

Agenda *City of Las Vegas*

PLANNING COMMISSION MEETING

March 24, 2005

Council Chambers 400 Stewart Avenue Las Vegas, Nevada
Phone (702) 229-6301 TDD (702) 386-9108 <http://www.lasvegasnevada.gov>

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Las Vegas City Council

Mayor Oscar B. Goodman
Mayor Pro Tem Gary Reese, Ward 3
Councilman Larry Brown, Ward 4
Councilman Lawrence Weekly, Ward 5
Councilman Michael Mack, Ward 6
Councilman Steve Wolfson, Ward 2
Councilwoman Lois Tarkanian, Ward 1
City Manager Douglas A. Selby

Commissioners

Richard Truesdell, Chairperson
Todd Nigro, Vice Chairperson
Byron Goynes
Laura McSwain
Steven Evans
Leo Davenport
David Steinman

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

COMMISSIONERS BRIEFING: 5:15 P.M. City of Las Vegas Council Chambers 400 Stewart Avenue Las Vegas, Nevada

It is the intent of the Planning Commission to be briefed by staff and that all items on the agenda shall be available for open discussion during the briefing session. The Planning Commission may ask applicants and other interested parties for information or presentations. Applicants may not participate in the discussion unless at the specific request of the Commission. All interested parties are invited to attend.

CALL TO ORDER: 6:00 P.M. City of Las Vegas Council Chambers 400 Stewart Avenue Las Vegas, Nevada

ROLL CALL:

ANNOUNCEMENT: Compliance with the Open Meeting Law

NOTICE: This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2nd Floor Skybridge
Clark County Government Center, 500 S. Grand Central Parkway
Las Vegas Library, 833 Las Vegas Boulevard North
Grant Sawyer Building, 555 East Washington Avenue
Court Clerk's Office Bulletin Board, City Hall Plaza

MINUTES: Approval of the minutes of the February 24, 2005 Planning Commission Meeting minutes by reference (____ Vote)

ACTIONS: ALL ACTIONS ON TENTATIVE SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

3/15/2005 8:20 AM

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ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received; the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst them, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

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ABEYANCE/ WITHDRAWN ITEMS:

ITEMS THAT HAVE BEEN REQUESTED TO BE EITHER HELD IN ABEYANCE TO A FUTURE MEETING OR WITHDRAWN WITHOUT PREJUDICE MAY BE CONSIDERED IN ONE MOTION. ANY PERSON WHO DOES NOT AGREE THAT THE ITEM SHOULD BE HELD OR WITHDRAWN SHOULD REQUEST THE ITEM BE HEARD SEPARATELY.

CONSENT ITEMS:

CONSENT ITEMS ARE CONSIDERED ROUTINE BY THE PLANNING COMMISSION AND MAY BE ENACTED BY ONE MOTION. HOWEVER, ANY ITEM MAY BE DISCUSSED IF A COMMISSION MEMBER OR APPLICANT SO DESIRES.

1. TMP-6092 - TENTATIVE MAP - BROADSTONE AT DESERT SHORES (A CONDOMINIUM SUBDIVISION) - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT SHORES, L.L.C.
- Request for a Tentative Map FOR A 424 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT on 19.23 acres at 3151 Soaring Gulls Drive (APN 138-16-110-001), R-PD5 (Residential Planned Development - 5 units per acre) Zone, Ward 4 (Brown).
2. TMP-6110 - TENTATIVE MAP - JUHL - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC. - Request for a Tentative Map FOR A 345 UNIT MIXED-USE CONDOMINIUM DEVELOPMENT on 2.39 acres adjacent to the southeast corner of Third Street and Bonneville Avenue (APNs 139-34-311-095 through 102 and 139-34-311-105 through 110), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).
3. ANX-6042 - ANNEXATION - APPLICANT/OWNER: LEECH WEST, LLC - Petition to Annex property generally located on the west side of Jones Boulevard, between Tropical Parkway and El Campo Grande Avenue (APNs 125-26-704-002, 125-26-707-002 and 005), containing approximately 10.00 acres, Ward 6 (Mack).
4. ANX-6060 - ANNEXATION - APPLICANT/OWNER: SERGE CHARBONNEAU, ET AL - Petition to annex land generally located on the west side of Balsam Street, 270 feet south of Lone Mountain Road, containing approximately 2.4 acres (APNs 138-03-510-023, 024, and 025), Ward 6 (Mack).

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ONE MOTION – ONE VOTE:

THE FOLLOWING ARE ITEMS THAT MAY BE CONSIDERED IN ONE MOTION/ONE VOTE. THEY ARE CONSIDERED ROUTINE PUBLIC HEARING AND NON-PUBLIC HEARING ITEMS THAT HAVE NO PROTESTS, WAIVERS FROM THE CODE OR CONDITION CHANGES BY THE APPLICANT OR STAFF. ALL PUBLIC HEARINGS AND NON-PUBLIC HEARING ITEMS WILL BE OPENED AT ONE TIME. ANY PERSON REPRESENTING AN APPLICATION, A MEMBER OF THE PLANNING COMMISSION OR THE PUBLIC NOT IN AGREEMENT WITH THE CONDITIONS AND ALL STANDARD CONDITIONS FOR THE APPLICATION RECOMMENDED BY STAFF SHOULD REQUEST TO HAVE THIS ITEM REMOVED FROM THIS PART OF THE AGENDA.

5. RQR-6003 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: VIACOM OUTDOOR - OWNER: WMC III ASSOCIATES, LLC - Required One Year Review of an approved One Year Required Review (RQR-1974) WHICH APPROVED ONE EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGN on property bounded by U.S. 95, I-15 and Grand Central Parkway (APN 139-33-511-004), PD (Planned Development) Zone, Ward 5 (Weekly).
6. VAC-6095 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: STREAMLINE TOWER, LLC - Petition to Vacate a Public Sewer Easement adjacent to the southeast corner of Las Vegas Boulevard and Ogden Avenue, Ward 5 (Weekly).
7. VAC-6106 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC. - Petition to Vacate Fourth Street Corridor Landscape Easements at 600, 612, and 618 South Fourth Street, Ward 1 (Tarkanian).

PUBLIC HEARING ITEMS:

8. ABEYANCE - ZON-5669 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: SMOKE RANCH, LLC - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 5.33 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).

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9. ABEYANCE - SUP-5894 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH, INC. - Request for a Special Use Permit FOR A PROPOSED CONVENIENCE STORE WITH FUEL PUMPS adjacent to the southwest corner of Tenaya Drive and Azure Way (APN 125-27-222-006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
10. ABEYANCE - SDR-5893 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5894 - PUBLIC HEARING - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH INC. - Request for a Site Development Plan Review FOR A PROPOSED 3,500 SQUARE FOOT CONVENIENCE STORE WITH FUEL PUMPS AND WAIVERS OF THE 70% GLAZING AND THE 330 FOOT SEPARATION REQUIREMENTS on 1.43 acres adjacent to the southwest corner of Tenaya Way and Azure Drive (APN 125-27-222-006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
11. ABEYANCE - RQR-5683 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC - Required One Year Review of an approved One Year Required Review (RQR-1974) WHICH APPROVED EIGHT EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS on property bounded by U.S.-95, I-15 and Grand Central Parkway (APN 139-33-610-005, 139-33-511-003, 004, and 139-27-410-005, 008), PD (Planned Development) Zone, Ward 5 (Weekly).
12. ABEYANCE - VAR-5945 - VARIANCE - PUBLIC HEARING - APPLICANT: HIGHRISE PARTNERS LTD., LLC - OWNER: SCANDIA FAMILY FUN CENTERS - Request for a Variance TO ALLOW TANDEM PARKING SPACES IN EXCESS OF 30 PERCENT OF THE OVERALL REQUIRED PARKING FOR A 50 STORY MIXED-USE PROJECT adjacent to the northwest corner of Rancho Road and Sirius Avenue (APN 162-08-702-002), M (Industrial) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
13. ABEYANCE - SDR-6023 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT\ OWNER: CHARLESTON FESTIVAL, LLC - Request for a Site Development Plan Review FOR A 94,978 SQUARE FOOT COMMERCIAL DEVELOPMENT on 10.21 acres adjacent to the southeast corner of Torrey pines Drive and Casada Way (APN 138-35-801-002, 138-35-803-001, and 138-35-403-005), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

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14. ZON-6100 - REZONING - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Request for a Rezoning FROM: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION] TO: T-C (TOWN CENTER) [SC-TC (SERVICE COMMERCIAL - TOWN CENTER) SPECIAL LAND USE DESIGNATION] on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), Ward 6 (Mack).
15. VAC-6101 - VACATION RELATED TO ZON-6100 - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Petition to Vacate U.S. Government Patent Easements generally located north of Centennial Parkway, east of Kevin Way, Ward 6 (Mack).
16. SUP-6099 - SPECIAL USE PERMIT RELATED TO ZON-6100 AND VAC-6101- PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Request for a Special Use Permit FOR A PROPOSED MINI STORAGE FACILITY adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).
17. VAR-6230 - VARIANCE RELATED TO ZON-6100, VAC-6101, AND SUP-6099 - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Request for a Variance TO ALLOW 13 PERCENT OF THE GROSS PROPERTY AREA PROPOSED TO BE ADDED TO THE T-C (TOWN CENTER) ZONE TO BE OPEN SPACE WHERE A MINIMUM OF 20 PERCENT IS REQUIRED on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).

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18. SDR-6097 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6100, SUP-6099, VAR-6230 AND VAC-6101 - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Request for a Site Development Plan Review FOR A PROPOSED MINI STORAGE FACILITY AND WAIVERS FOR A THREE FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED, A THREE FOOT REAR YARD SETBACK WHERE 20 FEET IS THE MINIMUM REQUIRED, FOR A REDUCTION IN THE AMOUNT OF REQUIRED PERIMETER LANDSCAPING, AND TO ALLOW 61 PERCENT LOT COVERAGE WHERE 50 PERCENT IS THE MAXIMUM ALLOWED on 1.94 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).
19. ZON-6116 - REZONING - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), Ward 6 (Mack).
20. WVR-6229 - WAIVER RELATED TO ZON-6116 AND VAR-6118 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP - Request for a Waiver of Title 18.12.160 TO ALLOW 104 FEET BETWEEN INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED FOR A SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre) Zone], Ward 6 (Mack).
21. VAR-6118 - VARIANCE RELATED TO ZON-6116 AND WVR-6229 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP - Request for a Variance TO ALLOW 21,270 SQUARE FEET OF OPEN SPACE WHERE 48,874 SQUARE FEET IS THE MINIMUM REQUIRED on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre)], Ward 6 (Mack).

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22. **SDR-6117 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6116 AND VAR-6118 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP** - Request for a Site Development Plan Review FOR A PROPOSED 68 LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre) Zone], Ward 6 (Mack).
23. **ZON-6103 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Rezoning FROM: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION] TO: T-C (TOWN CENTER) [M-TC (Medium Density Residential - Town Center) Special Land Use Designation] on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), Ward 6 (Mack).
24. **VAR-6228 - VARIANCE RELATED TO ZON-6103 - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Variance TO ALLOW 38 FOOT SETBACK WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A 180 FOOT SETBACK IN CONJUNCTURE WITH A PROPOSED 372 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT COMPOSED OF SIX FOUR STORY BUILDINGS on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone] [M-TC (Medium Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).
25. **SDR-6105 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6103 AND VAR-6228 - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Site Development Plan Review FOR A 372 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT COMPOSED OF SIX FOUR STORY BUILDINGS on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone] [M-TC (Medium Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).
26. **VAR-6084 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: CHRIS O'ROURKE** - Request for a Variance TO ALLOW A FRONT YARD SETBACK OF 35 FEET WHERE 50 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE FAMILY DWELLING, AND TO ALLOW A PROPOSED SIX FOOT BLOCK WALL IN THE FRONT YARD WHERE FOUR FEET (TOP TWO FEET 50 PERCENT OPEN) IS THE MAXIMUM ALLOWED on 1.02 acres adjacent to the north side of Centennial Parkway, approximately 155 feet east of Leon Avenue (APN 125-24-404-006), R-E (Residence Estates) Zone, Ward 6 (Mack).

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27. **VAR-6098 - VARIANCE - PUBLIC HEARING - APPLICANT: CLYDE CARTER - OWNER: MEI CHU K. CARTER** - Request for Variances TO ALLOW A SIDE YARD SETBACK OF FOUR FEET WHERE 10 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED NEW GARAGE ATTACHED TO A DWELLING AND TO ALLOW A REAR YARD SETBACK OF 30 FEET WHERE 35 FEET IS THE MINIMUM REQUIRED FOR THE PROPOSED ATTACHMENT OF AN EXISTING GARAGE TO A DWELLING on 0.42 acres at 1220 Shadow Lane (APN 162-04-103-002), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).
28. **SUP-6067 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PETSMART - OWNER: DTR6, L.L.C.** - Request for a Special Use Permit FOR A PROPOSED PET BOARDING USE WITHIN AN EXISTING PET SHOP at 2140 North Rainbow Boulevard (APN 138-23-215-024), C-1 (Limited Commercial) Zone, Ward 6 (Mack).
29. **SUP-6143 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CREATIVE NIGHTLIFE CONCEPTS, LLC - OWNER: MELE PONO HOLDING, COMPANY** - Request for a Special Use Permit FOR A PROPOSED 3,040 SQUARE FOOT TAVERN LIMITED ESTABLISHMENT at 111 Las Vegas Boulevard South (APN 139-34-611-013), C-2 (General Commercial) Zone, Ward 5 (Weekly).
30. **RQR-6122 - REQUIRED THREE MONTH REVIEW - PUBLIC HEARING - APPLICANT: DENNIS HANCOCK - OWNER: ZYGMUNT AMARETTI** - Required Three Month Review of an approved Special Use Permit (SUP-2203) WHICH ALLOWED AN AUTO REPAIR GARAGE, MAJOR AND WAIVERS TO ALLOW MAJOR REPAIR AND SERVICE WORK OUTSIDE OF AN ENCLOSED BUILDING, TO ALLOW OUTDOOR HOISTS, AND TO NOT SCREEN DISABLED OR WRECKED VEHICLES FROM SURROUNDING PROPERTIES AND ADJOINING STREETS at 2101 Fremont Street (APN 139-35-804-004), C-2 (General Commercial) Zone, Ward 3 (Reese).
31. **SDR-6057 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: LAKE EAST, LLC AND STARBOARD, LLC** - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 448 UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 19.68 acres at 8600 Starboard Drive (APN 163-08-601-005), R-PD23 (Residential Planned Development - 23 units per acre) Zone, Ward 2 (Wolfson).

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32. SDR-6058 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING -
APPLICANT/OWNER: LAKE EAST, LLC AND STARBOARD, LLC - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 448 UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 20.00 acres at 3001 Lake East Drive (APNs 163-08-701-001 and 163-08-603-001), R-PD23 (Residential Planned Development - 23 units per acre) Zone, Ward 2 (Wolfson).
33. SDR-6102 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT:
HARTCO - OWNER: JESUS IS LORD FELLOWSHIP, LAS VEGAS CHAPTER - Request for a Site Development Plan Review FOR A PROPOSED CHURCH AND WAIVERS OF BUILDING PLACEMENT, PERIMETER AND FOUNDATION LANDSCAPING STANDARDS on 2.44 acres adjacent to the west side of Marion Drive, approximately 530 feet north of Charleston Boulevard (APN 140-32-401-002), C-1 (Limited Commercial) Zone, Ward 3 (Reese).
34. SDR-6109 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT:
SHEA COMMERCIAL - OWNER: CENTENNIAL RANCH, LLC, ET AL - Request for a Site Development Plan Review FOR A PROPOSED 104,398 SQUARE FOOT OFFICE CONDOMINIUM COMPLEX on 10.04 acres adjacent to the south side of Azure Drive, approximately 1,250 feet west of Tenaya Way (APNs 125-27-113-003 and 125-27-222-007), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
35. SDR-6111 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT:
JMA ARCHITECTURE STUDIOS - OWNER: CHARLESTON-3RD, LLC, ET AL - Request for a Site Development Plan Review FOR A PROPOSED 20 STORY MIXED USE DEVELOPMENT CONSISTING OF 114 RESIDENTIAL CONDOMINIUM UNITS AND 6,200 SQUARE FEET OF COMMERCIAL/RETAIL SPACE, WITH WAIVERS FROM THE DOWNTOWN CENTENNIAL PLAN STREETScape, BUILD-TO-LINE AND BUILDING STEPBACK REQUIREMENTS on 0.44 acres at 1026 and 1036 South Third Street (APNs 139-34-410-091 and 092), C-2 (General Commercial) Zone and R-4 (High Density Residential) Zone under Resolution of Intent to C-2 (General Commercial) Zone, Ward 1 (Tarkanian).
36. SDR-6140 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT:
GWEN BRAIMOH - OWNER: CITY OF LAS VEGAS - Request for a Site Development Plan Review FOR A 13,107 SQUARE FOOT COSMETOLOGY SCHOOL AND WAIVERS OF BUILDING SETBACK AND PERIMETER LANDSCAPING REQUIREMENTS on 0.99 acres on the west side of Stella Lake Street, approximately 600 feet south of Lake Mead Boulevard (a portion of APN 139-21-313-001), C-PB (Planned Business Park) Zone, Ward 5 (Weekly).

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DIRECTOR'S BUSINESS:

37. TXT-5773 – TEXT AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Discussion and possible action to amend Title 19.06 of the Las Vegas Zoning Code in order to adopt regulations and define the boundaries of the Rural Preservation Overlay District.

CITIZENS PARTICIPATION:

PUBLIC COMMENT DURING THIS PORTION OF THE AGENDA MUST BE LIMITED TO MATTERS WITHIN THE JURISDICTION OF THE PLANNING COMMISSION NO SUBJECT MAY BE ACTED UPON BY THE PLANNING COMMISSION UNLESS THAT SUBJECT IS ON THE AGENDA AND IS SCHEDULED FOR ACTION. IF YOU WISH TO BE HEARD, GIVE YOUR NAME FOR THE RECORD. THE AMOUNT OF DISCUSSION ON ANY SINGLE SUBJECT, AS WELL AS THE AMOUNT OF TIME ANY SINGLE SPEAKER IS ALLOWED, MAY BE LIMITED.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at (702) 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is (702) 386-9108.

AFFIDAVIT OF MAILING

(Mailing required under the provisions of NRS Chapter 241)

STATE OF NEVADA)

) ss

COUNTY OF CLARK)

I Carman Livingston Burney, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of March 17, 2005, a copy of the March 24, 2005 Planning Commission Agenda, the attached of which is a true and correct copy, was mailed electronically as well as deposited in the United States Mail, Postage prepaid, First Class Mail, to each person and/or organization whose name appears on the list maintained in the Department of Planning and Development, Current Planning Division.

Carman Livingston Burney

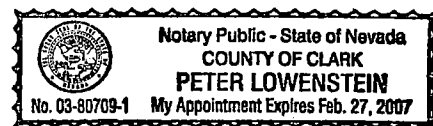
SIGNATURE

Planning and Development Department

Subscribed and sworn to before me this

17th day of March, 2005

Peter Lowenstein
NOTARY PUBLIC in and for said County and State



AFFIDAVIT OF POSTING

(Posting required under the provision of NRS 241, Sec. 1.3 and 1.5)

State of Nevada)
)
County of Clark)
)
City of Las Vegas)

I John Holliday, an employee of the Planning and Development Department of the City of Las Vegas, being first duly sworn, deposes and says that on the day of March 17, 2005, at the hour of 12:30, there were posted copies of the March 24, 2005 Planning Commission Agenda, the attached of which is a true and correct copy, at the following locations:

1. In the Clark County Government Center
500 South Grand Central Parkway
2. In the Grant Sawyer Building
555 East Washington Avenue
(Go in through the main entrance. Straight ahead is the security desk. Ask one of the guards to unlock the bulletin board so that you may post the agenda.)
3. In the Las Vegas Library
833 Las Vegas Boulevard North
(Go through the double doors. To the right of the desk is the bulletin board. I am told that they keep it very neat. Take some extra pushpins as they may not have any).
4. City Clerk's Bulletin Board
400 Stewart Avenue, 2nd Floor Skybridge
(in the walkway area next to the entrance of the Human Resources Department. See City Clerk for key)
5. On the Public Bulletin Board at the Plaza Level to the City Hall
400 Stewart Avenue
(Near the entrance to the Court Clerk's Office)

John Holliday
(Signature)

Planning and Development Department

Subscribed and sworn to before me

This 17th day of March, 2005.

Kathryn M. McDonald
Notary Public in and for said County and State



Agenda *City of Las Vegas*
PLANNING COMMISSION MEETING
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Las Vegas City Council

Mayor Oscar B. Goodman
Mayor Pro Tem Gary Reese, Ward 3
Councilman Larry Brown, Ward 4
Councilman Lawrence Weekly, Ward 5
Councilman Michael Mack, Ward 6
Councilman Steve Wolfson, Ward 2
Councilwoman Lois Tarkanian, Ward 1
City Manager Douglas A. Selby

Commissioners

Richard Truesdell, Chairperson
Todd Nigro, Vice Chairperson
Byron Goynes
Laura McSwain
Steven Evans
Leo Davenport
David Steinman

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

COMMISSIONERS BRIEFING: 5:15 P.M. City of Las Vegas Council Chambers 400 Stewart Avenue Las Vegas, Nevada

It is the intent of the Planning Commission to be briefed by staff and that all items on the agenda shall be available for open discussion during the briefing session. The Planning Commission may ask applicants and other interested parties for information or presentations. Applicants may not participate in the discussion unless at the specific request of the Commission. All interested parties are invited to attend.

CALL TO ORDER: 6:00 P.M. City of Las Vegas Council Chambers 400 Stewart Avenue Las Vegas, Nevada

ROLL CALL:

ANNOUNCEMENT: Compliance with the Open Meeting Law

NOTICE: This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2nd Floor Skybridge
Clark County Government Center, 500 S. Grand Central Parkway
Las Vegas Library, 833 Las Vegas Boulevard North
Grant Sawyer Building, 555 East Washington Avenue
Court Clerk's Office Bulletin Board, City Hall Plaza

MINUTES: Approval of the minutes of the February 24, 2005 Planning Commission Meeting minutes by reference (____ Vote)

ACTIONS: ALL ACTIONS ON TENTATIVE SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

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ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received; the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst them, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

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ABEYANCE/ WITHDRAWN ITEMS:

ITEMS THAT HAVE BEEN REQUESTED TO BE EITHER HELD IN ABEYANCE TO A FUTURE MEETING OR WITHDRAWN WITHOUT PREJUDICE MAY BE CONSIDERED IN ONE MOTION. ANY PERSON WHO DOES NOT AGREE THAT THE ITEM SHOULD BE HELD OR WITHDRAWN SHOULD REQUEST THE ITEM BE HEARD SEPARATELY.

CONSENT ITEMS:

CONSENT ITEMS ARE CONSIDERED ROUTINE BY THE PLANNING COMMISSION AND MAY BE ENACTED BY ONE MOTION. HOWEVER, ANY ITEM MAY BE DISCUSSED IF A COMMISSION MEMBER OR APPLICANT SO DESIRES.

1. TMP-6092 - TENTATIVE MAP - BROADSTONE AT DESERT SHORES (A CONDOMINIUM SUBDIVISION) - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT SHORES, L.L.C. - Request for a Tentative Map FOR A 424 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT on 19.23 acres at 3151 Soaring Gulls Drive (APN 138-16-110-001), R-PD5 (Residential Planned Development - 5 units per acre) Zone, Ward 4 (Brown).
2. TMP-6110 - TENTATIVE MAP - JUHL - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC. - Request for a Tentative Map FOR A 345 UNIT MIXED-USE CONDOMINIUM DEVELOPMENT on 2.39 acres adjacent to the southeast corner of Third Street and Bonneville Avenue (APNs 139-34-311-095 through 102 and 139-34-311-105 through 110), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).
3. ANX-6042 - ANNEXATION - APPLICANT/OWNER: LEECH WEST, LLC - Petition to Annex property generally located on the west side of Jones Boulevard, between Tropical Parkway and El Campo Grande Avenue (APNs 125-26-704-002, 125-26-707-002 and 005), containing approximately 10.00 acres, Ward 6 (Mack).
4. ANX-6060 - ANNEXATION - APPLICANT/OWNER: SERGE CHARBONNEAU, ET AL - Petition to annex land generally located on the west side of Balsam Street, 270 feet south of Lone Mountain Road, containing approximately 2.4 acres (APNs 138-03-510-023, 024, and 025), Ward 6 (Mack).

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ONE MOTION – ONE VOTE:

THE FOLLOWING ARE ITEMS THAT MAY BE CONSIDERED IN ONE MOTION/ONE VOTE. THEY ARE CONSIDERED ROUTINE PUBLIC HEARING AND NON-PUBLIC HEARING ITEMS THAT HAVE NO PROTESTS, WAIVERS FROM THE CODE OR CONDITION CHANGES BY THE APPLICANT OR STAFF. ALL PUBLIC HEARINGS AND NON-PUBLIC HEARING ITEMS WILL BE OPENED AT ONE TIME. ANY PERSON REPRESENTING AN APPLICATION, A MEMBER OF THE PLANNING COMMISSION OR THE PUBLIC NOT IN AGREEMENT WITH THE CONDITIONS AND ALL STANDARD CONDITIONS FOR THE APPLICATION RECOMMENDED BY STAFF SHOULD REQUEST TO HAVE THIS ITEM REMOVED FROM THIS PART OF THE AGENDA.

5. RQR-6003 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: VIACOM OUTDOOR - OWNER: WMC III ASSOCIATES, LLC - Required One Year Review of an approved One Year Required Review (RQR-1974) WHICH APPROVED ONE EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGN on property bounded by U.S. 95, I-15 and Grand Central Parkway (APN 139-33-511-004), PD (Planned Development) Zone, Ward 5 (Weekly).
6. VAC-6095 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: STREAMLINE TOWER, LLC - Petition to Vacate a Public Sewer Easement adjacent to the southeast corner of Las Vegas Boulevard and Ogden Avenue, Ward 5 (Weekly).
7. VAC-6106 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC. - Petition to Vacate Fourth Street Corridor Landscape Easements at 600, 612, and 618 South Fourth Street, Ward 1 (Tarkanian).

PUBLIC HEARING ITEMS:

8. ABEYANCE - ZON-5669 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: SMOKE RANCH, LLC - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 5.33 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly).

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9. ABEYANCE - SUP-5894 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH, INC. - Request for a Special Use Permit FOR A PROPOSED CONVENIENCE STORE WITH FUEL PUMPS adjacent to the southwest corner of Tenaya Drive and Azure Way (APN 125-27-222-006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
10. ABEYANCE - SDR-5893 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5894 - PUBLIC HEARING - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH INC. - Request for a Site Development Plan Review FOR A PROPOSED 3,500 SQUARE FOOT CONVENIENCE STORE WITH FUEL PUMPS AND WAIVERS OF THE 70% GLAZING AND THE 330 FOOT SEPARATION REQUIREMENTS on 1.43 acres adjacent to the southwest corner of Tenaya Way and Azure Drive (APN 125-27-222-006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
11. ABEYANCE - RQR-5683 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC - Required One Year Review of an approved One Year Required Review (RQR-1974) WHICH APPROVED EIGHT EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS on property bounded by U.S.-95, I-15 and Grand Central Parkway (APN 139-33-610-005, 139-33-511-003, 004, and 139-27-410-005, 008), PD (Planned Development) Zone, Ward 5 (Weekly).
12. ABEYANCE - VAR-5945 - VARIANCE - PUBLIC HEARING - APPLICANT: HIGHRISE PARTNERS LTD., LLC - OWNER: SCANDIA FAMILY FUN CENTERS - Request for a Variance TO ALLOW TANDEM PARKING SPACES IN EXCESS OF 30 PERCENT OF THE OVERALL REQUIRED PARKING FOR A 50 STORY MIXED-USE PROJECT adjacent to the northwest corner of Rancho Road and Sirius Avenue (APN 162-08-702-002), M (Industrial) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).
13. ABEYANCE - SDR-6023 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT\ OWNER: CHARLESTON FESTIVAL, LLC - Request for a Site Development Plan Review FOR A 94,978 SQUARE FOOT COMMERCIAL DEVELOPMENT on 10.21 acres adjacent to the southeast corner of Torrey pines Drive and Casada Way (APN 138-35-801-002, 138-35-803-001, and 138-35-403-005), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

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14. **ZON-6100 - REZONING - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC** - Request for a Rezoning FROM: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION] TO: T-C (TOWN CENTER) [SC-TC (SERVICE COMMERCIAL - TOWN CENTER) SPECIAL LAND USE DESIGNATION] on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), Ward 6 (Mack).
15. **VAC-6101 - VACATION RELATED TO ZON-6100 - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC** - Petition to Vacate U.S. Government Patent Easements generally located north of Centennial Parkway, east of Kevin Way, Ward 6 (Mack).
16. **SUP-6099 - SPECIAL USE PERMIT RELATED TO ZON-6100 AND VAC-6101- PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC** - Request for a Special Use Permit FOR A PROPOSED MINI STORAGE FACILITY adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).
17. **VAR-6230 - VARIANCE RELATED TO ZON-6100, VAC-6101, AND SUP-6099 - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC** - Request for a Variance TO ALLOW 13 PERCENT OF THE GROSS PROPERTY AREA PROPOSED TO BE ADDED TO THE T-C (TOWN CENTER) ZONE TO BE OPEN SPACE WHERE A MINIMUM OF 20 PERCENT IS REQUIRED on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).

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18. **SDR-6097 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6100, SUP-6099, VAR-6230 AND VAC-6101 - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC** - Request for a Site Development Plan Review FOR A PROPOSED MINI STORAGE FACILITY AND WAIVERS FOR A THREE FOOT SIDE YARD SETBACK WHERE 10 FEET IS THE MINIMUM REQUIRED, A THREE FOOT REAR YARD SETBACK WHERE 20 FEET IS THE MINIMUM REQUIRED, FOR A REDUCTION IN THE AMOUNT OF REQUIRED PERIMETER LANDSCAPING, AND TO ALLOW 61 PERCENT LOT COVERAGE WHERE 50 PERCENT IS THE MAXIMUM ALLOWED on 1.94 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Mack).
19. **ZON-6116 - REZONING - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP** - Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD7 (RESIDENTIAL PLANNED DEVELOPMENT - 7 UNITS PER ACRE) on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), Ward 6 (Mack).
20. **WVR-6229 - WAIVER RELATED TO ZON-6116 AND VAR-6118 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP** - Request for a Waiver of Title 18.12.160 TO ALLOW 104 FEET BETWEEN INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED FOR A SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre) Zone], Ward 6 (Mack).
21. **VAR-6118 - VARIANCE RELATED TO ZON-6116 AND WVR-6229 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP** - Request for a Variance TO ALLOW 21,270 SQUARE FEET OF OPEN SPACE WHERE 48,874 SQUARE FEET IS THE MINIMUM REQUIRED on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre)], Ward 6 (Mack).

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22. **SDR-6117 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6116 AND VAR-6118 - PUBLIC HEARING - APPLICANT: POWER REALTY - OWNER: LEE ARNOLD AND R W Y LIMITED PARTNERSHIP** - Request for a Site Development Plan Review FOR A PROPOSED 68 LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 9.91 acres adjacent to the northwest corner of Grand Teton Drive and Decatur Boulevard (APN 125-12-802-020), R-E (Residence Estates) Zone [PROPOSED: R-PD7 (Residential Planned Development - 7 units per acre) Zone], Ward 6 (Mack).
23. **ZON-6103 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Rezoning FROM: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION] TO: T-C (TOWN CENTER) [M-TC (Medium Density Residential - Town Center) Special Land Use Designation] on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), Ward 6 (Mack).
24. **VAR-6228 - VARIANCE RELATED TO ZON-6103 - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Variance TO ALLOW 38 FOOT SETBACK WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A 180 FOOT SETBACK IN CONJUNCTURE WITH A PROPOSED 372 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT COMPOSED OF SIX FOUR STORY BUILDINGS on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone] [M-TC (Medium Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).
25. **SDR-6105 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-6103 AND VAR-6228 - PUBLIC HEARING - APPLICANT/OWNER: TOWNE VISTAS, LLC** - Request for a Site Development Plan Review FOR A 372 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT COMPOSED OF SIX FOUR STORY BUILDINGS on 15.00 acres adjacent to the southeast corner of Bath Drive and Dapple Gray Road (APNs 125-20-301-012 through 014), U (Undeveloped) Zone [TC (Town Center) General Plan Designation] [PROPOSED: T-C (Town Center) Zone] [M-TC (Medium Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).
26. **VAR-6084 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: CHRIS O'ROURKE** - Request for a Variance TO ALLOW A FRONT YARD SETBACK OF 35 FEET WHERE 50 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED SINGLE FAMILY DWELLING, AND TO ALLOW A PROPOSED SIX FOOT BLOCK WALL IN THE FRONT YARD WHERE FOUR FEET (TOP TWO FEET 50 PERCENT OPEN) IS THE MAXIMUM ALLOWED on 1.02 acres adjacent to the north side of Centennial Parkway, approximately 155 feet east of Leon Avenue (APN 125-24-404-006), R-E (Residence Estates) Zone, Ward 6 (Mack).

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27. VAR-6098 - VARIANCE - PUBLIC HEARING - APPLICANT: CLYDE CARTER - OWNER: MEI CHU K. CARTER - Request for Variances TO ALLOW A SIDE YARD SETBACK OF FOUR FEET WHERE 10 FEET IS THE MINIMUM REQUIRED FOR A PROPOSED NEW GARAGE ATTACHED TO A DWELLING AND TO ALLOW A REAR YARD SETBACK OF 30 FEET WHERE 35 FEET IS THE MINIMUM REQUIRED FOR THE PROPOSED ATTACHMENT OF AN EXISTING GARAGE TO A DWELLING on 0.42 acres at 1220 Shadow Lane (APN 162-04-103-002), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).
28. SUP-6067 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PETSMART - OWNER: DTR6, L.L.C. - Request for a Special Use Permit FOR A PROPOSED PET BOARDING USE WITHIN AN EXISTING PET SHOP at 2140 North Rainbow Boulevard (APN 138-23-215-024), C-1 (Limited Commercial) Zone, Ward 6 (Mack).
29. SUP-6143 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CREATIVE NIGHTLIFE CONCEPTS, LLC - OWNER: MELE PONO HOLDING, COMPANY - Request for a Special Use Permit FOR A PROPOSED 3,040 SQUARE FOOT TAVERN LIMITED ESTABLISHMENT at 111 Las Vegas Boulevard South (APN 139-34-611-013), C-2 (General Commercial) Zone, Ward 5 (Weekly).
30. ROR-6122 - REQUIRED THREE MONTH REVIEW - PUBLIC HEARING - APPLICANT: DENNIS HANCOCK - OWNER: ZYGMUNT AMARETTI - Required Three Month Review of an approved Special Use Permit (SUP-2203) WHICH ALLOWED AN AUTO REPAIR GARAGE, MAJOR AND WAIVERS TO ALLOW MAJOR REPAIR AND SERVICE WORK OUTSIDE OF AN ENCLOSED BUILDING, TO ALLOW OUTDOOR HOISTS, AND TO NOT SCREEN DISABLED OR WRECKED VEHICLES FROM SURROUNDING PROPERTIES AND ADJOINING STREETS at 2101 Fremont Street (APN 139-35-804-004), C-2 (General Commercial) Zone, Ward 3 (Reese).
31. SDR-6057 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: LAKE EAST, LLC AND STARBOARD, LLC - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 448 UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 19.68 acres at 8600 Starboard Drive (APN 163-08-601-005), R-PD23 (Residential Planned Development - 23 units per acre) Zone, Ward 2 (Wolfson).

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32. SDR-6058 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: LAKE EAST, LLC AND STARBOARD, LLC - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 448 UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 20.00 acres at 3001 Lake East Drive (APNs 163-08-701-001 and 163-08-603-001), R-PD23 (Residential Planned Development - 23 units per acre) Zone, Ward 2 (Wolfson).
33. SDR-6102 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: HARTCO - OWNER: JESUS IS LORD FELLOWSHIP, LAS VEGAS CHAPTER - Request for a Site Development Plan Review FOR A PROPOSED CHURCH AND WAIVERS OF BUILDING PLACEMENT, PERIMETER AND FOUNDATION LANDSCAPING STANDARDS on 2.44 acres adjacent to the west side of Marion Drive, approximately 530 feet north of Charleston Boulevard (APN 140-32-401-002), C-1 (Limited Commercial) Zone, Ward 3 (Reese).
34. SDR-6109 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: SHEA COMMERCIAL - OWNER: CENTENNIAL RANCH, LLC, ET AL - Request for a Site Development Plan Review FOR A PROPOSED 104,398 SQUARE FOOT OFFICE CONDOMINIUM COMPLEX on 10.04 acres adjacent to the south side of Azure Drive, approximately 1,250 feet west of Tenaya Way (APNs 125-27-113-003 and 125-27-222-007), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).
35. SDR-6111 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: JMA ARCHITECTURE STUDIOS - OWNER: CHARLESTON-3RD, LLC, ET AL - Request for a Site Development Plan Review FOR A PROPOSED 20 STORY MIXED USE DEVELOPMENT CONSISTING OF 114 RESIDENTIAL CONDOMINIUM UNITS AND 6,200 SQUARE FEET OF COMMERCIAL/RETAIL SPACE, WITH WAIVERS FROM THE DOWNTOWN CENTENNIAL PLAN STREETSCAPE, BUILD-TO-LINE AND BUILDING STEPBACK REQUIREMENTS on 0.44 acres at 1026 and 1036 South Third Street (APNs 139-34-410-091 and 092), C-2 (General Commercial) Zone and R-4 (High Density Residential) Zone under Resolution of Intent to C-2 (General Commercial) Zone, Ward 1 (Tarkanian).
36. SDR-6140 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: GWEN BRAIMOH - OWNER: CITY OF LAS VEGAS - Request for a Site Development Plan Review FOR A 13,107 SQUARE FOOT COSMETOLOGY SCHOOL AND WAIVERS OF BUILDING SETBACK AND PERIMETER LANDSCAPING REQUIREMENTS on 0.99 acres on the west side of Stella Lake Street, approximately 600 feet south of Lake Mead Boulevard (a portion of APN 139-21-313-001), C-PB (Planned Business Park) Zone, Ward 5 (Weekly).

Agenda *City of Las Vegas*

PLANNING COMMISSION MEETING

March 24, 2005

Council Chambers · 400 Stewart Avenue · Las Vegas, Nevada
Phone (702) 229-6301 · TDD (702) 386-9108 · <http://www.lasvegasnevada.gov>
Page 11

DIRECTOR'S BUSINESS:

37. TXT-5773 – TEXT AMENDMENT - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Discussion and possible action to amend Title 19.06 of the Las Vegas Zoning Code in order to adopt regulations and define the boundaries of the Rural Preservation Overlay District.

CITIZENS PARTICIPATION:

PUBLIC COMMENT DURING THIS PORTION OF THE AGENDA MUST BE LIMITED TO MATTERS WITHIN THE JURISDICTION OF THE PLANNING COMMISSION NO SUBJECT MAY BE ACTED UPON BY THE PLANNING COMMISSION UNLESS THAT SUBJECT IS ON THE AGENDA AND IS SCHEDULED FOR ACTION. IF YOU WISH TO BE HEARD, GIVE YOUR NAME FOR THE RECORD. THE AMOUNT OF DISCUSSION ON ANY SINGLE SUBJECT, AS WELL AS THE AMOUNT OF TIME ANY SINGLE SPEAKER IS ALLOWED, MAY BE LIMITED.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at (702) 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is (702) 386-9108.

PLANNING COMMISSION AGENDA
PLANNING COMMISSION MEETING OF: MARCH 24, 2005

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE.

THESE PROCEEDINGS ARE BEING PRESENTED LIVE ON KCLV, CABLE CHANNEL 2. THE PLANNING COMMISSION MEETING, AS WELL AS ALL OTHER KCLV PROGRAMMING, CAN BE VIEWED ON THE CITY'S INTERNET AT www.kclv.tv. THE PROCEEDINGS WILL BE REBROADCAST ON KCLV CHANNEL 2 AND THE WEB SATURDAY AT 10:00 AM, THE FOLLOWING MONDAY AT MIDNIGHT AND TUESDAY AT 5:00 PM.

PLEDGE OF ALLEGIANCE was led by CHAIRMAN NIGRO.

CALL TO ORDER: 6:00 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

ANNOUNCEMENT RE: COMPLIANCE WITH OPEN MEETING LAW

PRESENT: CHAIRMAN TODD NIGRO, MEMBERS STEVEN EVANS, BYRON GOYNES, LAURA McSWAIN, LEO DAVENPORT AND DAVID STEINMAN

Excused: VICE CHAIRMAN RICHARD TRUESDELL

STAFF PRESENT: MARGO WHEELER – PLANNING & DEVELOPMENT DEPT., MARIO SUAREZ, – PLANNING & DEVELOPMENT DEPT., GARY LEOBOLD – PLANNING & DEVELOPMENT DEPT., PETER LOWENSTEIN – PLANNING & DEVELOPMENT DEPT., GINA VENGLASS – PUBLIC WORKS, RICK SCHRODER – PUBLIC WORKS, BRYAN SCOTT – CITY ATTORNEY'S OFFICE, ANGELA CROLLI – CITY CLERK'S OFFICE, STACEY CAMPBELL – CITY CLERK'S OFFICE

MINUTES:

GARY LEOBOLD, Planning and Development Department, introduced the new Deputy Director for the Planning Department, MARIO SUAREZ, and PETER LOWENSTEIN, Planner.

MR. LEOBOLD stated that the applicants for the following items requested the items be held in abeyance, tabled or withdrawn without prejudice. Letters are on file for each of the requests.

Item 8 [ZON-5669]	Abeyance to 4/28/2005 Planning Commission Meeting
Item 9 [SUP-5894]	Abeyance to 4/14/2005 Planning Commission Meeting
Item 10 [SDR-5893]	Abeyance to 4/14/2005 Planning Commission Meeting
Item 12 [VAR-5945]	Withdrawn Without Prejudice
Item 24 [VAR-6228]	Abeyance to 4/14/2005 Planning Commission Meeting

Item 25 [SDR-6105] Abeyance to 4/14/2005 Planning Commission Meeting
Item 34 [SDR-6109] Abeyance to 4/28/2005 Planning Commission Meeting
Item 35 [SDR-6111] Abeyance to 4/14/2005 Planning Commission Meeting

Regarding Item 2 [TMP-6110], GINA VENGLASS, Public Works, requested that Condition 8 be deleted, as it is no longer necessary.

MR. LEOBOLD also indicated that staff requested the following item be held in abeyance.

Item 37 [TXT-5773] Abeyance to 4/14/2005 Planning Commission Meeting

CHAIRMAN NIGRO explained to RICHARD WILLIAMS, representative for the Nevada Carpenters Union, 501 N. Lamb Boulevard, that Item 12 [VAR-5945] was not held in abeyance but was Withdrawn Without Prejudice. Should the applicant desire to move forward, they would have to re-apply with a new application. MR. LEOBOLD added that the applicant had redesigned the Site Plan to meet the Code for tandem parking. As a result, the Variance for tandem parking is no longer required, but the project is still underway. MR. WILLIAMS desired to express some concerns relative to the project. MARGO WHEELER, Planning and Development, confirmed for COMMISSIONER McSWAIN that the project had been before the City Council and was approved. COMMISSIONER McSWAIN informed MR. WILLIAMS that he could voice his concerns, on record, during Citizens Participation.

Regarding Item 8 [ZON-5669], MR. LEOBOLD informed COMMISSIONER DAVENPORT that this is the second abeyance request. However, on Item 9 [SUP-5894] and Item 10 [SDR-5893], this is the first abeyance request.

GOYNES – Motion to bring forward and HOLD IN ABEYANCE Item 9 [SUP-5894], Item 10 [SDR-5893], Item 24 [VAR-6228], Item 25 [SDR-6105], Item 35 [SDR-6111] and Item 37 [TXT-5773] to the 4/14/2005 Planning Commission Meeting; Item 8 [ZON-5669] and Item 34 [SDR-6109] to the 4/28/2005 Planning Commission Meeting and WITHDRAW WITHOUT PREJUDICE Item 12 [VAR-5945] – UNANIMOUS with TRUESDELL excused

(6:02 – 6:09)

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: MARCH 24, 2005

SUBJECT:

Approval of the minutes of the February 24, 2005 Planning Commission Meeting

MOTION:

EVANS - APPROVED - UNANIMOUS with GOYNES abstaining as he was not present at the aforementioned meeting and TRUESDELL excused

MINUTES:

There was no discussion.

(6:01)

1 - 60

City of Las Vegas

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: MARCH 24, 2005

CHAIRMAN NIGRO announced the subdivision items could be appealed by the applicant or aggrieved person or a review requested by a member of the City Council.

ACTIONS:

ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

CHAIRMAN NIGRO read the statement on the order of the items and the time limitations on persons wishing to be heard on an item.

ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDA ITEM.



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

CHAIRMAN NIGRO noted the Rules of Conduct.

PLANNING COMMISSION MEETING RULES OF CONDUCT.

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received, the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☒

CONSENT

☐

DISCUSSION

SUBJECT:

TMP-6092 - TENTATIVE MAP - BROADSTONE AT DESERT SHORES (A CONDOMINIUM SUBDIVISION) - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT SHORES, L.L.C. - Request for a Tentative Map FOR A 424 UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT on 19.23 acres at 3151 Soaring Gulls Drive (APN 138-16-110-001), R-PD5 (Residential Planned Development - 5 units per acre) Zone, Ward 4 (Brown).

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

GOYNES – APPROVED subject to conditions Consent Item 1 [TMP-6092], APPROVED Consent Item 3 [ANX-6042] and Item 4 [ANX-6060]; and APPROVED subject to conditions and deleting Condition 8 on Consent Item 2 [TMP-6110] – UNANIMOUS with McSWAIN abstaining on Item 4 and TRUESDELL excused

This is Final Action

NOTE: Commissioner McSwain abstained on Item 4 [ANX-6060], as the present owner of Royal Construction is involved in another project that her company, Terra Contracting, is doing work for.

MINUTES:

CHAIRMAN NIGRO stated this is a Consent item.

(6:09 – 6:10)

1-301

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 1 – TMP-6092

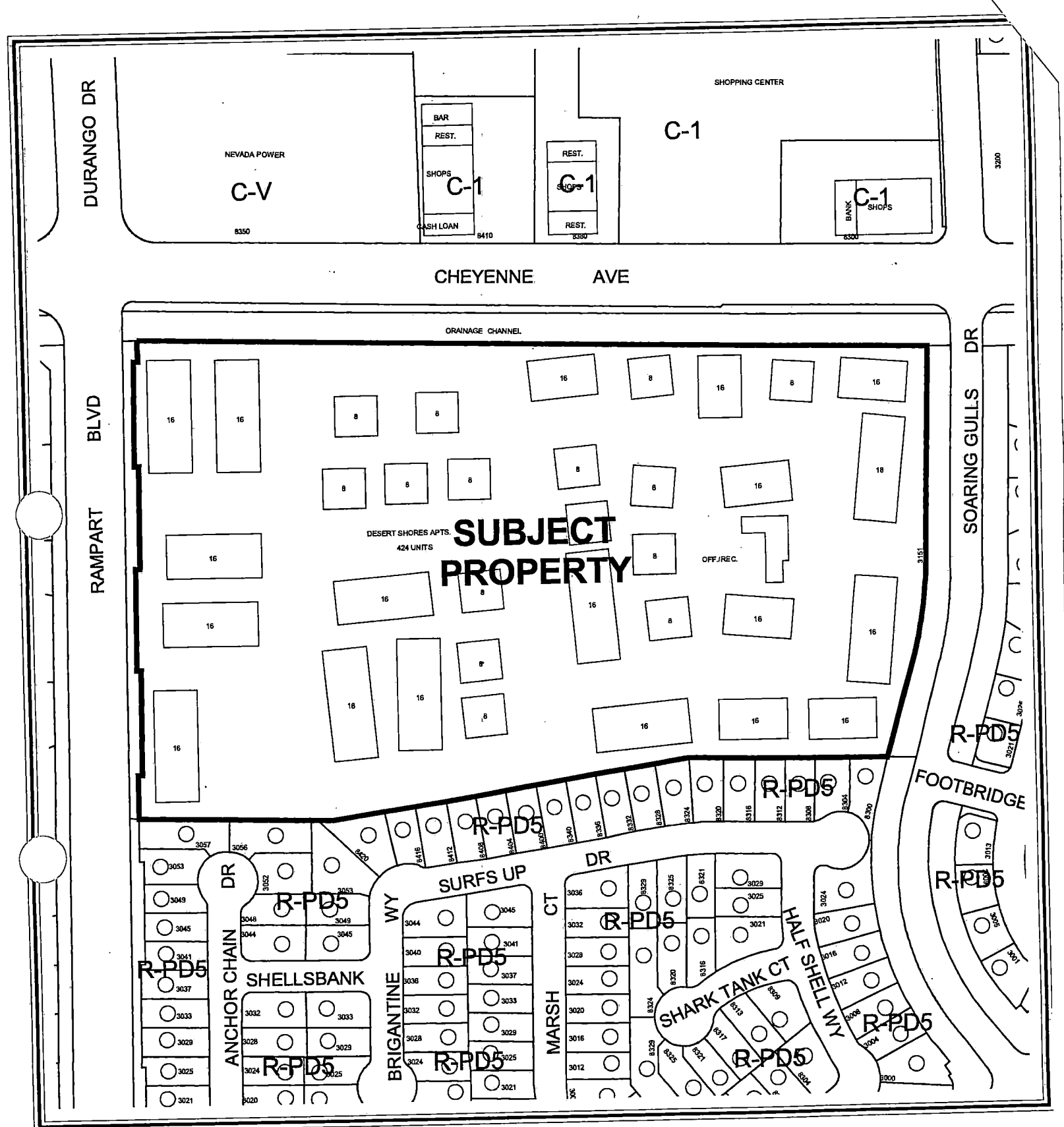
CONDITIONS:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, a new Tentative Map must be filed.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-5890).
3. Prior to approval of any final map, the developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to either common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels prior to approval of the final map.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

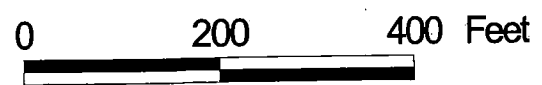
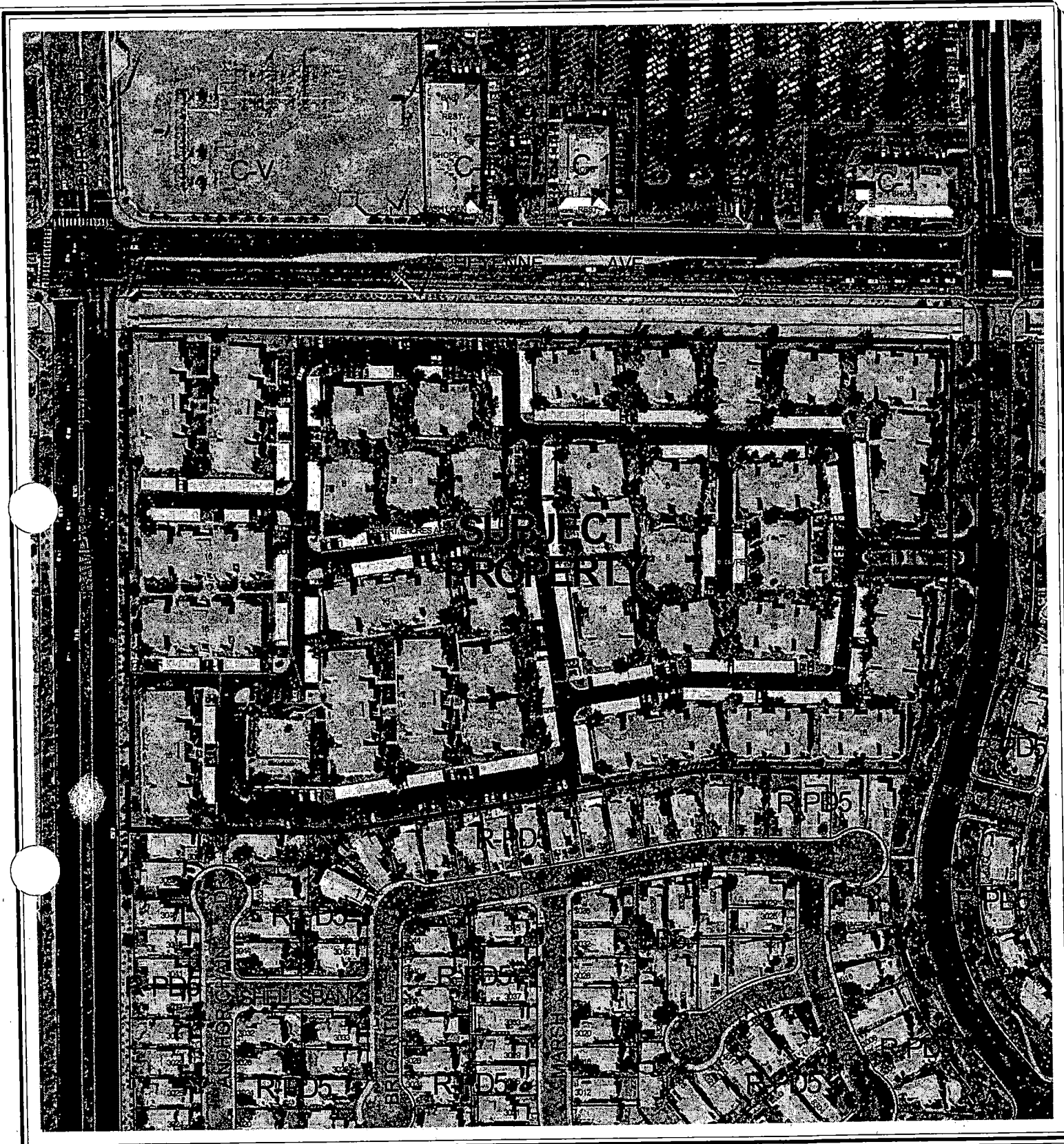
5. Include the following note on the Final Map: Any area not occupied by a building shall be a public drainage easement to be privately maintained by the Homeowners' Association.
6. Site development to comply with all applicable conditions of approval for SDR-5890 and all other subsequent site-related actions.
7. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



CASE: TMP-6092

ZONING OF SUBJECT PROPERTY:

R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT - 5 UNITS PER ACRE)



CASE: TMP-6092

ZONING OF SUBJECT PROPERTY:
R-PD5 (RESIDENTIAL PLANNED DEVELOPMENT - 5 UNITS PER ACRE)



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: TMP-6092 - BROADSTONE AT DESERT SHORES
CONDOMINIUMS - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT
SHORES, L.L.C.**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, a new Tentative Map must be filed.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-5890).
3. Prior to approval of any final map, the developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to either common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels prior to approval of the final map.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

5. Include the following note on the Final Map: Any area not occupied by a building shall be a public drainage easement to be privately maintained by the Homeowners' Association.
6. Site development to comply with all applicable conditions of approval for SDR-5890 and all other subsequent site-related actions.

TMP-6092 - Conditions Page Two
March 24, 2005 - Planning Commission Meeting

7. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a request for approval of a Tentative Map for a 424 unit residential condominium development on 19.23 acres at 3151 Soaring Gulls Drive, adjacent to the southeast corner of Cheyenne Avenue and Rampart Boulevard.

B) Applicant's Justification

No justification is required for a Tentative Map application.

BACKGROUND INFORMATION

A) Related Actions

- 06/03/87 The City Council approved a Rezoning (Z-0043-87) from N-U (Non-Urban) to R-PD5 (Residential Planned Development – 5 units per acre), C-1 (Limited Commercial) and C-2 (General Commercial) generally located west of Buffalo Drive between Lake Mead Boulevard and Cheyenne Avenue. The Planning Commission and staff recommended approval.
- 06/28/88 The Planning Commission approved a Plot Plan Review [Z-0043-87(1)] for a proposed apartment complex on the subject site. Staff recommended approval.
- 04/27/89 The Board of Zoning Adjustment approved a Variance (V-0018-89) to allow a proposed six-foot high project perimeter wall with seven-foot six-inch high pilasters where six feet is the maximum height permitted in side and rear yard areas, and where four feet with the top two feet fifty percent open is the maximum height allowed in front yard areas on properties in the Desert Shores development, adjacent to the west side of Buffalo Drive between Cheyenne Avenue and Lake Mead Boulevard. Perimeter walls along Cheyenne Avenue and Rampart Boulevard were included in this request. Staff recommended approval.
- 03/16/05 The City Council approved a Site Development Plan Review (SDR-5890) for the conversion of an existing 424 unit apartment project to a condominium development on the subject site. The Planning Commission recommended approval. Staff recommended denial, based on the current parking deficiency.

B) Pre-Application Meeting

01/27/05 Requirements for a Tentative Map submittal were discussed. The map should conform to the Site Development Plan Review for the proposed condominium conversion.

DETAILS OF APPLICATION REQUEST

A) Site Area

Net Acres: 19.23

B) Existing Land Use

Subject Property: Multi-Family Residential (Apartments)
North: Nevada Power Substation
Retail Commercial
Restaurants
South: Single Family Residential
East: Single Family Residential
West: Single Family Residential

C) Existing Zoning

Subject Property: R-PD5 (Residential Planned Development – 5 units per acre)
North: C-V (Civic)
C-1 (Limited Commercial)
South: R-PD5 (Residential Planned Development – 5 units per acre)
East: R-PD5 (Residential Planned Development – 5 units per acre)
West: P-C (Planned Community)

D) General Plan Compliance

The subject site is designated M (Medium Density Residential) on the Southwest Sector Map of the General Plan. This land use category allows densities up to 25 residential units per acre and supporting uses such as parks, schools and churches. The existing zoning and proposed condominium use conform to the M (Medium Density Residential) classification, with the existing complex having a density of 22 units per acre. The proposed condominium plat is not affected by any specific General Plan policies.

SPECIAL DISTRICTS/ZONES	Yes	No
Special Area Plan		X
Special Overlay District		X
Trails		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

No special districts, zones, trails, or notifications are associated with the subject site.

ANALYSIS

A) Zoning Code Compliance

A1) Development Standards

Pursuant to Title 19.06.040, the Development Standards for a Residential Planned Development shall be established by the site development plans. The following standards apply to the existing apartment complex:

Standards	Approved	Provided	Compliance
Min. Lot Size	N/A	19.23 acres	N/A
Min. Lot Width	N/A	648 Feet	N/A
Min. Setbacks			
• Front (Soaring Gulls Drive)	18 Feet	18.05 Feet	Y
• Side	18 Feet	18.33 Feet	Y
• Corner	10 Feet	10.21 Feet	Y
• Rear	19 Feet	19.73 Feet	Y
Number of Units	424	424	Y
Max. Density	25 du/ac	22 du/ac	Y
Private/Public Street	Private Drives	Private Drives	Y
Min. Street Width	24 Feet	24 Feet	Y

The proposed Tentative Map is in substantial compliance with approved Site Development Plan Review SDR-5890.

B) General Analysis and Discussion

- General information

The proposed Tentative Map depicts the subdivision of a 424-unit apartment project into for-sale condominium units. The apartments were built to Zoning Code standards in 1989, but have since become nonconforming with respect to parking. Two driveways, one on Soaring Gulls Drive, the primary entrance, and the other on Rampart Boulevard, provide access to the apartment complex. The site features an internal loop road network with the majority of the apartment buildings oriented toward the inside and parking along the interior roads.

- Cross Section

The submitted cross sections depict maximum natural grade between 0% and 2% across this site. Per Table A Subdivision Code 18.08.110 a development with natural slope between 0% to 2%, is allowed a maximum four-foot retaining wall. The cross sections do not indicate any retaining walls and none are anticipated, since this is a conversion of existing apartments to a condominium development.

TMP-6092 - Staff Report Page Four
March 24, 2005 - Planning Commission Meeting

- Trails

No trails exist or are required adjacent to the subject site.

- Special Conditions of Approval (from SDR-5890)

3. Prior to the submittal of a Final Map, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
9. A Homeowners' Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
10. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Evidence of payment is required with Final Map mylar submittal.
11. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
12. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map to discuss fire requirements for the proposed use of this facility.

TMP-6092 - Staff Report Page Five
March 24, 2005 - Planning Commission Meeting

13. Site development to comply with all applicable conditions of approval for Z-43-87 and all other subsequent site-related actions.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 13

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-6092** APN: 138-16-110-001

Name of Property Owner: Desert Shores L L C

Name of Applicant: Aztec Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes ☐ No ☒

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Owner: Desert Shores, LLC,
a Delaware limited liability company
By: Crow Holdings Manager, L.L.C.,
a Texas limited liability company
Its Manager

Signature of Property Owner/Authorized Agent:

Print Name: Charles E. B. Smith Jr.

Title: Vice President

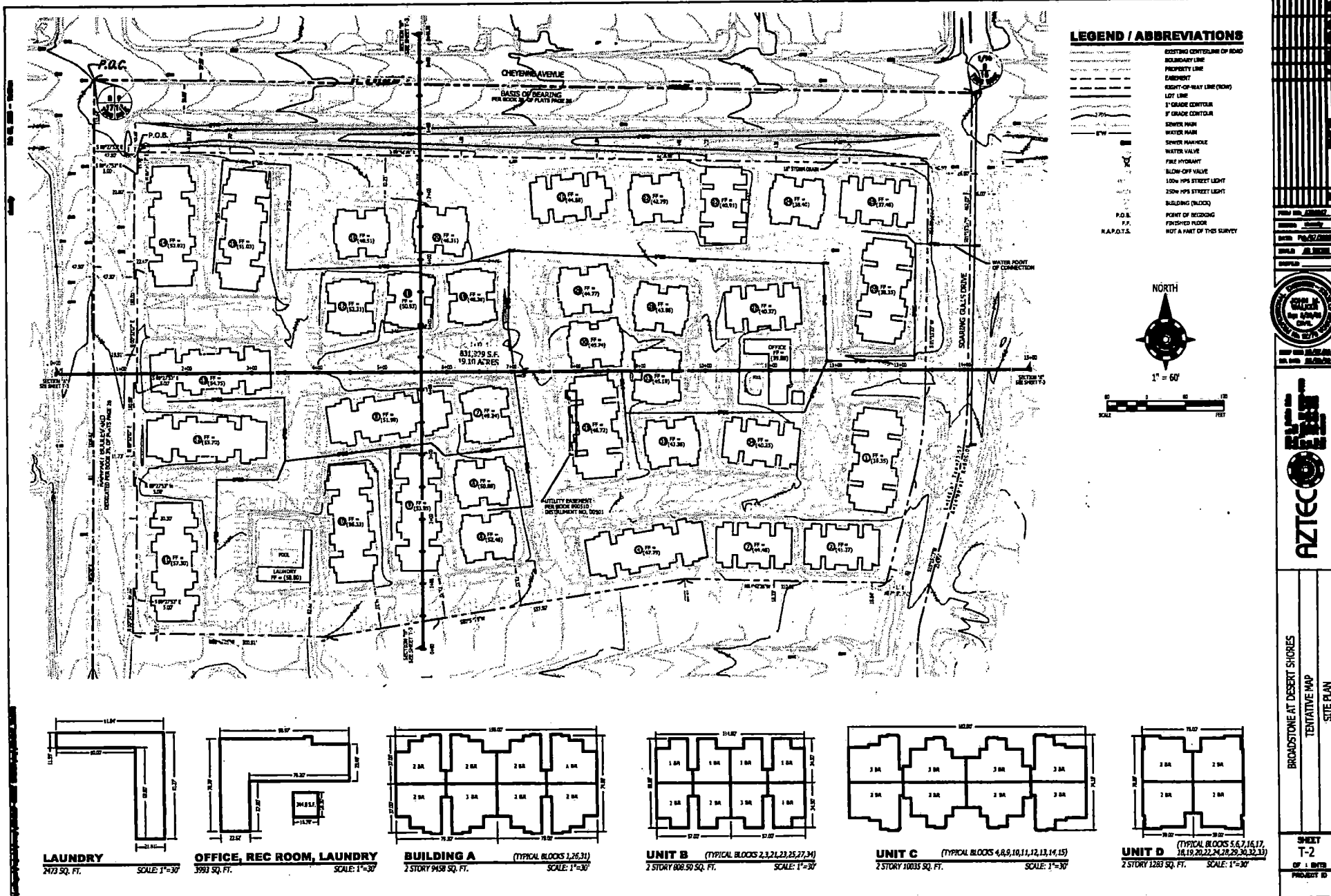
Subscribed and sworn before me

This 25th day of January, 2005

Melissa G. Huber
Notary Public in and for said County and State



MELISSA C. HUBER
Notary Public
State of Texas
Comm. Expires 12-05-2011

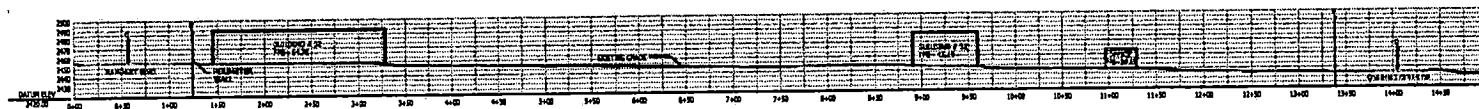


TMP-6092
03/24/05 PC

BROADSTONE AT DESERT SHORES
TENTATIVE MAP
SITE PLAN

SHEET
T-2
OF 1 SHEET
PROJECT ID

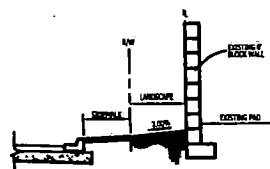
TENTATIVE MAP
FOR
BROADSTONE AT DESERT SHORES
A CONDOMINIUM SUBDIVISION
THAT PORTION OF NORTHWEST QUARTER (NW1/4) OF SECTION 16,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.,
CITY OF LAS VEGAS,
CLARK COUNTY, NEVADA



SECTION "A"
SEE SHEET T-2 VERTICAL AND HORIZONTAL SCALE 1" = 60'



SECTION "B"
SEE SHEET T-2 VERTICAL AND HORIZONTAL SCALE 1" = 60'



TYPICAL PERIMETER WALL DETAIL
R13



AZTEC

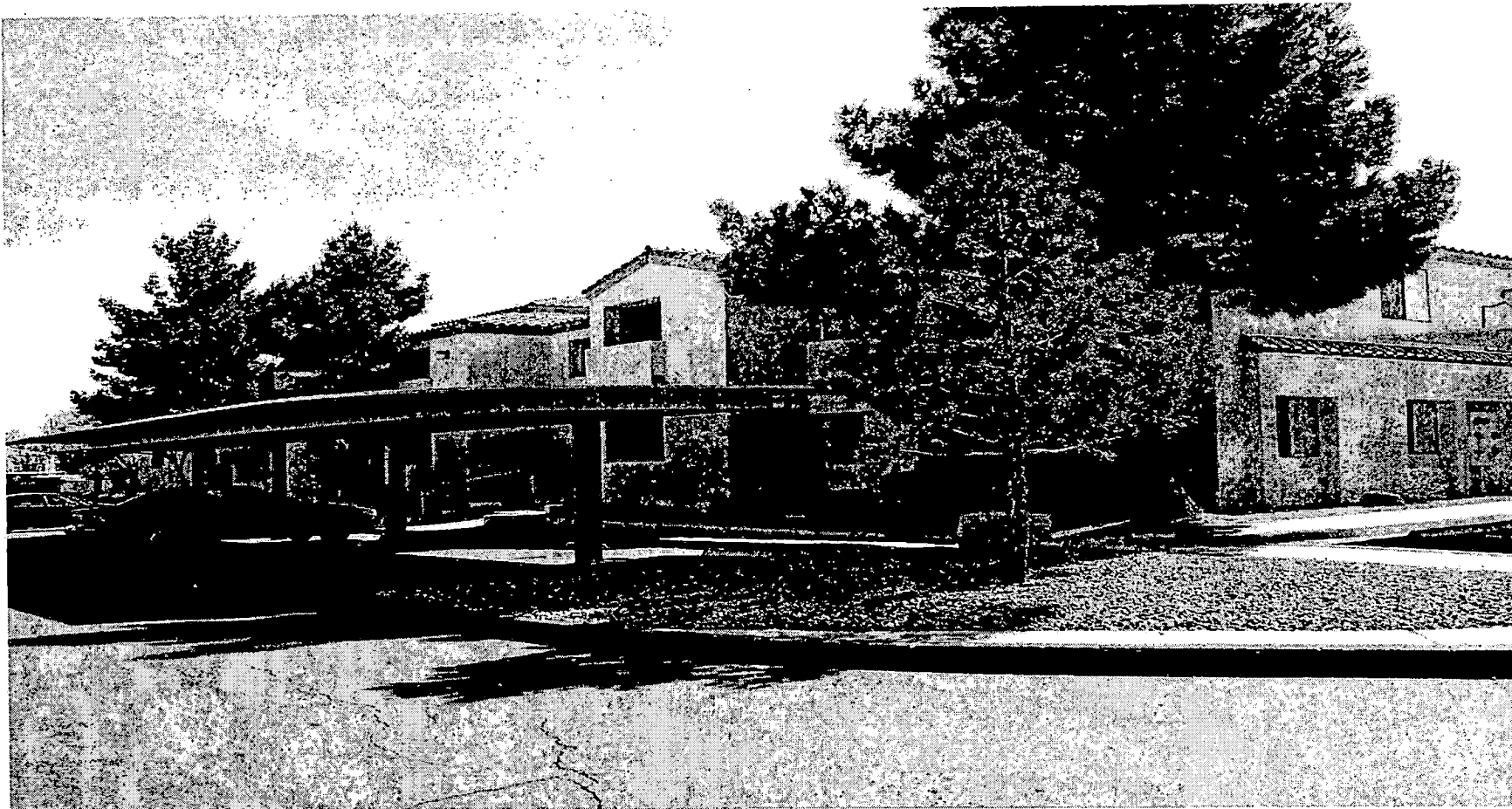
BROADSTONE AT DESERT SHORES

TENTATIVE MAP

SITE PROFILES AND DETAILS

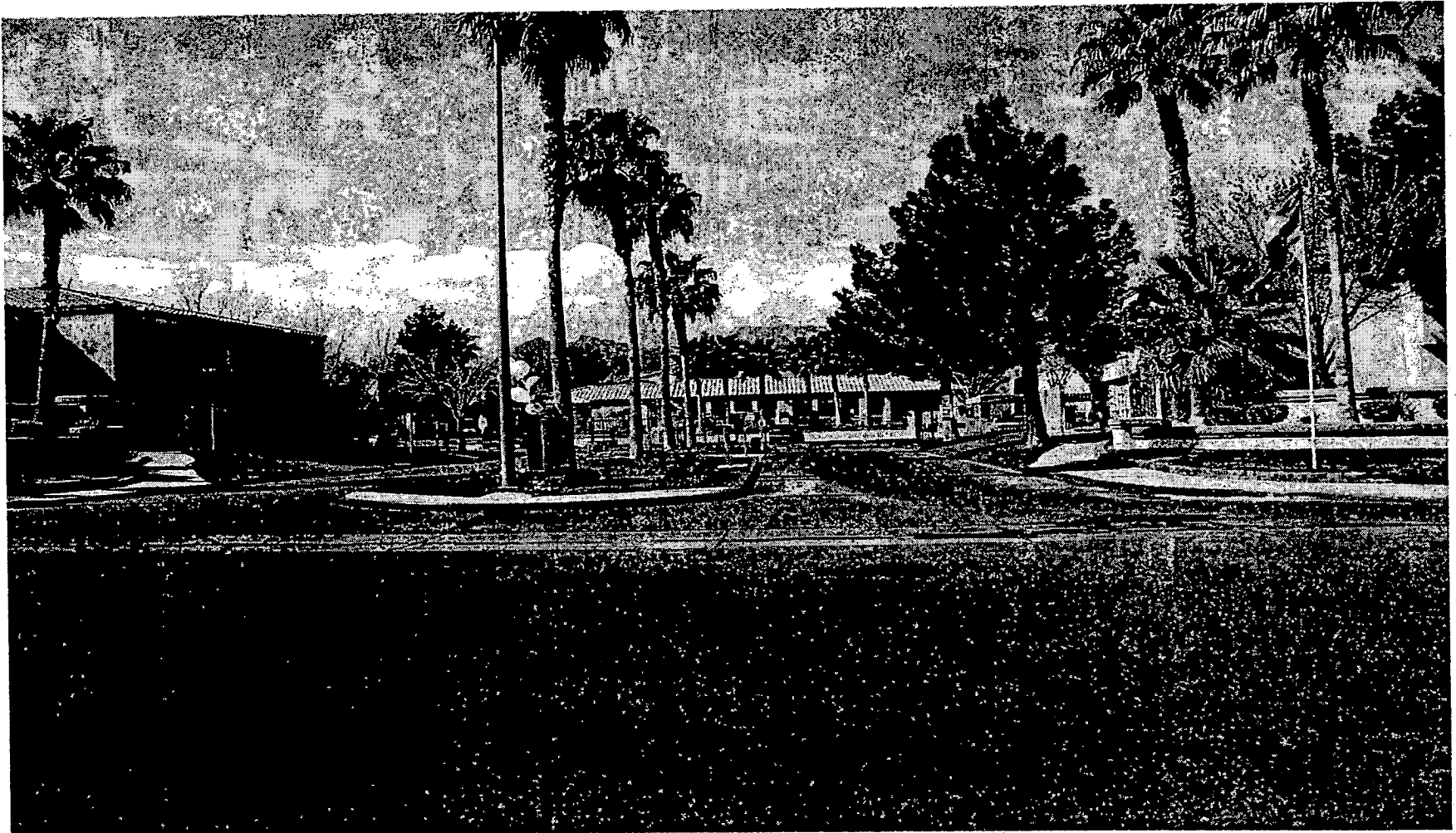
SHEET
T-3
OF 3 SHEETS
PROJECT 6

TMP-6092
03/24/05 PC



TMP-6092 - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT SHORES, L.L.C.
SOUTHEAST CORNER OF CHEYENNE AVENUE AND RAMPART BOULEVARD
MARCH 24, 2005 PLANNING COMMISSION

3/3/05



TMP-6092 - APPLICANT: AZTEC ENGINEERING - OWNER: DESERT SHORES, L.L.C.
SOUTHEAST CORNER OF CHEYENNE AVENUE AND RAMPART BOULEVARD
MARCH 24, 2005 PLANNING COMMISSION

3/3/05

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☒

CONSENT

☐

DISCUSSION

SUBJECT:

TMP-6110 - TENTATIVE MAP - JUHL - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC. - Request for a Tentative Map FOR A 345 UNIT MIXED-USE CONDOMINIUM DEVELOPMENT on 2.39 acres adjacent to the southeast corner of Third Street and Bonneville Avenue (APNs 139-34-311-095 through 102 and 139-34-311-105 through 110), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

P.C.: FINAL ACTION

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Consent Item 1 [TMP-6092]; APPROVED Consent Item 3 [ANX-6042] and Item 4 [ANX-6060]; and APPROVED subject to conditions and deleting Condition 8 on Consent Item 2 [TMP-6110] – UNANIMOUS with McSWAIN abstaining on Item 4 and TRUESDELL excused

This is Final Action

NOTE: Commissioner McSwain abstained on Item 4 [ANX-6060], as the present owner of Royal Construction is involved in another project that her company, Terra Contracting, is doing work for.

MINUTES:

CHAIRMAN NIGRO stated this is a Consent item.

(6:09 – 6:10)

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 2 – TMP-6110

CONDITIONS:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, a new Tentative Map must be filed.
2. All development shall conform to the Conditions of Approval for Special Use Permit (SUP-5686) to allow Mixed-Use development and Special Use Permit (SUP-5690) to allow Live/Work units, Site Development Plan Review [SDR-5692] and the Downtown Centennial Plan Development Standards.
3. Prior to the recordation of the Final Map, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.
5. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
6. Prior to approval of any final map, the developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels prior to approval of the final map.
7. The plan shall note that the recreational trail to be transferred to the ownership of the City of Las Vegas shall be maintained at a basic level through utilization of public resources. That basic level to be defined as removal of debris and surface grading once every calendar year. Should additional maintenance activities be requested by the common interest community,

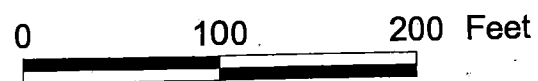
PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 2 – TMP-6110

CONDITIONS – Continued:

or members thereof, the associated costs shall be assessed to the common interest community and/or members thereof.

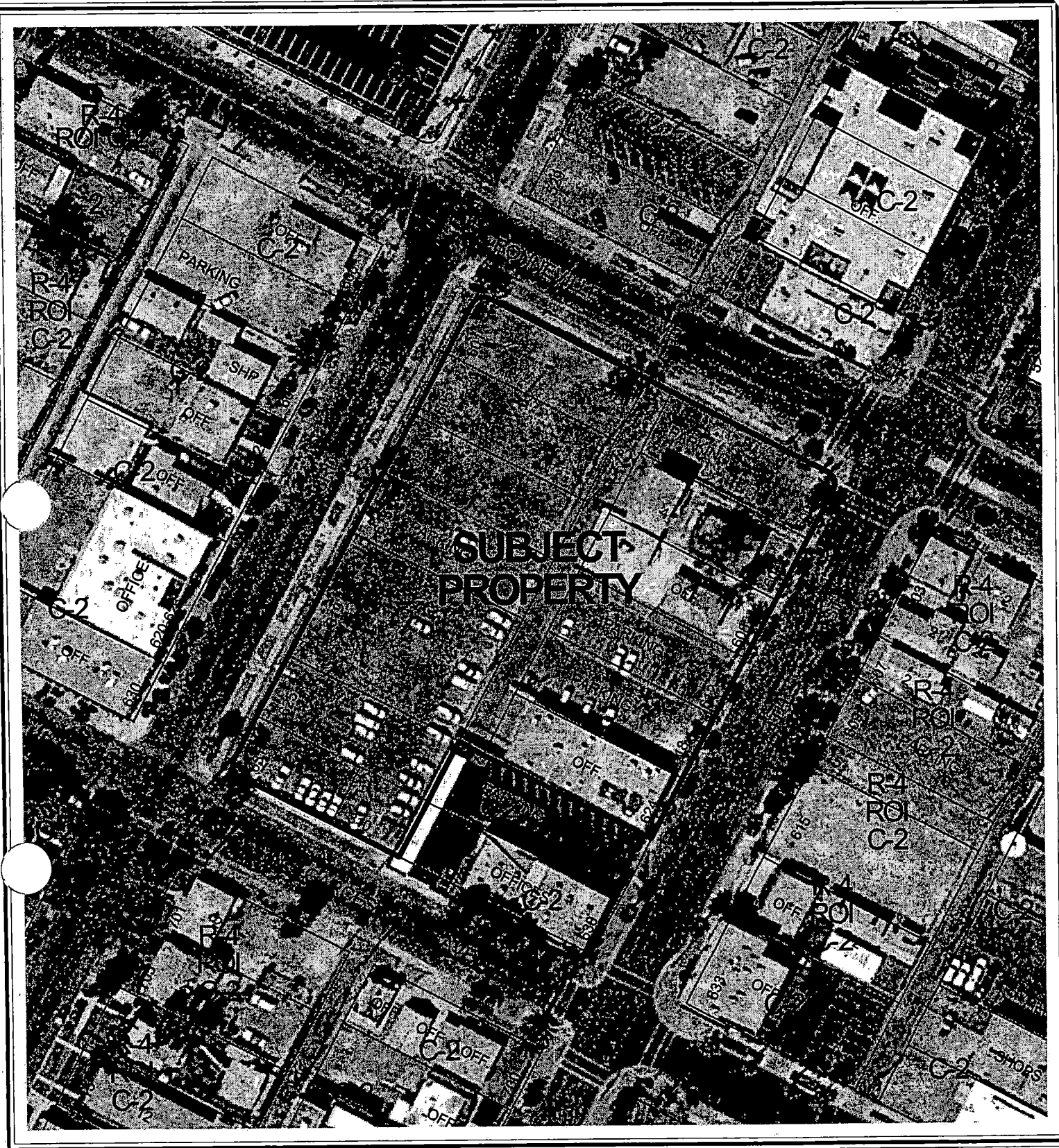
Public Works

8. The Final Map for this site shall be labeled as a Merger and Re-subdivision map.
9. All existing alley rights-of-way in conflict with this site design must be vacated prior the issuance of any permits or recordation of a Final Map for any area overlying or abutting the public alley.
10. Site development to comply with all applicable conditions of approval for SDR-5692 and all other applicable site-related actions.
11. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)





0 100 200 Feet

CASE: TMP-6110

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: TMP-6110 - JUHL - APPLICANT: CITYMARK
DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC.**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, a new Tentative Map must be filed.
2. All development shall conform to the Conditions of Approval for Special Use Permit (SUP-5686) to allow Mixed-Use development and Special Use Permit (SUP-5690) to allow Live/Work units, Site Development Plan Review [SDR-5692] and the Downtown Centennial Plan Development Standards.
3. Prior to the recordation of the Final Map, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
4. All development is subject to the conditions of City Departments and State Subdivision Statutes.
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6. Prior to approval of any final map, the developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels prior to approval of the final map.

TMP-6110 - Conditions Page Two
March 24, 2005 - Planning Commission Meeting

7. The plan shall note that the recreational trail to be transferred to the ownership of the City of Las Vegas shall be maintained at a basic level through utilization of public resources. That basic level to be defined as removal of debris and surface grading once every calendar year. Should additional maintenance activities be requested by the common interest community, or members thereof, the associated costs shall be assessed to the common interest community and/or members thereof.

Public Works

8. The Final Map for this site shall be labeled as a Merger and Re-subdivision map.
9. All existing alley rights-of-way in conflict with this site design must be vacated prior the issuance of any permits or recordation of a Final Map for any area overlying or abutting the public alley.
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11. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a request for a Tentative Map for a 345 unit mixed-use condominium development on 2.39 acres adjacent to the southeast corner of Third Street and Bonneville Avenue.

B) Applicant's Justification

The applicant states that City Mark is very pleased to propose a mixed-use development to become part of the City of Las Vegas. It will provide housing and work opportunities for many members of the community. There are 342 units proposed for this development including both residential and commercial uses.

BACKGROUND INFORMATION

A) Related Actions

- 12/16/64 The City Council approved a Rezoning (Z-0100-64) to reclassify property, including the subject parcels, in the area generally bounded by Main Street, Bonanza Road, Las Vegas Boulevard and Charleston Boulevard from R-1 (Single Family Residential), R-4 (High Density Residential), C-1 (Limited Commercial) and C-V (Civic) to C-2 (General Commercial).
- 10/22/75 The City Council approved a request for Plot Plan Review [Z-0100-64(7)] to allow the development of a surface parking lot on a portion of the development site. The Planning Commission recommended approval of the request on 09/23/75.
- 06/04/03 The City Council voted to strike a Site Development Plan Review (SDR-1548) application that would have allowed the construction of a seven-story parking structure with ground-floor retail space on a portion of the development site. The Planning Commission recommended approval of the request on 02/13/03.
- 03/02/05 The City Council approved a Special Use Permit (SUP-5686) for a mixed-use commercial and residential development and a waiver to allow ground-floor residential units adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval of the request on 01/13/05.

TMP-6110 - Staff Report Page Two
March 24, 2005 - Planning Commission Meeting

- 03/02/05 The City Council approved a Special Use Permit (SUP-5690) for live/work units within a proposed building adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval on 01/13/05.
- 03/02/05 The City Council approved a Site Development Plan Review (SDR-5692) for a 15 story mixed-use development to include 342 residential units, 13 live/work units, and 8,600 square feet of commercial space and a waiver of the Centennial Plan building step-back requirements on 2.38 acres adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval of the request on 01/13/05 with added conditions.

B) Pre-Application Meeting

- 01/27/05 A pre-application conference was held and resulted in the following comments:
1. Residential, commercial and live/work units to be mapped.
 2. Applicant must show how many commercial lots will be made from the 8,600 s.f.
 3. A live/work unit is to be mapped as one residential unit.
 4. Each floor is to be mapped if it is not identical to any other floors.
 5. The submittal requirements for a Tentative Map were discussed.
 6. The Pre-application Submittal Checklist will not be signed until the unit/lot count is finalized and the Tentative Map Checklist is signed.

The final unit/count was established as being 342 residential units, including 13 live/work units, and three commercial lots. The Tentative Map Checklist was signed on 02/08/05 as was the Pre-application Checklist.

DETAILS OF APPLICATION REQUEST

A) Site Area

Net Acres: 2.38

B) Existing Land Use

Subject Property: Office Use
Parking Lot Use

North: Office Use
South: Office Use
Multifamily Residential Use

East: Office Use
Multifamily Residential Use
Parking Lot Use

West: Office Use
Multifamily Residential Use

C) Existing Zoning

Subject Property: C-2 (General Commercial)
 North: C-2 (General Commercial)
 South: C-2 (General Commercial)
 R-4 (High Density Residential) under Resolution of Intent to C-2 (General Commercial)
 East: C-1 (Limited Commercial) under Resolution of Intent to C-2 (General Commercial)
 C-2 (General Commercial)
 West: C-2 (General Commercial)

D) General Plan Compliance

The subject property is located within the boundaries of the Las Vegas Redevelopment Plan Area, and has a C (Commercial) land use designation. The Commercial designation permits office uses, limited commercial uses, and general commercial uses. The proposed mixed-use development is consistent with the land use designation.

SPECIAL DISTRICTS/ZONES	Yes	No
Special Area Plan		
Downtown Centennial Plan	X	
Redevelopment Plan Area	X	
Special Overlay District		
Airport Overlay District	X	
Trails		X
Rural Preservation Neighborhood		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

Redevelopment Plan Area

As previously noted, the parcel is within the boundaries of the Las Vegas Redevelopment Plan Area, with a Commercial (C) land use designation. The proposed uses are in conformance with the Redevelopment Plan.

Downtown Centennial Plan

The parcel is within the Las Vegas Downtown Centennial Plan boundaries, and is located in the Office Core District. The district is intended for professional and government offices, and supporting pedestrian-oriented uses. The proposed development is generally consistent with the Downtown Centennial Plan.

Airport Overlay District

This site is subject to the North Las Vegas Airport Overlay District. Structures may be built up to 200 feet in height; any structures over this height limit, must be reviewed by the Federal Aviation Administration (FAA). The proposed structure is to be approximately 260 feet in height, therefore will require approval from the FAA. The applicant has submitted said request to the Clark County Department of Aviation.

ANALYSIS

A) Zoning Code Compliance

A1) Development Standards

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

Standards	Required	Provided	Compliance
Min. Lot Size	N/A	2.38 Acres	N/A
Min. Lot Width	N/A	280 Feet	N/A
Min. Setbacks			
• Front (Bonneville)	0 Feet	3-6 Feet	N
• Side	N/A	61 Feet	N/A
• Corner (Fourth, Third)	0 Feet	3-6 Feet	N
• Rear	0 Feet	18 Feet	Y
Max. Lot Coverage	Up to 100%	88.48%	Y
Max. Building Height	N/A	258 Feet	N/A
Building Stepback	4 th , 11 th , 18 th Stories	None	N
Trash Enclosure	Walled/roofed	Interior	Y
Loading Zone	1	Alley	Y
Mech. Equipment	Screened	Not indicated	Not indicated

The building is not located directly at the front property line as required by the Downtown Centennial Plan; this is due to the City's requirement for radii dedications at all intersections immediately abutting the site. In addition, the building does not specifically adhere to the Centennial Plan requirement for building stepbacks at the 4th, 11th and 18th stories of the building. No information has been provided relative to the screening of mechanical equipment.

B) General Analysis Discussion

- General information (Residential/Commercial)

The project will involve the demolition or removal of the existing buildings on the site, and the construction of a mixed-use development that will include 8,600 square feet of commercial space (three separate lots) and a total of 342 residential units, including 13

live/work units. The development is designed to appear as six separate structures, each with a different height and architectural character, surrounding a central parking structure. Ground-floor commercial space will be available on the north side of the site fronting on Bonneville Avenue, and live/work units will face onto Fourth Street.

The project is intended to be developed in two phases; the north and east buildings (identified on the site plan as the Mid-rise, High-rise, Flats, and Live/Work buildings) will be constructed as part of Phase I, and the south and west buildings (identified as the Townhouse and Warehouse buildings) will be constructed as Phase II.

- **Cross Section**

No retaining walls or perimeter block walls are proposed or anticipated based upon the cross sections and the nature of the building.

- **Trails**

While the development is not adjacent to any Transportation or Recreation Trail route identified in the General Plan, the Centennial Plan identifies an urban trail along Third Street. The urban trail is intended to be developed via grant funds or as a capital improvement project, and individual property owners are not required to install the trail elements at this time.

- **Special Conditions of Approval (From SDR-5692)**

1. The 100 feet of the project immediately to the west of 638 South Fourth Street shall not exceed six stories.
3. Prior to breaking ground, the current structure north of the parking lot at 638 South Fourth Street will be removed. In its place, a block wall consistent with the block wall that already partially exists will be finished to the street entrance on Fourth Street.
5. Any and all ingress and egress from Garces onto the project will be buffered subject to Planning and Development Department approval. Commercial vehicles will be restricted from access in same with the exception of waste management services and emergency vehicles.
11. A public sidewalk with a minimum width of 11 feet and a five-foot deep amenity zone directly adjacent to the curb is required along all street frontages in accordance with Graphic 7 and Graphic 8 of the Downtown Centennial Plan. The sidewalk shall include a decorative paving treatment at the intersections. All streetscape treatments shall conform to match the Fourth Street improvements installed by the City of Las Vegas (Subsection DS4.2).

14. The surface parking lot at the south side of the development shall incorporate an eight-foot wide landscape buffer and 42" parking lot screen fence adjacent to the right-of-way line in accordance with Subsection DS3.1.g. of the Downtown Centennial Plan. The screen fence shall conform with the design shown in Graphic 5 of the Downtown Centennial Plan; exact specifications, shop drawings, and standard suppliers can be obtained from the City of Las Vegas Engineering Design Superintendent, Department of Public Works, 229-6272.
18. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
21. As per the Memorandum of Understanding between the City of Las Vegas and the LV Springs Preserve, the following cottage will need to be moved as a condition of approval:
 - a. 604 S. Fourth St.

Also as a condition of approval, the following cottage shall be dismantled for usable parts in the restoration of 604 South Fourth Street, and 601, 609, and 621 South Casino Center:
 - b. 608 S. Fourth Street

All work is to be supervised by Gregory Seymour, archeologist from the LV Springs Preserve.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

26

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Citymark Development LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

APN: _____

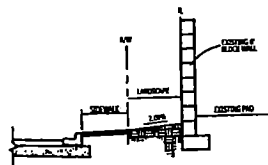
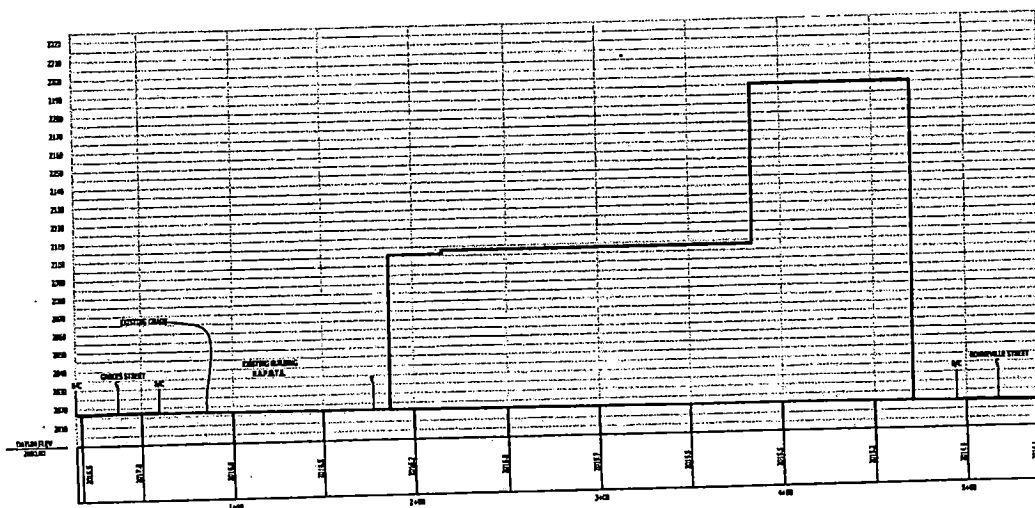
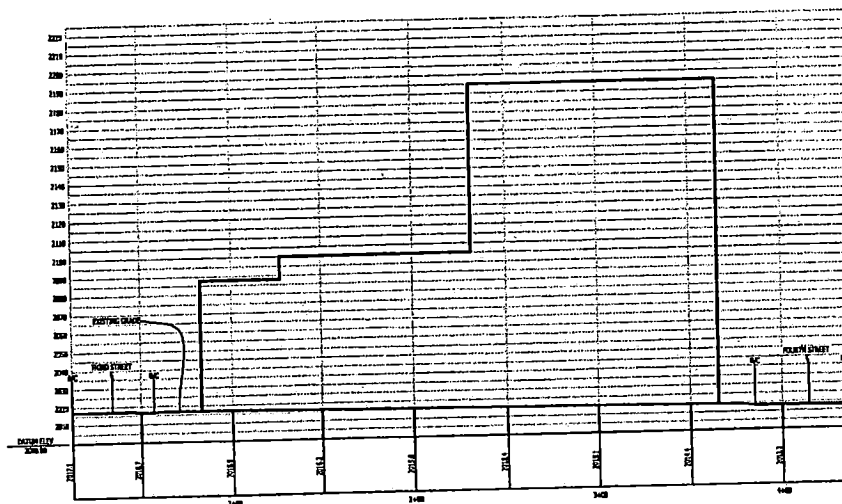
Print Name:

Subscribed and sworn before me

Notary Public in and for said County and State



SECTION "A"
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TYPICAL PERIMETER WALL DETAIL
STA

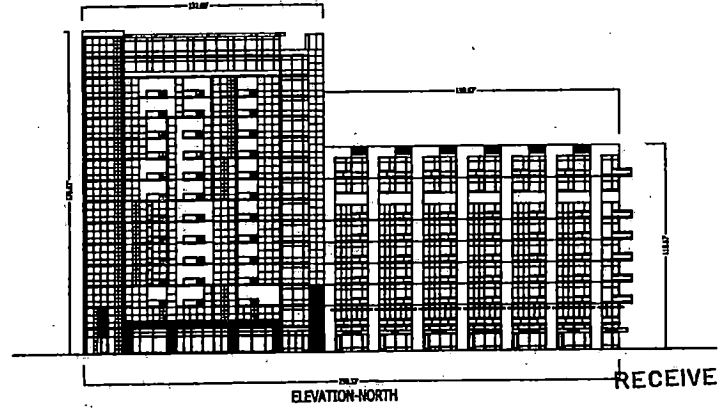
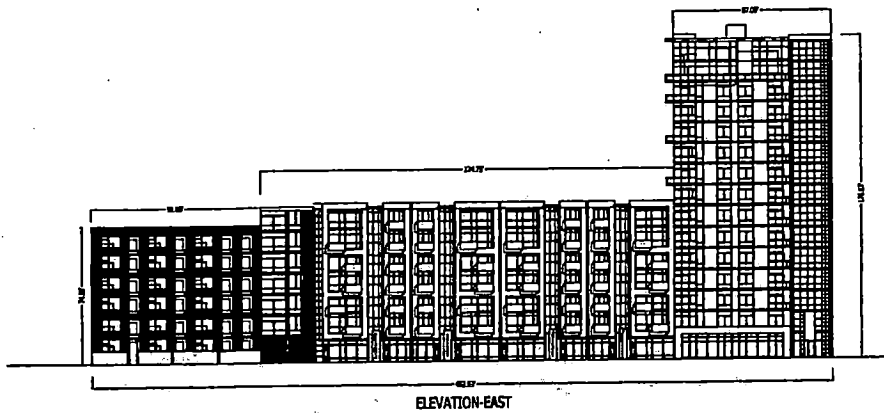
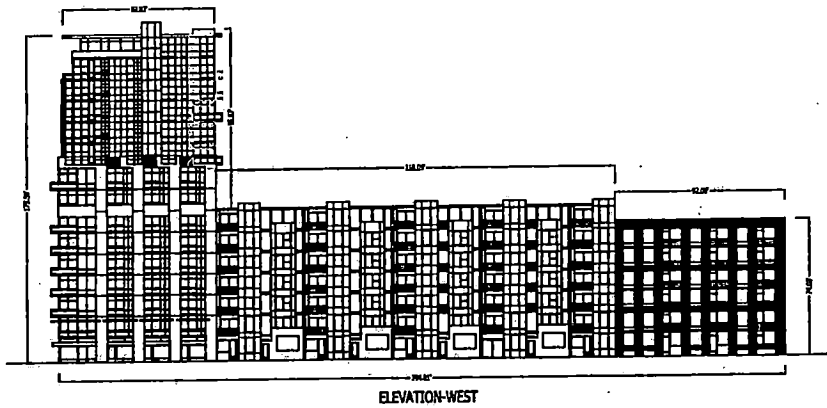
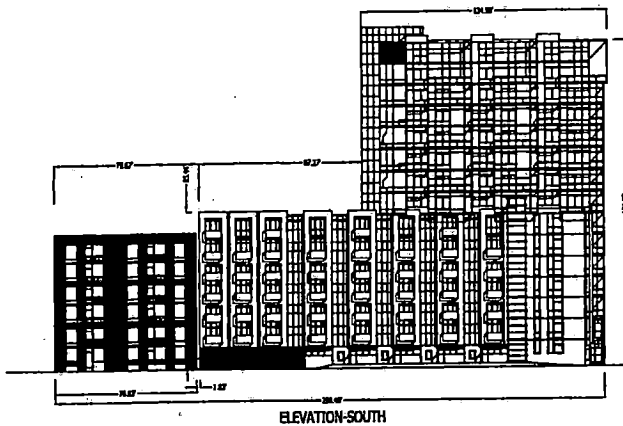
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RECEIVED
MAR 04 2005

TMP-6110
03/24/05 PC

REVISED
3.4.05

PROJECT NO. 10000000	
DESIGNER	ARZTEC
DATE	03/20/2005
SCALE	AS SHOWN
CHECKED	
TENTATIVE MAP	
JUL	
3RD & BONNEVILLE	
SHEET 7-3	
OF 8 SHEETS	
PROJECT ID	



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MAR 04 2005

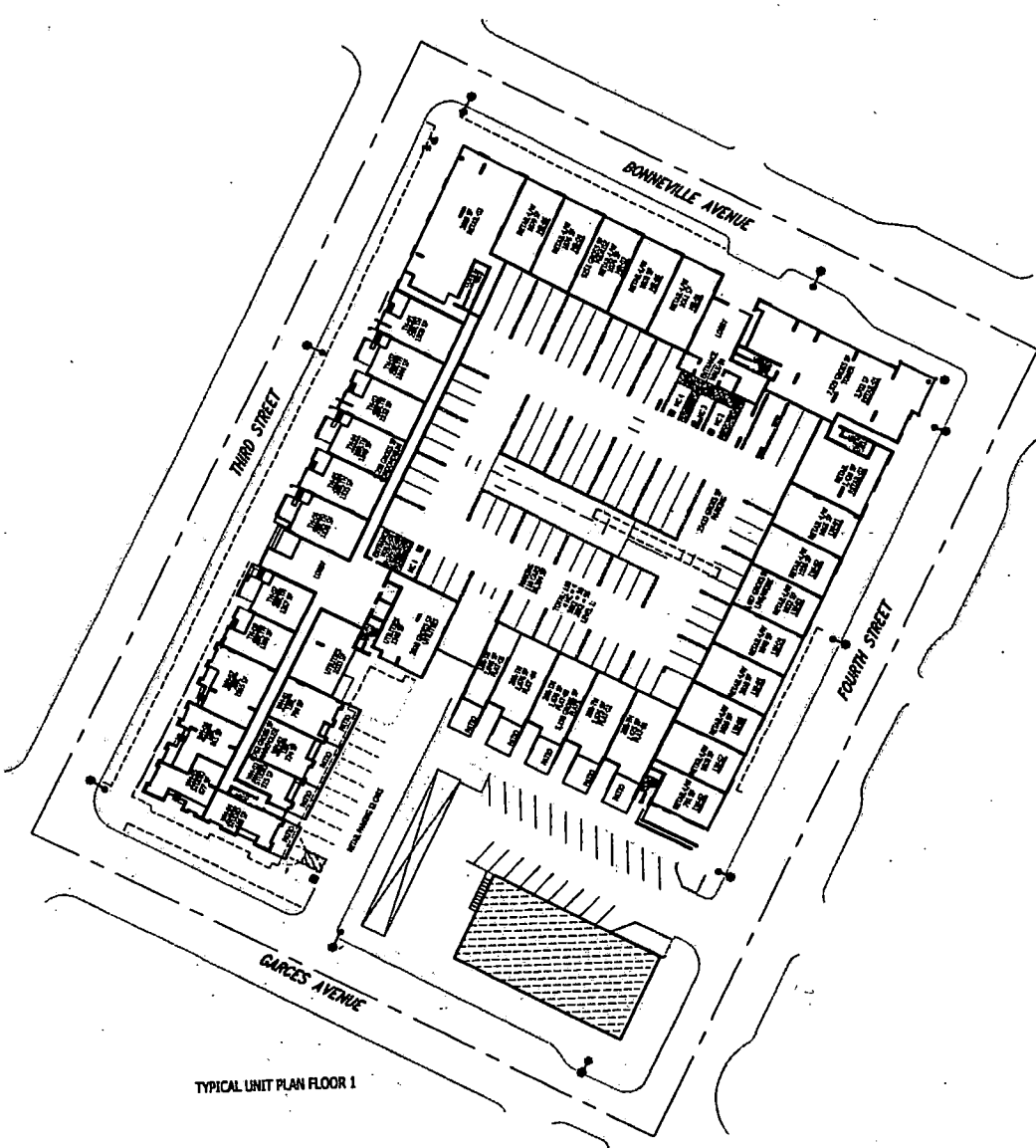
TMP-6110
03/24/05 PC

REVISED
3.4.05

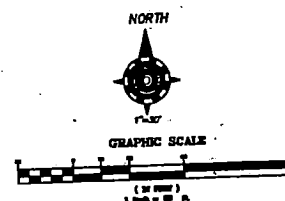
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CHECKED BY: J. WALKER	
APPROVED BY: J. WALKER	
PROJECT NO. 6110	
SHEET 7-4	
OF 8 SHEETS	
PROJECT 10	

AZTEC

TENTATIVE MAP
JUL
3RD & BOWNEVILLE



TYPICAL UNIT PLAN FLOOR 1

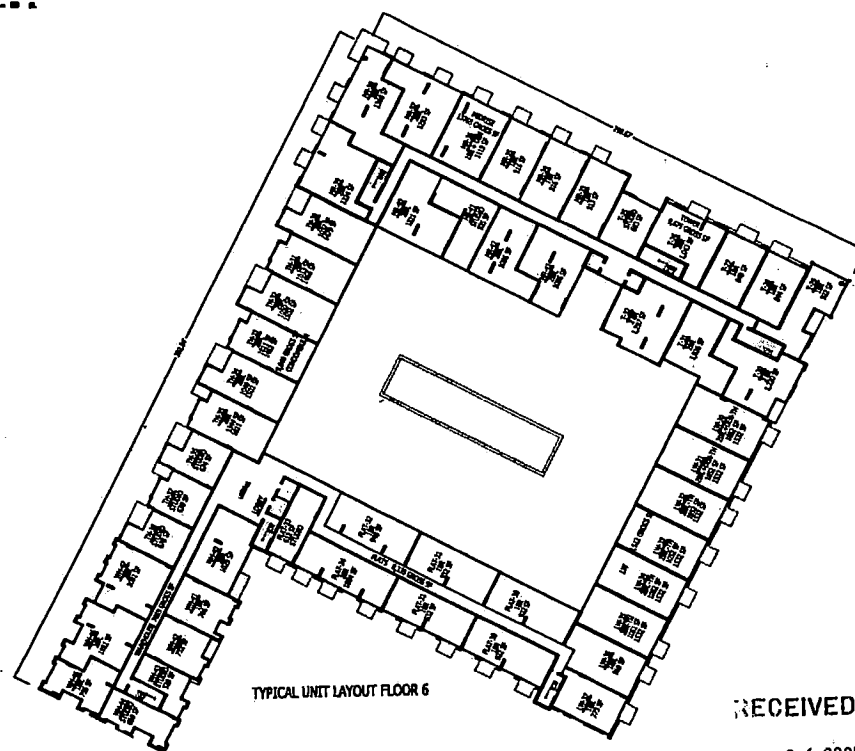
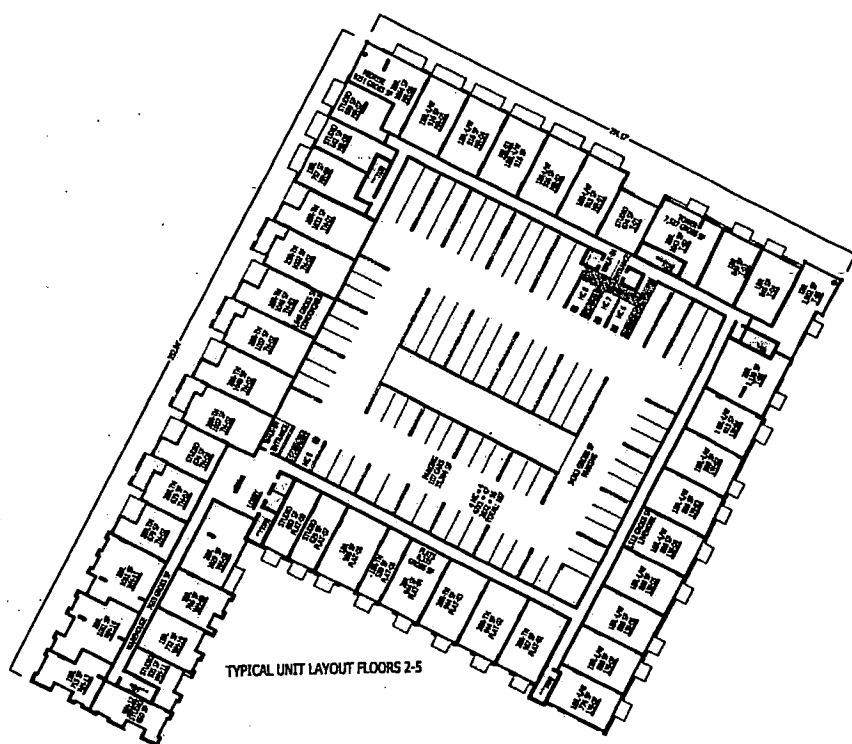
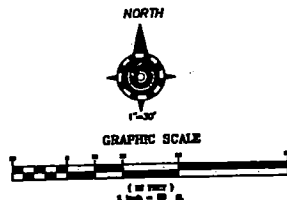


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MAR 04 2005

TMP-6110
03/24/05 PC

REVISED
3.4.05

PROJECT NO. 6110	
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DRAWN BY: J. WALKER	
CHECKED BY: J. WALKER	
APPROVED BY: J. WALKER	
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PROJECT NAME: 3RD & BONNEVILLE	
SHEET: 1-5	
OF 5 SHEETS	
PROJECT NO. 6110	

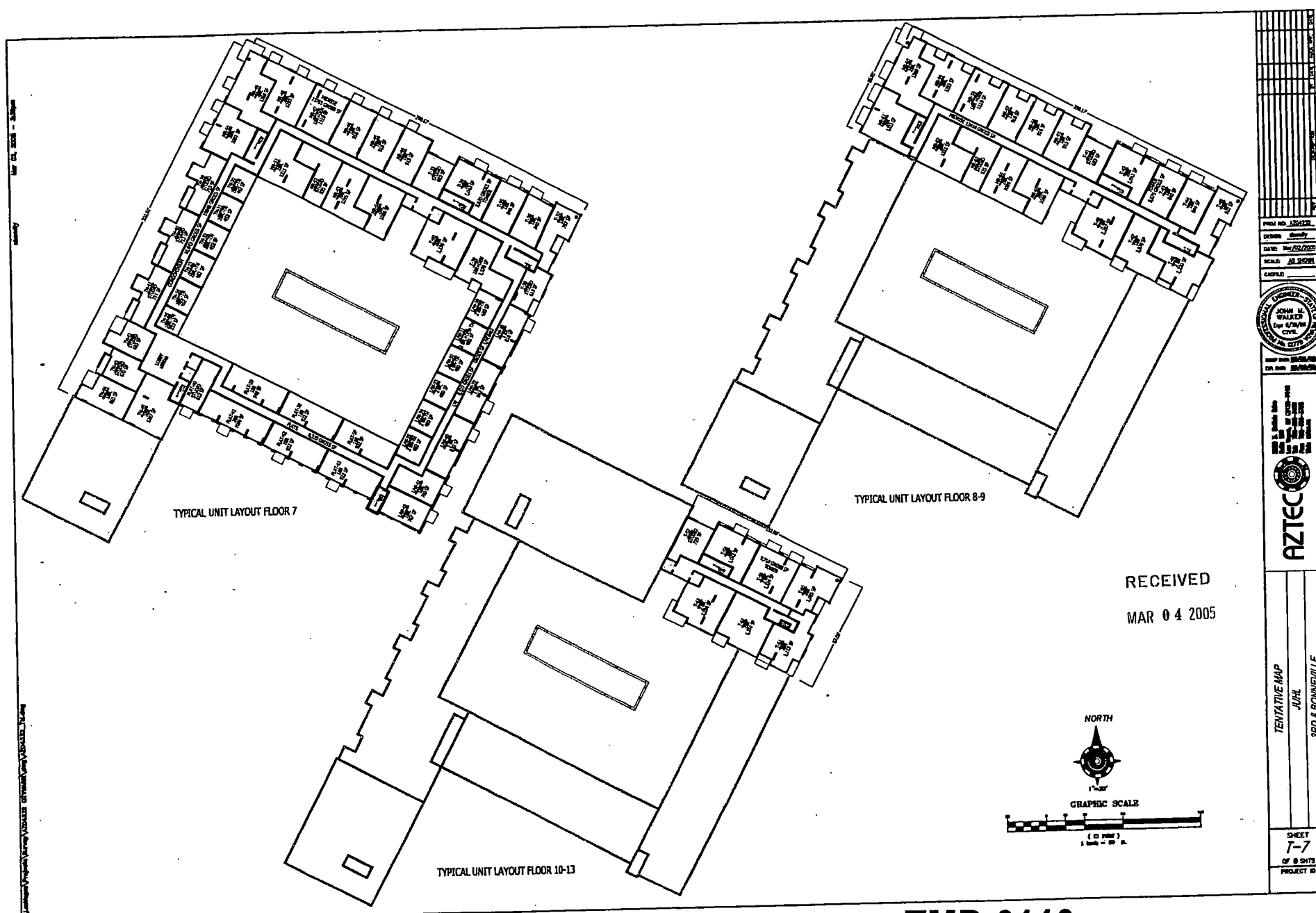


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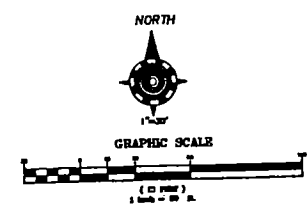
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DATE: 02/24/2005	
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CHECKED: J. WALKER	
APPROVED: J. WALKER	
PROJECT NO. 030101	
PROJECT NAME: 3RD & BONNEVILLE	
SHEET 7-6	
OF 8 SHEETS	
PROJECT ID	

TMP-6110
03/24/05 PC

REVISED
3.4.05



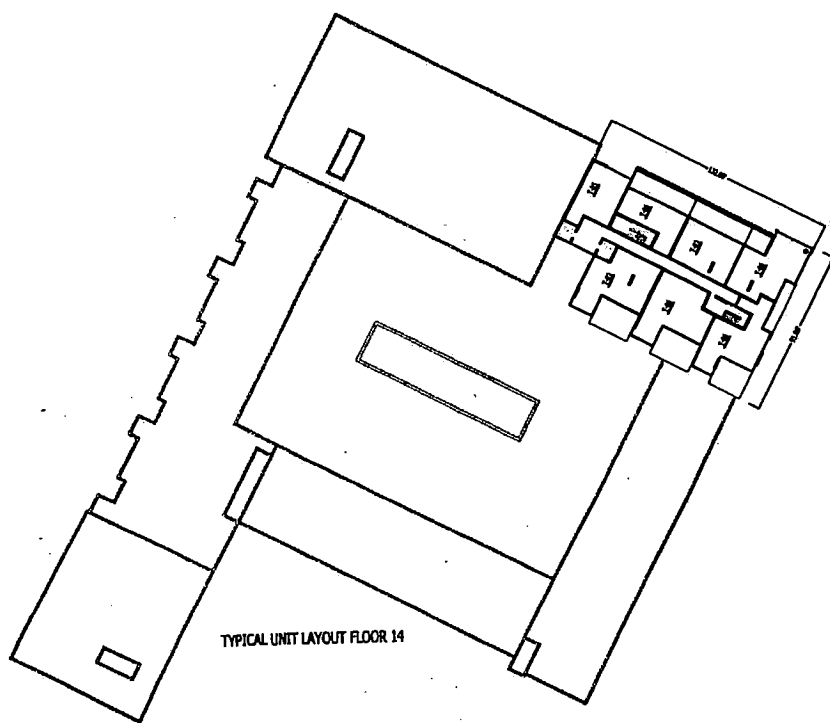
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MAR 04 2005



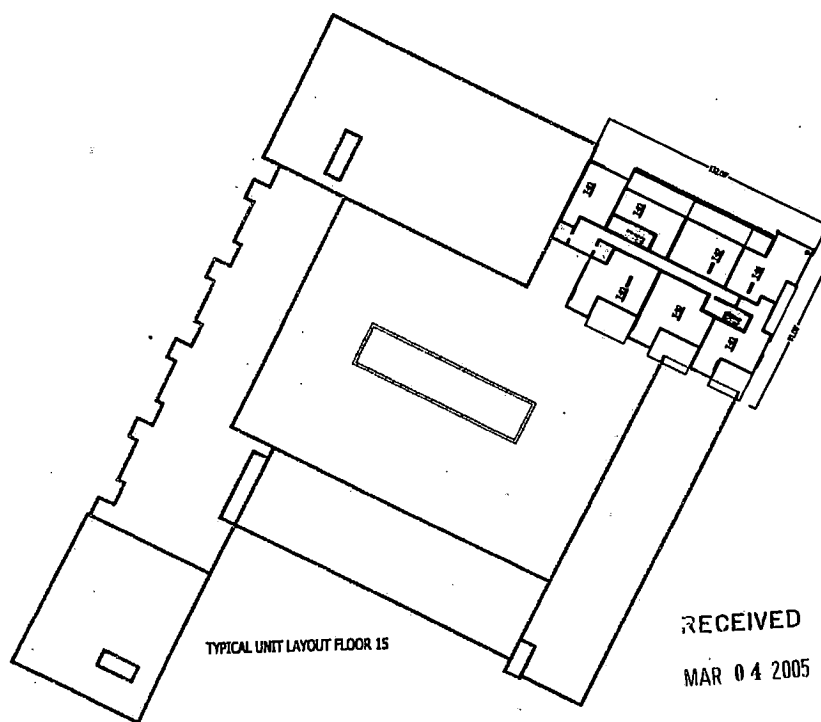
TMP-6110
03/24/05 PC

REVISED
3.9.05

PROJECT NO. 030103	
DESIGN	ARCHITECT
DATE	03/24/05
SCALE	AS SHOWN
SHEETED	
TENTATIVE MAP	JUL
3RD & BONNEVILLE	
SHEET	7-7
OF 8 SHEETS	
PROJECT NO.	



TYPICAL UNIT LAYOUT FLOOR 14



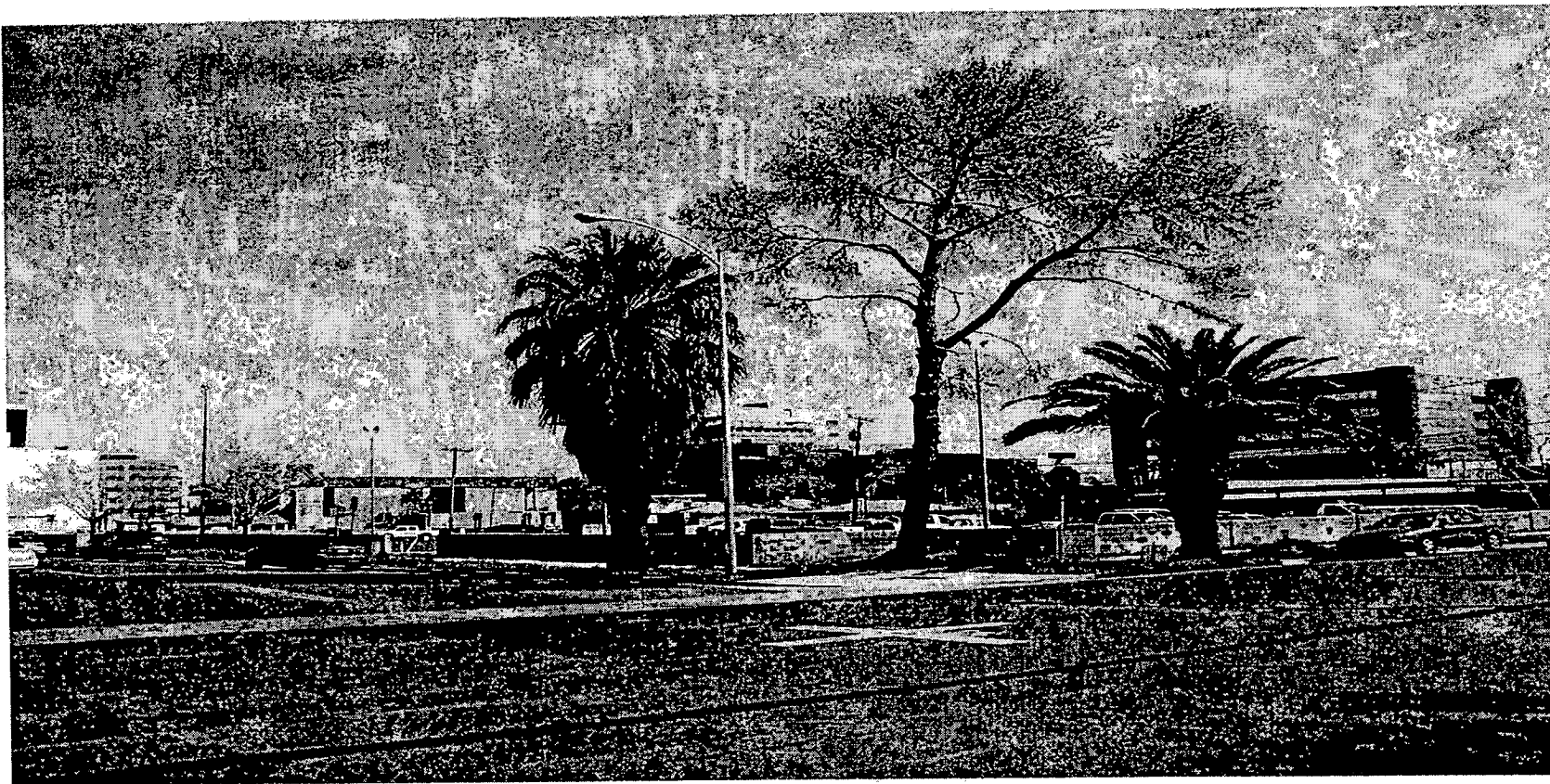
TYPICAL UNIT LAYOUT FLOOR 15

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MAR 04 2005

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TMP-6110
03/24/05 PC

REVISED
3.4.05



TMP-6110 - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC.

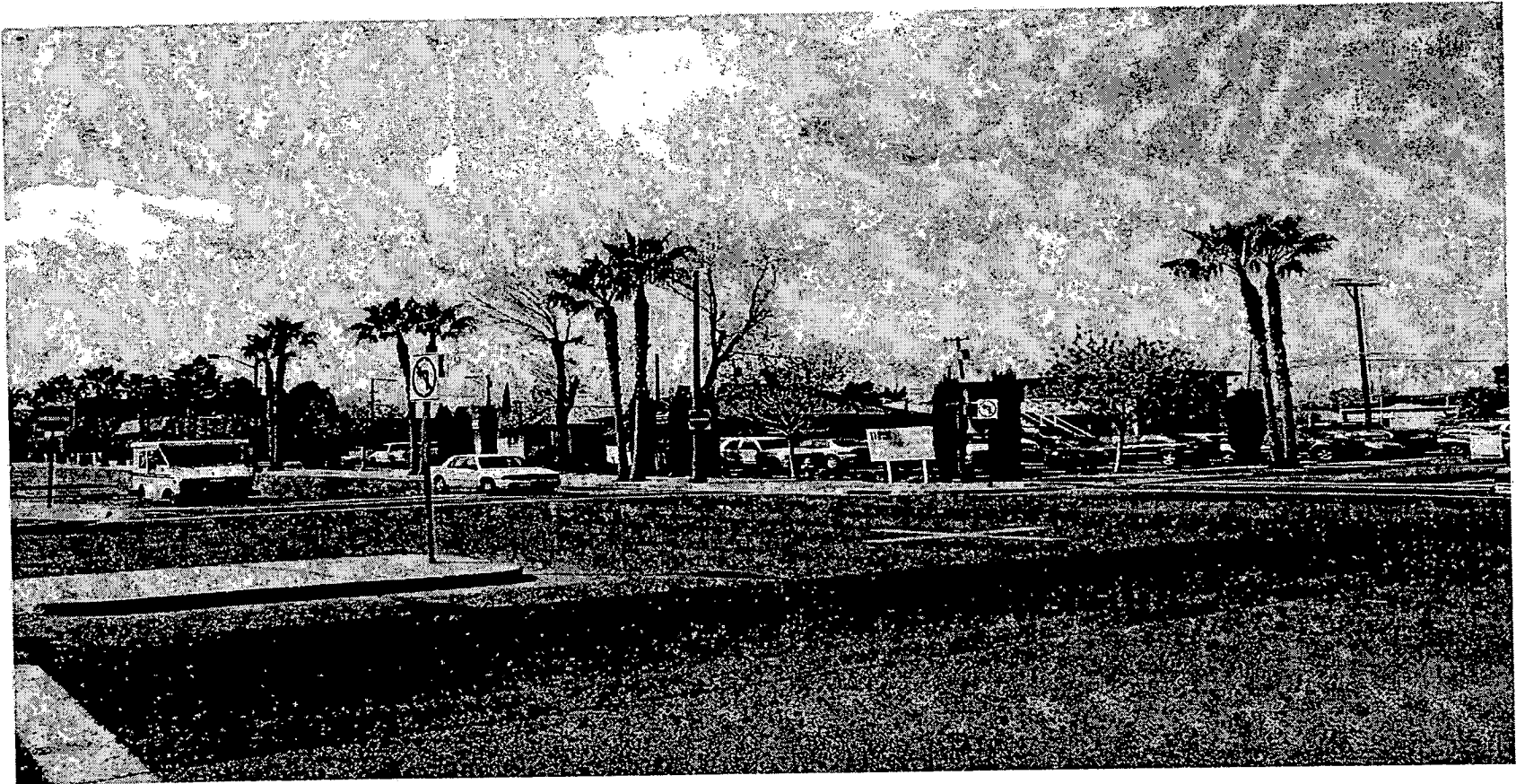
SOUTHEAST CORNER OF THIRD STREET AND BONNEVILLE AVENUE
MARCH 24, 2005 PLANNING COMMISSION

2/28/05



TMP-6110 - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I,
INC.
SOUTHEAST CORNER OF THIRD STREET AND BONNEVILLE AVENUE
MARCH 24, 2005 PLANNING COMMISSION

2/28/05



TMP-6110 - APPLICANT: CITYMARK DEVELOPMENT, LLC - OWNER: OFFICE DISTRICT PARKING I, INC.

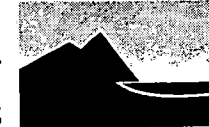
SOUTHEAST CORNER OF THIRD STREET AND BONNEVILLE AVENUE
MARCH 24, 2005 PLANNING COMMISSION

2/28/05

February 7, 2005

Mr. Flinn Fagg, AICP
Urban Design Coordinator
City of Las Vegas
Development Services Center
Current Planning Division
731 S. Fourth Street
Las Vegas, NV 89101

Bossard
Developer
Services



Subject: Juhl
Justification Letter for Tentative Map

Dear Flinn:

On behalf of our client, CITYMARK, we respectfully request approval of a Tentative Map for their development at 3rd and Bonneville to be known as "Juhl". The zoning at this location is currently C-2, and the Land Use within the Downtown Centennial Plan is Office District. Applications related to this project are:

- SUP-5686, a Special Use Permit to allow a proposed Mixed-Use commercial and residential development and a waiver to allow ground-floor residential units;
- SUP-5690, a Special Use Permit for Live/Work Units within a proposed building; and
- SDR-5692, a Site Development Plan Review for a 15-story Mixed-Use Development to include 342 residential units, 13 live/work units, and 8600 square feet of commercial space and a waiver of the Downtown Centennial Plan building step-back requirements.

These applications were recommended for approval by the Planning Commission on January 13, 2005, and are scheduled for consideration by the City Council on March 2, 2005.

CityMark is very pleased to propose this mixed use development to become a part of the City of Las Vegas. It will provide housing and work opportunities for many members of the community. There are 342 units proposed for this development including both residential and commercial uses. The project will be on approximately 2.39 acres that encompasses nearly a full city block, between Bonneville Avenue and Garces Avenue, and between Third Street and Fourth Street.

Attached herewith is a transmittal, which describes the supporting documents for this Tentative Map Applications. Please place this application on the March 24, 2005 Planning Commission meeting. It is our understanding that the action by the Planning Commission at that time will be final unless appealed. Thank you very much, Flinn, for your assistance with this application.

Very truly yours,

Diana Bossard
Diana Bossard, AICP

Cc: Mr. A. Beaton, CM
Mr. A. Cutri, MC
Mr. M. Hill, Aztec

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☒

CONSENT

☐

DISCUSSION

SUBJECT:

ANX-6042 - ANNEXATION - APPLICANT/OWNER: LEECH WEST, LLC - Petition to Annex property generally located on the west side of Jones Boulevard, between Tropical Parkway and El Campo Grande Avenue (APNs 125-26-704-002, 125-26-707-002 and 005), containing approximately 10.00 acres, Ward 6 (Mack).

THIS ITEM WILL BE FORWARDED TO CITY COUNCIL IN ORDINANCE FORM

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Consent Item 1 [TMP-6092]; **APPROVED** Consent Item 3 [ANX-6042] and Item 4 [ANX-6060]; and **APPROVED** subject to conditions and deleting Condition 8 on Consent Item 2 [TMP-6110] – **UNANIMOUS** with McSWAIN abstaining on Item 4 and TRUESDELL excused

To be forwarded to City Council in Ordinance form

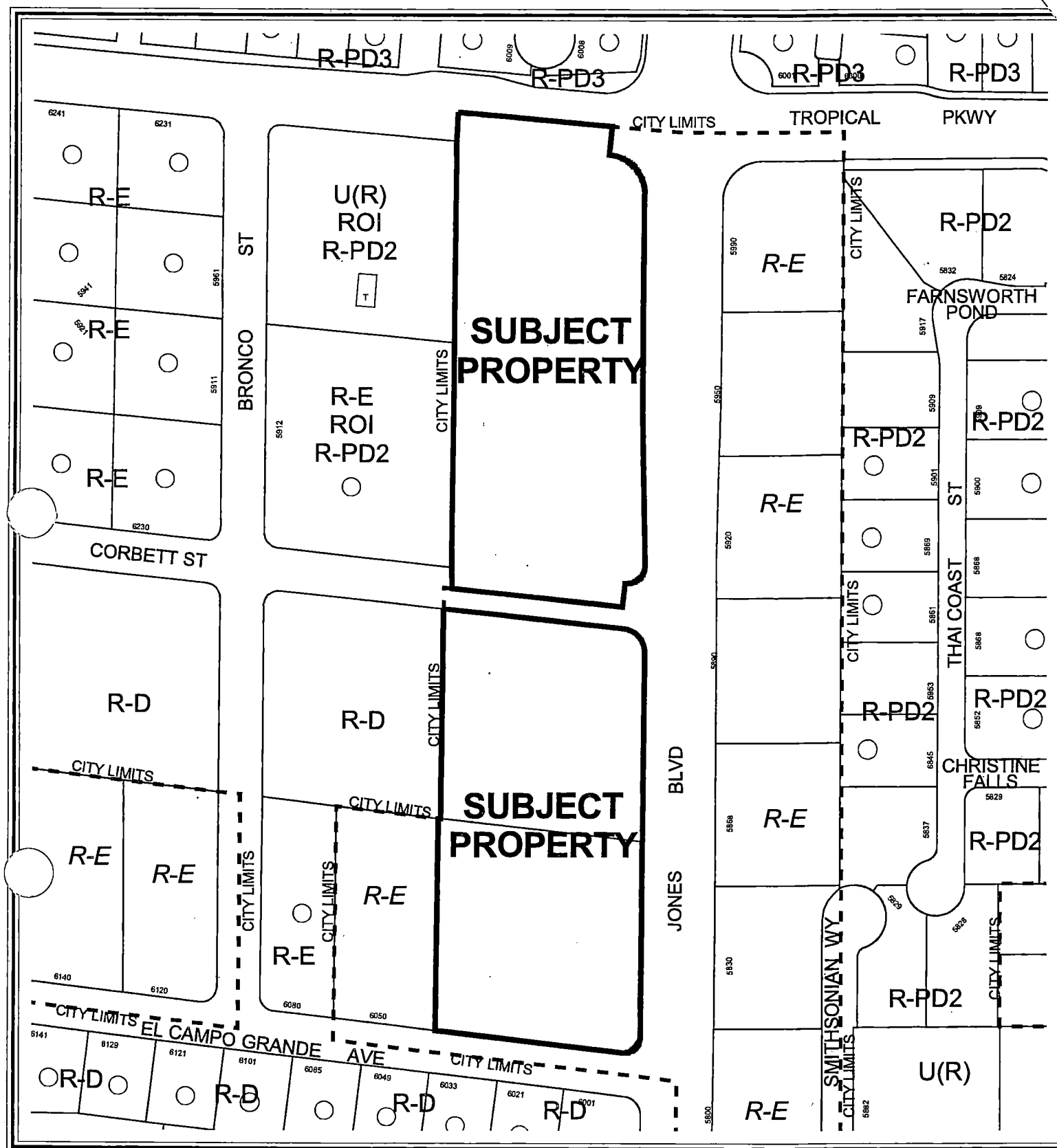
NOTE: Commissioner McSwain abstained on Item 4 [ANX-6060], as the present owner of Royal Construction is involved in another project that her company, Terra Contracting, is doing work for.

MINUTES:

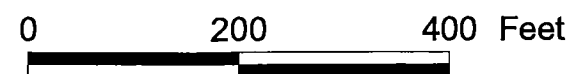
CHAIRMAN NIGRO stated this is a Consent item.

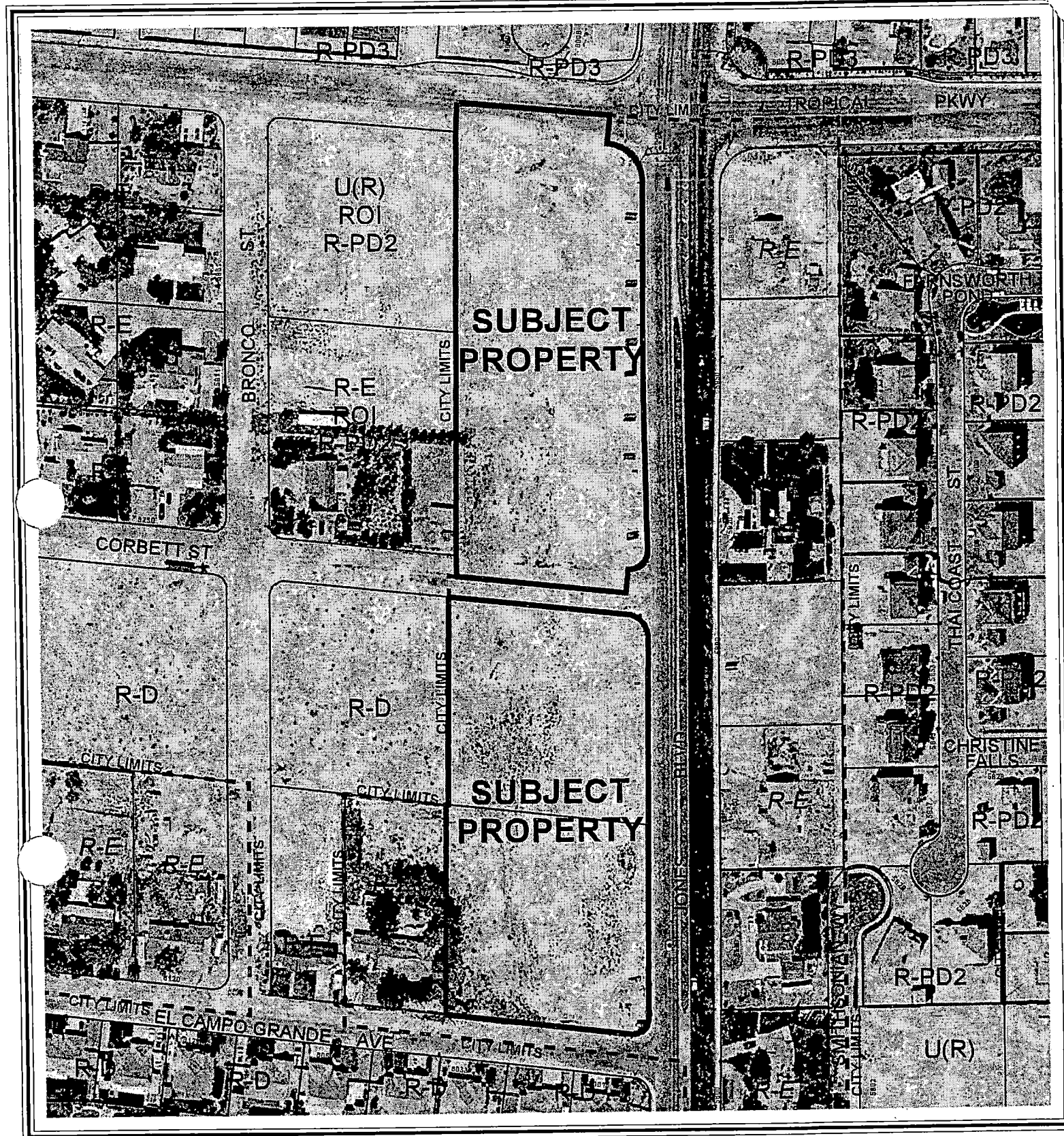
(6:09 – 6:10)

1-301



CASE: ANX-6042





0 200 400 Feet

CASE: ANX-6042



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ANX-6042 - APPLICANT/OWNER: LEECH WEST, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL.

**** STAFF REPORT ****

APPLICATION REQUEST

This request is intended to annex three parcels of land generally located on the west side of Jones Boulevard, between Tropical Parkway and El Campo Grande Avenue.

DETAILS OF APPLICATION REQUEST

A) *Site Area*

Gross Acres: 10.00

B) *Existing Land Use*

Subject Property: Undeveloped
North: Single Family Residential
South: Single Family Residential
East: Single Family Residential/ Undeveloped
West: Single Family Residential/ Undeveloped

C) *Existing Zoning*

Subject Property: R-E (Rural Estates Residential – Clark County Designation)
North: R-PD3 (Residential Planned Development – 3 units per acre)
South: R-D (Single-Family Residential-Restricted District)
East: R-E (Rural Estates Residential – Clark County Designation)
West: U (Undeveloped) zone [R (Rural Density Residential) General Plan Designation]
R-E (Residence Estates), under resolution of intent to R-PD2 (Residential Planned Development – 2 units per acre)
R-D (Single-Family Residential-Restricted District)
R-E (Rural Estates Residential – Clark County Designation)

D) *Special Districts/Zones*

These parcels are not within a special area plan or overlay district.

E) *Rural Preservation Neighborhood:*

These parcels are not within a Rural Preservation Neighborhood

F) *Excepted Area of Interlocal Agreement:*

These parcels are not within the Excepted Area of the Interlocal Agreement.

ANALYSIS & FINDINGS

The subject parcels are currently undeveloped. The applicant has requested this annexation in order to obtain city services. The current General Plan designation is R (Rural Density Residential).

These parcels are in an area of the city considered to be appropriate for annexation in that they meet the requirements of NRS 268.580 No. 2 (b), which states, "Not less than one-eighth of the aggregate external boundaries must be contiguous with the boundaries of the annexing city." The current county zoning on the site is R-E (Rural Estates Residential), and the city's zoning equivalent is U (Undeveloped) zone [R (Rural Density Residential) General Plan designation].

Upon development appropriate right-of-way dedications, street improvements, drainage plan/studies and traffic mitigation commitments will be required.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

12

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ANX-6042** APN: 125-26-707-002 & 005, 125-26-704-002

Name of Property Owner: Leach West, LLC

Name of Applicant: Leech West, LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes ~~No~~

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

APN: _____

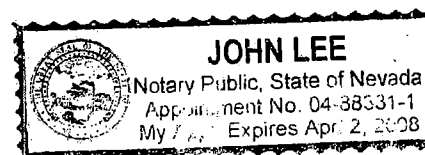
Signature of Property Owner/Authorized Agent: Chad Dyer

Print Name: Chad Dymon

Subscribed and sworn before me

This 14 day of January, 200~~0~~⁵

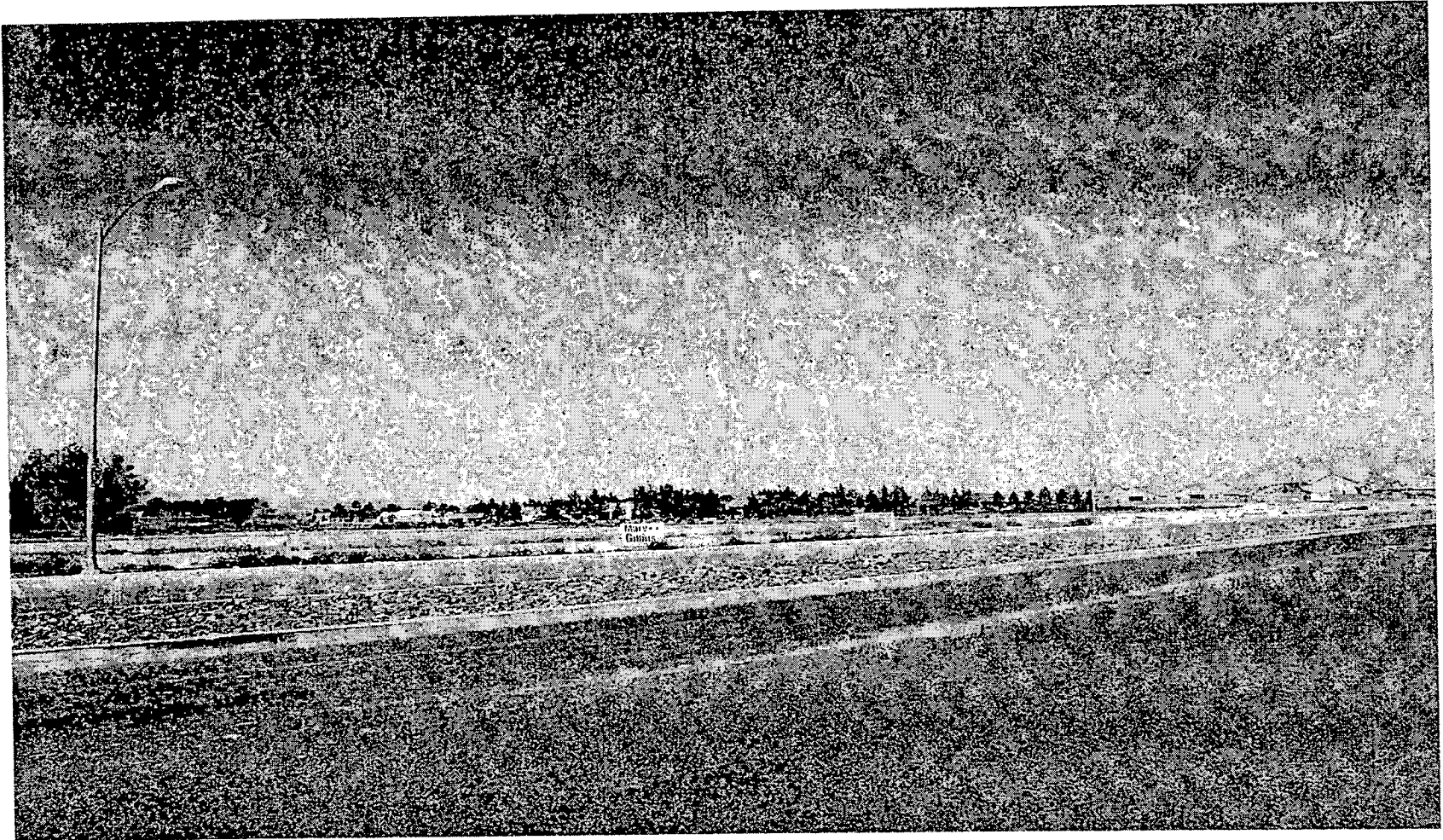
Notary Public in and for said County and State





ANX-6042 - ANNEXATION - APPLICANT/OWNER: LEECH WEST, LLC
MARCH 24, 2005 PLANNING COMMISSION

3/3/05



ANX-6042 - ANNEXATION - APPLICANT/OWNER: LEECH WEST, LLC
MARCH 24, 2005 PLANNING COMMISSION

3/3/05

LAS VEGAS OFFICE

JON EVENSEN FIELD
jfield@kkbr.com

January 26, 2005

Via Hand Delivery

CITY OF LAS VEGAS
PLANNING & DEVELOPMENT
731 S. Fourth St.
Las Vegas, NV 89101

Re: Request to Annex Real Property into the City of Las Vegas
APN s 125-26-704-002, 125-26-707-002 and 005

Ladies and Gentlemen:

Please be advised that this office represents Dymon Investments, LLC, a Nevada limited-liability company ("Applicant") in connection with the above referenced matter.

Applicant seeks to annex certain real property located east of Jones Blvd between Tropical Pkwy to the north and El Campo Grande Ave. to the south, as more described as Clark County Assessor's Parcel Numbers 125-26-704-002, 125-26-707-002 and 005 (collectively the "Property"). The Property is currently in the Lone Mountain Township within the jurisdiction of Clark County. Applicant requests an annexation to allow the Property to obtain city services.

Should you have any questions or require additional information, please contact me to discuss.

Sincerely,

KUMMER KAEMPFER BONNER & RENSCHAW



Jon Evensen Field

JEF/dmf



AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☒

CONSENT

☐

DISCUSSION

SUBJECT:

ANX-6060 - ANNEXATION - APPLICANT/OWNER: SERGE CHARBONNEAU, ET AL - Petition to annex land generally located on the west side of Balsam Street, 270 feet south of Lone Mountain Road, containing approximately 2.4 acres (APNs 138-03-510-023, 024, and 025), Ward 6 (Mack).

THIS ITEM WILL BE FORWARDED TO CITY COUNCIL IN ORDINANCE FORM

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions Consent Item 1 [TMP-6092]; **APPROVED** Consent Item 3 [ANX-6042] and Item 4 [ANX-6060]; and **APPROVED** subject to conditions and deleting Condition 8 on Consent Item 2 [TMP-6110] – **UNANIMOUS** with McSWAIN abstaining on Item 4 and TRUESDELL excused

To be forwarded to City Council in Ordinance form

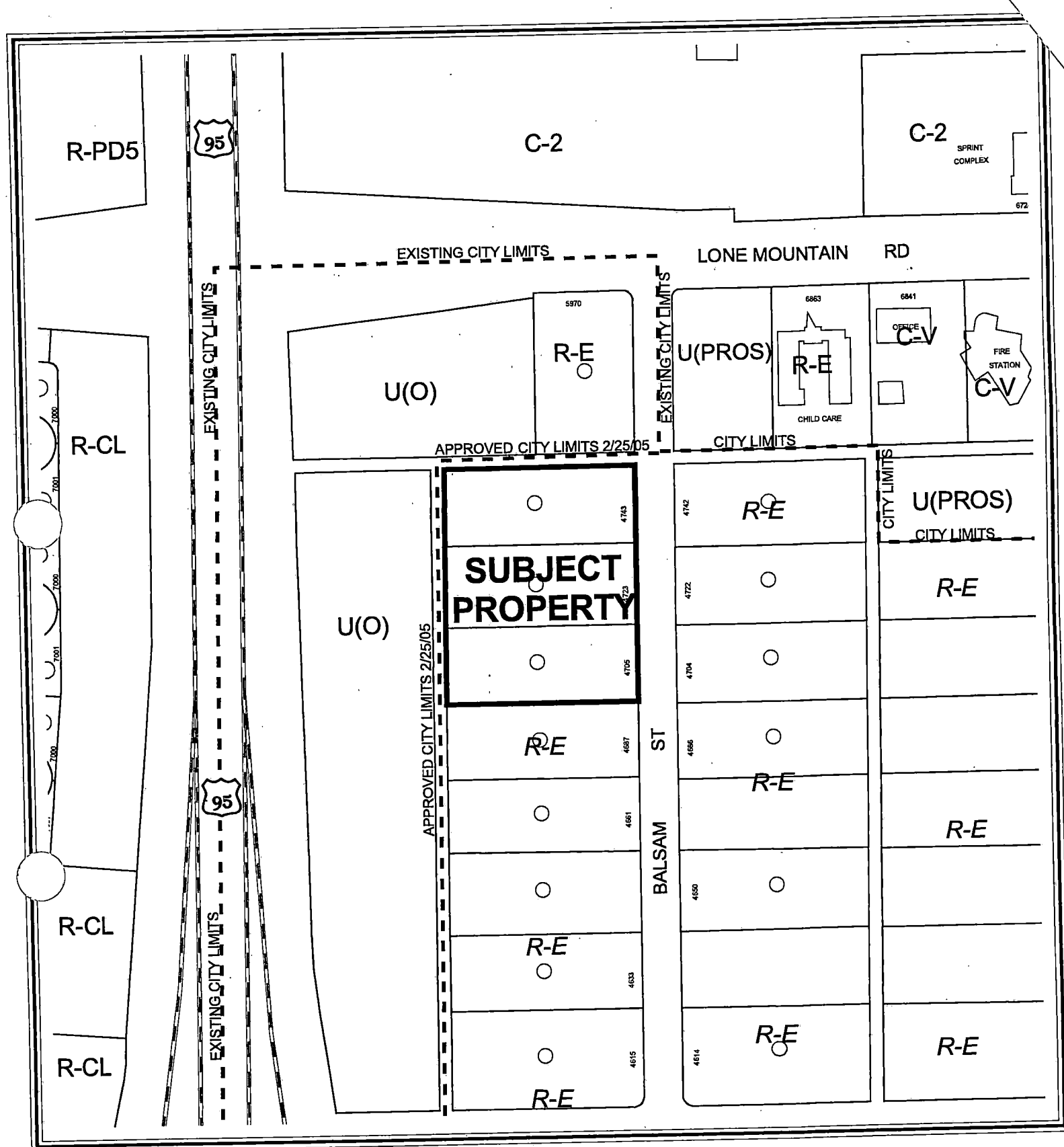
NOTE: Commissioner McSwain abstained on Item 4 [ANX-6060], as the present owner of Royal Construction is involved in another project that her company, Terra Contracting, is doing work for.

MINUTES:

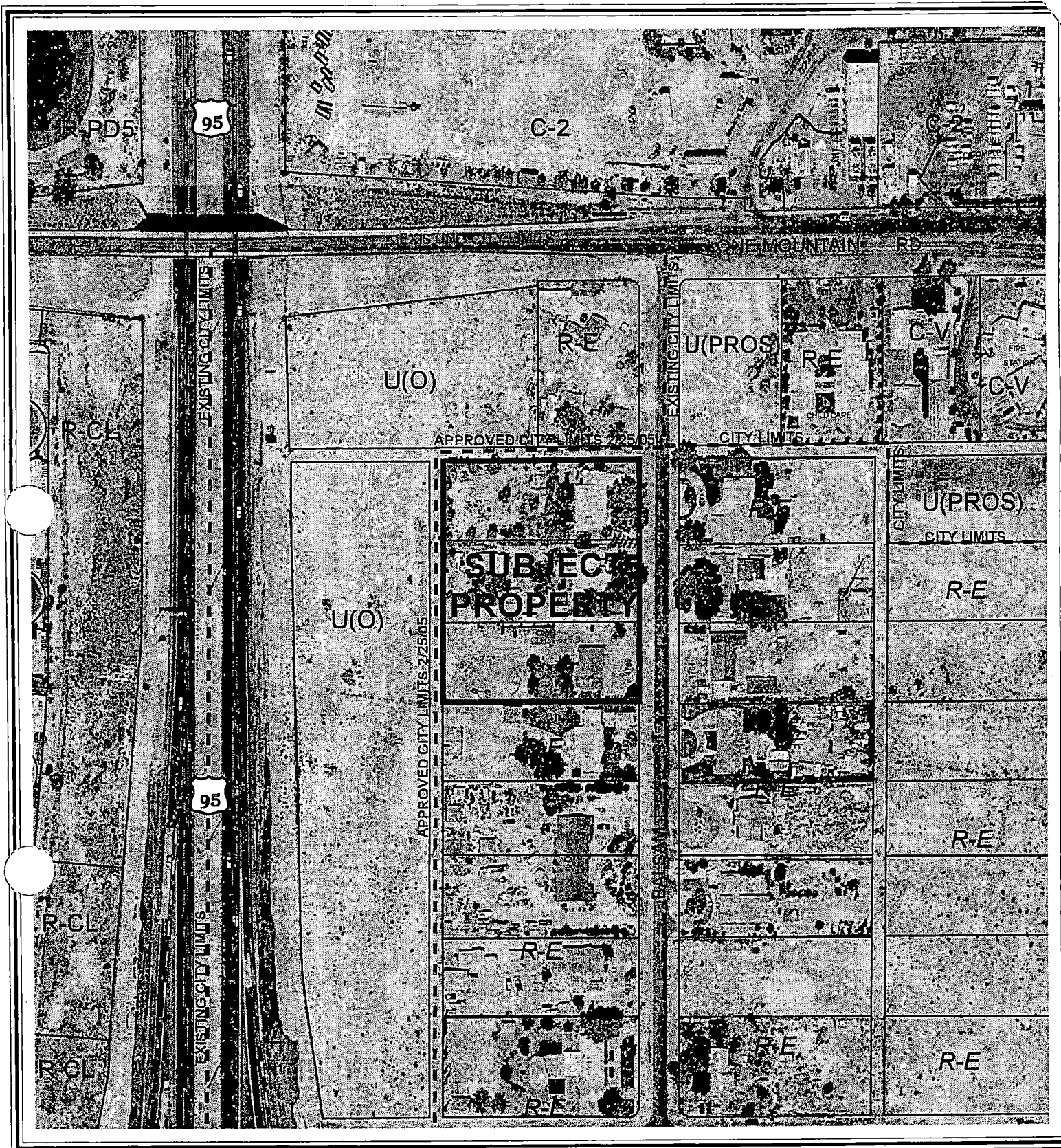
CHAIRMAN NIGRO stated this is a Consent item.

(6:09 – 6:10)

1-301



CASE: ANX-6060



0 200 400 Feet

CASE: ANX-6060



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ANX-6060 - APPLICANT/OWNER: SERGE CHARBONNEAU,
ET AL

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL

**** STAFF REPORT ****

APPLICATION REQUEST

This request is intended to annex three parcels of land generally located on the west side of Balsam Street, approximately 320 feet south of Lone Mountain Road.

DETAILS OF APPLICATION REQUEST

A) *Site Area*

Gross Acres: 2.40

B) *Existing Land Use*

Subject Property: Single Family Residence
North: Single Family Residence/ Undeveloped
South: Single Family Residence
East: Single Family Residence
West: Undeveloped

C) *Existing Zoning*

Subject Property: R-E (Rural Estates Residential – Clark County Designation)
North: R-PD10 (Residential Planned Development – 10 units per acre)
South: R-E (Rural Estates Residential – Clark County Designation)
East: R-PD10 (Residential Planned Development – 10 units per acre)
West: R-E (Rural Estates Residential – Clark County Designation)

D) *Special Districts/Zones*

These parcels are not within a special area plan or overlay district.

E) *Rural Preservation Neighborhood:*

These parcels are not within a Rural Preservation Neighborhood.

F) *Excepted Area of Interlocal Agreement:*

These parcels are not within the Excepted Area of the Interlocal Agreement.

ANALYSIS & FINDINGS

The subject parcels are currently developed with single-family residential. The applicant has indicated their desire to utilize the parcels as an addition to the recently approved the Spinnaker

Village II (GPA-5823, ZON-5827, SDR-5826). A new Site Development Plan Review will be required which depicts the incorporation of subject parcels into the Spinnaker Village II development. The current General Plan designation is O (Office). Upon annexation, the applicant will submit a request to amend the designation to MLA (Medium Low Attached Density Residential).

These parcels are in an area of the city considered to be appropriate for annexation in that they meet the requirements of NRS 268.580 No. 2 (b), which states, "Not less than one-eighth of the aggregate external boundaries must be contiguous with the boundaries of the annexing city." The current county zoning on the site is R-E (Rural Estates Residential) and the city's zoning equivalent is R-E (Residence Estates). Upon annexation, the applicant will submit a rezoning to the R-PD10 (Residential Planned Development – 10 units per acre) zoning district.

Upon development appropriate right-of-way dedications, street improvements, drainage plan/studies and traffic mitigation commitments will be required.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

10

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ANX-6060** APN: 138-03-510-025

Name of Property Owner: HOWARD LEE & MYRA P COOLICAN

Name of Applicant: ROYAL CONSTRUCTION

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes ☒ No ☐

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

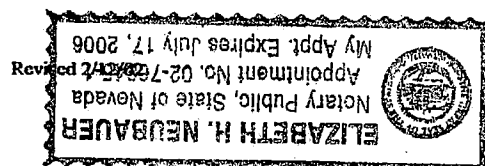
APN: _____

→ Signature of Property Owner/Authorized Agent: Myra P. Coolican
Print Name: MYRA P. COOLICAN

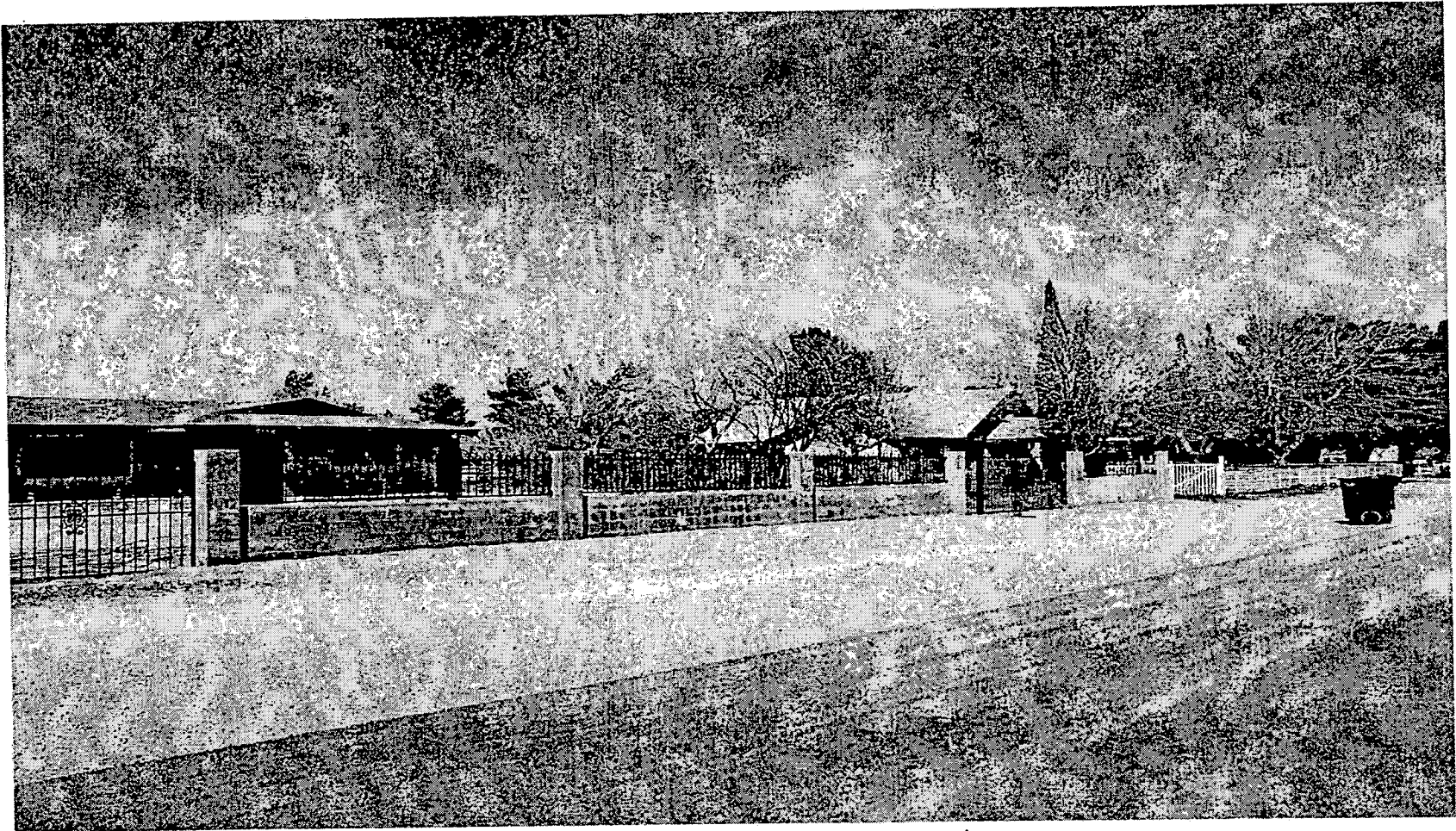
Subscribed and sworn before me

This 24TH day of JANUARY, 20 05

Elizabeth H. Newson
Notary Public in and for said County and State



~~F:\depoit\Application Packet\Statement of Financial Interest.doc~~



ANX-6060 - APPLICANT/OWNER: SERGE CHARBONNEAU, ET AL
MARCH 24, 2005 PLANNING COMMISSION

3/3/05



February 2, 2005

City of Las Vegas
Planning and Development
731 South Fourth Street
Las Vegas, Nevada 89101

Attention: Sean Robertson, Senior Planner

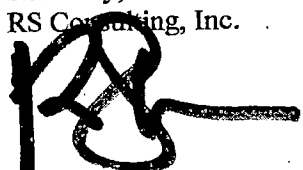
Subject: Annexation Request for APN #'s 138-03-510-023,024,025

On behalf of Royal Construction, we respectfully request your consideration of the annexation of the subject parcels from Clark County into the City of Las Vegas.

The parcels are located along Balsam Street between Lone Mountain Road and Red Coach. It is Royal Construction's desire to utilize the subject parcels to develop Spinnaker Village II, a single-family residential development they are currently developing within the City of Las Vegas. Approval of this annexation will assist them in accomplishing this goal and begin the entitlement process.

If you have any questions or require additional information, please feel free to contact me at 384-7701 (Office) or 580-1146 (Cell).

Sincerely,
RS Consulting, Inc.



Russell J Skuse
President

cc: Steve Aizenberg, Royal Construction

RS CONSULTING, INC.
7525 HICKAM AVENUE - LAS VEGAS NEVADA 89129
702.384.7701 (Office) 702.384.7702 (Fax)
rsconsulting-inc@cox.net

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

RQR-6003 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING - APPLICANT: VIACOM OUTDOOR - OWNER: WMC III ASSOCIATES, LLC - Required One Year Review of an approved One Year Required Review (RQR-1974) WHICH APPROVED ONE EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGN on property bounded by U.S. 95, I-15 and Grand Central Parkway (APN 139-33-511-004), PD (Planned Development) Zone, Ward 5 (Weekly).

IF APPROVED: C.C.: 04/20/05

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. City Council Approval Letter for RQR-1974

MOTION:

EVANS – APPROVED subject to conditions – UNANIMOUS with TRUESDELL excused

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO declared the public hearing open.

GARY LEOBOLD, Planning and Development, summarized the review. He stated that while portions of the development has commenced, the subject sign could remain, as it is oriented towards the Interstate 15 and U.S. 95 freeways. Typically billboards are not conducive to redevelopment efforts, so these billboards need to be reviewed on an on-going basis to ensure compatibility. Staff felt that a one-year review on this application was vital, due to redevelopment efforts with the World Market Center.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 5 – RQR-6003

MINUTES – Continued:

RYAN ARNOLD, 3225-B S. Rainbow Boulevard, appeared on behalf of the applicant and concurred with staff's conditions.

MR. LEOBOLD confirmed for COMMISSIONER STEINMAN that the second phase of the World Market Center has begun with a few other approved site plans for the subject site. Staff just received a staging plan and will review with the applicant. Staff felt it was appropriate to review the overall site to determine whether off premise advertising would work with the final product of this development. Because of the subject billboard's location, staff would support it for at least another year.

MR. ARNOLD stated that although the subject billboard is one of the taller ones in the valley, it is also located near some of the overpasses. COMMISSIONER STEINMAN then asked how the applicant would design a billboard sign that was compatible to the World Market Center. MR. ARNOLD felt he could not respond adequately, as he was not the architect and this would have to be looked at with the upcoming development. COMMISSIONER STEINMAN stressed that the applicant needed to be prepared with a design compatible with the upcoming development. MR. LEOBOLD added that there would be temporary tents on the subject site placed north of Discovery Drive, which would be considered temporary development. The permanent structures would replace the tents as the project proceeds over the next five years.

COMMISSIONER EVANS did not generally oppose billboards, as long as they are not located within residential areas or blocking scenic vistas. He stated he would support the application with the one-year review.

No one appeared in opposition.

CHAIRMAN NIGRO declared the public hearing closed.

(6:12 – 6:20)

1-398

CONDITIONS:

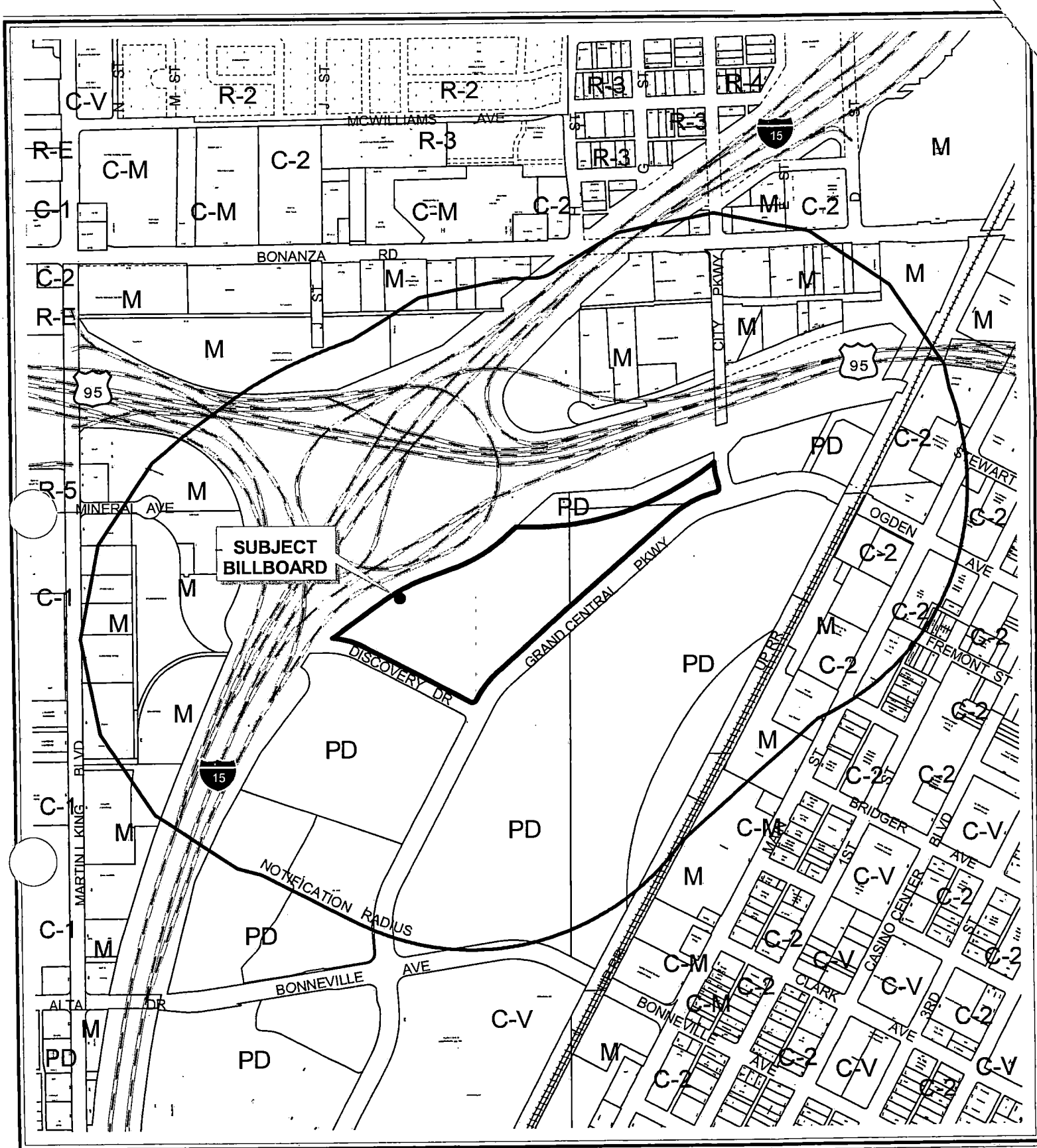
Planning and Development

1. This Use shall be reviewed in one year at which time the City Council may require the Off-Premise Advertising (Billboard) Sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign is removed.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 5 – RQR-6003

CONDITIONS – Continued:

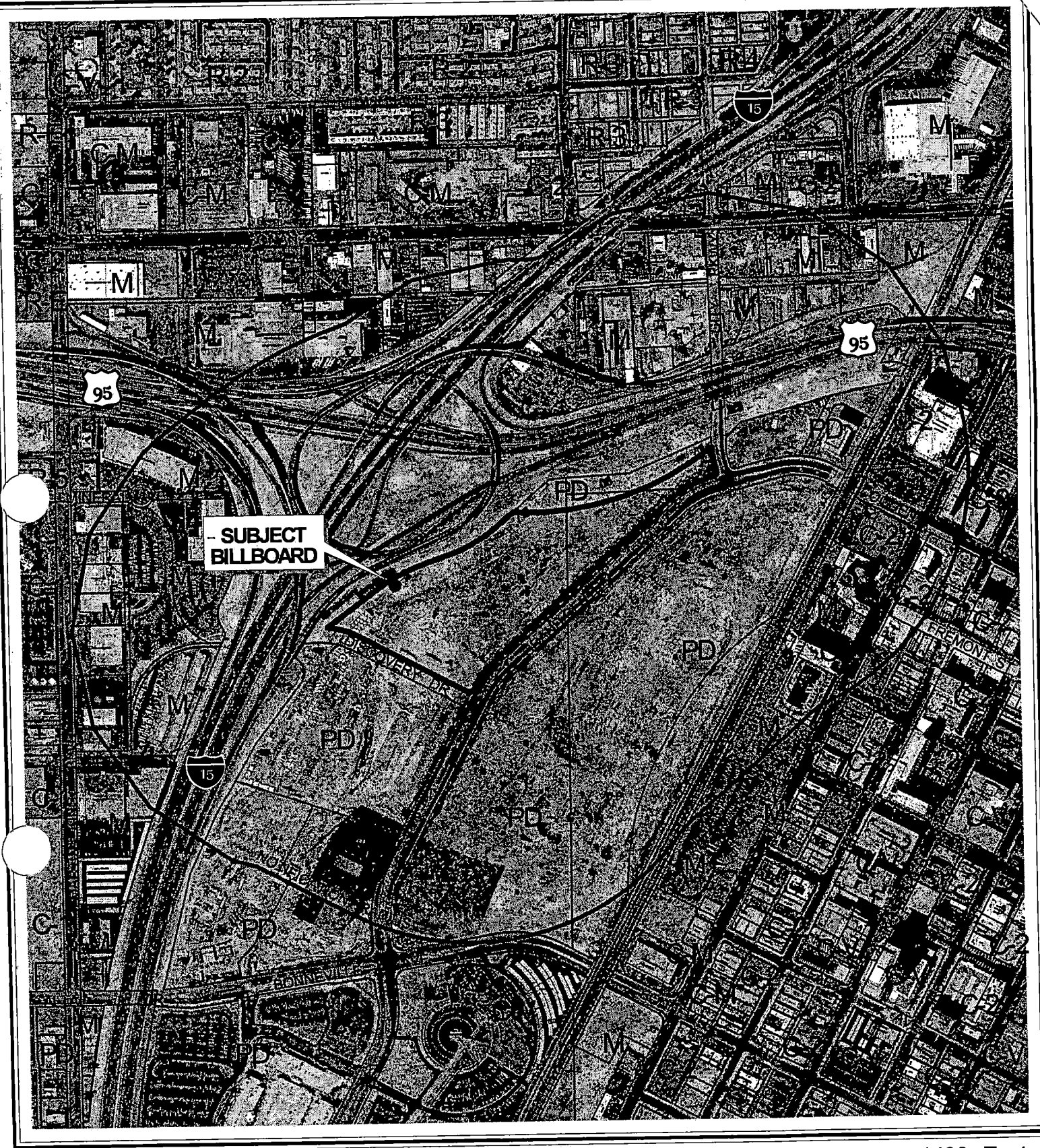
2. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of the Downtown Centennial Plan and Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
3. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
4. All City Code requirements and design standards of all City Departments shall be satisfied.



CASE: RQR-6003

RADIUS: 1320 FT

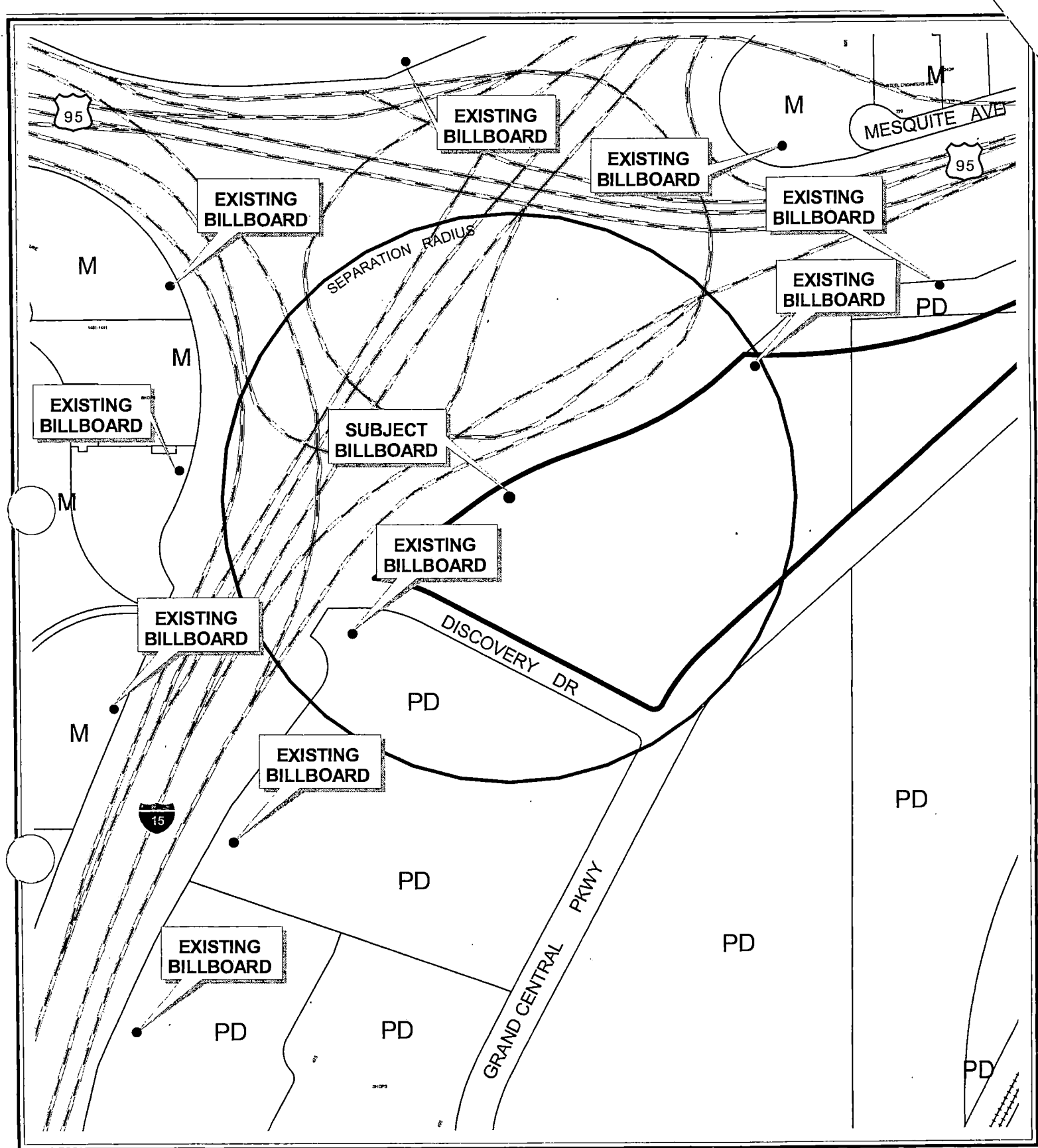
ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)



CASE: RQR-6003

RADIUS: 1320 FT

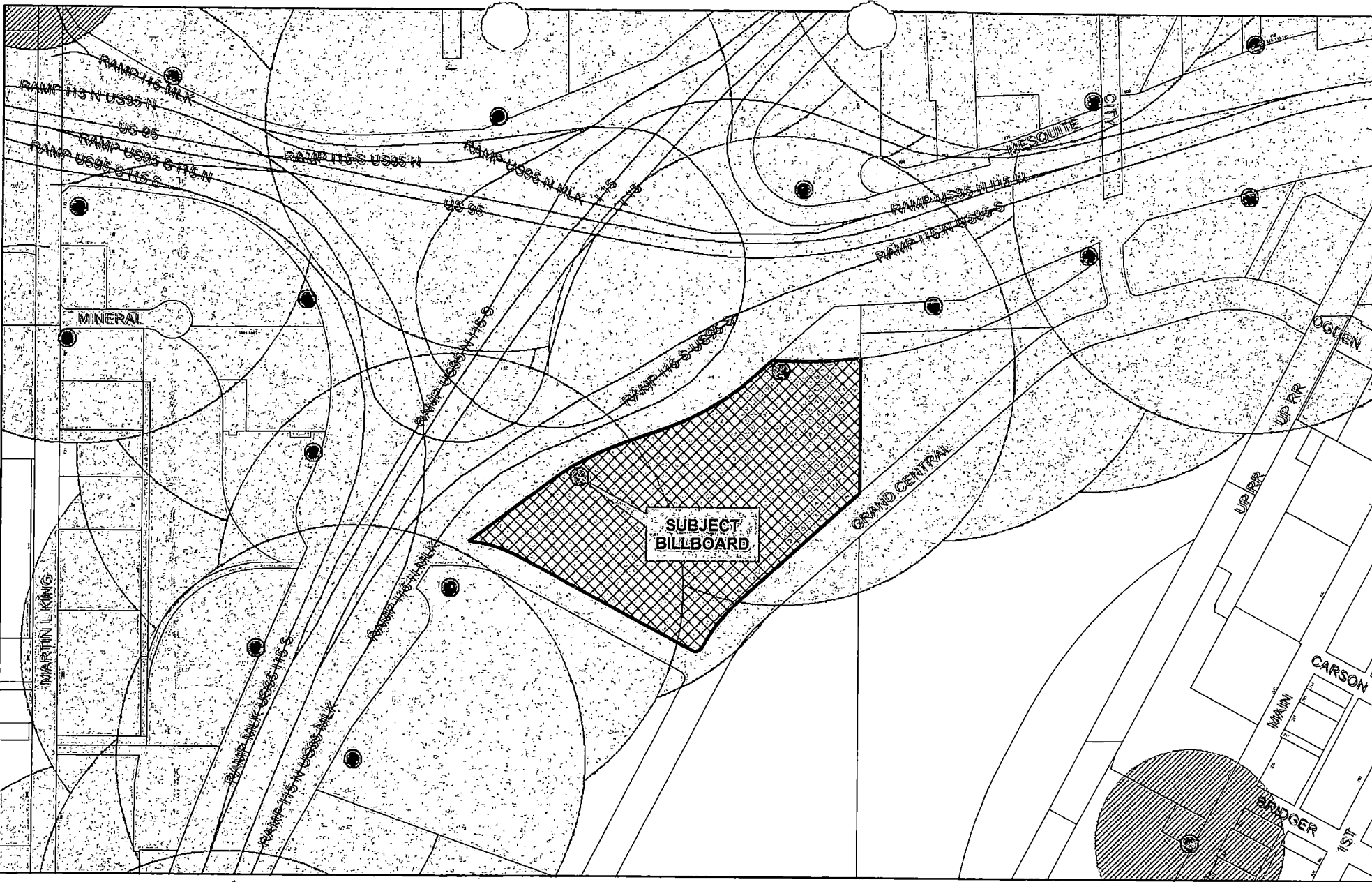
ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)



CASE: RQR-6003

SEPARATION RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)



RQR-6003

City of Las Vegas Billboard Data



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: RQR-6003 - APPLICANT: VIACOM OUTDOOR - OWNER:
WMC III ASSOCIATES, LLC**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. This Use shall be reviewed in one year at which time the City Council may require the Off-Premise Advertising (Billboard) Sign to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Sign is removed.
2. If the existing Off-Premise Advertising (Billboard) Sign structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of the Downtown Centennial Plan and Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
3. The Off-Premise Advertising (Billboard) Sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Sign.
4. All City Code requirements and design standards of all City Departments shall be satisfied.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This request is for a Required One Year Review of an approved One Year Required Review (RQR-1974), which approved one existing Off-Premise Advertising (Billboard) Sign on property bounded by U.S. 95, I-15 and Grand Central Parkway.

B) Applicant's Justification

A justification letter is not required for this type of application.

BACKGROUND INFORMATION

A) Related Actions

- 11/23/98 The City Council approved a Rezoning (Z-0100-97) to PD (Planned Development) on the subject property. Included in that approval was the ability to maintain the existing Off-Premise Advertising (Billboard) Signs, subject to a two-year review.
- 02/07/01 The City Council approved a Required Review [Z-0100-97(2)] on an approved Rezoning which included the 13 existing Off-Premise Advertising (Billboard) Signs on property bounded by U.S.-95, I-15, and Grand Central Parkway, subject to a one year review. The Planning Commission recommended approval.
- 05/16/01 The City Council approved a Site Development Plan Review [Z-0100-97(3)] for a proposed 1,000,000 square-foot commercial development (Furniture Mart) on approximately 36.11 acres at the northwest corner of the intersection of Bonneville Avenue and Grand Central Parkway. The Planning Commission recommended approval. The Site Review is to expire on 05/16/03 unless permits are issued or an extension of time is granted.
- 11/07/01 The City Council approved a Site Development Plan Review [Z-0100-97(6)] for a proposed 478,028 square foot outlet mall (Chelsea) on 39.20 acres on the southwest corner of Bonneville Avenue and Grand Central Parkway and a Major Modification [Z-0100-97(5)] to amend or delete certain provisions of the Master Development Plan for Lot 1 of Parkway Center. The Planning Commission recommended approval.

RQR-6003 - Staff Report Page Two
March 24, 2005 - Planning Commission Meeting

- 04/03/02 The City Council approved a Required Review [Z-0100-97(7)] on an approved Rezoning which included the 12 existing Off-Premise Advertising (Billboard) Signs on property bounded by U.S.-95, I-15, and Grand Central Parkway, subject to a one year review. The Planning Commission recommended approval.
- 09/26/02 The Planning Commission approved a Master Sign Plan (MSP-0007-02) for the Chelsea outlet mall site. The billboards on that site were included as part of the application review. The billboards were approved to be relocated on the site and must be rebuilt per the approved billboard elevations.
- 05/21/03 The City Council approved a Required One-Year Review (RQR-1974) for 12 existing Off-Premise Advertising (Billboard) Signs the overall Parkway Center site subject to a one-year review. The Planning Commission and staff recommended approval on April 24, 2003.
- 10/06/04 The City Council approved a Site Development Plan Review (SDR-4841) for a 345,670 square-foot temporary exhibit space on the World Market portion of the site. The Planning Commission and staff recommended approval on August 26, 2004.
- 03/24/05 The Planning Commission will hear a related Required One-Year Review (RQR-5683) request for the eight other Off-Premises Advertising (Billboard) Signs on the overall site.

B) Pre-Application Meeting

A pre-application meeting is not required for this type of application.

C) Neighborhood Meetings

A neighborhood meeting is not required for this type of application.

DETAILS OF APPLICATION REQUEST

A) Site Area

Gross Acres: 18.11

B) Existing Land Use

Subject Property: Undeveloped
World Market (Under Construction)
North: U.S. Highway 95
South: Chelsea Outlet Mall
East: Undeveloped
West: Interstate 15

C) *Planned Land Use*

Subject Property: MXU (Mixed Use)
 North: ROW (Right-of-Way)
 South: MXU (Mixed Use)
 East: MXU (Mixed Use)
 West: ROW (Right-of-Way)

D) *Existing Zoning*

Subject Property: PD (Planned Development)
 North: U.S. Highway 95
 South: PD (Planned Development)
 East: PD (Planned Development)
 West: Interstate 15

E) *General Plan Compliance*

The site is designated as MXU (Mixed Use) on the Redevelopment Plan Map of the Southeast Sector of the General Plan. This land use allows a mix of uses including residential, offices, and commercial.

<i>SPECIAL DISTRICTS/ZONES</i>	Yes	No
Special Area Plan	X	
Downtown Centennial Plan	X	
Redevelopment Plan Area	X	
Special Overlay District	X	
Parkway Center	X	
Gaming District	X	
Trails		X
Rural Preservation Neighborhood		X
County/North Las Vegas/HOA Notification		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

This site is within the Downtown Centennial Plan Area, Redevelopment Plan Area, Gaming District, and within the Parkway Center Development Area. The Parkway Center Development Standards clearly indicates that interim billboards are permitted but new billboards are prohibited. Typically billboards are not conducive to redevelopment efforts and therefore these billboards need to be reviewed on an on-going basis to ensure compatibility.

ANALYSIS

A) Zoning Code Compliance

The subject property is zoned PD (Planned Development). The Conditions of Approval of the Rezoning (Z-0100-97) state that no new Off-Premise Advertising (Billboard) Signs are allowed; however, the pre-existing Off-Premise Advertising (Billboard) Signs are allowed to remain subject to review.

A1) Minimum Distance Separation Requirements

Pursuant to Title 19.04, the following Standards apply to the subject proposal:

Standards	Code Requirement	Provided
Off-Premise Advertisement (Billboard)	At least 750 feet from another Off Premise Sign along freeway frontage	NO Less than 750 feet between signs
Off-Premise Advertisement (Billboard)	At least 300 feet to the nearest property line of a lot in any "R" zoned district.	YES No "R" zoned properties within 750 foot notification radius.

Due to the age of the subject Off-Premise Advertising (Billboard) Sign, the minimum 750 foot distance separation requirement for signs along major freeways is not met. This makes the sign legal non-conforming uses on this property. The sign does meet the minimum 300 foot distance separation requirement for "R" zoned properties.

B) General Analysis and Discussion

- Zoning**

The subject site is zoned PD (Planned Development) and is part of the Parkway Center Development. The Standards indicate existing interim billboards are permitted but no new billboards are permitted.

- Use**

The Parkway Center Development Standards were adopted on January 2, 2002 and indicate existing interim billboards are permitted but no new billboards are permitted. Section 7.7 indicates 'Existing interim billboards located upon any parcel within Parkway Center shall be addressed with each submission of a Site Development Plan Review. Title 19.14.060 allows the removal of an Off-Premise (Billboard) Advertising

Sign if conditions in the surrounding area have changed. While development of portions of the property has commenced, the subject signs can remain, as they are oriented towards the Interstate 15 and U.S. 95 freeways. With the ongoing development of the World Market site, a Staging Plan and Master Sign Plan are forthcoming. The review and approval of these plans may require removal of the subject billboard on this site within the next year. The recommendation for this request is approval, subject to a one-year review.

It should be noted that the signs on the World Market site were not reviewed with the any of the site development plan reviews as required by the Parkway Center Development Standards.

On March 3, 2005 a site inspection was conducted and photos were taken. The inspection revealed the subject sign to be in good condition overall and free of graffiti. A condition has been included that requires the signs to be maintained and kept free of graffiti at all times.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The Parkway Center Development Standards indicates that existing interim billboards are permitted but no new billboards are permitted. Billboards shall be reviewed during any site plan review within the Parkway Center Area. The area immediately surrounding the subject site has changed in the last year with construction of the World Market Furniture store and IRS office building. Billboards are not conducive to new development within the Parkway Center Area and the Redevelopment Area and may not be an appropriate use in perpetuity. A condition has been added to require a review in one year to determine if the billboard is still an appropriate use.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

There are no physical constraints to the continuation of the Off-Premise Advertising (Billboard) Sign use on this site.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

RQR-6003 - Staff Report Page Six
March 24, 2005 - Planning Commission Meeting

The proposed continuation of the Off-Premise Advertising (Billboard) Sign use will not affect U.S. 95 or I-15, both fully developed highways.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The Off-Premise Advertising (Billboard) Signs will be subject to regular inspections and will not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

23

NOTICES MAILED 50

APPROVALS 0

PROTESTS 0

**PLANNING & DEVELOPMENT DEPARTMENT**

STATEMENT OF FINANCIAL INTEREST

Case Number: RQR-6003 APN: 139-33-511-004

Name of Property Owner: WMC III Associates

Name of Applicant: Vicom Outdoor

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

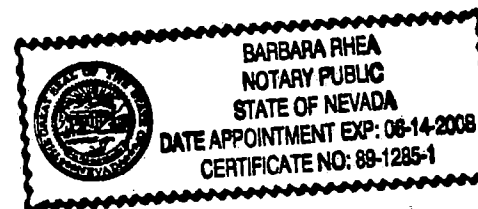
Print Name: Marty Burger

Subscribed and sworn before me

This 24 day of January, 2005

 Notary Public in and for said County and State

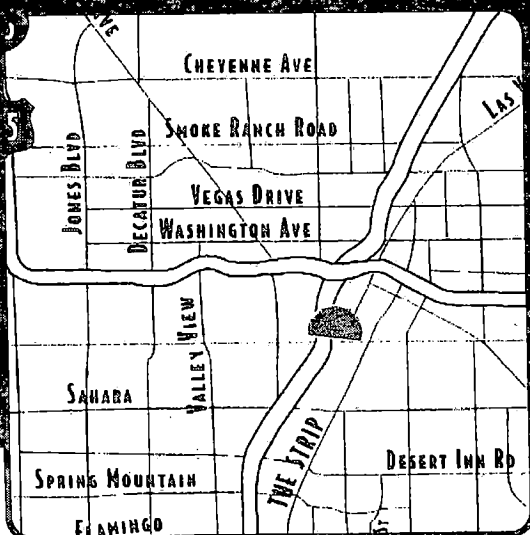
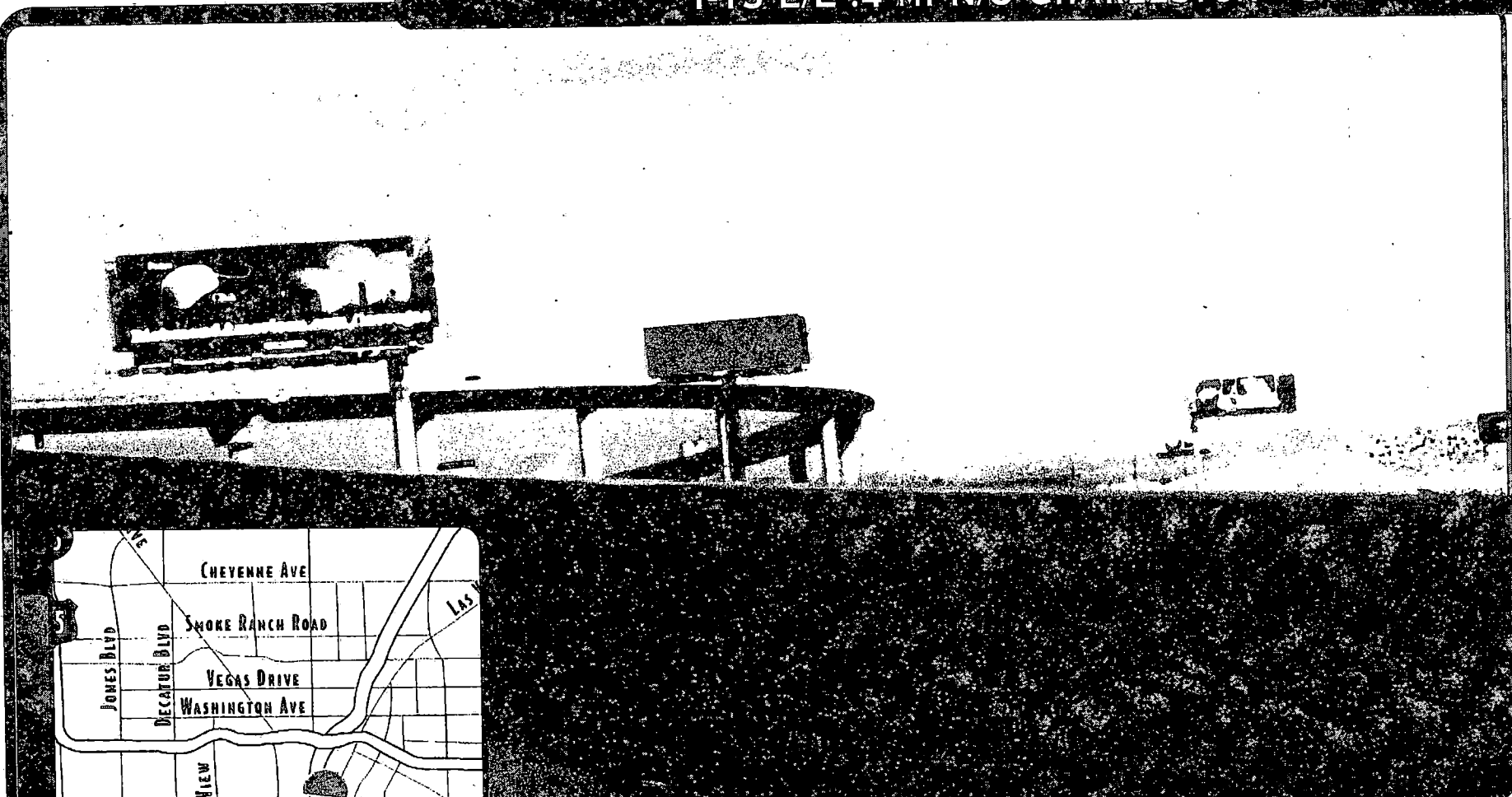
Revised 12-03-04



LAS VEGAS

#1129

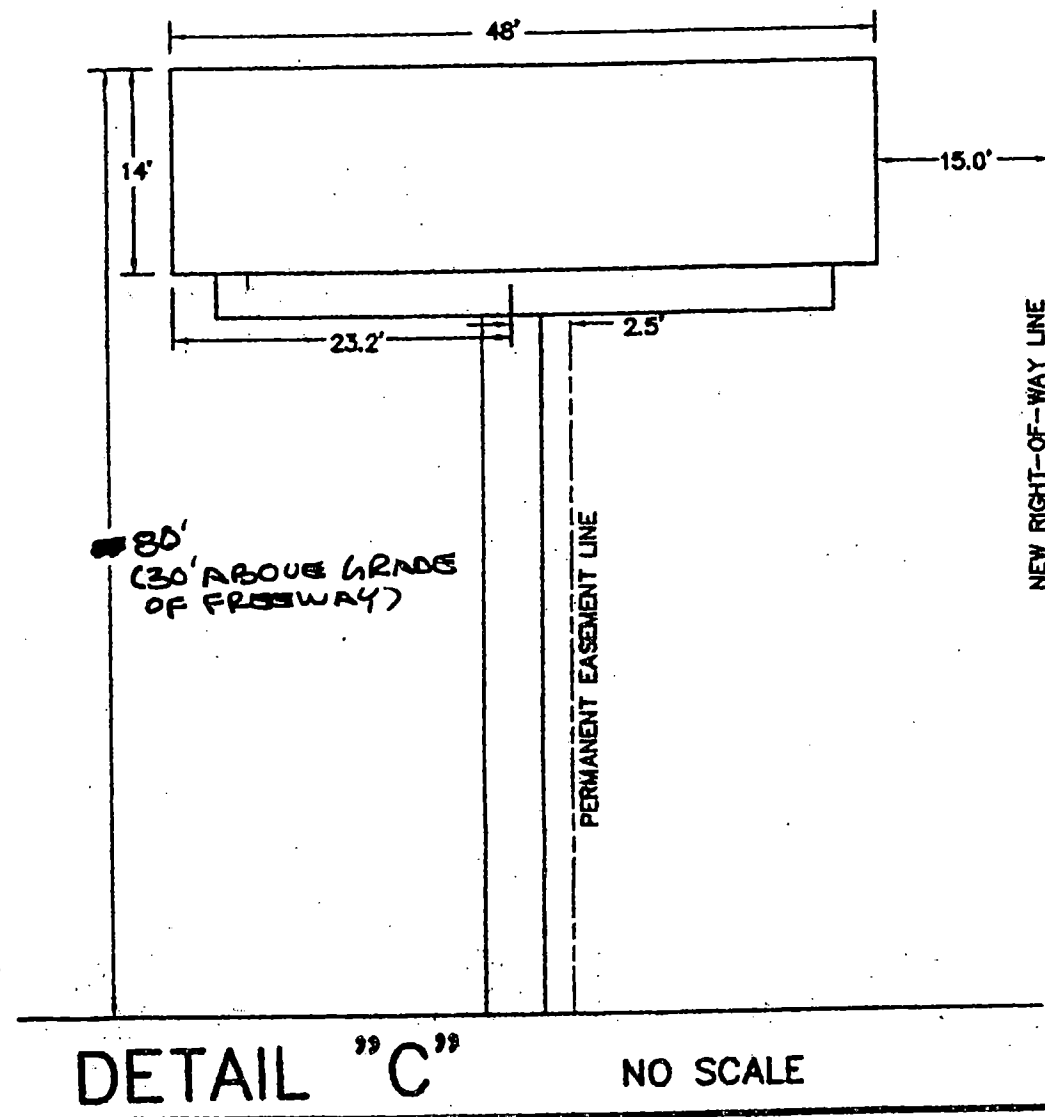
I-15 E/L .4 MI N/O CHARLESTON • SOUTH FACE

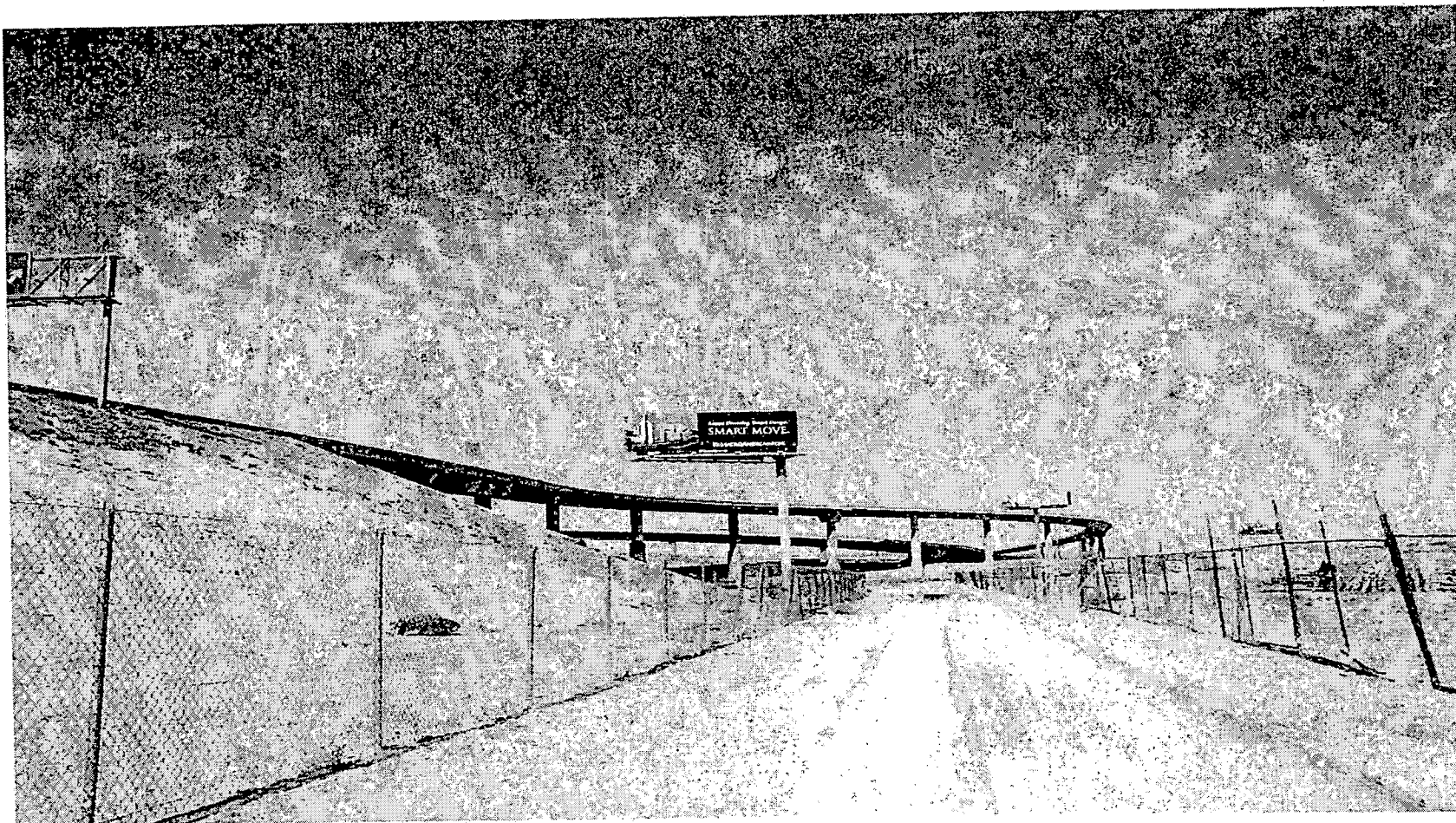


14' X 48'

DEC 145,800

VIACOM
OUTDOOR





RQR-6003 - APPLICANT: VIACOM OUTDOOR - OWNER: WMC III ASSOCIATES, LLC
BOUNDED BY U.S. 95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

3/3/05



MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)
LARRY BROWN
ETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK
JANET MONCRIEF

CITY MANAGER
DOUGLAS A. SELBY

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.ci.las-vegas.nv.us

July 18, 2003

Union Pacific Railroad Company
1700 Farnum Street, 10th Floor South
Omaha, Nebraska 68102-2002

RE: RQR-1974 - REQUIRED ONE YEAR REVIEW
CITY COUNCIL MEETING OF MAY 21, 2003

Dear Applicant:

The City Council at a regular meeting held May 21, 2003 APPROVED the Required One Year Review FOR 12 EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS on property bounded by U.S.-95, I-15 and Grand Central Parkway (APN: 139-33-610-004, 139-33-710-001, 139-33-511-003, 004, and 139-27-410-002 and 005), PD (Planned Development) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on May 22, 2003. This approval is subject to:

Planning and Development

1. This Use shall be reviewed in five years only as to the three new signs adjacent to Chelsea and one year as to all the other signs, at which time the City Council may require the off-premise advertising (billboard) signs to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the off-premise advertising (billboard) sign is removed.
2. If a Site Development Plan Review for new development includes property in which an off-premise advertising (billboard) sign is located, the billboard(s) shall be reviewed for compatibility with the proposed development. Conditions of approval may be imposed that require the removal or redesign of some or all of the off-premise advertising (billboard) signs.
3. The off-premise advertising (billboard) sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the off-premise advertising (billboard) sign.
4. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the off-premise advertising sign.

Union Pacific Railroad Company
RQR-1974 - Page Two
July 18, 2003

5. All of the supporting structure, where there is graffiti, shall be repainted as required by the Planning and Development Department, within 30 days of final approval by City Council. Failure to perform the required painting may result in fines and/or removal of the off-premise advertising (billboard) sign.
6. Allow the two existing signs to continue with two advertising signs per face for a period of one-year and then modify to only one advertising sign per sign face.
7. If an existing off-premise advertising sign structure is removed, the Use Permit shall be expunged and a new off-premise advertising sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
8. All City Code requirements and design standards of all City Departments shall be satisfied.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

Ms. Denise Dunahay
Viacom Outdoor
5425 South Valley View Blvd, Suite #103
Las Vegas, Nevada 89118

Sincerely,



M. Margo Wheeler, AICP
Planning Manager, Current Division Manager
Planning and Development Department

Ms. Misty Baier
Clear Channel Outdoor
1211 West Bonanza Drive
Las Vegas, Nevada 89106

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

VAC-6095 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: STREAMLINE TOWER, LLC - Petition to Vacate a Public Sewer Easement adjacent to the southeast corner of Las Vegas Boulevard and Ogden Avenue, Ward 5 (Weekly).

SET DATE: 04/06/05

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions – UNANIMOUS with TRUESDELL excused

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO explained that these items will be considered in One Motion/One Vote and are routine public hearing items that have no protests, waivers from the Code or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

COMMISSIONER STEINMAN requested Item 5 [RQR-6003] be pulled from One Motion/One Vote so a discussion could take place.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 6 – VAC-6095

MINUTES – Continued:

(6:10 – 6:12)
1-327

CONDITIONS:

1. The existing sewer main must be relocated prior to recordation of the Order of Vacation, unless an alternative arrangement is approved by the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to or concurrent with the recordation of an Order of Vacation.
2. Prior to the recordation of an Order of Vacation all public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
3. All development shall be in conformance with code requirements and design standards of all City Departments.
4. The Order of Vacation shall not be recorded until all of the conditions of approval have been met provided, however, conditions that require modifications to public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five-foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.
5. If the Order of Vacation is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAC-6095 - APPLICANT/OWNER: STREAMLINE TOWER, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

1. The existing sewer main must be relocated prior to recordation of the Order of Vacation, unless an alternative arrangement is approved by the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to or concurrent with the recordation of an Order of Vacation.
2. Prior to the recordation of an Order of Vacation all public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
3. All development shall be in conformance with code requirements and design standards of all City Departments.
4. The Order of Vacation shall not be recorded until all of the conditions of approval have been met provided, however, conditions that require modifications to public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five-foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.
5. If the Order of Vacation is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a Petition to Vacate a Public Sewer Easement on property adjacent to the southeast corner of Las Vegas Boulevard and Ogden Avenue.

B) Applicant's Justification

The applicant justifies this application by stating that the public sewer easement must be abandoned to allow for the construction of a proposed residential condominium tower on the site. Proposed sanitary sewerage will replace the existing sewers in the adjacent right-of-way; this will be adequate to serve the proposed development.

BACKGROUND INFORMATION

A) Related Actions

- 12/16/64 The City Council approved a Rezoning (Z-0100-64) to reclassify property, including the subject parcels, in the area generally bounded by Main Street, Bonanza Road, Las Vegas Boulevard and Charleston Boulevard from R-1 (Single Family Residential), R-4 (High Density Residential), C-1 (Limited Commercial) and C-V (Civic) to C-2 (General Commercial).
- 05/18/88 The City Council approved a Petition to Vacate (VAC-0010-88) the 20-foot wide north-south alley extending south from Ogden Avenue between Las Vegas Boulevard North and Sixth Street. The Planning Commission and staff recommended approval.
- 11/17/04 The City Council approved a Special Use Permit (SUP-5181) for a proposed Mixed-Use Development and a Site Development Plan Review (SDR-5180) for a proposed 267-foot tall mixed-use building with 251 residential units and 16,157 square feet of commercial space. The Planning Commission and staff recommended approval.
- 12/02/04 The Planning Commission approved a Tentative Map (TMP-5492) for Streamline Tower, containing 251 condominium units. Staff recommended approval.

DETAILS OF APPLICATION REQUEST

This Vacation application is described as a 20-foot wide Public Sewer Easement in a portion of the Northeast Quarter (NE¼) of the Southwest Quarter (SW¼) of the Northeast Quarter (NE¼) of Section 34, Township 20 South, Range 61 East, M.D.M.

ANALYSIS

A) *Planning discussion*

The proposed public sewer easement must be vacated to place the approved condominium building on the site. The existing easement had been located in a public alley which had previously been vacated. Appropriate sewerage will be located within adjacent rights-of-way. For these reasons, the Vacation is appropriate.

B) *Public Works discussion*

This Vacation application proposes to only vacate public sewer easements. As no right-of-way is proposed to be vacated, and thus no franchise rights are involved, it is not necessary to send this Vacation request to the utility companies and franchise holders, nor wait for their responses. Since only City easements are involved, any utility company interests will not be affected.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

27

NOTICES MAILED 3

APPROVALS 0

PROTESTS 0

**PLANNING & DEVELOPMENT DEPARTMENT**

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAC-6095** APN: **139-34-611-056**

Name of Property Owner: Streamline Tower, LLC

Name of Applicant: Lochsa Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: [Signature]

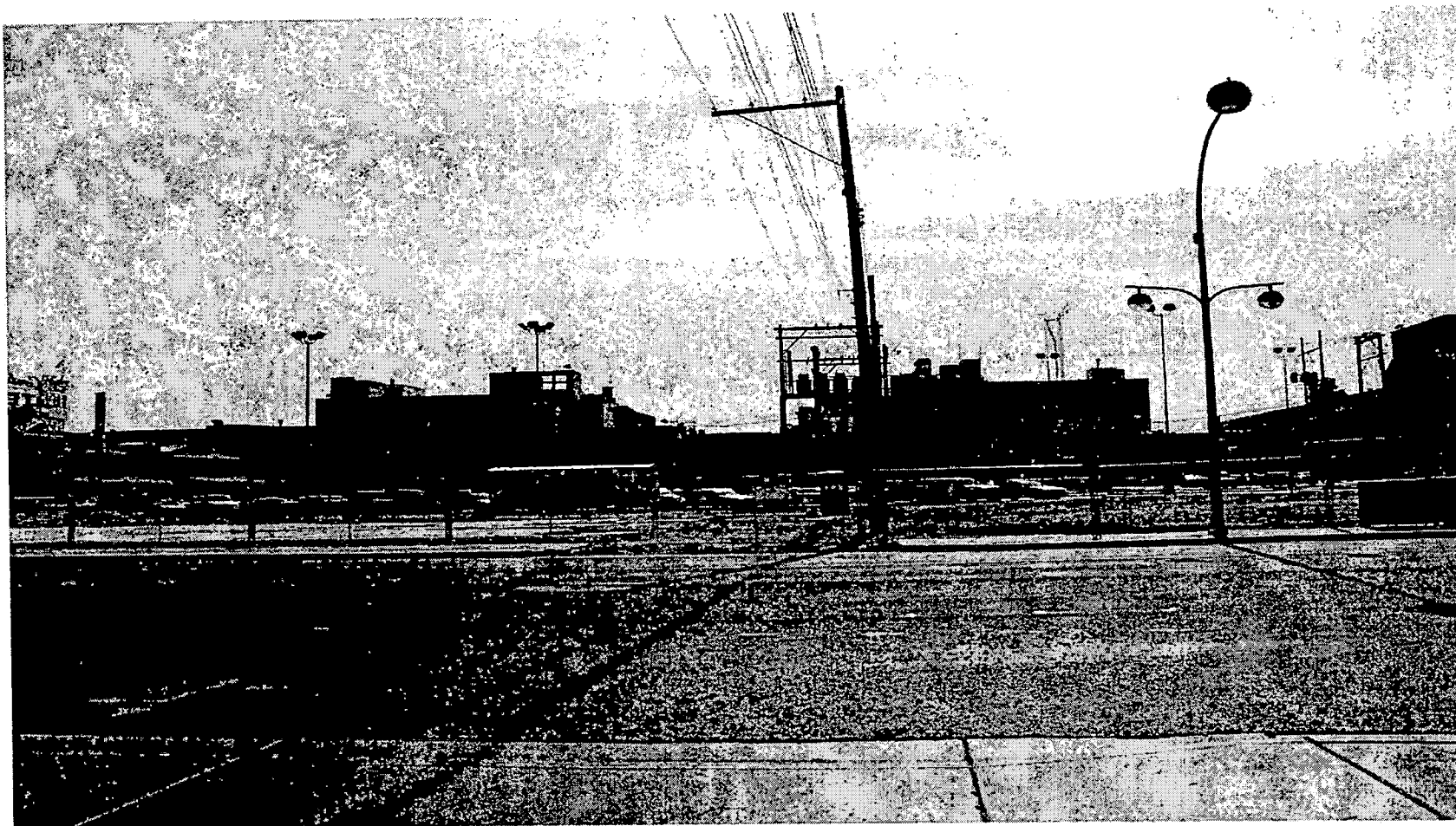
Print Name: S C W P. 1001

Subscribed and sworn before me

This 7th day of February, 2005

Heidi L. Junker
Notary Public in and for said County and State





VAC-6095 - APPLICANT/OWNER: STREAMLINE TOWER, LLC
SOUTHEAST CORNER OF LAS VEGAS BOULEVARD AND OGDEN AVENUE
MARCH 24, 2005 PLANNING COMMISSION

3/3/05



LOCHSA ENGINEERING

February 7, 2005

City of Las Vegas
Planning Department
731 So. 4th Street
Las Vegas, Nevada 89101

JESS. S. HALDEMAN, S.E.
MARK L. HEDGE, P.E.
KENNETH W. (BILL) KARREN, JR., S.E.
DAVID S. PETERSON, S.E.
TED T. EGERTON, P.E.

Subject: Stream Line Towers Condominiums
Sanitary Sewer Easement Vacation
Lochsa Engineering 041188

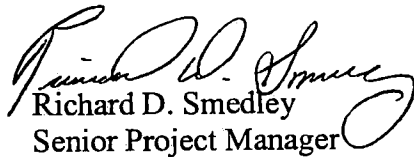
To whom it Concerns,

This letter is to provide a justification for vacation of the existing 20-foot wide sanitary sewer easement. The proposed structure will be placed over the existing easement, thus requiring the vacation of the existing easement and service. Proposed sanitary sewer will be constructed that will replace the existing sewer in the adjacent public right-of-ways and will be adequate to meet the needs of the proposed development.

If you have any questions or comments, please contact our office at your earliest convenience.

Sincerely,

LOCHSA ENGINEERING


Richard D. Smedley
Senior Project Manager


Mark L. Hedge, P.E.
Principal

CIVIL AND STRUCTURAL ENGINEERING

6345 South Jones Boulevard • Suite 100 • Las Vegas, NV 89118 • Phone (702) 365-9312 • Fax (702) 365-9317

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

VAC-6106 - VACATION - PUBLIC HEARING - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC. - Petition to Vacate Fourth Street Corridor Landscape Easements at 600, 612, and 618 South Fourth Street, Ward 1 (Tarkanian).

SET DATE: 04/06/05

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends APPROVAL

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions – UNANIMOUS with TRUESDELL excused

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO explained that these items will be considered in One Motion/One Vote and are routine public hearing items that have no protests, waivers from the Code or condition changes by the applicant or staff. All public hearings will be opened at one time. Any person representing the applicant or a member of the Planning Commission, not in agreement with all standard conditions for the applications recommended by staff, may request to have an item removed from this part of the Agenda.

COMMISSIONER STEINMAN requested Item 5 [RQR-6003] be pulled from One Motion/One Vote so a discussion could take place.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 7 – VAC-6106

MINUTES – Continued:

(6:10 – 6:12)
1-327

CONDITIONS:

1. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
2. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress there from shall be provided if required.
3. All development shall be in conformance with code requirements and design standards of all City departments.
4. The Order of Vacation shall not be recorded until all of the above conditions have been met provided, however, that conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five-foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way or easement being vacated must be retained.
5. If the Order of Vacation is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: VAC-6106 - APPLICANT/OWNER: OFFICE DISTRICT
PARKING I, INC.**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

1. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
2. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress there from shall be provided if required.
3. All development shall be in conformance with code requirements and design standards of all City departments.
4. The Order of Vacation shall not be recorded until all of the above conditions have been met provided, however, that conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five-foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way or easement being vacated must be retained.
5. If the Order of Vacation is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a request for the Petition to Vacate Fourth Street Corridor Landscape Easements at 600, 612, and 618 South Fourth Street.

B) Applicant's Justification

A justification letter is not required for this type of application, nor was one submitted.

BACKGROUND INFORMATION

A) Related Actions

- 12/16/64 The City Council approved a Rezoning (Z-0100-64) to reclassify property, including the subject parcels, in the area generally bounded by Main Street, Bonanza Road, Las Vegas Boulevard and Charleston Boulevard from R-1 (Single Family Residential), R-4 (High Density Residential), C-1 (Limited Commercial) and C-V (Civic) to C-2 (General Commercial).
- 03/02/05 The City Council approved a Special Use Permit (SUP-5686) to allow a mixed-use commercial and residential development and a waiver to allow ground-floor residential units adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval on 01/13/05.
- 03/02/05 The City Council approved a Special Use Permit (SUP-5690) to allow live/work units within a proposed building adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval on 01/13/05.
- 03/02/05 The City Council approved a Site Development Plan Review (SDR-5692) for a 15 story mixed-use development to include 342 residential units, 13 live/work units, and 8,600 square feet of commercial space and a waiver of the Centennial Plan building step-back requirements on 2.38 acres adjacent to the northeast corner of Garces Avenue and Third Street. The Planning Commission recommended approval on 01/13/05 with added conditions.
- 03/24/05 The Planning Commission will consider a Tentative Map (TMP-6110) for a 345 unit mixed-use condominium development on 2.39 acres adjacent to the southeast corner of Third Street and Bonneville Avenue. Staff is recommending approval.

DETAILS OF APPLICATION REQUEST

The subject Vacation request proposes to vacate Fourth Street Corridor Landscape Easements at 600, 612, and 618 South Fourth Street as follows:

Those portions of the Southwest Quarter (SW¼) of Section 34, Township 20 South, Range 61, M.D.M., in the City of Las Vegas, County of Clark, State of Nevada, being those portions of Block 25 of CLARK'S LAS VEGAS TOWNSITE, on file in Book 1 of Plats, Page 37 of Clark County, Nevada Records, described as:

The Southeasterly 3 feet of Lots 23, 24, 25 and 26, the Southeasterly 3 feet of the Northeasterly 20 feet of Lot 31, the Southeasterly 3 feet of Lot 32 and the Northeasterly 3 feet of the Southeasterly 30 feet of lot 32 in Block 25 of said CLARK'S LAS VEGAS TOWNSITE.

ANALYSIS

A) *Planning discussion*

The vacating of landscape easements along South Fourth Street is an acceptable request since the future development of the site will create an alternative landscape design, therefore not resulting in the loss of landscape amenities.

B) *Public Works discussion*

This Vacation application proposes to vacate City of Las Vegas landscape easements only. As no right-of-way is proposed to be vacated, and thus no franchise rights are involved, it is not necessary to send this vacation request to the utility companies and franchise holders, nor wait for their responses. Since only City of Las Vegas landscape easements are involved; any utility company interests will not be affected.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

28

NOTICES MAILED 5

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Office District Parking I, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Wongler A. Selby

Print Name: Douglas A. Selby

Subscribed and sworn before me

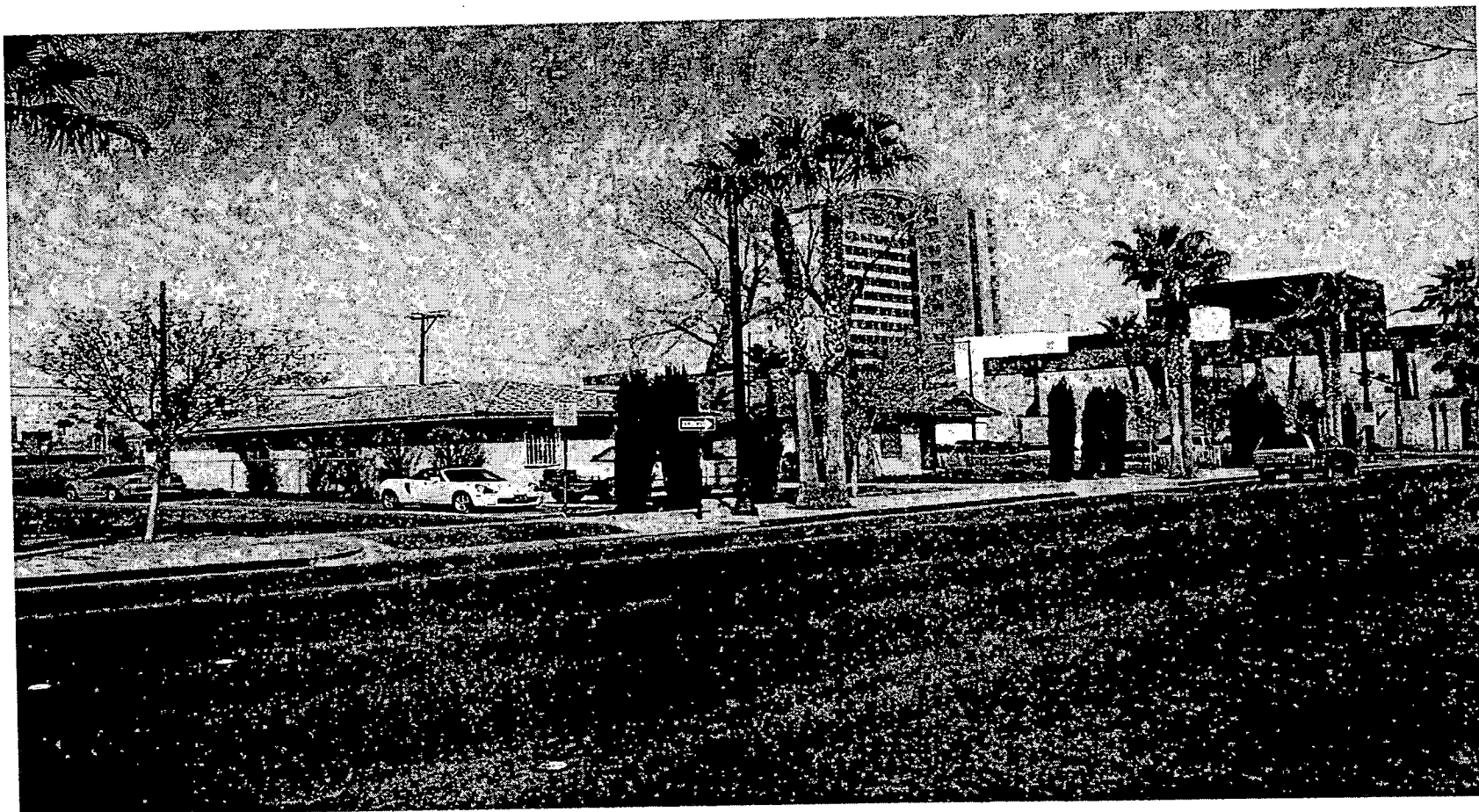
This 26th day of January, 2005

Notary Public in and for said County and State

 **Notary Public-State of Nevada**
COUNTY OF CLARK
CECEL C. GREEN
My Appointment Expires
March 7, 2008

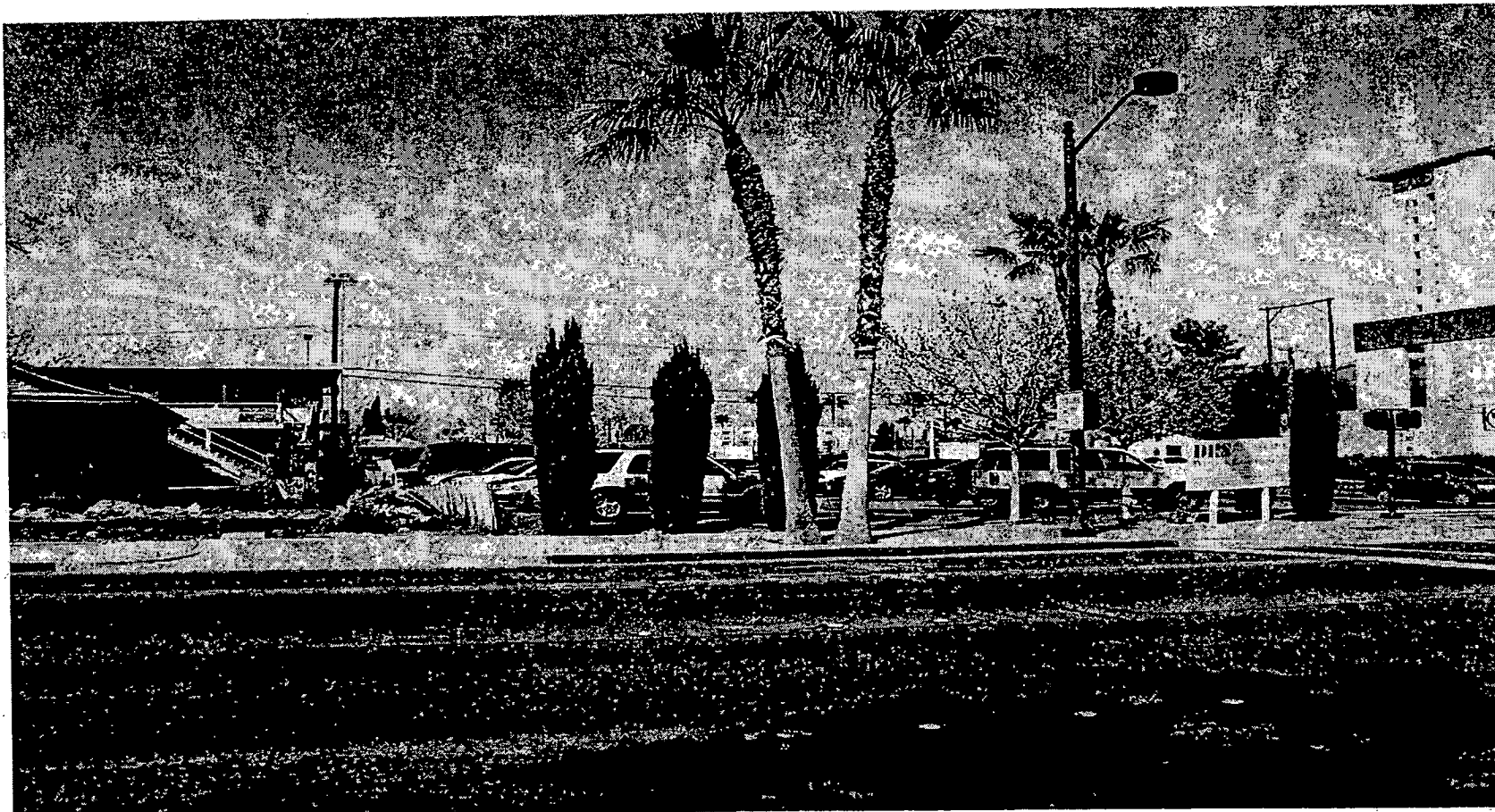
No. 98-1630-1

f:\depot\Application Packet\Statement of Financial Interest.doc



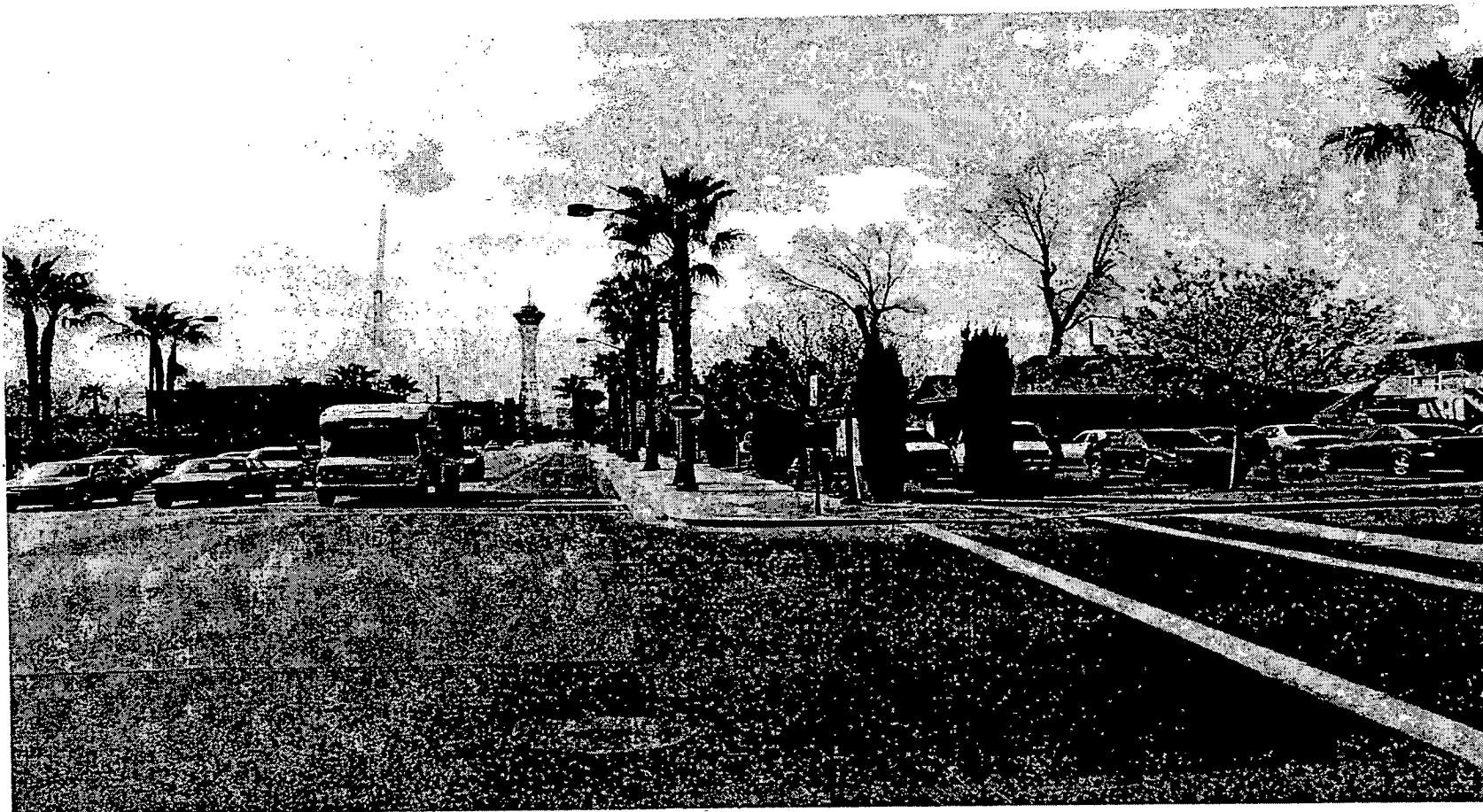
VAC-6106 - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC.
600, 612, AND 618 SOUTH FOURTH STREET
MARCH 24, 2005 PLANNING COMMISSION

2/28/05



VAC-6106 - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC.
600, 612, AND 618 SOUTH FOURTH STREET
MARCH 24, 2005 PLANNING COMMISSION

2/28/05



VAC-6106 - APPLICANT/OWNER: OFFICE DISTRICT PARKING I, INC.
600, 612, AND 618 SOUTH FOURTH STREET
MARCH 24, 2005 PLANNING COMMISSION

2/28/05

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

ABEYANCE - ZON-5669 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: SMOKE RANCH, LLC - Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: C-1 (LIMITED COMMERCIAL) on 5.33 acres at the southeast corner of Smoke Ranch Road and Decatur Boulevard (APN 139-19-101-002), Ward 5 (Weekly):

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

1

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends this item be HELD IN ABEYANCE to the April 28, 2005 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

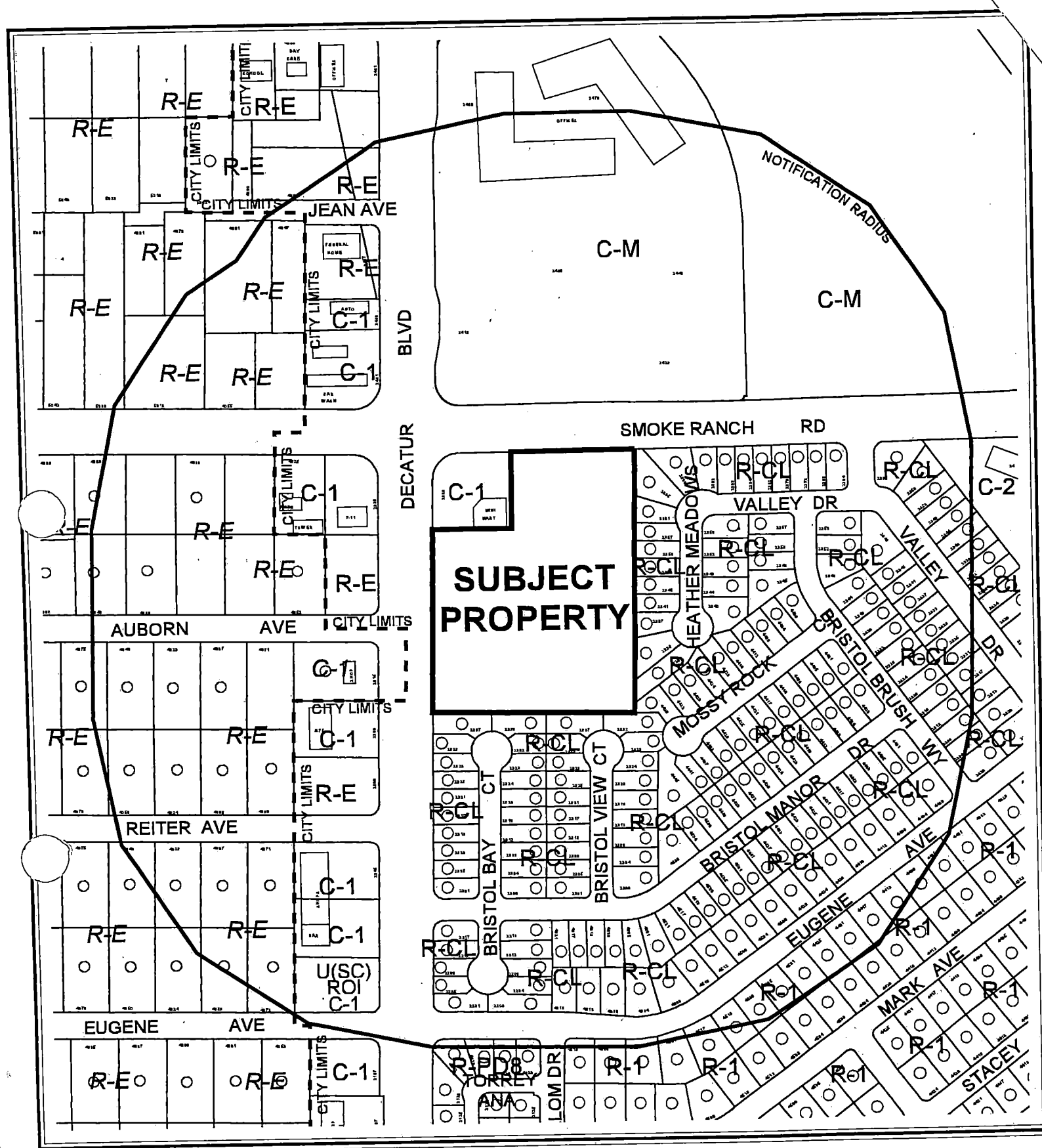
MOTION:

GOYNES – Motion to bring forward and HOLD IN ABEYANCE Item 9 [SUP-5894], Item 10 [SDR-5893], Item 24 [VAR-6228], Item 25 [SDR-6105], Item 35 [SDR-6111] and Item 37 [TXT-5773] to the 4/14/2005 Planning Commission Meeting; Item 8 [ZON-5669] and Item 34 [SDR-6109] to the 4/28/2005 Planning Commission Meeting and WITHDRAW WITHOUT PREJUDICE Item 12 [VAR-5945] – UNANIMOUS with TRUESDELL excused

MINUTES:

There was no discussion.

(6:02 – 6:09)

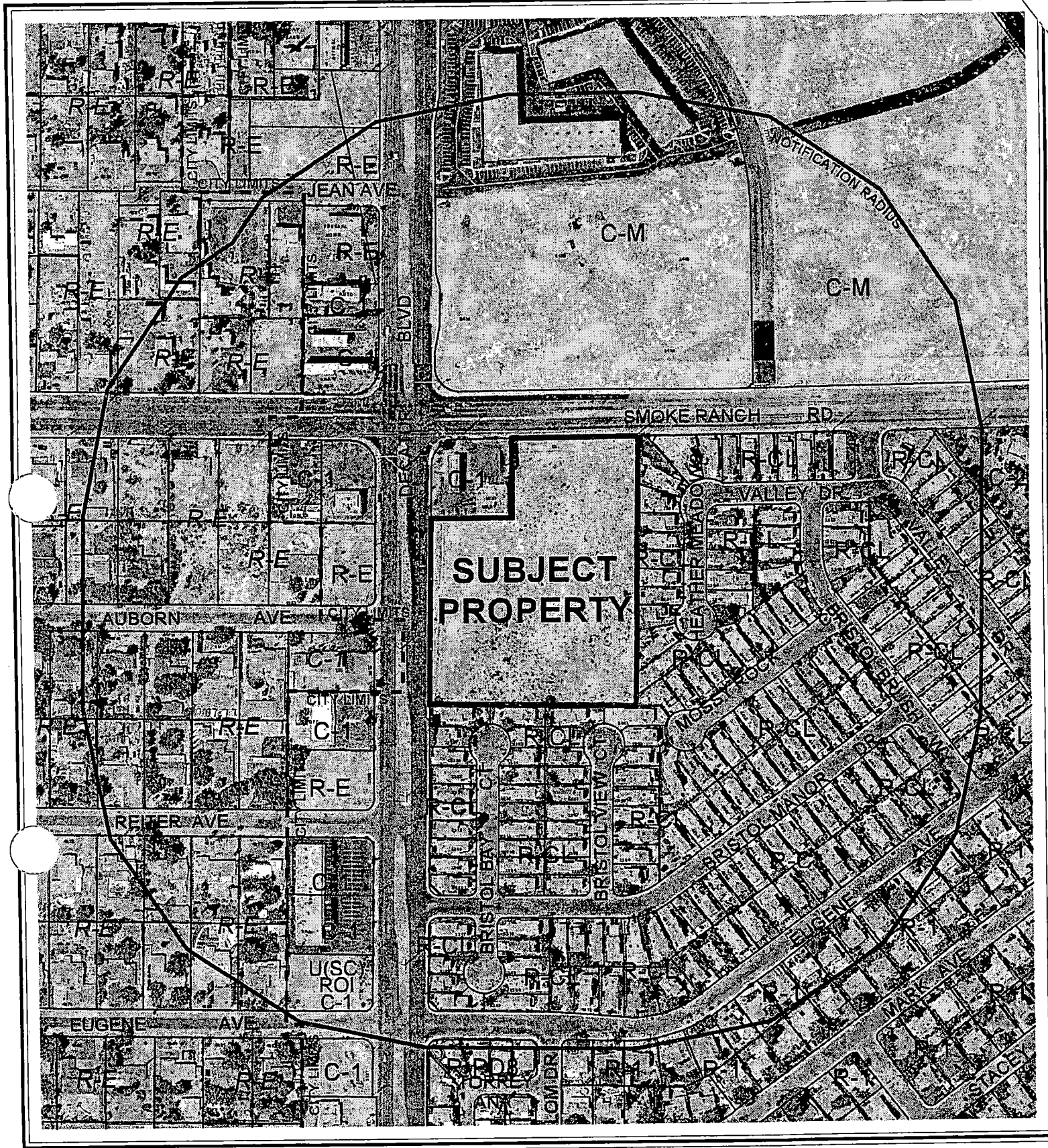


CASE: ZON-5669

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-1 (SINGLE FAMILY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



0 200 400 Feet

CASE: ZON-5669

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-1 (SINGLE FAMILY RESIDENTIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - ZON-5669 - APPLICANT/OWNER: SMOKE
RANCH LLC

***ON MARCH 10, 2005 THE APPLICANT
REQUESTED THIS ITEM BE HELD IN
ABEYANCE TO THE APRIL 28, 2005
PLANNING COMMISSION MEETING.***

City of Las Vegas
Planning and Development Department
Attention: Doug 229-5408

Date: 03/10/05

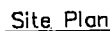
Re: Zoning Case No.: ZON-5669

We would like to continue to hold this application until the April 28 2005 Planning Commission Meeting. Please confirm with me that this Case No.: ZON-5669 is being held until April 28 2005 Planning Commission Meeting.

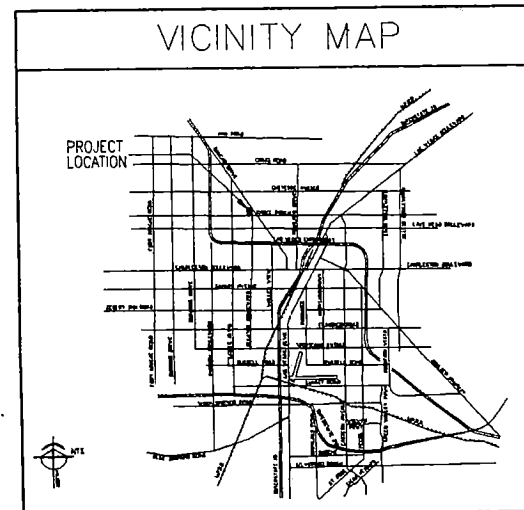
Thank you

Nolan Carl
(702) 990-8415
(702) 938-1053
nolan@creatvsys.com

SMOKE RANCH



SCALE

$$1/32' = 1'-0"$$


ZON-5669

3-24-05 PC

PROJECT:	BRIDGE RANCH/DECATUR
LOCATION:	BRIDGE RANCH/DECATUR
OWNER/AGENT:	BRIDGE RANCH LLC
DETAILS OF:	PROPOSED ENTER PLAN

Smoke Ranch llc
Development Company
8350 Ward Sahara Avenue
Las Vegas, Nevada 89117
Suite 230
TEL: (702)362-4450
FAX: (702)362-4348

REVISION

DRAWN BY:

APPROVED BY

DATE: _____

PROJECT NUMBER

SCALE:

A-10

04



ZON-5669 - APPLICANT/OWNER: SMOKE RANCH, LLC
SOUTHEAST CORNER OF SMOKE RANCH ROAD AND DECATUR BOULEVARD
MARCH 24, 2005 PLANNING COMMISSION

01/21/05

Smoke Ranch, llc
8360 West Sahara Avenue
Suite 230
Las Vegas, Nevada 89117
Tel: (702) 362-4450
Fax: (702) 362-4348

November 23, 2004

Subject: Conforming Zone change Smoke Ranch & Decatur
Parcel Number: 139-19-101-002
Justification Letter

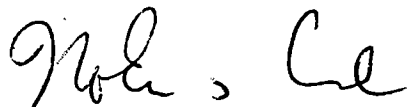
The character of Smoke Ranch and Decatur justifies the subject properties [APN: 139-19-101-002] change of zoning to Local Business District (C-1). The 5.2 gross acre property fronts on Smoke Ranch and Decatur. There is high density residential to the north and west and Commercial Industrial to the South the residential properties to the east are buffered by Decatur itself. There are numerous examples of C-1 property with these exact characteristics in the local area.

This area is has a strong residential growth especially as it becomes more central, and the Valley expands. There would be no additional adverse affects with the designation to any service due to this change.

This change would conform to other plans and goals for similar sized properties on the same and adjacent streets in the area.

There are to many properties to mention that have set the precedent for a Local Business District (C-1) designation. This change would absolutely not set a precedent for future zoning.

Sincerely,



Nolan Carl
Smoke Ranch, llc

BAKER, JACK G. + ANNE P.
2316 BRISTOL VIEW CT.
LAS VEGAS, NV. 89108-2925

PLANNING AND DEVELOPMENT DEPT.
CURRENT PLANNING DIV.
DEVELOPMENT SERVICES CENTER
731 SOUTH FOULTH STREET
LAS VEGAS, NEVADA 89101

DEAR SIR:

CONCERNING CASE ZON-5669. THIS IS TO
EXPRESS MY OBJECTION TO A CHANGE IN ZONING
OF DESCRIBED PROPERTY FROM R-1 SINGLE FAMILY
RESIDENCE TO C-1 LIMITED COMMERCIAL.

THANK YOU.

Jack G. Baker
Anne P. Baker

ZON-5669
P

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

**ABEYANCE - SUP-5894 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH, INC. -
Request for a Special Use Permit FOR A PROPOSED CONVENIENCE STORE WITH FUEL
PUMPS adjacent to the southwest corner of Tenaya Drive and Azure Way (APN 125-27-222-
006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use
Designation], Ward 6 (Mack).**

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends this item be HELD IN ABEYANCE to the April 14, 2005 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

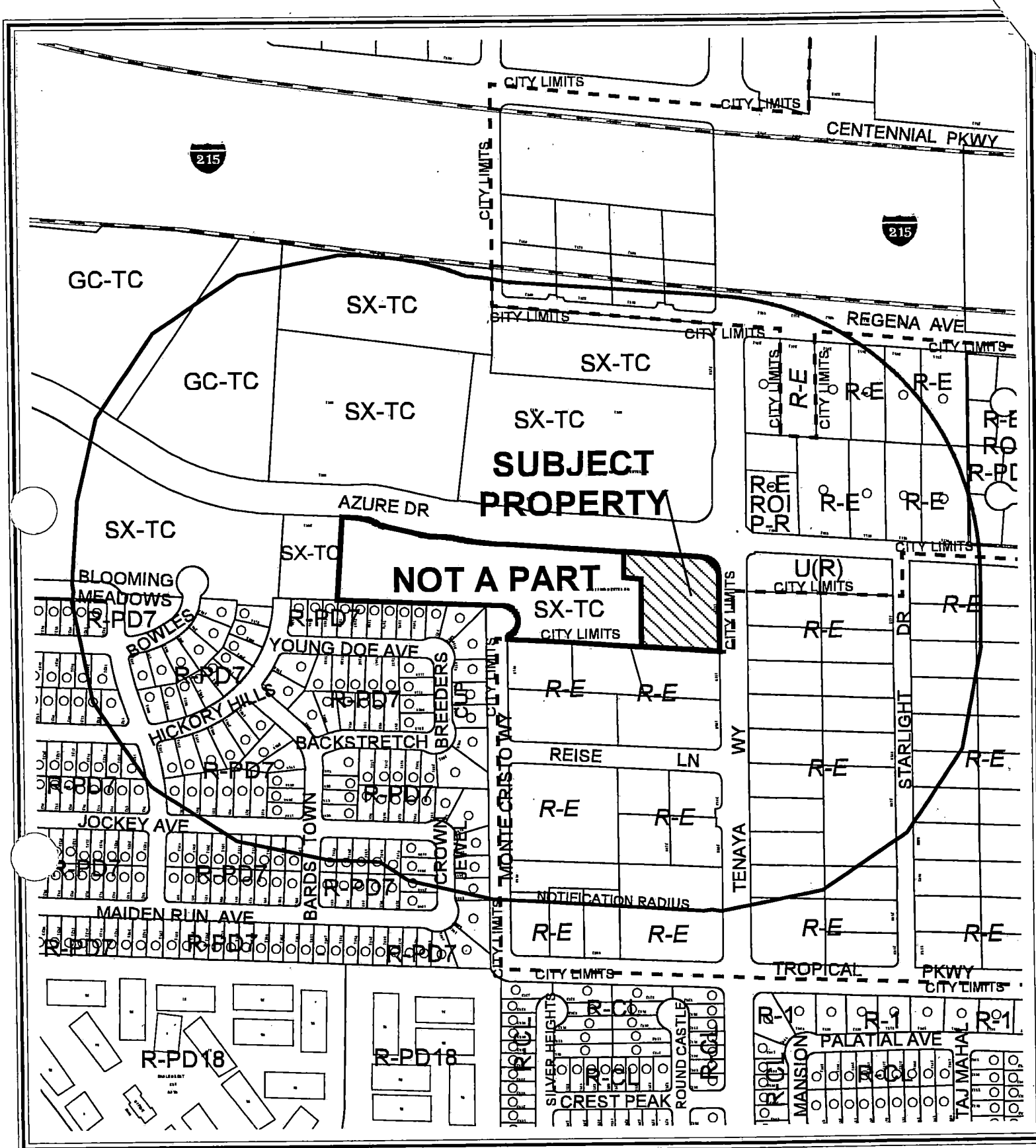
MOTION:

GOYNES – Motion to bring forward and HOLD IN ABEYANCE Item 9 [SUP-5894], Item 10 [SDR-5893], Item 24 [VAR-6228], Item 25 [SDR-6105], Item 35 [SDR-6111] and Item 37 [TXT-5773] to the 4/14/2005 Planning Commission Meeting; Item 8 [ZON-5669] and Item 34 [SDR-6109] to the 4/28/2005 Planning Commission Meeting and WITHDRAW WITHOUT PREJUDICE Item 12 [VAR-5945] – UNANIMOUS with TRUESDELL excused

MINUTES:

There was no discussion.

(6:02 – 6:09)



CASE: SUP-5894

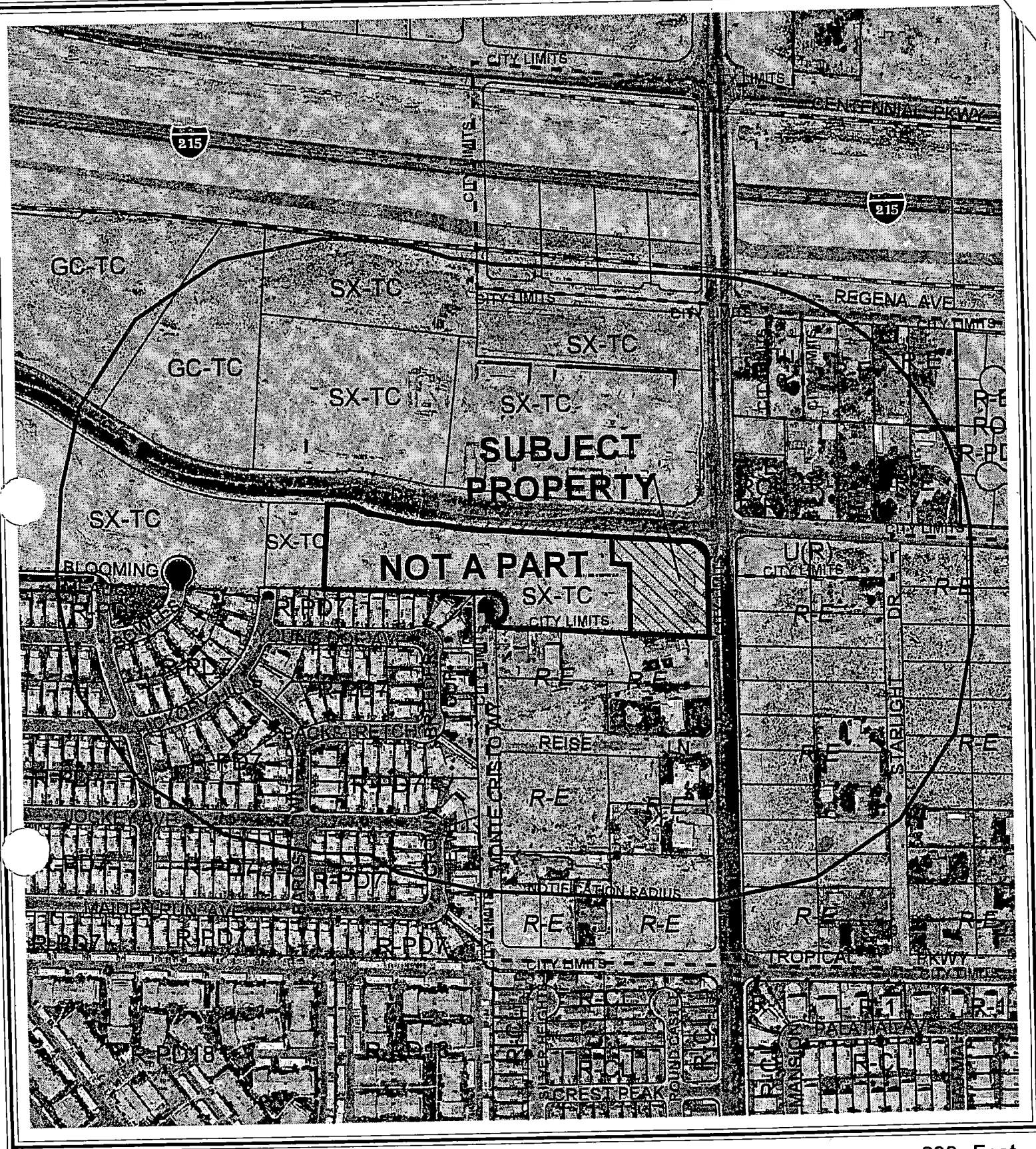
RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]

0 400 800 Feet





CASE: SUP-5894

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY:
T-C (TOWN CENTER) ZONE[SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL
LAND USE DESIGNATION]



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SUP-5894 - APPLICANT: THE MONTECITO
COMPANIES - OWNER: AZURE SOUTH, INC.

***ON MARCH 15, 2005 THE APPLICANT
REQUESTED THIS ITEM BE HELD IN
ABEYANCE TO THE APRIL 14, 2005
PLANNING COMMISSION MEETING***

MONTECITO

COMPANIES

March 15, 2005

City of Las Vegas
Planning and Development Department
Attn: Peter Lowenstein
731 S. Fourth Street
Las Vegas, NV 89101

RE: Request for Extension of SDR-5893 and SUP-5894

Dear Sir:

This letter is prepared to ask that our request for a Site Development Review SDR-5893 and our Special Use Permit SUP-5894 scheduled to be heard at the March 24, 2005 Commission hearing be held in abeyance for approximately two weeks to be heard at the April 14, 2005 Commission. This request of is made to allow us additional time to meet with the surrounding neighbors.

Thank you in advance for your consideration of our request. Please feel free to call me to discuss this request in detail.

Sincerely,



Joe P. Gwerder, PE
Vice President of Construction
Montecito Companies

6600 W Charleston Blvd, Suite 120
Las Vegas, NV 89146
Office (702) 798-5111 Facsimile (702) 892-7784
www.montecitocompanies.com



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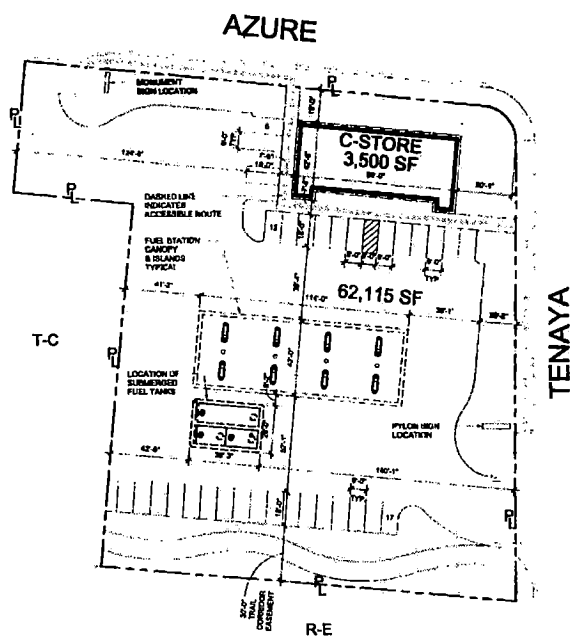
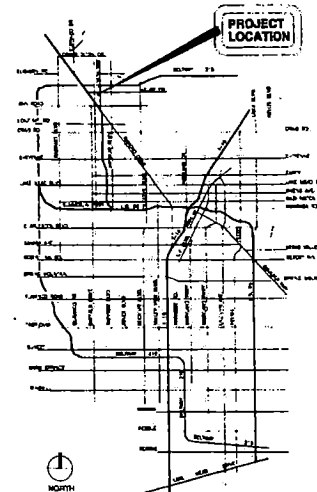
SITE INFORMATION

ASSESSORS PARCEL NUMBER (APN)	125-27-222-006
CURRENT ZONING	T-C
SITE AREA	47,143 - 62,115 S.F.
PROPOSED BUILDING	
C-STORE	3,500 S.F.
SITE COVERAGE	
C-STORE	5.83 %
PARKING REQUIRED	
C-STORE	5/1000 S.F. 18 SPACES
PARKING PROVIDED	
(INCLUDES ACCESSIBLE SPACES)	
C-STORE	34 SPACES

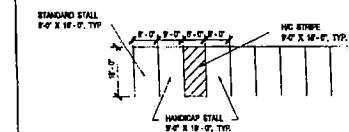
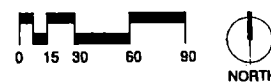
OWNER

AZURE SOUTH, INC.
6800 W. CHARLESTON BLVD., STE. #120
LAS VEGAS, NEVADA 89146
CONTACT: JOE GRENDE
CONTACT: P 702.369.4444 F 702.692.7784

VICINITY MAP

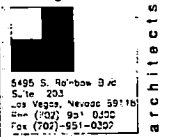


SUP-5894
SDR-5893
3-24-05 PC



STANDARD PARKING STALL DIMENSIONS

Vedelago Petsch AIA



NOT FOR
CONSTRUCTION

MONTECITO

TENAYA VILLAGE CENTER

TENAYA VILLAGE CENTER
SWC of Tenaya Way & Azure Way, Las Vegas, NV
Enlarged
Site Plan

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Project No: 2004-23
Drawn By: Office
Date: 2/28/04
Scale: See Drawing
Sheet No:

A-1.01

SITE PLAN
SCALE: 1"=30'-0"

PROVIDE PARKING LOT
SCREENING PER LAS
VEGAS ZONING CODE
19.12.040, TYP.

FUEL STATION
CANOPY & ISLANDS
TYPICAL

LOCATION OF
SUBMERGED FUEL
TANKS

AZURE

C-STORE
3,500 SF

62,115 SF

TENAYA

PROVIDE PARKING LOT
SCREENING PER LAS
VEGAS ZONING CODE
19.12.040, TYP.

LANDSCAPE PLAN
SCALE: 1"=20'-0"

SUP-5894

SDR-5893

3-24-05 PC

0 15 30 60 90



TREES

SYMBOL	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME
	5	30" BOX	MEXICAN FAN PALM OR EQUIVALENT	WALDOBLETTIA ROBERTSONII (TYPED) or EQ.
	12	15 GAL.	AFRICAN SUMAC OR EQUIVALENT	RHUS LANCEA or EQ.
	0	15 GAL.	ARGENTINE MESQUITE or EQUIVALENT	PROSOPIS sp. EQUIVALENT
	1	15 GAL.	TAMARISK or EQUIVALENT	TAMARIX or EQUIVALENT

SHRUBS

SYMBOL	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME
	49	5 GAL.	BRITTLEBUSH or EQUIVALENT	ENCELIA or EQUIVALENT
	48	5 GAL.	DESERT HONEYSUCKLE or EQUIVALENT	ANISACANTHUS or EQ.

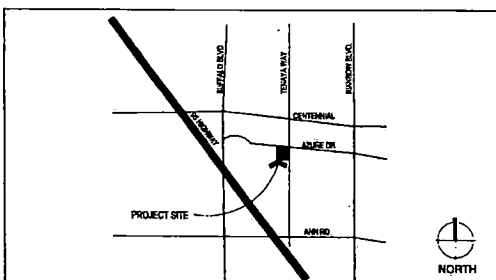
GROUND COVER

SYMBOL	QUANTITY	COVERAGE	COMMON NAME	
	15,506 S.F.	24.3%	DECORATIVE GRAVEL or EQ.	-

LANDSCAPE PALETTE

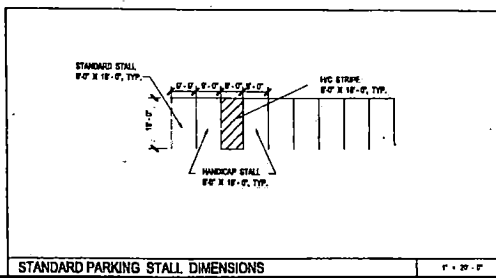
TOTAL AREA: 62,115 S.F. 1.43 ACRES
OPEN SPACE AREA PROVIDED: 43,169 S.F. 0.99 ACRES
OPEN SPACE / TOTAL AREA RATIO: 69.4 % (LANDSCAPE INCL.)
LANDSCAPE AREA PROVIDED: 15,506 S.F. 0.35 ACRES
LANDSCAPE / TOTAL AREA RATIO: 24.8 %

OPEN SPACE / LANDSCAPE AREA



VICINITY MAP

SCALE: 1"=20'-0"



STANDARD PARKING STALL DIMENSIONS

Vedelago Petsch AIA

5495 S. Rainbow Blvd.
Suite 203
Las Vegas, Nevada 89118
Phone (702) 951-0332
Fax (702) 951-0507

architects

NOT FOR
CONSTRUCTION

MONTECITO

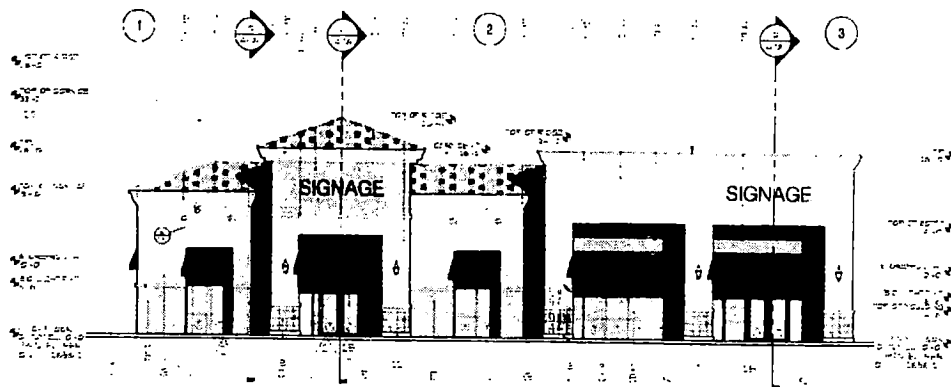
PROJECT NAME:

TENAYA VILLAGE CENTER
SWC of Tenaya Way & Azure Drive, Las Vegas, NV
Site Plan
Enlarged
Landscape Plan

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Project No: 2004-23
Drawn By: DM/ea
Date: 12/28/04
Scale: See Drawing
Sheet No:

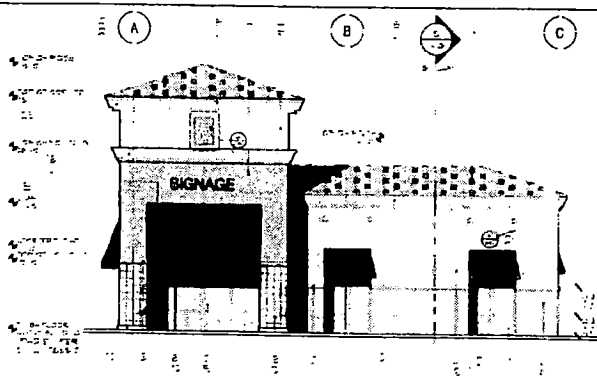
LP-1



CONCEPTUAL SOUTH ELEVATION

DATE: 01-01-04
SCALE: 1/8" = 1'-0"

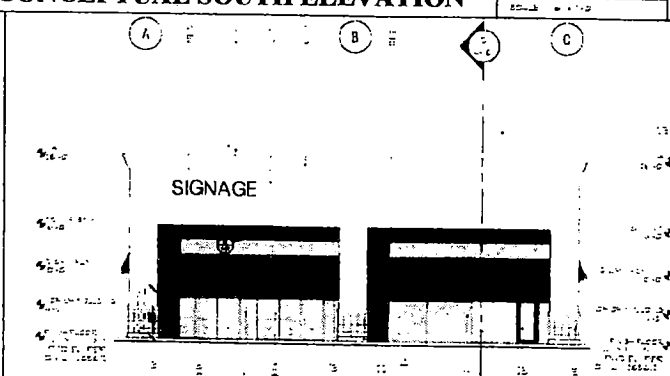
1



CONCEPTUAL WEST ELEVATION

DATE: 01-01-04
SCALE: 1/8" = 1'-0"

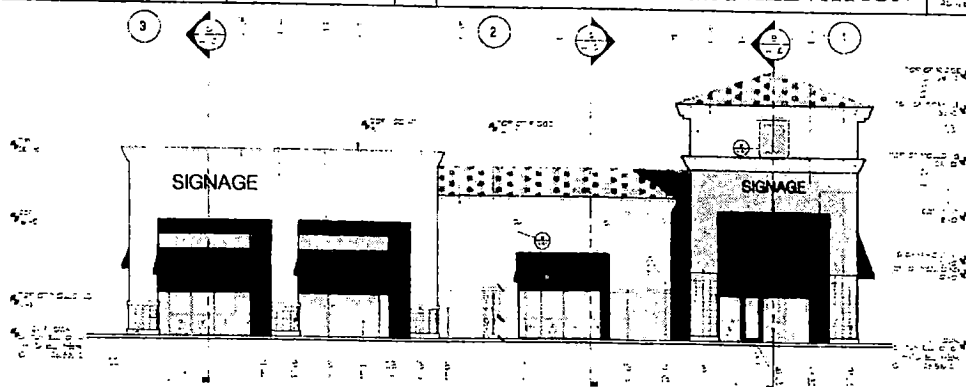
4



CONCEPTUAL EAST ELEVATION

DATE: 01-01-04
SCALE: 1/8" = 1'-0"

2



CONCEPTUAL NORTH ELEVATION

DATE: 01-01-04
SCALE: 1/8" = 1'-0"

3

SUP-5894
SDR-5893
3-24-05 PC

1/8" = 1'-0"
1/4" = 1'-0"
1/2" = 1'-0"

Monte Carlo Companies, LLC

Perkowitz + Ruth Architects
Architecture/Planning/Store Design

10000 Townsquare Village Center
SITE AND BUILDING DESIGN
MPC TOWN AND ALDRE
LOS ANGELES, CALIFORNIA

A-14

MONTECITO

COMPANIES

December 27, 2004

City of Las Vegas
Planning and Development Department
Attn: Flinn Fagg
731 S. Fourth Street
Las Vegas, NV 89101

RE: Tenaya Village Center Special Use Permit Justification for a Convenience Store with fuel pumps

Dear Sir:

This letter is prepared as a justification letter for the proposed Special Use Permit to allow a Convenience Store with fuel pumps. This request is actually a revision to the previously approved Site Development Review (Z-0076-98(20)) approved May 9, 2001 with an approved Extension of Time (EOT-2152) approved June 23, 2003. Furthermore, the design of this project is proposed to tie in architecturally with the approved Site Development Review for Montecito East (SDR-2399) revised 6-23-03. Please note that the area covered under the reviews of Montecito East has been renamed Tenaya Village Center.

In general, the building has been located near the Southwest corner of the intersection of Tenaya Way and Azure Drive with the applicable setbacks and landscape buffer per the Town Center Development Standards. The conceptual elevation of the building is proposed to match closely to the elevations of the current phase of Tenaya Village that is under construction, including the articulated roof line and cornice line which also conform to the Town Center Development Standards. The colors chosen for the building will complement those established in this first phase of the project and as approved in the previous Site Development Reviews for this area. Furthermore, the proposed building reduces the amount of building area previously approved for the area, decreases the previously approved Floor to Area Ratio (FAR), and provides more than sufficient parking. The proposed convenience store use with fuel pumps will provide a much needed facility that is lacking in the Town Center area. Also, the proposed use is located on the outskirts of the Town Center area at a favorable intersection of the Town Center Loop Road system, providing for continuous mixed use within the body of the Town Center limits.

It should be noted that along with this request, we are requesting a waiver from the standard of 330' distance separation from single family dwellings as outlined in Part B (Development Uses) Section 4,B,14 of the Town Center Development Standards (page 34). The requirement to place convenience stores a minimum of 330' from single family dwellings can not be met as the location of the convenience store is at the outskirts of the Town Center area, closer to residential uses. The proposed location of the convenience store is at a primary corner Town Center Loop Road system, which is where a convenience store is ideally located. It should also be noted that with the review of the initial Site Development Review (Z-0076-98(20)) a tremendous effort was made with the surrounding neighborhood to allow the proposed development to occur, including gaming and alcohol sales. During this phase of the development, several requirements were negotiated with the surrounding neighbors and

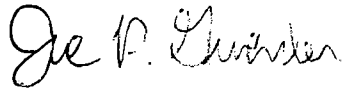
6600 W Charleston Blvd, Suite 120
Las Vegas, NV 89146
Phone (702) 798-5111 Facsimile (702) 892-7784

SUP-5894

became conditions of approval for the proposed request. These included a 10' sidewalk/trail along the West side of Tenaya Way with a 5' landscape buffer, a 30' wide heavily landscaped trail/buffer area along the southern property line, and a 6' foot decorative block wall along portions abutting residential development. Because of the tremendous efforts previously made to buffer this corner from the existing residential uses, we ask that this proposed waiver be approved.

To conclude, we sincerely feel that every effort has been made to make the overall Tenaya Village Center project a architecturally pleasing and aesthetic development. We have designed the project to be in substantial conformance with the Town Center Development Standards and provided several landscape/hardscape features at this corner of the development to serve as a buffer to the surrounding residential neighbors. We believe these efforts made justify approval of the proposed Special Use Permit and the proposed waiver from the distance separation requirement. Please feel free to contact at our office at 798-5111 to discuss this matter further. Thank you in advance for your consideration of this request.

Sincerely,



Joe P. Gwerder, PE
Vice President of Construction
Montecito Companies

6600 W Charleston Blvd, Suite 120
Las Vegas, NV 89146
Phone (702) 798-5111 Facsimile (702) 892-7784

SUP-5894

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

ABEYANCE - SDR-5893 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5894 - PUBLIC HEARING - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH INC. - Request for a Site Development Plan Review FOR A PROPOSED 3,500 SQUARE FOOT CONVENIENCE STORE WITH FUEL PUMPS AND WAIVERS OF THE 70% GLAZING AND THE 330 FOOT SEPARATION REQUIREMENTS on 1.43 acres adjacent to the southwest corner of Tenaya Way and Azure Drive (APN 125-27-222-006), T-C (Town Center) Zone [SX-TC (Suburban Mixed Use - Town Center) Special Land Use Designation], Ward 6 (Mack).

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends this item be HELD IN ABEYANCE to the April 14, 2005 Planning Commission meeting.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

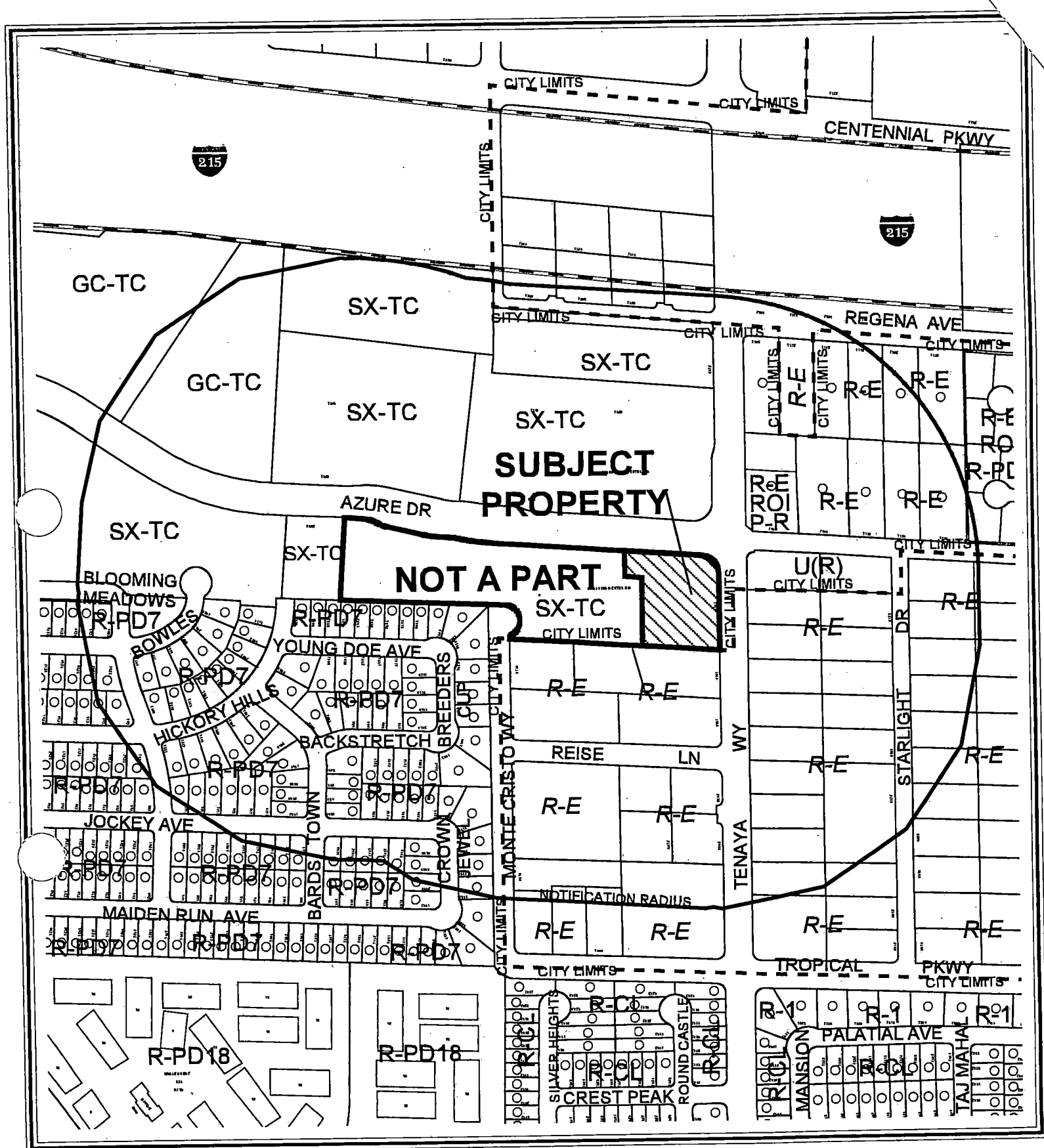
MOTION:

GOYNES – Motion to bring forward and HOLD IN ABEYANCE Item 9 [SUP-5894], Item 10 [SDR-5893], Item 24 [VAR-6228], Item 25 [SDR-6105], Item 35 [SDR-6111] and Item 37 [TXT-5773] to the 4/14/2005 Planning Commission Meeting; Item 8 [ZON-5669] and Item 34 [SDR-6109] to the 4/28/2005 Planning Commission Meeting and WITHDRAW WITHOUT PREJUDICE Item 12 [VAR-5945] – UNANIMOUS with TRUESDELL excused

MINUTES:

There was no discussion.

(6:02 – 6:09)



CASE: SDR-5893

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE[SX-TC (SUBURBAN MIXED USE - TOWN CENTER) SPECIAL LAND USE DESIGNATION]

City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SDR-5893 - APPLICANT: THE MONTECITO
COMPANIES - OWNER: AZURE SOUTH INC.

***ON MARCH 15, 2005 THE APPLICANT
REQUESTED THIS ITEM BE HELD IN
ABEYANCE TO THE APRIL 14, 2005
PLANNING COMMISSION MEETING***

MONTECITO

COMPANIES

March 15, 2005

City of Las Vegas
Planning and Development Department
Attn: Peter Lowenstein
731 S. Fourth Street
Las Vegas, NV 89101

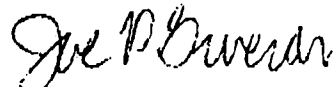
RE: Request for Extension of SDR-5893 and SUP-5894

Dear Sir:

This letter is prepared to ask that our request for a Site Development Review SDR-5893 and our Special Use Permit SUP-5894 scheduled to be heard at the March 24, 2005 Commission hearing be held in abeyance for approximately two weeks to be heard at the April 14, 2005 Commission. This request of is made to allow us additional time to meet with the surrounding neighbors.

Thank you in advance for your consideration of our request. Please feel free to call me to discuss this request in detail.

Sincerely,



Joe P. Gwerder, PE
Vice President of Construction
Montecito Companies

6600 W Charleston Blvd, Suite 120
Las Vegas, NV 89146
Office (702) 798-5111 Facsimile (702) 892-7784
www.montecitocompanies.com

STATEMENT OF FINANCIAL INTEREST

Name of Applicant: The Monterito Companies

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

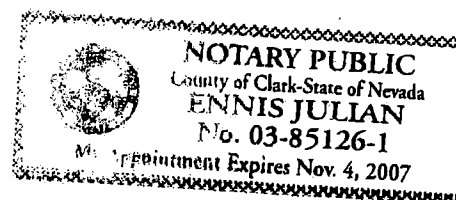
Signature of Property Owner: _____

Print Name: Frank Nielsen

Subscribed and sworn before me

This 24 day of December, 2004

Notary Public in and for said County and State



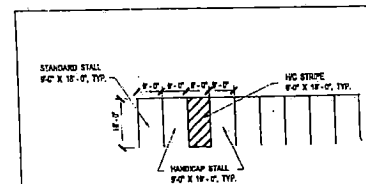
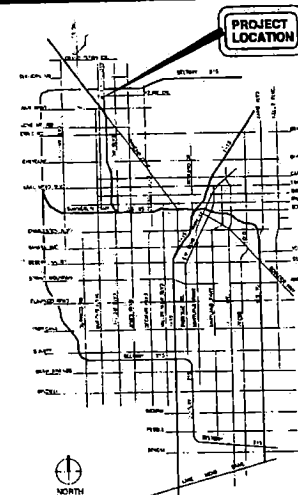
SITE INFORMATION

ASSESSORS PARCEL NUMBER (APN) 125-27-222-006
 CURRENT ZONING T-C
 SITE AREA 41,143 - 62,115 S.F.
 PROPOSED BUILDING C-STORE 3,500 S.F.
 SITE COVERAGE C-STORE 5.63 %
 PARKING REQUIRED C-STORE 5/1000 S.F. 18 SPACES
 PARKING PROVIDED (INCLUDES ACCESSIBLE SPACES) C-STORE 34 SPACES

OWNER

AZURE SOUTH, INC.
 6600 W. CHARLESTON BLVD., STE. #120
 LAS VEGAS, NEVADA 89146
 CONTACT: JOE GWERDER
 CONTACT: P 702.355.4444 F 702.392.7764

VICINITY MAP



STANDARD PARKING STALL DIMENSIONS

Vedolago Petsch AIA
 5425 S. Rainbow Blvd.
 Suite 203
 Las Vegas, Nevada 89118
 Phone (702) 951-0300
 Fax (702) 951-0302

NOT FOR CONSTRUCTION

MONTECITO COMPANIES

TENAYA VILLAGE CENTER
 SMC of Tenaya Way & Azure Drive, Las Vegas, NV

Enlarged Site Plan

PROJECT NAME:
 PROJECT NO.:
 SHEET NO.:

REV	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Project No. 2004123
 Drawn By: Office
 Date: 12/78/04
 Scale: See Drawing
 Sheet No.:

A-1.01

AZURE

TENAYA

C-STORE
 3,500 SF

62,115 SF

T-C

R-E

**SUP-5894
 SDR-5893
 3-24-05 PC**



SITE PLAN
 SCALE: 1"=30'-0"

PROVIDE PARKING LOT
SCREENING PER LAS
VEGAS ZONING CODE
19.12.040, TYP.

FUEL STATION
CANOPY & ISLANDS
TYPICAL

LOCATION OF
SUBMERGED FUEL
TANKS

AZURE

C-STORE
3,500 SF

62,115 SF

TENAYA

PROVIDE PARKING LOT
SCREENING PER LAS
VEGAS ZONING CODE
19.12.040, TYP.

LANDSCAPE PLAN

SUP-5894

SDR-5893

0 15 30 60 90



TREES

SYMBOL	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME
	5	36" BOX	MEXICAN FAN PALM OR EQUIVALENT	WAGNERIOTOMA ROBUSTA HYBRID or EQ.
	12	15 GAL.	AFRICAN SUMAC OR EQUIVALENT	RHUS LANCEA or EQ.
	0	15 GAL.	ARGENTINE MESQUITE or EQUIVALENT	PROSOPIS or EQUIVALENT
	1	15 GAL.	TAMARISK or EQUIVALENT	TAMARIX or EQUIVALENT

SHRUBS

SYMBOL	QUANTITY	SIZE	COMMON NAME	BOTANICAL NAME
	48	5 GAL.	BRITTLEBUSH or EQUIVALENT	ENCEDIA or EQUIVALENT
	48	5 GAL.	DESERT HONEYSUCKLE or EQUIVALENT	ANISACANTHUS or EQ.

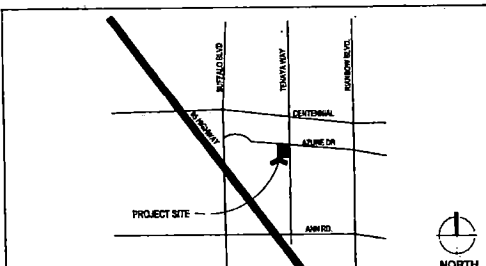
GROUND COVER

SYMBOL	QUANTITY	COVERAGE	COMMON NAME
	15,506 S.F.	24.3%	DECORATIVE GRAVEL or EQ.

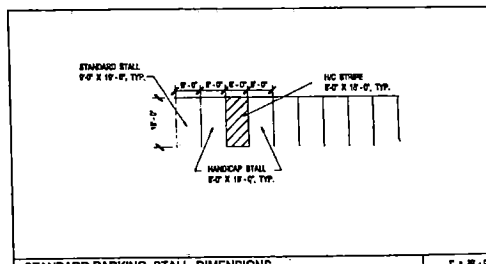
LANDSCAPE PALETTE

TOTAL AREA: 62,115 S.F. 1.43 ACRES
OPEN SPACE AREA PROVIDED: 43,109 S.F. 0.99 ACRES
OPEN SPACE / TOTAL AREA RATIO: 69.4% (LANDSCAPE INCL.)
LANDSCAPE AREA PROVIDED: 15,506 S.F. 0.35 ACRES
LANDSCAPE / TOTAL AREA RATIO: 24.9%

OPEN SPACE / LANDSCAPE AREA



VICINITY MAP



STANDARD PARKING STALL DIMENSIONS

Veddelago Petsch AIA

15495 S. Redwood Ave.
Suite 203
Las Vegas, Nevada 89116
Phone (702) 951-0300
Fax (702) 951-0302

NOT FOR
CONSTRUCTION

MONTECITO

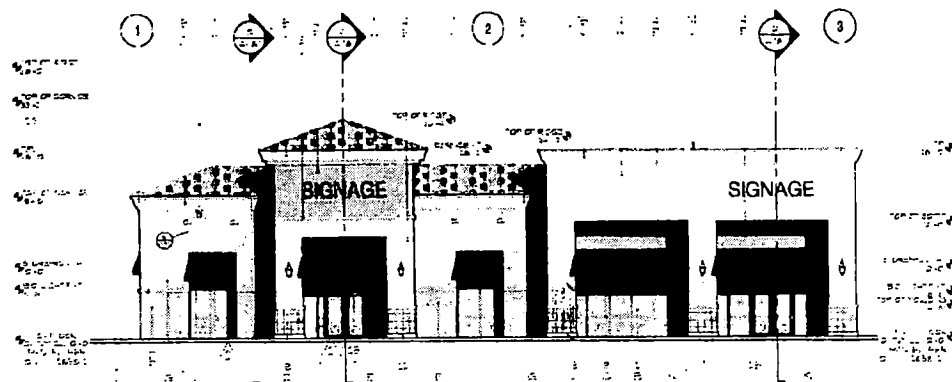
Enlarged
Landscape Plan

TENAYA VILLAGE CENTER
SWC of Tenaya Way & Azure Drive, Las Vegas, NV
SWC TYP.

REV.	DESCRIPTION	DATE
1		
2		
3		

Project No: 2004-23
Drawn By: Office
Date: 2/28/04
Scale: See Drawing
Sheet No:

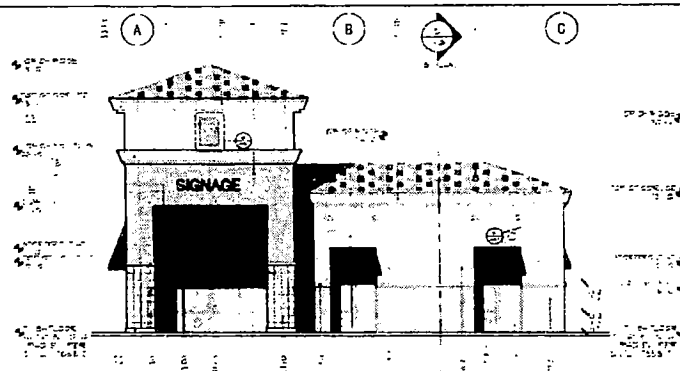
LP-1



CONCEPTUAL SOUTH ELEVATION

DATE: 10/10/10
SCALE: 1/8" = 1'-0"

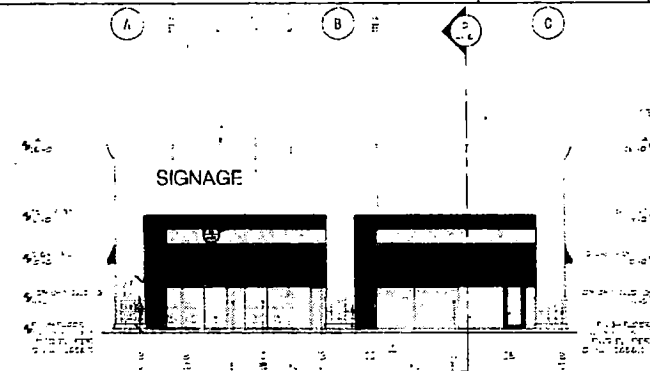
1



CONCEPTUAL WEST ELEVATION

DATE: 10/10/10
SCALE: 1/8" = 1'-0"

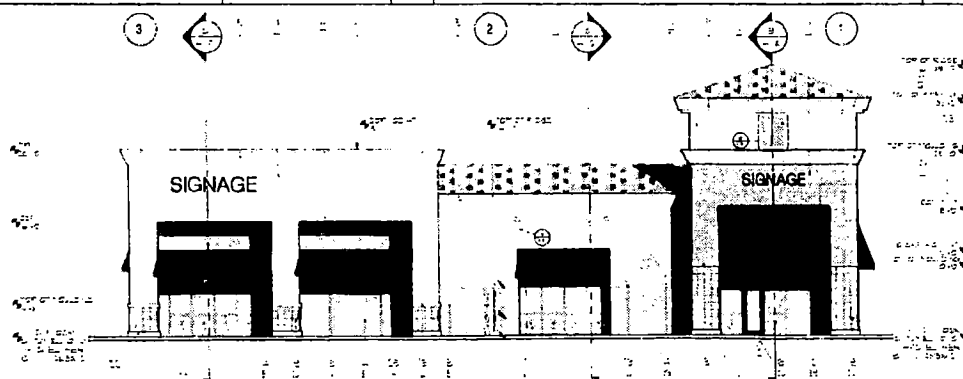
4



CONCEPTUAL EAST ELEVATION

DATE: 10/10/10
SCALE: 1/8" = 1'-0"

2



CONCEPTUAL NORTH ELEVATION

DATE: 10/10/10
SCALE: 1/8" = 1'-0"

3

SUP-5894
SDR-5893

4/5/10
10/10/10
10/10/10

Montecito Companies, LLC

Perkowitz+Ruth Architects
Architecture/Planning/Store Design

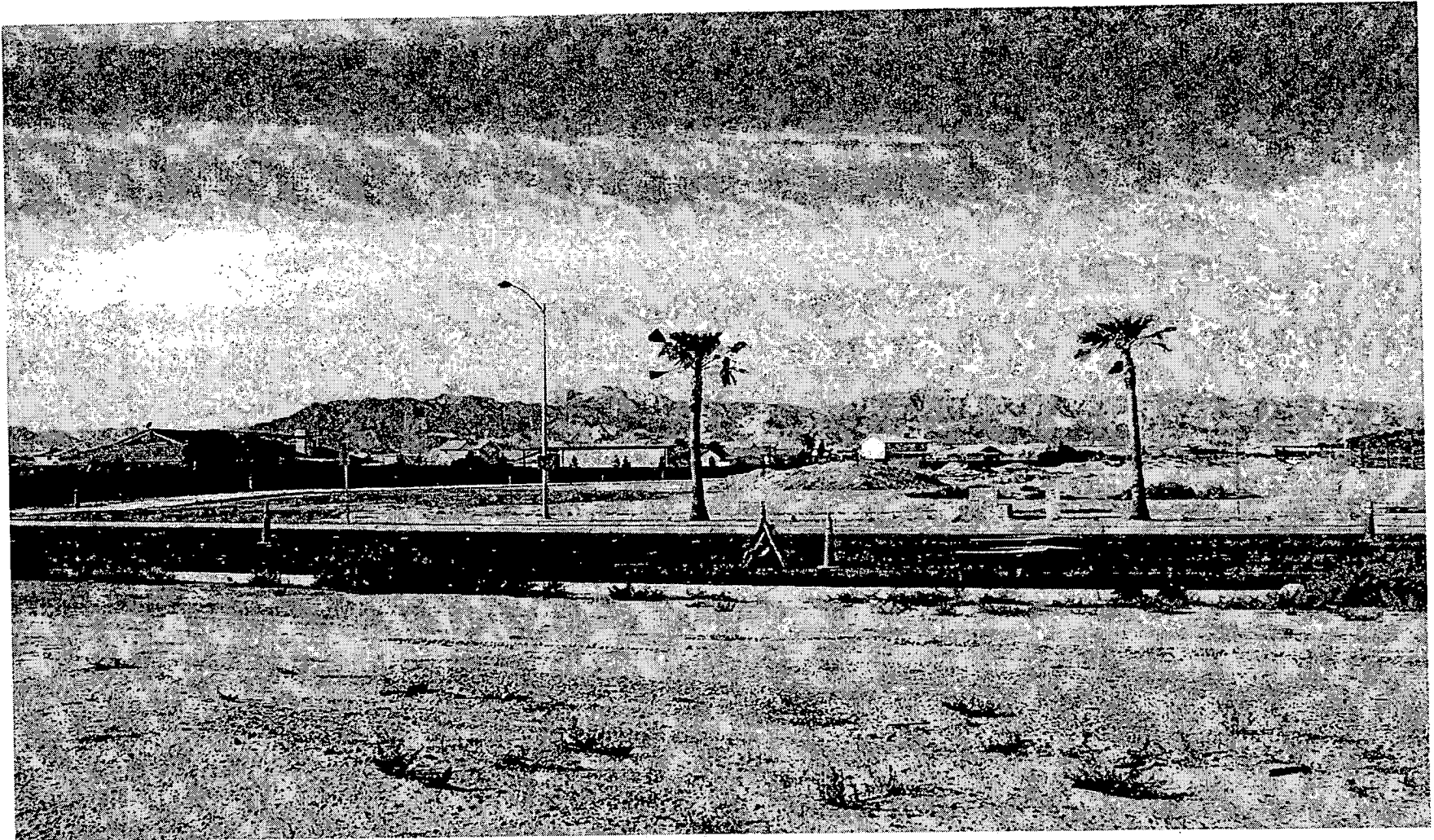
Kenya Village Center
SITE AND BUILDING DESIGN
NMC TENAYA AND AZURE
LAS VEGAS, NEVADA

A-14



SUP-5894 & SDR-5893 - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH, INC.
SOUTHWEST CORNER OF TENAYA DRIVE AND AZURE WAY
MARCH 24, 2005 PLANNING COMMISSION

01/21/05



SUP-5894 & SDR-5893 - APPLICANT: THE MONTECITO COMPANIES - OWNER: AZURE SOUTH, INC.
SOUTHWEST CORNER OF TENAYA DRIVE AND AZURE WAY
MARCH 24, 2005 PLANNING COMMISSION

01/21/05

MONTECITO

COMPANIES

December 27, 2004

City of Las Vegas
Planning and Development Department
Attn: Flinn Fagg
731 S. Fourth Street
Las Vegas, NV 89101

RE: Tenaya Village Center Site Development Review Justification and Waiver Request

Dear Sir:

This letter is prepared as a justification letter for the proposed revision to the previously approved Site Development Review (Z-0076-98(20)) approved May 9, 2001 with an approved Extension of Time (EOT-2152) approved June 23, 2003. Furthermore, the design of this project is proposed to tie in architecturally with the approved Site Development Review for Montecito East (SDR-2399) revised 6-23-03. Please note that the area covered under the reviews of Montecito East has been renamed Tenaya Village Center. The proposed revision is to replace the previously approved Pads P1 and P2 with an approximate 3,500 square foot Convenience Store with fuel pumps.

In general, the building has been located near the Southwest corner of the intersection of Tenaya Way and Azure Drive with the applicable setbacks and landscape buffer per the Town Center Development Standards. The conceptual elevation of the building is proposed to match closely to the elevations of the current phase of Tenaya Village that is under construction, including the articulated roof line and cornice line which also conform to the Town Center Development Standards. The colors chosen for the building will complement those established in this first phase of the project and as approved in the previous Site Development Reviews for this area. Furthermore, the proposed building reduces the amount of building area previously approved for the area, decreases the previously approved Floor to Area Ratio (FAR), and provides more than sufficient parking. The proposed convenience store use with fuel pumps will provide a much needed facility that is lacking in the Town Center area. Also, the proposed use is located on the outskirts of the Town Center area at a favorable intersection of the Town Center Loop Road system, providing for continuous mixed use within the body of the Town Center limits.

For the reasons outlined above, it is our opinion that the proposed changes are in substantial conformance with City standards for development in this area and warrants approval.

It should be noted that along with this request, two waivers are proposed. The first proposed waiver is from the requirement of 70% glazing for portions of the building facing a street as outlined in Part D (Development Standards) Section 1,B,1 of the Town Center Development Standards (page 72). The second is for the 330' distance requirement to single family dwellings as outlined in Part B (Development Uses) Section 4,B,14 of the Town Center Development Standards (page 34).

6600 W Charleston Blvd. Suite 120
Las Vegas, NV 89146
Phone (702) 798-5111 Facsimile (702) 892-7784

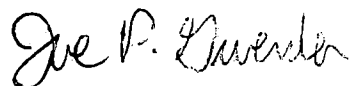
SDR-5893

The requirement for 70% clear glazing along street frontages is not practical for the proposed convenience store use. This proposed requirement is more likely to have been met if the building was located away from the street as typical convenience stores have little or no glazing at the rear of the buildings, but more at the front of the store. However, as outlined in the Town Center Development Standards, it is preferable to locate the structure close to the street. By meeting this standard, it does not allow the facility to function as a typical convenience store with freezers, storage, offices, and restrooms placed at the rear of store and merchandise and service stations located at the entrance. For these reasons, we believe this proposed waiver warrants approval.

The requirement to place convenience stores a minimum of 330' from single family dwellings can not be met as the location of the convenience store is at the outskirts of the Town Center area, closer to residential uses. The proposed location of the convenience store is at a primary corner Town Center Loop Road system, which is where a convenience store is ideally located. It should also be noted that with the review of the initial Site Development Review (Z-0076-98(20)) a tremendous effort was made with the surrounding neighborhood to allow the proposed development to occur, including gaming and alcohol sales. During this phase of the development, several requirements were negotiated with the surrounding neighbors and became conditions of approval for the proposed request. These included a 10' sidewalk/trail along the West side of Tenaya Way with a 5' landscape buffer, a 30' wide heavily landscaped trail/buffer area along the southern property line, and a 6' foot decorative block wall along portions abutting residential development. Because of the tremendous efforts previously made to buffer this corner from the existing residential uses, we ask that this proposed waiver be approved.

To conclude, we sincerely feel that every effort has been made to make the overall Tenaya Village Center project a architecturally pleasing and aesthetic development. We have designed the project to be in substantial conformance with the Town Center Development Standards and provided several landscape/hardscape features at this corner of the development to serve as a buffer to the surrounding residential neighbors. We believe these efforts made justify approval of the proposed Site Development Review and the two requested Waivers. Please feel free to contact at our office at 798-5111 to discuss this matter further. Thank you in advance for your consideration of this request.

Sincerely,



Joe P. Gwerder, PE
Vice President of Construction
Montecito Companies

6600 W Charleston Blvd, Suite 120
Las Vegas, NV 89146
Phone (702) 798-5111 Facsimile (702) 892-7784

SDR-5893

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

**ABEYANCE - RQR-5683 - REQUIRED ONE YEAR REVIEW - PUBLIC HEARING -
APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES,
LLC - Required One Year Review of an approved One Year Required Review (RQR-1974)
WHICH APPROVED EIGHT EXISTING OFF-PREMISE ADVERTISING (BILLBOARD)
SIGNS on property bounded by U.S.-95, I-15 and Grand Central Parkway (APN 139-33-610-
005, 139-33-511-003, 004, and 139-27-410-005, 008), PD (Planned Development) Zone, Ward 5
(Weekly).**

IF APPROVED: C.C.: 04/20/05

IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. City Council Approval Letter for RQR-1974

MOTION:

**GOYNES – APPROVED subject to conditions – Motion carried with STEINMAN voting
NO and TRUESDELL excused**

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning & Development, gave a brief overview of the application. As with a previous application, he emphasized the importance of having a review period. The applicant has informed staff that a longer review period is desirable. Staff would not support that request

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 11 – RQR-5683

MINUTES – Continued:

given the number of billboards with this application and the ongoing development on the subject site. The subject site will look different three years from now and staff would not have had the opportunity to ensure these billboards were integrated or realigned with the newer development.

ROD CARTER, 2880 Mead Avenue, expressed gratitude for staff's assistance on the application. He confirmed that the applicant would like to have a three-year review. He is aware that as the subject site is developed, the billboard would need to be upgraded. He concurred with staff's recommendations and asked for approval with a three-year review.

MR. LEOBOLD confirmed for COMMISSIONER DAVENPORT that there is an upcoming billboard application, which will be on the April 14th Planning Commission's agenda. The request will be to relocate the billboard to a new building. CHAIRMAN NIGRO added that just because the upcoming application will be on the agenda, it does not preclude the Commission from removing the subject billboard at that time.

COMMISSIONER STEINMAN stated that the two most southerly billboard signs closest to Charleston Boulevard are in a developed area and should be removed. He felt that as development occurs, the billboards should be removed. He does not object to the two billboard signs to the north remaining for another year, as the staging process for development has not been determined. He adamantly opposed a three-year review and questioned when the process would begin in removing these billboard signs.

COMMISSIONER McSWAIN agreed with COMMISSIONER STEINMAN on not supporting a three-year review. However, she felt it was reasonable to allow the one-year review on all of the billboard signs, as the applicant would have the opportunity to design something comprehensively for all the billboards. The entire site is not yet completely developed and removing only some of the billboards now could possibly create a complication relative to continuity. In her opinion, she felt that the subject site was an appropriate area for billboards.

CHAIRMAN NIGRO felt that the Commission was moving forward and felt it was sensible to allow the one-year review so that the applicant has time to comprehensively look at these billboard signs in relation to the upcoming development. Ultimately, the billboard signs would either be upgraded or removed. MR. CARTER added that they would agree with any future decisions relative to the billboard signs being upgraded. Although COMMISSIONER STEINMAN agreed with MR. CARTER that the Chelsea billboard signs were upgraded beautifully, he stressed to MR. CARTER that the applicant should have been prepared at this meeting with a plan to upgrade the subject signs, particularly for the two most southerly ones.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 11 – RQR-5683

MINUTES – Continued:

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed.

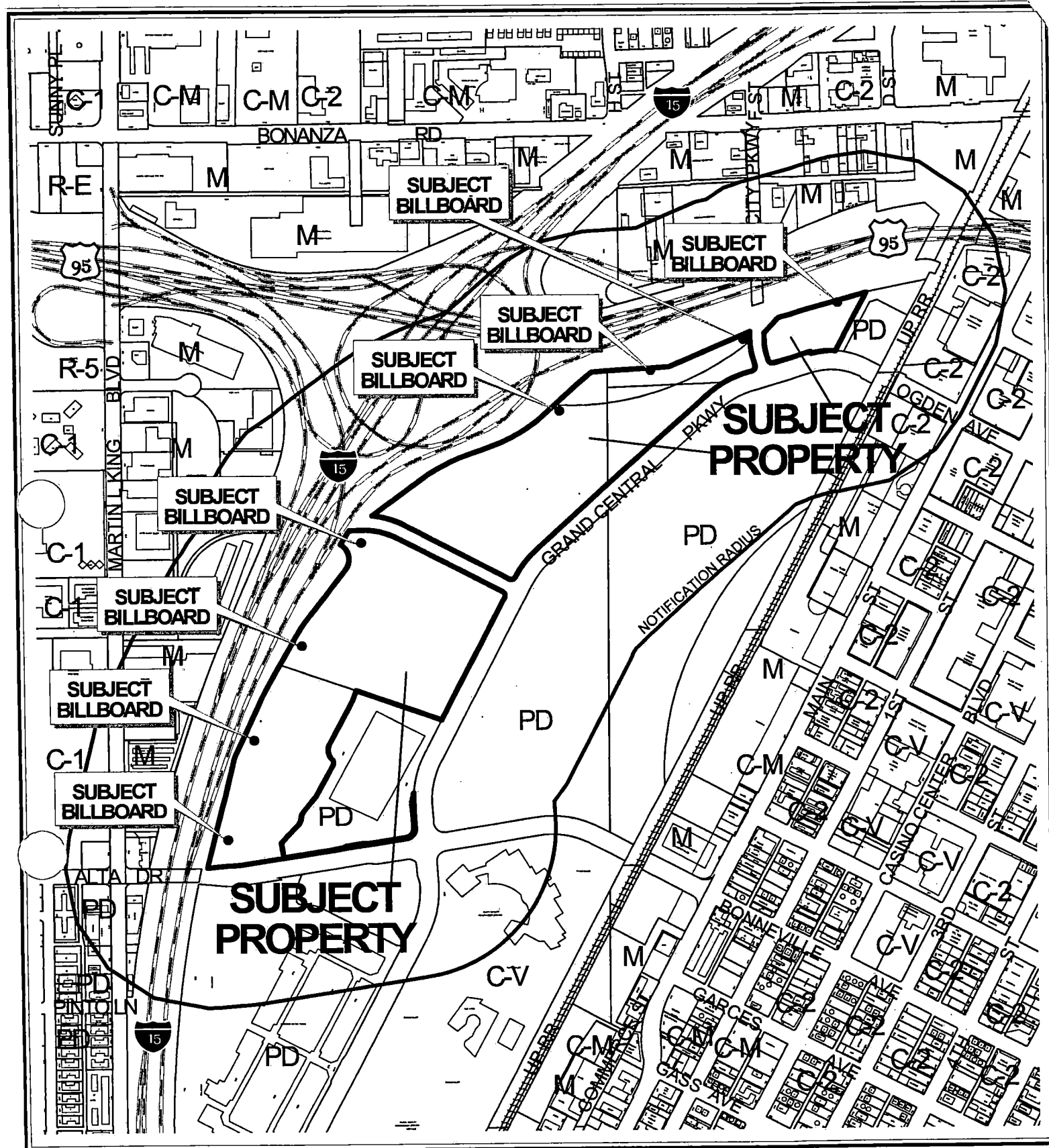
(6:20 – 6:31)

1-652

CONDITIONS:

Planning and Development

1. This Use shall be reviewed in one year at which time the City Council may require the Off-Premise Advertising (Billboard) Signs to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Signs are removed.
2. If the existing Off-Premise Advertising (Billboard) Signs structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Signs structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of the Downtown Centennial Plan and Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
3. The Off-Premise Advertising (Billboard) Signs and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Signs.
4. All City Code requirements and design standards of all City Departments shall be satisfied.



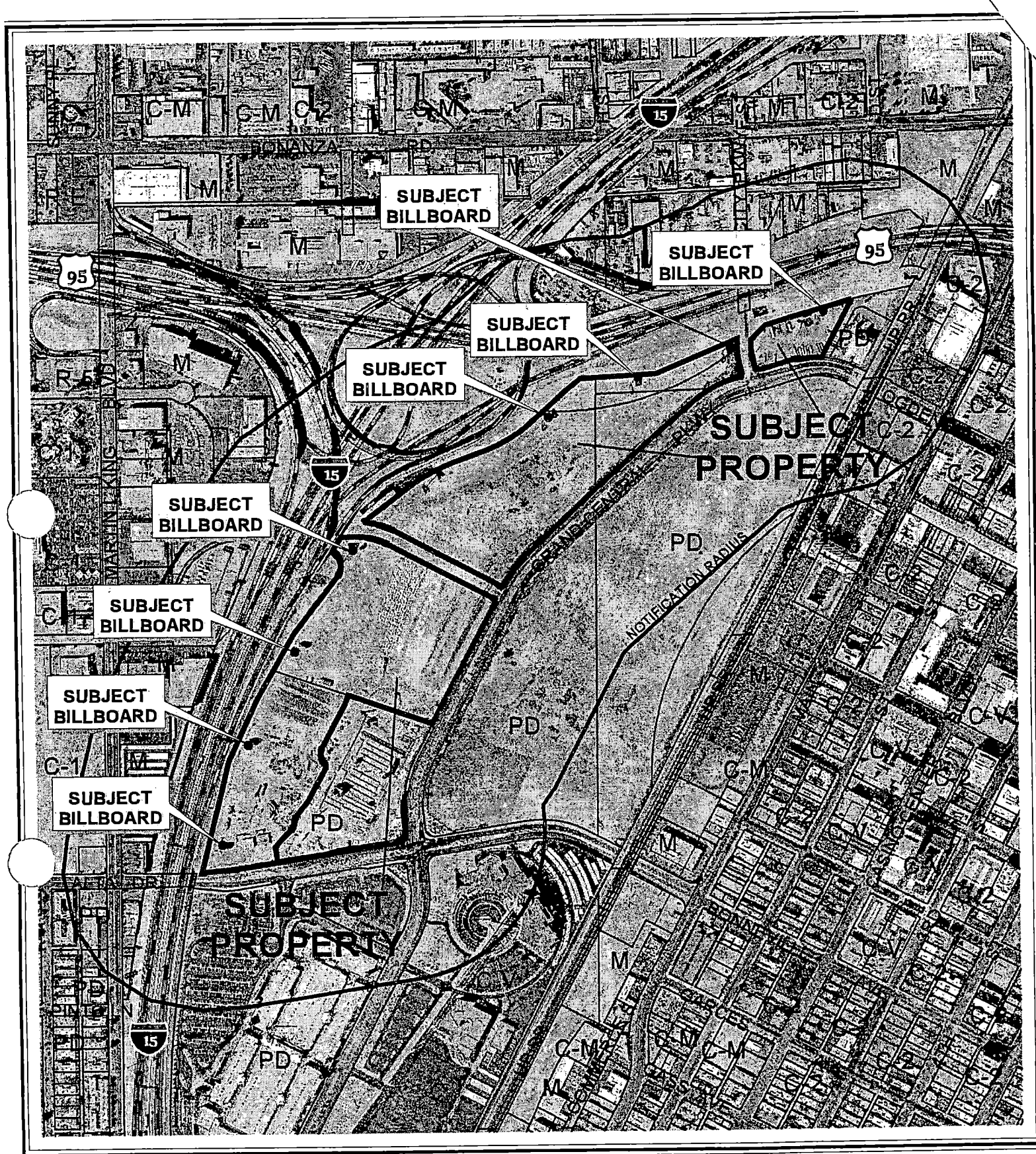
CASE: RQR-5683

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)

0 500 1000 Feet





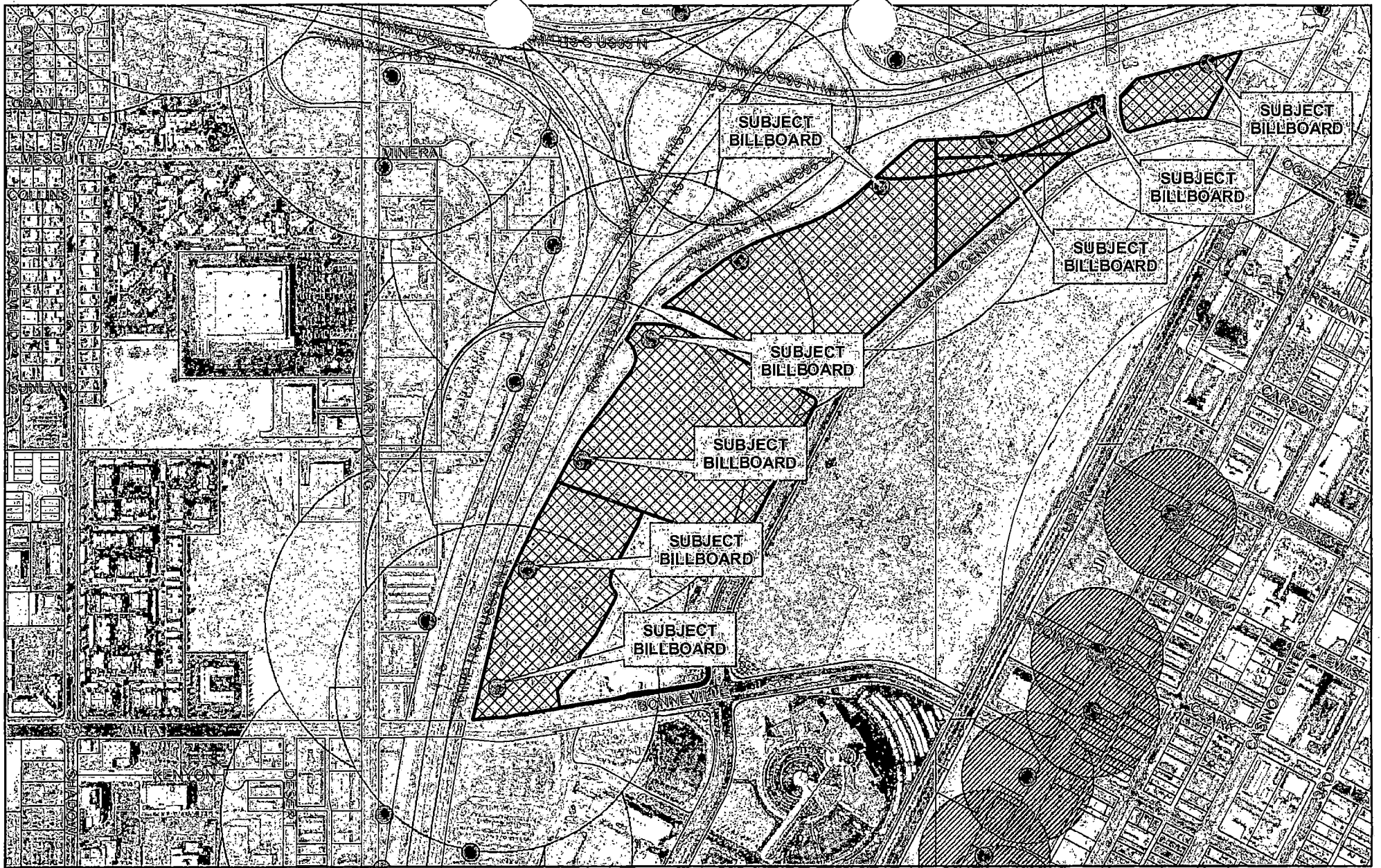
CASE: **RQR-5683**

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)

0 500 1000 Feet





RQR-5683

City of Las Vegas Billboard Data

- | | | |
|--|--|---|
|  Subject Parcel |  300 Foot Buffer Around Billboard |  Outside City Boundary |
|  City of Las Vegas Billboard Location |  750 Foot Buffer Around Freeway Billboard |  Off Premise Sign Exclusion Area |
|  Clark County Billboard Location | |  Exempt - Off Premise Area Sign Area |



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - RQR-5683 - APPLICANT: CLEAR CHANNEL

OUTDOOR - OWNER: W M C III ASSOCIATES, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: **APPROVAL**, subject to:

Planning and Development

1. This Use shall be reviewed in one year at which time the City Council may require the Off-Premise Advertising (Billboard) Signs to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the Off-Premise Advertising (Billboard) Signs are removed.
2. If the existing Off-Premise Advertising (Billboard) Signs structure is removed, this Special Use Permit shall be expunged and a new Off-Premise Advertising (Billboard) Signs structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of the Downtown Centennial Plan and Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
3. The Off-Premise Advertising (Billboard) Signs and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the Off-Premise Advertising (Billboard) Signs.
4. All City Code requirements and design standards of all City Departments shall be satisfied.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This request is for a Required One-Year Review for eight existing Off-Premise Advertising (Billboard) Signs on property bounded by U.S.-95, I-15 and Grand Central Parkway. It should be noted this review does not include the one Off-Premise Advertising (Billboard) Sign owned by Viacom along this highway frontage.

B) Applicant's Justification

A justification letter is not required as part of this application.

BACKGROUND INFORMATION

A) Related Actions

- 11/23/98 The City Council approved a Rezoning (Z-0100-97) to PD (Planned Development) on the subject property. Included in that approval was the ability to maintain the existing Off-Premise Advertising (Billboard) Signs, subject to a two-year review.
- 02/07/01 The City Council approved a Required Review (Z-0100-97[2]) on an approved Rezoning which included the 13 existing Off-Premise Advertising (Billboard) Signs on property bounded by U.S.-95, I-15, and Grand Central Parkway, subject to a one year review. The Planning Commission recommended approval.
- 05/16/01 The City Council approved a Site Development Plan Review (Z-0100-97[3]) for a proposed 1,000,000 square-foot commercial development (Furniture Mart) on approximately 36.11 acres at the northwest corner of the intersection of Bonneville Avenue and Grand Central Parkway. The Planning Commission recommended approval. The Site Review is to expire on 05/16/03 unless permits are issued or an extension of time is granted.
- 11/07/01 The City Council approved a Site Development Plan Review (Z-0100-97[6]) for a proposed 478,028 square foot outlet mall (Chelsea) on 39.20 acres on the southwest corner of Bonneville Avenue and Grand Central Parkway and a Major Modification (Z-0100-97[5]) to amend or delete certain provisions of the Master Development Plan for Lot 1 of Parkway Center. The Planning Commission recommended approval.
- 04/03/02 The City Council approved a Required Review (Z-0100-97[7]) on an approved Rezoning which included the 12 existing Off-Premise Advertising (Billboard) Signs on property bounded by U.S.-95, I-15, and Grand Central Parkway, subject to a one year review. The Planning Commission recommended approval.

MP

RQR-5683 - Staff Report Page Two
March 24, 2005 - Planning Commission Meeting

- 09/26/02 The Planning Commission approved a Master Sign Plan (MSP-0007-02) for the Chelsea outlet mall site. The billboards on that site were included as part of the application review. The billboards were approved to be relocated on the site and must be rebuilt per the approved billboard elevations.
- 04/24/03 The Planning Commission approved a Site Development Plan Review (SDR-2037) and waivers to the Parkway Center Design Standards for a proposed 73,218 square-foot office building on the northern most portion of the overall site. Staff recommendation was for approval.
- 05/21/03 The City Council approved a Required One-Year Review (RQR-1974) for 12 existing Off-Premise Advertising (Billboard) Signs the overall Parkway Center site subject to a one-year review. The Planning Commission and staff recommended approval on April 24, 2003.
- 10/06/04 The City Council approved a Site Development Plan Review (SDR-4841) for a 345,670 square-foot temporary exhibit space on the World Market portion of the site. The Planning Commission and staff recommended approval on August 26, 2004.
- 01/27/05 The Planning Commission voted to hold this item in abeyance to the 02/24/05 Planning Commission meeting to give the applicant an opportunity to assess what level of improvements to these Off-Premise Advertising (Billboard) Signs.
- 02/24/05 The Planning Commission voted to hold this item in abeyance to the 03/24/05 at the applicant's request.

B) Pre-Application Meeting

A pre-application meeting is not required as part of this application.

C) Neighborhood Meetings

A neighborhood meeting is not required for this type of application.

DETAILS OF APPLICATION REQUEST

A) Site Area

Various Parcels

B) Existing Land Use

Subject Property: Undeveloped
 IRS Building
 World Market (Under Construction)
 North: U.S. Highway 95
 South: Chelsea Outlet Mall
 East: Undeveloped
 West: Interstate 15

C) Planned Land Use

Subject Property: MXU (Mixed Use)
 North: ROW (Right-of-Way)
 South: MXU (Mixed Use)
 East: MXU (Mixed Use)
 West: ROW (Right-of-Way)

D) Existing Zoning

Subject Property: PD (Planned Development)
 North: U.S. Highway 95
 South: PD (Planned Development)
 East: PD (Planned Development)
 West: Interstate 15

E) General Plan Compliance

The site is designated as MXU (Mixed Use) on the Redevelopment Plan Map of the Southeast Sector of the General Plan. This land use allows a mix of uses including residential, offices, and commercial.

SPECIAL DISTRICTS/ZONES	Yes	No
Special Area Plan	X	
Downtown Centennial Plan	X	
Redevelopment Plan Area	X	
Special Overlay District	X	
Parkway Center	X	
Gaming District	X	
Trails		X
Rural Preservation Neighborhood		X
County/North Las Vegas/HOA Notification		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

This site is within the Downtown Centennial Plan Area, Redevelopment Plan Area, Gaming District, and within the Parkway Center Development Area. The Parkway Center Development Standards clearly indicates that interim billboards are permitted but new billboards are prohibited. Typically, billboards are not conducive to redevelopment efforts and therefore these billboards need to be reviewed on an on-going basis to ensure compatibility.

ANALYSIS

A) Zoning Code Compliance

The subject property is zoned PD (Planned Development). The Conditions of Approval of the Rezoning (Z-0100-97) state that no new Off-Premise Advertising (Billboard) Signs are allowed; however, the pre-existing Off-Premise Advertising (Billboard) Signs are allowed to remain subject to review.

A1) Minimum Distance Separation Requirements

Pursuant to Title 19.04, the following Standards apply to the subject proposal:

Standards	Code Requirement	Provided
Off-Premise Advertisement (Billboard)	At least 750 feet from another Off Premise Sign along freeway frontage	NO Less than 750 feet between signs
Off-Premise Advertisement (Billboard)	At least 300 feet to the nearest property line of a lot in any "R" zoned district.	YES No "R" zoned properties within 750 foot notification radius.

Due to the age of the subject Off-Premise Advertising (Billboard) Signs, the minimum 750 foot distance separation requirement for signs along major freeways is not met. This makes the signs legal non-conforming uses on these properties. The signs do meet the minimum 300 foot distance separation requirement for "R" zoned properties.

B) General Analysis and Discussion

- Zoning

The subject site is zoned PD (Planned Development) and is part of the Parkway Center Development. The Standards indicate existing interim billboards are permitted but no new billboards are permitted.

- Use

The Parkway Center Development Standards were adopted on January 2, 2002 and indicate existing interim billboards are permitted but no new billboards are permitted. Section 7.7 indicates 'Existing interim billboards located upon any parcel within Parkway Center shall be addressed with each submission of a Site Development Plan Review. Title 19.14.060 allows the removal of an Off-Premise Advertising (Billboard) Sign if conditions in the surrounding area have changed. While

development of portions of the property has commenced, the subject signs can remain, as they are oriented towards the Interstate 15 and U.S. 95 freeways. With the ongoing development of the World Market site, a Staging Plan and a Master Sign Plan are forthcoming. The review and approval of these plans may require removal of the subject billboards on this site within the next year. The recommendation for this request is approval, subject to a one-year review.

It should be noted that the signs on the World Market and IRS Office Building sites were not reviewed with the any of the site development plan reviews as required by the Parkway Center Development Standards.

On January 12, 2005 a site inspection was conducted and photos were taken. The inspection revealed the subject signs to be in good condition overall and free of graffiti. A condition has been included that requires the signs to be maintained and kept free of graffiti at all times.

FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The Parkway Center Development Standards indicates that existing interim billboards are permitted but no new billboards are permitted. Billboards shall be reviewed during any site plan review within the Parkway Center Area. The area immediately surrounding the subject site has changed in the last year with construction of the World Market Furniture store and IRS office building. Billboards are not conducive to new development within the Parkway Center Area and the Redevelopment Area and may not be an appropriate use in perpetuity. A condition has been added to require a review in one year to determine if the billboards are still an appropriate use.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

There are no physical constraints to the continuation of the off-premise advertising (billboard) sign use on this site.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The proposed continuation of the Off-Premise Advertising (Billboard) Signs use will not affect U.S. 95 or I-15, both fully developed highways.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The Off-Premise Advertising (Billboard) Signs will be subject to regular inspections and will not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

29

NOTICES MAILED 46

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: Viacom Outdoor & Clear Channel Outdoor

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: _____

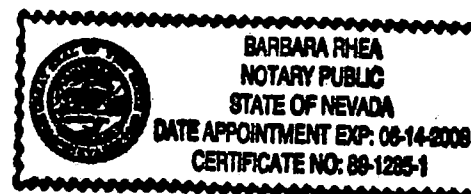
Print Name:

JACK KASHANI

Subscribed and sworn before me

This 24 day of November, 2004

Notary Public in and for said County and State



Expires: 06/14/08

LINE	LENGTH	BEARING
L1	169.64	S84°33'32"W
L2	30.81	S84°33'32"W
L3	88.83	S84°33'32"W
L4	74.90	S84°33'32"W
L5	74.72	S84°33'32"W
L6	43.54	S84°33'32"W
L7	117.28	S84°33'32"W
L8	85.37	N32°20'09"E
L9	174.05	N32°20'09"E
L10	102.82	N32°20'09"E
L11	283.55	N32°20'09"E

CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	20.38	450.00	33.26'	06°27'40"
C2	189.82	380.00	86.22'	37°01'40"
C3	11.78	350.00	5.80'	01°34'28"
C4	181.80	380.00	84.78'	36°53'09"
C5	152.84	98.16	103.91'	83°00'02"
C6	84.46	93.18	33.52'	37°46'24"
C7	93.39	93.18	50.84'	56°13'38"
C11	1272.29	6875.00	638.08'	10°55'19"

MAP DATED 5/7/99 TO BE ATTACHED TO SETTLEMENT AGREEMENT AS EXHIBIT # 2
USED TO PREPARE EXHIBITS FOR SIGNBOARD SITE LICENSES # 1,2,3&4

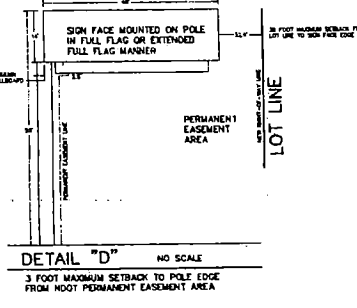
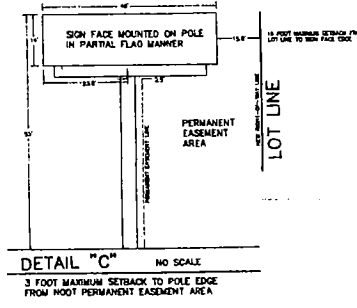
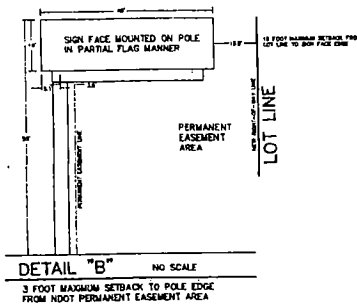
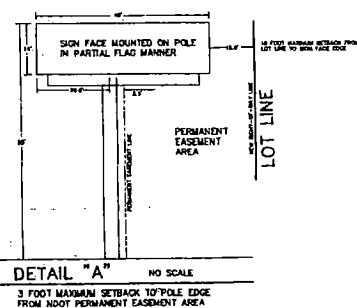
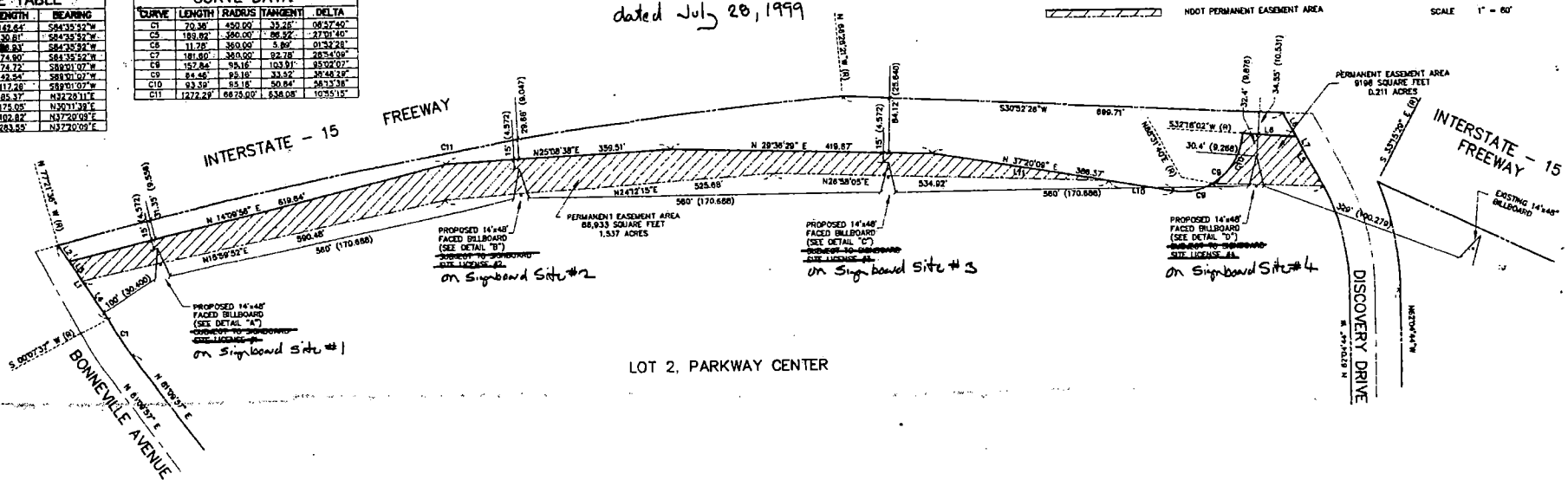
LICENSE EXHIBIT A
dated July 28, 1999

LEGEND

- STREET CENTERLINE
- ORIGINAL PROPERTY LINE
- NEW PROPERTY LINE (LOT LINE)
- MOOT PERMANENT EASEMENT LINE
- MOOT PERMANENT EASEMENT AREA



SCALE 1" = 60'



NOTE
ACTUAL SETBACK DISTANCES PERMITTED TO BE LESS THAN MAXIMUM SETBACK DISTANCES
ACTUAL SETBACK DISTANCES SHALL NOT EXCEED MAXIMUM SETBACK DISTANCES

RQR-5683

BAUGHMAN & TURNER, INC.
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LAS VEGAS, NEVADA
702-870-8777

BILLBOARD LOCATION MAP
PORTIONS OF SECTIONS 27, 28, 29 & 30
TOWNSHIP 20 SOUTH, RANGE 61 EAST, ALBUQUERQUE & N.
CITY OF LAS VEGAS

DONREY MEDIA CORPORATION

DATE: 7/28/99
BY: JLB
CHECKED: JLB
SCALE: 1" = 60'

LEGEND

	STREET CENTERLINE
	ORIGINAL PROPERTY LINE
	NEW PROPERTY LINE (LOT LINE)
	HOOT PERMANENT EASEMENT LINE
	HOOT PERMANENT EASEMENT AREA
	ACCESS ROADWAY

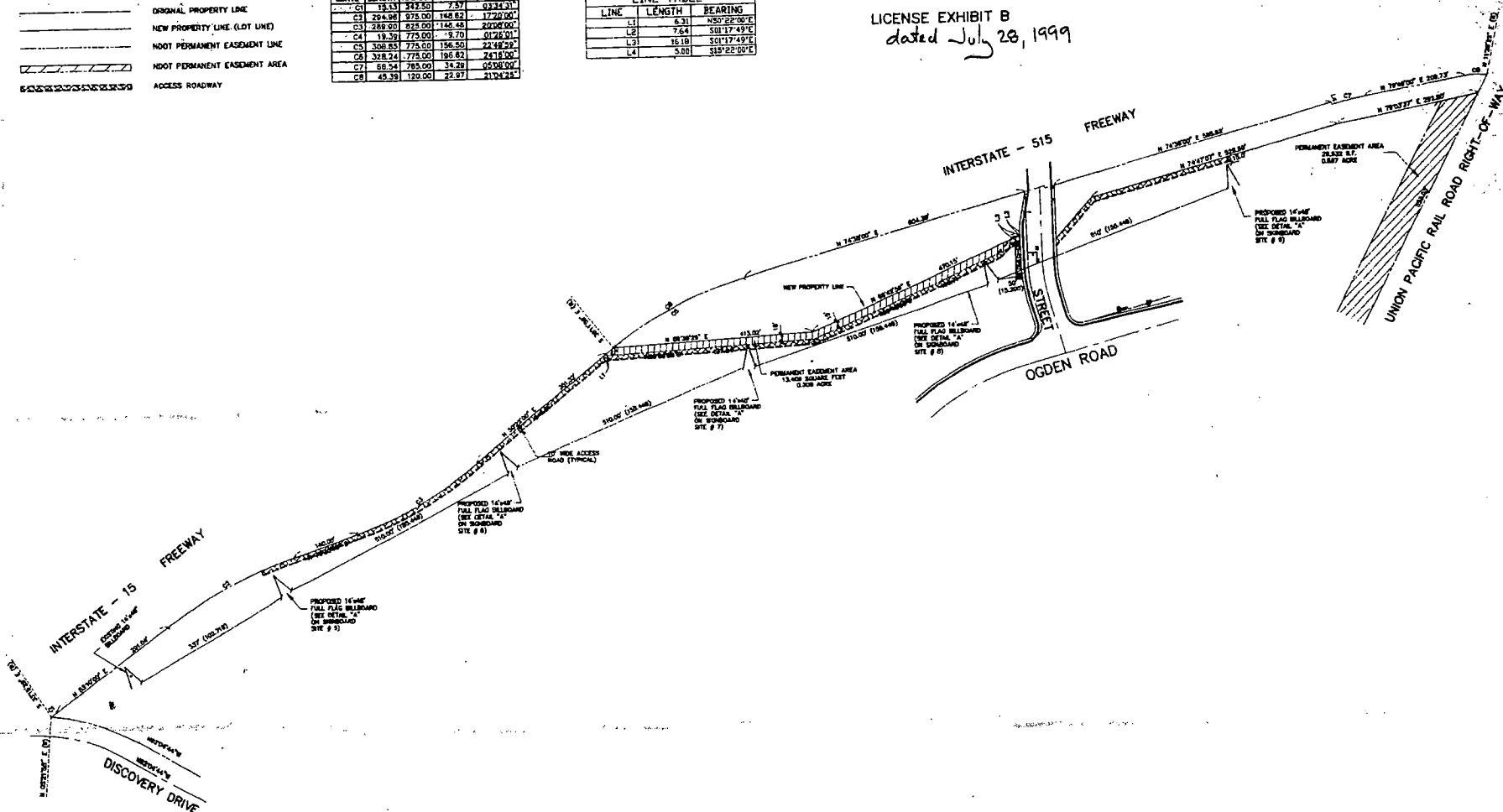
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	12.13	147.50	7.31	0324.31°
C2	284.89	875.00	146.82	1720.00°
C3	289.20	875.00	146.82	2002.00°
C4	19.39	775.00	3.70	0128.31°
C5	338.83	775.00	196.50	2248.24°
C6	328.24	775.00	196.82	2418.00°
C7	68.34	785.00	34.28	0508.00°
C8	45.39	120.00	22.87	2174.24°

LINE	LENGTH	BEARING
L1	5.31	N50°22'00"E
L2	7.64	S01°17'49"E
L3	16.18	S01°17'49"E
L4	5.00	S18°22'00"E

LICENSE EXHIBIT B
dated July 28, 1999



SCALE 1" = 100'



DONREY MEDIA CORPORATION

BAUGHMAN & TURNER, INC.
CIVIL ENGINEERS LAND SURVEYORS
1700 S. MOUNTAIN STREET
LAS VEGAS, NV 89102



BILLBOARD ACCESS MAP
PROPERTY OF DONREY MEDIA CORPORATION
THROUGH 20 SOUTH MOUNTAIN STREET
CITY OF LAS VEGAS

RQR-5683



RQR-5683 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC
BOUNDED BY U.S.-95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

1/12/05



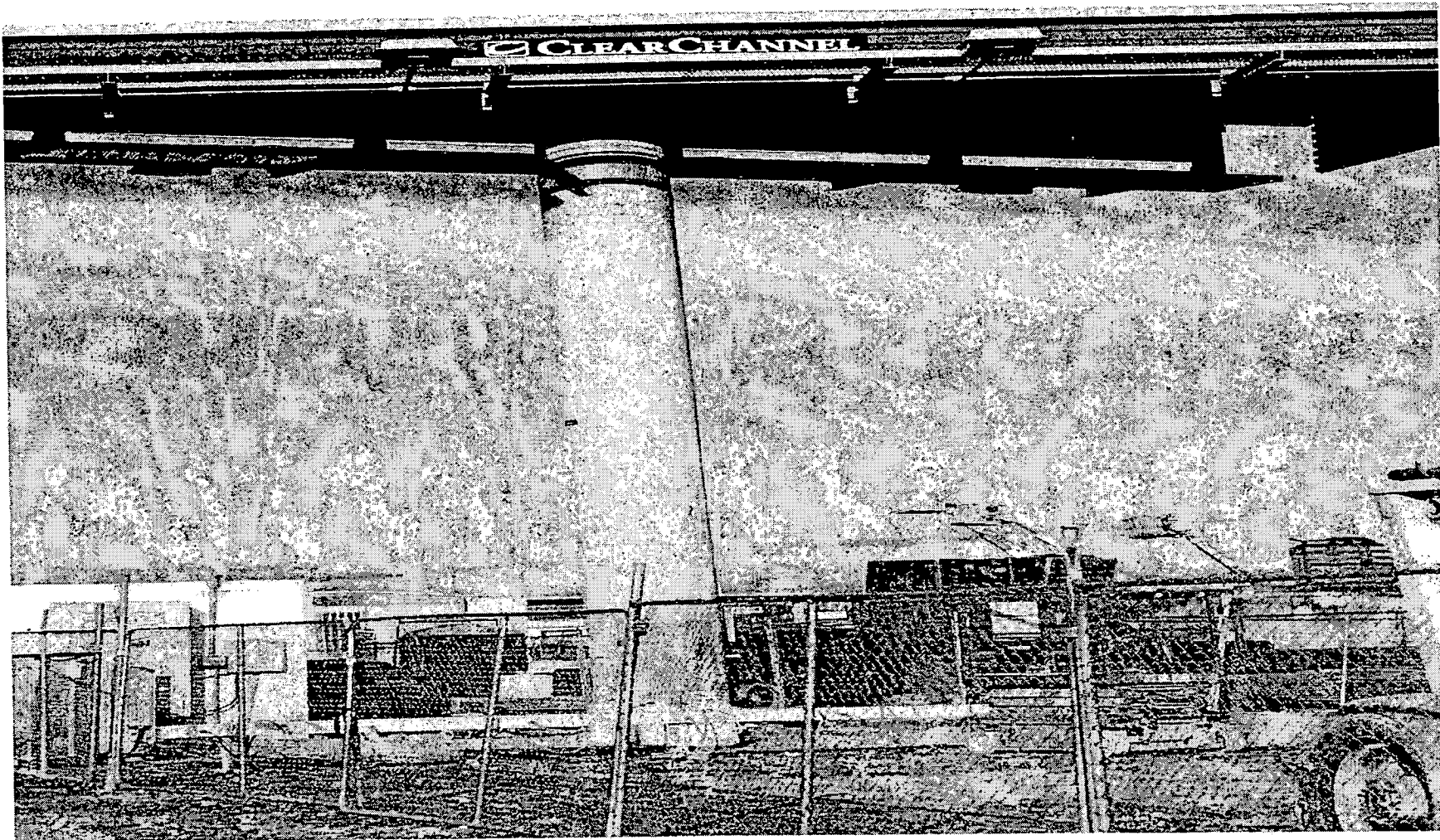
RQR-5683 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC
BOUNDED BY U.S.-95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

1/12/05



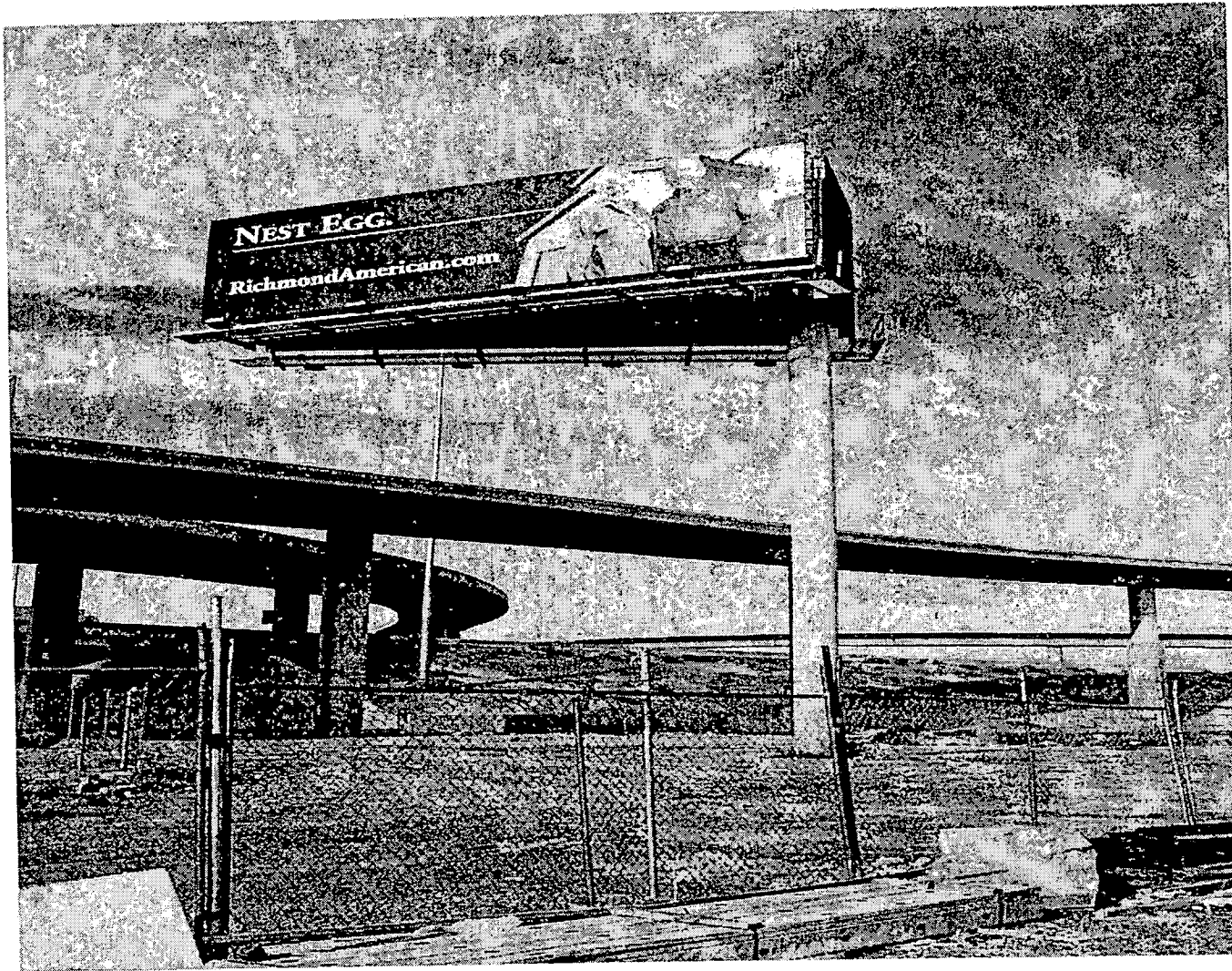
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MARCH 24, 2005 PLANNING COMMISSION

1/12/05



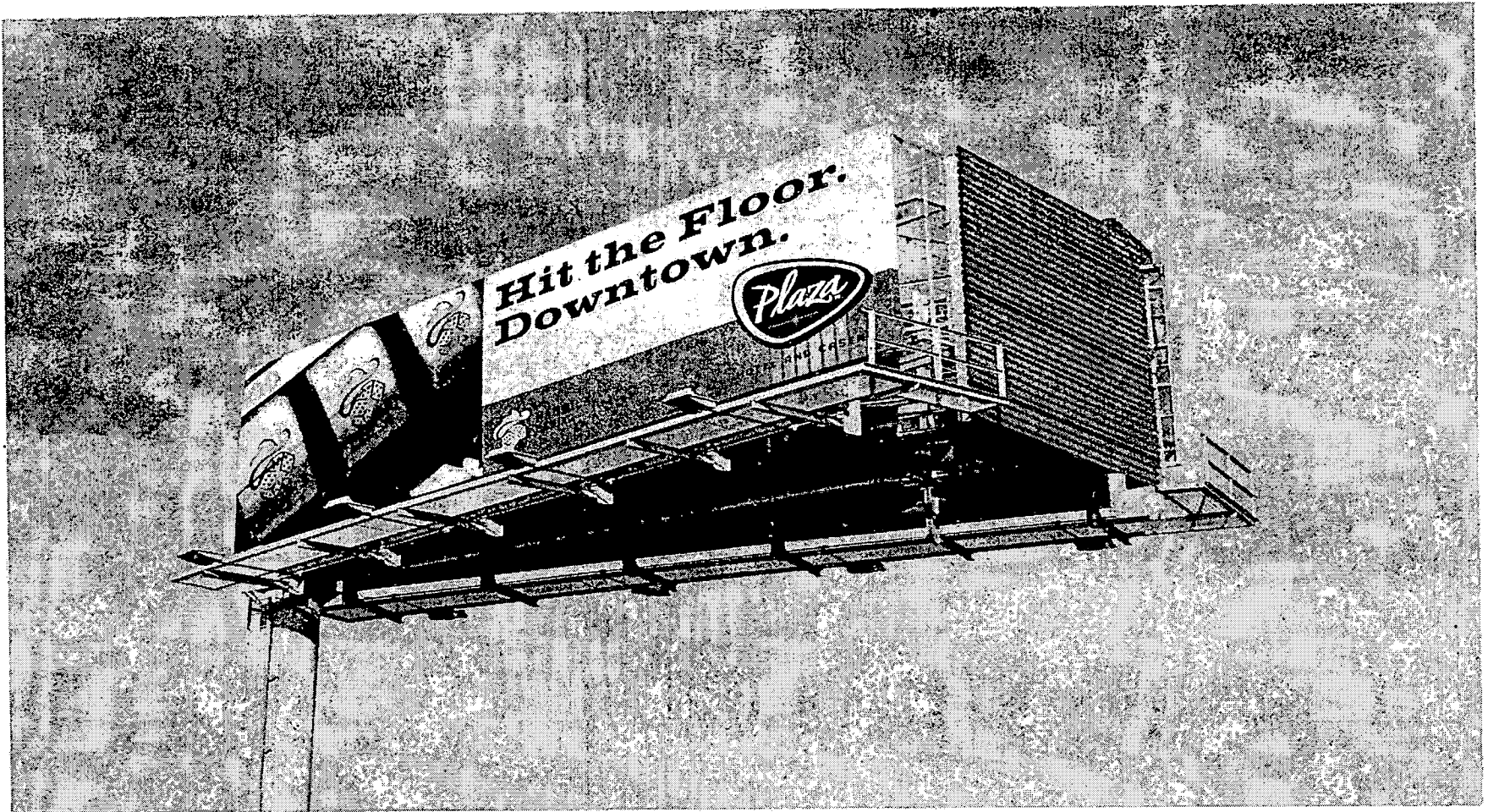
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MARCH 24, 2005 PLANNING COMMISSION

1/12/05



RQR-5683 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC
BOUNDED BY U.S.-95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

1/12/05



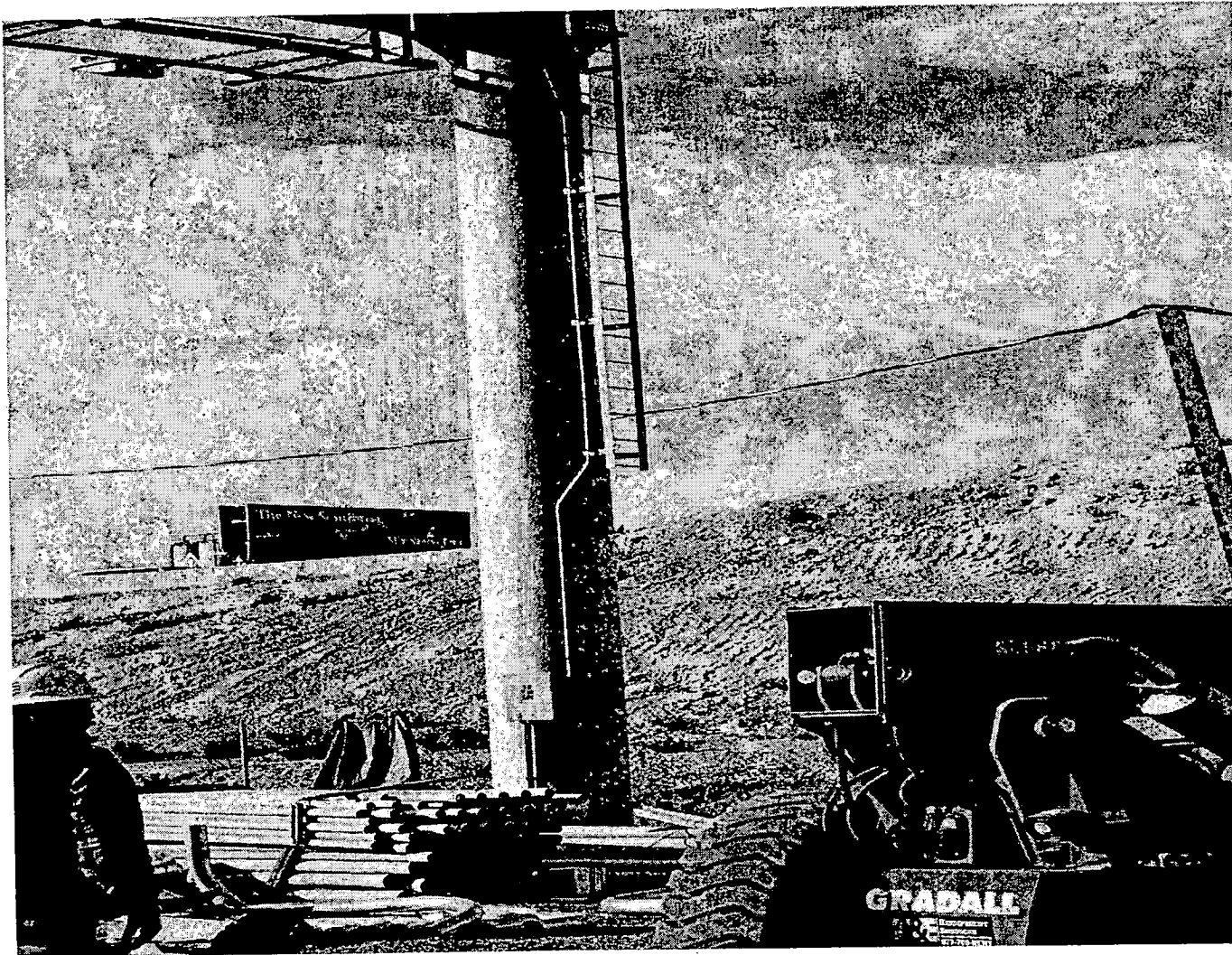
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MARCH 24, 2005 PLANNING COMMISSION

1/12/05



RQR-5683 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC
BOUNDED BY U.S.-95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

1/12/05



RQR-5683 - APPLICANT: CLEAR CHANNEL OUTDOOR - OWNER: W M C III ASSOCIATES, LLC
BOUNDED BY U.S.-95, I-15 AND GRAND CENTRAL PARKWAY
MARCH 24, 2005 PLANNING COMMISSION

1/12/05



MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
GARY REESE
(MAYOR PRO-TEM)
LARRY BROWN
PATTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK
JANET MONCRIEF

CITY MANAGER
DOUGLAS A. SELBY

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.ci.las-vegas.nv.us

68112-012-6/03

July 18, 2003

Union Pacific Railroad Company
1700 Farnum Street, 10th Floor South
Omaha, Nebraska 68102-2002

RE: RQR-1974 - REQUIRED ONE YEAR REVIEW
CITY COUNCIL MEETING OF MAY 21, 2003

Dear Applicant:

The City Council at a regular meeting held May 21, 2003 APPROVED the Required One Year Review FOR 12 EXISTING OFF-PREMISE ADVERTISING (BILLBOARD) SIGNS on property bounded by U.S.-95, I-15 and Grand Central Parkway (APN: 139-33-610-004, 139-33-710-001, 139-33-511-003, 004, and 139-27-410-002 and 005), PD (Planned Development) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on May 22, 2003. This approval is subject to:

Planning and Development

1. This Use shall be reviewed in five years only as to the three new signs adjacent to Chelsea and one year as to all the other signs, at which time the City Council may require the off-premise advertising (billboard) signs to be removed. The applicant shall be responsible for notification costs of the review. Failure to pay the City for these costs may result in a requirement that the off-premise advertising (billboard) sign is removed.
2. If a Site Development Plan Review for new development includes property in which an off-premise advertising (billboard) sign is located, the billboard(s) shall be reviewed for compatibility with the proposed development. Conditions of approval may be imposed that require the removal or redesign of some or all of the off-premise advertising (billboard) signs.
3. The off-premise advertising (billboard) sign and its supporting structure shall be properly maintained and kept free of graffiti at all times. Failure to perform the required maintenance may result in fines and/or removal of the off-premise advertising (billboard) sign.
4. The property owner shall keep the property properly maintained and graffiti-free at all times. Failure to perform required maintenance may result in fines and/or removal of the off-premise advertising sign.

Union Pacific Railroad Company
RQR-1974 - Page Two
July 18, 2003

5. All of the supporting structure, where there is graffiti, shall be repainted as required by the Planning and Development Department, within 30 days of final approval by City Council. Failure to perform the required painting may result in fines and/or removal of the off-premise advertising (billboard) sign.
6. Allow the two existing signs to continue with two advertising signs per face for a period of one-year and then modify to only one advertising sign per sign face.
7. If an existing off-premise advertising sign structure is removed, the Use Permit shall be expunged and a new off-premise advertising sign structure shall not be erected in the same location unless: (1) a new Special Use Permit is approved for the new structure by the City Council, or (2) the location is in compliance with all applicable standards of Title 19 of the Las Vegas Municipal Code including, but not limited to, distance separation requirements, or (3) a Variance to the applicable standards of Title 19 has been approved for the new structure by the City Council.
8. All City Code requirements and design standards of all City Departments shall be satisfied.

Sincerely,

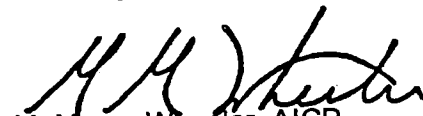


Angela Crolli
Deputy City Clerk II for
Barbara Jo Ronemus, City Clerk

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services

Ms. Denise Dunahay
Viacom Outdoor
5425 South Valley View Blvd, Suite #103
Las Vegas, Nevada 89118

Sincerely,



M. Margo Wheeler, AICP
Planning Manager, Current Division Manager
Planning and Development Department

Ms. Misty Baier
Clear Channel Outdoor
1211 West Bonanza Drive
Las Vegas, Nevada 89106

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER ☐ **CONSENT** ☒ **DISCUSSION**

SUBJECT:

ABEYANCE - VAR-5945 - VARIANCE - PUBLIC HEARING - APPLICANT: HIGHRISE PARTNERS LTD., LLC - OWNER: SCANDIA FAMILY FUN CENTERS -
Request for a Variance TO ALLOW TANDEM PARKING SPACES IN EXCESS OF 30 PERCENT OF THE OVERALL REQUIRED PARKING FOR A 50 STORY MIXED-USE PROJECT adjacent to the northwest corner of Rancho Road and Sirius Avenue (APN 162-08-702-002), M (Industrial) Zone under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends this item be WITHDRAWN WITHOUT PREJUDICE.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

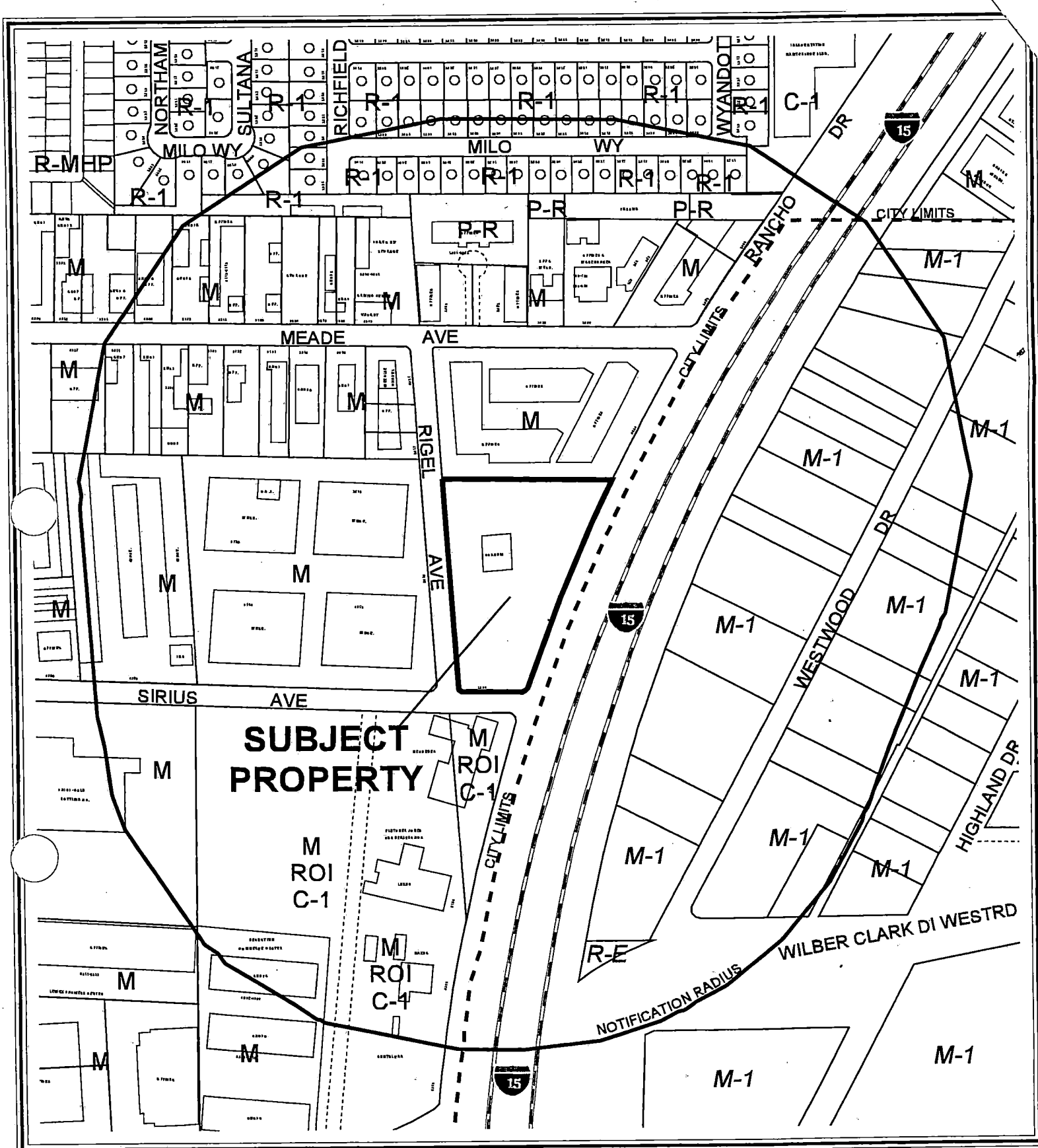
MOTION:

GOYNES – Motion to bring forward and HOLD IN ABEYANCE Item 9 [SUP-5894], Item 10 [SDR-5893], Item 24 [VAR-6228], Item 25 [SDR-6105], Item 35 [SDR-6111] and Item 37 [TXT-5773] to the 4/14/2005 Planning Commission Meeting; Item 8 [ZON-5669] and Item 34 [SDR-6109] to the 4/28/2005 Planning Commission Meeting and WITHDRAW WITHOUT PREJUDICE Item 12 [VAR-5945] – UNANIMOUS with TRUESDELL excused

MINUTES:

There was no discussion.

(6:02 – 6:09)



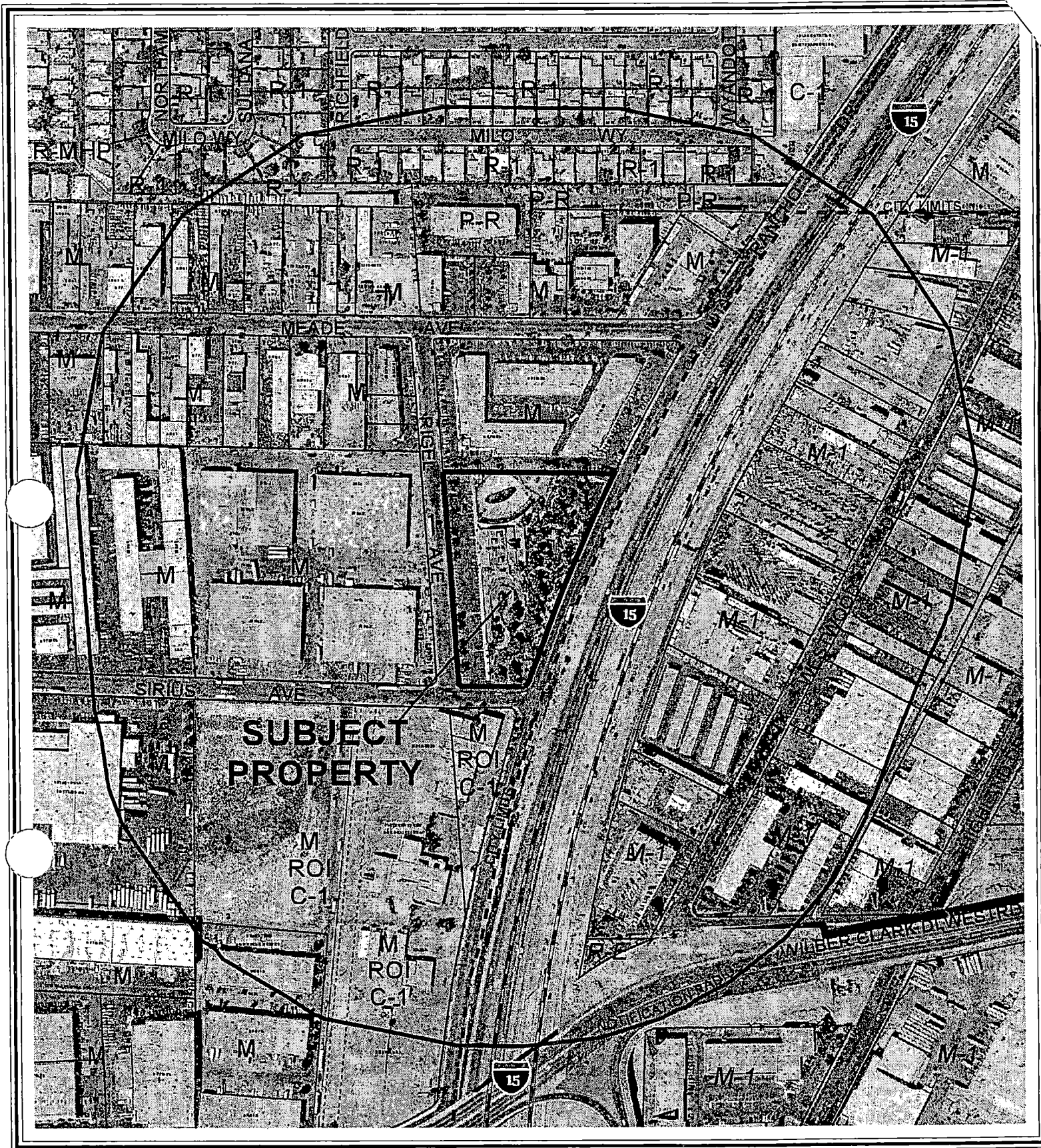
CASE: **VAR-5945**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

M (INDUSTRIAL) UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)





CASE: **VAR-5945**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

M (INDUSTRIAL) UNDER RESOLUTION OF INTENT TO C-1 (LIMITED COMMERCIAL)

0 400 800 Feet



City of Las Vegas

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - VAR-5945 - APPLICANT: HIGHRISE
PARTNERS LTD., LLC - OWNER: SCANDIA FAMILY FUN CENTERS

**ON MARCH 1, 2005 THE APPLICANT
REQUESTED THIS ITEM BE
WITHDRAWN WITHOUT PREJUDICE**

highrise partners, ltd.

Wednesday, March 1, 2005

VIA FACSIMILE (702.385.7268) and US MAIL

Mr. Gary Leobold, Planning Supervisor
Planning & Development Department – Current Planning Division
City of Las Vegas
731 South Fourth Street
Las Vegas, NV 89101

Dear Mr. Leobold,

RE: VAR-5945 VARIANCE

On behalf on the owners, Scandia Family Fun Center, we respectfully request that you withdraw from any further consideration VAR-5945 - VARIANCE, scheduled for the March 24, 2005 meeting of the City Planning Commission..

Thank you for your time and consideration on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael Jabara', with a long horizontal line extending to the right.

Michael Jabara,
Manager, Red Rock Partners, Ltd.,
Member, highrise partners, ltd.

3800 howard hughes parkway, 7th floor, las vegas, nevada 89109-0907
Tel 702.735.7600 fax 702.796.7181
email mjabara@highrisepartnersltd.com

STATEMENT OF FINANCIAL INTEREST

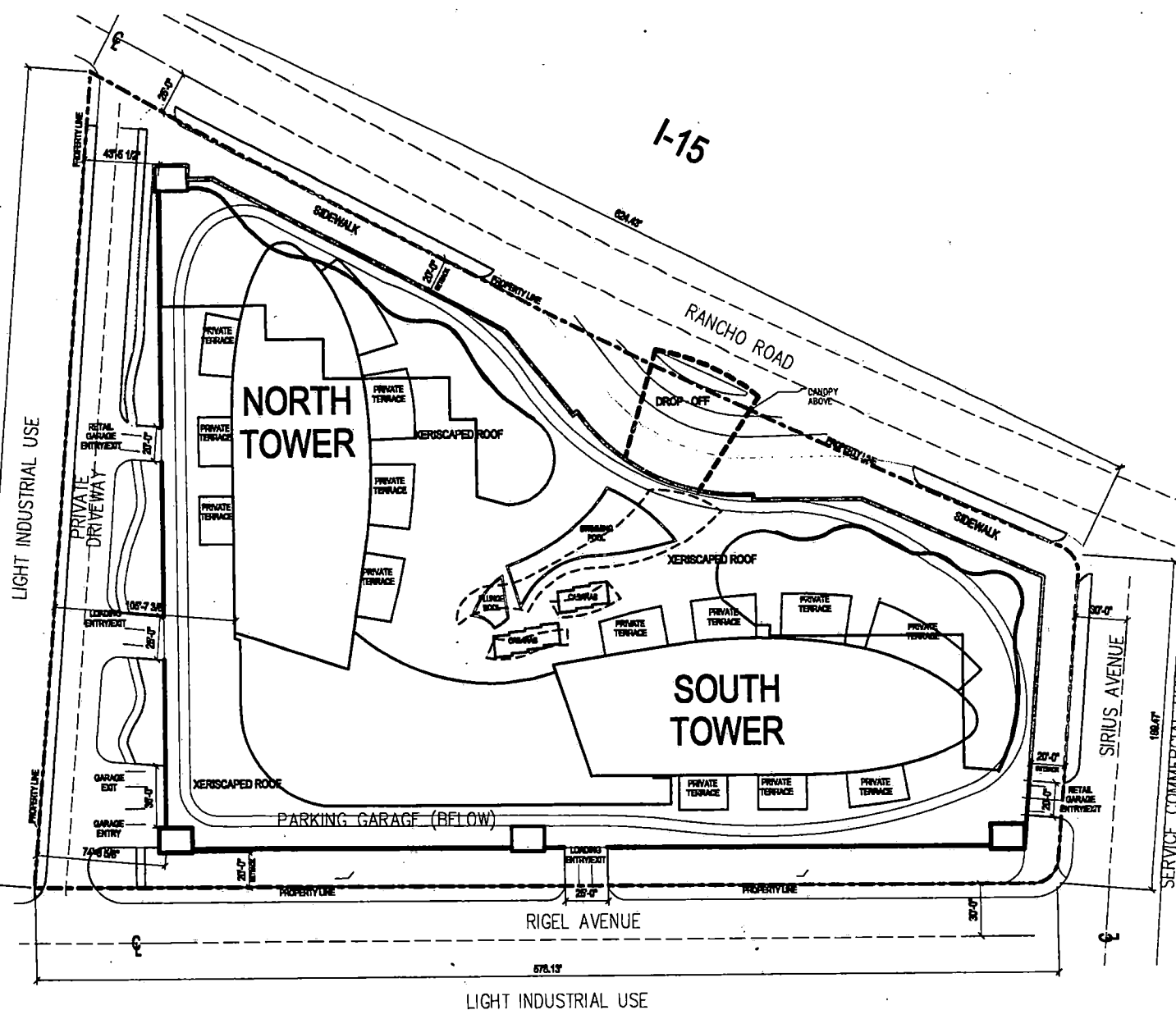
Name of Applicant: High Rise Partners LTD.

Yes X No

APN: 1 0

Print Name: M. CASEL JABAGA

Michael Jabara
Manager, Red Rock Partners, Ltd.
Member, highrise partners, ltd.



SITE INFORMATION

Zoning:
C-1 (Service Commercial-SC)

Area: 191,053 SF (4.38 Acres)
 Net Area: 231,861 SF (5.32 Acres)
 Gross Area (Middle of Street):

BUILDING DATA:

	Gross Area	Stories	Units
South Tower:	752,000 SF (from 5th to 50th)	50 (+Mech. PM)	364 (from 5th to 50th)

North Tower:	752,000 SF (from 5th to 50th)	50 (+Mech. PH)	364 (from 5th to 50th)
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Common Areas: 20,300 SF (at 5th Floor)
Total 1: 1,524,300 SF

2. Retail	25,000 SF	1
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3. General

Total: 2,169,000 SF

PARKING:

Required:

1. Resident Unit:

-1 BR	132 units x 1.25 spaces/unit = 165 spaces
-2 BR	478 units x 1.75 spaces/unit = 833 spaces
-3 BR	120 units x 2.00 spaces/unit = 240 spaces
Total	728 units 1,238 spaces
-visitors	1 space/ 6 units = 122 spaces

(Including 22 accessible + 21 van accessible spaces)

2. Retail: 1 space/250 SF = 100 spaces
(including 4 accessible)

TOTAL:	1,460 species
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Provided:	Standard	534
	Tandem	205 (14 %)
	Compact	276 (18 %)
	Accessories	28 (including 3 van spaces)
	Void	417 (28 %)

EA	100%	1,700
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SETBACKS

	Provided	Required
Front:	20'	20'
Side:	20'	10'
Rear:	45' to 74'	15'
Corner:	20'	20'

BUILDING HEIGHT:
Maximum Allowed: _____
Provided: _____

No Height Restrictions
50 Stories = 600 Feet

BUILDING COVERAGE:	
Maximum Coverage Allowed:	50%
Provided Coverage:	75% (No change)
F.A.R.	11.4
Density:	726 units / 4.32 Acres = 168 units / Acre

Project Scandia

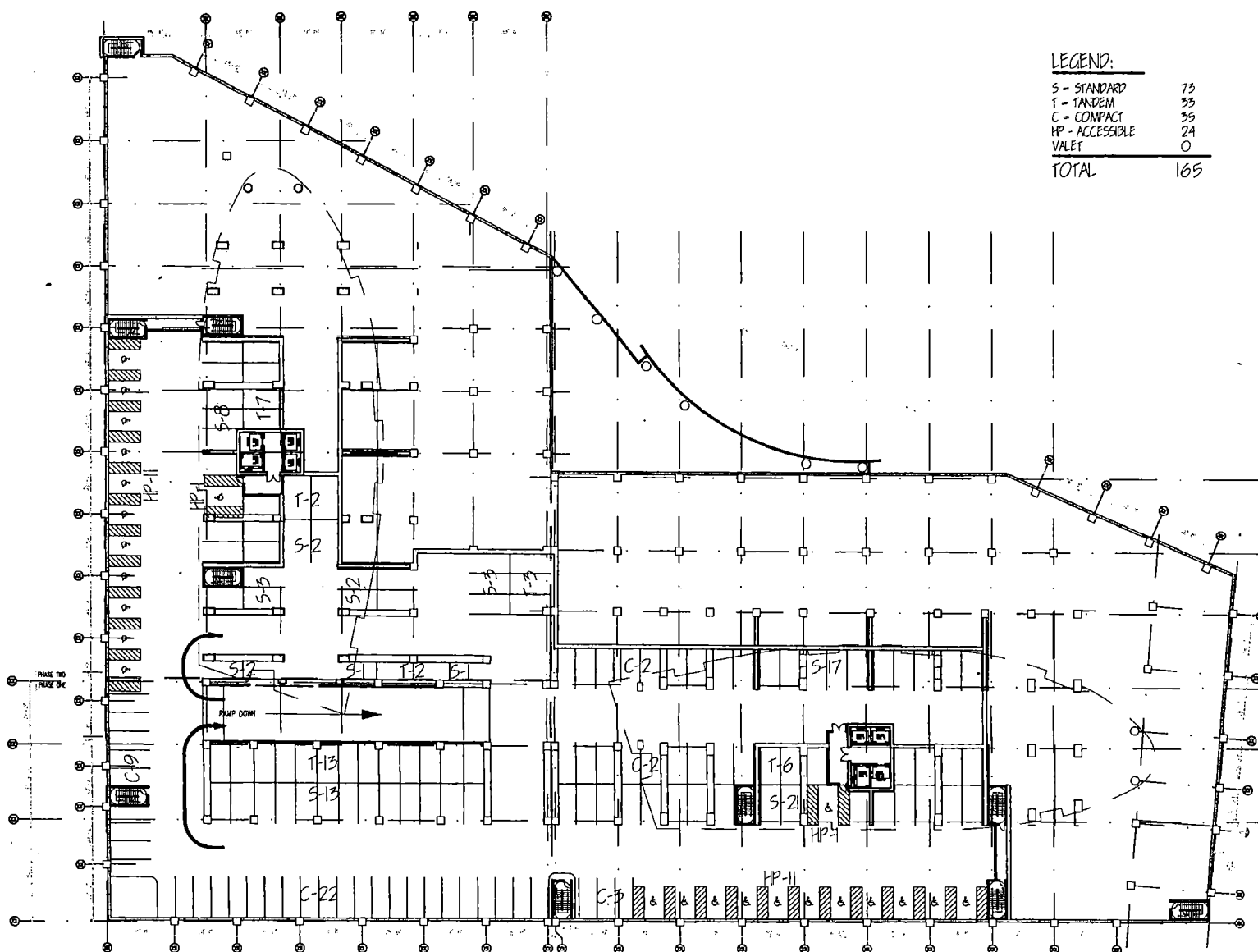
2900 Sirius Avenue Las Vegas, Nevada 89102

Proposed Site Plan

VAR-5945

Highrise Partners, Ltd. A Nevada Limited Liability Company
3800 Howard Hughes Parkway - 7th Floor
Las Vegas, NV 89169-0907 P: 702-735-7000

Sheet: 1	Date: January 11, 2005
	Project Number: 04281



LEGEND:

S - STANDARD	73
T - TANDEM	33
C - COMPACT	35
HP - ACCESSIBLE	24
VALET	0
TOTAL	165

VAR-5945

Project Scandia

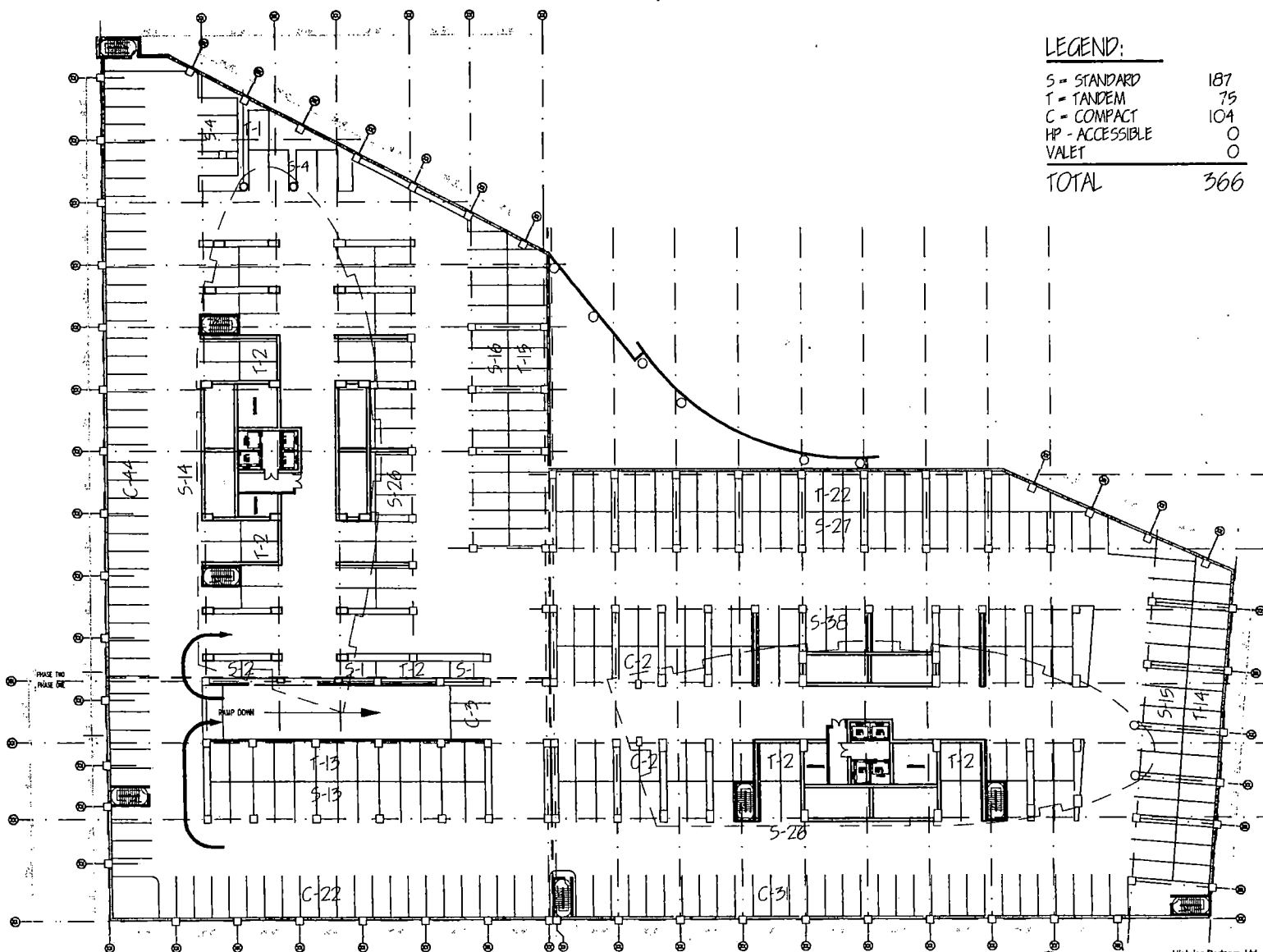
2900 Sirius Avenue Las Vegas, Nevada 89102

Proposed Garage Plan - Level Mezzanine

Sheet: 3

Date: January 11, 2005
Project Number: 04281

Highrise Partners, Ltd. A Nevada Limited Liability Company
3800 Howard Hughes Parkway - 7th Floor
Las Vegas, NV 89109-0907
P: 702.736.1500



LEGEND:

S - STANDARD	187
T - TANDEM	75
C - COMPACT	104
HP - ACCESSIBLE	0
VALET	0
TOTAL	366

VAR-5945

Project Scandia

2900 Sirius Avenue Las Vegas, Nevada 89102

Proposed Garage Plan - Level P3



0' 10' 20'

Highrise Partners, Ltd. A Nevada Limited Liability Company
3800 Howard Hughes Parkway - 7th Floor
Las Vegas, NV 89109-0907 P 702-738-7800

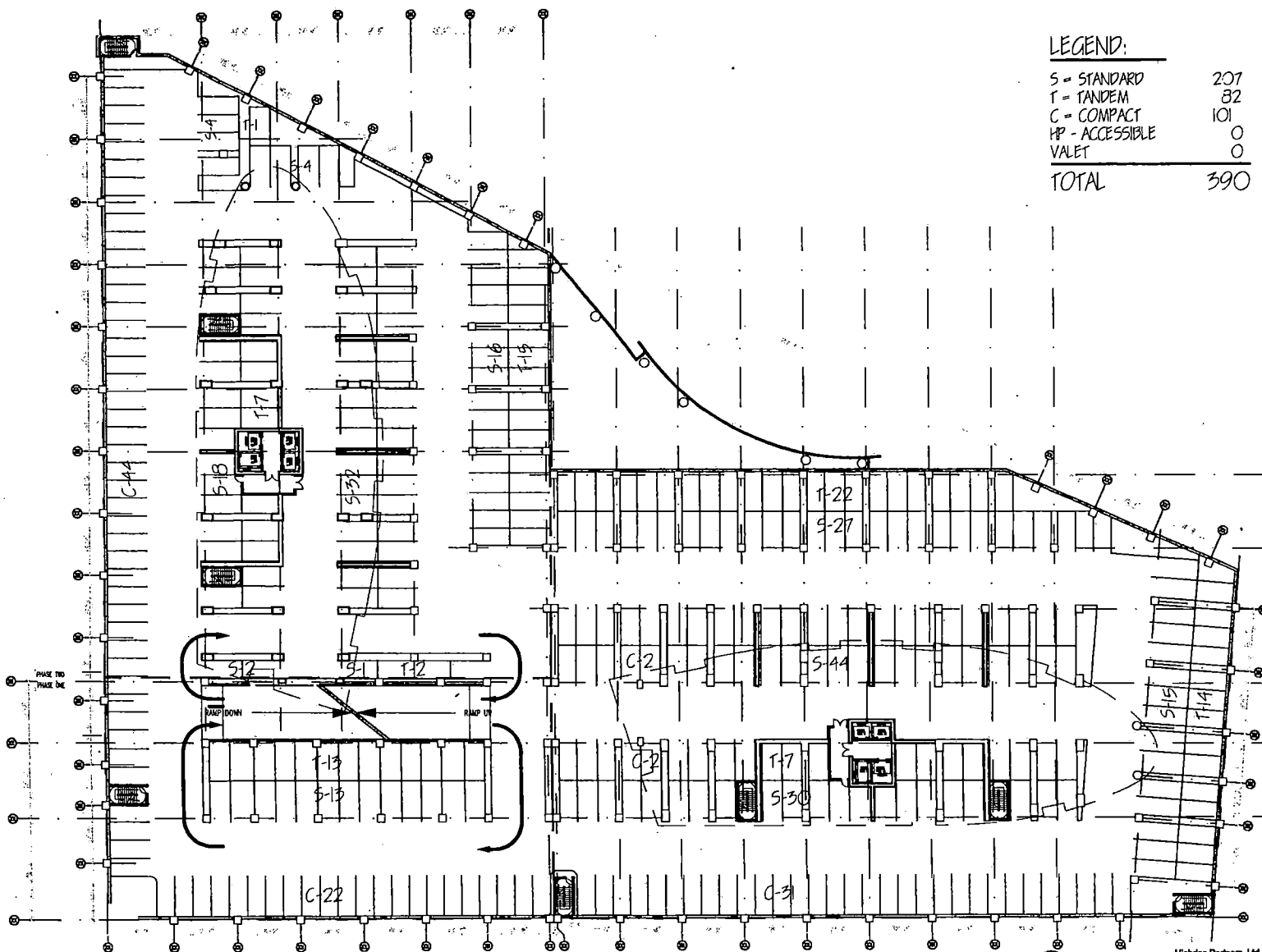
Sheet:

6

Date:

Project Number:

January 11, 2005
04281



LEGEND:

S - STANDARD	207
T - TANDEM	82
C - COMPACT	101
HP - ACCESSIBLE	0
VALET	0
TOTAL	390

VAR-5945

Project Scandia

2900 Sirius Avenue Las Vegas, Nevada 89102

Proposed Garage Plan - Level P2

Sheet: 5

Date: January 11, 2005
Project Number: 04281

Highrise Partners, Ltd. A Nevada Limited Liability Company
3600 Howard Hughes Parkway - 7th Floor
Las Vegas, NV 89109-0807



VAR-5945 - VARIANCE - PUBLIC HEARING - APPLICANT: HIGHRISE PARTNERS LTD., LLC -
OWNER: SCANDIA FAMILY FUN CENTERS
NORTHWEST CORNER OF RANCHO ROAD AND SIRIUS AVENUE
FEBRUARY 24, 2005 PLANNING COMMISSION

2/8/05

Special Limited Power of Attorney

SCANDIA FAMILY FUN CENTERS, a Nevada corporation ("Scandia"), is the owner of certain improved real property located at 2900 Sirius Road, Las Vegas, Nevada, designated as parcel 162-08-702-002 (the "Property") and hereby appoints HIGHRISE PARTNERS, LTD., a Nevada limited liability company, as its Attorney-in-Fact ("Agent").

The Agent shall have limited power and authority to act on behalf of Scandia with regards to the proposed development of the Property, including the power to:

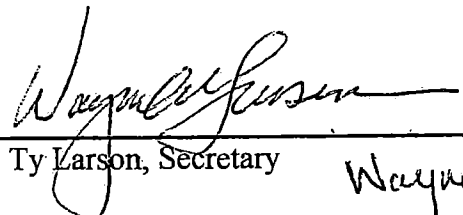
- 1) sign any and all applications required by all relevant governmental or quasi-governmental entities, agencies and departments of the State of Nevada and its political subdivisions, including, but not limited to, the Nevada Division of Real Estate, the City of Las Vegas, Clark County, the Clark County School District, and the Las Vegas Metropolitan Police Department, for all land use purposes, including, but not limited to, General Plan amendments, zoning changes, special uses permits, privileged licenses, etc.**
- 2) appear, or retain representatives to appear, at meetings, hearings, and conferences with government representatives or employees or the general public in support of the above applications.**
- 3) authorize any persons or entities conducting environmental or other similar tests on the subject property required for the above applications and for due diligence purposes.**

This Power of Attorney shall become effective immediately and shall continue until October 1, 2005

Signed this 22th day of August, 2004

SCANDIA FAMILY FUN CENTERS, a Nevada corporation

By


Ty Larson, Secretary

Wayne Larson, President

January 11, 2005

City of Las Vegas
Planning and Development Department
731 South Fourth Street
Las Vegas, Nevada 89101

Re: Project Scandia

On behalf of the ownership Highrise Partners Ltd, please accept our variance application to allow for up to 30% of provided parking to be tandem as per parking as per Title 19.10.J.8.

Currently, we are providing the code required 1,460 spaces broken down in the following manor:

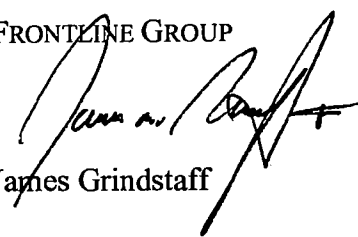
- Standard stalls (9'x18') 534
- Tandem Stalls (9'x18') 205 - (14%)
- Compact Stalls (8'x18') 276 - (19%)
- Accessible Stalls 28 (including 3 van)
- Valet Size Varies 417 (Full time attendant on duty)

It is our desire that the Planning Director consider this under an administrative Variance due to our request being less than the 30% allowed by code.

Thanks you for your time and support in reviewing our application.

Sincerely,

FRONTLINE GROUP


James Grindstaff

RECEIVED
FEB 2 2005

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

ABEYANCE - SDR-6023 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT\ OWNER: CHARLESTON FESTIVAL, LLC - Request for a Site Development Plan Review FOR A 94,978 SQUARE-FOOT COMMERCIAL DEVELOPMENT on 10.21 acres adjacent to the southeast corner of Torrey Pines Drive and Casada Way (APN 138-35-801-002, 138-35-803-001, and 138-35-403-005), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter
5. Submitted at Meeting – Excerpts and Photos by Leo Mainwal

MOTION:

GOYNES – APPROVED subject to conditions and amending the following condition:

3. All development shall be in conformance with the site plan dated stamped 03/16/05 and the landscaping plans date stamped 03/07/05, except as amended by conditions herein.

– UNANIMOUS with TRUESDELL excused

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning & Development, gave a brief overview of the application. Since the project was approved, several changes have been proposed to the overall site. The changes required a new Site Development Plan Review, which is the subject application. The revised site

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 13 – SDR-6023

MINUTES – Continued:

plan indicates a reduction in the total building square footage from 95,050 to 94,978. The east property line has been adjusted based on a boundary survey. An additional 0.45 acres located at the northwest corner of the property has been added to the site, which consisted of 40 additional parking spaces and no access to Torrey Pines or the existing gas station/restaurant to the south. The screen wall along Casada Way is now six feet except along the loading dock where it is 10 feet. Staff recommended approval of the application.

RUDY STARKS, Perkowitz & Ruth Architects, 3980 Howard Hughes Parkway, Ste. 450, Las Vegas, NV 89109, appeared on behalf of the applicant and concurred with all conditions. He also thanked staff for their assistance on this project and introduced TED KRUGER, Bullseye Commercial.

GENE LONARDO, 6300 Blair Way; JUNE INGRAM, Charleston Neighborhood Preservation and KAREN INGRAM, 609 N. Torrey Pines all commended the applicant in their efforts with addressing the residents' concerns and were eager to see the proposed development proceed forward.

MARGO WHEELER, Planning and Development, noted that there was one letter of protest that was not included in the backup. The letter of protest was from the property owner to the east of the subject site.

LEO T. MAINWAL, Mr. Pool and Mrs. Patio, 6220 W. Charleston Boulevard, owns the property adjacent to the subject site. He supported the project and believed it would benefit the neighborhood. However, he felt that many of the revisions were done to satisfy the developer, staff, residents to the north and the Wal Mart store, but none of those changes address how the proposed development would impact its closest neighbor, his business. He submitted a handout with photos depicting the location of his business, the subject site and other nearby businesses along Charleston Boulevard. Given the proposed setbacks of the subject development, he pointed out that visibility of his business would be a problem. He suggested that the setbacks of the proposed development be identical to the setbacks of his business, which would alleviate the visibility concern. MR. MAINWAL informed COMMISSIONER EVANS that he had discussed his concerns with the applicant.

MR. STARKS responded that one of the original conditions of approval was that the applicant would continue to work with Nevada Department of Transportation (NDOT), as Charleston Boulevard is a NDOT highway. He stated that NDOT directed the applicant to locate the buildings to the front of the subject site, which created a longer throat depth at the signalized intersection of Campus Drive and Charleston Boulevard. NDOT determined that this intersection would be the

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 13 – SDR-6023

MINUTES – Continued:

primary access point to the community college, which is located directly across the street from the subject site. He pointed out that the setback requirements for the chiropractic business adjacent to MR. MAINWAL's business had changed, as the requirements now are that of the Las Vegas Urban Design Guidelines and Standards.

GINA VENGLASS, Public Works, confirmed for COMMISSIONER McSWAIN that NDOT would require the extended throat depth in the subject area. It is also NDOT'S discretion to determine how a problem, such as the building location in this case, would be resolved. COMMISSIONER McSWAIN did not feel the proposed development would hinder MR. MAINWAL'S business and suggested using other strategies for advertising. She felt that the activity from the Wal Mart shopping center could benefit the entire subject site, and she would support the application.

COMMISSIONER EVANS questioned if it was possible to have a monument sign that would extend further out to Charleston Boulevard for MR. MAINWAL'S business, which would allow for greater visibility. MR. STARKS responded that MR. MAINWAL'S advertising sign is already located on the street at the maximum limitations allowed.

MS. WHEELER stated that Condition 3 needed to be amended, as the date stamp for the Site Plan should reflect 03/16/05.

MR. STARKS confirmed for CHAIRMAN NIGRO the applicant's concurrence with all conditions.

CHAIRMAN NIGRO declared the Public Hearing closed.

(6:20 – 6:31)

1-652

CONDITIONS:

Planning and Development

1. The south elevation of buildings D and E as shown on elevations date stamped 03/07/05, which shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation. The buildings shall carry the same level of detail around all sides of a building providing for a more consistent design and higher quality of development.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 13 – SDR-6023

CONDITIONS – Continued:

3. All development shall be in conformance with the site plan date stamped 03/15/05 and the landscaping plans date stamped 03/07/05, except as amended by conditions herein.
4. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
5. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
6. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City departments must be satisfied.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 13 – SDR-6023

CONDITIONS – Continued:

14. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
15. Prior to the issuance of building permits, a revised landscape plan must be submitted to and approved by the Department of Planning and Development showing a maximum of 12.5% of the total landscaped area as turf.
16. Delivery hours shall be between 5:30 A.M. and 10:00 P.M. A one-year review from the time a temporary or permanent Certificate of Occupancy is issued for the delivery hours.

Public Works

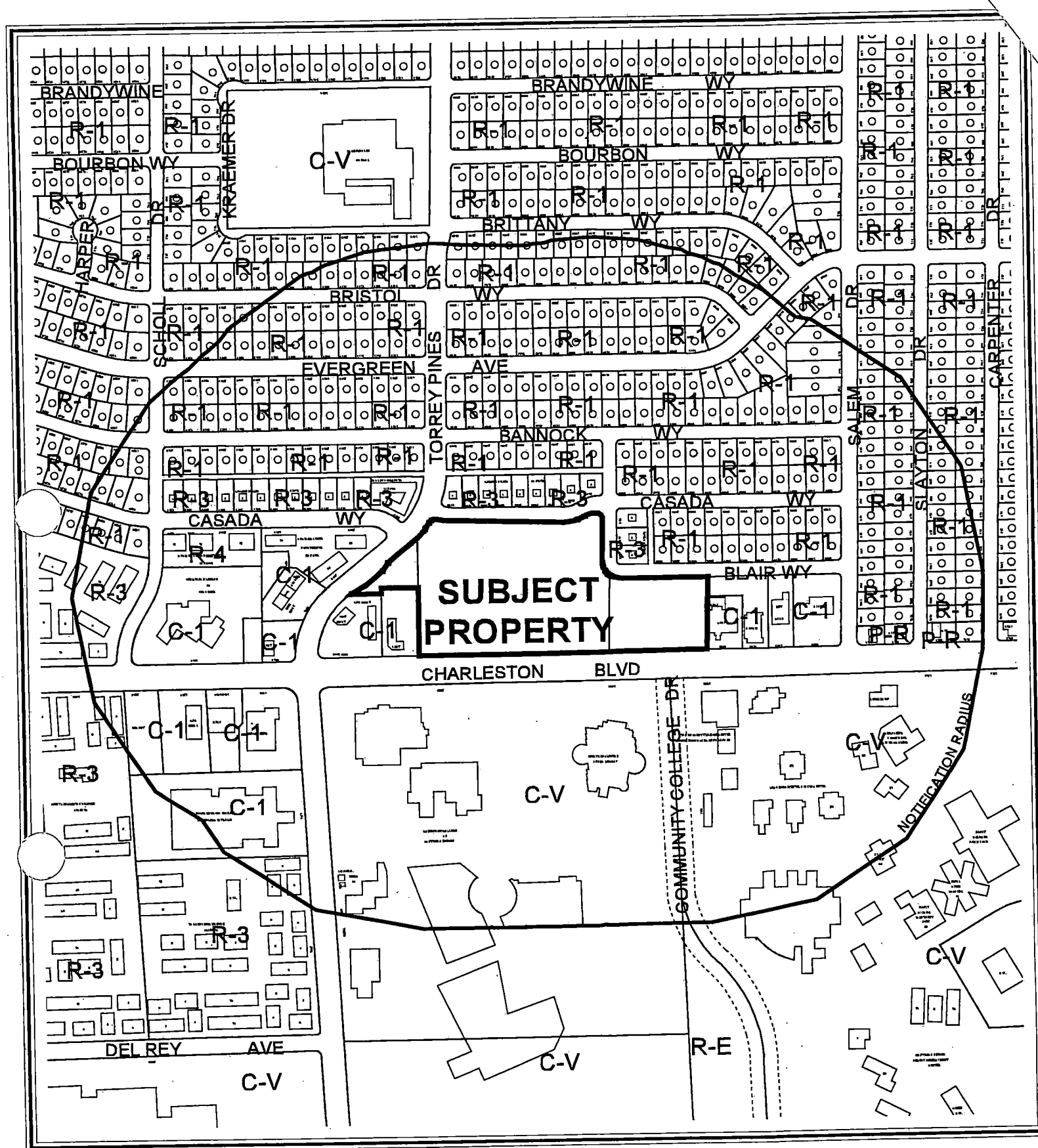
17. Coordinate with the City Surveyor to determine whether a Merger and Resubdivision map or other mapping is necessary; if a map or joining is required, it should record prior to the issuance of any permits for this site.
18. Construct all incomplete half-street improvements on Charleston Boulevard, Torrey Pines Drive, Blair Way, Bishop Drive and Casada Way adjacent to this site concurrent development of this site. Also, construct bus turnouts on Charleston Boulevard and Torrey Pines Drive. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development. Improvements on Charleston Boulevard shall receive approval from the Nevada Department of Transportation.
19. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A. Access of any type, including construction traffic, shall not be taken from the proposed Campus Drive entry until all necessary modifications to the existing traffic signal are complete. All work within the Charleston Boulevard right-of-way shall receive approval from the Nevada Department of Transportation.
20. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 13 – SDR-6023

CONDITIONS – Continued:

in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

21. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
22. Site development to comply with all applicable conditions of approval for Zoning Reclassification Z-49-99 and all other subsequent site-related actions.



CASE: SDR-6023

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)





CASE: SDR-6023

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 500 1000 Feet



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE - SDR-6023 - APPLICANT/OWNER:
CHARLESTON FESTIVAL, LLC

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. The south elevation of buildings D and E as shown on elevations date stamped 03/07/05, which shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation. The buildings shall carry the same level of detail around all sides of a building providing for a more consistent design and higher quality of development.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan date stamped 03/15/05 and the landscaping plans date stamped 03/07/05, except as amended by conditions herein.
4. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
5. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
6. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

SDR-6023 - Conditions Page Two
March 24, 2005 - Planning Commission Meeting

9. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City departments must be satisfied.
14. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
15. Prior to the issuance of building permits, a revised landscape plan must be submitted to and approved by the Department of Planning and Development showing a maximum of 12.5% of the total landscaped area as turf.
16. Delivery hours shall be between 5:30 A.M. and 10:00 P.M. A one-year review from the time a temporary or permanent Certificate of Occupancy is issued for the delivery hours.

Public Works

17. Coordinate with the City Surveyor to determine whether a Merger and Resubdivision map or other mapping is necessary; if a map or joining is required, it should record prior to the issuance of any permits for this site.
18. Construct all incomplete half-street improvements on Charleston Boulevard, Torrey Pines Drive, Blair Way, Bishop Drive and Casada Way adjacent to this site concurrent development of this site. Also, construct bus turnouts on Charleston Boulevard and Torrey Pines Drive. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development. Improvements on Charleston Boulevard shall receive approval from the Nevada Department of Transportation.

SDR-6023 - Conditions Page Three.
March 24, 2005 - Planning Commission Meeting

19. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A. Access of any type, including construction traffic, shall not be taken from the proposed Campus Drive entry until all necessary modifications to the existing traffic signal are complete. All work within the Charleston Boulevard right-of-way shall receive approval from the Nevada Department of Transportation.
20. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
21. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
22. Site development to comply with all applicable conditions of approval for Zoning Reclassification Z-49-99 and all other subsequent site-related actions.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a request for a Site Development Plan Review for a 94,978 square-foot commercial development on 10.21 acres adjacent to the southeast corner of Torrey pines Drive and Casada Way.

B) Applicant's Justification

The applicant is requesting a reduction in the total building square footage on the subject site. The requested changes are outlined in the report.

BACKGROUND INFORMATION

A) Related Actions

- 02/09/61 The City Council approved a request for Rezoning (Z-0057-60) to R-3 and C-1 on property generally located on the north side of Charleston Boulevard, east of Torrey Pines Drive. The Planning Commission recommended approval on 01/12/61.
- 06/19/92 The City Council approved an appeal for a Special Use Permit (U-0092-95) to allow a 672 square-foot Off-Premise Advertising Sign on property generally located on the north side of Charleston Boulevard, 450 east of Torrey Pines Drive. The Board of Zoning Adjustment recommended denial on 05/26/92.
- 10/13/97 The City Council approved an appeal for a Five-Year Required Review of a Special Use Permit (U-0092-95(1)) to allow a 672 square-foot Off-Premise Advertising Sign to continue on property generally located on the north side of Charleston Boulevard, 450 east of Torrey Pines Drive. The Planning Commission recommended denial on 09/11/97.
- 03/12/98 The Planning Commission approved a request for a Site Development Plan Review (Z-0057-60(1)) on property located on the north side of Charleston Boulevard approximately 200 feet east of Torrey Pines Drive (immediately to the west of the subject site) for a proposed 4,270 square-foot fast food restaurant.

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March 24, 2005 - Planning Commission Meeting

- 04/07/04 The City Council approved a request for a Site Development Plan Review (SDR-3790) and Waivers of perimeter buffering and landscaping standards for a 101,000 square-foot retail center and a Special Use Permit (SUP-3815) for Liquor Sales (Off-Premise Consumption) adjacent to the north side of Charleston Terrace, approximately 375 feet east of Torrey Pines Drive. The Planning Commission and staff recommended approval.
- 02/16/05 The City Council held Review of Condition (ROC-5940) in abeyance to 03/02/05. The request for a Review of Condition Number 17 of an approved Site Development Plan Review (SDR-3790) to allow delivery hours between 5:30 A.M. and 10 P.M. where the hours were restricted to 8:00 A.M. TO 8:00 P.M. for an approved 94,978 Square Foot Retail Center on 9.74 acres adjacent to the north side of Charleston Avenue, approximately 375 feet east of Torrey Pines Drive.
- 03/02/05 The City Council approved the Review of Condition (ROC-5940). The request for a Review of Condition Number 17 of an approved Site Development Plan Review (SDR-3790) was amended to allow for delivery hours to be between 5:30 A.M. and 10:00 P.M. A one-year review from the time a temporary or permanent Certificate of Occupancy is issued for the delivery hours.
- 03/10/05 The applicant requested this item to be held in abeyance to the 03/24/05 Planning Commission meeting. The item was held in abeyance in-order to incorporate revisions, which were required by staff.

B) Pre-Application Meeting

- 11/09/04 The following items were discussed at the pre-application meeting:
- Parking lot landscaping
 - Provide a table showing changes in square footage and parking

C) Neighborhood Meetings

A neighborhood meeting is not required for this type of application.

DETAILS OF APPLICATION REQUEST

A) Site Area

Gross Acres: 10.21

B) Existing Land Use

Subject Property: Undeveloped
North: Apartments
South: Community College
East: Retail Uses
West: Fast Food Restaurants

BTS/GL

C) Planned Land Use

Subject Property: SC (Service Commercial)
North: M (Medium Density Residential)
L (Low Density Residential)
South: PF (Public Facilities)
East: SC (Service Commercial)
West: SC (Service Commercial)

D) Existing Zoning

Subject Property: C-1 (Limited Commercial)
North: R-3 (Medium Density Residential)
R-1 (Single Family Residential)
South: C-V (Civic)
East: C-1 (Limited Commercial)
West: C-1 (Limited Commercial)

E) General Plan Compliance

The subject site is designated as SC (Service Commercial) on the Southwest Sector Plan map of the General Plan. The SC designation allows low to medium intensity retail, office or other commercial uses that serve primarily local area patrons and that do not include more intense general commercial characteristics. The current C-1 (Limited Commercial) zoning district that applies to the subject site is in conformance with the current SC General Plan designation. The site plan as proposed is substantially in compliance with both the General Plan designation and the zoning district, provided the requested waivers are approved.

SPECIAL DISTRICTS/ZONES	Yes	No
Special Area Plan		X
Special Overlay District		X
Trails		X
Study Area		X
Rural Preservation Neighborhood		X
Development Impact Notification Assessment		X
Project of Regional Significance		X

The site is not affected by any special area plans, overlay districts or study areas.

PROJECT DESCRIPTION

The City Council approved the original Site Development Plan Review (SDR-3790) on 04/07/04. The approved site plan consisted of 95,050 square feet of total building area and Waivers of perimeter buffering and landscaping standards. Since the project was approved, several changes have been proposed to the overall site plan. These changes require a new Site Development Plan Review (SDR-6023). The following items are related to the revised Site Development Plan Review: The revised site plan indicates a reduction in the total building square-footage from 95,050 to 94,978. The east property line has been adjusted based on a boundary survey. An additional 0.45 acres located at the northwest corner of the property has been added to the site, which consisted of 40 additional parking spaces and no access to Torrey Pines or the existing gas station/restaurant to the south. The screen wall along Casada Way is now six feet except along the loading dock where it is 10 feet.

The complex is oriented towards Charleston Boulevard, with two vehicular entrances accessing Charleston Boulevard. No vehicular access is provided to Casada Way, Bishop Drive or Blair Way. Buildings D, E, and F, as indicated on the site map are pushed forward on the site, pursuant to commercial design standards. The four remaining buildings on the site are off-set or located towards the rear, with the parking area to the front of the site; however, given the proximity of the site to residential areas to the north, this configuration is acceptable.

The Site Development Plan Review (SDR-6023) was held in abeyance to the 03/24/05 Planning Commission meeting, because of revisions, which were required by staff. The applicant also asked that the item be held in abeyance. The revised site plan has incorporated the following changes to the overall site.

- The western most entrance has been moved six feet to the east.
- Parking located north of the western access has been changed to angled parking.
- Detail has been added to the bus turnout area, which is depicted on the northwest portion of the site adjacent to Torrey Pines Drive.
- The eastern most access has been aligned with College Campus Drive south of Charleston Boulevard.
- Building F has been reduced in size by 1,200 square feet, while building E has been increased by 1,200 square feet. The total overall building square footage has remained at 94,978 square feet.

ANALYSIS

A) Zoning Code Compliance

A1) Development Standards

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

BTS/GL

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March 24, 2005 - Planning Commission Meeting

Uses	GFA	Ratio	Required Parking		Provided Parking	
			Regular	Handicap	Regular	Handicap
Retail, other than listed	77,685 s.f.	1 space/250 s.f. GFA	311 spaces			
Restaurant	13,403 s.f.	1 space /50 s.f. seating space + 1 space/200 s.f. remaining space	188 spaces			
Restaurant w/ Drive-thru	3,890 s.f.	1 space/100 s.f. GFA + 1 lane for each drive up + stacking for 6	39 spaces			
Totals	94,978 s.f. GFA		538 spaces	11 spaces	540 spaces	18 spaces

The site plan as proposed indicates 540 parking spaces with 18 handicap spaces. The site plan as proposed meets Title 19.10 Parking, Loading, and Traffic Standards.

A4) Landscape and Open Space Standards

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

Standards	Required		Provided
	Ratio	Trees	
Parking Area	1 Tree/6 Spaces	90 Trees	94 Trees
Buffer:			
• Min. Trees	1 Tree/20 Linear Feet along exterior perimeters (2,590 Feet) + 1 Tree /30 Linear Feet along interior perimeters (735 Feet)	130 Trees 25 Trees	93 Trees 9 Trees
• Min. Zone Width	15 Feet exterior, 8 Feet interior		Y Y
• Wall height	6 Feet		The screen wall along Casada Way is six feet except along the loading dock where it is 10 feet.

BTS/GL

The proposed landscape plan does not meet landscape buffer standards. The previous Site Development Plan Review (SDR-3790) approved Waivers of perimeter buffering and landscaping standards. Therefore, the current landscape plan complies with the previously approved Site Development Plan Review and associated Waivers.

A5) Sign Standards

Pursuant to Title 19.14, the following Sign Standards apply to the subject proposal:

No on-site signage proposals were submitted with the project. The applicant intends to obtain signage approvals separately through the subsequent submission of a Master Sign Plan application.

B) General Analysis and Discussion

- **Zoning**

The C-1 (Limited Commercial) District is intended to provide most retail shopping and personal services. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. The C-1 (Limited Commercial) District is consistent with the Service Commercial category of the General Plan.

- **Site Plan**

The site plan depicts a 94,978 square-foot retail commercial complex that provides a range of shopping, dining and service commercial uses that area designed to cater to both area residents and the student and employee populations of the Community College of Southern Nevada, which is directly across Charleston Boulevard to the south. The site plan attempts to integrate with other commercial uses along Charleston Boulevard in this area, and to buffer nearby residential uses from any adverse noise or traffic impacts.

- **Waivers**

The previous Site Development Plan Review (SDR-3790) approved Waivers of the perimeter buffering and landscaping standards. There are no additional Waivers, which are required or requested with this Site Development Plan Review.

- Landscape Plan

The landscape plan depicts a variety of 24-inch box trees used for perimeter and parking lot landscaping, including Desert Museum Palo Verde and Arizona Ash, with one-gallon and five-gallon shrubs as ground cover plantings. Plant and shrub requirements call for a minimum of four five-gallon shrubs and four one-gallon shrubs for each 24 inch box tree planted.

- Elevation

The south elevation of buildings D and E shall be revised to incorporate Title 19.08 Development Standards. The southern elevation lacks the same level of detail, which is provided on the north elevation. Title 19.08 Development Standards states: "carrying the same level of detail and finish around all sides of a building provides for a more consistent design and higher quality of development." A condition of approval has been added, which requires this revision.

The elevations as conditioned, illustrate an interesting and architecturally pleasing design using a combination of stucco plaster finish, a variety of metal cladding surfaces, aluminum storefronts, and exposed structural steel columns and framing supporting standing seam metal roofs and canopies in each building. The variety and uniqueness of the architectural details and the angled roof and canopy elements combine to give the project a flair that should be a welcome addition to the area.

FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

This proposed development will be compatible with other development that is adjacent or nearby within this portion of the Charleston Boulevard corridor. Nearby areas within the Community College of Southern Nevada campus and the related public development in that area, including the West Charleston Library, should benefit from, and be complimented by, this proposed Charleston Festival Marketplace project.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The project is consistent with the Service Commercial policies of the General Plan and the zoning regulations of the C-1 (Limited Commercial) zoning district.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

Principal access to the site will be from Charleston Boulevard, designated as a Primary (100-foot) Arterial on the Master Plan of Streets and Highways. This street has adequate capacity to serve the proposed development.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building and landscape materials present a creative and exciting design that will be complementary to the design of buildings found across Charleston Boulevard on the community college campus site, and with the design of other surrounding and nearby commercial, office and institutional projects in the area.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

As conditioned, proposed elevations are appropriate for the proposed use and present a development that will be compatible with the surrounding area.

6. **"Appropriate measures are taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to regular City and County inspections for licensing and will therefore not compromise the public health, safety, and welfare.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

7

NOTICES MAILED 376

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: PERKOWITZ + RUTH ARCHITECTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

APN: _____
Signature of Property Owner: Robert A. Shaver. Charleston Festival, LLC.

Print Name: Robert A. Shaver

Subscribed and sworn before me

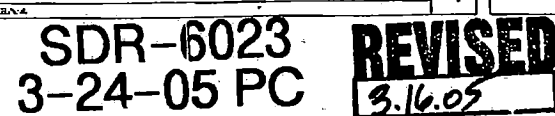
This 7th day of JANUARY, 2005

This 7th day of JANUARY, 2005
Gail B. de Anda, Los Angeles County/California
 Notary Public in and for said County and State

Revised 12-03-04



GAIL B. DE ANDE
Commission # 1341237
Notary Public - California
Los Angeles County •
My Comm. Expires Feb 20, 2006





north

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Architects
e Design
1-800-202-2020

MEET: **CHARLESTON
FESTIVAL**
ONEC of Charleston Blvd. & Tarry Pines
Las Vegas, NV

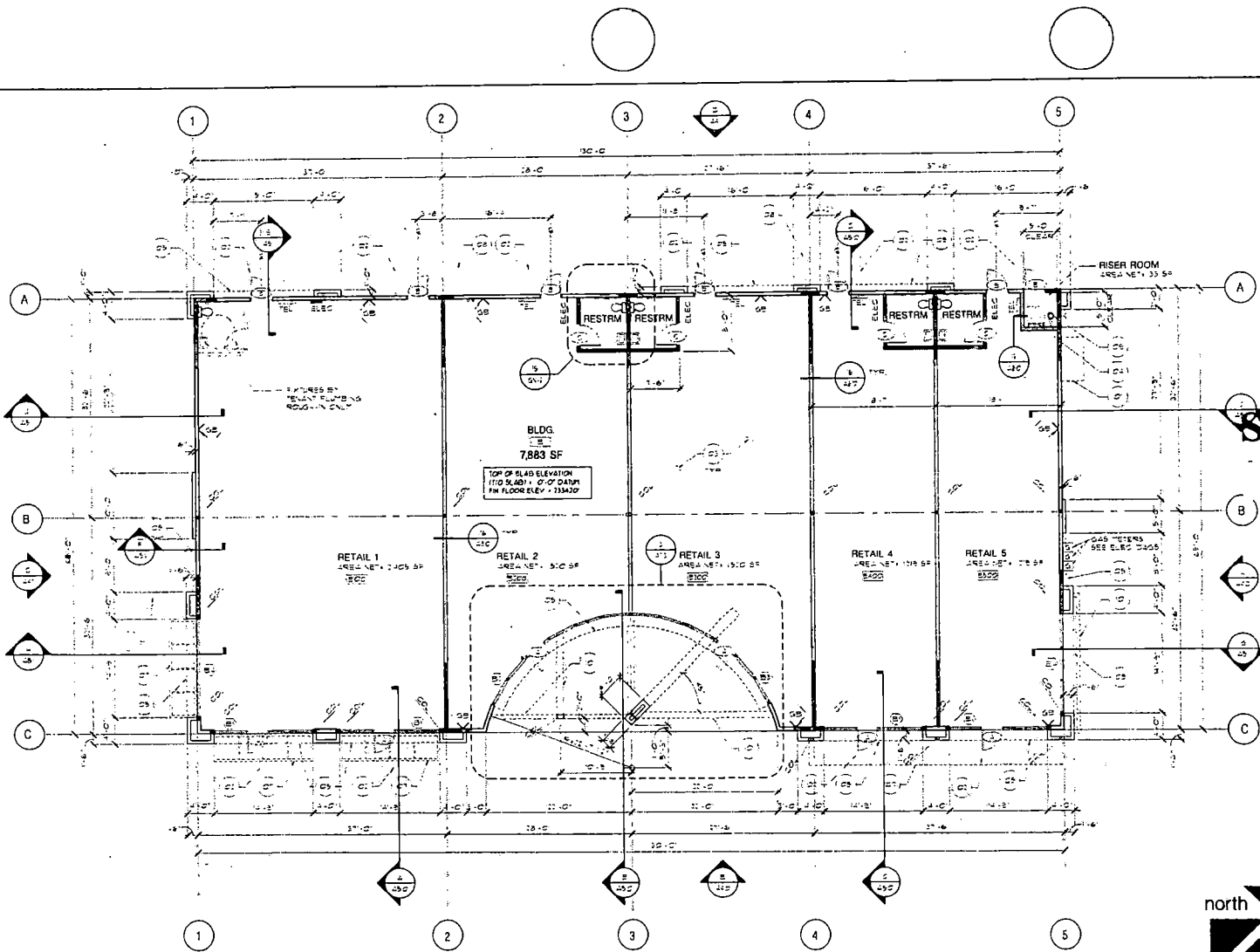
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|---------------------------------------|
| ISSUE DATE: |
| JOB NUMBER:
0340328 |
| PLOT DATE:
01/01/05 |
| DRAWN BY:
TECH |
| SHEET TITLE:
BLOCK 4
FLOOR PLAN |
| SHEET NO: |

A1.0(A)

KEY PLAN

FLOOR PLAN GENERAL NOTES

1. ONE SET OF APPROVED PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE SITE OF THE BUILDING FOR THE ENTIRE DURATION OF THE WORK. APPROVED MEANS IT IS APPROVED BY THE LOCAL FIRE DEPARTMENT.
2. GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES OR OMISSIONS OR CHANGES PRIOR TO CONSTRUCTION.
3. DIMENSIONS ARE TO FACE OF STUD WALLS UNLESS OTHERWISE NOTED.
4. ALL PROJECT CONSTRUCTION SHALL CONFORM TO AMERICAN STANDARDS FOR CONSTRUCTION AND CHAPTER 1002.150.
5. THIS BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
6. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
7. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
8. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
9. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
10. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
11. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 11.1. ROOF: 15" MINIMUM R-15
 - 11.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 11.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 11.4. FLOOR: 15" MINIMUM R-15
 - 11.5. CEILING: 15" MINIMUM R-15
12. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
13. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
14. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
15. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
16. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
17. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
18. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 18.1. ROOF: 15" MINIMUM R-15
 - 18.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 18.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 18.4. FLOOR: 15" MINIMUM R-15
 - 18.5. CEILING: 15" MINIMUM R-15
19. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
20. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
21. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
22. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
23. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
24. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
25. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 25.1. ROOF: 15" MINIMUM R-15
 - 25.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 25.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 25.4. FLOOR: 15" MINIMUM R-15
 - 25.5. CEILING: 15" MINIMUM R-15
26. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
27. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
28. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
29. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
30. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
31. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
32. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 32.1. ROOF: 15" MINIMUM R-15
 - 32.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 32.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 32.4. FLOOR: 15" MINIMUM R-15
 - 32.5. CEILING: 15" MINIMUM R-15
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34. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
35. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
36. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
37. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
38. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
39. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 39.1. ROOF: 15" MINIMUM R-15
 - 39.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 39.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 39.4. FLOOR: 15" MINIMUM R-15
 - 39.5. CEILING: 15" MINIMUM R-15
40. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
41. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
42. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
43. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
44. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
45. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
46. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 46.1. ROOF: 15" MINIMUM R-15
 - 46.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 46.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 46.4. FLOOR: 15" MINIMUM R-15
 - 46.5. CEILING: 15" MINIMUM R-15
47. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
48. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
49. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
50. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
51. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
52. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
53. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 53.1. ROOF: 15" MINIMUM R-15
 - 53.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 53.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 53.4. FLOOR: 15" MINIMUM R-15
 - 53.5. CEILING: 15" MINIMUM R-15
54. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
55. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
56. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
57. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
58. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
59. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
60. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 60.1. ROOF: 15" MINIMUM R-15
 - 60.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 60.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 60.4. FLOOR: 15" MINIMUM R-15
 - 60.5. CEILING: 15" MINIMUM R-15
61. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
62. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
63. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
64. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
65. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
66. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
67. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 67.1. ROOF: 15" MINIMUM R-15
 - 67.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 67.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 67.4. FLOOR: 15" MINIMUM R-15
 - 67.5. CEILING: 15" MINIMUM R-15
68. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
69. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
70. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
71. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
72. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
73. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
74. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 74.1. ROOF: 15" MINIMUM R-15
 - 74.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 74.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 74.4. FLOOR: 15" MINIMUM R-15
 - 74.5. CEILING: 15" MINIMUM R-15
75. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
76. PROVIDE 40 STUDS AT INTERIOR PARTITIONS & ONE FOR ALL REST ROOM AND PLUMBING WALLS TO 6" ABOVE CEILING.
77. PROVIDE HUNGLED WALLS AS REQUIRED FOR ALL PARTITIONS AND ONE LINE THAT EXTEND TO THE INTERIOR WALL SURFACE.
78. PROVIDE ONE 1" DIAMETER PIPE THROUGH IN LOCATION OF APPROVED 2" FIRE STOP.
79. PLANT ALL SURFACES EXPOSED TO MATCH ADJACENT SURFACE.
80. REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FLOORING WALL DESIGN AND LOCATIONS.
81. BUILDING INSULATION MINIMUMS SHALL BE AS FOLLOWS:
 - 81.1. ROOF: 15" MINIMUM R-15
 - 81.2. EXTERIOR WALLS: 15" MINIMUM R-15
 - 81.3. INTERIOR WALLS: 15" MINIMUM R-15
 - 81.4. FLOOR: 15" MINIMUM R-15
 - 81.5. CEILING: 15" MINIMUM R-15
82. BUILDING SHALL BE FULLY SPRINKLED REFER TO FIRE SAFETY DRAWINGS.
83. PROVIDE 40 STUD



| RESTROOM | DOORWAY LOAD | EXIT ACCESS | |
|------------|--------------|-------------|-----------|
| | | REQUIRED | PROVIDED |
| RESTROOM 1 | 1409.30 x 8 | 8' x 0'1" | 8'36" CLR |
| RESTROOM 2 | 810.30 x 8 | 8' x 0'1" | 8'36" CLR |
| RESTROOM 3 | 810.30 x 8 | 8' x 0'1" | 8'36" CLR |
| RESTROOM 4 | 109.30 x 8 | 8' x 0'1" | 8'36" CLR |
| RESTROOM 5 | 109.30 x 8 | 8' x 0'1" | 8'36" CLR |

SDR-6023

- KEY NOTES
1. BUILDING
 2. 3' x 4' x 8' LEVEL AREA
 3. CONCRETE FLOOR SLAB PER STRUCTURAL DRAWINGS
 4. ROOF ACCESS LADDER AND RATCH ABOVE
 5. PROJECTING ROOF LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS
 6. PROJECTING CORNER LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS
 7. PROJECTING METAL CANOPY LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS
 8. ROOF DRAIN RUN UNDER SLOPE LINE DASHED SEE WALL SECTIONS FOR DIMENSIONS
 9. FINE SHOWER RISER LOCATION
 10. USE STEEL STRUCTURE ABOVE SEE WALL SECTIONS AND STRUCTURAL DRAWINGS
 11. FUTURE GROUND FLOOR

FLOOR PLAN - BLDG. - B

DATE: 01/10/2010 SCALE: 1/8\"/>

FIRE BLOCKING NOTES

1. IN COVERED SPACES OF 3' x 6' WALLS AND PARTITIONS INCLUDING TURNED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 90° INTERSECTIONS BOTH VERTICAL AND HORIZONTAL.
2. ALL INTERSECTIONS BETWEEN COVERED SPACES OF 3' x 6' WALLS AND PARTITIONS INCLUDING TURNED SPACES AT THE CEILING AND FLOOR LEVELS AND AT 90° INTERSECTIONS BOTH VERTICAL AND HORIZONTAL.
3. OPENINGS BETWEEN ATTIC SPACES AND BUNKER CONSTRUCTION PER LOCAL SECTION 101.1.

FLOOR PLAN GENERAL NOTES

1. ONE 3/4\"/>

FLOOR PLAN LEGEND

SALES FLOOR

RESTROOM

DOOR

WALL

CEILING

FLOOR

ROOF

STAIR

ELEVATION

SECTION

DETAIL

NOTE

REMARK

DATE

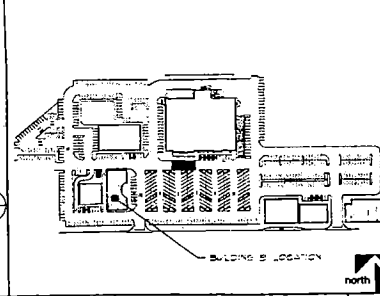
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KEY PLAN

DATE: 01/10/2010 SCALE: 1/8\"/>

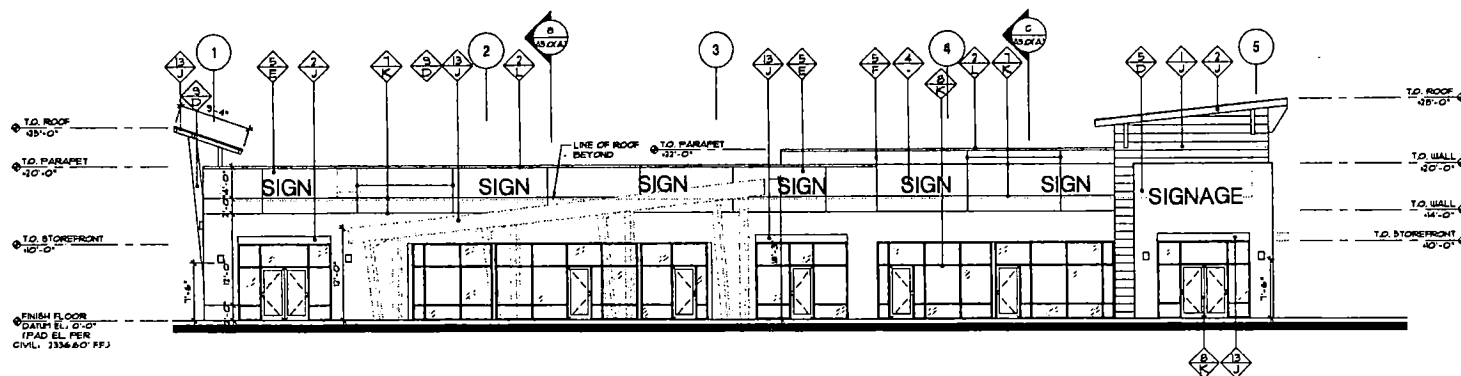


| REVISIONS |
|---|
| 1. BUILDING |
| 2. 3' x 4' x 8' LEVEL AREA |
| 3. CONCRETE FLOOR SLAB PER STRUCTURAL DRAWINGS |
| 4. ROOF ACCESS LADDER AND RATCH ABOVE |
| 5. PROJECTING ROOF LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS |
| 6. PROJECTING CORNER LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS |
| 7. PROJECTING METAL CANOPY LINE ABOVE SHOWN DASHED SEE WALL SECTIONS FOR DIMENSIONS |
| 8. ROOF DRAIN RUN UNDER SLOPE LINE DASHED SEE WALL SECTIONS FOR DIMENSIONS |
| 9. FINE SHOWER RISER LOCATION |
| 10. USE STEEL STRUCTURE ABOVE SEE WALL SECTIONS AND STRUCTURAL DRAWINGS |
| 11. FUTURE GROUND FLOOR |

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CHARLESTON FESTIVAL
NEC of Charleston Blvd & Torrey Pines
Las Vegas, NV

PROJECT: CHARLESTON FESTIVAL
ISSUE DATE: 01/10/2010
JOB NUMBER: 01-0115
PLOT DATE: 01/10/2010
DRAWN BY: T.M.
SHEET TITLE: BLDG. B FLOOR PLAN
SHEET NO: A1.0(B)



BUILDING A -- SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (NOM.). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

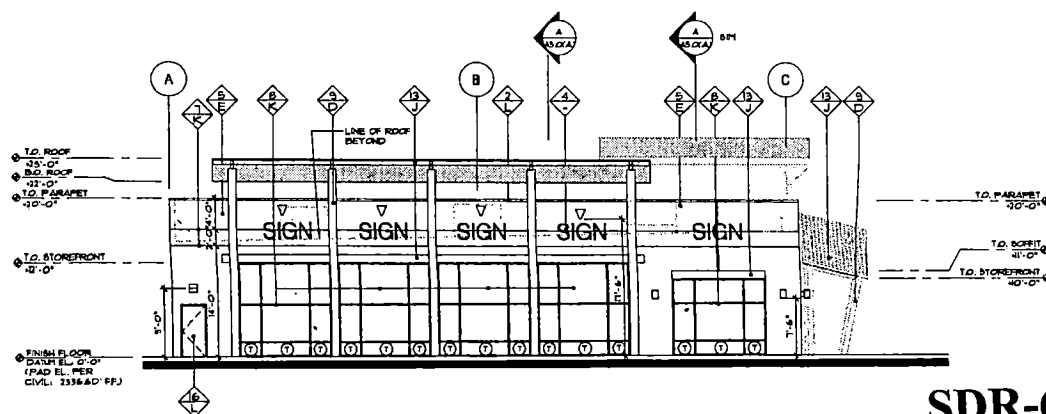
SCALE: 1/8" = 1'-0"

A

| MATERIAL | FINISH |
|---|--|
| 1 CORRUGATED METAL CLADDING | A COLOR TO MATCH FRAZEE 8838 "STONE CISTERN" |
| 2 STANDING SEAM METAL ROOF/CANOPY/COPING | B COLOR TO MATCH FRAZEE 04002U "RAIN SHIFTER" |
| 3 FLUSH PANEL METAL CLADDING | C COLOR TO MATCH FRAZEE 1378A "TANGERINE" |
| 4 SIGNAGE BY OTHERS | D COLOR TO MATCH FRAZEE AC158 "TOMATILLO" |
| 5 LIGHT DASH PLASTER FINISH | E COLOR TO MATCH FRAZEE 8916U "HALATION" |
| 6 HEAVY DASH PLASTER FINISH | F COLOR TO MATCH FRAZEE 04002U "SEA CLOUD" |
| 7 METAL REVEAL | G ANGELUS BLOCK "HART GREY" |
| 8 ALUMINUM STOREFRONT | H "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & BRACING, PAINTED | I "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE | J CLEAR ANODIZED |
| 11 RECESSED LIGHTS | K MATCH COLOR TO ADJACENT SURFACE |
| 12 CENTER IDENTIFICATION SIGN TOWER | L |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF | M |
| 14 TUBULAR STEEL HORIZONTAL BASE | N |
| 15 STEEL ROLL-UP DOOR | O |
| 16 HOLLOW METAL DOOR | P |
| 17 METAL LOUVERS | Q |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED WING.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS
- BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.



BUILDING A -- WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (NOM.). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

B

| | |
|---|-----------------------------------|
| G | FLOOD LIGHT |
| H | SCENCE 1 |
| C | WALL PACK WITH BACK-UP BATTERY |
| I | SCENCE 3 |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

EXTERIOR LIGHTING LEGEND

XLTOLEGEND 07/10/04 SCALE: NTS

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SDR-6023

TITLE

DRAWING

THPDD/TT SCALE: 1/8" = 1'-0"

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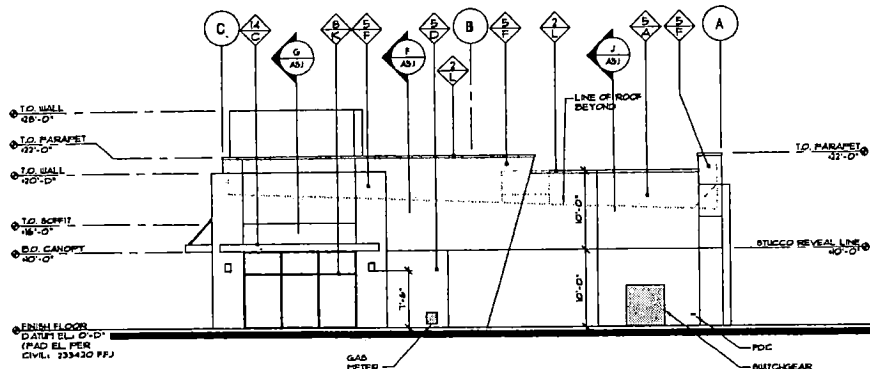
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CHARLESTON FESTIVAL
NEC of Charleston Blvd. & Torrey Pines
Las Vegas, NV

ISSUE DATE:
JOB NUMBER:
PLOT DATE:
DRAWN BY:
TEAM:
SHEET TITLE:
BLDG A ELEVATIONS
SHEET NO.

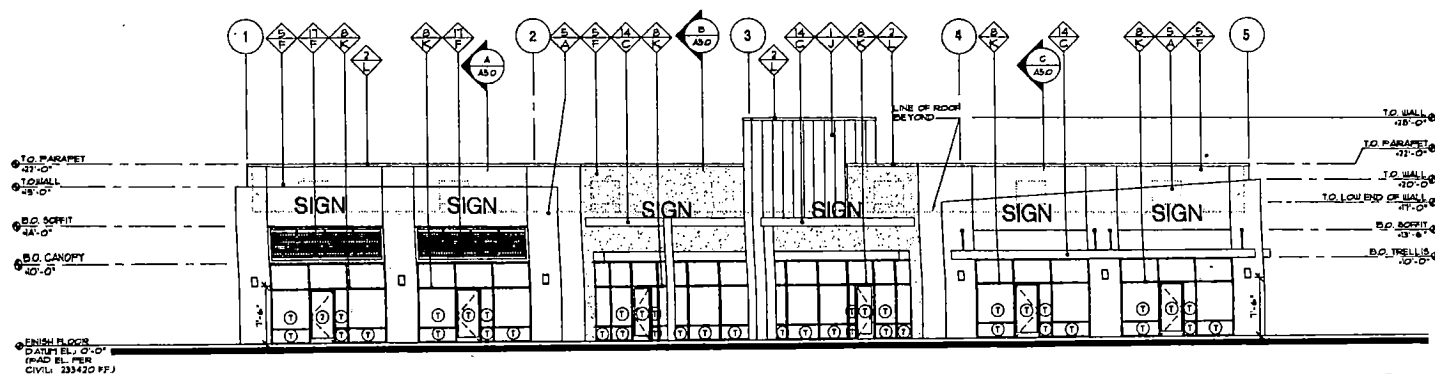
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BLDG. B - NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UON). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. B - EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UON). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

MATERIAL

FINISH

| | | | |
|----|---|---|--|
| 1 | CORRUGATED METAL CLADDING | A | COLOR TO MATCH FRAZEE ROSS "STONE CISTERN" |
| 2 | STANDING SEAM METAL ROOF/CANOPY/SCOFFIT | B | COLOR TO MATCH FRAZEE QUODDY "RAIN SHOWER" |
| 3 | FLUSH PANEL METAL CLADDING | C | COLOR TO MATCH FRAZEE STRA "TANGERINE" |
| 4 | SIGNAGE BY OTHERS | D | COLOR TO MATCH FRAZEE ACORN "TOMATELLO" |
| 5 | LIGHT DAMP PLASTER FINISH | E | COLOR TO MATCH FRAZEE ROSS "MILKATION" |
| 6 | HEAVY DAMP PLASTER FINISH | F | COLOR TO MATCH FRAZEE QUODDY "SEA CLOUD" |
| 7 | METAL REVEAL | G | ANGELUS BLOCK "WART GREY" |
| 8 | ALUMINUM STOREFRONT | H | "DARK BRONZE" BY DERRIDGE MANUFACTURING CO. |
| 9 | EXPOSED STRUCTURAL STEEL COLUMNS & FRAMING, PAINTED | I | "CLEAR ANODIZED" BY DERRIDGE MANUFACTURING CO. |
| 10 | CONCRETE COLUMN BASE | J | CLEAR ANODIZED |
| 11 | RECESSED LIGHTS | K | MATCH COLOR TO ADJACENT SURFACE |
| 12 | CENTER IDENTIFICATION SIGN TOWER | L | |
| 13 | CORRUGATED METAL PANEL/CANOPY/ROOF | M | |
| 14 | TUBULAR STEEL HORIZONTAL BASE | N | |
| 15 | STEEL ROLL-UP DOOR | O | |
| 16 | HOLLOW METAL DOOR | P | |
| 17 | METAL LOUVERS | Q | |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED UNDO.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- SCOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

G FLOOD LIGHT

H BCONCE 1

C WALL PACK WITH BACK-UP BATTERY

I BCONCE 3

F WALL PACK WITHOUT BACK-UP BATTERY

F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

XTOLLEGEND 07/13/04 SCALE: NTS

REVISIONS

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CHARTER
BULSEYE
C.R.E.
PROJECT: PERKOWITZ + RUTH ARCHITECTS
3350 WARD HIGHER PARKWAY, SUITE 450, LAS VEGAS, NV 89109
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FAX: (702) 892-5500

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Architecture / Planning / Store Design
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Tel: (702) 892-5500

PROJECT: CHARLESTON
FESTIVAL
NEC of Charleston Blvd. & Torrey Pines
Las Vegas, NV

ISSUE DATE:
JOB NUMBER: 03-40313
PLOT DATE: 05/01/05
DRAWN BY:
TEAM:
SHEET TITLE: BLDG. B ELEVATIONS
SHEET NO:

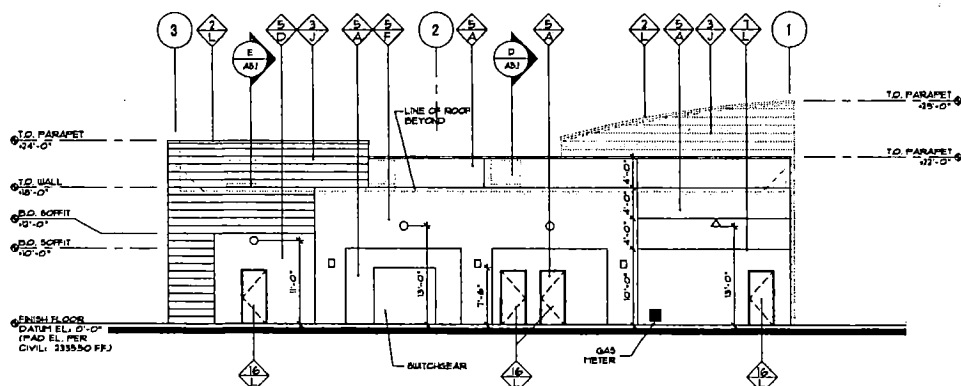
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TITLE

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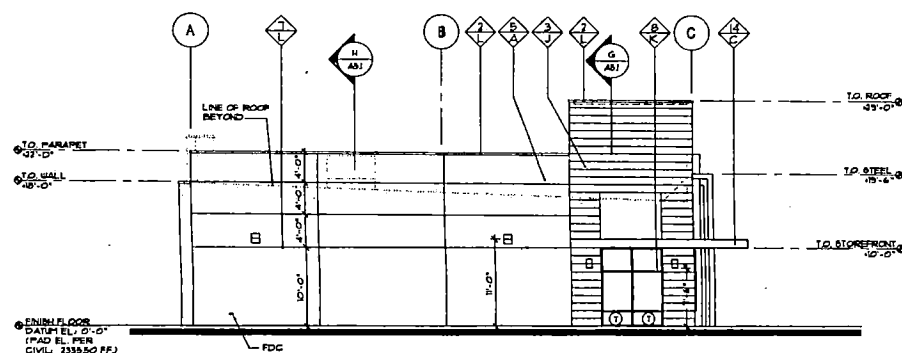
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BLDG. C - NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (GLO. 1). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. C - EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (GLO. 1). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

MATERIAL

FINISH

| | | | |
|----|---|---|--|
| 1 | CORRUGATED METAL CLADDING | A | COLOR TO MATCH FRAZEE BRUSH "STONE CISTERN" |
| 2 | STANDING SEAM METAL ROOF/CANOPY/COPING | B | COLOR TO MATCH FRAZEE GUDOW "RAIN SHIPPER" |
| 3 | FLUSH PANEL METAL CLADDING | C | COLOR TO MATCH FRAZEE 1918A "TANKERINE" |
| 4 | SIGNAGE BY OTHERS | D | COLOR TO MATCH FRAZEE ACISH "TOMATILLO" |
| 5 | LIGHT DASH PLASTER FINISH | E | COLOR TO MATCH FRAZEE GUDOW "SEA CLOUD" |
| 6 | HEAVY DASH PLASTER FINISH | F | COLOR TO MATCH FRAZEE GUDOW "SEA CLOUD" |
| 7 | METAL REVEAL | G | ANGELUS BLOCK "WARM GREY" |
| 8 | ALUMINUM STOREFRONT | H | "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 | EXPOSED STRUCTURAL STEEL COLUMNS + FRAMING, PAINTED | I | "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 | CONCRETE COLUMN BASE | J | CLEAR ANODIZED |
| 11 | RECESSED LIGHTS | K | MATCH COLOR TO ADJACENT SURFACE |
| 12 | CENTER IDENTIFICATION SIGN TOWER | L | |
| 13 | CORRUGATED METAL PANEL/CANOPY/ROOF | M | |
| 14 | TUBULAR STEEL HORIZONTAL BASE | N | |
| 15 | STEEL ROLL-UP DOOR | O | |
| 16 | HOLLOW METAL DOOR | P | |
| 17 | METAL LOUVERS | Q | |

NOTES

1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TYPED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TYPED UNO.
2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
3. ROOFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

- G FLOOD LIGHT
- H ACORCE 1
- C WALL PACK WITH BACK-UP BATTERY
- I ACORCE 3
- F WALL PACK WITHOUT BACK-UP BATTERY
- F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

XLTOLEND 03/04 SCALE: NTS

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REVISIONS

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Perkowitz + Ruth Architects
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3500 Harvard Hughes Parkway, Suite 400, Las Vegas, NV 89103
Tel: (702) 892-5500

PROJECT: **CHARLESTON FESTIVAL**
NEC of Charleston Blvd. & Torrey Pines
Las Vegas, NV

ISSUE DATE: 03/03/23
JOB NUMBER: 03/03/23
PLOT DATE: 03/03/23
DRAWN BY: TEAM
SHEET TITLE: BLDG. C ELEVATIONS
SHEET NO.

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SDR-6023

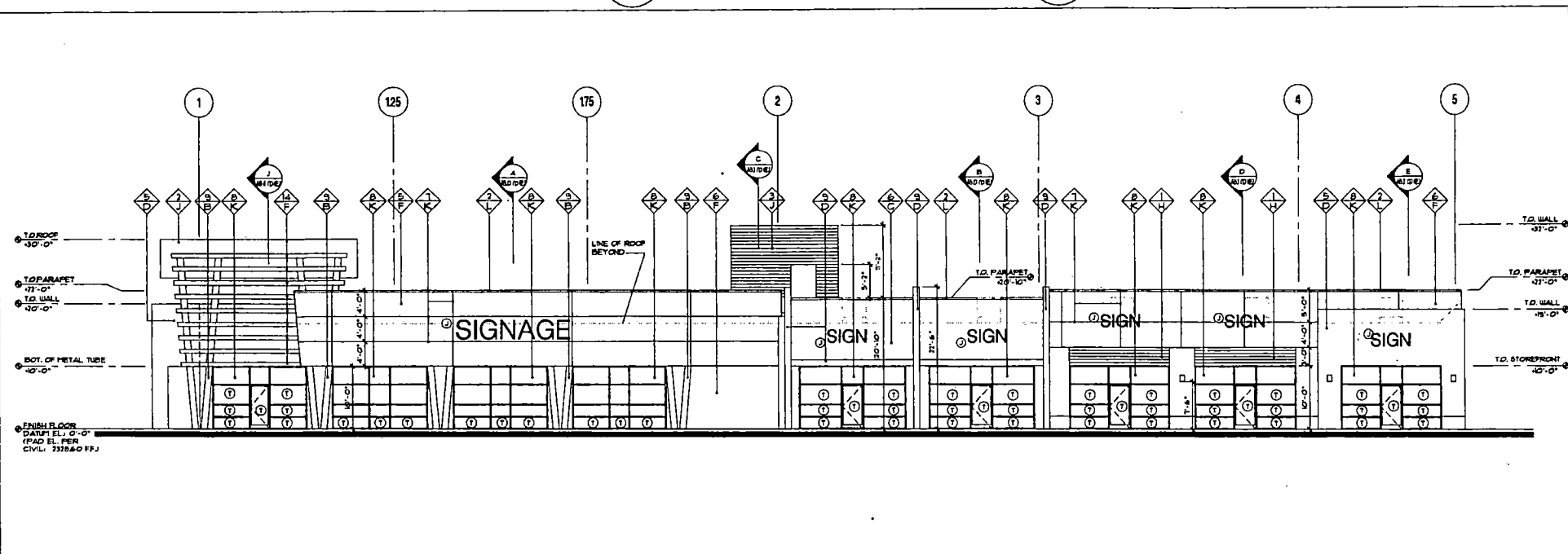
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REVISED

SCALE: 1/8" = 1'-0"

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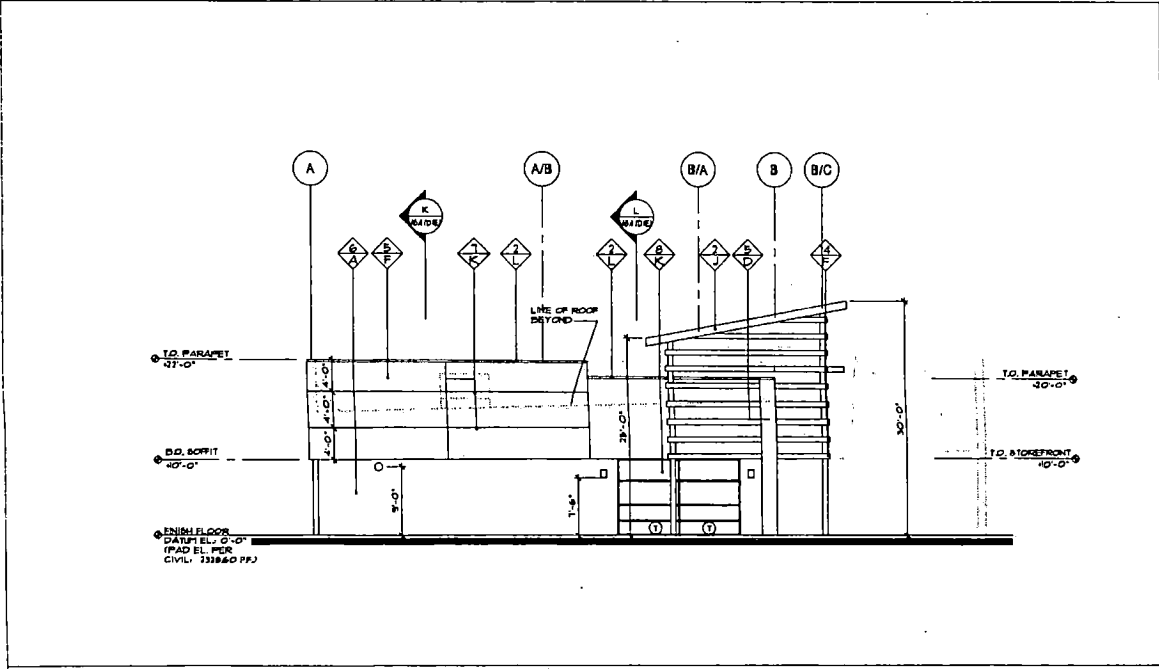


BLDG D & E -- NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (U.O.N.). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

A



BLDG. D & E -- EAST ELEVATION

| | |
|---|-----------------------------------|
| G | FLOOD LIGHT |
| H | SCONCE 1 |
| C | WALL PACK WITH BACK-UP BATTERY |
| I | SCONCE 3 |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

EXTERIOR LIGHTING LEGEND

XLG/LEGEND 12/13/04 SCALE: NTS

SDR-6023

| MATERIAL | FINISH |
|---|--|
| 1 CORRUGATED METAL CLADDING | COLOR TO MATCH PRAIZE 883W "STONE CISTERN" |
| 2 STANDING SEAM METAL ROOF/CANOPY/COPING | COLOR TO MATCH PRAIZE 0000W "RAIN SHIPMENT" |
| 3 FLUSH PANEL METAL CLADDING | COLOR TO MATCH PRAIZE 1375-A "TANGIERNE" |
| 4 SIGNAGE BY OTHERS | COLOR TO MATCH PRAIZE 0000W "TANGIERNE" |
| 5 LIGHT DASH PLASTER FINISH | COLOR TO MATCH PRAIZE 0000W "TANGIERNE" |
| 6 HEAVY DASH PLASTER FINISH | COLOR TO MATCH PRAIZE 0000W "TANGIERNE" |
| 7 METAL REVEAL | ANGELUS BLOCK "HARTY DREY" |
| 8 ALUMINUM STOREFRONT | "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & FRAMING, PAINTED | "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE | CLEAR ANODIZED |
| 11 RECESSED LIGHTS | MATCH COLOR TO ADJACENT SURFACE |
| 12 CENTER IDENTIFICATION SIGN TOWER | |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF | |
| 14 TUBULAR STEEL HORIZONTAL BASE | |
| 15 STEEL ROLL-UP DOOR | |
| 16 HOLLOW METAL DOOR | |
| 17 METAL LOUVERS | |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEPFERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEPFERED UNDO.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- SOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

EXTERIOR FINISH SCHEDULE

10/10/04 SCALE: NONE

REVISIONS

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BULLSEYE C.R.E.

30000 North 20th Ave. Suite 200
Phoenix, AZ 85016
Tel: (602) 944-1400

Perkowitz + Ruth Architects

Architecture / Planning / Store Design

3550 Howard Hughes Parkway, Suite 100, Las Vegas, NV 89109
Tel: (702) 992-8500

CHARLESTON FESTIVAL

NEC of Charleston Blvd. & Tropic Pkwy
Las Vegas, NV

PROJECT: CHARLESTON FESTIVAL

ISSUE DATE: 03/03/25

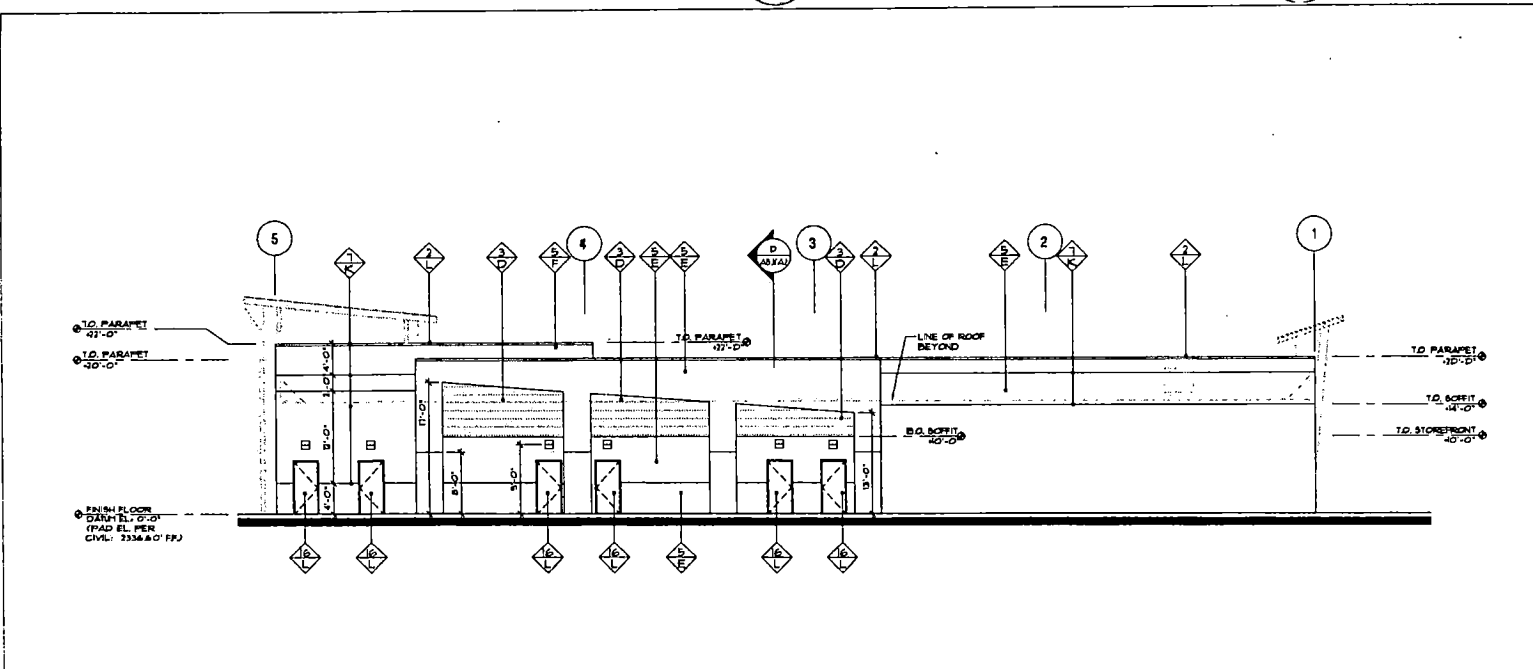
JOB NUMBER: 03/03/25

PLOT DATE: 03/03/25

DESIGNED BY: TEAM

SHEET TITLE: BLDG D & E ELEVATIONS

SHEET NO. A4.0(D&E)



BUILDING A -- NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (U2N1) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

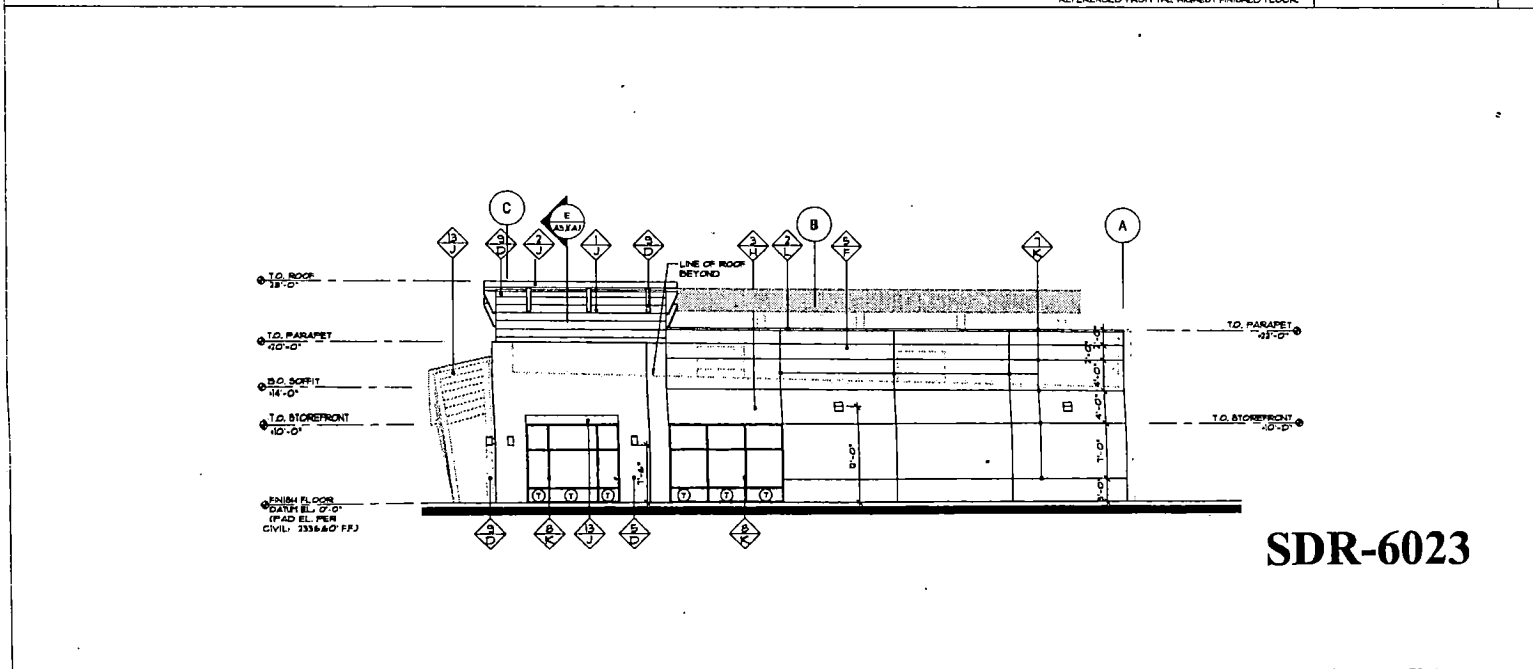
SCALE: 1/8" = 1'-0"

C

| MATERIAL | FINISH |
|---|--|
| 1 CORRUGATED METAL CLADDING | A COLOR TO MATCH FRAZEE 881W "STONE CISTERN" |
| 2 STANDING SEAM METAL ROOF/CANOPY/COPING | B COLOR TO MATCH FRAZEE CUCCOW "RAIN SHEDDER" |
| 3 FLUSH PANEL METAL CLADDING | C COLOR TO MATCH FRAZEE 1318A "TANGERINE" |
| 4 SKINAGE BY OTHERS | D COLOR TO MATCH FRAZEE ACION "TOMATILLO" |
| 5 LIGHT DASH PLASTER FINISH | E COLOR TO MATCH FRAZEE 851W "HALATION" |
| 6 HEAVY DASH PLASTER FINISH | F COLOR TO MATCH FRAZEE CUCCOW "SEA CLOUD" |
| 7 METAL REVEAL | G ANGELUS BLOCK "WART OREY" |
| 8 ALUMINUM STOREFRONT | H "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & BRACING, PAINTED | I "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE | K CLEAR ANODIZED |
| 11 RECESSED LIGHTS | L MATCH COLOR TO ADJACENT SURFACE |
| 12 CENTER IDENTIFICATION SIGN TOLER | M |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF | N |
| 14 TUBULAR STEEL HORIZONTAL BASE | O |
| 15 STEEL ROLL-UP DOOR | P |
| 16 HOLLOW METAL DOOR | Q |
| 17 METAL LOUVERS | R |

NOTES

1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TYPED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TYPED WND.
2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS
3. BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR



BUILDING A -- EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (U2N1) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

D

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|---|-----------------------------------|
| G | FLOOD LIGHT |
| H | SCENCE 1 |
| C | WALL PACK WITH BACK-UP BATTERY |
| I | SCENCE 3 |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

EXTERIOR LIGHTING LEGEND

XTLEGEND 07/10/14 SCALE: NTS

3

SDR-6023

TITLE

DRAWING DIS

REVISED

SCALE: 1/8" = 1'-0"

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| REVISIONS |
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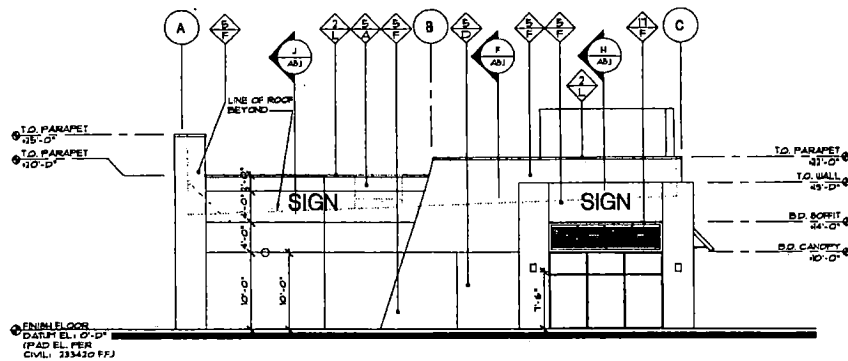
BULLSEYE C.R.E.
3800 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109
Tel: (702) 892-8800

Perkowitz+Ruth Architects
Architecture/Planning/Store Design
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Tel: (702) 892-8800

PROJECT: **CHARLESTON FESTIVAL**
NEC of Charleston Blvd. & Tommy Pham
Las Vegas, NV

ISSUE DATE: 02/03/15
JOB NUMBER: 02/03/15
PLOT DATE: 02/03/15
DRAWN BY: TEAM
SHEET TITLE: BUILDING A ELEVATIONS
SHEET NO.

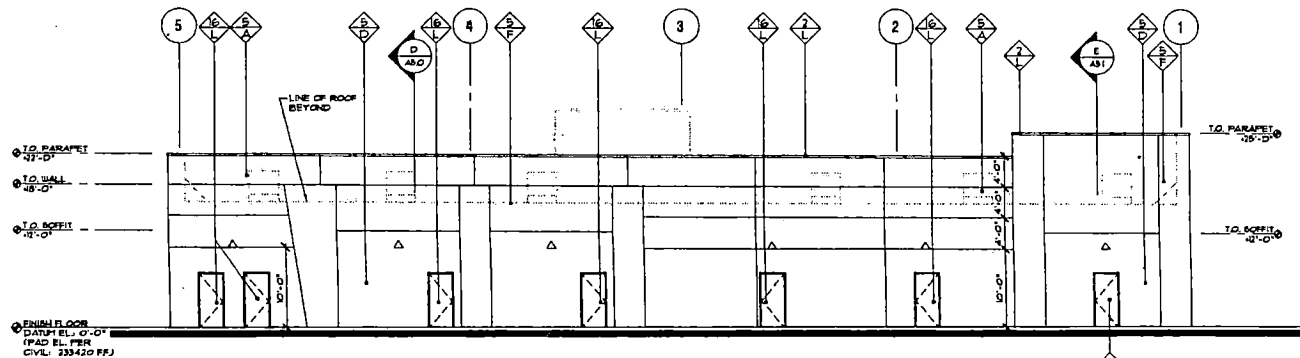
A4.1(A)



BLDG. B - SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UNLESS NOTED). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. B - WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UNLESS NOTED). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

| MATERIAL | FINISH |
|---|--|
| 1 CORRUGATED METAL CLADDING | A COLOR TO MATCH PRAIZE BEHN "STONE CISTERN" |
| 2 STANDING SEAM METAL ROOF/CANOPY/COFFING | B COLOR TO MATCH PRAIZE CLOUTIER "RAIN SHUTTER" |
| 3 FLUSH PANEL METAL CLADDING | C COLOR TO MATCH PRAIZE 1978A "TANGERINE" |
| 4 SIGNAGE BY OTHERS | D COLOR TO MATCH PRAIZE ACTION "TOMATILLO" |
| 5 LIGHT DASH PLASTER FINISH | E COLOR TO MATCH PRAIZE BEHN "MILK" |
| 6 HEAVY DASH PLASTER FINISH | F COLOR TO MATCH PRAIZE CLOUTIER "SEA CLOUD" |
| 7 METAL REVEAL | G ANGELOUS BLOCK "WASH GREY" |
| 8 ALUMINUM STOREFRONT | H "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & BRACING, PAINTED | I "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE | K CLEAR ANODIZED |
| 11 RECESSED LIGHTS | L MATCH COLOR TO ADJACENT SURFACE |
| 12 CENTER IDENTIFICATION SIGN TOWER | M |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF | N |
| 14 TUBULAR STEEL HORIZONTAL BASE | O |
| 15 STEEL ROLL-UP DOOR | P |
| 16 HOLLOW METAL DOOR | Q |
| 17 METAL LOUVERS | R |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED WING.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- SOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

- G FLOOD LIGHT
- H ACORCE 1
- C WALL PACK WITH BACK-UP BATTERY
- I ACORCE 3
- F WALL PACK WITHOUT BACK-UP BATTERY
- F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

XLG LEGEND 0/3/04 SCALE: NTS

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TITLE

DRAWING DWS

REVISED BY SCALE: X-KKX X'

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| REVISIONS |
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BULLSEYE C.E.

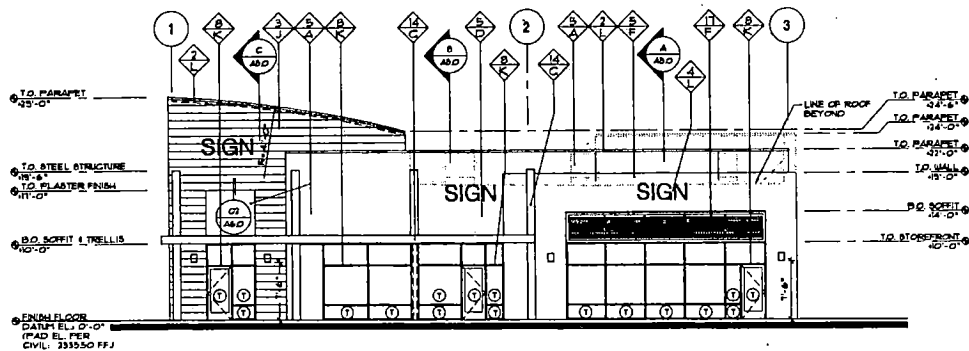
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Perkowitz + Ruth Architects
Architecture/Planning/Store Design

CHARLESTON FESTIVAL
NEC of Charleston Blvd. & Torrey Pines
Las Vegas, NV

ISSUE DATE:
JOB NUMBER
PLOT DATE:
DRAWN BY:
SHEET TITLE:
BLDG. #
ELEVATIONS
SHEET NO.

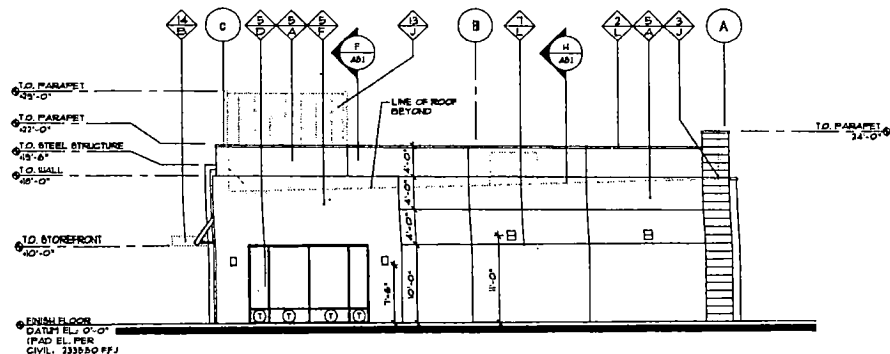
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BLDG. C - SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (U.O.). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. C - WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (U.O.). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

| MATERIAL | FINISH |
|--|--|
| CORRUGATED METAL CLADDING | COLOR TO MATCH PRAIZE 8852 'STONE CISTERN' |
| STANDING SEAM METAL ROOF/CANOPY/GOPING | COLOR TO MATCH PRAIZE 8852 'MAIN SHUTTER' |
| FLUSH PANEL METAL CLADDING | COLOR TO MATCH PRAIZE 1315A 'TANGIERINE' |
| SIGNAGE BY OTHERS | COLOR TO MATCH PRAIZE ACISH 'TOPATILLO' |
| LIGHT DASH PLASTER FINISH | COLOR TO MATCH PRAIZE 8852 'HALATION' |
| HEAVY DASH PLASTER FINISH | COLOR TO MATCH PRAIZE 8852 'SEA CLOUD' |
| METAL REVEAL | ANGELUS BLOCK 'WARM GREY' |
| ALUMINUM STOREFRONT | 'DARK BRONZE' BY BERRIDGE MANUFACTURING CO. |
| EXPOSED STRUCTURAL STEEL COLUMN & BRACING, PAINTED | 'CLEAR ANODIZED' BY BERRIDGE MANUFACTURING CO. |
| CONCRETE COLUMN BASE | CLEAR ANODIZED |
| RECESSED LIGHTS | MATCH COLOR TO ADJACENT SURFACE |
| CENTER IDENTIFICATION SIGN TOWER | |
| CORRUGATED METAL PANEL/CANOPY/ROOF | |
| TERRAZZO STEEL HORIZONTAL BASE | |
| STEEL ROLL-UP DOOR | |
| HOLLOW METAL DOOR | |
| METAL LOUVERS | |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TYPED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TYPED UNO.
- SEE ROOF PLAN FOR TOP OF ROOFING HEIGHTS.
- ROOFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

- G FLOOD LIGHT
- H SCONCE 1
- C WALL PACK WITH BACK-UP BATTERY
- I SCONCE 3
- F WALL PACK WITHOUT BACK-UP BATTERY
- F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

XLG LEGEND 12/3/04 SCALE: NTS

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| OWNER |
| BULLSEYE C.R.E. |
| PROJECT NUMBER: 09-40125 |
| DATE: 12/3/04 |
| APPROVED BY: [Signature] |
| DATE: 12/3/04 |

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| PROJECT |
| CHARLESTON FESTIVAL |
| NEC of Charleston Blvd. & Tenny Pkwy |
| Las Vegas, NV |

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| ARCHITECT |
| Perkowitz + Ruth Architects |
| Architecture/Planning/Store Design |
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| Tel: (702) 882-8500 |

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| PROJECT |
| CHARLESTON FESTIVAL |
| NEC of Charleston Blvd. & Tenny Pkwy |
| Las Vegas, NV |

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| Las Vegas, NV |

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| Las Vegas, NV |

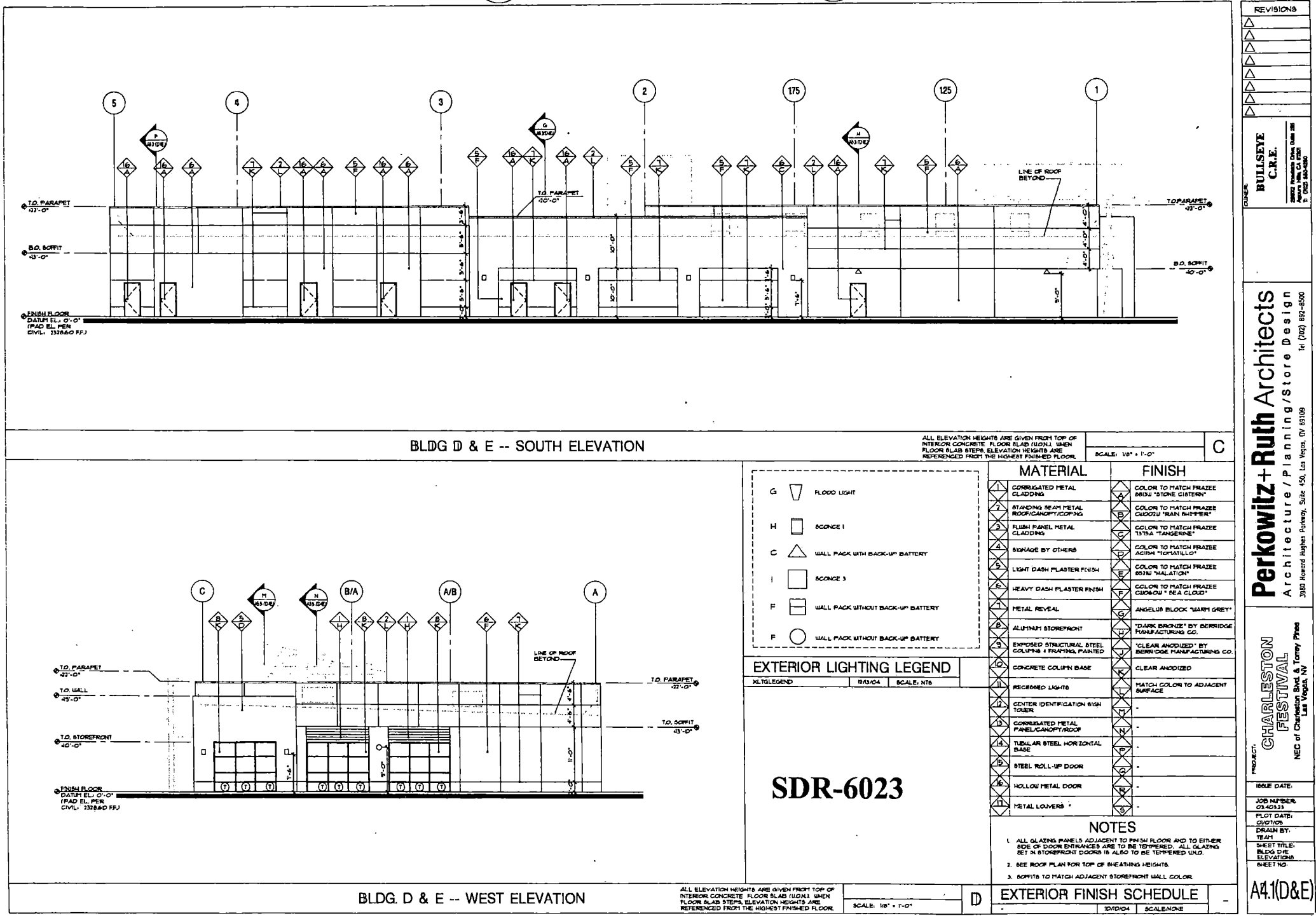
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| NEC of Charleston Blvd. & Tenny Pkwy |
| Las Vegas, NV |



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OWNER

BULLSEYE C.R.E.

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Fax: 702.333.1112

PROJECT

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PROJECT

CHARLESTON FESTIVAL
NEC of Charleston Blvd & Tropic Pkwy
Las Vegas, NV

ISSUE DATE

03/03/13

JOB NUMBER

03/03/13

PLOT DATE

03/03/13

DRAWN BY

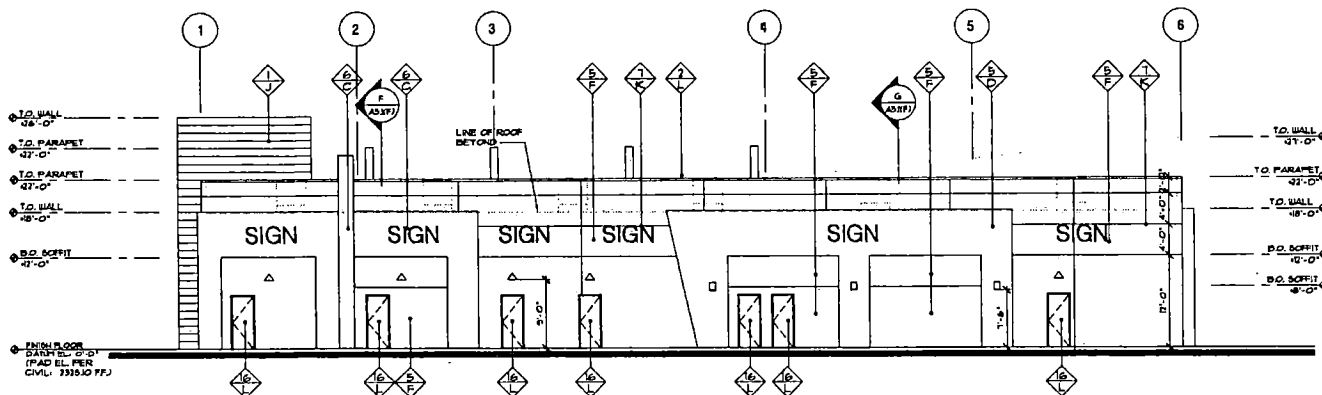
TEAM

SHEET TITLE

BLDG D & E ELEVATIONS

SHEET NO

A4.1(D&E)

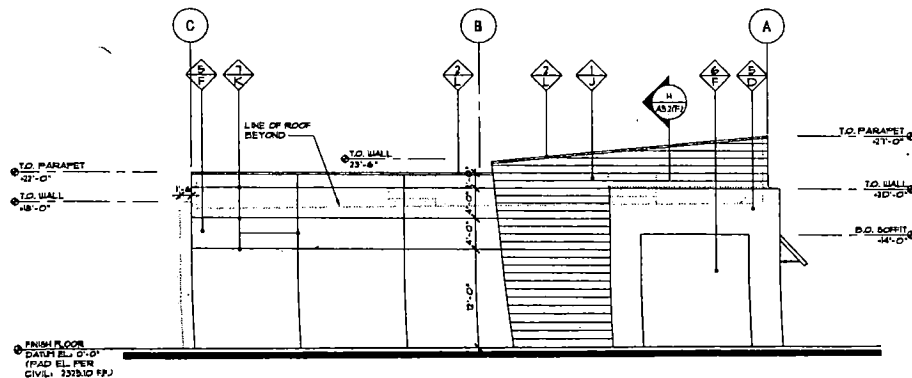


BUILDING F -- SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (100N). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

C



BUILDING F -- EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (100N). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

D

TITLE

DRAWINGS

PROJECT: SCALE: 1/8" = 1'-0"

MATERIAL

FINISH

| | | | |
|----|---|---|--|
| 1 | CORRUGATED METAL CLADDING | A | COLOR TO MATCH FRAZER 8810U "STONE CISTERN" |
| 2 | STANDING SEAM METAL ROOF/CANOPY/COPING | B | COLOR TO MATCH FRAZER 8810U "RAIN SHIFTER" |
| 3 | FLUSH PANEL METAL CLADDING | C | COLOR TO MATCH FRAZER 1318A "TANGIERNE" |
| 4 | SIGNAGE BY OTHERS | D | COLOR TO MATCH FRAZER 1318A "TANGIERNE" |
| 5 | LIGHT DASH PLASTER FINISH | E | COLOR TO MATCH FRAZER 8810U "HALATION" |
| 6 | HEAVY DASH PLASTER FINISH | F | COLOR TO MATCH FRAZER 8810U "HALATION" |
| 7 | METAL REVEAL | G | ANGELUS BLOCK "HART GREY" |
| 8 | ALUMINUM STOREFRONT | H | "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 9 | EXPOSED STRUCTURAL STEEL COLUMNS & BRACING, PAINTED | I | "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 | CONCRETE COLUMN BASE | J | CLEAR ANODIZED |
| 11 | RECESSED LIGHTS | K | MATCH COLOR TO ADJACENT SURFACE |
| 12 | CENTER IDENTIFICATION SIGN TOWER | L | |
| 13 | CORRUGATED METAL PANEL/CANOPY/ROOF | M | |
| 14 | TUBULAR STEEL HORIZONTAL BASE | N | |
| 15 | STEEL ROLL-UP DOOR | O | |
| 16 | HOLLOW METAL DOOR | P | |
| 17 | METAL LOUVERS | Q | |

NOTES

1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TYPED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TYPED UNDO.
2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
3. SCOFFS TO MATCH ADJACENT STOREFRONT WALL COLOR.

- G FLOOD LIGHT
- H SCENCE 1
- C WALL PACK WITH BACK-UP BATTERY
- I SCENCE 3
- F WALL PACK WITHOUT BACK-UP BATTERY
- F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

SCALE: 1/8" = 1'-0"

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REVISIONS

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Tel: (702) 892-8500

CHARLESTON FESTIVAL
NEC of Charleston Blvd & Toney Plaza
Las Vegas, NV

ISSUE DATE:
JOB NUMBER:
PLOT DATE:
DRAWN BY:
TEAM:
SHEET TITLE:
BUILDING F ELEVATIONS
SHEET NO.

A4.1(F)



SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY
MARCH 24, 2005 PLANNING COMMISSION

02/22/05



SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY
MARCH 24, 2005 PLANNING COMMISSION

02/22/05

REVISED

MEMORANDUM

Date: January 24, 2005
To: **CITY OF LAS VEGAS**
PLANNING AND DEVELOPMENT DEPARTMENT
From: Deborah McCutchen
Project: **CENTENNIAL BUSINESS PARK** Project No.: 03-403
APN: 138-35-801-002 and 138-35-803-001
New parcel: 138-35-403-005
Re: **ADMINISTRATIVE REVIEW:** File No.: 5.1
Justification Letter
Related to: SDPR #3790 and SUP #3815

Perkowitz+Ruth Architects, on behalf of Charleston Festival, LLC, respectfully request Administrative Design Review approval for site revisions after approval of SPDR #3790. The site, a 10-acre parcel located is on the north side of Charleston Blvd, east of Torrey Pines, opposite the Community College of Southern Nevada is zoned C-1. The proposed uses on this site are a neighborhood market anchor in addition to commercial/retailers and restaurants.

We respectfully request approval of the following site changes: east property line adjustment based on boundary survey, addition of .45 acres at the northwest corner of the property and buildings that have moved and changed in size. The total building square footage has decreased from 101,000 down to 94,978 square foot.

Included for your review and approval with the building elevations are the exterior elevations of the Wal-market for this location and a building height profile showing that they will have a 22' building height where 30' is allowed. In addition to the 6' decorative block wall at the property line, Wal-Mart will provide a 10' screen wall at the loading dock.

The proposed site plan changes will not adversely affect the surrounding neighborhood. The site plan allows for required Fire Department access and turn radiuses and ingress and egress.

Document13
NB-MEMO (r. 11/2/00)

Regional Office: 3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109 ♦ (702) 892-8500
Corporate Office: 111 West Ocean Boulevard, 21st Floor, Long Beach, CA 90802 ♦ (562) 628-8000

Objection in part to SDR-6023
Charleston Festival, LLC

by:

Leo Mainwal,
owner of,
adjacent business, building and property

Mr. Pool and Mrs. Patio
6220 W. Charleston Blvd.
Las Vegas, NV 89146

Page 1. Excerpts from Las Vegas Urban Design - Guidelines and Standards

Page 2. Site Plan showing relationship of building "F" to Mr. Pool and Mrs. Patio

Page 3. Bottom picture showing the area that building "F" would stand

Pages 4-5 Pictures of existing development adjacent to Charleston Festival
(with emphasis on existing "Streetscape" along Charleston Blvd.)

Page 6. Previously approved plan on this site showing the feasibility of building
set-back with parking to the front.

Submitted at Planning Commission

Date 3/24/05 Item #13

Excerpts from:

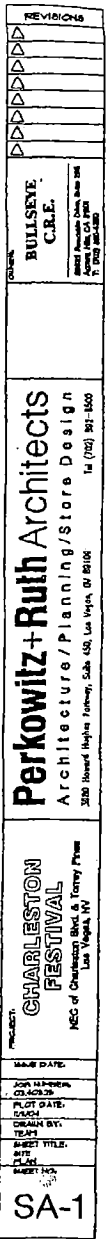
Las Vegas Urban Design - Guidelines and Standards

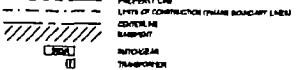
Design Standards (Site Planning):

A site plan should provide for the interrelationship of all the elements on the site and the **coordination of these elements with the existing developments** or natural features **found on the adjacent sites**. The design process should include consideration of the **impact on the City**, the surrounding neighborhood, nearby streets, **and adjacent properties**.

Design Standards (Building Orientation and Siting)

Placement of the building in relation to the surrounding elements is just as important as the design of the building. **The proposed building orientation should respect the orientation of surrounding buildings.**



| | | | | | | | | | | | |
|---|--|-------------|--|--|--|--|--|--|--|--|--|
| 003734-004-0000 | | TOWN/CD | | SCALE: 1" = 50'-0" | | OVERALL SITE PLAN | | 3 | | | |
|  | | DESCRIPTION | | GENERAL NOTES:
HANDICAP PARKING SPACES:
1. SINGLE SPACE - 11'-0" WIDE PROVIDED WITH 5'-0" WIDE PARKING SPACE AND 11'-0" WIDE ACCESS BAY.
2. DOUBLE SPACE - 18'-0" WIDE PROVIDED WITH 11'-0" WIDE PARKING SPACE AND 5'-0" WIDE ACCESS BAY.
3. VAN SPACE - 17'-0" WIDE PROVIDED 5'-0" WIDE PARKING SPACE AND 5'-0" WIDE ACCESS BAY.
4. SLOPE - SLOPE OF SPACE SHALL NOT EXCEED 1:50.
5. PARKING SPACES ARE CONSIDERED PART OF THE ACCESSIBLE ROUTE OF TRAVEL. EACH SPACE SHALL HAVE A SIGN SHOWING THE SYMBOL FOR ACCESSIBILITY LOCATED, SO THAT A PARKED VEHICLE DOES NOT OBSCURE IT.
6. AREAS THAT ARE NOT A PART OF THE PRESENT PROJECT SHALL BE SHOWN DEPICTED AS MAP. | | ACCESSIBLE ROUTE:
NORTH - FRONT LOT WITH AN ACCESSIBLE ROUTE SHALL BE 34'-0" WIDE.
SLOPE - ACCESSIBLE ROUTE SHALL BE A MINIMUM SLOPE OF 1:50 WITH A MAXIMUM CROSS SLOPE OF 3%.
NOTE - AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:50 IS CONSIDERED A "BUMP".
CURB RAMP:
LOCATION - MARKED WITH AN ACCESSIBLE PATH OF TRAVEL.
FORMER A PLANNED CURB.
SLOPE - MINIMUM SLOPE OF ADJACENT SURFACES IS 1:50 SLOPE OF CURB IS A MINIMUM OF 1:10.
SIDES - 18" WIDE PROTRUSION SHALL ACCORDS RAMP, OR IF NOT PROTECTED BY LANDSCAPE OR UNUSUALLY PLANNED AREA WITH A MINIMUM OF 18" AND NECESSARY, SLOPE THERE IS NO PROTRUSION CROSS TRAFFIC, RETURNING CURB MAY BE USED.
WIDTH - 36" MINIMUM WIDE, EXCLUSIVE OF PLANNED WHEEL. | | LAND AREA - 10.21 ACRES (444,889 SF)
BUILDING AREA - 55,288 SF
NOT A PART - 39,690 SF
TOTAL BUILDING AREA - 95,978 SF
LAND/BUILDING RATIO - 4.71 (21%)
PARKING REQUIRED - 538 STALLS
PARKING PROVIDED - 543 STALLS

PARKING REQUIRED BASED UPON THE FOLLOWING:
SHOPPING CENTER (7565 SF) = 1 STALL/100 SF = 311 STALLS
RESTAURANT (15439 SF) = CUSTOMER VEH 50
ALL OTHER 1200 SF = 184 STALLS
DRIVE/THRU = 0.090 GF = 1 STALL/100 SF = 39 STALLS | | REQUIRED BUILDING SETBACKS
FRONT: 20'-0"
SIDES: 10'-0"
REAR: 20'-0"

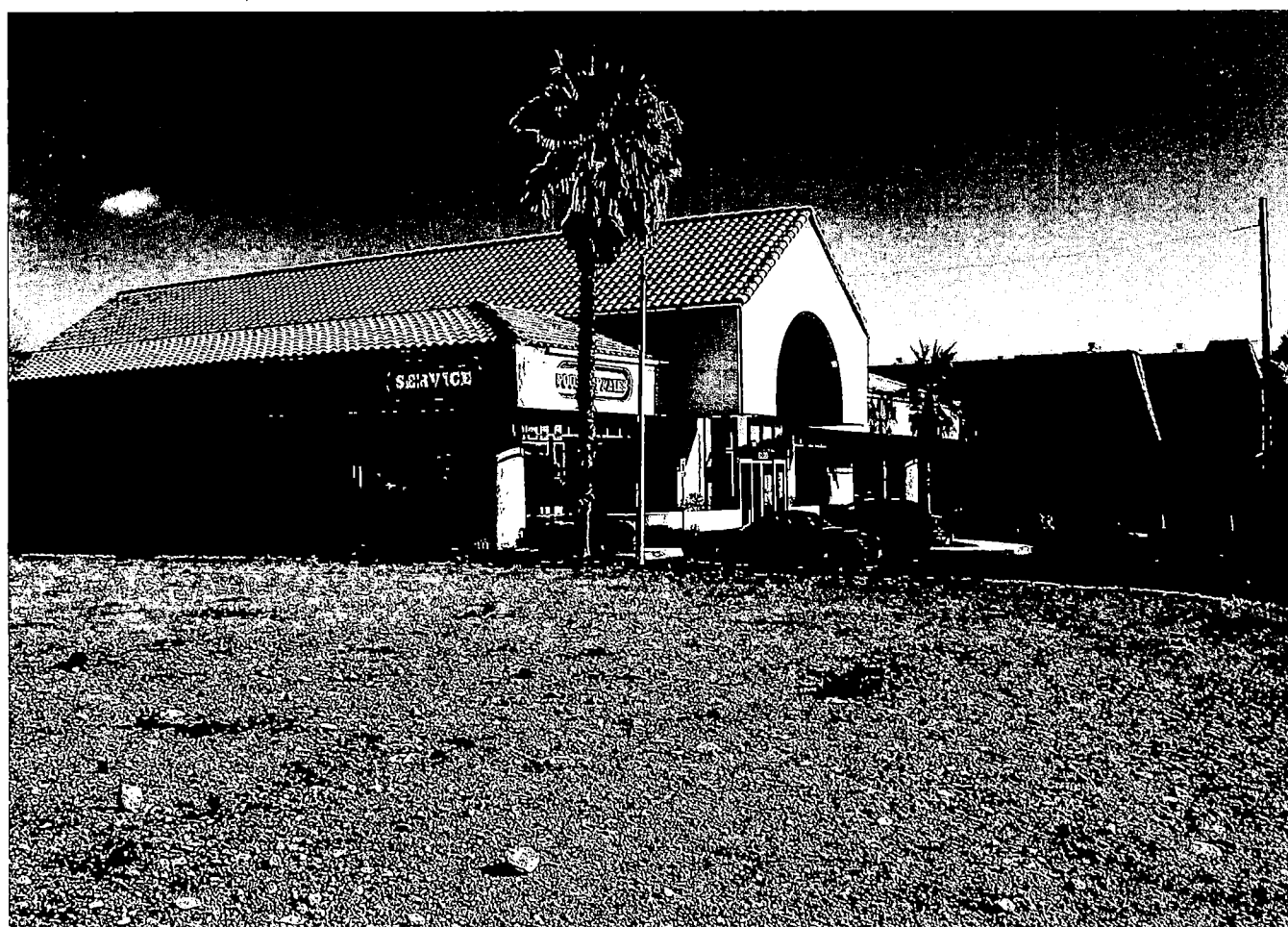
REQUIRED LANDSCAPE SETBACKS
ADJACENT TO STREET: 15'-0"
ADJACENT TO CORNER: 8'-0" | |
| SITE PLAN LEGEND | | TOWN/CD | | SCALE: N/A | | 20 | | SITE PLAN GENERAL NOTES | | | |
| TOWN/CD | | SCALE: N/A | | TOWN/CD | | SCALE: N/A | | 12 | | | |
| SITE PLAN SUMMARY | | TOWN/CD | | SCALE: N/A | | TOWN/CD | | SCALE: N/A | | | |

ROC-5940 2-16-05 CC

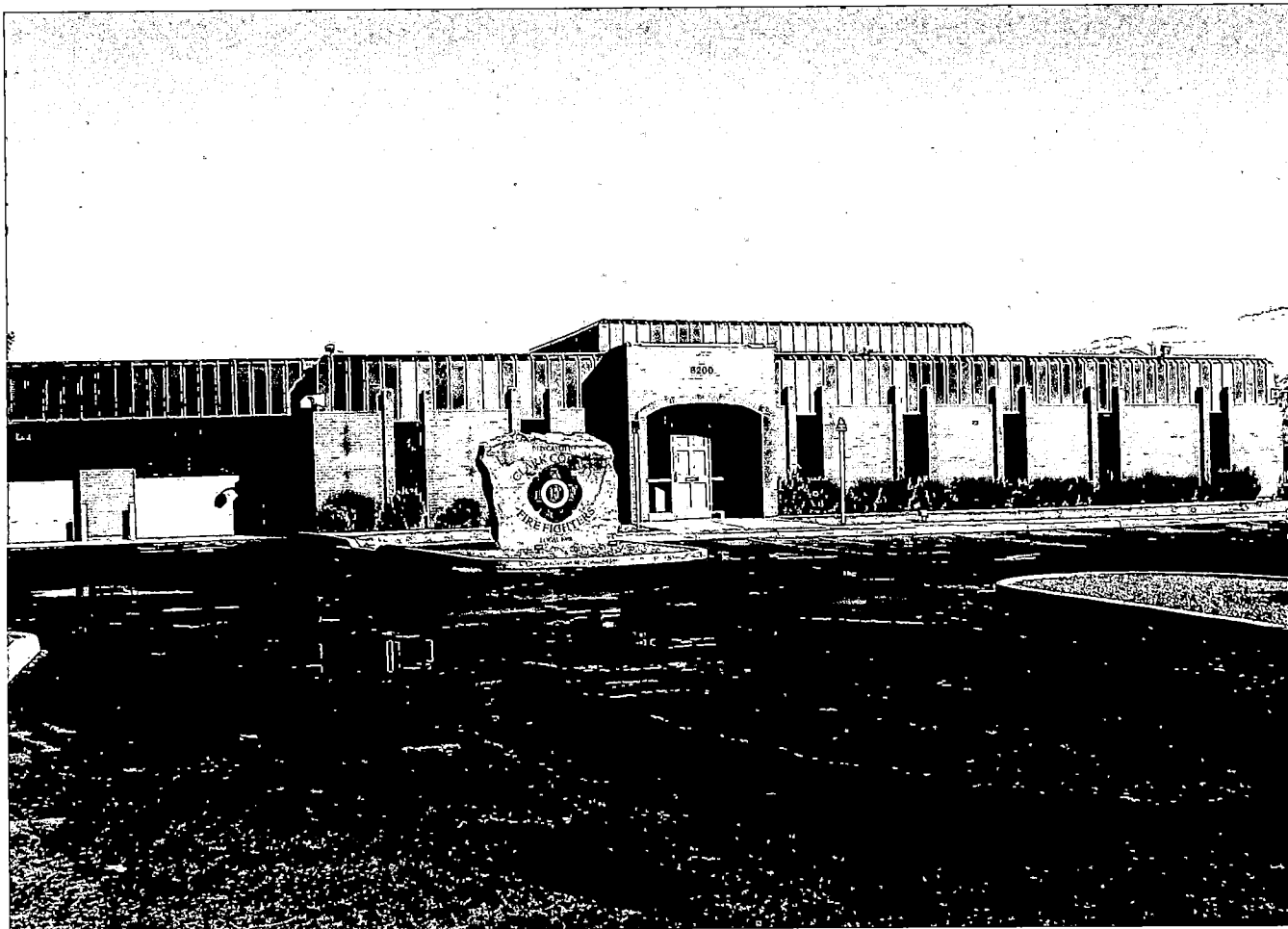
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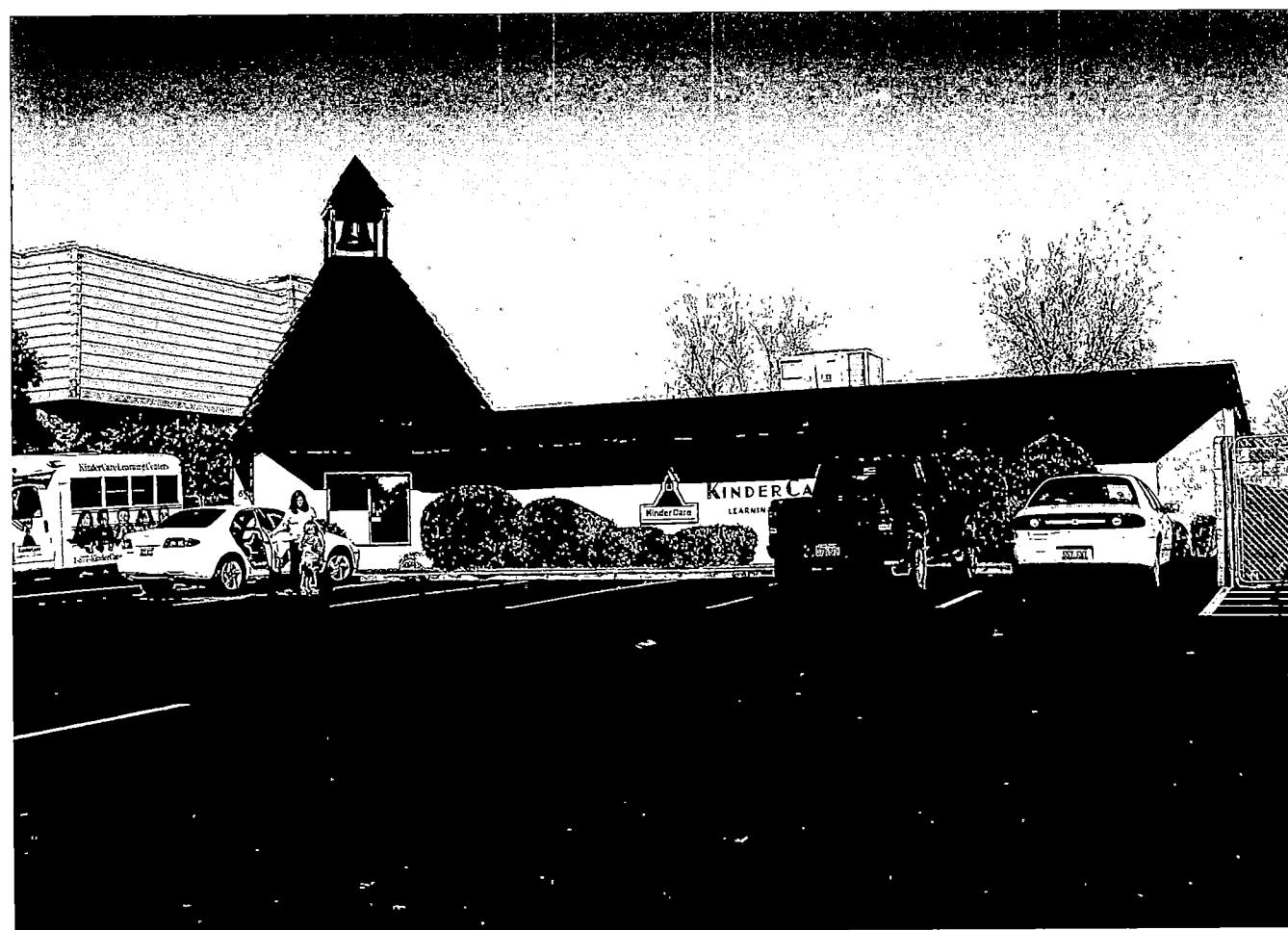
LIBRARY



MR. POOL & MRS. PATIO



CLARK COUNTY



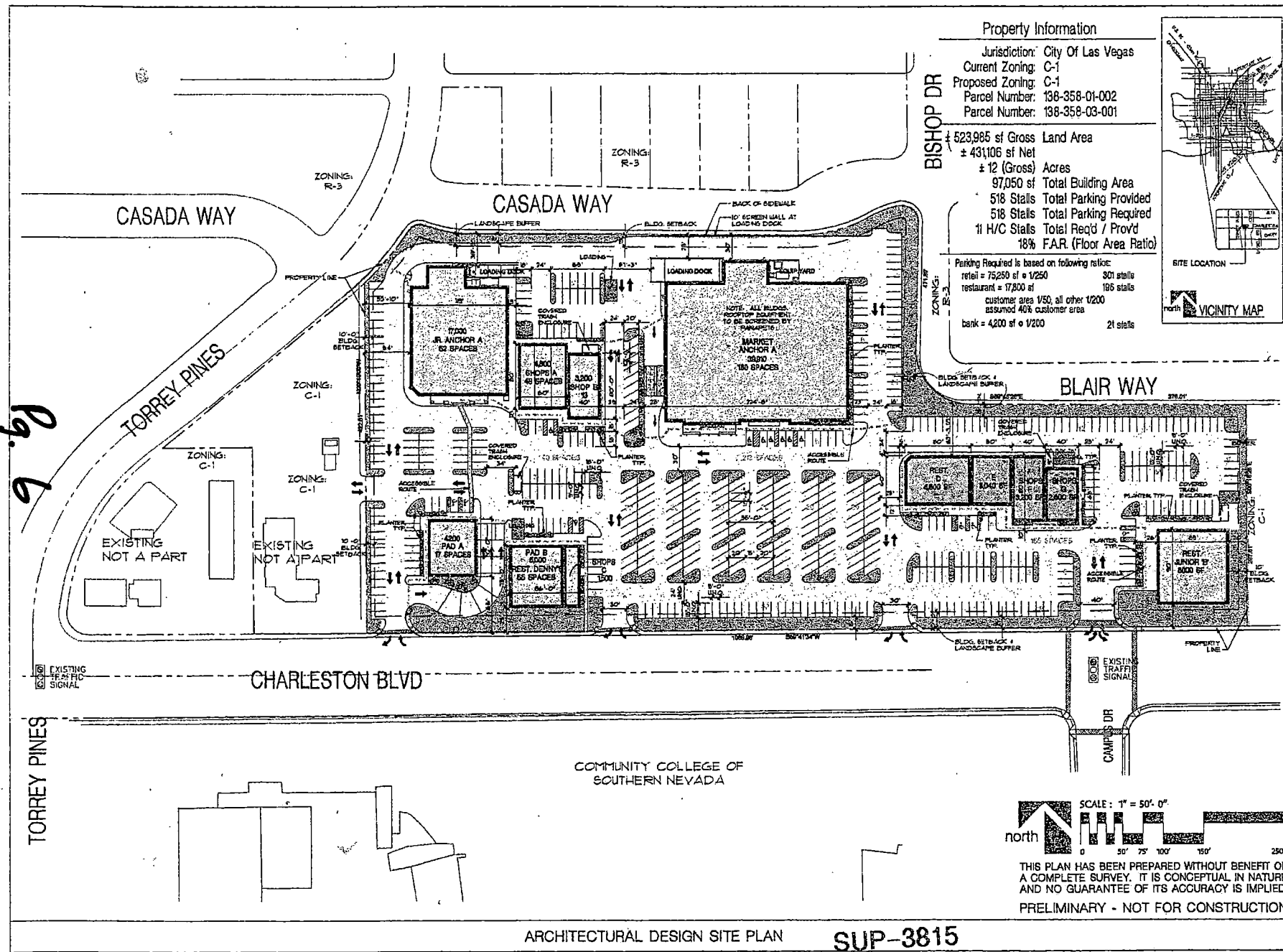
KINDER CARE



CHIROPRACTOR



MR. POOL & MRS. PATIO

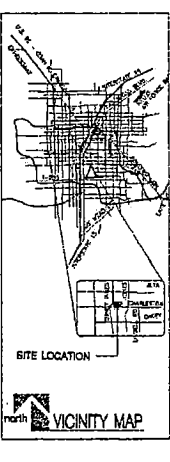


Property Information

Jurisdiction: City Of Las Vegas
Current Zoning: C-1
Proposed Zoning: C-1
Parcel Number: 138-358-01-002
Parcel Number: 138-358-03-001

± 523,985 sf Gross Land Area
± 431,106 sf Net
± 12 (Gross) Acres
97,050 sf Total Building Area
518 Stalls Total Parking Provided
518 Stalls Total Parking Required
11 H/C Stalls Total Req'd / Prov'd
18% F.A.R. (Floor Area Ratio)

Parking Required is based on following ratios:
retail = 75,250 sf @ 1/250 301 stalls
restaurant = 17,800 sf 195 stalls
customer area 1/50, all other 1/200
assumed 40% customer area
bank = 4,200 sf @ 1/200 21 stalls





3860 Howard Hughes Pkwy.
Suite 450
Las Vegas, Nevada 89109
702-696-6530
702-696-6534 fax
www.parchitects.com
Corporate Office
Long Beach, CA
Regional Offices:
Newport Beach, CA
Washington, DC
Las Vegas, NV

BULLSEYE COMMERCIAL
REAL ESTATE
2900 Old Mill Creek Lane
Agua, CA 91901
(619) 455-7966
(619) 679-6937 fax

Perrowe Architects
ARCHITECTS
CHARLESTON BLVD AND TORREY PINES
CHARLESTON FESTIVAL
Las Vegas, Nevada

Revisions

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |

Date: 01/30/04
Drawn By: DLM
Checked By: RJS
Project No: 03-403.11
File Name: 40311-SP1.dwg
Scale: 1" = 100'

SITE PLAN
SA-1

ARCHITECTURAL DESIGN SITE PLAN

SUP-3815
SDR-3790
03-11-04 PC

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

ZON-6100 - REZONING - PUBLIC HEARING - APPLICANT: LAACO, LTD./STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Request for a Rezoning FROM: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION] TO: T-C (TOWN CENTER) [SC-TC (SERVICE COMMERCIAL – TOWN CENTER) SPECIAL LAND USE DESIGNATION] on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way (APN 125-20-402-007), Ward 6 (Mack).

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

APPROVALS RECEIVED BEFORE:

**Planning Commission Mtg.
City Council Meeting**

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions – UNANIMOUS with TRUESDELL excused

To be heard by City Council 4/20/2005

MINUTES:

CHAIRMAN NIGRO declared the Public Hearing open on Item 14 [ZON-6100], Item 15 [VAC-6101], Item 16 [SUP-6099], Item 17 [VAR-6230] and Item 18 [SDR-6097].

GARY LEOBOLD, Planning & Development, gave an overview of the applications and pointed out that the proposed mini storage facility is a permitted use in the Service Commercial – Town Center (SC-TC) district with the approval of a Special Use Permit. There are no developed mini storage facilities in Town Center, other than at Montecito East on Tenaya Way and Azure Avenue, which has not been developed yet. The rezoning request to Town Center is appropriate.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 14 – ZON-6100

MINUTES – Continued:

The proposed mini-storage facility would be adjacent to the northeast corner of Centennial Parkway and Kevin Way. Title 19 limits individual storage compartments to a maximum of 500 square feet, but some of the proposed storage units are 600 square feet. Staff would like the size of the units to comply with the Code.

Regarding the Vacation, the applicant would like to vacate the existing U. S. Government Patent Easements because they are no longer needed in their current configuration. The Vacation would allow for the development of a 91,387 square foot mini-storage facility and parking on this site. The request is appropriate, as the subject easements are not needed and would not result in reduced access or traffic handling capability for the area.

The applicant is providing only 13 percent open space, which is a 35 percent deviation from the standard. Because there is no legal basis for the request, staff recommended denial on the open space request. Because of the denial of the variance, the site plan has to be denied as well. There are a number of waivers to be considered with the site plan request. There is a side yard of three feet where 10 feet is required and a rear yard of three feet where 20 feet is required. As a result, the eight-foot buffer requirement would be reduced. The applicant is asking for 61 percent of lot coverage where 50 percent is the maximum. In addition, staff was just advised by the applicant that additional land is now available on the north and east sides of the subject site, which is sufficient enough to rid the buffer waiver but not the setback requirements.

With the current site plan, staff felt that the proposed development was overbuilt. The design necessitates the variance and waiver requests. If the site were built smaller, it would enable the requirements to be met. As a result, staff recommended denial on these requests. If approved, staff added a condition that required revising the Site Plan that reflected proper design and streetscape of Centennial Parkway, which is a Town Center primary arterial.

ATTORNEY BOB GRONAUER, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, Las Vegas, NV appeared on behalf of the applicant. ATTORNEY GRONAUER gave an overview of the subject site and the applications. He pointed out that the proposed mini storage would act as a good buffer to the zoned Residential property on the west side of Kevin Way and to the south side of Centennial Parkway.

After reviewing staff's recommendations and realizing there was additional land, the applicant would be able to provide the eight-foot landscaping along the north property line and in some areas up to 10 feet. In addition, the applicant would provide additional trees at an average of 15 feet on center along the north property line as well.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 14 – ZON-6100

MINUTES – Continued:

Regarding the setback issues, the rear yard setback requirement is 20 feet from the property line. If the building were moved 20 feet inward, a block wall would have to be built approximately eight feet along the northern property line. As a result, a block wall eight feet away from the landscaping creates dead space, which can become a safety issue.

Regarding the waiver request on the east property line, the side yard setback from the building is 10 feet. By coming in with an additional five feet of landscaping in this area, there would be up to 10 feet of landscaping in some areas, which meets the waiver setback requirement to the building except in areas with architectural pop outs. ATTORNEY GRONAUER also pointed out certain areas on the site plan, such as the eastern elevation along the property lines, that would have pop outs with different colors using the actual buildings themselves.

He continued by stating that the most visible detail noticed when viewing storage facilities is the exterior perimeter, so it would be difficult to determine the amount of lot coverage that exists. The only access to these facilities is for those who are actually leasing one of the storage units. The design of the proposed mini storage exceeds the design on a typical storage facility. In addition, the site is small; therefore, much of the landscaping is on the exterior of the building.

In response to CHAIRMAN NIGRO'S question regarding reducing the size of the storage units, ATTORNEY GRONAUER stated the applicant would comply if it was a Code requirement.

COMMISSIONER McSWAIN pointed out that this use is allowed within Town Center. However, the Code would need to be changed to allow certain exceptions to be part of the standard or there will always be variances. Based on the way the proposed building was set and because some of the requirements were exceeded, it was COMMISSIONER McSWAIN's opinion that the requested Variances were warranted. She would support the application.

COMMISSIONER STEINMAN asked how far the wall of the building on the east side was from the property line to the east. ATTORNEY GRONAUER responded that it would be eight to 10 feet on the north and east property lines, and the buildings would be set back appropriately. He then confirmed for COMMISSIONER STEINMAN that the travel lane through the property would not be eliminated, as the lane was approved by the Fire Department and cannot be altered. For the record, ATTORNEY GRONAUER stated that the building would have to be reduced according to the site plan presented at this meeting, should he find out that the actual footage is less than that of eight to 10 feet.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 14 – ZON-6100

MINUTES – Continued:

COMMISSIONER GOYNES was pleased that the proposed building was two stories and not three stories. As there are only two other adjacent parcels, he did not believe that a precedent would be set for Service Commercial throughout this neighborhood. He commended the applicant on the architectural design and the improved landscaping.

CHAIRMAN NIGRO agreed with COMMISSIONER GOYNES. Since the building would be only two stories, he could support the lot coverage request. ATTORNEY GRONAUER confirmed for CHAIRMAN NIGRO that there would be trees 15 feet on center on the east and north property lines.

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing open on Item 14 [ZON-6100], Item 15 [VAC-6101], Item 16 [SUP-6099], Item 17 [VAR-6230] and Item 18 [SDR-6097].

(6:48 – 7:13)

1-1670

CONDITIONS:

Planning and Development

1. Pursuant to Title 19.06.110, this Rezoning request shall go direct to Ordinance.

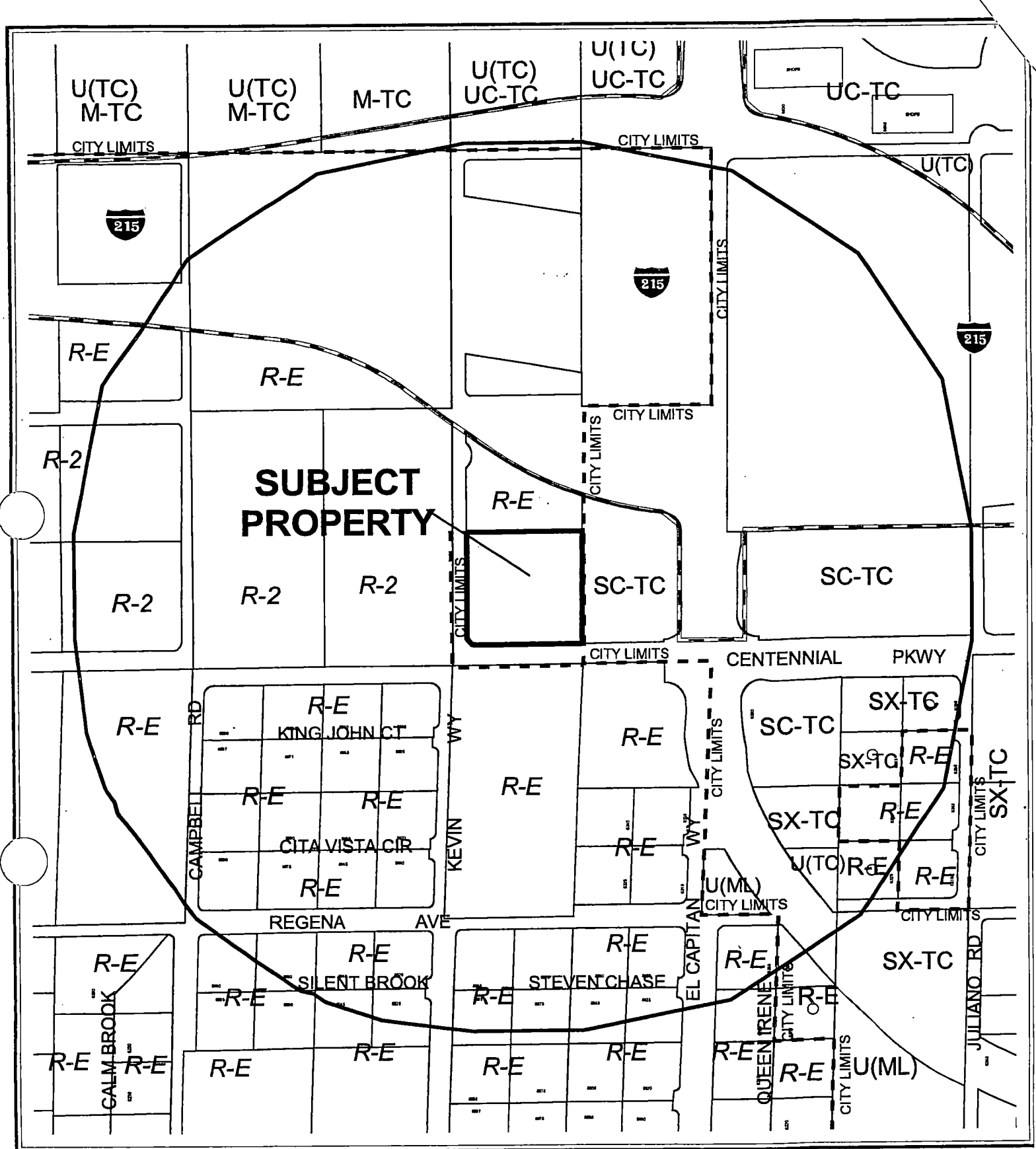
Public Works

2. Dedicate right-of-way required for a bus turnout at the intersection of Centennial Parkway and Kevin Way prior to the issuance of any permits.
3. Construct half-street improvements including appropriate overpaving on Kevin Way and Centennial Parkway adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
4. Extend public sewer in Kevin Way to the northern edge of this site to a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 14 – ZON-6100

CONDITIONS – Continued:

5. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: **ZON-6100**

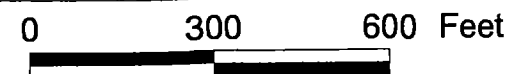
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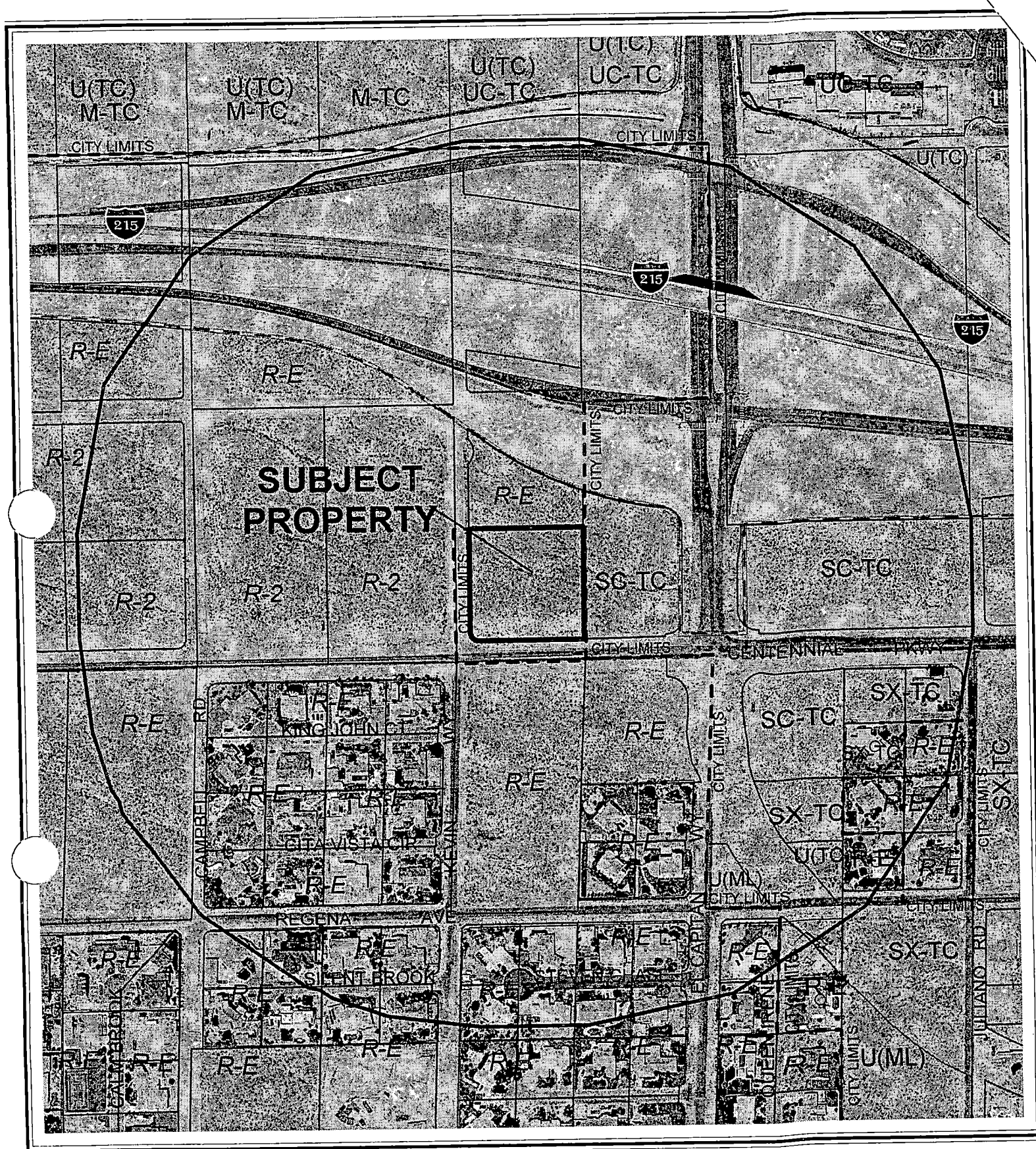
ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [TC (TOWN CENTER) GENERAL PLAN DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER)





0 300 600 Feet

CASE: ZON-6100

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

U (UNDEVELOPED) ZONE [TC (TOWN CENTER) GENERAL PLAN DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER
SPECIAL LAND USE DESIGNATION]



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: ZON-6100 - APPLICANT: LAACO, LTD./ STORAGE
PROPERTIES, INC. - OWNER: PROJECT K, LLC**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

Planning and Development

1. Pursuant to Title 19.06.110, this Rezoning request shall go direct to Ordinance.

Public Works

2. Dedicate right-of-way required for a bus turnout at the intersection of Centennial Parkway and Kevin Way prior to the issuance of any permits.
3. Construct half-street improvements including appropriate overpaving on Kevin Way and Centennial Parkway adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the boundaries of this site prior to construction of hard surfacing (asphalt or concrete).
4. Extend public sewer in Kevin Way to the northern edge of this site to a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
5. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

**** STAFF REPORT ****

APPLICATION REQUEST.

A) Action Requested

This is a request for a Rezoning from U (Undeveloped) [TC (Town Center) General Plan Designation] to T-C (Town Center) [SC-TC (Service Commercial – Town Center) Land Use Designation] on 1.99 acres adjacent to the northeast corner of Centennial Parkway and Kevin Way.

B) Applicant's Justification

The Rezoning request conforms to the General Plan and the Town Center Land Use Plan, which provides for service commercial uses, including the proposed Mini-Storage use. The applicant believes this low-intensity commercial use acts as an appropriate buffer to residential uses to the west, southwest and southeast.

BACKGROUND INFORMATION

A) Related Actions

- 03/16/05 The City Council approved the Annexation (ANX-5674) of approximately 1.99 acres into the city of Las Vegas. The effective date is 03/25/05. Staff recommended approval.
- 03/24/05 The Planning Commission will consider companion applications for a Special Use Permit (SUP-6099) for a proposed Mini-Storage Facility, a Variance (VAR-6230) to allow less than 20 percent open space, a Vacation (VAC-6101) of U.S. Government Patent Easements and a Site Development Plan Review (SDR-6097) for a proposed mini-storage facility and waivers of setbacks, perimeter landscaping and lot coverage requirements on the subject site.
- 04/14/05 The Planning Commission will hear a Petition to Annex (ANX-6173) property located adjacent to the east side of Kevin Way, approximately 340 feet north of Centennial Hills Parkway, containing approximately 1.31 acres. This property is directly north of the subject site and is included in the Town Center Master Development Plan.

B) Pre-Application Meeting

01/20/05 Centennial Parkway must be constructed to Town Center Primary Arterial Standards. Kevin Way will be constructed to non-Town Center standards. Waivers of setback and lot coverage standards according to Title 19 C-1 (Limited Commercial) Commercial Development Standards will be required, since these standards are not included in the Town Center Development Standards Manual. Otherwise, Town Center Development Standards apply. A Mini-Storage Facility is a permitted use in the SC-TC (Service Commercial – Town Center) district with the approval of a Special Use Permit.

DETAILS OF APPLICATION REQUEST

A) Site Area

Gross Acres: 1.99

B) Existing Land Use

Subject Property: Undeveloped
North: Undeveloped
South: Undeveloped (Single-Family Residential to the southwest)
East: Undeveloped
West: Undeveloped

C) Planned Land Use

Subject Property: SC-TC (Service Commercial – Town Center)
North: SC-TC (Service Commercial – Town Center)
South: PF (Public Facilities – Clark County)
East: SC-TC (Service Commercial – Town Center)
West: ML (Medium-Low Density Residential)

D) Existing Zoning

Subject Property: U (Undeveloped) [TC (Town Center) General Plan Designation]
North: R-E (Rural Estates Residential – Clark County Designation)
South: R-E (Rural Estates Residential – Clark County Designation)
East: T-C (Town Center)
West: R-2 (Medium Density Residential – Clark County Designation)

E) General Plan Compliance

The subject property is designated TC (Town Center) on the Centennial Hills Interlocal Land Use Plan. The companion Rezoning to T-C (Town Center) is compatible with this designation, including all the uses permitted within the SC-TC (Service Commercial – Town Center) Special Land Use District.

ZON-6100 - Staff Report Page Three
March 24, 2005 - Planning Commission Meeting

| SPECIAL DISTRICTS/ZONES | Yes | No |
|---|------------|-----------|
| Special Area Plan | X | |
| Centennial Hills Town Center | X | |
| Special Overlay District | | X |
| Trails | | X |
| County/North Las Vegas/HOA Notification | X | |
| Development Impact Notification Assessment | | X |
| Project of Regional Significance | X | |

The subject site is included in the Town Center Master Plan Area and has a land use designation of SC-TC (Service Commercial – Town Center). This district allows low to medium intensity retail, office or other commercial uses intended to serve primarily the Centennial Hills area and do not include more intense general commercial characteristics. The proposal was deemed to be a “Project of Regional Significance” under City Ordinance No. 5477. Affected property owners in unincorporated Clark County within the notification area were notified of the project.

The proposal was deemed to be a “Project of Regional Significance” under City Ordinance No. 5477. Comments received regarding potential impacts to regional resources are detailed under the Special Use Permit staff report.

INTERAGENCY ISSUES

An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities in conjunction with the Special Use Permit application related to this request. A summary of the comments received is included in the staff report for the Special Use Permit.

ANALYSIS

A) General Analysis and Discussion

The subject site is designated SC-TC (Service Commercial – Town Center) on Map 4 (Land Use) of the Town Center Development Standards Manual. This category allows low to medium intensity retail, office or other commercial uses intended to serve primarily the Centennial Hills area and do not include more intense general commercial characteristics. The requested Rezoning to T-C (Town Center) is consistent with this land use designation and furthers the establishment of the planned boundaries of the Town Center district.

FINDINGS

In order to approve a Rezoning application, pursuant to Title 19.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

The General Plan currently designates this site as TC (Town Center) and its associated land uses; therefore, the proposed Rezoning to T-C (Town Center) is appropriate and conforms to the General Plan.

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

Approval of the Rezoning will allow light commercial uses on the subject property, which will be compatible with commercial uses proposed to the north and east. In addition, these uses should not adversely affect residential areas west and southwest of the adjacent rights-of-way. Some uses will require Special Use Permits and their compatibility will be determined on a case-by-case basis through a public hearing process.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

The Town Center area has a need for additional commercial development, especially near the Las Vegas Beltway. The proposed Rezoning is therefore appropriate.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

Centennial Parkway, a wide Town Center Primary (100 foot) Arterial and Kevin Way, an unclassified 60-foot right-of-way, will serve the property. These roadways, once constructed to code standards, will be adequate to meet the needs of the SC-TC (Service Commercial – Town Center) district.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

3

NOTICES MAILED 57 [Mailed with VAR-6230, SUP-6099 and SDR-6097]

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: LAACC Ltd

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes XXXX No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

APN: _____

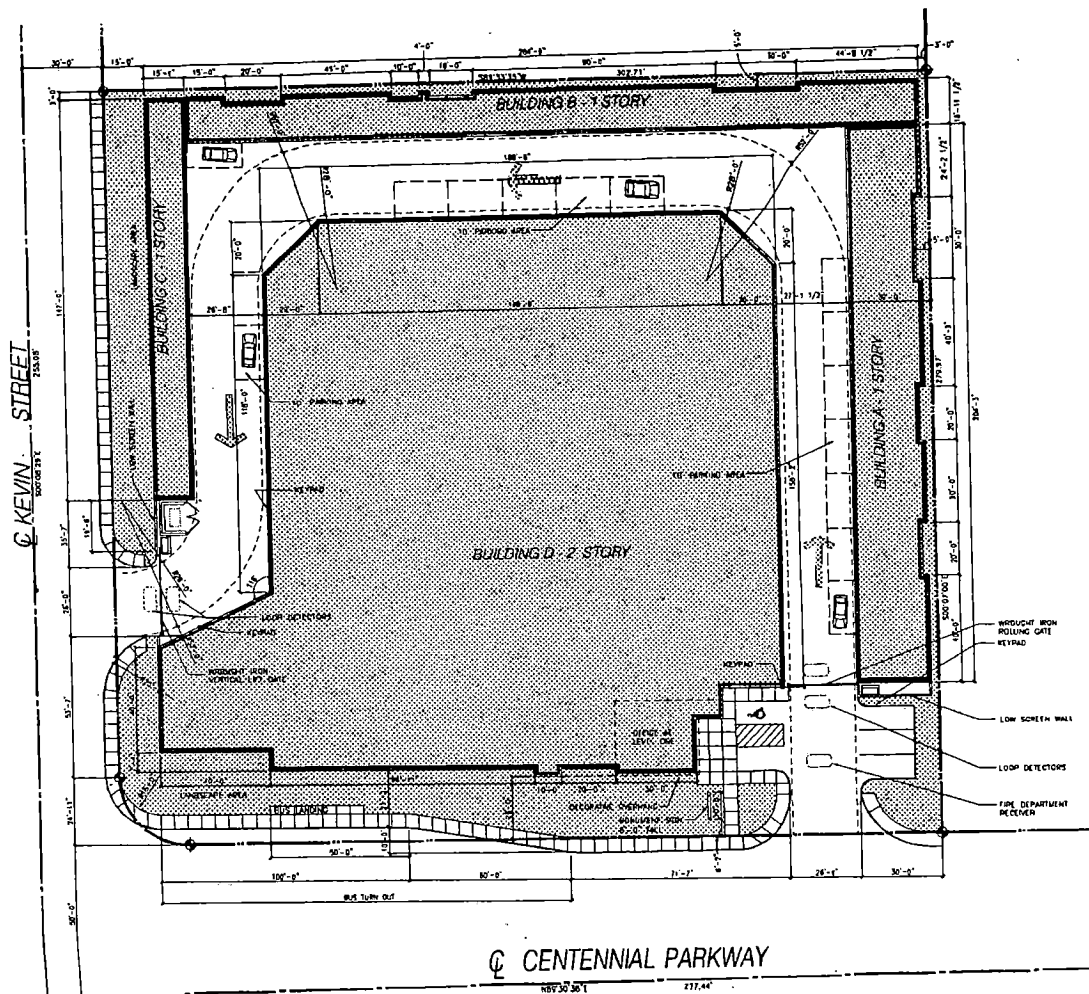
Print Name: Mehdi Cwliaie

Subscribed and sworn before me

Leatrice Wallace
Notary Public in and for said County and State



**STORAGE
WEST
SELF STORAGE**
It's Best in the West!



SITE INFORMATION

SITE INFORMATION

DEVELOPER'S PARCEL NUMBER 121-20-027-027

ZONING - RESIDENTIAL
ZONING - RESIDENTIAL

SITE INFORMATION

SITE AREA 3.57 A.C.
SITE AREA (ACRES) 0.0131 ACRES
LANDSCAPE TREE (1.5') 10.000
LANDSCAPE TREES 10.000
BUILDING FOOTPRINT AREA 51,167 S.F.
BUILDING FOOTPRINT AREA 4,400

BUILDINGS

FOOTPRINT TOTAL AREA

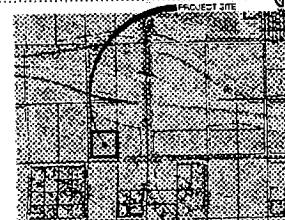
BUILDING 1 1,275 S.F. 1,275 S.F.
BUILDING 2 1,275 S.F. 1,275 S.F.
BUILDING 3 1,275 S.F. 1,275 S.F.
BUILDING 4 1,275 S.F. 1,275 S.F.
TOTAL SQUARE FOOTAGE 51,167 S.F.

PARKING INFORMATION

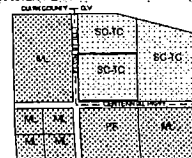
OFFICE PARKING REQUIRED 1,275 S.F.
RECREATION PARKING REQUIRED 1,275 S.F.
TOTAL PARKING REQUIRED 2,550 S.F.

PARKING PROVIDED 2,550 S.F.
RECREATION PARKING PROVIDED 1,275 S.F.
TOTAL PARKING PROVIDED 2,550 S.F.

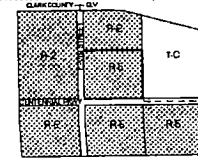
VICINITY MAP



MASTER PLAN



ZONING MAP.



FEB 8 2005



SWISHER & HALL AIA, LIMITED
ARCHITECTS AND PLANNERS
7100 PEAK DRIVE SUITE 100
LAS VEGAS, NEVADA 89166
TEL 702.255.2225 FAX 702.255.6395
www.swishernail.com

ZON-6100
03/24/05 PC

ZONING

Justification Letter

This application is a request to re-zone a 1.94 Acre parcel from RE (Clark County) to SC (Town Center, City of Las Vegas). The applicant, in conjunction with this application submitted an application to annex this property to the City of Las Vegas (ANX-5674 was approved by the Planning Commission on January 13, 2005, and is to be heard by the City Council on February 16, 2005).

○ This application conforms to the master plan which provides for Service Commercial uses. Mini-storage is an allowed use if the application for a Special Use Permit is also approved.

The applicant believes this low intensity commercial use acts as an appropriate buffer to residential uses to the west, southwest, and southeast.

○ The applicant, therefore requests approval of this application.

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

PLANNING COMMISSION MEETING OF: MARCH 24, 2005

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

VAC-6101 - VACATION RELATED TO ZON-6100 - PUBLIC HEARING - APPLICANT: LAACO, LTD/STORAGE PROPERTIES, INC. - OWNER: PROJECT K, LLC - Petition to Vacate U.S. Government Patent Easements generally located north of Centennial Parkway, east of Kevin Way, Ward 6 (Mack).

SET DATE: 04/06/05

C.C.: 04/20/05

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0

RECOMMENDATION:

Staff recommends APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

MOTION:

GOYNES – APPROVED subject to conditions – **UNANIMOUS** with **TRUESDELL** excused

To be heard by City Council 4/20/2005

MINUTES:

See Item 14 for related discussion on Item 14 [ZON-6100], Item 15 [VAC-6101], Item 16 [SUP-6099], Item 17 [VAR-6230] and Item 18 [SDR-6097].

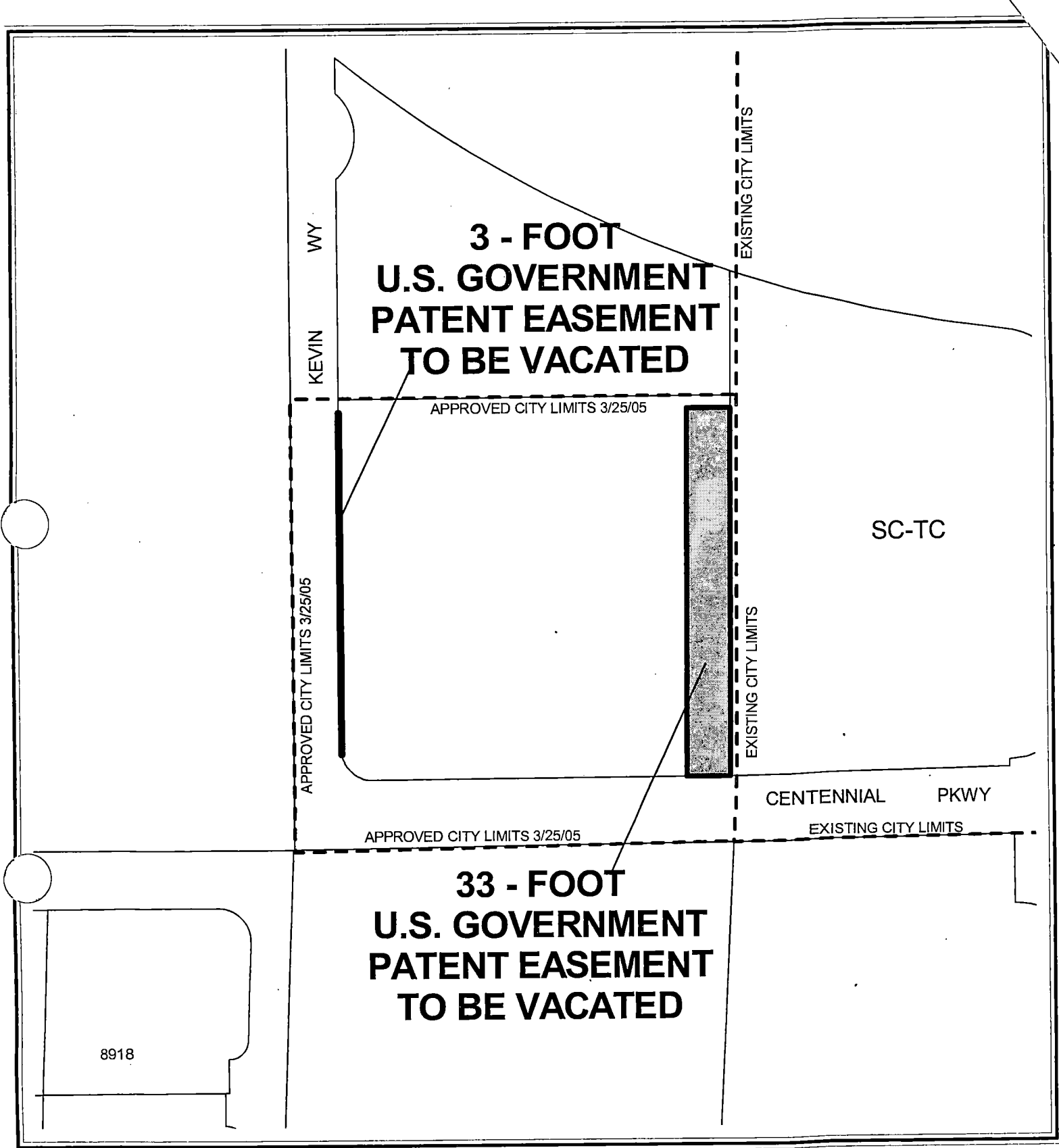
(6:48 – 7:13)

1-1670

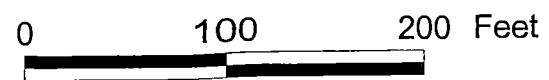
PLANNING COMMISSION MEETING OF MARCH 24, 2005
Planning and Development Department
Item 15 – VAC-6101

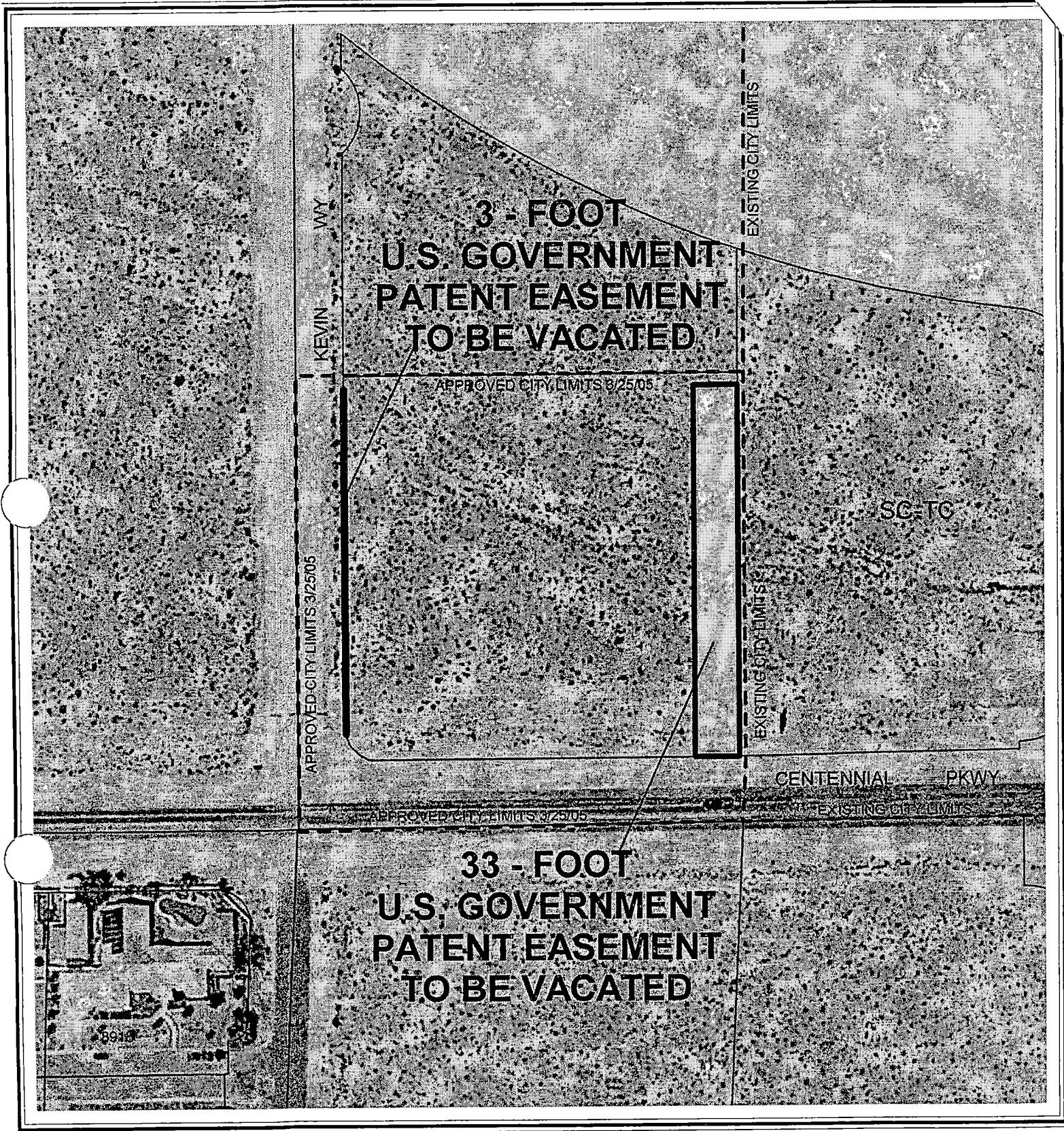
CONDITIONS:

1. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Relinquishment of Interest for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The Drainage Study required with Rezoning application ZON-6100 may be used to satisfy this requirement, provided that the area requested for vacation is addressed within the study.
2. All existing public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Relinquishment of Interest.
3. All development shall be in conformance with code requirements and design standards of all City Departments.
4. The Order of Relinquishment of Interest shall not be recorded until all of the conditions of approval have been met provided, however, that conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way or easement being vacated must be retained.
5. If the Order of Relinquishment of Interest is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.



CASE: VAC-6101





0 100 200 Feet

CASE: VAC-6101



AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 24, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: VAC-6101 - APPLICANT: LAACO, LTD STORAGE
PROPERTIES, INC. - OWNER: PROJECT K, LLC**

**** CONDITIONS ****

STAFF RECOMMENDATION: APPROVAL, subject to:

1. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Relinquishment of Interest for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The Drainage Study required with Rezoning application ZON-6100 may be used to satisfy this requirement, provided that the area requested for vacation is addressed within the study.
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5. If the Order of Relinquishment of Interest is not recorded within one (1) year after approval by the City Council and the Planning and Development Director does not grant an Extension of Time, then approval will terminate and a new petition must be submitted.

**** STAFF REPORT ****

APPLICATION REQUEST

A) Action Requested

This is a Petition to Vacate U.S. Government Patent Easements generally located north of Centennial Parkway, east of Kevin Way.

B) Applicant's Justification

The applicant did not provide justification for the proposed Vacation, although it was acknowledged that the application would be filed in conjunction with the companion applications for Rezoning, Special Use Permit and Site Development Plan Review.

BACKGROUND INFORMATION

A) Related Actions

- 03/16/05 The City Council approved the Annexation (ANX-5674) of approximately 1.99 acres into the city of Las Vegas. The effective date is 03/25/05. The Planning Commission and staff recommended approval.
- 03/24/05 The Planning Commission will consider companion applications for a Rezoning (ZON-6100) from U (Undeveloped) [TC (Town Center) General Plan Designation] to T-C (Town Center) [SC-TC (Service Commercial – Town Center) Special Land Use Designation], a Special Use Permit (SUP-6099) for a proposed Mini-Storage Facility, a Variance (VAR-6230) to allow less than 20 percent open space, and a Site Development Plan Review (SDR-6097) for a proposed mini-storage facility and waivers of setbacks, perimeter landscaping and lot coverage requirements on the subject site.
- 04/14/05 The Planning Commission will hear a Petition to Annex (ANX-6173) property located adjacent to the east side of Kevin Way, approximately 340 feet north of Centennial Hills Parkway, containing approximately 1.31 acres. This property is directly north of the subject site and is included in the Town Center Master Development Plan.

DETAILS OF APPLICATION REQUEST

The subject petition proposes to vacate U. S. Government Patent Easements described as the West and East thirty-three feet (33'), excepting the West thirty feet (30') and the South fifty feet (50') of the Southwest Quarter (SW $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Southeast Quarter (SE $\frac{1}{4}$) of the Southwest Quarter (SW $\frac{1}{4}$) of Section 20, Township 19 South, Range 60 East, M.D.M.

ANALYSIS

A) *Planning discussion*

The applicant intends to vacate the existing U. S. Government Patent Easements because they are no longer needed in their current configuration. The Vacation would allow for the development of a 91,387 square foot mini-storage facility and parking on this site. This request is appropriate, as the subject easements are not needed and would not result in reduced access or traffic handling capability for the area.

B) *Public Works discussion*

The Department of Public Works has no objection to the Vacation application request for U.S. Government Patent Reservations generally located at the northeast corner of Centennial Parkway and Kevin Way.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

3

NOTICES MAILED 2

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAC-6101** APN: 125-20-402-007

Name of Property Owner: Project K, LLC

Name of Applicant: LAACO Ltd

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

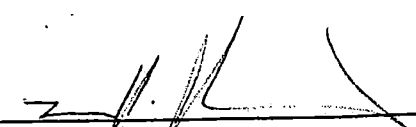
 Yes XXXXXX No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: 

Print Name: Mehdi Cwliaie

Subscribed and sworn before me

This 7th day of Feb, 2006


Notary Public in and for said County and State



PATENT EASEMENT VACATION

Justification Letter

The purpose of this application is to vacate patent easement number 237584, of Official Records, recorded on April 20, 1961. This patent easement is recorded within the boundaries of APN 125,20,402-007.

The application is to vacate the 33 foot easement on the east property line and 3 feet on the west property line. The west property line easement was originally 33 feet before a 30 foot wide R/W easement, number 163-81 was created for Kevin Street.

There is no requirement for a street dedication on the east property line, and that is why this is a request to vacate the entire 33 feet.

This application should be considered with the applications submitted by this applicant for Zoning, a Special Use Permit, and a Site Design Review for this parcel.