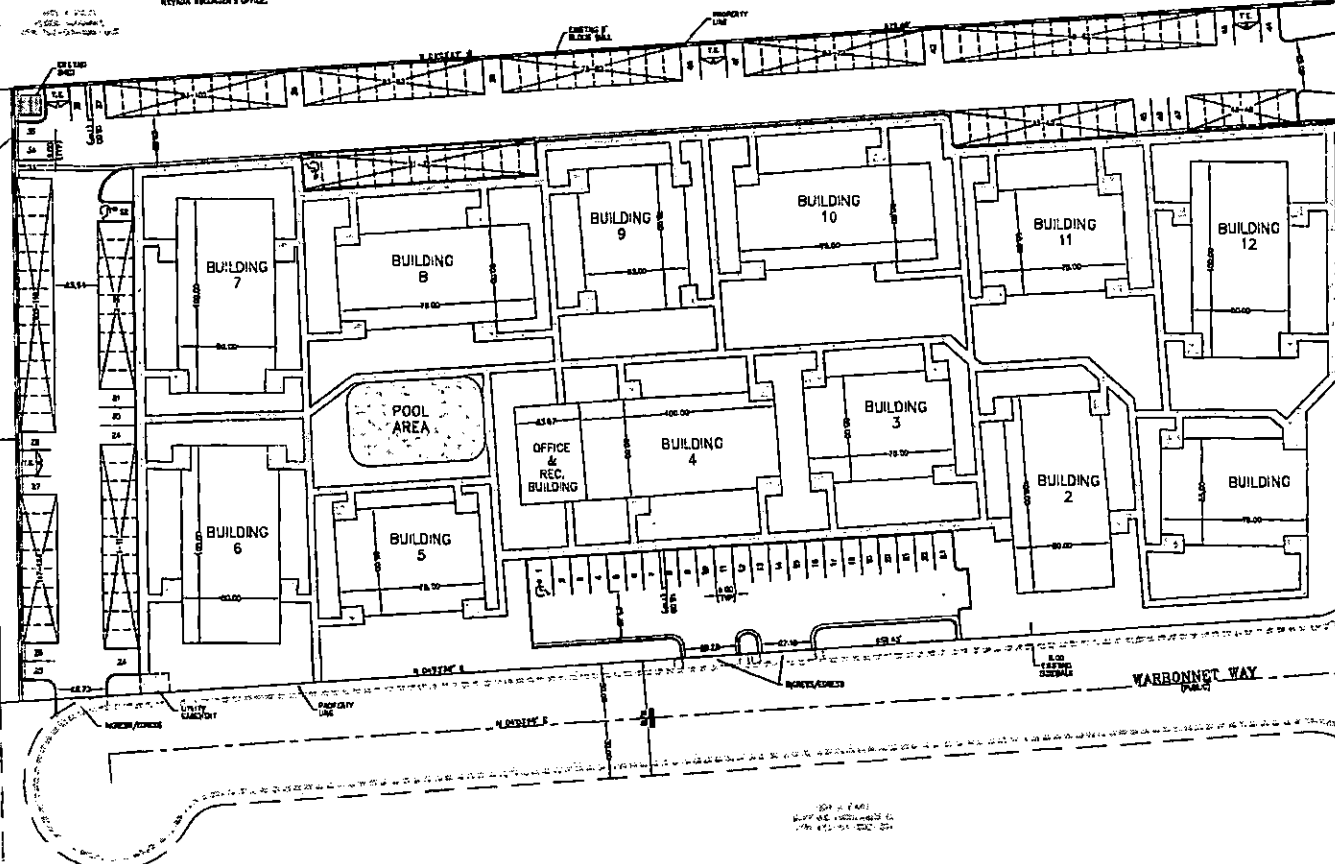
TYPE	NO. OF SPACES	CARLING SPACES
ONE BEDROOM/ONE BATH	20	10
TWO BEDROOM/TWO BATH	20	10
TOTAL	40	20

SITE BREAKDOWN

BUILDING/POOL AREA = 60,000 SQUARE FEET (200)
DRIVE WALK = 5,000 SQUARE FEET (200)
TOTAL = 65,000 SQUARE FEET (200)



GRAPHIC SCALE



SEP 22 2006

SDR-17057
11/16/06 PC

APPROVED FOR: BEN HOWELL

BAUGHMAN & TURNER, INC.
1210 JARVIS STREET
LAS VEGAS, NEVADA 89102
TEL: (702) 875-8871
FAX: (702) 875-8871

SANTA FE SHADOWS CONDOMINIUMS
SITE PLAN

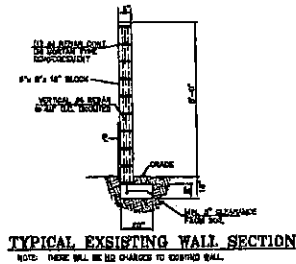
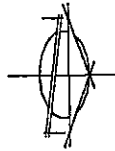
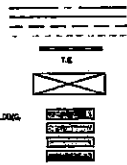
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SANTA FE SHADOWS CONDOMINIUMS

APN# 163-04-501-004
CONDOMINIUM SUBDIVISION
LAS VEGAS, NEVADA

LEGEND

STREET CENTERLINE
PROPERTY LINE
ADJACENT PROPERTY LINE
EX. OFFICE
BLOCK WALL
WALL ENCLOSURE
EX. COVERED PARKING
OWNER: MULTI-FAMILY BUILDING
GREAT LANDSCAPING
GREAT PARKWAY
BLDG. PUBLIC BUILDING



SITE DATA

ADJACENT PARCEL NUMBER
SECTION/TOWNSHIP/RANGE
LAND USE
APPROVED ZONING
NUMBER OF BUILDINGS
NUMBER OF UNITS
TOTAL AREA
BUILDING HEIGHT
DENSITY

163-04-501-004
SEC. 36, T. 37 N., R. 30 E., S. 36
RESIDENTIAL CONDOMINIUM
RESIDENTIAL PLANNED DEVELOPMENT DISTRICT (RPD-33)
12
184
645 ACRES CHURCH
20' MAX
21 UNITS/ACRE

EXISTING PARKING

COVERED SPACES
UNCOVERED SPACES
TOTAL SPACES
TOTAL SPACES
TOTAL SPACES

DEVELOPER/OWNER

SANTA FE CON. LLC
2225 WILLOW BLVD. SUITE 200
HENDERSON, NV 89015
PHONE (702) 735-1000
CONTACT: BEN HOWELL

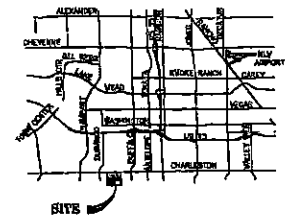
BUILDING/PARKING DATA

TYPE
ONE BEDROOM/ONE BATH
TWO BEDROOM/TWO BATH
TOTAL UNITS
COURT PARKING: 1 SPACE PER 8 UNITS

NO. OF UNITS
25
25
50
TOTAL
224

SITE BREAKDOWN

BUILDING/OWNER: SANTA FE CON. LLC
GROSS BLDG. = 41,448 SQUARE FEET (GROSS)
GROSS BLDG. = 41,448 SQUARE FEET (GROSS)
TOTAL = 22,899 SQUARE FEET (GROSS)

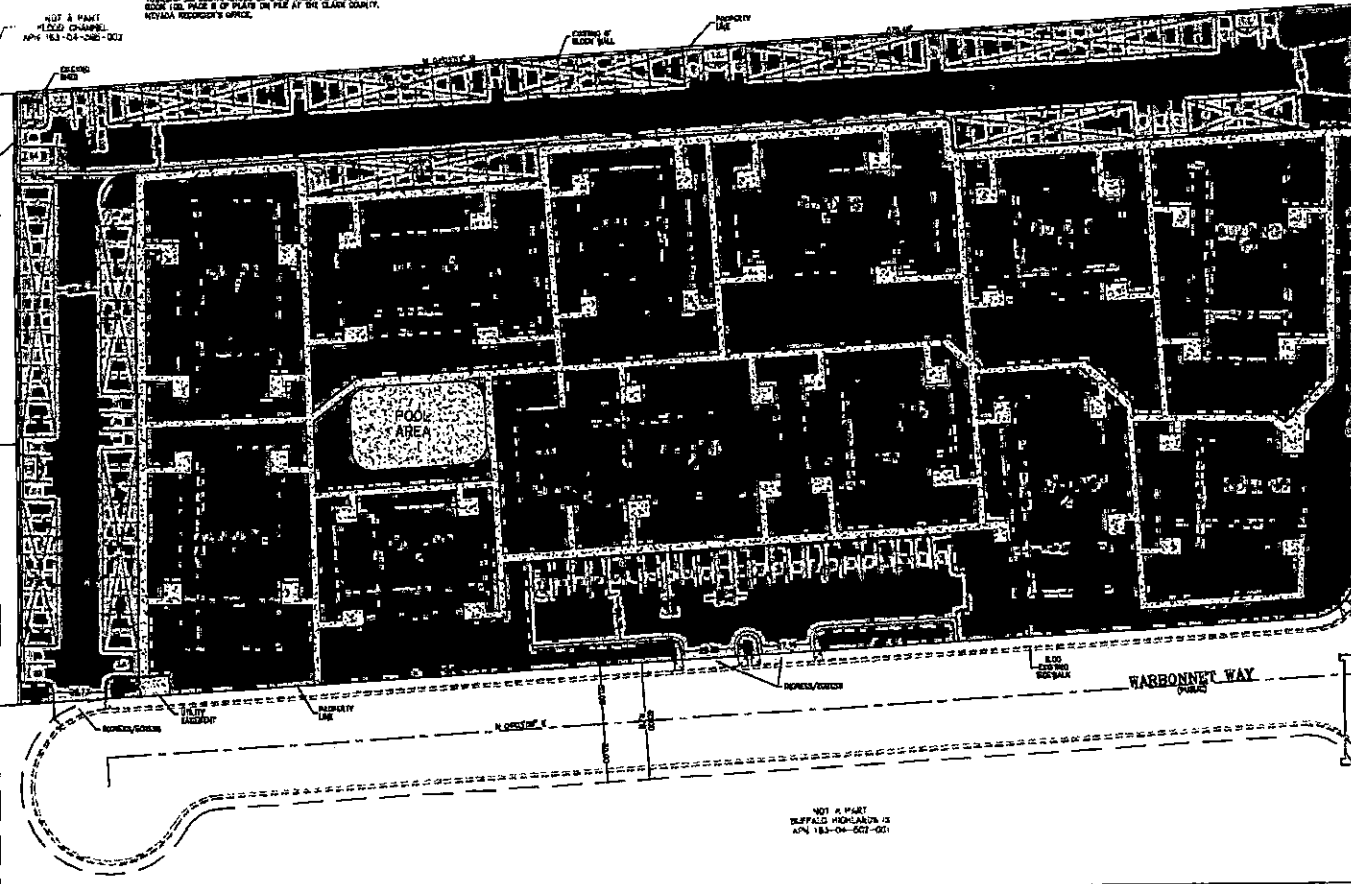


GRAPHIC SCALE



BASIS OF BEARING

SOUTH BEAR 40° WEST, BEING THE BEARING OF THE SOUTH
LINE OF THE SOUTHWEST QUARTER (1/4) OF SECTION 36
TOWNSHIP 37 SOUTH, RANGE 30 EAST, S. 36, AS SHOWN IN
BOOK 108, PAGE 8 OF PLATS ON FILE AT THE CLACK COUNTY,
NEVADA REGISTER'S OFFICE.



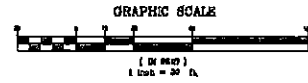
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SDR-17057

11/16/06 PC

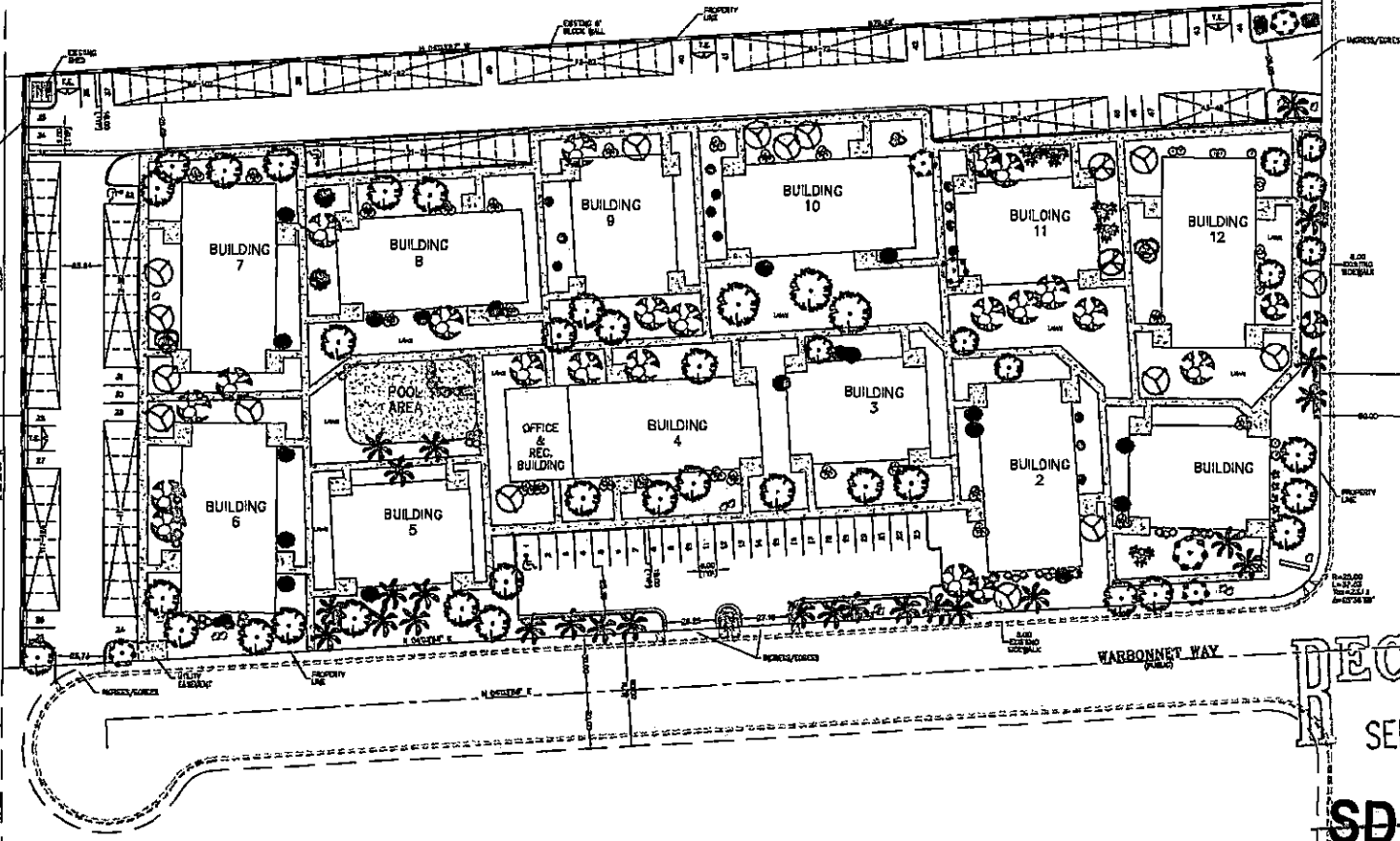
APR 16 2006
BEN HOWELL
BAUGHMAN & TURNER, INC.
LAND PLANNERS
1000 W. WILLOW STREET
LAS VEGAS, NV 89102
TEL: (702) 735-1000
FAX: (702) 735-1001
SANTA FE SHADOWS CONDOMINIUMS
SITE PLAN
A PORTION OF THE 163-04-501-004 OF THE COUNTY OF CLACK, NV, AS SHOWN IN
BOOK 108, PAGE 8 OF PLATS ON FILE AT THE CLACK COUNTY, NEVADA REGISTER'S OFFICE.

APN# 163-04-501-004
AN EXISTING LANDSCAPE PLAN
LAS VEGAS, NEVADA



THE LITERARY		
SYMBOL	NAME	TYPE
1	James M. Smith	2nd BOA
2	James M. Smith	2nd BOA
3	James M. Smith	2nd BOA
4	James M. Smith	2nd BOA
5	James M. Smith	2nd BOA
6	James M. Smith	2nd BOA
7	James M. Smith	2nd BOA
8	James M. Smith	2nd BOA
9	James M. Smith	2nd BOA
10	James M. Smith	2nd BOA

STELLA AND CHARMED OFFICE LEADS		
STYL	NAME	DOB
1	CHARLES W. HARRIS General of Police, Birmingham	8 GA.
2	WILLIAM A. HARRIS Chief of Police, Birmingham	16 GA.
3	ALFRED W. HARRIS Chief of Police, Birmingham	8 GA.
4	JOHN W. HARRIS Chief of Police, Birmingham	1 GA.
5	JOHN W. HARRIS Chief of Police, Birmingham	8 GA.
6	HARRIS, CHARLES W. Chief of Police, Birmingham	8 GA.



RECEIVED
SEP 22 2006

~~SDR-17057~~

11/16/06 PC

SANTA FE SHADOWS CONDOMINIUMS
EXISTING LANDSCAPE PLAN

A PORTION OF THE WEST HALF (1/2) OF THE EAST HALF IS 1/2 OF THE
NORTHEAST QUARTER (1/4) OF SECTION 10, TOWNSHIP 36 SOUTH, RANGE 01
EAST, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.



BAUGHMAN & TURNER, INC.
 CIVIL ENGINEERS LAND PLANNERS
 LAND SURVEYORS
 12110 WILSON STREET
 LAS VEGAS, NEVADA 89102
 PH. (702) 670-6771 Fax (702) 670-2895

BEN HOWELL

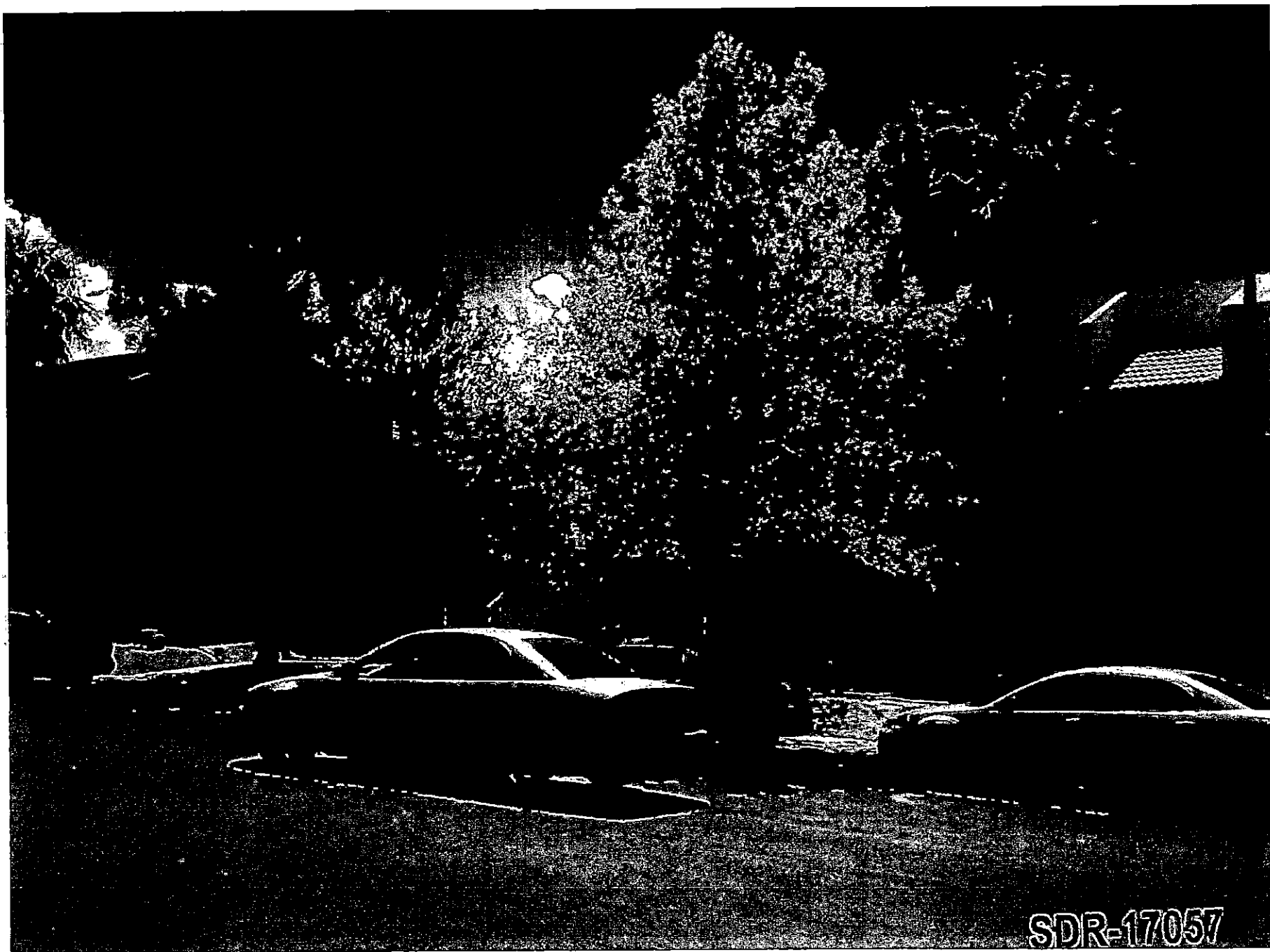
N:\Santa Fe Shadow\5-DWG\MAPS\SFS-18.dwg, 8/3/2006 4:50:39 PM, \\SERVER\HP 2800\In PCL 5c



SDR-17057
11/16/06 PC



SDR-17057
11/16/06 PC



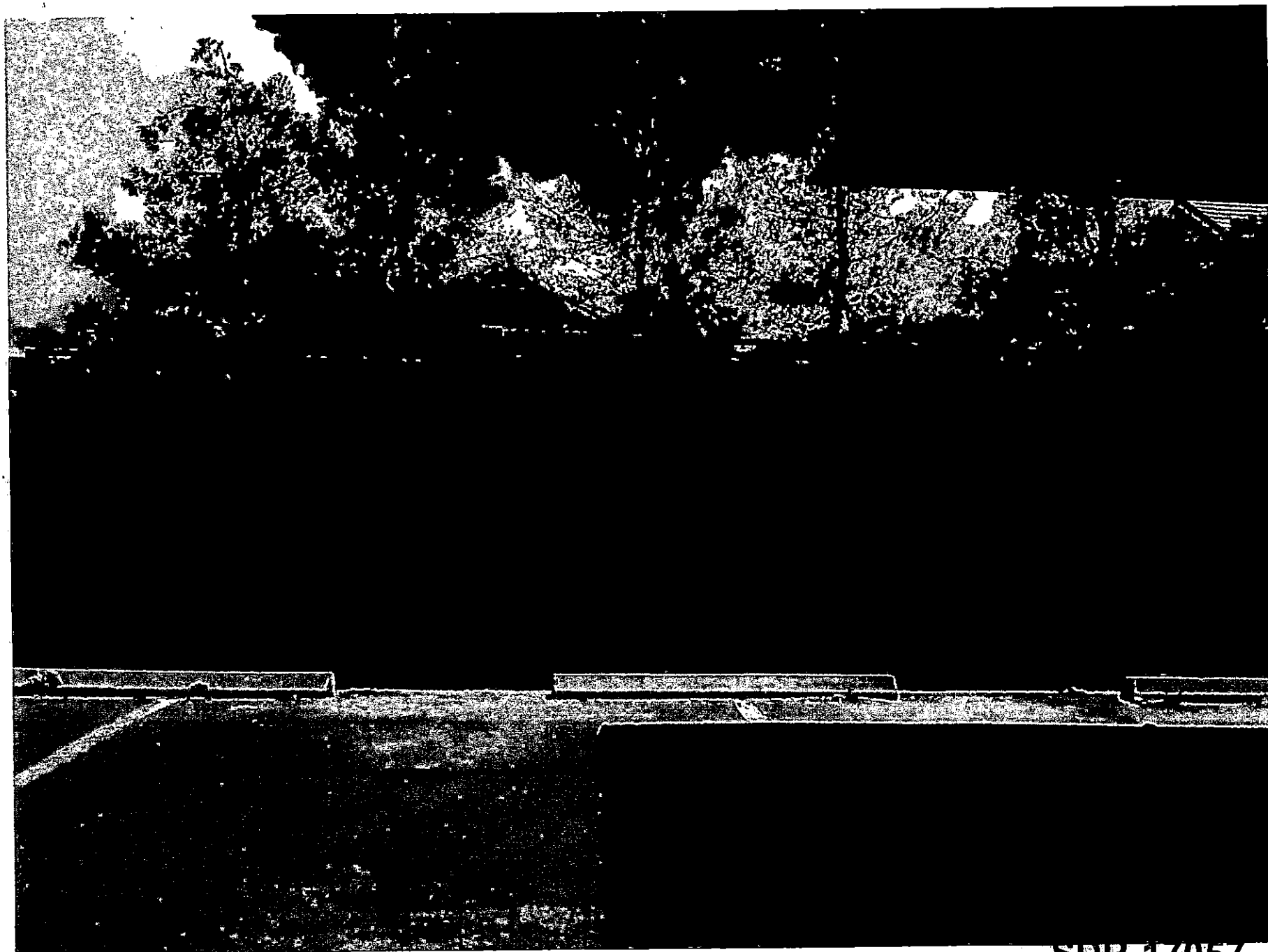
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SDR-17057
11/16/06 PC



SDR-17057
11/16/06 PC





SDR-17057 - APPLICANT/OWNER: SANTA FE 124, LLC
1111 WARBONNET WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06



SDR-17057 - APPLICANT/OWNER: SANTA FE 124, LLC
1111 WARBONNET WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06



SDR-17057 - APPLICANT/OWNER: SANTA FE 124, LLC
1111 WARBONNET WAY
NOVEMBER 16, 2006 PLANNING COMMISSION

10/15/06

Baughman & Turner, Inc.

Consulting Engineers & Land Surveyors

1210 HINSON ST.

PHONE (702) 870-8771

LAS VEGAS, NEVADA 89102-1604

FAX (702) 878-2695

Aug 02, 2006

City of Las Vegas, Planning & Development

731 S. Fourth Street
Las Vegas, NV 89101

RE: Santa Fe Shadows

To Whom It May Concern,

Please let this letter serve as a justification for a Site Development Plan Review for a condominium conversion. The project called "Santa Fe Shadows Condominiums" consists of 12 apartment buildings (124 units) on 5.4 acres located at 1111 Warbonnet Way. The apartments will be converted to condominiums through the subdivision process.

The buildings were built in 1989 and have a beige stucco finish with a pink trim (See attached pictures). The current Zoning and General Plan are consistent with the proposed conversion. The original plans complied with minimum on-site parking requirements for a multi-family development. Since the project was built, on-site parking requirements have increased. Currently parking provided is 171 spaces where 224 spaces are required. Other condominium conversions with similar parking requirements have been approved. We will make every attempt to comply with Title 19 requirements for parking and landscaping. The approval of this application will not have a negative effect on either the environment or general public.

Thank you for consideration of this request, should you have any questions, please do not hesitate to call.

Sincerely,
Baughman & Turner, Inc.


Gil Nockowitz,
Director of Processing

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SEP 22 2006

SDR-17057
11/16/06 PC

Baughman & Turner, Inc.

Consulting Engineers & Land Surveyors

1210 HINSON ST.
LAS VEGAS, NEVADA 89102-1604

PHONE (702) 870-8771
FAX (702) 878-2695

November 15, 2006

Santa Fe 124, LLC
Attn: Mr. Ben Howell
2220 Village Walk Drive #3203
Henderson, Nevada 89052

Re: Santa Fe Shadows

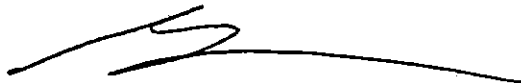
Dear Mr. Howell,

Baughman & Turner, Inc. conducted a parking analysis for Santa Fe Shadows. Enclosed please find the results of this analysis.

To the best of my knowledge, on the dates indicated, this reflects a true and accurate count.

Should you have any questions or concerns, please feel free to contact me at this office.

Sincerely,
Baughman & Turner, Inc.



Gil Nockowitz
Director of Processing

GN/ab

Submitted at Planning Commission

Date 11/16/06 Item #41

Santa Fe Shadows Parking Analysis

Total Parking Spaces: 171

Available Spaces			
Date	6:00 A.M. Count	2:00 P.M. Count	11:00 P.M. Count
Saturday – November 4, 2006	62	107	88
Wednesday – November 8, 2006	58	122	74
Sunday – November 12, 2006	64	99	71
Tuesday – November 14, 2006	68	115	55

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17211 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC - Request for a Site Development Plan Review FOR A 3,560 SQUARE-FOOT ADDITION TO AN EXISTING OFFICE BUILDING AND A WAIVER TO ALLOW A REDUCTION OF PERIMETER LANDSCAPE BUFFER WIDTH REQUIREMENTS on 1.46 acres at 700 East Charleston Boulevard (APN 162-03-501-003), P-R (Professional Office and Parking) Zone, Ward 3 (Reese).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.	2
City Council Meeting	

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.	1
City Council Meeting	

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Protest Letters

MOTION:

EVANS – APPROVED subject to conditions and amending Condition 4 as read for the record as follows:

4. An additional two loading spaces shall be added to the site in accordance with Title 19.10 standards.

– UNANIMOUS

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

DOUG RANKIN, Planning and Development Department, reported that the desire of the proposal is to rehab the old FBI building by adding an atrium to the front of the property and

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 42 – SDR-17211

MINUTES – Continued:

additional landscaping since they do not meet Code. Currently, the site has a use Variance for an automotive repair facility within the structure and the applicant has proposed to eliminate that and convert the space to additional parking. He recommended approval.

DAVE TRUMAN, Pinnacle Architects, appeared on behalf of the applicant. He noted that Condition 4 requests additional loading space since three are required where only two are provided. MR. TRUMAN stated that a third loading space is not necessary for office use and everything has been done to provide a maximum number of parking spaces and to accommodate a third loading space would hinder parking, thus requested that condition be deleted. He noted that Condition 8 pertains to the screening of mechanical equipment which could be viewed since the height of the parapet is limited. He requested additional height be granted to the very north end of the structure to meet that condition.

JUDY GRAFTIN, 705 Park Paseo, supported the project and requested the Commissioners guide the proposal so as not to disturb the area.

TODD FARLOW, 240 Nineteenth Street, requested the barricades be removed and the landscaping restored.

MR. TRUMAN indicated that the barricades would be removed. Upon COMMISSIONER EVANS' inquiry, MR. TRUMAN stated that all parking along Charleston Boulevard would be removed and replaced with landscaping and that the lighting would be properly mitigated, honoring the requests of adjacent residents.

COMMISSIONER EVANS honored the request to modify Condition 2 and MR. RANKIN indicated that staff could arrange something to screen the mechanical equipment without modifying the height of the building. MR. TRUMAN acknowledged and accepted the conditions.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(10:22 – 10:33)

3-2081

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 42 – SDR-17211

CONDITIONS – Continued:

2. All development shall be in conformance with the site plan and landscape plan date stamped 10/16/06, and building elevations date stamped 09/29/06 and 11/03/06 except as amended by conditions herein.
3. A Waiver to reduce perimeter landscape buffer requirements is hereby approved, to allow three feet along the south property line, zero feet along the east property line and five feet along the west property line.
4. An additional loading space shall be added to the site in accordance with Title 19.10 standards.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets..
9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
10. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

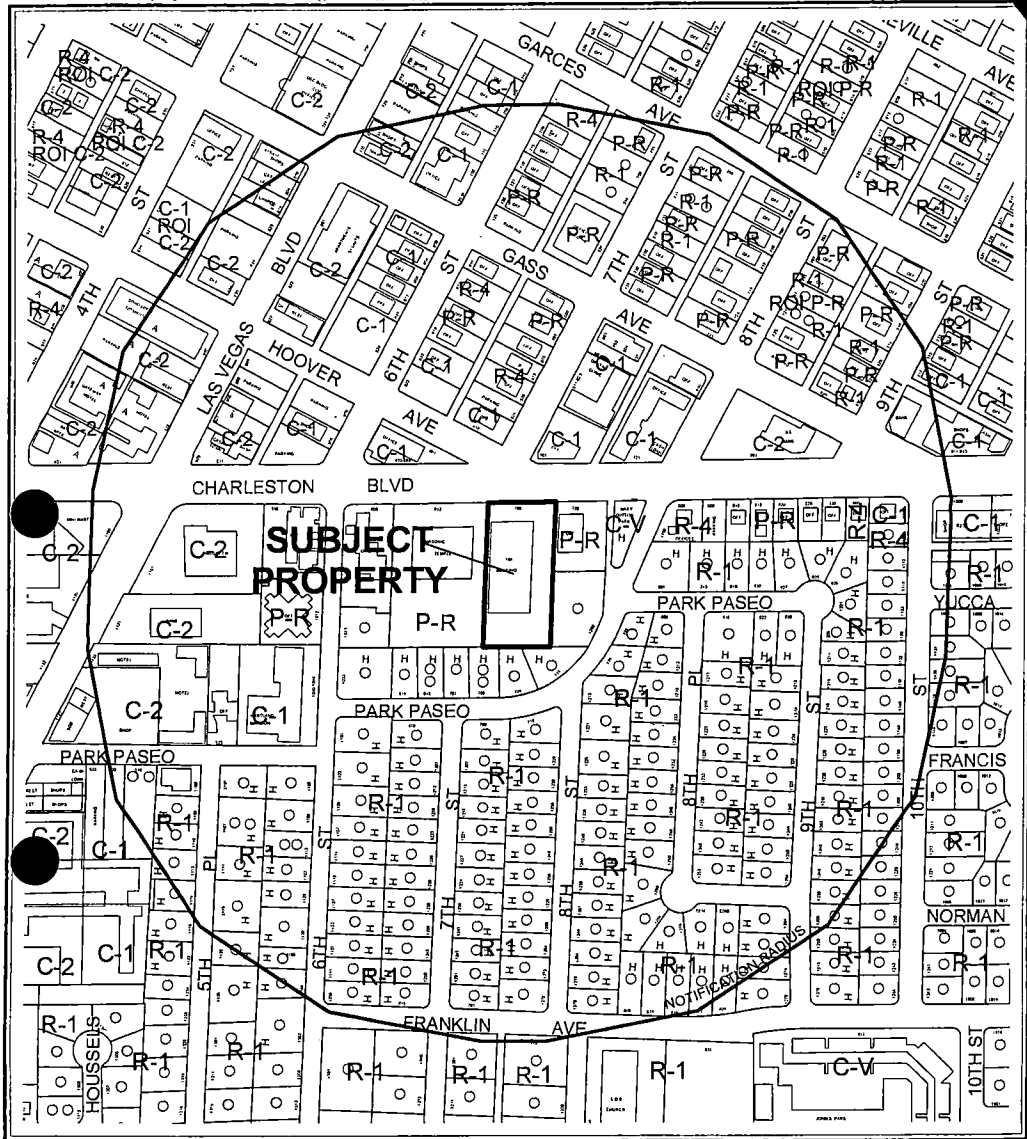
PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 42 – SDR-17211

CONDITIONS – Continued:

11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
14. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.
15. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
16. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.



CASE: **SDR-17211**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: P-R (PROFESSIONAL OFFICE AND PARKING)

0 200 400 Feet

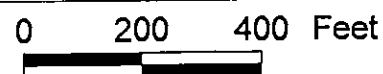




CASE: SDR-17211

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: P-R (PROFESSIONAL OFFICE AND PARKING)



*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17211 - APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL, subject to:****Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan and landscape plan date stamped 10/16/06, and building elevations date stamped 09/29/06 and 11/03/06 except as amended by conditions herein.
3. A Waiver to reduce perimeter landscape buffer requirements is hereby approved, to allow three feet along the south property line, zero feet along the east property line and five feet along the west property line.
4. An additional loading space shall be added to the site in accordance with Title 19.10 standards.
5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.

SDR-17211 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets..
9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
10. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
14. Obtain an Occupancy Permit from the Nevada Department of Transportation for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site prior to the issuance of any permits.
15. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
16. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage patterns for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

SDR-17211 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for a 3,560 square-foot addition to an existing office building and a waiver to allow a reduction of perimeter landscape buffer width requirements on 1.46 acres at 700 East Charleston Boulevard.

The purpose of this request is to add a 3,560 square-foot atrium to an existing 63,229 square foot office complex which was built in 1989. The previous tenant of this building was the Federal Bureau of Investigation. The three-story office building is divided into three floors; a first floor parking garage consisting of 72 parking stalls and a second floor and third floor comprising approximately 40,100 square feet in office space. In addition to the atrium in the front of the office complex, the applicant has provided landscaping, handicap parking, trash enclosures and loading spaces on the site.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
12/27/72	The Board of City Commissioners approved a Rezoning (Z-0096-72) from R-1 (Single Family Residential) to PR (Professional Office and Parking) for the property located on the south side of East Charleston. Planning Commission recommended approval.
04/12/73	The Board of City Commissioners approved a Plot Plan Review (Z-0096-72) for a professional office for the property located on the south side of East Charleston. Planning Commission recommend approval.
06/17/74	The Board of City Commissioners approved a Reinstatement and Extension of Time (Z-0062-86) for the property located on the East Charleston.
12/05/86	The City Council approved the request for a Variance (V-0087-86) to allow the servicing of vehicles for various federal agencies in a proposed building which will also contain an office facility for the Federal Bureau of Investigation, and to allow the proposed office building to a height of 3 stories where 2 stories are the maximum permitted, on property located at 700 East Charleston Boulevard.
03/24/87	The Planning Commission approved a plot plan (Z-0096-72) to permit a 65,341 square-foot office building at 700 East Charleston Boulevard. Planning Commission approved as Final Action.
<i>Related Building Permits/Business Licenses</i>	
No related permits pertain to this site.	

SDR-17211 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Pre-Application Meeting	
09/13/06	At the pre-application meeting, the applicant was informed that the atrium addition that they were proposing would require a Site Development Plan Review. The applicant was also informed that the site was parking impaired, requiring the applicant to provide 109 parking stalls as approved for the existing building. By code, the 3,560 square feet atrium addition would require an additional 12 parking stalls. Lastly, submittal requirements were explained in detail to the applicant.
Neighborhood Meeting	
A neighborhood meeting was not required, nor was one held.	

Details of Application Request	
Site Area	
Net Acres	1.46

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Office Building	C (Commercial)	P-R (Professional Office and Parking)
North	Office Building	C (Commercial)	C-1 (Limited Commercial)
South	Single Family Residential	L (Low Density Residential)	R-1 (Single Family Residential)
East	Office Building	C (Commercial)	P-R (Professional Office and Parking)
West	Non-Profit	C (Commercial)	P-R (Professional Office and Parking)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan	X		Y
John S. Park Historic Neighborhood	X		Y
Redevelopment Plan Area	X		Y
Special Purpose and Overlay Districts		X	Y
Trails		X	Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

SDR-17211 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Standard	Required/Allowed	Provided	Compliance
Min. Lot Size	N/A		Y
Min. Lot Width	60 Feet	169 Feet	Y
Min. Setbacks			
• Front	20 Feet	20 Feet	Y
• Side	5 Feet	10 Feet	Y
• Corner	15 Feet	N/A	N/A
• Rear	15 Feet	87 Feet	Y
Max. Lot Coverage	50%	40%	Y
Max. Building Height	2 stories or 35 feet	3 stories, 35 Feet*	Y
Trash Enclosure	50 feet from Residential	69.1 Feet	Y
Mech. Equipment	Screened	Screened	Y

*Z-0087-86 permitted the height

Landscaping and Open Space Standards				
Standards	Required		Provided	Compliance
	Ratio	Trees		
Parking Area	1/ 6 Spaces	11 Trees	10 Trees	N
Buffer: Min. Trees (Adjacent to Commercial)	1 Tree/30 Linear Feet	31 Trees	18 Trees	N
Buffer: Min. Trees (Adjacent to Residential)	1 Tree/20 Linear Feet	9 Trees	8 Trees	N
TOTAL		51 Trees	37 Trees	N
Min. Zone Width (Interior - West)	8 Feet		5 Feet	N
Min. Zone Width (Interior - East)	8 Feet		Zero Feet	N
Min. Zone Width (Interior - South)	8 Feet		3 Feet	N
Min. Zone Width (Right-of-Way)	15 Feet		15 Feet	Y

SDR-17211 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

Pursuant to Title 19.10, the following parking standards apply:

As pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Office (new expansion)	3,560 GFA	1 per 300 GFA	12	1	14	1	Y
Office (Parking Impaired)	40,000 GFA	100	109*		109		Y
SubTotal			121		118	5	Y
Compact		30%			36		Y
Standard		70%			87		Y
TOTAL			121		123		Y
Loading Spaces			3		2		N

*Z-0096-72 existing requirement - parking impaired

ANALYSIS

- Zoning

The property is located within the Downtown Redevelopment Plan area and the John S Park Neighborhood Plan area. The subject site is designated C (Commercial) on the Downtown Redevelopment Area Land Use Map. Office, neighborhood service and general commercial uses are allowed in this area. The P-R (Professional Office and Parking) Zoning District is intended to allow for office uses in an area which is predominately residential but because of traffic and other factors is no longer suitable for the continuation of low density residential uses.

- Site Plan

The purpose of this request is to add a 3,560 square-foot atrium to an existing 63,229 square foot office complex which was built in 1989. The previous tenant of this building was the Federal Bureau of Investigation. The three-story office building is divided into three floors: a first floor parking garage consisting of 72 parking stalls and a second floor and third floor comprising approximately 40,100 square feet in office space. In addition to the atrium in the front of the office complex, the applicant has added landscaping, handicap parking, trash enclosures and loading spaces on the site.

SDR-17211 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

The site's primary access point is off of Charleston Boulevard, a 100-foot Primary Arterial. The existing parking in the front of the development has been replaced with decorative pavers, outdoor seating, and 3,560 square-foot atrium addition.

The site is parking impaired per Title 19.10 parking standards as the existing building complied with the applicable parking standards at the time the use was established. Therefore, the applicant is required to provide 109 parking spaces, which was the amount approved in the original site development plan review (Z-0096-72). In addition, per Title 19.10 parking standards *for any remodeling, alteration, or expansion of a parking impaired development that requires an increase in the number of parking spaces, including the expansion of existing buildings or the construction of new buildings, only the increased number of parking spaces shall be required.* This would yield an additional 12 parking stalls. The site plan complies with the parking standards, providing 123 parking stalls, five of which are handicap accessible and one van accessible.

- Landscape Plan

The applicant has provided additional landscaping throughout the existing site, adding trees in the parking areas and replacing the existing 10-foot wide drive along the west side of the site. However, excluding the landscaping provided along the Charleston Boulevard street frontage, the site is lacking the appropriate landscaping per Title 19.12. The applicant is requesting a Waiver to reduce the perimeter landscape buffers along the east, west and south boundaries of the site. Where eight feet of perimeter landscaping is required in the interior of the site, the applicant provides zero to the east, three feet to the south and five feet to the west.

The applicant is also deficient in the amount of trees required for perimeter landscaping and parking stalls. Per 19.12 landscape standards the applicant is required to provide 51 trees. The landscape plan shows only 37 trees. It should be noted that the lack of landscaping could be attributed to the site's configuration and the decision of the applicant to forego landscaping to meet parking requirements. This statement is true to the east side of the property as the applicant is providing no perimeter landscaping in lieu of 24-foot access aisles and parking stalls.

- Elevation

The Elevation depicts a 3-story office building with a new exterior insulation finish system that will either replace or cover the existing brick veneer. The existing windows and horizontal bands of metal panels will be replaced with continuous horizontal glazing. In the front of the office complex, the new atrium addition matches the height of the existing structure at 35 feet.

SDR-17211 - Staff Report Page Six
November 16, 2006 - Planning Commission Meeting

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

The P-R (Professional Office and Parking) zoning and C (Commercial) General Plan Designation are appropriate for adjacent development in this area.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed development does not meet the perimeter landscape buffer requirements or the amount of trees required. The applicant has requested a Waiver to mitigate these deviations from the standards. The deficiency of landscaping is justified as the configuration of the existing building and parking standards would be jeopardized.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site gains access off of Charleston Boulevard, a 100-foot Primary Arterial and would not negatively impact adjacent roadways or neighborhood traffic.

4. **Building and landscape materials are appropriate for the area and for the City;**

The proposed development does not meet the perimeter landscape buffer requirements. The applicant has requested a waiver to mitigate these deviations from the standards.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Building and landscape materials are appropriate for the area and the City of Las Vegas.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The development will be subject to inspections, and appropriate measures will be taken to protect the public health, safety, and general welfare.

SDR-17211 - Staff Report Page Seven
November 16, 2006 - Planning Commission Meeting

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 18

ASSEMBLY DISTRICT 13

SENATE DISTRICT 9

NOTICES MAILED 390

APPROVALS 0

PROTESTS 2

**PLANNING & DEVELOPMENT DEPARTMENT****STATEMENT OF FINANCIAL INTEREST**Case Number: **SDR-17211** APN: 165-03-501-003Name of Property Owner: SVS Properties, Ltd.Name of Applicant: SVS Properties, Ltd.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

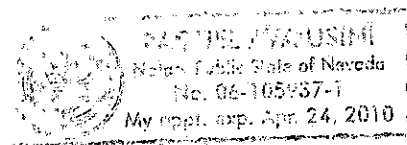
City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: [Signature]Print Name: Samuel Venturi

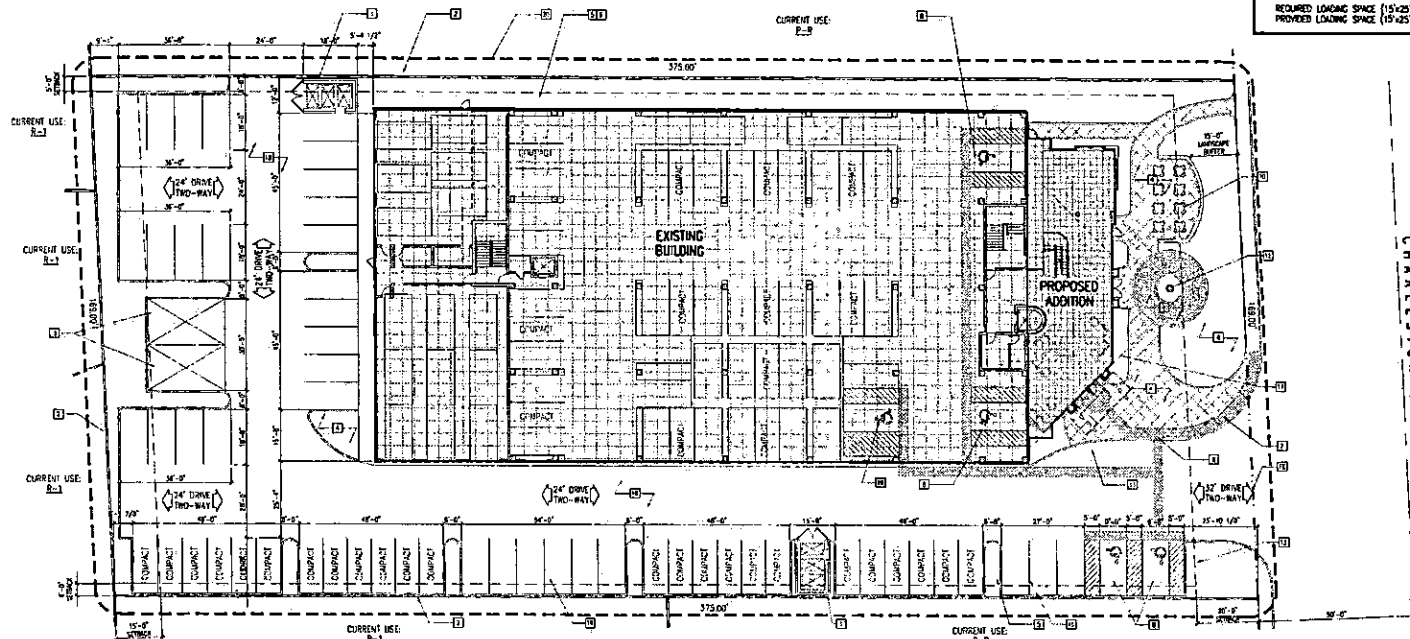
Subscribed and sworn before me

This 27th day of September, 2006[Signature]
Notary Public in and for said County and State

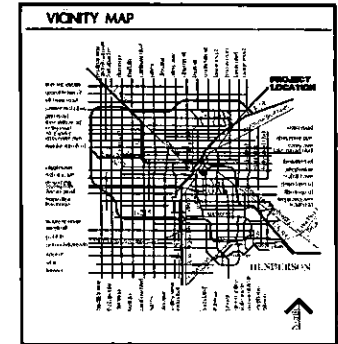
SITE PLAN KEYNOTES

1. NEW TRUCK ENCLOSURE - SEE EXISTING PLAN
2. EXISTING FENCE TO REMAIN
3. EXISTING SPACES PER CHAPTER 18
4. EXISTING PAVES
5. LANDSCAPE AREA
6. REMOVE EXISTING PAVEMENT, REPLACE WITH LANDSCAPE
7. ACCESSIBILITY DRIVE - REFER TO CIVIL
8. ACCESSIBLE PARKING SPACE WITH LANDSCAPED SIDE
9. LANDSCAPED DRIVE - REFER TO CIVIL
10. REMOVE EXISTING SEATING
11. SIDEWALK OFF AREA
12. SIDEWALK LINE
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100. SIDEWALK LINE

PROJECT TYPE:	THREE-STORY OFFICE, GROUND FLOOR IS PARKING GARAGE
PROJECT LOCATION:	700 EAST CHARLESTON BLVD.
JURISDICTION:	CITY OF LAS VEGAS, NEVADA
APN #:	162-03-501-005
ZONING CLASSIFICATION:	P-R
LOT SIZE:	1.46 ACRES
BUILDING AREA:	66,789 SF.
BUILDING COVERED AREA:	26,643 SF.
BUILDING COVERAGE:	66,789/(4,356x1.46) = 105%
BUILDING HEIGHT:	41.5' (55' MAX)
PARKING ANALYSIS, PER CHAPTER 18.10:	
REQUIRED PARKING:	
EXISTING PARKING IMPAIRED	100
NEW OFFICE	3,560/300 = 12
TOTAL:	112
PROVIDED PARKING:	
STANDARD SPACES:	118
ACCESSIBLE SPACES:	5
TOTAL:	123
PARKING SIZE:	
STANDARD SPACE (AT LEAST 300):	9' x 16'
SPACES PROVIDED:	87 = 71%
COMPACT PARKING (UP TO 300):	8' x 16'
SPACES PROVIDED:	38 = 29%
PARKING AISLES:	24' WIDE TYP.
REQUIRED LOADING SPACE (15'x25'):	3
PROVIDED LOADING SPACE (15'x25'):	2



1. SITE PLAN
SCALE: 1/4" = 1'-0"



SDR-17211
REVISED
11/16/06 PC

RECEIVED
OCT 16 2006

PRINCIPAL ARCHITECTURAL STUDIO, INC.

11111 S. LAS VEGAS BLVD., SUITE 100
LAS VEGAS, NV 89143
TEL: 702.735.1111
FAX: 702.735.1112
WWW.PRINCIPALARCHITECTURALSTUDIO.COM

LV CORPORATE CENTER
FOR S V S PROPERTIES LTD LLC

DESIGN REVIEW

SITE PLAN

DATE: 11/16/06

BY: [Signature]

FOR: [Signature]

APP: [Signature]

SCALE: 1/4" = 1'-0"

A1.1



STATION	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
---------	-----------------	-------------	------	---------

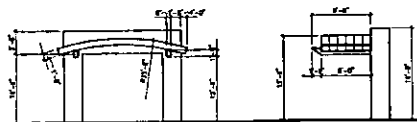
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OCT 16 2006

CHARLESTON BLVD

SDR-17211
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11/16/06 PC

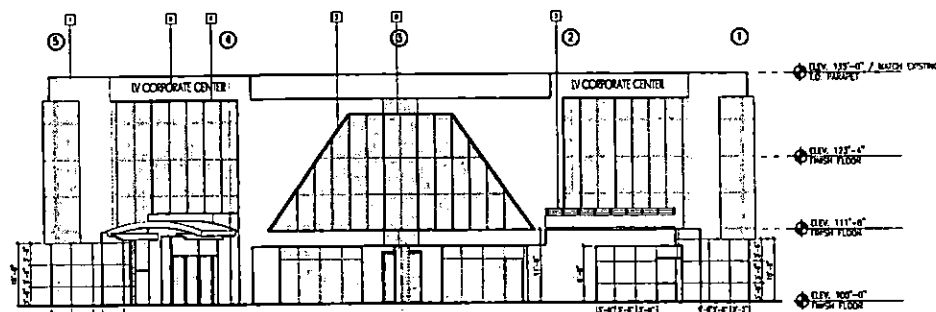
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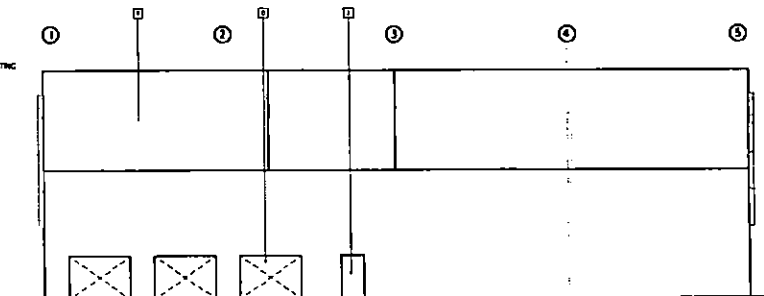
5 MAIN ENTRY ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES

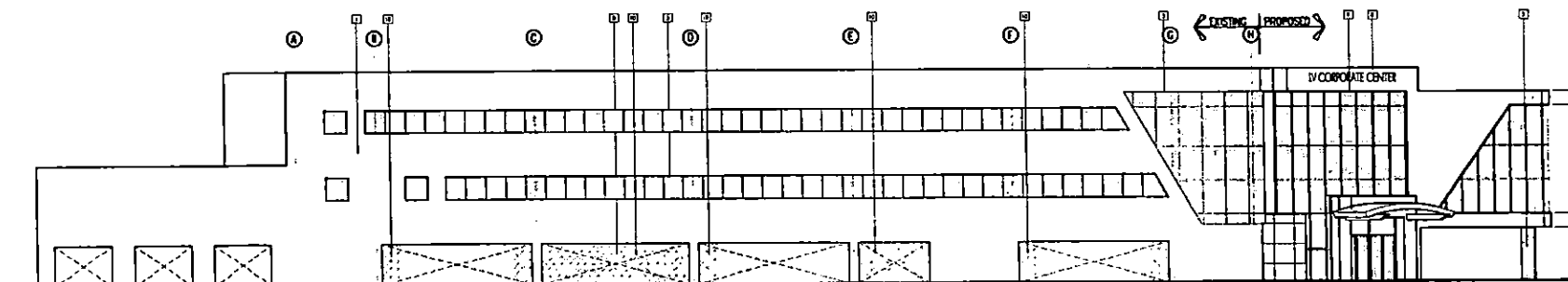
- 1 NEW EXTERIOR WALL/DOOR FRAME - METAL SHOT CASTING WITH STITCH BY NEW FRAMES
- 2 EXISTING NEW GLASS - 4" WIDE SLIGHTLY INCLINED GLASS
- 3 CORNER WALL/DOOR FRAME - METAL SHOT CASTING WITH STITCH BY NEW FRAMES
- 4 NEW ROOF ON FULL FLOOR ON EXISTING ON ROOF FRAMES
- 5 NEW EXTERIOR WALL/DOOR FRAME - METAL SHOT CASTING WITH STITCH BY NEW FRAMES
- 6 CORNER - COORDINATE NEW ELECTRICAL AND NEW CONTRACTOR
- 7 POWERED ROOF NEW DOOR
- 8 POWER CORNER ENTRANCE - EXISTING EXTERIOR WALL AND FRAMES INTO TO CORNER COLUMN
- 9 NEW COLUMN TO SUPPORT NEW SECOND FLOOR AND ROOF
- 10 ROOF EXTERIOR CONSTRUCTION, TOP



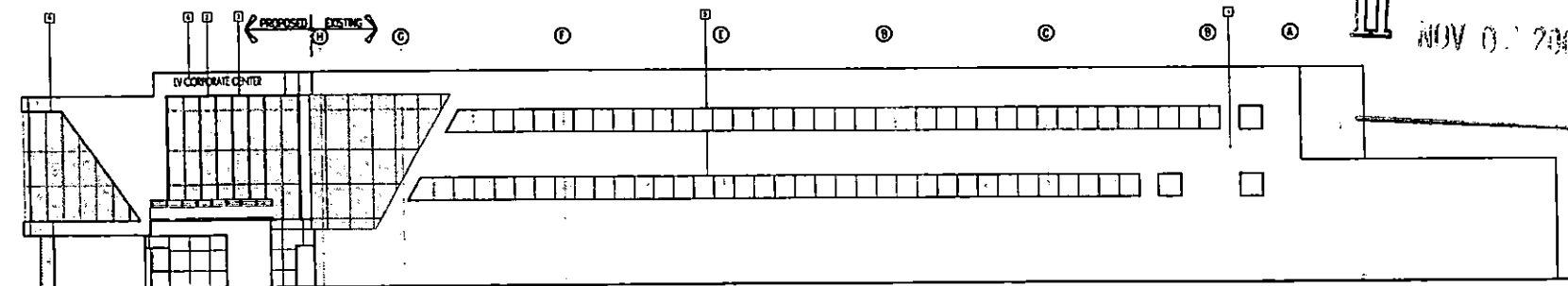
1 NORTH ELEVATION (FACING CHARLESTON)
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PINNACLE ARCHITECTURAL STUDIO, INC.
ARCHITECT
1000 10th Street, Suite 100
Charleston, SC 29401
Phone: 803.733.1111
Fax: 803.733.1112
www.pinnaclearchitect.com

DESIGN REVIEW
LV CORPORATE CENTER
FOR S.V. S PROPERTIES LTD LLC
BUILDING 1 - EXTERIOR ELEVATIONS

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NOV 01 2006

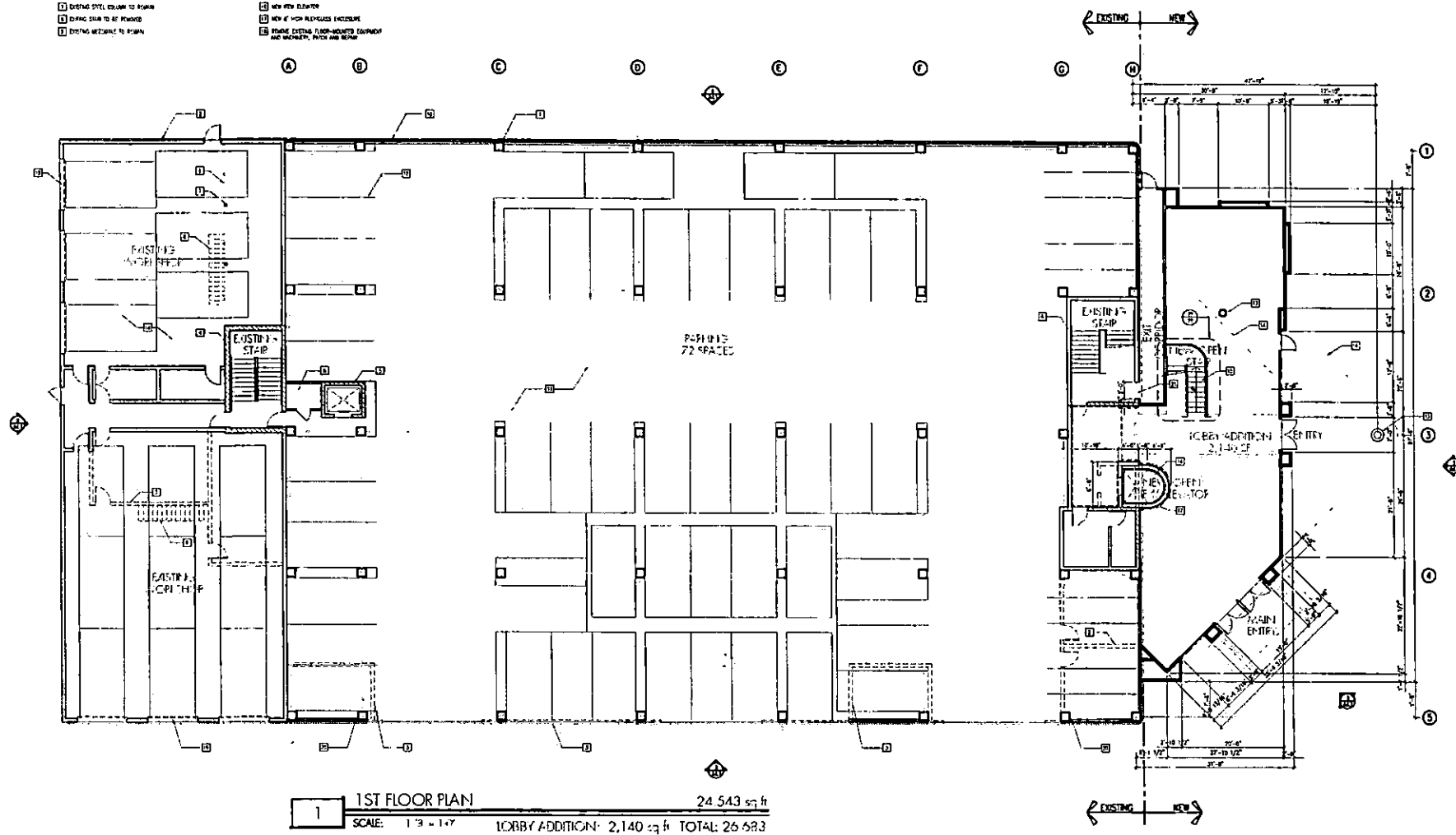
SDR-17211
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A4.1

- 1 EXISTING CONCRETE EXPOSED TO REPAIR
- 2 EXISTING CURB WILL TO REMAIN
- 3 EXPOSED WALK WAYPORT CONSTRUCTION TO BE REPAIRED
- 4 EXISTING SIDEWALK AND DRIVEWAY TO REMAIN
- 5 EXISTING DRIVEWAY AND EXPOSED TO REPAIR
- 6 EXISTING ELEVATOR ELEVATION AND ROOM TO REMAIN
- 7 EXISTING STEEL COLUMN TO REMAIN
- 8 EXISTING CEILING TO BE REPAIRED
- 9 EXISTING WALKWAY TO REMAIN

- 15 EXISTING EXTENSION SHALL BE DEMOL.
- 16 REMOVE ALL EXISTING PAVING STRIPS.
- 2 NEW 4' PAVED PARKING STRIPS.
- 3 NEW CURBLINE - REFER TO SPEC. CURBLINE.
- 4 CASSETT LANE INDICATES CONSTRUCTION ABOVE.
- 5 NEW MEZANINE STAIR.
- 6 NEW NEW ELEVATOR.
- 7 NEW 4' HIGH PLAY-CLASS ENCLOSURE.
- 8 REMOVE EXISTING FLOOR-MOUNTED EQUIPMENT.

- ☐ 29 MINING EXPOSURE WALL-UP EXPOS
☐ 30 RELOCATE EXPOSING ROOF STAIN LINE
☐ 31 CUT NEW 3'-4 1/2" x 4" OPENING IN EXPOSING CURT. WALL



**SDR-17211
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11/16/06 PC**

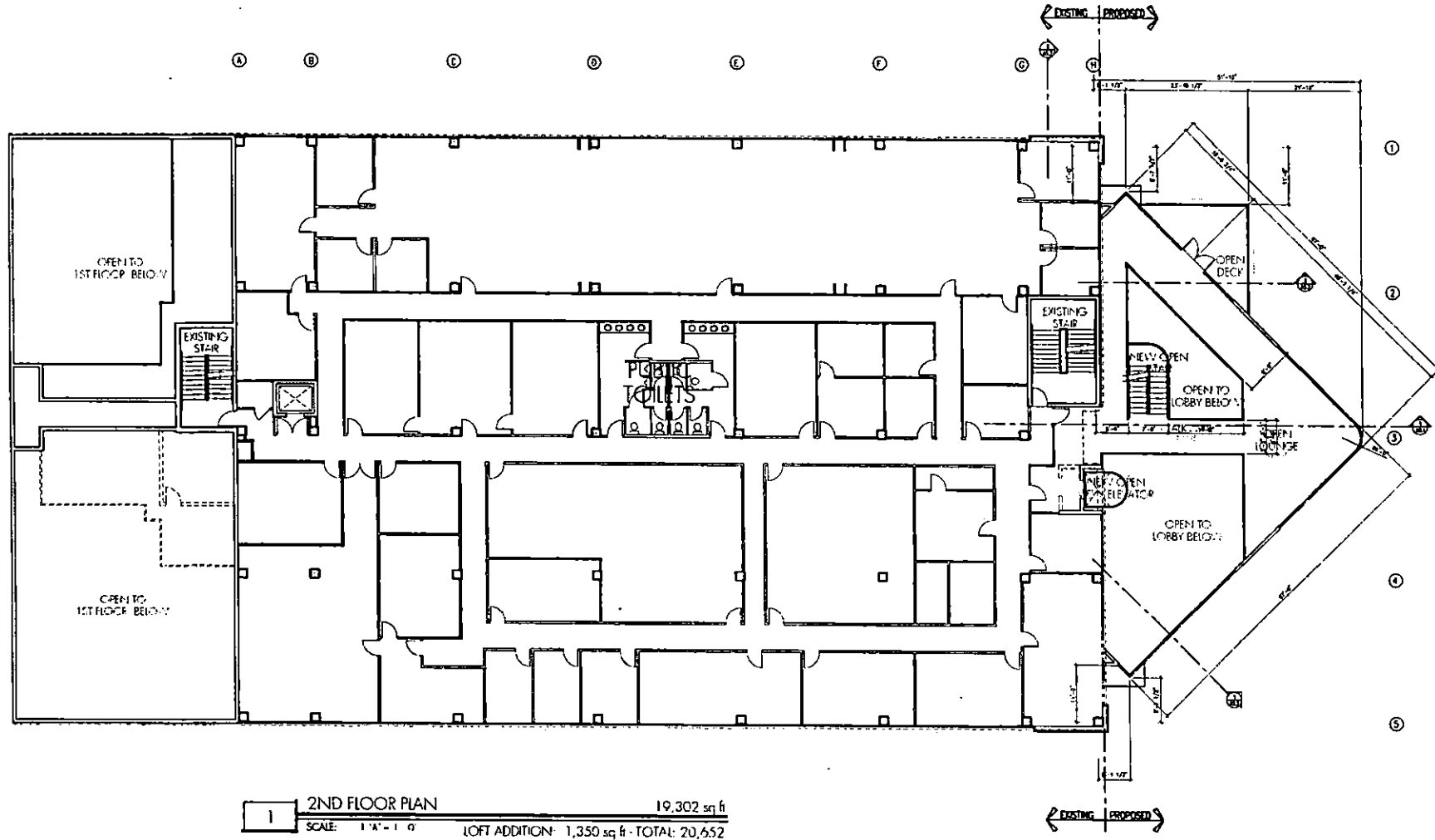
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OCT 16 2006

[illegible]

PINNACLE ARCHITECTURAL STUDIO, INC.
 990 YU RD
 Anaheim
 OWE MILLMAN
 Architect
 OFICE BRACKETT
 Industrial Designer

LV CORPORATE CENTER
FOR S V S PROPERTIES LTD LLC

A2.1



PRELIMINARY PLAN
 C-ADDITION

PINNACLE ARCHITECTURAL STUDIO, INC.
 1000 10th Street, Suite 100
 San Francisco, CA 94103
 (415) 774-1111
 www.pinnaclearchitect.com

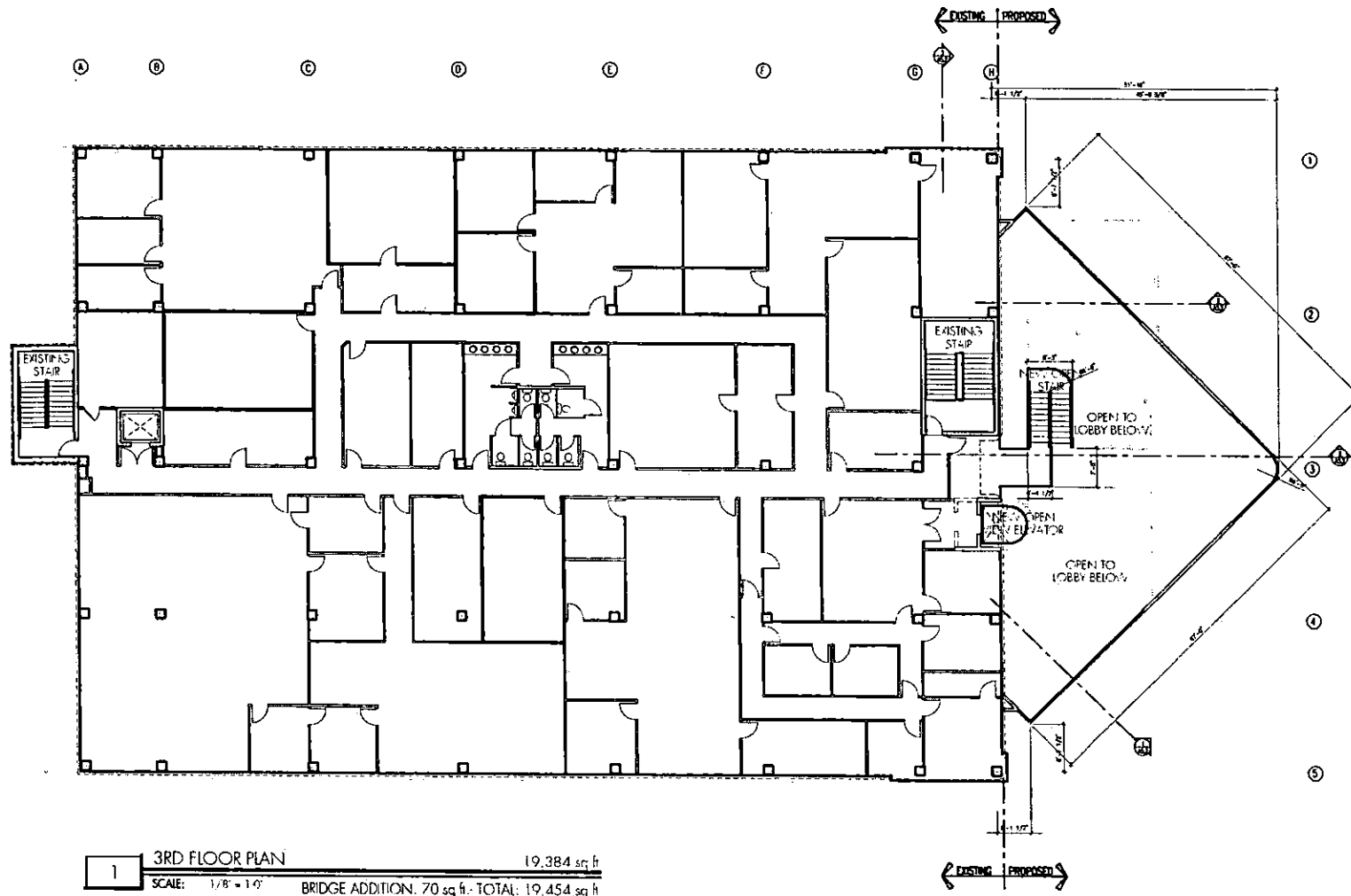
VENTURA OFFICE T1 AND ADDITION
 FOR SAM VENTURA
 DESIGN REVIEW
 SECOND FLOOR PLAN

DATE	11/16/06
BY	SAV
CHECKED	SAV
DATE	11/16/06

DATE	11/16/06
BY	SAV
CHECKED	SAV
DATE	11/16/06

A2.2

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 SDR-17211 SEP 20 2006
 11/16/06 PC



PERFORMING FIRM
NO I.E.A.
CONSTRUCTION

PINNACLE ARCHITECTURAL STUDIO, INC.
 PROJECT NO. 100-000000
 PROJECT NAME: [REDACTED]
 PROJECT ADDRESS: [REDACTED]
 PROJECT CITY: [REDACTED] PROJECT STATE: [REDACTED] PROJECT ZIP: [REDACTED]
 PROJECT PHONE: [REDACTED] PROJECT FAX: [REDACTED]
 PROJECT E-MAIL: [REDACTED]

VENTURA OFFICE T.I. AND ADDITION
 FOR SAM VENTURA
 THIRD FLOOR PLAN

DESIGN REVIEW

DATE: [REDACTED]
 BY: [REDACTED]
 CHECKED: [REDACTED]
 APPROVED: [REDACTED]

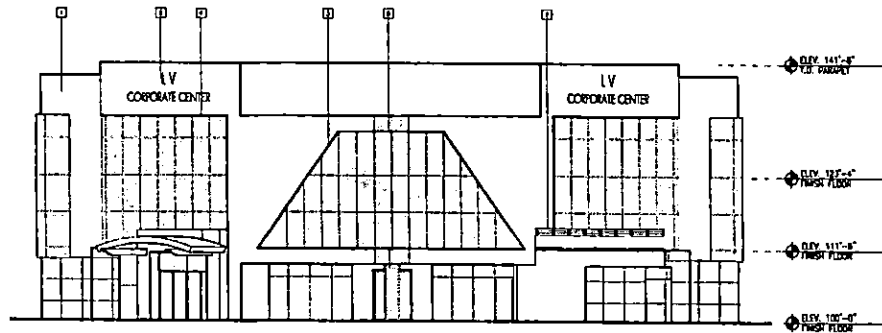
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 SEP 29 2006

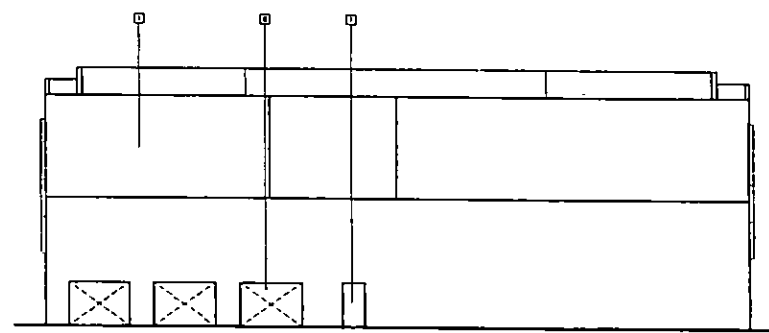
ELEVATION KEYNOTES

- 1 NEW EXTERIOR WALLS FROM EXIST - ROOF TO BASE OF WALL
- 2 EXISTING ROOF CLADDING - 4" WIDE GUTTER SURFACE
- 3 CLADDING WALL/CLADDING SYSTEM
- 4 METAL ROOF ON TILT UPON ON SPECIFIC ON ROOF FRAMING
- 5 NEW CLADDING SYSTEM EXTERIOR - EXISTING EXISTING ROOF AND 4" WIDE GUTTER
- 6 ROOF - EXISTING WITH EXISTING AND NEW CLADDING
- 7 NEW CLADDING WITH ROOF
- 8 NEW CLADDING WITH ROOF - EXISTING EXISTING ROOF AND 4" WIDE GUTTER
- 9 NEW CLADDING WITH ROOF - EXISTING EXISTING ROOF AND 4" WIDE GUTTER



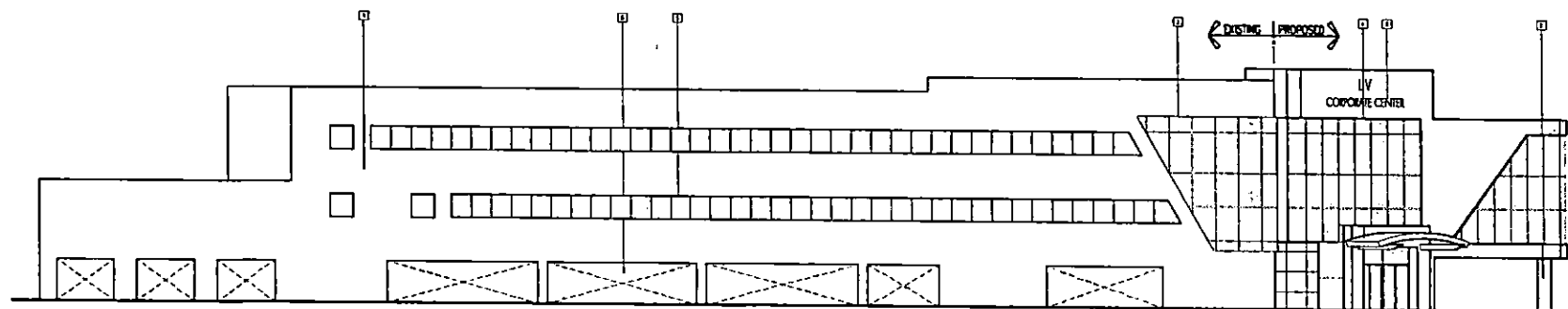
1 NORTH ELEVATION (FACING CHARLESTON)

SCALE: 1/8" = 1'-0"



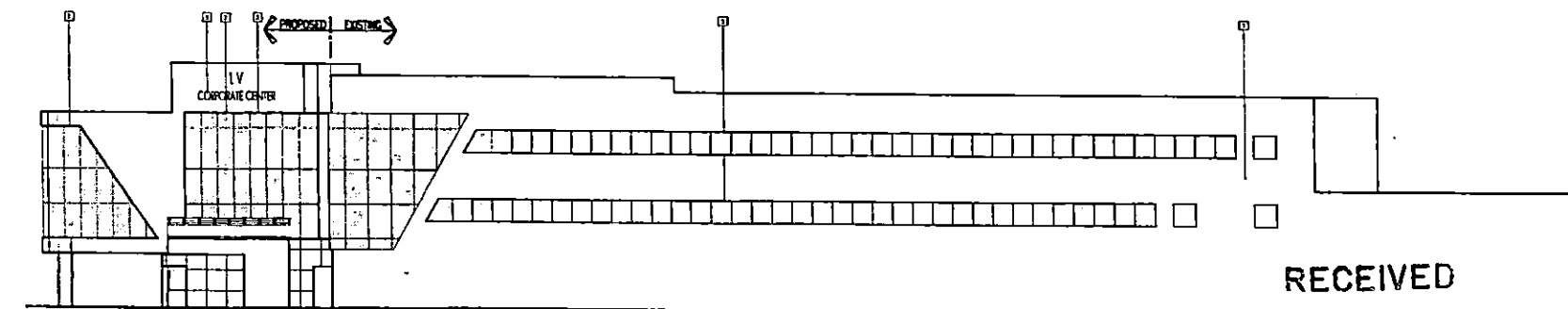
2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"

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SEP 29 2006

ARCHITECTURAL
STUDIO, INC.

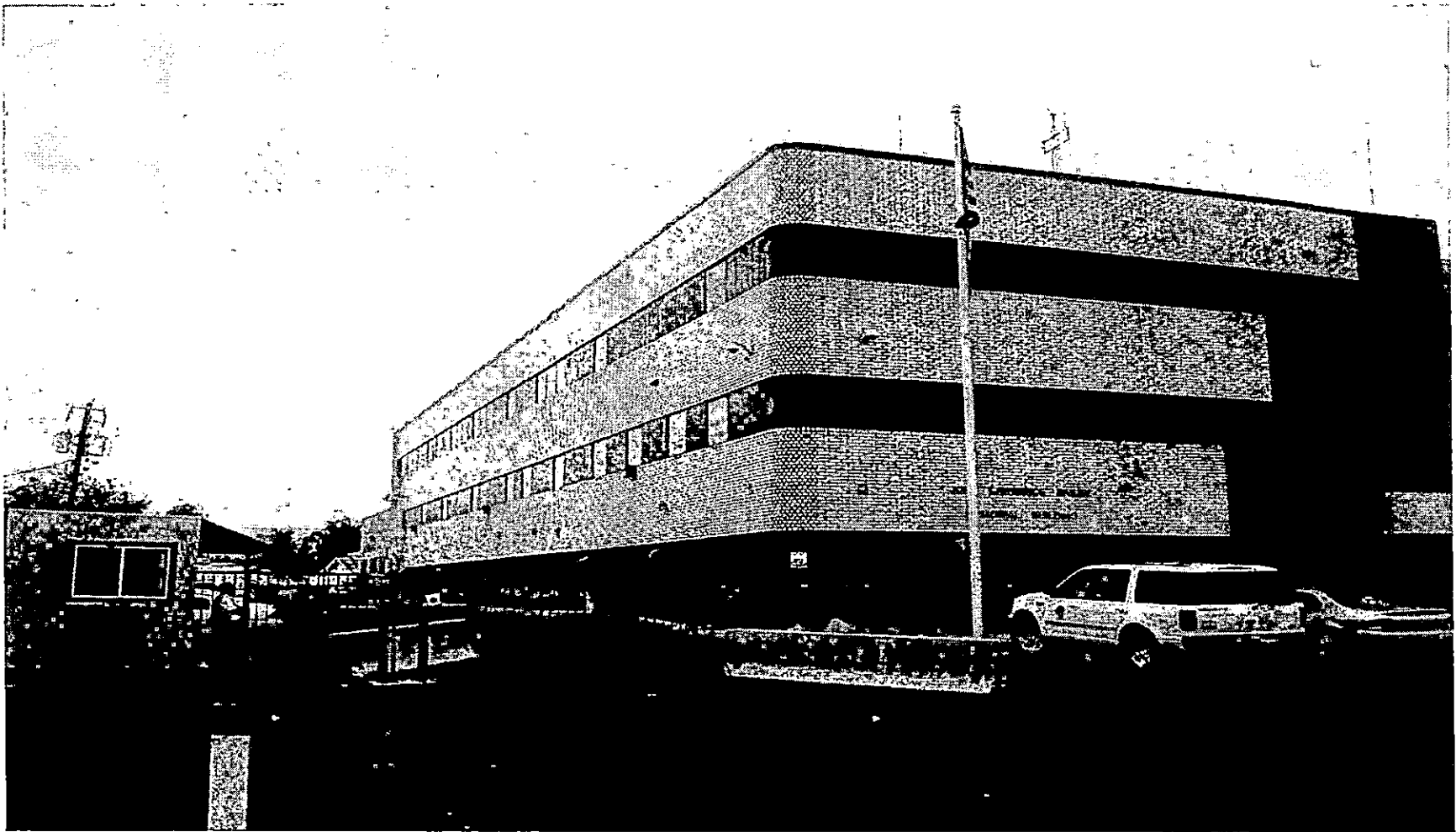
PINNACLE ARCHITECTURAL STUDIO, INC.
CLARK & HARRINGTON
1000 N. 10TH ST.
SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.PINNACLEARCHITECTURALSTUDIO.COM

VENTURA OFFICE T.I. AND ADDITION
FOR SAM VENTURA
DESIGN REVIEW
BUILDING 1 EXTERIOR ELEVATIONS

DATE: 11/16/06
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

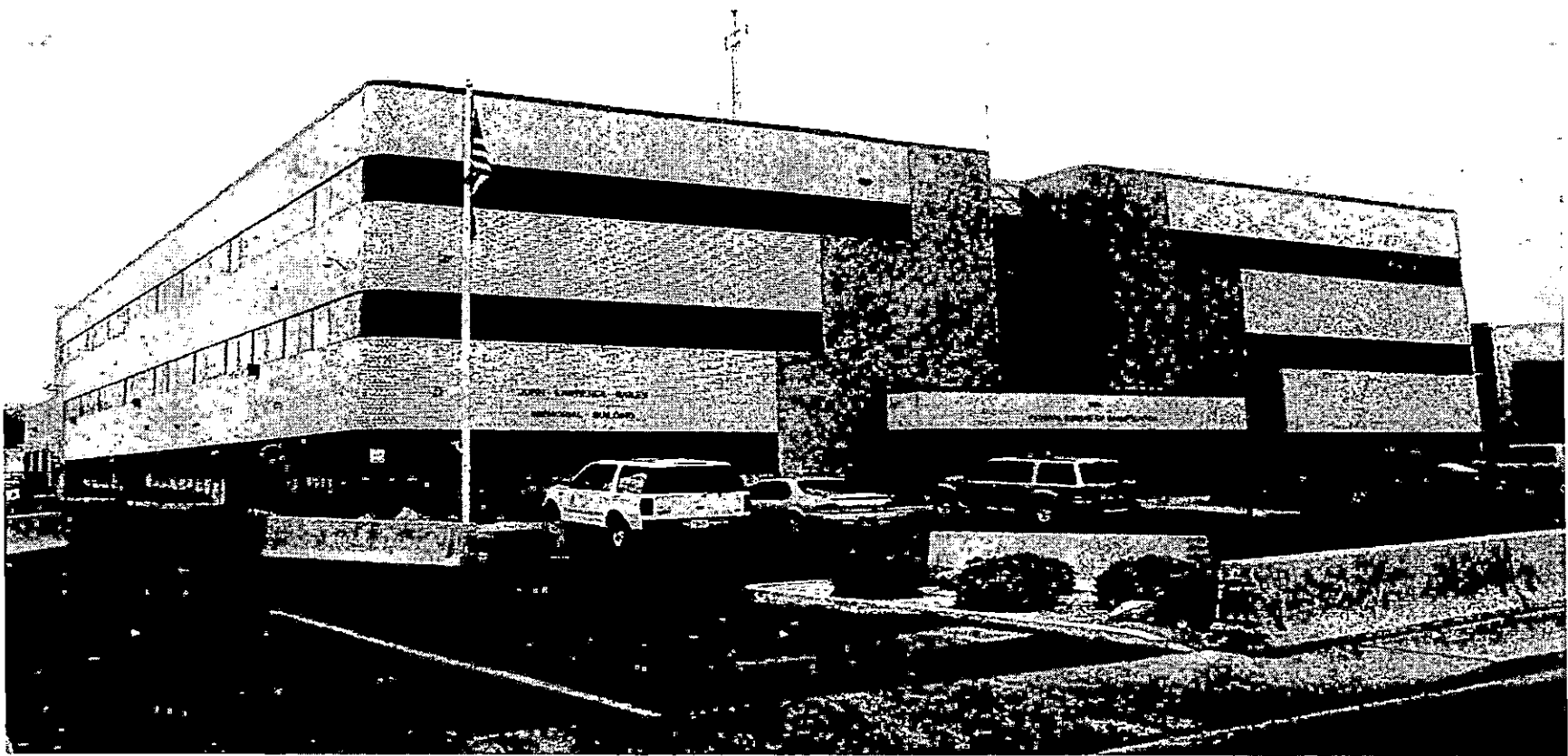
DATE: 11/16/06
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

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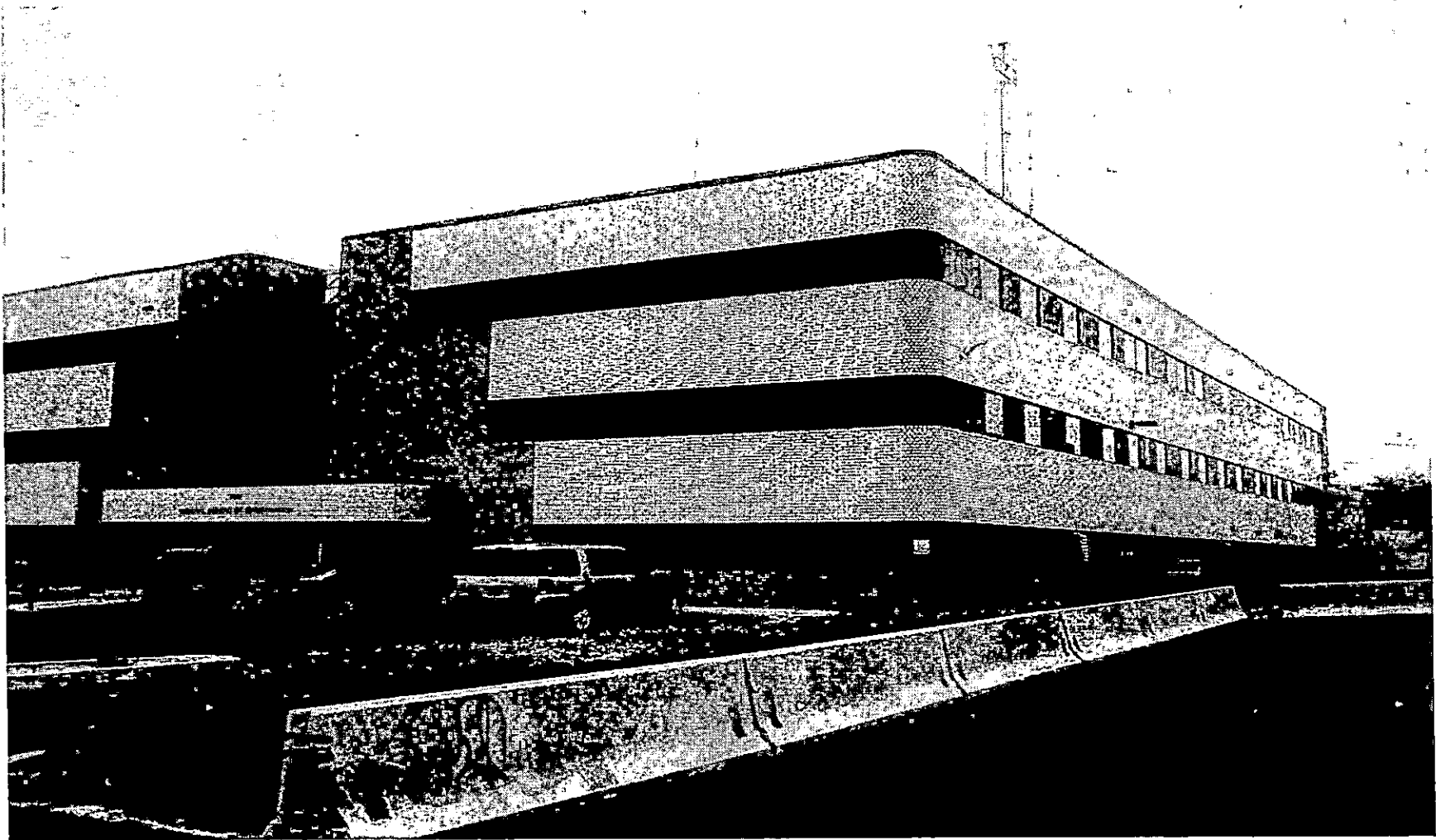
SDR-17211 APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC
700 EAST CHARLESTON BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SDR-17211 APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC
700 EAST CHARLESTON BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SDR-17211 APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC
700 EAST CHARLESTON BOULEVARD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06

November 3, 2006

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

**RE: VENTURA OFFICE AND T.I. AT FORMER F.B.I. BUILDING, 700 EAST
CHARLESTON, APN 165-03-501-003
JUSTIFICATION LETTER FOR APPLICATION OF SITE DEVELOPMENT REVIEW
AND VARIANCE-PARKING**

To Whom It May Concern:

The subject property is an existing office building, occupied since the late 1980s by the Federal Bureau of Investigation. Our client, Mr. Sam Ventura of SVS LLC, has purchased the building and intends to remodel it into Class 'A' office space. The centerpiece of the new construction will be a three-story atrium entry addition. Existing parking in the ground floor garage will remain, and the second and third floors will remain offices, although tenant improvement remodeling is planned. The entire site will be improved, including additional landscaping, particularly at the front along Charleston. Where there is now a parking lot the new plans call for extensive landscape, pedestrian walkways and other amenities. An exterior insulation finish system will be the new exterior, either replacing or covering the existing brick veneer. The existing windows and horizontal bands of metal panels will be replaced with continuous horizontal glazing.

The existing garage and surface parking were designed at 1 space per 400 sq. ft.; the original drawings show that the required parking was 109 spaces. This building qualifies as impaired parking under Title 19; we are therefore required to provide a total of the existing number of spaces plus one space per 300 square feet of added space, or 109 plus 12, for a grand total of 121 required. We are providing 123 spaces.

The 10' wide drive along the west will be completely replaced by landscaping. In addition, we plan to remove the existing planters and add landscape islands at the rate of one island per six parking spaces, to comply with today's more stringent requirements. We request a waiver of the landscape requirements, since we are dealing with existing conditions on all sides.

We believe the substantial improvements in our proposal far outweigh the few shortcomings that are the result of existing conditions. We therefore respectfully request approval of the accompanying site development and variance. Thank you.

Dave Truman
Architect

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NOV 03 2006

SDR-17211
REVISED 11/16/06 PC

Pinnacle Architectural Studio

September 29, 2006

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, NV 89101

**RE: VENTURA OFFICE AND T.I. AT FORMER F.B.I. BUILDING, 700 EAST
CHARLESTON, APN 165-03-501-003
JUSTIFICATION LETTER FOR APPLICATION OF SITE DEVELOPMENT REVIEW
AND VARIANCE-PARKING**

To Whom It May Concern:

The subject property is an existing office building, occupied since the late 1980s by the Federal Bureau of Investigation. Our client, Mr. Sam Ventura of SVS LLC, has purchased the building and intends to remodel it into Class 'A' office space. The centerpiece of the new construction will be a three-story atrium entry addition. Existing parking in the ground floor garage will remain, and the second and third floors will remain offices, although tenant improvement remodeling is planned. The entire site will be improved, including additional landscaping, particularly at the front along Charleston. Where there is now a parking lot the new plans call for extensive landscape, pedestrian walkways and other amenities. An exterior insulation finish system will be the new exterior, either replacing or covering the existing brick veneer. The existing windows and horizontal bands of metal panels will be replaced with continuous horizontal glazing.

The existing garage and surface parking were designed at 1 space per 400 sq. ft.; we are required to design to 300 sq. ft. per space, we must provide additional landscape area, and the structural grid in the parking garage does not allow much room for improving the layout. The original drawings show that the required parking was 109 spaces; by today's code, required parking for the 39,700 sq. ft. of existing office space is 132 spaces. We have excluded the square footage of the new construction; it is and always will be common area, never lease space, so it will not add to the number of occupants. We were also required to add 3 more handicap spaces, one of which is a van space. We have been able, with some creative site planning, to provide 127 spaces, a shortage of only 5 spaces, less than 4%. Three loading spaces are required; we have been able to include two loading spaces, where none were in place before. We therefore request a variance in the number of required parking spaces.

The 10' wide drive along the west will be completely replaced by landscaping. In addition, we plan to remove the existing planters and add landscape islands at the rate of one island per six parking spaces, to comply with today's more stringent requirements. We request a waiver of the landscape requirements, since we are dealing with existing conditions on all sides.

We believe the substantial improvements in our proposal far outweigh the few shortcomings that are the result of existing conditions. We therefore respectfully request approval of the accompanying site development and variance. Thank you.

Dave Truman
Architect

SDR-17211
11/16/06 PC

Pinnacle Architectural Studio

Carman Burney

From: Nora Lares
Sent: Monday, November 06, 2006 8:11 AM
To: Carman Burney
Subject: FW: SDR-17211 neighbor opposition

From: James P. Reza [mailto:jpreza@cox.net]
Sent: Saturday, November 04, 2006 3:58 PM
To: Nora Lares
Subject: SDR-17211 neighbor opposition

Nora:

Please forward this to the appropriate recipient. Thank you!

RE: SDR-17211

Regarding the above-named Site Development Review and its inclusive waiver request, I would like to register my opposition to the granting of this request. Myself and my wife are native Las Vegans. We have lived at 1201 Strong Drive since June 2002, and my mother has lived in a house at 1264 South 9th Street for ten years. We purchased the home from my parents when my father was diagnosed with lung cancer and could no longer work. He passed away several years ago, though my mother -- who has been a Las Vegas resident since 1964 -- will likely live out her days in the home.

I have appeared before the Planning Commission in recent months to register opposition to similar variance requests in the McNeil Estates neighborhood. We deliberately sold our Summerlin home and moved to the center of town in order to live in a more urban environment, but this does not mean that we support variances and waivers of this type. Landscape buffers are important to homeowners because they protect them and their quality of life from commercial encroachment. This includes tangible encroachments such as increased noise, visual changes, privacy concerns, traffic and safety issues, but also intangibles such as preserving a sense of place in the neighborhood.

John S. Park -- the city's first (and perhaps, if things continue the way they have, only) neighborhood designated as historic -- is under relentless attack from all sides, situated as it is in near both Las Vegas and Charleston boulevards. Commercial developers has chipped and gnawed away at the neighborhood and its residents, hoping to eventually break enough of them down so that they give in and abandon the area to investors who might gladly sell out to commercial developers.

We're not ready for that. Please do not allow a precedent to be set. There is plenty of room for the FBI to increase their building size without obtaining a landscape buffer reduction. Please require them construct a building and landscape it in a manner as required by law, that blends in with the neighborhood and is a good neighbor to all of the residents of historic John S. Park.

Thank you,
James P. Reza
702-256-9688
--
JAMES P. REZA
<http://www.jamespreza.com>

Associate Publisher: Vurb Magazine
<http://www.vurbmagazine.com>

Las Vegas Writer/Editor:
Nightlife + Dining + Urban Living

11/6/2006

P

NOTICE OF PUBLIC HEARING

SITE DEVELOPMENT PLAN REVIEW

16203515032
LUCKY YOU TRUST
1248 S 8TH ST
LAS VEGAS NV 89104-1547

Case: SDR-17211

MEETING: PLANNING COMMISSION
DATE: NOVEMBER 16, 2006
TIME: 6:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

OBJECT
TO THIS REQUEST
B

SDR-17211

APPLICANT/OWNER: SVS PROPERTIES, LTD, LLC - REQUEST FOR A SITE DEVELOPMENT PLAN REVIEW FOR A 3,560 SQUARE-FOOT ADDITION TO AN EXISTING OFFICE BUILDING AND A WAIVER TO ALLOW A REDUCTION OF PERIMETER LANDSCAPE BUFFER WIDTH REQUIREMENTS ON 1.46 ACRES AT 700 EAST CHARLESTON BOULEVARD (APN 162-03-501-003), P-R (PROFESSIONAL OFFICE AND PARKING) ZONE, WARD 3 (REESE).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS BEING A PORTION OF THE NORTH HALF (N½) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 3, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file written objections thereto or approval thereof with the Planning and Development Department, Current Planning Division, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on this request may be determined by the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. You may not receive an additional notice for the City Council meeting. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.lasvegasnevada.gov>.



DOUG RANKIN, PLANNING SUPERVISOR
PLANNING AND DEVELOPMENT DEPARTMENT
CURRENT PLANNING DIVISION

SEE LOCATION MAP ON REVERSE SIDE

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

SDR-17259 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Site Development Plan Review FOR THE PROPOSED RENOVATION OF A CITY PARK on a portion of 68 acres at 850 North Mojave Road (APN 139-25-701-002), C-V (Civic) Zone, Ward 3 (Reese).

C.C.: 12/20/06

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location and Aerial Maps
2. Conditions and Staff Report
3. Supporting Documentation
4. Justification Letter
5. Submitted after final agenda – protest letter by John and Cynthia Eastwood

MOTION:

DAVENPORT – APPROVED subject to conditions – UNANIMOUS

To be heard by City Council on 12/20/2006

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

DOUG RANKIN, Planning and Development Department, reported that the application is within the Civic (CV) zone district and development standards are set by the site plan pursuant to Title 19. He recommended approval since the site plan is for a city park which is in conformance to those standards.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 43 – SDR-17259

MINUTES – Continued:

PATRICK BATTE, 400 Stewart Avenue, appeared on behalf of the City of Las Vegas and agreed to all conditions. MR. BATTE stated that the existing four softball fields would become six fields with additional parking and the current adaptive recreation area would be revised with basketball courts. He stated that existing vegetation would remain; however, the old turf would be replaced with new turf. The xeroscape modifications would allow the City to reap extensive rebates from the water authority. There would be a new concession restroom near the Little League fields which would not change the frontage along Washington Avenue and Pecos Road. The park would be fenced to assist City Marshals with patrolling cars the park at night. A 12-foot wide walk/jog path would be provided along the entire site in addition to new fitness equipment.

TODD FARLOW, 240 North Nineteenth Street, appeared to request the details of the layout and MR. BATTE reiterated the plans.

JUAN SANTIAGO, 3025 Brady Avenue, expressed concern about the size of the existing playground and requested that the area be enlarged. MR. BATTE explained that the playground would be resurfaced and renovated with resilient ground covering and sand and include a fabric canopy for shade. He reiterated that the exits would be increased and the roads eliminated which would assist the patrolling of the parking area.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(10:33 – 10:42)

3-2544

CONDITIONS:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan dated, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 43 – SDR-17259

CONDITIONS – Continued:

4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

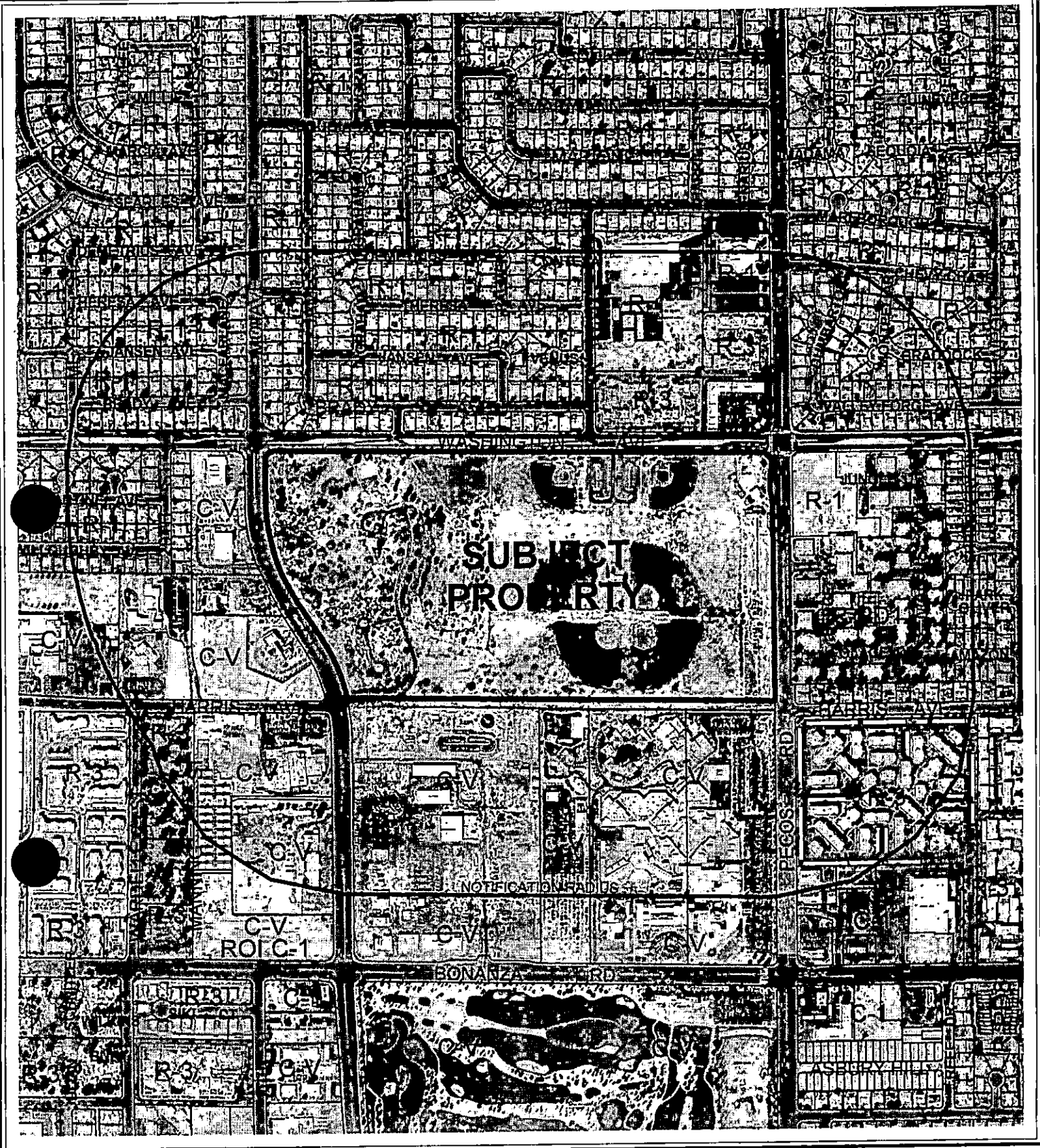
Public Works

11. Coordinate with the Traffic Engineering section of the Department of Public Works to determine appropriate median island modifications necessary to support this project, if any. Comply with the recommendations of the City Traffic Engineer prior to the issuance of any permits or the approval of any construction drawings, whichever may occur first.

PLANNING COMMISSION MEETING OF NOVEMBER 16, 2006
Planning and Development Department
Item 43 – SDR-17259

CONDITIONS – Continued:

12. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. Access to the existing public sewer easement along the southern boundary of this site shall be maintained.
14. An update to the previously approved Drainage Plan and Technical Drainage Study or other information acceptable to the Department of Public Works must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits. Provide and improve all drainageways as recommended in the approved drainage plan/study.



CASE: SDR-17259

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-V (CIVIC)

*City of Las Vegas***AGENDA MEMO****PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: SDR-17259 - APPLICANT/OWNER: CITY OF LAS VEGAS**

**** CONDITIONS ******STAFF RECOMMENDATION: APPROVAL,** subject to:**Planning and Development**

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan dated, landscape plan, and building elevations, date stamped 10/02/06, except as amended by conditions herein.
3. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
4. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
5. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

JM

SDR-17259 - Conditions Page Two
November 16, 2006 - Planning Commission Meeting

8. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

11. Coordinate with the Traffic Engineering section of the Department of Public Works to determine appropriate median island modifications necessary to support this project, if any. Comply with the recommendations of the City Traffic Engineer prior to the issuance of any permits or the approval of any construction drawings, whichever may occur first.
12. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. Access to the existing public sewer easement along the southern boundary of this site shall be maintained.
14. An update to the previously approved Drainage Plan and Technical Drainage Study or other information acceptable to the Department of Public Works must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits. Provide and improve all drainageways as recommended in the approved drainage plan/study.

SDR-17259 - Staff Report Page One
November 16, 2006 - Planning Commission Meeting

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for a Site Development Plan Review for the proposed renovation of a city park on a portion of 68 acres at 850 North Mojave Road. The site plan depicts two parts, a renovation of a 38 acre portion of the existing park and the development of the remaining 30 acres for a ballpark complex.

The ballpark complex portion includes six lighted ball fields with themed replica outfield walls patterned after major league fields with covered dugouts, synthetic turf and fixed stadium seating. In the center of the six ball fields, the site plan depicts two elevated club concession approximately 7,200 square feet in size that will house a sit down dining area, kitchen, bar, concession counter area, restrooms, and related storage. In addition, the ballpark complex will include a 2,700 square-foot administration/office building, eight batting cages, a tot play area, a 2,000 square feet maintenance building, an indoor multi-purpose/sport pavilion approximately 25,000 square feet in size and parking.

The renovation of the 38 acre existing portion of the park will include expanding, reconfiguring and providing new lighted parking areas, an AC paved adaptive recreation area; three lighted, prefabricated, group picnic structures; a performance event area for the show mobile; perimeter walking path, lighted skate park; two soccer fields; upgraded play tot lot area surfacing; renovation of an existing restroom building, new pathway lighting and renovated turf and irrigation and perimeter fencing.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/10/63	City Council approves zoned change from R-E (Residential Estates) to C-V (Civic) (Z-52-63). Planning Commission recommended approval.
06/24/04	Planning Commission approved a request for approval of a Site Development Plan Review (SDR-4453) for a community park swimming pool on 68 acres at the southwest corner of Pecos Road and Washington Avenue. The approval was final action.
<i>Related Building Permits/Business Licenses</i>	
No building permits pertain to this site.	
<i>Pre-Application Meeting</i>	
Month/date/year	Description
09/22/06	Site plan review requirements in C-V (Civic) Zoning were discussed. Setbacks, height, and lot coverage will be established upon approval of the site plan.
<i>Neighborhood Meeting</i>	
A neighborhood was not held, nor was one required.	

JM

SDR-17259 - Staff Report Page Two
November 16, 2006 - Planning Commission Meeting

Details of Application Request	
Site Area	
Net Acres	68.0

Surrounding Property	Existing Land Use	Planned Land Use	Existing Zoning
Subject Property	Freedom Park	PR-OS (Parks/Recreation/Open Space)	C-V (Civic)
North	Single Family Residential, Medium Density Residential, Strip Commercial, Mini-mart	L (Low Density Residential), M (Medium Density Residential), SC (Service Commercial)	R-1 (Single Family Residential), R-3 (Medium Density Residential), C-1 (Limited Commercial)
South	City of Las Vegas water processing facility, Clark County Family Court Campus	PF (Public Facilities)	C-V (Civic)
East	Undeveloped, Condominiums, Single Family Residential	SC (Service Commercial) ML (Medium Low Density Residential) L (Low Density Residential)	R-1 (Single Family Residential) R-PD12 (Residential Planned Development - 12 Units Per Acre)
West	Boys and Girls Clubs of Nevada, Metro Police substation, Las Vegas Fire and Rescue Training Center	PF (Public Facilities)	C-V (Civic)

Special Districts/Zones	Yes	No	Compliance
Special Area Plan		X	Y
Special Purpose and Overlay Districts		X	Y
Trails	X		Y
Rural Preservation Overlay District		X	Y
Development Impact Notification Assessment		X	Y
Project of Regional Significance		X	Y

Trails: An existing multi-use trail runs along the eastern perimeter of the property.

SDR-17259 - Staff Report Page Three
November 16, 2006 - Planning Commission Meeting

DEVELOPMENT STANDARDS

Per Title 19.06

Standard	Provided	Compliance
Setbacks • Front • Side • Rear	810 Feet 245 Feet 75 Feet	Y
Min. Distance Between Buildings	10 Feet	Y
Max. Building Height	40.75 Feet	Y
Trash Enclosure	Screened	Y
Mech. Equipment	Screened	Y

Please note the applicable code section here (Title 19.12)

Standards	Provided	Compliance
Parking Area	1 Tree/ per 6 Spaces	Y
Buffer: Min. Trees	15 Feet	Y

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Parking Ratio	Required		Provided		Compliance
			Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Community Recreational Facility, Public	45,022	1 Space / 200 SF GFA	225	7	1,107	42	Y
SubTotal			225	7	1,107	42	Y
TOTAL			225		1,107		Y

SDR-17259 - Staff Report Page Four
November 16, 2006 - Planning Commission Meeting

ANALYSIS

- **Zoning**

The proposed project is consistent with the C-V (Civic) zoning district and the PR-OS (Parks/Recreation/Open Space) General Plan land use designation.

- **Site Plan**

The site plan depicts two parts, a renovation of a 38 acre portion of the existing park and the development of the remaining 30 acres for a ballpark complex.

The ballpark complex portion includes six lighted ball fields with themed replica outfield walls patterned after major league fields with covered dugouts, synthetic turf and fixed stadium seating. In the center of the six ball fields, the site plan depicts two elevated club concession approximately 7,200 square feet in size that will house a sit down dining area, kitchen, bar, concession counter area, restrooms, and related storage. In addition, the ballpark complex will include a 2,700 square-foot administration/office building, eight batting cages, a tot play area, a 2,000 square feet maintenance building, an indoor multi-purpose/sport pavilion approximately 25,000 square feet in size and parking.

The renovation of the 38 acre existing portion of the park will include expanding, reconfiguring and providing new lighted parking areas, an AC paved adaptive recreation area; three lighted, prefabricated, group picnic structures; a performance event area for the show mobile; perimeter walking path, lighted skate park; two soccer fields; upgraded play tot lot area surfacing; renovation of an existing restroom building, new pathway lighting and renovated turf and irrigation and perimeter fencing.

In their justification letter, the applicant expressed that the new swim complex off of Washington Boulevard will be protected and accessible for public use during construction as part of the overall Master Plan of the park. The two existing Little League fields will also be maintained operational during construction and considered for minor upgrades during the off-season. As well, a new restroom building will be added adjacent to the fields.

- **Parking**

The subject property exceeds current parking standards per Title 19.10, providing 1,107 parking stalls and 42 handicap accessible stalls where 225 are required. However, development in the C-V (Civic) district is not subject the automatic application of Title 19 development standards. Rather, parking standards are determined administratively by the site plan.

SDR-17259 - Staff Report Page Five
November 16, 2006 - Planning Commission Meeting

- Landscape Plan

As this parcel is designated C-V (Civic) in the General Plan, landscaping is established upon approval of the site plan. These are maintained by the Department of Field Operations as part of the overall landscaping of Freedom Park.

As mentioned above, the subject proposal is not automatically subject to the strict application of Title 19 development standards. The landscape plan depicts the parking lots populated with Chitalpa and Moraine Honey Locust Trees while the ball park area indicates Green Palo Verde and Eucalyptus Trees. With regard to landscaping, the site meets or exceeds any analogous requirements for other, similar zones.

- Elevation

The Elevation plans depict four major buildings on the site. The exterior of the two 6,375 square-foot Stadium club buildings reveal a desert base "Sahara" stucco color with brown brick pillars, accented by custom fabricated black steel trusses at a height of 19 feet 10 inches. The elevation for the proposed 4,040 square-foot administration building indicates a brick and stucco exterior with a height of 18 feet 10 inches. The 2,000 square foot maintenance building is composed of metal roof panels and stands at a height of 19 feet 6 inches. 25,084 square foot. The 24,084 square foot multi-purpose/pavilion shows a brick and stucco exterior with a "Teal Green" metal roof at a height of approximately 41 feet.

- Sign Standards

Monument sign near the corner of Mojave Road and Washington Avenue will be the typical Parks Department monument sign found at parks throughout the City. Project descriptive letters are to be designed into the front leading entry fascia.

The Big League Dreams entry sign will be located at the northern entrance off of Washington Avenue. The proposed sign will be six feet three and five eighth inches in height and 27 feet in width, including posts. The sign will read "Las Vegas Sports Park" in large letters above the City of Las Vegas seal and address moniker.

These signs will be subject to Title 19.14.060(C) 4 and 5 [Permitted Signs in the C-V (Civic) Zoning Districts].

- Waivers

Waivers have not been requested for this application, nor are any required.

FINDINGS

1. **"The proposed development is compatible with adjacent development in the area;"**

The areas to the west and south are C-V (Civic) zoned and are the sites of several existing public facilities. To the north and east are multi-family and single-family residential, with some commercial areas at Washington and Pecos Road. The design and function of the proposed development makes for a seamless fit with these areas.

2. **"The proposed development is consistent with the General Plan, Title 19, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

As this parcel is designated C-V (Civic) in the General Plan, design standards, landscape, and other standards are established upon approval of the site plan. This development is consistent with the design standards required of comparable facilities in public facility zoned areas. Landscape buffering between the site and streets match those of the surrounding area.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

Freedom Park is a neighborhood, community and regional park, serving residents within an 8-mile radius. It is the largest park in the City's park system, and is heavily used. The proposed park will be served mainly by Washington Avenue and Pecos Road, both of which are major arterials (100 foot right-of-ways). Main site access will be via Washington Avenue. Site access and circulation will not negatively impact adjacent roadways or neighborhood traffic.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

Building materials are standard for the area and the City. Landscaping conforms to low-water-usage standards: plants and groundcover match those of newer nearby developments.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

This new ballpark addition has been designed to be a pleasant, visually pleasing, usable public space. This project will be harmonious and compatible with surrounding residential, commercial and civic properties.

SDR-17259 - Staff Report Page Seven
November 16, 2006 - Planning Commission Meeting

6. "Appropriate measures are taken to secure and protect the public health, safety and general welfare."

The proposed development is subject to the International Building Code, and therefore the development will not compromise the public health, safety or welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

10

ASSEMBLY DISTRICT 28

SENATE DISTRICT 10

NOTICES MAILED 631

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-17259** APN: 129-25-701-002
Name of Property Owner: City of Las Vegas
Name of Applicant: City of Las Vegas

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners or an officer of their corporation or limited liability company?

☐ Yes☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

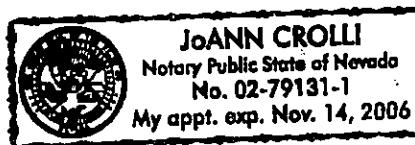
Signature of Property Owner: Robin Yorkum

Print Name: Robin Yorkum

Subscribed and sworn before me

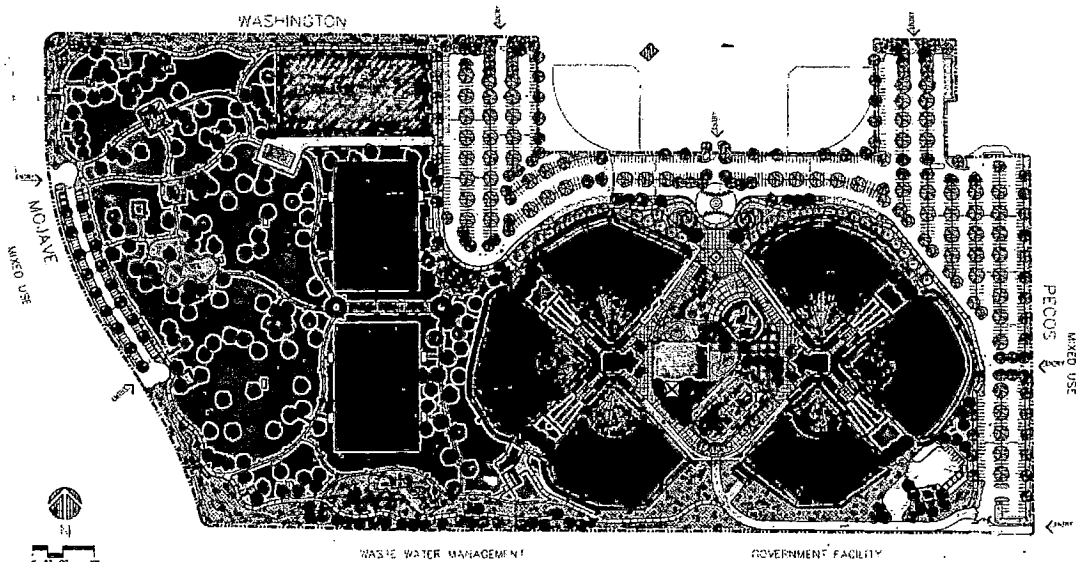
This 31st day of August, 2006

JoAnn Crolli
Notary Public in and for said County and State
County of Clark
State of Nevada.



MINER USE

WASHINGTON



WASTE WATER MANAGEMENT

GOVERNMENT FACILITY

PLAN PALETTE

TREES

SYMBOL	SYMBOLICAL NAME	COMMON NAME	CROWN SIZE	DBH 2-25	EXPOSED STIPPLES
	DESERT TREE	N/A	4-6	1-2	N/A
	GREEN PALO VERDE	GREEN PALO VERDE	10-15	3-4	DES. FLOOD
	DESERT ALLON	DESERT ALLON	10-20	2-4	DES. DRAIN
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED

S-LBS

FOR WATER MANAGEMENT LANDSCAPE AREA

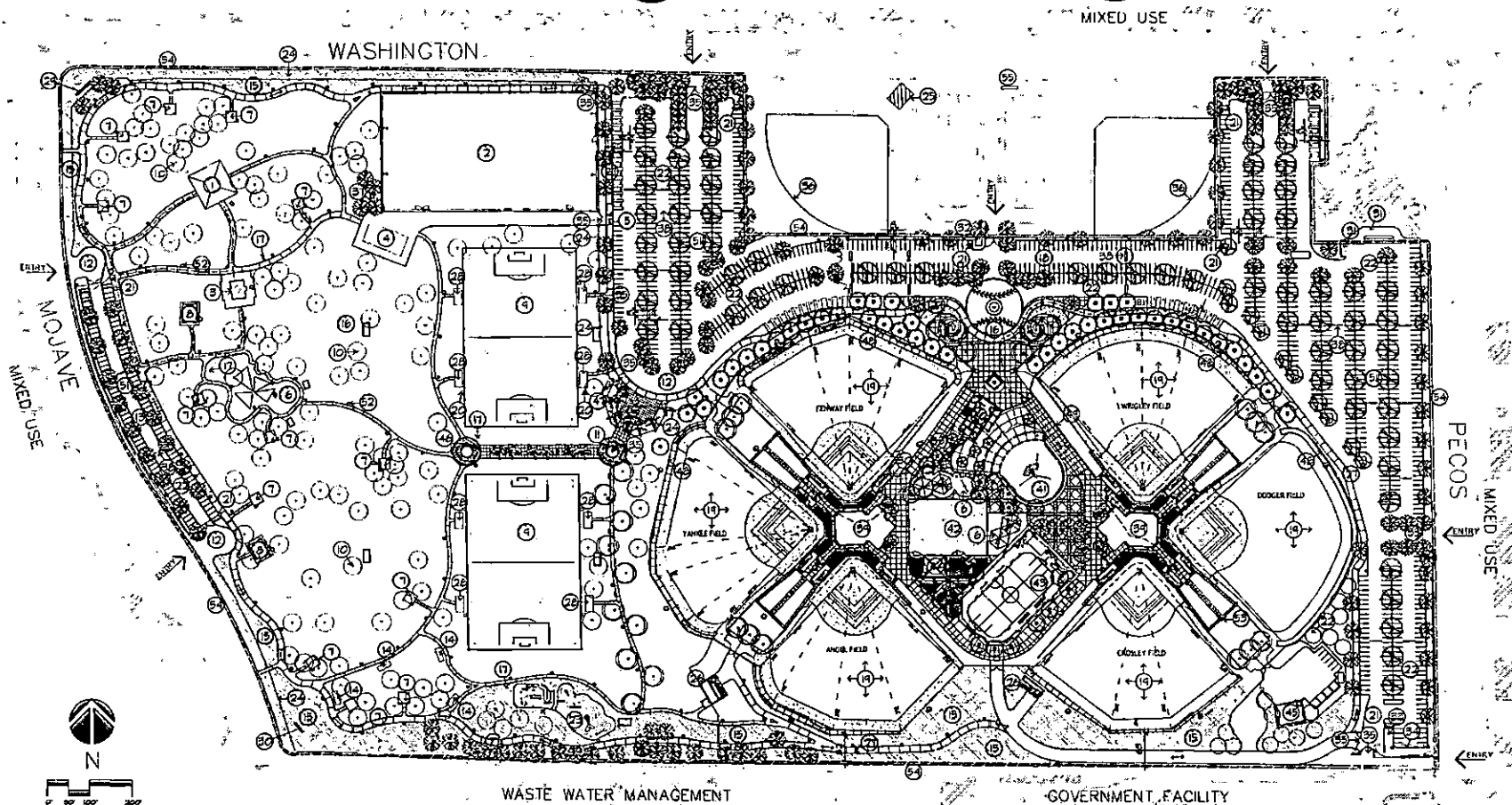
SYMBOL	SYMBOLICAL NAME	COMMON NAME	CROWN SIZE	DBH 2-25	EXPOSED STIPPLES
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED
	SILVER CHOLLA	SILVER CHOLLA	10-20	2-4	EXPOSED

SDR-17259
11/16/06 PC

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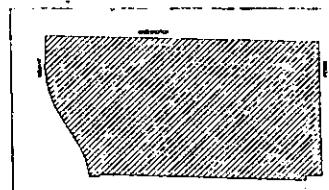
LEGEND:

- | | | | |
|--|--|--|--|
| (1) SHADE SHELTER (100+ PEOPLE WITH 11 TABLES) | (17) DRINKING FOUNTAIN | (32) RELOCATE EXISTING HEATHER STATION | (48) 70' HIGH SAFETY NETTING |
| (2) REFURBISHED ADAPTIVE RECREATION AREA WITH 4 BASKETBALL HOOPS | (18) 1021 PARKING SPACES, 30 HANDICAP SPACES | (33) EXISTING CELL TOWER, PROTECT IN PLACE | (49) 20' HIGH SAFETY NETTING |
| (3) REFURBISHED RESTROOM | (19) BIG LEAGUE DREAMS | (34) NEW ROAD ALIGNMENT PER CIVIL | (50) 10' HIGH SAFETY OVERTHROW NETTING (DUGOUT ONLY) |
| (4) SHOW MOBILE | (20) FULL BOX, TYP | (35) GATE PER CITY STANDARDS | (51) 20' HIGH LAMP POLE |
| (5) BILLARDS, TYP | (21) TRASH ENCLOSURE | (36) 20' HIGH NEW SAFETY FENCE | (52) 15' HIGH LAMP POLE |
| (6) PLAYGROUND EQUIPMENT | (22) NEW TREES, TYP. REFER TO SHEET L-2 | (37) DEDICATION MONUMENT | (53) 20' HIGH LAMP POLE |
| (7) PICNIC TABLE AND BARBECUE-12 TOTAL | (23) NEW SKATEPARK | (38) SPEED BUMP, TYP | (54) PROPERTY LINE |
| (8) SHADE SHELTER (50+ PEOPLE WITH 4 TABLES) - 2 TOTAL | (24) 6' HIGH NEW FENCE | (39) STADIUM CLUB (2515 SQ FT) | (55) BIG LEAGUE DREAMS ENTRY SIGN |
| (9) NEW 220' x 360' SOCCER FIELD "TUFF SPORT" TURF | (25) CONCESSION STAND RESTROOM | (40) ADMINISTRATION BLDG (4040 SQ FT) | — ADA PATH OF TRAVEL — |
| (10) EXISTING TREES, TYP. REFER TO SHEET L-2 | (26) SWITCH GEAR | (41) BATTING CAGE (12630 SQ FT) | |
| (11) MIA MONUMENT & FLAGPOLE | (27) 12' WIDE JOGGING/WALKING PATH WITH DISTANCE MARKERS | (42) CORPORATE FUNCTION AREA (19545 SQ FT) | |
| (12) DROP-OFF AREA | (28) 15'x30' CONC. PAD | (43) FIELD HOUSE (25084 SQ FT) | |
| (13) NEW PARKING LOT (36 STANDARD STALLS, 4 HANDICAP) | (29) NEW MONUMENT SIGN | (44) TENT STRUCTURE (1148 SQ FT) | |
| (14) NEW PAR-COURSE EQUIPMENT | (30) EXISTING MONUMENT SIGN | (45) MAINTENANCE BLDG (2000 SQ FT) | |
| (15) XERISCAPE BUFFER | (31) EXISTING DROP-OFF/AND TRASH ENCLOSURE | (46) POOLING PLAZA | |
| (16) MAIN ENTRY TO SPORTS COMPLEX | | (47) CORPORATE CHALLENGE PLAQUE | |

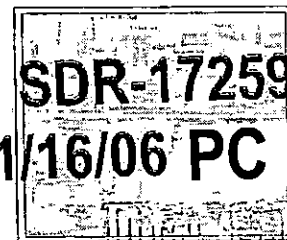
NOTE:
ALL ELECTRICAL AND IRRIGATION TO BE PROTECTED IN PLACE.

PARKING STALL TOTALS
9149 PARKING STALLS: 1107 ACCESSIBLE PARKING STALLS, 42 (9'x20' W/ 5' SHARED WALK 1 5' SINGLE WALK)

PROPERTY SIZE
234,145 SQ. FT.
APPROXIMATELY 5 1/2 ACRES



KEY MAP



VICINITY MAP

OCT 02 2006

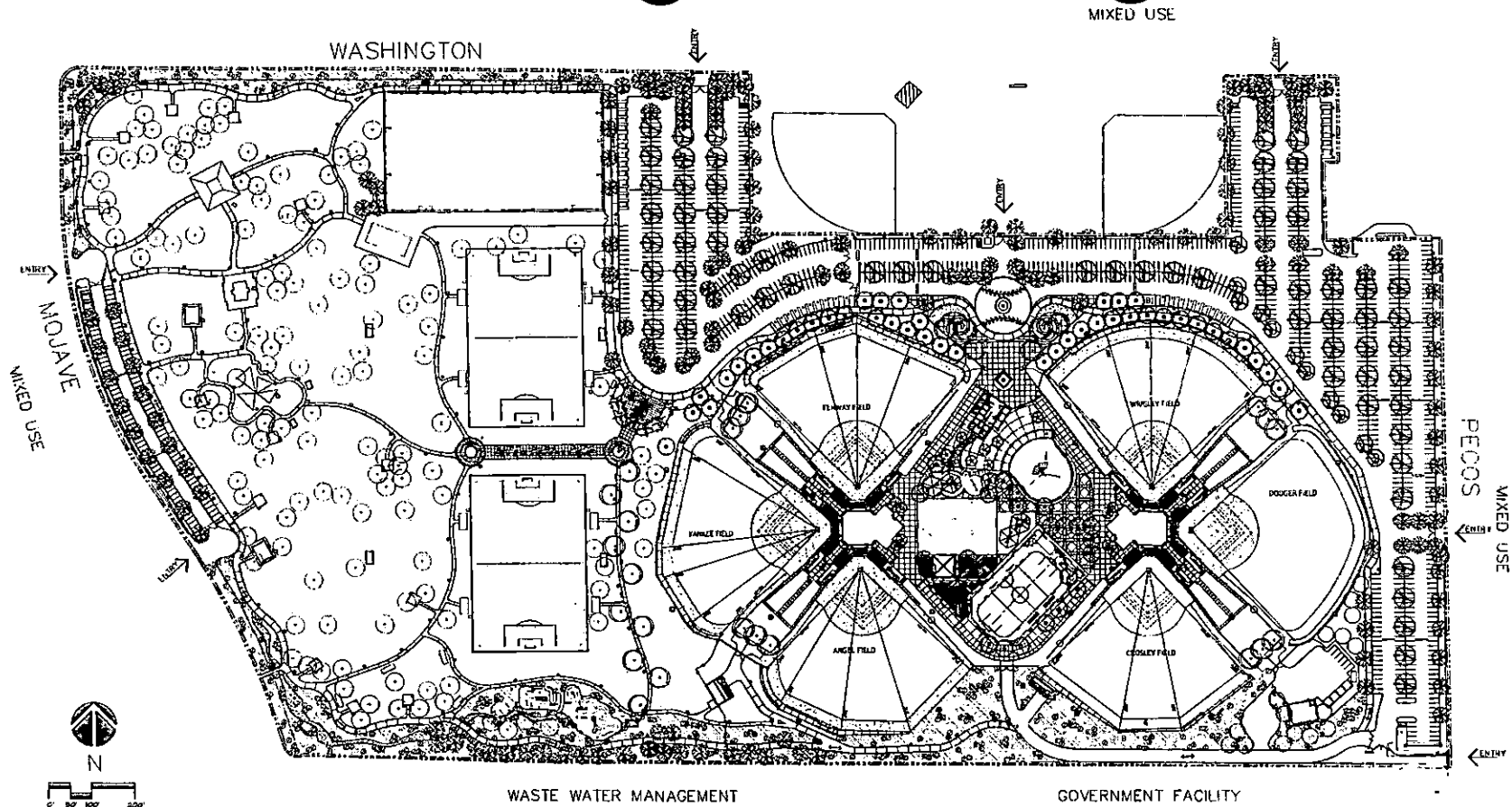


LAS VEGAS FREEDOM PARK RENOVATION
SITE PLAN

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

LAS VEGAS FREEDOM PARK RENOVATION	
DATE: 11/16/06	BY: [Signature]
SCALE: 1"=100'	PROJECT NO: 17259
SHEET NO: 11/16/06 PC	

L-1
REVISED 8/27/03



PLANT PALETTE:

TREES:

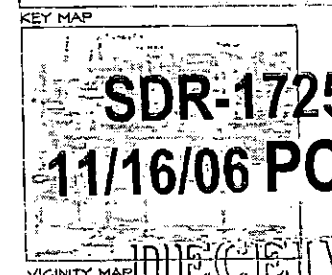
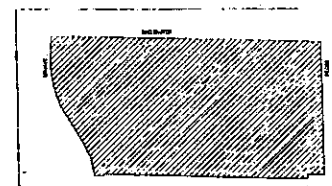
SYMBOL	BOTANICAL NAME	COMMON NAME	GROWTH SIZE	BOX SIZE	EVERGREEN/DECIDUOUS
	EXISTING TREE	N/A	N/A	N/A	N/A
	CERCIDIUM DESERT MUSSUM	GREEN PALO VERDE	UP TO 20'	24"	DECIDUOUS
	CHILOPSIS LINEARIS	DESERT NELLOM	UP TO 25'	24"	DECIDUOUS
	GLEDITSIA TRIACANTHOS	MORAINES HONEY LOCUST	UP TO 30'	36"	EVERGREEN
	CHITALPA X TASHKENTENSIS	CHITALPA	UP TO 30'	24"	DECIDUOUS
	CERCIS CANADENSIS	REDBUD FOREST PANSY	UP TO 20'	36"	DECIDUOUS
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	N/A	30" DT	N/A
	EUCALYPTUS FORMANII	EUCALYPTUS	UP TO 30'	24"	EVERGREEN

TURF:

WATER SAVER FESCUE MIX OR EQUAL "TURF SPORT"

SHRUBS:

PERIMETER XERISCAPE LANDSCAPE AREA		ACCENT DECOMPOSED GRANITE			
TYPE	BOTANICAL NAME	COMMON NAME	GROWTH SIZE	BOX SIZE	EVERGREEN/DECIDUOUS
ACCENTS	NEPERALOE PARVIFLORA	RED YUCCA	4'	15 GAL	EVERGREEN
	KNIPHOFIA UYARIA	RED-HOT POKER	6'	15 GAL	EVERGREEN
	ROMNEYA COUTERI	MATILIA POPPY	8'	15 GAL	DECIDUOUS
	MULLENBERGIA RIGENS	DEER GRASS	3'	15 GAL	EVERGREEN
FOREGROUND SHRUBS	DALEA GREGGII	TRAILING INDIGO BUSH	2'	5 GAL	DECIDUOUS
	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	6"	5 GAL	EVERGREEN
MIDDLE GROUND SHRUBS	ACACIA REDOLENS	CREeping ACACIA	4'	5 GAL	DECIDUOUS
	DASYLIRON WHEELERI	DESERT SPOON	4'	5 GAL	EVERGREEN
	SALVIA GREGGII	AUTUMN SAGE	5'	5 GAL	EVERGREEN
	CASSIA ARTEMISIDES	FEATHERY CASSIA	5'	5 GAL	EVERGREEN
	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	8'	5 GAL	EVERGREEN
BACKGROUND SHRUBS	CAESALPINA GILLIESII	DESERT YELLOW BIRD OF PARADISE	10'	5 GAL	DECIDUOUS
	RHUS OVATA	SUGAR BUSH	10'	5 GAL	EVERGREEN

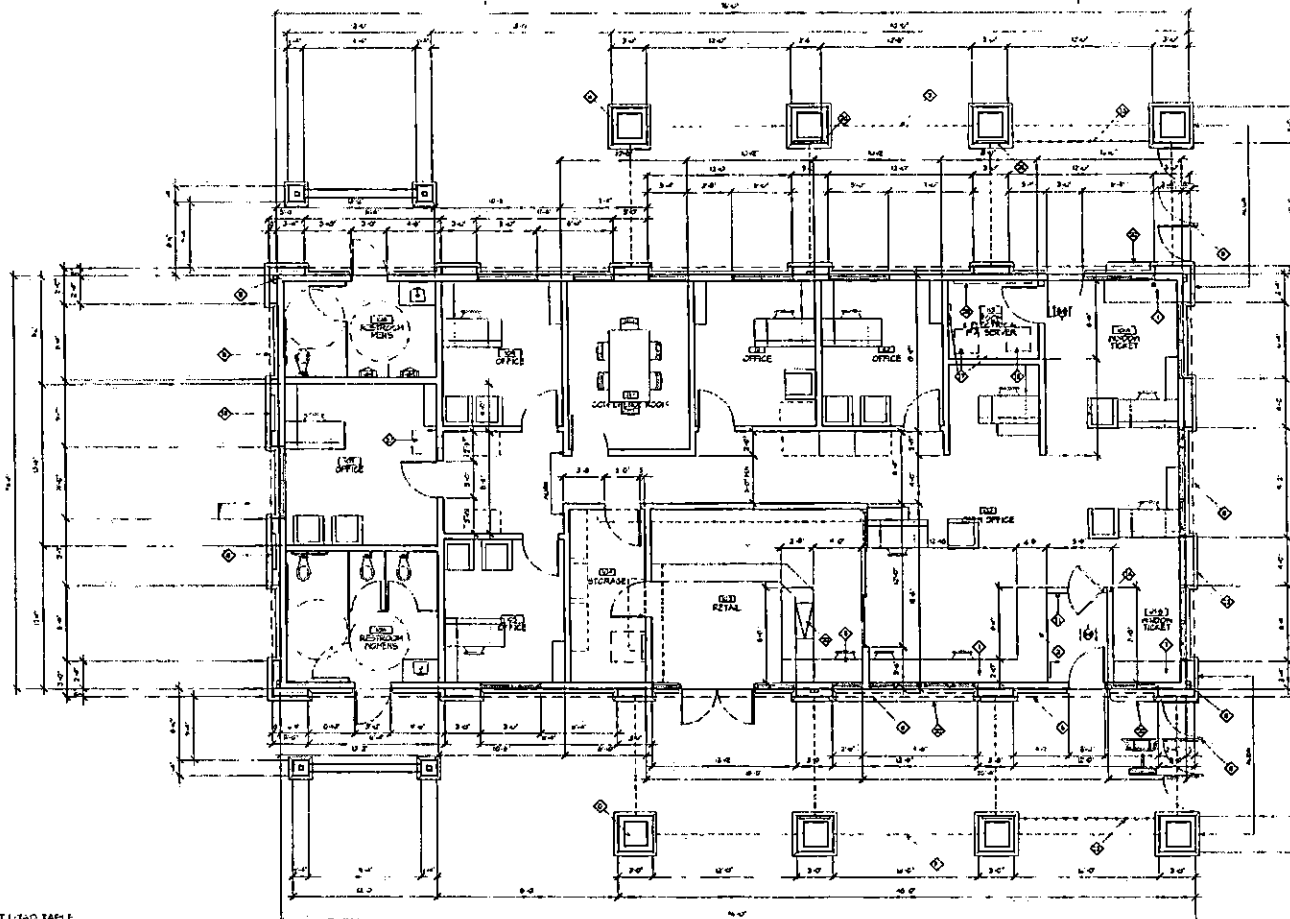


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OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

LAS VEGAS FREEDOM PARK RENOVATION
CONCEPTUAL PLANTING PLAN



OCCUPANT LOAD TABLE

SPACE	ALLOWABLE	ACTUAL	REMARKS
OFFICE	40,000 SF	2,224 SF	0.05
RETAIL	40,000 SF	1,148 SF	0.03
STORAGE	40,000 SF	1,148 SF	0.03
RESTROOM	40,000 SF	1,148 SF	0.03
LAVATORY	40,000 SF	1,148 SF	0.03
TOTAL	40,000 SF	5,668 SF	0.14

ALLOWABLE BUILDING AREA
AND ALLOWABLE BUILDING AREA CALCULATED FROM 100% OF THE BUILDING AREA
PER SECTION 100-1 AND 100-2 OF THE CITY OF LAS VEGAS ZONING ORDINANCE

SPACE	ALLOWABLE	ACTUAL	REMARKS
OFFICE	40,000 SF	2,224 SF	0.05
RETAIL	40,000 SF	1,148 SF	0.03
STORAGE	40,000 SF	1,148 SF	0.03
RESTROOM	40,000 SF	1,148 SF	0.03
LAVATORY	40,000 SF	1,148 SF	0.03
TOTAL	40,000 SF	5,668 SF	0.14

RESTROOM/FUTURE ANALYSIS

SEX	TOILETS		URINALS		LAVATORIES	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED
MEN	1	1	0	0	1	1
WOMEN	1	1	0	0	1	1

FLOOR PLAN
2,222 SQ. FT. INTERIOR
1,148 SQ. FT. (SHADE CANOPY)



ACTUAL
NORTH

WALL LEGEND:

- 1. EXTERIOR WALL WITH FINISH
- 2. EXTERIOR WALL WITH FINISH
- 3. EXTERIOR WALL WITH FINISH
- 4. EXTERIOR WALL WITH FINISH
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- 10. EXTERIOR WALL WITH FINISH

- KEY NOTES**
1. ALL EXTERIOR WALLS SHALL BE FINISHED WITH FINISH.
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- BUILDING NOTES**
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GENERAL NOTES

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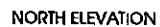
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PC

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OCT 02 2006

CITY OF LAS VEGAS
FREEDOM PARK RENOVATION
ADMINISTRATIVE BUILDING FLOOR PLAN

DATE: 10/02/06
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

1



- NEY N2125

- ① 1945-1946 1947 1948 1949 1950 1951 1952 1953 1954 1955 1956 1957 1958 1959 1960 1961 1962 1963 1964 1965 1966 1967 1968 1969 1970 1971 1972 1973 1974 1975 1976 1977 1978 1979 1980 1981 1982 1983 1984 1985 1986 1987 1988 1989 1990 1991 1992 1993 1994 1995 1996 1997 1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353

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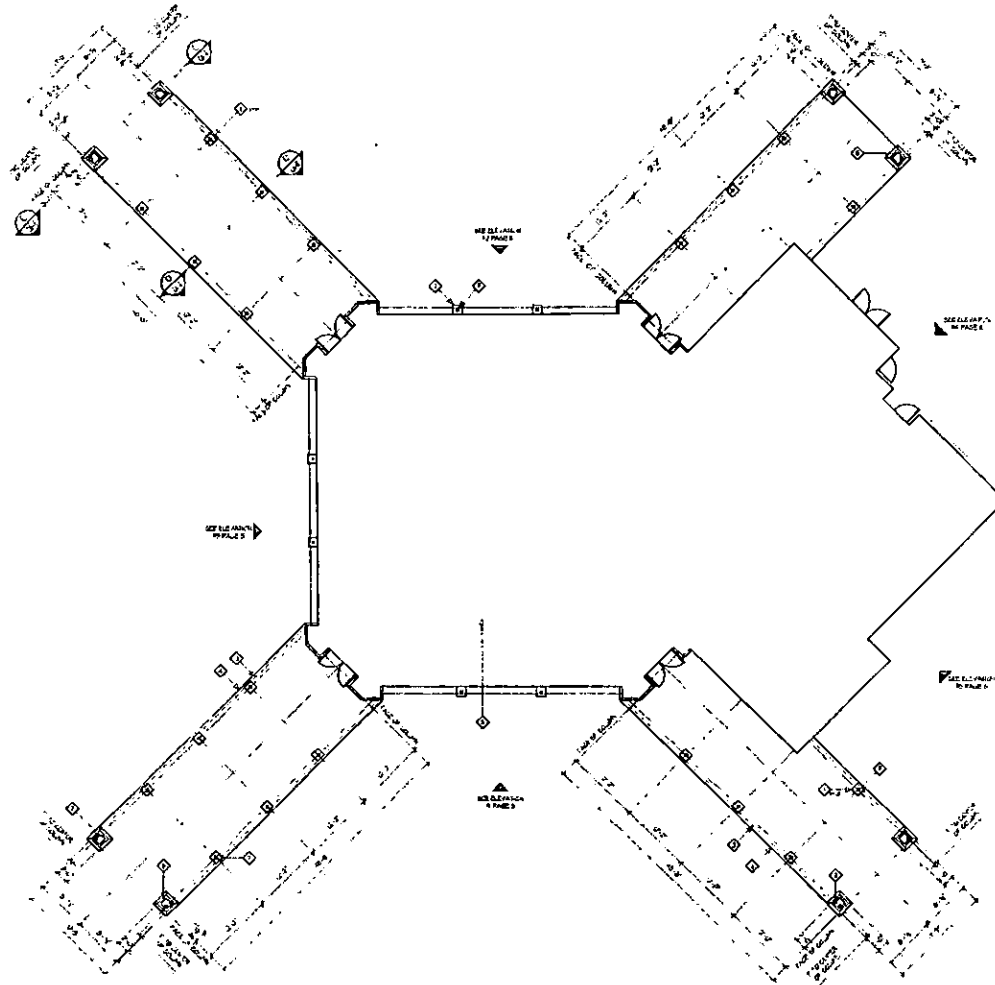
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11/16/06 PC

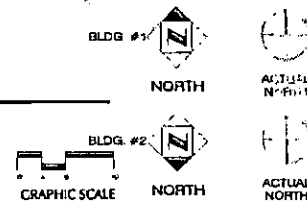


GRAPHIC SCALE

OCT 02 2000



CANOPY PLAN



KEY NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.
- 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.
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- 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.

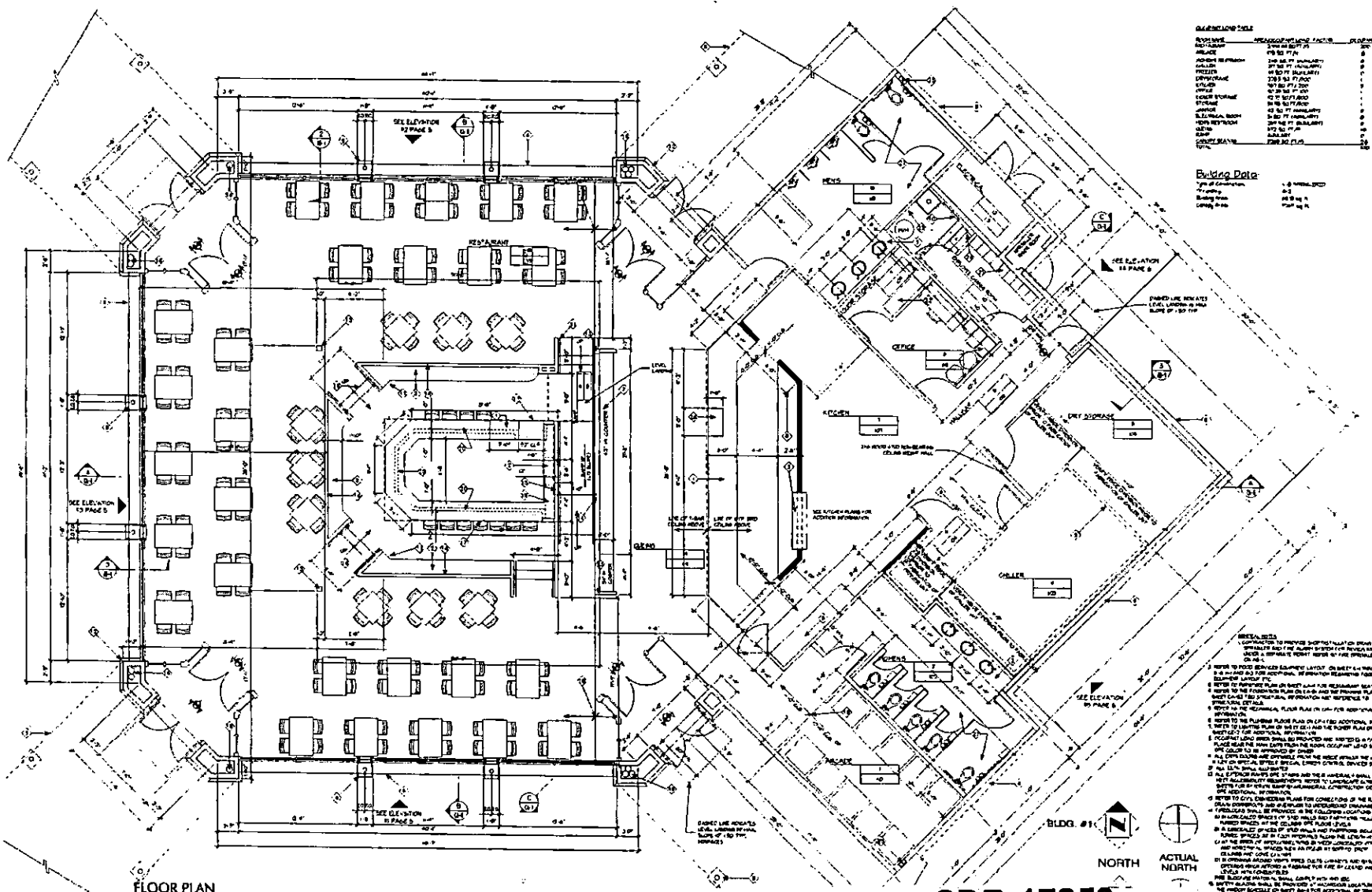
GENERAL NOTES

- 1. THE CANOPY SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.
- 2. THE CANOPY SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AIA CODE OF BEST PRACTICES.
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SDR-17259
11/16/06 PC

RECEIVED
OCT 02 2006

CITY OF LAS VEGAS FREEDOM PARK RENOVATION STADIUM CLUB BUILDING CANOPY PLAN	
DATE: 11/16/06	BY: SDR
CHECKED: 11/16/06	BY: SDR
APPROVED: 11/16/06	BY: SDR
3	



REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PLAN	11/16/06
2	REVISED PLAN	11/16/06
3	REVISED PLAN	11/16/06
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7	REVISED PLAN	11/16/06
8	REVISED PLAN	11/16/06
9	REVISED PLAN	11/16/06
10	REVISED PLAN	11/16/06

Building Data:

Project Name: STADIUM CLUB BUILDING
 Project No: SDR-17259
 Date: 11/16/06
 Designer: [Signature]
 Checker: [Signature]
 Engineer: [Signature]

FLOOR PLAN
 6,375 SQ. FT. (BUILDING)
 3,265 SQ. FT. (CANOPY)

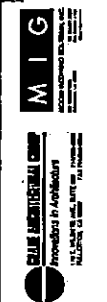
KEYNOTES

1. SEE ELEVATION 12 PAGE 5
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SDR-17259
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11/16/06 PC



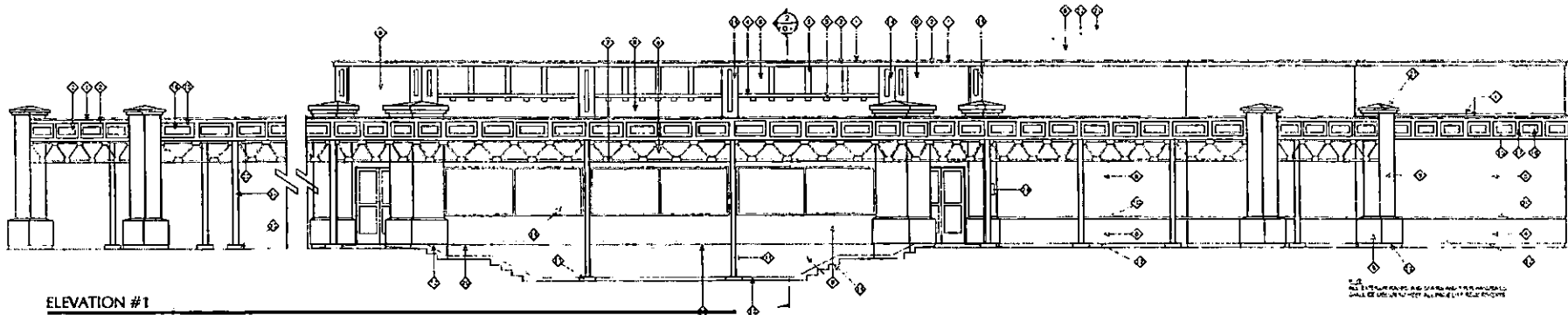
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CITY OF LAS VEGAS
 FREEDOM PARK RENOVATION
 MCJAVE ROAD AND EAST WASHINGTON AVE
 STADIUM CLUB BUILDING FLOOR PLAN

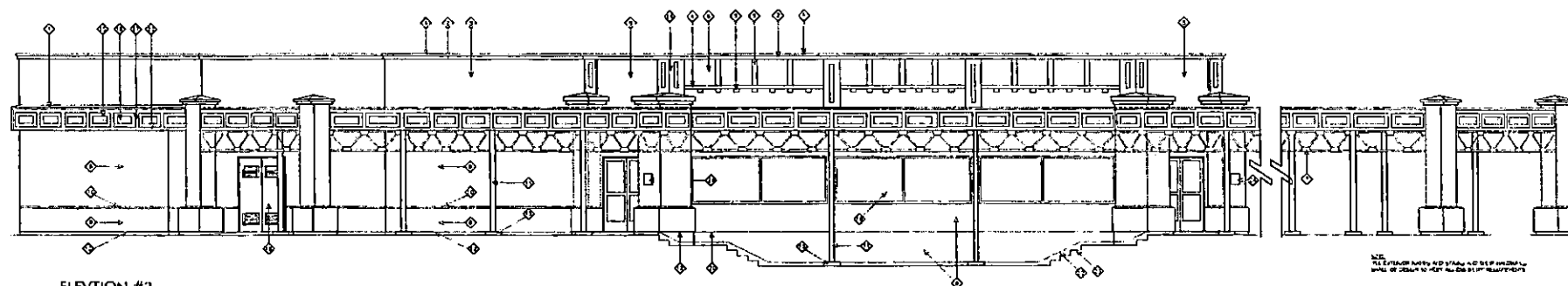
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NO.	REVISION	DATE
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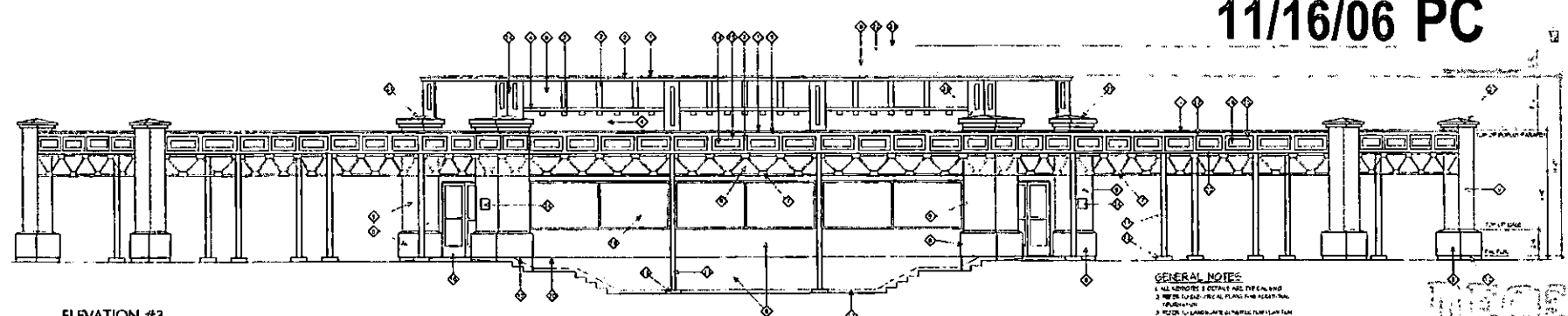
ELEVATION #1

SEE
ALL EXTERIOR WALLS AND STAIRS ARE TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
FOR FIRE RATED PARTITIONS AND STAIRS TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD



ELEVATION #2

SEE
ALL EXTERIOR WALLS AND STAIRS ARE TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
FOR FIRE RATED PARTITIONS AND STAIRS TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD



ELEVATION #3

SEE
ALL EXTERIOR WALLS AND STAIRS ARE TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
FOR FIRE RATED PARTITIONS AND STAIRS TO BE FINISHED
WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD

- GENERAL NOTES**
1. ALL EXTERIOR WALLS AND STAIRS ARE TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD FOR FIRE RATED PARTITIONS AND STAIRS TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
 2. SEE ELEVATION #1 FOR DETAILS OF STAIRS AND STAIRS TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
 3. SEE ELEVATION #2 FOR DETAILS OF STAIRS AND STAIRS TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD
 4. SEE ELEVATION #3 FOR DETAILS OF STAIRS AND STAIRS TO BE FINISHED WITH 1/2" GYPSUM BOARD AND 5/8" TYPE X GYPSUM BOARD



GRAPHIC SCALE

SDR-17259
11/16/06 PC

CITY OF LAS VEGAS
FREEDOM PARK RENOVATION
STADIUM CLUB BUILDING ELEVATIONS

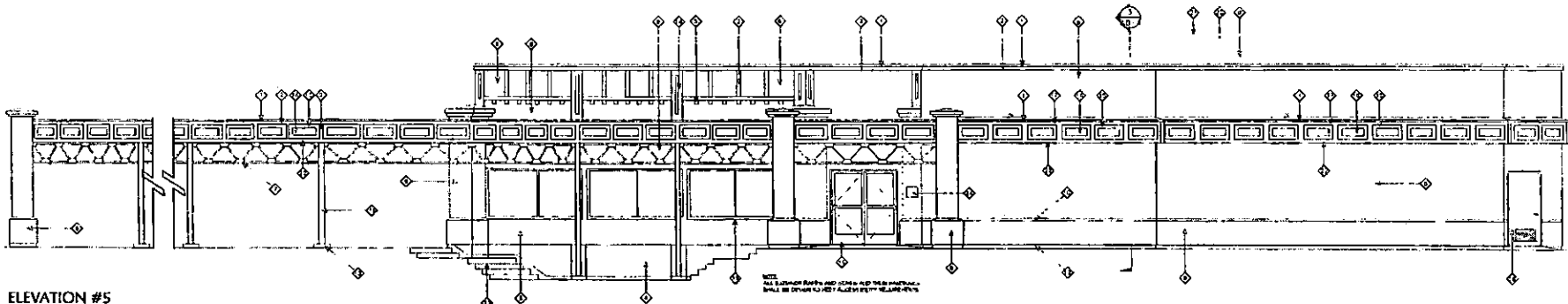
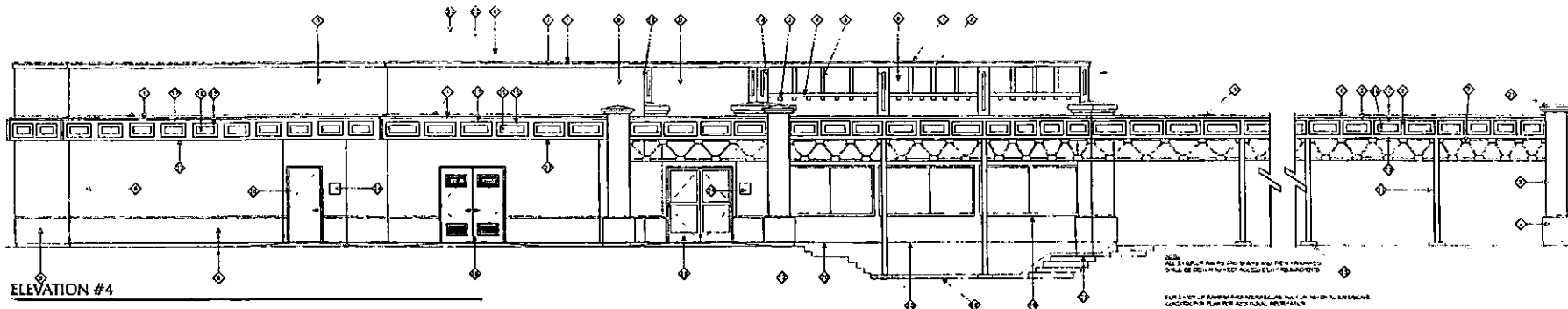
OWNER: CITY OF LAS VEGAS
DESIGNER: SDR-17259
DATE: 11/16/06
PC

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/16/06	PC

APPROVED:

DATE: OCT 02 2006



PAINT COLORS

- 1 DARK CHERRY, EXTERIOR WINDOWS, DETAILS
- 2 DARK CHERRY, EXTERIOR DOORS, DETAILS
- 3 DARK CHERRY, EXTERIOR WALLS, DETAILS
- 4 DARK CHERRY, EXTERIOR WALLS, DETAILS
- 5 DARK CHERRY, EXTERIOR WALLS, DETAILS
- 6 DARK CHERRY, EXTERIOR WALLS, DETAILS

GENERAL NOTES

- 1. ALL NEWWORK SHALL BE DONE IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE.
- 2. REFER TO LANDSCAPE ARCHITECTURE PLAN FOR ADDITIONAL INFORMATION.
- 3. MATERIALS AND METHODS SHALL BE AS SHOWN ON THE DRAWINGS.
- 4. MATERIALS AND METHODS SHALL BE AS SHOWN ON THE DRAWINGS.

KEY NOTES

- 1. DARK CHERRY, EXTERIOR WALLS, DETAILS
- 2. DARK CHERRY, EXTERIOR DOORS, DETAILS
- 3. DARK CHERRY, EXTERIOR WALLS, DETAILS
- 4. DARK CHERRY, EXTERIOR WALLS, DETAILS
- 5. DARK CHERRY, EXTERIOR WALLS, DETAILS
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11/16/06 PC

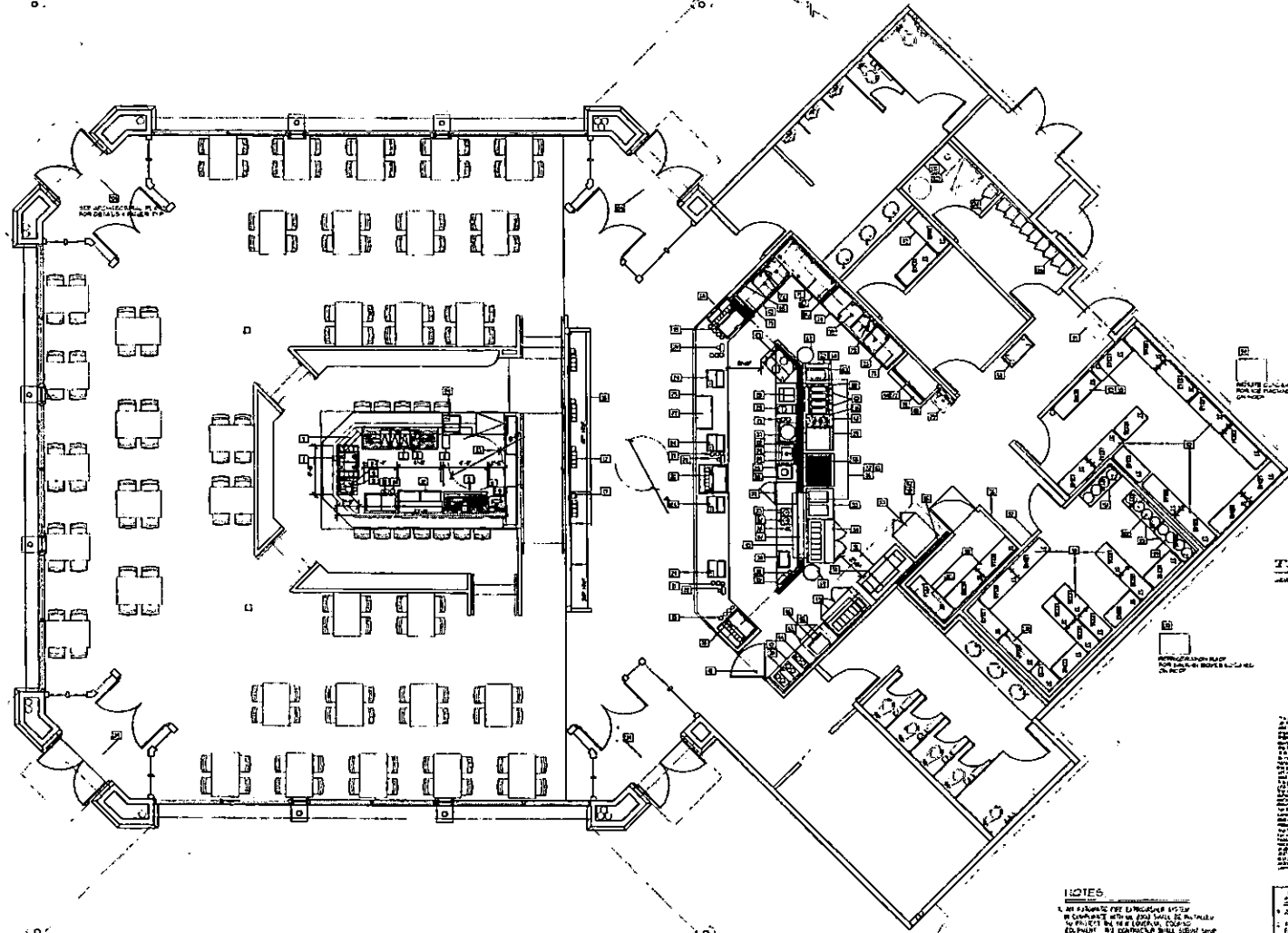


CITY OF LAS VEGAS
FREEDOM PARK RENOVATION
STADIUM CLUB BUILDING ELEVATIONS

PROJECT INFORMATION

PROJECT NO.	SDR-17259
DATE	11/16/06
DESIGNER	PC
CLIENT	CITY OF LAS VEGAS
LOCATION	FREEDOM PARK
ARCHITECT	SDR-17259
ENGINEER	PC
DATE	11/16/06
PROJECT NO.	SDR-17259
DATE	11/16/06
DESIGNER	PC
CLIENT	CITY OF LAS VEGAS
LOCATION	FREEDOM PARK
ARCHITECT	SDR-17259
ENGINEER	PC
DATE	11/16/06

6



FOOD SERVICE EQUIPMENT PLAN



GRAPHIC SCALE

TEC DESIGN
ARCHITECTS & ENGINEERS



11740 S. VALLEY BLVD.
CITY OF MOUNTAIN VIEW, TX 76149
TEL. 817/412-4470
FAX. 817/412-0543

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS (AIA) AND THE NATIONAL ASSOCIATION OF ARCHITECTS (NAA) CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASME) AND THE NATIONAL ASSOCIATION OF MECHANICAL ENGINEERS (NAA) CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF ELECTRICAL ENGINEERS (ASCE) AND THE NATIONAL ASSOCIATION OF ELECTRICAL ENGINEERS (NAA) CODES.
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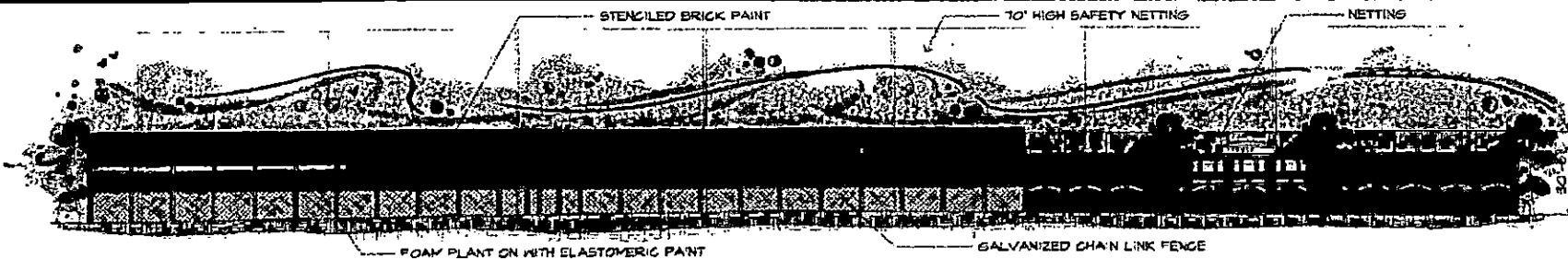
ADDITIONAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES.
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11/16/06 PC

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PROJECT NO.	SDR-17259
DATE	11/16/06
DESIGNER	PC
CHECKED	
APPROVED	
DATE	
PROJECT NAME	FREEDOM PARK RENOVATION
CLIENT	CITY OF MOUNTAIN VIEW
LOCATION	STANLEY CUE BUILDING FOOD SERVICE PLAN
SCALE	
PROJECT NO.	SDR-17259
DATE	11/16/06
DESIGNER	PC
CHECKED	
APPROVED	
DATE	
PROJECT NAME	FREEDOM PARK RENOVATION
CLIENT	CITY OF MOUNTAIN VIEW
LOCATION	STANLEY CUE BUILDING FOOD SERVICE PLAN
SCALE	
PROJECT NO.	SDR-17259
DATE	11/16/06
DESIGNER	PC
CHECKED	
APPROVED	
DATE	
PROJECT NAME	FREEDOM PARK RENOVATION
CLIENT	CITY OF MOUNTAIN VIEW
LOCATION	STANLEY CUE BUILDING FOOD SERVICE PLAN
SCALE	

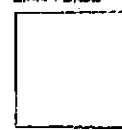


FENWAY PARK - EXTERIOR ELEVATION

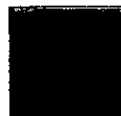
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GALVANIZED CHAIN LINK FENCE



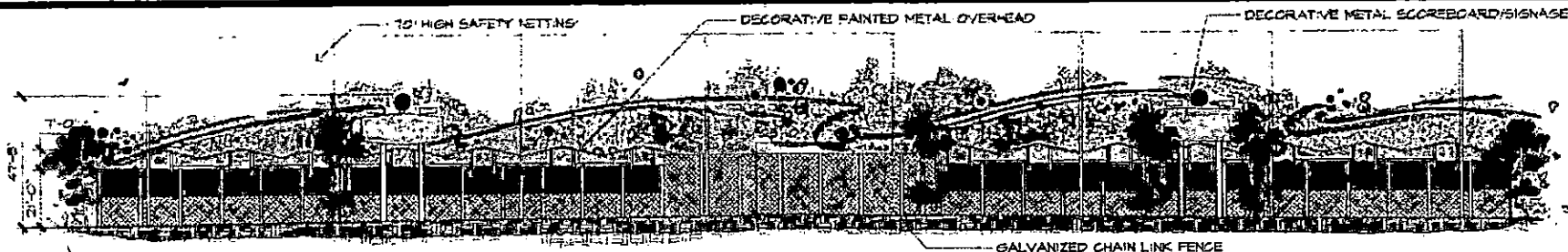
VISTA PAINT: 00 BRIGHT WHITE



VISTA PAINT: 001 SCARLETT SUMAC

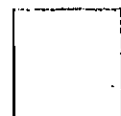
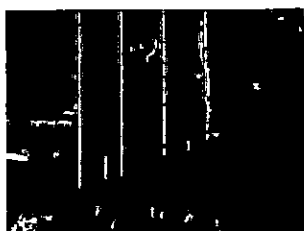


VISTA PAINT: CUSTOM COLOR CASCADE GREEN



DODGER STADIUM - EXTERIOR ELEVATION

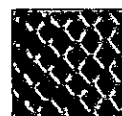
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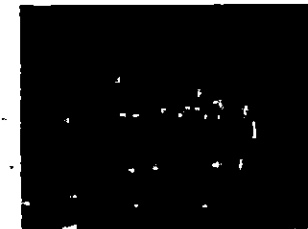
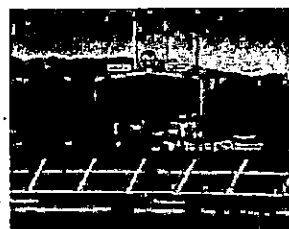
VISTA PAINT: 00 BRIGHT WHITE



VISTA PAINT: 001 SCARLETT SUMAC



GALVANIZED CHAIN LINK FENCE



LAS VEGAS FREEDOM PARK RENOVATION
FENWAY PARK AND DODGER STADIUM
EXTERIOR WALL ELEVATIONS

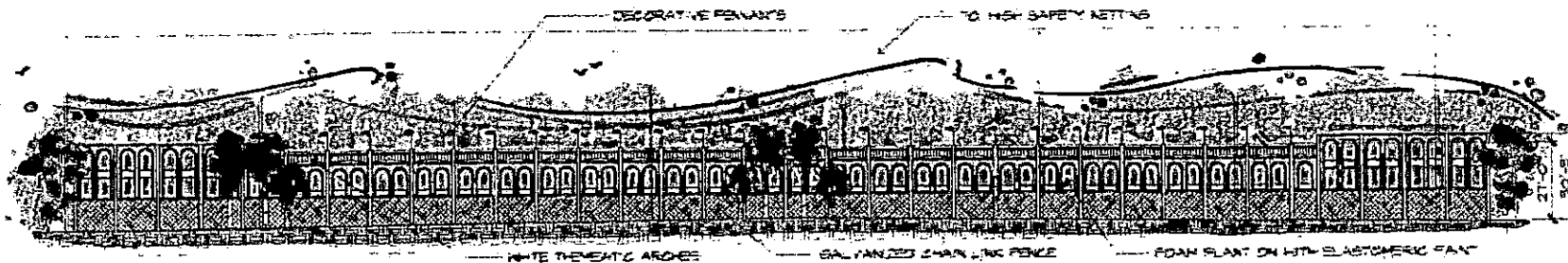
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

DATE	11/16/06
BY	SDR
CHK	SDR
APP	SDR
DATE	11/16/06
BY	SDR
CHK	SDR
APP	SDR

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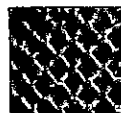
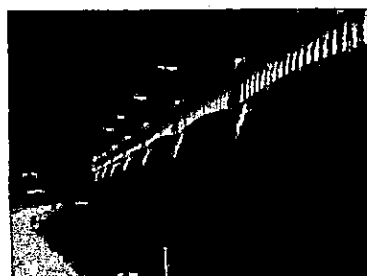
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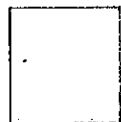


YANKEE STADIUM - EXTERIOR ELEVATION

NO SCALE



GALVANIZED CHAIN LINK FENCE



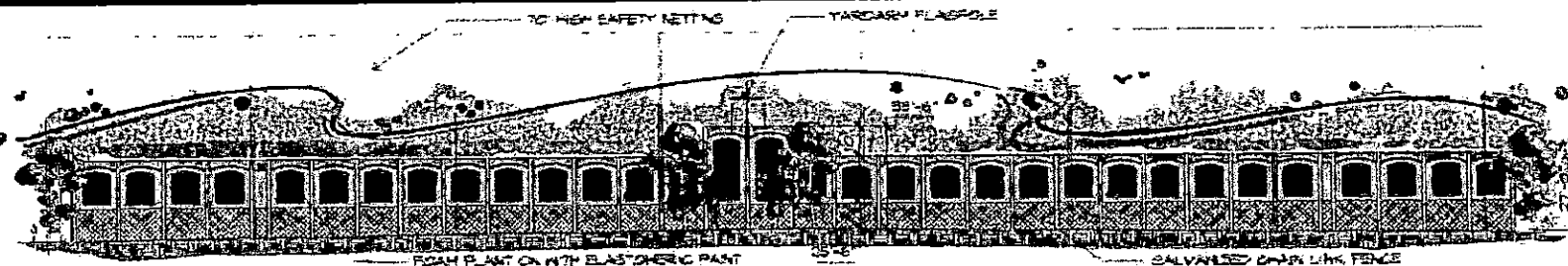
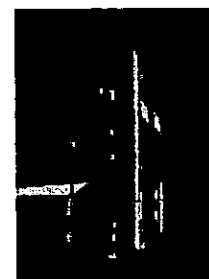
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VISTA PAINT: 8504 GRAY MATTERS



VISTA PAINT: 8505 TITANIC GRAY



WRIGLEY FIELD - EXTERIOR ELEVATION

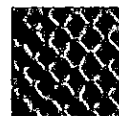
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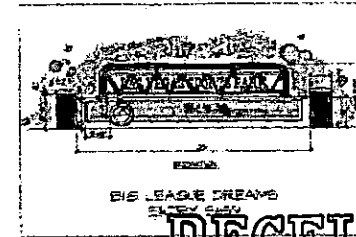
VISTA PAINT: 8433 MOCHA MOUSSE



VISTA PAINT: 8518 BENETELLO



GALVANIZED CHAIN LINK FENCE



LAS VILLAS MILLION PARK RENOVATION
YANKEE STADIUM AND WRIGLEY FIELD
EXTERIOR WALL ELEVATIONS

SDR-17259
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EAST ELEVATION



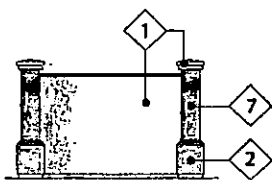
NORTH ELEVATION



SOUTH ELEVATION



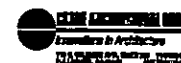
WEST ELEVATION



SCREEN WALL ELEVATION

- 1 PRIMARY STUCCO COLOR
DUNN-EDWARDS "SAHARA" #DEC747
- 2 BUILDING BASE STUCCO COLOR
DUNN-EDWARDS "STEVEARENO" #DEC766
- 3 1ST ACCENT COLOR
DUNN-EDWARDS "DARK SHADOWS" #DEA183
- 4 2ND ACCENT COLOR
DUNN-EDWARDS "THUNDERBOLD" #DES774
- 5 3RD ACCENT COLOR
DUNN-EDWARDS "BURMESE TAN" #DE5332
- 6 ALUMINUM WINDOW FRAMES
KAWNEER CLEAR ANODIZED ALUMINUM W/
CLEAR GLAZING
- 7 BRICK VENEER
H.C. MUDDOCK RAILROAD BLEND

RECEIVED
OCT 02 2006

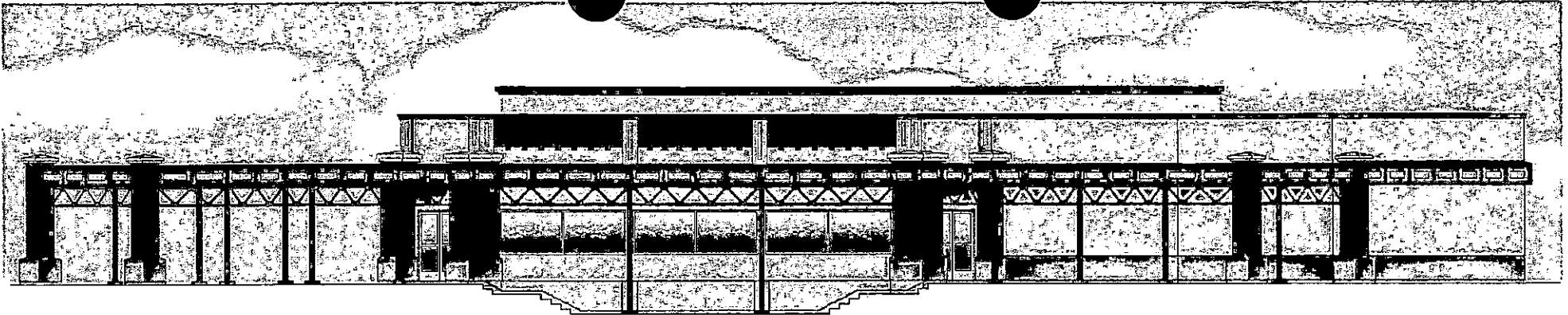


FREEDOM PARK RENOVATION

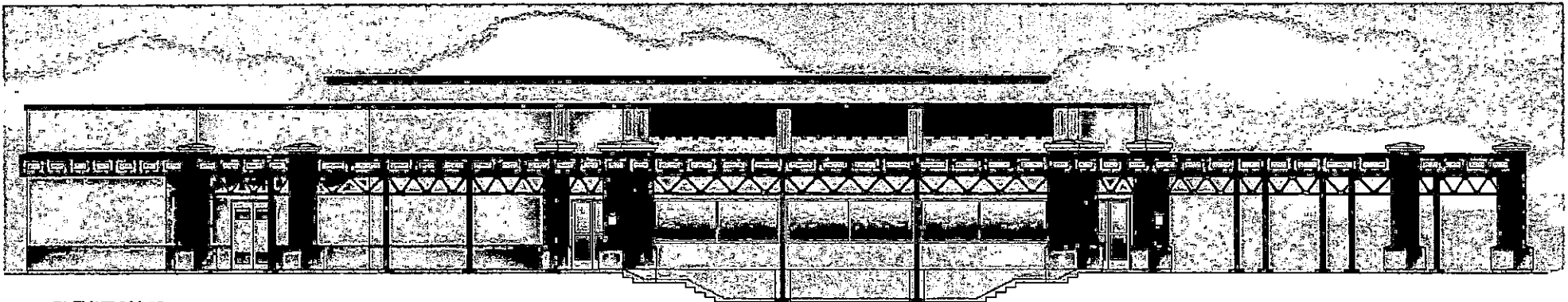
ADMINISTRATION BUILDING

SDR-17259
11/16/06 PC

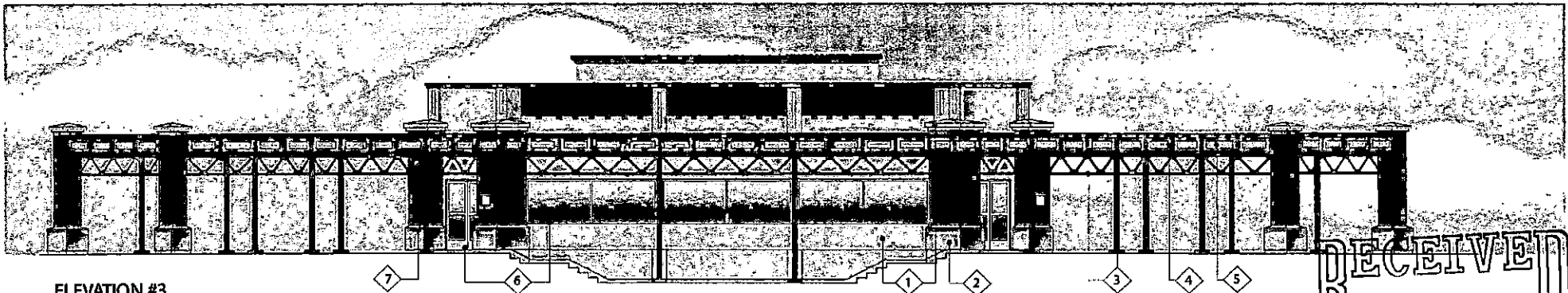
SEPTEMBER 29, 2006



ELEVATION #1



ELEVATION #2



ELEVATION #3

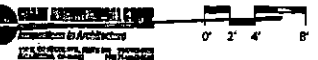
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|---|---|---|---|
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DUNN-EDWARDS "SAHARA" #DEC747 | 5 | 3RD ACCENT COLOR
DUNN-EDWARDS "BURMESE TAN" #DES332 |
| 2 | BUILDING BASE STUCCO COLOR
DUNN-EDWARDS "STEVEARENO" #OEC765 | 6 | ALUMINUM WINDOW FRAMES
KAWNEER CLEAR ANODIZED ALUMINUM W/
CLEAR GLAZING |
| 3 | 1ST ACCENT COLOR
DUNN-EDWARDS "DARK SHADOWS" #DEA183 | 7 | BRICK VENEER
H.C. MUDDOCK RAILROAD BRICK |
| 4 | 2ND ACCENT COLOR
DUNN-EDWARDS "THUNDERBOLT" #DES774 | | |

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FREEDOM PARK RENOVATION
STADIUM CLUB

SDR-17259

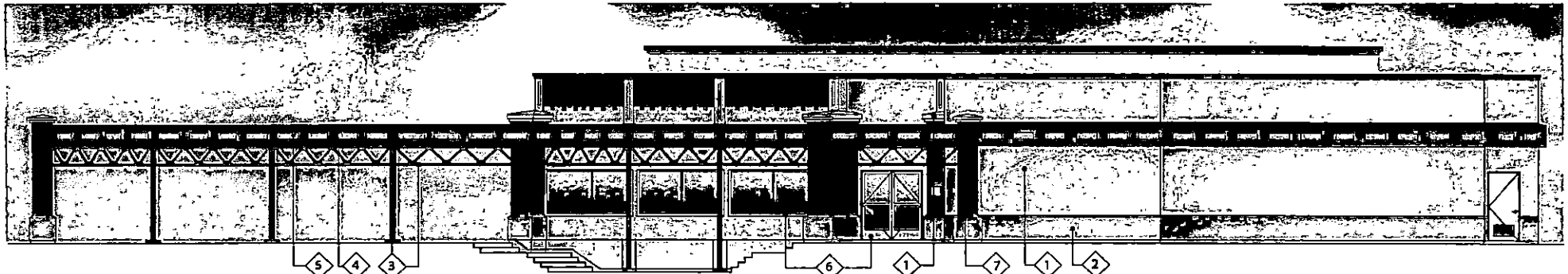
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SEPTEMBER 29, 2006



ELEVATION #4



ELEVATION #5

- | | |
|---|--|
| 1 PRIMARY STUCCO COLOR
DUNN-EDWARDS "SAHARA" #DEC747 | 5 3RD ACCENT COLOR
DUNN-EDWARDS "BURMESE TAN" #DES332 |
| 2 BUILDING BASE STUCCO COLOR
DUNN-EDWARDS "STEEVENS" #DEC766 | 6 ALUMINUM WINDOW FRAMES
FOURWEER CLEAR ANODIZED ALUMINUM W/
CLEAR GLAZING |
| 3 1ST ACCENT COLOR
DUNN-EDWARDS "DARK SHADOWS" #DEA183 | 7 BRICK VENEER
P.C. MUDOCK RAILROAD BLEND |
| 4 2ND ACCENT COLOR
DUNN-EDWARDS "THUNDERBOLD" #DES774 | |

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OCT 02 2006

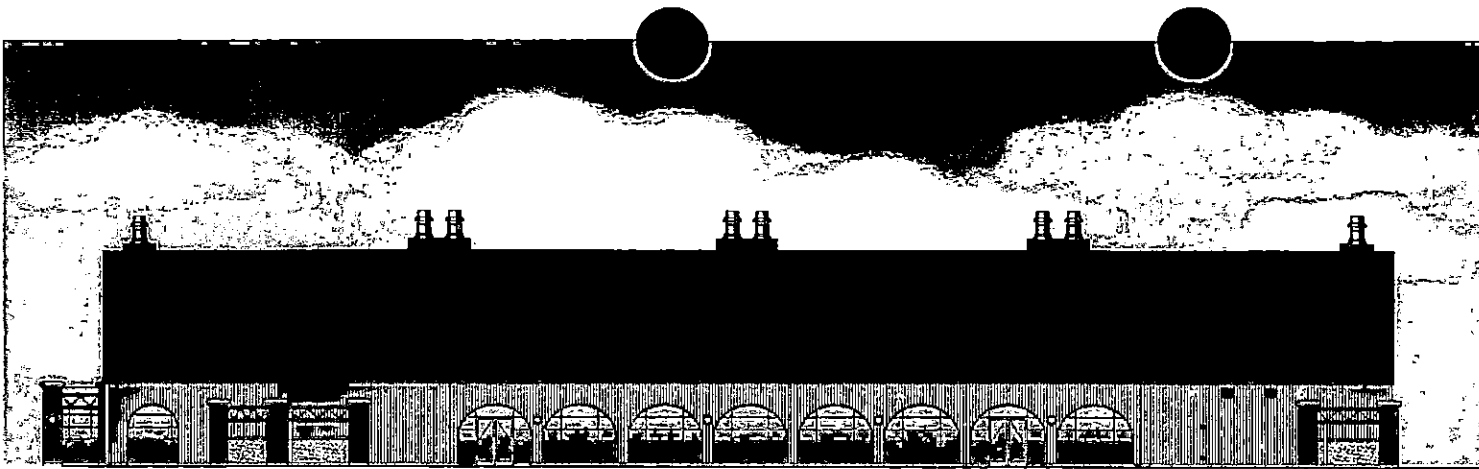
FREEDOM PARK RENOVATION
STADIUM CLUB

SDR-17259
11/16/06 PC

CHAMBERS & ASSOCIATES
Architects in Architecture
KALAMAZOO, MICHIGAN

0' 2' 4' 8'

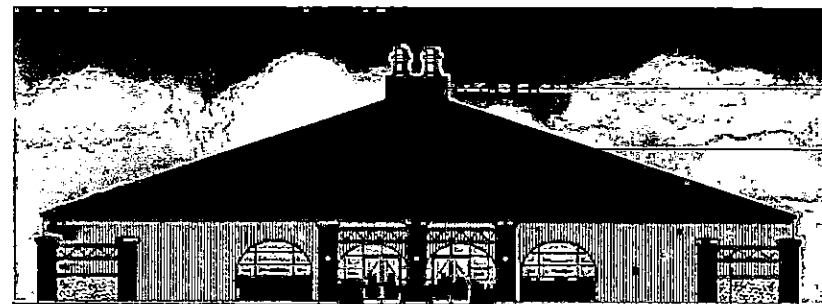
SEPTEMBER 29, 2006



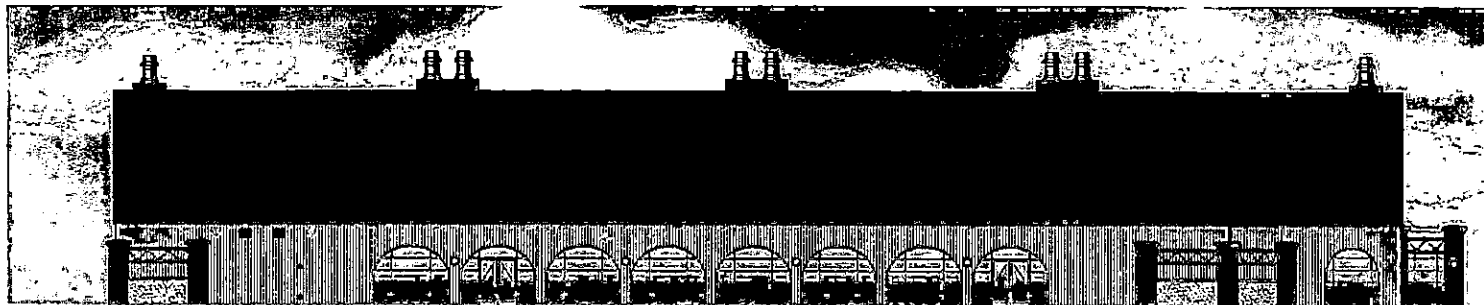
NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

- 1 PRIMARY STUCCO COLOR
DUNN-EDWARDS "SAHARA" #DEC747
- 3 1ST ACCENT COLOR
DUNN-EDWARDS "DARK SHADOWS" #DEA183
- 4 2ND ACCENT COLOR
DUNN-EDWARDS "THUNDERBOLD" #DES774
- 6 ALUMINUM WINDOW FRAMES
KAWNEER CLEAR ANODIZED ALUMINUM W/
CLEAR GLAZING
- 7 BRICK VENEER
H.C. MUDDOX RAILROAD BLEND
- 8 METAL ROOF/WALL PANELS
A.B.C. PREMIUM 70 PLUS "TEAL GREEN"

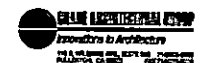
FREEDOM PARK RENOVATION

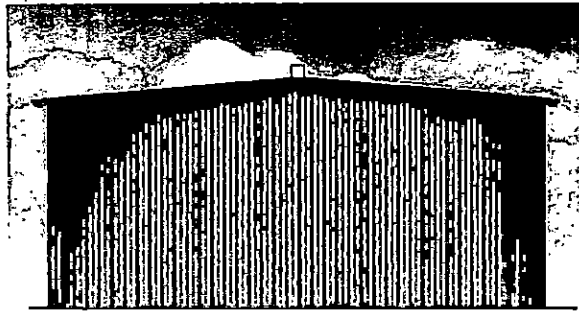
MULTI-PURPOSE BUILDING ELEVATION

SDR-17259
11/16/06

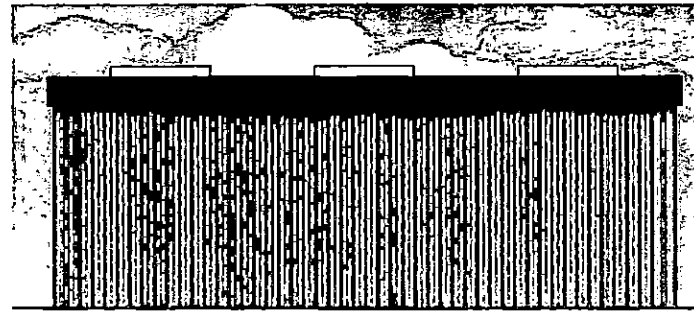
RECEIVED
OCT 02 2006

SEPTEMBER 29, 2006





EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



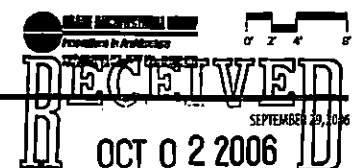
NORTH ELEVATION

- 9 METAL ROOF PANELS
A.B.C. PREMIUM 70 PLUS "REFLECTIVE WHITE"
- 10 METAL EAVE/RAKE TRIM
A.B.C. PREMIUM 70 PLUS "EVERGREEN"
- 11 METAL PANELS, ROLL-UP / MAN DOORS
A.B.C. PREMIUM 70 PLUS "HEMLOCK GREEN"

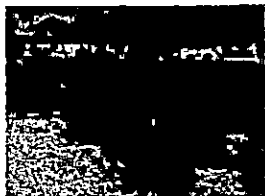
FREEDOM PARK RENOVATION

MAINTENANCE BUILDING ELEVATION

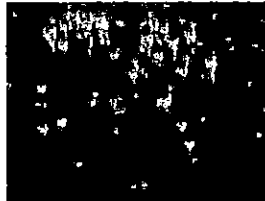
SDR-17259
11/16/06 PC



ACCENT SHRUBS



HESPERALOE PARVIFLORA
RED YUCCA

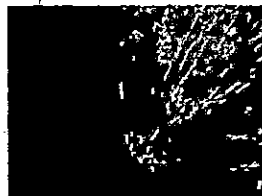


KNIPHOFIA UVARIA
RED HOT POKER



ROMNEYA COULTERI
MATILJA POPPY

FOREGROUND SHRUBS

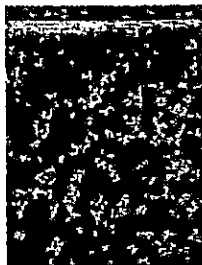


MUHLENBERGIA RIGENS
DEER GRASS

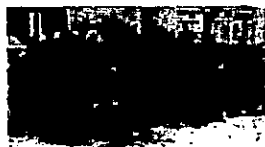


DALEA GREGGII
TRAILING INDIGO BUSH

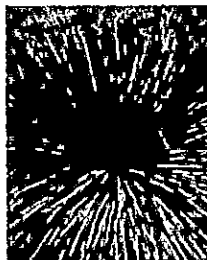
MIDDLE GROUND SHRUBS



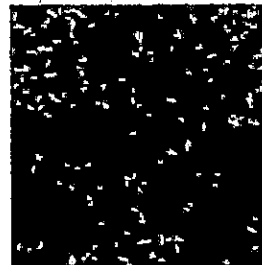
MYOPORUM PARVIFOLIUM
PROSTRATE MYOPORUM



ACACIA REDOLENS
CREEPING ACACIA



DASYLIRION WHEELERI
DESERT SPOON

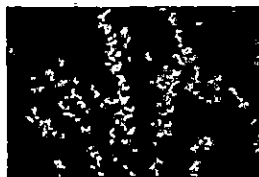


SALVIA GREGGII
AUTUMN SAGE



CASSIA ARTEMISIOIDES
FEATHERY CASSIA

BACKGROUND SHRUBS



LEUCOPHYLLUM FRUTESCENS
TEXAS RANGER

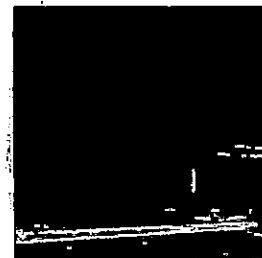


CAESALPINIA GILLIESII
DESERT YELLOW BIRD OF PARADISE



RHUS OVATA
SUGAR BUSH

TREES



CERCIDIUM "DESERT MUSEUM"
GREEN PALO VERDE



CHILOPSIS LINEARIS
DESERT WILLOW



GLEDITSIA TRIACANTHOS INERMIS 'MORAINÉ'
MORAINÉ HONEY LOCUST



CHITALPA TASHKENTENSIS
CHITALPA



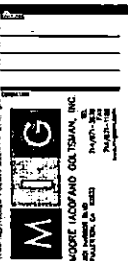
CERCIS CANADENSIS "FOREST PANSEY"
REDBUD FOREST PANSEY



WASHINGTONIA FILIFERA
CALIFORNIA FAN PALM



EUCALYPTUS FORMOSA
EUCALYPTUS



LAS VEGAS FREEDOM PARK RENOVATION
PLANT IMAGERY

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

DATE	REVISION
02/03	02/03
03/03/06	03/03/06
04/03	04/03
05/03	05/03
06/03	06/03
07/03	07/03
08/03	08/03
09/03	09/03
10/03	10/03
11/03	11/03
12/03	12/03

L-3

SDR-17259
11/16/06 PC

RECEIVED
OCT 02 2006



1

PRIMARY STUCCO COLOR
AND PAINTED METAL PANELS
DUNN-EDWARDS "SAHARA" #DEC747



2

BUILDING BASE STUCCO COLOR
DUNN-EDWARDS "STEVEARENO" #DEC766



3

1ST ACCENT COLOR
DUNN-EDWARDS "DARK SHADOWS" #DEA183



4

2ND ACCENT COLOR
DUNN-EDWARDS "THUNDERCLOUD" DE5774



5

3RD ACCENT COLOR
DUNN-EDWARDS "BURMESE TAN" DE5332



6

WINDOW FRAMES
KAWNEER CLEAR ANODIZED
ALUMINUM W/ CLEAR GLAZING



7

BRICK VENEER
H.C. MUDDOX- RAILROAD BLEND



8

METAL ROOF/WALL PANELS
A.B.C. PREMIUM 70 PLUS "TEAL GREEN"



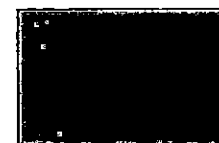
9

METAL ROOF PANELS
A.B.C. PREMIUM 70 PLUS "REFLECTIVE WHITE"



10

METAL EAVE/RAKE TRIM
A.B.C. PREMIUM 70 PLUS "EVERGREEN"



11

METAL PANELS, ROLL-UP/MAN DOORS
A.B.C. PREMIUM 70 PLUS "HEMLOCK GREEN"

FREEDOM PARK RENOVATION

COLOR AND MATERIALS BOARD

SDR-17259
11/16/06 PC



CRANE ARCHITECTURAL GROUP

Innovations In Architecture

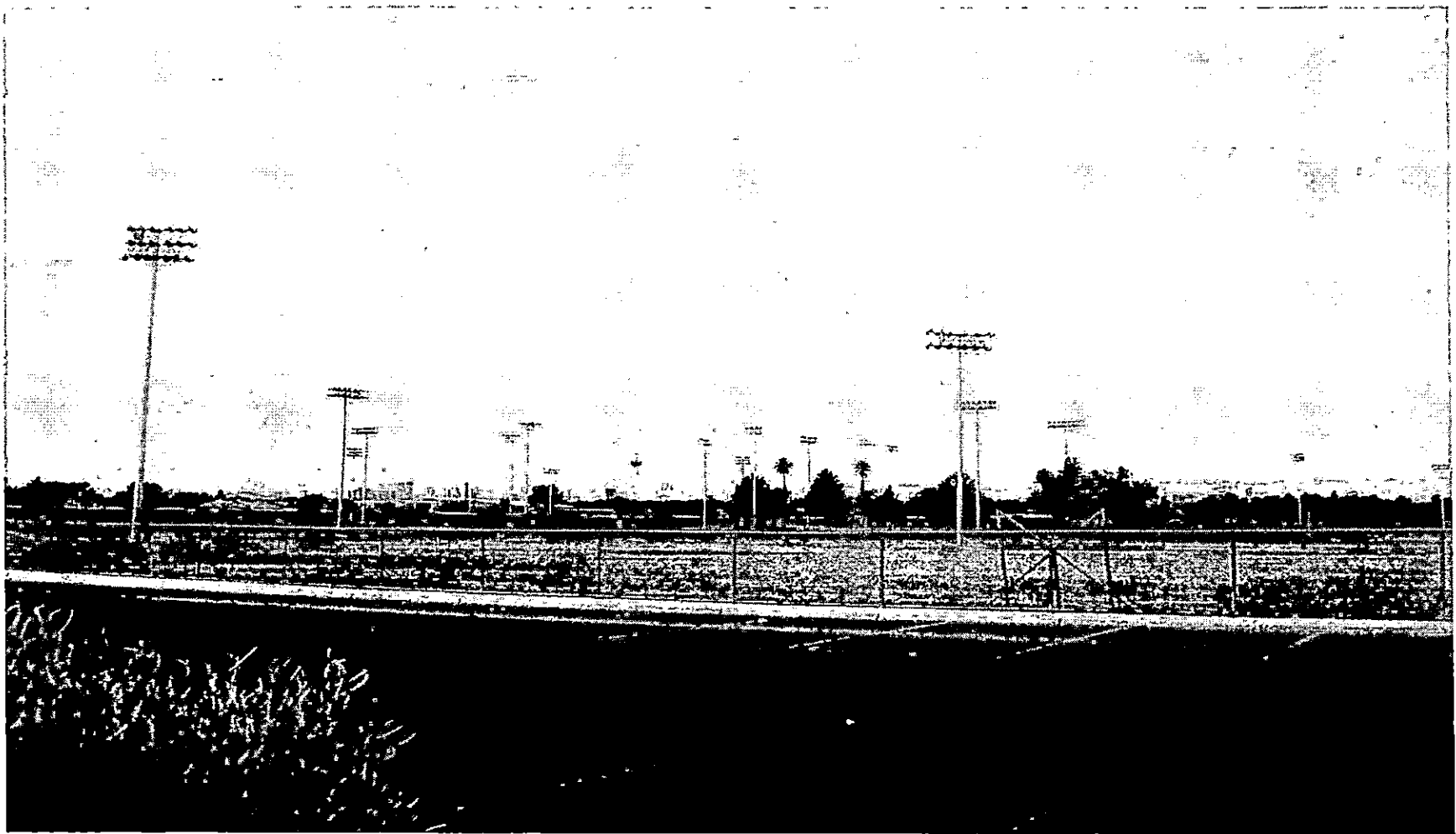
110 E. WILSHIRE AVE., SUITE 500 714/525-0383
FULLERTON, CA 92632 FAX 714/525-8628

RECEIVED
OCT 02 2006



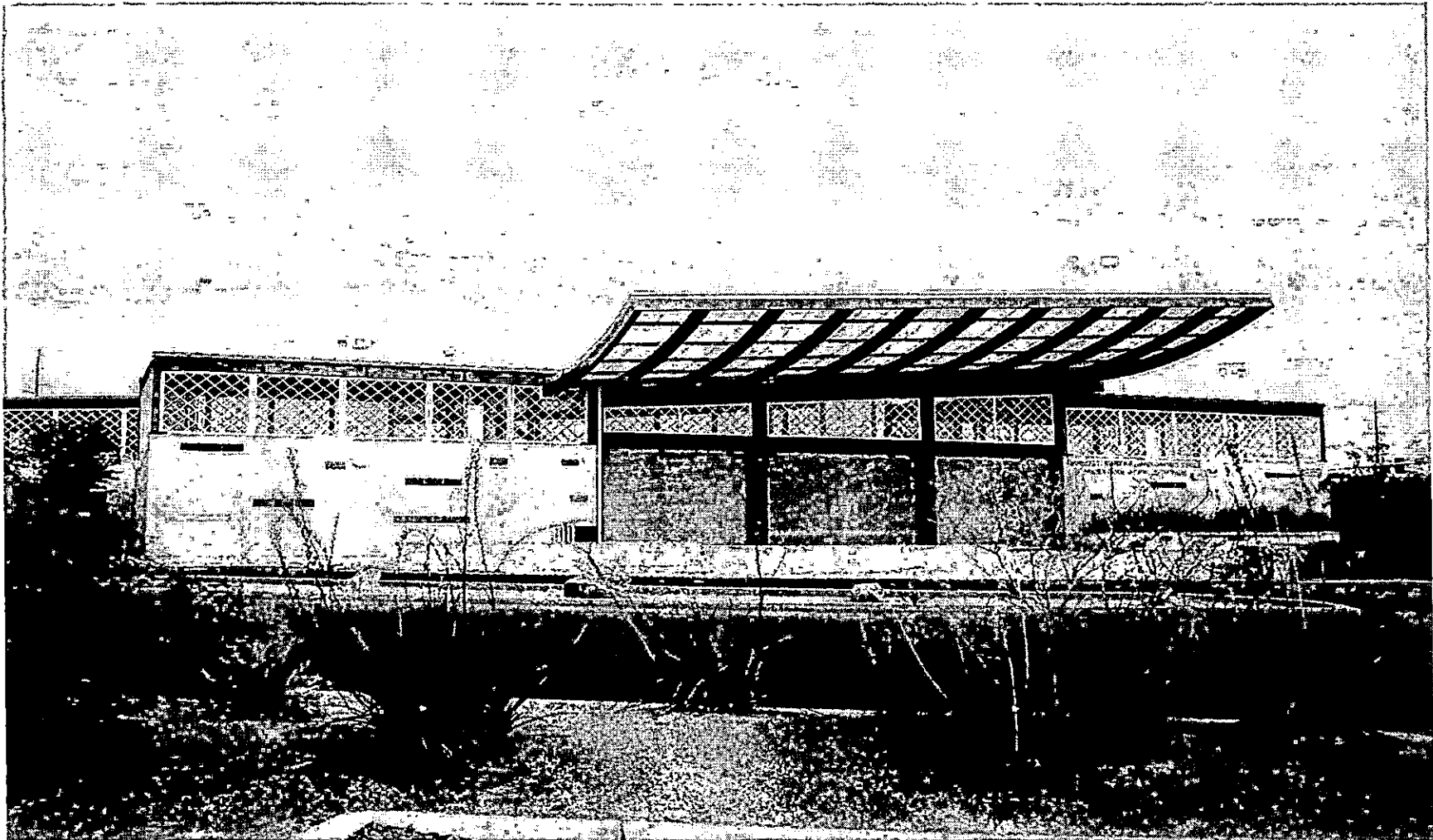
SDR-17259 - APPLICANT/OWNER: CITY OF LAS VEGAS
850 NORTH MOJAVE ROAD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SDR-17259 - APPLICANT/OWNER: CITY OF LAS VEGAS
850 NORTH MOJAVE ROAD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



SDR-17259 - APPLICANT/OWNER: CITY OF LAS VEGAS
850 NORTH MOJAVE ROAD
NOVEMBER 16, 2006 PLANNING COMMISSION

10/10/06



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

LARRY BROWN
LAWRENCE WEEKLY
STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS

DOUGLAS A. SELBY
CITY MANAGER

CHARLES KAJKOWSKI, JR.
PUBLIC WORKS DIRECTOR

DEPARTMENT OF PUBLIC WORKS
CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

OFFICE 702.229.6276

FAX 702.382.0848

TDD 702.386.9108

www.lasvegasnevada.gov

September 22, 2006

Margo Wheeler
City of Las Vegas Planning Commission
731 So. 4th Street
Las Vegas, NV 89101

Subject: Justification letter for the Site Development Plan Review- Freedom Park
Renovation-PC 11-16-06.

Dear Margo:

The Freedom Park Renovation Project is another effort to revitalize and invigorate our mature areas and the urban core. After completion, the Freedom Park site will enhance the quality of life and neighborhood pride for our citizens. We credit the leadership, support and vision on behalf of our Mayor, City Council, and Ward 3 Councilman Gary Reese that will have made this project possible.

The 68 acre Freedom Park Master Plan consists of renovation of a 38 acre portion of the existing park and development of the remaining 30 acres for a Big League Dreams Ball Park complex.

Big League Softball complex amenities include: six (6) lighted Ball fields with themed replica outfield walls patterned after major league fields with covered dugouts, synthetic turf and fixed stadium seats. The three field hubs will also include two elevated central stadium club concession (approximately 7,200 s.f. each) that will house a sit down dining area, kitchen, bar, concession counter area, restrooms, and related storage. Additional softball complex improvements that support outdoor use, include a 2,700 s.f. administration/office building; eight station batting cage; tot play area; an indoor multi-purpose/ sport pavilion (approximately 25,000 s.f.), prefabricated maintenance building (approximately 2,000 s.f.) and associated parking.

The new Swim Complex off of Washington Boulevard will be protected and accessible for public use during construction as part of the overall Master Plan of the park. The two existing Little League fields will be also be maintained operational during construction and considered in the park renovation plan for minor upgrades during the off season. A new Restroom building will be added adjacent to the fields.

Improvements at the existing Freedom Park will include: Expanding, reconfiguring and providing new lighting parking areas, an AC paved Adaptive Recreation Area; three lighted, prefabricated, group picnic structures; a performance event area for the show mobile; perimeter walking path, lighted skate park; two soccer fields; upgraded play tot lot area surfacing; renovation of an existing restroom building, new pathway lighting and renovated turf and irrigation and perimeter fencing.

Should you have any further questions, please contact me at 229-1046.

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick Batte".

Patrick Batte'

Project Manager- City of Las Vegas Office of Architectural Services.

SDR-17259
11/16/06 PC

November 10, 2006

**Planning and Development Department
Current Planning Division
Development Services Center**

Subject: Opposition to SDR-17259

We oppose any further development of this park known as Freedom Park that does not include sound barriers separating this park from our residential homes . We have lived at 2941 Theresa Ave since 1977 . This park has become an events park , with uncontrolled noise . We can not even watch our television as it is drowned out by music and/ or microphone talking . I have complained numerous times to the police department , the park marshals and to my councilman Reese to no avail . Metro and the park marshals have refused to take any action , stating that the events have a permit . The noise at times is unbearable .

Freedom Park was a neighborhood park where we could once play with our children and grandchildren . We could feed the ducks , and have picnics , and walk on the track for exercise . We can no longer do this . Since becoming an events park it is constantly closed on the week-ends for events . Mojave Road is often closed to thru traffic for these events . Our biggest opposition is to the noise . Some type of sound barrier needs to be installed on Washington Ave and Mojave Road and enforcement of the noise ordinance . We do not support any development on this park unless the noise problem is addressed .

Thank-you for your consideration .

**John and Cynthia Eastwood
2941 Theresa Ave
Las Vegas , NV 89101
702-649-7872**

*John A Eastwood
Cynthia Eastwood*

Submitted after final agenda

Date 11/16/06 Item #43

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

TXT-17570 - TEXT AMENDMENT - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - Discussion and possible action to amend Title 19 of the Las Vegas Municipal Code to revise the standards for Mixed-Use Development, institute Transit-Oriented Development standards, and to revise associated standards accordingly.

THIS ITEM WILL BE FOWARDED TO CITY COUNCIL IN ORDINANCE FORM

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be **HELD IN ABEYANCE** to the December 7, 2006 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Conditions (Not Applicable) and Staff Report (Not Applicable)

MOTION:

EVANS – Motion to **HOLD IN ABEYANCE** Item 14 [ZON-16179], Item 15 [VAR-16181], Item 16 [VAR-17191], Item 17 [SDR-16180] and Item 44 [TXT-17570] to the 12/07/2006 Planning Commission Meeting; Item 26 [ZON-17242], Item 27 [VAR-17244], Item 28 [SDR-17247], Item 30 [VAR-17127] and Item 31 [SDR-17128] to the 12/21/2006 Planning Commission Meeting; Item 29 [ZON-17304] to the 1/25/2007 Planning Commission Meeting, and **WITHDRAW WITHOUT PREJUDICE** Item 37 [SUP-17204] and Item 38 [SDR-17205] – **UNANIMOUS** with **DUNNAM** excused

MINUTES:

MR. RANKIN reported that Item 44 [TXT-17570] is to be held to the 12/07/2006 Planning Commission meeting.

(6:04 – 6:07)

1-78

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

DIR-17768 - DIRECTOR'S BUSINESS - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - Discussion and possible action to approve the 2007 Planning Commission Dates.

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. 2007 Calendar
2. Submitted at meeting – Revised 2007 Calendar by Margo Wheeler

MOTION:

DAVENPORT – APPROVED– UNANIMOUS

This is Final Action

MINUTES:

CHAIRMAN TROWBRIDGE declared the Public Hearing open.

MARGO WHEELER, Director of Planning and Development, noted changes to the original proposal which reflect Planning Commission meeting dates of November 8th and 29th of 2007 and December 6th and 20th of 2007. The meeting dates would be the second and fifth Thursdays of November 2007 and the first and third Thursday of December 2007. This would allow a greater time in between meetings.

CHAIRMAN TROWBRIDGE declared the Public Hearing closed.

(10:42 – 10:45)

3-3015

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: NOVEMBER 16, 2006

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: TXT-17570 - APPLICANT: CITY OF LAS VEGAS

***STAFF REQUESTS THIS ITEM BE HELD IN
ABEYANCE TO THE DECEMBER 7, 2006
PLANNING COMMISSION MEETING***

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER, AICP ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

DIR-17768 - DIRECTOR'S BUSINESS - PUBLIC HEARING - APPLICANT: CITY OF LAS VEGAS - Discussion and possible action to approve the 2007 Planning Commission Dates.

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends **APPROVAL**.

BACKUP DOCUMENTATION:

1. 2007 Calendar
2. Submitted at meeting – Revised 2007 Calendar by Margo Wheeler

MOTION:

DAVENPORT – APPROVED– UNANIMOUS

This is Final Action

MINUTES:

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(10:42 – 10:45)

3-3015

PLANNING & DEVELOPMENT DEPARTMENT

2007

PLANNING COMMISSION MEETING SCHEDULE

Planning Commission Meeting Date	City Council Meeting Date
January 11, 2007	February 7, 2007
January 25, 2007	February 21, 2007
February 8, 2007	March 7, 2007
February 22, 2007	March 21, 2007
March 8, 2007	April 4, 2007
March 22, 2007	April 18, 2007
LEFT BLANK INTENTIONALLY	May 2, 2007
April 12, 2007	May 16, 2007
April 26, 2007	June 6, 2007
May 10, 2007	June 20, 2007
May 24, 2007	June 20, 2007
June 14, 2007	July 11, 2007
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June 28, 2007	August 1, 2007
July 12, 2007	August 15, 2007
July 26, 2007	September 5, 2007
August 9, 2007	September 5, 2007
August 23, 2007	September 19, 2007
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September 13, 2007	October 17, 2007
September 27, 2007	November 7, 2007
October 11, 2007	November 7, 2007
October 25, 2007	November 21, 2007
November 1, 2007*	December 5, 2007
November 15, 2007*	December 19, 2007
December 6, 2007*	January 2, 2008
December 20, 2007*	January 16, 2008
January 10, 2008	February 6, 2008
January 24, 2008	February 20, 2008

*Generally, the Planning Commission meetings are held on the second and fourth Thursday of each month.

NOTE - PRE-APPLICATION CONFERENCES WILL BE HELD DURING THE TWO WEEK PERIOD FOLLOWING THE PRE-APP CONFERENCE REQUEST DEADLINE.

Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS

Applications WILL BE accepted until 4:00 P.M. on NON-CLOSING DAYS

Call (702) 229-6301 for additional information



PLANNING & DEVELOPMENT DEPARTMENT

2007

PLANNING COMMISSION MEETING SCHEDULE

Planning Commission Meeting Date	City Council Meeting Date
January 11, 2007	February 7, 2007
January 25, 2007	February 21, 2007
February 8, 2007	March 7, 2007
February 22, 2007	March 21, 2007
March 8, 2007	April 4, 2007
March 22, 2007	April 18, 2007
LEFT BLANK INTENTIONALLY	May 2, 2007
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April 26, 2007	June 6, 2007
May 10, 2007	June 20, 2007
May 24, 2007	June 20, 2007
June 14, 2007	July 11, 2007
LEFT BLANK INTENTIONALLY	July 18, 2007
June 28, 2007	August 1, 2007
July 12, 2007	August 15, 2007
July 26, 2007	September 5, 2007
August 9, 2007	September 5, 2007
August 23, 2007	September 19, 2007
LEFT BLANK INTENTIONALLY	October 3, 2007
September 13, 2007	October 17, 2007
September 27, 2007	November 7, 2007
October 11, 2007	November 7, 2007
October 25, 2007	November 21, 2007
November 8, 2007	December 5, 2007
LEFT BLANK INTENTIONALLY	December 19, 2007
November 29, 2007*	January 2, 2008
December 6, 2007*	January 2, 2008
December 20, 2007*	January 16, 2008
January 10, 2008	February 6, 2008
January 24, 2008	February 20, 2008

Revised

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Call (702) 229-6301 for additional information

Submitted at Planning Commission

Date 11/16/06 Item #45



PLANNING & DEVELOPMENT DEPARTMENT

2007

PLANNING COMMISSION MEETING SCHEDULE

Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 3, 2006	November 28, 2006	January 11, 2007	February 7, 2007
November 17, 2006	December 12, 2006	January 25, 2007	February 21, 2007
December 1, 2006	December 26, 2006	February 8, 2007	March 7, 2007
December 15, 2006	January 9, 2007	February 22, 2007	March 21, 2007
December 29, 2006	January 23, 2007	March 8, 2007	April 4, 2007
January 12, 2007	February 6, 2007	March 22, 2007	April 18, 2007
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February 2, 2007	February 27, 2007	April 12, 2007	May 16, 2007
February 16, 2007	March 13, 2007	April 26, 2007	June 6, 2007
March 2, 2007	March 27, 2007	May 10, 2007	June 20, 2007
March 16, 2007	April 10, 2007	May 24, 2007	June 20, 2007
April 6, 2007	May 1, 2007	June 14, 2007	July 11, 2007
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April 20, 2007	May 15, 2007	June 28, 2007	August 1, 2007
May 4, 2007	May 29, 2007	July 12, 2007	August 15, 2007
May 18, 2007	June 12, 2007	July 26, 2007	September 5, 2007
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June 15, 2007	July 10, 2007	August 23, 2007	September 19, 2007
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July 6, 2007	July 31, 2007	September 13, 2007	October 17, 2007
July 20, 2007	August 14, 2007	September 27, 2007	November 7, 2007
August 3, 2007	August 28, 2007	October 11, 2007	November 7, 2007
August 17, 2007	September 11, 2007	October 25, 2007	November 21, 2007
August 31, 2007	September 25, 2007	November 8, 2007*	December 5, 2007
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Call (702) 229-6301 for additional information



PLANNING COMMISSION AGENDA
PLANNING COMMISSION MEETING OF: NOVEMBER 16, 2006

CITIZENS PARTICIPATION:

ITEMS RAISED UNDER THIS PORTION OF THE PLANNING COMMISSION AGENDA CANNOT BE ACTED UPON BY THE PLANNING COMMISSION UNTIL THE NOTICE PROVISIONS OF THE OPEN MEETING LAW HAVE BEEN COMPLIED WITH. THEREFORE, ACTION ON SUCH ITEMS WILL HAVE TO BE CONSIDERED AT A LATER TIME.

MINUTES:

TODD FARLOW, 240 North Nineteenth Street, commented on his involvement and support of the City at the sustainable housing seminars.

MEETING ADJOURNED AT 10:46 P.M.

Respectfully submitted:

YDOLEENA YTURRALDE, DEPUTY CITY CLERK

CARMEL VIADO, DEPUTY CITY CLERK