

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**VAR-6028 - VARIANCE - PUBLIC HEARING - APPLICANT: TIM C. AYALA - OWNER: REYES G. PALACIOS** - Request for a Variance TO ALLOW A FIVE-FOOT SIDE YARD SETBACK WHERE TEN FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION on 0.50 acres at 729 Clarkway Drive (APN 139-28-301-017), R-E (Residence Estates) Zone, Ward 5 (Weekly).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**McSWAIN – APPROVED subject to condition – UNANIMOUS with TRUESDELL abstaining as he is a consultant for one of the Trustees who resides within the Notification area**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning and Development, gave a brief overview of the application. The subject site is a very narrow lot. The existing structure has a five-foot side yard on one side where 10 feet is required. He pointed out that the applicant is proposing to build an addition to the rear of the structure that would have the same side yard setback, which is contrary to the Code. Staff's suggestion to the applicant was to provide the proposed addition with the required ten-foot setback as the lot is 392 feet in length and there is ample room in the rear. The applicant

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 28 – VAR-6028

**MINUTES – Continued:**

chose not to do this. As a result, staff recommended denial, as the existing structure is non-conforming and the hardship was self-imposed.

TIM AYALA, TC Ayala Planning and Development, 4600 Sunset Road, Ste. 148, Henderson, NV 89014, appeared on behalf of the applicant. MR. AYALA stated the applicant would like to build the proposed 600 square feet addition similar to the existing shape and elevations of the existing house. The subject site is very narrow, and the home has existed on the site for more than 40 years.

COMMISSION McSWAIN respectfully disagreed with staff regarding the hardship being self-imposed. Due to the configuration of the lot, she was comfortable in supporting the application.

MR. AYALA informed COMMISSIONER EVANS that although some residents were not in attendance and he did not have a signed petition, they did advise him that they do not object to the proposed addition.

COMMISSIONER STEINMAN stated that he viewed the subject site and spoke with the resident at 721 Clarkway Drive, which is located south of the subject site. The resident informed him he did not oppose the application. He then stated he would support the application.

No one appeared in opposition.

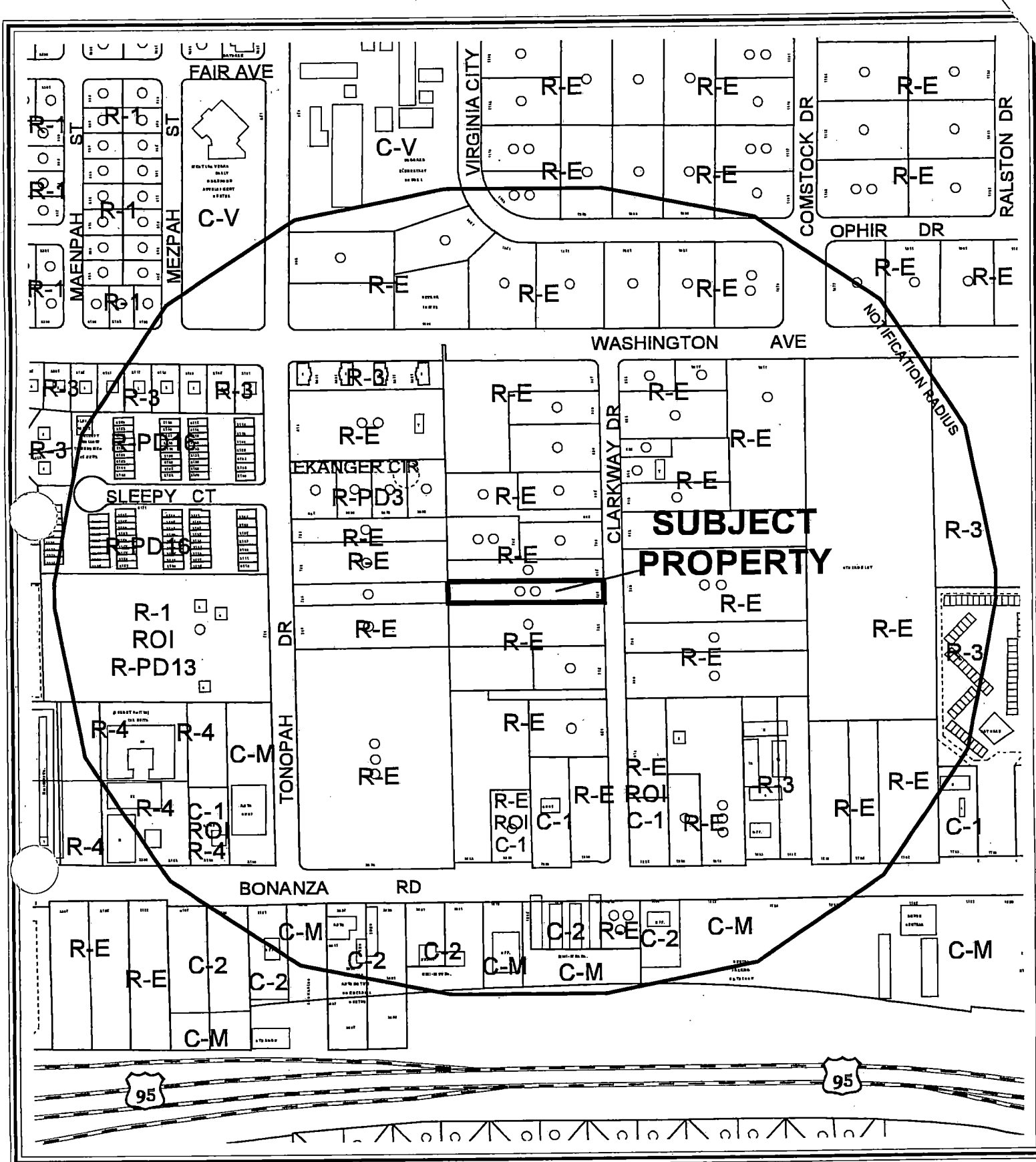
CHAIRMAN NIGRO declared the Public Hearing closed.  
(7:55 – 8:00)

3-54

**CONDITION:**

Planning and Development

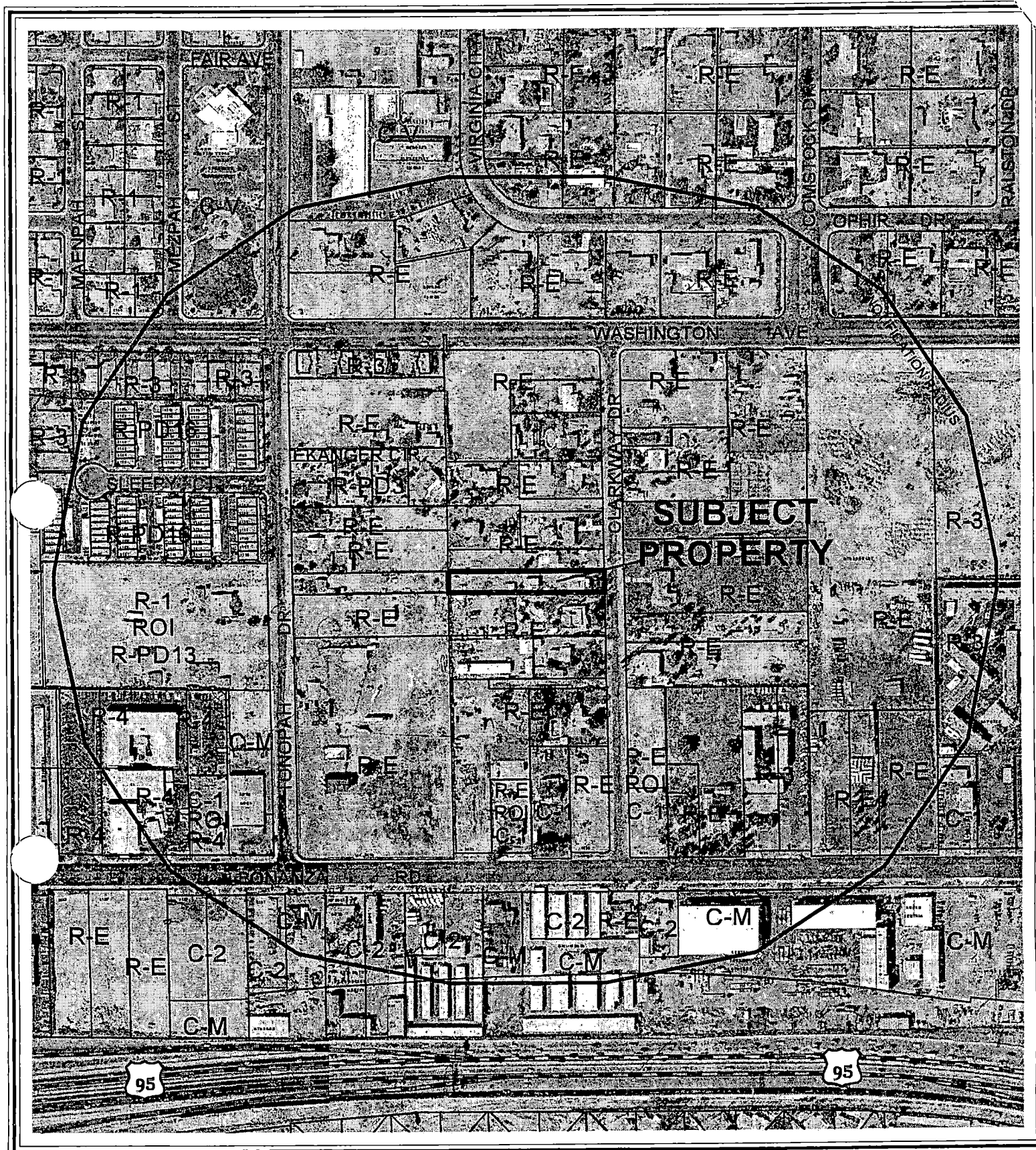
1. This Variance shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.



**CASE: VAR-6028**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)**



CASE: **VAR-6028**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

0 300 600 Feet



**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: MARCH 10, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: VAR-6028 - APPLICANT: TIM C. AYALA - OWNER: REYES  
G. PALACIOS

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**    **DENIAL**    If Approved, subject to:

**Planning and Development**

1.    This Variance shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Variance to allow a five-foot side yard setback where ten feet is the minimum required for a proposed room addition on 0.50 acres at 729 Clarkway Drive.

**B) Applicant's Justification**

The applicant indicates that the home has been in existence for 40 years and would like to expand their residence.

**BACKGROUND INFORMATION**

**A) Related Actions**

There are no related actions related to the subject site.

**B) Pre-Application Meeting**

12/28/04 The following items were discussed at the pre-application meeting:

- Existing home constructed in 1961 is 1,006 square feet.
- The room addition is 25' x 30' (exceeds 50% of the original building footprint).
- The existing home is on a non-conforming lot.

**C) Neighborhood Meetings**

A neighborhood meeting is not required for this type of application.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Gross Acres: 0.50 acres

**VAR-6028 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

**B) Existing Land Use**

Subject Property: Single Family Dwelling  
 North: Single Family Dwelling  
 South: Single Family Dwelling  
 East: Single Family Dwelling  
 West: Single Family Dwelling

**C) Planned Land Use**

Subject Property: L (Low Density Residential)  
 North: L (Low Density Residential)  
 South: L (Low Density Residential)  
 East: L (Low Density Residential)  
 West: L (Low Density Residential)

**D) Existing Zoning**

Subject Property: R-E (Residence Estates)  
 North: R-E (Residence Estates)  
 South: R-E (Residence Estates)  
 East: R-E (Residence Estates)  
 West: R-E (Residence Estates)

**E) General Plan Compliance**

The subject site is currently designated on the Southeast Sector of the General Plan as L (Low Density Residential). The Low Density Residential category allows a maximum of 5.5 dwelling units per acres. This category permits single-family detached homes, mobile homes on individual lots, gardening, home occupations, and family child care facilities. Local supporting uses such as parks, other recreation facilities, schools and churches are allowed in this category. This site plan conforms to the companion-zoning district.

| SPECIAL DISTRICTS/ZONES                           | Yes | No |
|---------------------------------------------------|-----|----|
| <b>Special Area Plan</b>                          | X   |    |
| West Las Vegas Plan                               | X   |    |
| <b>Special Overlay District</b>                   |     |    |
| Airport Overlay District                          | X   |    |
| <b>Trails</b>                                     |     | X  |
| <b>Development Impact Notification Assessment</b> |     | X  |
| <b>Project of Regional Significance</b>           |     | X  |

**West Las Vegas Plan**

The subject site is located within the West Las Vegas Plan area, which is currently under review. The Plan conforms to the General Plan designation with respect to this site.

**Airport Overlay**

The subject site is located in the North Las Vegas Airport Overlay, which limits heights in this area to 140 feet without further F.A.A. review. The subject request complies with this provision, since the home is only 12 feet in height.

**A) Zoning Code Compliance**

**A1) Development Standards**

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

| Standards            | Required            | Requested         | Compliance |
|----------------------|---------------------|-------------------|------------|
| Min. Lot Size        | 20,000 SF           | 21,780 SF         | Y          |
| Min. Lot Width       | 100 Feet            | 54 Feet           | N          |
| Min. Setbacks        |                     |                   |            |
| • Front              | 50 Feet             | 30 Feet           | N*         |
| • Side (north)       | 10 Feet             | 10 Feet           | Y          |
| • Corner (south)     | 10 Feet             | 5 Feet            | N          |
| • Rear               | 35 Feet             | 278 Feet          | Y          |
| Max. Lot Coverage    | N/A                 | N/A               | Y          |
| Max. Building Height | 2 Stories / 35 Feet | 1 Story / 12 Feet | Y          |

\* A Variance is required for the five-foot side setback from the south property line.

**A2) Residential Adjacency Standards**

Residential Adjacency Standards do not apply to the subject site.

**B) General Analysis and Discussion**

The existing 40-year old home and lot are both legal and non-conforming. The home is located five feet from the southern property line. Any proposed changes to the home, which are outside of the Title 19.08 Development Standards, require a Variance. The existing home and proposed expansion are five feet from the southern property line, where ten feet is required in an R-E (Residence Estates) Zone. The proposed 750 square-foot addition will perpetuate this non-conformity, which results in the subject Variance request.

**FINDINGS**

In accordance with the provisions of Title 19.18.070(B), Planning Commission and City Council, in considering the merits of a Variance request, shall not grant a Variance in order to:

**VAR-6028 - Staff Report Page Four**  
**March 10, 2005 - Planning Commission Meeting**

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature."

Additionally, Title 19.18.070L states:

"Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of enactment of the regulation, or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property, the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution."

No evidence of a unique or extraordinary circumstance has been presented, in that the applicant has created a self-imposed hardship by proposing to encroach into a side setback and perpetuate a non-conformity, by proposing to add an additional 750 square feet to the existing house. Alternative design utilizing a conforming setback and a smaller building addition would allow conformance to the Title 19 requirements. In view of the absence of any hardships imposed by the site's physical characteristics, it is concluded that the applicant's hardship is preferential in nature, and it is thereby outside the realm of NRS Chapter 278 for granting of Variances.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

16

**NOTICES MAILED** 207

**APPROVALS** 0

**PROTESTS** 0



## PLANNING & DEVELOPMENT DEPARTMENT

## STATEMENT OF FINANCIAL INTEREST

Case Number: VAA-6028 APN: 139-28-301-017

Name of Property Owner: BEYES PALACIOS

Name of Applicant: TIM C. AYALA

**To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?**

Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

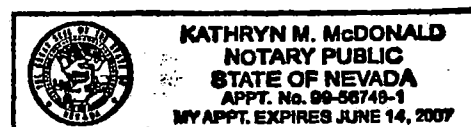
Signature of Property Owner: Kayla G. Adams

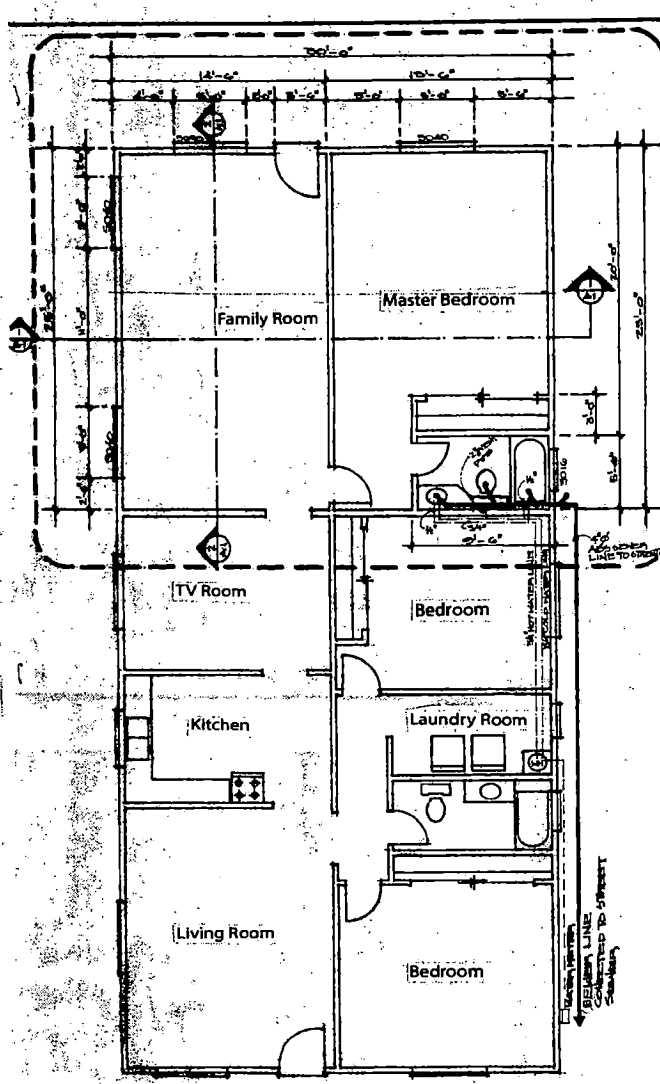
Print Name: BEYES PALACIOS

Subscribed and sworn before me

This 14 day of FEBRUARY, 2005.

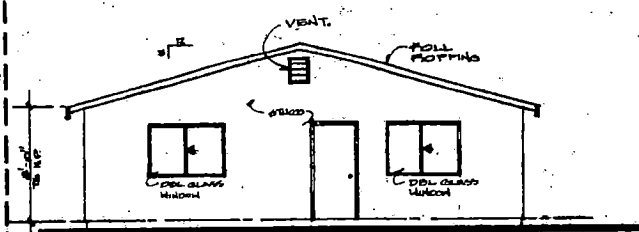
Kathryn M. McDonald  
Notary Public in and for said County and State





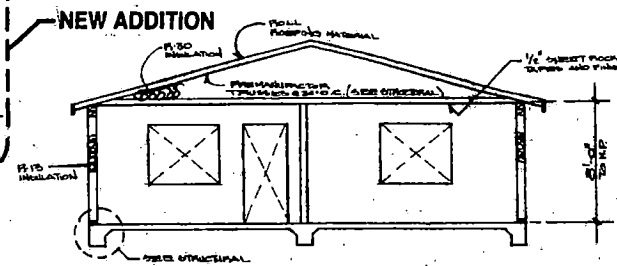
**Floor Plan**

Scale 1"=0"= 1/4"

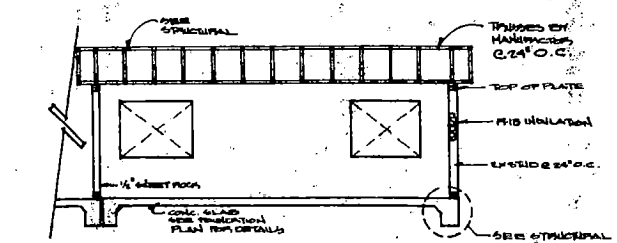


**West Elevation**

Scale 1"=0"= 1/4"

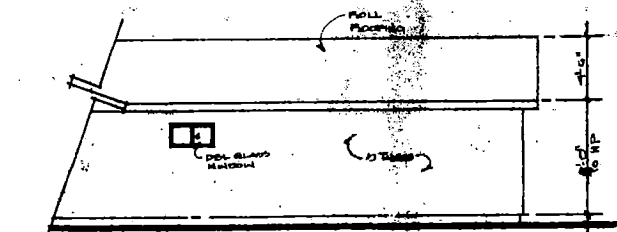


**Cross Section**



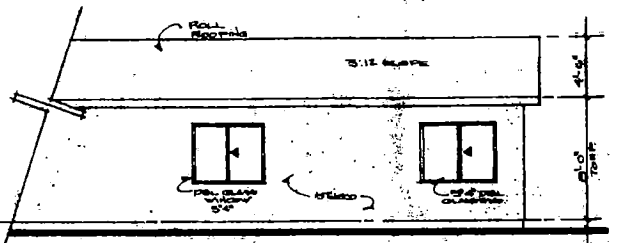
**Cross Section**

Scale 1"=0"= 1/4"



**North Elevation**

Scale 1"=0"= 1/4"



**South Elevation**

Scale 1"=0"= 1/4"

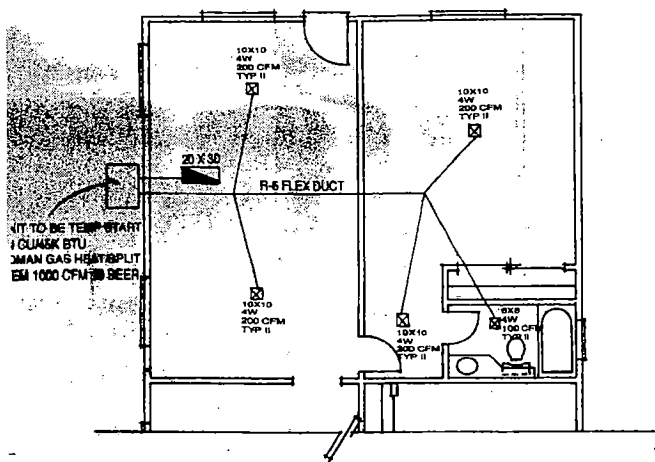
Reyes G. Palacios  
Master Bedroom  
Addition

Nov 24, 20

Reyes G. Palacios  
729 Clark Way Dr.

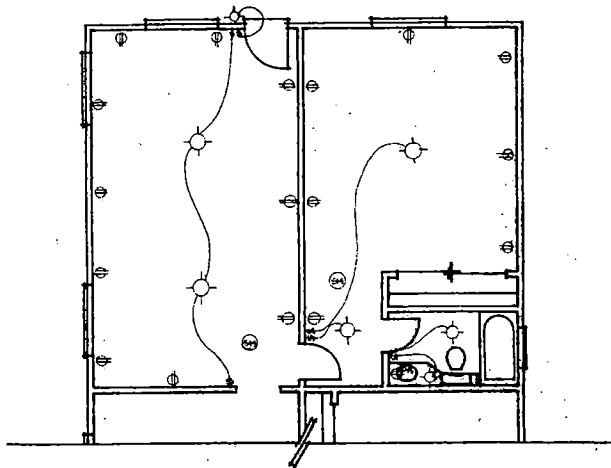
**A-**

**VAR-6028**  
**03-10-05 PC**



Mechanical Plan

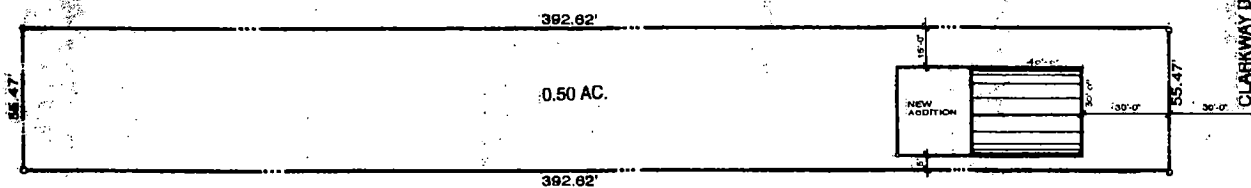
SCALE 1'-0"=1/4"



Electrical Plan

Scale 1'-0"= 1/4"

| ELECTRICAL PANEL CALCULATIONS |                                                                      |   |           |
|-------------------------------|----------------------------------------------------------------------|---|-----------|
| (a)                           | General lighting load 1,800 sq ft. x 3 Volt Amps                     | = | 5,400 VA  |
| (b)                           | Small appliance circuits at 1500 VA each                             | = | 3,000 VA  |
| (c)                           | Laundry (wash machine) 1500 VA (Maximum of one)                      | = | 1,500 VA  |
| (d)                           | Subtotal (a + b + c)                                                 | = | 9,900 VA  |
| (e)                           | Per 3100 VA of Subtotal (d) at 100%                                  | = | 3,000 VA  |
| (f)                           | Recreational subtotal (e) x .25                                      | = | 750 VA    |
| (g)                           | Electrical Cooking Appliances                                        | = | 0 VA      |
| (h)                           | Dryer load 100% VA, Table 220-18                                     | = | 6,465 VA  |
| (i)                           | Subtotal (a + f + g + h)                                             | = | 12,930 VA |
| (j)                           | Heating A/C                                                          | = | 8,300 VA  |
| (k)                           | Subtotal 3,680 x (.75 %)                                             | = | 2,760 VA  |
| (l)                           | Miscellaneous Motor Loads                                            | = | 1,975 VA  |
| (m)                           | Grand Total (i + j + k + l)                                          | = | 34,265 VA |
| (n)                           | Total Volt Amps 34,265 divide by 240 Volt                            | = | 143 AMPS  |
| (o)                           | ADDITIONAL 57 AMP CIRCUIT AND CAPACITY RESERVED FOR FUTURE EXPANSION | = | 200 AMPS  |



Site Plan



SCALE 1"=20'

VAR-6028  
03-10-05 PC

1,000,000 FT

Royce G. Palacios  
720 Clarkway Drive  
Las Vegas, Nevada

Mechanical  
&  
Electrical Plan

03-10-05-01-017

A-2



VAR-6028 - APPLICANT: TIM C. AYALA - OWNER: REYES G. PALACIOS  
729 CLARKWAY DRIVE  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

TC Ayala Planning & Development  
4600 Sunset Rd. Ste. 148  
Henderson, Nevada 89014

City of Las Vegas  
Planning Department  
Las Vegas, Nevada

December 27, 2004

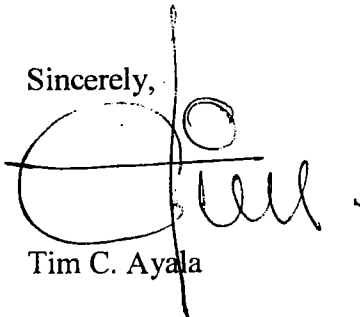
APN. # 139-28-301-017  
129 Clarkway Drive

To Whom It May Concern:

I am writing this letter to inform your department of the purpose of our application. My client would like to submit an application for a variance in order to reduce the side setback on the property to 5 feet where 10 feet are required. The parcel is an R-E Residential Zone, according to your guidelines this parcel doesn't meet the R-E criteria and it's a nonconforming parcel. The existing home has been on this property for more than 40 years and now my client needs to expand his residence in order to have a Family Room. This type of adjustment has been granted by the City to other projects and that is why we respectfully ask for your approval of this application.

Thank you for your time.

Sincerely,



Tim C. Ayala

VAR-6028

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**WVR-6035 - WAIVER - PUBLIC HEARING - APPLICANT: NEVADA HOMES GROUP - OWNER: DAY STAR VENTURES LLC** - Request for a Waiver of Title 18.12.160 TO ALLOW 209 FEET BETWEEN STREET INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED FOR A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 5.35 acres adjacent to the southeast corner of Dorrell Lane and Hualapai Way (APN 125-19-201-001 and 003), R-PD3 (Residential Planned Development- 3 Units per Acre), Ward 6 (Mack).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

Planning Commission Mtg.  
City Council Meeting

0

**APPROVALS RECEIVED BEFORE:**

Planning Commission Mtg.  
City Council Meeting

0

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**McSWAIN – APPROVED subject to conditions – UNANIMOUS**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning and Development, gave a brief overview of the application. He remarked that Lot 1 was reconfigured to accommodate a single story home. As a result, the width of Lots 18 and 19 was reduced and the road was shifted closer to Hualapai Way. Staff recommended approval.

JON FIELD, Attorney, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of the applicant and concurred with staff's recommendations and conditions.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 29 – WVR-6035

**MINUTES – Continued:**

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed.

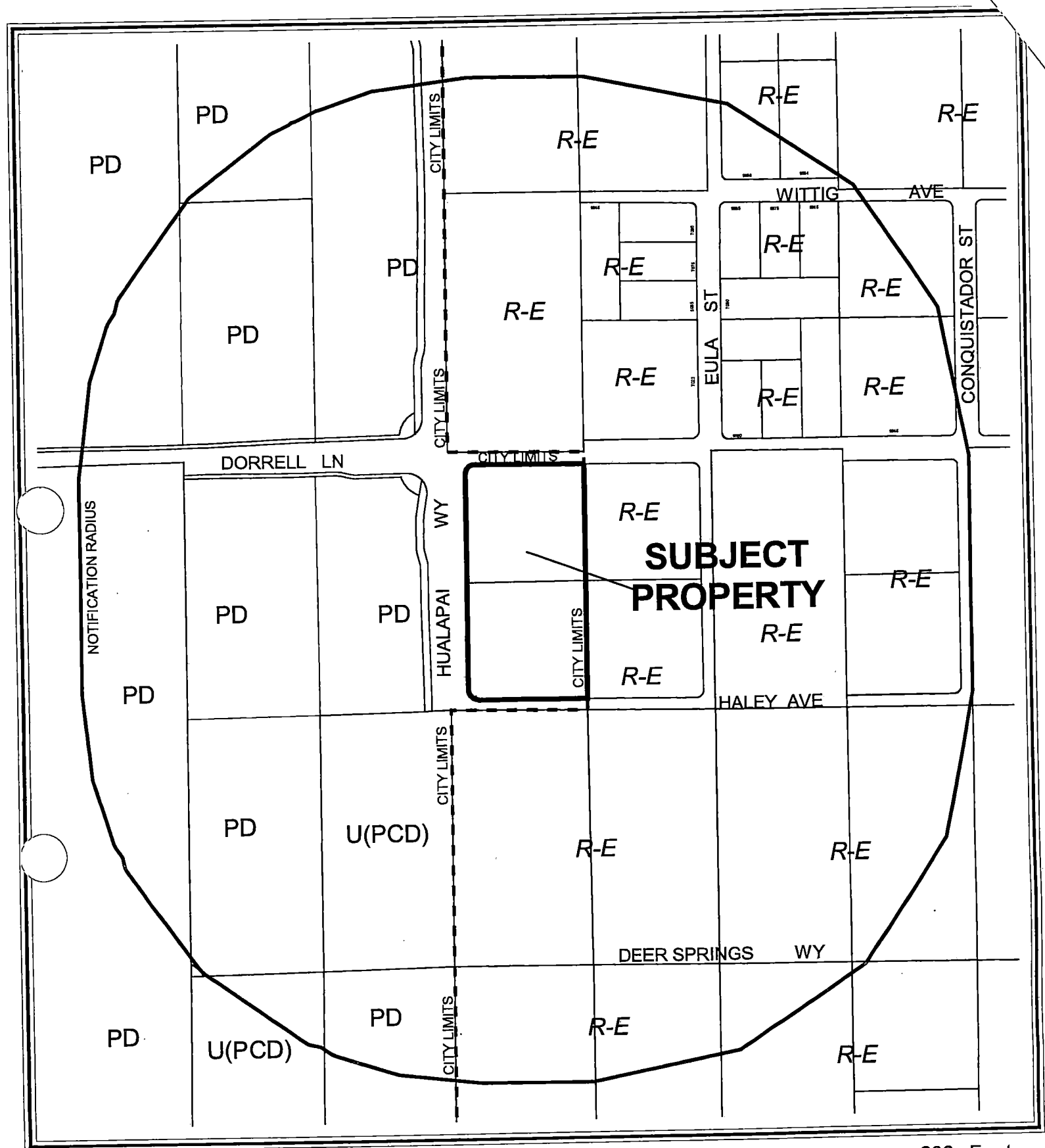
(8:18 – 8:19)

3-247

**CONDITIONS:**

Planning and Development

1. All development shall conform to the Conditions of Approval for Rezoning (ZON-4623), Site Development Plan Review (SDR-4626).
2. All City Code requirements and design standards of all City departments must be satisfied.



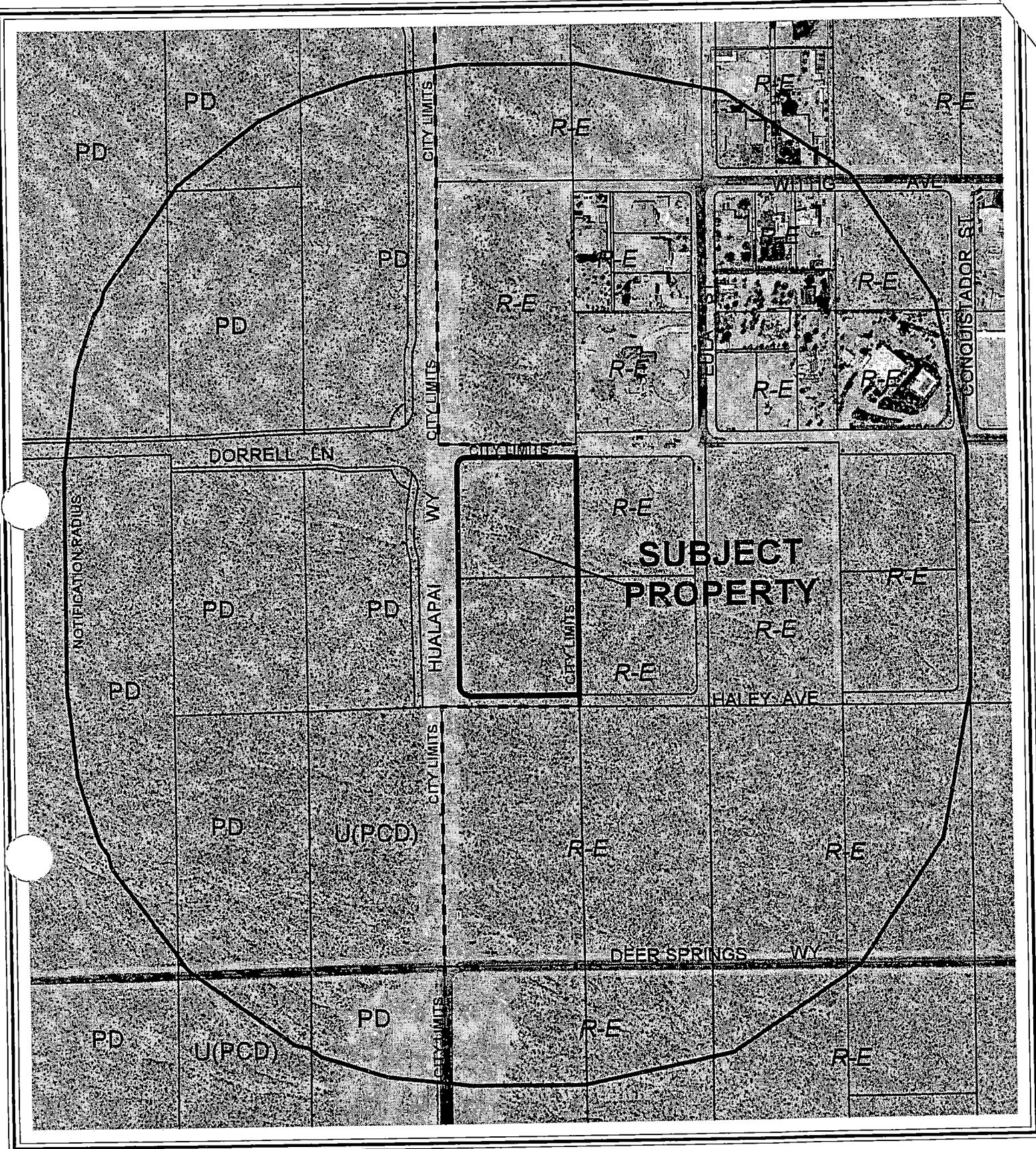
CASE: **WVR-6035**

RADIUS: 1000 FT

**ZONING OF SUBJECT PROPERTY:**

U (UNDEVELOPED) ZONE [R (RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION]  
UNDER RESOLUTION OF INTENT TO R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT -  
3 UNITS PER ACRE)





0 300 600 Feet

**CASE: WVR-6035**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY:**

U (UNDEVELOPED) ZONE [R (RURAL, DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION]  
 UNDER RESOLUTION OF INTENT TO R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT -  
 3 UNITS PER ACRE)



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: WVR-6035 - APPLICANT: NEVADA HOMES GROUP -**

**OWNER: DAY STAR VENTURES LLC**

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**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: APPROVAL**, subject to:

**Planning and Development**

1. All development shall conform to the Conditions of Approval for Rezoning (ZON-4623), Site Development Plan Review (SDR-4626).
2. All City Code requirements and design standards of all City departments must be satisfied.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Waiver of Title 18.12.160 to allow 209 feet between street intersections where 220 feet is the minimum distance separation required for an existing street having a right-of-way width of 60 feet or more for a single-family residential development on 5.35 acres adjacent to the southeast corner of Dorrell Lane and Hualapai Way to.

**B) Applicant's Justification**

The configuration of the property has caused the entry street accessing Dorrell Lane to be located closer than the required 220 feet from Hualapai Way. The applicant believes this request is in accordance with the requirements of Title 19.

**BACKGROUND INFORMATION**

**A) Related Actions**

- 07/07/04      The City Council heard the introduction of a bill to annex this property (ANX-4451). The effective date of that annexation was August 13, 2004.
- 01/19/05      The City Council approved a Rezoning (ZON-4623) to R-PD3 (Residential Planned Development – 3 units per acre) along with a Site Development Plan Review (SDR-4626) for a 19 lot single family residential development and a Variance (VAR-5377) to allow no open space within the development.

**B) Pre-Application Meeting**

No pre-application meeting was held

**C) Neighborhood Meetings**

A neighborhood meeting is not required for this type of application, nor was a meeting held.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Gross Acres: 5.35 acres

**B) Existing Land Use**

Subject Property: Vacant  
North: Vacant  
South: Vacant  
East: Vacant  
West: Vacant

**C) Planned Land Use**

Subject Property: R (Rural Residential)  
North: R (Rural Residential)  
South: R (Rural Residential)  
East: PCD (Planned Community Development)  
West: RNP (Rural Neighborhood Preservation)

**D) Existing Zoning**

Subject Property: R-PD3 (Residential Planned Development – 3 units per acre)  
North: Clark County  
South: Clark County  
East: Clark County  
West: PD (Planned Development)

**E) General Plan Compliance**

a. Centennial Hills General Plan

The site is designated R (Rural Residential) within the Centennial Hills General Plan. The Approved R-PD3 (Residential Planned Development – 3 units per acre) zoning, which allows up to 3.59 units to the acre, is in conformance with the General Plan Designation.

| SPECIAL DISTRICTS/ZONES                    | Yes | No |
|--------------------------------------------|-----|----|
| Special Area Plan                          |     | X  |
| Special Overlay District                   |     | X  |
| Trails                                     |     | X  |
| Rural Preservation Neighborhood            |     | X  |
| Development Impact Notification Assessment |     | X  |
| Project of Regional Significance           |     | X  |

**ANALYSIS**

**A) General Analysis and Discussion**

This request is to waive the requirements of the City's Subdivision Code Title 18.12.160 for the length between intersections. The approved Site Development Plan Review (SDR-4626) showed lot 1 of the subdivision being smaller and the access road fitting within the 220 feet. The revised site plan that is being submitted has enlarged lot 1 and decreased the widths of lots 18 and 19 which has moved the access road into this subdivision down to within 209 feet of Hualapai Way.

**FINDINGS**

We have no objection to the Request for a Waiver of Title 18.12.160 to allow a 209 foot separation between intersections where a minimum of 220 feet is required when providing external access from a subdivision to an existing street having a right-of-way width of 60 feet or more, for property located at the southeast corner of Dorrell Lane and Hualapai Way.

We note that this site is the subject of a Zoning Reclassification ZON-4623 and Site Development Plan Review SDR-4626; all site-related conditions of approval are addressed with those actions.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

1

**NOTICES MAILED** 37

**APPROVALS** 0

**PROTESTS** 0



Case Number: WVR-6035 APN: 125-19-201-001, 003

Name of Property Owner: Day Star Ventures L.L.C.

Name of Applicant: Nevada Homes Group

Yes X No

**City Official:** \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_

Print Name: Paul Wagner

**Subscribed and sworn before me**

This 26<sup>th</sup> day of January, 2005  
Larae Obenauf  
 Notary Public in and for said County and State

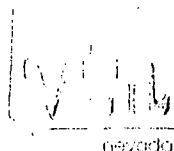


100



WVR-6035 - APPLICANT: NEVADA HOMES GROUP - OWNER: DAY STAR VENTURES LLC  
ADJACENT TO THE SOUTHEAST CORNER OF DORRELL LANE AND HUALAPAI WAY  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



CONSULTING ENGINEERS • PLANNERS • SURVEYORS  
PROVIDING QUALITY PROFESSIONAL  
SERVICES SINCE 1960

January 26, 2005

W.O. 6438

City of Las Vegas  
Planning & Development Department  
Current Planning Division  
731 South Fourth Street  
Las Vegas, NV 89101

**RE: Waiver Application**  
APN: 125-19-201-001, 003  
**Hualapai/Dorrell**

On behalf of the client, Nevada Homes Group, VTN Nevada respectfully requests a Waiver to Title 18 Subdivision Ordinance on approximately 5.35 acres generally located at the southeast corner of Hualapai Way and Dorrell Lane.

**Section 18.12.160 INTERSECTIONS – LENGTH.**

Any intersection of any street that provides external access from a subdivision to any existing or planned street abutting the subdivision which has a right-of-way of sixty feet or more shall be offset from any other intersection by at least two hundred twenty feet, measured from centerline to centerline.

The approved Site Plan (ZON-4623, SDR-4626, VAR-5377) indicates the developer intends to provide 19 single-family detached residential lots on approximately 5.35 acres for a density of 3.5 dwelling units per acre within parcels zoned R-PD3, in an R (Rural) Master Planned area. The configuration of the property has caused the entry street accessing Dorrell Lane to be located closer than the required 220' from Hualapai Way. The actual distance as measured from the centerline of Hualapai Way to the centerline of the entry street to the subdivision is 209.41', requiring the attached Waiver application.

The applicant believes this request is in accordance with the requirements of title 19 and respectfully requests the City's approval of this request.

Thank you for your consideration in this matter. Should you have any further questions regarding this application, please call our office at 873-7550.

Sincerely,

Brent Wilson  
VTN Nevada  
Planning Department

WVR-6035

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-5984 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: FREMONT BRUCE, LLC** - Request for a Special Use Permit FOR A PROPOSED MIXED-USE DEVELOPMENT adjacent to the southeast corner of Bruce Street and Fremont Street (APN 139-35-803-001), C-2 (General Commercial) Zone, Ward 3 (Reese).

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter
5. Submitted at Meeting – Petition of Opposition with 14 Signatures

**MOTION:**

**TRUESDELL – Motion to HOLD IN ABEYANCE – UNANIMOUS**

**To be held in abeyance to the 04/14/2005 Planning Commission meeting**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open on Item 30 [SUP-5984] and Item 31 [SDR-5942].

GARY LEOBOLD, Planning and Development, gave an overview of the proposed project. He added that a condition has been included on the Special Use Permit to address the issue regarding ground floor commercial space being accessible from the public sidewalks on Fremont Street and Bruce Street. In addition, there are waiver requests on the Site Development Plan Review for building landscape buffers. Staff would like improvements on the building elevations to enhance articulation and appearance, access on the subject site, streetscape and landscape treatments, fencing and appropriate landscaping around parking areas. Staff recommended approval on both the Special Use Permit and the Site Development Plan Review.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 30 – SUP-5984

**MINUTES – Continued:**

DENNIS RUSK, Architect, 3960 E. Patrick Lane, Ste. 203, Las Vegas, NV 89120, appeared on behalf of the applicant, concurred with staff's conditions and added that the applicant is continuously working with staff on improving the design of the proposed project.

TODD FARLOW, 240 N. 19<sup>th</sup> Street, representing the Church Noblitt Neighborhood Association, expressed concern with the width of the sidewalk along Bruce Street. MR. RUSK informed MR. FARLOW that the applicant is providing 16 feet, as requested by staff. In addition, MR. FARLOW felt that the subject site was the perfect location for a high-rise project.

SHIRLEY BAKER; LINDA DALTON, 1084 Bruce Street, No. 19; and SERGIO RODRIGUEZ, 1084 Bruce Street, No. 24; JESSICA LUGO, 1084 Bruce Street, No. 1, all expressed their opposition to the proposed project. The residents have spent monies on improving their trailers and yards, and new plumbing, sewers and lighting have been installed. Some of the residents are on fixed incomes and do not have sufficient income to accommodate residing in the proposed development nor do some have options for living elsewhere. Approximately 14 residents were in the audience that adamantly opposed the proposed development, and MS. BAKER submitted a petition with their signatures. Some of these trailers are not mobile, so several of the residents would lose their homes. The residents with mobile units would have to pay several thousand dollars to relocate their homes. MS. DALTON added that the residents have come together and cleaned up their mobile home park and now have families that work and reside in these trailers. In addition, the residents are willing to adhere to any other stipulations relative to maintaining their mobile home park and pleaded with the Commission to deny the applications.

With respect to the residents, COMMISSIONER McSWAIN questioned if there were provisions and a process within the law regarding relocating mobile homes. MR. RUSK confirmed that there are conditions within the law that the applicant must abide by relative to relocating the residents when mobile home parks are closed down and redevelopment takes place. He added that a neighborhood meeting was held on March 2<sup>nd</sup> to discuss the proposed project with the residents. MR. RUSK understood the residents' hardship but assured the Commission that the applicant would abide by the law when closing the mobile home park for redevelopment and relocating these residents. As an architect, he could only confirm for COMMISSIONER McSWAIN that there are conditions within the law but was not aware of the specific requirements regarding the process. Staff could not clarify that law. DEPUTY CITY ATTORNEY, BRYAN SCOTT, confirmed that the conditions for approval of the proposed development do require that the applicant adhere to all state and local laws. COMMISSIONER EVANS believed that it was imperative to know what these conditions were within the law, as it would allow for a greater comfort level. He is aware, though, that the age on many of these

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 30 – SUP-5984

**MINUTES – Continued:**

mobile homes precludes them from being moved and placed into another mobile home park. This would not allow for options for some residents with older units, and their life's investment would be destroyed.

DEPUTY CITY ATTORNEY SCOTT commented that given the fact that the applications were for a Special Use Permit and a Site Development Plan Review, he believed that the displacement of residents currently residing at the subject location was not appropriate criteria for what the Code allows for within these types of applications.

DOUG RANKIN, Planning and Development, stated that the relocation of mobile homes is at the genre of the State. There is no age limit, as the State's Mobile Home Division inspects and verifies whether or not the mobile homes can be relocated based upon their criteria, but the City is not part of the relocation process.

COMMISSIONER EVANS understood that the property owner has legal rights, but he also empathized with the residents. He preferred having more clarification on the relocation process prior to voting on these applications, as there are consequences. He also had some concerns with the Site Development Plan Review but preferred withholding his comments until the research was done on this process. With regards to the Commissioner's concerns, DEPUTY CITY ATTORNEY SCOTT suggested holding the item in abeyance so that further research could be done prior to the Commission voting.

VICE CHAIRMAN TRUESDELL also understood the legal rights of the property owner and DEPUTY CITY ATTORNEY SCOTT'S comments. He stated he would support the proposed development, as it would allow for improvement, streetscape and reinvestment in this particular area. However, he felt that it was unfortunate it would be at the expense of the existing families residing at the subject site. In addition, he felt that the developer should be sensitive to these families and meet with them to discuss their concerns and the proposed development. In closing, he stated that there was room for improvement with the architecture and articulation of the proposed development. Until similar projects come forward, it will be difficult to determine whether or not having office as the intermediary between street retail and residential works.

COMMISSIONER McSWAIN liked the concept of mixed-use development. However, she agreed with VICE CHAIRMAN TRUESDELL that the design on the proposed development could be improved. MR. RUSK reiterated that the applicant would be meeting with staff to work on improving the design of the project. COMMISSIONER McSWAIN was concerned about having criteria in place that allows for the residents to be informed when such development would have a huge impact on a neighborhood. Even though staff requested it, she appreciated

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 30 – SUP-5984

**MINUTES – Continued:**

the fact that a neighborhood meeting was held to discuss the proposed development. However, it would have been admirable and even more beneficial to the residents had the applicant had an attorney present at the meeting to explain in detail what the State requirements were and what assistance, if any, would be available to the residents throughout the process. She also stated she would like to see the changes relative to the exterior of the building and any other improvements, as it would also give the applicant an opportunity to provide more information on the proposed development to the existing homeowners. MR. RUSK then clarified for COMMISSIONER DAVENPORT that the power lines on the subject site would be underground.

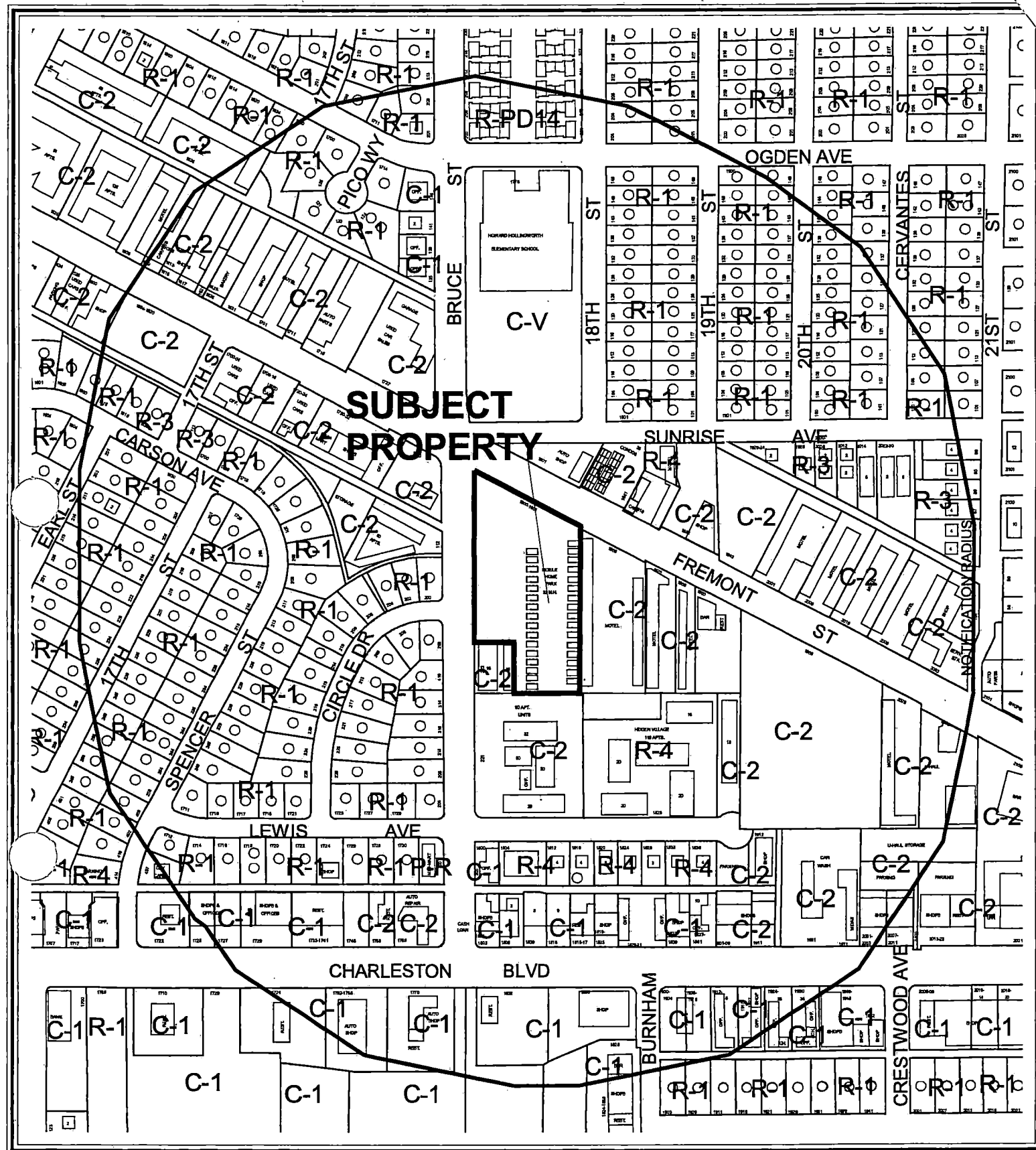
CHAIRMAN NIGRO understood the property owner's legal right to develop the subject site. Even though the developer has no legal obligation to these residents, he was concerned about the transition process for these existing residents. He agreed that the design of the proposed development could be improved and was also concerned about possibly approving an application without having seen the changes. Even though the developer is not required to do various things, such as hold a neighborhood meeting, it still leads for good development and the least disruption, especially with situations such as this proposed development. CHAIRMAN NIGRO was indecisive as to supporting the abeyance or going forward with the application with the applicant's commitment to address the aforementioned issues.

VICE CHAIRMAN TRUESDELL supported the project; however, he suggested holding the item in abeyance for 30 days to allow time to address the issues and to have the opportunity to see the revisions. DEPUTY CITY ATTORNEY SCOTT clarified for MR. RUSK that the applicant needed to work with staff in redesigning the Site Plan and bring the revisions back before the Commission. In addition, the City Attorney's Office will research the law and the provisions, if any, for the relocation of these mobile homes.

CHAIRMAN NIGRO declared the Public Hearing closed on Item 30 [SUP-5984] and Item 31 [SDR-5942].

(8:19 – 8:49)

3-280



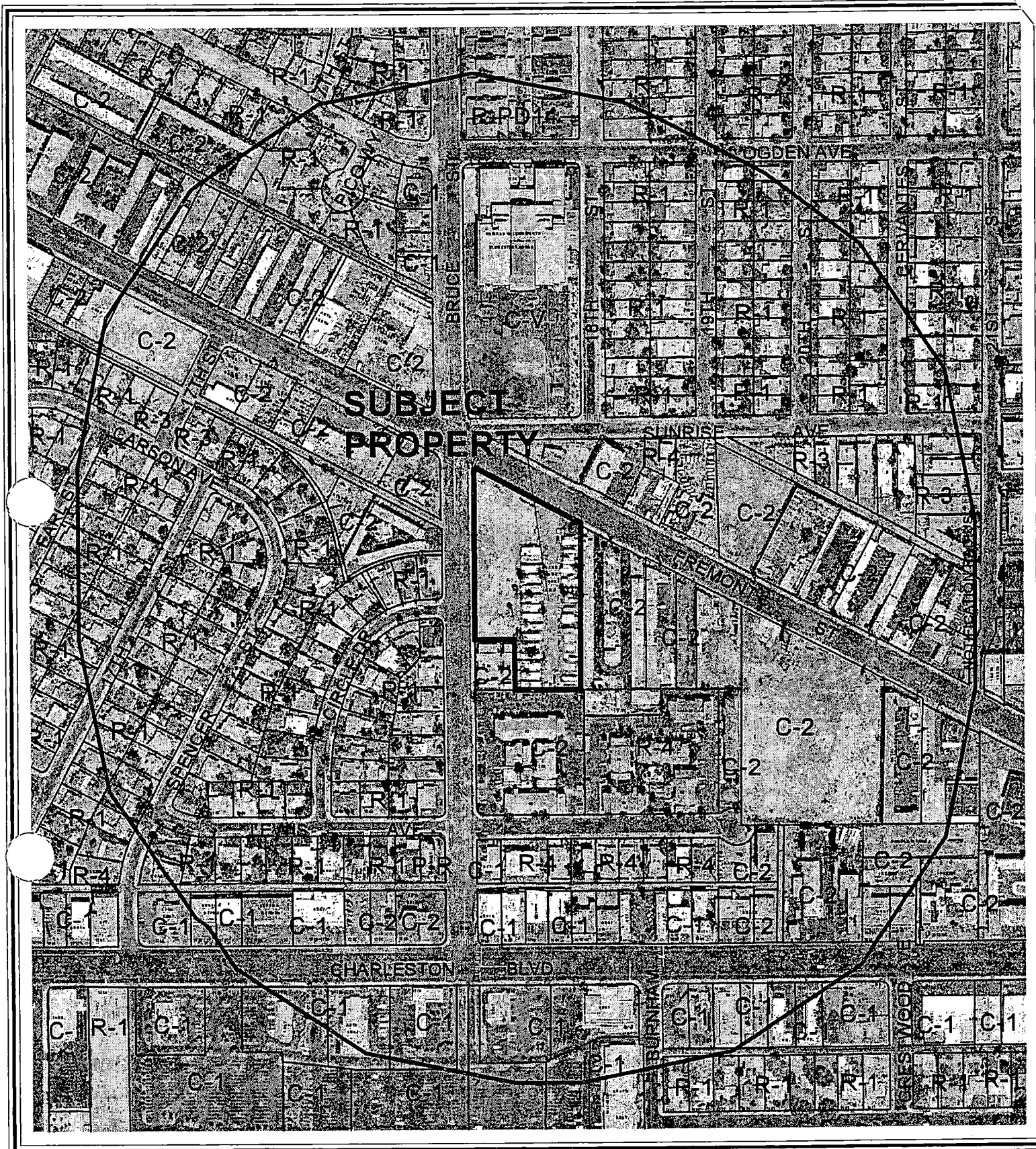
**CASE: SUP-5984**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)**

0 300 600 Feet





CASE: **SUP-5984**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 300 600 Feet



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SUP-5984 - APPLICANT/ OWNER: FREMONT BRUCE, LLC**

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**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**      **APPROVAL**, subject to:

**Planning and Development**

1. Conformance to all minimum requirements listed in Title 19.04.050 for Mixed-Use development. The building at the northwest corner of the site shall be revised so that the ground-floor commercial space shall be directly accessible from the public sidewalks on Fremont Street and Bruce Street.
2. Approval of and conformance to the Conditions of Approval for Site Development Plan Review (SDR-5942).
3. This Special Use Permit shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by City Council.
4. All City Code requirements and design standards of all City departments must be satisfied.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for approval of a Special Use Permit for a proposed Mixed-Use development adjacent to the southeast corner of Bruce Street and Fremont Street. A companion Site Development Plan Review (SDR-5942) has been submitted concurrently with this request.

**B) Applicant's Justification**

The applicant states that the project falls into the neighborhood revitalization area and qualifies for a Mixed-Use Project of Retail/Commercial and Residential by a Special Use Permit.

**BACKGROUND INFORMATION**

**A) Related Actions**

- 02/16/94 The City Council approved an appeal to allow the sale of beer and wine in conjunction with a proposed convenience store. The Board of Appeals recommended denial of the request on 01/25/94.
- 03/10/05 The Planning Commission will consider a related Site Development Plan Review (SDR-5942) application concurrently with this request. Staff has recommended approval of the request.

**B) Pre-Application Meeting**

- 01/04/05 The project was reviewed by the Office of Business Development at a Fast Track application meeting. The entitlement process schedule was discussed with the applicant.

**C) Neighborhood Meetings**

- 03/01/05 A neighborhood meeting was held by the applicant, even though it was not required as part of the application process. Six members of the public were present at the meeting, and four representatives of the applicant were on hand to answer questions. The following issues were raised by members of the public:

**SUP-5984 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

- Traffic impacts to adjoining roadways;
- Appearance and management of the apartments;
- Suitability of the soils and level of the water table;
- Availability of infrastructure to serve the project;
- Concerns about the provision of open space; and
- Height of the buildings and obstruction of views.

The applicant noted that the existing mobile home park would be removed to make way for the new development.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Net Acres: 2.76

**B) Existing Land Use**

Subject Property: Mobile Home Park  
North: Auto Repair  
Elementary School  
South: Multifamily Residential  
East: Motel  
West: General Retail  
Multifamily Residential  
Single-Family Residential

**C) Planned Land Use**

Subject Property: MXU (Mixed-Use)  
North: MXU (Mixed-Use)  
PF (Public Facilities)  
South: MXU (Mixed-Use)  
East: MXU (Mixed-Use)  
West: C (Commercial Use)  
H (High Density Residential)  
L (Low Density Residential)

**D) Existing Zoning**

Subject Property: C-2 (General Commercial)  
North: C-2 (General Commercial)  
C-V (Civic)  
South: C-2 (General Commercial)  
East: C-2 (General Commercial)  
West: C-2 (General Commercial)  
R-1 (Single Family Residential)

**E) General Plan Compliance**

The property is located within the boundaries of the Las Vegas Redevelopment District, and has a Mixed-Use land use designation. The Mixed-Use designation allows uses comparable to the following land use categories: L (Low Density Residential), ML (Medium Low Density Residential), M (Medium Density Residential), H (High Density Residential), O (Office), SC (Service Commercial), GC (General Commercial), and PF (Public Facilities). The proposed uses are in compliance with the land use designation.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            |           |
| Downtown Centennial Plan                          | X          |           |
| Redevelopment Plan Area                           | X          |           |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           |            | X         |

**Redevelopment Plan Area**

As noted above, the parcel is within the boundaries of the Las Vegas Redevelopment Area, with a Mixed-Use land use designation. The proposed uses are in conformance with the Redevelopment Plan.

**Downtown Centennial Plan**

The parcel is within the Las Vegas Downtown Centennial Plan boundaries, and is located in the East Fremont District. New commercial development and the integration of mixed-income residential neighborhoods are encouraged for this area, along with the provision of open space to serve residents of the area.

**ANALYSIS**

**A) Zoning Code Compliance**

**A1) Parking and Traffic Standards**

Title 19.06.060 exempts properties within the Downtown Centennial Plan area from the automatic application of parking requirements. The following table details the parking figures for the development:

| Uses              | GFA       | Provided<br>Parking |          |
|-------------------|-----------|---------------------|----------|
|                   |           | Regular             | Handicap |
| Commercial Space  | 21,000 SF |                     |          |
| Residential Units | 152 Units |                     |          |
| Total:            |           | 235                 | 7        |

The development will provide a total of 242 on-site parking spaces, with 152 spaces allocated for the residential units, and 86 spaces allocated for the commercial portion of the development. The number of parking spaces allocated to the commercial uses results in a ratio of one space per 250 square feet of floor area, which exceeds the amount generally provided within the boundaries of the Downtown Centennial Plan area; the ratio of one parking space per residential unit is consistent with other projects that have been approved for the downtown area.

A2) Minimum Distance Separation Requirements

There are no Minimum Separation Distance Requirements in the Zoning Code that apply to the proposed Mixed-Use development.

Pursuant to Title 19.04, the following Standards apply to the subject proposal:

| Standards | Code Requirement                                                                                  | Provided |
|-----------|---------------------------------------------------------------------------------------------------|----------|
| Mixed-Use | Residential uses may be permitted in commercial districts by means of a Special Use Permit        | Y        |
|           | Non-residential use shall be located at the ground level fronting the primary public right-of-way | N        |
|           | The architecture shall highlight the difference in uses                                           | Y        |

The building located at the northwest corner of the site includes ground-floor commercial space, but it is not directly accessible from the public sidewalk. The plans will need to be modified so that the ground-floor spaces are accessible from the street frontage.

**B) General Analysis and Discussion**

- Zoning

The subject site is zoned C-2 (General Commercial), and is located within the boundaries of the Downtown Centennial Plan area. The project is generally consistent with the requirements of the Centennial Plan, with the exception of architectural requirements, streetscape treatment, and landscape requirements. Height limits and parking requirements are not automatically applied.

- Use

Within the C-2 (General Commercial) zoning district, residential uses permitted by right in the R-4 (High Density Residential) are permitted upon approval of a Special Use Permit. Commercial uses are permitted by right in the C-2 (General Commercial) district. The development will include a total of 152 apartment units and 21,000 square feet of commercial space.

- Conditions

The design of the building does not comply with the requirement for the commercial space to be directly accessible from the public right-of-way; a Condition of Approval has been included to address this issue.

**FINDINGS**

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed residential and commercial uses can be conducted in a manner that is compatible with surrounding land uses, and with the uses projected by the General Plan.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed development will result in a density of 55 units per acre, which is appropriate for an urban area. Adequate on-site parking will be provided for both the residential and commercial uses.

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

The site has frontage on two public rights-of-way, which provides excellent access to the site. The existing street network has adequate capacity to accommodate the proposed development.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

Approval of the Special Use Permit is consistent with the General Plan, and will not compromise public health, safety, or welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

18

**NOTICES MAILED** 416

**APPROVALS** 0

**PROTESTS** 0



Case Number: SUP-5984 APN: 139 35 803 001

Name of Property Owner: FREMONT BRUCE LLC.

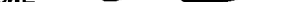
Name of Applicant: FREMONT BRUCE, LLC

           Yes  No

City Official: \_\_\_\_\_

**Partner(s):**

APN: \_\_\_\_\_

Signature of Property Owner/Authorized Agent: 

Print Name: Shmuel Oved, Manager  
Fremont Bruce, LLC

**Subscribed and sworn before me**

This 19<sup>th</sup> day of January, 2005

Sha. Red  
Notary Public in and for said County and State  
Los Angeles, CA



18TH

SUNRISE AVENUE

ACCENT PARKING  
PER CITY STANDARDS

FREMONT STREET

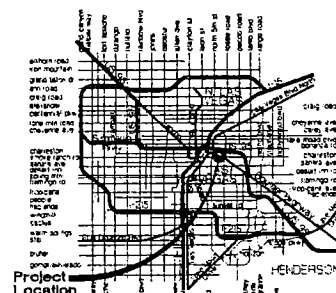
PROPOSED 4-STORY OFFICE and CONDOMINIUM

BRUCE STREET

CIRCLE DRIVE

SITE DEVELOPMENT PLAN

SCALE: 1" = 40'-0"



Project Location

VICINITY MAP

## PROJECT DATA

|                                     |                               |
|-------------------------------------|-------------------------------|
| APN # 138-35-803-00                 | FREMONT/BRUCE STREET          |
| ADDRESS                             | LAS VEGAS, NV                 |
| LOT COVERAGE                        | 70%                           |
| LOT AREA                            | 120,068 S.F. (2.76 ACRES)     |
| PARKING REQUIRED:                   |                               |
| RESIDENTIAL                         | 152 UNITS @ 1.5/UNIT = 152    |
| RETAIL/MEDICAL                      | 21,000 SF @ 250/SF SPACE = 84 |
|                                     | <b>TOTAL REQUIRED 236</b>     |
| PARKING PROVIDED:                   |                               |
| STANDARD PARKINGS (9' x 18')        | 235                           |
| HANDICAP PARKING (13' x 18')        | 6                             |
| HANDICAP VAN ACCESSIBLE (13' x 18') | 1                             |
|                                     | <b>TOTAL PROVIDED 242</b>     |

SITE DEVELOPMENT PLAN

FREMONT VILLAGE

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89101

Revisions:

|   |         |
|---|---------|
| 1 | Initial |
| 2 | Initial |
| 3 | Initial |
| 4 | Initial |

|              |             |
|--------------|-------------|
| Date:        | 03-10-05    |
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| Drawn By:    | SP10        |
| Check By:    | SP10        |
| Scale:       | 1" = 40'-0" |

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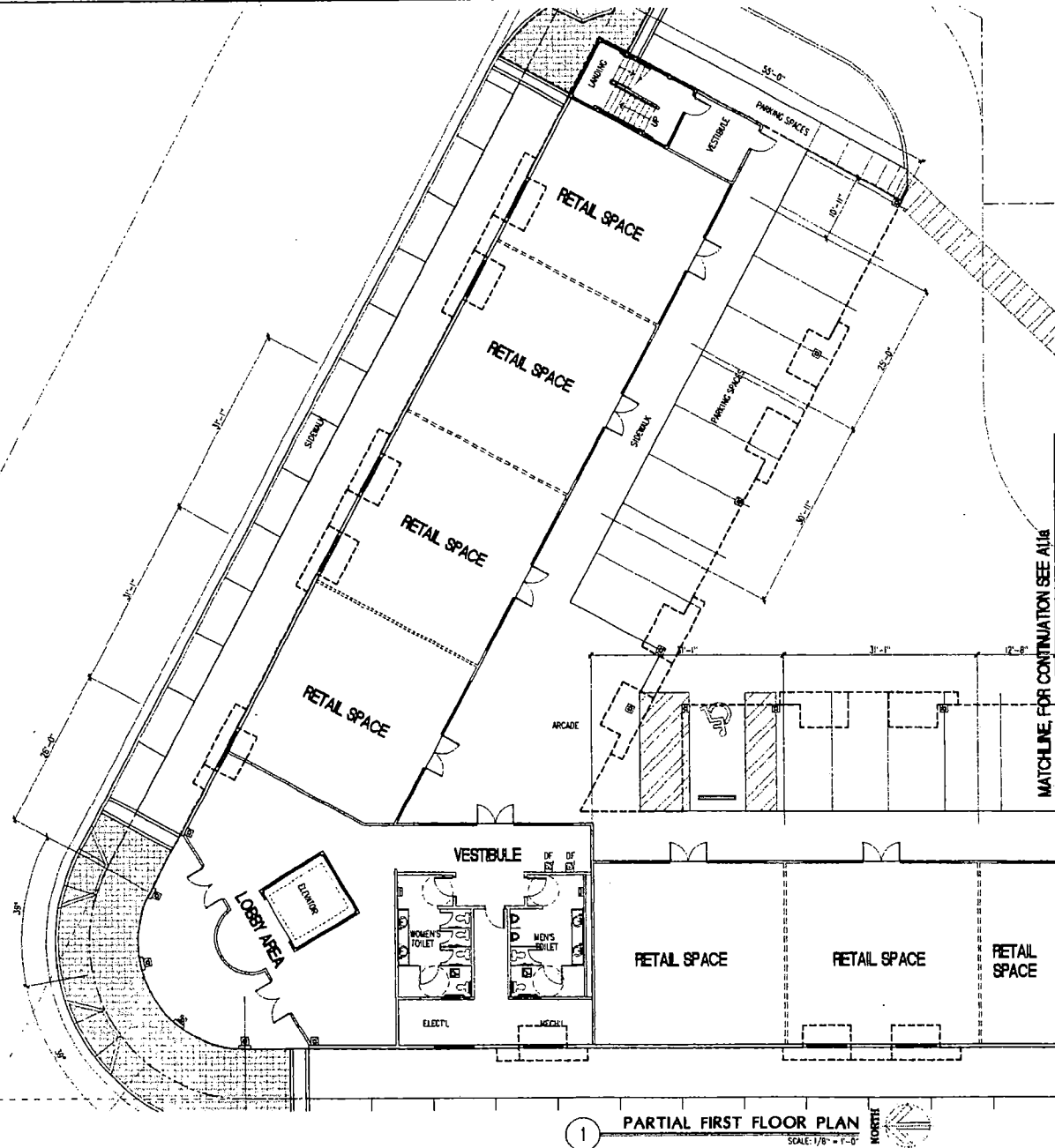
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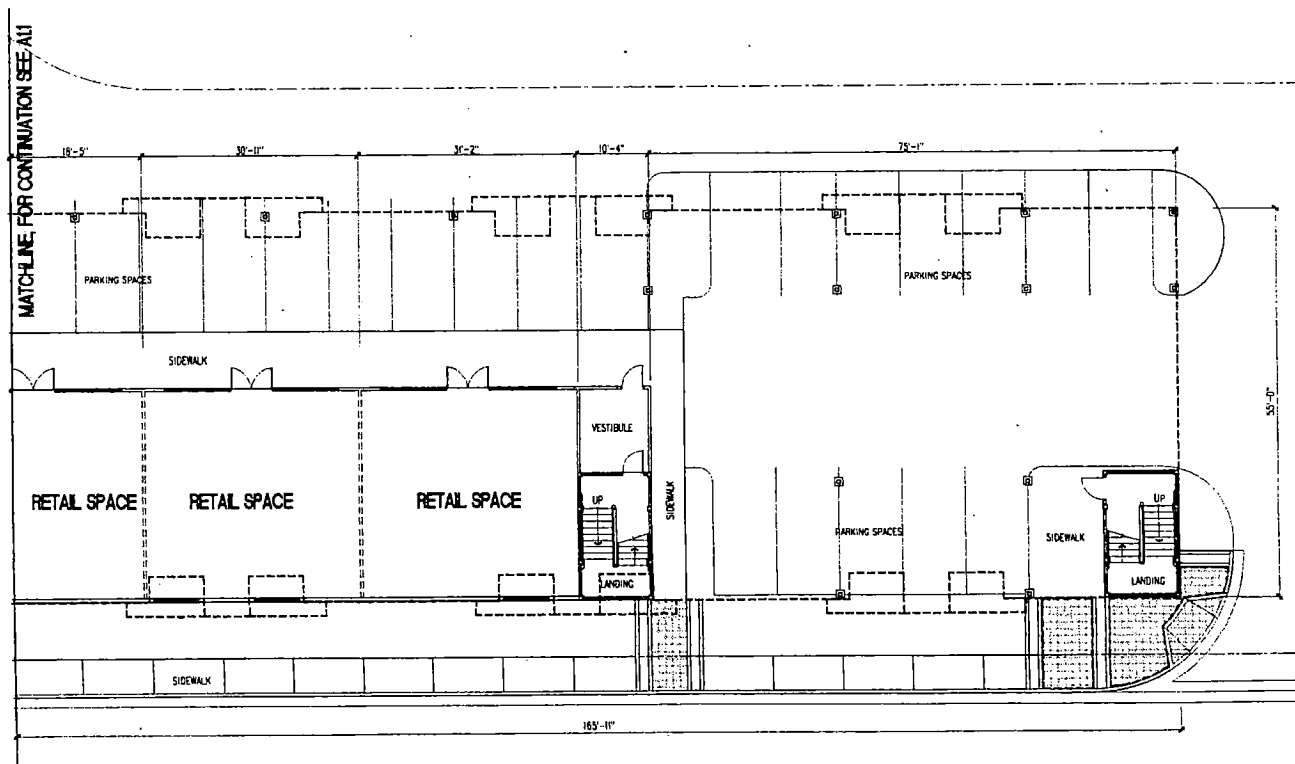
SUP-5984  
SDR-5942  
03-10-05 PC



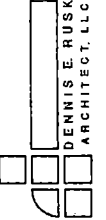
1 PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

|                                                                                                                                                                                                                                                                                             |                      |   |                |   |                      |   |                |   |                  |   |                |
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|                                                                                                                                                                                                                                                                                             |                      |   |                |   |                      |   |                |   |                  |   |                |
| <p><b>FREMONT VILLAGE</b><br/>FREMONT STREET / BRUCE STREET<br/>LAS VEGAS, NV 89101</p>                                                                                                                                                                                                     |                      |   |                |   |                      |   |                |   |                  |   |                |
| <p>SECOND FLOOR PLAN</p>                                                                                                                                                                                                                                                                    |                      |   |                |   |                      |   |                |   |                  |   |                |
| <p>REVISIONS:</p> <table border="1"> <tr> <td>1</td> <td>DATE: 03-10-05</td> </tr> <tr> <td>2</td> <td>PROJECT NO: SDR-5942</td> </tr> <tr> <td>3</td> <td>DRAWN BY: J.S.</td> </tr> <tr> <td>4</td> <td>CHECK BY: D.E.R.</td> </tr> <tr> <td>5</td> <td>DATE: 03-10-05</td> </tr> </table> |                      | 1 | DATE: 03-10-05 | 2 | PROJECT NO: SDR-5942 | 3 | DRAWN BY: J.S. | 4 | CHECK BY: D.E.R. | 5 | DATE: 03-10-05 |
| 1                                                                                                                                                                                                                                                                                           | DATE: 03-10-05       |   |                |   |                      |   |                |   |                  |   |                |
| 2                                                                                                                                                                                                                                                                                           | PROJECT NO: SDR-5942 |   |                |   |                      |   |                |   |                  |   |                |
| 3                                                                                                                                                                                                                                                                                           | DRAWN BY: J.S.       |   |                |   |                      |   |                |   |                  |   |                |
| 4                                                                                                                                                                                                                                                                                           | CHECK BY: D.E.R.     |   |                |   |                      |   |                |   |                  |   |                |
| 5                                                                                                                                                                                                                                                                                           | DATE: 03-10-05       |   |                |   |                      |   |                |   |                  |   |                |
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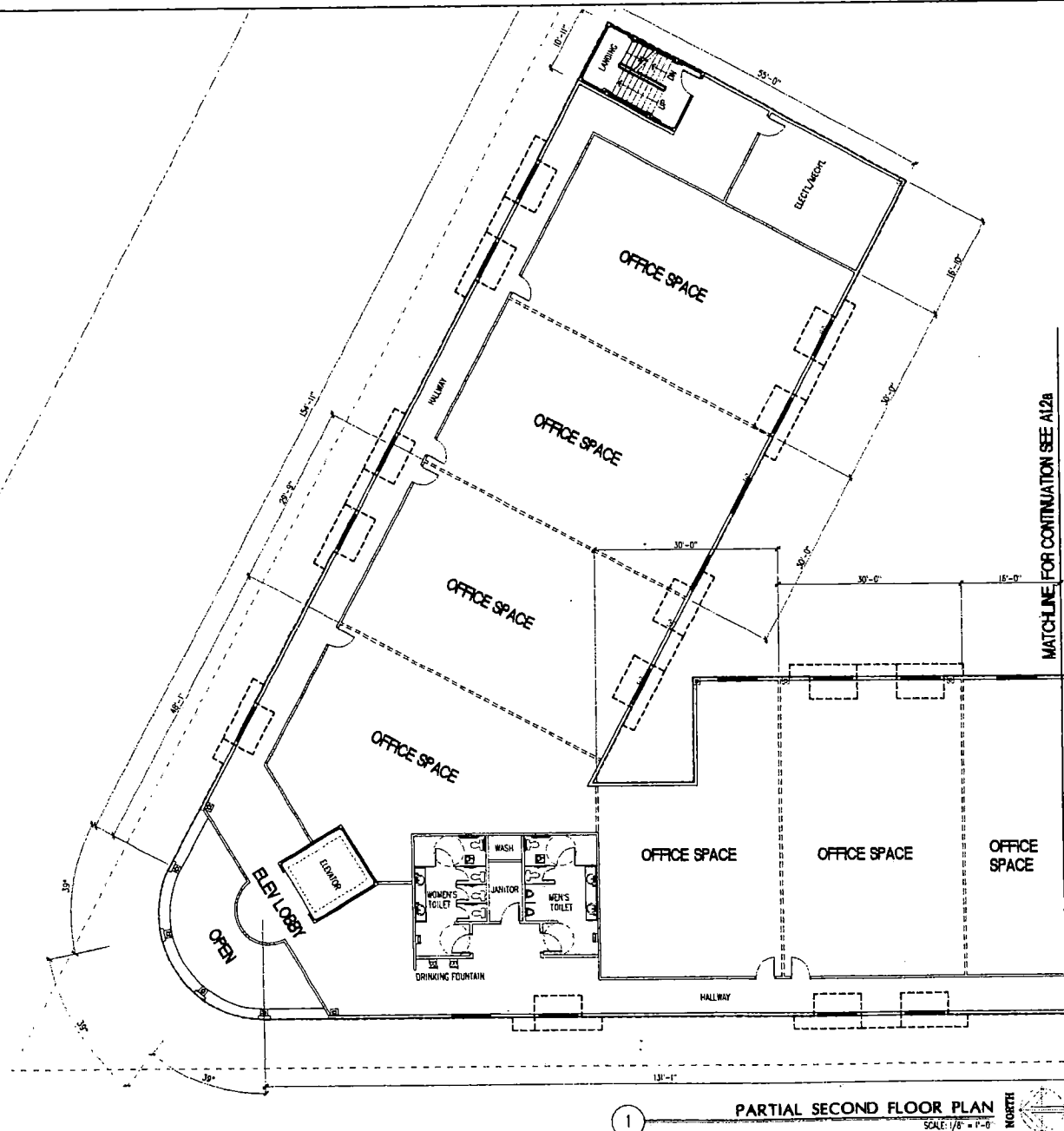
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SDR-5942  
03-10-05 PC

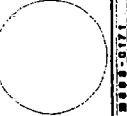


1 PARTIAL FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

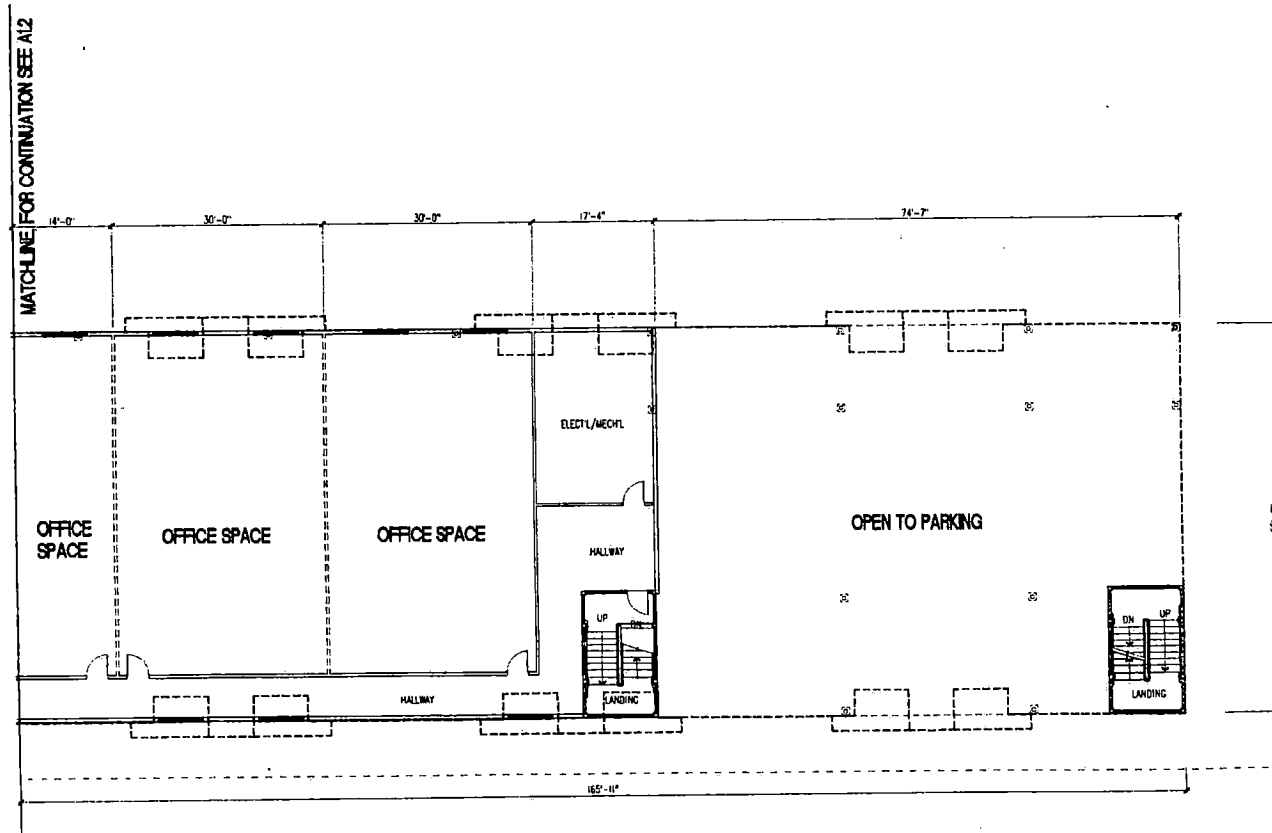
|  <p>DENNIS E. RUSK<br/>ARCHITECT, LLC</p>                                                                                                                                                     |      |             |      |             |   |  |  |   |  |  |   |  |  |   |  |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------|-------------|------|-------------|---|--|--|---|--|--|---|--|--|---|--|--|
| <p>SECOND FLOOR PLAN</p> <p><b>FREMONT VILLAGE</b></p> <p>FREMONT STREET/BRUCE STREET<br/>LAS VEGAS, NV 89...</p>                                                                                                                                                                |      |             |      |             |   |  |  |   |  |  |   |  |  |   |  |  |
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| NO.                                                                                                                                                                                                                                                                              | DATE | DESCRIPTION |      |             |   |  |  |   |  |  |   |  |  |   |  |  |
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| 3                                                                                                                                                                                                                                                                                |      |             |      |             |   |  |  |   |  |  |   |  |  |   |  |  |
| 4                                                                                                                                                                                                                                                                                |      |             |      |             |   |  |  |   |  |  |   |  |  |   |  |  |
| <p>DATE: 03-10-05<br/>PROJECT NO.: 03-10-05<br/>DRAWN BY: J.S.<br/>CHECKED BY: D.E.R.<br/>SHEET NO.: 1</p> <p>AT&amp;A</p>                                                                                                                                                       |      |             |      |             |   |  |  |   |  |  |   |  |  |   |  |  |

**SUP-5984**  
**SDR-5942**  
**03-10-05 PC**



|  <p><b>DENNIS E. RUSK</b><br/> <b>ARCHITECT, LLC</b></p>                                                                                                                                                            |                |          |             |      |   |                |          |   |                |          |   |              |          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------|----------|-------------|------|---|----------------|----------|---|----------------|----------|---|--------------|----------|
| <p><b>FREMONT VILLAGE</b><br/>         FREMONT STREET / BRUNCE STREET<br/>         LAS VEGAS, NV 89101</p>                                                                                                                                                                                             |                |          |             |      |   |                |          |   |                |          |   |              |          |
| <p>SECOND FLOOR PLAN</p>                                                                                                                                                                                                                                                                               |                |          |             |      |   |                |          |   |                |          |   |              |          |
| <p>Revisions:</p> <table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> <tr> <td>1</td> <td>Initial Design</td> <td>10/05/03</td> </tr> <tr> <td>2</td> <td>Revised Design</td> <td>10/05/03</td> </tr> <tr> <td>3</td> <td>Final Design</td> <td>10/05/03</td> </tr> </table> |                | No.      | Description | Date | 1 | Initial Design | 10/05/03 | 2 | Revised Design | 10/05/03 | 3 | Final Design | 10/05/03 |
| No.                                                                                                                                                                                                                                                                                                    | Description    | Date     |             |      |   |                |          |   |                |          |   |              |          |
| 1                                                                                                                                                                                                                                                                                                      | Initial Design | 10/05/03 |             |      |   |                |          |   |                |          |   |              |          |
| 2                                                                                                                                                                                                                                                                                                      | Revised Design | 10/05/03 |             |      |   |                |          |   |                |          |   |              |          |
| 3                                                                                                                                                                                                                                                                                                      | Final Design   | 10/05/03 |             |      |   |                |          |   |                |          |   |              |          |
| <p>Date: 10/05/03<br/>         Project No.: 03-10-05<br/>         Drawn By: [Signature]<br/>         Check By: [Signature]<br/>         Scale: 1/8" = 1'-0"</p>                                                                                                                                        |                |          |             |      |   |                |          |   |                |          |   |              |          |

**SUP-5984**  
**SDR-5942**  
**03-10-05 PC**



**WATCHLINE FOR CONTINUATION SEE A12**

①

PARTIAL SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



DENNIS E. RUSK  
ARCHITECT, LLC

SECOND FLOOR PLAN

**FREMONT VILLAGE**

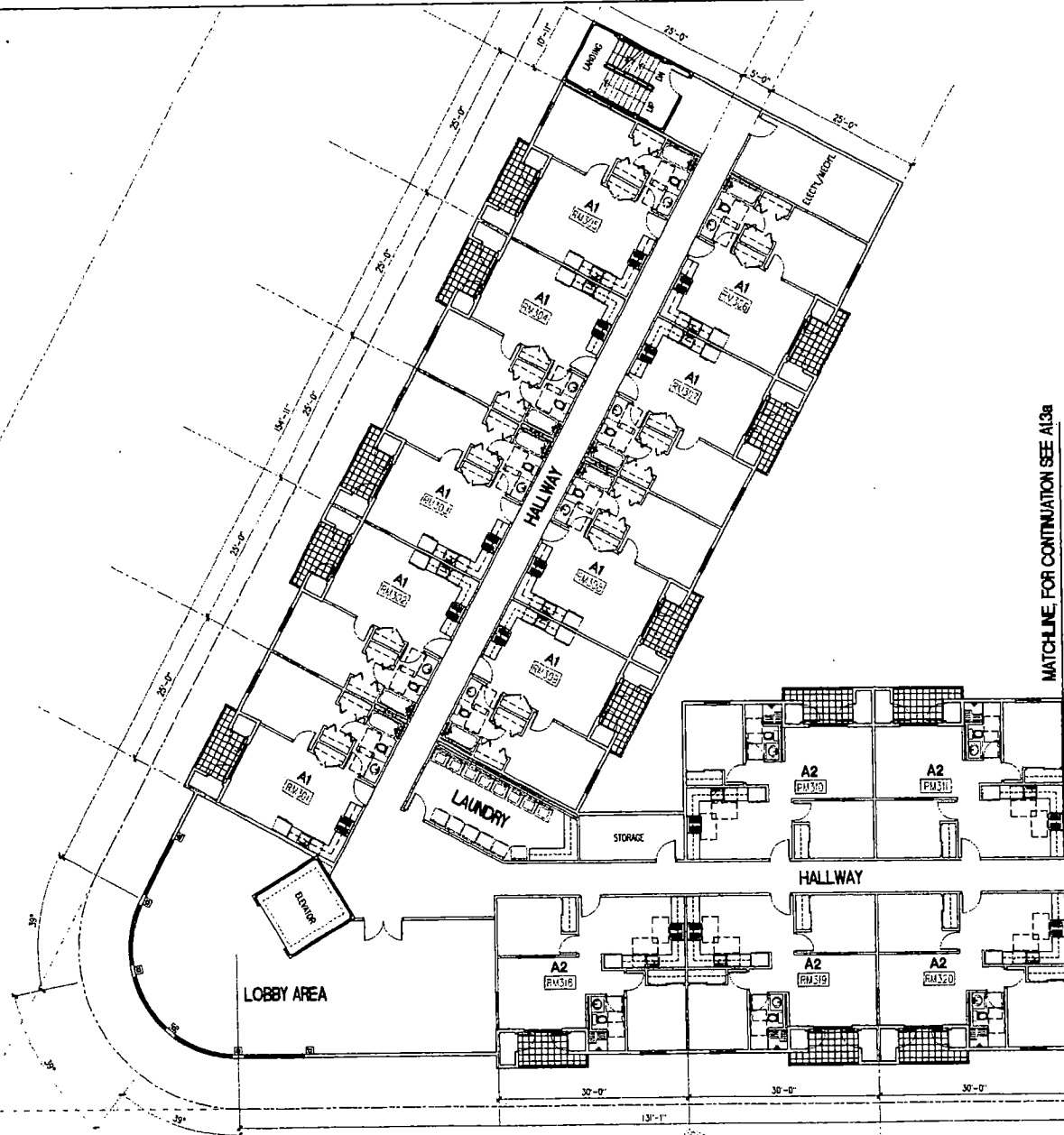
EFFEMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89--

**Revisions:**

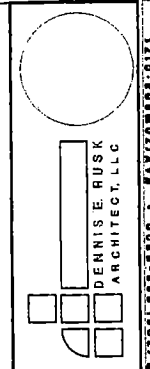
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Drawn By: A  
Check By: DEN FUG  
Sheet No.:  
A12a

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SUP-5984  
SDR-5942  
03-10-05 PC



1 PARTIAL THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



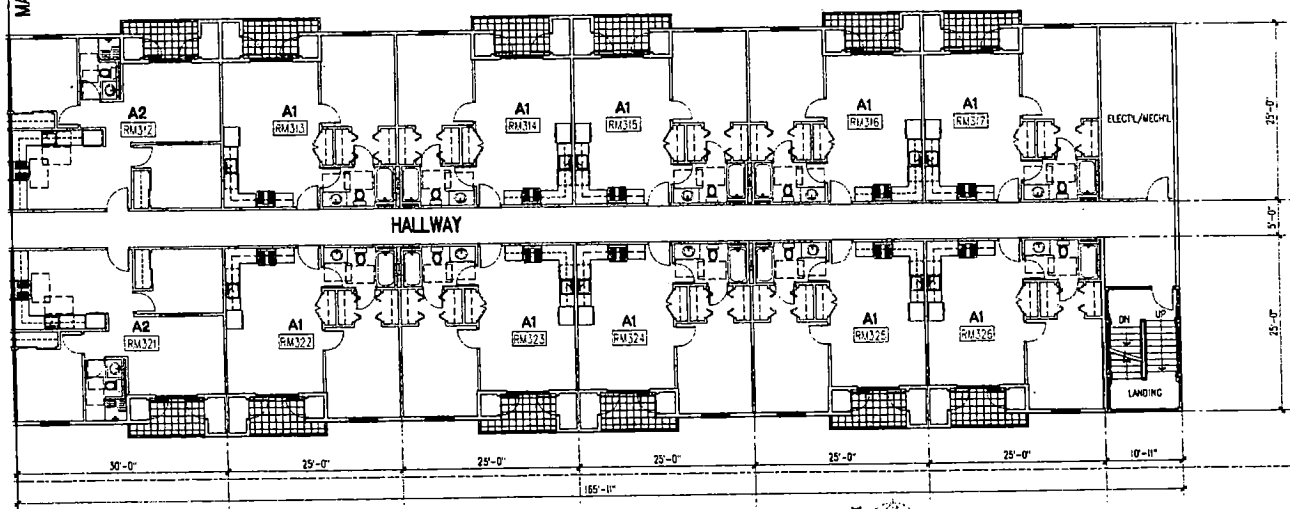
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**FREMONT VILLAGE**  
FREMONT STREET/ABRACE STREET  
LAS VEGAS, NV 89...

| Revisions: |
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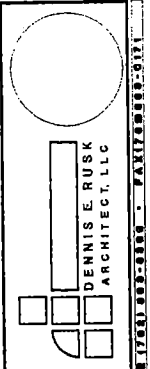
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| Check By:    | CE       |
| Sheet No.:   | A13      |

SUP-5984  
SDR-5942  
03-10-05 PC

MATCHLINE FOR CONTINUATION SEE A13



1 PARTIAL THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



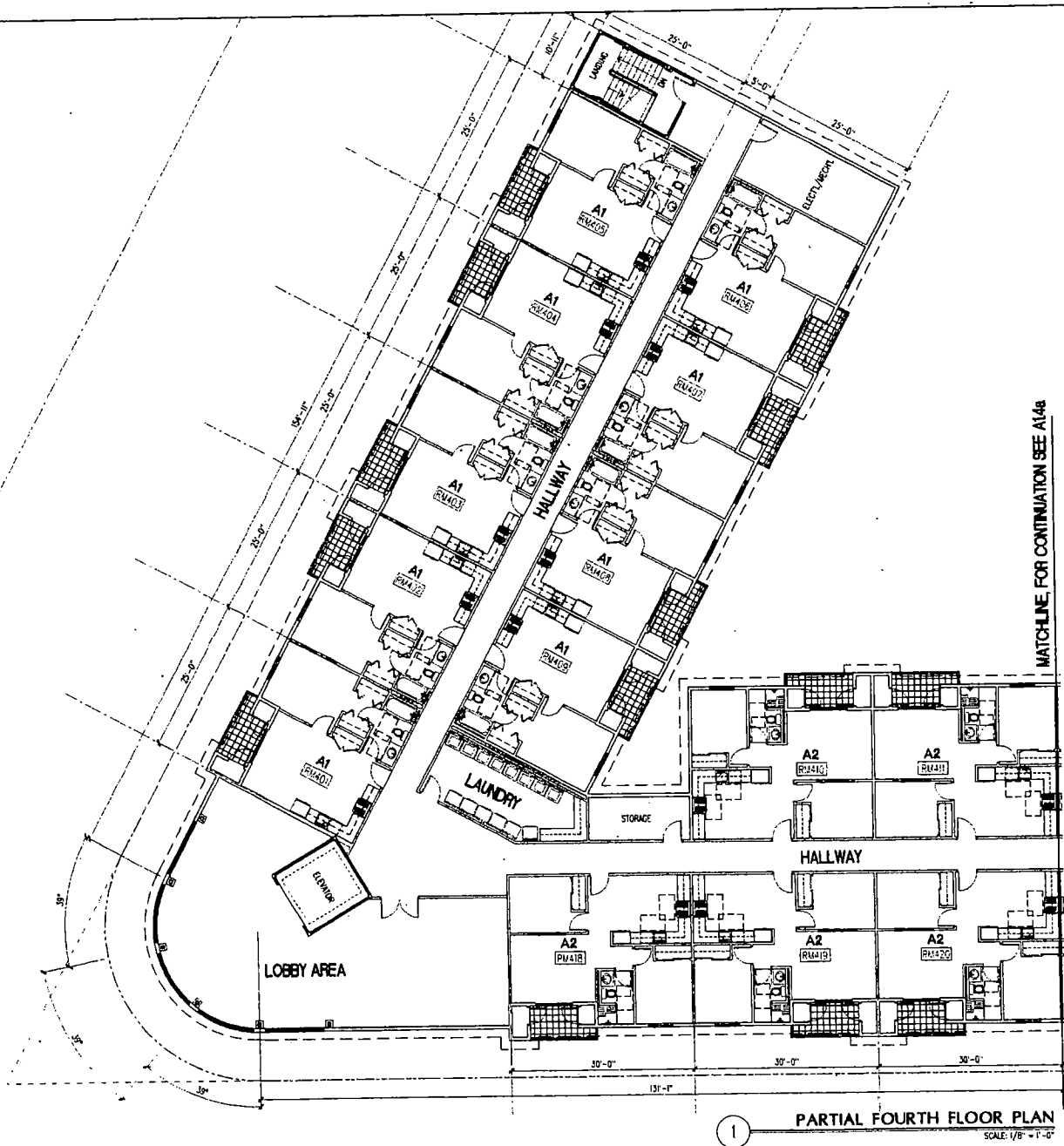
THIRD FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/VEHICLE STREET  
LAS VEGAS, NV 89101

Revisions:  
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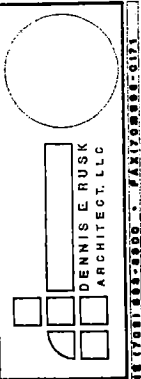
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SUP-5984  
SDR-5942  
03-10-05 PC



1 PARTIAL FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PARTIAL FOURTH FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/ARLUC STREET  
LAS VEGAS, NV 89101

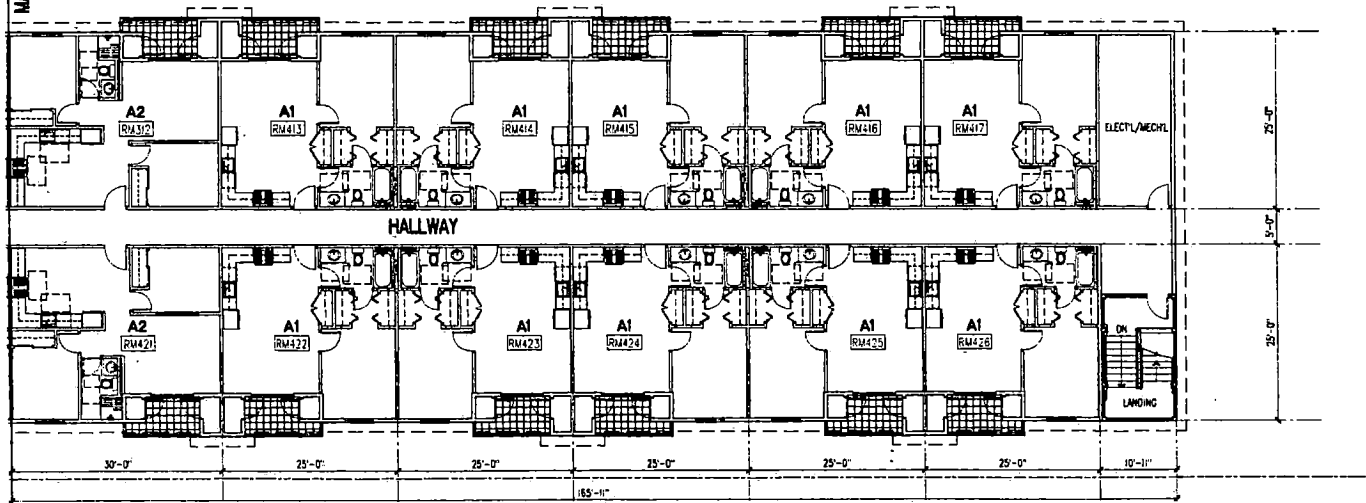
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Project No.: 03-10-05  
Drawn By: JLR  
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Sheet No.: 14

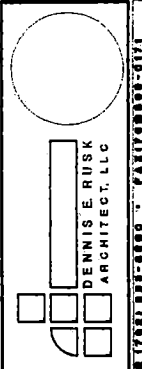
03-10-05 PC

SUP-5984  
SDR-5942  
03-10-05 PC

MATCHLINE FOR CONTINUATION SEE A14



1 PARTIAL FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PARTIAL FOURTH FLOOR PLAN

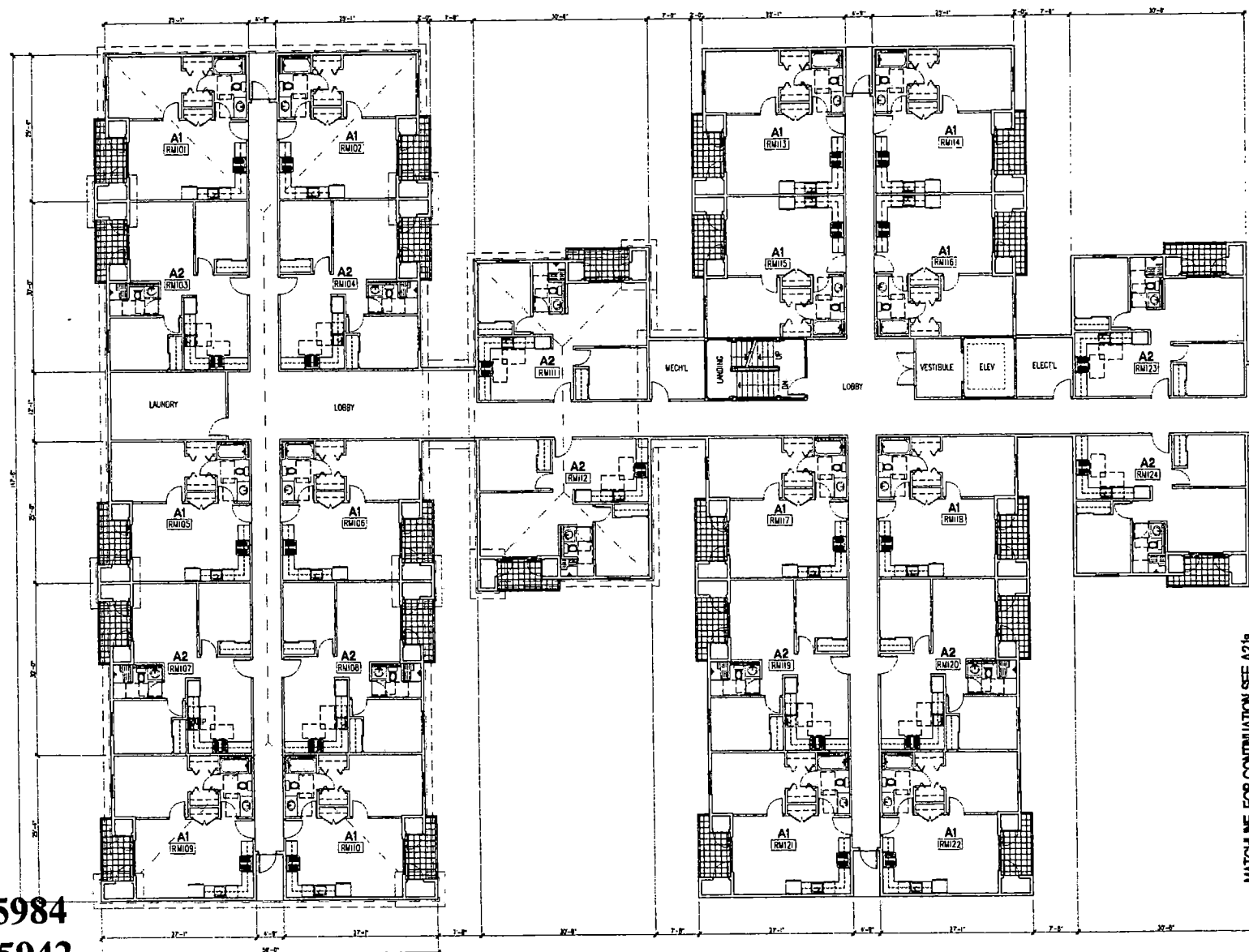
FREMONT VILLAGE

FREMONT STREET / BRUCE STREET  
LAS VEGAS, NV 89101

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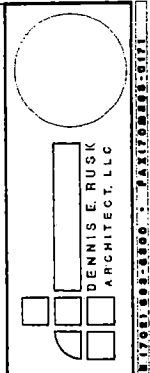
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| Check By:    | DR       |
| Sheet No.:   | A14      |

SUP-5984  
SDR-5942  
03-10-05 PC



MATCHLINE FOR CONTINUATION SEE A2.1a

PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



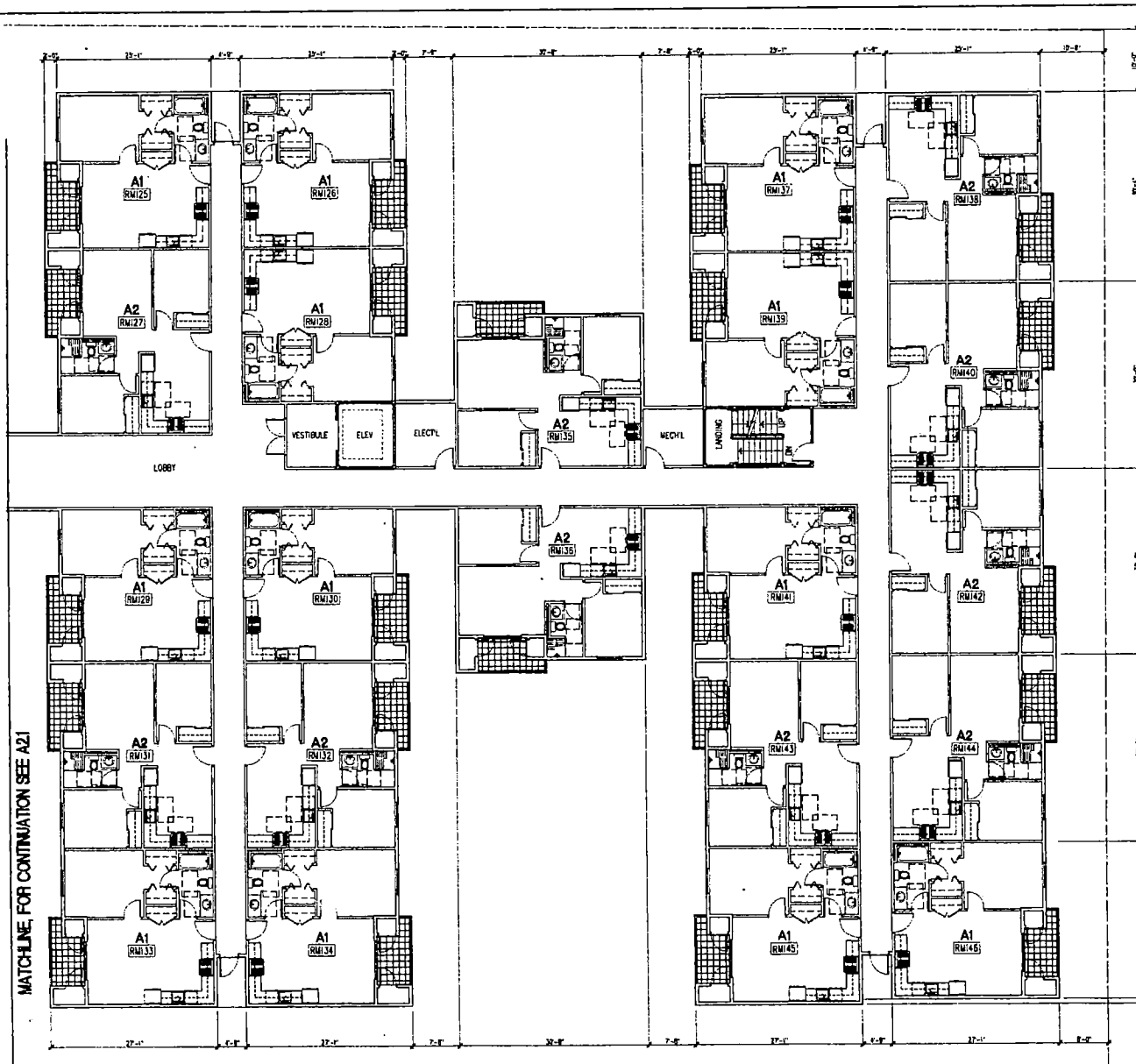
**FREMONT VILLAGE**  
FREMONT STREET/THIRCE STREET  
LAS VEGAS, NV 89101

REVISIONS:  
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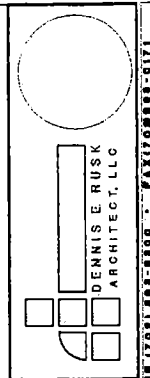
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SHEET NO.:  
A2.1a

DENNIS E. RUCK ARCHITECT, LLC 1000 PATRICK LANE SUITE 200 LAS VEGAS, NV 89101 PHONE 702.735.2000 FAX 702.735.2001

SUP-5984  
SDR-5942  
03-10-05 PC



1 PARTIAL FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



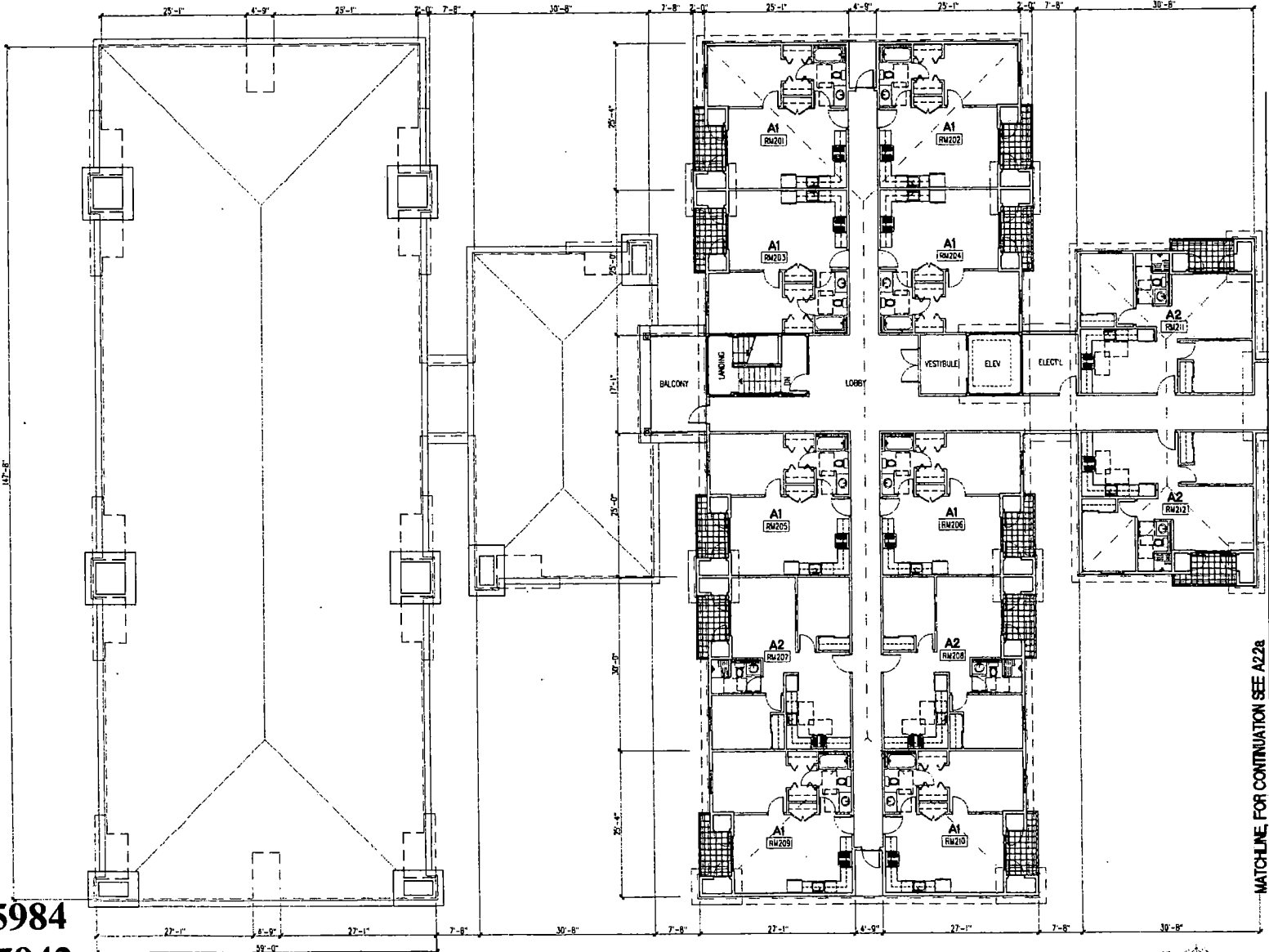
PARTIAL FIRST FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/HURD STREET  
LAS VEGAS, NV 89101

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2. 03-10-05 PC  
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Drawn By: [Signature]  
Checked By: [Signature]  
Date: 03-10-05  
Project No.: [Number]  
Sheet No.: A2-1a

DENNIS E. RUSK ARCHITECT, LLC 6000 EASTERN AVENUE SUITE 101 LAS VEGAS, NV 89119 PHONE: 702.735.0000 FAX: 702.735.0001

**SUP-5984**  
**SDR-5942**  
**03-10-05 PC**



**MATCHLINE, FOR CONTINUATION SEE A228**

Revisions:

Date: 12-22-04  
Project No.: 00000  
Drawn By: JH  
Check By: CRR/vg  
Sheet No.:

A22.2

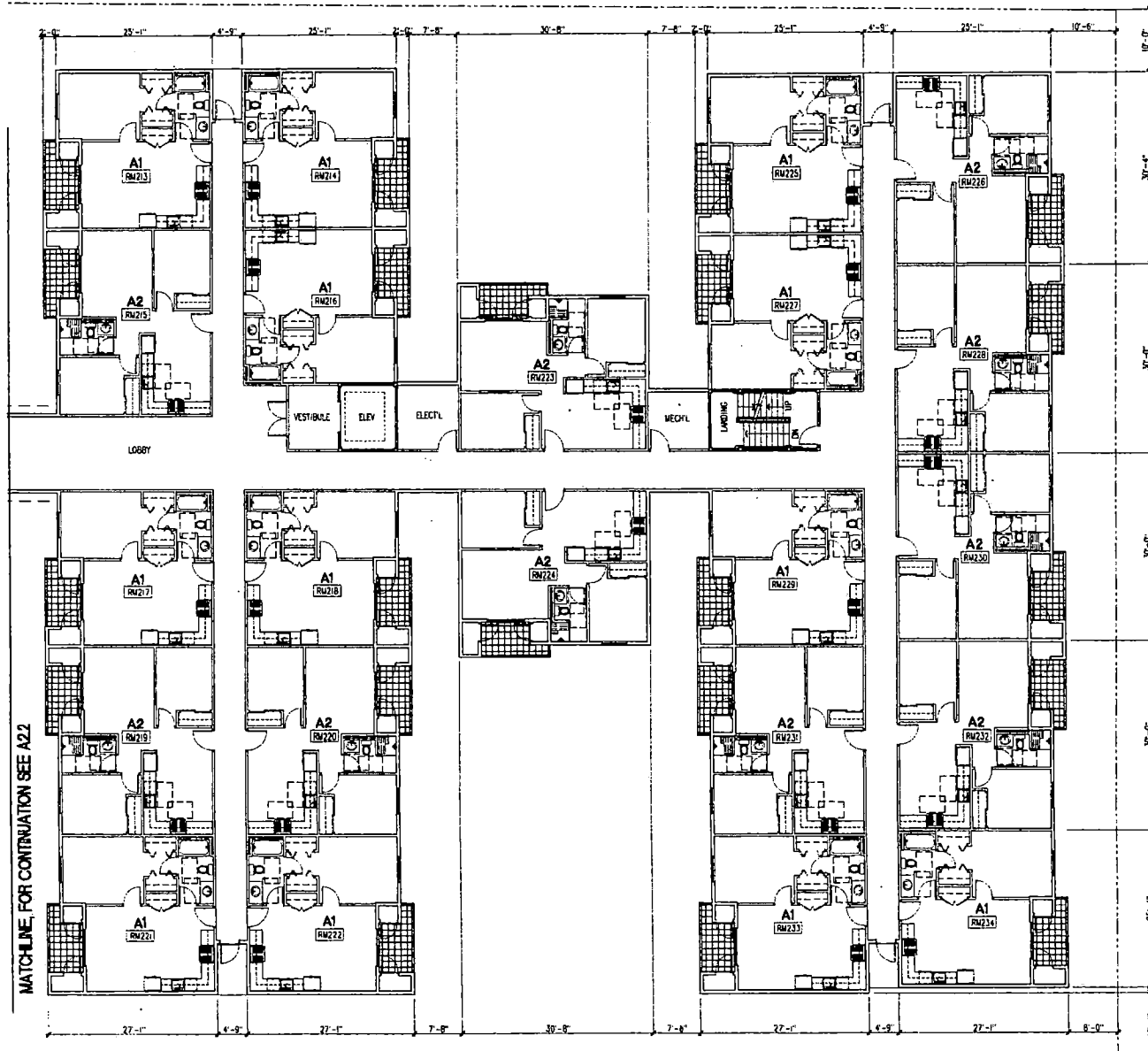
PARTIAL SECOND FLOOR PLAN

**FREMONT VILLAGE**

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89 --

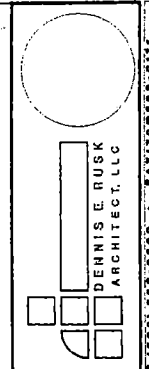
STENNIS & RUCK, ARCHITECTS, 1000 PATRICK LANE, SUITE 100, LAVERGNE, MISSOURI 64086

SUP-5984  
SDR-5942  
03-10-05 PC



1

PARTIAL SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PARTIAL SECOND FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89101

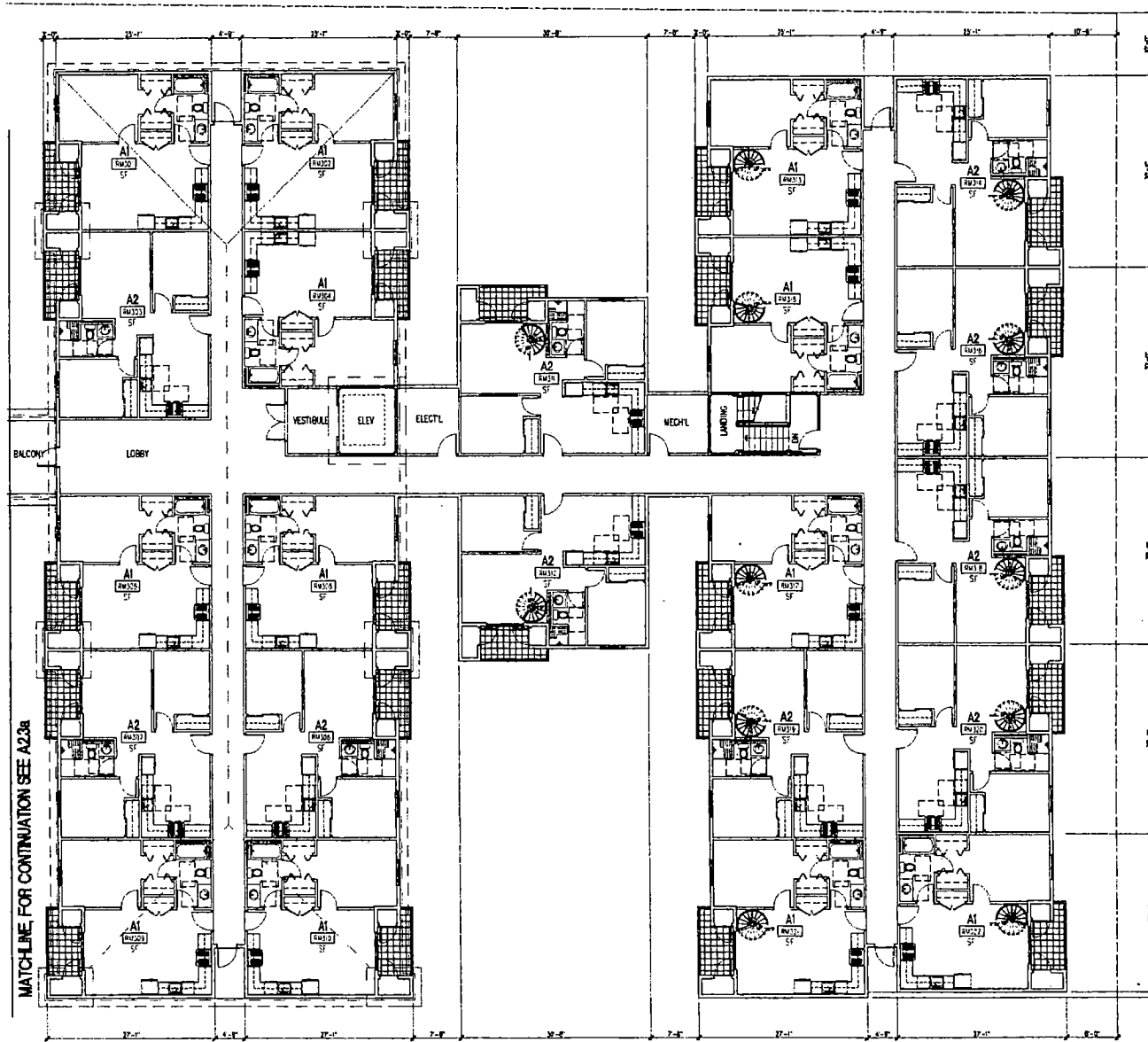
Revisions:

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 03-10-05 | ISSUED FOR PERMIT |
| 2   | 03-10-05 | REVISIONS         |
| 3   | 03-10-05 | REVISIONS         |
| 4   | 03-10-05 | REVISIONS         |
| 5   | 03-10-05 | REVISIONS         |

|             |              |
|-------------|--------------|
| Date        | 03-10-05     |
| Project No. | 03-10-05     |
| Drawn By    | 03-10-05     |
| Check By    | 03-10-05     |
| Scale       | 1/8" = 1'-0" |
| Sheet No.   | A2-2a        |

DENNIS E. RUSK ARCHITECT, LLC 1000 KAYAKU LANE, SUITE 100, LAS VEGAS, NV 89101 PHONE 702.883.8800 FAX 702.883.8801

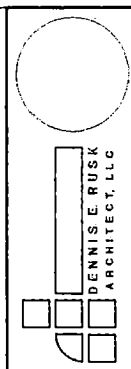
SUP-5984  
SDR-5942  
03-10-05 PC



MATCH LINE FOR CONTINUATION SEE A23a

1

PARTIAL THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PARTIAL THIRD FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET / BRUCE STREET  
LAS VEGAS, NV 89101

Revisions:  
1. 03-10-05: Initial Design  
2. 03-10-05: Final Design  
3. 03-10-05: Construction Documents  
4. 03-10-05: Final Construction Documents

Sheet:  
A238  
Project No.:  
Date:  
Drawn By:  
Checked By:  
Scale:

03-10-05 PC

Architectural floor plan showing a building layout with dimensions. The plan includes a central corridor and four main rectangular rooms. The dimensions are as follows:

- Top Left Room: 27'-0" x 35'-0"
- Top Right Room: 27'-0" x 35'-0"
- Bottom Left Room: 27'-0" x 35'-0"
- Bottom Right Room: 27'-0" x 35'-0"
- Central Corridor: 7'-0" wide
- Small Room at Bottom Right: 7'-0" x 10'-0"

The plan also shows a central staircase area and a small room at the bottom right. The drawing is a technical architectural plan with dimensions and a match line.

084  
942

MATCH LINE FOR CONTINUATION SEE A23

MATCHLINE FOR CONTINUATION SEE A23

**PARTIAL THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**NORTH**

Date: 12-23-04  
Project No.:  
Drawn By: J.G.  
Check By: DEPTVE  
Sheet No.:  
A23a

PARTIAL THIRD FLOOR PLAN

**FREMONT VILLAGE**

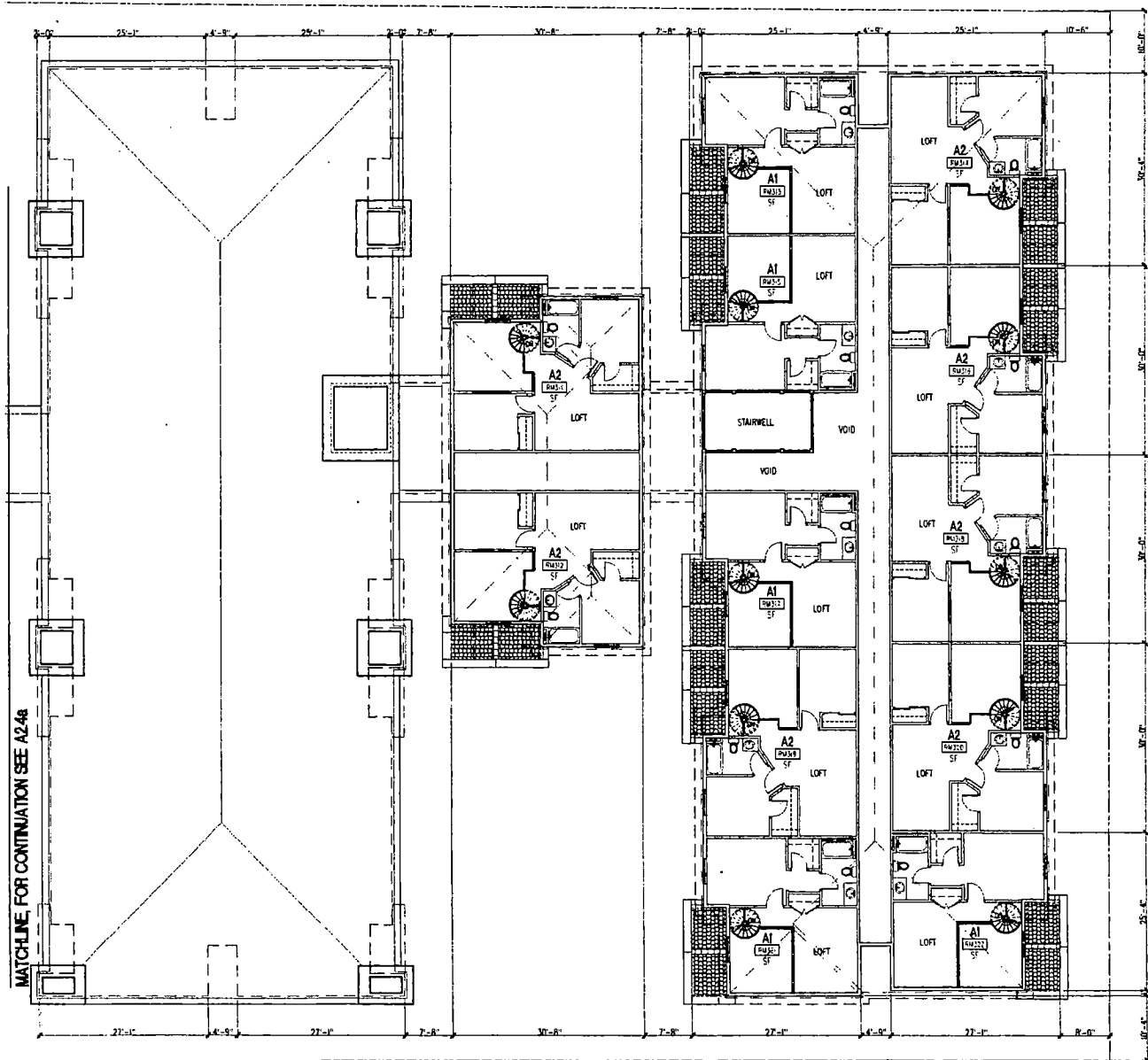
FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89---



DENNISE RUSK  
ARCHITECT, LLC

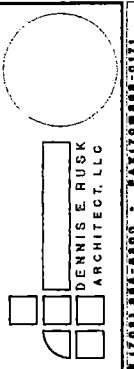
DENNIS L HUCK • ANCHUTHOY LG • QUIN 300 • LAS VEGAS NEVADA 89100 • PHONE (702) 693-4000 • FAX (702) 693-0171

SUP-5984  
SDR-5942  
03-10-05 PC



PARTIAL LOFT FLOOR PLAN

SCALE: 1/8" = 1'-0"



PARTIAL FOURTH FLOOR PLAN

FREMONT VILLAGE

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89101

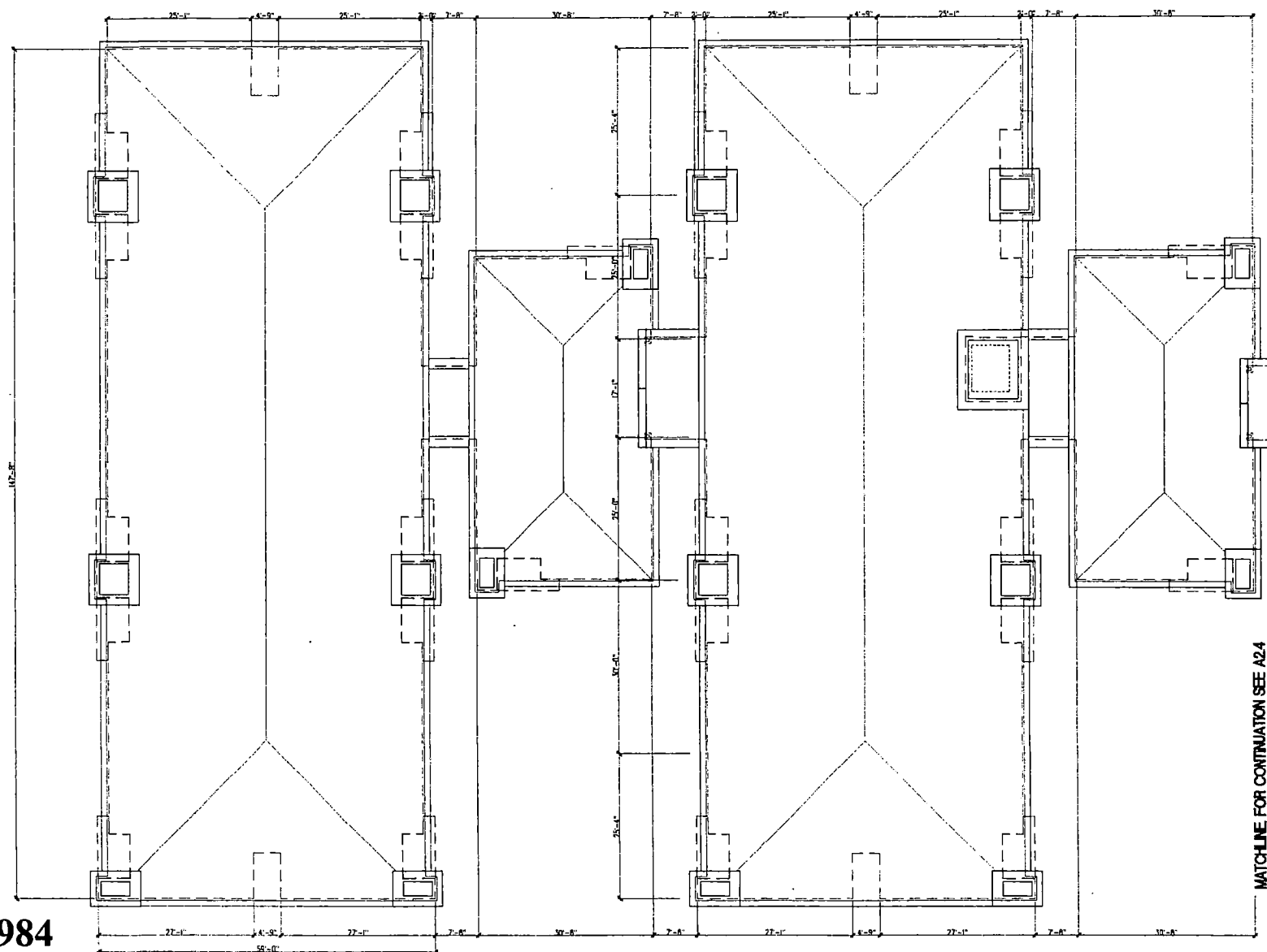
NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.  
3. ALL FLOORS ARE 4" THICK CONCRETE UNLESS NOTED OTHERWISE.  
4. ALL ROOFS ARE 6" THICK CONCRETE UNLESS NOTED OTHERWISE.  
5. ALL CEILING ARE 8" THICK CONCRETE UNLESS NOTED OTHERWISE.  
6. ALL STAIRS ARE 12" WIDE UNLESS NOTED OTHERWISE.  
7. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.  
8. ALL WINDOWS ARE 48" WIDE UNLESS NOTED OTHERWISE.  
9. ALL VENTILATORS ARE 12" WIDE UNLESS NOTED OTHERWISE.  
10. ALL LIGHT FIXTURES ARE 12" WIDE UNLESS NOTED OTHERWISE.

Revisions:  
1. 11/1/05  
2. 11/1/05  
3. 11/1/05  
4. 11/1/05

Date: 11/1/05  
Project No.: 03-10-05  
Drawn By: J. B.  
Check By: D. E. R.  
Sheet No.: A2.48

DENNIS E. RUSK ARCHITECT, LLC 1000 PRAYERMAN AVE SUITE 100 LAS VEGAS, NV 89101 PHONE (702) 385-9305 FAX (702) 385-9311

**SUP-5984**  
**SDR-5942**  
**03-10-05 PC**



MATCHLINE FOR CONTINUATION SEE A24

Revisions: ☐ ☐ ☐ ☐ ☐

PARTIAL FOURTH FLOOR PLAN

**FREMONT VILLAGE**

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89--

• LAO VIQARHQVABA 801

DENNISE RUSK  
ARCHITECT, LLC

DENNIS E RUSK  
ARCHITECT, LLC

**6080-8 • 40X4**

PARTIAL FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"



**NORTH**  
AMERICAN  
CATHOLIC  
BOOK  
DISTRIBUTORS

**A2.4a**

Date: 7-20-94  
Project No.:  
Drawn By: AG  
Check By: DEAFV  
Sheet No.:  
A2.4a

1000

*Architecture*

DENNIS E. RUSK ARCHITECT

January 12, 2005

Planning and Development  
City of Las Vegas  
731 S. Fourth Street  
Las Vegas, NV 89101

Re: Mixed-Use Commercial/Residential  
Downtown Centennial Plan  
Fremont and Bruce

JUSTIFICATION LETTER SPECIAL USE PERMIT

This Project falls into the neighborhood revitalization area and qualifies for a Mixed-Use Project of Retail/Commercial and Residential by Special Use Permit. We therefore request for Special Use Permit to construct a commercial space of approximately 21,000 sf with 152 apartments units in two towers of (1) 4 stories, (1) 2 to 4 stories over on grade parking level, on a C-2 zoned parcel.

Thank you,

Dennis E. Rusk, Architect

SUP-5984

# Agenda City of Las Vegas Chair's

## PLANNING COMMISSION MEETING

### MARCH 10, 2005

Council Chambers 400 Stewart Avenue  
Phone 229-6301 TDD 386-9108 <http://www.lasvegasnevada.gov>

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#### DIRECTOR'S BUSINESS:

44. TXT-6120 - TEXT AMENDMENT - PUBLIC HEARING - CITY OF LAS VEGAS - Discussion and possible action to amend Title 19.06.040, "R-PD Residential Planned Development District"; Title 19.08.040, "Residential District Development Standards"; and Title 19.20.020, "Words and Terms Defined" to define the Residential Planned Development Standards.

STAFF REQUESTS THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING..

#### CITIZENS PARTICIPATION:

PUBLIC COMMENT DURING THIS PORTION OF THE AGENDA MUST BE LIMITED TO MATTERS WITHIN THE JURISDICTION OF THE PLANNING COMMISSION NO SUBJECT MAY BE ACTED UPON BY THE PLANNING COMMISSION UNLESS THAT SUBJECT IS ON THE AGENDA AND IS SCHEDULED FOR ACTION. IF YOU WISH TO BE HEARD, GIVE YOUR NAME FOR THE RECORD. THE AMOUNT OF DISCUSSION ON ANY SINGLE SUBJECT, AS WELL AS THE AMOUNT OF TIME ANY SINGLE SPEAKER IS ALLOWED, MAY BE LIMITED.

Facilities are provided throughout City Hall for the convenience of disabled persons. Special equipment for the hearing impaired is available for use at meetings. If you need an accommodation to attend and participate in this meeting, please call the DEPARTMENT DESIGNEE at 229-6301 and advise of your need at least 48 hours in advance of the meeting. The City's TDD number is 386-9108.

*Disapprove!*

*SERGIO RODRIGUEZ*

*Armando Dalton*

*Danny Edwards*

*ALBERTO MENDOZA*

*Jesus Pineda*

*FANCISCA RIOS*

*Maria Rivera*

*Juan Serna*

*UBALDO TAFORA*

*MARGARITA RODRIGUEZ*

*JESSICA LUGO*

*Gabriel Gallo*

*Mike Welch*

*Shirley Baker*

3/10/2005 1:50 PM

Date 03-10-05 . Item: 30-31

Submitted at Planning Commission

# Agenda

## City of Las Vegas Chair's PLANNING COMMISSION MEETING MARCH 10, 2005

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40. **SDR-6017 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT: SKY RISE DEVELOPMENT GROUP, INC - OWNER: EDWARD B. FRANKEL FAMILY TRUST** - Request for a Site Development Plan Review FOR THE CONVERSION OF A 504-UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 24.76 acres at 2200 South Fort Apache Road (APN 163-05-315-045 and 163-05-410-001), R-PD18 (Residential Planned Development- 18 Units per Acre), Ward 1 (Tarkanian).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

41. **SDR-6023 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT/ OWNER: CHARLESTON FESTIVAL, LLC** - Request for a Site Development Plan Review FOR A 94,978 SQUARE-FOOT COMMERCIAL DEVELOPMENT on 10.21 acres adjacent to the southeast corner of Torrey Pines Drive and Casada Way (APN 138-35-801-002, 138-35-803-001, and 138-35-403-005), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

THE APPLICANT REQUESTS THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING..

42. **SDR-6025 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: DECATUR CONCORD LLC** - Request for a Site Development Plan Review FOR A 4,987 SQUARE-FOOT COMMERCIAL BUILDING AND A WAIVER TO ALLOW A 15-FOOT FRONT SETBACK WHERE 20 FEET IS THE MINIMUM SETBACK REQUIRED AND WAIVERS OF FOUNDATION, BUFFER AND PARKING LOT LANDSCAPING STANDARDS on 0.83 acres adjacent to the northeast corner of Decatur Boulevard and Concord Village Drive (APN 139-19-301-007), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

STAFF RECOMMENDS APPROVAL PER REVISED SITE PLAN SUBMITTED 03/09/05  
PUBLIC HEARING

C.C.: 04/06/05

43. **SDR-6066 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT: COMMERCIAL VENTURES, INC. - OWNER: ENCINO EXECUTIVE CENTER, LLC AND 16207 VENTURA BOULEVARD, LLC** - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 280-UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 12.67 acres at 2700 North Rainbow Boulevard (APN 138-14-301-001), R-PD18 (Residential Planned Development - 18 Units per Acre), Ward 6 (Mack).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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36. SUP-5859 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ANVUL, LLC - OWNER: G.L. DRAGON, LLC - Request for a Special Use Permit FOR A PROPOSED SUPPER CLUB at 1050 South Rampart Boulevard (APN 138-32-412-024), C-1 (Limited Commercial) Zone, Ward 2 (Wolfson).

STAFF RECOMMENDS APPROVAL

PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

37. SUP-5998 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PEI WEI - OWNER: MARK L. FINE & ASSOCIATES - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR at 10830 West Charleston Boulevard, Suite 110 (APN 137-36-414-002), P-C (Planned Community) Zone, Ward 2 (Wolfson).

STAFF RECOMMENDS APPROVAL

PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

38. SUP-6004 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: MULUGETA BOUR - OWNER: NEVADA BROOKS COOK - Request for a Special Use Permit FOR A PROPOSED LIQUOR ESTABLISHMENT (OFF-PREMISE CONSUMPTION) TO ALLOW FULL LIQUOR SALES at 1616 South Las Vegas Boulevard (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).

STAFF RECOMMENDS DENIAL

PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

39. SUP-6019 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CHARLES LIPSCHITZ - OWNER: LEONARD W. CARPI AND ELIZABETH L. CARPI - Request for a Special Use Permit FOR A PROPOSED FINANCIAL INSTITUTION, SPECIFIED AND WAIVERS OF THE RESIDENTIAL SEPARATION, FLOOR AREA STANDARDS AND A WAIVER OF THE 1,000 FOOT DISTANCE SEPARATION FROM AN EXISTING FINANCIAL INSTITUTION, SPECIFIED at 4347 West Charleston Boulevard (a portion of APN 162-06-510-001), R-E (Residence Estates) and C-1 (Limited Commercial) Zones, Ward 1 (Tarkanian).

STAFF RECOMMENDS DENIAL

PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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32. SUP-5990 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: SONMAR OF CENTENNIAL, LLC - OWNER: CENTENNIAL GATEWAY, LLC - Request for a Special Use Permit FOR A PROPOSED HOTEL AND A WAIVER OF THE 330 FOOT DISTANCE SEPARATION FROM A SINGLE FAMILY DETACHED DWELLING adjacent to the northeast corner of Centennial Center Boulevard and Ann Road (a portion of APN 125-27-401-011), T-C (Town Center) [SC-TC (Service Commercial – Town Center) Special Land Use Designation], Ward 6 (Mack).

THE APPLICANT REQUESTS THIS ITEM BE TABLED.

33. SDR-5989 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5990 - PUBLIC HEARING - APPLICANT: SONMAR OF CENTENNIAL, LLC - OWNER: CENTENNIAL GATEWAY, LLC - Request for a Site Development Plan Review FOR A PROPOSED 108-UNIT HOTEL AND A WAIVER OF THE ROOFED TRASH ENCLOSURE STANDARD on 2.0 acres adjacent to the northeast corner of Centennial Center Boulevard and Ann Road (a portion of APN 125-27-401-011), T-C (Town Center) [SC-TC (Service Commercial – Town Center) Special Land Use Designation], Ward 6 (Mack).

THE APPLICANT REQUESTS THIS ITEM BE TABLED.

34. SUP-6020 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: VIOLET SAHAKYAN - OWNER: ROBERT BOLTEN AND RHONDA BOLTEN - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER adjacent to the southeast corner of Jones Boulevard and Washburn Road (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

35. SDR-6018 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-6020 - PUBLIC HEARING - APPLICANT: VIOLET SAHAKYAN - OWNER: ROBERT BOLTEN AND RHONDA BOLTEN - Request for a Site Development Plan Review FOR A 14,797 SQUARE-FOOT CHILD CARE CENTER on 2.24 acres adjacent to the southeast corner of Jones Boulevard and Washburn Road (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING C.C.: 04/06/05

# **Agenda** City of Las Vegas Chair's PLANNING COMMISSION MEETING MARCH 10, 2005

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28. VAR-6028 - VARIANCE - PUBLIC HEARING - APPLICANT: TIM C. AYALA - OWNER: REYES G. PALACIOS - Request for a Variance TO ALLOW A FIVE-FOOT SIDE YARD SETBACK WHERE TEN FEET IS THE MINIMUM SETBACK REQUIRED FOR A PROPOSED ROOM ADDITION on 0.50 acres at 729 Clarkway Drive (APN 139-28-301-017), R-E (Residence Estates) Zone, Ward 5 (Weekly).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

29. WVR-6035 - WAIVER - PUBLIC HEARING - APPLICANT: NEVADA HOMES GROUP - OWNER: DAY STAR VENTURES LLC - Request for a Waiver of Title 18.12.160 TO ALLOW 209 FEET BETWEEN STREET INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED FOR A SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 5.35 acres adjacent to the southeast corner of Dorrell Lane and Hualapai Way (APN 125-19-201-001 and 003), R-PD3 (Residential Planned Development- 3 Units per Acre), Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

30. SUP-5984 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT/OWNER: FREMONT BRUCE, LLC - Request for a Special Use Permit FOR A PROPOSED MIXED-USE DEVELOPMENT adjacent to the southeast corner of Bruce Street and Fremont Street (APN 139-35-803-001), C-2 (General Commercial) Zone, Ward 3 (Reese).

STAFF RECOMMENDS APPROVAL

PUBLIC HEARING IF APPROVED: C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION  
(Unless appealed within 10 days)

31. SDR-5942 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5984 - PUBLIC HEARING - APPLICANT/ OWNER: FREMONT BRUCE, LLC - Request for a Site Development Plan Review FOR A FOUR-STORY, 152 RESIDENTIAL UNIT, 21,000 SQUARE-FOOT MIXED-USE DEVELOPMENT on 2.76 acres adjacent to the southeast corner of Bruce Street and Fremont Street (APN 139-35-803-001), C-2 (General Commercial) Zone, Ward 3 (Reese).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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24. VAR-5982 - VARIANCE RELATED TO VAR-5981 - PUBLIC HEARING - APPLICANT/OWNER: HERMAN THROWER - Request for a Variance TO ALLOW 61 PARKING SPACES WHERE 101 SPACES ARE THE MINIMUM NUMBER OF SPACES REQUIRED FOR A PROPOSED COMMERCIAL DEVELOPMENT on 1.79 acres adjacent to the east side of H Street approximately 150 feet south of Byrnes Avenue (APN 139-22-402-002, 003 and 004), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

25. SDR-5980 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-5981 AND VAR-5982 - PUBLIC HEARING - APPLICANT/OWNER: HERMAN THROWER - Request for a Site Development Plan Review FOR A 17,995 SQUARE-FOOT COMMERCIAL DEVELOPMENT on 1.79 acres adjacent to the east side of H Street approximately 150 feet south of Byrnes Avenue (APN 139-22-402-002, 003 and 004), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

26. VAR-6030 - VARIANCE - PUBLIC HEARING - APPLICANT: LLOYD BAKER - OWNER: BAKER LAW OFFICES, P.C. - Request for a Variance TO ALLOW 14 PARKING SPACES WHERE 18 SPACES ARE THE MINIMUM NUMBER OF SPACES REQUIRED FOR A PROPOSED OFFICE DEVELOPMENT on 0.25 acres adjacent to the southwest corner of 8th Street and Clark Avenue (APN 139-34-710-048), R-1 (Single Family Residential) Zone under Resolution of Intent to P-R (Professional Office and Parking) Zone, Ward 1 (Tarkanian).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

27. SDR-6026 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-6030 - PUBLIC HEARING - APPLICANT: LLOYD BAKER - OWNER: BAKER LAW OFFICES, P.C. - Request for a Site Development Plan Review FOR A 5,362 SQUARE-FOOT OFFICE DEVELOPMENT AND WAIVERS OF THE SETBACK, LANDSCAPE BUFFER STANDARDS AND PARKING LOT LANDSCAPE STANDARDS on 0.25 acres adjacent to the southwest corner of 8th Street and Clark Avenue (APN 139-34-710-048), R-1 (Single Family Residential) Zone under Resolution of Intent to P-R (Professional Office and Parking) Zone, Ward 1 (Tarkanian).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

Council Chambers 400 Stewart Avenue  
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20. **WVR-6153 - WAIVER RELATED TO VAR-5949 - PUBLIC HEARING - APPLICANT/OWNER: CARINA CORPORATION** - Request for a Waiver of Title 18.12.100 TO ALLOW 24-FOOT PRIVATE STREET WIDTH AT INTERSECTIONS WHERE 37 FEET IS THE MINIMUM WIDTH REQUIRED on 41.02 acres adjacent to the southwest corner of Farm Road and Tule Springs Road (APN 125-17-702-002), T-C (Town Center) Zone, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

21. **SDR-5948 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-5949 AND WVR-6153 - PUBLIC HEARING - APPLICANT/OWNER: CARINA CORPORATION** - Request for Revisions to an approved Site Development Plan Review FOR A PROPOSED MIXED-USE DEVELOPMENT on 41.02 acres adjacent to the southwest corner of Farm Road and Tule Springs Road (APN 125-17-702-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Special Land Use Designation], Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

22. **VAC-5954 - VACATION RELATED TO VAR-5948, SUP-5068, SUP-5069 AND SDR-5948 - PUBLIC HEARING - OWNER: CARINA CORPORATION - APPLICANT: THE KEITH COMPANIES** - Petition to Vacate a Road, Public Utility and Flood Control Easements generally located on Tule Springs Road approximately 1,316 Feet south of Farm Road, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

SET DATE: 03/16/05

C.C. 04/06/05

23. **VAR-5981 - VARIANCE - PUBLIC HEARING - APPLICANT/ OWNER: HERMAN THROWER** - Request for a Variance TO ALLOW A RESIDENTIAL ADJACENCY SEPARATION OF FIVE FEET WHERE 67.5 FEET IS THE MINIMUM SEPARATION DISTANCE REQUIRED FOR A PROPOSED COMMERCIAL DEVELOPMENT on 1.79 acres adjacent to the east side of H Street approximately 150 feet south of Byrnes Avenue (APN 139-22-402-002, 003 and 004), C-1 (Limited Commercial) Zone, Ward 5 (Weekly).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

Council Chambers 400 Stewart Avenue  
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16. **ABEYANCE - SDR-5876 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-5878 AND SUP-5877 - PUBLIC HEARING - APPLICANT: PARKWAY CENTER LLC - OWNER: CITY PARKWAY IV A INC.** - Request for a Site Development Plan Review FOR A 15-STORY, 250,000 SQUARE FOOT OFFICE AND COMMERCIAL DEVELOPMENT AND WAIVERS FROM THE PARKWAY CENTER STREETScape REQUIREMENTS, BUILD-TO LINE, AND EXTERIOR MATERIALS REQUIREMENTS on 2.55 acres at 110 City Parkway (APN 139-27-410-008), PD (Planned Development) Zone, Ward 5 (Weekly).

THE APPLICANT REQUESTS THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING.

17. **ABEYANCE - WVR-5955 - WAIVER - PUBLIC HEARING - APPLICANT/OWNER: BEAZER HOMES HOLDINGS CORPORATION** - Request for a Waiver of Title 18.08.110 & Title 18.12.510(A)(1) TO PERMIT SUBDIVISION PERIMETER WALLS WITH RETAINING WALLS TO EXCEED A HEIGHT OF SIX FEET WITHOUT A MINIMUM FOUR FOOT WIDE LANDSCAPED HORIZONTAL OFF-SET adjacent to the southeast corner of Elkhorn Road and Fort Apache Road (APN 125-20-101-001), T-C (Town Center) Zone [ML-TC (Medium-Low Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).

THE APPLICANT REQUESTS THIS ITEM BE WITHDRAWN WITHOUT PREJUDICE.

18. **ABEYANCE - WVR-5956 - WAIVER - PUBLIC HEARING - APPLICANT/OWNER: BEAZER HOMES HOLDINGS CORPORATION** - Request for a Waiver of Section D.2.A.6 of the Town Center Development Standards TO PERMIT SUBDIVISION PERIMETER WALLS WITH RETAINING WALLS TO EXCEED A HEIGHT OF SIX FEET WITHOUT A MINIMUM FIVE FOOT WIDE LANDSCAPED HORIZONTAL OFF-SET adjacent to the southeast corner of Elkhorn Road and Fort Apache Road (APN 125-20-101-001), T-C (Town Center) Zone [ML-TC (Medium-Low Density Residential - Town Center) Special Land Use Designation], Ward 6 (Mack).

THE APPLICANT REQUESTS THIS ITEM BE WITHDRAWN WITHOUT PREJUDICE.

19. **VAR-5949 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: CARINA CORPORATION** - Request for a Variance TO ALLOW 824 PARKING SPACES WHERE 1,065 IS THE MINIMUM REQUIRED IN CONJUNCTION WITH A PROPOSED MIXED-USE DEVELOPMENT on 41.02 acres adjacent to the southwest corner of Farm Road and Tule Springs Road (APN 125-17-702-003), T-C (Town Center) Zone [SX-TC (Suburban Mixed-Use - Town Center) Land Use Designation], Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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12. **ABEYANCE - WVR-5790 - WAIVER RELATED TO VAR-5952 AND ZON-5788 - PUBLIC HEARING - APPLICANT: GAUGHAN RICHARDSON DEVELOPMENT - OWNER: COX FAMILY TRUST** - Request for a Waiver of Title 18.12.160 TO ALLOW APPROXIMATELY 190 FEET BETWEEN STREET INTERSECTIONS WHERE 220 FEET IS THE MINIMUM DISTANCE SEPARATION REQUIRED IN CONJUNCTION WITH A PROPOSED 15-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 4.87 acres adjacent to the southeast corner of Ann Road and Torrey Pines Drive (APN 125-35-501-001), Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

13. **ABEYANCE - SDR-5789 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-5952, ZON-5788 AND WVR-5788 - PUBLIC HEARING - APPLICANT: GAUGHAN RICHARDSON DEVELOPMENT - OWNER: COX FAMILY TRUST** - Request for a Site Development Plan Review FOR A PROPOSED 15-LOT SINGLE-FAMILY RESIDENTIAL DEVELOPMENT on 4.87 acres adjacent to the southeast corner of Ann Road and Torrey Pines Drive (APN 125-35-501-001), R-E (Residence Estates) Zone [PROPOSED: R-PD3 (Residential Planned Development - 3 Units Per Acre) Zone], Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

14. **ABEYANCE - VAR-5878 - VARIANCE - APPLICANT: PARKWAY CENTER LLC - OWNER: CITY PARKWAY IV A INC.** - Request for a Variance FROM THE 750-FOOT SEPARATION REQUIREMENT AND THE 10-FOOT FREEWAY RIGHT-OF-WAY SETBACK REQUIREMENT FOR AN OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 110 City Parkway (APN 139-27-410-008), PD (Planned Development) Zone, Ward 5 (Weekly).

THE APPLICANT REQUESTS THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING.

15. **ABEYANCE - SUP-5877 - SPECIAL USE PERMIT RELATED TO VAR-5878 - PUBLIC HEARING - APPLICANT: PARKWAY CENTER LLC - OWNER: CITY PARKWAY IV A INC.** - Request for a Special Use Permit FOR A PROPOSED 50-FOOT HIGH, 14-FOOT x 48-FOOT OFF-PREMISE ADVERTISING (BILLBOARD) SIGN at 110 City Parkway (APN 139-27-410-008), PD (Planned Development) Zone, Ward 5 (Weekly).

THE APPLICANT REQUESTS THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING.

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8. ABEYANCE - SUP-5691 - SPECIAL USE PERMIT RELATED TO VAR-5694 - PUBLIC HEARING - APPLICANT: GERALD GARAPICH A.I.A. LLC - OWNER: A.L.M. CORP. -  
Request for a Special Use Permit FOR A PROPOSED LIQUOR ESTABLISHMENT (TAVERN) AND A WAIVER OF THE 1,500-FOOT DISTANCE SEPARATION REQUIREMENT FROM AN EXISTING PARK adjacent to the northeast corner of Grand Teton Drive and Durango Drive (APN a portion of 125-09-401-006), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 6, (Mack).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

9. ABEYANCE - SDR-5689 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-5694 AND SUP-5691 - PUBLIC HEARING - APPLICANT: GERALD GARAPICH A.I.A. LLC - OWNER: A.L.M. CORP. -  
Request for a Site Development Plan Review FOR A 6,115 SQUARE-FOOT TAVERN AND A WAIVER OF TRASH ENCLOSURE SEPARATION on 2.55 acres adjacent to the northeast corner of Grand Teton Drive and Durango Drive (APN a portion of 125-09-401-006), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial), Ward 6, (Mack).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING

C.C.: 04/06/05

10. ABEYANCE - VAR-5952 - VARIANCE - PUBLIC HEARING - APPLICANT: GAUGHAN RICHARDSON DEVELOPMENT - OWNER: COX FAMILY TRUST -  
Request for a Variance to ALLOW AN R-PD (RESIDENTIAL PLANNED DEVELOPMENT) ZONING DISTRICT on 4.87 ACRES WHERE 5.00 ACRES IS THE MINIMUM AREA REQUIRED adjacent to the southeast corner of Ann Road and Torrey Pines Drive (APN 125-35-501-001), Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

11. ABEYANCE - ZON-5788 - REZONING RELATED TO VAR-5952 - PUBLIC HEARING - APPLICANT: GAUGHAN RICHARDSON DEVELOPMENT - OWNER: COX FAMILY TRUST -  
Request for a Rezoning FROM: R-E (RESIDENCE ESTATES) TO: R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT - 3 UNITS PER ACRE) on 4.87 acres adjacent to the southeast corner of Ann Road and Torrey Pines Drive (APN 125-35-501-001), Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING

C.C.: 04/06/05

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5. **TMP-6005 - TENTATIVE MAP - DAYDAWN CROSSING UNIT 2 - APPLICANT: NV HOMES GROUP - OWNER: DAYSTAR VENTURES, LLC AND GRAND TETON LODGE LAND, LLC** - Request for a Tentative Map FOR A 48-LOT RESIDENTIAL SUBDIVISION on 5.34 acres adjacent to the north side of Grand Teton Drive, approximately 700 feet east of Durango Drive (APN:125-09-401-017), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent R-PD7 (Residential Planned Development-7 Units per Acre), and U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) Zone, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
CONSENT P.C. FINAL ACTION

**ONE MOTION - ONE VOTE:**

THE FOLLOWING ARE ITEMS THAT MAY BE CONSIDERED IN ONE MOTION/ONE VOTE. THEY ARE CONSIDERED ROUTINE NON-PUBLIC AND PUBLIC HEARING ITEMS THAT HAVE NO PROTESTS, WAIVERS FROM THE CODE OR CONDITION CHANGES BY THE APPLICANT OR STAFF. ALL PUBLIC HEARINGS AND NON-PUBLIC HEARINGS WILL BE OPENED AT ONE TIME. ANY PERSON REPRESENTING AN APPLICATION OR A MEMBER OF THE PUBLIC OR A MEMBER OF THE PLANNING COMMISSION NOT IN AGREEMENT WITH THE CONDITIONS AND ALL STANDARD CONDITIONS FOR THE APPLICATION RECOMMENDED BY STAFF, SHOULD REQUEST TO HAVE THAT ITEM REMOVED FROM THIS PART OF THE AGENDA.

6. **VAC-6015 - VACATION - PUBLIC HEARING - OWNER/APPLICANT: TOM AND JUDY MILLER** - Petition to Vacate a portion of Nemeth Road generally located south of Smoke Ranch Road, approximately 481 feet east of Rainbow Boulevard, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
PUBLIC HEARING SET DATE: 03/16/05 C.C. 04/06/05

**PUBLIC HEARING ITEMS:**

7. **ABEYANCE - VAR-5694 - VARIANCE - PUBLIC HEARING - APPLICANT: GERALD GARAPICH A.I.A. LLC - OWNER: A.L.M. CORP.** - Request for a Variance TO ALLOW A 24-FOOT SETBACK WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A MINIMUM OF 73 FEET on 2.55 acres adjacent to the northeast corner of Grand Teton Drive and Durango Drive (APN a portion of 125-09-401-006), U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial), Ward 6, (Mack).

STAFF RECOMMENDS DENIAL  
PUBLIC HEARING C.C.: 04/06/05

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## CONSENT ITEMS:

CONSENT ITEMS ARE CONSIDERED ROUTINE BY THE PLANNING COMMISSION AND MAY BE ENACTED BY ONE MOTION. HOWEVER, ANY ITEM MAY BE DISCUSSED IF A COMMISSION MEMBER OR APPLICANT SO DESIRES.

1. **ABEYANCE - TMP-5935 - TENTATIVE MAP - EASTON PLACE AT PROVIDENCE - APPLICANT/OWNER: PN II, INC D/B/A PULTE HOMES OF NEVADA** - Request for a Tentative Map FOR A 170 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION on 22.23 acres (POD 303a & 303b) adjacent to the west side of Shaumber Road, approximately 630 feet south of Dorrell Lane (APN 126-24-210-002 and 003; 126-24-201-005), PD (Planned Development) Zone [ML (Medium Low Density Residential) Cliff's Edge Special Land Use Designation], Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
CONSENT P.C. FINAL ACTION

2. **TMP-5537 - TENTATIVE MAP - WILLOWS @ LONE MOUNTAIN WEST - APPLICANT: CHARTERED DEVELOPMENT - OWNER: PR LONE MOUNTAIN WEST, LLC** - Request for a Tentative Map FOR A 98 LOT CONDOMINIUM DEVELOPMENT on 5.27 acres at 10620 West Alexander Road (APN 137-01-401-010), PD (Planned Development) Zone, Ward 4 (Brown).

STAFF RECOMMENDS APPROVAL  
CONSENT P.C. FINAL ACTION

3. **TMP-5538 - TENTATIVE MAP - WILLOWS @ TOWN CENTER - APPLICANT: CHARTERED DEVELOPMENT - OWNER: WILLOWS TOWN CENTER, LLC** - Request for a Tentative Map FOR A 188 LOT CONDOMINIUM DEVELOPMENT ON 8.81 acres adjacent to the southeast corner of Fort Apache Road and Bath Drive (APN 125-20-301-022), T-C (Town Center) Zone, Ward 6 (Mack).

STAFF RECOMMENDS APPROVAL  
CONSENT P.C. FINAL ACTION

4. **TMP-5967 - TENTATIVE MAP - SUMMERLIN VILLAGE 23A PARCEL L - APPLICANT/OWNER: THE HOWARD HUGHES CORPORATION** - Request for a Tentative Map FOR AN 89-LOT SINGLE FAMILY SUBDIVISION on 24.10 acres adjacent to the southeast corner Alta Drive and Far Hills Drive (APN 137-22-000-012), P-C (Planned Community) Zone, Ward 2 (Wolfson).

STAFF RECOMMENDS APPROVAL  
CONSENT P.C. FINAL ACTION

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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ANY ITEM LISTED IN THIS AGENDA MAY BE TAKEN OUT OF ORDER IF SO REQUESTED BY THE APPLICANT, STAFF, OR A MEMBER OF THE PLANNING COMMISSION. THE PLANNING COMMISSION MAY IMPOSE TIME LIMITATIONS, AS NECESSARY, ON THOSE PERSONS WISHING TO BE HEARD ON ANY AGENDAED ITEM.

## PLANNING COMMISSION MEETING RULES OF CONDUCT:

1. Staff will present each item to the Commission in order as shown on the agenda, along with a recommendation and suggested conditions of approval, if appropriate.
2. The applicant is asked to be at the public microphone during the staff presentation. When the staff presentation is complete, the applicant should state his name and address, and indicate whether or not he accepts staff's conditions of approval.
3. If areas of concern are known in advance, or if the applicant does not accept staff's conditions, the applicant or his representative is invited to make a brief presentation of his item with emphasis on any items of concern.
4. Persons other than the applicant who support the request are invited to make brief statements after the applicant. If more than one supporter is present, comments should not be repetitive. A representative is welcome to speak and indicate that he speaks for others in the audience who share his view.
5. Objectors to the item will be heard after the applicant and any other supporters. All who wish to speak will be heard, but in the interest of time it is suggested that representatives be selected who can summarize the views of any groups of interested parties.
6. After all objectors' input has been received, the applicant will be invited to respond to any new issues raised.
7. Following the applicant's response, the public hearing will be closed; Commissioners will discuss the item amongst themselves, ask any questions they feel are appropriate, and proceed to a motion and decision on the matter.
8. Letters, petitions, photographs and other submissions to the Commission will be retained for the record. Large maps, models and other materials may be displayed to the Commission from the microphone area, but need not be handed in for the record unless requested by the Commission.

As a courtesy, we would also ask those not speaking to be seated and not interrupt the speaker or the Commission. We appreciate your courtesy and hope you will help us make your visit with the Commission a good and fair experience.

# **Agenda** *City of Las Vegas Chair's* **PLANNING COMMISSION MEETING** **MARCH 10, 2005**

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## **Las Vegas City Council**

Mayor Oscar B. Goodman  
Mayor Pro-Tem Gary Reese, Ward 3  
Councilman Larry Brown, Ward 4  
Councilman Lawrence Weekly, Ward 5  
Councilman Michael Mack, Ward 6  
Councilman Steve Wolfson, Ward 2  
Councilwoman Lois Tarkanian, Ward 1  
Douglas Selby, City Manager

## **Commissioners**

Todd Nigro, Chairman  
Richard Truesdell, Vice-Chairman  
Byron Goynes  
Laura McSwain  
Steven Evans  
Leo Davenport  
David Steinman

ALL ITEMS ON THIS AGENDA ARE SCHEDULED FOR ACTION UNLESS SPECIFICALLY NOTED OTHERWISE. UNLESS OTHERWISE STATED, ITEMS MAY BE TAKEN OUT OF THE ORDER PRESENTED AT THE DISCRETION OF THE CHAIRPERSON.

**COMMISSIONERS BRIEFING:** 5:15 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

It is the intent of the Planning Commission to be briefed by staff and that all items on the agenda shall be available for open discussion during the briefing session. Applicants and other interested parties may be asked for information or presentations by the Planning Commission. Applicants may not participate in the discussion unless at the specific request of the Commission. All interested parties are invited to attend.

**CALL TO ORDER:** 6:00 P.M. in Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada

**ROLL CALL:**

**ANNOUNCEMENT:** Compliance with the Open Meeting Law

**NOTICE:** This meeting has been properly noticed and posted at the following locations:

City Clerk's Bulletin Board, City Hall Plaza, 2<sup>nd</sup> Floor Skybridge  
Clark County Government Center, 500 South Grand Central Parkway  
Las Vegas Library, 833 Las Vegas Boulevard North  
Grant Sawyer Building, 555 East Washington Avenue  
Court Clerk's Office Bulletin Board, City Hall Plaza

**MINUTES:** Approval of the January 13, January 27 and February 10, 2005 Planning Commission Meeting minutes by reference (\_\_\_ vote)

**ACTIONS:** ALL ACTIONS ON TENTATIVE AND FINAL SUBDIVISION MAPS ARE FINAL UNLESS AN APPEAL IS FILED BY THE APPLICANT OR AN AGGRIEVED PERSON, OR A REVIEW IS REQUESTED BY A MEMBER OF THE CITY COUNCIL WITHIN SEVEN DAYS OF THE DATE NOTICE IS SENT TO THE APPLICANT. UNLESS OTHERWISE INDICATED DURING THE MEETING, ALL OTHER ACTIONS BY THE PLANNING COMMISSION ARE RECOMMENDATIONS TO THE CITY COUNCIL, IN WHICH CASE ALL FINAL DECISIONS, CONDITIONS, STIPULATIONS OR LIMITATIONS ARE MADE BY THE CITY COUNCIL.

3/10/2005 1:50 PM

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-5942 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5984 - PUBLIC HEARING - APPLICANT/ OWNER: FREMONT BRUCE, LLC** - Request for a Site Development Plan Review FOR A FOUR-STORY, 152 RESIDENTIAL UNIT, 21,000 SQUARE-FOOT MIXED-USE DEVELOPMENT on 2.76 acres adjacent to the southeast corner of Bruce Street and Fremont Street (APN 139-35-803-001), C-2 (General Commercial) Zone, Ward 3 (Reese).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter
5. Submitted at Meeting – Petition of Opposition with 14 Signatures (filed under Item 30 SUP-5984)

**MOTION:**

**TRUEDELL– Motion to HOLD IN ABEYANCE – UNANIMOUS**

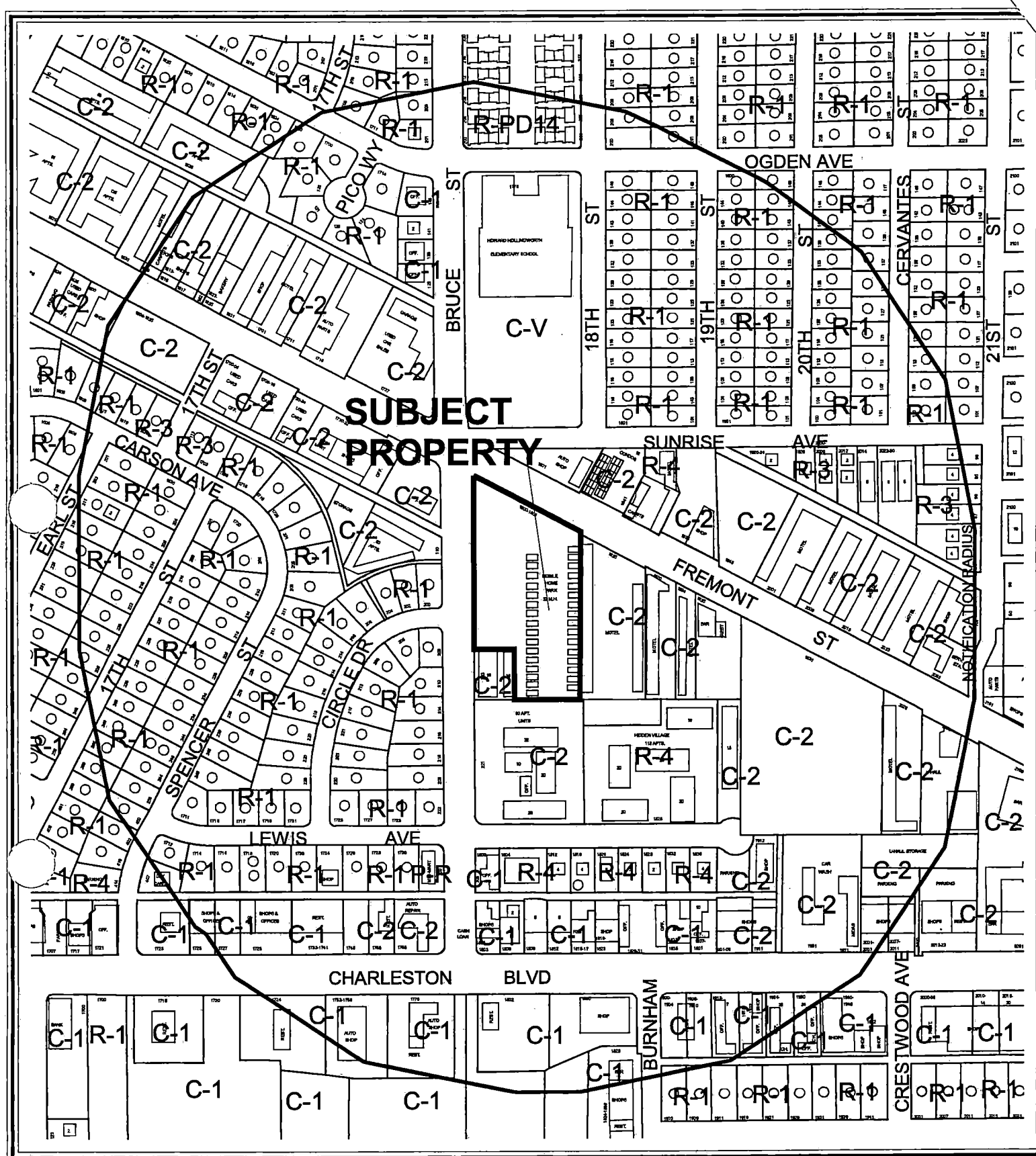
**To be held in abeyance to the 04/14/2005 Planning Commission meeting**

**MINUTES:**

See Item 30 [SUP-5984] for all related discussion on Item 30 [SUP-5984] and Item 31 [SDR-5942].

(8:19 – 8:49)

3-280



CASE: **SDR-5942**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 300 600 Feet



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SDR-5942 - APPLICANT/ OWNER: FREMONT BRUCE, LLC**

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: APPROVAL, subject to:**

**Planning and Development**

1. A Special Use Permit (SUP-5984) to allow the Mixed-Use development in the C-2 (General Commercial) Zoning District approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, date stamped 01/11/05, except as amended by conditions herein.
4. The principal entrance to the residential building at the southeast corner of the site shall be redesigned to provide a public lobby at the exterior edge of the building, directly visible from either the Fremont or Bruce Street entrance to the property. An accessible route shall be provided from the public sidewalk to the principal entrance and lobby of the building.
5. The elevations of the building at the northwest corner of the site shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional glazing and architectural features to enhance façade articulation. The ground floor commercial spaces shall have direct access to the public sidewalk, in accordance with the requirements of Title 19.04 governing Mixed-Use developments.
6. A public sidewalk with a minimum width of 11 feet and a five-foot deep amenity zone directly adjacent to the curb is required along both street frontages in accordance with Graphic 7 and Graphic 8 of the Downtown Centennial Plan. The sidewalk shall include a decorative paving treatment at the intersection. All streetscape treatments shall conform to match the Fourth Street improvements installed by the City of Las Vegas in accordance with Subsection DS4.2 of the Centennial Plan.
7. Shade trees shall be installed in the public right-of-way along the Fremont Street frontage at a maximum spacing of 30 feet on center in accordance with Subsection DS4.2.b of the Downtown Centennial Plan. Minimum tree size shall be a 24-inch box.
8. Palm trees shall be installed in the public right-of-way along the Bruce Street frontage at a maximum spacing of 35 feet on center in accordance with Subsection DS4.2.a of the Downtown Centennial Plan. The palm trees shall have a minimum height of 25 feet upon installation.

**SDR-5942 - Conditions Page Two**  
**March 10, 2005 Planning Commission Meeting**

9. Surface parking lots shall have a minimum of one shade tree for every six uncovered parking spaces. A minimum of ten square feet of landscaped surface area shall be provided for each parking space, incorporated into landscape islands, a required perimeter landscape treatment, or both in accordance with Subsection DS3.1.h of the Downtown Centennial Plan.
10. Any parking lot facing a public street shall incorporate an eight-foot wide landscape buffer and 42" high parking lot screen fence in accordance with Subsection DS3.1.g. of the Downtown Centennial Plan. The screen fence shall conform with the design shown in Graphic 5 of the Downtown Centennial Plan; exact specifications, shop drawings, and standard suppliers can be obtained from the City of Las Vegas Engineering Design Superintendent, Department of Public Works, 229-6272.
11. A landscape plan must be submitted prior to or at the same time application is made for a building permit. Turf shall cover no more than 12.5% of the total landscape area.
12. The required landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for legal action to be taken by the City of Las Vegas.
13. All new developments shall provide and install standard Fourth Street style fixtures in place of existing fixtures in accordance with Subsection DS3.1.k of the Downtown Centennial Plan. Exact specifications, shop drawings, and standard suppliers can be obtained from the City of Las Vegas Engineering Design Superintendent, Department of Public Works, 229-6272.
14. All mechanical equipment shall be fully screened from street level and surrounding building views in accordance with Subsection DS5.1.j. Trash areas shall be walled and roofed in accordance with Code requirements. Service areas shall be screened from pedestrian or street view, utilizing landscaping and/or architectural elements that are consistent with the design and materials of the primary building.
15. Any new utility or power service line provided to the parcel shall be placed underground from the property line to the point of on-site connection or on-site service panel location, in accordance with Subsection DS2.1.f of the Downtown Centennial Plan.
16. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
17. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.

18. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
19. All City Code requirements and design standards of all City departments must be satisfied.

**Public Works**

20. Dedicate an additional 5 feet of right-of-way adjacent to this site for a total half street width of 50 feet on Fremont Street and a 25 foot radius at the southeast corner of Bruce Street and Fremont Street prior to the issuance of any permits. Also, grant a Traffic Signal Chord easement at the southeast corner of Fremont Street and Bruce Street. Additional right-of-way dedications per Standard Drawing #234 for a bus stop shall be dedicated unless specifically noted as not required by an approved Traffic Impact Analysis for this site.
21. Construct all incomplete half-street improvements on Fremont Street and Bruce Street adjacent to this site concurrent with development of this site.
22. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
23. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A. All work within the Fremont Street right-of-way shall receive approval from the Nevada Department of Transportation.
24. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Final Map for this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Final Map for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site for bus turn-outs, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

**SDR-5942 - Conditions Page Four**  
**March 10, 2005 Planning Commission Meeting**

25. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
26. Landscape and maintain all unimproved rights-of-way on Fremont Street and Bruce Street adjacent to this site.
27. Submit an Encroachment Agreement for all landscaping and private improvements located in the City of Las Vegas public rights-of-way adjacent to this site prior to occupancy of this site.
28. Obtain an Occupancy Permit for all landscaping and private improvements in the Nevada Department of Transportation public right-of-way adjacent to this site.
29. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the approval of a Tentative Map or construction plans. Approval of this Site Development Review does not constitute approval of any deviations. If such approval cannot be obtained, a revised Site Plan must be submitted showing elimination of such deviations.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for approval of a Site Development Plan Review for a 4-story mixed-use development including 21,000 square-feet of commercial space and 152 residential units on 2.76 acres adjacent to the southeast corner of Bruce Street and Fremont Street. An associated Special Use Permit (SUP-5984) to allow the mixed-use development has been submitted concurrently with the Site Development Plan Review application.

**B) Applicant's Justification**

The applicant states that they are proposing to construct a mixed-use development including 152 apartments and 21,000 square feet of commercial space.

**BACKGROUND INFORMATION**

**A) Related Actions**

02/16/94 The City Council approved an appeal to allow the sale of beer and wine in conjunction with a proposed convenience store. The Board of Appeals recommended denial of the request on 01/25/94.

03/10/05 The Planning Commission will consider a related Special Use Permit (SUP-5984) application concurrently with this request. Staff has recommended approval of the request.

**B) Pre-Application Meeting**

01/04/05 The project was reviewed by the Office of Business Development at a Fast Track application meeting. The entitlement process schedule was discussed with the applicant.

**C) Neighborhood Meetings**

03/01/05 A neighborhood meeting was held by the applicant, even though it was not required as part of the application process. Six members of the public were present at the meeting, and four representatives of the applicant were on hand to answer questions. The following issues were raised by members of the public:

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**March 10, 2005 - Planning Commission Meeting**

- Traffic impacts to adjoining roadways;
- Appearance and management of the apartments;
- Suitability of the soils and level of the water table;
- Availability of infrastructure to serve the project;
- Concerns about the provision of open space; and
- Height of the buildings and obstruction of views.

The applicant noted that the existing mobile home park would be removed to make way for the new development.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Net Acres: 2.76

**B) Existing Land Use**

Subject Property: Mobile Home Park  
North: Auto Repair  
Elementary School  
South: Multifamily Residential  
East: Motel  
West: General Retail  
Multifamily Residential  
Single-Family Residential

**C) Planned Land Use**

Subject Property: MXU (Mixed-Use)  
North: MXU (Mixed-Use)  
PF (Public Facilities)  
South: MXU (Mixed-Use)  
East: MXU (Mixed-Use)  
West: C (Commercial Use)  
H (High Density Residential)  
L (Low Density Residential)

**D) Existing Zoning**

Subject Property: C-2 (General Commercial)  
North: C-2 (General Commercial)  
C-V (Civic)  
South: C-2 (General Commercial)  
East: C-2 (General Commercial)  
West: C-2 (General Commercial)  
R-1 (Single Family Residential)

**E) General Plan Compliance**

The property is located within the boundaries of the Las Vegas Redevelopment District, and has a Mixed-Use land use designation. The Mixed-Use designation allows uses comparable to the following land use categories: L (Low Density Residential), ML (Medium Low Density Residential), M (Medium Density Residential), H (High Density Residential), O (Office), SC (Service Commercial), GC (General Commercial), and PF (Public Facilities). The proposed uses are in compliance with the land use designation.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            |           |
| Downtown Centennial Plan                          | X          |           |
| Redevelopment Plan Area                           | X          |           |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           |            | X         |

**Redevelopment Plan Area**

As noted above, the parcel is within the boundaries of the Las Vegas Redevelopment Area, with a Mixed-Use land use designation. The proposed uses are in conformance with the Redevelopment Plan.

**Downtown Centennial Plan**

The parcel is within the Las Vegas Downtown Centennial Plan boundaries, and is located in the East Fremont District. New commercial development and the integration of mixed-income residential neighborhoods are encouraged for this area, along with the provision of open space to serve residents of the area.

**PROJECT DESCRIPTION**

The proposed mixed-use project will allow the development of two structures on the site. The building proposed for the northwest corner of the site will be four stories in height, and will include retail space, office space, and 52 apartment units. The building at the southeast corner of the site will include a total of 100 apartment units, and will be constructed over a surface parking lot. A total of 242 parking spaces will be provided on site.

## ANALYSIS

### A) Zoning Code Compliance

#### A1) Development Standards

Title 19.06.060 exempts properties within the Downtown Centennial Plan area from the automatic application of building height limitations, setbacks, lot coverage, residential adjacency, standard landscaping requirements, and standard parking requirements. The Downtown Centennial Plan addresses certain site development standards, which are detailed below:

| Standards            | Required      | Provided      | Compliance |
|----------------------|---------------|---------------|------------|
| Min. Lot Size        | N/A           | 2.76 Acres    | N/A        |
| Min. Lot Width       | N/A           | 267 Feet      | N/A        |
| Min. Setbacks        |               |               |            |
| • Front              | 0 Feet        | 8 Feet        | N          |
| • Side               | N/A           | 10 Feet       | N/A        |
| • Corner             | 0 Feet        | 8 Feet        | N          |
| • Rear               | N/A           | 10 Feet       | N/A        |
| Max. Lot Coverage    | Up to 100%    | 49%           | Y          |
| Max. Building Height | N/A           | 55 Feet       | N/A        |
| Trash Enclosure      | Walled/roofed | Not indicated | N/A        |
| Mech. Equipment      | Screened      | Not indicated | N/A        |

The structure at the northwest corner of the site does not comply the Centennial Plan requirement for 70% of the building streetwall to be located directly at the front property line, presumably to allow for an increased public sidewalk and landscape amenity zone. No information has been provided relative to the trash enclosure or screening of mechanical equipment.

#### A2) Residential Adjacency Standards

Title 19.06.060 exempts properties within the Downtown Centennial Plan area from the automatic application of Residential Adjacency Standards. The proposed building at the northwest corner of the site will be located approximately 90 feet from the nearest single-family residential property, and the building at the southeast corner of the site will be located approximately 190 feet from the nearest single-family property.

#### A3) Parking and Traffic Standards

As with other development standards, the property is exempt from the automatic application of parking requirements due to its being located within the boundaries of the Downtown Centennial Plan area. The following table details the parking figures for the development:

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**March 10, 2005 - Planning Commission Meeting**

| Uses              | GFA       | Provided<br>Parking |          |
|-------------------|-----------|---------------------|----------|
|                   |           | Regular             | Handicap |
| Commercial Space  | 21,000    |                     |          |
| Residential Units | 152 Units |                     |          |
| Total:            |           | 235                 | 7        |

The development will provide a total of 242 on-site parking spaces, with 152 spaces allocated for the residential units, and 86 spaces allocated for the commercial portion of the development. The number of parking spaces allocated to the commercial uses results in a ratio of one space per 250 square feet of floor area, which exceeds the amount generally provided within the boundaries of the Downtown Centennial Plan area; the ratio of one parking space per residential unit is consistent with other projects that have been approved for the downtown area.

**A4) Landscape and Open Space Standards**

The property is subject to the landscape and streetscape standards of the Downtown Centennial Plan as listed below:

| Standards                          | Required                                          |                    | Provided      |
|------------------------------------|---------------------------------------------------|--------------------|---------------|
|                                    | Ratio                                             | Trees              |               |
| East/West Street<br>Fremont Street | 1 Shade Tree @ 30'<br>o.c. max.<br>(min. 24" box) | 11 Trees           | Not indicated |
| North/South Street<br>Bruce Street | 1 Palm Tree @ 35' o.c.<br>max. (min. 25' height)  | 12 Trees           | Not indicated |
| Parking Lot Screening              | 42" screen fence/8'<br>landscape buffer           | 1 tree/6<br>spaces |               |
| Sidewalk                           | 11' Sidewalk                                      | --                 | 5' Sidewalk   |

A landscape plan has not been submitted in conjunction with the application; the development will be required to comply with the landscape and streetscape requirements listed in the Downtown Centennial Plan.

**A5) Sign Standards**

No information has been provided relative to signage for the project; all signage for the development will be subject to the requirements listed in Title 19.14 for the subject zoning district.

**B) General Analysis and Discussion**

- Zoning

The commercial uses are permitted by right in the C-2 (General Commercial) zoning district; the residential use is permitted upon approval of a Special Use Permit (SUP-5984). The structures are consistent with the height and lot coverage requirements of the Downtown Centennial Plan; parking for the development will be adequate based on the guidelines applied to properties within the Centennial Plan area.

The building at the northwest corner of the site does not comply with the 70% build-to requirement stipulated in the Centennial Plan, which dictates that buildings shall be located directly at the front property line for a minimum of 70% of the frontage width. The building is located eight feet behind the front property lines on both Fremont and Bruce Street, which allows additional area for the public sidewalk and landscape amenity zone required by the Downtown Centennial Plan. It should be noted that the ground-floor retail spaces do not have access to the public sidewalk, as required by the standards applicable to Mixed-Use developments, and should be redesigned for access to and visibility from the public sidewalk.

No information has been provided relative to trash enclosures on the property or the screening of mechanical equipment; trash enclosures shall be walled and roofed and all mechanical equipment shall be screened from view in accordance with the requirements of the Downtown Centennial Plan.

- Site Plan

The site plan depicts the Mixed-Use building at the northwest corner of the site, with a separate apartment building located at the southeast corner of the site, constructed over a surface parking lot. Driveways will be provided from both Fremont and Bruce Streets, with access to the parking areas at the interior of the site. On-site circulation is generally adequate, although some of the dead-end parking bays will require additional area for maneuvering. No perimeter wall is shown at the side and rear property lines on the site plan; if a wall is provided, it must conform to the requirements listed in Title 19.08 and Title 19.12.

The entrances to the apartment building at the southeast corner of the site are located at the interior of the covered parking area, and will not be directly visible from either the Fremont or Bruce Street entrances to the property. This may result in confusion for guests or emergency service personnel, looking for an entrance to the building. In addition, no accessible route has been provided from the public sidewalk to the building. At least one of the entrances should be relocated to the exterior perimeter of the structure, so that it is directly visible from the Fremont or Bruce Street entrances to the property.

- **Waivers**

The applicant has not requested any Waivers from the Centennial Plan requirements.

- **Landscape Plan**

No landscape plan was submitted in conjunction with the application. The proposed sidewalk does not conform to the minimum width specified by the Downtown Centennial Plan; an 11-foot wide sidewalk and five-foot amenity zone located behind the curb will need to be provided in accordance with Centennial Plan requirements. In addition, the Centennial Plan requires an eight-foot landscape buffer and 42-inch high screen fence to screen any parking areas adjacent to the public rights-of-way; these elements will need to be provided at the east side of the Fremont Street frontage and on the south side of the Bruce Street frontage.

- **Elevation**

The proposed elevations depict stucco-clad buildings with tile roofs. Cornice detailing is provided at the eaves of the buildings, and gable elements are used to give variety to the rooflines. There is an insufficient amount of glazing on the two lower floors of the building facing Fremont and Bruce Streets, leaving blank wall surfaces facing the street. Staff would recommend that revisions be made to the elevations to increase the glazing and degree of articulation of the façade elements in conformance with the Centennial Plan requirements.

- **Floor Plan**

The building at the northwest corner of the site features a lobby on the ground floor that is accessible from the public sidewalk, providing access to the office and residential levels above. The office and residential uses will share a single elevator, which offers potential conflicts between the two groups of users. The retail spaces on the ground floor only has access from the covered parking area at the interior of the site, and are required to have direct access from the public sidewalk. As noted above, the Centennial Plan requires that businesses front directly on the public rights-of-way, and the requirements for Mixed-Use developments require that the commercial component be oriented to and directly accessible from the street.

## **FINDINGS**

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The proposed Mixed-Use development is appropriate for the area, although several elements of the design need to be corrected in order to be contextually appropriate for the urban location.

2. **"The proposed development is consistent with the General Plan, Title 19, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The proposed development is generally consistent with the General Plan and the requirements of Title 19. The retail spaces on the ground floor of the building at the northwest corner of the site need to be accessible from the public sidewalk in accordance with Title 19.04. The project is also generally consistent with the Downtown Centennial Plan, although additional work is needed relative to the elevations of the building and the streetscape treatment.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

The development will have access from both Fremont Street and Bruce Street, and will not significantly impact neighborhood traffic. On-site circulation is generally adequate.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building materials are generally appropriate for the area and conform with the Downtown Centennial Plan requirements. Modifications will be required to the landscape areas and streetscape treatment.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

Modifications are required to the building elevations to increase the amount of glazing and façade articulation required by the Centennial Plan; in addition, the building at the northwest corner of the site needs to be modified so that the ground-floor commercial space has direct access to the public sidewalk, and the apartment building at the southeast corner of the site needs to be modified to provide a visible entry to the building.

6. **"Appropriate measures are taken to secure and protect the public health, safety and general welfare."**

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**March 10, 2005 - Planning Commission Meeting**

The development will be subject to inspections, and adequate measures will be taken to protect the public health, safety and general welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 18

**NOTICES MAILED** 416 – Mailed with SUP-5984

**APPROVALS** 0

**PROTESTS** 0



Case Number: SDR-5942 APN: 0139 35 803 001

**Name of Applicant:** FREMONT BRUCE, LLC

**Yes**

No

City Official: \_\_\_\_\_ N/A

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner/Authorized Agent: 

Print Name: Shmuel Oved, Manager  
FREMONT BRUCE LLC

This 6<sup>th</sup> day of January, 2005

Notary Public in and for said County and State  
Los Angeles, California



18TH

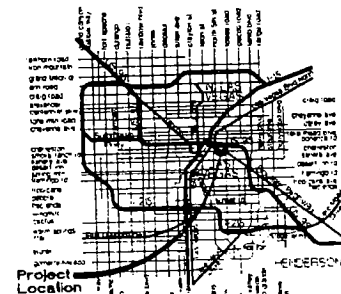
SUNSET AVENUE

ACCENT PLAZA  
PER CITY STANDARDS

PROPOSED 4-STORY OFFICE AND CONDOMINIUM

BRUCE STREET

CIRCLE DRIVE



VICINITY MAP

PROJECT DATA

|                                     |                              |
|-------------------------------------|------------------------------|
| APN # 138-35-803-00                 | FREMONT-BRUCE STREET         |
| ADDRESS                             | LAS VEGAS, NV                |
| LOT COVERAGE                        | 45%                          |
| LOT AREA                            | 120,156 S.F. (2.76 ACRES)    |
| PARKING REQUIRED                    |                              |
| RESIDENTIAL                         | 152 UNITS @ 1.50/UNIT = 152  |
| RETAIL/MEDICAL                      | 2,100 SF @ 250/SF SPACE = 31 |
| TOTAL REQUIRED                      | 236                          |
| PARKING PROVIDED:                   |                              |
| STANDARD PARKING (21' x 12')        | 235                          |
| HANDICAP PARKING (11' x 18')        | 6                            |
| HANDICAP VAN ACCESSIBLE (12' x 18') | 1                            |
| TOTAL PROVIDED                      | 242                          |

SITE DEVELOPMENT PLAN

FREMONT VILLAGE

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 891

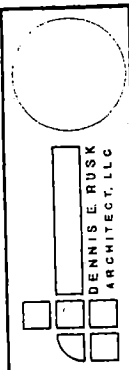
REVISIONS

SP-10

SITE DEVELOPMENT PLAN

SCALE: 1" = 40'-0"

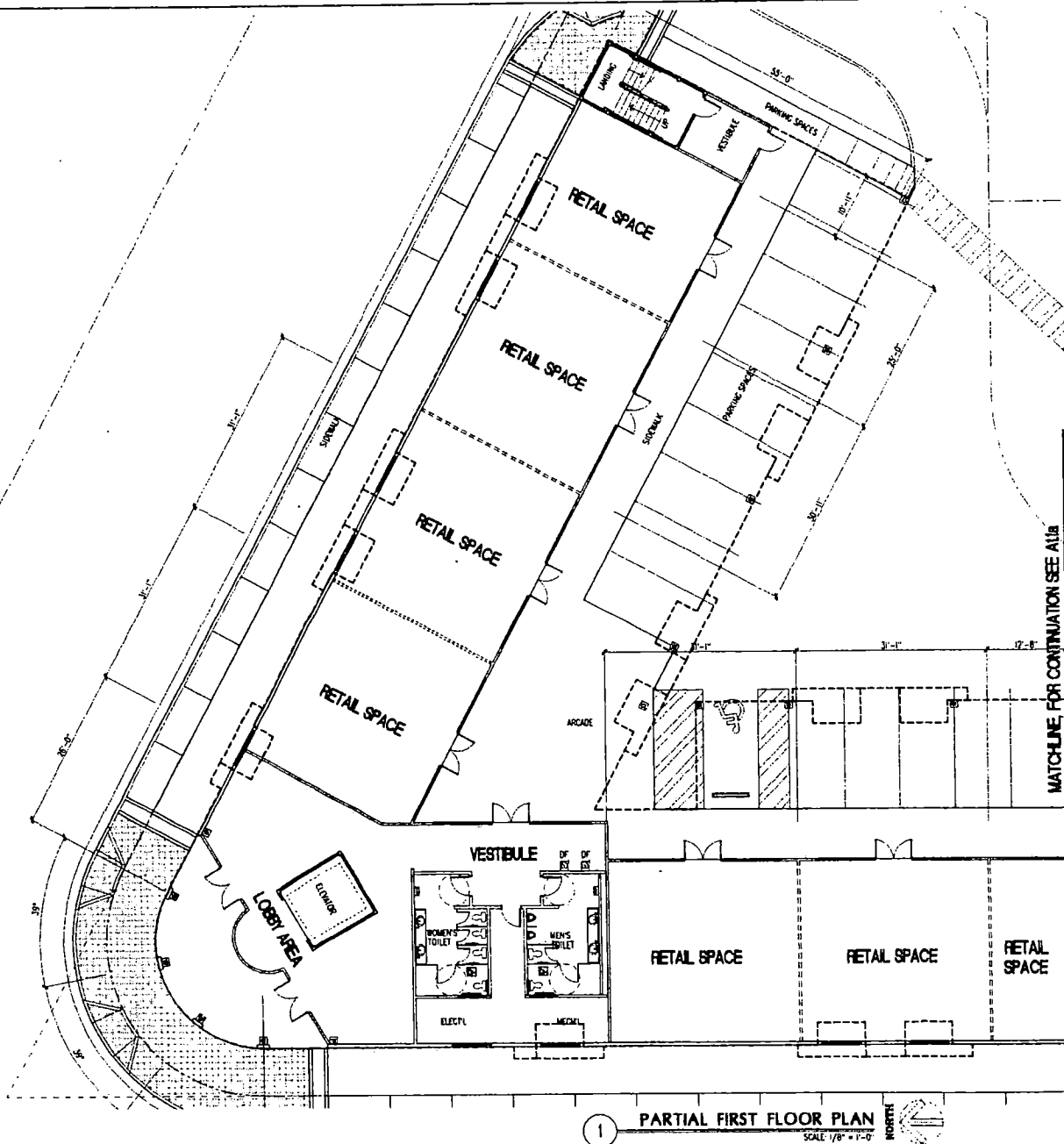
SUP-5984  
SDR-5942  
03-10-05 PC



DENNIS E. RUSK  
ARCHITECT, LLC

PROJECT NO. 03-10-05 PC  
DATE: 03-10-05  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]  
PROJECT LOCATION: 18TH & SUNSET AVENUE, LAS VEGAS, NV 891  
PROJECT NAME: FREMONT VILLAGE  
PROJECT ADDRESS: FREMONT STREET/BRUCE STREET, LAS VEGAS, NV 891  
PROJECT PHONE: 702-735-1111  
PROJECT FAX: 702-735-1112  
PROJECT EMAIL: info@derusk.com  
PROJECT WEBSITE: www.derusk.com

SUP-5984  
SDR-5942  
03-10-05 PC



1 PARTIAL FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

NORTH



SECOND FLOOR PLAN

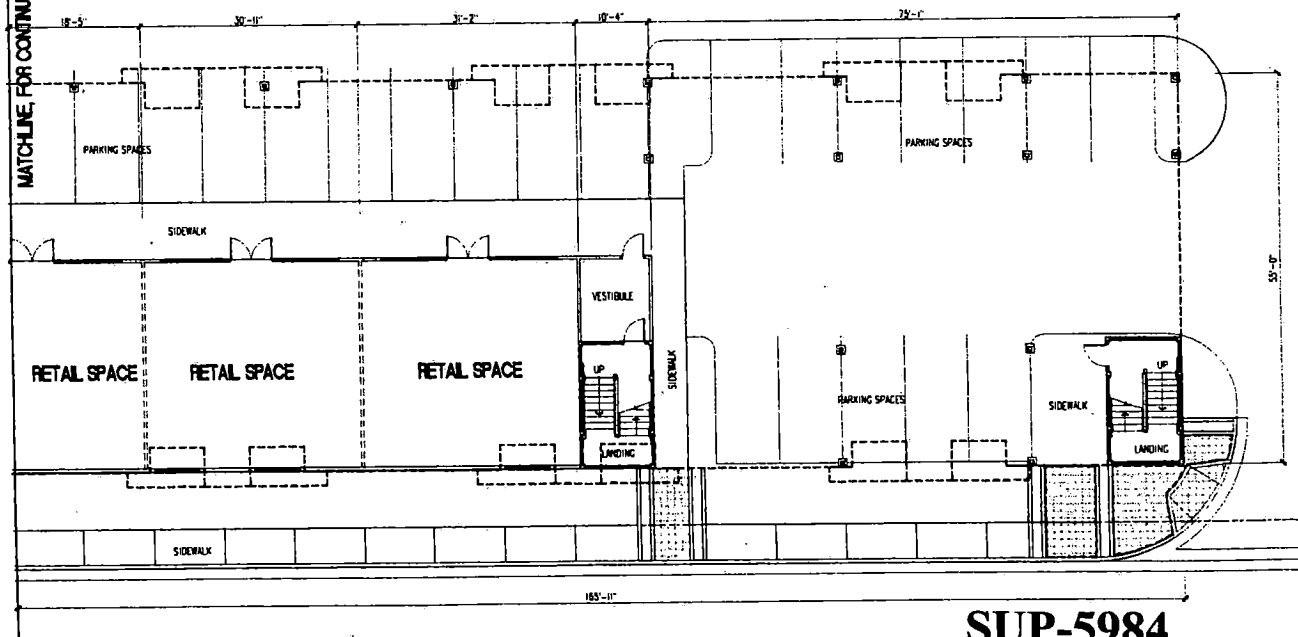
FREMONT VILLAGE

FREMONT STREET/ARCADE STREET  
LAS VEGAS, NV 89101

| Revisions:       |
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| 2. 03-10-05 PC   |
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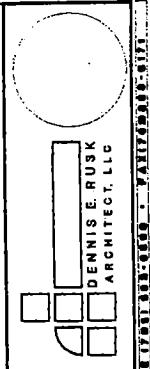
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| Drawn by:   | DR                                                  |
| Checked by: | DR                                                  |
| Scale:      | 1/8" = 1'-0"                                        |
| Sheet:      | 1                                                   |
| Project:    | FREMONT VILLAGE                                     |
| Location:   | FREMONT STREET/ARCADE STREET<br>LAS VEGAS, NV 89101 |
| Client:     | DR                                                  |
| Architect:  | DENNIS E. RUSK<br>ARCHITECT, LLC                    |

MATCHLINE FOR CONTINUATION SEE A11



1 PARTIAL FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

**SUP-5984**  
**SDR-5942**  
**03-10-05 PC**



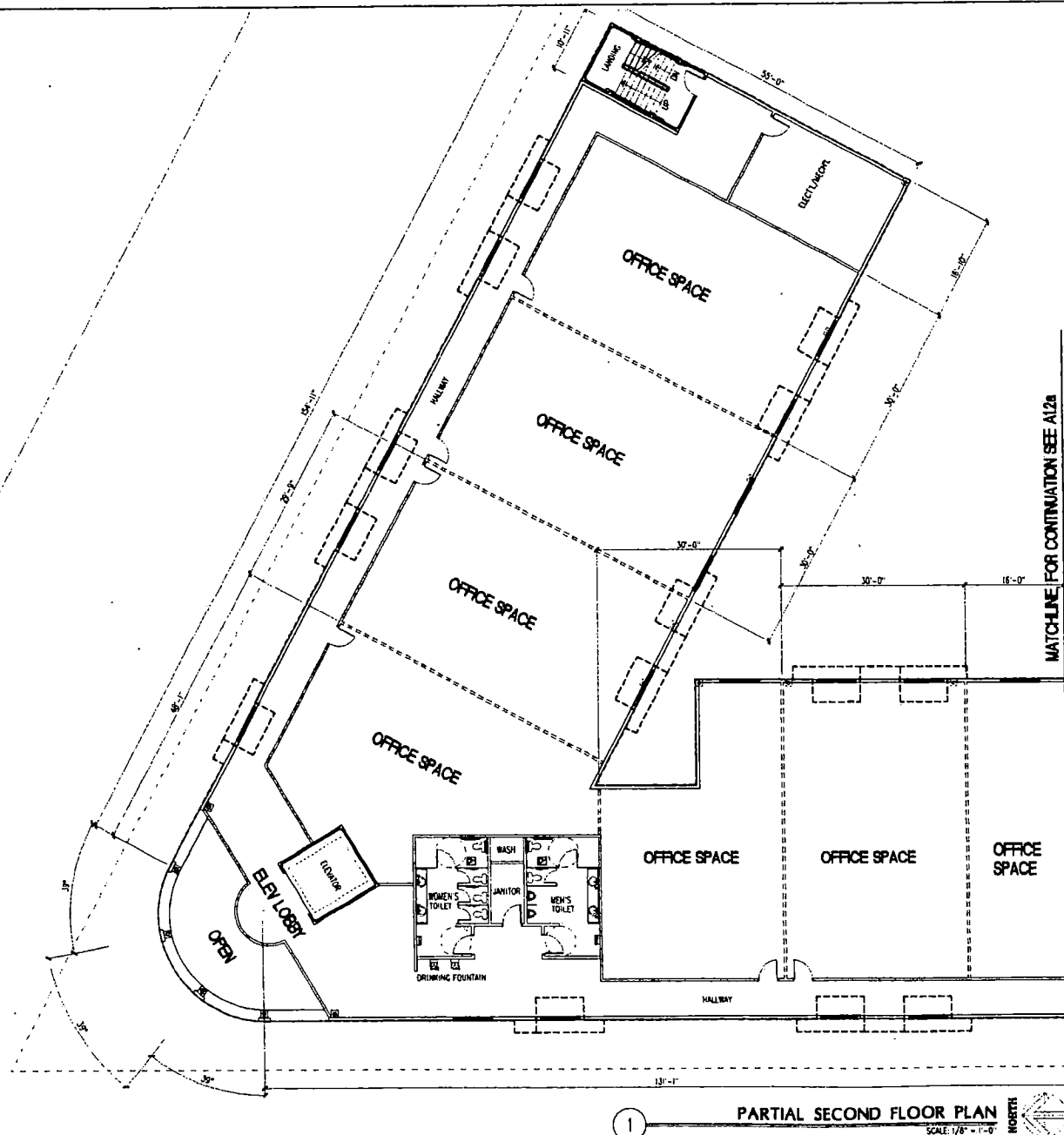
**FREMONT VILLAGE**  
FREMONT STREET/VERDE STREET  
LAS VEGAS, NV 89101

**REVISIONS:**

| NO. | DATE     | DESCRIPTION       |
|-----|----------|-------------------|
| 1   | 03-10-05 | ISSUED FOR PERMIT |

**ATTN:**  
CITY OF LAS VEGAS  
PLANNING DEPARTMENT  
300 N. LAS VEGAS BLVD.  
LAS VEGAS, NV 89101  
TEL: 702-258-2000  
FAX: 702-258-2001  
WWW.LASVEGASNV.GOV

SUP-5984  
SDR-5942  
03-10-05 PC

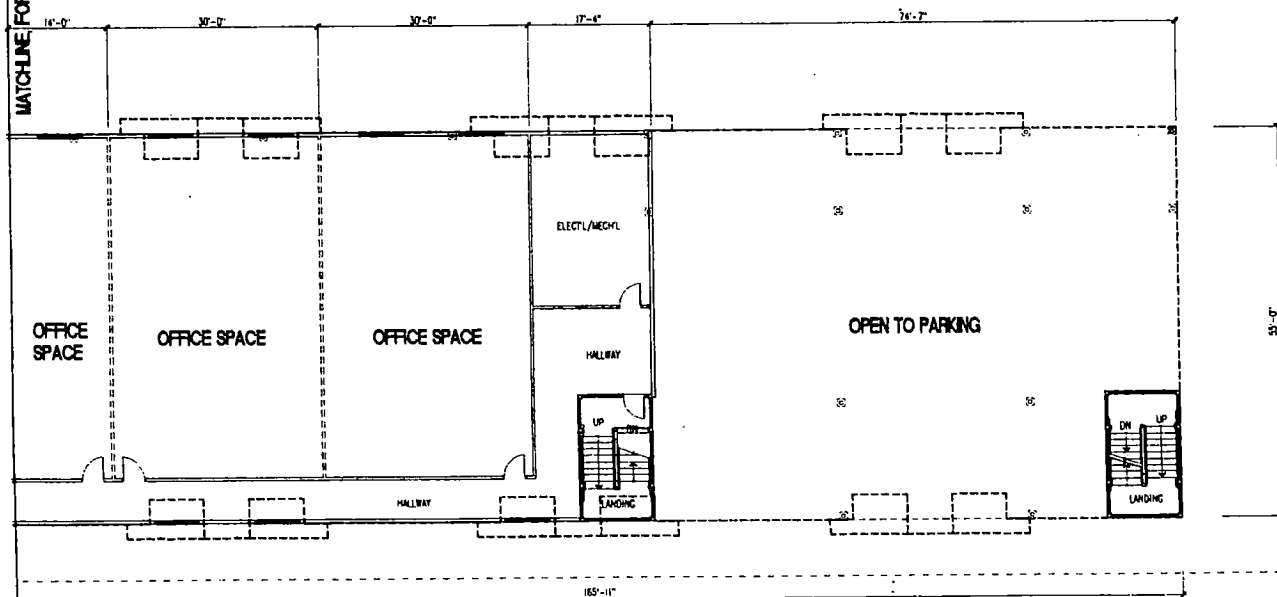


1 PARTIAL SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

|                                                                                                                              |  |
|------------------------------------------------------------------------------------------------------------------------------|--|
|  <p>DENNIS E. RUSK<br/>ARCHITECT, LLC</p> |  |
| <p>SECOND FLOOR PLAN</p> <p><b>FREMONT VILLAGE</b></p> <p>FREMONT STREET/BRUCE STREET<br/>LAS VEGAS, NV 89101</p>            |  |
| <p>Revised:</p> <p>DATE: 03-10-05</p> <p>PROJECT NO.: 5984</p> <p>DESIGN BY: CER/10</p> <p>SHEET NO.: A12</p>                |  |

SUP-5984  
SDR-5942  
03-10-05 PC

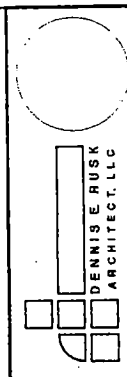
MATCHLINE FOR CONTINUATION SEE A12



1

PARTIAL SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



DENNIS E. RUSK  
ARCHITECT, LLC

SECOND FLOOR PLAN

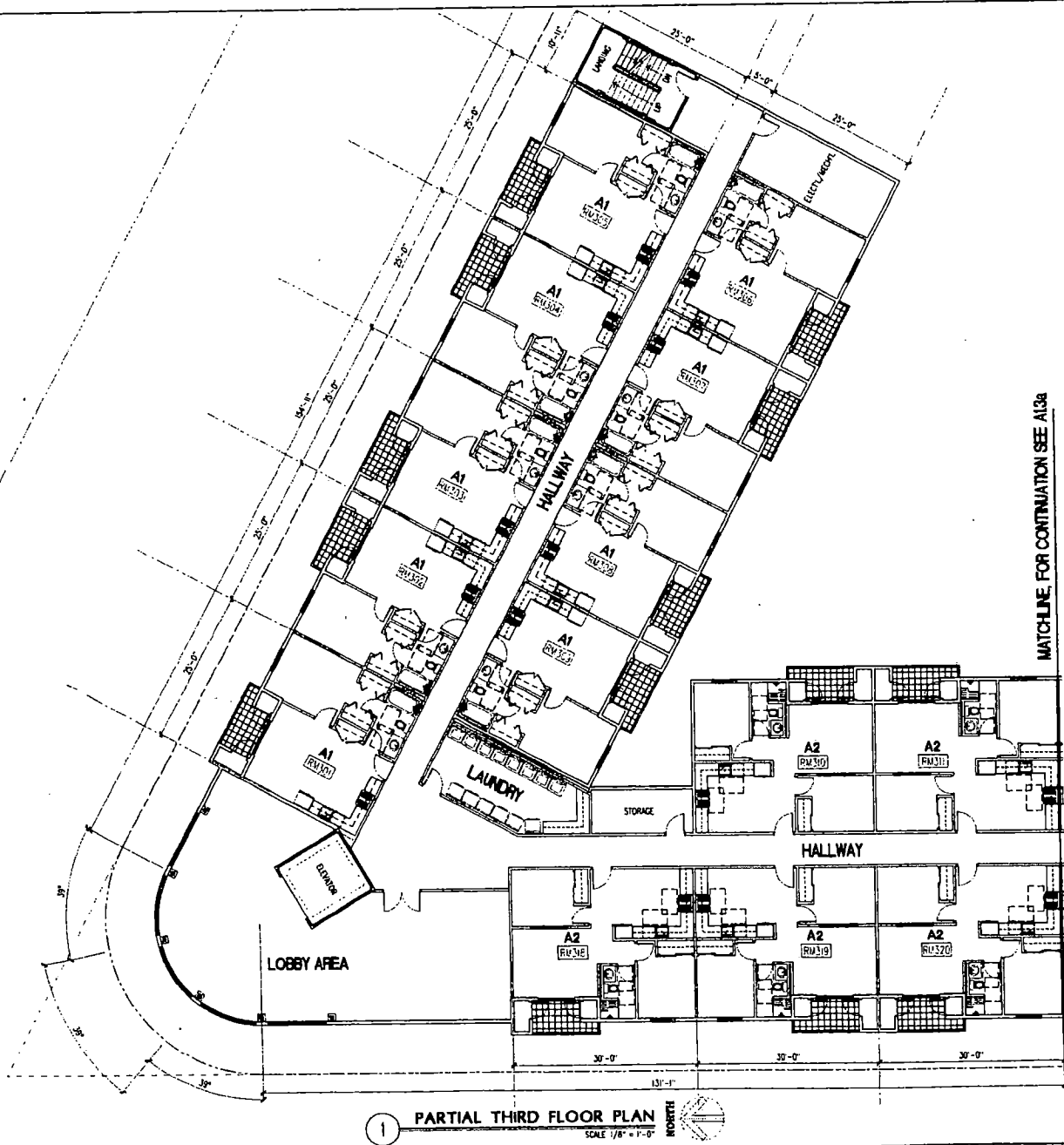
FREMONT VILLAGE

FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89119

| Revisions:       |
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| 2. 03-10-05 PC   |
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| Date        | 03-10-05                                         |
| Drawn by    | DR                                               |
| Check by    | DR                                               |
| Scale       | 1/8" = 1'-0"                                     |
| Sheet No.   | A12a                                             |
| Project No. | 03-10-05                                         |
| Client      | FREMONT VILLAGE                                  |
| Architect   | DENNIS E. RUSK ARCHITECT, LLC                    |
| Address     | 1000 S. MAIN ST., SUITE 100, LAS VEGAS, NV 89101 |
| Phone       | (702) 735-1111                                   |
| Fax         | (702) 735-1112                                   |
| Website     | www.dennisrusk.com                               |

SUP-5984  
SDR-5942  
03-10-05 PC

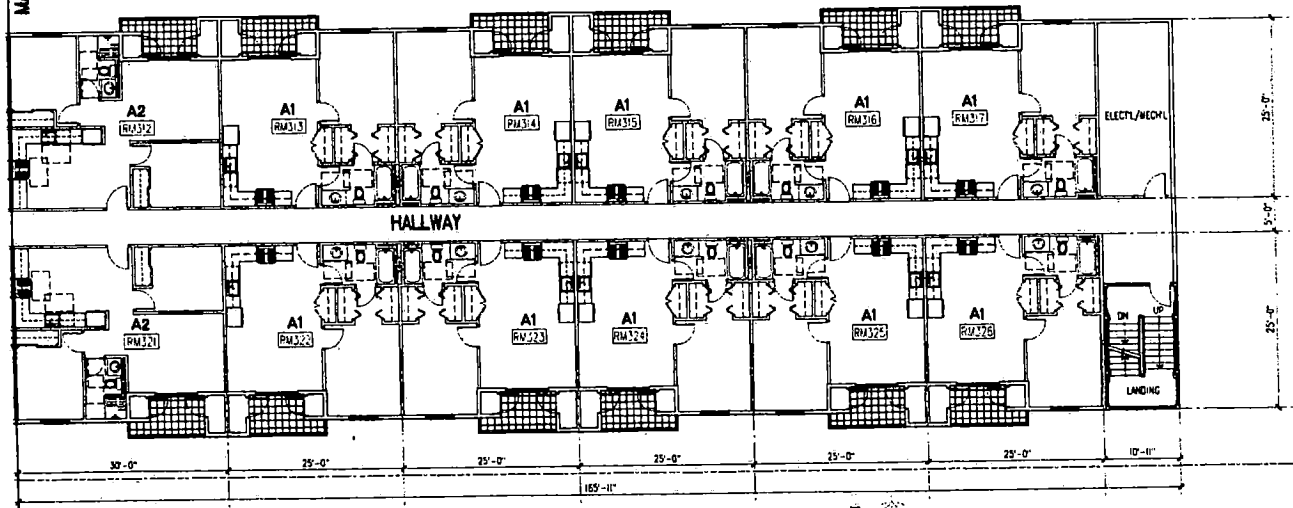


1 PARTIAL THIRD FLOOR PLAN  
SCALE 1/8" = 1'-0"

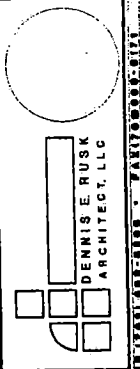
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| <p><b>FREMONT VILLAGE</b><br/>FREMONT STREET/BRUCE STREET<br/>LAS VEGAS, NV 891</p>                                                                          |          |             |      |             |   |          |    |
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SUP-5984  
SDR-5942  
03-10-05 PC

MATCHLINE, FOR CONTINUATION SEE A13



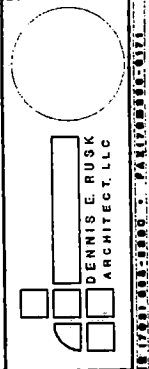
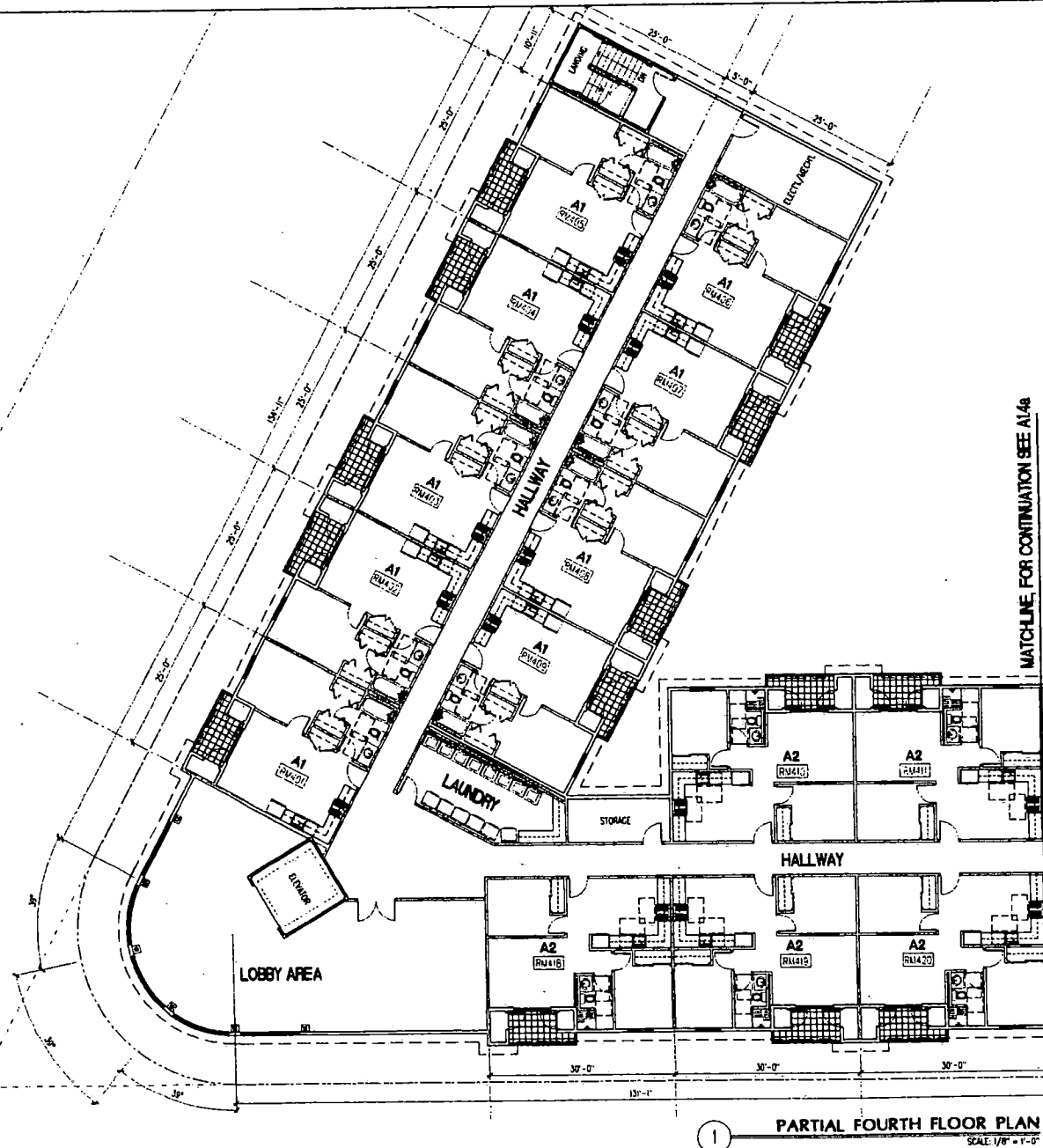
1 PARTIAL THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/FAIRLACE STREET  
LAS VEGAS, NV 89101

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| DATE        | 10-10-04 |
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| CHECK BY    |          |
| SHEET NO.   | A13a     |

SUP-5984  
SDR-5942  
03-10-05 PC



PARTIAL FOURTH FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/BRIDGE STREET  
LAS VEGAS, NV 89101

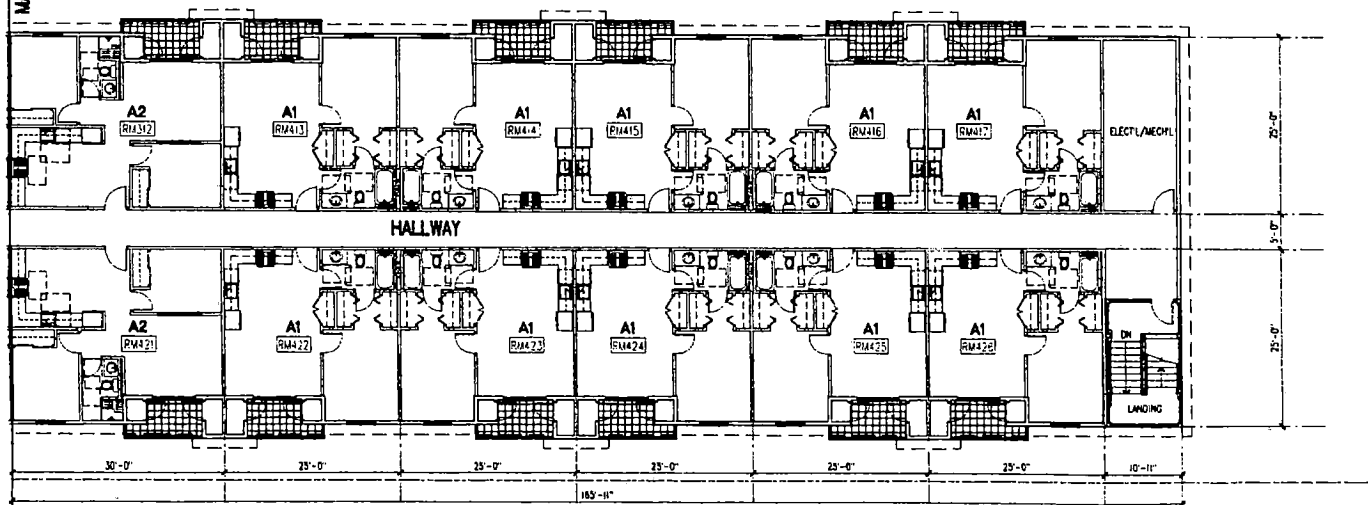
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Date: 03-10-05  
Project No.: 03-10-05  
Drawing No.: 03-10-05  
Sheet No.: 03-10-05  
A14

03-10-05 PC

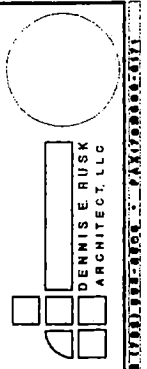
SUP-5984  
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03-10-05 PC

MATCHLINE, FOR CONTINUATION SEE A14



PARTIAL FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

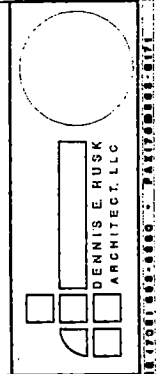
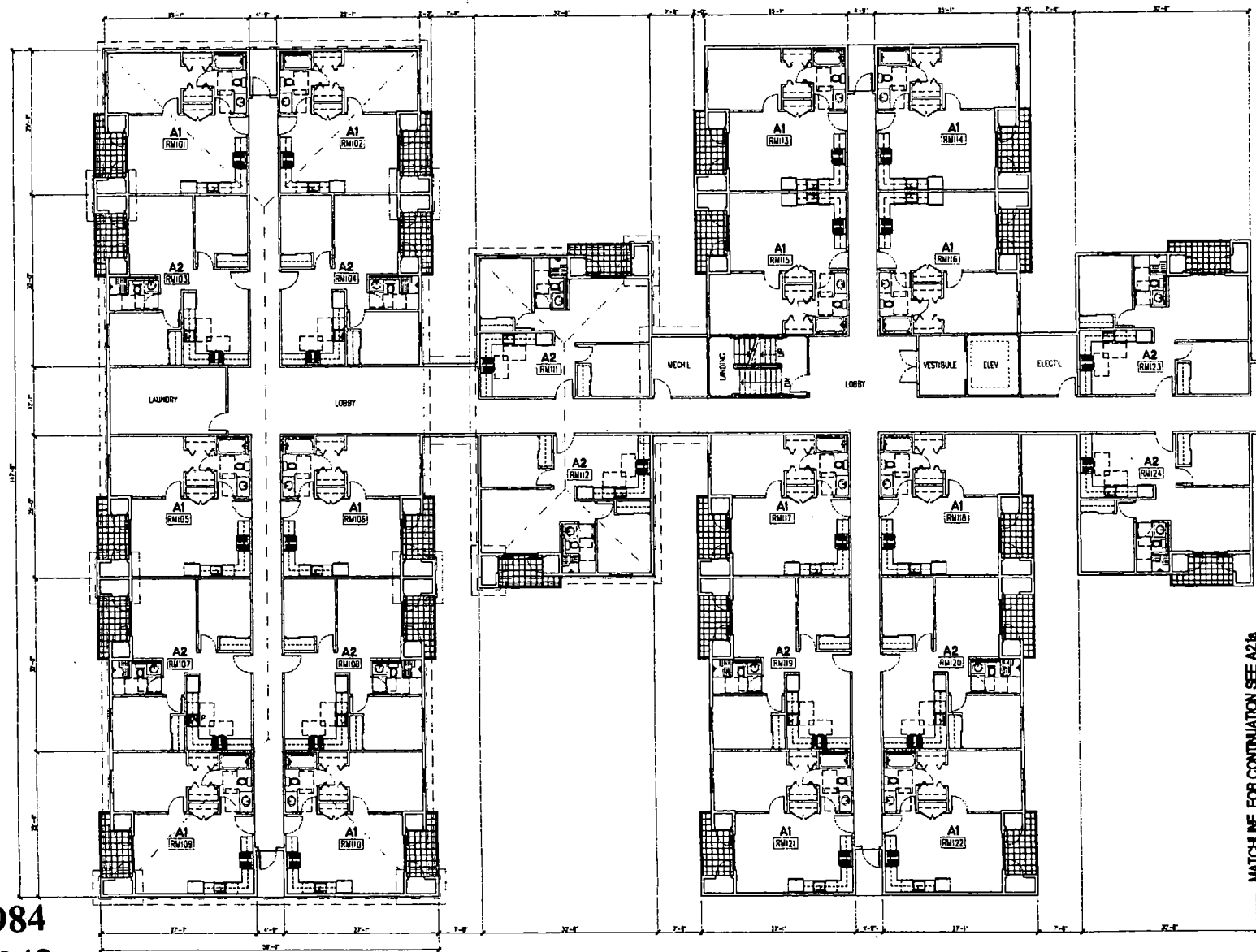


PARTIAL FOURTH FLOOR PLAN  
**FREMONT VILLAGE**  
FREMONT STREET/BRUCE STREET  
LAS VEGAS, NV 89...

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Project No.: 03-10-05  
Drawn By: JLR  
Check By: JLR  
Scale: 1/8" = 1'-0"  
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SUP-5984  
SDR-5942  
03-10-05 PC



**FREMONT VILLAGE**  
FREMONT STREET OFFICE STREET  
LAS VEGAS, NV 891

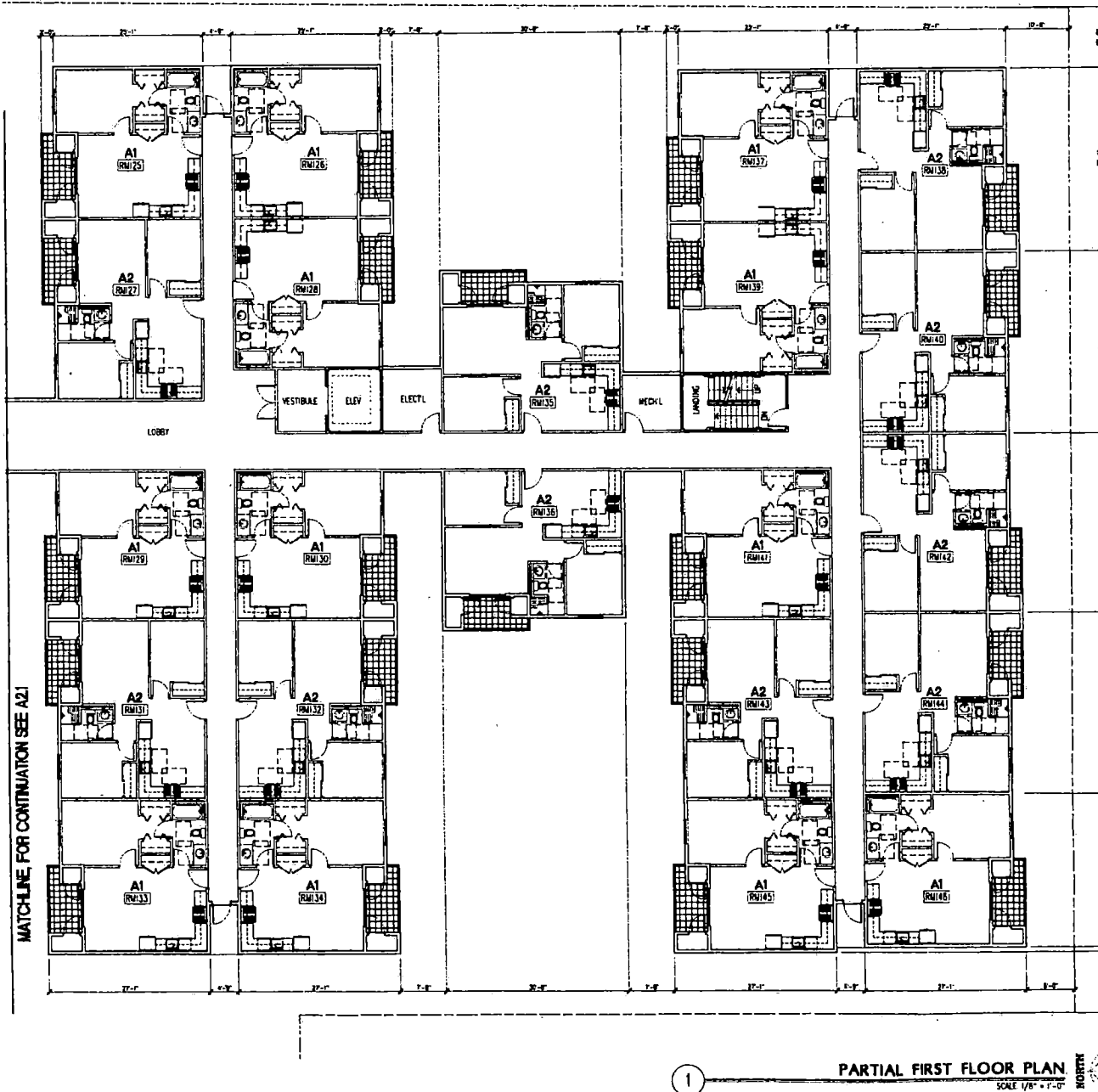
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Scale: 1/8" = 1'-0"

1 PARTIAL FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0" NORTH

A216

SUP-5984  
SDR-5942  
03-10-05 PC



REVISIONS:

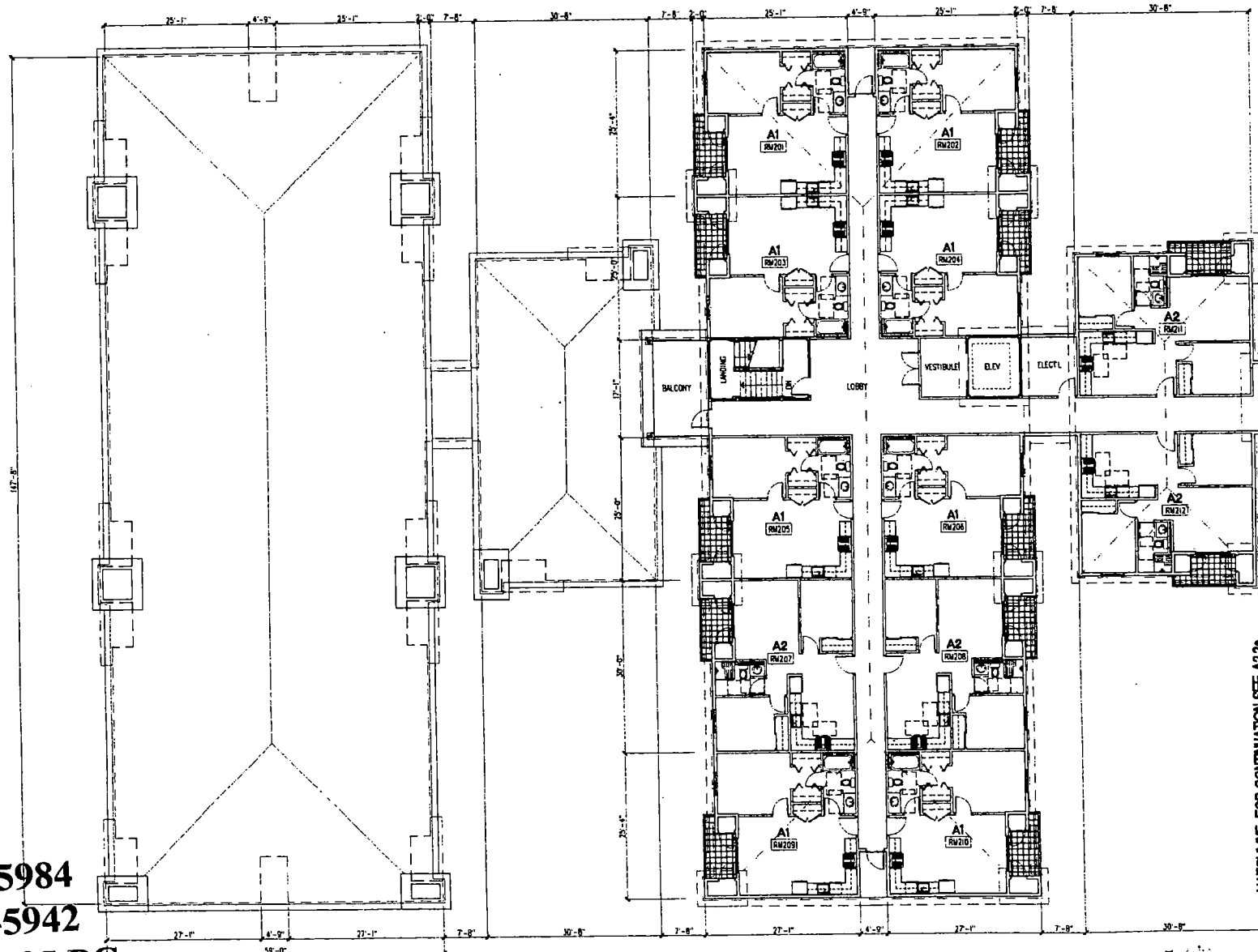
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PROJECT NO.:  
DRAWN BY: J.S.  
CHECKED BY: C.M.  
SHORT NO.:  
A2-1a

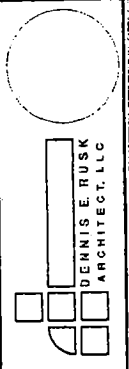
PARTIAL FIRST FLOOR PLAN  
FREMONT VILLAGE  
FREMONT STREET/STREET STREET  
LAS VEGAS, NV 891

DENNIS E. RUSK  
ARCHITECT, LLC

SUP-5984  
SDR-5942  
03-10-05 PC



PARTIAL SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



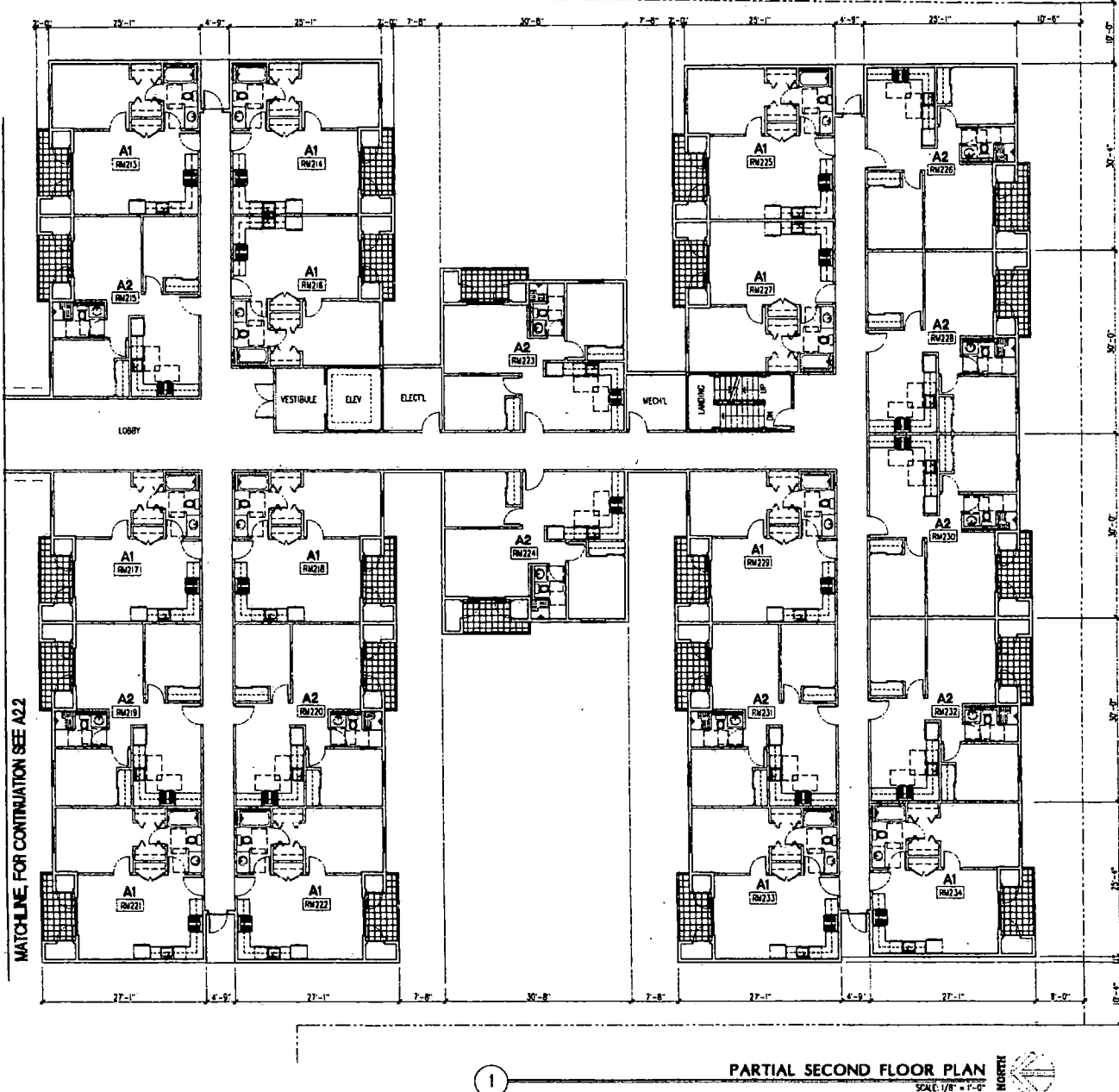
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**FREMONT VILLAGE**  
FREMONT STREET / VERDE STREET  
LAS VEGAS, NV 89101

Revisions:  
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2. 03-10-05  
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4. 03-10-05

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Date: 03-10-05  
Sheet No. 12  
A22

DENNIS E. RUSK ARCHITECT, LLC 1000 W. LAS VEGAS AVENUE, SUITE 1000 LAS VEGAS, NV 89101 PHONE: (702) 506-1000 FAX: (702) 506-1011

SUP-5984  
SDR-5942  
03-10-05 PC



**REVISIONS:**

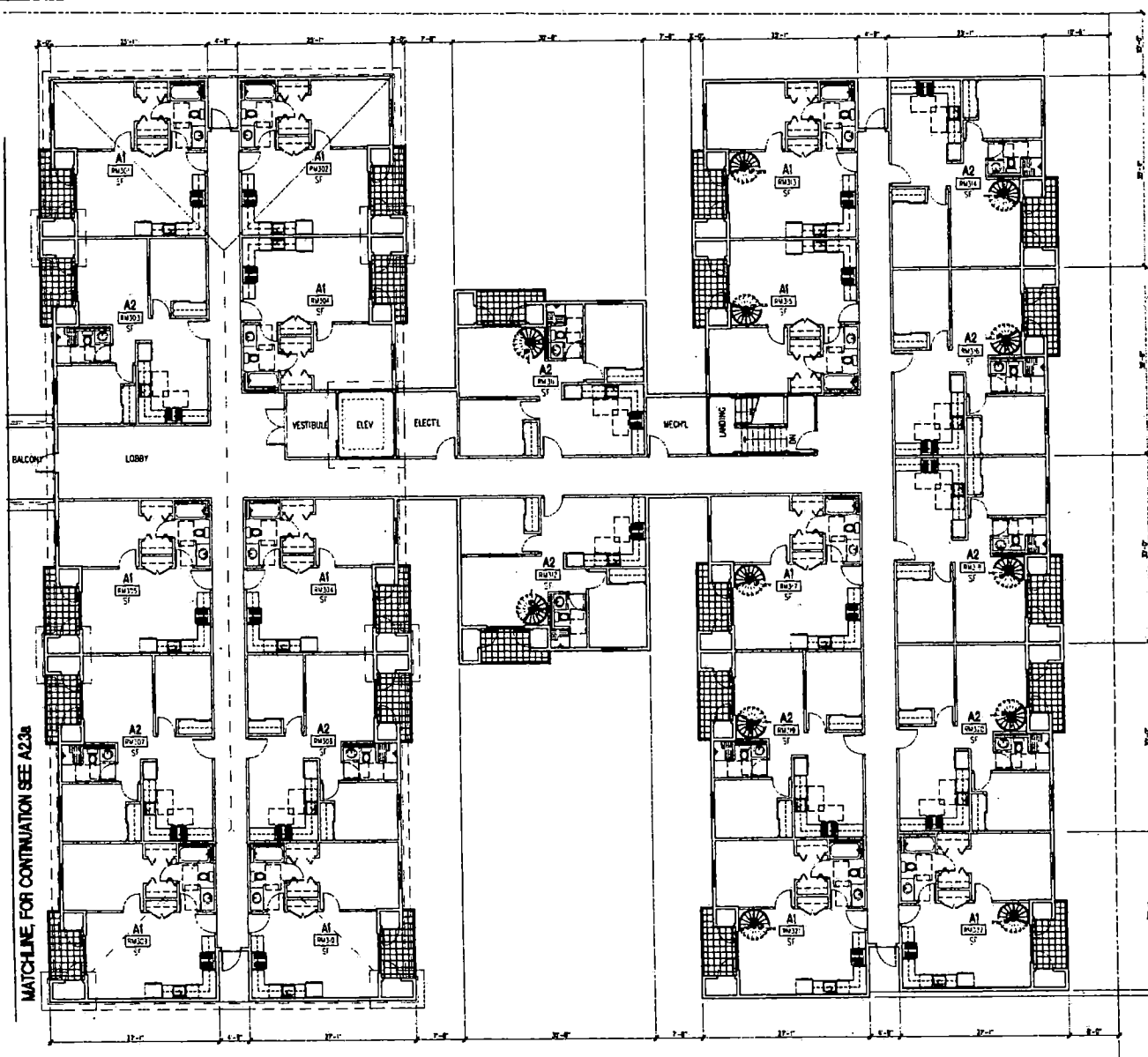
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**PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**FREMONT VILLAGE**  
FREMONT STREET / BRIDGE STREET  
LAS VEGAS, NV 89101

**DENNIS E. RUSK ARCHITECT, LLC**

SUP-5984  
SDR-5942  
03-10-05 PC

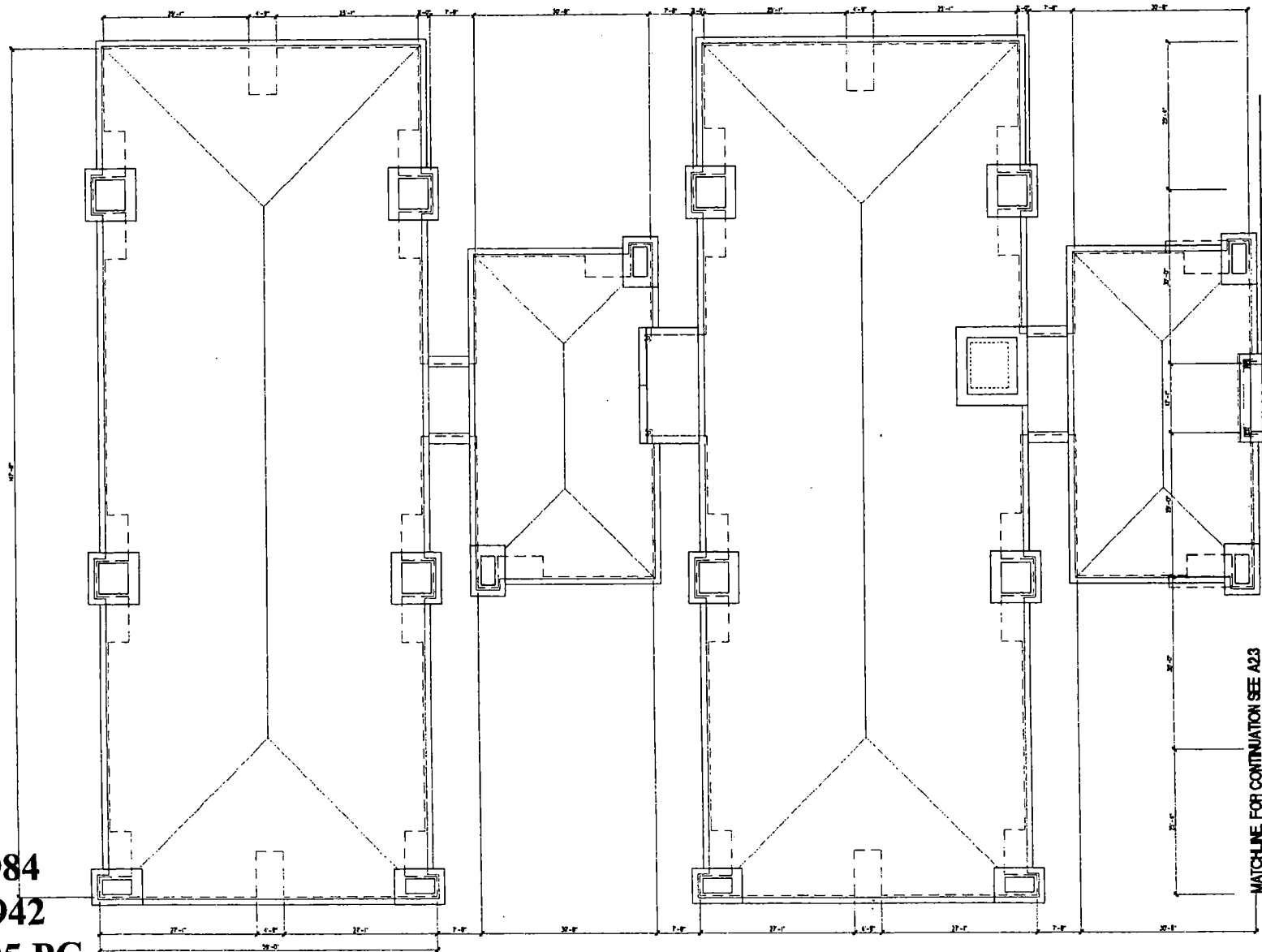


PARTIAL THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



| <p>DENNIS E. RUSK<br/>ARCHITECT, LLC</p>                                                                                                                                    |          |                   |      |             |   |          |                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|-------------------|------|-------------|---|----------|-------------------|
| <p><b>FREMONT VILLAGE</b><br/>FREMONT STREET / ARCADE STREET<br/>LAS VEGAS, NV 89</p>                                                                                       |          |                   |      |             |   |          |                   |
| <p>PARTIAL THIRD FLOOR PLAN</p>                                                                                                                                             |          |                   |      |             |   |          |                   |
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**SUP-5984**  
**SDR-5942**  
**03-10-05 P.C**



-MATCHLINE FOR CONTINUATION SEE A23

Revisions: 

Date: 12-20-50  
Project No.:  
Drawn By: AL  
Check By: D.E.F.B.  
Sheet No.:  
A238

### PARTIAL THIRD FLOOR PLAN

**FREMONT VILLAGE**

FREMONT STREET/BF/CLCE STREET  
LAS VEGAS, NV 89---

DENNISE RUSK  
ARCHITECT, LLC

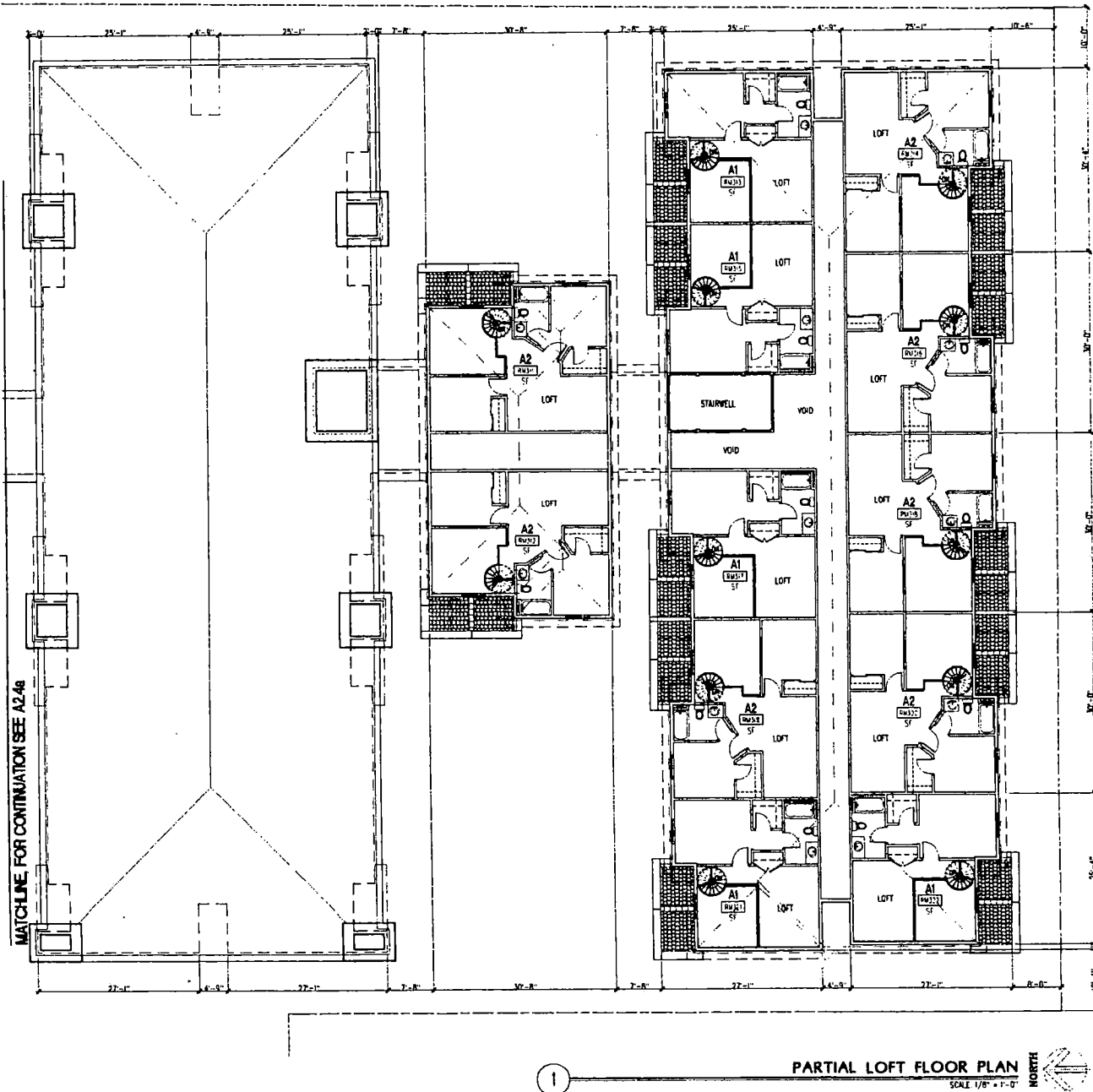
**PARTIAL THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



**NORTH**

SUP-5984  
SDR-5942  
03-10-05 PC



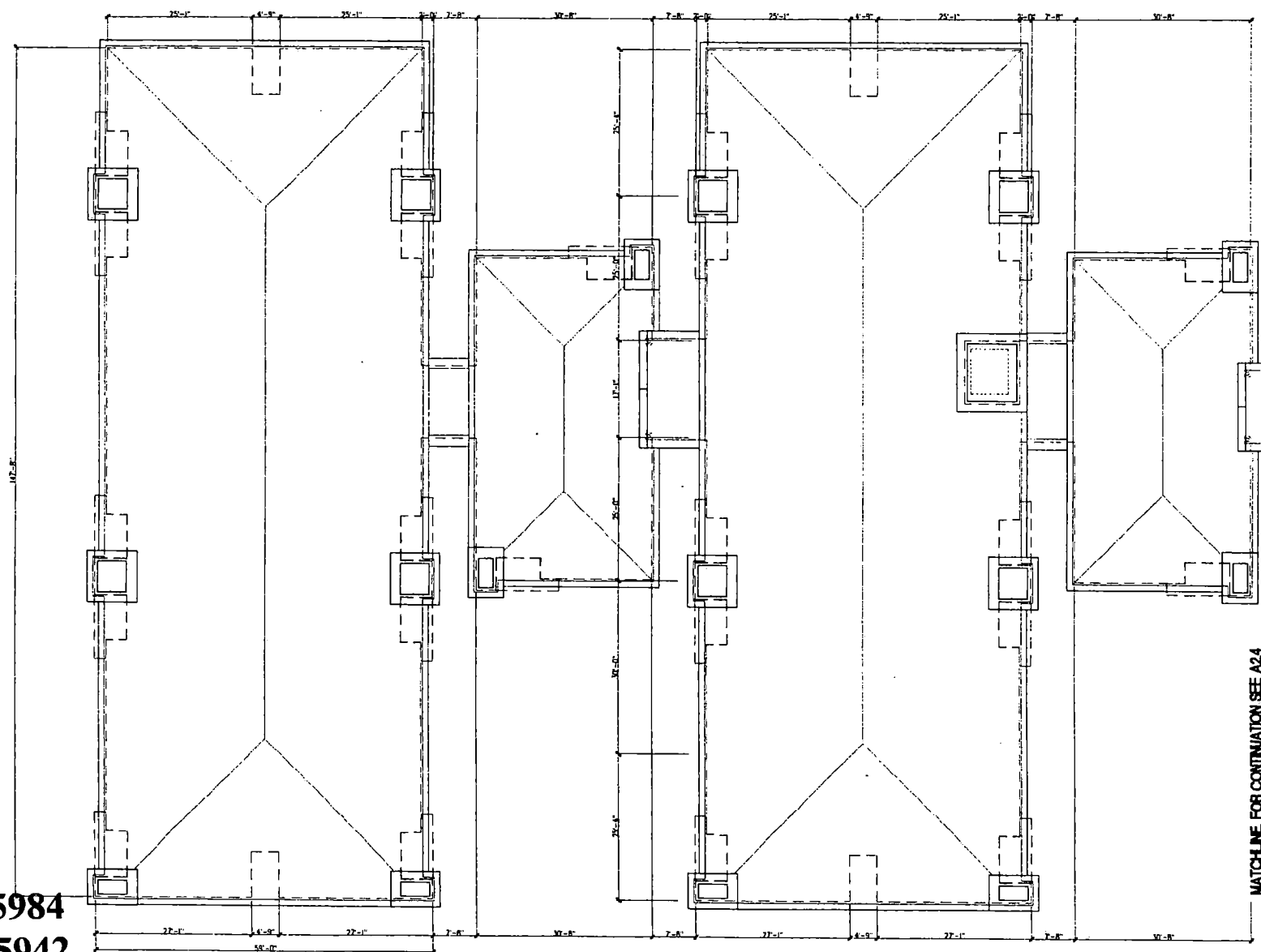
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**FREMONT VILLAGE**  
FREMONT STREET TERRACE STREET  
LAS VEGAS, NV 89101

**DENNIS E. RUSK ARCHITECT, LLC**

SUP-5984  
SDR-5942  
03-10-05 PC



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PARTIAL FOURTH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

MATCHLINE FOR CONTINUATION SEE A24

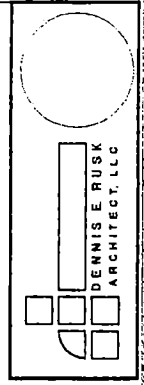
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PARTIAL FOURTH FLOOR PLAN

**FREMONT VILLAGE**

FREMONT STREET OFFICE, SHEET 1

LAS VEGAS, NV 891



1000 KAPATON LANE SUITE 100 LAS VEGAS, NEVADA 89101 PHONE (702) 333-0000 FAX (702) 333-0001



SUP-5984 & SDR-5942- APPLICANT/OWNER: FREMONT BRUCE, LLC  
ADJACENT TO THE SOUTHEAST CORNER OF BRUCE STREET AND FREMONT STREET  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

*Architecture*

DENNIS E. RUSK ARCHITECT

January 11, 2005

Planning and Development  
City of Las Vegas  
731 S. Fourth Street  
Las Vegas, NV 89101

Re: Mixed-Use Commercial/Residential  
Downtown Centennial Plan  
Bruce and Fremont

**JUSTIFICATION LETTER**

We proposed to construct a 152 units Apartment Complex over two floors of commercial and parking located on the East side of Bruce and South side of Fremont, Las Vegas Nevada. The building consists of four stories with three story portion over ground floor parking with approximately 21,000sf of commercial space.

We are filing for a Site Plan Review in accordance of the Downtown Centennial Plan.

The parking provides 1/unit for the apartments of 152 spaces and 1/250sf of the commercial for 34 spaces and a total of 242 spaces.

Thank you,

  
Dennis E. Rusk, Architect

SDR-5942

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-5990 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: SONMAR OF CENTENNIAL, LLC - OWNER: CENTENNIAL GATEWAY, LLC** - Request for a Special Use Permit FOR A PROPOSED HOTEL AND A WAIVER OF THE 330 FOOT DISTANCE SEPARATION FROM A SINGLE FAMILY DETACHED DWELLING adjacent to the northeast corner of Centennial Center Boulevard and Ann Road (a portion of APN 125-27-401-011), T-C (Town Center) [SC-TC (Service Commercial – Town Center) Special Land Use Designation], Ward 6 (Mack).

**APPLICANT REQUESTS THIS ITEM BE TABLED**

**PROTESTS RECEIVED BEFORE:**

Planning Commission Mtg.  
City Council Meeting

0

**APPROVALS RECEIVED BEFORE:**

Planning Commission Mtg.  
City Council Meeting

0

**RECOMMENDATION:**

Staff recommends TABLE

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**TRUESDELL – Motion to bring forward and HOLD IN ABEYANCE Item 41 [SDR-6023] to the 03/24/2005 Planning Commission Meeting; Item 14 [VAR-5878], Item 15 [SUP-5877], Item 16 [SDR-5876], Item 19 [VAR-5949], Item 20 [WVR-6153] and Item 21 [SDR-5948] to the 04/14/2005 Planning Commission Meeting; WITHDRAW WITHOUT PREJUDICE Item 17 [WVR-5955] and Item 18 [WVR-5956]; and TABLE Item 32 [SUP-5990], Item 33 [SDR-5989] and Item 44 [VAR-5878] – UNANIMOUS**

**MINUTES:**

There was no discussion.

(6:04 – 6:09)

1-69



GEORGE GEKAKIS, INCORPORATED  
GENERAL CONTRACTOR / DEVELOPER

2655 S. Rainbow Blvd.  
Suite #401  
Las Vegas, Nevada  
89146

702-364-8027 Phone  
702-364-4925 Fax  
NV Lic. #0025406

## FAX

To: Doug Rankin From: George Gekakis  
Company: City of Las Vegas Pages: 1 (including cover sheet)  
Fax: 385-7268 Date: 2-23-05  
Re: Centennial Gateway CC:  
Hotel Site

☐ Urgent

☐ For Review

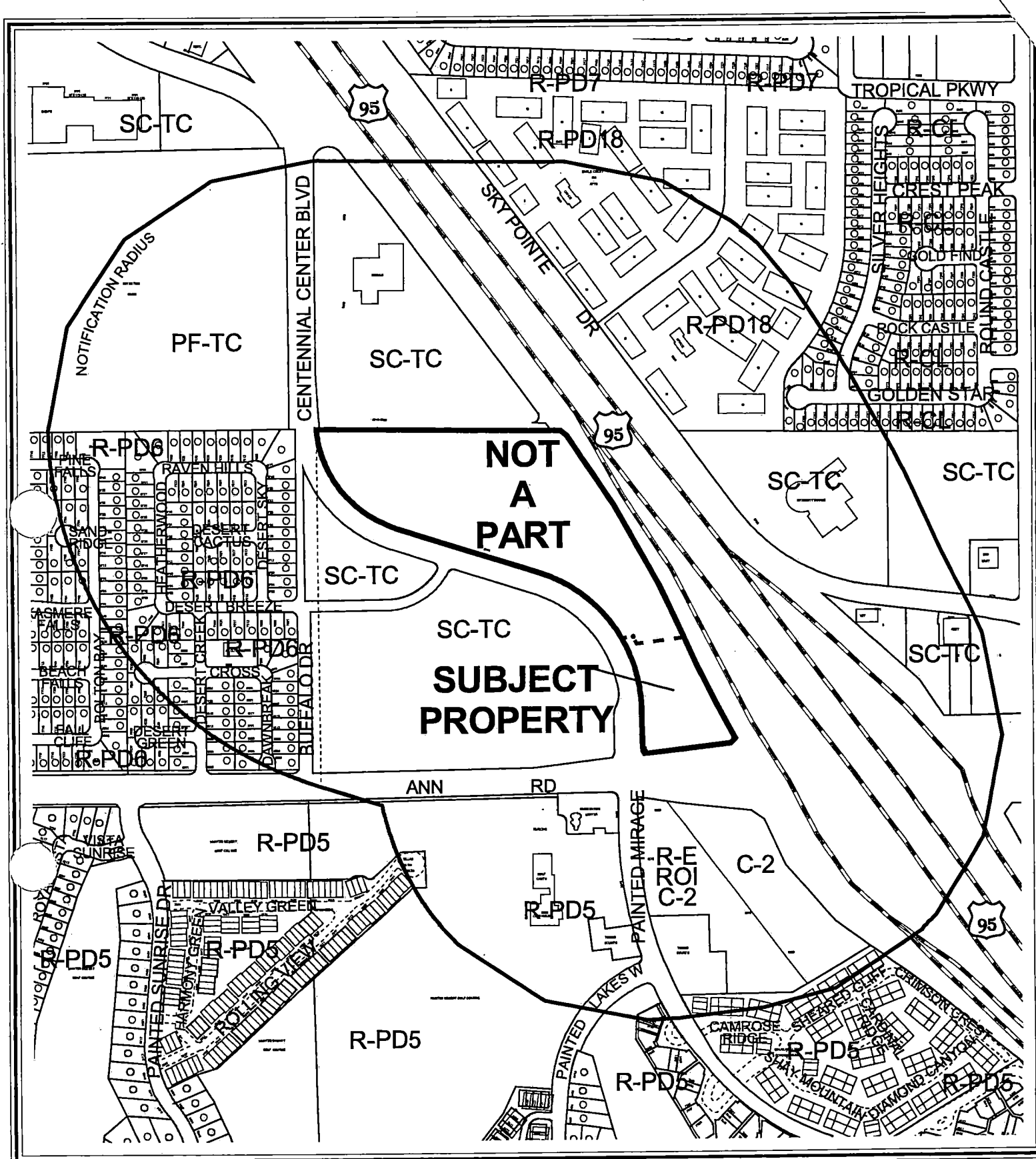
☐ Please Comment

☐ Please Reply

☐ Please Recycle

Comments:

Doug - upon reviewing the map this afternoon, I realize we are going to have to table our SUP #5990 + SDR #5989 from March 10, '05 until further notice when we have obtained the required signatures.

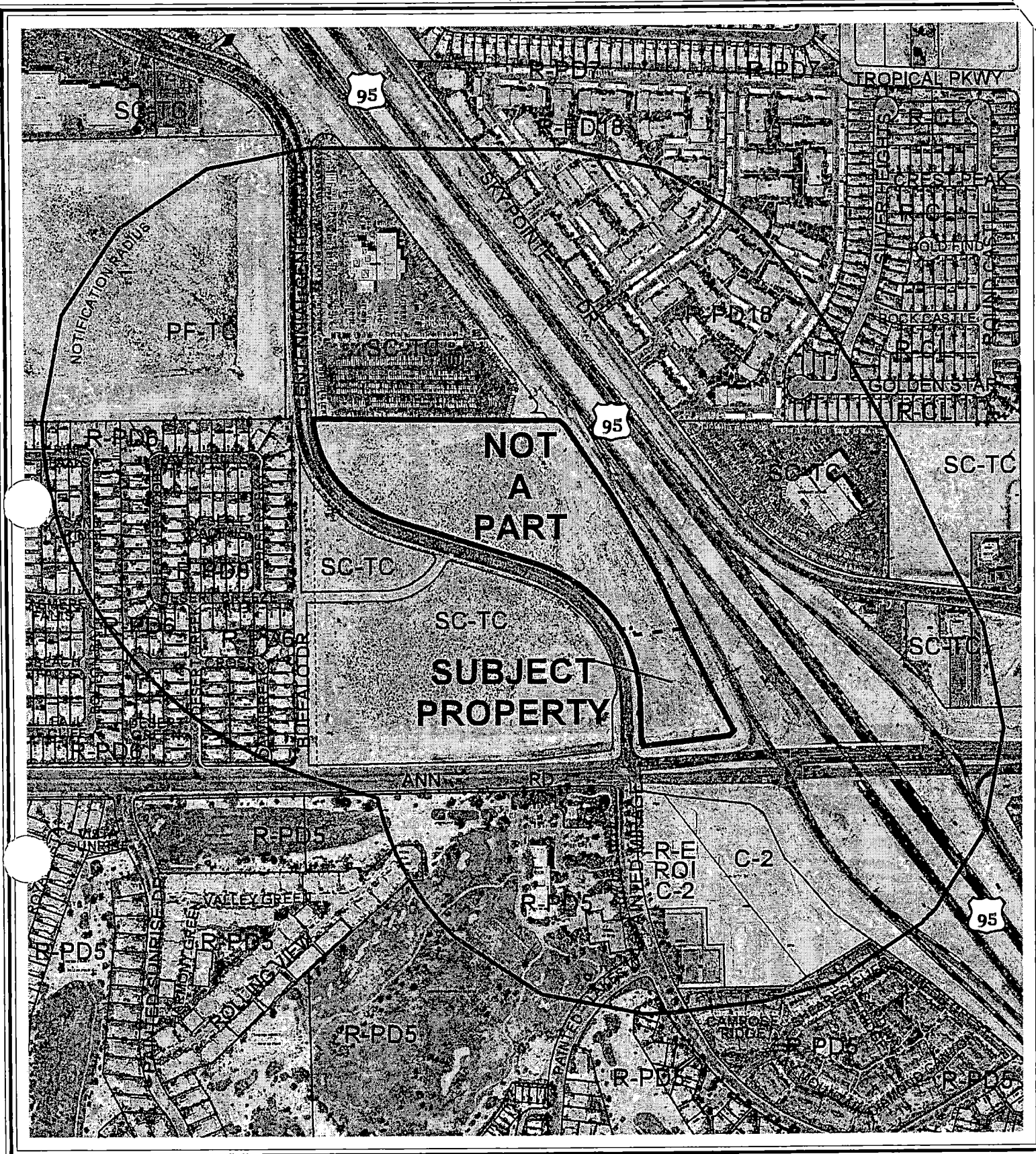


CASE: **SUP-5990**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER) SPECIAL LAND USE DESIGNATION]



CASE: **SUP-5990**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER) SPECIAL LAND USE DESIGNATION]



*City of Las Vegas*

**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-5990 - APPLICANT: SONMAR OF CENTENNIAL, LLC -  
OWNER: CENTENNIAL GATEWAY, LLC

---

***ON FEBRUARY 23, 2005 THE APPLICANT  
REQUESTED THIS ITEM BE TABLED UNTIL  
FURTHER NOTICE.***

KCW



## PLANNING & DEVELOPMENT DEPARTMENT

## STATEMENT OF FINANCIAL INTEREST

Case Number: SUP-5990 APN: PART OF 125-27-401-011

Name of Property Owner: CENTENNIAL GATEWAY LLC

Name of Applicant: SONMAR OF CENTENNIAL LLC

**To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?**

Yes

✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

**Signature of Property Owner:**

Leuiskurm

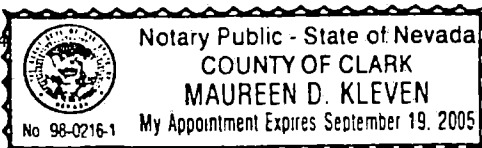
Print Name: TEERI STORN

Subscribed and sworn before me

This 6th day of DECEMBER 2004

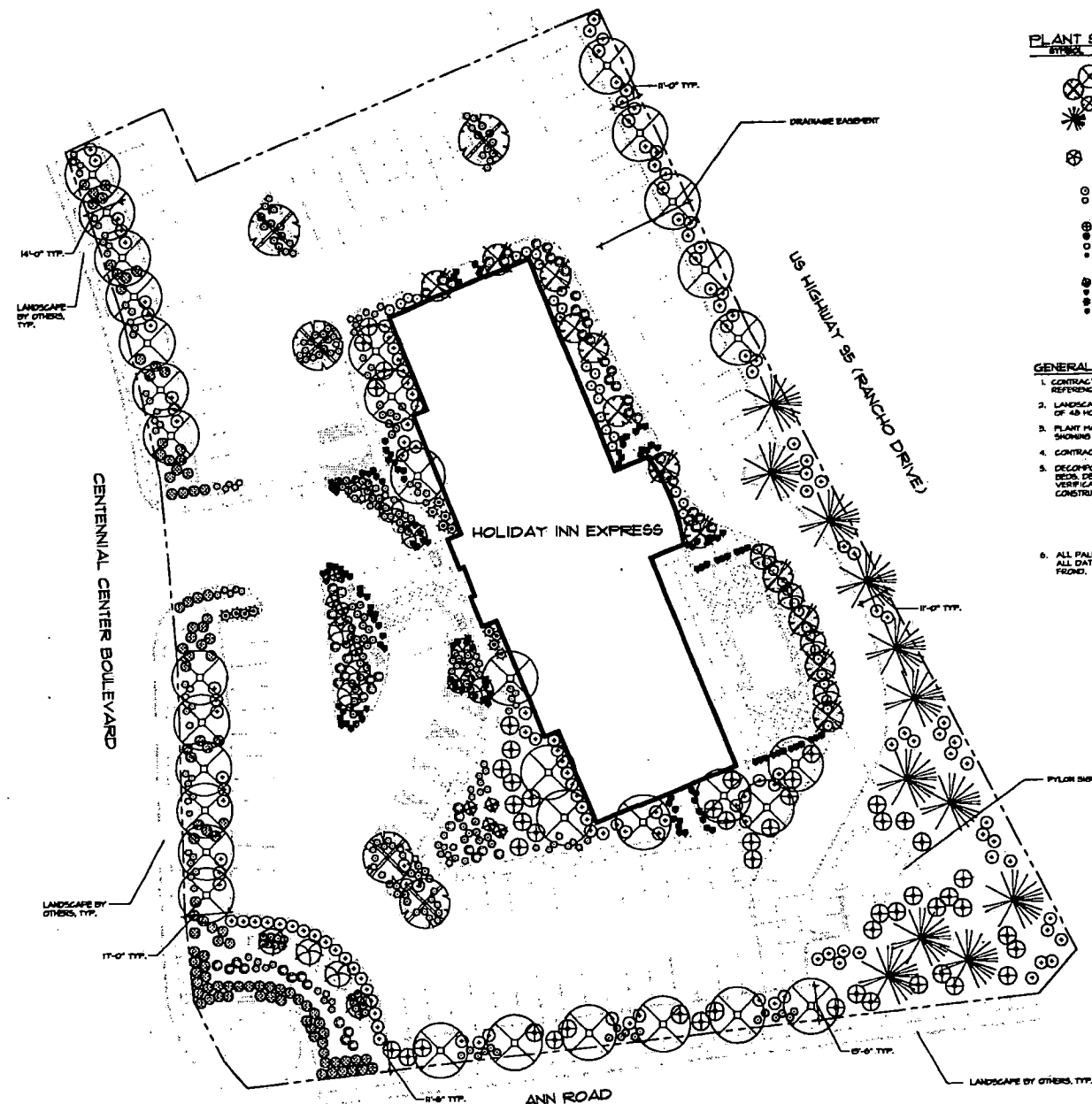
Maureen D. Klover  
Notary Public in and for said County and State

Revised 12-03-04



f:\depot\Application Packet\Statement of Financial Interest.doc





# PLANT SCHEDULE

| PLANT SCHEDULE         |                                        | COMMON NAME                   | QTY. | SIZE             |
|------------------------|----------------------------------------|-------------------------------|------|------------------|
| SYMBOL                 | BOTANICAL NAME                         |                               |      |                  |
| <b>TREES</b>           |                                        |                               |      |                  |
| ⊗                      | CATALPA TACHYLOIDES 'PINK DANCE'       | CATALPA 12" BDU               | 34   | 24" / 36" BDU    |
| ⊗                      | FRAXINUS OXYCARPA 'MAGNOLIA'           | WHITEWOOD ASM                 | 5    | 15 GAL / 24" BDU |
| ⊗                      | LAOBODENDRON NIGRA 'CAGANEA'           | CAGANEA GRAPE HYDRATE 12" BDU | 12   | 24" / 36" BDU    |
| ⊗                      | PAULS EDWARDSA                         | MONDEL PINE 24" BDU           | 12   | 24" BDU          |
| <b>PAULI TREES</b>     |                                        |                               |      |                  |
| ⊗                      | WASHROSTOMA ROBUSTA                    | MUSKIAN FAN PALM              | 11   | 18"-20" EDHS     |
| <b>SHRUBS</b>          |                                        |                               |      |                  |
| ⊙                      | LEUCOPHYLLUM LANGEANUM 'RED DRAGON'    | RED DRAGON SAGE               | 140  | 5 GAL            |
| ⊙                      | RAPHANOPHYLLUM 'JACK DRAGON'           | JACK (EVANS) NODINE WANDERER  | 4    | 5 GAL            |
| <b>DECIDUOUS TREES</b> |                                        |                               |      |                  |
| ⊕                      | QUERCUS 'CANTERBURY'                   | CHAMP COYOTE DUM              | 52   | 5 GAL            |
| ⊕                      | DALIA CAPITATA                         | REDEN DALLA                   | 105  | 5 GAL            |
| ⊕                      | TOXAHEMUS CYNOMALIS 'NINTHENTH CARPET' | NINTHENTH CARPET ROSEMARY     | 85   | 5 GAL            |
| ⊕                      | LANTANA SPECIES 'NEW GOLD'             | NEW GOLD LANTANA              | 165  | 5 GAL            |
| <b>ACCENTS</b>         |                                        |                               |      |                  |
| ⊕                      | CAROLINIANA MUSCANA                    | YELLOW BIRD OF PARADISE       | 8    | 5 GAL            |
| ⊕                      | DIETES BICOLOR                         | EVERGREEN BUDS                | 154  | 1 GAL            |
| ⊕                      | HYDRANGEA ACULIS                       | ANGELITA DARTY                | 105  | 5 GAL            |
| ⊕                      | HEM EUPHORIA CACTILLARIS REGAL HST     | REGAL HST DEER GRASS          | 120  | 5 GAL            |

## GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT SCHEDULE IS INTENDED AS A REFERENCE ONLY.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF THE TOTAL QUANTITY OF EACH SPECIES, SHOWING GENUS, SPECIES, VARIETY, ETC.
- CONTRACTOR TO PROVIDE MATCHING SIZES AND FORMS OF LIKE SHrub SPECIES AS SHOWN ON DRAWINGS.
- DECOMPOSED GRANITE, 3\"/>

WHOLESALE DEALER:  
KALAMAZOO MATERIALS, INC.  
2251 SOUTH FORT APACHE ROAD, SUITE 201H  
LAS VEGAS, NV 89111  
TELEPHONE: 702-455-1522

PRELIMINARY PLANTING PLAN  
SCALE: 1/8\"/>

SUP-5990  
SDR-5989  
03-10-05 PC



Call before you dig  
Call before you dig  
Call before you dig

**WZUNINO & ASSOCIATES**  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
3101 South 10th Street, Suite 100, Las Vegas, NV 89144  
Phone: (702) 251-2000 • Fax: (702) 251-2000 • E-mail: wzunino@wzunino.com

Drawn: ADW  
Approved: JFZ

Date: 04/05/00  
Job: 04505.00  
Date: 01-17-05

# **Holiday Inn**  
**EXPRESS**  
LAS VEGAS 108 UNITS NEVADA

L1.01

## JUSTIFICATION LETTER

### The Project

The proposed project is a Holiday Inn Express and Suites to be developed in the Centennial Gateway Center in Northwest Las Vegas. The hotel will be located at the northeast corner of Centennial Center Boulevard and Ann Road at the southern most parcel of the entire development, with direct access to the US Highway 95. It is a 2-acre site within parcel # 125-27-401-011.

This particular Holiday Inn Express and Suites will be a non-gaming hotel, four stories in height, 108 units, and there will be 15,400 square footage at the lobby level. Total gross building area will be 106,375 sf.

### Site Review and Special Use Permit

In 1996 the City of Las Vegas adopted the Northwest Area General Plan Amendment, making provision for a Town Center in Northwest Las Vegas, which now includes the Centennial Gateway Center, a part of the +/- 900,000 sq. ft. retail center comprised of 90 acres. Within these 90 acres, Service Commercial (SC) land use is permitted, which includes hotels, but requiring a Special Use Permit.

The Centennial Hills area has become a major business center, and our hotel site within Centennial Gateway offers excellent freeway exposure and ease of access. The Holiday Inn Express and Suites' theme is one of convenience and quiet efficiency for the business traveler or visitor to the Northwest. Holiday Inn Express and Suites offers guests business services, health/fitness center, outdoor pool, meeting facilities, dry cleaning and laundry service, free local phone calls, free cable television, high-speed internet access, and the complementary *Express Start Breakfast Bar*.

The hotel site provides another facet to the long-range vision of the Centennial Hills area plan for systematic and thoughtful growth in the Northwest.

### Regarding Waiver for Trash Enclosures

We are requesting a waiver for roofs on the trash enclosures. In our hot desert weather, roofs only encourage foul odors in a tight space. Other properties in the center do not have the roofs; we want our trash enclosures to be consistent with the others in the center.

SUP-5990

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-5989 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-5990 - PUBLIC HEARING - APPLICANT: SONMAR OF CENTENNIAL, LLC - OWNER: CENTENNIAL GATEWAY, LLC - Request for a Site Development Plan Review FOR A PROPOSED 108-UNIT HOTEL AND A WAIVER OF THE ROOFED TRASH ENCLOSURE STANDARD on 2.0 acres adjacent to the northeast corner of Centennial Center Boulevard and Ann Road (a portion of APN 125-27-401-011), T-C (Town Center) [SC-TC (Service Commercial – Town Center) Special Land Use Designation], Ward 6 (Mack).**

**APPLICANT REQUESTS THIS ITEM BE TABLED**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends TABLE

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

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**MINUTES:**

There was no discussion.

(6:04 – 6:09)



GEORGE GEKAKIS, INCORPORATED  
GENERAL CONTRACTOR / DEVELOPER

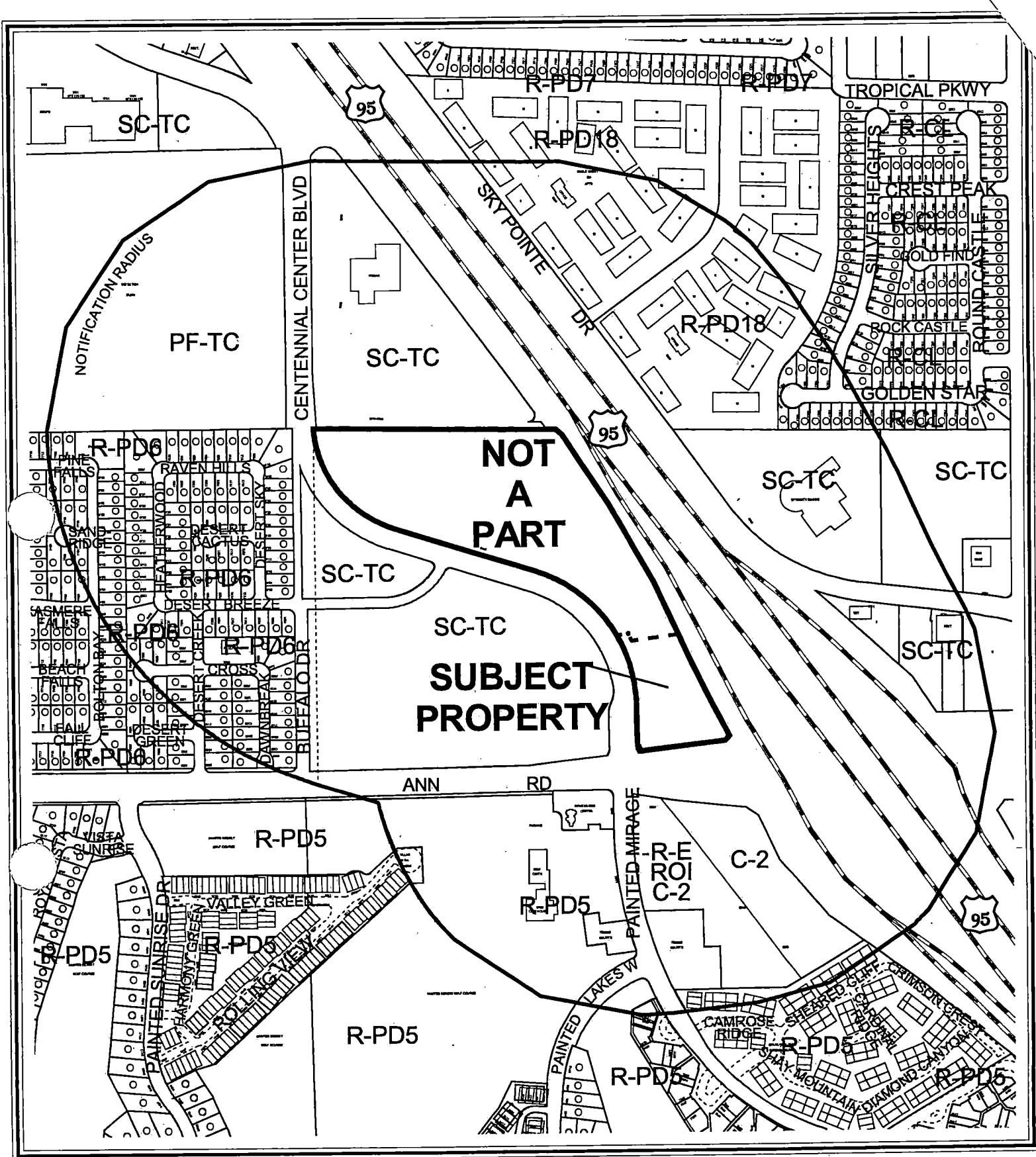
2655 S. Rainbow Blvd.  
Suite #401  
Las Vegas, Nevada  
89146

702-364-8027 Phone  
702-364-4925 Fax  
NV Lic. #0025406

## FAX

To: Doug Rankin From: George Gekakis  
Company: City of Las Vegas Pages: 1 (including cover sheet)  
Fax: 385-7268 Date: 2-23-05  
Re: Centennial Gateway CC:  
Hotel Site  
☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Comments: Doug - upon reviewing the map this  
afternoon, I realize we are going to have  
to table our SUP #5990 + SDR #5989  
from March 10, '05 until further notice  
when we have obtained the required  
signatures.



**CASE: SDR-5989**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY:**

**T-C (TOWN CENTER) ZONE [SC-TC (SERVICE COMMERCIAL - TOWN CENTER) SPECIAL LAND USE DESIGNATION]**

*City of Las Vegas*

**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: MARCH 10, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SDR-5989 - APPLICANT: SONMAR OF CENTENNIAL, LLC -

OWNER: CENTENNIAL GATEWAY, LLC

---

***ON FEBRUARY 23, 2005 THE APPLICANT  
REQUESTED THIS ITEM BE TABLED UNTIL  
FURTHER NOTICE.***

**PLANNING & DEVELOPMENT DEPARTMENT**

## STATEMENT OF FINANCIAL INTEREST

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Name of Property Owner: CENTENNIAL GATEWAY LLC

Name of Applicant: SONMAR OF CENTENNIAL LLC

**To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?**

Yes

☒ Yes ☐ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

**Partner(s):** \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner: Blue Shum

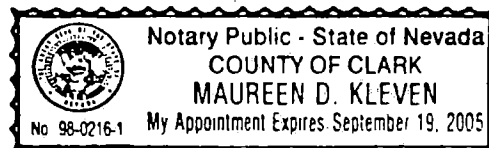
Print Name: TERRY STURN

Subscribed and sworn before me

This 8<sup>th</sup> day of NOVEMBER 2004

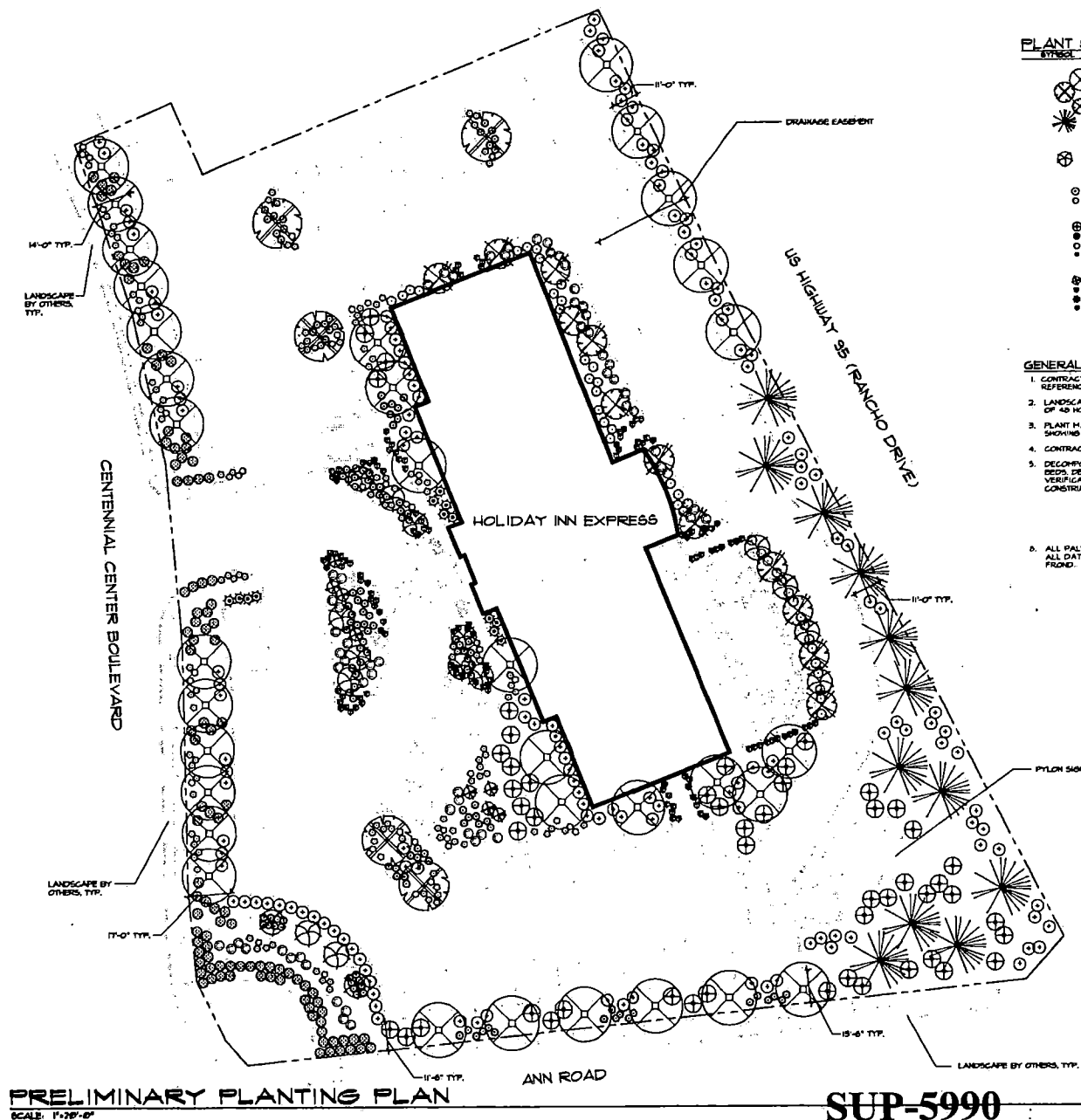
Margaret D. Kleven  
Notary Public in and for said County and State

Revised 12-03-04



f:\depo\Application Packet\Statement of Financial Interest.doc





**PRELIMINARY PLANTING PLAN**  
SCALE: 1"=20'-0"

**PLANT SCHEDULE**

| SYMBOL              | BOTANICAL NAME                             | COMMON NAME                     | QTY. | BOX               |
|---------------------|--------------------------------------------|---------------------------------|------|-------------------|
| <b>TREES</b>        |                                            |                                 |      |                   |
| ⊗                   | CATALPA TASHKENTENSIS 'TRIN DANK'          | CATALPA (24" BOX)               | 34   | 24" / 36" BOX     |
| ⊗                   | FRAXINUS OXYCARPA 'RATWOOD'                | RATWOOD ASH                     | 5    | 15 GAL. / 24" BOX |
| ⊗                   | LADERSTROMIA INDICA 'SANTANA'              | CATALPA GRAPE HYDRILE (24" BOX) | 12   | 24" / 36" BOX     |
| ⊗                   | FINIS ELDARICA                             | MONDEL PINE (24" BOX)           | 12   | 24" BOX           |
| <b>PALM TREES</b>   |                                            |                                 |      |                   |
| ⊗                   | MASHINGTONIA ROBUSTA                       | MEXICAN FAN PALM                | 17   | 15'-25' (BIV)     |
| <b>SHRUBS</b>       |                                            |                                 |      |                   |
| ⊗                   | LEUCOPHYLLUM LANCEOLATUM 'RIO BRAVO'       | RIO BRAVO SAGE                  | 140  | 5 GAL.            |
| ⊗                   | RAVENSOLIA INDICA 'JACK EVANS'             | JACK EVANS BROWN HAWTHORN       | 40   | 5 GAL.            |
| <b>GROUNDCOVERS</b> |                                            |                                 |      |                   |
| ⊗                   | BACCHARIS CONFERTALIS                      | CHINESE LANTANA BUSH            | 32   | 5 GAL.            |
| ⊗                   | DALEA CAPITATA                             | GREEN DALEA                     | 105  | 5 GAL.            |
| ⊗                   | ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' | HUNTINGTON CARPET ROSEMARY      | 85   | 5 GAL.            |
| ⊗                   | LANTANA SPECIES 'NEW GOLD'                 | NEW GOLD LANTANA                | 185  | 5 GAL.            |
| <b>ACCENTS</b>      |                                            |                                 |      |                   |
| ⊗                   | DESALPINA MEXICANA                         | YELLOW BIRD OF PARADISE         | 5    | 5 GAL.            |
| ⊗                   | DIETES BICOLOR                             | EVERGREEN IRIS                  | 154  | 1 GAL.            |
| ⊗                   | HYMENOCYLLUS ACALIS                        | ANGELITA DASY                   | 15   | 1 GAL.            |
| ⊗                   | HELBENBERGIA CAPILLARIS 'REGAL TEST'       | REGAL POST DEER GRASS           | 100  | 5 GAL.            |

**GENERAL NOTES:**

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT SCHEDULE IS INTENDED AS A REFERENCE ONLY.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
- PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10% OF THE TOTAL QUANTITY OF EACH SPECIES, SHOWING GENUS, SPECIES, VARIETY, ETC.
- CONTRACTOR TO PROVIDE MATCHING SIZES AND FORMS OF LIKE SHRUB SPECIES AS SHOWN ON DRAWINGS.
- DECOMPOSED GRANITE, 8" x 5" SCREENED, COLOR: "TOM JAWE GOLD", 6" DEPTH TYPICAL IN ALL PLANTING BEDS. DECOMPOSED GRANITE SHALL CONTAIN 80% AGGREGATE AND 20% FINES. CONTRACTOR TO RECEIVE VERIFICATION FROM ROCK SUPPLIER AND PRESENT VERIFICATION TO THE OWNER PRIOR TO ANY CONSTRUCTION.

WHOLESALE DEALER:  
KALAMAZOO MATERIALS, INC.  
2251 SOUTH FORT APACHE ROAD, SUITE 2014  
LAS VEGAS, NV 89111  
TELEPHONE: 702-611-1133

- ALL PALM HEIGHTS ARE BROWN TRUNK HEIGHTS. ALL PALMS SHALL HAVE STRAIGHT TRUNKS WITH NO CURVES. ALL DATE PALMS SHALL BE SHOVEL CUT. ALL FAN PALMS SHALL BE SKINNED WITHIN 3 FEET OF THE LAST FROND.



Call before you  
OVERHEAD Dig.  
1-800-271-1400

**WZUNINO & ASSOCIATES**  
LANDSCAPE ARCHITECTURE - LAND PLANNING  
3181 South Jones Blvd. - Las Vegas, NV 89146  
Phone: 702-353-5598 - Fax: 702-353-5598 - E-Mail: jwzunino@aol.com

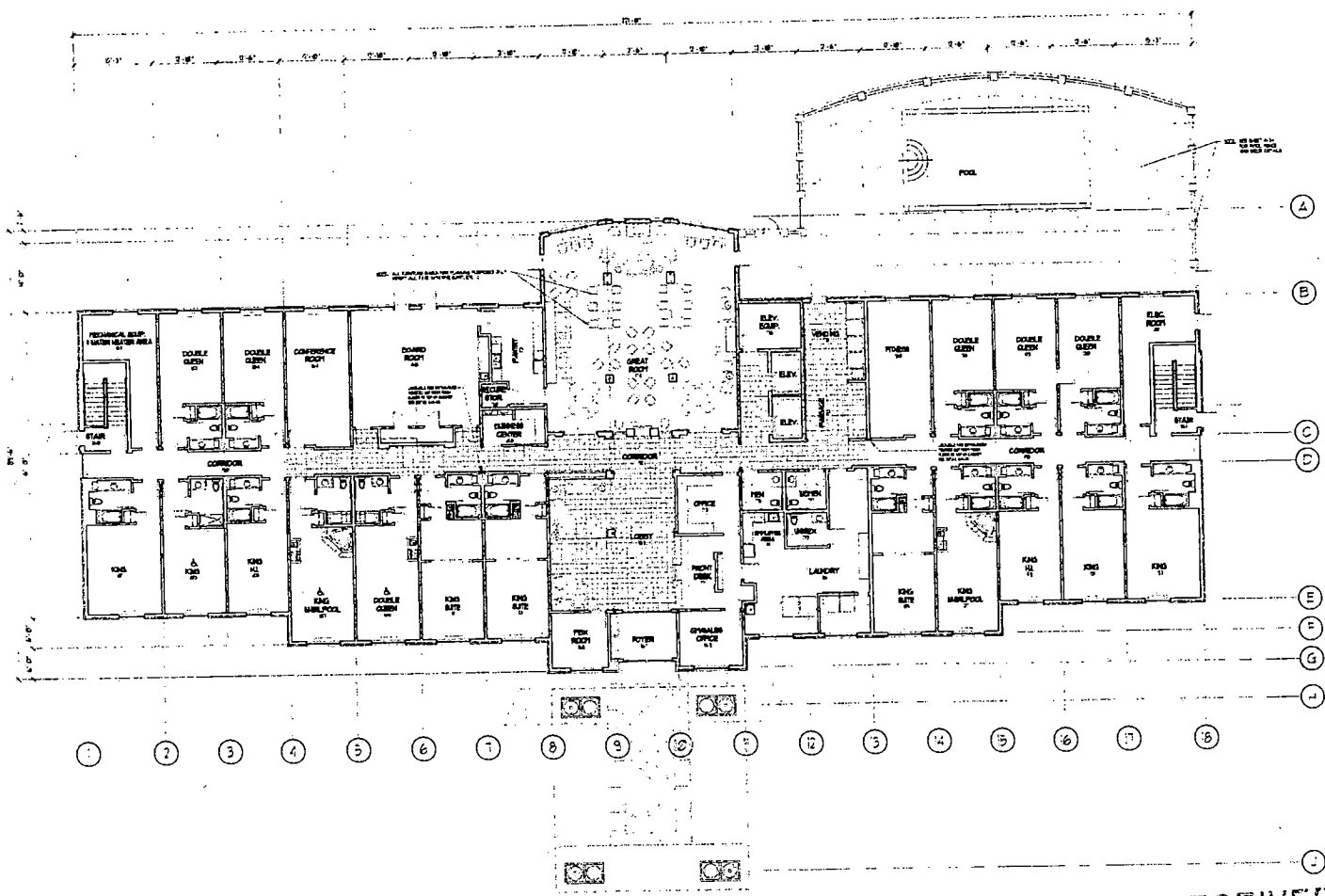
Drawn: ADW  
Approved: JWZ

date comments  
REVISIONS  
Job: 04505.00  
Date: 01-17-05

**# Holiday Inn**  
EXPRESS  
LAS VEGAS 108 UNITS NEVADA

**L1.01**

**SUP-5990**  
**SDR-5989**  
**03-10-05 PC**



**SUP-5990**  
**SDR-5989**  
**03-10-05 PC**



# **FIRST FLOOR COMPOSITE PLAN**

SCALE: 3/8" = 1'-0" 21 UNITS THIS FLOOR (13,000 SQ. FT.) 1181 PLR. CAPACITY: 1173

NOTE:  
 FLOOR PATTERN S-C-A-N REPRESENTS HARD TILE. SEE OVERLAYS  
 AND SCHEDULE FOR TYPE, COLOR, MANUFACTURER, ETC.

RECEIVED

JAN 21 1970

RICHARD F. STELDT & ASSOCIATES, LTD. ARCHITECTS  
 "The documents and any data and drawings prepared and used by the undersigned are the property of Richard F. Steldt & Associates, Ltd. and shall not be used in whole or in part for any other project without the prior written consent of Richard F. Steldt & Associates, Ltd."

**RICHARD F. STELDT**  
**& ASSOCIATES, LTD.**  
**ARCHITECTS**  
 (202) 502-1500  
 110008 APPLETON AVE., MENDOTA, ILL., 61351



Drawn: CSM/DDS

Approved:

date comments

REVISIONS

Job: 2178-704

Date: 1-18-05

**# Holiday Inn**

**EXPRESS**

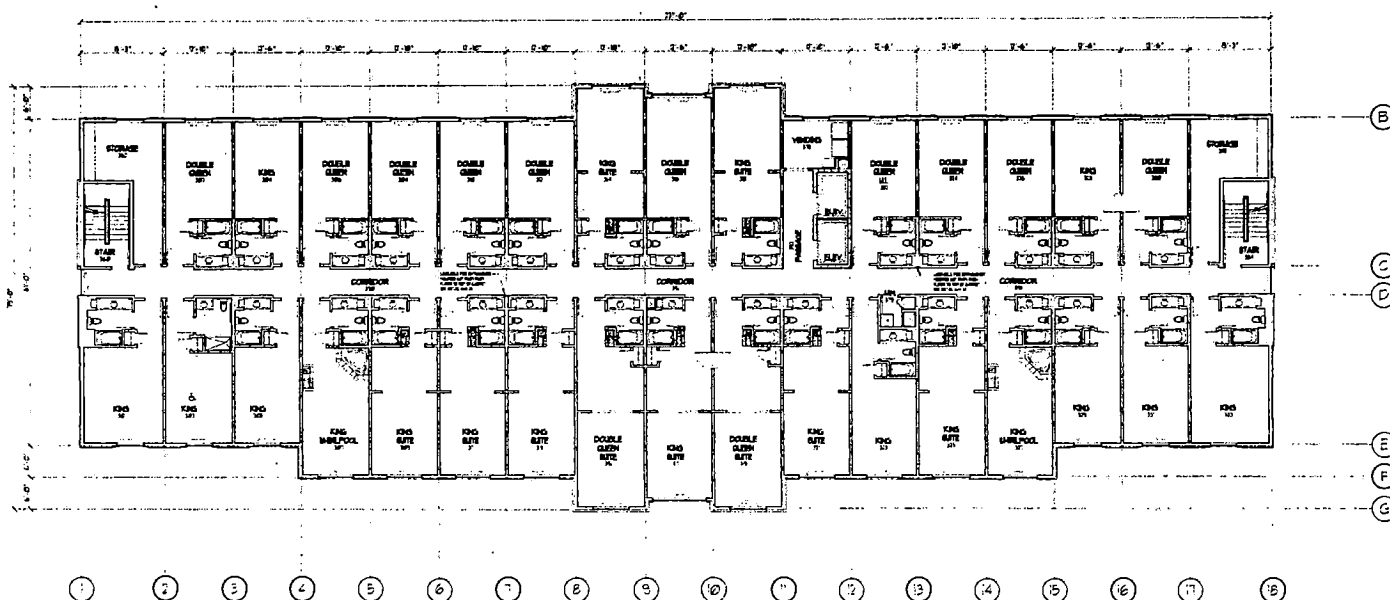
LAS VEGAS, 108 UNITS NEVADA

Sheet

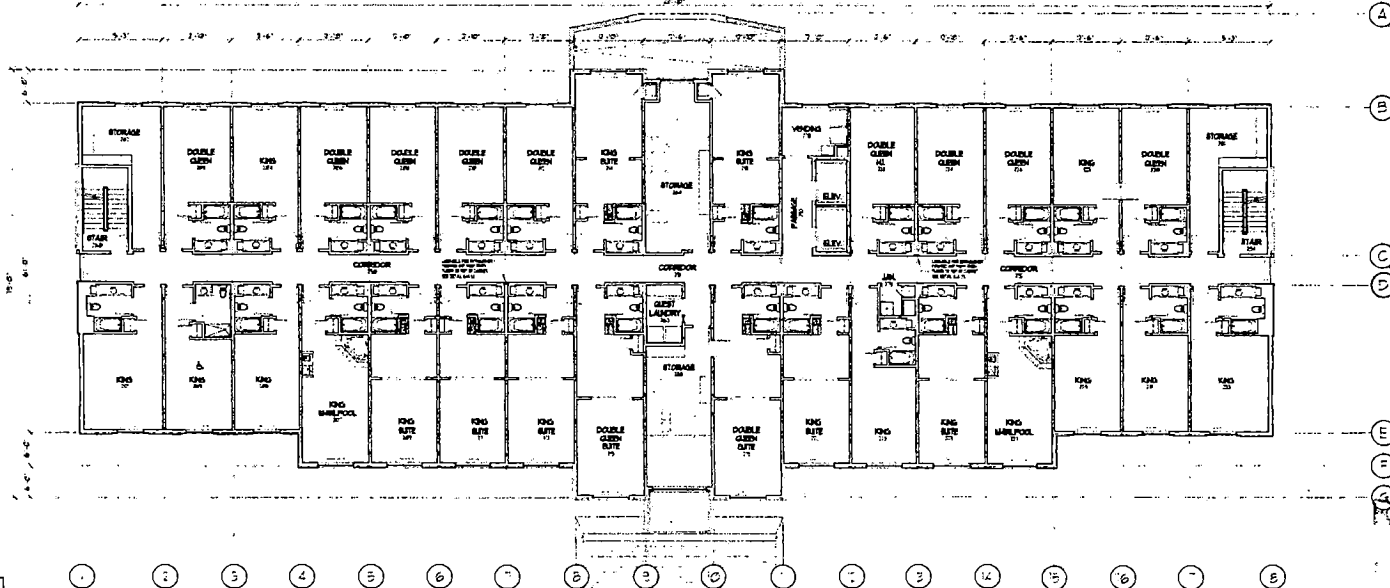
**A-2**

SUP-5990  
SDR-5989  
03-10-05 PC

RICHARD F. STELDIT & ASSOCIATES, LTD. ARCHITECTS  
THESE PLANS ARE PREPARED AND DESIGNED FOR THE PROJECT AND THE CLIENT'S USE ONLY. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RICHARD F. STELDIT & ASSOCIATES, LTD.



**THIRD FLOOR COMPOSITE PLAN**  
SCALE: 3/32" = 1'-0" 3 UNITS THIS FLOOR TAKES 57 UNITS AND FLOOR CAPACITY 4.66



**SECOND FLOOR COMPOSITE PLAN**  
SCALE: 3/32" = 1'-0" 3 UNITS THIS FLOOR TAKES 57 UNITS AND FLOOR CAPACITY 4.66

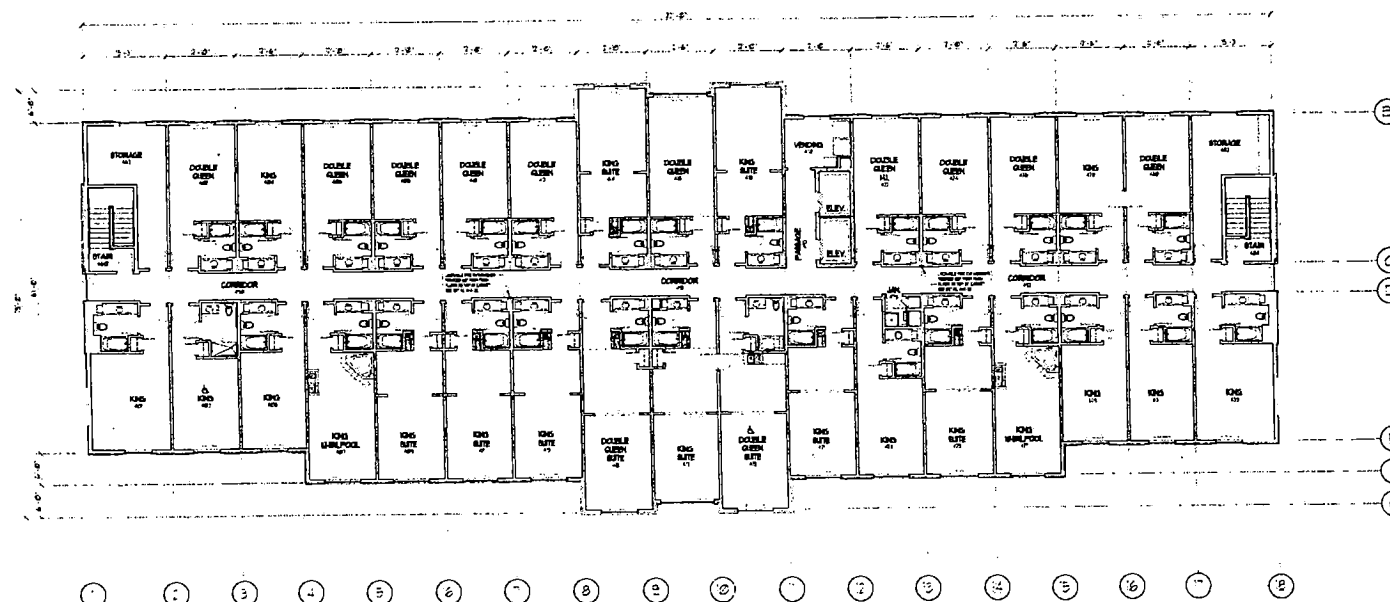
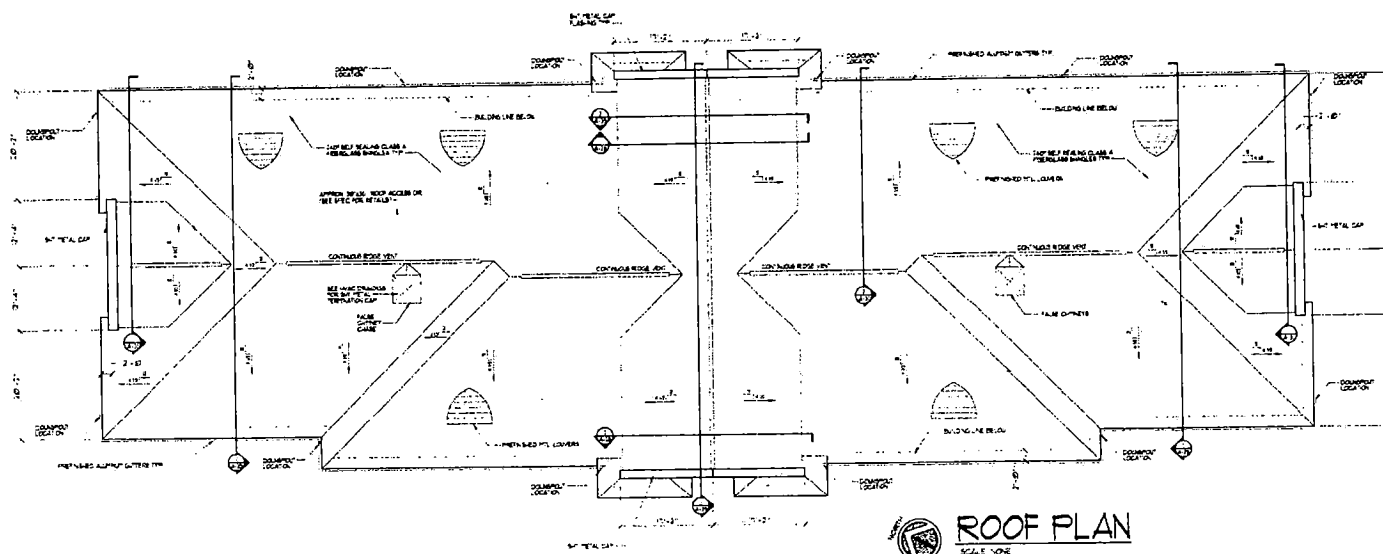
**RICHARD F. STELDIT & ASSOCIATES, LTD. ARCHITECTS**  
1100 W. WILSON AVENUE, SUITE 100, WILSONVILLE, IN 46094  
317-841-1100

Drawn: CSM/DDS  
Approved:

date comments  
REVISIONS  
Job: 2179-704  
Date: 1-18-05

**Holiday Inn**  
EXPRESS  
LAS VEGAS, NEVADA  
108 UNITS

Sheet  
**A-3**



**SUP-5990**  
**SDR-5989**  
**03-10-05 PC**

RICHARD F. STELDY & ASSOCIATES, LTD. ARCHITECTS

\*It's God, man, and the hosts and diners incorporated herein. All trademarks of  
anyone or service is the property of Ronald P. Smith and Associates, Ltd. and  
not be used or used or in part for any other purpose without the written  
consent of Ronald P. Smith and Associates, Ltd.

**RICHARD F. STELDT**  
**& ASSOCIATES, LTD.**  
**== ARCHITECTS ==**



| date    | comments |
|---------|----------|
| 11/1/78 | ...      |

REVISIONS

Job: 2179 704

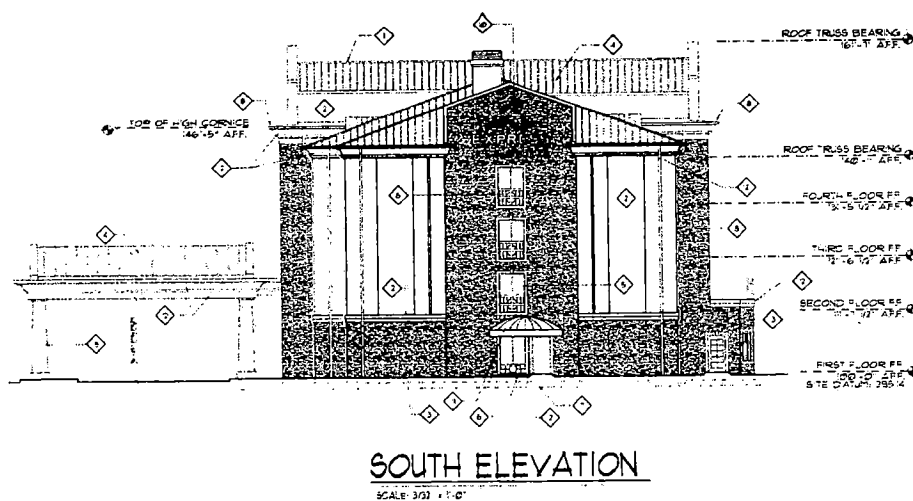
Date: 1-18-95

## # Holiday Dnn

108 UNITS NEVADA

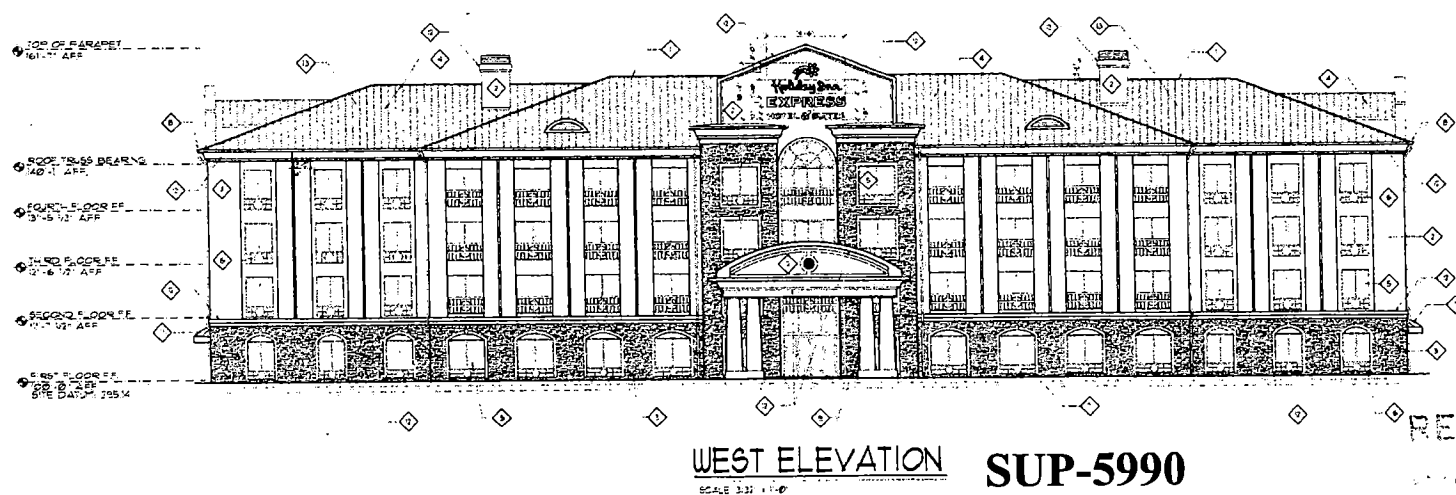
RECEIVED

A-4



#### KEYED NOTES

- ① CONTINUOUS ROOF GUTTER - TYPICAL
- ② EPS (EXTERIOR INSULATION FINISH SYSTEM) INSTALLED PER MANUFACTURER'S APPLICATION INSTRUCTIONS. COATING TO BE MAJOR WHITE DRYVIT OR EQUAL WITH GUARANTEE FINISH 4\"/>
- ③ TERRAZZO FINISHED STANDING SEAM METAL ROOF
- ④ WINDOWS TO BE ALUMINUM FINISHED INSULATED GLAZING VERIFY SIZE COLOR & FRAME
- ⑤ PREPARED ALUMINUM ARCHITECTURAL GRILLES TO MATCH WINDOWS WITH DOWNSPOUTS
- ⑥ CONTINUOUS CONCRETE FOOTINGS - SEE STRUCTURAL DRAWINGS FOR SIZE & DEPTH
- ⑦ PREPARED 4\"/>
- ⑧ TAPERED EPS COLUMN COVERS - CHINA WHITE SANDBLASTED FINISH
- ⑨ SIGNAGE ON EACH ELEVATION TO BE THE SAME AS WEST ELEVATION
- ⑩ FABRIC AWAY BY OWNER (COLOR TO MATCH STANDING SEAM ROOF)
- ⑪ EPS (EXTERIOR INSULATION FINISH SYSTEM) INSTALLED PER MANUFACTURER'S APPLICATION INSTRUCTIONS. COATING TO BE CHINA WHITE DRYVIT OR EQUAL WITH SANDBLAST FINISH
- ⑫ TERRAZZO FINISHED ARCHITECTURAL COVER



**SUP-5990**  
**SDR-5989**  
**03-10-05 PC**

RICHARD F. STELDT & ASSOCIATES, LTD. ARCHITECTS  
1000 W. 10TH STREET, SUITE 100, LAS VEGAS, NV 89102  
TEL: 702-735-1111 FAX: 702-735-1112

**RICHARD F. STELDT**  
**& ASSOCIATES, LTD.**  
**ARCHITECTS**  
(888) 502-4800  
905 W. 10TH STREET, SUITE 100, LAS VEGAS, NV 89102

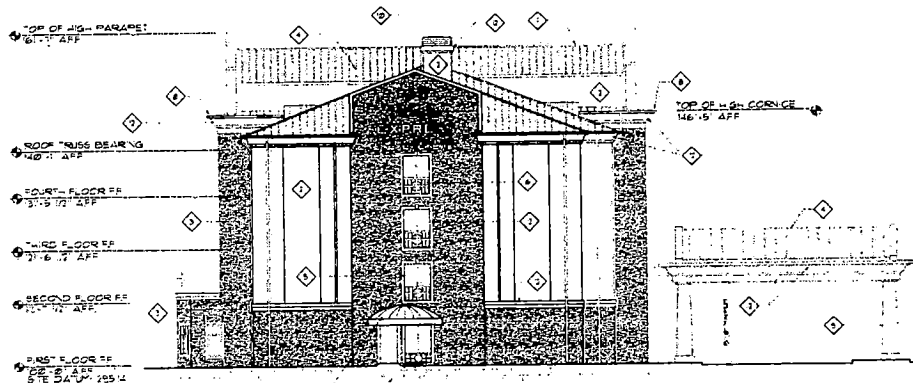


Drawn: SUB/DGS  
Approved:

date comments  
REVISIONS  
Job: 2179-704  
Date: 1-18-05

**# Holiday Inn**  
**EXPRESS**  
LAS VEGAS, NEVADA  
JOB UNITS

Sheet  
**A-24**

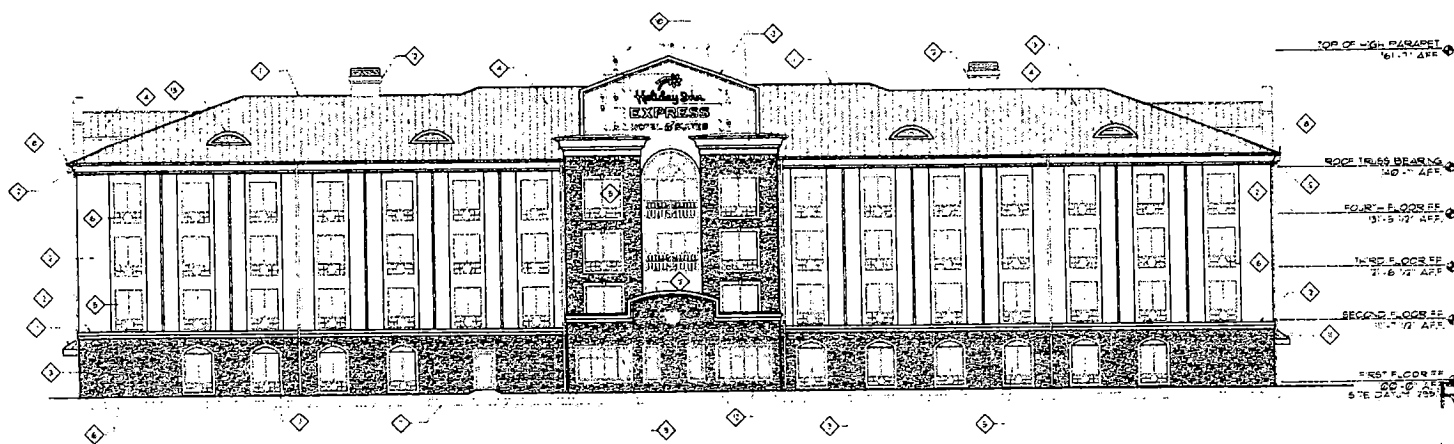


**NORTH ELEVATION**

SCALE 3/32" = 1'-0"

**KEYED NOTES**

- ◇ CONTINUOUS ROOF VENT - TYPICAL
- ◇ EPS EXTERIOR INSULATION FINISH SYSTEM (EIFS) INSTALLED PER MANUFACTURER'S APPLICATION INSTRUCTIONS. COATING TO BE MATCH WHITE DRYWALL OR EQUAL WITH GRANULITE FINISH.
- ◇ 4" D. RANDO MOUNTAIN LEDGE FROM ELGINADO STONE.
- ◇ PRE-FINISHED STANDING SEAM METAL ROOF - VERY PANEL JOINTS MATCH COLOR & FINISH OF EXTERIOR.
- ◇ WINDOWS TO BE ALUMINUM - TINTED INSULATED GLAZING VERY SIZE, COLOR, LATE FRAMES.
- ◇ PRE-FINISHED ALUMINUM ARCHITECTURAL GRILLES TO MATCH WINDOWS WITH LOUVERED LATE.
- ◇ CONTINUOUS CONCRETE FOOTINGS - SEE STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
- ◇ PRE-FINISHED 4" ALUM. KISTLE GUTTERS & DOWNSPOUTS (LATE).
- ◇ TYPED EPS GUTTER COVERS - CHINA WHITE SANDBLASTED FINISH.
- ◇ SIGNAGE ON EACH ELEVATION TO BE THE SAME AS WEST ELEVATION.
- ◇ FABRIC BLIND BY OWNER (COLOR TO MATCH STANDING SEAM ROOF).
- ◇ EPS EXTERIOR INSULATION FINISH SYSTEM (EIFS) INSTALLED PER MANUFACTURER'S APPLICATION INSTRUCTIONS. COATING TO BE CHINA WHITE DRYWALL OR EQUAL WITH GRANULITE FINISH.
- ◇ PRE-FINISHED 1" LOUVER WITH ROOF ON STE BRIDGE.



**EAST ELEVATION**

SCALE 3/32" = 1'-0"

**SUP-5990  
SDR-5989  
03-10-05 PC**

RICHARD F. STELDT & ASSOCIATES, LTD. ARCHITECTS  
10000 S. LAS VEGAS AVENUE, SUITE 100, LAS VEGAS, NV 89135  
TEL: 702-735-1111 FAX: 702-735-1112  
WWW.RFSTELDT.COM

**RICHARD F. STELDT  
& ASSOCIATES, LTD.  
ARCHITECTS**

(952) 502-4500  
10000 S. LAS VEGAS AVENUE, SUITE 100, LAS VEGAS, NV 89135



Drawn: SFB/DSE

Approved:

date comments

REVISIONS

Job: 2179-704

Date: 1-18-05

**# Holiday Inn  
EXPRESS**

NEVADA

108 UNIT

LAS VEGAS,

Sheet

**A-25**

## JUSTIFICATION LETTER

### The Project

The proposed project is a Holiday Inn Express and Suites to be developed in the Centennial Gateway Center in Northwest Las Vegas. The hotel will be located at the northeast corner of Centennial Center Boulevard and Ann Road at the southern most parcel of the entire development, with direct access to the US Highway 95. It is a 2-acre site within parcel # 125-27-401-011.

This particular Holiday Inn Express and Suites will be a non-gaming hotel, four stories in height, 108 units, and there will be 15,400 square footage at the lobby level. Total gross building area will be 106,375 sf.

### Site Review and Special Use Permit

In 1996 the City of Las Vegas adopted the Northwest Area General Plan Amendment, making provision for a Town Center in Northwest Las Vegas, which now includes the Centennial Gateway Center, a part of the +/- 900,000 sq. ft. retail center comprised of 90 acres. Within these 90 acres, Service Commercial (SC) land use is permitted, which includes hotels, but requiring a Special Use Permit.

The Centennial Hills area has become a major business center, and our hotel site within Centennial Gateway offers excellent freeway exposure and ease of access. The Holiday Inn Express and Suites' theme is one of convenience and quiet efficiency for the business traveler or visitor to the Northwest. Holiday Inn Express and Suites offers guests business services, health/fitness center, outdoor pool, meeting facilities, dry cleaning and laundry service, free local phone calls, free cable television, high-speed internet access, and the complementary *Express Start Breakfast Bar*.

The hotel site provides another facet to the long-range vision of the Centennial Hills area plan for systematic and thoughtful growth in the Northwest.

### Regarding Waiver for Trash Enclosures

We are requesting a waiver for roofs on the trash enclosures. In our hot desert weather, roofs only encourage foul odors in a tight space. Other properties in the center do not have the roofs; we want our trash enclosures to be consistent with the others in the center.

SDR-5989

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-6020 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: VIOLET SAHAKYAN - OWNER: ROBERT BOLTEN AND RHONDA BOLTEN** - Request for a Special Use Permit FOR A PROPOSED CHILD CARE CENTER adjacent to the southeast corner of Jones Boulevard and Washburn Road (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Mack).

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**TRUESDELL – APPROVED subject to conditions – UNANIMOUS with McSWAIN abstaining as she owns property with the broker who represents this application**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

**CHAIRMAN NIGRO** declared the Public Hearing open on Item 34 [SUP-6020] and Item 35 [SDR-6018].

**DOUG RANKIN**, Planning and Development, gave a brief overview of the applications. He pointed out that the proposed development is an appropriate use for the subject site, and staff recommended approval. The facility is currently designed with 70 parking spaces, which is sufficient for the proposed development.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 34 – SUP-6020

**MINUTES – Continued:**

A neighborhood meeting was held and residents expressed concern regarding access to Washburn Road.

URBAN LIVENGOD, Poggemeyer Design Group, 2601 N. Tenaya Way, Las Vegas, NV 89128, along with JACK LOMAN, appeared on behalf of the applicant and concurred with staff's conditions.

STEVE ROSS, 5950 W. Rosetta Way, requested the removal of an existing median, which would allow for egress/ingress to be on Jones Boulevard.

DAVID GUERRA, Public Works, clarified for COMMISSIONER GOYNES that the outlet or driveway onto Jones Boulevard in the subject area would be restricted to right in/right out only. COMMISSIONER GOYNES then confirmed that the applicant concurred with staff's conditions on the applications.

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed on Item 34 [SUP-6020] and Item 35 [SDR-6018].

(8:49 – 8:54)

3-1279

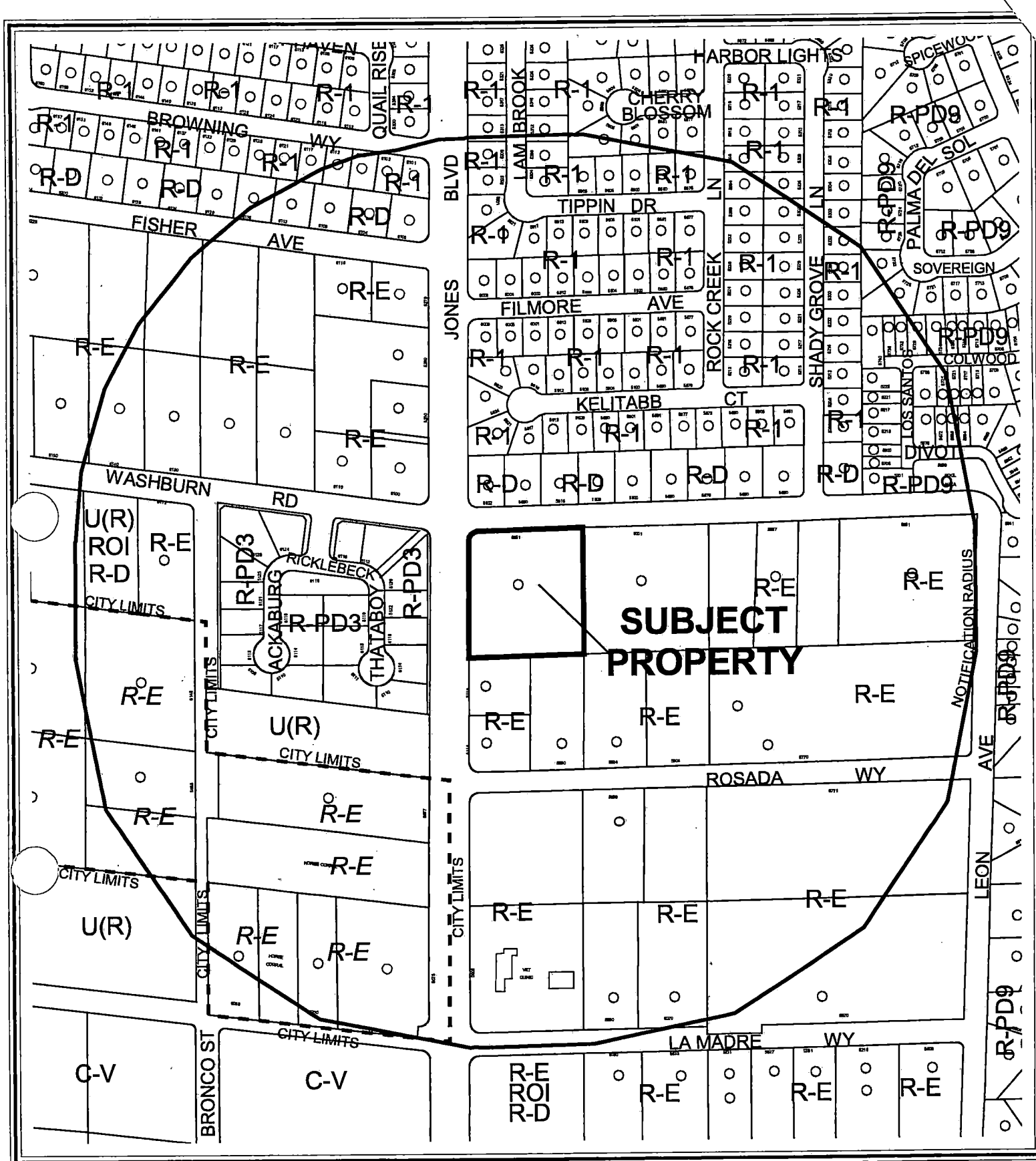
**CONDITIONS:**

Planning and Development

1. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
2. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

3. Must conform to all conditions set forth in Site Development Plan Review (SDR-6018).



CASE: SUP-6020

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)



CASE: **SUP-6020**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

0 300 600 Feet



**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-6020 - APPLICANT: VIOLET SAHAKYAN - OWNER:  
ROBERT BOLTEN AND RHONDA BOLTEN

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**

**APPROVAL**, subject to:

**Planning and Development**

1. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
2. All City Code requirements and design standards of all City departments must be satisfied.

**Public Works**

3. Must conform to all conditions set forth in Site Development Plan Review (SDR-6018).

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) *Action Requested***

This a request for a Special Use Permit for a Child Care Center adjacent to the southeast corner of Jones Boulevard and Washburn Road.

**B) *Applicant's Justification***

The proposed childcare center will provide a desirable service for the neighborhood and surrounding areas by making available day care services for working parents with young children. It will also provide a learning center for young children to better prepare them for entrance into the elementary school system, along with providing an attractive, aesthetically pleasing new structure that will compliment the neighborhood. The proposed use will have minimal traffic impacts, primarily limited to drops-offs and pick-ups twice a day at varying times.

**BACKGROUND INFORMATION**

**A) *Related Actions***

03/10/05      The Planning Commission will hear related Site Development Plan Review (SDR-6018) to approve a new building on subject property.

**B) *Pre-Application Meeting***

11/07/04      A pre-application meeting was held where the following items were discussed:

The Special Use Permit will have to conform to all conditions of Title 19.04.

**C) *Neighborhood Meetings***

A neighborhood meeting was not required for this application; however, the applicant did hold a neighborhood meeting on February 25, 2005 at the Lamb of God Lutheran Church located at 6220 North Jones Boulevard, where there were five (5) people in attendance representing neighborhood interests. At the meeting the following items were discussed:

1. Neighborhood traffic concerns as well as perceived adverse impacts of the site development;
2. The hours of operations and the ages of the children being served;
3. The tree size of the proposed site landscaping;

The neighbors expressed concerns about the possible traffic impact the learning center would have on Washburn Road. The suggestion was made that possibly both driveways entering and exiting the site be located along Jones Boulevard. The attendees also expressed concerns about the proposed landscaping, specifically the size of the proposed trees that are to be planted around the perimeter of the site. It was stated that a 24-inch box tree may be too small and the size may need to be increased to help screen the site better. No specific detail was proposed on what size those trees should be. It was also discussed the possibility of an opening being placed in the median along Jones Boulevard to allow southbound traffic from Jones Boulevard to make a left hand turn into the learning center site. It was discussed that this may be possible, but there may not be enough room between Washburn Road and a proposed left hand turn lane to not interfere with traffic flow. Lastly it was mentioned that the traffic impacts, drainage impacts and associated mitigation measures for the proposed learning center will completely be addressed at a later date when the design of the facility is finalized.

#### DETAILS OF APPLICATION REQUEST

**A) *Site Area***

Gross Acres: 2.15 acres  
Net Acres: 2.07 acres

**B) *Existing Land Use***

Subject Property: Vacant  
North: Residential  
South: Residential  
East: Residential  
West: Residential

**C) *Planned Land Use***

Subject Property: R (Rural Density Residential)  
North: L (Low Density Residential)  
South: R (Rural Density Residential)  
East: R (Rural Density Residential)  
West: R (Rural Density Residential)

**D) *Existing Zoning***

Subject Property: R-E (Residential Estate)  
North: R-D (Residential-Restricted)  
South: R-E (Residential Estate)  
East: R-E (Residential Estate)  
West: R-PD3 (Residential Planned Development – 3 units per acre)

**E) General Plan Compliance**

a. Centennial Hills General Plan

The site is designated R (Rural Residential) on the Centennial Hills Map General Plan. This designation allows for rural to semi-rural residential lots, which allows up to 3.5 dwelling units per acre. The current R-E (Residential Estate) zoning does conform to the R (Rural Density Residential), which will allow for a Child Care Center use with the approval of a Special Use Permit.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | X         |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           | X          |           |

A Project of Regional Significance is required because it is within 500 feet of the City boundary.

**INTERAGENCY ISSUES**

Pursuant to Ordinance No. 5477, the proposed project is deemed to be a "Project of Regional Significance" for the following reasons:

1) Any Special Use Permit within 500' of the City Boundary

An Environmental Impact Assessment questionnaire was circulated to the affected Agencies and Entities for the mandated 15-day period. A summary of the comments received, including recommendation for mitigation measures is as follows:

1) Flood Control requires a technical drainage study of the subject project to address and mitigate the drainage impact to the vicinity areas. The drainage study must be prepared by a Nevada registered civil engineer and submitted to the City of Las Vegas Flood Control Division for review and approval.

2) Las Vegas Valley Water District has determined that the project will not have a significant impact on the capacity of the District's water supply system.

3) Wastewater collection system has determined that the project will have minimal impacts.

The Planning Commission shall consider the Environmental Impact Assessment and the proposed mitigation measures prior to make a decision on the proposal.

## ANALYSIS

### A) Zoning Code Compliance

#### A1) Parking and Traffic Standards

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| Uses              | GFA | Ratio                                                    | Required<br>Parking |          | Provided<br>Parking |          |
|-------------------|-----|----------------------------------------------------------|---------------------|----------|---------------------|----------|
|                   |     |                                                          | Regular             | Handicap | Regular             | Handicap |
| Child Care Center | N/A | One space per staff member and one space per 10 children | 70                  | 3        | 70                  | 3        |

The site will have sufficient parking for the proposed 40 staff members and the potential of up to a maximum 300 students at any one time.

#### A2) Minimum Distance Separation Requirements

There are no Minimum Separation Distance Requirements in the Zoning Code that apply to the proposed Child Care Center use.

### B) General Analysis and Discussion

- Zoning

The R-E (Residential Estate) zone permits a Child Care Center with the approval of a Special Use Permit. There are no standard conditions that apply for a Child Care Center as part of the Special Use Permit.

- Use

A Child Care Center by definition is a commercial facility in which the licensee regularly provides day or overnight care for more than 12 children. The facility is subject to the childcare regulations and standards of the Department of Business Activity. The proposed Child Care Center is an allowed use with the approval of this Special Use Permit. There are no other Child Care Center's within the notification radius.

- Conditions

There are no base conditions for approval of a Special Use Permit for a Child Care Center use. These projects are evaluated on a case-by-case basis and conditions are imposed as needed.

## FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

Although the subject property is surrounded by single family homes, the proposed use will not have an adverse affect on those surrounding properties and can be harmonious with the surrounding land uses and any future land uses.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed site plan will provide sufficient play areas, parking and building facilities to accommodate the students and staff.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

Jones Boulevard is a Primary Thoroughfare (100-foot) per the City's Master Planned Streets and Highways that will provide the primary access to the site. Washburn Road is also adequate in size to accommodate traffic entering and leaving the site.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

The proposed Child Care Center development will be subject to inspections for Certificate of Occupancy, and therefore the development will not compromise the public health, safety or welfare.

**SUP-6020 - Staff Report Page Six**  
**March 10, 2005 - Planning Commission Meeting**

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 9

**NOTICES MAILED** 177 – Mailed with SDR-6018

**APPROVALS** 0

**PROTESTS** 0



## STATEMENT OF FINANCIAL INTEREST

Case Number: SOP. 6020 APN: 125-36-301-001

Name of Property Owner: Robert and Rhonda Bolten

Name of Applicant: Violet Sahakyan

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

           Yes            X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: N/A

Partner(s): N/A

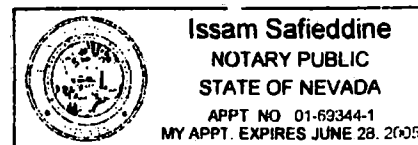
APN: N/A

Signature of Property Owner: Rhonda Bolten / Robert Bolten  
Print Name: Rhonda Bolten / ROBERT BOLTEN

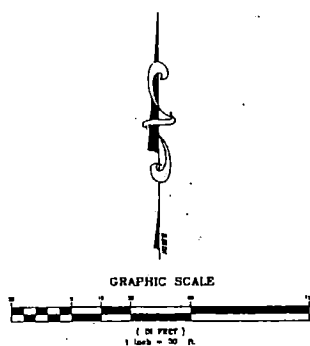
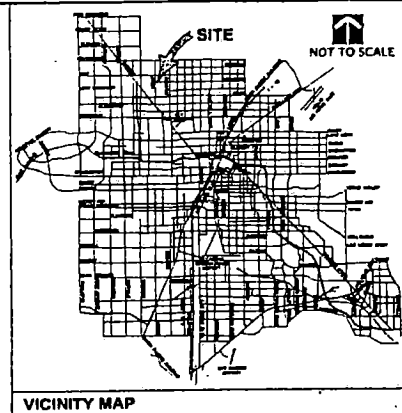
Subscribed and sworn before me

This 23<sup>rd</sup> day of JAN, 2005

Issam Safieddine  
Notary Public in and for said County and State



**SITE EXHIBIT**  
**KIDS 'R KIDS LEARNING CENTER**  
 A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF  
 SECTION 36, TOWNSHIP 10 SOUTH, RANGE 60 EAST, MOUNT DIABLO MERIDIAN,  
 CLARK COUNTY, NEVADA.



**ZONING DATA:**  
 CURRENT ZONING: R-E  
 FRONT SET BACK: 50' FEET  
 SIDE SET BACK: 10' FEET  
 REAR SET BACK: 35' FEET  
 MIN. CORNER SIDE SET BACK: 15' FEET  
 MIN. LOT WIDTH: 100' FEET  
 MIN. LOT AREA: 20,000 SQ. FT.  
 MIN. LOT SIDE: 100' FEET  
 MIN. LOT WIDTH: 100' FEET  
 DWELLINGS PER LOT: 1  
 BUILDING HEIGHT: 2 STORIES OR 35' FEET  
 WHICHEVER IS LESS

**SITE DATA:**  
 APN 125-36-301-001  
 89,947 ± SQ. FT.  
 2.072 ACRES

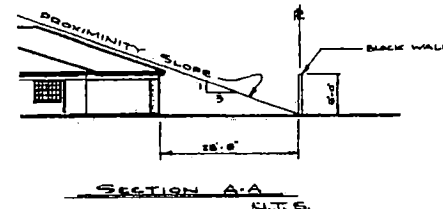
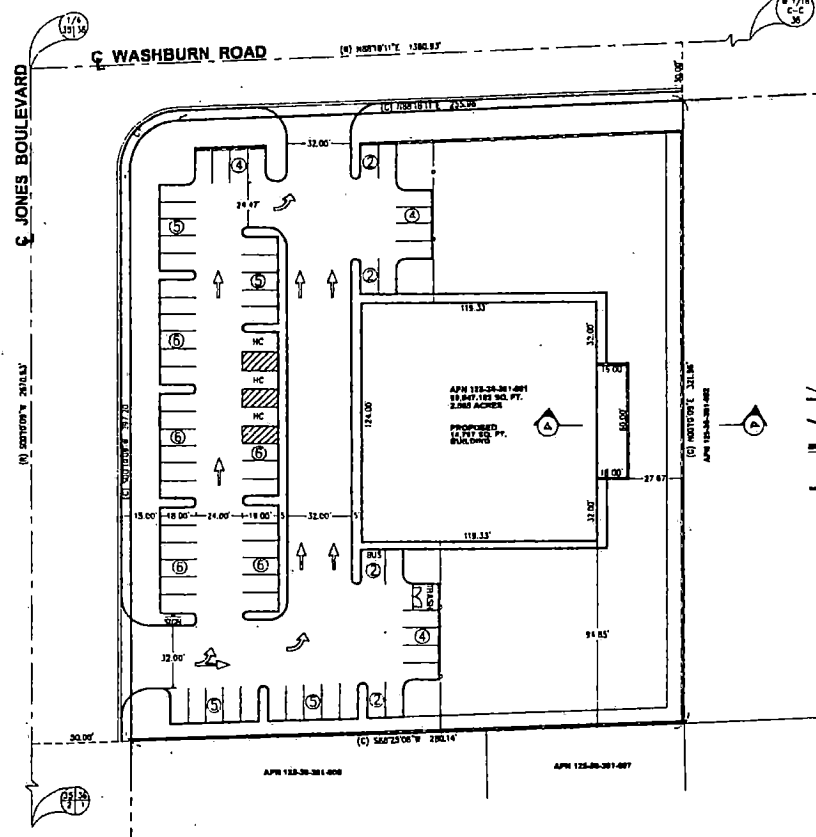
**PARKING DATA:**  
 66 SPACES (9' x 10')  
 1 BUS SPACE (12' x 10')  
 1 HANDICAP (12' x 10')  
 70 TOTAL PARKING SPACES

**CURVE TABLE:**

| CURVE | LENGTH | RADIUS | DELTA      | INCHES |
|-------|--------|--------|------------|--------|
| C1    | 36.45' | 25.00' | RECORD 01' | 34.30' |

**LEGEND**

- LOT BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- PROPOSED 6' HIGH BLOCK WALL
- PROPOSED 4' HIGH CYCLOPE FENCE
- (C) = CALCULATED BEARING AND DISTANCE
- (R) = RECORD BEARING AND DISTANCE
- (S) = NUMBER OF PARKING SPACES
- HC = HANDICAPED PARKING STALL
- R.O.S. = RECORD OF SURVEY
- A.P.N. = ASSESSOR'S PARCEL NUMBER



**RECEIVED**

**FEB 24 2005**

**SUP-6020**  
**SDR-6018**  
**03-10-05 PC**  
**REVISED 02-24-05**

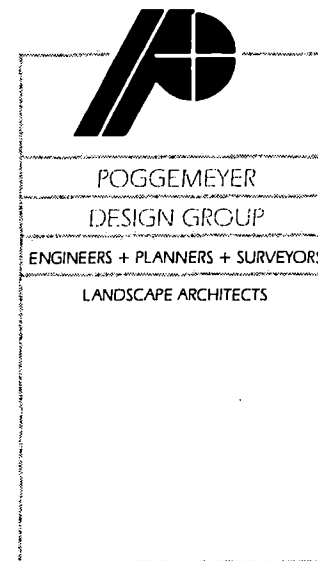
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 CLARK COUNTY, NEVADA.

**POGGEMEYER DESIGN GROUP**  
 1000 SOUTH WILLOW WAY, LAS VEGAS, NEVADA 89106 (702) 885-8888

**JOB NUMBER** 050044  
**CHECKED BY** U.C.L. JR.  
**CAD DRAWING** SEE TAG  
**DRAWING DATE** 01-24-05  
**DRAWN BY** E. JOHNSON



City of Las Vegas  
Planning and Development Department  
721 S. Fourth Street  
Las Vegas, NV 89101



January 21, 2005

**RE: Special Use Permit/Site Development Plan Review—Justification**  
**letter for Kids 'R Kids Learning Center (Robert and Rhonda Bolten) to be located**  
**at the southeast corner of Jones Blvd. and Washburn Road (Parcel # 125-36-**  
**301-001)**

Dear Sir/ Madam:

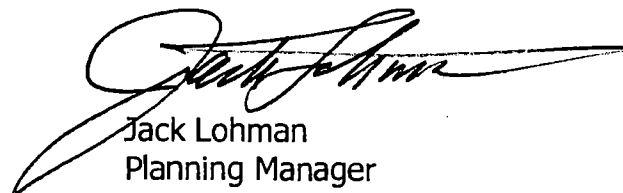
The purpose of this letter is to provide justification for the development of a child care center for the above property for the following reasons;

- The proposed use would provide a desirable service for the neighborhood and surrounding areas by making available day care services or working parents with young children;
- The project would provide a learning center for young children to better prepare them for entrance into the elementary school system; and
- It would provide an attractive, aesthetically pleasing new structure that would compliment the neighborhood; and
- The use would have minimal traffic impacts, primarily limited to drop-offs and pick-ups twice a day at varying times.

Your favorable consideration is appreciated for this needed facility. If there are any questions, I can be contacted at (702) 255-8100.

Sincerely,

POGGEMEYER DESIGN GROUP

  
Jack Lohman  
Planning Manager

Poggemeyer Design Group, Inc.  
2601 North Tenaya Way  
Las Vegas, Nevada 89128  
(702) 255-8100  
FAX (702) 255-8375  
email: pdg-lv@pdg-lv.com

SUP-6020

## Current Traffic Signal Impact Fee Schedule

| Land Use                                         | Unit          | Fee     |
|--------------------------------------------------|---------------|---------|
| Single-Family Detached                           | Dwelling      | \$185   |
| Multi-Family                                     | Dwelling      | \$128   |
| Mobile Home Park                                 | Pad           | \$93    |
| Adult Congregate Living Facility                 | Dwelling      | \$42    |
| Hotel/Motel                                      | Room          | \$174   |
| <b>RETAIL/COMMERCIAL</b>                         |               |         |
| Shopping Center/Gen Retail (0-249,999 sf)        | 1,000 sq. ft. | \$342   |
| Shopping Center/Gen Retail (250,000-499,999 sf)  | 1,000 sq. ft. | \$295   |
| Shopping Center/Gen Retail (500,000+ sf)         | 1,000 sq. ft. | \$243   |
| Automobile Care Center                           | 1,000 sq. ft. | \$315   |
| Automobile Parts Sales                           | 1,000 sq. ft. | \$295   |
| Bank w/Drive Through                             | 1,000 sq. ft. | \$775   |
| Bank w/o Drive Through                           | 1,000 sq. ft. | \$457   |
| Car Wash, Self Service                           | Stall         | \$96    |
| Casino Hotel, Local (gaming area only)           | 1,000 sq. ft. | \$2,642 |
| Casino Hotel, Resort Corridor (gaming area only) | 1,000 sq. ft. | \$2,173 |
| Convenience Store w/ Gas Sales                   | 1,000 sq. ft. | \$732   |
| Drinking Place                                   | 1,000 sq. ft. | \$570   |
| Golf Course (open to public)                     | acre          | \$66    |
| New Car Sales                                    | 1,000 sq. ft. | \$304   |
| Recreational Community Center                    | 1,000 sq. ft. | \$256   |
| Restaurant, Fast Food                            | 1,000 sq. ft. | \$725   |
| Restaurant, Sit-Down                             | 1,000 sq. ft. | \$370   |
| <b>OFFICE/INSTITUTIONAL</b>                      |               |         |
| Office, General (0-99,999 sf)                    | 1,000 sq. ft. | \$239   |
| Office, General (100,000+ sf)                    | 1,000 sq. ft. | \$173   |
| Office, Medical                                  | 1,000 sq. ft. | \$553   |
| Church                                           | 1,000 sq. ft. | \$127   |
| College                                          | 1,000 sq. ft. | \$270   |
| Day Care Center                                  | 1,000 sq. ft. | \$250   |
| Hospital                                         | 1,000 sq. ft. | \$269   |
| Library                                          | 1,000 sq. ft. | \$355   |
| Nursing Home                                     | 1,000 sq. ft. | \$75    |
| School, Elementary (private)                     | 1,000 sq. ft. | \$45    |
| School, Middle/Junior High (private)             | 1,000 sq. ft. | \$44    |
| School, High (private)                           | 1,000 sq. ft. | \$49    |
| <b>INDUSTRIAL</b>                                |               |         |
| General Light Industrial                         | 1,000 sq. ft. | \$107   |
| Warehouse                                        | 1,000 sq. ft. | \$76    |
| Mini-Warehouse                                   | 1,000 sq. ft. | \$30    |

SUP-6020

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-6018 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-6020 - PUBLIC HEARING - APPLICANT: VIOLET SAHAKYAN - OWNER: ROBERT BOLTEN AND RHONDA BOLTEN** - Request for a Site Development Plan Review FOR A 14,797 SQUARE-FOOT CHILD CARE CENTER on 2.24 acres adjacent to the southeast corner of Jones Boulevard and Washburn Road, (APN 125-36-301-001), R-E (Residence Estates) Zone, Ward 6 (Mack).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**TRUESDELL – APPROVED subject to conditions – UNANIMOUS with McSWAIN abstaining as she owns property with the broker who represents this application**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

See Item 34 [SUP-6020] for all related discussion on Item 34 [SUP-6020] and Item 35 [SDR-6018].

(8:49 – 8:54)

3-1279

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 35 – SDR-6018

**CONDITIONS:**

Planning and Development

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
2. All development shall be in conformance with the site plan and building elevations date stamped 02/18/05, except as amended by conditions herein.
3. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect a minimum of four (4) five-gallon shrubs for each 24-inch box tree within provided planters along the perimeters. The plan shall also show a minimum of five (5) five-gallon and five (5) one-gallon shrubs for each 24-inch box tree provided within parking lot planter fingers, and that turfing areas shall not exceed a maximum of 12.5% of the total landscapable area.
4. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
5. A stamped landscaping plan must be submitted prior to or at the same time application is made for a building permit.
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
7. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Title 19.12.050.
9. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 35 – SDR-6018

**CONDITIONS – Continued:**

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

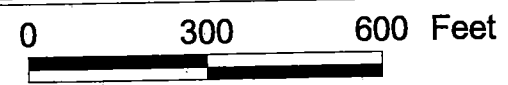
12. Construct half-street improvements on Washburn Road, including appropriate transition paving, adjacent to this site concurrent with development. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the eastern boundary of this site prior to construction of hard surfacing (asphalt or concrete).
13. Remove all substandard public street improvements and unused driveway cuts on Jones Boulevard adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
14. Construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site; the connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on-site with a handicap ramp.
15. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the submittal of any construction drawings. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 35 – SDR-6018

**CONDITIONS – Continued:**

therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

16. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



**ZONING OF SUBJECT PROPERTY:** R-E (RESIDENCE ESTATES)



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SDR-6018 - APPLICANT: VIOLET SAHAKYAN - OWNER:  
ROBERT BOLTEN AND RHONDA BOLTEN**

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: APPROVAL, subject to:**

**Planning and Development**

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
2. All development shall be in conformance with the site plan and building elevations date stamped 02/18/05, except as amended by conditions herein.
3. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect a minimum of four (4) five-gallon shrubs for each 24-inch box tree within provided planters along the perimeters. The plan shall also show a minimum of five (5) five-gallon and five (5) one-gallon shrubs for each 24-inch box tree provided within parking lot planter fingers, and that turfed areas shall not exceed a maximum of 12.5% of the total landscapable area.
4. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
5. A stamped landscaping plan must be submitted prior to or at the same time application is made for a building permit.
6. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets
7. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Title 19.12.050.

**SDR-6018 - Conditions Page Two**  
**March 10, 2005 Planning Commission Meeting**

9. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City departments must be satisfied.

**Public Works**

12. Construct half-street improvements on Washburn Road, including appropriate transition paving, adjacent to this site concurrent with development. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, etc., located within public rights-of-way, past the eastern boundary of this site prior to construction of hard surfacing (asphalt or concrete).
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**SDR-6018 - Conditions Page Three**  
**March 10, 2005 Planning Commission Meeting**

16. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Site Development Plan Review for a 14,797 square-foot Child Care Center on 2.24 acres adjacent to the southeast corner of Jones Boulevard and Washburn Road.

**B) Applicant's Justification**

The proposed childcare center will provide a desirable service for the neighborhood and surrounding areas by making available day care services for working parents with young children. It will also provide a learning center for young children to better prepare them for entrance into the elementary school system, along with providing an attractive, aesthetically pleasing new structure that will compliment the neighborhood. The proposed use will have minimal traffic impacts, primarily limited to drops-offs and pick-ups twice a day at varying times.

**BACKGROUND INFORMATION**

**A) Related Actions**

03/10/05 The Planning Commission will hear the related Special Use Permit (SUP-6020) requesting approval for a Child Care Center.

**B) Pre-Application Meeting**

11/07/04 A pre-application meeting was held where the following items were discussed:

1. The purposed wall around the site is required to be 8 feet in height.
2. 24-inch box trees are required 20 feet on center around the perimeter of the site, including between the side yard wall and in the parking lot and along Jones Boulevard.
3. The planter along Jones shall be 3 feet tall, 15 feet wide and will have four 1-gallon and four 5-gallon shrubs per each tree.
4. The monument sign shall be 5 feet inside the property line. Cannot be more than 50 square-feet in area and no taller than 8 feet.
5. Parking is one space per staff member, plus one space per 10 children.
6. Planter along the south and east property lines shall be 8 feet wide.
7. The planter along Jones and Washburn shall be 15 feet in width.

**C) *Neighborhood Meetings***

A neighborhood meeting was not required for this application; however, the applicant did hold a neighborhood meeting on February 25, 2005 at the Lamb of God Lutheran Church located at 6220 North Jones Boulevard, where there were five (5) people in attendance representing neighborhood interests. At the meeting the following items were discussed:

1. Neighborhood traffic concerns as well as perceived adverse impacts of the site development;
2. The hours of operations and the ages of the children being served;
3. The tree size of the proposed site landscaping;

The neighbors expressed concerns about the possible traffic impact the learning center would have on Washburn Road. The suggestion was made that possibly both driveways entering and exiting the site be located along Jones Boulevard. The attendees also expressed concerns about the proposed landscaping, specifically the size of the proposed trees that are to be planted around the perimeter of the site. It was stated that a 24-inch box tree may be too small and the size may need to be increased to help screen the site better. No specific detail was proposed on what size those trees should be. It was also discussed the possibility of an opening being placed in the median along Jones Boulevard to allow southbound traffic from Jones Boulevard to make a left hand turn into the learning center site. It was discussed that this may be possible, but there may not be enough room between Washburn Road and a proposed left hand turn lane to not interfere with traffic flow. Lastly it was mentioned that the traffic impacts, drainage impacts and associated mitigation measures for the proposed learning center will completely addressed at a later date when the design of the facility is finalized.

**DETAILS OF APPLICATION REQUEST**

**A) *Site Area***

Gross Acres: 2.15 acres  
Net Acres: 2.07 acres

**B) *Existing Land Use***

Subject Property: Vacant  
North: Residential  
South: Residential  
East: Residential  
West: Residential

**C) *Planned Land Use***

Subject Property: R (Rural Density Residential)  
North: L (Low Density Residential)  
South: R (Rural Density Residential)  
East: R (Rural Density Residential)  
West: R (Rural Density Residential)

**D) Existing Zoning**

Subject Property: R-E (Residential Estate)  
North: R-D (Residential-Restricted)  
South: R-E (Residential Estate)  
East: R-E (Residential Estate)  
West: R-PD3 (Residential Planned Development – 3 units per acre)

**E) General Plan Compliance**

a. Centennial Hills General Plan

The site is designated R (Rural Residential) on the Centennial Hills Map General Plan. This designation allows for rural to semi-rural residential lots, which allows up to 3.5 dwelling units per acre. The current R-E (Residential Estate) zoning does conform to the R (Rural Density Residential), which will allow for a Child Care Center use with the approval of a Special Use Permit.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | X         |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           | X          |           |

Project of Regional Significance is required because it is within 500 feet of the City boundary.

**PROJECT DESCRIPTION**

The subject site is proposed to have a 14,797 square-foot one-story building that will be 25 ft in height. The interior of the structure will be broken down into 10 classrooms, a large activity room, a learning center, a reception area and offices. The center will also include kitchen facilities for the preparation of meals and snacks. This site plan also proposes two large outside program areas on the northeast corner and on the southeast corner of the lot surrounding the building on the north, east and south sides. The exterior of the building will be stuccoed with a tile roof and have a residential appearance and scale. Parking for the site will be placed out against Jones Boulevard which will have 70 parking stalls with 3 handicap stalls. The plan indicates two 34-foot wide driveways that access the property, one coming off of Washburn Road and the other off of Jones Boulevard.

**ANALYSIS**

**A) Zoning Code Compliance**

A1) Development Standards

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

**SDR-6018 - Staff Report Page Four**  
**March 10, 2005 - Planning Commission Meeting**

| <b>Standards</b>     | <b>Required</b>     | <b>Provided</b>    | <b>Compliance</b> |
|----------------------|---------------------|--------------------|-------------------|
| Min. Lot Size        | 20,000 square-feet  | 89,947 square-feet | Y                 |
| Min. Lot Width       | 100 Feet            | 280 Feet           | Y                 |
| Min. Setbacks        |                     |                    |                   |
| • Front              | 50 Feet             | 96 Feet            | Y                 |
| • Side               | 10 Feet             | 28 Feet            | Y                 |
| • Corner             | 15 Feet             | 118 Feet           | Y                 |
| • Rear               | 35 Feet             | 95 Feet            | Y                 |
| Max. Lot Coverage    | 50 %                | 16 %               | Y                 |
| Max. Building Height | 2 Stories / 35 Feet | 1 Story / 25 Feet  | Y                 |
| Trash Enclosure      | 50 Feet             | 62 Feet            | Y                 |

This site meets all the requirements of Title 19.08 Residential Development Standards.

**A2) Residential Adjacency Standards**

Pursuant to Title 19.08, the following Residential Adjacency Standards apply to the subject proposal:

- a) The proposed building on the site does comply with all Residential Adjacency Standards and is setback sufficiently far enough to remain under the proximity slope line.

**A3) Parking and Traffic Standards**

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| <b>Uses</b>       | <b>GFA</b> | <b>Ratio</b>                                             | <b>Required</b> |                 | <b>Provided</b> |                 |
|-------------------|------------|----------------------------------------------------------|-----------------|-----------------|-----------------|-----------------|
|                   |            |                                                          | <b>Parking</b>  |                 | <b>Parking</b>  |                 |
|                   |            |                                                          | <b>Regular</b>  | <b>Handicap</b> | <b>Regular</b>  | <b>Handicap</b> |
| Child Care Center | N/A        | One space per staff member and one space per 10 children | 70              | 3               | 70              | 3               |

The site will have sufficient parking for the proposed 40 staff members and the potential of up to a maximum 300 students at any one time.

**A4) Landscape and Open Space Standards**

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

| Standards         | Required                |          | Provided |
|-------------------|-------------------------|----------|----------|
|                   | Ratio                   | Trees    |          |
| Parking Area      | 1 Tree / 6 Spaces       | 18 Trees | 18       |
| Buffer:           | 1 Trees/ 20 Linear Feet | 28 Trees | 28       |
| • Min. Trees      |                         |          |          |
| • Min. Zone Width |                         |          |          |
| • Front           | 15 Feet                 |          | 15 Feet  |
| • Side            | 8 Feet                  |          | 8 Feet   |
| • Wall height     | 8 Feet                  |          | 8 Feet   |

The landscaping for the site will consist of 28 Mondel Pines located along the east and south property lines to buffer adjacent residential from the proposed play areas. A 15-foot landscape buffer does exist along Jones Boulevard and Washburn Road that will have twenty-five 24" box trees that are either Palo Verde tree or a Chaste tree. The Landscape fingers in the parking area are missing the required four 5-gallon shrubs per tree. The site plan indicates an eight-foot high block wall around the site adjacent to neighboring properties.

A5) Sign Standards

Pursuant to Title 19.14, the following Sign Standards apply to the subject proposal:

**Institutional Sign:** [Freestanding]

| Standards       | Allowed                        | Provided                       |
|-----------------|--------------------------------|--------------------------------|
| Maximum Number  | 1 / Street frontage<br>2 total | 1 / Street frontage<br>1 total |
| Maximum Area    | 50 SF /sign                    | Not Available                  |
| Maximum Height  | 8 Feet                         | NA                             |
| Minimum Setback | 5 Feet                         | NA                             |
| Illumination    | Direct/Internal                | NA                             |

The site plan shows a possible location for a freestanding sign, but the sign is not a part of this site plan review. However, what has been indicated is a possible location of the signage. Title 19.14 allows one institutional (detached) sign per street frontage. The site plan illustrates one freestanding sign facing onto Jones Boulevard. Approval of this Site Development Plan Review does not grant approval of any indicated signage.

**B) General Analysis and Discussion**

• Zoning

The R-E (Residential Estate) zone permits a Child Care Center with the approval of a Special Use Permit. There are no standard conditions that apply for a Child Care Center as part of the Special Use Permit.

- Site Plan

The site plan depicts an orderly arrangement of the building and parking and play areas as well as the proposed access points to the site from Jones Boulevard and Washburn Road.

- Waivers

There are no waiver requests associated with this application.

- Landscape Plan

The landscape depicts the required amount of trees and shrubs for the buffer and perimeter landscaping. The landscape fingers in the parking area are missing the required four 5-gallon shrubs per tree. The applicant will need to submit a revised landscape plan adding the required shrubs.

- Elevation

The building elevations do show a design that will be appropriate for a residential neighborhood with the pitched roofs and articulated entrance.

- Floor Plan

The submitted floor plan shows a well laid out plan that flows from the reception area back into the classrooms and the large activity room.

## FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The proposed Child Care Center is an appropriate use in a residential area, due to the proximity to single family residential properties. With the appropriate landscaping the site will be well buffered visually from the adjacent residential properties.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The proposed project will be consistent with Title 19 and applicable City plans, policies and standards with implementation of the conditions as contained in this report.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

The subject site is bounded by Washburn Road, designated as a Collector Street (60-foot), to the north and Jones Boulevard, designated as a Primary Thoroughfare (100-foot), on the west. The primary access to the site should be from Jones Boulevard and not from Washburn Road as it is more of minor street with residential that faces onto it. Both streets will be adequate in size though to provide access to and from the site.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building layout and design, along with the proposed landscaping surrounding the site will be conducive to the surrounding area and will not negatively impact the surrounding properties.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

The materials and colors of the proposed building will be appropriate for this area by providing aesthetically pleasing building that has variety and interest.

6. **"Appropriate measures are taken to secure and protect the public health, safety and general welfare."**

The proposed Child Care Center development will be subject to inspections for Certificate of Occupancy, and therefore the development will not compromise the public health, safety or welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

9

**NOTICES MAILED** 177 – Mailed with SUP-6020

**APPROVALS** 0

**PROTESTS** 0



## STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-6018 APN: 125-36-301-001

Name of Property Owner: Robert and Rhonda Bolten

Name of Applicant: Violet Sahakyan

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

           Yes   X   No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: N/A

Partner(s): N/A

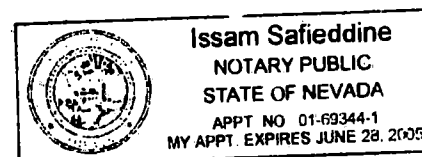
APN: N/A

Signature of Property Owner: Rhonda Bolten / Robert Bolten  
Print Name: Rhonda Bolten / ROBERT BOLTEN

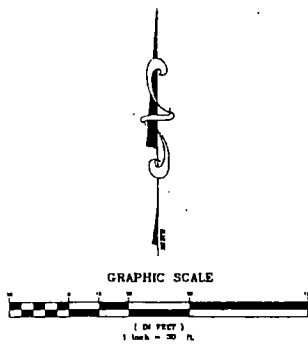
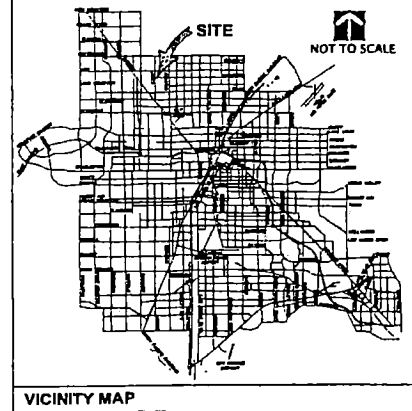
Subscribed and sworn before me

This 23<sup>rd</sup> day of JAN, 2005

Issam Safieddine  
Notary Public in and for said County and State



**SITE EXHIBIT  
FOR  
KIDS 'R KIDS LEARNING CENTER**  
A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF  
SECTION 38, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT DIABLO MERIDIAN,  
CLARK COUNTY, NEVADA.



**ZONING DATA:**  
CURRENT ZONING: -----R-E  
FRONT SET BACK: -----50' FEET  
SIDE SET BACK: -----10' FEET  
REAR SET BACK: -----35' FEET  
MIN. CORNER SIDE SET BACK: 15' FEET  
MIN. LOT WIDTH -----100' FEET  
MIN. LOT SIZE -----20,000 SQ. FT.  
MIN. LOT WIDTH -----100' FEET  
DWELLINGS PER LOT -----1  
BUILDING HEIGHT -----3 STORIES OR 35' FEET  
WHICHEVER IS LESS

**SITE DATA:**  
APN 129-38-301-001  
89,847 SQ. FT.  
2.072 ACRES

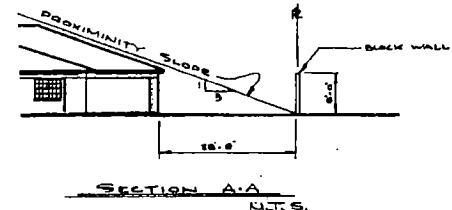
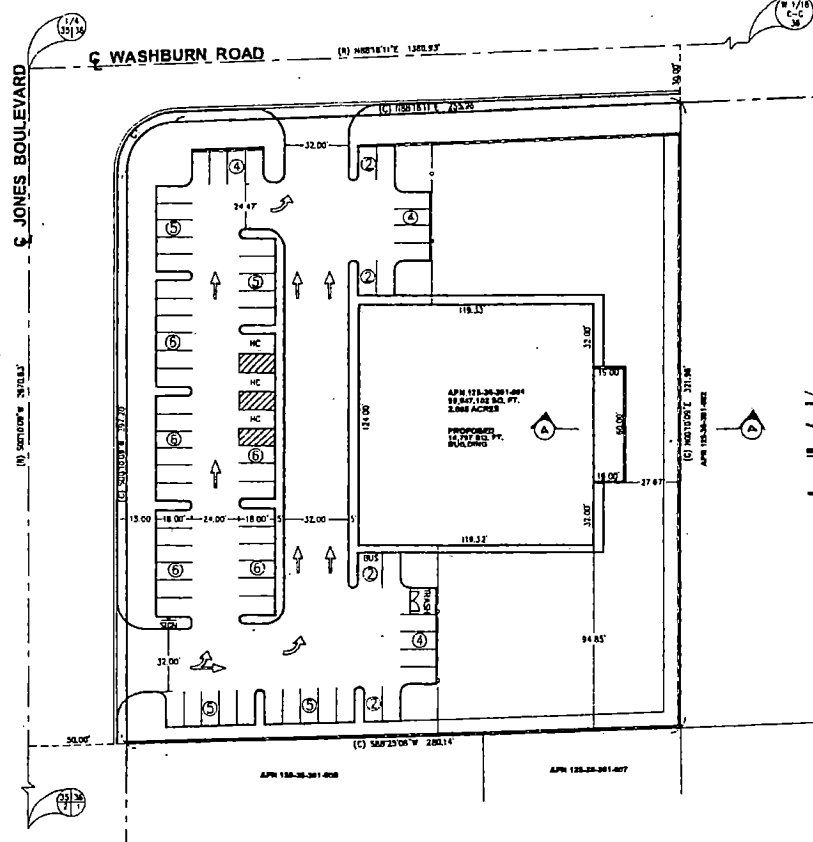
**PARKING DATA:**  
66 SPACES (9' x 18')  
1 BUS SPACE (12' x 18')  
1 HANDICAP (9' x 18')  
70 TOTAL PARKING SPACES

**CURVE TABLE:**

| CURVE | LENGTH | RADIUS | DELTA      | TANGENT |
|-------|--------|--------|------------|---------|
| C1    | 36.46' | 25.00' | 185.90.07' | 36.30'  |

**LEGEND**

- LOT BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY LINE
- PROPOSED 8' HIGH BLOCK WALL
- PROPOSED 4' HIGH CYCLONE FENCE
- (C) = CALCULATED BEARING AND DISTANCE
- (R) = RECORD BEARING AND DISTANCE
- (S) = NUMBER OF PARKING SPACES
- HC = HANDICAPED PARKING STALL
- R.D.S. = RECORD OF SURVEY
- A.P.N. = ASSESSOR'S PARCEL NUMBER



**RECEIVED**

**FEB 24 2005**

**SUP-6020  
SDR-6018  
03-10-05 PC  
REVISED 02-24-05**

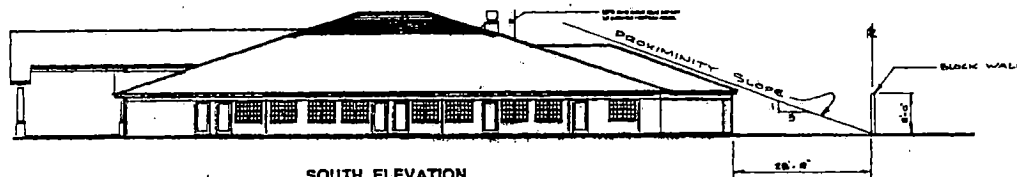
|                                                                                                                                                                                                                                           |                                                                                                                                                      |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>SITE EXHIBIT<br/>FOR<br/>KIDS 'R KIDS LEARNING CENTER</b><br>A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF<br>SECTION 38, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT DIABLO MERIDIAN,<br>CLARK COUNTY, NEVADA. |                                                                                                                                                      |
| ARCHITECT, LAND SURVEYOR, PLANNING & LANDSCAPE ARCHITECTS<br><b>POGMEYER DESIGN GROUP</b><br>4000 WEST TREATS BLVD LAS VEGAS, NEVADA 89103 (702) 888-8888                                                                                 | <b>JOB NUMBER</b> D5004A<br><b>CHECKED BY</b> U.C.L. JR.<br><b>CAD DRAWING</b> SEE TAG<br><b>DRAWING DATE</b> 01-24-05<br><b>DRAWN BY</b> E. JOHNSON |



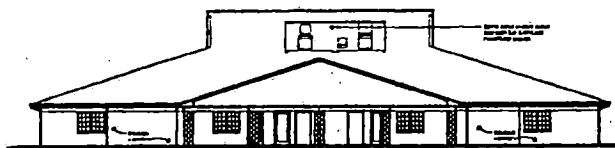
**ELEVATION PLAN  
FOR  
KIDS 'R KIDS LEARNING CENTER**  
A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF  
SECTION 36, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT DIABLO MERIDIAN,  
CLARK COUNTY, NEVADA.



**WEST ELEVATION**  
NOT TO SCALE



**SOUTH ELEVATION**  
NOT TO SCALE



**EAST ELEVATION**  
NOT TO SCALE



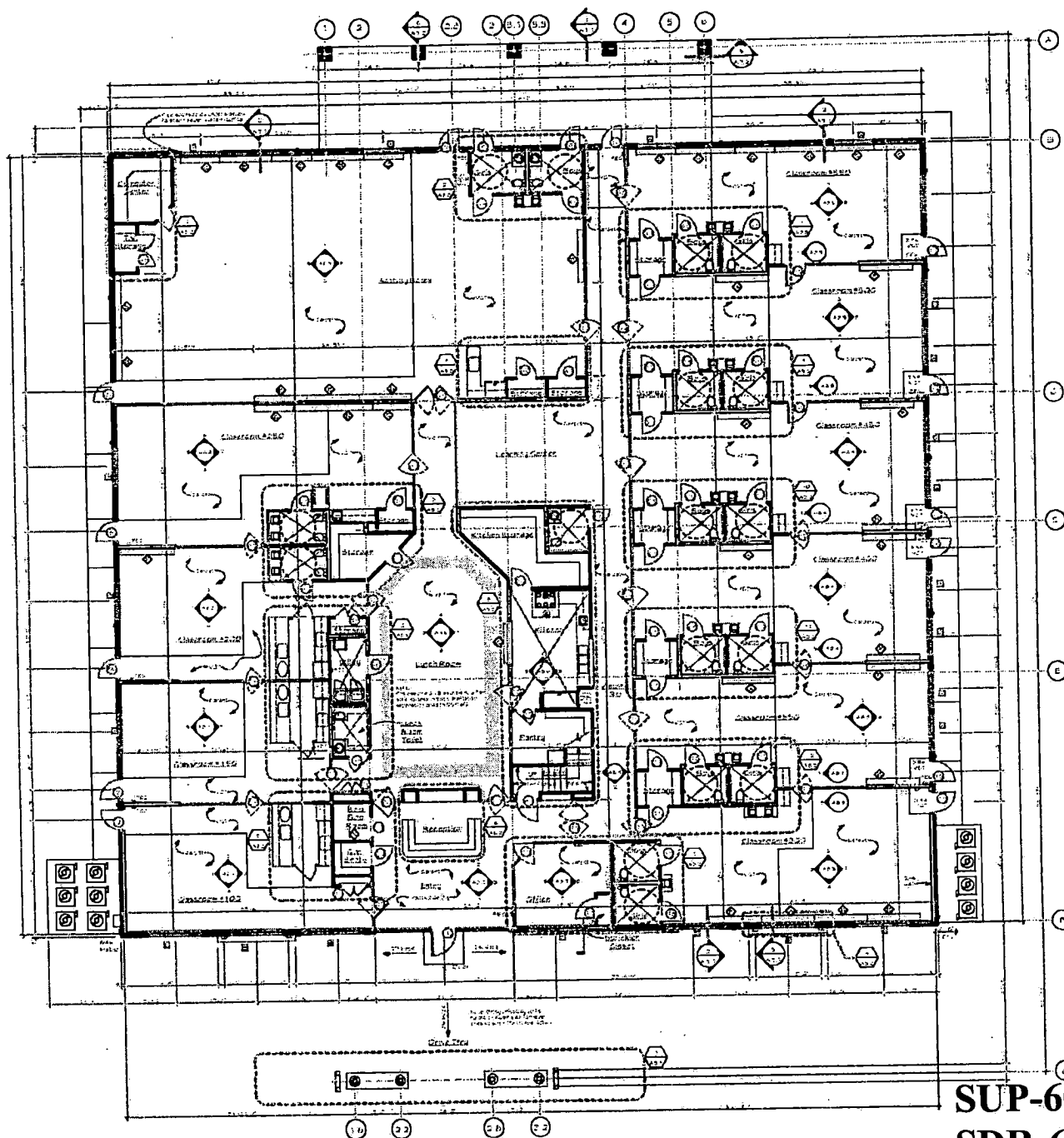
**NORTH ELEVATION**  
NOT TO SCALE

RECEIVED

FEB 24 2005

SUP-6020  
SDR-6018  
03-10-05 PC  
REVISED 02-24-05

**ELEVATION PLAN  
FOR  
KIDS 'R KIDS LEARNING CENTER**  
A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF  
SECTION 36, TOWNSHIP 19 SOUTH, RANGE 80 EAST, MOUNT DIABLO MERIDIAN,  
CLARK COUNTY, NEVADA.



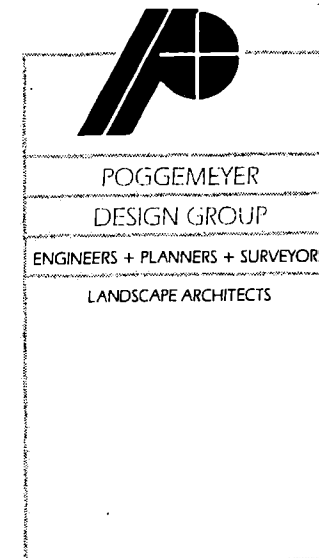
**SUP-6020**  
**SDR-6018**  
**03-10-05 PC**



SUP-6020 & SDR-6018 - APPLICANT: VIOLET SAHAKYAN - OWNER: ROBERT BOLTEN AND RHONDA BOLTEN  
SOUTHEAST CORNER OF JONES BOULEVARD AND WASHBURN ROAD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

City of Las Vegas  
Planning and Development Department  
721 S. Fourth Street  
Las Vegas, NV 89101



January 21, 2005

**RE: Special Use Permit/Site Development Plan Review—Justification**  
**letter for Kids 'R Kids Learning Center (Robert and Rhonda Bolten) to be located**  
**at the southeast corner of Jones Blvd. and Washburn Road (Parcel # 125-36-**  
**301-001)**

Dear Sir/ Madam:

The purpose of this letter is to provide justification for the development of a child care center for the above property for the following reasons;

- The proposed use would provide a desirable service for the neighborhood and surrounding areas by making available day care services or working parents with young children;
- The project would provide a learning center for young children to better prepare them for entrance into the elementary school system; and
- It would provide an attractive, aesthetically pleasing new structure that would compliment the neighborhood; and
- The use would have minimal traffic impacts, primarily limited to drop-offs and pick-ups twice a day at varying times.

Your favorable consideration is appreciated for this needed facility. If there are any questions, I can be contacted at (702) 255-8100.

Sincerely,

POGGEMEYER DESIGN GROUP

  
Jack Lohman  
Planning Manager

Poggemeyer Design Group, Inc.  
2601 North Tenaya Way  
Las Vegas, Nevada 89128  
(702) 255-8100  
FAX (702) 255-8375  
email: pdg-lv@pdg-lv.com

SDR-6018

## Current Traffic Signal Impact Fee Schedule

| Land Use                                         | Unit          | Fee     |
|--------------------------------------------------|---------------|---------|
| Single-Family Detached                           | Dwelling      | \$185   |
| Multi-Family                                     | Dwelling      | \$128   |
| Mobile Home Park                                 | Pad           | \$93    |
| Adult Congregate Living Facility                 | Dwelling      | \$42    |
| Hotel/Motel                                      | Room          | \$174   |
| <b>RETAIL/COMMERCIAL</b>                         |               |         |
| Shopping Center/Gen Retail (0-249,999 sf)        | 1,000 sq. ft. | \$342   |
| Shopping Center/Gen Retail (250,000-499,999 sf)  | 1,000 sq. ft. | \$295   |
| Shopping Center/Gen Retail (500,000+ sf)         | 1,000 sq. ft. | \$243   |
| Automobile Care Center                           | 1,000 sq. ft. | \$315   |
| Automobile Parts Sales                           | 1,000 sq. ft. | \$295   |
| Bank w/Drive Through                             | 1,000 sq. ft. | \$775   |
| Bank w/o Drive Through                           | 1,000 sq. ft. | \$457   |
| Car Wash, Self Service                           | Stall         | \$96    |
| Casino Hotel, Local (gaming area only)           | 1,000 sq. ft. | \$2,642 |
| Casino Hotel, Resort Corridor (gaming area only) | 1,000 sq. ft. | \$2,173 |
| Convenience Store w/ Gas Sales                   | 1,000 sq. ft. | \$732   |
| Drinking Place                                   | 1,000 sq. ft. | \$570   |
| Golf Course (open to public)                     | acre          | \$66    |
| New Car Sales                                    | 1,000 sq. ft. | \$304   |
| Recreational Community Center                    | 1,000 sq. ft. | \$256   |
| Restaurant, Fast Food                            | 1,000 sq. ft. | \$725   |
| Restaurant, Sit-Down                             | 1,000 sq. ft. | \$370   |
| <b>OFFICE/INSTITUTIONAL</b>                      |               |         |
| Office, General (0-99,999 sf)                    | 1,000 sq. ft. | \$239   |
| Office, General (100,000+ sf)                    | 1,000 sq. ft. | \$173   |
| Office, Medical                                  | 1,000 sq. ft. | \$553   |
| Church                                           | 1,000 sq. ft. | \$127   |
| College                                          | 1,000 sq. ft. | \$270   |
| Day Care Center                                  | 1,000 sq. ft. | \$250   |
| Hospital                                         | 1,000 sq. ft. | \$269   |
| Library                                          | 1,000 sq. ft. | \$355   |
| Nursing Home                                     | 1,000 sq. ft. | \$75    |
| School, Elementary (private)                     | 1,000 sq. ft. | \$45    |
| School, Middle/Junior High (private)             | 1,000 sq. ft. | \$44    |
| School, High (private)                           | 1,000 sq. ft. | \$49    |
| <b>INDUSTRIAL</b>                                |               |         |
| General Light Industrial                         | 1,000 sq. ft. | \$107   |
| Warehouse                                        | 1,000 sq. ft. | \$76    |
| Mini-Warehouse                                   | 1,000 sq. ft. | \$30    |

STR-6018

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-5859 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: ANVUI, LLC**  
**- OWNER: G.L. DRAGON, LLC** - Request for a Special Use Permit FOR A PROPOSED  
SUPPER CLUB at 1050 South Rampart Boulevard (APN 138-32-412-024), C-1 (Limited  
Commercial) Zone, Ward 2 (Wolfson).

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**EVANS – APPROVED subject to conditions – UNANIMOUS with TRUESDELL**  
**abstaining as one of his employees represents a client in another location near the subject**  
**site**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

**CHAIRMAN NIGRO** declared the Public Hearing open.

**DOUG RANKIN**, Planning and Development, stated that the proposed development would be located in existing commercial center. The proposed development would be harmonious and compatible with the surrounding development, and staff recommended approval.

**ALICIA ASHCRAFT**, Attorney, Jolley Urga Wirth Woodbury & Standish, 3800 Howard Hughes Parkway, appeared on behalf of the applicant and concurred with staff's conditions.

No one appeared in opposition.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 36 – SUP-5859

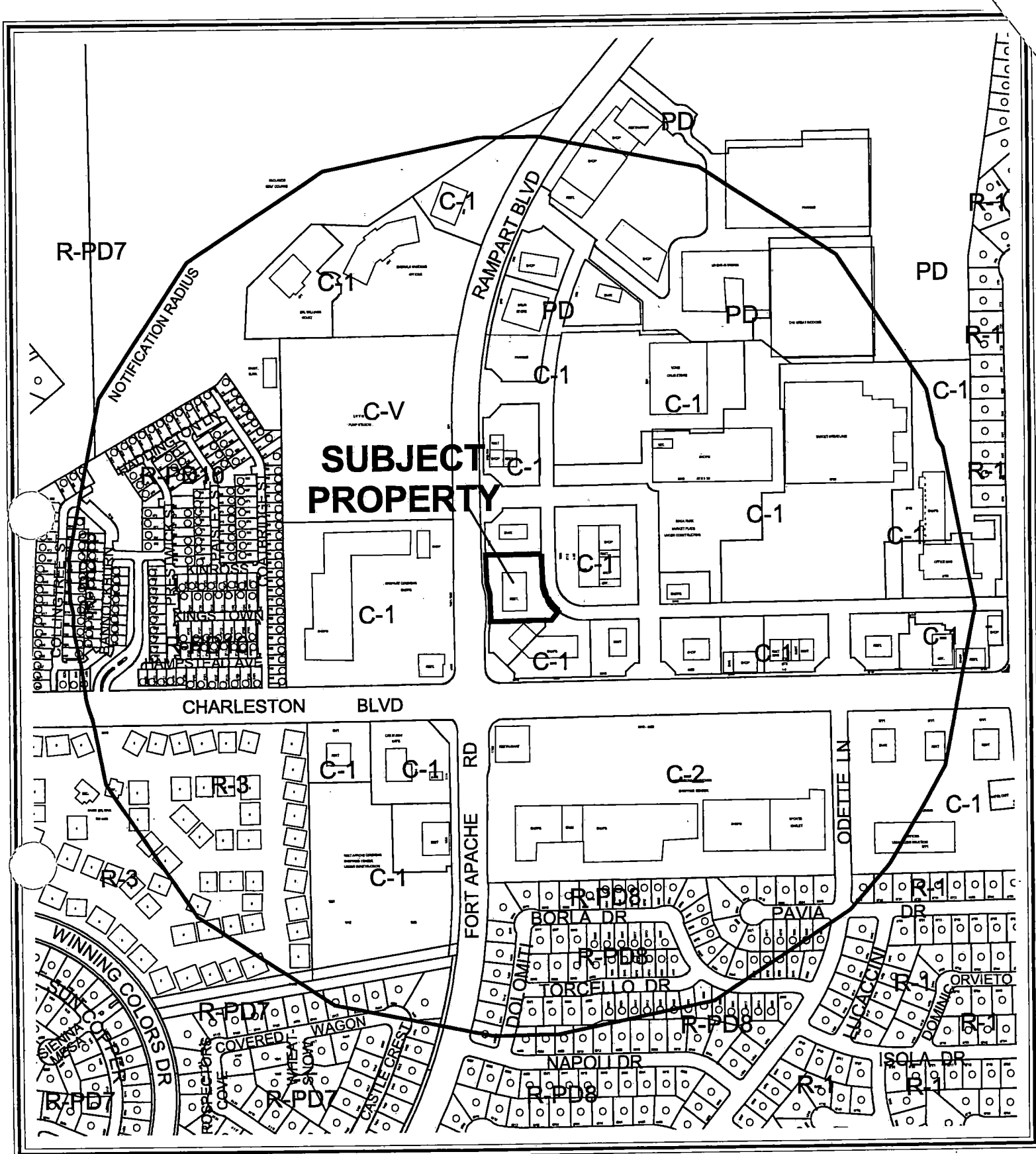
**MINUTES – Continued:**

CHAIRMAN NIGRO declared the Public Hearing closed.  
(8:54 – 8:56)  
3-1499

**CONDITIONS:**

Planning and Development

1. If this Special Use Permit is not exercised within one year of this approval, this Special Use Permit shall be void unless an Extension of Time is granted.
2. Conformance to all Minimum Requirements under Title 19.04.050 for a Supper Club use.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. The business shall conform to the provisions of Chapter 6.50 of the City of Las Vegas Municipal Code.
5. The Supper Club use shall conform to the definition as listed in Title 19.20.020.
6. All City Code requirements and design standards of all City departments must be satisfied.
7. The trash enclosure shall be roofed in accordance with Title 19.08.045 requirements.



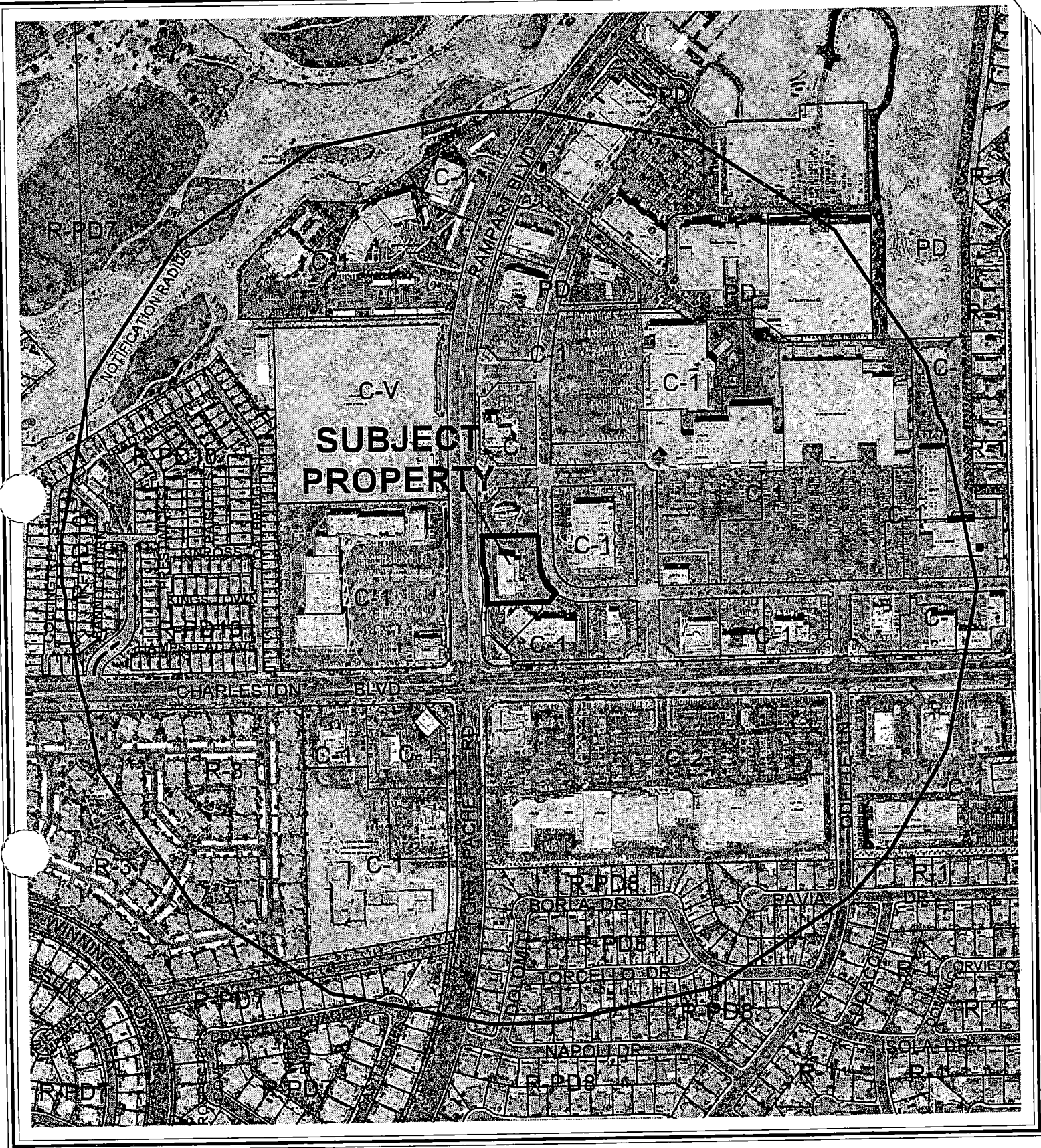
**CASE: SUP-5859**

**RADIUS: 1500 FT**

**ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)**

0 500 1000 Feet





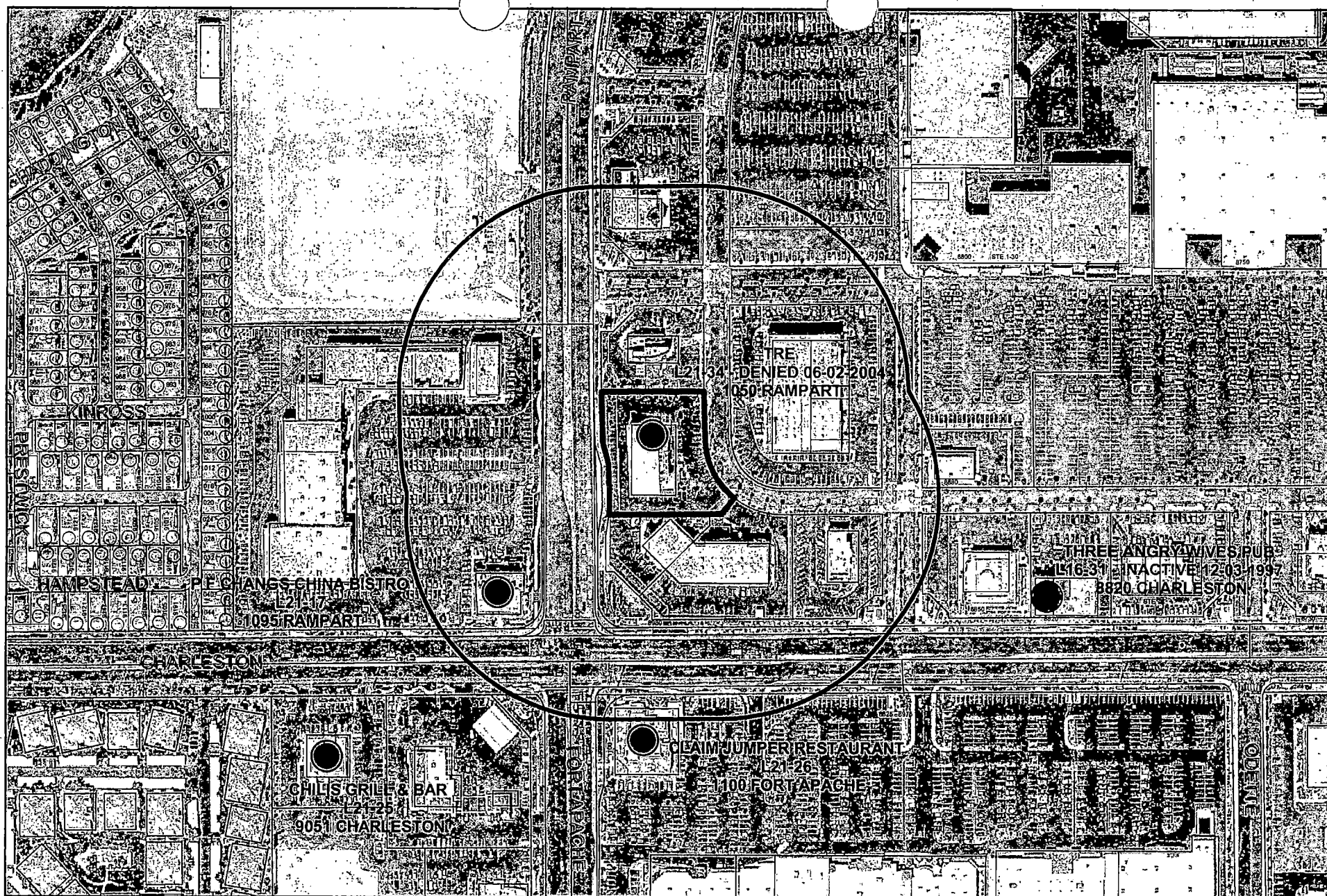
CASE: SUP-5859

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 500 1000 Feet





**SUP-5859**

**Protected Landuses**

- |         |           |
|---------|-----------|
| Parks   | Taverns   |
| Schools | Religious |

**Business Licenses**

- |                                        |                                  |
|----------------------------------------|----------------------------------|
| Tavern                                 | Child Care/<br>Children Facility |
| Supper Club/<br>Restaurant Service Bar |                                  |

- |                  |
|------------------|
| Subject Property |
| 400 foot buffer  |



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SUP-5859 - APPLICANT: ANVUI, LLC - OWNER: G.L. DRAGON, LLC**

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: APPROVAL, subject to:**

**Planning and Development**

1. If this Special Use Permit is not exercised within one year of this approval, this Special Use Permit shall be void unless an Extension of Time is granted.
2. Conformance to all Minimum Requirements under Title 19.04.050 for a Supper Club use.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. The business shall conform to the provisions of Chapter 6.50 of the City of Las Vegas Municipal Code.
5. The Supper Club use shall conform to the definition as listed in Title 19.20.020.
6. All City Code requirements and design standards of all City departments must be satisfied.
7. The trash enclosure shall be roofed in accordance with Title 19.08.045 requirements.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Special Use Permit for a proposed Supper Club at 1050 South Rampart Boulevard.

**B) Applicant's Justification**

**BACKGROUND INFORMATION**

**A) Related Actions**

09/02/92 The City Council approved a Rezoning (Z-0030-92) to C-1 (Limited Commercial) on this site as part of a larger request. The Planning Commission and staff recommended approval on June 25, 1992.

07/05/01 The City Council approved a Special Use Permit (U-0054-01) for a supper club at this location. The Planning Commission and staff recommended approval on May 24, 2001.

03/25/04 The Special Use Permit (SUP-3717) for a Night Club at 1050 South Rampart Boulevard was withdrawn without prejudice.

**B) Pre-Application Meeting**

09/22/04 The following items were discussed at the pre-application meeting:

- A Site Development Plan Review is not required. Minor changes can be done with a building permit.
- A new special use permit is required to allow a Supper Club use again, since the license expired in March 2004.

**C) Neighborhood Meetings**

A neighborhood meeting is not required for this type of application.

# DETAILS OF APPLICATION REQUEST

## A) *Site Area*

Gross Acres: 1.15

## B) *Existing Land Use*

Subject Property: Vacant  
North: Bank  
South: Multi-Tenant Building  
East: Multi-Tenant Building  
West: Shopping Center

## C) *Planned Land Use*

Subject Property: SC (Service Commercial)  
North: SC (Service Commercial)  
South: SC (Service Commercial)  
East: SC (Service Commercial)  
West: SC (Service Commercial)

## D) *Existing Zoning*

Subject Property: C-1 (Limited Commercial)  
North: C-1 (Limited Commercial)  
South: C-1 (Limited Commercial)  
East: C-1 (Limited Commercial)  
West: C-1 (Limited Commercial)

## E) *General Plan Compliance*

The subject site is designated SC (Service Commercial) on the Southwest Sector Map of the General Plan. This land use category allows low to medium intensity retail, office, or other commercial uses that serve primarily local area patrons and that do not include more intense general commercial characteristics. It also includes offices either singly or grouped as office centers with professional and business services. The subject site is zoned C-1 (Limited Commercial), which is a zoning district permitted within the SC (Service Commercial) General Plan designation. Supper Club is permitted within the C-1 district with a Special Use Permit.

| <b>SPECIAL DISTRICTS/ZONES</b>             | <b>Yes</b> | <b>No</b> |
|--------------------------------------------|------------|-----------|
| Special Area Plan                          |            | X         |
| Special Overlay District                   |            | X         |
| Trails                                     |            | X         |
| County/North Las Vegas/HOA Notification    |            | X         |
| Development Impact Notification Assessment |            | X         |
| Project of Regional Significance           |            | X         |

There are no special plans or overlays that affect the subject site.

## ANALYSIS

### A) Zoning Code Compliance

#### A1) Parking and Traffic Standards

This site is located within a larger commercial subdivision, which allows cross-access shared parking throughout the entire commercial center. There are three handicap spaces near the front entrance to the building. The parking requirements were addressed as part of the Site Development Plan Review for this site.

#### A2) Minimum Distance Separation Requirements

| Standards                                     | Code Requirement                                                                                                                          | Provided                                      |
|-----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------|
| Supper Club (distance separation requirement) | May not be located within 400 feet of any church, synagogue, school, child care facility licensed for more than 12 children, or City park | Greater than 400 Feet from all protected uses |

The Supper Club use is located in a suite within a commercial subdivision. The proposed supper club is greater than 400 feet from any of the protected uses. Therefore, it meets the minimum distance separation requirement.

Pursuant to Title 19.08, the following Standards apply to the subject proposal:

| Standards       | Code Requirement      | Provided      |
|-----------------|-----------------------|---------------|
| Trash Enclosure | Walled, gated, roofed | Not indicated |

Although a walled and gated trash collection area is shown on the floor plan at the back of the building, it is unclear whether it is proposed that this area will be roofed. A condition of approval has been added, which addresses this issue.

### B) General Analysis and Discussion

- Zoning

A Supper Club is permitted in a C-1 (Limited Commercial) zone with approval of a Special Use Permit.

- Use

Title 19.04.050 establishes the criteria and minimum requirements for the approval of alcohol-related uses. The Code requires a supper club to be a minimum of 400 feet from any church, synagogue, school, childcare facility licensed for more than twelve children, or City park as measured from property line to property line. In this case, no protected uses are known to be within the minimum separation distance requirement.

In accordance with Title 19.20.020, operational requirements for a supper club include: 1) the bar area must be separated from the restaurant area by a barrier sufficient to prevent access to the bar by minors; 2) the actual seating available at all times within the restaurant area will accommodate at least one-hundred twenty-five persons; 3) alcoholic beverages must be served in the restaurant area only in conjunction with the service of food; 4) full-course meals must be available during all hours the bar area is open to the public; 5) a cook and food server, other than a bartender, must be available at all times the bar area is open to the public; and 6) the restaurant operation is the principal portion of the business.

- Conditions

The conditions of Title 19 applicable to a Supper Club are listed as follows:

1. No supper club use shall be located within 400 feet of any church, synagogue, school, childcare facility licensed for more than twelve children or City park.
2. Except as otherwise provided in Subsection 3 below, the minimum distances referred to in Subsection 1 shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed supper club which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed supper club. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:
  - a. Any leasehold parcel; or
  - b. Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Subsection 1.
3. In the case of a supper club proposed to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Subsection 1 shall be measured in a straight line:

- a. From the nearest property line of the existing use to the nearest portion of the structure in which the supper club will be located, without regard to intervening obstacles; or
  - b. In the case of a proposed supper club which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the supper club will be located, without regard to intervening obstacles.
4. When considering a Special Use Permit application for a supper club which also requires a waiver of the distance limitation in Subsection 1, the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.
- \*5. All businesses, which sell alcoholic beverages, shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

Except for number 5, the conditions above may be waived if it can be shown by convincing and substantial evidence by the applicant that any waiver of these requirements will not compromise the objective of the City in safeguarding the interests of the citizens of the City.

## FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The project is compatible with the General Plan land use designation and is located within an existing commercial center with a substantial concentration of major commercial development. The proposed use can be conducted in a manner that is harmonious and compatible with the surrounding uses

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed Supper Club will be located within a commercial center and the proposed use will be operating in an existing restaurant. There is no evidence of a physical constraint to the proposed Supper Club use on the subject site.

3. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."

The abutting street network will be adequate for the traffic generated by the use since it has access to Rampart Boulevard, a 100-foot wide primary arterial on the Master Plan of Streets and Highways.

4. "Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."

The proposed use will be subject to periodic inspection by regulatory agencies for business licensing, and will therefore not compromise the public health, safety and welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

9

**NOTICES MAILED** 308

**APPROVALS** 0

**PROTESTS** 0

**PLANNING & DEVELOPMENT DEPARTMENT****STATEMENT OF FINANCIAL INTEREST**Case Number: SUP-5859 APN: 138-32-412-024Name of Property Owner: G.L. Dragon, LLC

Name of Applicant: \_\_\_\_\_

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

\_\_\_\_ Yes

XX No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

Signature of Property Owner/Authorized Agent: Robert W. EngPrint Name: ROBERT W. ENG

Subscribed and sworn before me

This 6th day of October, 2004Summer Cordano

Notary Public in and for said County and State



# TRE' RESTAURANT

CITY OF LAS VEGAS, NEVADA

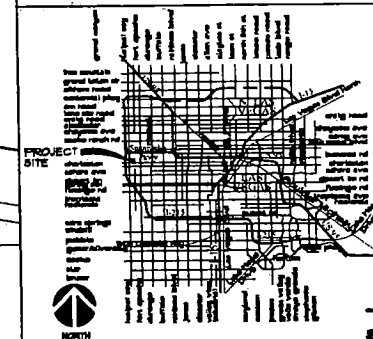


## PROPOSED SITE PLAN

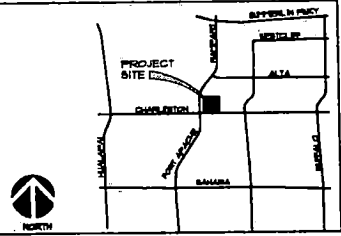
### SITE DATA

|                                                                             |                                                                                                                                                          |
|-----------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------|
| OWNER: TRE' RESTAURANT<br>2077 FRANKLIN BL. #200<br>LAS VEGAS, NEVADA 89001 | ARCHITECT: WESTAR ARCHITECTS<br>700 BROADWAY, SUITE 400<br>LAS VEGAS, NEVADA 89001<br>TEL: (702) 878-0000<br>FAX: (702) 878-0000<br>ATTN: PAUL J. WESTAR |
| APR. 2008A                                                                  | 88-00-40-000                                                                                                                                             |
| OCCUPANCY: A-2                                                              | C-1                                                                                                                                                      |
| LOT SIZE: 30,000 SQ. FT. 0.69 ACRES                                         | EXISTING RESTAURANT                                                                                                                                      |
| LOT COVERED: NOT APPLICABLE                                                 | NOT APPLICABLE                                                                                                                                           |

## VICINITY MAP



## LOCATION MAP



## TRE' RESTAURANT SPECIAL USE PERMIT

**WESTAR ARCHITECTS**  
ARCHITECTURE • PLANNING • INTERIOR DESIGN  
3500 MEADOWS LANE SUITE 220 LAS VEGAS, NEVADA 89110  
TELEPHONE: (702) 878-0000 FAX: (702) 878-0000  
www.westarchitects.com

DATE: 10.05.04 PROJECT NUMBER: 04048.10 FILENAME: 04108\_01\_Plan.dwg

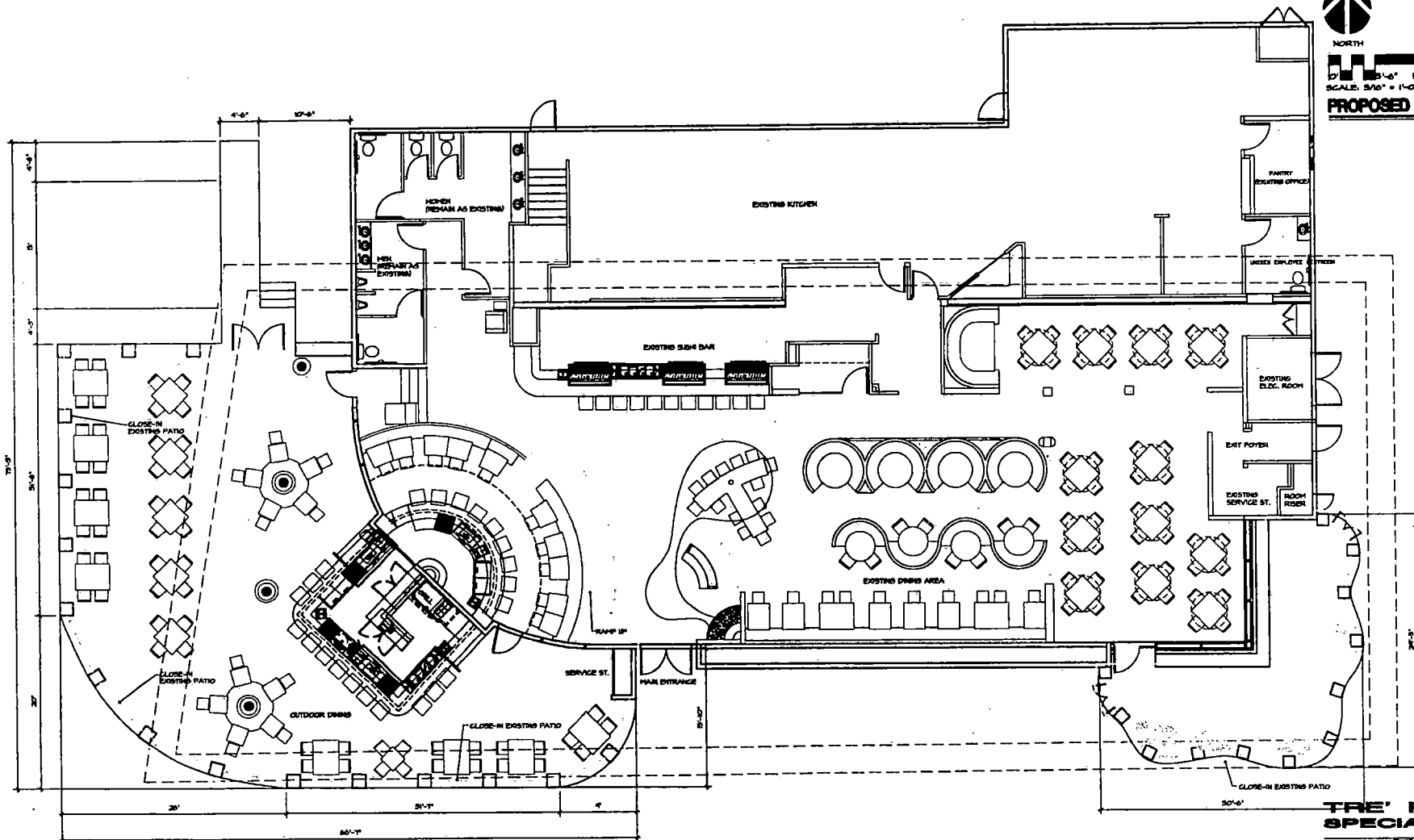
SUP-5859  
03-10-05 PC

# TRE' RESTAURANT

CITY OF LAS VEGAS, NEVADA



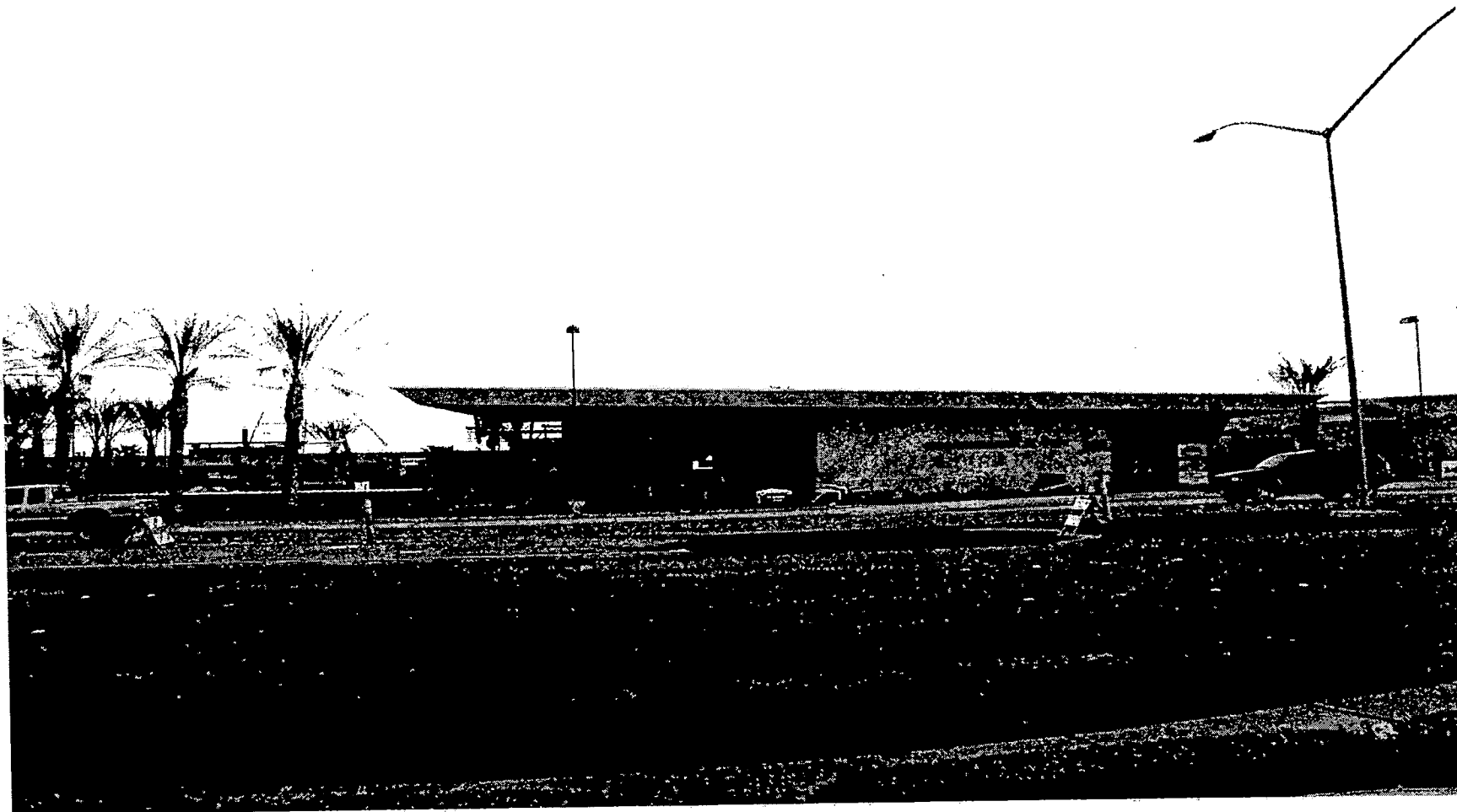
SCALE: 3/16" = 1'-0"  
**PROPOSED FLOORPLAN**



**TRE' RESTAURANT  
 SPECIAL USE PERMIT**

**WESTAR ARCHITECTS**  
 ARCHITECTURE • PLANNING • INTERIOR DESIGN  
 2901 MEADOWS LANE, SUITE 220, LAS VEGAS, NEVADA 89102  
 TELEPHONE (702) 878-0000 FAX (702) 878-6433  
 www.westarchitects.com  
 DATE: 10/05/04 PROJECT NUMBER: 0404810 FILENAME: 04108\_02\_FLOORPLAN

**SUP-5859  
 03-10-05 PC**



SUP-5859 - APPLICANT: ANVUI, LLC - OWNER: G.L. DRAGON, LLC  
1050 SOUTH RAMPART BOULEVARD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

R. GARDNER JOLLEY  
WILLIAM R. URG  
BRUCE L. WOODBURY  
THOMAS J. STANDISH

BRIAN E. HOLTHUS  
MARTIN A. LITTLE  
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L. CHRISTOPHER ROSE  
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NATALIE M. COX

M. DARON DORSEY  
DAVID J. MALLEY  
BRIAN C. WEDL

OF COUNSEL  
CHARLES T. COOK  
ROGER A. WIRTH  
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89005  
(702) 293-3674

BILL SPOHRER  
DIRECTOR OF ADMINISTRATION

RECEIVED

MAR 03 2005

December 21, 2004

Mr. Robert Genzer  
City of Las Vegas  
Director of Planning & Development  
731 South Fourth Street  
Las Vegas, Nevada 89101

Re: *ANVUI, LLC (the "Company") - Special Use Permit*  
*1050 S. Rampart, Las Vegas, Nevada 89145 (the "Location")*

Dear Mr. Genzer:

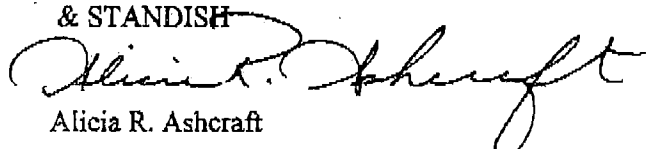
Enclosed are the Application / Petition Form and Statement of Financial Interest with original signatures for the above Company's special use permit application at the above Location.

Please accept this letter as the justification letter. The Company is applying for a special use permit for the operation of a restaurant, including the service of liquor under a supper club liquor license, at the Location. Previously the Location was utilized as a restaurant with the service of liquor under the business name of "Tre" under a special use permit. However, that business has since closed and the special use permit previously issued has expired. Therefore, it is necessary for the Company apply for a special use permit to allow the sale and service of liquor at the location in conjunction with its new restaurant.

If you have any questions, or if you require additional information, please do not hesitate to contact me. Thank you for your assistance in this matter.

Very truly yours,

JOLLEY URG WIRTH WOODBURY  
& STANDISH

  
Alicia R. Ashcraft

ARA:ae

S:\ARA\Anvui 8676\02001Special Use Permit\Genzer 041221.wpd

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-5998 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PEI WEI - OWNER: MARK L. FINE & ASSOCIATES** - Request for a Special Use Permit FOR A PROPOSED RESTAURANT SERVICE BAR at 10830 West Charleston Boulevard, Suite 110 (APN 137-36-414-002), P-C (Planned Community) Zone, Ward 2 (Wolfson).

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**McSWAIN – APPROVED subject to conditions – UNANIMOUS with TRUESDELL abstaining as his daughter resides directly across the street from the subject site**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

DOUG RANKIN, Planning and Development, stated that the proposed development would be located in a multi-tenant building, which is physically suitable for the type and intensity of land use proposed. Staff recommended approval.

ED GARCIA, Jones Vargas, 3773 Howard Hughes Parkway, Las Vegas, NV, appeared on behalf of the applicant and concurred with staff's conditions.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 37 – SUP-5998

**MINUTES – Continued:**

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed.

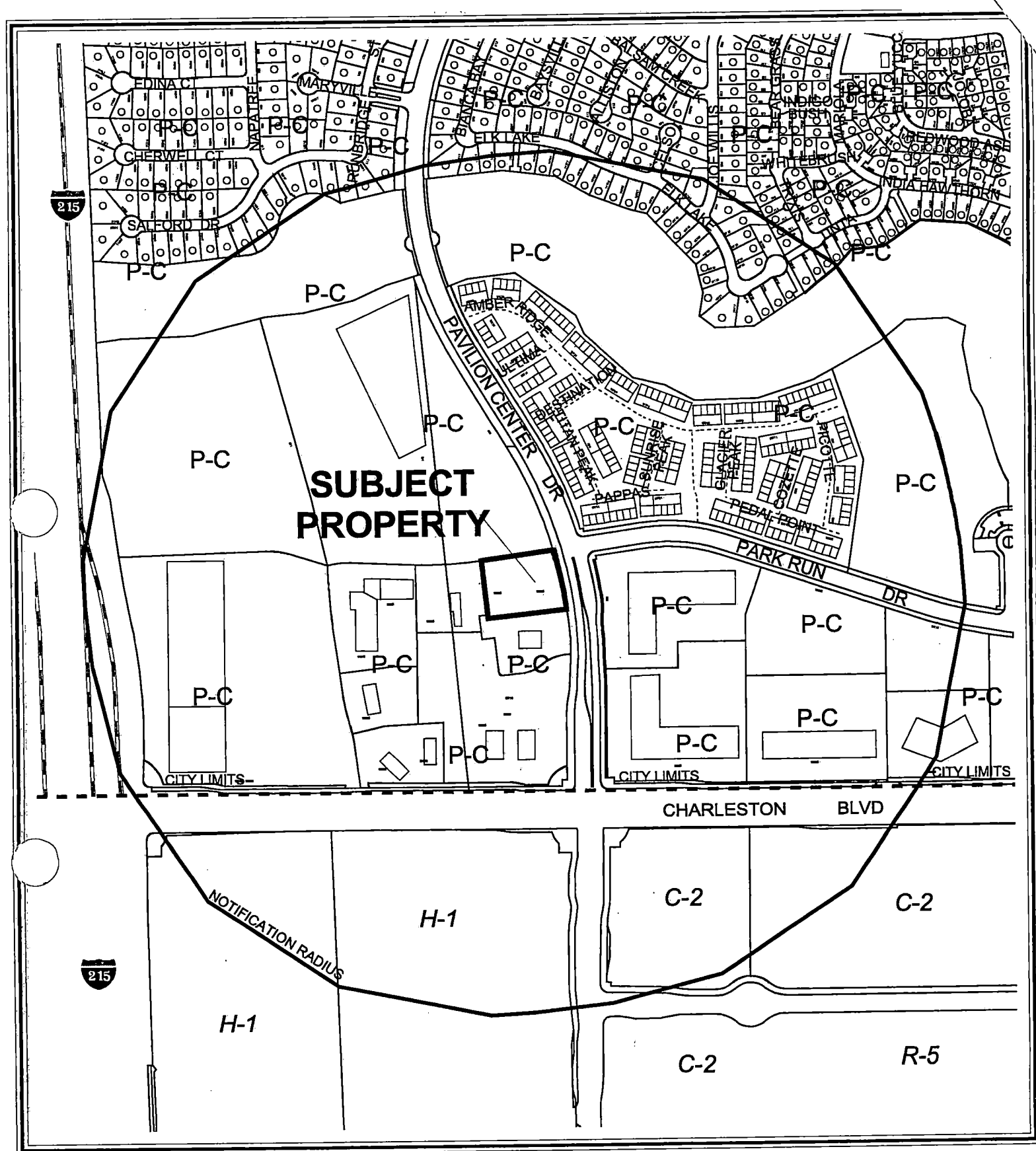
(8:56 – 8:58)

3-1575

**CONDITIONS:**

Planning and Development

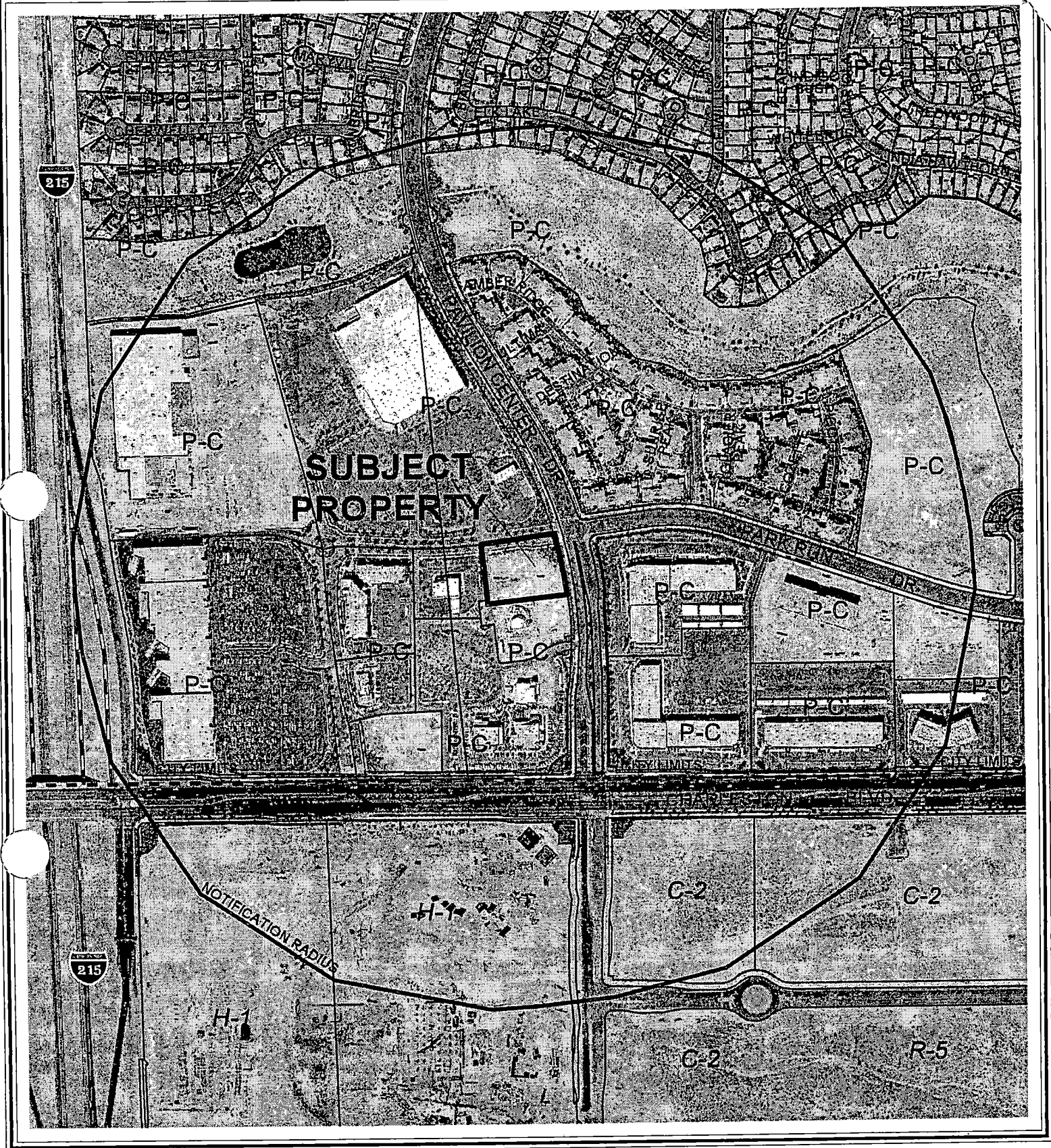
1. Conformance to all Minimum Requirements under Title 19.04 for the Restaurant Service Bar use.
2. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. All City Code requirements and design standards of all City departments must be satisfied.
5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
6. The trash enclosure shall be roofed in accordance with Title 19.08.045 requirements.



CASE: SUP-5998

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: P-C (PLANNED COMMUNITY)



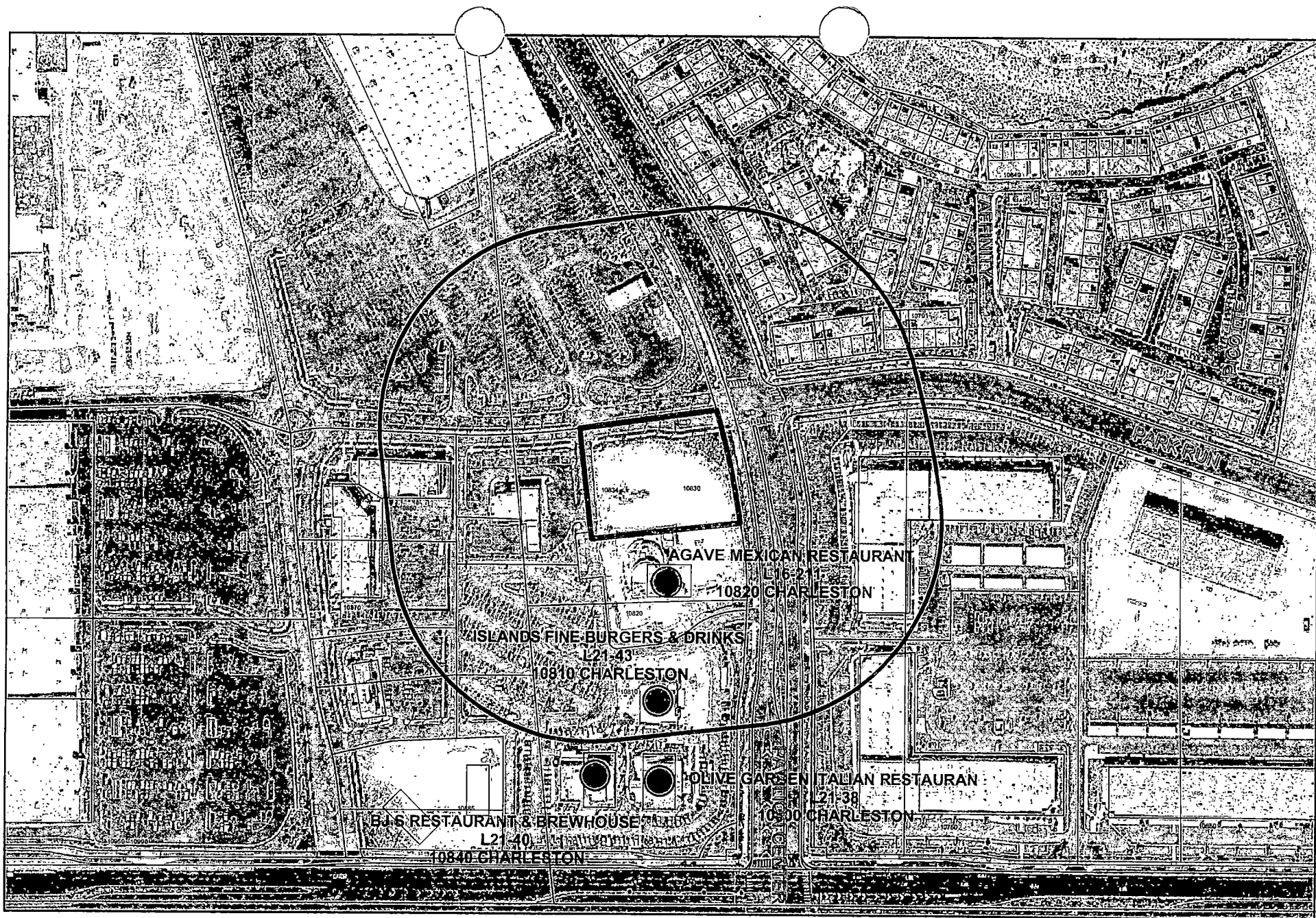
CASE: **SUP-5998**

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: P-C (PLANNED COMMUNITY)

0 500 1000 Feet





SUP-5998

### Protected Landuses

- |                                                                                             |                                                                                               |
|---------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------|
|  Parks   |  Taverns   |
|  Schools |  Religious |

### Business Licenses

- |                                                                                                                             |                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|
|  Tavern                                 |  Child Care/<br>Children Facility |
|  Supper Club/<br>Restaurant Service Bar |                                                                                                                        |

- |                                                                                                        |
|--------------------------------------------------------------------------------------------------------|
|  Subject Property |
|  400 foot buffer  |



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SUP-5998 - APPLICANT: PEI WEI - OWNER: MARK L. FINE & ASSOCIATES**

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**      **APPROVAL**, subject to:

**Planning and Development**

1. Conformance to all Minimum Requirements under Title 19.04 for the Restaurant Service Bar use.
2. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
3. Approval of this Special Use Permit does not constitute approval of a liquor license.
4. All City Code requirements and design standards of all City departments must be satisfied.
5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.
6. The trash enclosure shall be roofed in accordance with Title 19.08.045 requirements.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Special Use Permit for a Restaurant Service Bar at 10830 West Charleston Boulevard, Suite 110.

**B) Applicant's Justification**

The applicant states that the proposed use is harmonious and compatible with uses located on surrounding parcels.

**BACKGROUND INFORMATION**

**A) Related Actions**

- 02/16/94      The City Council approved a request for a Zoning Reclassification (Z-0135-93) from N-U (Non-Urban) to P-C (Planned Community) on the subject site. The Planning Commission recommended approval on 01/13/94.
- 09/09/99      The Planning Commission approved the Arbors at Summerlin Village 11/12, Unit No. 2C, Lot 7 Tentative Map (A Commercial Subdivision) (TM-0040-99).
- 02/20/02      The Summerlin City Referral Group administratively approved a request for a Site Development Plan Review (SV-0001-02) for a proposed commercial center on the northwest corner of Charleston Boulevard and Pavilion Center Drive, at Canyon Pointe at Summerlin Centre - Parcel 4, on 14.72 acres located on the northwest corner of Charleston Blvd and Pavilion Center Drive, on a portion of the overall commercial site.

**B) Pre-Application Meeting**

- 01/21/05      The elements of a Special Use Permit application were discussed.

**C) Neighborhood Meetings**

A neighborhood meeting is not required for this type of application.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Gross Acres: 1.50

**B) Existing Land Use**

Subject Property: Multi-Tenant Building  
North: Retail Building  
South: Restaurant Service Bar  
East: Office Building  
West: Bank

**C) Planned Land Use**

Subject Property: EC (Employment Center - Summerlin) [H (High Density)  
General Plan Designation]  
North: EC (Employment Center - Summerlin [M (Medium  
Density) General Plan Designation]  
South: EC (Employment Center - Summerlin [SC (Service  
Commercial) and H (High Density) General Plan  
Designation]  
East: VC (Village Commercial - Summerlin [SC (Service  
Commercial) and H (High Density) General Plan  
Designation]  
West: EC (Employment Center - Summerlin [H (High Density)  
General Plan Designation]

**D) Existing Zoning**

Subject Property: P-C (Planned Community)  
North: P-C (Planned Community)  
South: P-C (Planned Community)  
East: P-C (Planned Community)  
West: P-C (Planned Community)

**E) General Plan Compliance**

The subject property is designated VC (Village Commercial) on the Summerlin Special Land Use Plan for the Arbors, Village 11/12, within the Summerlin Master Planned Community. The proposed Restaurant Service Bar is a permitted use within the VC (Village Commercial) land use designation with approval of a Special Use Permit.

| <i>SPECIAL DISTRICTS/ZONES</i>             | Yes | No |
|--------------------------------------------|-----|----|
| Special Area Plan                          | X   |    |
| Summerlin                                  | X   |    |
| Special Overlay District                   |     | X  |
| Trails                                     |     | X  |
| County/North Las Vegas/HOA Notification    |     | X  |
| Development Impact Notification Assessment |     | X  |
| Project of Regional Significance           |     | X  |

## ANALYSIS

### A) *Zoning Code Compliance*

#### A1) Parking and Traffic Standards

The Canyon Pointe Parcel 4 parking analysis as submitted and approved on 10/06/04 accounts for all development within Parcel 4, which includes the subject Pei Wei restaurant. Since Parcel 4 is a commercial subdivision, the parking is shared between all developments within the overall site.

#### A2) Minimum Distance Separation Requirements

While Title 19 requires a Restaurant Service Bar to be a minimum of 400 feet from any church, synagogue, school, childcare facility licensed for more than twelve children, and City Park, as measured from property line to property line, the Summerlin Development Standards do not require any distance separations from uses. In this case, however, there are no protected uses within the minimum distance separation as indicated in Title 19.

Pursuant to Title 19.08, the following Standards apply to the subject proposal:

| Standards       | Code Requirement      | Provided      |
|-----------------|-----------------------|---------------|
| Trash Enclosure | Walled, gated, roofed | Not indicated |

Although a walled and gated trash collection area is shown on the floor plan at the back of the building, it is unclear whether it is proposed that this area will be roofed. A condition of approval has been added, which addresses this issue.

**B) General Analysis and Discussion**

- Zoning

The subject site is currently zoned P-C (Planned Community) and has a Summerlin Land Use designation of VC (Village Commercial). The proposed Restaurant Service Bar will be within the range of uses permitted, with approval of a Special Use Permit, in the VC (Village Commercial) land use designation with P-C (Planned Community) zoning.

- Use

Title 19.20.020 defines a Restaurant Service Bar as a bar wherein alcoholic beverage drinks are prepared for service only at tables in a restaurant and for consumption only in connection with a meal served on the premises, and where customers are not permitted to purchase alcoholic beverage drinks directly from the bar or for off-premise consumption.

- Conditions

Title 19.20.020 defines a Restaurant Service Bar as a bar wherein alcoholic beverage drinks are prepared for service only at tables in a restaurant and for consumption only in connection with a meal served on the premises, and where customers are not permitted to purchase alcoholic beverage drinks directly from the bar or for off-premise consumption.

- Conditions

Listed are the applicable conditions as listed in Title 19.04.050 for a Restaurant Service Bar:

Pursuant to its general authority to regulate the sale of alcoholic beverages, the City Council declares that the public health, safety and general welfare of the City are best promoted and protected by requiring that:

- (1) No restaurant service bar business use shall be located within four hundred feet of any church, synagogue, school, child care facility licensed for more than twelve children or City park.
- (2) Except as otherwise provided in Subsection (3) below, the minimum distances referred to in Subsection (1) shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed restaurant service bar which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed restaurant service bar. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:

**SUP-5998 - Staff Report Page Five**  
**March 10, 2005 - Planning Commission Meeting**

- (a) Any leasehold parcel; or
  - (b) Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Subsection (1).
- (3) In the case of a restaurant service bar proposed to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Subsection (1) shall be measured in a straight line:
  - (a) From the nearest property line of the existing use to the nearest portion of the structure in which the restaurant service bar will be located, without regard to intervening obstacles; or
  - (b) In the case of a proposed restaurant service bar which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the restaurant service bar will be located, without regard to intervening obstacles.
- (4) When considering a Special Use Permit application for a restaurant service bar which also requires a waiver of the distance limitation in Subsection (1), the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.
- (5) The minimum distance requirement in Subsection (1) does not apply to an establishment which has a non-restricted gaming license in connection with a hotel having two hundred or more guest rooms on or before July 1, 1992, or in connection with a resort hotel having in excess of two hundred guest rooms after July 1, 1992.
- (6) In the O District, a restaurant service bar is permitted only as an accessory use.
- (7) All businesses that sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

**FINDINGS**

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The subject site is currently zoned P-C (Planned Community) and has a Summerlin Land Use designation of VC (Village Commercial). The proposed Restaurant Service Bar will be within the range of uses permitted, with approval of a Special Use Permit, in the VC (Village Commercial) land use designation with P-C (Planned Community) zoning.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed use will be located within a multi-tenant building, which is physically suitable for the type and intensity of land use proposed.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The proposed Restaurant Service Bar use will be accessed solely through the Canyon Pointe Centre commercial site with access from Charleston Boulevard (100-foot Primary Arterial) and Pavilion Center Drive (Summerlin 100-foot Arterial). These roads have adequate capacity to serve the proposed development. The project will not have any negative traffic impact on residential neighborhoods in the area.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

The proposed Restaurant Service Bar use will be subject to regular City inspections for licensing and will therefore not compromise the public health, safety, and welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 3

**NOTICES MAILED** 307

**APPROVALS** 0

**PROTESTS** 0



## STATEMENT OF FINANCIAL INTEREST

Name of Property Owner: FDG-CP2, LLC

Name of Applicant: Pei Wei Asian Diner

**To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?**

x Yes \_\_\_\_\_ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: Mayor Oscar Goodman

Partner(s): \_\_\_\_\_

APN: 162-04-112-010

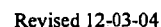
Signature of Property Owner: William

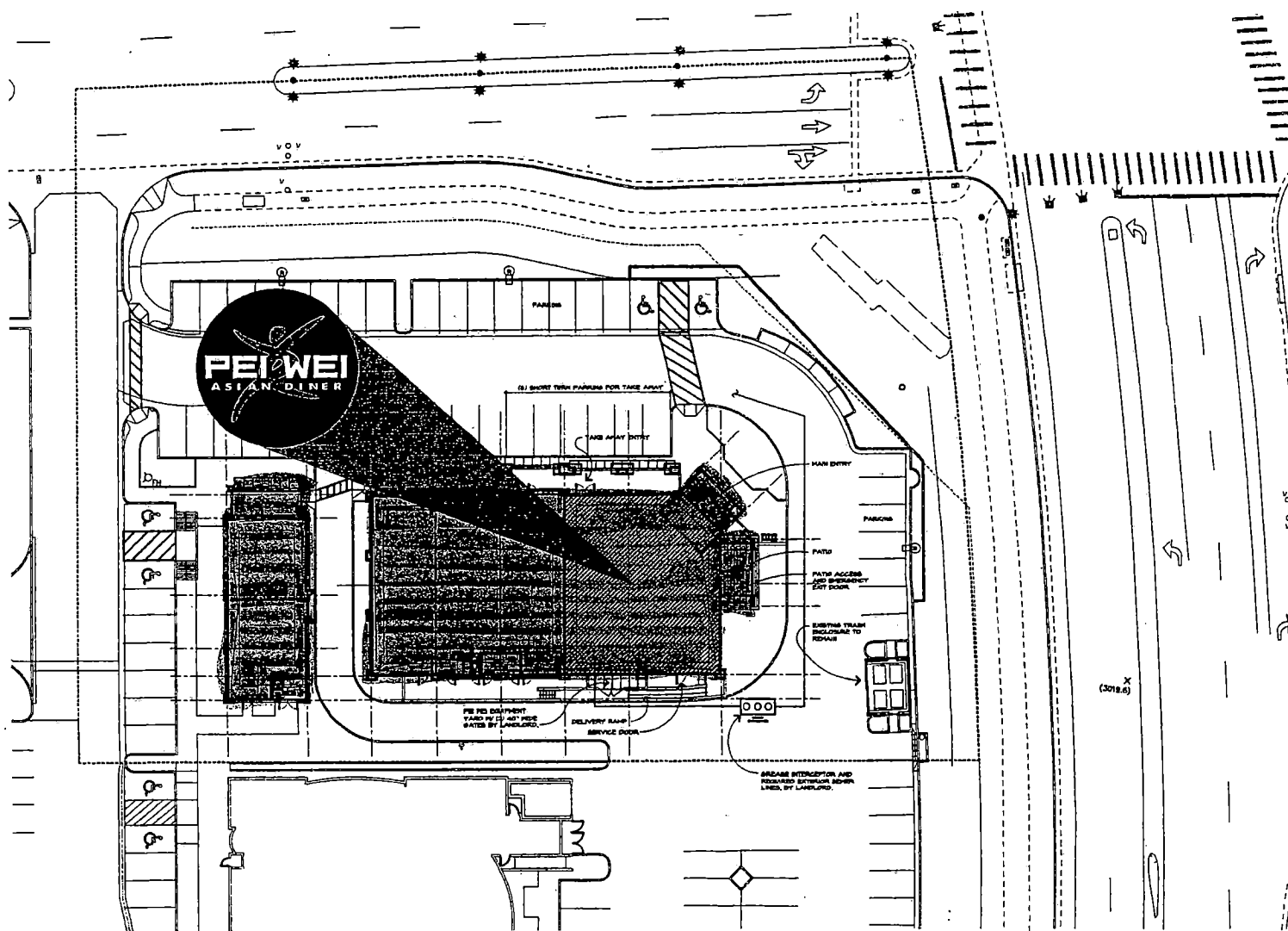
Print Name: Mark Fine

Subscribed and sworn before me

This 26<sup>th</sup> day of January, 2005

Shelly A Ryan  
Notary Public in and for said County and State





SITE PLAN

SUP-5998  
03-10-05 PC



#0045

PEI WEI  
ASIAN DINER  
CANYON POINTE  
CENTER DRIVE @  
SUMMERLIN CENTRE  
LAS VEGAS, NEVADA

CANYON POINTE  
CENTER DRIVE @  
SUMMERLIN CENTRE  
LAS VEGAS, NEVADA



PEI WEI  
ASIAN DINER  
CANYON POINTE  
CENTER DRIVE @  
SUMMERLIN CENTRE  
LAS VEGAS, NEVADA

AAD: fitch

DESIGN DEVELOPMENT 08/04/04

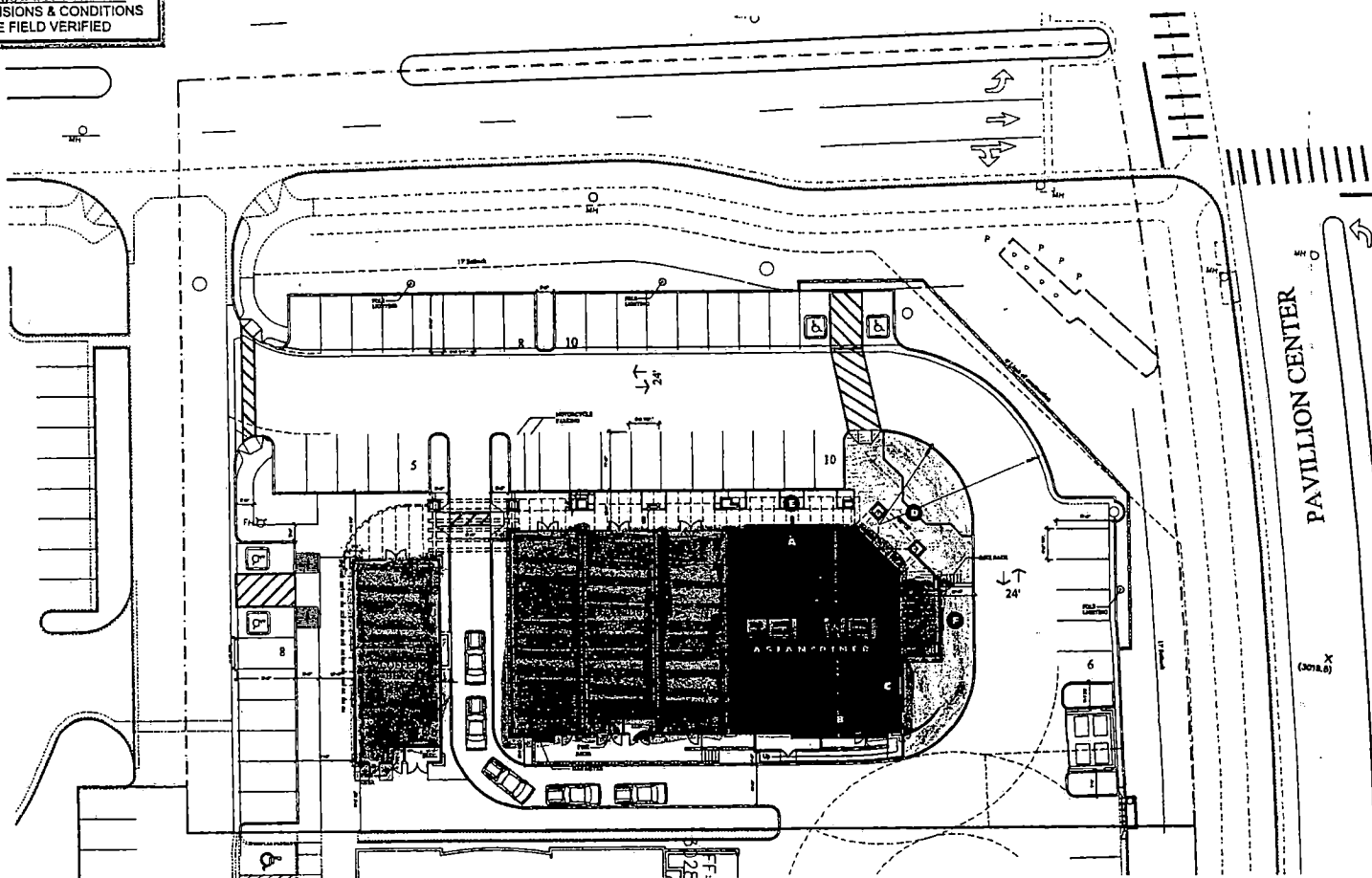
AAD: fitch  
Timothy G. Fitch, P.E. AIA  
Donald J. Hargrave, AIA  
15412 North Country Avenue, Suite 100  
Las Vegas, NV 89134  
415.733.1234  
www.aad-fitch.com

DATE: 08/04/04  
DRAWN BY: EC  
PROJECT NO: PEI-04-05  
SHEET: D1

SITE PLAN

**PRELIMINARY EXHIBIT**  
ALL DIMENSIONS & CONDITIONS  
TO BE FIELD VERIFIED

Exhibit F-1



**SITE PLAN**  
SCALE: NTS

**SUP-5998**  
**03-10-05 PC**

**PEI WEI**  
ASIAN DINER

|                 |                               |
|-----------------|-------------------------------|
| Design #        | C44806R5                      |
| Sheet           | 1 of 8                        |
| Client          | PEI WEI                       |
| Address         | CANYON POINT<br>LAS VEGAS, NV |
| Account Rep.    | J. MUELLER                    |
| Designer        | C. RUST                       |
| Date            | 06/30/04                      |
| Approval / Date |                               |
| Client          |                               |
| Sales           |                               |
| Estimating      |                               |
| Asst.           |                               |
| Engineering     |                               |
| Landlord        |                               |

Revision / Date  
R1: 06/27/04 REV TO CURRENT SPEC  
UPDATE FTTA SIGN, BLADE SUPPORT BY CS  
R2: 06/27/04 CHG RTNS FROM CDD, 8 - 10  
R3: 06/27/04 REV FTTA TO NEW SPEC  
R4: 06/27/04 ADD UPDATE BLADE & SITE PLAN  
R5: 06/27/04 ADD UPDATE SIGN TO WHEAT DOOR  
WELL BL

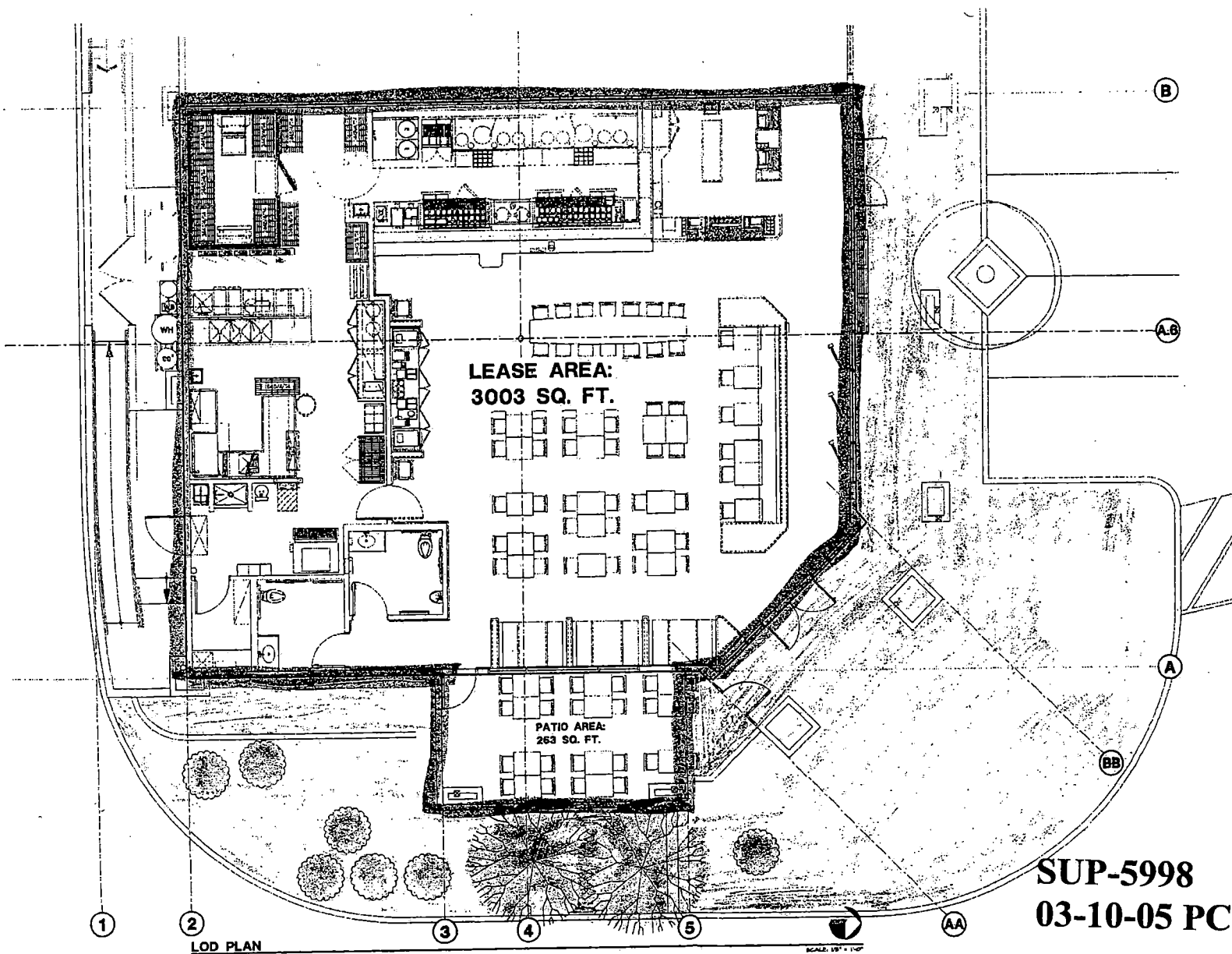
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12104 Villant San Antonio, TX 78216  
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2420 Vista Way San Jose, CA 95128  
760-987-7003 Fax 760-987-7033  
720 E. Hwy 24 - Bldg. 3 San Jose, CA 95128  
710-437-3307 Fax 710-437-3304  
100 East 43rd St Louisville, KY 40133  
502-483-3440 Fax 502-354-3840

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CONNECTION  
BY CUSTOMER**

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SHALL BE MADE IN ACCORDANCE WITH  
NATIONAL ELECTRICAL CODE



SUP-5998  
03-10-05 PC

#0045

CONTRACT NO. 03-10-05  
PROJECT NO. 03-10-05  
SHEET NO. 03-10-05  
DATE 03-10-05  
BY [Signature]  
CHECKED BY [Signature]  
APPROVED BY [Signature]

CANYON POINTE  
CENTER DRIVE @  
SUMMERLIN CENTRE  
LAS VEGAS, NEVADA



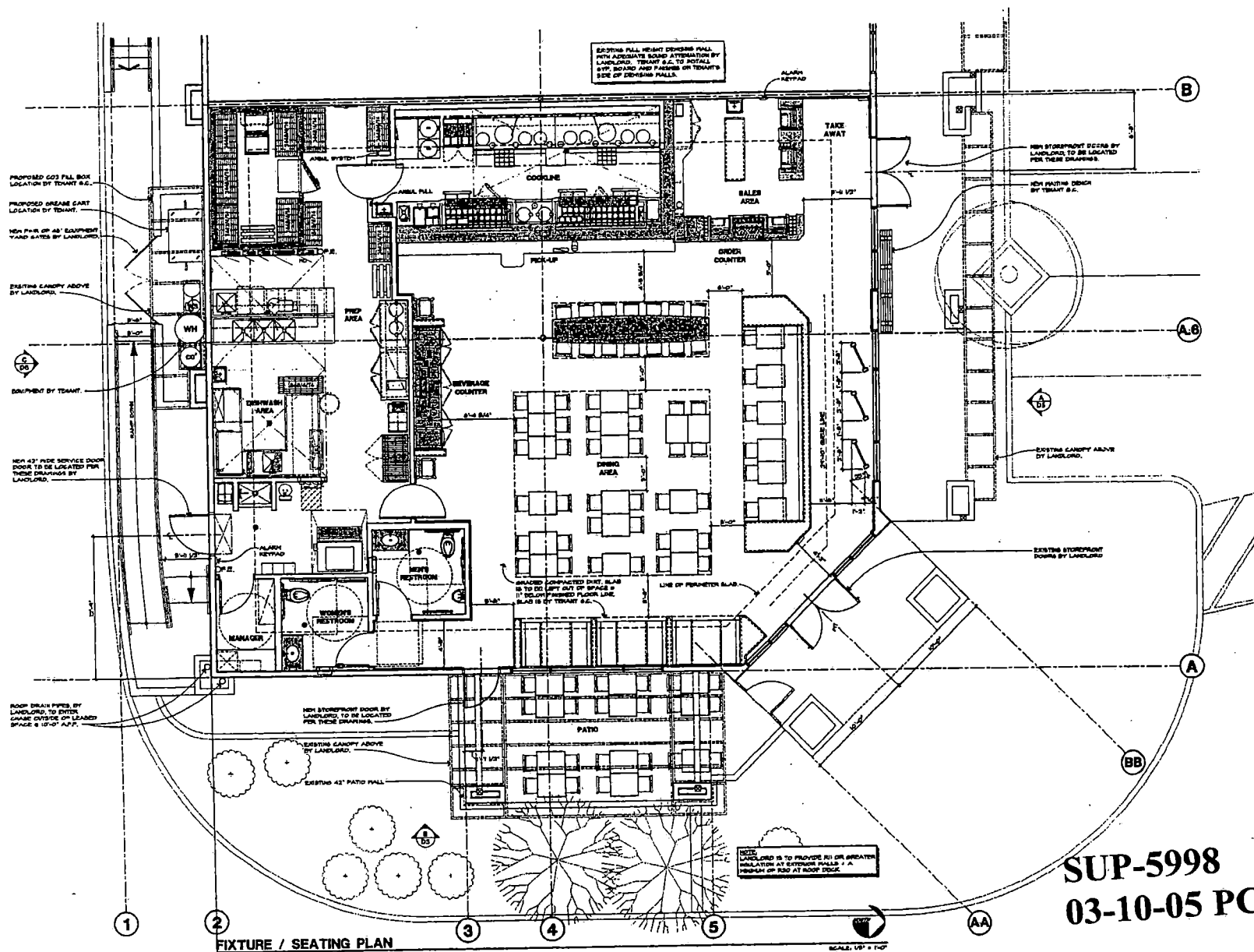
DESIGN DEVELOPMENT 08/04/04  
DATE 08/04/04  
SCALE 1/8" = 1'-0"  
DRAWN BY [Signature]  
PROJECT NO. 03-10-05

AAD: fitch

Timothy G. Fitch, AIA  
Doreen J. Hensley, AIA  
11055 South Country Highway, Suite  
100, Las Vegas, NV 89138  
Tel: 702/251-1234  
Fax: 702/251-1235  
www.aad-fitch.com

LOD PLAN

D9



#0045

OWNER: [illegible]  
 ARCHITECT: [illegible]  
 DATE: 08/04/04

CANYON POINTE  
 CENTER DRIVE @  
 SUMMERLIN CENTRE  
 LAS VEGAS, NEVADA



PROJECT: [illegible]  
 DATE: 08/04/04

AAD: fitch

THOMAS G. FITCH, AIA  
 1515 N. RICHMOND AVE.  
 SUITE 200  
 LAS VEGAS, NV 89102  
 (702) 735-1234  
 www.aad-fitch.com

SUP-5998  
 03-10-05 PC

DESIGN DEVELOPMENT 08/04/04

DATE: 08/04/04  
 SCALE: 1/8" = 1'-0"  
 DRAWN BY: [illegible]  
 CHECKED BY: [illegible]  
 PROJECT NO: PE-04-105

FIXTURE / SEATING PLAN



SUP-5998 - APPLICANT: PEI WEI - OWNER: MARK L. FINE & ASSOCIATES  
10830 WEST CHARLESTON BOULEVARD, SUITE 110  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

# JONES VARGAS

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TEL (702) 862-3300 FAX (702) 734-2722  
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GEORGE L. VARGAS (1909 - 1985)  
JOHN C. BARTLETT (1910 - 1982)  
LOUIS MEAD DIXON (1919 - 1993)  
GARY T. FOREMASTER (1953 - 1998)

OF COUNSEL  
DOUGLAS G. CROSBY

BRIAN J. MATTER  
EXECUTIVE DIRECTOR

PETE ERNAUT\*  
MANAGING DIRECTOR  
GOVERNMENT AFFAIRS  
AND PUBLIC POLICY

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MELVIN D. CLOSE, JR.  
JOSEPH W. BROWN  
ALBERT F. PAGNI  
JOHN P. SANDE, III  
WILLIAM J. RAGGIO  
BOB MILLER  
GARY R. GOODHEART  
MICHAEL E. BUCKLEY  
RICHARD F. JOST  
JANET L. CHUBB  
DOUGLAS M. COHEN  
KIRK B. LENHARD  
KEVIN R. STOLWORTHY  
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PAUL A. LEMCKE  
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MICHAEL P. LINDELL  
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KEVIN E. BECK  
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DAVID A. CARROLL  
KRISANNE S. CUNNINGHAM  
TRACY A. DIFILIPPO  
ELIZABETH M. FIELDER  
EDWARD M. GARCIA  
JANA L. GILL  
RYAN W. HERRICK  
BRIAN R. IRVINE  
MATTHEW T. MILONE

CHRISTOPHER C. MONEY  
TAMARA BEATTY PETERSON  
MOLLY MALONE REZAC  
BRETT J. SCOLARI  
STEVEN G. SHEVORSKI  
ARIEL E. STERN  
TIFFANY J. SWANIS  
BRADLEY R. TATOM  
AMY N. TIRRE  
GORDON H. WARREN

January 21, 2005

Development Services Center  
Planning and Development  
731 South Fourth Street  
Las Vegas, NV 89101

Hand Delivered

Re: ***Justification Letter as requested by Special Use Permit Application for Pei Wei Asian Diner, Inc. (Parcel No. 137-36-414-002).***

Dear Ms. Wheeler:

Enclosed is a Special Use Permit application form for a restaurant with a service bar and all requested documents attached thereto.

Pei Wei Asian Diner, Inc. ("Pei Wei") is a casual dining establishment that plans to operate in the shopping plaza located at the intersection of Charleston and Pavilion Center in Las Vegas, Nevada. The applicant seeks to operate a restaurant with an attached service bar. The proposed use complies with all applicable provisions of Title 19 of the Las Vegas Code.

The proposed use is compatible with adjacent uses and will be conducted in a manner that is harmonious and compatible with uses located on the same and surrounding properties. The proposed restaurant will be open during normal restaurant business hours and plans to operate in a shopping plaza that will have other similar dining establishments.

The proposed operation should also have a minimal effect on public safety, transportation, and utility services as the greater shopping area has already accounted for any impact upon these services.

SUP-5998

January 21, 2005  
Page 2

For these reasons, we ask that the Planning and Development Department grant this Special Use Permit. Thank you for your consideration.

Very truly yours,

JONES VARGAS



Edward M. Garcia

EMG/l  
Enclosures as stated



SUP-5998

HERBERT M. JONES  
MELVIN D. CLOSE, JR.  
JOSEPH W. BROWN  
ALBERT F. PAGNI  
JOHN P. SANDE, III  
WILLIAM J. RAGGIO  
BOB MILLER  
GARY R. GOODHEART  
MICHAEL E. BUCKLEY  
RICHARD F. JOST  
JANET L. CHUBB  
DOUGLAS M. COHEN  
KIRK B. LENHARD  
KEVIN R. STOLWORTHY  
JAMES L. WADHAMS  
JODI R. GODDHEART  
PAUL A. LEMCKE  
PHILIP M. BALLIF

MICHAEL P. LINDELL  
MICHAEL G. ALONSO  
ANN MORGAN  
R. DOUGLAS KURDZIEL  
KRIS T. BALLARD  
CRAIG H. NORVILLE  
WILLIAM C. DAVIS, JR.  
KARL L. NIELSON  
DAWN R. HINMAN  
PATRICK A. ROSE  
PATRICK J. SHEEHAN  
ROBERT C. ANDERSON  
TONY F. SANCHEZ III  
CLARK V. VELLIS  
JOHN P. DESMOND  
SCOTT M. SCHOENWALD  
CONSTANCE L. AKRIDGE

## JONES VARGAS

ATTORNEYS AT LAW  
3773 HOWARD HUGHES PARKWAY  
THIRD FLOOR SOUTH  
LAS VEGAS, NEVADA 89109

TEL (702) 862-3300 FAX (702) 734-2722

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KEVIN E. BECK  
JENNIFER BEATTY BRINTON  
DAVID A. CARROLL  
KRISANNE S. CUNNINGHAM  
TRACY A. DIFILLIPPO  
ELIZABETH M. FIELDER  
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JOHN P. SANDE, IV  
BRETT J. SCOLARI  
STEVEN G. SHEVORSKI  
ARIEL E. STERN  
TIFFANY J. SWANIS  
BRADLEY R. TATOM  
AMY N. TIRRE  
GORDON H. WARREN

CLIFFORD A. JONES (1912 - 2001)  
GEORGE L. VARGAS (1909 - 1985)  
JOHN C. BARTLETT (1910 - 1982)  
LOUIS MEAD DIXON (1919 - 1993)  
GARY T. FOREMASTER (1953 - 1998)

BRIAN J. MATTER  
EXECUTIVE DIRECTOR

January 26, 2005

**Hand Delivered**

FDG-CP2, LLC  
Attn: Mark L. Fine  
3960 Howard Hughes Parkway  
Suite 750-A  
Las Vegas, NV 89109

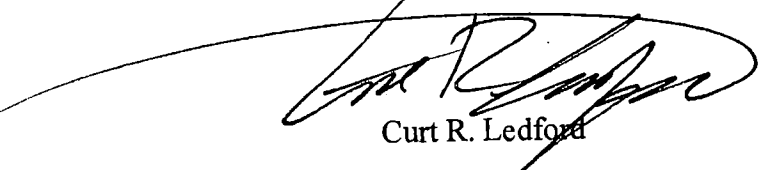
Dear Mr. Fine:

I am currently working with Pei Wei Asian Diner, Inc. to secure a special use permit from the City of Las Vegas for a restaurant with a service bar for the Pei Wei Asian Diner located at Charleston and Pavilion Center in Las Vegas (APN # 137-36-414-002). The City requires that we obtain explicit consent from the land owner to the lessee prior to approval of the application. We now ask for that consent.

I have taken the liberty of drafting a document, attached hereto, that gives Pei Wei consent to obtain this special use permit. Please call me at 702-862-3391 if you have any questions regarding this request or the attached document. Thank you.

Very Truly Yours,

JONES VARGAS

  
Curt R. Ledford

CRL/dla  
Enclosures as stated.

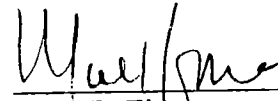
SUP-5998

FDG-CP2, LLC  
Attn: Mark L. Fine  
3960 Howard Hughes Parkway  
Suite 750-A  
Las Vegas, Nevada 89109

RE: Authority to request Use Permit for parcel no. 137-36-414-002

To whom it may concern:

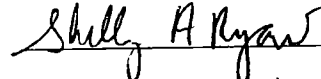
I, the undersigned manager of FDG-CP2, LLC, ("FDG-CP2") a Nevada limited liability company, do hereby authorize Pei Wei Asian Diner, Inc. ("Pei Wei"), a Nevada corporation, to secure an use permit from the City of Las Vegas for certain real property owned by FDG-CP2 more specifically described as Assessor Parcel Number 137-36-414-002. As manager of FDG-CP2, I am authorized to sign on behalf of the company.

  
Mark L. Fine,

Manager, FDG-CP2, LLC, a Nevada  
limited liability company.

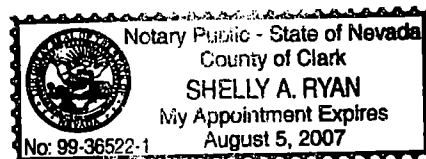
State of Nevada  
County of Clark

This instrument was acknowledged before me on 26<sup>th</sup> (date) by January (name(s) of person(s)) as Mark Fine (type of authority, e.g., officer, trustee, etc.) of Manager (name of party on behalf of whom instrument was executed).

  
(Signature of notarial officer)

(Seal, if any)

\_\_\_\_\_  
(Title and rank (optional))



SUP-5998

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-6004 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: MULUGETA BOUR - OWNER: NEVADA BROOKS COOK - Request for a Special Use Permit FOR A PROPOSED LIQUOR ESTABLISHMENT (OFF-PREMISE CONSUMPTION) TO ALLOW FULL LIQUOR SALES at 1616 South Las Vegas Boulevard (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 1 (Tarkanian).**

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**McSWAIN – APPROVED subject to conditions and adding the following condition:**

- **This application shall be subject to a one-year review at a Public Hearing by the Planning Commission.**  
**– UNANIMOUS with DAVENPORT and TRUESDELL abstaining and EVANS voting NO**

**To be heard by the City Council on 04/06/2005**

NOTE: Commissioner Davenport abstained on this item, as the owner of the subject site also owns Property Group, which is the management company for his homeowner's association. Vice Chairman Truesdell abstained on this item, as he owns property north and south of the Notification area and felt it would be inappropriate to vote.

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 38 – SUP-6004

**MINUTES – Continued:**

GARY LEOBOLD, Planning and Development, gave a brief overview of the application. Staff recommended denial due to a saturation of uses within a limited area. In addition, the proposed use would compromise public welfare and safety.

MULUGETA BOUR, 1616 South Las Vegas Boulevard, Las Vegas, NV, stated that most of the surrounding establishments do not sell liquor, only beer and wine. There is a bar and a drug store in the area that sell liquor, and he would like the opportunity to do the same. He felt that having the opportunity to sell liquor would supplement his earnings. Regarding his justification letter, MR. BOUR clarified for COMMISSIONER McSWAIN that there are some establishments that have a license to sell liquor but do not. MR. RANKIN confirmed for COMMISSIONER McSWAIN that the City Council revoked a previous liquor license on the subject site due to the applicant's suitability, but MR. BOUR was not the applicant. In addition, staff confirmed with Metro that there were no concerns relative to this site at this time.

COMMISSIONER McSWAIN did not believe that adding a liquor license in this particular area along Las Vegas Boulevard would be a detriment to the area. COMMISSIONER GOYNES agreed with COMMISSIONER McSWAIN and supported the application, given the fact that the license revocation was based upon a previous applicant's suitability.

COMMISSIONER EVANS commented that there have been previous efforts to improve this area and agreed with staff that the area is over saturated. In addition, he felt that the parking configuration within this center was compromised, as he has experienced difficulty entering and exiting from this center. He expressed concern with having liquor sells on all four corners, as there have been previous problems with the subject site relative to debris, pan handling and graffiti. Although MR. BOUR validated COMMISSIONER EVANS' concerns, he pointed out that he is at his store 90% of the time and these problems do not exist on his property. He is committed to maintaining his property and would continue to do so, even with the liquor license, if approved.

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed.

(8:58 – 9:07)

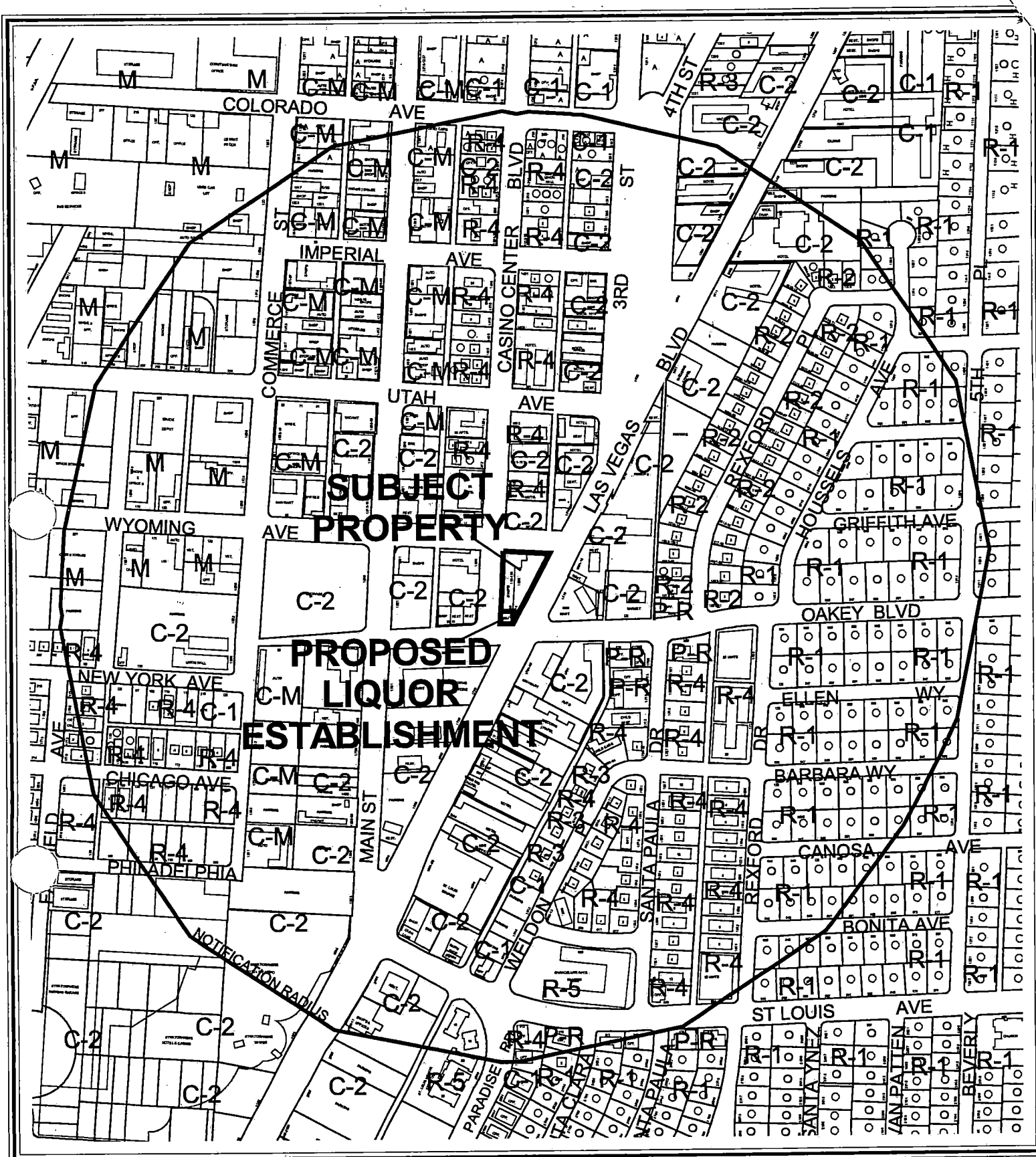
3-1637

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 38 – SUP-6004

**CONDITIONS:**

Planning and Development

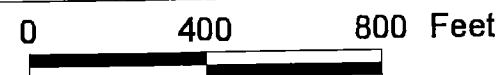
1. Conformance to all Minimum Requirements under Title 19.04.050 for a Liquor Establishment (Off-sale) use.
2. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
3. All City Code requirements and design standards of all City departments must be satisfied.
4. Approval of this Special Use Permit does not constitute approval of a liquor license.
5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.



**CASE: SUP-6004**

**RADIUS: 1500 FT**

**ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)**



**ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)**





**SUP-6004**  
**Package Liquor Sales**

**Business Licenses**

- Child Care/Children Facility
- Supper Club/Restaurant Service Bar
- Tavern
- Package Liquor Sales

- RELIGIOUS
- PARKS
- SCHOOLS

- Subject Property
- 400 foot buffer



# City of Las Vegas

## AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 10 , 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-6004 - APPLICANT: MULUGETA BOUR - OWNER:  
NEVADA BROOKS COOK

---

### **\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**    **DENIAL**    If Approved, subject to:

#### **Planning and Development**

1. Conformance to all Minimum Requirements under Title 19.04.050 for a Liquor Establishment (Off-sale) use.
2. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
3. All City Code requirements and design standards of all City departments must be satisfied.
4. Approval of this Special Use Permit does not constitute approval of a liquor license.
5. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Special Use Permit for a proposed Liquor Establishment (Off-Premise Consumption) within an existing convenience store at 1616 South Las Vegas Boulevard.

**B) Applicant's Justification**

The applicant states that the existing business has been properly maintained and is a benefit to the neighborhood, and that the sale of liquor is necessary for the store to remain in business.

**BACKGROUND INFORMATION**

**A) Related Actions**

10/13/97 The City Council approved a request for a Special Use Permit (U-0075-97) for the Off-Premise Sale of Beer and Wine in conjunction with a proposed convenience store. The Planning Commission recommended approval of the request on 09/11/97.

**B) Pre-Application Meeting**

01/05/05 At the pre-application conference, issues were discussed relative to the separation distance requirements.

**C) Neighborhood Meetings**

A neighborhood meeting is not required as part of this application request.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Net Acres: 0.56

**SUP-6004 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

**B) Existing Land Use**

Subject Property: Commercial Shopping Center  
 North: Undeveloped  
 Tavern  
 South: Drugstore  
 East: Convenience Store  
 Service Station  
 Restaurant  
 West: Motel  
 Restaurant

**C) Planned Land Use**

Subject Property: C (Commercial)  
 North: C (Commercial)  
 South: C (Commercial)  
 East: C (Commercial)  
 West: C (Commercial)

**D) Existing Zoning**

Subject Property: C-2 (General Commercial)  
 North: C-2 (General Commercial)  
 South: C-2 (General Commercial)  
 East: C-2 (General Commercial)  
 West: C-2 (General Commercial)

**E) General Plan Compliance**

The subject property is located within the boundaries of the Las Vegas Redevelopment District, and has a C (Commercial) land use designation. The C (Commercial) designation permits office uses, limited commercial uses, and general commercial uses. The convenience store use is consistent with the General Plan designation.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            |           |
| Downtown Centennial Plan                          | X          |           |
| Redevelopment Plan Area                           | X          |           |
| <b>Special Overlay District</b>                   |            |           |
| Signage District                                  | X          |           |
| <b>Trails</b>                                     |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>County/North Las Vegas/HOA Notification</b>    |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           |            | X         |

**Redevelopment Plan Area**

As noted above, the parcel is within the boundaries of the Las Vegas Redevelopment Area, with a C (Commercial) land use designation. The use is in conformance with the Redevelopment Plan.

**Downtown Centennial Plan**

The parcel is within the Las Vegas Downtown Centennial Plan boundaries, and is located in the Northern Strip District, which encourages major hotel-casino projects along Las Vegas Boulevard and Sahara Avenue. Height, setback, parking requirements and other development regulations are not automatically applied to properties within the Downtown Centennial Plan area; however, additional streetscape and architectural requirements are applicable.

**Las Vegas Boulevard Scenic Byway Overlay District**

The subject property is located within the Scenic Byway Overlay, which is intended to preserve the character of Las Vegas Boulevard as a nighttime urban scenic byway. The Overlay District requires the use of neon or animation for all signage, and prohibits new off-premise signage.

**ANALYSIS**

**A) Zoning Code Compliance**

**A1) Parking and Traffic Standards**

Title 19.06.060 exempts properties within the Downtown Centennial Plan area from the automatic application of parking requirements. The following table details the parking figures for the development:

| Uses           | GFA    | Provided Parking |               |
|----------------|--------|------------------|---------------|
|                |        | Regular          | Handicap      |
| General Retail | 13,822 | 35               | Not indicated |

A total of 35 parking spaces are existing on the site; the information submitted by the applicant does not indicate the number of handicap spaces that are provided. As the proposed Special Use Permit request will not increase the square footage of the existing building or result in a more stringent parking requirement, no additional parking spaces are required as a result of the request.

**A2) Minimum Distance Separation Requirements**

Pursuant to Title 19.04, the following Standards apply to the subject proposal:

| Standards                          | Code Requirement                                                                                                | Provided |
|------------------------------------|-----------------------------------------------------------------------------------------------------------------|----------|
| Liquor Establishment (Off-Premise) | 400 feet of any church, synagogue, school, child care facility licensed for more than 12 children, or City park | Yes      |

The proposed use will be located within an existing convenience store, and is more than 400 feet from any protected use. It should be noted that there are four other Liquor Establishments and two Taverns within the required separation distance. A child care facility is located approximately 450 to the southeast of the subject property at the intersection of Weldon Place and Santa Paula Drive.

**B) General Analysis and Discussion**

- Zoning

The subject property is currently zoned C-2 (General Commercial). A Liquor Establishment (Off-sale) use is permitted in the C-2 (General Commercial) district upon the approval of a Special Use Permit.

- Use

Title 19.04.050 establishes the criteria for the approval of alcohol-related uses within the city. The Code requires this Liquor Establishment (Off-sale) use to be a minimum of 400 feet from any church, synagogue, school, childcare facility licensed for more than twelve children, or City park as measured from property line to property line. In this case, there are no protected uses within the required minimum 400-foot distance separation radius. The proposed sale of liquor will be an accessory use to an existing convenience store (Oakey Discount Market). The convenience store was originally issued a business license on 03/31/03.

- Conditions

The following conditions are stipulated for the Liquor Establishment (On-sale/Off-sale/On-Off sale) use within a C-1 (Limited Commercial) zoning district. The conditions with asterisks are cannot be waived:

- \*1. Except as otherwise provided in this Chapter, no liquor establishment (on-sale/off-sale/on-off-sale) use (hereinafter "liquor establishment") shall be located within four hundred feet of any church, synagogue, school, childcare facility licensed for more than twelve children, or City park.

- \*2. Except as otherwise provided in Subsection (3) below, the distances referred to in Subsection 1 shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed liquor establishment which is closest to the existing use to which the measurement pertains, and the other being the property line of that existing use which is closest to the proposed liquor establishment. The distance shall be measured in a straight line without regard to intervening obstacles. For purposes of measurement, the term "property line" refers to property lines of fee interest parcels and does not include the property line of:
- a. Any leasehold parcel; or
  - b. Any parcel which lacks access to a public street or has no area for on-site parking and which has been created so as to avoid the distance limitation described in Subsection 1.
- \*3. In the case of a liquor establishment proposed to be located on a parcel of at least eighty acres in size, the minimum distances referred to in Paragraph 1 shall be measured in a straight line:
- a. From the nearest property line of the existing use to the nearest portion of the structure in which the liquor establishment will be located, without regard to intervening obstacles; or
  - b. In the case of a proposed liquor establishment which will be located within a shopping center or other multiple-tenant structure, from the nearest property line of the existing use to the nearest property line of a leasehold or occupancy parcel in which the liquor establishment will be located, without regard to intervening obstacles.
4. When considering a Special Use Permit application for a liquor establishment which also requires a waiver of the distance limitation in Subsection 1, the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.
5. The minimum distance requirements in Subsection (1) do not apply to:
- a. An establishment which has a non-restricted gaming license in connection with a hotel having 200 or more guest rooms on or before July 1, 1992 or in connection with a resort hotel having in excess of 200 guest rooms after July 1, 1992; or
  - b. A proposed retail establishment having more than 50,000 square feet or retail floor space.
- \*6. All businesses, which sell alcoholic beverages, shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

7. The minimum distance requirements set forth in Subsection (1), which are otherwise non-waivable under the provisions of this subdivision, may be waived:
- a. In accordance with the provisions of Subsection 19.040.050(A)(4) for any liquor establishment, which is proposed to be located on a parcel within the Downtown Casino Overlay District;
  - b. In accordance with the applicable provisions of the "Town Center Development Standards Manual" for any liquor establishment which is proposed to be located within the T-C (Town Center) Zoning District and which is designated MS-TC (Main Street Mixed Use) in the Town Center Land Use Plan; or
  - c. In connection with a proposed retail establishment having between 20,000 square feet and 50,000 square feet of retail floor space, if no more than 10% of the retail floor space is regularly devoted to the display or merchandising of alcoholic beverages; or
  - d. In connection with a retail establishment having less than 20,000 square feet of retail floor space, if the area to be used for the sale, display or merchandising of alcoholic beverages and each use to be protected are separated by a highway or a right-of-way with a width of at least 100 feet.

The application appears to meet all the applicable conditions of Title 19.04.050. However, it should be noted that four other Liquor Establishments and two Taverns are located within the separation radius.

## FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed Liquor Establishment (Off-sale) use will be an accessory use to an existing convenience store. It is located in a commercial area, where other Liquor Establishments are in the immediate proximity.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The subject site is physically suitable for the type and intensity of land use proposed. The addition of liquor sales does not affect the parking requirement for the convenience store.

3. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."

The subject location is accessible from Las Vegas Boulevard, a 100-foot Primary Arterial, and from Wyoming Avenue, an 80-foot Secondary Collector. The street facilities are adequate to accommodate the proposed use.

4. "Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."

Public health, safety and welfare may be compromised by the saturation of Liquor Establishments within the vicinity of the subject site.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED 17

NOTICES MAILED 372

APPROVALS 0

PROTESTS 0



## PLANNING & DEVELOPMENT DEPARTMENT

### STATEMENT OF FINANCIAL INTEREST

Case Number: SUP-6004 APN: 162-03-210-058

Name of Property Owner: NEVADA COOK & Robyne Brooks

Name of Applicant: \_\_\_\_\_

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

\_\_\_\_\_ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

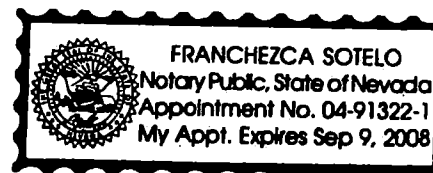
Signature of Property Owner/Authorized Agent: Robyne Brooks

Print Name: Robyne Brooks

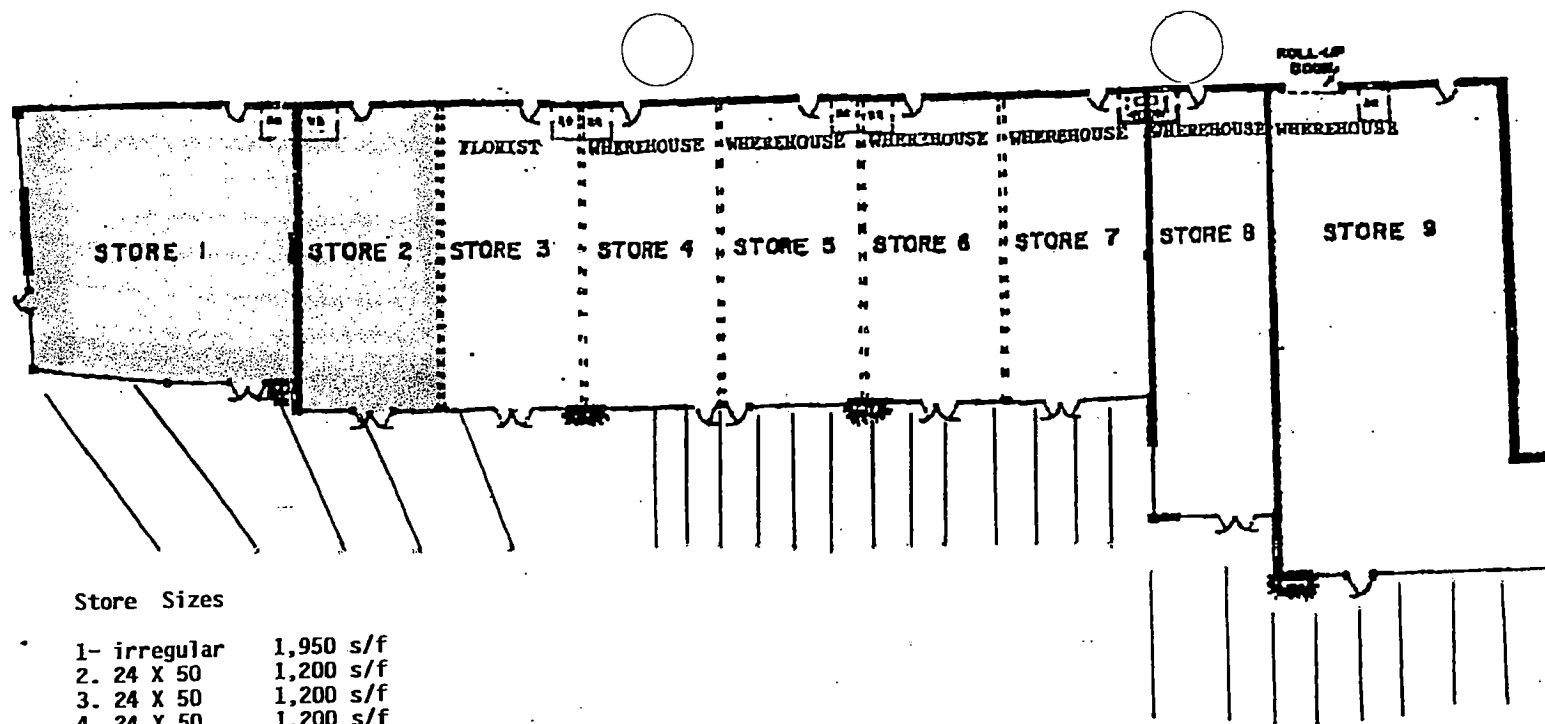
Subscribed and sworn before me

This 05 day of January, 2005

[Signature]  
Notary Public in and for said County and State



OAKLEY BLVD.



ADDITIONAL  
PARKING  
LOT.

WYOMING AV.

Store Sizes

|               |           |
|---------------|-----------|
| 1- irregular  | 1,950 s/f |
| 2. 24 X 50    | 1,200 s/f |
| 3. 24 X 50    | 1,200 s/f |
| 4. 24 X 50    | 1,200 s/f |
| 5. 24 X 50    | 1,200 s/f |
| 6. 24 X 50    | 1,200 s/f |
| 7. 24 X 50    | 1,200 s/f |
| 8. 20 X 70    | 1,400 s/f |
| 9.- irregular | 3,272 s/f |

Total sq. ft. 13,822

1600 - 1616 Las Vegas Blvd. So.

RECEIVED

JAN 24 2005

SUP-6004  
03-10-05 PC



SUP-6004 - APPLICANT: MULUGETA BOUR - OWNER: NEVADA BROOKS COOK  
1616 SOUTH LAS VEGAS BOULEVARD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

Friday, January 21, 2005

As owner of the Oakey Discount Market at 1616 Las Vegas Blvd., S. @ the north-west corner of W. Oakey Blvd., I am respectfully requesting the granting of a liquor license for my business. It is essential.

Since opening, our Oakey Discount Market has been deemed as a satisfactory welcome (desirables) to what's been considered for years as a somewhat unsavory neighborhood in our community.

Not only has our business been, so far, a somewhat success, but as owner, have worked & continue to work many long hours, daily, to establish a personal relationship with our customers, most of which, are hard-working as I am "repeat customers" from right here in the neighborhood of my store.

Unfortunately however, many of my customers, as well as out-of-towners, often strolling down Las Vegas Blvd., are asking for liquor, which I have not yet, obviously, been authorized to sell to them.

Me and my customers know "for certain," that the Oakey Discount Market is a prime applicant & location for sale of liquor. The Metropolitan Police & City Inspectors can not deny that our market, its surrounding area in which the market is responsible for properly maintaining, as well as, our average customer, have been an ideal example of and for what's been expected & desired by & for businesses that have been sought after for many neighborhoods throughout Las Vegas.

Our business is & has been descent & respectable & needs not only to survive, but to thrive or will be in danger of slowly dying. The aforementioned is "more" than a real concern, for me & worry for my wife, now pregnant with my soon-to-be twin little girls.

It is vital to our community, as well as to ensure that a business remains a success for many years to come, be rewarded for its investment, commitment & doing all the right things in a neighborhood where others may not be quite so eager to invest & be a part of.

Sincerely,

Mulugeta Bour  
1616 Las Vegas Blvd., S.  
Las Vegas, NV 89104

SUP-6004

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SUP-6019 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: CHARLES LIPSCHITZ - OWNER: LEONARD W. CARPI AND ELIZABETH L. CARPI** - Request for a Special Use Permit FOR A PROPOSED FINANCIAL INSTITUTION, SPECIFIED AND WAIVERS OF THE RESIDENTIAL SEPARATION, FLOOR AREA STANDARDS AND A WAIVER OF THE 1,000 FOOT DISTANCE SEPARATION FROM AN EXISTING FINANCIAL INSTITUTION, SPECIFIED at 4347 West Charleston Boulevard (a portion of APN 162-06-510-001), R-E (Residence Estates) and C-1 (Limited Commercial) Zones, Ward 1 (Tarkanian).

**C.C.: 04/06/05 - IF DENIED: P.C.: FINAL ACTION (Unless appealed within 10 days)**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter
5. Submitted at Meeting – Copy of Petition of Opposition previously submitted to staff, which included four additional signatures

**MOTION:**

**McSWAIN – DENIED – UNANIMOUS with STEINMAN excused**

**This is Final Action**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning and Development, gave a brief overview of the proposed development. The proposed development is not appropriate as it does not meet the Code requirements relative to the separation distance, proximity to residential and the minimum square footage. As a result, staff recommended denial.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 39 – SUP-6019

**MINUTES – Continued:**

C CHARLES LIPSCHITZ, 4914 Boulder Highway, No. B, Las Vegas, NV, 89121, responded to staff's recommendation for denial. He pointed out that the actual square footage is in excess of 1,600 square feet when considering the storage area in the rear of the property, which is included in his rental fees. In addition, the subject property is on the street front of Charleston Boulevard, and in the rear of the property are a parking area and other shops. So, there are no residences within 200 feet. From the store front to across the street, there are houses, but he measured the distance being beyond 200 feet. These houses are not occupied with residents but are offices. He showed photos where business signs are situated on these properties. Lastly, there is no check cashing facility within 1,000 feet of the next check-cashing store. He was able to obtain information verifying that although the nearby Wal-Mart has a license, the check cashing privileges are not currently being used.

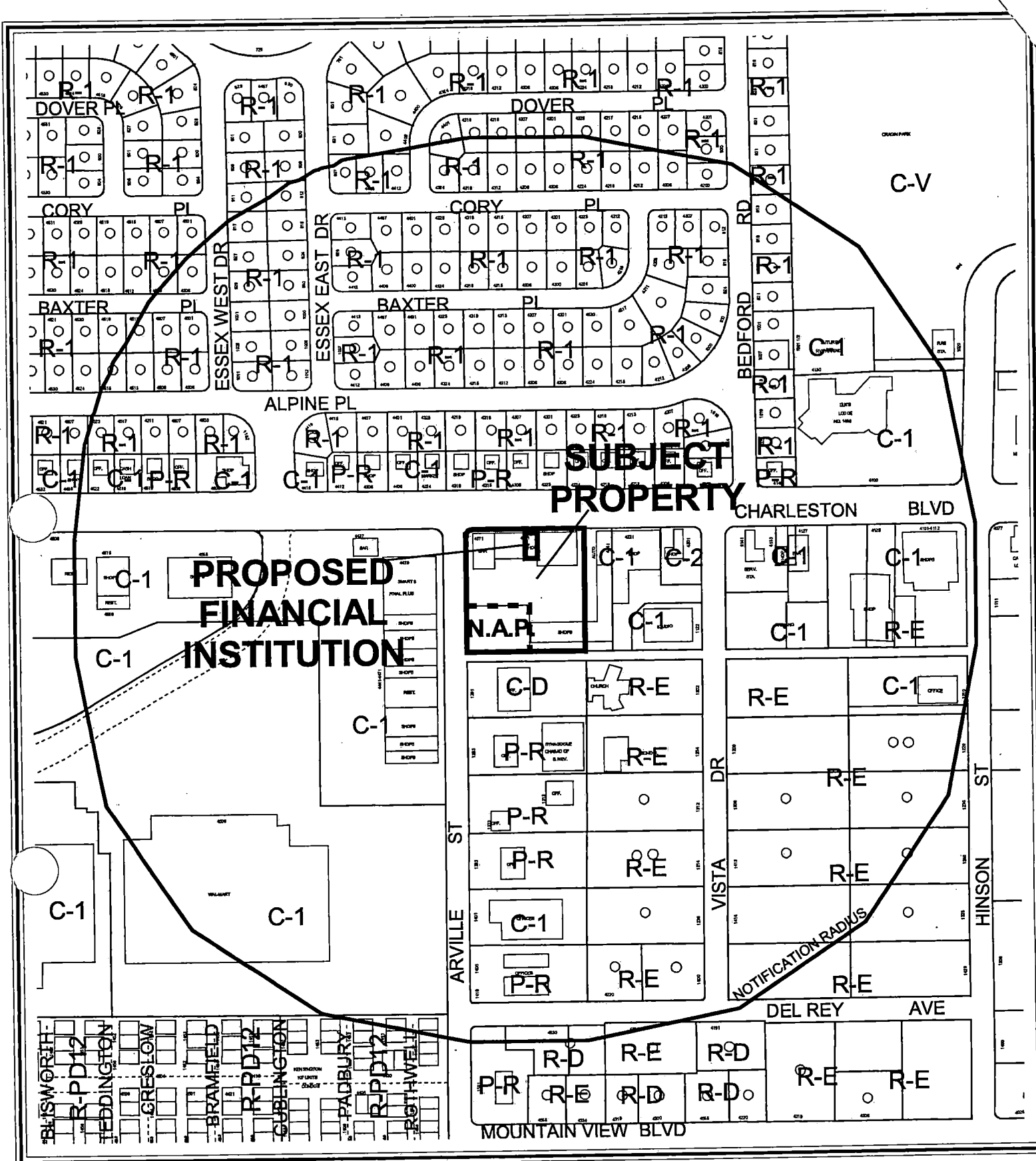
THOMAS and LIZ McGRATH, 1413 Vista Drive, submitted a previously signed petition of opposition that was initially faxed to Planning and Development staff. He stated that the petition had four new signatures. He emphasized that the area from Valley View Boulevard up to Decatur Boulevard has five check cashing payday loan centers. The residents adamantly opposed the proposed development. MRS. McGRATH showed photos confirming how the subject site was deplorable and not maintained by the landlord. She noted that no consideration should be given to this application, being that they have not been considerate of their neighbors. MR. LIPSCHITZ responded that he was the applicant requesting the Special Use Permit and not the landlord.

C MR. LEOBOLD clarified for VICE CHAIRMAN TRUESDELL that the small pad within the subject site is still zoned as Residential. He added that across the street on the north side of Charleston Boulevard, the 200-foot distance requirement intersects the rear yards of approximately 10 lots. Although the applicant is requesting the Special Use Permit, VICE CHAIRMAN TRUESDELL pointed out that the property owner has a responsibility as well. He agreed with the residents in that the landlord should not be rewarded when the subject site has not been maintained. He did not feel that the proposed financial institution was appropriate for the subject site given its location. COMMISSIONER McSWAIN agreed with staff and VICE CHAIRMAN TRUESDELL'S comments.

CHAIRMAN NIGRO declared the Public Hearing closed.

(9:07 – 9:17)

3-2014

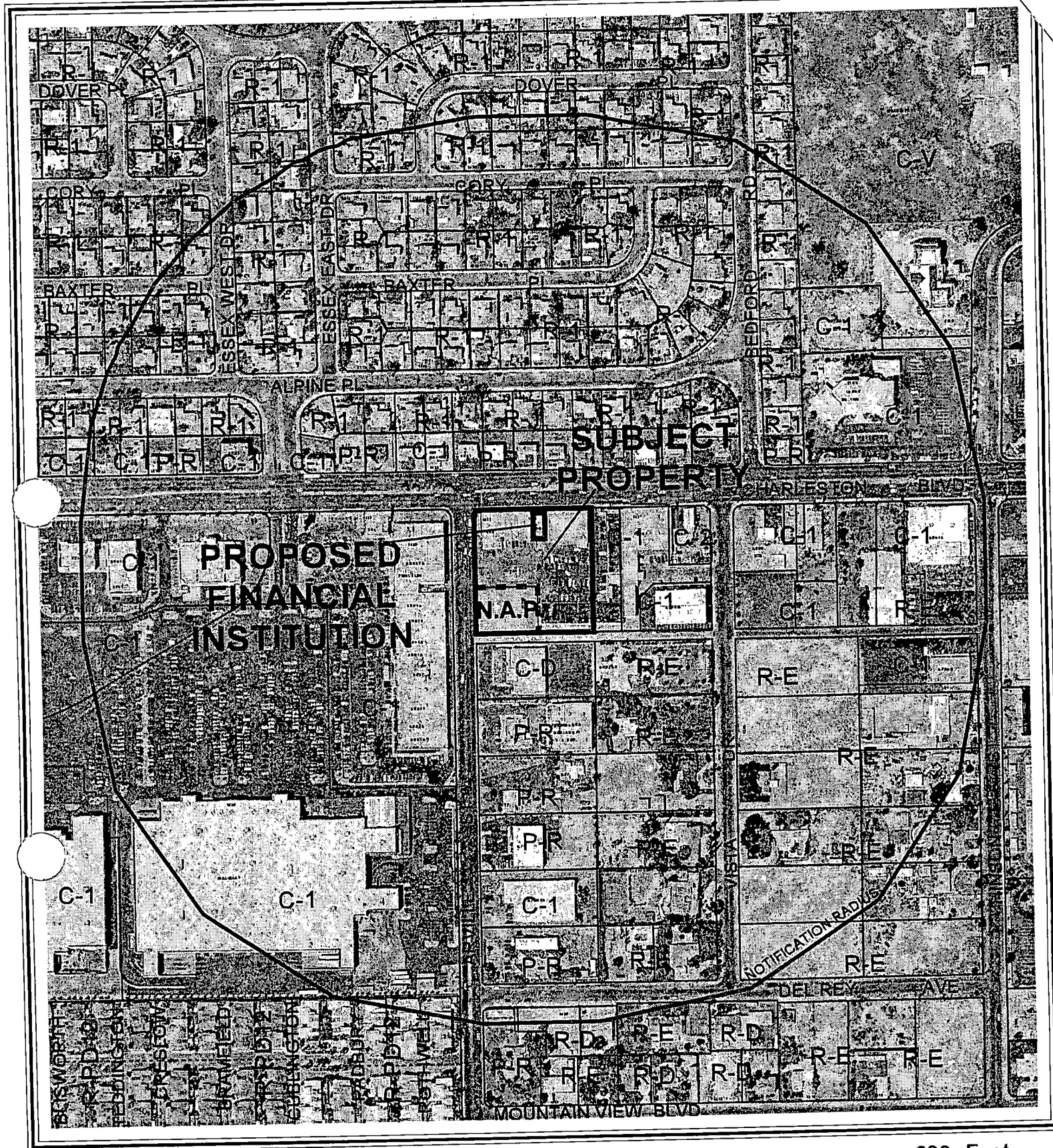


**CASE: SUP-6019**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY:**

**R-E (RESIDENCE ESTATES) AND C-1 (LIMITED COMMERCIAL)**



CASE: SUP-6019

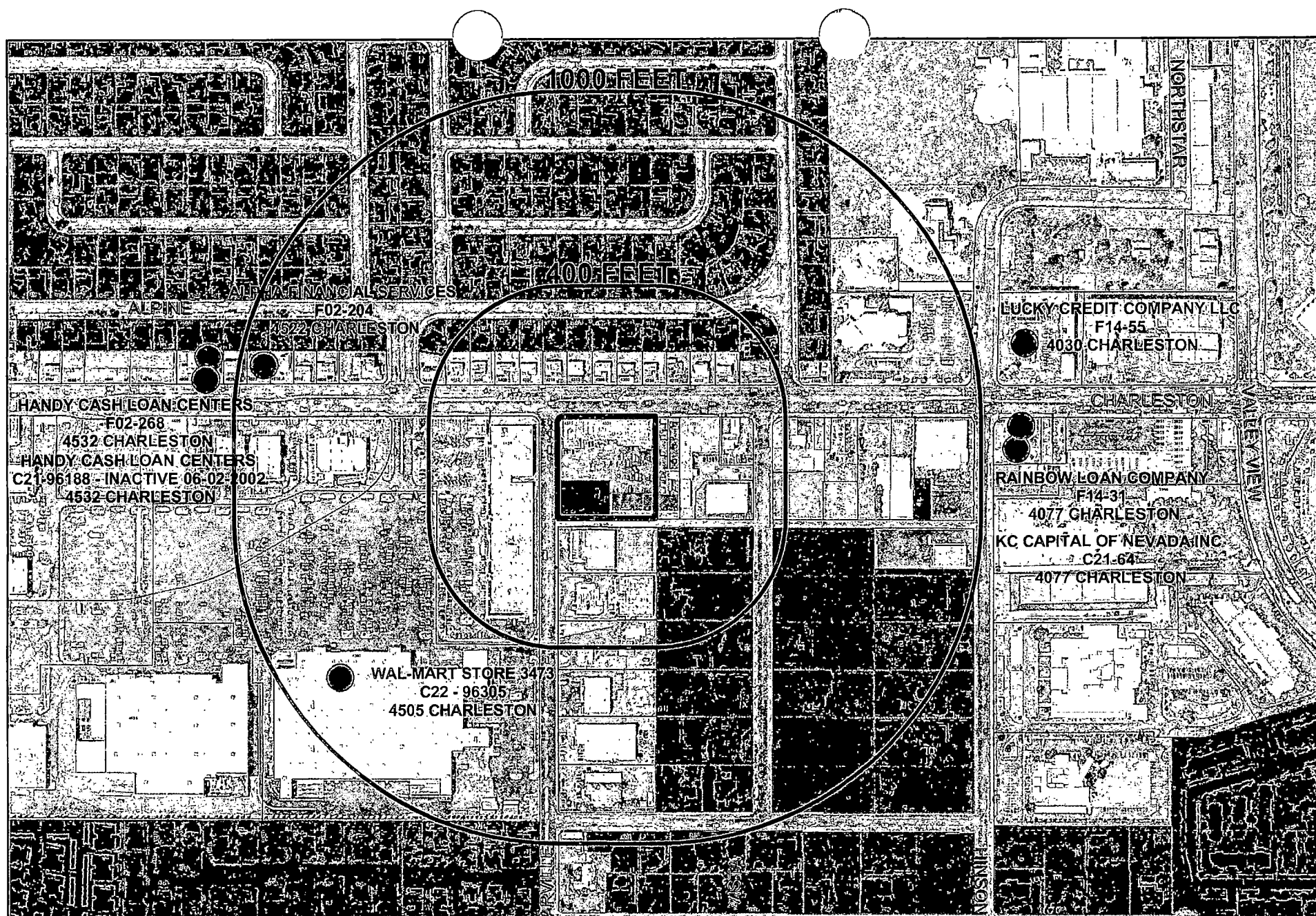
RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-E (RESIDENCE ESTATES) AND C-1 (LIMITED COMMERCIAL)

0 300 600 Feet





SUP-6019

### Financial Business Locations

-  Finance Company
-  Automobile Title Loan
-  Auto Pawn
-  Financial Institution, Specified  
(Check Cashing Service)
-  Financial Institution, Specified  
(Check Cashing Service with Gross)

-  Subject Property
-  Residential Property



Buffer

0 245 490 980 Feet



# City of Las Vegas

## AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 10, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SUP-6019 - APPLICANT: CHARLES LIPSCHITZ - OWNER:  
LEONARD W. CARPI AND ELIZABETH L. CARPI

---

### **\*\* CONDITIONS \*\***

STAFF RECOMMENDATION:    **DENIAL**    If Approved, subject to:

#### *Planning and Development*

1. Conformance to all minimum requirements under Title 19.04.050 for a Financial Institution, Specified, except for the separation requirement of a Financial Institution, Specified from a residential use, the separation requirement of a Financial Institution, Specified from another Financial Institution, Specified and the minimum allowed square-footage for the floor area.
2. This Special Use Permit shall expire one year from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
3. Compliance with all City code requirements and design standards of all City departments.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

The applicant is requesting approval of a Special Use Permit to allow a Financial Institution, Specified and also waivers of the 200-foot minimum distance to residentially zoned property, the 1000-foot minimum distance to another Financial Institution, Specified and also from the 1,500 square foot minimum on the floor area at 4347 West Charleston Boulevard.

**B) Applicant's Justification**

The applicant has justified this application by stating that because of the central location of this facility, the location would be convenient for the community to go and take advantage of their services. The applicant also stated this approval will be operated in accordance with all City, County and State regulations, policies and laws.

**BACKGROUND INFORMATION**

**A) Related Actions**

04/06/01 The City Council approved a request for a Special Use Permit for a Second-Hand Dealer at 4331 West Charleston Boulevard.

**B) Pre-Application Meeting**

01/07/05 a pre-application meeting was held and the following comments were made:

1. Applicant will be required to ask for waivers from the minimum distance separation from residential, and also from another Financial Institution, Specified.
2. The applicant will need a waiver from the minimum square-footage requirement of the building.
3. Applicant will need to provide a floor plan, and also photos of the storefront with any proposed signage superimposed on the elevations.

**C) Neighborhood Meetings**

No neighborhood meeting was required as part of this application.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Acres: 2.17 acres

**B) Existing Land Use**

Subject Property: Retail Center  
North: Professional Office  
South: Office  
East: Retail Center  
West: Retail Center

**C) Planned Land Use**

Subject Property: SC (Service Commercial)  
North: SC (Service Commercial)  
South: SC (Service Commercial)  
East: SC (Service Commercial)  
West: SC (Service Commercial)

**D) Existing Zoning**

Subject Property: C-1 (Limited Commercial)  
North: P-R (Professional Office and Parking)  
South: O (Office)  
East: C-1 (Limited Commercial)  
West: C-1 (Limited Commercial)

**E) General Plan Compliance**

a. Southeast General Plan

The subject site is located within the Southeast Sector of the General Plan in an SC (Service Commercial) land use category. The existing C-1 (Limited Commercial) Zone is consistent with the SC (Service Commercial) land use category, and the proposed Financial Institution, Specified is permitted in the C-1 (Limited Commercial) Zone with the approval of a Special Use Permit, subject to meeting the base conditions for the Special Use.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | <b>X</b>  |
| <b>Special Overlay District</b>                   |            | <b>X</b>  |
| <b>Trails</b>                                     |            | <b>X</b>  |
| <b>County/North Las Vegas/HOA Notification</b>    |            | <b>X</b>  |
| <b>Development Impact Notification Assessment</b> |            | <b>X</b>  |
| <b>Project of Regional Significance</b>           |            | <b>X</b>  |

## ANALYSIS

### A) Zoning Code Compliance

#### A1) Parking and Traffic Standards

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| Uses                     | GFA                | Ratio                 | Required<br>Parking |          | Provided<br>Parking |          |
|--------------------------|--------------------|-----------------------|---------------------|----------|---------------------|----------|
|                          |                    |                       | Regular             | Handicap | Regular             | Handicap |
| Retail Site              | ~<br>35,000<br>SF. | 1<br>stall/250GF<br>A | 140                 | 5        | 117                 |          |
| Financial<br>Institution | 1470<br>SF.        | 1 stall/200<br>GFA    | 8                   | 1        |                     |          |

The existing retail development is deficient in the required number of parking stalls, as 140 parking stalls are required and the site only has 117 spaces. According to Title 19.10.010, this retail site is a "parking impaired-development" i.e. the use does not conform to the present parking standards of the Zoning Code. Because the retail use is not a "non-conforming use" within the C-1 zone district and the proposed use is locating within the existing development no additional parking stalls are required.

#### A2) Minimum Distance Separation Requirements

A Financial Institution, Specified may not be located within 200 feet of any property zoned for residential use or within 1000-feet of another financial Institution, Specified. The subject site is within 200 feet of residentially zoned property to the north, thus this proposed use would not be able to meet the minimum distance separation to residential. The proposed use is within 1000-feet of another Financial Institution, Specified which is located within the Wal-Mart Super Center which is located just to the south of the subject site, thus the purposed use would not be able to meet the minimum distance separation to another Financial Institution.

### B) General Analysis and Discussion

- Zoning

The proposed Financial Institution, Specified is within the possible uses permitted in the C-1 (Limited Commercial) zoning district with the approval of a Special Use Permit.

- Use

A Financial Institution, Specified is defined by Title 19 as any business whose primary function is to lend money; to cash checks or other negotiable instruments for a fee, service charge or other consideration; or to provide funds in exchange for the acceptance of a check on a post-dated or deferred-deposit basis. The term includes without limitation a check cashing service, paycheck advance service, and any business primarily providing cash loans, installment loans or cash advances.

The proposed Financial Institution, Specified will be located within an existing retail center that will occupy approximately 1470 square-feet of floor space. This use will not be able to meet the minimum required floor area of 1500 square-feet, which is why the applicant is requesting a waiver from this requirement. There are several other Financial Institutions in the area that are just outside the 1000-foot radius for the distance separation. The Wal-Mart Supercenter located to the south of the subject property is within the 1000-foot radius and does have an active business license to do check cashing. With the saturation of Financial Institutions in this area and the need for the waivers from Title 19 requirements it is recommend that this application be denied.

- Conditions

The following are the minimum conditions from Title 19.04.050 for a Financial Institution, Specified:

1. The use shall comply with all applicable requirements of LVMC Title 6.
2. The building design and color scheme shall be subject to review by the Planning and Development Department to ensure that it will be harmonious and compatible with the surrounding area.
3. No temporary signs (as described in LVMC Title 19.14.090) such as balloons, inflated devices, searchlights, pennants, portable billboards, portable signs, streamers, trucks parked for signage purposes, or other similar devices are permitted, except that banners announcing a "grand opening" or that a business is "coming soon" may be approved administratively for a period not to exceed thirty days.
4. Window signs shall not cover more that twenty percent (20%) of the area of all exterior windows.
5. Window signs shall not include flashing lights or neon lighting (adopted 03/31/04).
6. Window signs shall not include any text other than text that indicates the hours of operation and whether the business is open or closed (adopted 03/31/04).

7. The hours of operation shall not extend beyond the hours of 8:00 a.m. to 8:00 p.m.
8. The building or portion thereof that is dedicated to the use shall have a minimum size of 1,500 square feet, and shall be designed to have sufficient interior space to provide for adequate customer waiting areas, customer queuing, and transaction space (such as "teller" windows or desks) (adopted 03/31/04).
9. No specified financial institution use may be located closer than 200 feet from any parcel used or zoned for residential use. In addition, no specified financial Institution use may be located closer than 1,000 feet from any other specified financial institution use, auto title loan use or auto pawn use. For purposes of this Paragraph, distances shall be measured in a straight line from property line to property line, without regard to intervening obstacles (adopted 03/31/04).

The proposed use does not comply with the conditions specified above, as the use does not have a minimum dedicated space of at least 1,500 feet, does not meet the required 200-foot separation from a residential use and does not meet the required 1000-foot separation to any other financial institution. For this reason, it is recommended that the application be denied.

## FINDINGS

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

Because the subject property is within 200-feet of residentially zoned property and also within 1000-feet of another Financial Institution, Specified, which are core conditions of Title 19.04, this location would not be compatible for this type of use. For this reason, it is recommended the application be denied.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The proposed Financial Institution, Specified is to be located within an existing retail shopping center. Although the present site is a "parking-impaired development" that does not have sufficient parking, the proposed use does not exacerbate this deficiency. All other on-site requirements would be met. Therefore, the subject site is physically suitable for the proposed use.

3. **“Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.”**

The shopping center is located along and has access to West Charleston Boulevard, which is a Primary Arterial (100') according to the Master Plan of Streets and Highways. The subject site also has access to Arville St. on the west, which is a Collector Street (60') according to the Master Plan of Streets and Highways. Both of these roads will be adequate access for this site and the proposed use.

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The proposed development will be subject to inspections and permitting, and therefore will not compromise the public health, safety or welfare. As discussed above this use is unable to comply with all the requirements of Title 19.04 as it pertains to the minimum distance requirements to residentially zoned property, other Financial Institutions, Specified and the minimum required square footage for the floor area. Due to the proposed use not being able to meet these requirements it will not conform to the “City of Las Vegas Master Plan 2020” and thus it is recommended that this application be denied.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

16

**NOTICES MAILED** 204

**APPROVALS** 0

**PROTESTS** 0



## PLANNING & DEVELOPMENT DEPARTMENT

### STATEMENT OF FINANCIAL INTEREST

Case Number: SUP-6019 APN: \_\_\_\_\_

Name of Property Owner: Leonard & Elizabeth Carpi

Name of Applicant: \_\_\_\_\_

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

\_\_\_\_\_ Yes

\_\_\_\_\_ X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

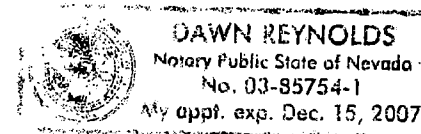
Signature of Property Owner: Armine Tabakian (Property Management Agent for Leonard & Elizabeth Carpi)

Print Name: Armine Tabakian

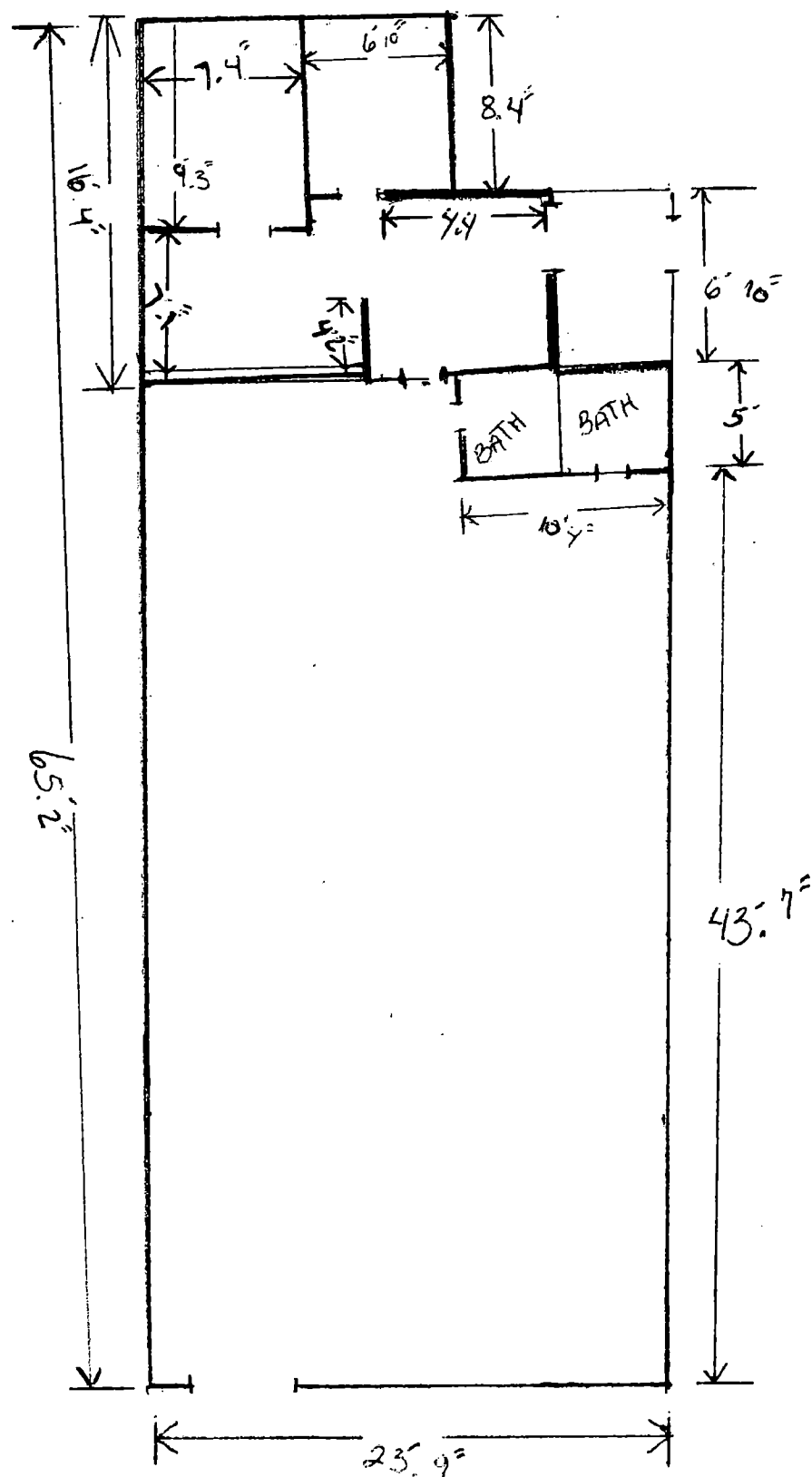
Subscribed and sworn before me

This 20 day of January, 2005

Dawn Reynolds  
Notary Public in and for said County and State







SUP-6019  
03-10-05 PC

RECEIVED  
JAN 25 2005

1/8



SUP-6019 - APPLICANT: CHARLES LIPSCHITZ - OWNER: LEONARD W. CARPI AND ELIZABETH L. CARPI  
4347 WEST CHARLESTON BOULEVARD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

## Justification Letter

To: PLANNING & DEVELOPMENT DEPARTMENT

RE: Special Use Permit Request.

With the present we would like to obtain the required permits to operate a Check Cashing Services. To be located at 4347 W Charleston Blvd. Las Vegas inside of HYDE PARK RETAIL CENTER (35,704 Sq.Ft.) corner of Arville & Charleston, near to the commercial area of Charleston & Decatur. With the understanding that a Special Use Permit is required.

I have been operating Check Cashing Services over 15 years in the State of Nevada.

Because of its central location it would be very convenient for the community to take advantage of the services that we would be providing.

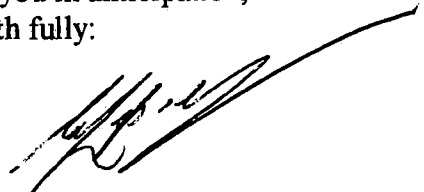
Check Cashing, Money Orders, Utility Bill Payments, Send / Receive money/ payments all over the world thru WESTERN UNION.

With the large growing Hispanic Community, we will be providing Top Quality Experience & Bilingual services.( English & Spanish.)

The location provides over 120 parking spaces with easy access and the Unit is around 1,500 Sq.Ft. will be accommodate with large lobby for the best and security to our customers and employees.

We would operate our business to the public following our City Regulations and Policies.

Thanking you in anticipation,  
Yours Faith fully:



---

CHARLES LIPSCHITZ.  
4914 BOULDER HWY #B  
LAS VEGAS NV 89121  
702 434 3718

DATE

SUP-6019



**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-6017 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING -  
APPLICANT: SKY RISE DEVELOPMENT GROUP, INC - OWNER: EDWARD B.  
FRANKEL FAMILY TRUST - Request for a Site Development Plan Review FOR THE  
CONVERSION OF A 504-UNIT APARTMENT PROJECT TO A CONDOMINIUM  
DEVELOPMENT on 24.76 acres at 2200 South Fort Apache Road (APN 163-05-315-045 and  
163-05-410-001), R-PD18 (Residential Planned Development - 18 Units per Acre), Ward 1  
(Tarkanian).**

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**TRUESDELL – APPROVED subject to conditions – UNANIMOUS with STEINMAN  
excused**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

GARY LEOBOLD, Planning and Development, stated that staff recommended denial, as the site no longer complies with R-PD zoning, landscaping and parking requirements of Title 19.

JAY BROWN, Attorney, Singer and Brown, 520 S. 4<sup>th</sup> Street, along with MIKE HILL, Aztech Engineering, 3320 N. Buffalo Drive, Las Vegas, NV and DAVE TURNER, Consulting

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 40 – SDR-6017

**MINTUES – Continued:**

Engineers, Baughman & Turner, Inc., 1210 Hinson Street, Las Vegas, appeared on behalf of the applicant. ATTORNEY BROWN gave a brief overview of the proposed development and read into the record some conditions the applicant would like to include as conditions of approval on this application. Those conditions addressed the replacement of the entrance gates, repainting the exterior of the buildings, resurfacing the parking area, building a game room for children, upgrading the appliances, site lighting, business center, playgrounds, landscaping and pool and insuring there are adequate reserves for future homebuyers. ATTORNEY BROWN indicated that warranties would be included with the various upgrades (i.e. roofing, appliances, etc.), and the developer would actually be the homeowner's association for the first year. He also informed the Commission that the units would range from \$130,000 to \$220,000 and some units would require down payments.

ATTORNEY BROWN pointed out that parking and open space requirements were met at the time the existing apartments were built. MR. HILL verified that the site had been surveyed, and the total open space was over nine acres, which exceeds the open space requirements. In addition, even during the peak times, there are still over 200 parking spaces available. MR. HILL stated there are 834 parking spaces on the subject site and then reiterated that at no time has parking been a problem.

RICHARD ZITSKEN, President, Canyon Gate Homeowner's Association, stated that the residents were excited about having the improvements on the subject site. In addition, the board members looked forward to interfacing with the new homeowner's association of the proposed development.

COMMISSIONER McSWAIN thanked the applicant for addressing some concerns that were expressed in a previous meeting. ATTORNEY BROWN informed her that there would be at least one covered parking space per unit, and there is an allocation provided for the two and three bedroom units. MR. HILL clarified for her that the buffer areas around the right-of-way, the surrounding development, the volleyball courts and playground area, are all being accounted for the open space. MR. LEOBOLD confirmed that the perimeter landscaping could not be accounted for open space and with that, MR. HILL responded that the open space would be 7.5 acres, which would still meet the requirements. MR. LEOBOLD verified for COMMISSIONER DAVENPORT that 7.4 acres is the required amount of open space for the subject development.

VICE CHAIRMAN TRUESDELL felt that the proposed conversion was appropriate for the subject site, and he would support it. CHAIRMAN NIGRO confirmed with MARGO WHEELER, Planning and Development, that the suggested additional conditions read into the record by ATTORNEY BROWN were not included in staff's "if approved" conditions.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 40 – SDR-6017

**MINTUES – Continued:**

MS. WHEELER then stated that these additional conditions would be part of the applicant's justification letter that would go forward to the City Council. DEPUTY CITY ATTORNEY SCOTT concurred with MS. WHEELER and added that staff would review these conditions and determine which ones can be enforced by City Council. For the record, CHAIRMAN NIGRO emphasized that the Commission considered the applicant's suggested improvements and used those as justification in accepting this application. MR. LEOBOLD noted that the applicant's current letter does not cover this discussion regarding the suggested conditions. DEPUTY CITY ATTORNEY SCOTT responded that the current letter would be a supplement to the applicant's justification letter.

ATTORNEY BROWN assured the Commission that all conditions would be adhered to, if the application is approved by the Planning Commission and the City Council.

No one appeared in opposition.

CHAIRMAN NIGRO declared the Public Hearing closed  
(9:17 – 9:36)  
**3-2450**

**CONDITIONS:**

Planning and Development

1. A revised landscape plan will need to be submitted showing compliance with Urban Design Guidelines & Standards for perimeter landscaping for a multi-family development with one 24 inch box tree/every thirty feet on center with four 5-gallons shrubs per tree prior to approval of TMP-6089.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted [by the City Council].
3. All development shall be in conformance with the site plan and building elevations date stamped 01/25/05, except as amended by conditions herein.
4. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets. Air conditioning units shall not be mounted on rooftops.
5. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 40 – SDR-6017

**CONDITIONS – Continued:**

lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. Prior to approval of any final map, developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels prior to approval of the final map. In addition, should the development have a recreational trail, in accordance with NRS 278.4787, the following text should be added prior to the last sentence to the previous text: The plan shall note that the recreational trail to be transferred to the ownership of the City of Las Vegas shall be maintained at a basic level through utilization of public resources. That basic level to be defined as removal of debris and surface grading once every calendar year. Should additional maintenance activities be requested by the common interest community, or members thereof, the associated costs shall be assessed to the common interest community and/or members thereof.
8. All City Code requirements and design standards of all City departments must be satisfied.

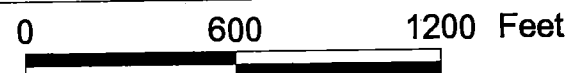
Public Works

9. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to recordation of a map for this site.
10. All active gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 40 – SDR-6017

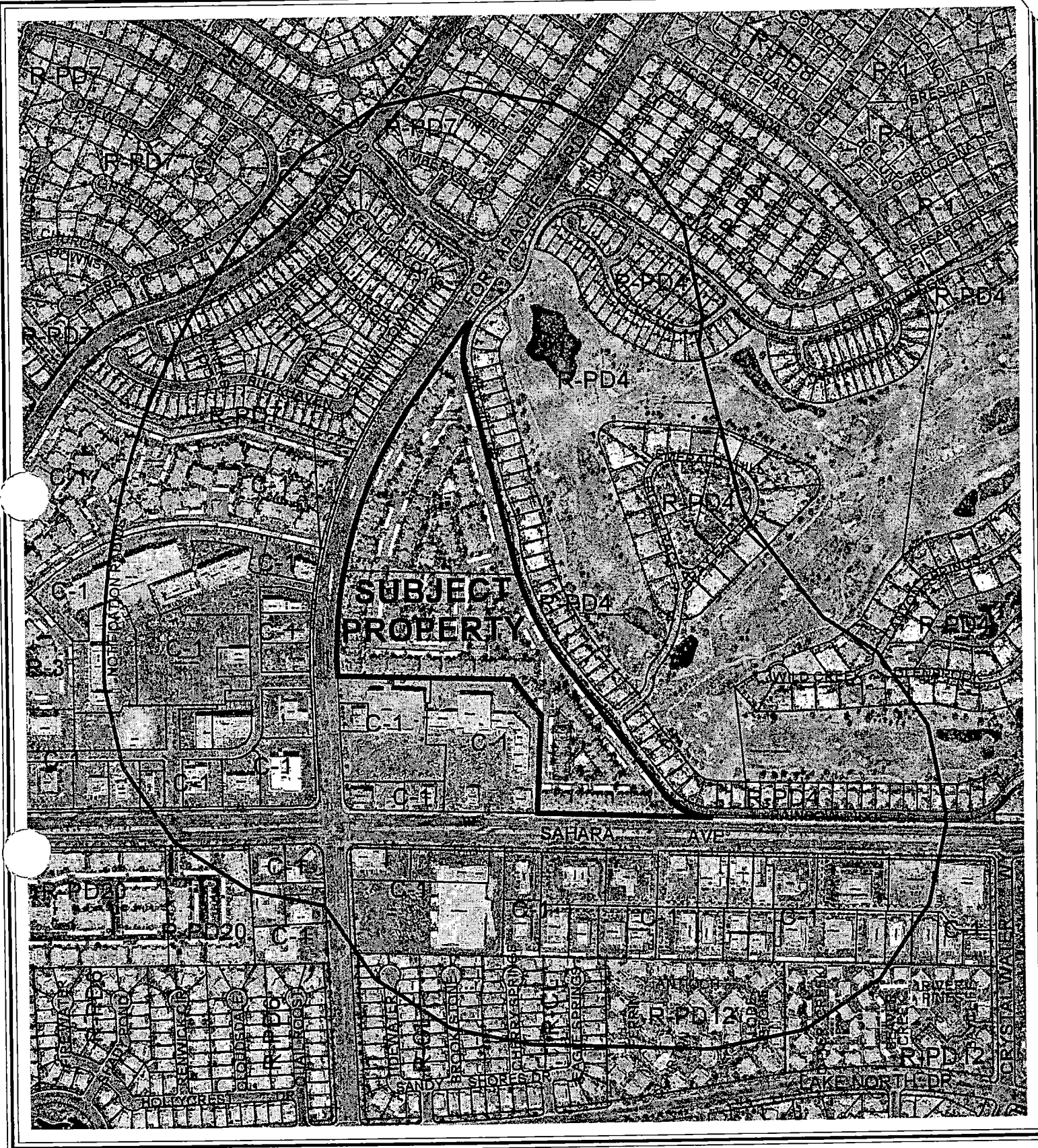
**CONDITIONS – Continued:**

11. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
12. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Evidence of payment is required with Final Map Mylar submittal.
13. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the recordation of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.



**R-PD18 (RESIDENTIAL PLANNED DEVELOPMENT - 18 UNITS PER ACRE)**





CASE: **SDR-6017**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-PD18 (RESIDENTIAL PLANNED DEVELOPMENT - 18 UNITS PER ACRE)

AGENDA MEMO

PLANNING COMMISSION MEETING DATE: MARCH 10, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: SDR-6017 - APPLICANT: SKY RISE DEVELOPMENT  
GROUP, INC - OWNER: EDWARD B. FRANKEL FAMILY TRUST

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:** DENIAL If Approved, subject to:

**Planning and Development**

1. A revised landscape plan will need to be submitted showing compliance with Urban Design Guidelines & Standards for perimeter landscaping for a multi-family development with one 24 inch box tree/every thirty feet on center with four 5-gallons shrubs per tree prior to approval of TMP-6089.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted [by the City Council].
3. All development shall be in conformance with the site plan and building elevations date stamped 01/25/05, except as amended by conditions herein.
4. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets. Air conditioning units shall not be mounted on rooftops.
5. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. Prior to approval of any final map, developer is required to adopt a plan for the maintenance of infrastructure improvements. The plan is to include a listing of all infrastructure improvements, along with assignment of maintenance responsibility to common interest community, individual property owner, or City of Las Vegas, and the proposed level of maintenance for privately maintained components. The agreement must be approved by the City of Las Vegas, and must include a certification by the licensed professional engineer of record that all infrastructure components are addressed in the maintenance plan. The plan must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. The adoption process must include recordation of the plan against all parcels

prior to approval of the final map. In addition, should the development have a recreational trail, in accordance with NRS 278.4787, the following text should be added prior to the last sentence to the previous text: The plan shall note that the recreational trail to be transferred to the ownership of the City of Las Vegas shall be maintained at a basic level through utilization of public resources. That basic level to be defined as removal of debris and surface grading once every calendar year. Should additional maintenance activities be requested by the common interest community, or members thereof, the associated costs shall be assessed to the common interest community and/or members thereof.

8. All City Code requirements and design standards of all City departments must be satisfied.

**Public Works**

9. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to recordation of a map for this site.
10. All active gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.
11. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
12. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Evidence of payment is required with Final Map Mylar submittal.
13. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the recordation of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) *Action Requested***

This is a request for a Site Development Plan Review for the conversion of a 504-unit apartment project to a condominium development on 24.76 acres at 2200 South Fort Apache Road.

**B) *Applicant's Justification***

The applicant has justified this project by stating the conversion of the apartments to condominiums will provide affordable housing for the community. This application will not have a negative effect on either the environment or the general public. The applicant has stated that the site is compliant with the City of Las Vegas landscaping standards. The applicant has also stated the original plot plan review (Z-79-88) complied with the minimum on-site parking requirements for a multi-family development. Since the project was built, on-site parking requirements have increased. Currently the code requires 922 spaces and parking provided is 834 spaces. Other condominium conversion projects with similar parking situations have recently been approved.

**BACKGROUND INFORMATION**

**A) *Related Actions***

- |          |                                                                                                                                                                                                                                                                                                                                                  |
|----------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 09/30/88 | The City Council approved a request to Rezone (Z-0079-88) property generally located on the north side of Sahara Avenue and on the east side of Fort Apache Road from N-U (Non-Urban) to R-PD18 (Residential Planned Development – 18 units per acre) and C-1 (Limited Commercial). The Planning Commission and staff both recommended approval. |
| 12/01/89 | The Planning Commission approved the request for a Plot Plan Review (Z-0079-88) for an apartment complex on 24 acres.                                                                                                                                                                                                                            |
| 01/31/89 | The Board of Zoning Adjustment approved the request for a Variance (V-153-88) to allow an eight-foot (8') high block wall where six feet (6') is the maximum allowed, on the property located east of Fort Apache Road and north of Sahara Avenue.                                                                                               |

***B) Pre-Application Meeting***

01/07/05 A pre-application meeting was held where the following items were discussed:

1. The applicant will be required to submit photos showing the existing landscaping on-site.
2. The applicant will also be required to submit photos of the exterior elevations of the buildings.

***C) Neighborhood Meetings***

A neighborhood meeting is not required as part of this application.

**DETAILS OF APPLICATION REQUEST**

***A) Site Area***

Net Acres: 24.76 acres

***B) Existing Land Use***

Subject Property: Apartments  
North: Single Family Residential  
South: Commercial  
East: Single Family Residential  
West: Commercial and Single Family Residential

***C) Planned Land Use***

Subject Property: M (Medium Density Residential)  
North: L (Low Density Residential)  
South: SC (Service Commercial)  
East: L (Low Density Residential)  
West: SC (Service Commercial) and M (Medium Density Residential)

***D) Existing Zoning***

Subject Property: R-PD18 (Residential Planned Development – 18 Unit per acre)  
North: R-PD4 (Residential Planned Development – 4 Units per acre)  
South: C-1 (Limited Commercial)  
East: R-PD4 (Residential Planned Development – 4 Units per acre)  
West: C-1 (Limited Commercial) and R-PD7 (Residential Planned Development – 7 Units per acre)

**E) General Plan Compliance**

**a. Southwest General Plan**

The subject property is located within the Southwest sector of the General Plan with a M (Medium Density Residential) land use designation. The existing R-PD18 (Residential Planned Development – 18 Unit per acre) zone district is in compliance with the General Plan.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | X         |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           |            | X         |

**PROJECT DESCRIPTION**

This request is for a Site Development Plan Review for the conversion of a 504-unit apartment development to condominiums. The Planning Commission approved the original Plot Plan review back on Dec. 1, 1989. The site is made up of 34 buildings, 2 fitness areas and 2 pools. The site is adjacent to residential on the north and the east and also adjacent to commercial on the south. The site does have access into and out of the development from Sahara Avenue and Fort Apache Road. The main entrance to the site is from Fort Apache where the main leasing office is found. Along the north and east property lines of the subject site a variance was granted to install an eight-foot tall fence to help screen the property from the neighboring residential and commercial developments.

**ANALYSIS**

**A) Zoning Code Compliance**

**A1) Development Standards**

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

| <b>Standards</b>     | <b>Required</b>     | <b>Provided</b> | <b>Compliance</b> |
|----------------------|---------------------|-----------------|-------------------|
| Min. Lot Size        | 6,500 Feet          | 24.76 Acres     | Y                 |
| Min. Lot Width       | N/A                 | 1273 Feet       | Y                 |
| Max. Building Height | 2 Stories / 35 Feet | 2 Stories       | Y                 |

The subject site does substantially comply with the original plot plan review (Z-0079-88), which set the development standards for this project.

**A3) Parking and Traffic Standards**

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| Uses                                      | Units | Ratio | Required Parking |          | Provided Parking |          |
|-------------------------------------------|-------|-------|------------------|----------|------------------|----------|
|                                           |       |       | Regular          | Handicap | Regular          | Handicap |
| Multi-family and Condominium Developments | 504   | **    | 922              | XX       | 834              | 6        |

The proposed conversion of this apartment complex to a condominium development will utilize the same parking requirements as is outlined in Title 19. The subject site currently has 834 existing parking stalls where 922 stalls are required and thus this site will be deemed "parking impaired". The development is short 88 parking stalls and is thus is recommendation of staff that this conversion be denied based on the deficiency in parking.

\*\* The existing development is composed of one, two, and three bedroom units. The parking standards for such development are as follows:

| Multi-family and Condominium Developments | Required                                                                         |
|-------------------------------------------|----------------------------------------------------------------------------------|
| Studio and one bedroom                    | One and one-quarter spaces per unit, plus one guest space for every six units.   |
| Two bedrooms                              | One and three-quarter spaces per unit, plus one guest space for every six units. |
| Three bedrooms and above                  | Two spaces per unit, plus one guest space for every six units.                   |

**A4) Landscape and Open Space Standards**

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

| Standards         | Required                                                                                                          |          | Provided |
|-------------------|-------------------------------------------------------------------------------------------------------------------|----------|----------|
|                   | Ratio                                                                                                             | Trees    |          |
| Parking Area      | 1 Trees/6 Spaces                                                                                                  | 79 Trees | None     |
| Buffer:           | 1 Trees/30 Linear Feet                                                                                            | 98 Trees | 98 Trees |
| • Min. Trees      | 15 Feet in the front<br>6 Feet in the when adjacent to<br>commercial or residentially zoned<br>property<br>8 Feet |          | 15 Feet  |
| • Min. Zone Width |                                                                                                                   |          | 10 Feet  |
| • Wall height     |                                                                                                                   |          | 8 Feet   |

The subject site does have landscaping around the perimeter of the project adjacent to the residentially zoned property on the north and east. Landscaping is also installed along the property that is adjacent to the commercially zoned property on the northeast corner of Fort Apache Road and Sahara Avenue. The landscape plan that was submitted does not accurately reflect what is currently planted on site. The applicant has stated that they are meeting the landscape requirements. In part, they have provided the necessary buffer landscape trees count, but the location of the trees are uncertain. It is the recommendation of staff that a new landscape plan be submitted prior to the approval of the tentative map that shows the subject site in substantial compliance with today's landscaping requirements. The parking areas will have the same question, in that the submitted landscape plan does not reflect what is actually built on site and so staff is recommending that a new landscape plan be submitted which will meet the minimum landscaping requirements of Title 19 and the Las Vegas Urban Design Guidelines.

- R-PD ONLY

Pursuant to Title 19.06, the following Open Space Standards apply to the subject proposal:

| Total Acreage | Density | Required |         |            | Provided |               |
|---------------|---------|----------|---------|------------|----------|---------------|
|               |         | Ratio    | Percent | Area       | Percent  | Area          |
| 24.76 acres   | 18      | 1.65     | 29.7 %  | 320,328 SF | 11.9%    | 128,788.06 SF |

The subject property does not comply with the Title 19.06 standards for the required open space. The applicant will be required to supply approximately 7.4 acres of open space to be in compliance with Title 19 standards. Currently the applicant only has 2.95 acres of open space that is useable space for the community.

**B) General Analysis and Discussion**

- Zoning

The current zoning on the property is R-PD18 (Residential Planned Development – 18 units per acre), which is compliant with the Land Use designation of M (Medium Density Residential) for the property. The actual density of the site, which is 20 units per acre, exceeds the allowed 18 units per acre that was approved as part of Z-0079-88. Thus the property is non-conforming in that it exceeds the allowable density, which may be grounds for denial of this application.

- Site Plan

The site plan depicts 34 buildings that are accessed from an internal street system that is accessed by two entry gates from Sahara Avenue and Fort Apache Road. The site is in the same condition as was approved by the Plot Plan Review (Z-0079-88) with the same amount of units, buildings and amenities.

- Waivers

The applicant has not requested any waivers as part of this application.

- Landscape Plan

The submitted landscape plan does not comply with standards outlined in Title 19 or the Urban Design Guidelines and Standards. The supplied photos do show a mature landscaping on the interior of the project, but the perimeter landscaping does not appear to meet the 1 tree every 30 feet on center with four five-gallon shrubs per tree standard. The perimeter landscaping will need to be enhanced to come into conformance with City Code.

- Elevation

The elevations show a 2-story product with a stucco exterior and tile roofs. This design and material type was approved with the original site plan (Z-0079-88). These elevations will be visually compatible with the surrounding residential and commercial developments.

**FINDINGS**

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

This proposed conversion to condominiums will not effect the surrounding properties in any way and the site will continue to act as a buffer to the single family residents to the east of the subject site from traffic and the commercial uses along Fort Apache Road and Sahara Avenue.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The condominium development currently exceeds the allowed 18 units per acre zoning that was approved on the site. The site currently does not comply with the minimum open space requirement per the R-PD standards within Title 19 and also does not meet the minimum landscape standards for the perimeter buffer area. Lastly the site does not comply with the required parking standards for a multi-family development. These deficiencies are the reason for the recommendation for denial on this proposal.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

This site does have access to and from Fort Apache Road and Sahara Avenue. Fort Apache is considered a Primary Arterial (100') by the Master Plan of Streets and Highways, as well is Sahara Avenue. These roads will provide sufficient access to the site and will not have an adverse effect on traffic flow within the development or to surrounding properties.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The existing colors and materials of the buildings are appropriate for the area and will not detract from the surrounding properties. The interior landscaping in the parking areas appear to be sufficient to meet the requirements of the City Code. The perimeter landscaping will need to be enhanced to help screen the property from the adjoining roads, residential and commercial developments.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

The building design is harmonious with surrounding developments.

6. **“Appropriate measures are taken to secure and protect the public health, safety and general welfare.”**

The development will be subject to all codes, ordinances, and standards that will secure the health, safety, and general welfare of the public.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 9

**NOTICES MAILED** 636

**APPROVALS** 0

**PROTESTS** 0







SDR-6017 - APPLICANT: SKY RISE DEVELOPMENT GROUP, INC - OWNER: EDWARD B. FRANKEL  
FAMILY TRUST  
2200 SOUTH FORT APACHE ROAD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



SDR-6017 - APPLICANT: SKY RISE DEVELOPMENT GROUP, INC - OWNER: EDWARD B. FRANKEL  
FAMILY TRUST  
2200 SOUTH FORT APACHE ROAD  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

**Baughman & Turner, Inc.**

Consulting Engineers & Land Surveyors

1210 HINSON ST.  
LAS VEGAS, NEVADA 89102-1604

PHONE (702) 870-8771  
FAX (702) 878-2695

January 25, 2005

**CLV Planning & Development Department**

731 S. Fourth Street  
Las Vegas, NV 89101

**Re: APN-163-05-315-045 & 163-05-410-001/Canyon Lake at the Lakes**

To Whom It May Concern:

Please let this letter serve as justification for a site development plan review for a condominium conversion. The project called "Canyon Lake at the Lakes" consists of 30 apartment buildings (504 units) along with several incidental buildings (office/leasing, recreation etc.) on 24.76 acres located on Sahara Avenue at Fort Apache Road. The apartments will be converted to condominiums through the subdivision process. The need for affordable ownership housing has made this request feasible.

The buildings were built in 1991 and have a tan stucco finish with terracotta clay tile roofs. The current zoning and general plans are consistent with the proposed development. The original Plot Plan Review Z-79-88 complied with minimum on-site parking requirements for a multi-family development (846 where 620 were required). Since the project was built, on-site parking requirements have increased. Currently the code requires 922 spaces and parking provided is 834 spaces. Other condominium conversion projects with similar parking situations have recently been approved. Landscaping complies with CLV standards. The approval of this application will not have a negative effect on either the environment or general public. Should you have any questions, please do not hesitate to call.

Sincerely,  
**Baughman & Turner, Inc.**



David S. Turner  
President  
DST/hc

SDR-6017

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-6023 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT\ OWNER: CHARLESTON FESTIVAL, LLC - Request for a Site Development Plan Review FOR A 94,978 SQUARE-FOOT COMMERCIAL DEVELOPMENT on 10.21 acres adjacent to the southeast corner of Torrey Pines Drive and Casada Way (APN 138-35-801-002, 138-35-803-001, and 138-35-403-005), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).**

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends APPROVAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

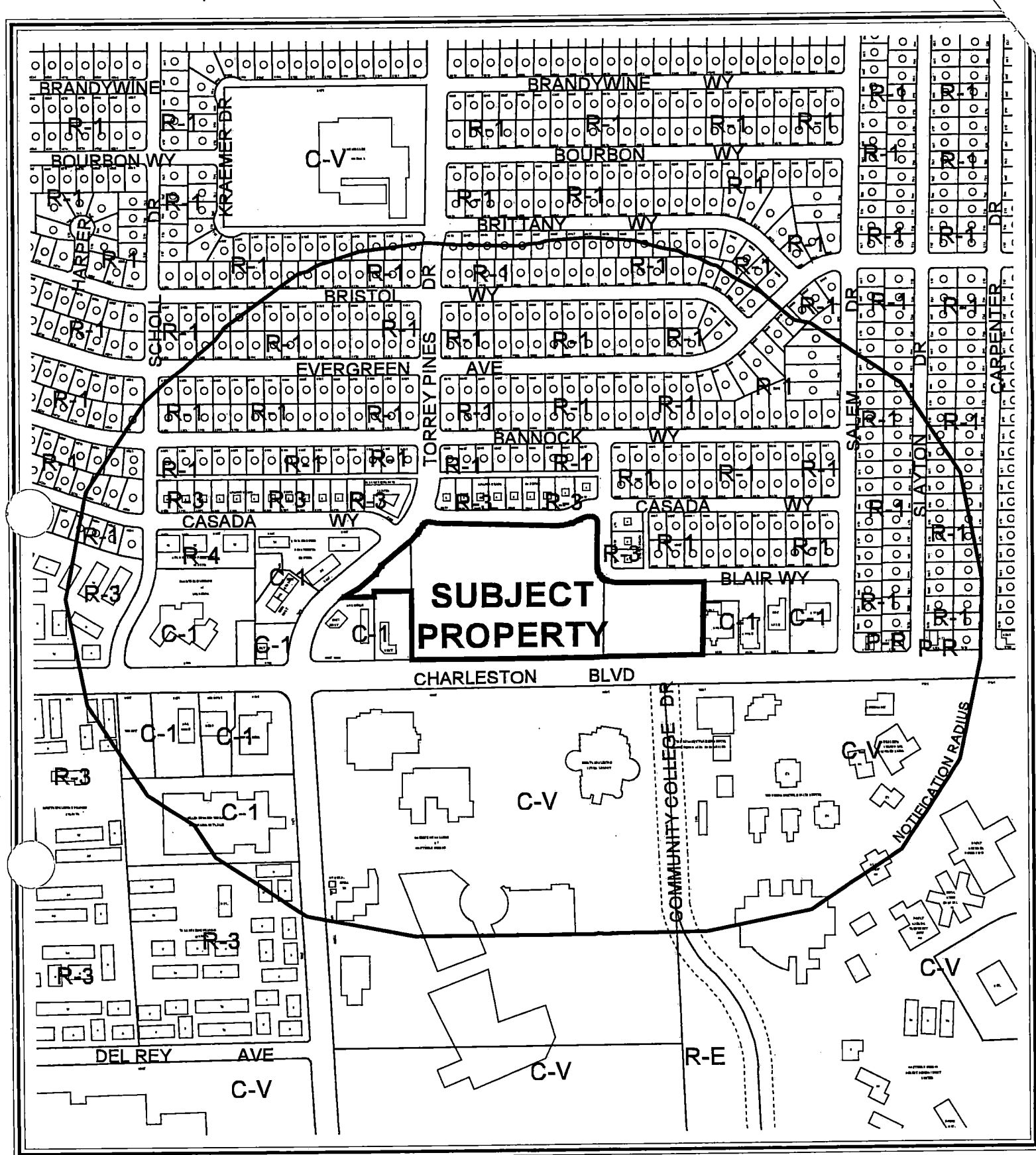
**TRUEDELL – Motion to bring forward and HOLD IN ABEYANCE Item 41 [SDR-6023] to the 03/24/2005 Planning Commission Meeting; Item 14 [VAR-5878], Item 15 [SUP-5877], Item 16 [SDR-5876], Item 19 [VAR-5949], Item 20 [WVR-6153] and Item 21 [SDR-5948] to the 04/14/2005 Planning Commission Meeting; WITHDRAW WITHOUT PREJUDICE Item 17 [WVR-5955] and Item 18 [WVR-5956]; and TABLE Item 32 [SUP-5990], Item 33 [SDR-5989] and Item 44 [VAR-5878] – UNANIMOUS**

**MINUTES:**

There was no discussion.

(6:04)

1-69



**CASE: SDR-6023**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)**

0 500 1000 Feet





**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**  
**DEPARTMENT: PLANNING AND DEVELOPMENT**  
**ITEM DESCRIPTION: SDR-6023 - APPLICANT/OWNER: CHARLESTON**  
**FESTIVAL, LLC**

---

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION:**      **APPROVAL**, subject to:

**Planning and Development**

1. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect two additional handicap spaces per Title 19.10 Parking Requirements.
2. The south elevation of buildings D and E shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation. The buildings shall carry the same level of detail around all sides of a building providing for a more consistent design and higher quality of development.
3. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
4. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
5. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
6. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
7. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

**SDR-6023 - Conditions Page Two**  
**March 10, 2005 Planning Commission Meeting**

9. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
12. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. All City Code requirements and design standards of all City departments must be satisfied.
15. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
16. Prior to the issuance of building permits, a revised landscape plan must be submitted to and approved by the Department of Planning and Development showing a maximum of 12.5% of the total landscaped area as turf.
17. Delivery hours shall be between 5:30 A.M. and 10:00 P.M. A one-year review from the time a temporary or permanent Certificate of Occupancy is issued for the delivery hours.

**Public Works**

18. Coordinate with the City Surveyor to determine whether a Merger and Resubdivision map or other mapping is necessary; if a map or joining is required, it should record prior to the issuance of any permits for this site.
19. Construct all incomplete half-street improvements on Charleston Boulevard, Torrey Pines Drive, Blair Way, Bishop Drive and Casada Way adjacent to this site concurrent development of this site. Also, construct a bus turnout on Charleston Boulevard if recommended by the approved Traffic Impact Analysis. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development. Improvements on Charleston Boulevard shall receive approval from the Nevada Department of Transportation.

**SDR-6023 - Conditions Page Three**  
**March 10, 2005 Planning Commission Meeting**

20. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A. Access of any type, including construction traffic, shall not be taken from the proposed Campus Drive entry until all necessary modifications to the existing traffic signal are complete. All work within the Charleston Boulevard right-of-way shall receive approval from the Nevada Department of Transportation.
21. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.
22. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
23. Site development to comply with all applicable conditions of approval for Zoning Reclassification Z-49-99 and all other subsequent site-related actions.
24. Drive isles and driveways shall align. We note the western driveway off Charleston or the drive isle must be revised to align.
25. Provide a copy of a recorded Joint Access Agreement between this site and the adjoining parcels to the southwest prior to the issuance of any permits.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) Action Requested**

This is a request for a Site Development Plan Review for a 94,978 square-foot commercial development on 10.21 acres adjacent to the southeast corner of Torrey pines Drive and Casada Way.

**B) Applicant's Justification**

The applicant is requesting a reduction in the total building square footage on the subject site. The requested changes are outlined in the report.

**BACKGROUND INFORMATION**

**A) Related Actions**

- 02/09/61      The City Council approved a request for Rezoning (Z-0057-60) to R-3 and C-1 on property generally located on the north side of Charleston Boulevard, east of Torrey Pines Drive. The Planning Commission recommended approval on 01/12/61.
- 06/19/92      The City Council approved an appeal for a Special Use Permit (U-0092-95) to allow a 672 square-foot Off-Premise Advertising Sign on property generally located on the north side of Charleston Boulevard, 450 east of Torrey Pines Drive. The Board of Zoning Adjustment recommended denial on 05/26/92.
- 10/13/97      The City Council approved an appeal for a Five-Year Required Review of a Special Use Permit (U-0092-95(1)) to allow a 672 square-foot Off-Premise Advertising Sign to continue on property generally located on the north side of Charleston Boulevard, 450 east of Torrey Pines Drive. The Planning Commission recommended denial on 09/11/97.
- 03/12/98      The Planning Commission approved a request for a Site Development Plan Review (Z-0057-60(1)) on property located on the north side of Charleston Boulevard approximately 200 feet east of Torrey Pines Drive (immediately to the west of the subject site) for a proposed 4,270 square-foot fast food restaurant.

**SDR-6023 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

04/07/04 The City Council approved a request for a Site Development Plan Review (SDR-3790) and Waivers of perimeter buffering and landscaping standards for a 101,000 square-foot retail center and a Special Use Permit (SUP-3815) for Liquor Sales (Off-Premise Consumption) adjacent to the north side of Charleston Terrace, approximately 375 feet east of Torrey Pines Drive. The Planning Commission and staff recommended approval.

02/16/05 The City Council held Review of Condition (ROC-5940) in abeyance to 03/02/05. The request for a Review of Condition Number 17 of an approved Site Development Plan Review (SDR-3790) to allow delivery hours between 5:30 A.M. and 10 P.M. where the hours were restricted to 8:00 A.M. TO 8:00 P.M. for an approved 94,978 Square Foot Retail Center on 9.74 acres adjacent to the north side of Charleston Avenue, approximately 375 feet east of Torrey Pines Drive.

03/02/05 The City Council approved the Review of Condition (ROC-5940). The request for a Review of Condition Number 17 of an approved Site Development Plan Review (SDR-3790) was amended to allow for delivery hours to be between 5:30 A.M. and 10:00 P.M. A one-year review from the time a temporary or permanent Certificate of Occupancy is issued for the delivery hours.

**B) Pre-Application Meeting**

11/09/04 The following items were discussed at the pre-application meeting:

- Parking lot landscaping
- Provide a table showing changes in square footage and parking

**C) Neighborhood Meetings**

A neighborhood meeting is not required for this type of application.

**DETAILS OF APPLICATION REQUEST**

**A) Site Area**

Gross Acres: 10.21

**B) Existing Land Use**

|                   |                       |
|-------------------|-----------------------|
| Subject Property: | Undeveloped           |
| North:            | Apartments            |
| South:            | Community College     |
| East:             | Retail Uses           |
| West:             | Fast Food Restaurants |

**C) Planned Land Use**

Subject Property: SC (Service Commercial)  
North: M (Medium Density Residential) and L (Low Density Residential)  
South: PF (Public Facilities)  
East: SC (Service Commercial)  
West: SC (Service Commercial)

**D) Existing Zoning**

Subject Property: C-1 (Limited Commercial)  
North: R-3 (Medium Density Residential) and R-1 (Single Family Residential)  
South: C-V (Civic)  
East: C-1 (Limited Commercial)  
West: C-1 (Limited Commercial)

**E) General Plan Compliance**

The subject site is designated as SC (Service Commercial) on the Southwest Sector Plan map of the General Plan. The SC designation allows low to medium intensity retail, office or other commercial uses that serve primarily local area patrons and that do not include more intense general commercial characteristics. The current C-1 (Limited Commercial) zoning district that applies to the subject site is in conformance with the current SC General Plan designation. The site plan as proposed is substantially in compliance with both the General Plan designation and the zoning district, provided the requested waivers are approved.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | X         |
| <b>Special Overlay District</b>                   |            | X         |
| <b>Trails</b>                                     |            | X         |
| <b>Study Area</b>                                 |            | X         |
| <b>Rural Preservation Neighborhood</b>            |            | X         |
| <b>Development Impact Notification Assessment</b> |            | X         |
| <b>Project of Regional Significance</b>           |            | X         |

The site is not affected by any special area plans, overlay districts or study areas.

## **PROJECT DESCRIPTION**

The City Council approved the original Site Development Plan Review (SDR-3790) on 04/07/04. The approved site plan consisted of 95,050 square feet of total building area and Waivers of perimeter buffering and landscaping standards. Since the project was approved, several changes have been proposed to the overall site plan. These changes require a new Site Development Plan Review (SDR-6023). The following items are related to the revised Site Development Plan Review: The revised site plan indicates a reduction in the total building square-footage from 95,050 to 94,978. The east property line has been adjusted based on a boundary survey. An additional 0.45 acres located at the northwest corner of the property has been added to the site, which consisted of 40 additional parking spaces and no access to Torrey Pines or the existing gas station/restaurant to the south. The screen wall along Casada Way is now six feet except along the loading dock where it is 10 feet.

The complex is oriented towards Charleston Boulevard, with two vehicular entrances accessing Charleston Boulevard. No vehicular access is provided to Casada Way, Bishop Drive or Blair Way. Buildings D, E, and F, as indicated on the site map are pushed forward on the site, pursuant to commercial design standards. The four remaining buildings on the site are off-set or located towards the rear, with the parking area to the front of the site; however, given the proximity of the site to residential areas to the north, this configuration is acceptable.

## **ANALYSIS**

### **A) Zoning Code Compliance**

#### **A1) Development Standards**

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

| <b>Standards C-1 District</b> | <b>Required</b> | <b>Provided</b> | <b>Compliance</b> |
|-------------------------------|-----------------|-----------------|-------------------|
| Min. Lot Size                 | None            | 10.21 acres     | N/A               |
| Min. Lot Width                | 100 Feet        | 1,275 Feet      | Y                 |
| Min. Setbacks                 |                 |                 |                   |
| • Front                       | 20 Feet         | 20 Feet         | Y                 |
| • Side (east)                 | 10 Feet         | 10 Feet         | Y                 |
| • Side (west)                 | 10 Feet         | 58 Feet         | Y                 |
| • Rear                        | 20 Feet         | 74.75 Feet      | Y                 |
| Max. Lot Coverage             | 50 %            | 21%             | Y                 |
| Max. Building Height          | None            | 34 Feet         | N/A               |

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**March 10, 2005 - Planning Commission Meeting**

|                 |                       |                                                            |   |
|-----------------|-----------------------|------------------------------------------------------------|---|
| Trash Enclosure | Walled, gated, roofed | 4 Indicated,<br>plus<br>compactors for<br>the two anchors  | Y |
| Loading Zone    | 4 Required            | 4 Indicated,<br>plus 2 loading<br>docks for the<br>anchors | Y |
| Mech. Equipment | Screened on roof      | Screened on<br>roof                                        | Y |

The application appears to meet the development standards of the Code.

A2) Residential Adjacency Standards

- a) Proximity slope - Only the eastern portion of the site is affected by proximity slope requirements, where there are single-family homes on the north side of Blair Way. The structures depicted on Pads D, F, and G would be the closest to these homes. Pad F is the tallest of the three buildings, which is indicated at height of 27 feet, these buildings need to be at least 81 feet away. Since the actual shortest distance to the property line of these homes is approximately 216 feet, this development complies with the requirements of this portion of the Code.
- b) Building setback - The rear setback for these single-family homes is 20 feet. Since the closest buildings proposed for this site will be approximately 216 feet, the project conforms to this requirement.

A3) Parking and Traffic Standards

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

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**March 10, 2005 - Planning Commission Meeting**

| Uses                      | GFA             | Ratio                                                             | Required<br>Parking |           | Provided<br>Parking |          |
|---------------------------|-----------------|-------------------------------------------------------------------|---------------------|-----------|---------------------|----------|
|                           |                 |                                                                   | Regular             | Handicap  | Regular             | Handicap |
| Retail, other than listed | 77,685 s.f.     | 1 space/250 s.f. GFA                                              | 311 spaces          |           |                     |          |
| Restaurant                | 13,403 s.f.     | 1 space /50 s.f. seating space + 1 space/200 s.f. remaining space | 188 spaces          |           |                     |          |
| Restaurant w/ Drive-thru  | 3,890 s.f.      | 1 space/100 s.f. GFA + 1 lane for each drive up + stacking for 6  | 39 spaces           |           |                     |          |
| Totals                    | 94,978 s.f. GFA |                                                                   | 538 spaces          | 11 spaces | 543 spaces          | 9 spaces |

The site plan as proposed indicates 543 parking spaces with nine handicap spaces. Title 19.10 requires 11 handicapped spaces when 538 parking spaces are required. Since the site plan indicates five additional parking spaces, the applicant will be able to include the two required handicap spaces on the revised site plan.

**A4) Landscape and Open Space Standards**

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

| Standards    | Required                                                          |           | Provided |
|--------------|-------------------------------------------------------------------|-----------|----------|
|              | Ratio                                                             | Trees     |          |
| Parking Area | 1 Tree/6 Spaces                                                   | 90 Trees  | 94 Trees |
| Buffer:      |                                                                   |           |          |
| • Min. Trees | 1 Tree/20 Linear Feet along exterior perimeters (2,590 Feet)<br>+ | 130 Trees | 93 Trees |
|              | 1 Tree /30 Linear Feet along interior perimeters (735 Feet)       | 25 Trees  | 9 Trees  |

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**March 10, 2005 - Planning Commission Meeting**

|                   |                                      |                                                                                                                   |
|-------------------|--------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| • Min. Zone Width | 15 Feet exterior,<br>8 Feet interior | Y<br>Y                                                                                                            |
| • Wall height     | 6 Feet                               | The screen wall<br>along Casada<br>Way is six feet<br>except along<br>the loading<br>dock where it is<br>10 feet. |

The proposed landscape plan does not meet landscape buffer standards. The previous Site Development Plan Review (SDR-3790) approved Waivers of perimeter buffering and landscaping standards. Therefore, the current landscape plan complies with the previously approved Site Development Plan Review and associated Waivers.

**A5) Sign Standards**

Pursuant to Title 19.14, the following Sign Standards apply to the subject proposal:

No on-site signage proposals were submitted with the project. The applicant intends to obtain signage approvals separately through the subsequent submission of a Master Sign Plan application.

**B) General Analysis and Discussion**

• **Zoning**

The C-1 District is intended to provide most retail shopping and personal services. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. The C-1 (Limited Commercial) District is consistent with the Service Commercial category of the General Plan.

• **Site Plan**

The site plan depicts a 94,978 square-foot retail commercial complex that provides a range of shopping, dining and service commercial uses that area designed to cater to both area residents and the student and employee populations of the Community College of Southern Nevada, which is directly across Charleston Boulevard to the south. The site plan attempts to integrate with other commercial uses along Charleston Boulevard in this area, and to buffer nearby residential uses from any adverse noise or traffic impacts.

**SDR-6023 - Staff Report Page Eight**  
**March 10, 2005 - Planning Commission Meeting**

- **Waivers**

The previous Site Development Plan Review (SDR-6023) approved Waivers of the perimeter buffering and landscaping standards. There are no additional Waivers, which are required or requested with this Site Development Plan Review.

- **Landscape Plan**

The landscape plan depicts a variety of 24-inch box trees used for perimeter and parking lot landscaping, including Desert Museum Palo Verde and Arizona Ash, with one-gallon and five-gallon shrubs as ground cover plantings. Plant and shrub requirements call for a minimum of four five-gallon shrubs and four one-gallon shrubs for each 24-inch box tree planted.

- **Elevation**

The south elevation of buildings D and E shall be revised to incorporate Title 19.08 Development Standards. The southern elevation lacks the same level of detail, which is provided on the north elevation. Title 19.08 Development Standards states: "carrying the same level of detail and finish around all sides of a building provides for a more consistent design and higher quality of development." A condition of approval has been added, which requires this revision.

The elevations as conditioned, illustrate an interesting and architecturally pleasing design using a combination of stucco plaster finish, a variety of metal cladding surfaces, aluminum storefronts, and exposed structural steel columns and framing supporting standing seam metal roofs and canopies in each building. The variety and uniqueness of the architectural details and the angled roof and canopy elements combine to give the project a flair that should be a welcome addition to the area.

## **FINDINGS**

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

This proposed development will be compatible with other development that is adjacent or nearby within this portion of the Charleston Boulevard corridor. Nearby areas within the Community College of Southern Nevada campus and the related public development in that area, including the West Charleston Library, should benefit from, and be complimented by, this proposed Charleston Festival Marketplace project.

BTS

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The project is consistent with the Service Commercial policies of the General Plan and the zoning regulations of the C-1 (Limited Commercial) zoning district.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

Principal access to the site will be from Charleston Boulevard, designated as a Primary (100-foot) Arterial on the Master Plan of Streets and Highways. This street has adequate capacity to serve the proposed development.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building and landscape materials present a creative and exciting design that will be complementary to the design of buildings found across Charleston Boulevard on the community college campus site, and with the design of other surrounding and nearby commercial, office and institutional projects in the area.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

As conditioned, proposed elevations are appropriate for the proposed use and present a development that will be compatible with the surrounding area.

6. **"Appropriate measures are taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to regular City and County inspections for licensing and will therefore not compromise the public health, safety, and welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

7

**NOTICES MAILED** 376

**APPROVALS** 0

**PROTESTS** 0

BTS



**PLANNING & DEVELOPMENT DEPARTMENT**

## STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-4023 APN: 138-35-403-005  
138-35-801-002 & 803-001

Case Number: CP 4000

Name of Property Owner: Charleston Festival, LLC

Name of Applicant: PERKOWITZ + RUTH ARCHITECTS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

           Yes  No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

APN: \_\_\_\_\_  
Signature of Property Owner: Robert A. Shaver  
\_\_\_\_\_

Print Name: Robert A. Shaver

Subscribed and sworn before me

This 7<sup>th</sup> day of January, 2005

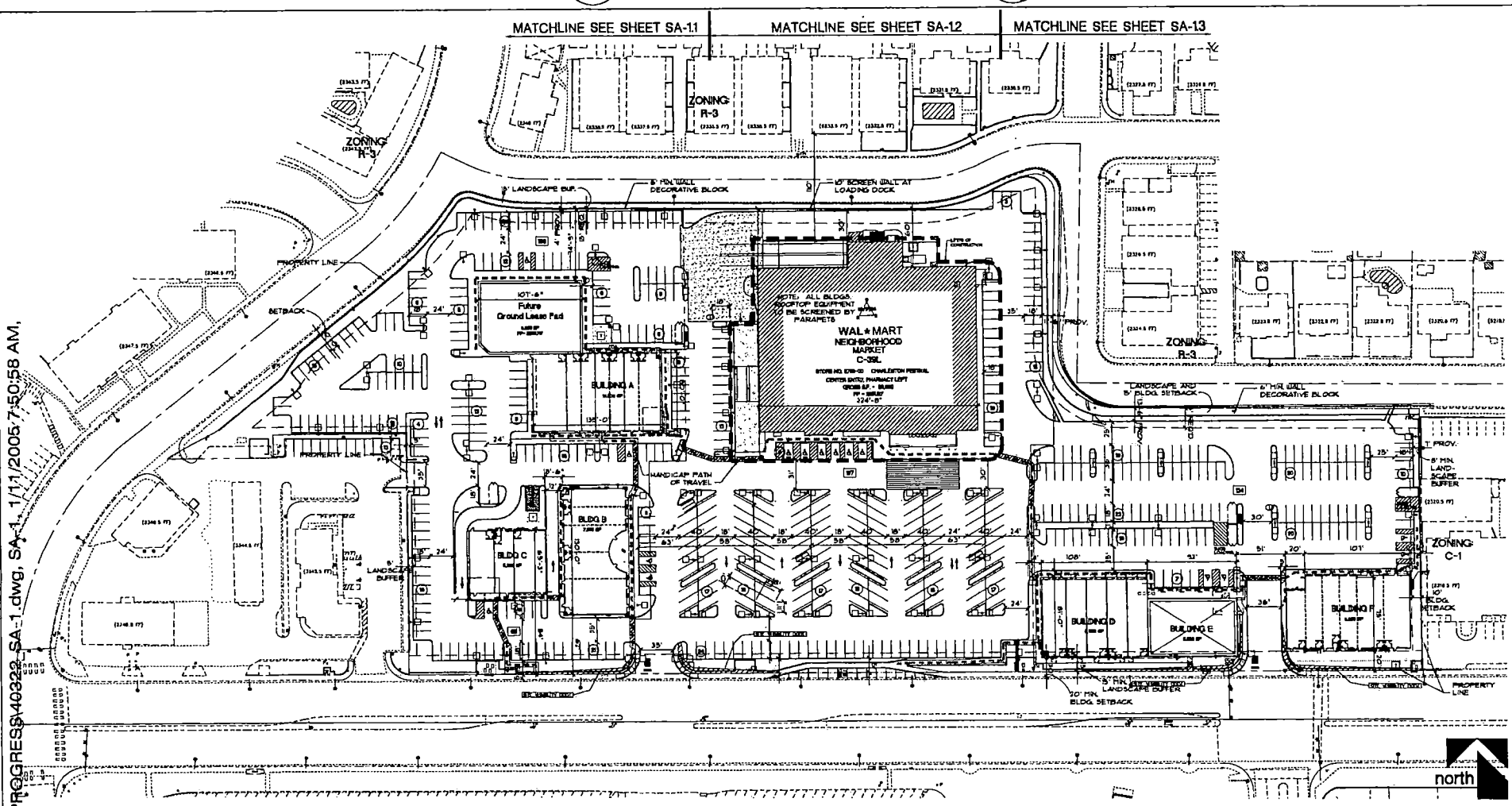
This 7th day of JANUARY, 2023  
Gail B. de Aube, Los Angeles County/California  
 Notary Public in and for said County and State

Revised 12-03-04



GAIL B. DE ANDE  
Commission # 1341237  
Notary Public - California  
Los Angeles County  
My Comm. Expires Feb 20, 2006

N:\03-03-403-Charleston22\SITE PLAN PROGRESS\40322-SA-1.dwg, SA-1, 1/11/2005, 7:50:58 AM, Debra



OVERALL SITE PLAN

3

| SYMBOL | DESCRIPTION                                       |
|--------|---------------------------------------------------|
| ---    | PROPERTY LINE                                     |
| ---    | LIMITS OF CONSTRUCTION (FRAME BOUNDARY LINES)     |
| ---    | CENTERLINE                                        |
| ---    | EMBANKMENT                                        |
| ---    | AUTOGEAR                                          |
| ---    | TRANSFORMER                                       |
| ---    | WATER METER VAULT. REFER TO CIVIL PLANS.          |
| ---    | GAS METER LOCATION. REFER TO BUILDING PLANS.      |
| ---    | FUTURE DRAINAGE INTERCEPTION                      |
| ---    | TELEPHONE PULLBOX                                 |
| ---    | BACKFLOW PREVENTER. REFER TO CIVIL PLANS.         |
| ---    | FIRE DEPARTMENT CONNECTION. REFER TO CIVIL PLANS. |
| ---    | STREETLIGHT. REFER TO CIVIL PLANS.                |
| ---    | FIRE HYDRANT. REFER TO CIVIL PLANS.               |
| ---    | POST INDICATOR VALVE. REFER TO CIVIL PLANS.       |
| ---    | AUTOMATIC CONTROLLER. REFER TO LANDSCAPING OVERS. |
| ---    | WATER METER                                       |
| ---    | PARKING LOT LIGHT. REFER TO ELEC.                 |
| ---    | FIRE DEPARTMENT ACCESS PATH                       |
| ---    | ACCESSIBLE ROUTE PATH                             |

**GENERAL NOTES:**  
**HANDICAP PARKING SPACES:**  
1. SINGLE SPACE - 8'-0" WIDE MINIMUM WITH 5'-0" WIDE PARKING SPACE AND 5'-0" WIDE ACCESS ISLE.  
2. DOUBLE SPACE - 20'-0" WIDE MINIMUM WITH TWO 5'-0" WIDE PARKING SPACES AND 5'-0" WIDE ACCESS ISLE.  
3. VAN SPACE - 11'-0" WIDE MINIMUM, 5'-0" WIDE PARKING SPACE AND 8'-0" WIDE ACCESS ISLE.  
4. SLOPE - SLOPE OF SPACE SHALL NOT EXCEED 1:30.  
5. PARKING SPACES ARE CONSIDERED PART OF THE ACCESSIBLE ROUTE OF TRAVEL. EACH SPACE SHALL HAVE A SIGN SHOWING THE SYMBOL FOR ACCESSIBILITY LOCATED SO THAT A PARKED VEHICLE DOES NOT OBSCURE IT.  
6. AREAS THAT ARE NOT A PART OF THE PRESENT PERMIT SHALL BE SHOWN DESIGNATED AS MAP.

**ACCESSIBLE ROUTE:**  
WIDTH - MINIMUM WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 36".  
SLOPE - ACCESSIBLE ROUTE SHALL BE A MAXIMUM SLOPE OF 1:20 WITH A MAXIMUM CROSS SLOPE OF 1:48.  
NOTE: AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 IS CONSIDERED A RAMP.  
**CURB RAMPS**  
LOCATION - WHEREVER AN ACCESSIBLE PATH OF TRAVEL CROSSES A RAISED CURB.  
SLOPE - MAXIMUM SLOPE OF ADJOINING SURFACES IS 1:20 SLOPE OF CURB IS A MAXIMUM OF 1:10.  
SIDES - WHERE PEDESTRIANS WALK ACROSS RAMP OR IF NOT PROTECTED BY HANDRAILS OR GUARDRAILS, PLACED SIDES WITH A MAXIMUM SLOPE OF 1:10 ARE NECESSARY. WHERE THERE IS NO PEDESTRIAN CROSS TRAFFIC, RETURNED CURBS MAY BE USED.  
WIDTH - 36" MINIMUM WIDE, EXCLUSIVE OF FLARED SIDES.

LAND AREA • 10.21 ACRES (444,869 SF)  
BUILDING AREA • 55,288 SF  
NOT A PART • 39,690 SF  
TOTAL BUILDING AREA • 94,978 SF  
LAND/BUILDING RATIO • 4.7/1 (21%)  
PARKING REQUIRED • 538 STALLS  
PARKING PROVIDED • 543 STALLS

PARKING REQUIRED BASED UPON THE FOLLOWING:  
SHOPPING CENTER (77,665 SF) • 1 STALL/250 SF = 311 STALLS  
RESTAURANT (13,403 SF) • CUSTOMER 1/50 SF = 188 STALLS  
DRIVE/THRU • (3,890 SF) • 1 STALL/100 SF = 39 STALLS

**REQUIRED BUILDING SETBACKS**  
FRONT: 20'-0"  
SIDE: 10'-0"  
REAR: 20'-0"  
**REQUIRED LANDSCAPE SETBACKS**  
ADJACENT TO STREET: 15'-0"  
ADJACENT TO COMM: 5'-0"  
(WAIVER OF STANDARDS FOR LESS)

SITE PLAN GENERAL NOTES

SITE PLAN SUMMARY

SDR-6023

03-10-05 PC

| REVISIONS |
|-----------|
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |

BULLSEYE  
C.R.E.  
3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109  
Tel: (702) 897-6500  
Fax: (702) 897-6501

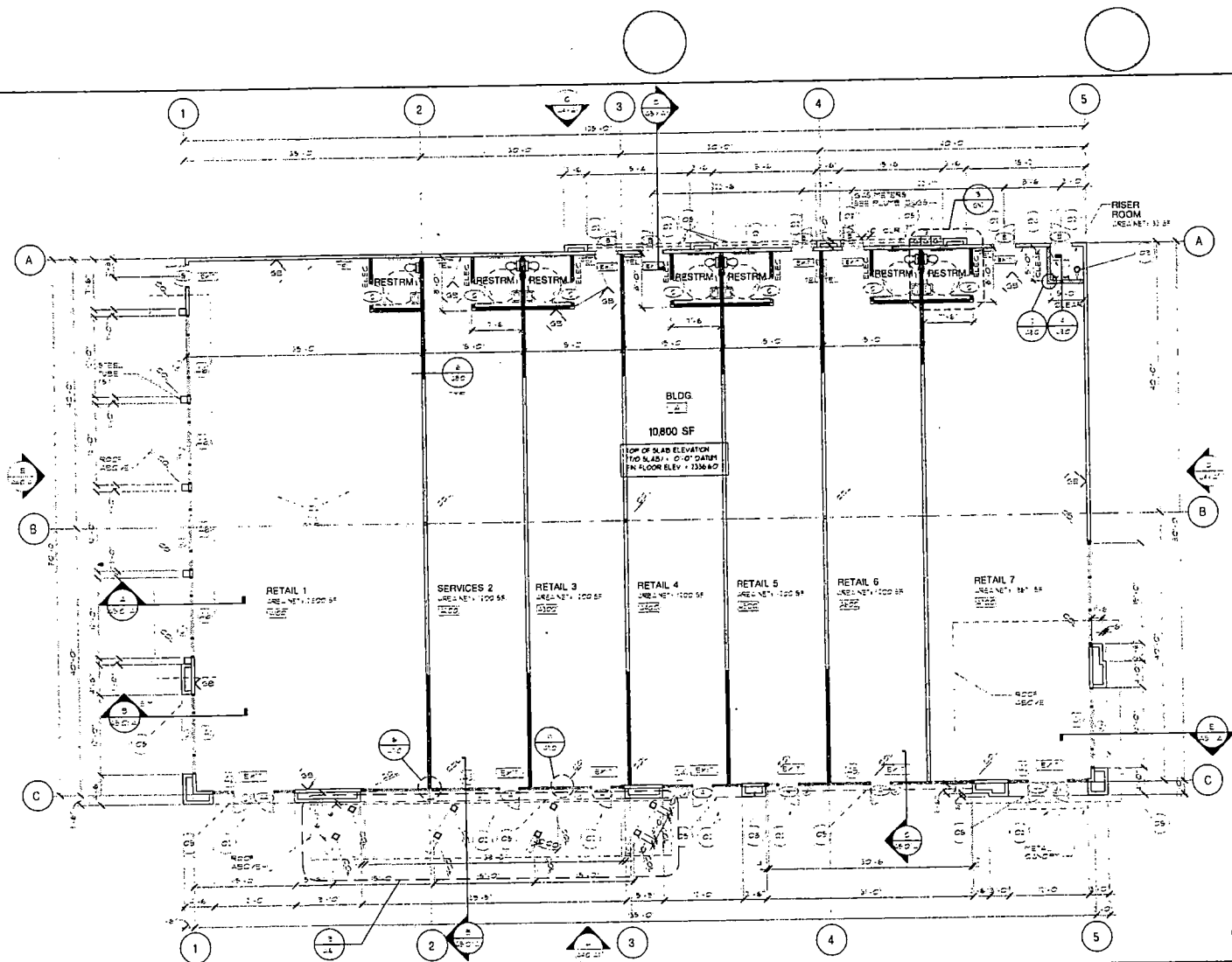
**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109  
Tel: (702) 897-6500

CHARLESTON  
FESTIVAL  
NEC of Charleston Blvd. & Tony Phase  
Las Vegas, NV

ISSUE DATE:  
JOB NUMBER:  
PLOT DATE:  
DRAWN BY:  
TEAM:  
SHEET TITLE:  
SITE PLAN  
SHEET NO:

SA-1





**SDR-6023**  
**03-10-05 PC**

| DESCRIPTION |      | OCCUPANT LOAD | REQUIRED     | PROVIDED                    |
|-------------|------|---------------|--------------|-----------------------------|
| RETAIL      | 4000 | 1000.00 / 1   | 144.00 / 1.8 | 136.00 / 1.7<br>100.00 C.R. |
| SE/SES      | 4100 | 1000.00 / 1   | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |
| RETAIL      | 3300 | 1000.00 / 1.5 | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |
| RETAIL      | 4000 | 1000.00 / 1.5 | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |
| RETAIL      | 4000 | 1000.00 / 1.5 | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |
| RETAIL      | 4000 | 1000.00 / 1.5 | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |
| RETAIL      | 4000 | 1000.00 / 1.5 | 144.00 / 1.8 | 136.00<br>100.00 C.R.       |

**BULLSEYE**  
**C.R.E.**

**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
1400 N. Lincoln Highway, Suite 100, Westbury, NY 07591  
Tel. (516) 291-8566

**CHARLESTON  
FESTIVAL**

|                                      |
|--------------------------------------|
| ISSUE DATE:                          |
| JOB NUMBER:<br>0340375               |
| PLOT DATE:<br>06/07/05               |
| DRAWN BY:<br>TEAM                    |
| SHEET TITLE:<br>BLDG A<br>FLOOR PLAN |
| SHEET NO.                            |

A1.0(A

FLOOR PLAN - BLDG. - A

|   |                          |              |                          |   |
|---|--------------------------|--------------|--------------------------|---|
| 7 | KEY NOTES                |              |                          | 3 |
|   | 45. B. K. N. C. B. S. C. | 46. G. G. G. | 47. B. K. N. C. B. S. C. |   |

|                         |                |                 |
|-------------------------|----------------|-----------------|
| PROJECT: D.C. 9. B. 000 | DATE: 11/15/15 | SCALE: 1" = 10' |
|-------------------------|----------------|-----------------|

1. NON-CONSTRUCTIBLE SPACES OF STUD WALLS AND PARTITIONS, INCLUDING REINFORCED SPACES AT THE CEILING AND FLOOR OF STUD WALLS, SHALL BE CONSIDERED AS NON-CONSTRUCTIBLE MATERIALS.
2. ALL INTERSECTIONS BETWEEN NON-CONSTRUCTIBLE VERTICAL AND HORIZONTAL SPACES SHALL BE REINFORCED WITH STEEL RODS AND COVER BOLTS, IN ACCORDANCE WITH THE VENTING AND COVERING CODES AND LOCAL PERMITS. REINFORCED MATERIALS SHALL BE USED AT CEILING AND FLOOR LEVELS FOR STEEL RODS AND COVER BOLTS TO RESIST THE SPREAD OF FIRE AND HOT GASES.
3. OPENINGS BETWEEN ATTIC SPACE AND BELOW-GROUND CONSTRUCTION NEED NOT BE REINFORCED.
4. REINFORCED CONCRETE SHALL BE USED FOR ALL SPACES OF STUD WALLS AND PARTITIONS, INCLUDING REINFORCED SPACES AT THE CEILING AND FLOOR OF STUD WALLS, SHALL NOT BE USED AS A REINFORCED CONCRETE SPECIFICALLY TESTED IN THE FIELD AND FURNISH EVIDENCE FOR THE SPREAD OF FIRE AND HOT GASES.
5. OPENINGS BETWEEN ATTIC SPACE AND BELOW-GROUND CONSTRUCTION SHALL NOT BE REINFORCED. REINFORCED CONCRETE SHALL BE USED FOR ALL SPACES OF STUD WALLS AND PARTITIONS, INCLUDING REINFORCED SPACES AT THE CEILING AND FLOOR OF STUD WALLS, SHALL NOT BE USED AS A REINFORCED CONCRETE SPECIFICALLY TESTED IN THE FIELD AND FURNISH EVIDENCE FOR THE SPREAD OF FIRE AND HOT GASES.
6. OPENINGS BETWEEN ATTIC SPACE AND BELOW-GROUND CONSTRUCTION SHALL NOT BE REINFORCED. REINFORCED CONCRETE SHALL BE USED FOR ALL SPACES OF STUD WALLS AND PARTITIONS, INCLUDING REINFORCED SPACES AT THE CEILING AND FLOOR OF STUD WALLS, SHALL NOT BE USED AS A REINFORCED CONCRETE SPECIFICALLY TESTED IN THE FIELD AND FURNISH EVIDENCE FOR THE SPREAD OF FIRE AND HOT GASES.

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Architectural floor plan of the building at 1000 North 1st Street. The plan shows the building's footprint, including a large central hall, several smaller rooms, and a staircase. Evidence markers are indicated by numbers 1 through 10, with some markers (1, 2, 3, 4, 5, 6, 7, 8, 9, 10) placed in the central hall and others (11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817,

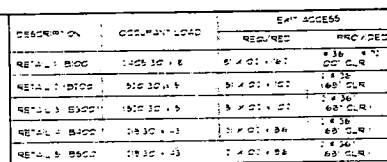
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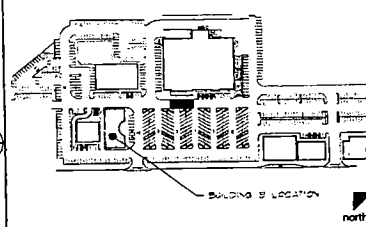
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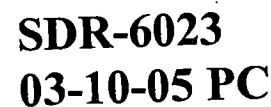
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3. PLAN AND EXPLORE EXTENSION METHODS TO "HARD" MONITORING SURVEYS
4. REFERENCE TO STRUCTURAL DRAWINGS FOR SHEAR AND BENDING MOMENT DESIGN AND VIBRATION
5. BUILDING VIBRATION MONITORING WILL BE AS FOLLOWS FOR THE ROOF AND FLOOR EXTENSION WALLS
6. SHEAR BUILDING NO DOCUMENTARY WILL BE ALLOWED. MONITORING FOR BENDING MOMENT WILL BE ALLOWED. DISABLED ACCESS REGULATIONS AND ACCESS BUILDING CODE REQUIREMENTS WERE "E"

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**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
100 Hammond Road, Fairport, N.Y. 11731  
Tel. (516) 351-3500

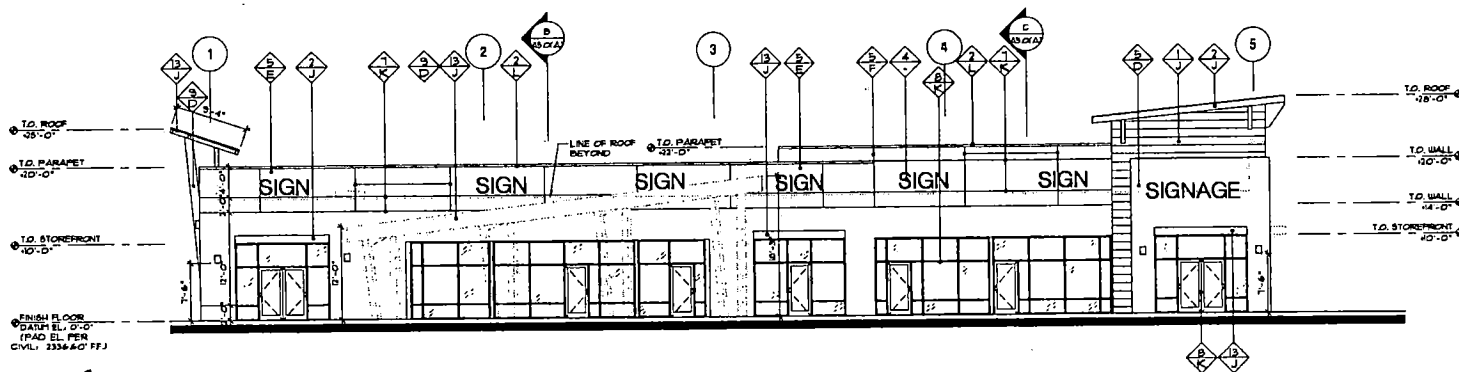
**CHARLESTON  
FESTIVAL**  
SEC of Charleston Blvd. & Torrey Pines  
Las Vegas, NV

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| ISSUE DATE:                         |
| JOB NUMBER:<br>0340515              |
| PLOT DATE:<br>21 OCT 05             |
| DRAWN BY:<br>TEAM                   |
| SHEET TITLE:<br>FAC C<br>FLOOR PLAN |
| SHEET NO.                           |

A1.0(C)





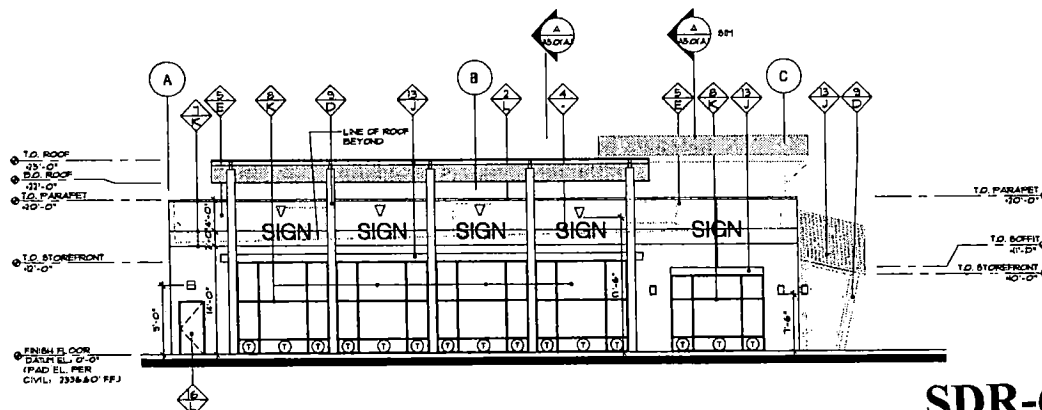


BUILDING A -- SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

A



BUILDING A -- WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

B

| MATERIAL                                              | FINISH                                           |
|-------------------------------------------------------|--------------------------------------------------|
| 1 CORRUGATED METAL CLADDING                           | A COLOR TO MATCH PRAIZE 8800 "STONE CISTERN"     |
| 2 STANDING SEAM METAL ROOF/CANOPY/COPING              | B COLOR TO MATCH PRAIZE 8800 "RAIN SHUTTER"      |
| 3 FLUSH PANEL METAL CLADDING                          | C COLOR TO MATCH PRAIZE 1918A "TANDERNE"         |
| 4 SIGNAGE BY OTHERS                                   | D COLOR TO MATCH PRAIZE 8876 "TOPATULLO"         |
| 5 LIGHT DASH PLASTER FINISH                           | E COLOR TO MATCH PRAIZE 8876 "MULATION"          |
| 6 HEAVY DASH PLASTER FINISH                           | F COLOR TO MATCH PRAIZE 8800 "SEA CLOUD"         |
| 7 METAL REVEAL                                        | G ANGELUS BLOCK "WARM GREY"                      |
| 8 ALUMINUM STOREFRONT                                 | H "DARK BRONZE" BY BERREDGE MANUFACTURING CO.    |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & FRAMING, PAINTED | I "CLEAR ANODIZED" BY BERREDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE                               | J CLEAR ANODIZED                                 |
| 11 RECESSED LIGHTS                                    | K MATCH COLOR TO ADJACENT SURFACE                |
| 12 CENTER IDENTIFICATION SIGN TOWER                   | L                                                |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF                 | M                                                |
| 14 TUBULAR STEEL HORIZONTAL BASE                      | N                                                |
| 15 STEEL ROLL-UP DOOR                                 | O                                                |
| 16 HOLLOW METAL DOOR                                  | P                                                |
| 17 METAL LOUVERS                                      | Q                                                |

#### NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED UND.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

|   |                                   |
|---|-----------------------------------|
| G | FLOOD LIGHT                       |
| H | SCENCE 1                          |
| C | WALL PACK WITH BACK-UP BATTERY    |
| I | SCENCE 3                          |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

#### EXTERIOR LIGHTING LEGEND

KLTOLEND 0/13/04 SCALE: NTS

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**BULLSEYE C.R.E.**  
ARCHITECTS  
3580 Howard Hughes Parkway, Suite 450, Los Vegas, NV 89109  
Tel: (702) 892-8500

**Perkowiz+Ruth Architects**  
Architecture/Planning/Store Design  
3580 Howard Hughes Parkway, Suite 450, Los Vegas, NV 89109  
Tel: (702) 892-8500

**CHARLESTON FESTIVAL**  
NEC of Charleston Blvd & Tennyson Place  
Las Vegas, NV

**PROJECT**  
JOB NUMBER: 03-02325  
PLOT DATE: 01/01/05  
DRAWN BY: TEAM  
SHEET TITLE: BLDG A ELEVATIONS  
SHEET NO:

**A4.0(A)**

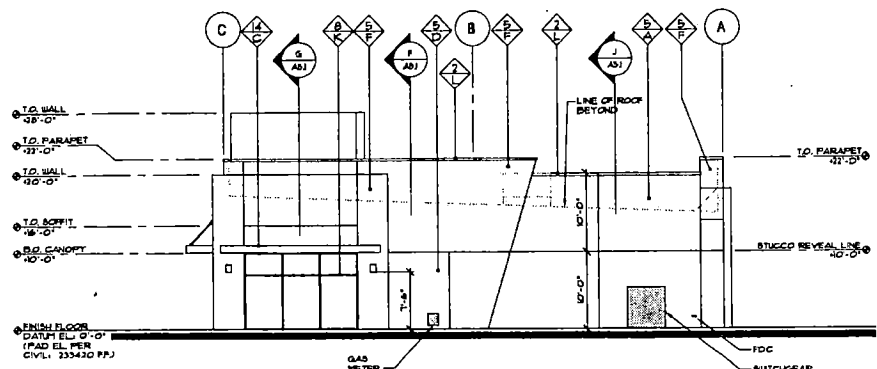
**SDR-6023**  
**03-10-05 PC**

**TITLE**

DRAWING

SCALE: 1/8" = 1'-0"

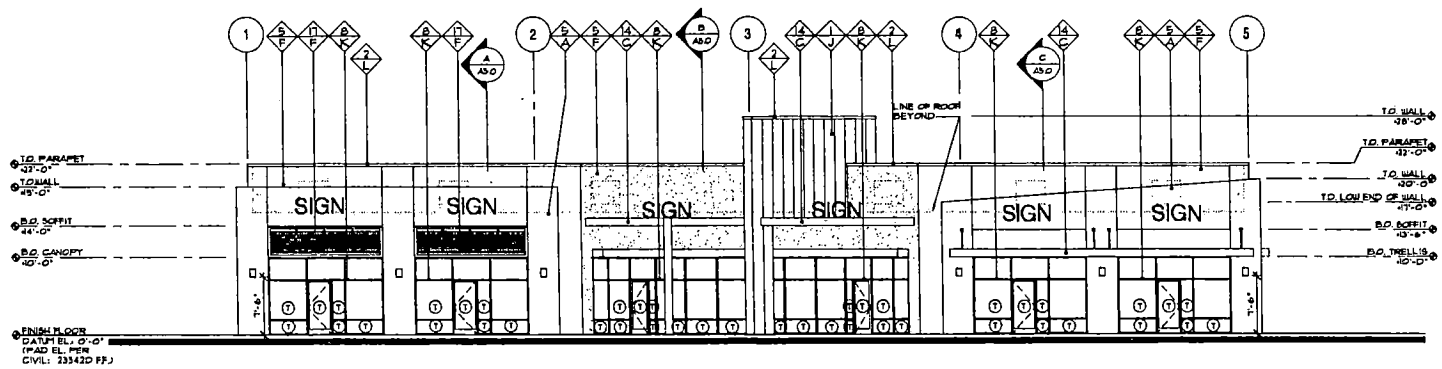
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BLDG. B - NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. B - EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

| MATERIAL                                             | FINISH                                           |
|------------------------------------------------------|--------------------------------------------------|
| 1 CORRUGATED METAL CLADDING                          | A COLOR TO MATCH FRAZEE 883U "STONE CISTERN"     |
| 2 STANDING SEAM METAL ROOF/CANOPY/CORING             | B COLOR TO MATCH FRAZEE QUOCOU "RAIN SHITTER"    |
| 3 FLUSH PANEL METAL CLADDING                         | C COLOR TO MATCH FRAZEE 1518A "TANGERSNE"        |
| 4 SIGNAGE BY OTHERS                                  | D COLOR TO MATCH FRAZEE ACORN "TOPATILLO"        |
| 5 LIGHT DASH PLASTER FINISH                          | E COLOR TO MATCH FRAZEE 883U "VALATION"          |
| 6 HEAVY DASH PLASTER FINISH                          | F COLOR TO MATCH FRAZEE QUOCOU "SEA CLOUD"       |
| 7 METAL REVEAL                                       | G ANGELUS BLOCK "WARY GREY"                      |
| 8 ALUMINUM STOREFRONT                                | H "DARK BRONZE" BY BERRIDGE MANUFACTURING CO.    |
| 9 EXPOSED STRUCTURAL STEEL COLUMN & BRACING, PAINTED | I "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE                              | J CLEAR ANODIZED                                 |
| 11 RECESSED LIGHTS                                   | K MATCH COLOR TO ADJACENT SURFACE                |
| 12 CENTER IDENTIFICATION SIGN TOWER                  | L                                                |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF                | M                                                |
| 14 TUBULAR STEEL HORIZONTAL BASE                     | N                                                |
| 15 STEEL ROLL-UP DOOR                                | O                                                |
| 16 HOLLOW METAL DOOR                                 | P                                                |
| 17 METAL LOUVERS                                     | Q                                                |

NOTES

1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED UNG.
2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
3. ROFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

|   |                                   |
|---|-----------------------------------|
| G | FLOOD LIGHT                       |
| H | SCENCE 1                          |
| C | WALL PACK WITH BACK-UP BATTERY    |
| I | SCENCE 3                          |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

EXTERIOR LIGHTING LEGEND

XTLOLEGGED 01/31/04 SCALE: NTS

|              |                             |
|--------------|-----------------------------|
| TITLE        | 4                           |
| DRAWING/DOUG | MM/DD/YY SCALE: X=1/8" X=1" |

| REVISIONS |
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CORNER: BULLSEYE C.R.E. PROJECT NUMBER: 0340323 DATE: 03/10/05 APPROVED: [Signature] T. 0303 882-5500

**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
3930 Harard Hughes Parkway, Suite 400, Las Vegas, NV 89103  
Tel: (702) 882-5500

PROJECT: **CHARLESTON FESTIVAL**  
NEC of Charleston Blvd & Toney Pkwy  
Las Vegas, NV

ISSUE DATE: 03/10/05  
JOB NUMBER: 0340323  
PLOT DATE: 03/10/05  
DRAWN BY: TEAM  
SHEET TITLE: BLDG B ELEVATIONS  
SHEET NO:

A4.0(B)

SDR-6023  
03-10-05 PC

BLDG. C - NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

| MATERIAL |                                                     | FINISH |                                               |
|----------|-----------------------------------------------------|--------|-----------------------------------------------|
| 1        | CORRUGATED METAL CLADDING                           | A      | COLOR TO MATCH PRAIRIE BRUSH "STONE CISTERN"  |
| 2        | STANDING SEAM METAL ROOF/CANOPY/COFFIN              | B      | COLOR TO MATCH PRAIRIE GRASS "RAIN SUITERS"   |
| 3        | FLUSH PANEL METAL CLADDING                          | C      | COLOR TO MATCH PRAIRIE "13.5A TANGIERNET"     |
| 4        | SKYBASE BY OTHERS                                   | D      | COLOR TO MATCH PRAIRIE ACHIM "TOKATILLO"      |
| 5        | LIGHT DASH PLASTER FINISH                           | E      | COLOR TO MATCH PRAIRIE "99.93 VALATION"       |
| 6        | HEAVY DASH PLASTER FINISH                           | F      | COLOR TO MATCH PRAIRIE "GUCKOW" "SEA CLOUD"   |
| 7        | METAL REVEAL                                        | G      | ANGELUS BLOCK "WARM GREY"                     |
| 8        | ALUMINUM STOREFRONT                                 | H      | "DARK BRONZE" BY BERROCK MANUFACTURING CO.    |
| 9        | EXPOSED STRUCTURAL STEEL COULPIN / FRAMING, PAINTED | J      | "CLEAR ANODIZED" BY BERROCK MANUFACTURING CO. |
| 10       | CONCRETE COULPIN BASE                               | K      | CLEAR ANODIZED                                |
| 11       | RECESSED LIGHTS                                     | L      | MATCH COLOR TO ADJACENT SURFACE               |
| 12       | CENTER IDENTIFICATION SIGN TOWER                    | M      | -                                             |
| 13       | CORRUGATED METAL PANEL/CANOPY/ROOF                  | N      | -                                             |
| 14       | TUBULAR STEEL HORIZONTAL BASE                       | P      | -                                             |
| 15       | STEEL ROLL-UP DOOR                                  | Q      | -                                             |
| 16       | HOLLOW METAL DOOR                                   | R      | -                                             |
| 17       | METAL LOUVERS                                       | S      | -                                             |

## NOTES

- NOTES
1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TINTED. ALL GLAZING SET IN DOORFRONT DOORS IS ALSO TO BE TINTED UNO.
  2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
  3. BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

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| REVISIONS |
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**BULLSEYE  
C.R.E.**

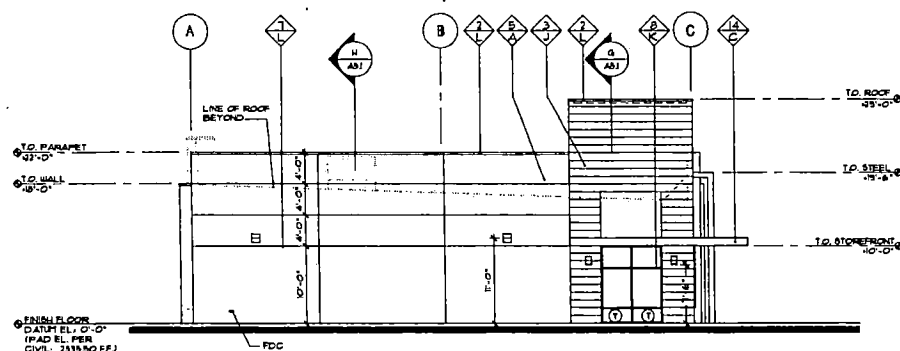
3832 Roadside Drive, Suite 205  
Irvine 940, CA 92618

**Perkowitz + Ruth Architects**  
Architecture/Planning/Store Design  
3960 Howard Hughes Parkway, Suite 450, Los Vegas, NV 89109  
Tel (702) 882-8500

ECT.  
**CHARLESTON  
FESTIVAL**  
NEC at Charleston Blvd. & Torrey Pines  
Los Angeles, CA

|                                       |
|---------------------------------------|
| ISSUE DATE:                           |
| JOB NUMBER:<br>03.A0325               |
| PLOT DATE:<br>01/07/08                |
| DRAWN BY:<br>TEAM                     |
| SHEET TITLE:<br>BLDG. C<br>ELEVATIONS |
| SHEET NO.                             |

A4.0(C



BLDG. C - EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC FLOOR SLAB (FLOOR) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE LOWEST FINISHED FLOOR

G  FLOOD LIGHT

H  BOUNCE 1

C  WALL PACK WITH BACK-UP BATTERY

I  BOUNCE 3

F  WALL PACK WITHOUT BACK-UP BATTERY

F  WALL PACK WITHOUT BACK-UP BATTERY

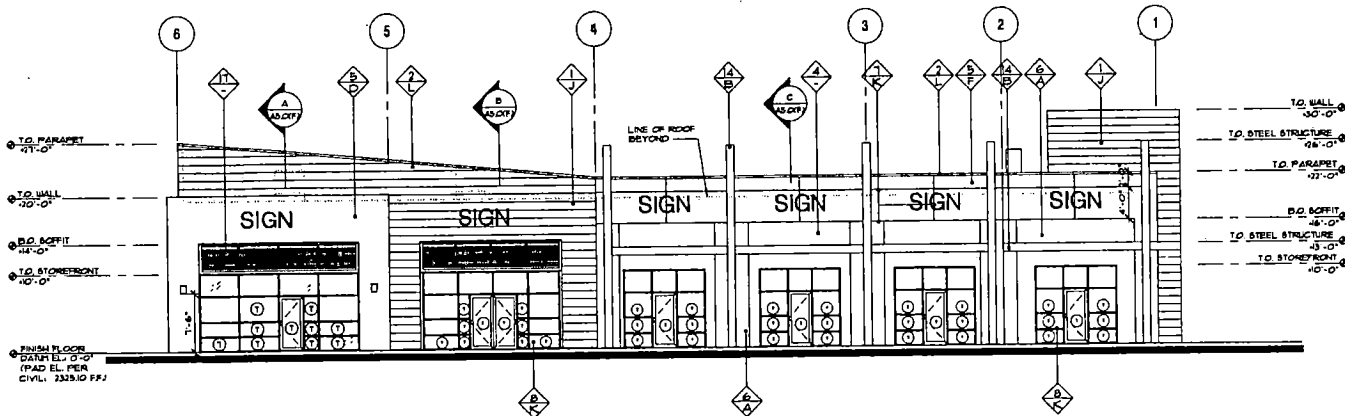
### EXTERIOR LIGHTING LEGEND

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| XLTGLEND | 12/13/04 | SCALE: NTS |
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**SDR-6023**  
**03-10-05 PC**

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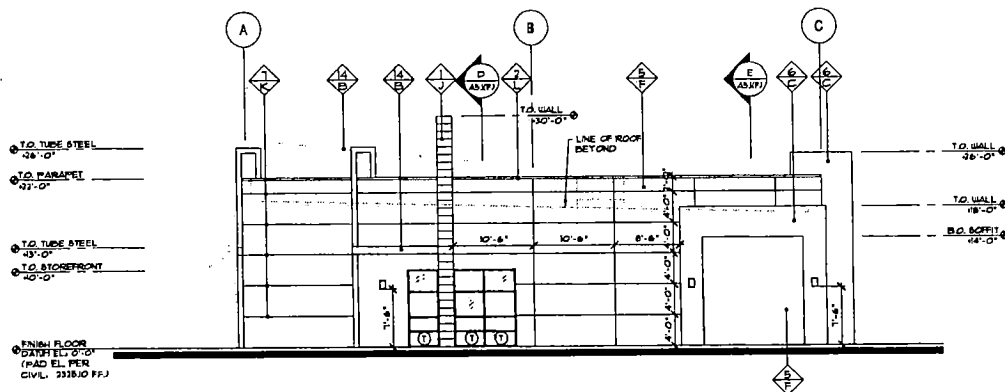


BUILDING F -- NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

A



BUILDING F -- WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

B

# MATERIAL

|    |                                                     |
|----|-----------------------------------------------------|
| 1  | CORRUGATED METAL CLADDING                           |
| 2  | STANDING SEAM METAL ROOF/CANOPY/GOPING              |
| 3  | FLUSH PANEL METAL CLADDING                          |
| 4  | SIGNAGE BY OTHERS                                   |
| 5  | LIGHT DASH PLASTER FINISH                           |
| 6  | HEAVY DASH PLASTER FINISH                           |
| 7  | METAL REVEAL                                        |
| 8  | ALUMINUM STOREFRONT                                 |
| 9  | EXPOSED STRUCTURAL STEEL COLUMNS & FRAMING, PAINTED |
| 10 | CONCRETE COLUMN BASE                                |
| 11 | RECESSED LIGHTS                                     |
| 12 | CENTER IDENTIFICATION SIGN TOWER                    |
| 13 | CORRUGATED METAL PANEL/CANOPY/ROOF                  |
| 14 | TUBULAR STEEL HORIZONTAL BASE                       |
| 15 | STEEL ROLL-UP DOOR                                  |
| 16 | HOLLOW METAL DOOR                                   |
| 17 | METAL LOUVERS                                       |

# FINISH

|    |                                                                   |
|----|-------------------------------------------------------------------|
| 1  | COLOR TO MATCH FRAIZE ABOVE "STONE CATERY"                        |
| 2  | COLOR TO MATCH FRAIZE GUICHU "RAIN SHED"                          |
| 3  | COLOR TO MATCH FRAIZE "TIS A TANGERINE"                           |
| 4  | COLOR TO MATCH FRAIZE "ACORN TOMATILLO"                           |
| 5  | COLOR TO MATCH FRAIZE "BEA CLOUD"                                 |
| 6  | COLOR TO MATCH FRAIZE "DARK BRONZE" BY BERRIDGE MANUFACTURING CO. |
| 7  | "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO.                    |
| 8  | CLEAR ANODIZED                                                    |
| 9  | MATCH COLOR TO ADJACENT SURFACE                                   |
| 10 |                                                                   |
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# NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TINTED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TINTED UNGL.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

|   |                                   |
|---|-----------------------------------|
| G | FLOOD LIGHT                       |
| H | SCENCE 1                          |
| C | WALL PACK WITH BACK-UP BATTERY    |
| I | SCENCE 3                          |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

# EXTERIOR LIGHTING LEGEND

XLTOLEGEND 12/31/04 SCALE: NTS

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# TITLE

DRAWING DATE: 11/10/04 SCALE: 1/8" = 1'-0"

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# REVISIONS

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BULLSEYE C.R.E.

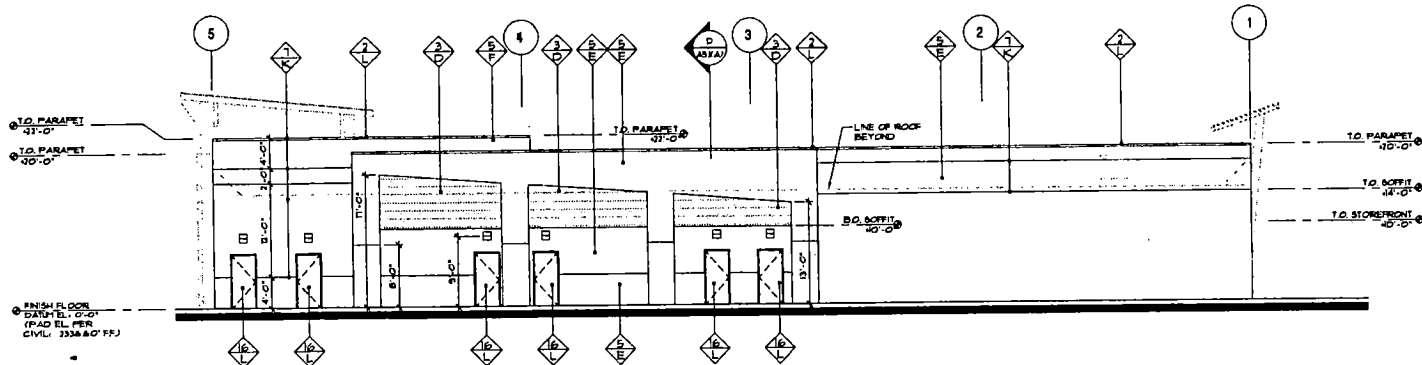
3880 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89103  
Tel: (702) 892-8500  
Fax: (702) 892-8500

**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
3880 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89103  
Tel: (702) 892-8500

**CHARLESTON FESTIVAL**  
NEC of Charleston Blvd. & Toney Plaza  
Las Vegas, NV

PROJECT: CHARLESTON FESTIVAL  
JOB NUMBER: 03-40328  
PLOT DATE: 01/01/05  
DRAWN BY: TEAM  
SHEET TITLE: BLDG F ELEVATIONS  
SHEET NO:

A4.0(F)



BUILDING A -- NORTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

| MATERIAL                                              | FINISH                                           |
|-------------------------------------------------------|--------------------------------------------------|
| 1 CORRUGATED METAL CLADDING                           | A COLOR TO MATCH FRAIZEE PAINT "STONE COUNTRY"   |
| 2 STANDING SEAM METAL ROOF/CANOPY/ROOFING             | B COLOR TO MATCH FRAIZEE GUDON "RAIN SHED"       |
| 3 FLUSH PANEL METAL CLADDING                          | C COLOR TO MATCH FRAIZEE "STRA TANGERINE"        |
| 4 SIGNAGE BY OTHERS                                   | D COLOR TO MATCH FRAIZEE "ACORN TOP TALL"        |
| 5 LIGHT DASH PLASTER FINISH                           | E COLOR TO MATCH FRAIZEE "BUSH "MALATION"        |
| 6 HEAVY DASH PLASTER FINISH                           | F COLOR TO MATCH FRAIZEE GUDON "SEA CLOUD"       |
| 7 METAL REVEAL                                        | G ANGELUS BLOCK "WASH GREY"                      |
| 8 ALUMINUM STOREFRONT                                 | H "DARK BRONZE" BY DENRIDGE MANUFACTURING CO.    |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS & FRAMING, PAINTED | I "CLEAR ANODIZED" BY DENRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE                               | K CLEAR ANODIZED                                 |
| 11 RECESSED LIGHTS                                    | L MATCH COLOR TO ADJACENT SURFACE                |
| 12 CENTER IDENTIFICATION SIGN TOWER                   |                                                  |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF                 |                                                  |
| 14 TUBULAR STEEL HORIZONTAL BASE                      |                                                  |
| 15 STEEL ROLL-UP DOOR                                 |                                                  |
| 16 HOLLOW METAL DOOR                                  |                                                  |
| 17 METAL LOUVERS                                      |                                                  |

#### NOTES

- ALL GLASSING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED UNG.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS
- SOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR

| REVISIONS |
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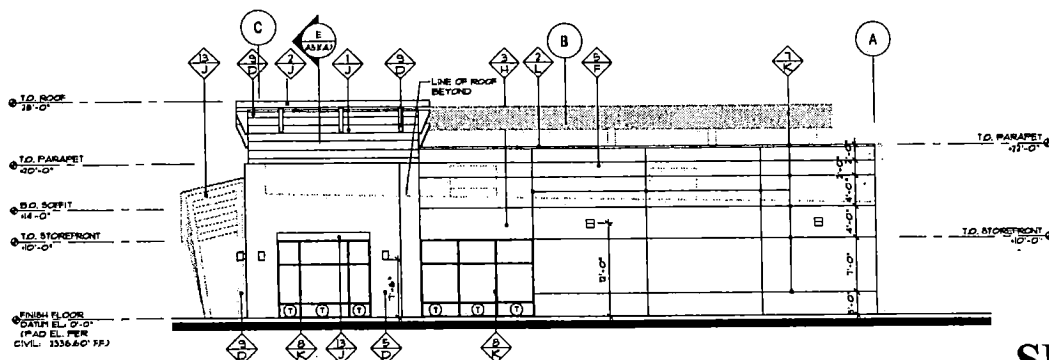
**BULSEYE C.R.E.**  
3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109  
Tel: (702) 892-8500

**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109  
Tel: (702) 892-8500

**CHARLESTON FESTIVAL**  
NEC of Charleston Blvd & Torrey Pines  
Las Vegas, NV

PROJECT: CHARLESTON FESTIVAL  
JOB NUMBER: 03-0325  
PLOT DATE: 01/01/05  
DRAWN BY: TEAM  
SHEET TITLE: BUILDING A ELEVATIONS  
SHEET NO.

A4.1(A)



BUILDING A -- EAST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UDN) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

|   |                                   |
|---|-----------------------------------|
| G | FLOOD LIGHT                       |
| H | ACCENT 1                          |
| C | WALL PACK WITH BACK-UP BATTERY    |
| I | ACCENT 3                          |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

#### EXTERIOR LIGHTING LEGEND

KLTL/LEGEND 03/04/04 SCALE: NTS

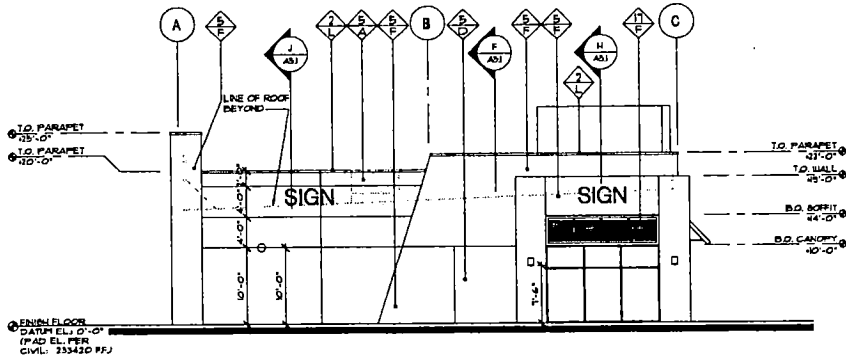
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**SDR-6023**  
**03-10-05 PC**

#### TITLE

DRAWING: DGS PREPARED BY: SCALE: 1/8" = 1'-0"

4



BLDG. B - SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (100% WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

MATERIAL

FINISH

|    |                                                    |   |                                                |
|----|----------------------------------------------------|---|------------------------------------------------|
| 1  | CORRUGATED METAL GLAZING                           | A | COLOR TO MATCH PRAIZE 891W "STONE CISTERN"     |
| 2  | STANDING SEAM METAL ROOF/CANOPY/CORING             | B | COLOR TO MATCH PRAIZE 891W "RAIN SHIPPER"      |
| 3  | FLUSH PANEL METAL GLAZING                          | C | COLOR TO MATCH PRAIZE 1316A "TANSEKINE"        |
| 4  | SIGNAGE BY OTHERS                                  | D | COLOR TO MATCH PRAIZE 891W "MATERIAL"          |
| 5  | LIGHT DASH PLASTER FINISH                          | E | COLOR TO MATCH PRAIZE 891W "MATERIAL"          |
| 6  | HEAVY DASH PLASTER FINISH                          | F | COLOR TO MATCH PRAIZE 891W "SEA CLOUD"         |
| 7  | METAL REVEAL                                       | G | ANGELUS BLOCK "WASH GREY"                      |
| 8  | ALUMINUM STOREFRONT                                | H | "DARK BRONZE" BY BERRIDGE MANUFACTURING CO.    |
| 9  | EXPOSED STRUCTURAL STEEL COLUMN & BRACING, PAINTED | I | "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 | CONCRETE COLUMN BASE                               | J | CLEAR ANODIZED                                 |
| 11 | RECESSED LIGHTS                                    | K | MATCH COLOR TO ADJACENT SURFACE                |
| 12 | CENTER IDENTIFICATION SIGN TOWER                   | L | -                                              |
| 13 | CORRUGATED METAL PANEL/CANOPY/ROOF                 | M | -                                              |
| 14 | TUBULAR STEEL HORIZONTAL BASE                      | N | -                                              |
| 15 | STEEL ROLL-UP DOOR                                 | O | -                                              |
| 16 | HOLLOW METAL DOOR                                  | P | -                                              |
| 17 | METAL LOUVERS                                      | Q | -                                              |

NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TYPED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TYPED UNDO.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- BOFFITS TO MATCH ADJACENT STOREFRONT WALL COLOR.

G FLOOD LIGHT

H BCONCE 1

C WALL PACK WITH BACK-UP BATTERY

I BCONCE 3

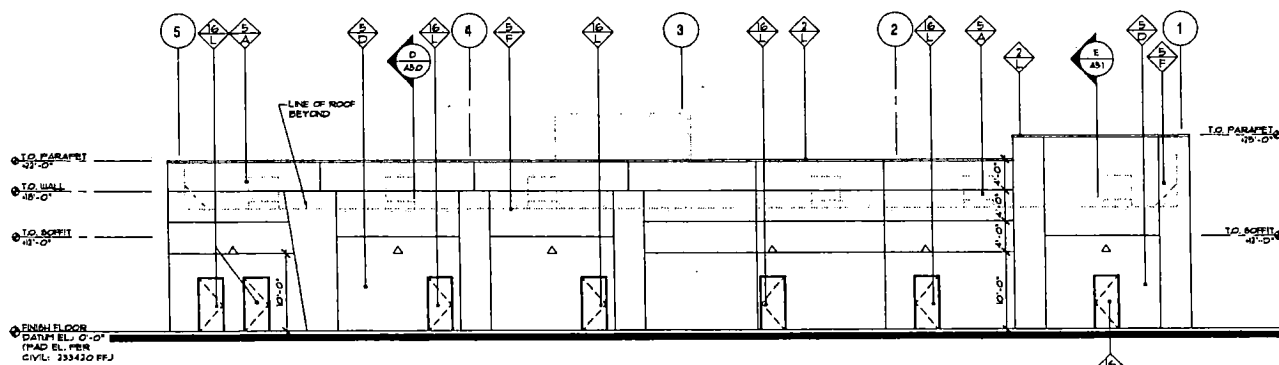
F WALL PACK WITHOUT BACK-UP BATTERY

F WALL PACK WITHOUT BACK-UP BATTERY

EXTERIOR LIGHTING LEGEND

XLG LEGEND D/30/4 SCALE: NTS

3



BLDG. B - WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (100% WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SDR-6023  
03-10-05 PC

TITLE

DRAWING DWS P/00/00 SCALE: 1/8" = 1'-0"

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| REVISIONS |
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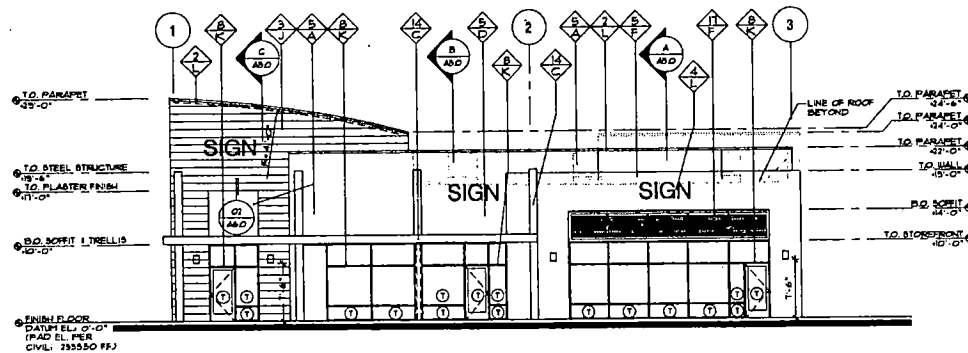
RULLSEYE  
C.R.E.

Perkowitz + Ruth Architects  
Architecture/Planning/Store Design  
3880 Hazard Hughes Parkway, Suite 450, Las Vegas, NV 89109  
Tel (702) 882-5500

PROJECT  
CHARLESTON  
FESTIVAL  
NEC of Charleston Blvd & Tropic Pkwy  
Las Vegas, NV

ISSUE DATE:  
JOB NUMBER:  
PLOT DATE:  
DRAWN BY:  
SHEET TITLE:  
BLDG. B  
ELEVATIONS  
SHEET NO.

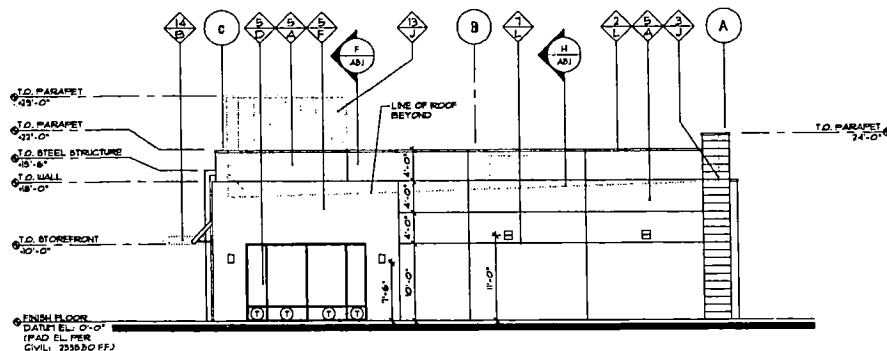
A4.1(B)



BLDG. C - SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"



BLDG. C - WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONC. FLOOR SLAB (UDN). WHEN FLOOR SLAB STEPS, ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

| MATERIAL                                             | FINISH                                           |
|------------------------------------------------------|--------------------------------------------------|
| 1 CORRUGATED METAL CLADDING                          | A COLOR TO MATCH FRAZEE 8830 "STONE CISTERN"     |
| 2 STANDING SEAM METAL ROOF/CANOPY/ROOFING            | B COLOR TO MATCH FRAZEE 8830 "RAIN SHIPPER"      |
| 3 FLUSH PANEL METAL CLADDING                         | C COLOR TO MATCH FRAZEE 1315A "TANGIERNE"        |
| 4 SIGNAGE BY OTHERS                                  | D COLOR TO MATCH FRAZEE 8830 "TOPATILLO"         |
| 5 LIGHT DASH PLASTER FINISH                          | E COLOR TO MATCH FRAZEE 8830 "MILKATION"         |
| 6 HEAVY DASH PLASTER FINISH                          | F COLOR TO MATCH FRAZEE 8830 "SEA CLOUD"         |
| 7 METAL REVEAL                                       | G ANGELUS BLOCK "HART GREY"                      |
| 8 ALUMINUM STOREFRONT                                | H "DARK BRONZE" BY DERRIDGE MANUFACTURING CO.    |
| 9 EXPOSED STRUCTURAL STEEL COLUMN & FRAMING, PAINTED | I "CLEAR ANODIZED" BY DERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE                              | K CLEAR ANODIZED                                 |
| 11 RECESSED LIGHTS                                   | L MATCH COLOR TO ADJACENT SURFACE                |
| 12 CENTER IDENTIFICATION SIGN TOWER                  | M                                                |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF                | N                                                |
| 14 TUBULAR STEEL HORIZONTAL BASE                     | P                                                |
| 15 STEEL ROLL-UP DOOR                                | Q                                                |
| 16 HOLLOW METAL DOOR                                 | R                                                |
| 17 METAL LOUVERS                                     | S                                                |

#### NOTES

- ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED UNO.
- SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
- ROOFING TO MATCH ADJACENT STOREFRONT WALL COLOR.

- G FLOOD LIGHT
- H SCONCE 1
- C WALL PACK WITH BACK-UP BATTERY
- I SCONCE 3
- F WALL PACK WITHOUT BACK-UP BATTERY
- F WALL PACK WITHOUT BACK-UP BATTERY

#### EXTERIOR LIGHTING LEGEND

XLTOLEND 7/13/04 SCALE: NTS

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**Perkowitz + Ruth Architects**  
Architecture / Planning / Store Design  
3880 Howard Hughes Parkway, Suite 450, Los Vegas, NV 89169  
Tel: (702) 892-8500

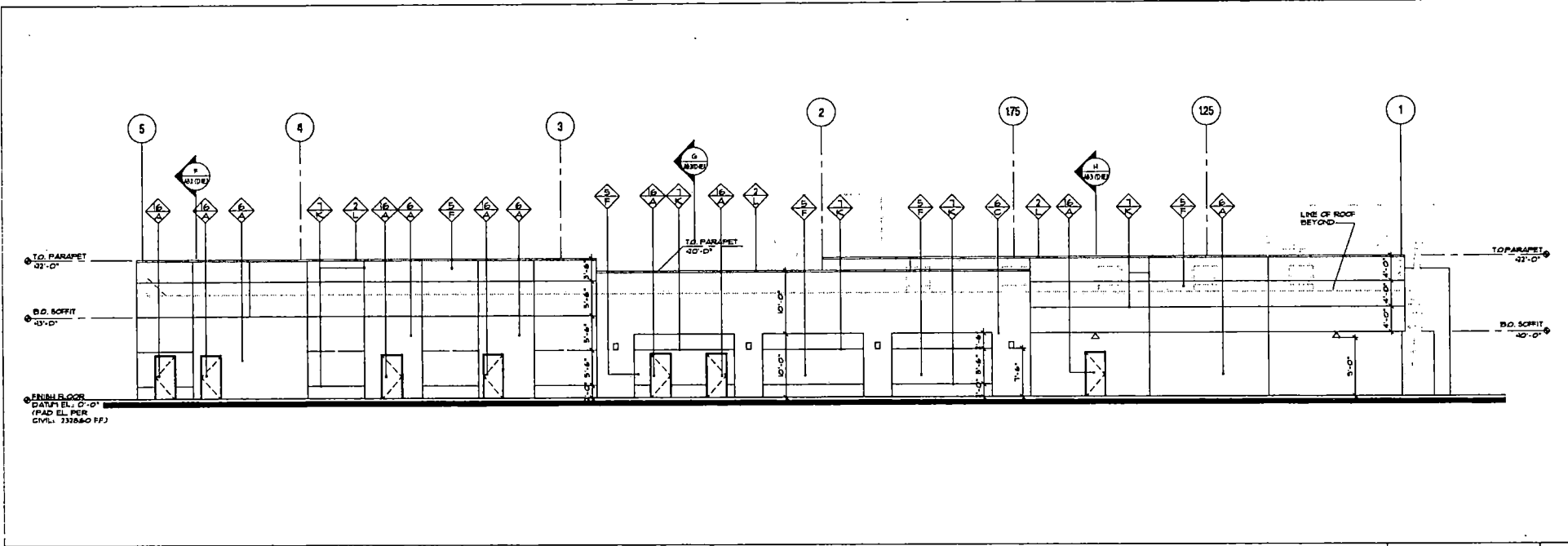
**CHARLESTON FESTIVAL**  
NEC of Charleston Blvd & Tennyson  
Las Vegas, NV

ISSUE DATE:  
JOB NUMBER:  
PLOT DATE:  
DRAWN BY:  
TECH:  
SHEET TITLE:  
BLDG. C:  
ELEVATIONS:  
SHEET NO.:

A4.1(C)

**SDR-6023**  
**03-10-05 PC**

TITLE  
DRAWING NO. 7/13/04 SCALE: 1/8" = 1'-0"

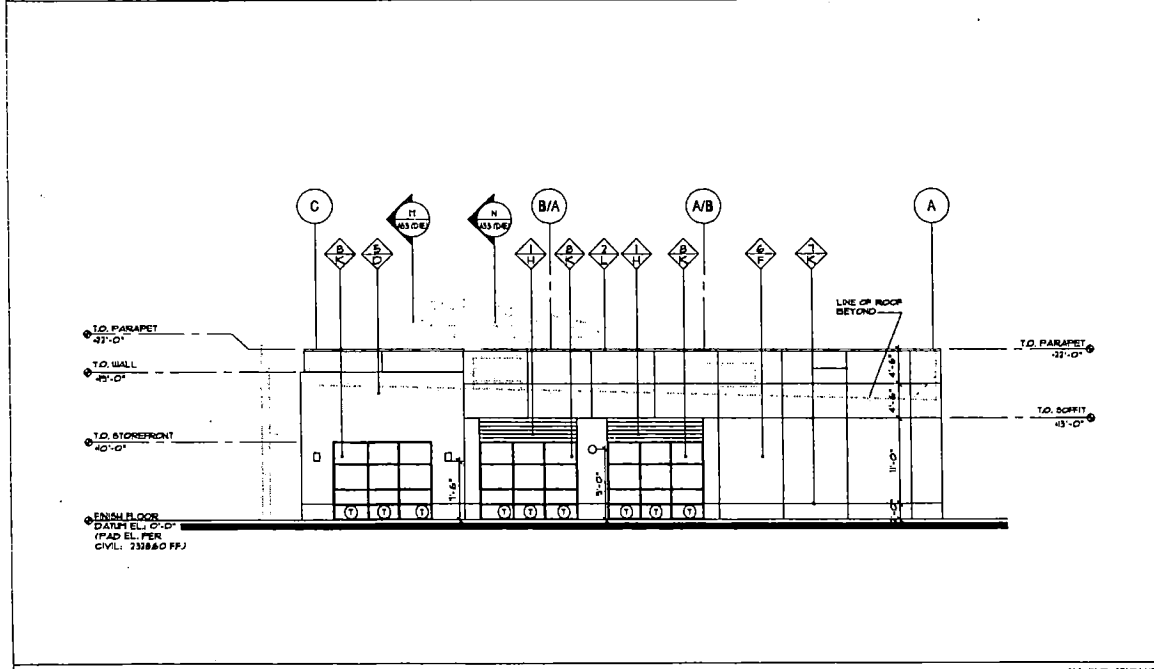


BLDG D & E -- SOUTH ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UGL) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

C



BLDG. D & E -- WEST ELEVATION

ALL ELEVATION HEIGHTS ARE GIVEN FROM TOP OF INTERIOR CONCRETE FLOOR SLAB (UGL) WHEN FLOOR SLAB STEPS. ELEVATION HEIGHTS ARE REFERENCED FROM THE HIGHEST FINISHED FLOOR.

SCALE: 1/8" = 1'-0"

D

|   |                                   |
|---|-----------------------------------|
| G | FLOOD LIGHT                       |
| H | SCOFF 1                           |
| C | WALL PACK WITH BACK-UP BATTERY    |
| I | SCOFF 3                           |
| F | WALL PACK WITHOUT BACK-UP BATTERY |
| F | WALL PACK WITHOUT BACK-UP BATTERY |

EXTERIOR LIGHTING LEGEND

KL TO LEGEND 12/13/04 SCALE: NTS

**SDR-6023**  
**03-10-05 PC**

| MATERIAL                                              | FINISH                                           |
|-------------------------------------------------------|--------------------------------------------------|
| 1 CORRUGATED METAL CLADDING                           | A COLOR TO MATCH PRAIZE 883W "STONE CISTERN"     |
| 2 STANDING SEAM METAL ROOF/CANOPY/CORING              | B COLOR TO MATCH PRAIZE CUD02W "RAIN BUTTER"     |
| 3 FLUSH PANEL METAL CLADDING                          | C COLOR TO MATCH PRAIZE 1375A "TANGIERNE"        |
| 4 SIGNAGE BY OTHERS                                   | D COLOR TO MATCH PRAIZE AC10N "TOPHATILLO"       |
| 5 LIGHT DASH PLASTER FINISH                           | E COLOR TO MATCH PRAIZE 893W "HALATION"          |
| 6 HEAVY DASH PLASTER FINISH                           | F COLOR TO MATCH PRAIZE CUD06W "SEA CLOUD"       |
| 7 METAL REVEAL                                        | G ANGELUS BLOCK "WARM GREY"                      |
| 8 ALUMINUM STOREFRONT                                 | H "DARK BRONZE" BY BERRIDGE MANUFACTURING CO.    |
| 9 EXPOSED STRUCTURAL STEEL COLUMNS + BRACING, PAINTED | J "CLEAR ANODIZED" BY BERRIDGE MANUFACTURING CO. |
| 10 CONCRETE COLUMN BASE                               | K CLEAR ANODIZED                                 |
| 11 RECESSED LIGHTS                                    | L MATCH COLOR TO ADJACENT SURFACE                |
| 12 CENTER IDENTIFICATION SIGN TOWER                   | M                                                |
| 13 CORRUGATED METAL PANEL/CANOPY/ROOF                 | N                                                |
| 14 TUBULAR STEEL HORIZONTAL BASE                      | O                                                |
| 15 STEEL ROLL-UP DOOR                                 | P                                                |
| 16 HOLLOW METAL DOOR                                  | Q                                                |
| 17 METAL LOUVERS                                      | R                                                |

NOTES

1. ALL GLAZING PANELS ADJACENT TO FINISH FLOOR AND TO EITHER SIDE OF DOOR ENTRANCES ARE TO BE TEMPERED. ALL GLAZING SET IN STOREFRONT DOORS IS ALSO TO BE TEMPERED UGL.
2. SEE ROOF PLAN FOR TOP OF SHEATHING HEIGHTS.
3. SCOFFS TO MATCH ADJACENT STOREFRONT WALL COLOR.

EXTERIOR FINISH SCHEDULE

10/10/04 SCALE: NONE

REVISIONS

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**BULLSEYE C.R.E.**

ARCHITECT

10000 W. 10TH AVE. SUITE 200  
DENVER, CO 80202  
TEL: (303) 861-1000

**Perkowitz + Ruth Architects**

Architecture / Planning / Store Design

3980 Harvard Highway, Suite 450, Los Angeles, CA 90010  
Tel: (310) 892-6500

**CHARLESTON FESTIVAL**

PROJECT

NEC of Charleston Blvd. & Tenny Pkwy  
Las Vegas, NV

ISSUE DATE:  
03.10.05

JOB NUMBER:  
03.10.05

PLOT DATE:  
03.10.05

DESIGNER:  
TEAM

SHEET TITLE:  
BLDG D & E ELEVATIONS

SHEET NO:  
A4.1(D&E)





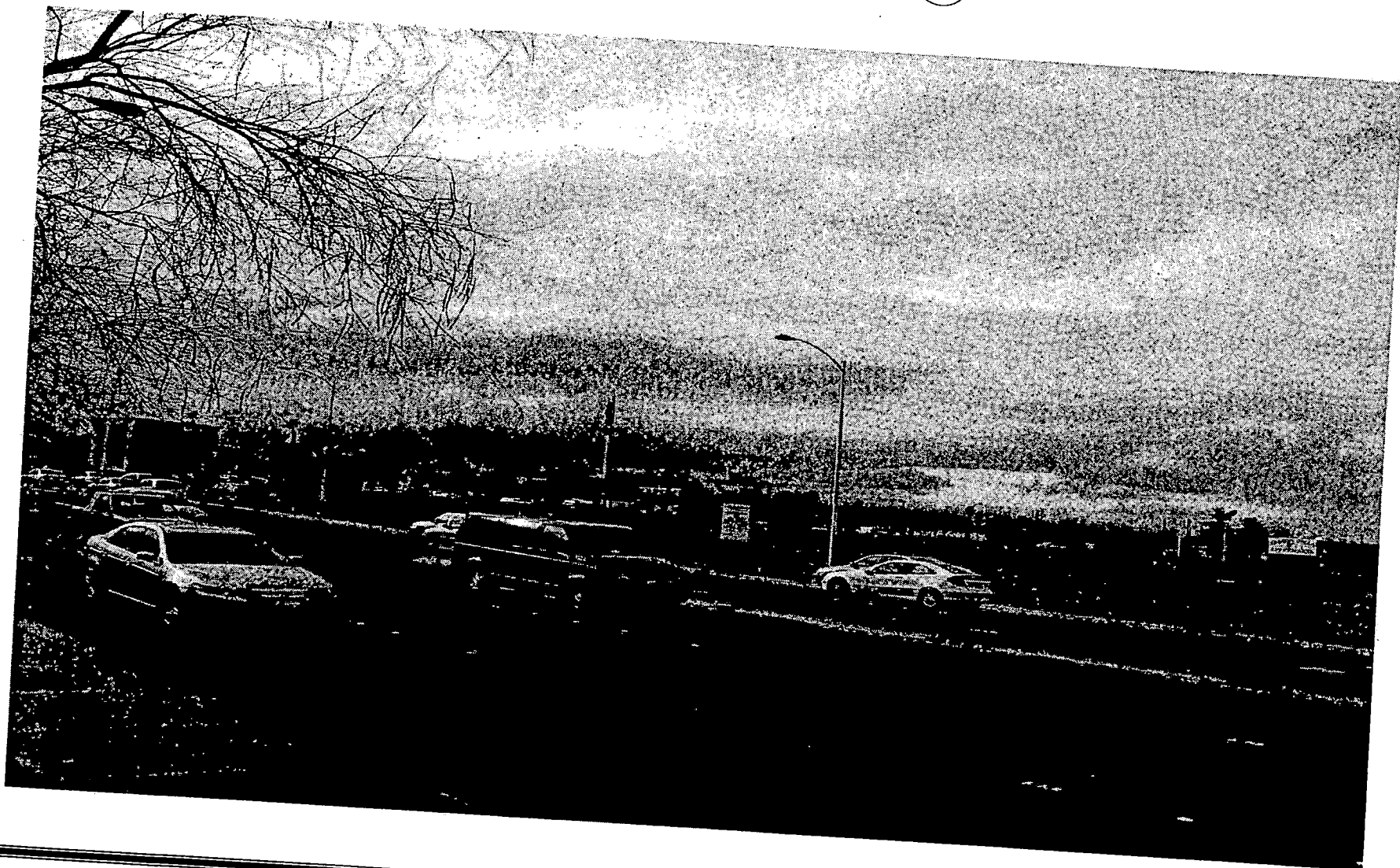
SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC  
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



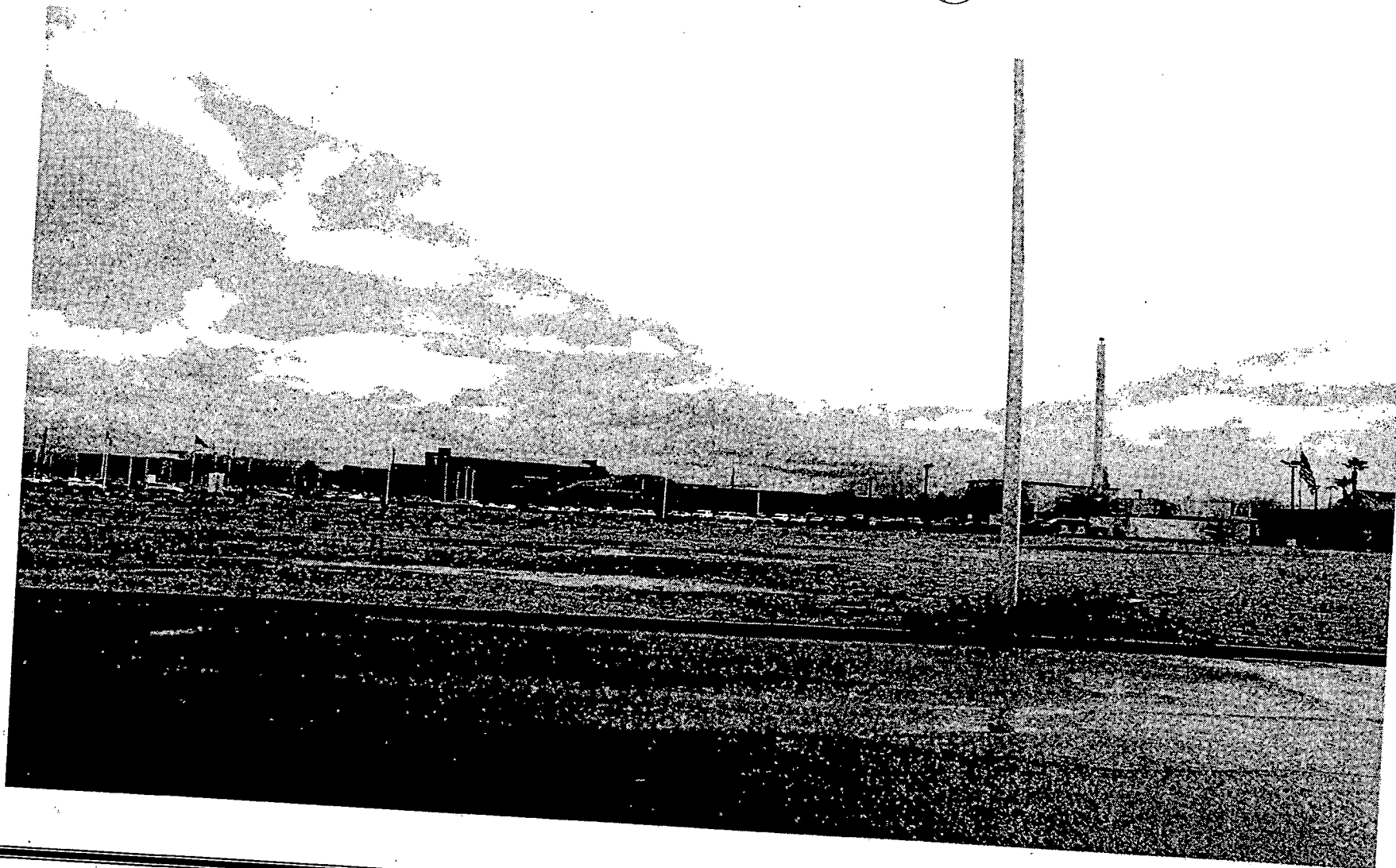
SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC  
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC  
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



SDR-6023 - APPLICANT/OWNER: CHARLESTON FESTIVAL, LLC  
SOUTHEAST CORNER OF TORREY PINES DRIVE AND CASADA WAY  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

**REVISED**

**MEMORANDUM**

Date: January 24, 2005  
To: **CITY OF LAS VEGAS  
PLANNING AND DEVELOPMENT DEPARTMENT**  
From: Deborah McCutchen  
Project: **CENTENNIAL BUSINESS PARK**  
**APN: 138-35-801-002 and 138-35-803-001**  
**New parcel: 138-35-403-005**  
Re: **ADMINISTRATIVE REVIEW:**  
**Justification Letter**  
**Related to: SDPR #3790 and SUP #3815**

Project No.: 03-403

File No.: 5.1

Perkowitz+Ruth Architects, on behalf of Charleston Festival, LLC, respectfully request Administrative Design Review approval for site revisions after approval of SPDR #3790. The site, a 10-acre parcel located is on the north side of Charleston Blvd, east of Torrey Pines, opposite the Community College of Southern Nevada is zoned C-1. The proposed uses on this site are a neighborhood market anchor in addition to commercial/retailers and restaurants.

We respectfully request approval of the following site changes: east property line adjustment based on boundary survey, addition of .45 acres at the northwest corner of the property and buildings that have moved and changed in size. The total building square footage has decreased from 101,000 down to 94,978 square foot.

Included for your review and approval with the building elevations are the exterior elevations of the Wal-mart for this location and a building height profile showing that they will have a 22' building height where 30' is allowed. In addition to the 6' decorative block wall at the property line, Wal-Mart will provide a 10' screen wall at the loading dock.

The proposed site plan changes will not adversely affect the surrounding neighborhood. The site plan allows for required Fire Department access and turn radiuses and ingress and egress.

Document 13  
NB-MEMO (r. 11/2/00)

**Regional Office:** 3980 Howard Hughes Parkway, Suite 450, Las Vegas, NV 89109 ♦ (702) 892-8500  
**Corporate Office:** 111 West Ocean Boulevard, 21<sup>st</sup> Floor, Long Beach, CA 90802 ♦ (562) 628-8000

S:/PRForms/Memo/Phone memo.doc

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-6025 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING -**  
**APPLICANT/OWNER: DECATUR CONCORD LLC** - Request for a Site Development  
Plan Review FOR A 4,987 SQUARE-FOOT COMMERCIAL BUILDING AND A WAIVER  
TO ALLOW A 15-FOOT FRONT SETBACK WHERE 20 FEET IS THE MINIMUM  
SETBACK REQUIRED AND WAIVERS OF FOUNDATION, BUFFER AND PARKING LOT  
LANDSCAPING STANDARDS on 0.83 acres adjacent to the northeast corner of Decatur  
Boulevard and Concord Village Drive (APN 139-19-301-007), C-1 (Limited Commercial) Zone,  
Ward 5 (Weekly).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

Planning Commission Mtg.   
City Council Meeting

**APPROVALS RECEIVED BEFORE:**

Planning Commission Mtg.   
City Council Meeting

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**McSWAIN – DENIED – UNANIMOUS with EVANS not voting and STEINMAN excused**

**To be heard by the City Council on 04/06/2005**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

DOUG RANKIN, Planning and Development, stated that staff received a revised Site Plan from the applicant. Staff's original recommendation was for denial; however, with the revisions to the Site Plan, staff now supported the application.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 42 – SDR-6025

**MINUTES – Continued:**

MR. RANKIN pointed out that there are some changes to staff's "if approved" conditions, as they were relative to the original Site Plan. Condition 2 needs to be deleted, as the trash enclosure and the loading zone have been relocated on the revised Site Plan; Condition 4 needs to be deleted, as the condition is already included in the Public Works conditions; Condition 18 needs to be deleted, as there are no perimeter walls; and Condition 6 needs to be revised to reflect the correct date stamp of the site plan and building elevations, 3/09/2005.

SAM ZEER, Decatur Concord LLC, 5800 Meikle Lane, Ste. A, Las Vegas, appeared on behalf of the applicant and concurred with staff's conditions.

SCOTT SMITH appeared on behalf of the RAGUTTO'S, whose property is located directly east of the subject site. DONNA BISHOP, The Equity Group, which is the property management company for the RAGUTTO'S; LEAH CAMPBELL SOTO, tenant at 1922 N. Decatur Boulevard; and JEROME CLARK, tenant at 1910 N. Decatur Boulevard, all expressed concerns with the location of the trash enclosure, loading zone, insufficient parking spaces, pending repair on a parking lot light pole, and ongoing issues with water being turned off during business hours without prior notification. MR. SMITH suggested holding the item in abeyance to allow time to review the revised Site Plan and its impact on the tenants. MR. ZEER responded that the property management group was aware of the subject development, which was previously presented approximately a year ago. One of the major changes was the reduction in size of the proposed building. He pointed out that the revisions were done based upon staff's recommendations.

COMMISSIONER GOYNES commented that he visited the subject site, which is very narrow and patrons have trouble with egress/ingress. He was also advised by one of the tenants that there has been difficulty with leasing out the remaining spaces. COMMISSIONER GOYNES felt that adding the proposed development would overbuild the site and he could not support the application.

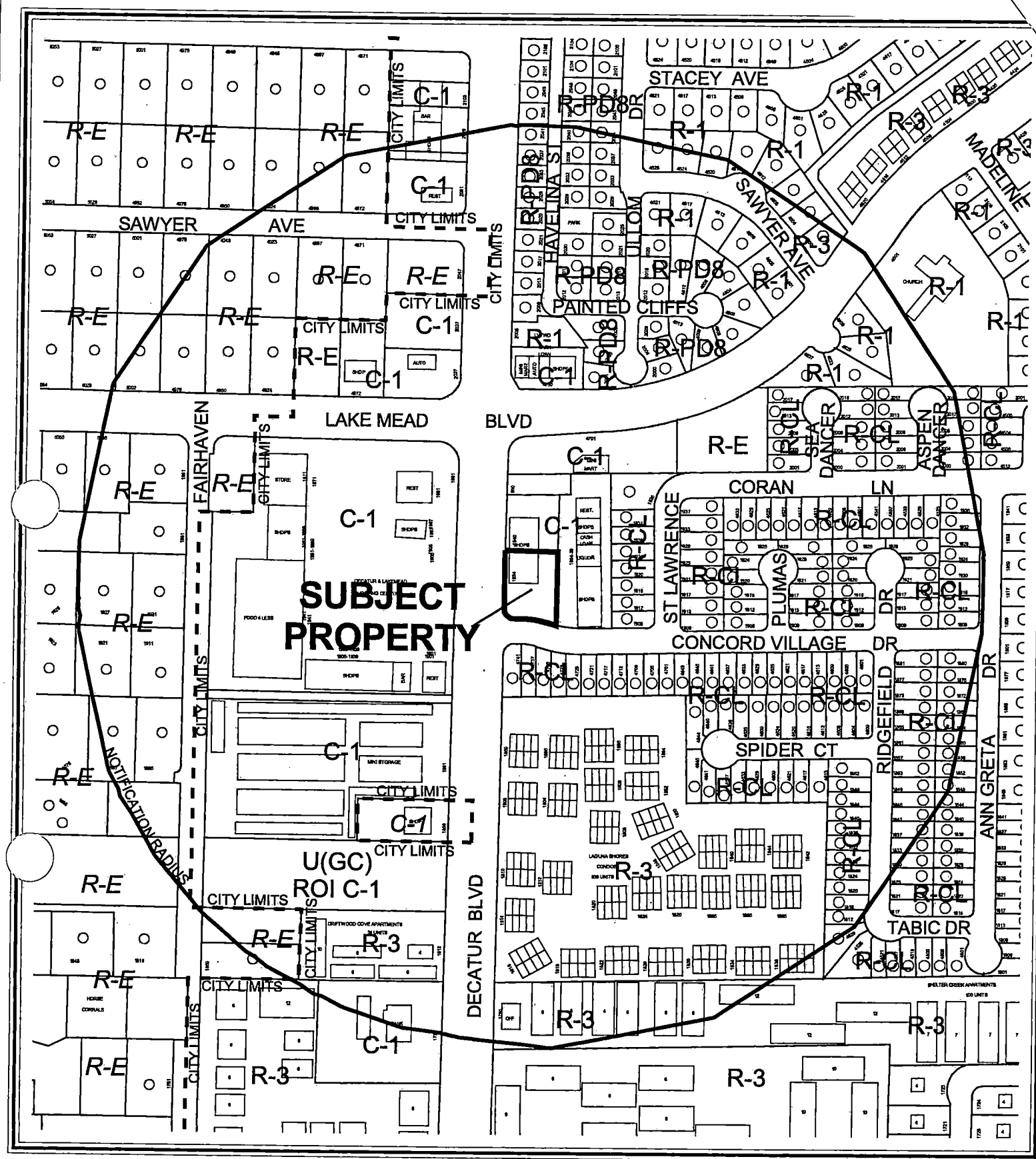
VICE CHAIRMAN TRUESDELL commented that the commercial center is challenged and limits the view for the inline retail. He added that whether or not there is a parking agreement, all the tenants are part of the commercial center and must share the parking. He expressed concern with adding the proposed development on the corner of the subject site where circulation is already a problem, so he could not support the application. MR. ZEER indicated that the applicant had proposed relocating the sign to the middle of the driveway at one time.

COMMISSIONER McSWAIN agreed with VICE CHAIRMAN'S TRUESDELL'S comments. MR. RANKIN verified for her that the revised Site Plan reflected the change in the location of the trash enclosure and the loading zone, and the striping on the parking.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 42 – SDR-6025

**MINUTES – Continued:**

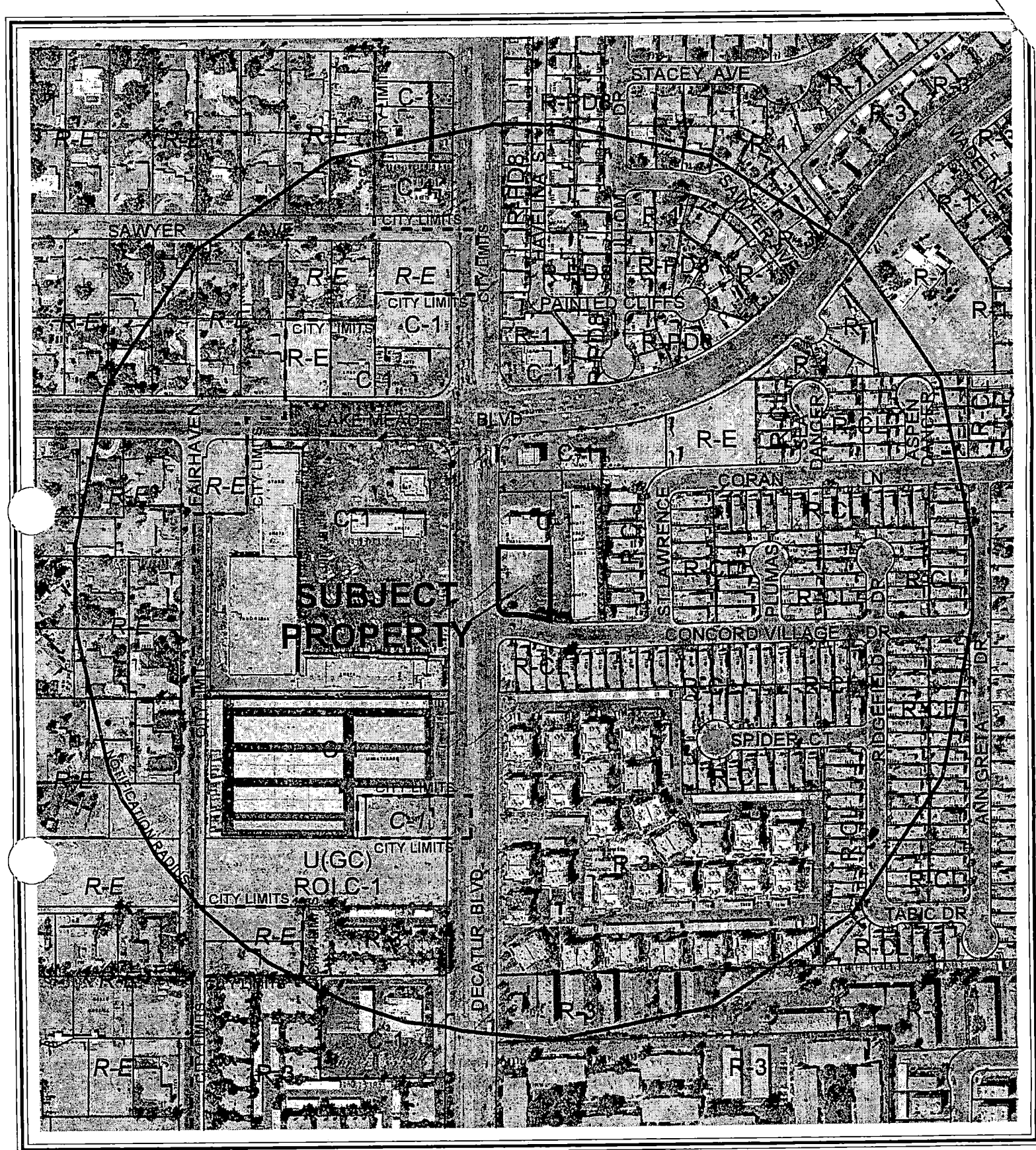
CHAIRMAN NIGRO declared the Public Hearing closed.  
(9:36 – 9:52)  
3-3425



CASE: **SDR-6025**

RADIUS: 1000 FT

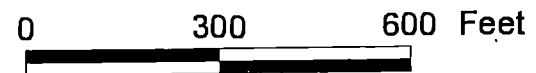
ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



CASE: **SDR-6025**

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)



**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SDR-6025 - APPLICANT/OWNER: DECATUR CONCORD LLC**

**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: DENIAL** If Approved, subject to:

**Planning and Development**

1. The south elevation of the building shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation. The buildings shall carry the same level of detail around all sides of a building providing for a more consistent design and higher quality of development.
2. The site plan shall be revised and approved by the Planning and Development Department staff, prior to the time application is made for a building permit to reflect a 20-foot rear setback. Additionally, the revised plan shall reflect the loading zone and trash enclosure relocated pursuant to Title 19.08
3. The trash enclosure shall be fully enclosed and roofed using the same design theme and materials similar to those used in the main structures.
4. A cross access agreement between adjacent parcels shall be recorded and submitted to the Planning Department, prior to issuance of building permits.
5. All parking space dimensions shall conform to Title 19.10 Parking, Loading, and Traffic Standards.
6. All development shall be in conformance with the site plan and building elevations, date stamped 03/10/05 except as amended by conditions herein.
7. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
8. All City Code requirements and design standards of all City departments must be satisfied.
9. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.

**SDR-6025 - Conditions Page Two**  
**March 10, 2005 Planning Commission Meeting**

10. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 20 feet on-center and a minimum of four five-gallon shrubs for each tree within provided planters.
11. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
12. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.
13. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
14. The elevations shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation.
15. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets except single-family residential development. Air conditioning units shall not be mounted on rooftops residential development.
16. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
17. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Title 19.12.050.
18. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
19. Prior to the issuance of building permits, a revised landscape plan must be submitted to and approved by the Department of Planning and Development showing a maximum of 12.5% of the total landscaped area as turf.

**Public Works**

20. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.

**SDR-6025 - Conditions Page Three**  
**March 10, 2005 Planning Commission Meeting**

21. Construct the full-width of the proposed driveway accessing Decatur Boulevard and appropriate on-site paving to provide for two-way vehicular traffic concurrent with development of this site. The proposed driveway shall be designed, located and constructed in accordance with Standard Drawing #222A.
22. Provide a copy of a recorded Joint Access Agreement between this site and the adjoining parcel to the north and east prior to the issuance of any permits.
23. Meet with the Flood Control Section of the Department of Public Works for assistance in establishing finished floor elevations and drainage pathways required for this site, prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first.
24. This lot must legally connect to public sewer in Concord Village Drive, unless proper documentation is provided allowing on-site common sewers.

**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) *Action Requested***

This is a request for a Site Development Plan Review and Waivers of front setback, foundation, buffer, and parking lot landscaping standards on 0.83 acres adjacent to the northeast corner of Decatur Boulevard and Concord Village Drive.

**B) *Applicant's Justification***

The applicant indicates that the development is similar and fits well with what presently exists at this intersection.

**BACKGROUND INFORMATION**

**A) *Related Actions***

- 04/18/84      The City Council approved a Rezoning (Z-0014-84) on the site from R-E (Residence Estates) to C-1 (Limited Commercial).
- 03/18/87      The City Council approved a Plot Plan review of the subject site.
- 12/17/87      The City council approved a SP-0002-87, a Shared parking agreement between the property owners of the commercial parcels around, and including, and the subject site. The agreement pertains to the commercial development that is located between Lake Mead Boulevard to the north, Decatur Boulevard to the west, and Concord Drive to the south. The parking agreement was approved, but never recorded.
- 04/06/88      The City Council approved a Reinstatement and Extension of Time for the subject site.
- 02/12/04      The Planning Commission tabled a request for a Site Development Plan Review (SDR-2997) for a 6,500 square-foot general retail building and a reduction of the front yard setback to allow 10 feet where 20 feet is the minimum required, a reduction in the side yard setback to allow 5 feet where 10 feet is the minimum required, and a reduction in the required amount of perimeter landscaping.

**SDR-6025 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

***B) Pre-Application Meeting***

01/12/05 The following information was discussed at the pre-application meeting:

- The trash enclosure needs to be roofed and gated.
- 24" box trees 20 feet on center are required along the street with four-one gallon and four-five gallon shrubs.
- Exterior elevations should match the existing building.
- A Waiver of the front setback, foundation, and buffer landscaping is needed.

***C) Neighborhood Meetings***

A neighborhood meeting is not required for this type of application.

**DETAILS OF APPLICATION REQUEST**

***A) Site Area***

Gross Acres: 0.83

***B) Existing Land Use***

Subject Property: Vacant  
North: Retail Commercial  
South: Concord Village Drive Right-of-Way, Single Family Dwelling  
East: Retail Commercial  
West: Decatur Boulevard Right-of-Way, Retail Commercial

***C) Planned Land Use***

Subject Property: SC (Service Commercial)  
North: SC (Service Commercial)  
South: ML (Medium-Low Density Residential)  
East: SC (Service Commercial) and ML (Medium-Low Density Residential)  
West: SC (Service Commercial)

***D) Existing Zoning***

Subject Property: C-1 (Limited Commercial)  
North: C-1 (Limited Commercial)  
South: R-CL (Residential Compact-Lot)  
East: C-1 (Limited Commercial)  
West: C-1 (Limited Commercial)

**E) General Plan Compliance**

This site is designated as SC (Service Commercial) on the Southeast Sector Map of the General Plan. The proposed C-1 (Limited Commercial) zoning on this site is compatible with the SC (Service Commercial) designation. The proposed use complies with both the land use designation and the proposed zoning for the site.

| <b>SPECIAL DISTRICTS/ZONES</b>             | <b>Yes</b> | <b>No</b> |
|--------------------------------------------|------------|-----------|
| Special Area Plan                          |            | X         |
| Special Overlay District                   |            | X         |
| Trails                                     |            | X         |
| Development Impact Notification Assessment |            | X         |
| Project of Regional Significance           |            | X         |

There are no Special Districts or zones associated with this site.

**PROJECT DESCRIPTION**

The proposed project consists of a 4,900 square-foot multi-tenant retail building which is to be located on a 0.83-acre site. Access to the site is from an existing driveway, which is accessed via Decatur Boulevard approximately 270 feet south of Lake Mead Boulevard. Pursuant to Title 19.10 Parking requirements, the site is required to have 28 parking spaces with 2 handicapped accessible. The current site plan indicates 30 parking spaces with 2 handicapped accessible.

**ANALYSIS**

**A) Zoning Code Compliance**

**A1) Development Standards**

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

| <b>Standards</b>  | <b>Required</b> | <b>Provided</b> | <b>Compliance</b> |
|-------------------|-----------------|-----------------|-------------------|
| Min. Lot Width    | 100 Feet        | 120 Feet        | Y                 |
| Min. Setbacks     |                 |                 |                   |
| • Front           | 20 Feet         | 15 Feet         | N                 |
| • Side            | 10 Feet         | 96 Feet         | Y                 |
| • Corner          | 15 Feet         | 17.8 Feet       | Y                 |
| • Rear            | 20 Feet         | 5 Feet          | N                 |
| Max. Lot Coverage | 50 %            | 13.6%           | Y                 |
| Trash Enclosure   | Y               | Y               | N                 |
| Loading Zone      | Y               | Y               | N                 |
| Mech. Equipment   | Y               | *               | *                 |

**SDR-6025 - Staff Report Page Four**  
**March 10, 2005 - Planning Commission Meeting**

The applicant does not meet the front or rear setback standard. The applicant requested a Waiver of the front setback, but did not for the rear setback. The Site Development Plan was originally submitted as a part of an overall site, which consisted of three previously approved pads. Since the Site Plan was originally submitted, the site has since been limited to the subject parcel, which corresponds with (APN 139-19-301-007). Therefore, the rear setback does not meet the required 20-foot rear setback standard. A condition of approval has been added, which requires the 20-foot rear setback to be adhered to is the project is approved.

The trash enclosure is indicated on the site plan, but an elevation has not been provided. A condition of approval has been added, which requires the trash enclosure to be enclosed and roofed using the same design theme and materials similar to those used in the main structures.

\*Mechanical equipment is not indicated on the plan, but a condition of approval is included, which requires screening of all mechanical equipment.

**A2) Residential Adjacency Standards**

Pursuant to Title 19.08, the following Residential Adjacency Standards apply to the subject proposal:

- a) Proximity slope - Only the southern portion of the site is affected by proximity slope requirements, where there are single-family homes on the south side of Concord Village Drive. The proposed building is indicated at height of 23 feet, this building is required to be at least 69 feet away. Since the actual shortest distance to the property line of these homes is approximately 90 feet, this development complies with the requirements of this portion of the Code.
- b) Building setback - The front setback for these single-family homes is 14 feet. Since the closest buildings proposed for this site will be approximately 90 feet, the project conforms to this requirement.

**A3) Parking and Traffic Standards**

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| Uses                                                          | GFA       | Ratio     | Required |          | Provided |          |
|---------------------------------------------------------------|-----------|-----------|----------|----------|----------|----------|
|                                                               |           |           | Parking  |          | Parking  |          |
|                                                               |           |           | Regular  | Handicap | Regular  | Handicap |
| General Retail Store, other than listed (less than 25,000 sf) | 4,900 SF. | 1/175 GFA | 28       | 2        | 28       | 2*       |

BTS

**SDR-6025 - Staff Report Page Five**  
**March 10, 2005 - Planning Commission Meeting**

\* The applicant meets the required Parking Standards pursuant to Title 19.10, but the applicant does not meet the handicapped parking space dimensions. A condition of approval has been added, which addresses this issue.

**A4) Landscape and Open Space Standards**

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

| Standards                                      | Required                |         | Provided |
|------------------------------------------------|-------------------------|---------|----------|
|                                                | Ratio                   | Trees   |          |
| Parking Area                                   | 1 Trees/ 6 Space        | 5 Trees | 3 Trees  |
| Buffer:                                        | 1 Trees/ 30 Linear Feet | 9 Trees | 11 Trees |
| • Min. Trees                                   |                         |         |          |
| • Min. Zone Width                              |                         |         |          |
| • Concord Village Drive and Decatur Boulevard) | 15 Feet                 |         | 11 Feet  |
| • north and east property line.                | 8 Feet                  |         | 0 Feet   |
| • Wall height                                  | 6 Feet                  |         | N/A      |

The landscape plan fails to meet Title 19.12 requirements. The applicant has requested Waivers, which are discussed below.

**B) General Analysis and Discussion**

• Zoning

The C-1 District is intended to provide most retail shopping and personal services. This district should be located on the periphery of residential neighborhoods and should be confined to the intersections of primary and secondary thoroughfares along major retail corridors. The C-1 (Limited Commercial) District is consistent with the Service Commercial category of the General Plan.

• Site Plan

The site plan is deficient in several areas. A more appropriately designed site plan would eliminate these site deficiencies. First, the loading zone is not effective in its current location. The loading zone is accessed through an existing parking space, which is not functional or appropriate. The loading zone as currently configured does not meet Title 19.08 requirements. Title 19.08 states: "service and loading zones shall be located to the rear, side or in an internal location where visibility from public rights-of-way and views from neighboring buildings and properties will be minimized." Second, the existing trash enclosure is inappropriately located and is not functional to

BTS

the subject site. While the trash enclosure is located on the subject parcel, the trash enclosure is accessed from the adjacent parcel to the east. Title 19.08 states: "they (trash enclosure) shall be located away from the street front and screened from view rights-of-way, sidewalks, and abutting properties through the use of landscaping and screening." Third, the required rear setback is 20 feet. The site plan indicates the building 5 feet from the rear property line. A condition of approval has been added, which states that prior to the time the application is made for a building permit to reflect a 20-foot rear setback

- Waivers

The applicant has request Waivers to allow a 15-foot front setback where 20 feet is the minimum setback required. Waivers of the foundation, buffer, and parking lot landscaping standards are also requested. The Waivers cannot be justified because the site is overbuilt. A more appropriately designed site would eliminate the need for the requested Waivers.

- Landscape Plan

The landscape plan consists of four twenty-four inch box trees and two existing evergreen trees. The site also consists of both one and five-gallon shrubs.

- Elevation

The building elevations indicate a 23-foot tall building. The building is proposed to utilize various shades of stucco, anodized aluminum, and an inverted cornice as architectural detail. The north, west, and east elevations provide architectural detail, variation, and overall interest in the overall design of the building. The south elevation lacks detail and articulation. A condition has been added, which requires the south elevation match the other building elevations.

## FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The proposed retail building is too large for the site, with an excessive number of waivers to setback and landscaping standards of the Code. The over-building of the site and the associated waivers make it incompatible with the development of the surrounding area.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The proposed use is consistent with the General Plan and the land use provisions of Title 19; however, the site plan as proposed does not meet specific requirements of the Zoning Code, including the Commercial Design Guidelines and Standards. An excessive amount of deviation from the Code has been requested through the Waivers, making the proposed development inappropriate in its current configuration.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

Access to the site is via Decatur Boulevard, classified as a Primary (100-foot) Arterial on the Master Plan of Streets and Highways. The access and roadways are adequate to meet the needs of the proposed development.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building materials as proposed are appropriate for this type of commercial use in this area. The parking lot, foundation, and perimeter landscaping do not meet the minimum standards of the Code, which is not appropriate for this area of the City.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

The design, architecture, and aesthetic features of the proposed development as conditioned are satisfactory and should not have a negative impact on this site or on surrounding areas.

6. **"Appropriate measures are taken to secure and protect the public health, safety and general welfare."**

The proposed retail building will be subject to periodic inspection by regulatory agencies for business licensing, and will therefore not compromise the public health, safety and welfare.

**SDR-6025 - Staff Report Page Eight**  
**March 10, 2005 - Planning Commission Meeting**

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED** 13

**NOTICES MAILED** 270

**APPROVALS** 0

**PROTESTS** 0

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**PLANNING & DEVELOPMENT DEPARTMENT**

## STATEMENT OF FINANCIAL INTEREST

Case Number: SPR-6025 APN: 139-19-301-007

Name of Property Owner: Decatur Concord LLC

Name of Applicant: Declarer Concord LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

**Yes**

\_\_\_\_\_ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

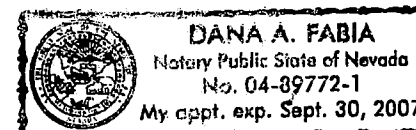
Signature of Property Owner: \_\_\_\_\_

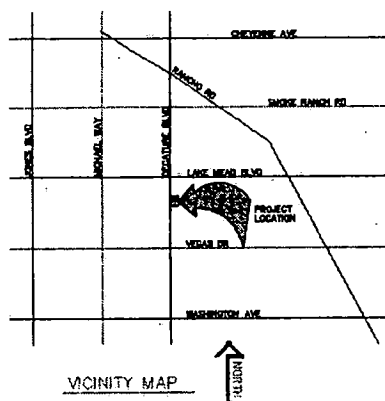
Print Name:

Subscribed and sworn before me

This 2<sup>nd</sup> day of January, 2005

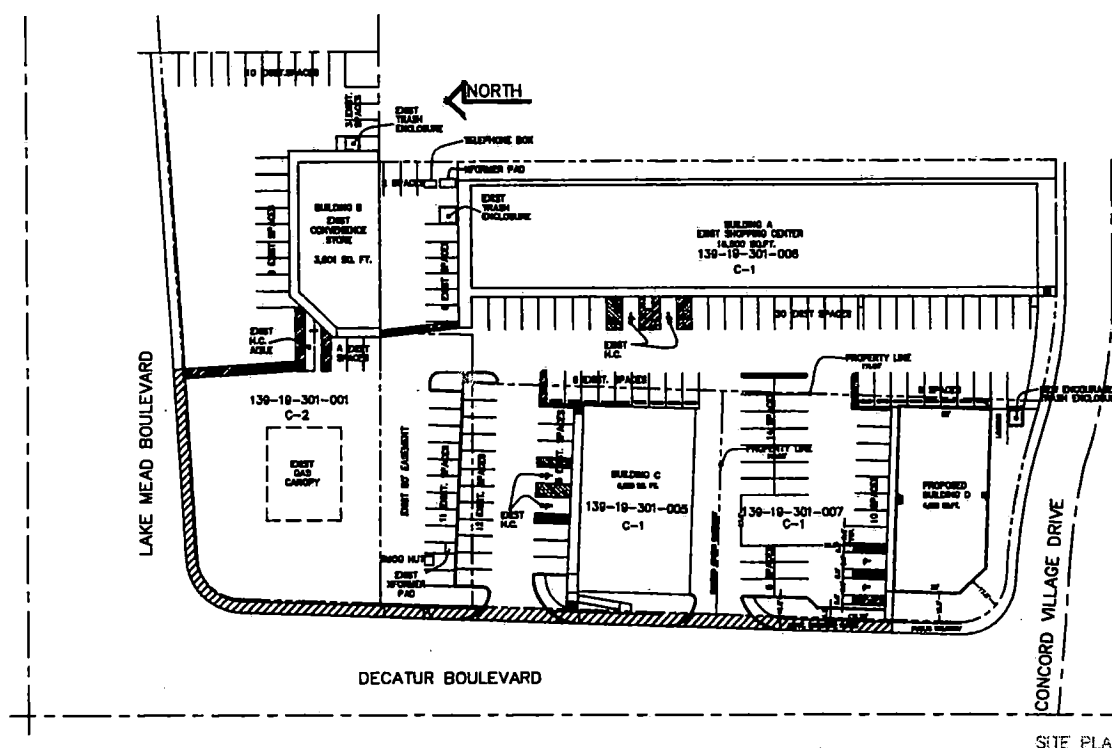
Notary Public in and for said County and State





| PROJECT DATA                     |                  |
|----------------------------------|------------------|
| ASSESSOR'S PARCEL NUMBER         | 136-19-301-007   |
| GROSS ACREAGE                    | 0.83 ACRES       |
| NET ACREAGE                      | 0.44 ACRES       |
| CURRENT ZONING                   | C-1              |
| PROPOSED ZONING                  | SALE             |
| LAND USE                         | GENERAL RETAIL   |
| SITE DIMENSIONS                  | 118.00' X 71.00' |
| BUILDING SQUARE FOOTAGE          | 4,900            |
| PARKING REQUIRED FOR ENTIRE SITE | 20 SPACES        |
| PARKING PROVIDED ON ENTIRE SITE  | 26 SPACES        |

| CODE ANALYSIS                 |  | V-B NON-SPRINKLED |
|-------------------------------|--|-------------------|
| CONSTRUCTION                  |  |                   |
| OCCUPANCY (BUILDING TYPE)     |  | 8,000             |
| BASE ALLOWABLE BUILDING AREA  |  | 5,000             |
| TOTAL ALLOWABLE BUILDING AREA |  | 8,000             |
| ACTUAL BUILDING AREA          |  | 8,000             |
| ALLOWABLE HEIGHT IN STORIES   |  | 7                 |
| ACTUAL HEIGHT IN STORIES      |  | 7                 |
| ALLOWABLE HEIGHT IN FEET      |  | 47                |
| ACTUAL HEIGHT IN FEET         |  | MAX. 30           |



RECEIVED

FEB 25 2005

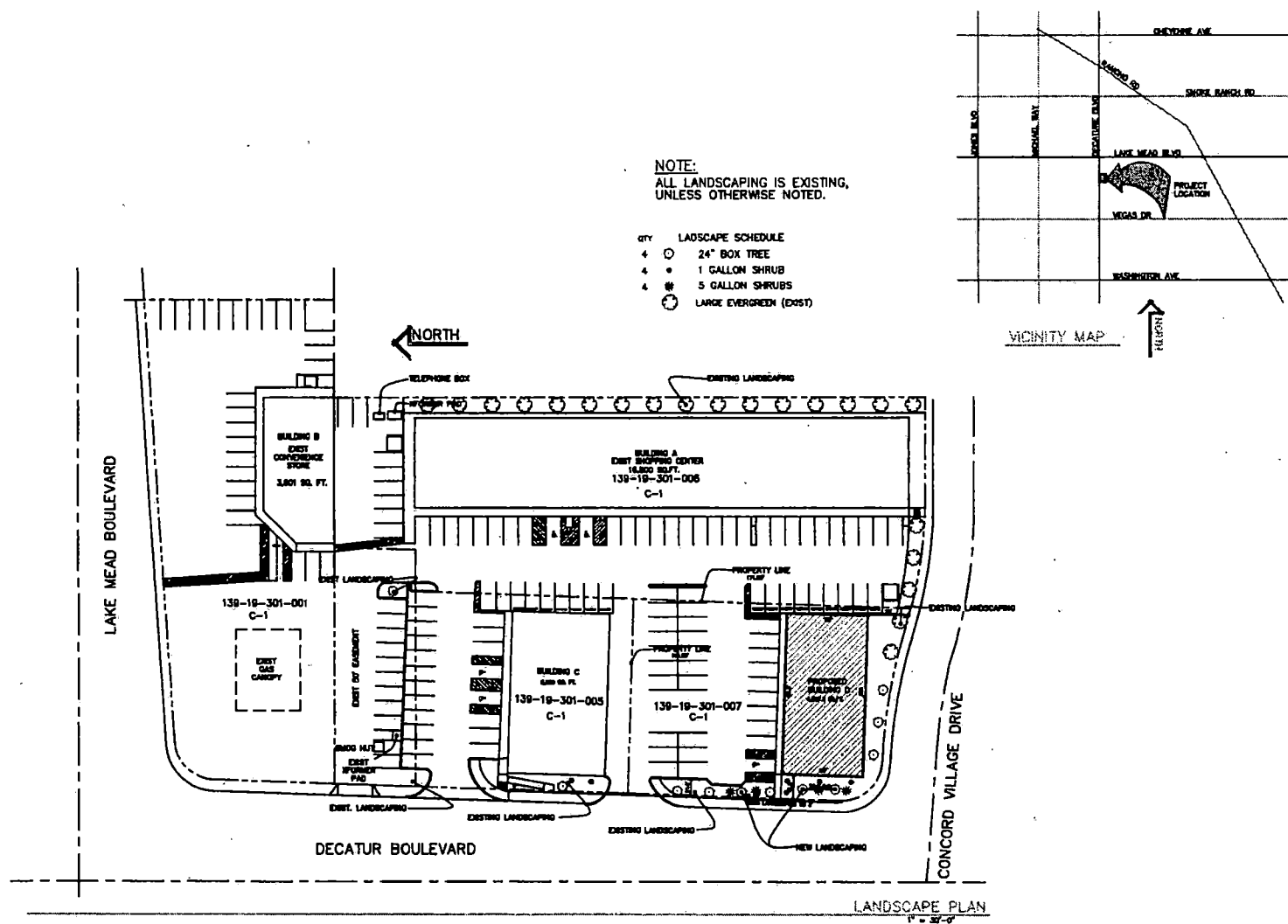
**SITE PLAN** **SDR-6025**  
**03-10-05 PC**  
**REVISED 02-25-05**

DECATUR CONCORD - NEW RETAIL SALES BUILDING - SEC LAKE MEAD & DECATUR BLVD

EXPRESS BUILDING & DEVELOPMENT - 5800 MEKLE LN - LAS VEGAS - NV - 89156 - [702] 437-0001

FEBRUARY 24, 2005

1



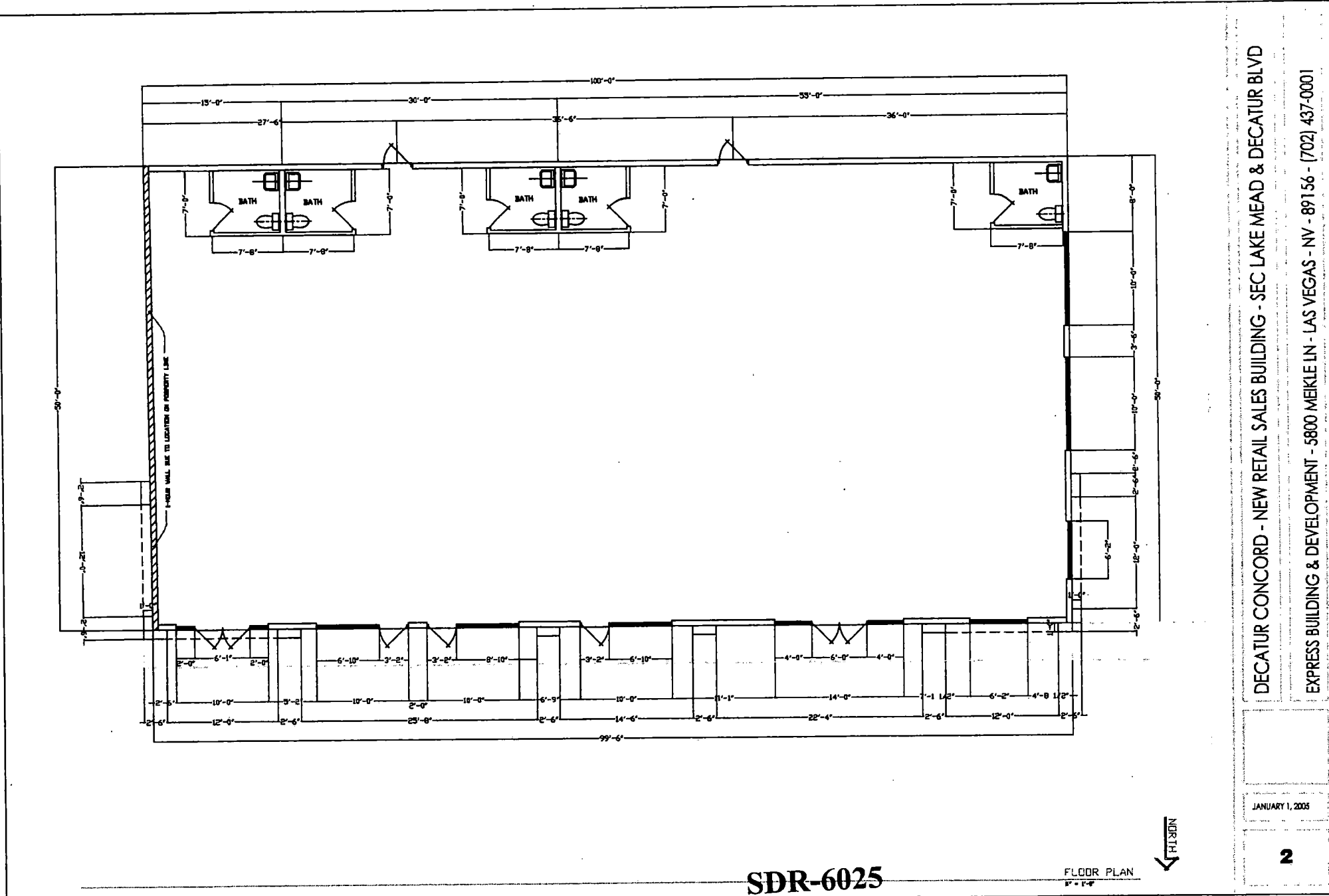
**SDR-6025**  
**03-10-05 PC**

DECATUR CONCORD - NEW RETAIL SALES BUILDING - SEC LAKE MEAD & DECATUR BLVD

EXPRESS BUILDING & DEVELOPMENT - 5800 MEIKLE LN - LAS VEGAS - NV - 89156 - (702) 437-0001

JANUARY 1, 2005

**LS-1**



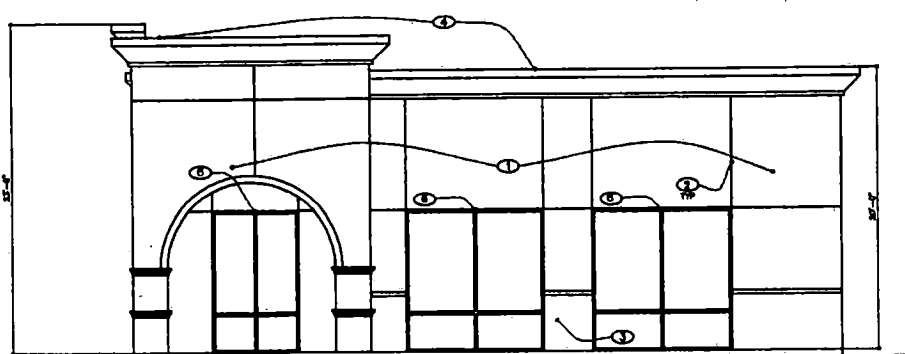
SDR-6025  
03-10-05 PC

FLOOR PLAN  
1" = 1'-0"

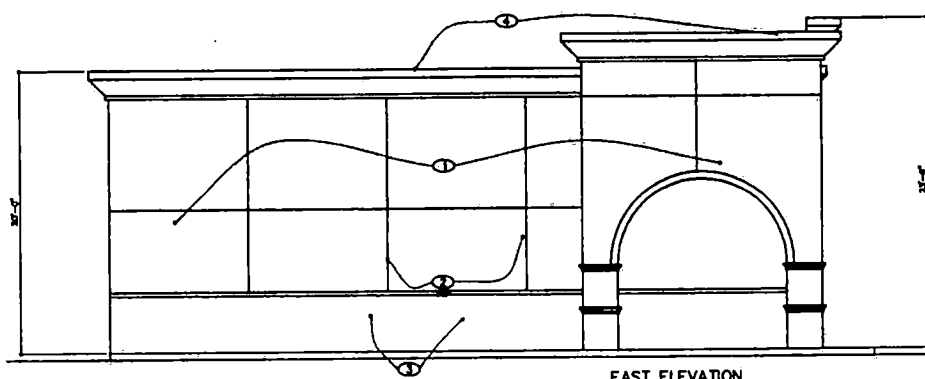


DECATUR CONCORD - NEW RETAIL SALES BUILDING - SEC LAKE MEAD & DECATUR BLVD  
EXPRESS BUILDING & DEVELOPMENT - 5800 MEIKLE LN - LAS VEGAS - NV - 89156 - (702) 437-0001

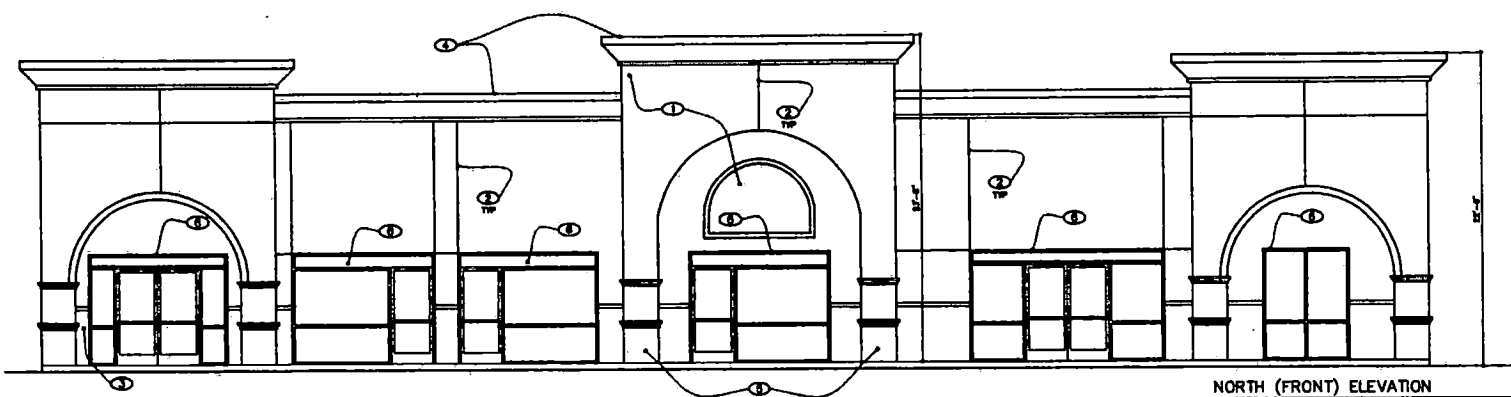
JANUARY 1, 2005



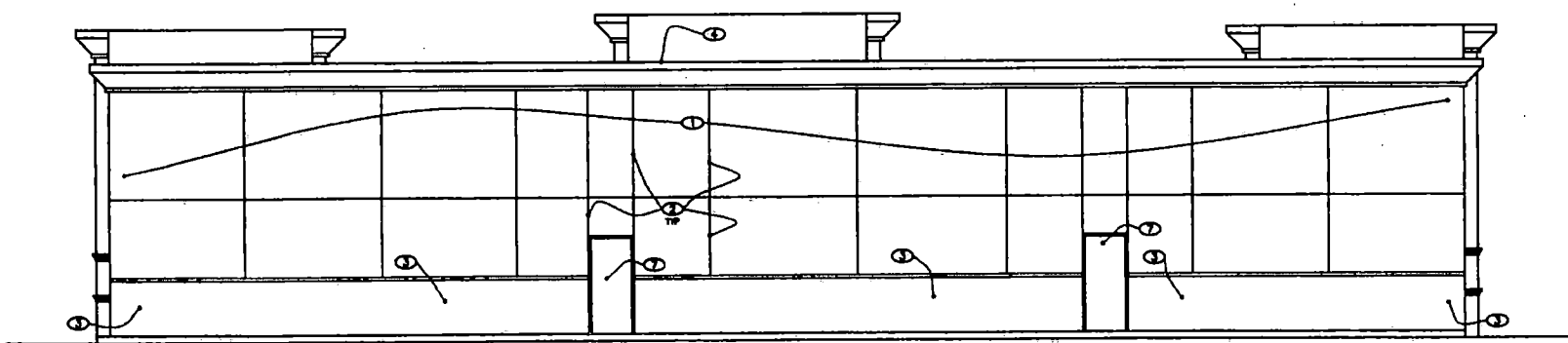
WEST ELEVATION  
1/4" = 1'-0"



EAST ELEVATION  
1/4" = 1'-0"



NORTH (FRONT) ELEVATION  
1/4" = 1'-0"



SOUTH ELEVATION  
1/4" = 1'-0"

KEY NOTES

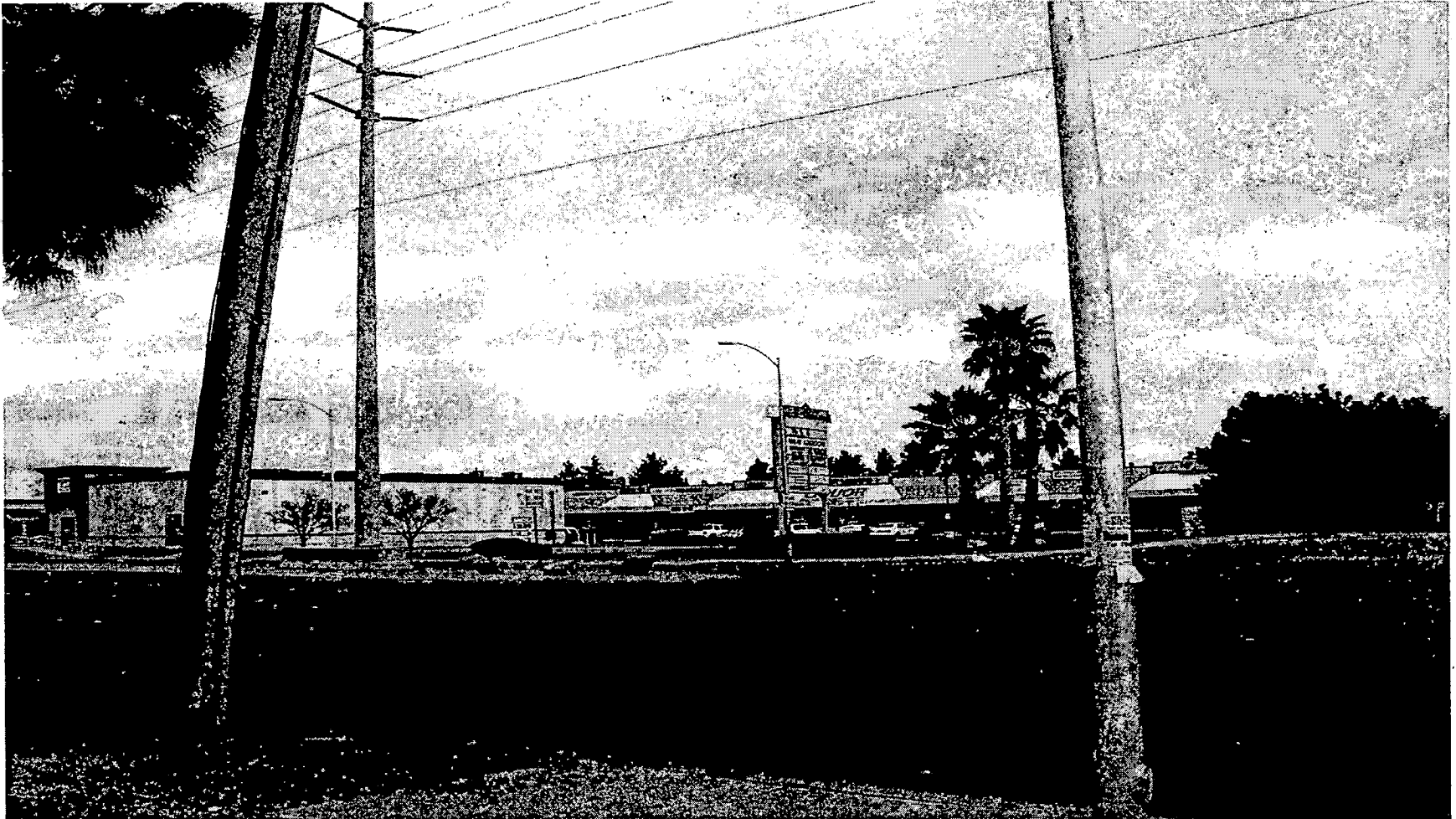
- ① STUCCO OVER STEEL WALL (LIGHT BROWN)
- ② DECORATIVE STUCCO EXPANSION JOINT
- ③ COLORED CONCRETE BLOCK (BROWN)
- ④ STUCCO OVER DECORATIVE POLYSTYRENE CORNER
- ⑤ STUCCO COLUMN
- ⑥ FINISHED ALUMINUM STOREFRONT SYSTEM
- ⑦ DOOR

NEW RETAIL SALES BUILDING  
SEC DECATUR & LAKE MEAD  
EXPRESS BUILDING & DEVELOPMENT  
5000 MIKULE LA-LV-4V-86156 (702) 437-0001

JANUARY 1, 2005

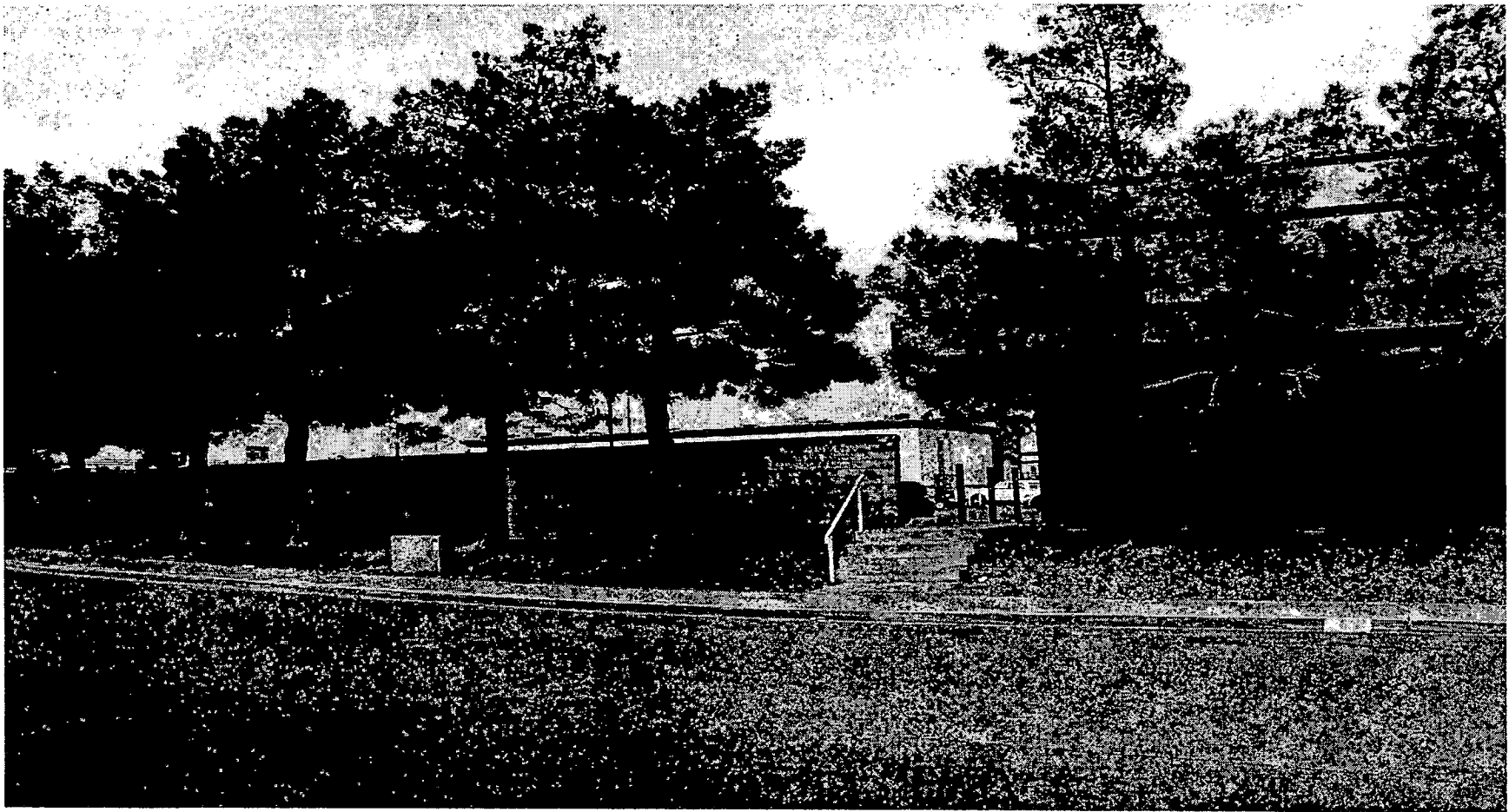
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SDR-6025  
03-10-05 PC



SDR-6025 - APPLICANT/OWNER: DECATUR CONCORD LLC  
ADJACENT TO THE NORTHEAST CORNER OF DECATUR BOULEVARD AND CONCORD VILLAGE DRIVE  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05



SDR-6025 - APPLICANT/OWNER: DECATUR CONCORD LLC  
ADJACENT TO THE NORTHEAST CORNER OF DECATUR BOULEVARD AND CONCORD VILLAGE DRIVE  
MARCH 10, 2005 PLANNING COMMISSION

02/22/05

Decatur Concord LLC

5800 Meikle Lane  
Suite A  
Las Vegas, NV 89156

Phone: (702) 437-0001  
Fax: (702) 437-2955

Planning & Development  
City of Las Vegas  
731 South Fourth Street  
Las Vegas, NV 89101

RE: Justification Letter  
Assessors Parcel No.: 139-19-301-007  
SEC Decatur & Lake Mead Blvd.

We hereby respectfully propose to build a new 4,987.5 Sq. Ft. building on above pad to be used mainly for general retail sales, gifts, video, cellular, etc. This building pad is the last pad in an existing commercial shopping center development with all improvements including parking, driveways, and landscaping already done.

Due to offsite and landscaping being approved several years ago, we would like to request the following waivers:

1. Waiver of front setback distance to front property line to 15' where 20' is required.
2. Waiver of foundation landscaping to front and side only where perimeter is required.
3. Waiver of front buffer width for landscaping.

This development is similar and fits well with what presently exists at this intersection and shall conform to all city codes, policies and regulations. A freshly new building could enhance the surroundings and real estate values.

Respectfully,

Decatur Concord LLC

By: \_\_\_\_\_  
Sam Zeer

SDR-6025

**Decatur Square**  
1900 North Decatur Boulevard  
M-19-5

|                   | Suite | Address                 | Business Name               | Use                                              | Information                | Parking Required |
|-------------------|-------|-------------------------|-----------------------------|--------------------------------------------------|----------------------------|------------------|
| <b>Building A</b> | 1     | 1930 N. Decatur Blvd.   | Fairview Chinese Restaurant | Restaurant (25,000 sf or greater)                | 750 SF                     | 15               |
|                   | 2     | 1930 N. Decatur Blvd.   | Fairview Chinese Restaurant |                                                  | 850 SF                     | 4.25             |
|                   | 3     | 1928 N. Decatur Blvd.   | American General Finance    | Office, Other than Listed (25,000 sf or greater) | 1100 SF                    | 3.6              |
|                   | 4     | 1926 N. Decatur Blvd.   | Richard's Barber Shop       | Barber/Beauty Parlor (25,000 sf or greater)      | 1100 SF                    | 5.5              |
|                   | 5     | 1922 N. Decatur Blvd.   | New U                       | Barber/Beauty Parlor (25,000 sf or greater)      | 1100 SF                    | 5.5              |
|                   | 6     | 1920 N. Decatur Blvd.   | Vacant                      | General Retail Store (25,000 sf or greater)      | 1100 SF                    | 4.4              |
|                   | 7     | 1918 N. Decatur Blvd.   | Decatur Finance             | Office, Other than Listed (25,000 sf or greater) | 1100 SF                    | 3.6              |
|                   | 8     | 1916 N. Decatur Blvd.   | H & H Discount Liquor       | Liquor Establishment, Off-Premise                | 2200 SF                    | 7.3              |
|                   | 9     | 1916 N. Decatur Blvd.   | H & H Discount Liquor       | (25,000 sf or greater)                           |                            |                  |
|                   | 10    | 1912 N. Decatur Blvd.   | Use the Experts             | Office, Other than Listed (25,000 sf or greater) | 1100 SF                    | 3.6              |
|                   | 11    | 1910 N. Decatur Blvd.   | Vacant                      | General Retail Store (25,000 sf or greater)      | 1100 SF                    | 4.4              |
|                   | 12    | 1908 N. Decatur Blvd.   | Vacant                      | General Retail Store (25,000 sf or greater)      | 1100 SF                    | 4.4              |
|                   | 13    | 1906 N. Decatur Blvd.   | Bob Chaney's Karate         | General Personal Service (25,000 sf or greater)  | 2200 SF                    | 7                |
|                   | 14    | 1906 N. Decatur Blvd.   | Bob Chaney's Karate         | 1 Employee, 12 Students                          |                            |                  |
|                   | 15    | 1904 N. Decatur Blvd.   | All Weapons Plus            | General Retail Store (25,000 sf or greater)      | 1100 SF                    | 4.4              |
| <b>Building B</b> |       | 4701 W. Lake Mead Blvd. | Fasty's                     | Convenience Store (25,000 sf or greater)         | 3601 SF                    | 14.4             |
| <b>Building C</b> |       | 1940 N. Decatur Blvd.   | Vacant                      | General Retail Store (25,000 sf or greater)      | 6000 SF                    | 24               |
| <b>Building D</b> |       | Proposed Building       |                             | General Retail Store (25,000 sf or greater)      | 4987.5 SF                  | 19.95            |
|                   |       |                         |                             |                                                  | <b>Total = 30,488.5 SF</b> | <b>131.3</b>     |

|                                    |               |
|------------------------------------|---------------|
| Total Sq. Ftg. Of Buildings        | 30,488.5      |
| (Not Qualified for General Retail) | <u>-3,800</u> |
| Net Qualified for General Retail   | 26,688.5      |

|                           |          |
|---------------------------|----------|
| Total Required Parking    | 131.3    |
| Regular Parking Provided  | 137      |
| Handicap Parking Provided | <u>6</u> |
| Total Parking Provided    | 143      |

SDR-6025

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**  
**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**SDR-6066 - SITE DEVELOPMENT PLAN REVIEW - APPLICANT: COMMERCIAL VENTURES, INC. - OWNER: ENCINO EXECUTIVE CENTER, LLC AND 16207 VENTURA BOULEVARD, LLC** - Request for a Site Development Plan Review FOR THE PROPOSED CONVERSION OF AN EXISTING 280-UNIT APARTMENT PROJECT TO A CONDOMINIUM DEVELOPMENT on 12.67 acres at 2700 North Rainbow Boulevard (APN 138-14-301-001), R-PD18 (Residential Planned Development - 18 Units per Acre), Ward 6 (Mack).

**C.C. 04/06/05**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends DENIAL

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**GOYNES – APPROVED subject to conditions – UNANIMOUS with STEINMAN excused**

**This is Final Action**

**MINUTES:**

CHAIRMAN NIGRO declared the Public Hearing open.

DOUG RANKIN, Planning and Development, gave a brief overview of the application. He added that with the proposed conversion, the parking would be deficient 112 parking spaces and would not meet the Title 19 requirements. In addition, the landscaping and buffer requirements do not meet the Code. Staff recommended denial.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 43 – SDR-6066

**MINUTES – Continued:**

ED GARCIA, 3773 Howard Hughes Parkway, appeared on behalf of the applicant. He noted that the deficient landscaping pertained to the landscaped fingers in the parking area. The applicant is investing approximately seven million dollars in upgrades but felt that adding the landscaped fingers in the parking area would hinder the existing amount of parking spaces. Although the parking does not currently meet the Code requirements, parking has not been an issue on the subject site. The deficiency in open space is due to the fact that this is an existing site and additional open space could not be added without destroying some of the existing buildings. However, the applicant agreed to upgrade the existing open space and repair the amenities.

MR. GARCIA then requested clarification on Condition 7 relative to the landscaping issue. MARGO WHEELER, Planning and Development, clarified that the condition is inclusive of requiring the applicant to replace the substandard trees and shrubs throughout the site. MR. GARCIA then concurred with all of staff's conditions and confirmed for COMMISSIONER GOYNES that there would be a homeowner's association.

COMMISSIONER McSWAIN was curious if there were additional photos of the subject development, aside from the one shown on the overhead. MR. RANKIN explained to COMMISSIONER McSWAIN that staff now provides the photographs only on the Site Plan application when there are companion items. Unfortunately, the photographs of the subject development were left out in error.

MR. GARCIA advised COMMISSIONER McSWAIN that he believed the adjacent property on Yorktown Road is multi-family and are rentals. MR. RANKIN added that the surrounding development is single family and multi family. At this time, staff has not received an application for a condo conversion relative to the development across the street on Rainbow Boulevard.

CHAIRMAN NIGRO declared the Public Hearing closed  
(9:52 – 10:00)  
4-459

**CONDITIONS:**

Planning and Development

1. The trash enclosures shall be roofed in accordance with Title 19.08.045 requirements.
2. All development shall be in conformance with the site plan and building elevations date stamped 02/03/05, and with all applicable conditions of approval of Rezoning (Z-0038-88) and subsequent site-related actions, except as amended by conditions herein.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 43 – SDR-6066

**CONDITIONS – Continued:**

3. The applicant shall replace any substandard trees and shrubs throughout the site.
4. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
5. Prior to the submittal of a Final Map, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. All City Code requirements and design standards of all City departments must be satisfied.

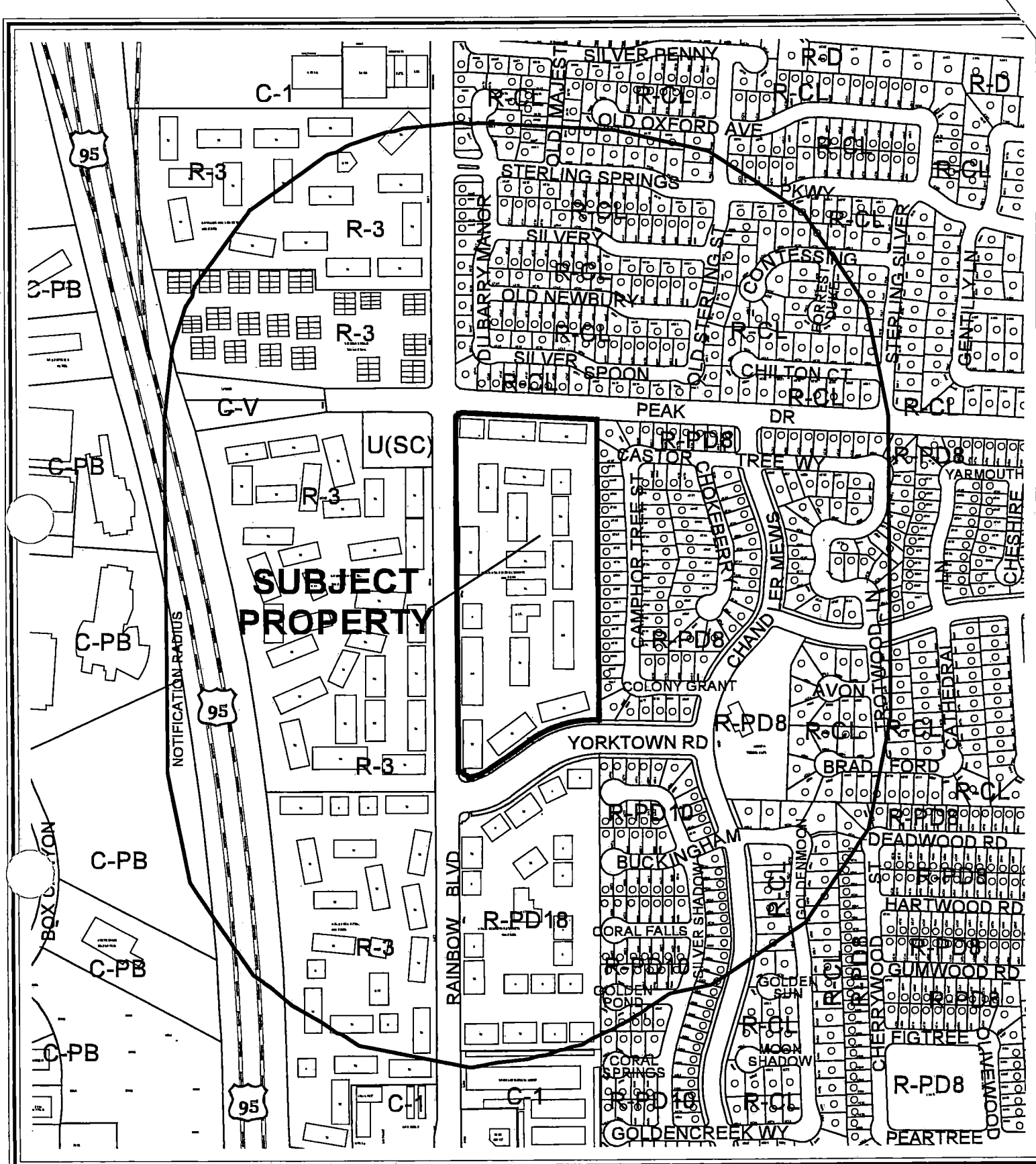
Public Works

8. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to recordation of a map for this site.
9. All active gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.
10. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
11. This site shall be responsible for sewer connection fees in accordance with condominium requirements per Title 14 Chapter 14.04.020 Equivalent Residential Unit (ERU) Schedule. If some or all of these units have already paid fees based upon apartment requirements, the difference between condominium and apartment fees for those units shall be paid to Building and Safety prior to the recordation of a Final Map for this site. Evidence of payment is required with Final Map mylar submittal.

PLANNING COMMISSION MEETING OF MARCH 10, 2005  
Planning and Development Department  
Item 43 – SDR-6066

**CONDITIONS – Continued:**

12. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the submittal of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

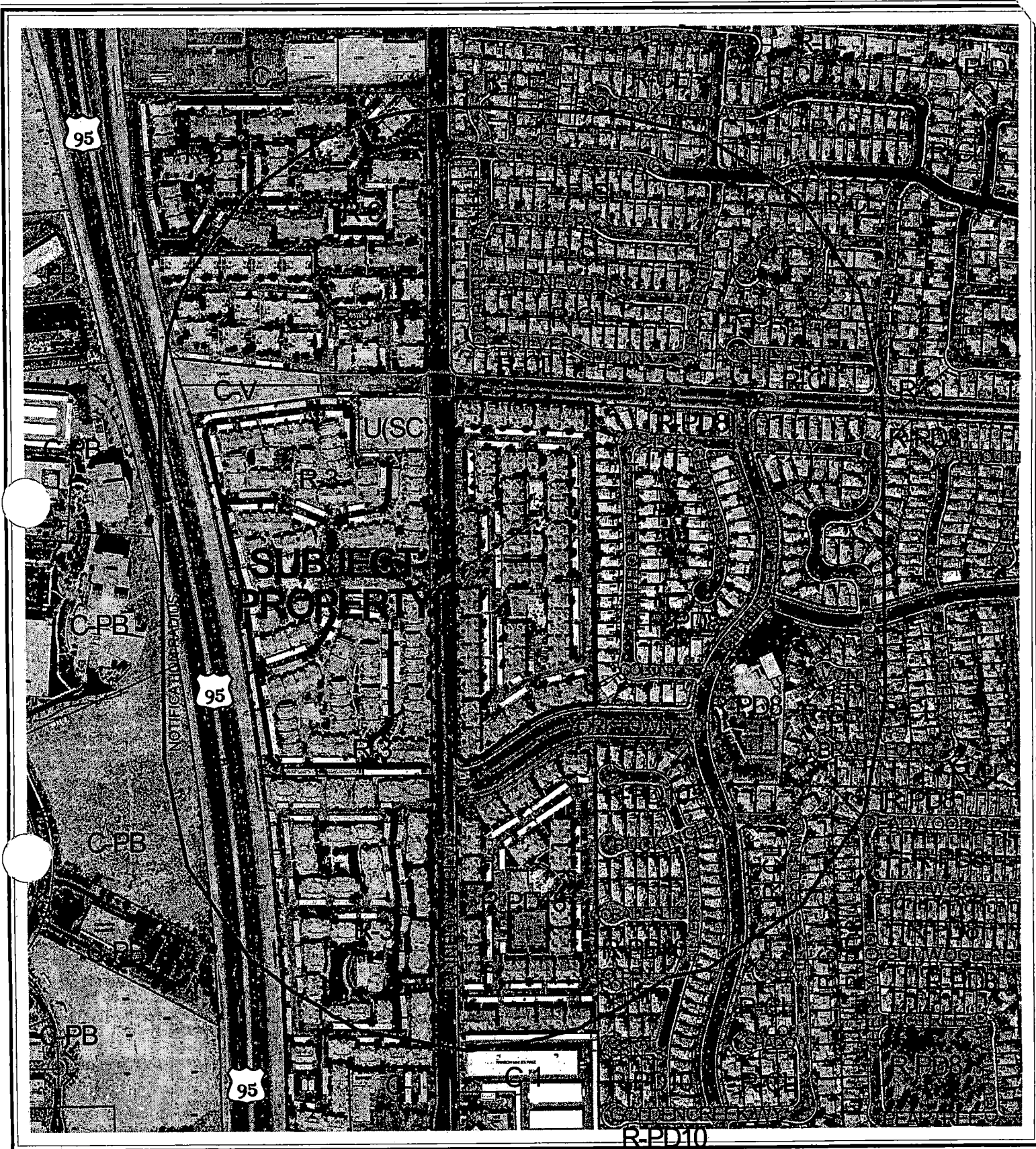


**CASE: SDR-6066**

**RADIUS: 1000 FT**

**ZONING OF SUBJECT PROPERTY:**

**R-PD18 (RESIDENTIAL PLANNED DEVELOPMENT - 18 UNITS PER ACRE)**



CASE: SDR-6066

RADIUS: 1000 FT

ZONING OF SUBJECT PROPERTY:

R-PD18 (RESIDENTIAL PLANNED DEVELOPMENT - 18 UNITS PER ACRE)

**AGENDA MEMO**

**PLANNING COMMISSION MEETING DATE: MARCH 10, 2005**

**DEPARTMENT: PLANNING AND DEVELOPMENT**

**ITEM DESCRIPTION: SDR-6066 - APPLICANT: COMMERCIAL VENTURES, INC. -  
OWNER: ENCINO EXECUTIVE CENTER, LLC AND 16207 VENTURA BOULEVARD,  
LLC**

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**\*\* CONDITIONS \*\***

**STAFF RECOMMENDATION: DENIAL** If Approved, subject to:

**Planning and Development**

1. The trash enclosures shall be roofed in accordance with Title 19.08.045 requirements.
2. All development shall be in conformance with the site plan and building elevations date stamped 02/03/05, and with all applicable conditions of approval of Rezoning (Z-0038-88) and subsequent site-related actions, except as amended by conditions herein.
3. The applicant shall replace any substandard trees and shrubs throughout the site.
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6. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
7. All City Code requirements and design standards of all City departments must be satisfied.

**Public Works**

8. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to recordation of a map for this site.
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**SDR-6066 - Conditions Page Two**  
**March 10, 2005 Planning Commission Meeting**

10. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
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**\*\* STAFF REPORT \*\***

**APPLICATION REQUEST**

**A) *Action Requested***

This is a request for a Site Development Plan Review for the proposed conversion of an existing 280-unit apartment to a condominium development on 12.67 acres at 2700 North Rainbow Boulevard.

**B) *Applicant's Justification***

The applicant feels that the condominium conversion project blends with the existing development in the area, despite the lack of full compliance with current zoning codes pertaining to landscaping. As many of the existing parking spaces are covered, installing planter fingers with trees would be difficult. The effect of having the planter fingers is virtually achieved by the existing overhanging mature trees planted in between existing fingers. An attempt has thus been made to meet the intent of the landscaping codes. No justification is offered for the lack of parking.

**BACKGROUND INFORMATION**

**A) *Related Actions***

- 08/03/88      The City Council approved a Rezoning (Z-0038-88) from N-U (Non-Urban) under Resolution of Intent to R-PD18 (Residential Planned Development – 18 Units Per Acre) to R-PD20 (Residential Planned Development – 20 Units Per Acre) on the subject property. The Planning Commission recommended approval. Staff recommended denial. The City Council amended the application to R-PD18 (Residential Planned Development – 18 Units Per Acre).
- 08/25/88      The Board of Zoning Adjustment approved a Variance (V-0102-88) to allow an eight-foot high block wall where six feet is the maximum height permitted on the property line between the proposed apartment development and single-family homes to the east, as part of a larger request. Staff recommended approval.
- 09/07/88      The City Council approved a Plot Plan and Aesthetic Review [Z-0038-88(1)] for a proposed 288-unit apartment development on the subject property. Staff recommended approval. The City Council conditioned the approval on the construction of a maximum of 280 units.

**SDR-6066 - Staff Report Page Two**  
**March 10, 2005 - Planning Commission Meeting**

05/25/89 The Board of Zoning Adjustment approved a Variance (V-0033-89) to allow a proposed illuminated 51 square-foot, six-foot high property identification sign where a non-illuminated 32 square-foot sign with a maximum height of five feet is permitted on the subject property. Staff recommended approval.

***B) Pre-Application Meeting***

09/09/04 The need for a landscaping plan was discussed. Landscaping and parking may not comply with the current zoning ordinance. Application for waivers and a variance were initially discussed; however, the Department's policy for condominium conversions now is not to accept such deviation requests in order to urge compliance with current codes. Ultimately, only the standalone Site Development Plan Review was accepted for review by staff.

***C) Neighborhood Meetings***

A neighborhood meeting is not required for the type of application.

**DETAILS OF APPLICATION REQUEST**

***A) Site Area***

|              |       |
|--------------|-------|
| Gross Acres: | 15.19 |
| Net Acres:   | 12.67 |

***B) Existing Land Use***

|                   |                         |
|-------------------|-------------------------|
| Subject Property: | Apartments              |
| North:            | Single-family dwellings |
| South:            | Apartments              |
| East:             | Single-family dwellings |
| West:             | Apartments/Undeveloped  |

***C) Planned Land Use***

|                   |                                                            |
|-------------------|------------------------------------------------------------|
| Subject Property: | M (Medium Density Residential)                             |
| North:            | ML (Medium-Low Density Residential)                        |
| South:            | M (Medium Density Residential)                             |
| East:             | ML (Medium-Low Density Residential)                        |
| West:             | M (Medium Density Residential) and SC (Service Commercial) |

**D) Existing Zoning**

Subject Property: R-PD18 (Residential Planned Development – 18 dwelling units per acre)  
North: R-CL (Residential Compact-Lot)  
South: R-PD18 (Residential Planned Development – 18 dwelling units per acre)  
East: R-PD8 (Residential Planned Development – 8 dwelling units per acre)  
West: R-3 (Medium Density Residential) and U (Undeveloped)  
Zone [SC (Service Commercial) General Plan Designation]

**E) General Plan Compliance**

The subject property is designated M (Medium Density Residential) on the Southwest Sector Map of the General Plan. This land use category allows residential development with a maximum density of 25 dwelling units per gross acre. The existing apartment complex has a density of 22.10 units per gross acre; therefore, the proposed conversion project conforms to the General Plan.

| <b>SPECIAL DISTRICTS/ZONES</b>                    | <b>Yes</b> | <b>No</b> |
|---------------------------------------------------|------------|-----------|
| <b>Special Area Plan</b>                          |            | <b>X</b>  |
| <b>Special Overlay District</b>                   |            | <b>X</b>  |
| <b>Trails</b>                                     |            | <b>X</b>  |
| <b>Development Impact Notification Assessment</b> |            | <b>X</b>  |
| <b>Project of Regional Significance</b>           |            | <b>X</b>  |

There are no special districts, zones, or plans that are associated with the subject property.

**PROJECT DESCRIPTION**

The complex consists of 280 units; three two and three-bedroom four-plexes, 33 two-and three-bedroom eight-plexes, and an office/clubhouse. All residential buildings are two stories in height. Recreational amenities include; two swimming pools and a tot lot with benches, all centrally located. A landscaped meandering walk maintained by others abuts the north side of Yorktowne Road. Access is provided from Rainbow Boulevard and is protected by gates with a guard shack. A total of 462 parking spaces are provided, where 298 are covered spaces. Landscaping is provided on the perimeter of the site and next to the buildings, but only sparingly in the parking areas.

## ANALYSIS

### A) Zoning Code Compliance

#### A1) Development Standards

Pursuant to Title 19.08, the following Development Standards apply to the subject proposal:

| Standards            | Proposed              |
|----------------------|-----------------------|
| Min. Lot Size        | 12.67 acres           |
| Min. Lot Width       | 480 Feet              |
| Min. Setbacks        |                       |
| • Front              | 20 Feet               |
| • Side               | 81 Feet               |
| • Corner             | 20 Feet               |
| • Rear               | 30 Feet               |
| Max. Building Height | 2 Stories / 30 Feet   |
| Trash Enclosures     | Walled, gated, roofed |
| Mech. Equipment      | Screened              |

The existing development proposes development standards similar to other condominium developments in this area of the City. Parking and landscaping is deficient with regard to the current code; those issues are discussed in the appropriate sections below.

#### A2) Residential Adjacency Standards

Pursuant to Title 19.08, the following Residential Adjacency Standards apply to the subject proposal:

- a) Proximity slope. Existing buildings along the eastern and northern portions of the property are approximately 30 feet tall at their highest point, requiring at least a 90-foot setback from the property lines of the single-family homes located to the east and north of the subject property. At their maximum height, these buildings are set back at least 120 feet from the protected properties; therefore, the Residential Adjacency Standards with respect to proximity slope have been met.
- b) Building setback. These same buildings along the eastern and northern portions of the property are also set back at least the minimum 10 feet required for the back yards of the protected single-family homes.

A3) Parking and Traffic Standards

Pursuant to Title 19.10, the following Parking Standards apply to the subject proposal:

| Uses                   | Units      | Ratio                                  | Required Parking |           | Provided Parking |          |
|------------------------|------------|----------------------------------------|------------------|-----------|------------------|----------|
|                        |            |                                        | Regular          | Handicap  | Regular          | Handicap |
| Condominiums 2-bedroom | 144        | 1.75 spaces/unit + 1 space per 6 units | 276              | N/A       |                  |          |
| Condominiums 3-bedroom | 136        | 2.00 spaces/unit + 1 space per 6 units | 295              | N/A       |                  |          |
| <b>TOTAL</b>           | <b>280</b> |                                        | <b>571</b>       | <b>12</b> | <b>459</b>       | <b>0</b> |

The initial site plan met parking requirements when it was first approved. Currently, Title 19 requires 571 parking spaces for two and three bedroom condominiums. The site is deficient 112 parking spaces according to current Zoning Code parking requirements. As a parking impaired development, changes can be made to the site as long as the redevelopment does not require additional parking spaces.

A4) Landscape and Open Space Standards

Pursuant to Title 19.12, the following Landscape Standards apply to the subject proposal:

| Standards                                   | Required                                                                        |                       | Provided                                      |
|---------------------------------------------|---------------------------------------------------------------------------------|-----------------------|-----------------------------------------------|
|                                             | Ratio                                                                           | Trees                 |                                               |
| Parking Area (164 uncovered spaces)         | 1 Tree/6 uncovered spaces + half of all trees at end of rows                    | 42 Trees              | 22 Trees (14 at row ends)                     |
| Buffer:                                     |                                                                                 |                       |                                               |
| • Min. Trees (inside wall on north/east PL) | 1 Tree/40 Linear Feet                                                           | 38 Trees (1,500 Feet) | 13 Trees                                      |
| • Min. Trees (insets)                       | Not specified                                                                   | (19 insets)           | 20 additional perimeter trees                 |
| • Min. Zone Width                           | 15 Feet (Peak Dr.)<br>10 Feet (Rainbow Blvd./Yorktowne Rd.)<br>8 Feet (east PL) |                       | 35 Trees                                      |
| • Wall height                               | 6 Feet                                                                          |                       | 20 Feet<br>10 Feet<br>8 Feet<br>not indicated |

Instead of providing an open planter, the landscaped area along Rainbow Boulevard and Peak Drive consists of a property line wall with numerous insets, at which 24-inch box trees have been planted. A condition of approval of the Rezoning (Z-0038-88) associated with the original apartment project required trees to be placed at the insets with additional trees to be planted inside the walls on the north and east property lines at maximum spacing of 40 feet. Ten-foot wide planters are required by the current Landscape, Wall and Buffer Standards along Rainbow Boulevard and Yorktowne Road. A 15-foot wide planter is required along Peak Drive. An eight-foot wide planter is required along the eastern edge of the property. Spacing of trees is erratic. Parking lot landscaping consists of a tree at the end of most parking rows and sporadic planter fingers between parking canopies.

- R-PD ONLY

Pursuant to Title 19.06, the following Open Space Standards apply to the subject proposal:

| Total Acreage | Density        | Required |         |                                   | Provided |                                   |
|---------------|----------------|----------|---------|-----------------------------------|----------|-----------------------------------|
|               |                | Ratio    | Percent | Area                              | Percent  | Area                              |
| 15.19 acres   | 17.64<br>du/ac | 1.65     | 29.11 % | 192,588<br>SF or<br>4.42<br>acres | 25.82 %  | 170,872<br>SF or<br>3.92<br>acres |

The site is deficient in open space from the Title 19 minimum by approximately one half-acre. The Zoning Code bases the minimum amount of open space to be provided on the gross acreage of the project.

**B) General Analysis and Discussion**

- Zoning

The site is currently zoned R-PD18 (Residential Planned Development – 18 Units Per Acre), allowing residential development of up to 18.49 dwelling Units Per Acre. The current development (and proposed conversion) is a permitted use in an R-PD zone. The site plans may establish development standards for R-PD projects; however, the Zoning Code requires certain open space provisions to be met.

- **Site Plan**

The site plan depicts an orderly arrangement of buildings and parking areas. Amenities such as pools and a clubhouse are provided for residents and guests. Trash facilities are sufficient and their design meets Code. However, the amount of perimeter and parking lot landscaping is deficient when judged against the current version of the Zoning Code. Staff does not encourage the conversion of non-conforming apartment complexes into condominium developments; rather, it recommends compliance with current codes where possible. As the subject development will be unable to provide adequate open space and landscaping, staff recommends denial. The parking deficiency is not considered to be non-conforming to the code, but certain restrictions are placed on parking-impaired developments.

- **Waivers**

The applicant is requesting waivers of the parking lot landscaping and buffer standards. Waivers or Variances are not being accepted for apartment to condominium conversions.

- **Landscape Plan**

The 1988 approval of the Rezoning (Z-0038-88) for this site did not specify how many trees were to be planted at the perimeter wall insets. A sufficient number of trees appear to be planted at these insets. However, another condition of approval required evergreen trees to be placed on the inside of the wall along Peak Drive, and these are not shown on the plan. Photos of existing landscaping in the development show a variety of deciduous and evergreen trees both on the perimeter and near the buildings. Palm trees have also been planted along Rainbow Boulevard, Yorktowne Road and along buildings facing Rainbow Boulevard.

- **Elevation**

The existing elevations are of adequate design and materials to be appropriate for and compatible with surrounding development in the area. The color scheme is changing to incorporate more earth tones into the design, which is preferable to the current turquoise accents.

- **Floor Plan**

Single-story units are contained primarily in eight-plexes, which contain two or three bedrooms with patios and balconies.

## FINDINGS

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **"The proposed development is compatible with adjacent development and development in the area;"**

The majority of the surrounding area is currently developed with Medium-Low and Medium density residential uses. These uses are compatible with the proposed apartment to condominium conversion.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted City Plans, policies and Standards;"**

The development is in conformance with the M (Medium Density Residential) General Plan category. The project fails to meet current Title 19 and the Landscape, Wall and Buffer standards in regard to parking, perimeter and parking lot landscaping, and the provision of open space. The applicant is encouraged to bring the site into compliance with current codes, if possible, prior to the conversion of condominium units. If compliance is not possible, conversion of the units is not recommended.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;"**

The site has access to Rainbow Boulevard, an 80-foot Secondary Collector as designated on the Master Plan of Streets and Highways. This roadway will be adequate to meet the requirements of the proposed converted development.

4. **"Building and landscape materials are appropriate for the areas and for the City;"**

The building materials are appropriate for this area, which will contain a blend of Medium-Low and Medium density residential uses with a similar scale, appearance and design. Landscaping materials are inadequate under the current Landscape, Wall and Buffer Standards, and also appear not to comply with the conditions of approval for the original Aesthetic Review for the apartment complex. The applicant is encouraged to comply with current landscaping codes.

5. **"Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;"**

The existing elevations are uniform in appearance and materials and create a pleasing environment for residents and guests.

6. **“Appropriate measures are taken to secure and protect the public health, safety and general welfare.”**

The proposed development will be subject to compliance with the International Building Code, and therefore the development will not compromise the public health, safety or welfare.

**NEIGHBORHOOD ASSOCIATIONS NOTIFIED**

7

**NOTICES MAILED** 423

**APPROVALS** 0

**PROTESTS** 0



## STATEMENT OF FINANCIAL INTEREST

Name of Property Owner: 16027 Ventura Blvd. ILC & Encino Executive Center ILC

Name of Applicant: Commercial Ventures, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

          X           No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

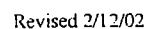
Signature of Property Owner/Authorized Agent: \_\_\_\_\_

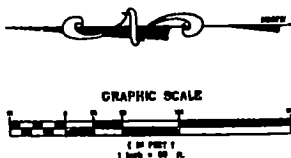
Print Name: Richard J. Nathan

Subscribed and sworn before me

This 31<sup>st</sup> day of January, 2005

Notary Public in and for said County and State





### BASIS OF BEARING

SOUTH 00° 15' 31" EAST - BEING THE CENTERLINE OF RAINBOW BOULEVARD (FORMERLY LORENZ BOULEVARD)  
AS SHOWN PER FILE 61, PAGE 46 OF PARCEL MAPS, CLARK COUNTY RECORDS, NEVADA.

### PARKING COUNT

EXISTING SPACES = 184  
EXISTING COVERED SPACES = 298  
TOTAL SPACES EXISTING = 482 - TOTAL REQUIRED = 548  
130-0 BED @ 1.75 P.U. = 227 SPACES  
130-0 BED @ 1.75 P.U. = 227 SPACES  
VISITOR SPACES = 1 SPACE PER 6 UNITS = 248 UNITS = 41 SPACES

### UNIT COUNT

EXISTING 3 BEDROOM UNITS = 130  
EXISTING 2 BEDROOM UNITS = 130  
TOTAL UNITS PROVIDED = 260  
260 UNITS/13.18 ACRES = 19.74 D.U. PER ACRE

### BASIS OF BEARING

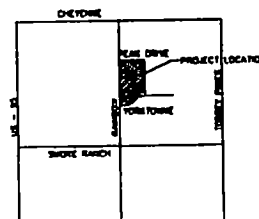
SOUTH 00° 15' 31" WEST - BEING THE CENTERLINE OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST (NW 1/4) SECTION 30, TOWNSHIP 35 NORTH, RANGE 80 EAST, 10TH, CLARK COUNTY, NEVADA PER FILE 11, PAGE 88 OF SURVEYS.

### LEGAL DESCRIPTION

187.128 ACRES PER FILE 61, PAGE 46 OF PARCEL MAPS ON FILE AT THE COUNTY RECORDS OFFICE OF CLARK COUNTY, NEVADA.

### AREA

GROSS AREA = 51,801 SQ. FT. OR 18.75 ACRES  
NET AREA = 39,132 SQ. FT. OR 13.86 ACRES



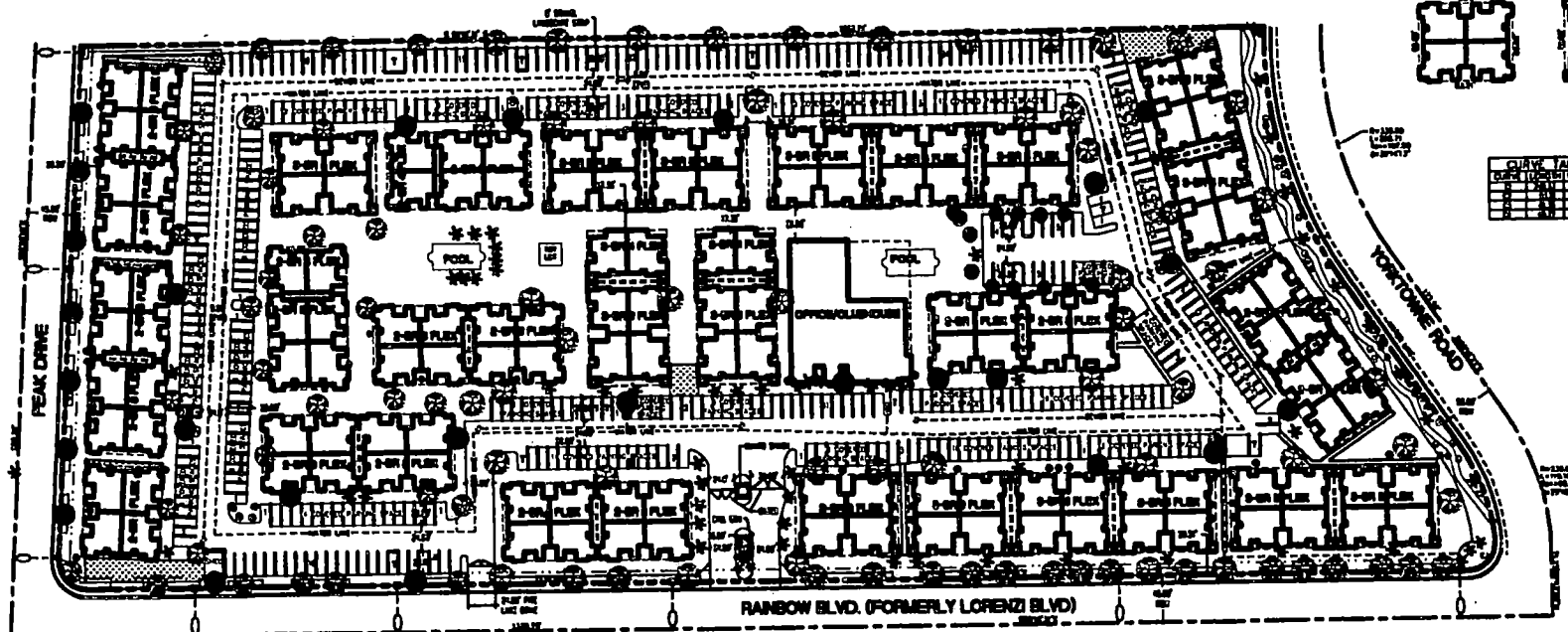
### WORTHY MAP

N.T.S.

### TYPICAL BUILDING DIMENSIONS



| TYPE  | AREA  | PERCENT |
|-------|-------|---------|
| 1-BED | 1,000 | 2.56    |
| 2-BED | 1,000 | 2.56    |
| 3-BED | 1,000 | 2.56    |
| TOTAL | 3,000 | 7.68    |



### UNIT COUNT

- 3-BED
- \* 2-BED
- 1-BED
- 1-BED

SDR-6066  
03-10-05 PC

RedRock

EXISTING LANDSCAPE PLAN

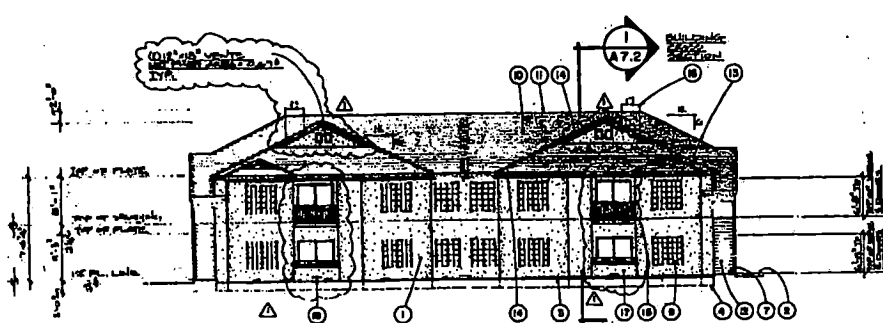
FOR

CHICK ADAMS  
8700 NORTH HAWKWAY BLVD  
LAS VEGAS, NV

SHEET 1

C1

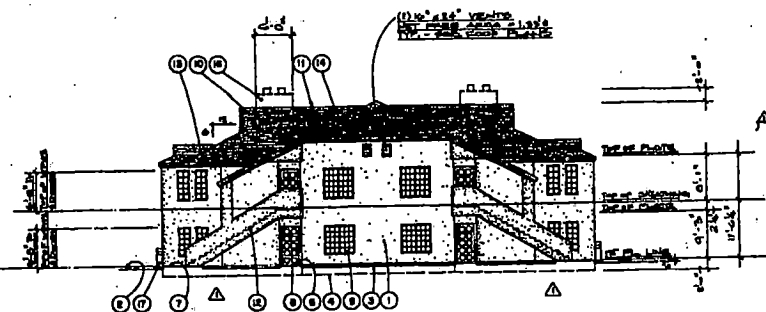
1 OF 1



TYPICAL FRONT ELEVATION - 3 BR. 8-PLEX BUILDING

(OPPOSITE SIDE - OPPOSITE HAND)

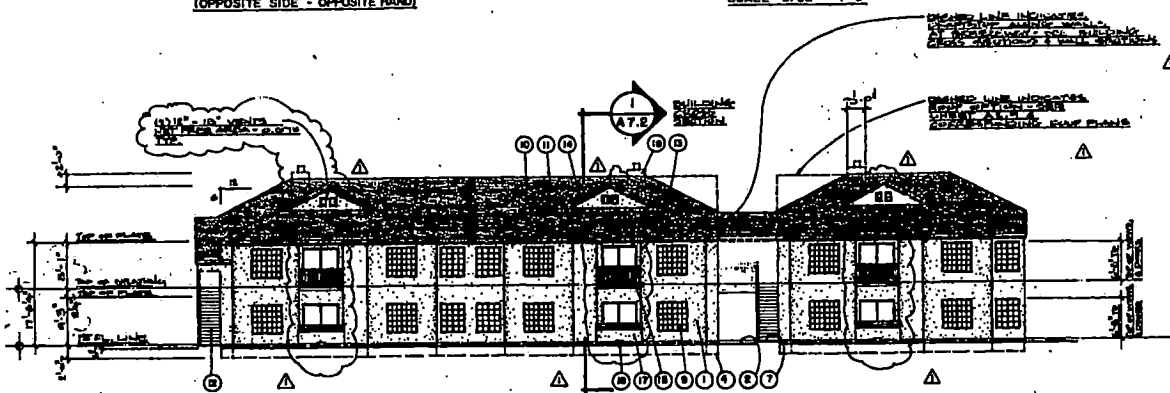
SCALE: 3/32" = 1'-0"



TYPICAL END ELEVATION - 3 BR. BUILDINGS

(OPPOSITE SIDE - OPPOSITE HAND)

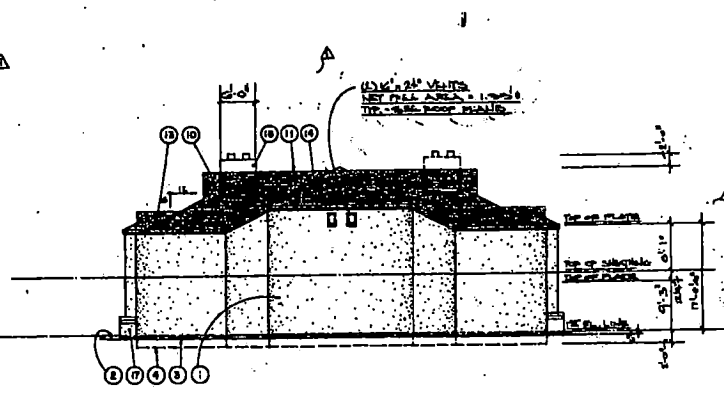
SCALE: 3/32" = 1'-0"



TYPICAL FRONT ELEVATION - 3 BR. 12-PLEX BUILDING

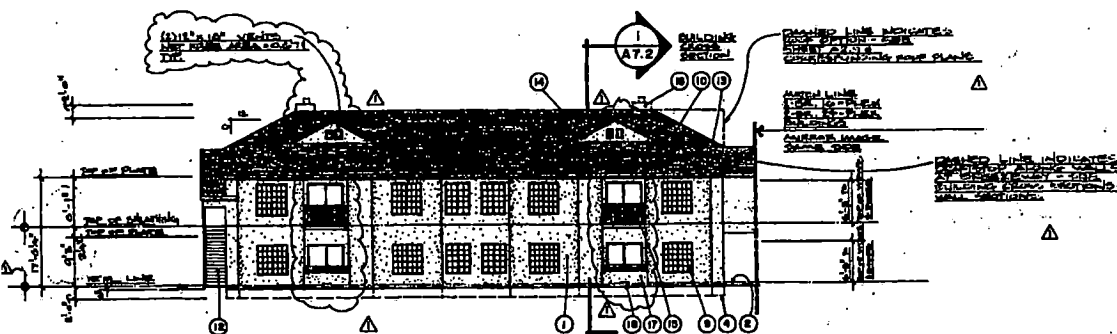
(OPPOSITE SIDE - OPPOSITE HAND)

SCALE: 3/32" = 1'-0"



END ELEVATION - 3 BR. 12-PLEX BUILDING

SCALE: 3/32" = 1'-0"



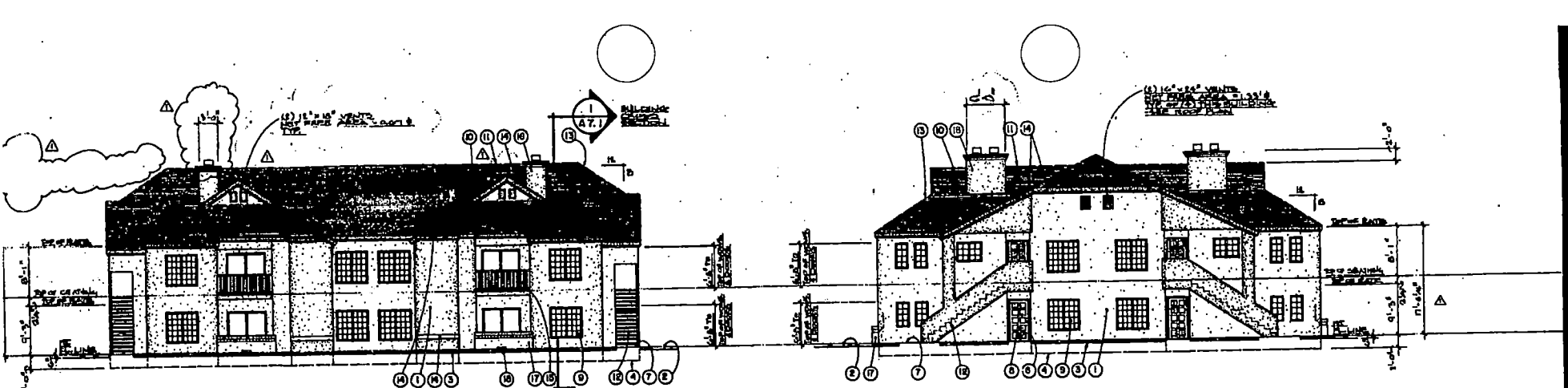
TYPICAL PARTIAL FRONT ELEVATION - 3 BR. 16 & 24 PLEX BLDG'S

SCALE: 3/32" = 1'-0"

3/4" x 6" x 8" EXTENSION GRADE PLANKS BY 1/2" BUSHING - FLOOR BRACKETS AND FLOOR BRACKET PLATES (SEE LEVEL OF UNDERGROUND) - SEE ELEVATIONS AND DETAILS.

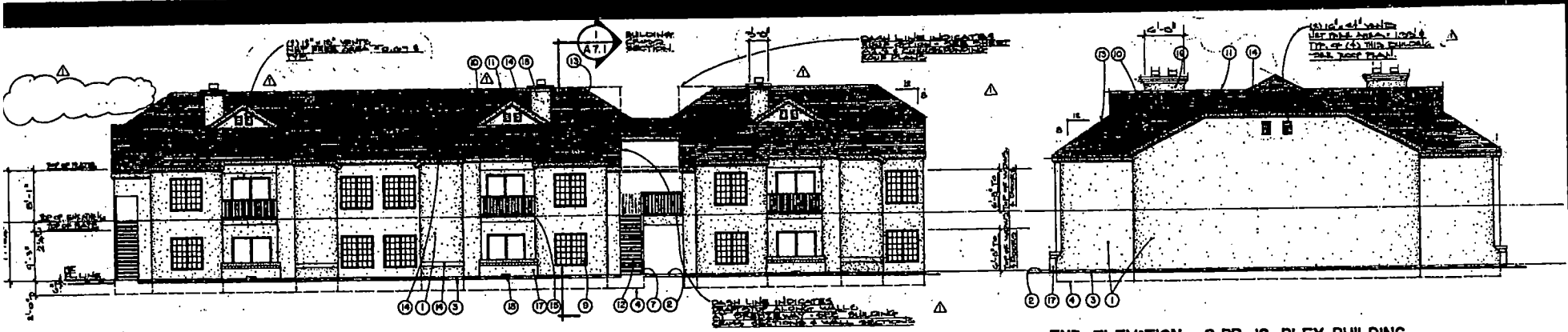
- | NOTATION ELEVATION LINES |                                                                               |
|--------------------------|-------------------------------------------------------------------------------|
| 1                        | 7/8" STUCCO OVER METAL LATH OVER 8" BULKING PATCHES - TYPICAL EXTERIOR FINISH |
| 2                        | STUCCO OVER METAL LATH - TYPICAL                                              |
| 3                        | LINE OF CONCRETE FOOTING - SEE FOUNDATION PLANS                               |
| 4                        | CONCRETE FOUNDATION - SEE FOUNDATION PLANS                                    |
| 5                        | CONCRETE SLAB AT FRONT DOOR - SEE FOUNDATION PLANS                            |
| 6                        | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 7                        | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 8                        | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 9                        | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 10                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 11                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 12                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 13                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 14                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 15                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 16                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 17                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 18                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 19                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |
| 20                       | CONCRETE SLAB AT REAR DOOR - SEE FOUNDATION PLANS                             |

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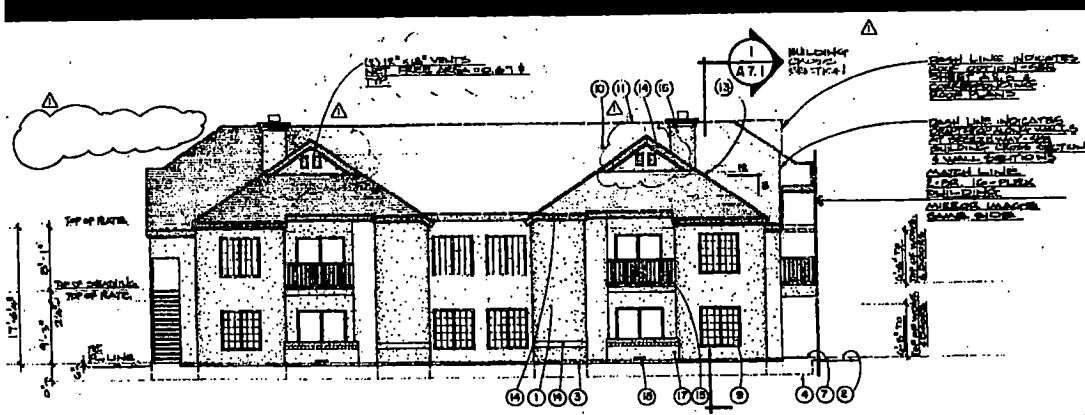
TYPICAL FRONT ELEVATION - 2 BR. 8-PLEX BUILDING  
(OPPOSITE SIDE - OPPOSITE HAND) SCALE: 1/8" = 1'-0"

TYPICAL END ELEVATION - 2 BR. BUILDINGS  
(OPPOSITE SIDE - OPPOSITE HAND) SCALE: 1/8" = 1'-0"



TYPICAL FRONT ELEVATION - 2 BR. 12-PLEX BUILDING  
(OPPOSITE SIDE - OPPOSITE HAND) SCALE: 1/8" = 1'-0"

END ELEVATION - 2 BR. 12-PLEX BUILDING  
SCALE: 1/8" = 1'-0"



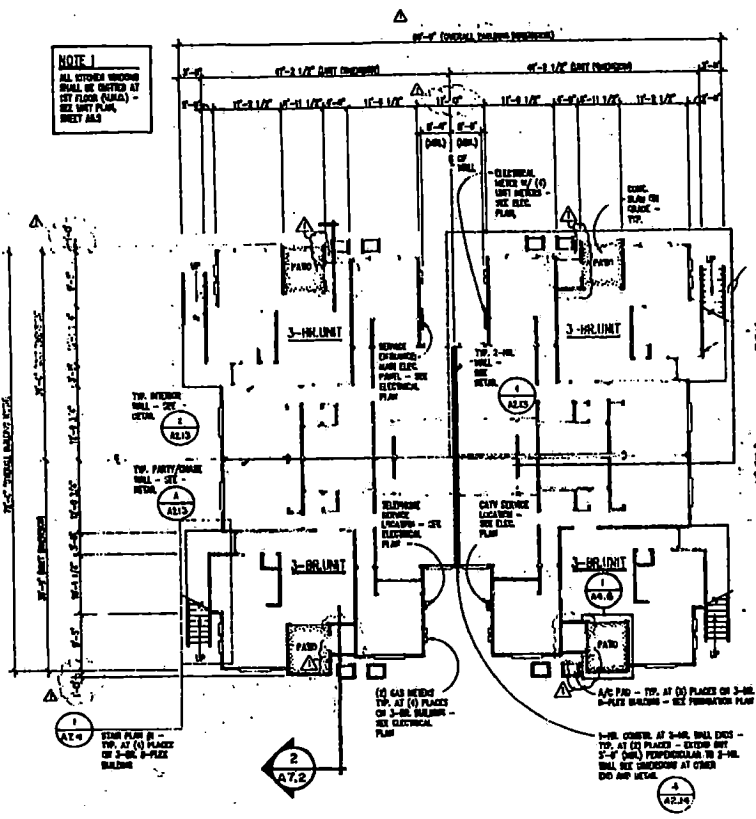
TYPICAL PARTIAL FRONT ELEVATION - 2 BR. 16-PLEX BLDG.  
SCALE: 1/8" = 1'-0"

- EXTERIOR MATERIALS LEGEND**
- ① 1/2" STUCCO OVER METAL LATH OVER 1/2" BUILDING PAPER - TYPICAL EXTERIOR FINISH
  - ② ASPHEN - LATH OF FINISH GRADE - FOR CIVIL
  - ③ STUCCO "DAMP CUT" - SEE 2-23/2-14
  - ④ LINE OF CONCRETE FOOTING - SEE EXISTING PLANS
  - ⑤ BRICK - END AND CORNER PLANK - SEE EXISTING PLANS
  - ⑥ CONCRETE ROOF AT FRONT PORCH - SEE EXISTING PLANS
  - ⑦ CONCRETE ROOF LANDING - SEE EXISTING PLANS AND SECTION 2-1/17
  - ⑧ PORCELAIN - TYPICAL AT ENTRY DOORS
  - ⑨ ANTIKING ALUMINUM WINDOWS - COLOR SELECTED BY OWNER - SEE FINISH SCHEDULE
  - ⑩ CONCRETE TILES OVER 3/4" FIBER OVER 1/2" RAFTERS - TYPICAL ROOF MATERIALS UNLESS NOTED OTHERWISE
  - ⑪ MATCH TILE TO MATCH FINEST TILE
  - ⑫ SPARKS - SEE PLANS AND SECTION, SHEET 2-14
  - ⑬ RED TILE TO MATCH FINEST TILE
  - ⑭ STUCCO "DAMP CUT" - SEE 2-23/2-14
  - ⑮ BRICKWORK M.S. BATTLED W/ BALANCE AT 1/2" O.C. (MAX.)
  - ⑯ FINEST MATCH CHIMNEY - SEE SECTION 2-1/17
  - ⑰ PATIO WALL WITH 2" X 4" CORNER BRICK TILES AND 1/2" FINEST TILE - SEE PLANS AND SECTION 2-1/17
  - ⑱ PATIO WALL WITH 2" X 4" CORNER BRICK TILES AND 1/2" FINEST TILE - SEE PLANS AND SECTION 2-1/17
  - ⑳ PATIO DIVIDING WALL - SLICE FROM FRONT OF PATIO WALL TO FACE OF BUILDING WALL ABOVE

NOTE:  
1/2" x 3/4" G. EXTERIOR BRICK FINISHED IN 1/2" FINEST MATCH - MATCHING AND FINEST MATCHING PLACING (1/2" LATH OR RAFTERS) - SEE EXISTING AND DETAILS

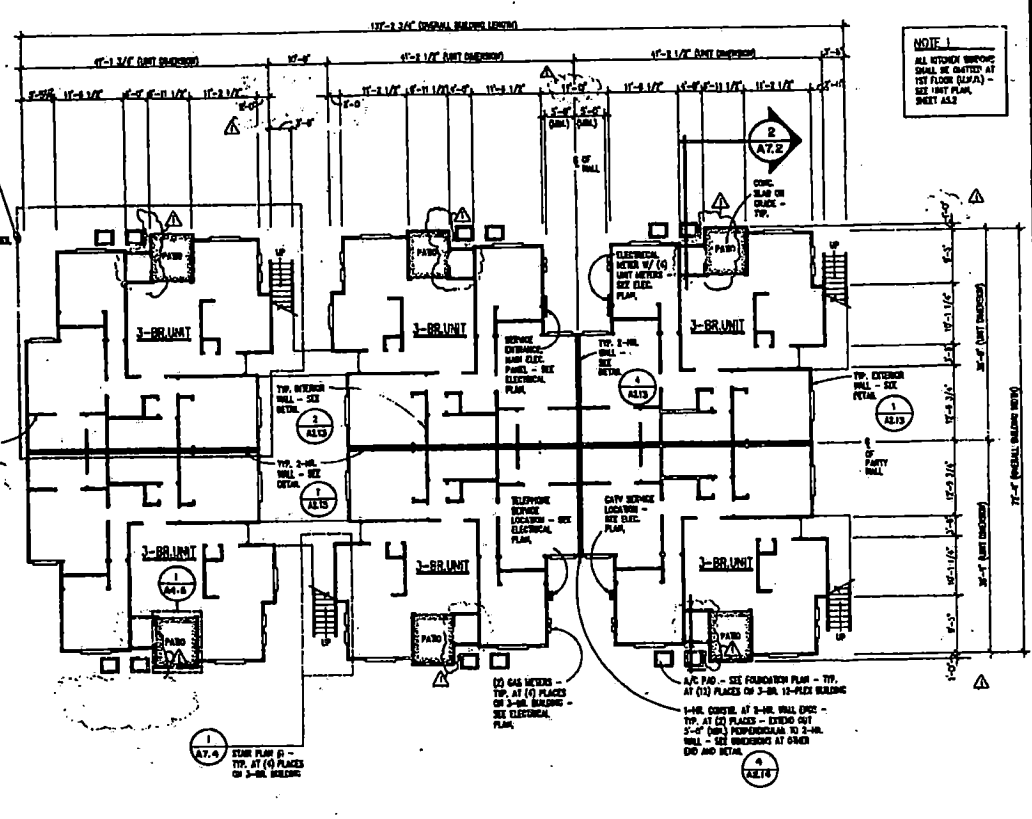
**SDR-6066**  
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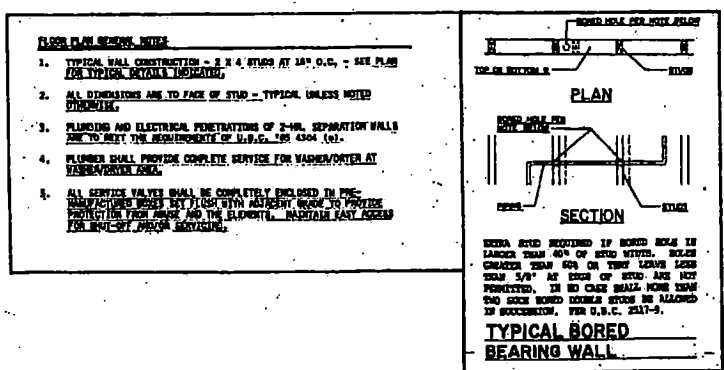
1ST FLOOR OVERALL PLAN - 3-BR. 8-PLEX BUILDING

SCALE: 3/8" = 1'-0"

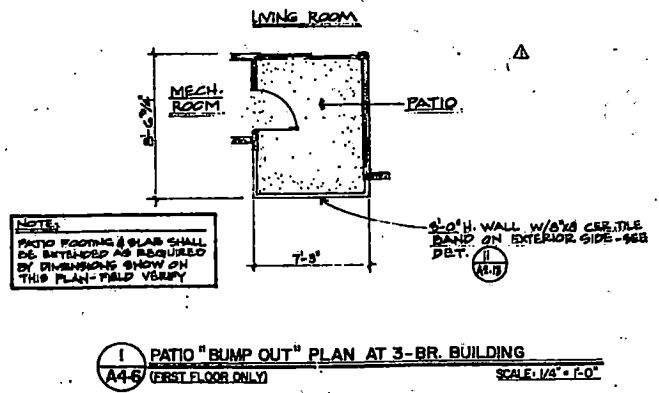


1ST FLOOR OVERALL PLAN - 3-BR. 12-PLEX BUILDING

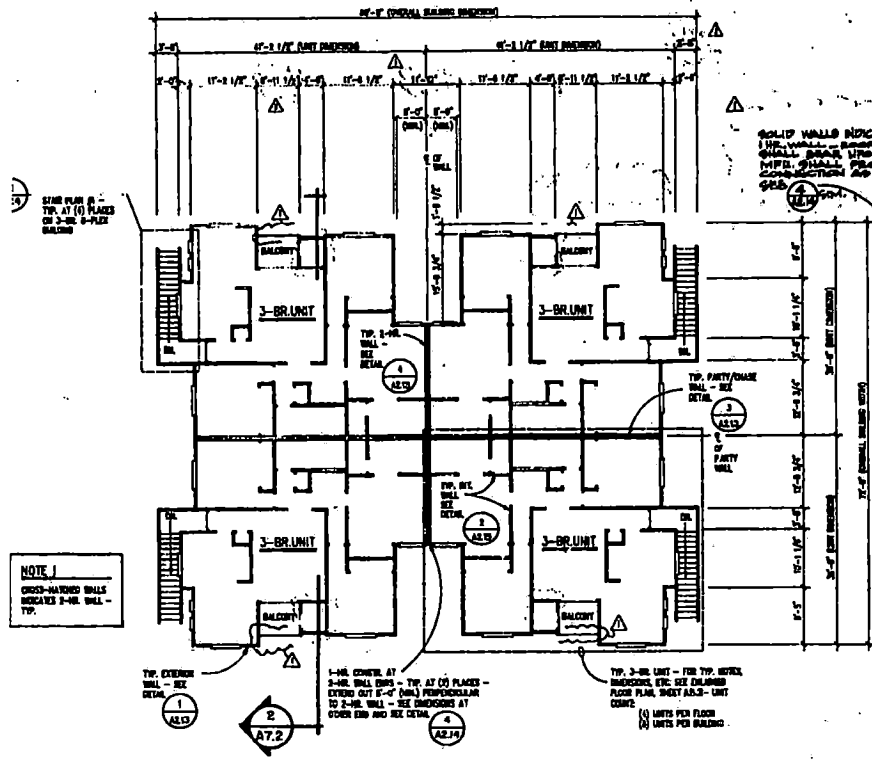
SCALE: 3/8" = 1'-0"



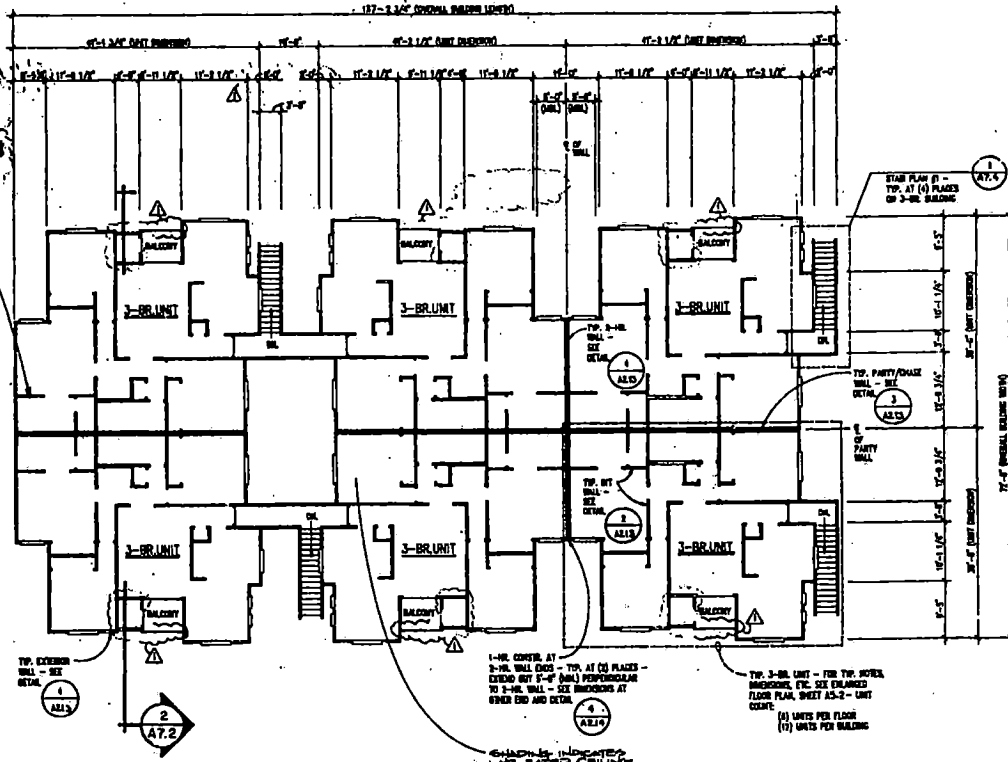
SDR-6066  
03-10-05 PC



1 PATIO "BUMP OUT" PLAN AT 3-BR. BUILDING  
A4.6 (FIRST FLOOR ONLY)  
SCALE: 1/4" = 1'-0"

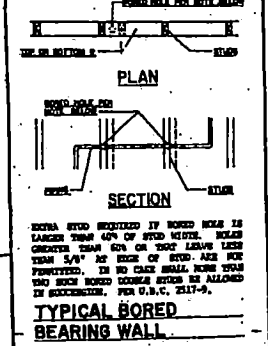


2ND FLOOR OVERALL PLAN - 3-BR. 8-PLEX BUILDING



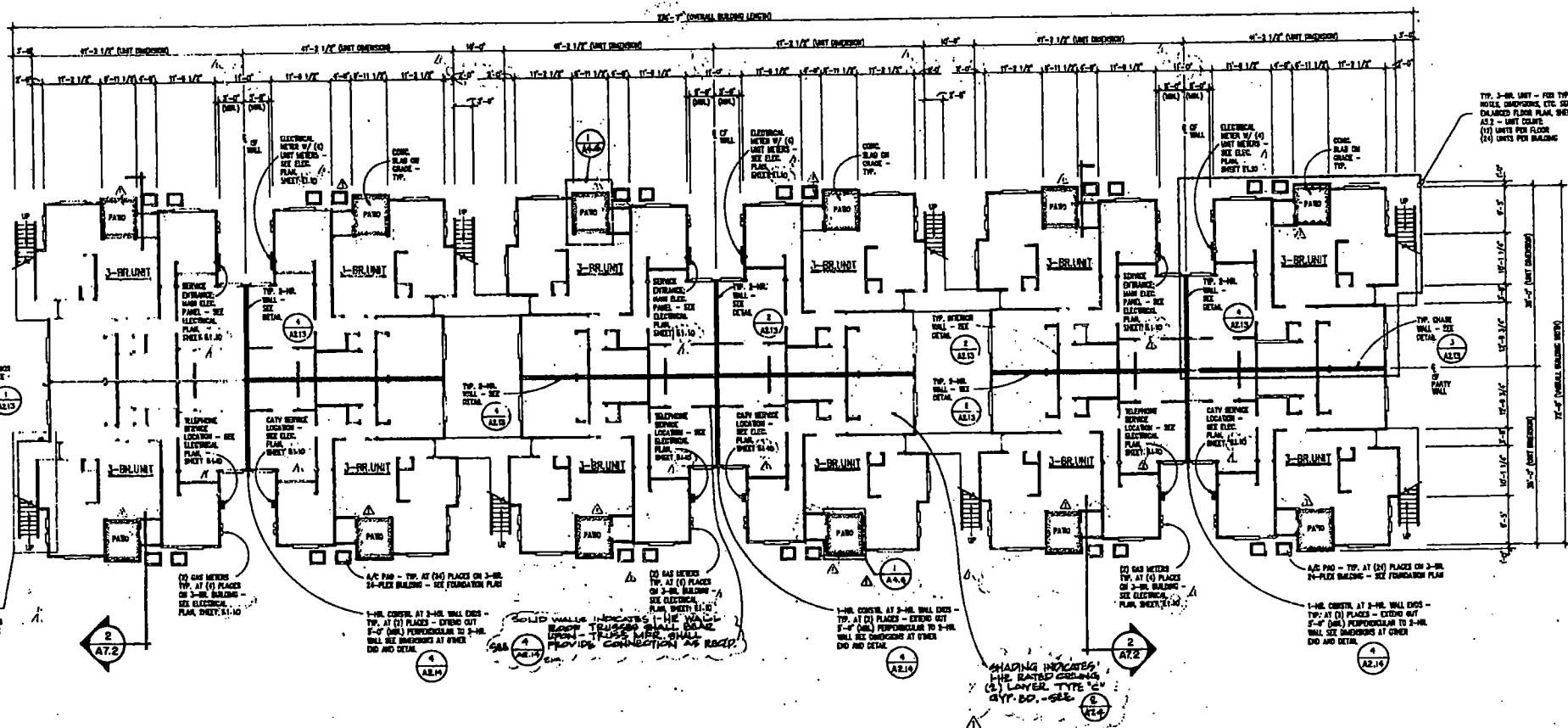
2ND FLOOR OVERALL PLAN - 3-BR. 12-PLEX BUILDING

- FLOOR PLAN GENERAL NOTES
1. TYPICAL WALL CONSTRUCTION - 2 #4 STUDS AT 16" O.C. - SEE PLAN FOR TYPICAL DETAILS INDICATED.
  2. ALL DIMENSIONS ARE TO FACE OF STUD - TYPICAL UNLESS NOTED OTHERWISE.
  3. PLUMBING AND ELECTRICAL PENETRATIONS OF 2-WALL SEPARATION WALLS ARE TO MEET THE REQUIREMENTS OF U.S.C. 18.101 (a).
  4. PLUMBER SHALL PROVIDE COMPLETE SERVICE FOR WARMER/DRIVER AT WARMER/DRIVER AREA.
  5. ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN PRE-FABRICATED BOXES SET FLUSH WITH ADJACENT GRADE TO PROVIDE PROTECTION FROM HAZARD AND THE ELEMENTS. MAINTAIN EASY ACCESS FOR SHUT-OFF AND/OR REPAIRS.



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1. ATTACHED WINDOWS  
SHALL BE SHOWN AT  
1/2" SCALE  
BY ALL

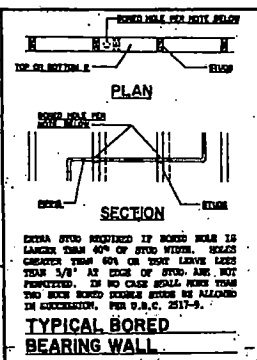


1ST FLOOR OVERALL PLAN - 3-BR. 24-PLX BUILDING

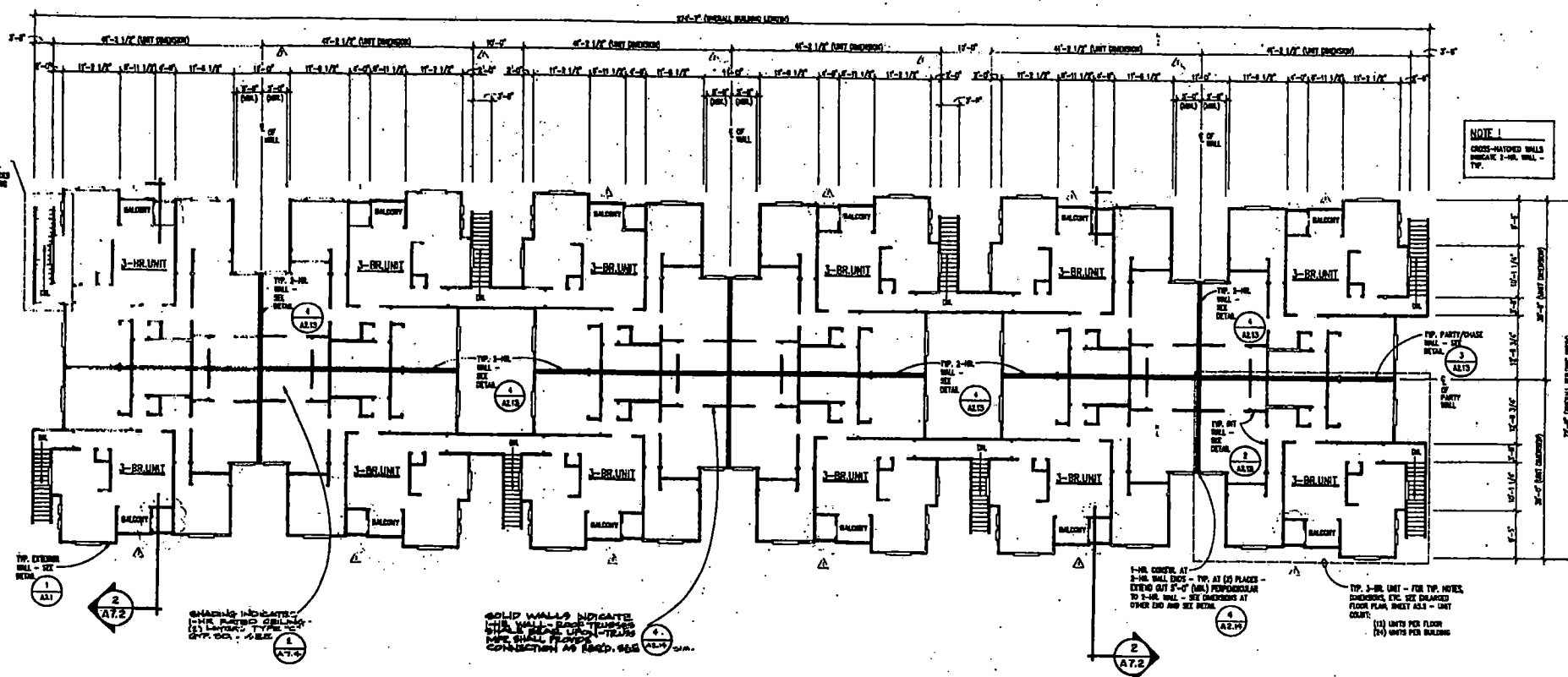
SCALE: 3/32" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. TYPICAL WALL CONSTRUCTION - 2 S.A. STUDS AT 16" P.C. - SEE PLAN FOR TYPICAL DETAILS INDICATED.
2. ALL DIMENSIONS ARE TO FACE OF STUD - TYPICAL, UNLESS NOTED OTHERWISE.
3. PLUMBING AND ELECTRICAL PENETRATIONS OF 2-HR. SEPARATION WALLS SHALL MEET THE REQUIREMENTS OF U.B.C. 1979, 2001, 191.
4. PLUMBER SHALL PROVIDE COMPLETE SERVICE FOR WARDEN/DRIVER AT REPAIR/REPAIR AREA.
5. ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN PRE-FABRICATED BOXES SET FLUSH WITH ADJACENT GRASS TO PROVIDE PROTECTION FROM FREEZING AND THE ELEMENTS. MAINTAIN EASY ACCESS FOR BUILT-UP MAINTENANCE SERVICE.

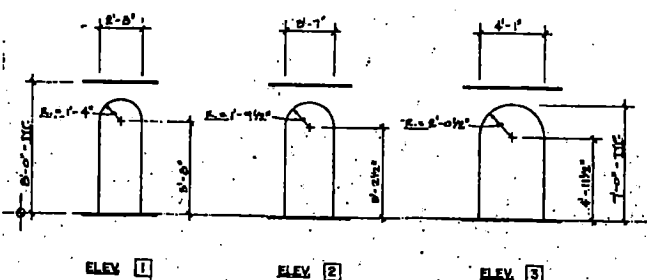


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2ND FLOOR OVERALL PLAN -- 3-BR. 24-PLEX BUILDING

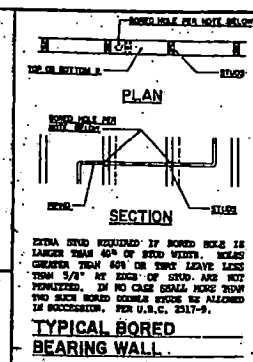
SCALE:  $3/32" = 1'-0"$



## INTERIOR ARCHWAY ELEVATIONS

SCALE: 1/4"=1'-0"

1. TYPE WALL CONSTRUCTION - 2 X 4 STUDS AT 16" O.C. - SEE PLAN FOR TYPICAL DETAIL. NOTATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD - TYPICAL WALLS NOTED OTHERWISE.
3. PLUMBING AND ELECTRICAL PENETRATIONS - 2" MIN. SEPARATION WALLS ARE TO MEET THE REQUIREMENTS OF W.C. AND E.C. CODES.
4. PLUMBER SHALL PROVIDE COMPLETE SERVICE FOR WARMUP/COOL AT WARMUP/COOL AREA.
5. ALL SERVICE WALLS SHALL BE COMPLETELY ENCLOSED TO PRE-PAVED/PAVEMENT ROUGH SET FLUSH WITH ADJACENT GRADE TO PROVIDE PROTECTION FROM EGT AND THE ELEMENTS. MAINTAIN EASY ACCESS



**SDR-6066**  
**03-10-05 PC**

**consultant:**

**CONTRACT!**

Sheet title:  
2ND FLOOR OVERALL PLAN  
3-BR. 24-PLEX BUILDING

job number:  
cadd numb-  
date: NOVEM  
drawn by:  
checked by:

revision:  
t. DE

sheet no.

A4

# RedRock Engineering & Surveying, Inc.

December 21, 2001

City of Las Vegas  
731 S. 4<sup>th</sup> Street  
Las Vegas, NV 89101

Re: Justification Letter for Waiver of Development Standards  
Rainbow and Peak Drive  
APN 138-14-301-001

The purpose of this letter is to request a waiver of development standards, specifically, screening and buffering requirements. The purpose of this letter is to request waiver of landscaping fingers every 6<sup>th</sup> parking space in the parking lot as required by ordinance.

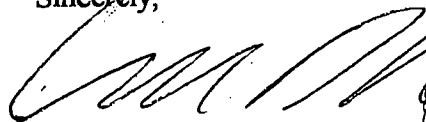
This is an existing apartment project with mature landscaping. As can be seen by the site plan many of the parking spaces are covered. This would make the installation of these landscape islands difficult.

There are several fingers with mature trees in each those shown on the attached site plan. In between the fingers at least one mature tree was planted which overhangs the covered parking. This gives the effect of a landscape finger. Most landscaping in this development is full and mature and rather dense. Pictures of the site are attached with this application. It is the intent of this application and the accompanying design review package to convert this apartment project to a condominium.

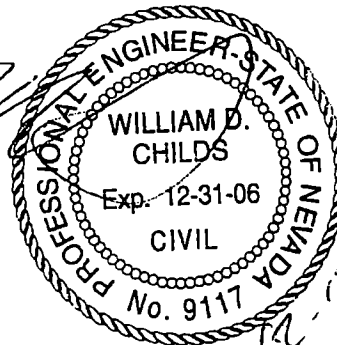
We feel that this project will blends with the current development of this area without this landscaping in place, and that an attempt has been made to meet the intent of the ordinance. We therefore request your approval of this waiver..

If you require further information please feel free to contact me.

Sincerely,



William D. Childs, P.E.



# RedRock Engineering & Surveying, Inc.

January 27, 2005

To Whom It May Concern:

Subject: Orchard Apartments

As requested RedRock Engineering has prepared a parking analysis for the above referenced project. It is our understanding that The Current Planning Division has determined that per City of Las Vegas Code, 571 parking spaces are required for this existing Apartment Complex. A tentative map to convert this apartment complex to a Condominium Project is being submitted with this letter.

A field survey (ALTA Survey) of the project was completed by this firm. Based on that survey there are 467 existing spaces within the project. A field count of vacant parking spaces was conducted at 10:00 AM on January 27, 2005 by this firm. We found 315 empty spaces during this survey. There was very little movement of cars in and out of the complex during the count.

Based on Table 30.60.2, of Chapter 30.60 of Clark County Title 30, for a residential use between the hours of 7 am and 6 pm, the average used spaces is 55 %.

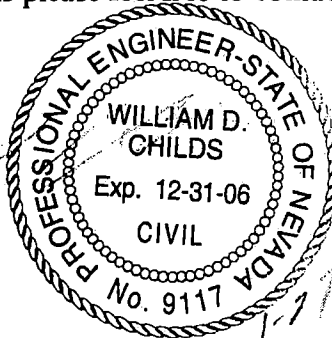
Based on the vacant stall count the number of spaces in use at the time of the survey is  $467 - 315 = 152$  spaces. Using the percentage of 55% on this number, the required spaces should be  $152 / 0.55 = 276$  spaces. This is significantly below the required number of 571 spaces.

Based on interviews with the owners and managers there has not been a problem with parking in the past 10 years. Based on the field count and interviews with the owners and managers, it is my opinion that the 467 spaces that currently exists will adequately service this complex as a Condominium Project.

If you have any questions please feel free to contact me.

Sincerely,

William D. Childs, P.E.  
President



**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**

**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**DEPARTMENT: PLANNING & DEVELOPMENT**

**DIRECTOR: M. MARGO WHEELER, AICP** ☐ **CONSENT** ☒ **DISCUSSION**

**SUBJECT:**

**TXT-6120 - TEXT AMENDMENT - PUBLIC HEARING - CITY OF LAS VEGAS -**  
Discussion and possible action to amend Title 19.06.040, "R-PD Residential Planned Development District"; Title 19.08.040, "Residential District Development Standards"; and Title 19.20.020, "Words and Terms Defined" to define the Residential Planned Development Standards.

**STAFF IS REQUESTING THIS ITEM BE HELD IN ABEYANCE TO THE MARCH 24, 2005 PLANNING COMMISSION MEETING.**

**PROTESTS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**APPROVALS RECEIVED BEFORE:**

**Planning Commission Mtg.**  
**City Council Meeting**

**0**

**RECOMMENDATION:**

Staff recommends ABEYANCE

**BACKUP DOCUMENTATION:**

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Justification Letter

**MOTION:**

**TRUESDELL – Motion to bring forward and HOLD IN ABEYANCE Item 41 [SDR-6023] to the 03/24/2005 Planning Commission Meeting; Item 14 [VAR-5878], Item 15 [SUP-5877], Item 16 [SDR-5876], Item 19 [VAR-5949], Item 20 [WVR-6153] and Item 21 [SDR-5948] to the 04/14/2005 Planning Commission Meeting; WITHDRAW WITHOUT PREJUDICE Item 17 [WVR-5955] and Item 18 [WVR-5956]; and TABLE Item 32 [SUP-5990], Item 33 [SDR-5989] and Item 44 [VAR-5878] – UNANIMOUS**

**MINUTES:**

There was no discussion.

(6:04 – 6:09)

*City of Las Vegas*

**AGENDA MEMO**

PLANNING COMMISSION MEETING DATE: MARCH 10, 2005

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: TXT-6120 - CITY OF LAS VEGAS

---

***STAFF IS REQUESTING THIS ITEM BE HELD IN  
ABEYANCE.***

*City of Las Vegas*

**PLANNING COMMISSION AGENDA**  
**PLANNING COMMISSION MEETING OF: MARCH 10, 2005**

**CITIZENS PARTICIPATION:**

ITEMS RAISED UNDER THIS PORTION OF THE PLANNING COMMISSION AGENDA CANNOT BE ACTED UPON BY THE PLANNING COMMISSION UNTIL THE NOTICE PROVISIONS OF THE OPEN MEETING LAW HAVE BEEN COMPLIED WITH. THEREFORE, ACTION ON SUCH ITEMS WILL HAVE TO BE CONSIDERED AT A LATER TIME.

**MINUTES:**

MS. WHEELER informed COMMISSIONER McSWAIN that there would be additional apartment conversion applications coming before the Commission in the future.

**MEETING ADJOURNED AT 10:01 P.M.**

Respectfully submitted:

  
\_\_\_\_\_  
STACEY CAMPBELL, DEPUTY CITY CLERK

  
\_\_\_\_\_  
ARLENE COLEMAN, DEPUTY CITY CLERK