

City of Las Vegas

Agenda Item No. 105

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SITE DEVELOPMENT PLAN RELATED TO U-0128-02 - PUBLIC HEARING - Z-0096-84(18) - LAKE MEAD AND JONES PARTNERSHIP ON BEHALF OF WAL-MART STORES, INC. - Request for a Site Development Plan Review and a Reduction in the Amount of Perimeter Landscaping FOR A PROPOSED 39,910 SQUARE FOOT WAL-MART NEIGHBORHOOD MARKET on 8.03 acres adjacent to the southwest corner of Lake Mead Boulevard and Jones Boulevard (APN: 138-23-719-004), C-1 (Limited Commercial) Zone, Ward 6 (Mack). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****4****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****1****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK - APPROVED subject to conditions, removing the request for reduction of landscaping and amending Condition #4 as follows:

4. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the deletion of *non-handicap accessible* parking directly abutting the building.

— UNANIMOUS

NOTE: COUNCILMAN MACK disclosed that his brother, STEVEN MACK, owns a Super Pawn across from this property and he has not discussed this issue with him. Therefore, he will be voting on this item.

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

**Agenda Item No. 105**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 105 – Z-0096-84(18)

MINUTES – Continued:

No one appeared in opposition.

There was no discussion.

MAYOR GOODMAN declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 104 [U-0128-02] and Item 105 [Z-0096-84(18)] was held under Item 104 [U-0128-02].

(2:27 – 2:31)

3-3381

CONDITIONS:**Planning and Development**

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
2. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
3. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect fifteen foot wide landscape planters along the Lake Mead Boulevard and Jones Boulevard frontages, an eight foot wide landscape planter along the south property line, and a multi-use trail along the Lake Mead Boulevard frontage per City of Las Vegas standards.
4. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the deletion of the row of parking directly abutting the front of the building.
5. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. [Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.]
6. A detailed landscaping plan indicating the size and type of each species must be submitted prior to or at the same time application is made for a building permit.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

*City of Las Vegas***Agenda Item No. 105**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 105 – Z-0096-84(18)

CONDITIONS – Continued:

8. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
9. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. Any proposed property line walls, if any, shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

14. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
15. Construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site; the connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on-site with a handicap ramp.

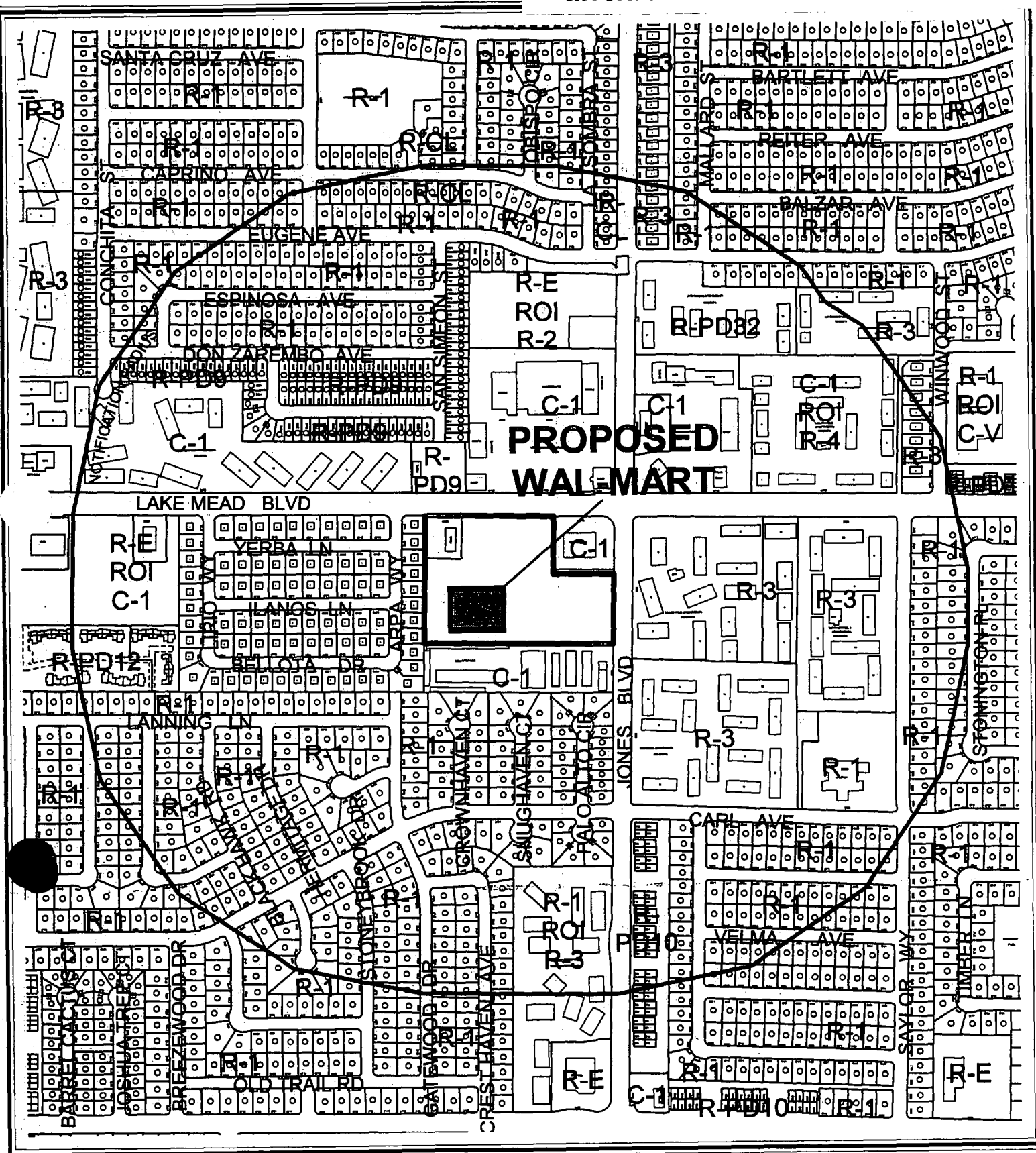


Agenda Item No. 105

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 105 – Z-0096-84(18)

CONDITIONS – Continued:

16. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a.
17. In accordance with the intent of a commercial subdivision, all existing and future parcels within this site shall have perpetual common access to all driveways connecting the overall site to the abutting public streets.
18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.
19. Site development to comply with all applicable conditions of approval for the Lake Mead/Jones Commercial Center (Commercial Subdivision) and all other subsequent site-related actions.



CASE: Z-0096-84(18)

RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 400 800 Feet

105



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: Z-0096-84(18) - LAKE MEAD AND JONES PARTNERSHIP
ON BEHALF OF WAL-MART STORES, INC.**

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
2. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
3. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect fifteen foot wide landscape planters along the Lake Mead Boulevard and Jones Boulevard frontages, an eight foot wide landscape planter along the south property line, and a multi-use trail along the Lake Mead Boulevard frontage per City of Las Vegas standards.
4. The site plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect the deletion of the row of parking directly abutting the front of the building.
5. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. [Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.]
6. A detailed landscaping plan indicating the size and type of each species must be submitted prior to or at the same time application is made for a building permit.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. Parking lot lighting standards shall be no more than 20 feet in height and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.

Z-0096-84(18) - Conditions Page Two
November 20, 2002 City Council Meeting

9. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
11. Any proposed property line walls, if any, shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

14. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
15. Construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site; the connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on-site with a handicap ramp.
16. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a.
17. In accordance with the intent of a commercial subdivision, all existing and future parcels within this site shall have perpetual common access to all driveways connecting the overall site to the abutting public streets.
18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be

Z-0096-84(18) - Conditions Page Three
November 20, 2002 City Council Meeting

contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

19. Site development to comply with all applicable conditions of approval for the Lake Mead/Jones Commercial Center (Commercial Subdivision) and all other subsequent site-related actions.

Z-0096-84(18) - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for approval of a Site Development Plan Review for a proposed 39,910 square foot Wal-Mart Neighborhood Market located adjacent to the southwest corner of Lake Mead Boulevard and Jones Boulevard. The applicant's justification letter states that the proposed Wal-Mart Neighborhood Market will not adversely affect the natural environment, safety and welfare of the surrounding neighborhoods, or property values.

BACKGROUND DATA

- | | |
|----------|--|
| 02/20/85 | The City Council approved a Rezoning (Z-0096-84) from R-E (Residence Estates) to C-1 (Limited Commercial). |
| 07/14/88 | The Planning Commission approved a Site Development Plan Review [Z-0096-84(5)] for a proposed mini-storage facility on the southerly portion of the overall site. |
| 10/26/95 | The Planning Commission approved a Site Development Plan Review [Z-0096-84(12)] for a proposed 13,905 square foot drug store (Walgreen's). |
| 08/13/98 | The City Council approved the eleventh Extension of Time on an approved Rezoning [Z-0096-84(15)] on this site. |
| 05/11/00 | The Planning Commission approved a Site Development Plan Review [Z-0096-84(16)] for a proposed 2,590 square foot fast foot restaurant with drive-through (Kentucky Fried Chicken). |
| 11/02/00 | The Planning Commission approved a Site Development Plan Review [Z-0096-84(17)] for a proposed 58,000 square foot commercial center on the subject site. |
| 10/24/02 | The Planning Commission recommended approval of a related Special Use Permit (U-0128-02) for the sale of packaged liquor for off-premise consumption on this site. |
| 10/24/02 | The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #67). |

Z-0096-84(18) - Staff Report Page Two
November 20, 2002 City Council Meeting

DETAILS OF APPLICATION REQUEST

Site Area:	8.05	Acres
Building Size:	39,910	Square Feet
FAR:	0.11	
Maximum Building Height:	24'0"	
Parking Required:	160 //	Spaces (including 6 handicap accessible spaces)
Parking Provided:	203	Spaces (including 6 handicap accessible spaces)

// Parking based on Section 19.10.010 standards for "General Retail Store, Other Than Listed (25,000 square feet of area or greater)" requirement of one space for each 250 square feet of gross floor area.

Direct access to the site is via one driveway onto Jones Boulevard driveway and one onto Lake Mead Boulevard. Indirectly, access can be gained from two additional driveways onto Lake Mead Boulevard. The building is located on the southwest portion of the site with parking to the north, west, and east. Two future pad sites are indicated on the southeast portion of the site along Jones Boulevard, with a future out parcel along the Lake Mead Boulevard frontage. A service drive with loading docks is shown along the rear of the building.

The applicant is requesting a reduction in the amount of perimeter landscaping. The applicant is proposing to provide 10 feet of the 15 feet of landscape planter width required along Lake Mead Drive and Jones Boulevard. The applicant is also proposing to provide 5 feet of the 8 feet of landscape planter width required along the south property line adjacent to the Mini-Warehouse Facility. Additional landscaping is provided within parking lot planter fingers and islands, and in landscaping planters provided between the proposed site and the existing pad buildings and future outlets.

The elevations portray a split face C.M.U. block building with two-tone color. At major interest points, beige colored EIFS stucco is indicated with a flat roof. The color palate used features a light and dark brown split face C.M.U. block with beige EIFS stucco and green trim.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	R-PD9 (Residential Planned Development – 9 Units Per Acre) C-1 (Limited Commercial)	Single Family Res. Commercial Center
South	C-1 (Limited Commercial)	Mini-Warehouse
East	R-3 (Medium Density Residential)	Apartments
West	R-3 (Medium Density Residential)	Apartments

Z-0096-84(18) - Staff Report Page Three
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

ZONING

The proposed supermarket is a permitted use within the C-1 (Limited Commercial) zoning district.

SITE PLAN

The submitted site plan indicates an effective means of ingress/egress and circulation throughout the site. However, the row of parking spaces that are directly adjacent to the front of the building may hinder the smooth on site traffic circulation of this project. Therefore, staff has included a condition requiring the deletion of the row of parking abutting the front of the proposed supermarket.

The Transportation Element of the 2020 Master Plan indicates a multi-use trail along the south frontage of Lake Mead Boulevard, this is not depicted on the submitted site plan. Staff has recommended a condition requiring this trail.

LANDSCAPE PLAN

The proposed reduction of landscaping along Lake Mead Boulevard and Jones Boulevard is not justifiable since it will not match the existing conditions of the adjacent Kentucky Fried Chicken (along Lake Mead Boulevard) or the adjacent Mini-Warehouse (along Jones Boulevard) which both provide 15 foot wide landscape planters. The landscape materials included in the perimeter landscape planters and the parking lot finger planters are in conformance with Title 19.12.

ELEVATIONS

The submitted building elevations depict an attractive building with appropriate contrast and architectural design.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission or City Council to affirm all of the following:

- 1. "The proposed development is compatible with adjacent development and development in the area."**

The proposed commercial development will be appropriate, in terms of the type and intensity of anticipated uses, as neighborhood-serving retail and potential restaurant uses for existing and planned residential development in the surrounding area.

- 2. "The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

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November 20, 2002 City Council Meeting

The proposed project will be consistent with Title 19 and applicable policies and standards with implementation of the conditions that are recommended.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."**

The site circulation is appropriate and will not negatively impact adjacent roadways.

4. **"Building and landscape materials are appropriate for the area and for the City."**

The proposed project will incorporate appropriate building and landscape materials for the area and for the City in that the elevations provide adequate architecture and materials and the landscaping will help buffer surrounding uses by creating a visual screen.

5. **"Building elevations, design characteristics, and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area."**

The proposed project will create an aesthetically pleasing and orderly site plan with a central parking area. Staff finds the building elevations and landscaping will also provide an aesthetically pleasing environment by creating a visual screen.

6. **"Appropriate measures taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to regular inspections for licensing, and therefore the development will not compromise the public health, safety or welfare.

NOTICES MAILED 805 by Planning Department

APPROVALS 1

PROTESTS 4



Case Number: Z-0096-84(18) APN: 138-23-719-004
Name of Property Owner: Lake Mead and Jones Partnership
Name of Applicant: EN Engineering, Inc.

Yes

 No

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: Van [Signature]

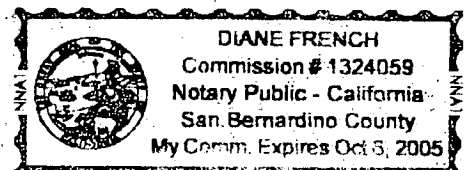
Print Name: 1 EHR1 ATT M AW

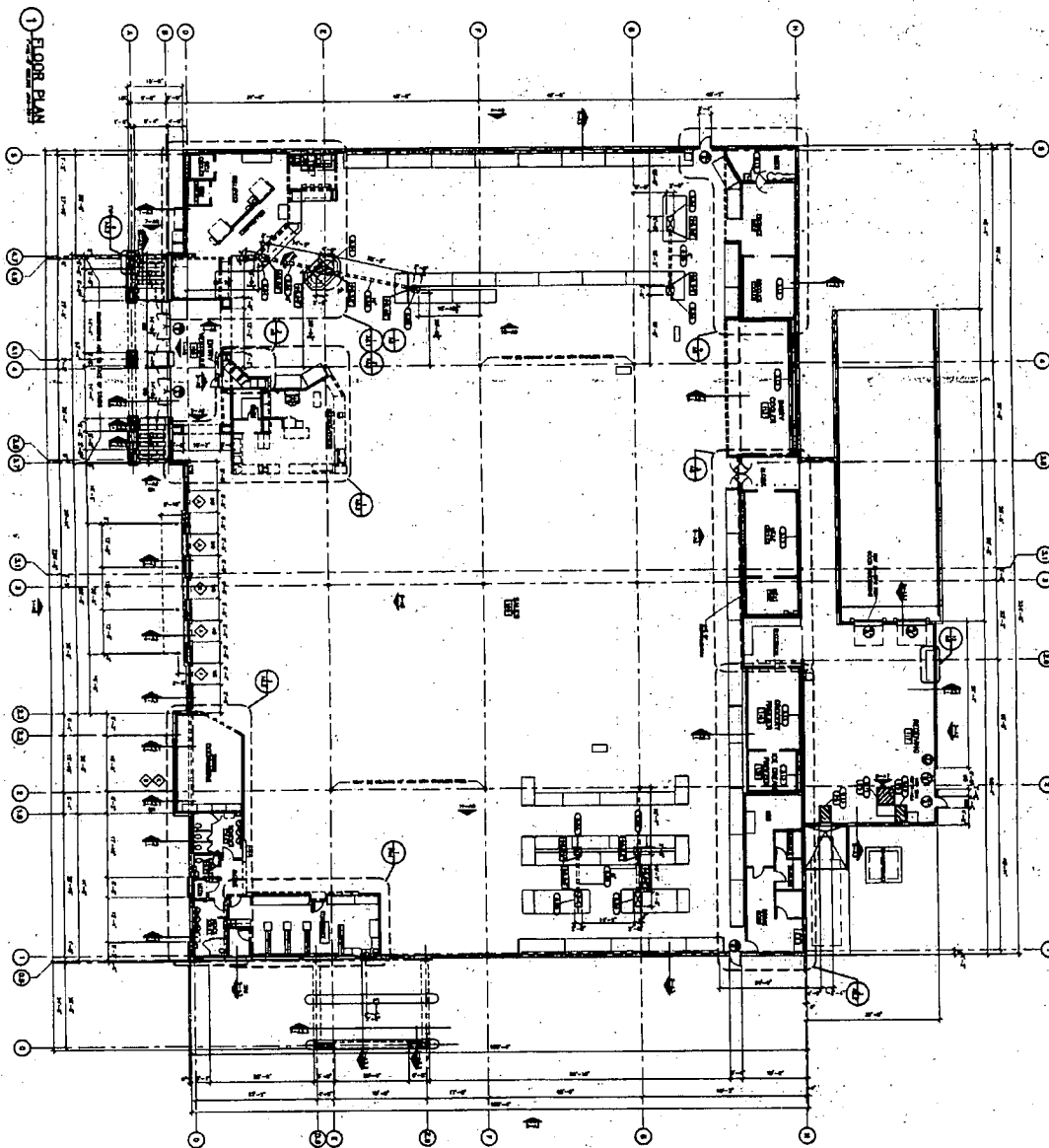
This 29th day of August, 2002

Diane Finck, San Luis County
Notary Public in and for said County and State

Notary Public in and for said County and State

State of California





STAFF
Z-0096-84(18)
10-24-02 PC

SHEET NOTES

[illegible]

KEYNOTES

[illegible][illegible]

WAL-MART
NEIGHBORHOOD MARKET
LAS VEGAS (JONES), NV
STORE NO. 1000X

[illegible]

STIMULATION FOR HOME

1001 JENNIFER PLAZA
 SUITE 400
 CAMDEN, NEWJERSEY 08104
 MEMBERSHIP BY CHECKING
 CREDIT CARD NO.

P:\Proj\DD\01-541\Prelim\LAYOUTS\541-SP-DR.dwg, SP-DR, 09/10/2002 12:04:21 PM.

EXISTING
SHADOW HILLS
SHOPPING CTR
C-1 ZONE

EXISTING
RITE AID
R-3 ZONE

**EXISTING
SIERRA
OESTE
R-3 ZONE**

WART NEIGHBORHOOD
MARKET (NEW)

NAP
G-1 ZONE
EXTENDING

FUTURE
OUTLIFT (1
0.9 ACRE

FUTURE
OUTLOT (2
1.9 ACRE

EXISTING
U-HAUL & STORAGE
ZONE

PROJECT/BITE NOTES:

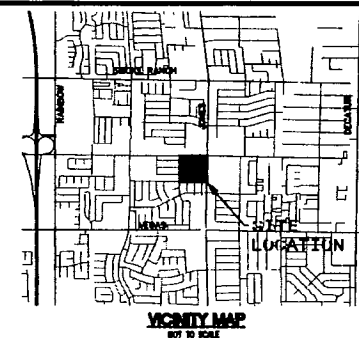
1. SITE LIGHTING TO BE 20 FEET FROM FEATURES @ 400 VANS PER LANEWAY
2. DISPLAYS CAN NOT BLOCK ANY PEDESTRIAN ACCESS.
3. SITE SHOWAGE IS UNDER REPAIR. PENDING.
4. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
5. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE LOCATED TO THE HIGHEST OF THE TALLEST EQUIPMENT.
6. ALL SERVICE AREAS SHALL BE SCREENED TO CONTEXT. TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKUP GENERATORS AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM THE LEVEL ADJACENT TO ALL PUBLIC STREETS.
7. NO LOADING AREA IN FRONT OF EVERY UNIT.

LANDSCAPE AREAS

LOADING DOCK SOUTH WING

GRAPHIC SCALE

100 (100%)



PROJECT DATA	
PROJECT DESCRIPTION	
CONVERTING A LOW-RISE RECREATIONAL MARKET INTO A MULTI-UNIT RESIDENTIAL AND ASSOCIATED PARKING ACCESS WALK, BIKE AND STORM DRAIN IMPROVEMENTS.	
ZONING	
ZONING: D-1 MASTER PLAN: COMMERCIAL	
OWNER/DEVELOPER:	
WIL-MART STORE INC. 200 E. 14TH STREET MILWAUKEE, WI 53210 PH: (262) 222-0940 FAX: (262) 272-4290	
LOCATION	
DICK LAKE NEAR BLVD. AND JONES BLVD.	
SITE AREA	
PORTION BLDG GROSS ACRES (BLS NET)	
PROPOSED BUILDING:	
WIL-MART CLASSIFICATION C 30 L	
TOTAL	30.00 S.F.
BUILDING HEIGHT	
24' MAX AT ENTRY	
BUILDING'S COVERAGE	
ALLOWED BY CITY:	52%
PROPOSED:	14.82%
PARKING REQUIRED	
BUILDING SIZE: 30.00 S.F. / 4,000-460 SPACES	
STANDARD SKALLS 157 SPACES	
HANDICAP STALLS	3 SPACES
TOTAL	160 SPACES
PARKING PROVIDED	
STANDARD SKALLS	162 SPACES
HANDICAP STALLS	3 SPACES
LEAVE REMAIN STALLS	3 SPACES
TOTAL	168 SPACES
LANDSCAPE REQUIREMENT:	
LANDSCAPE RETAINAGE	
10' NEAR RETAINAGE ADJACENT TO RESIDENTIAL	
10' NEAR RETAINAGE ADJACENT TO STORAGE	
OF STREET FRONTAGE	
FENCE PLANTERS REQUIRED	
10' OF 10' NEAR PARKING STALLS	
NEAR ST. FRONTAGE	

93584

01-541
CONCEPTUAL SITE PLAN

Engineers/Planners/Surveyors
 NATIONAL ENGINEERING ASSOCIATION
 TEL: 202/638-6777 FAX: 202/638-6785
 WWW.NEAS-USA.ORG

N

ERIC JONES AND LAKE MEAD

Z-0096-84(18)

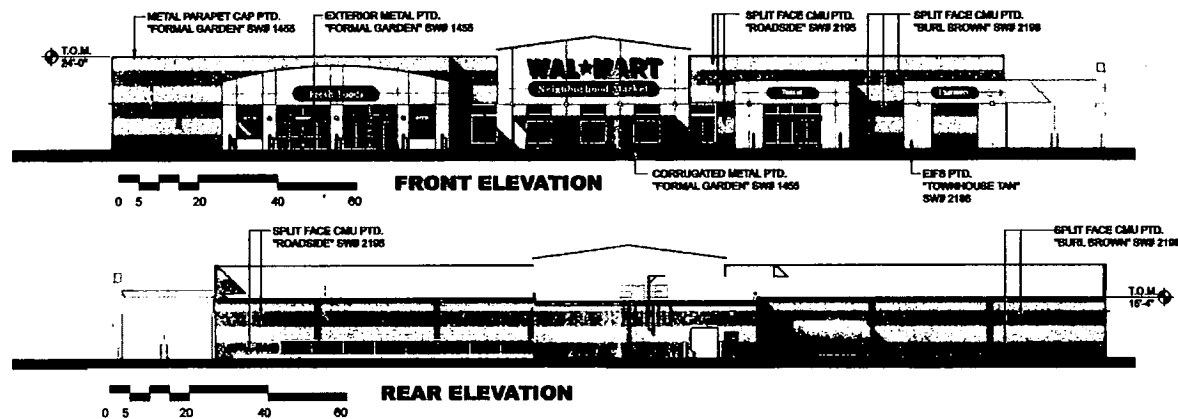
STAFF

CITY COUNCIL MEETING OF NOVEMBER 20, 2002 **PAGE** **1226**

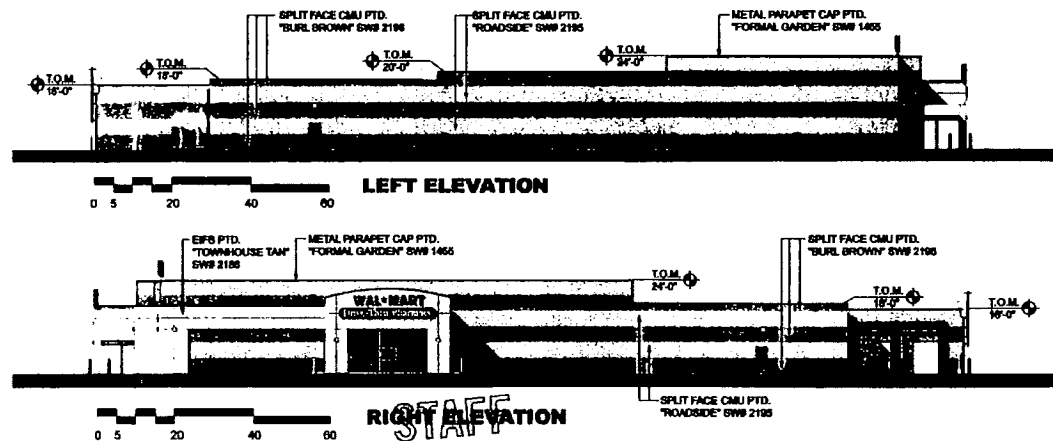
SEPTEMBER 5, 2002

Call
before you
OVERHEAD
1-800-257-52

Call
before you
Dig
1-800-257-52



FRONT ELEVATION	HEIGHT	AREA
1. WAL-MART	2'-0"	123.50 S.F.
2. "NEIGHBORHOOD MARKET"	2'-0"	90.00 S.F.
3. "FRESH FOODS"	2'-0"	35.00 S.F.
4. "PHARMACY"	2'-0"	24.00 S.F.
5. "TENANT"	2'-0"	26.00 S.F.
TOTAL FRONT		398.50 S.F.
REAR ELEVATION	HEIGHT	AREA
6. "DRIVE-THRU PHARMACY"	2'-0"	42.00 S.F.
7. WAL-MART	2'-0"	42.20 S.F.
8. DRIVE-THRU W/ ARROW	2'-0"	8.00 S.F.
9. EXIT (2)	0'-0"	2.44 S.F.
10. LAINE 1	0'-0"	2.00 S.F.
11. LAINE 2	0'-0"	2.05 S.F.
TOTAL REAR		101.69 S.F.
TOTAL STORAGE		497.19 S.F.



WAL-MART
NEIGHBORHOOD MARKET

Z-0096-84(18) Las Vegas (Lake Mead), NV
10-24-02 PC

08/26/02



Z-0096-84(18) - LAKE MEAD AND JONES PARTNERSHIP ON BEHALF OF WAL-MART STORES, INC.
SOUTHWEST CORNER OF LAKE MEAD BOULEVARD AND JONES BOULEVARD
OCTOBER 24, 2002 PLANNING COMMISSION

10/10/02

City of Las Vegas

Agenda Item No. 106

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SPECIAL USE PERMIT - PUBLIC HEARING - U-0130-02 - FARM ROAD RETAIL, LIMITED LIABILITY COMPANY ON BEHALF OF LAURICH PROPERTIES -
 Request for a Special Use Permit FOR A RESTAURANT WITH DRIVE-THRU FOR A PROPOSED STARBUCKS at 8440 Farm Road (APN: 125-17-610-005), TC (Town Center) Zone, Ward 6 (Mack). The Planning Commission (6-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****0****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****0****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (6-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK - APPROVED subject to conditions - UNANIMOUS

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

ATTORNEY TOM AMICK, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of the applicant. ATTORNEY AMICK indicated that the drainage study was submitted and approved by Public Works. BART ANDERSON, Public Works, confirmed that a letter was submitted and that Flood Control is completely satisfied with their update and they have complied with the condition.

COUNCILMAN MACK commented that the drainage studies must be complied with in order to get accreditation with the FEMA studies as well.

No one appeared in opposition.

**Agenda Item No. 106**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 106 – U-0130-02

MINUTES – Continued:

There was no further discussion.

MAYOR GOODMAN declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 106 [U-0130-02] and Item 107 [Z-0076-98(36)] was held under Item 106 [U-0130-02].

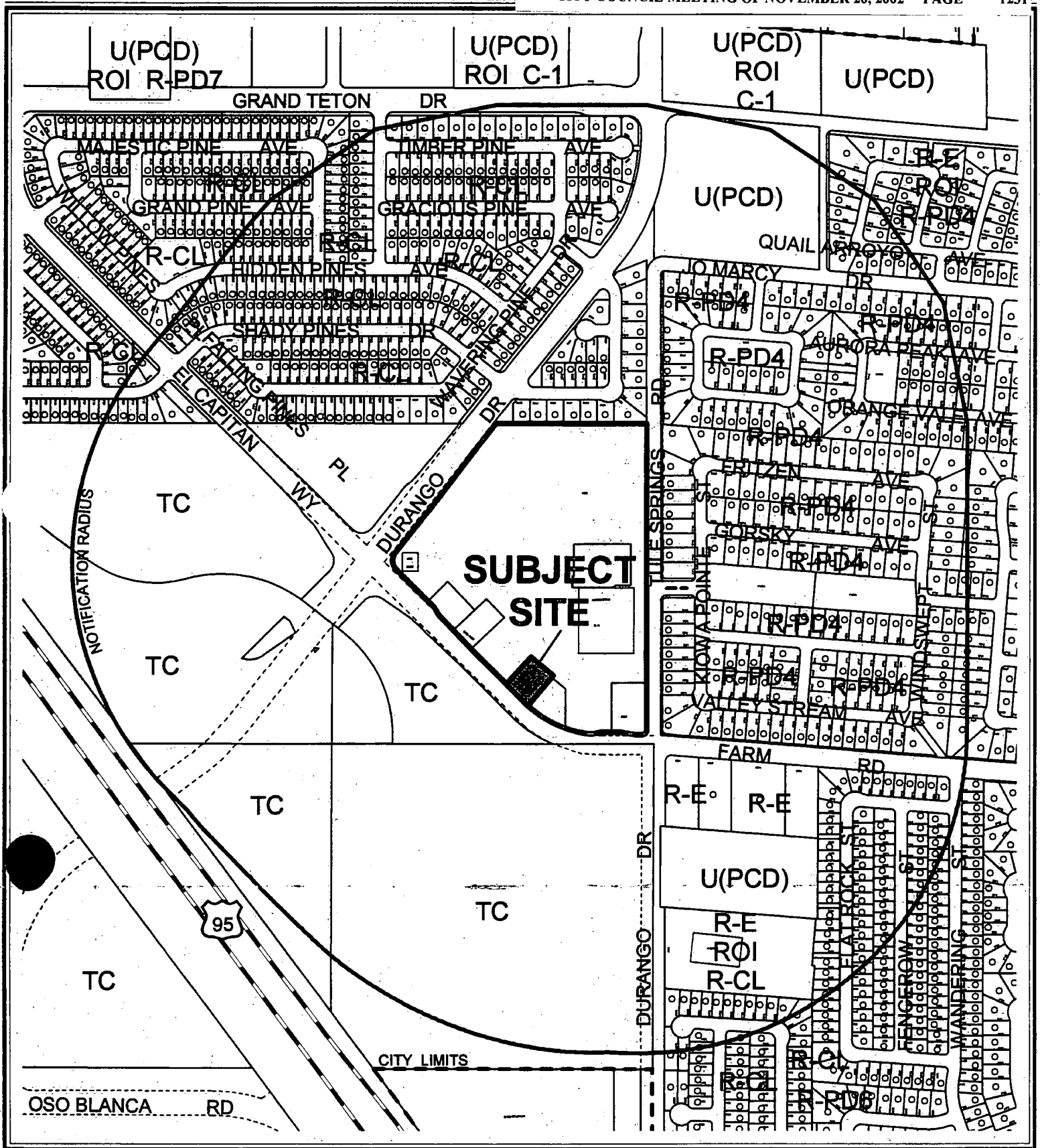
(2:31 – 2:34)

3-3660

CONDITIONS:

Planning and Development

1. If this Special Use Permit is not exercised within two years after this approval, this Special Use Permit shall be void unless an Extension of Time is granted.
2. All City Code Requirements and all City departments' design standards shall be met.
3. A Site Development Plan Review before the City Council shall be required prior to obtaining any building permits.



CASE: U-0130-02

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: TC (TOWN CENTER)

0 400 800 Feet

106



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: U-0130-02 - FARM ROAD RETAIL, LIMITED LIABILITY
COMPANY ON BEHALF OF LAURICH PROPERTIES**

**** CONDITIONS ****

The Planning Commission (6-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. If this Special Use Permit is not exercised within two years after this approval, this Special Use Permit shall be void unless an Extension of Time is granted.
2. All City Code Requirements and all City departments' design standards shall be met.
3. A Site Development Plan Review before the City Council shall be required prior to obtaining any building permits.

U-0130-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Special Use Permit for a restaurant with drive-through on property located adjacent to the northeast corner of Durango Drive and Farm Road.

BACKGROUND DATA

- 12/07/98 The City Council approved a request for Rezoning from R-E (Residence Estates) to TC (Town Center) as part of a larger request (Z-0076-98). The Planning Commission recommended approval.
- 05/17/00 The City Council approved a Site Development Plan Review [Z-0076-98(14)] for a commercial retail center on the subject site. The Planning Commission recommended approval.
- 06/05/02 The City Council approved a Review of Condition [Z-0076-98(27)] of an approved Rezoning which repealed the prohibition of drive through restaurants on the subject site; a Special Use Permit (U-0028-02) for a drive through restaurant, and a Site Development Plan Review [Z-0076-98(28)] for a drive through restaurant (McDonalds) on the subject site. The Planning Commission recommended approval.
- 10/24/02 The Planning Commission recommended approval of a related item; a Site Development Plan Review [Z-0076-98(36)] for a proposed restaurant with drive through.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #68).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	R-CL (Single Family Compact Lot)	Single Family Residential
South	TC (SC-TC)	Undeveloped
East	R-PD4 (Residential Planned Development – 4 Units Per Acre)	Single Family Residential
West	TC (SC-TC)	Undeveloped

U-0130-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

ZONING

A restaurant with drive-through is an allowed use within the SC-TC (Service Commercial) land use category of the T-C (Town Center) Zoning District, with the approval of a Special Use Permit.

USE

The proposed restaurant with drive-through is a use that will be an appropriate element of a larger commercial development on a site near the US 95 freeway and designated Town Center SC-TC (Service Commercial). Therefore, the use can be conducted in a manner that is harmonious and compatible with future development within the Town Center planning area.

FINDINGS

In order to approve a Special Use Permit application, per Las Vegas Municipal Code Section 19.18.060 the Planning Commission or City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The proposed restaurant with drive-through is a use typically associated with commercial development such as anticipated in the Town Center SC-TC (Service Commercial) land use category. The restaurant with drive-through will be harmonious and compatible with future development in the Town Center planning area.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The subject site will be physically suitable for the type and intensity of land use as proposed by this restaurant with drive-through.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The abutting street network will be adequate for the traffic generated by this restaurant with drive-up. Farm Road is planned to be a minor (80-foot) arterial and Durango Drive is planned to be 100 feet wide, and El Capitan Way is planned to be 80 feet wide.

U-0130-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

The proposed restaurant with drive-through on this site will be subject to regular inspection by City and County regulatory agencies for business licensing, and will therefore not compromise the public health, safety, and welfare.

NOTICES MAILED 711 by City Clerk

APPROVALS 0

PROTESTS 0

**PLANNING & DEVELOPMENT DEPARTMENT**

STATEMENT OF FINANCIAL INTEREST

Case Number: **U-0130-02** APN: 125-17-610-005

Name of Property Owner: Farm Road Retail LLC

Name of Applicant: Laurich Properties

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

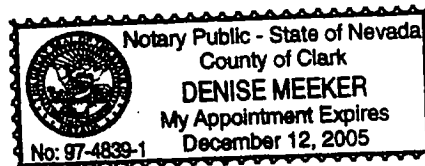
APN: _____

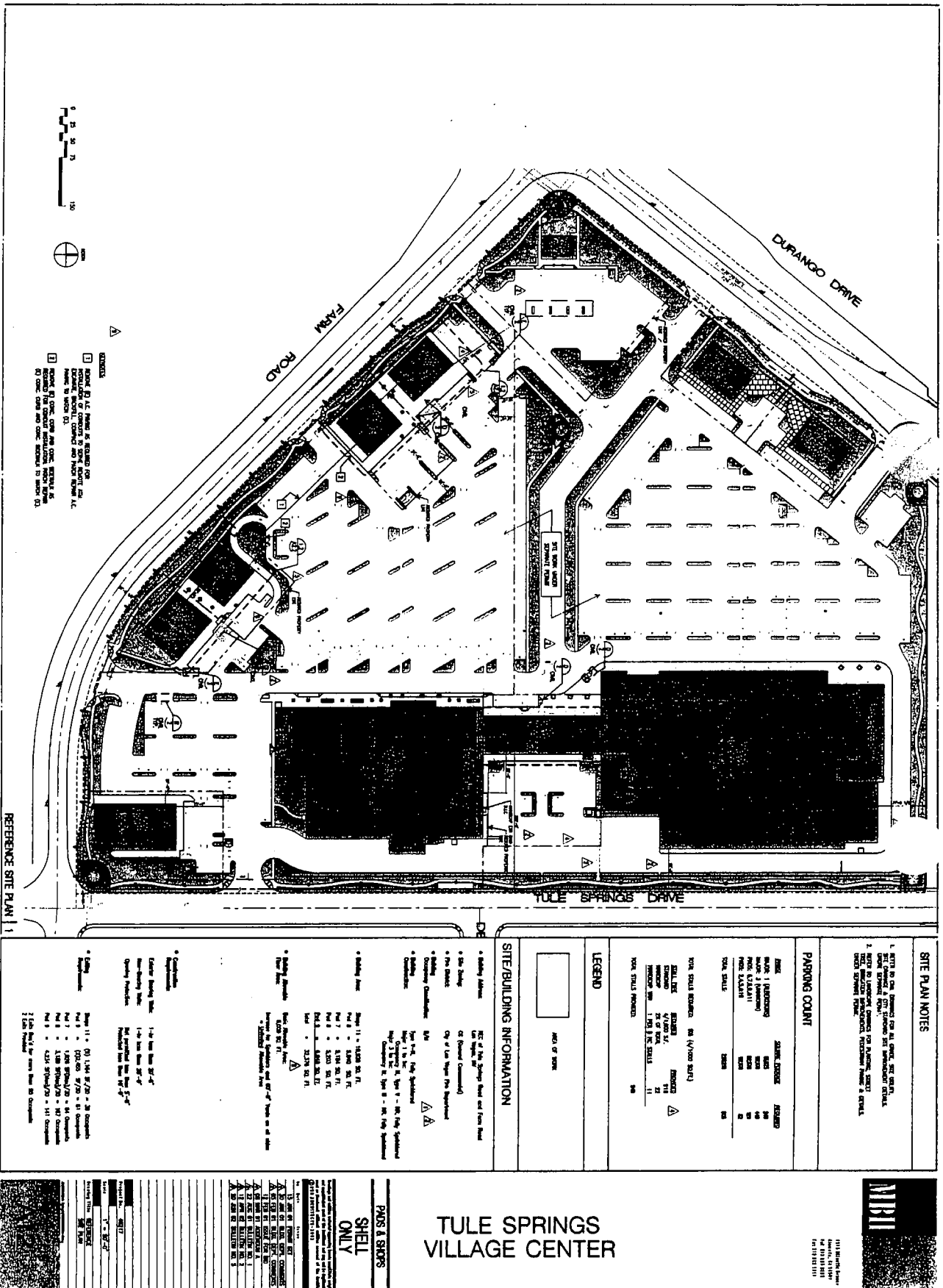
Signature of Property Owner/Authorized Agent:

Print Name: RICHARD S. GORDON

Subscribed and sworn before me

This 19 day of Aug, 2007
Doris Wake
 Notary Public in and for said County and State







U-0130-02 - FARM ROAD RETAIL, LIMITED LIABILITY COMPANY ON BEHALF OF LAURICH
PROPERTIES
8440 FARM ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 107

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

SITE DEVELOPMENT PLAN REVIEW RELATED TO U-0130-02 - PUBLIC HEARING - Z-0076-98(36) - FARM ROAD RETAIL, LIMITED LIABILITY COMPANY ON BEHALF OF LAURICH PROPERTIES - Request for a Site Development Plan Review FOR A PROPOSED RESTAURANT WITH DRIVE-THRU (STARBUCKS) WITHIN A COMMERCIAL SUBDIVISION at 8440 Farm Road (APN: 125-17-610-005), TC (Town Center) Zone, Ward 6 (Mack). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK - APPROVED subject to conditions - UNANIMOUS

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

ATTORNEY TOM AMICK, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of the applicant.

No one appeared in opposition.

There was no discussion.

MAYOR GOODMAN declared the Public Hearing closed.



Agenda Item No. 107

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 107 – Z-0076-98(36)

MINUTES – Continued:

NOTE: All discussion pertaining to Item 106 [U-0130-02] and Item 107 [Z-0076-98(36)] was held under Item 106 [U-0130-02].

(1:52 – 1:53)

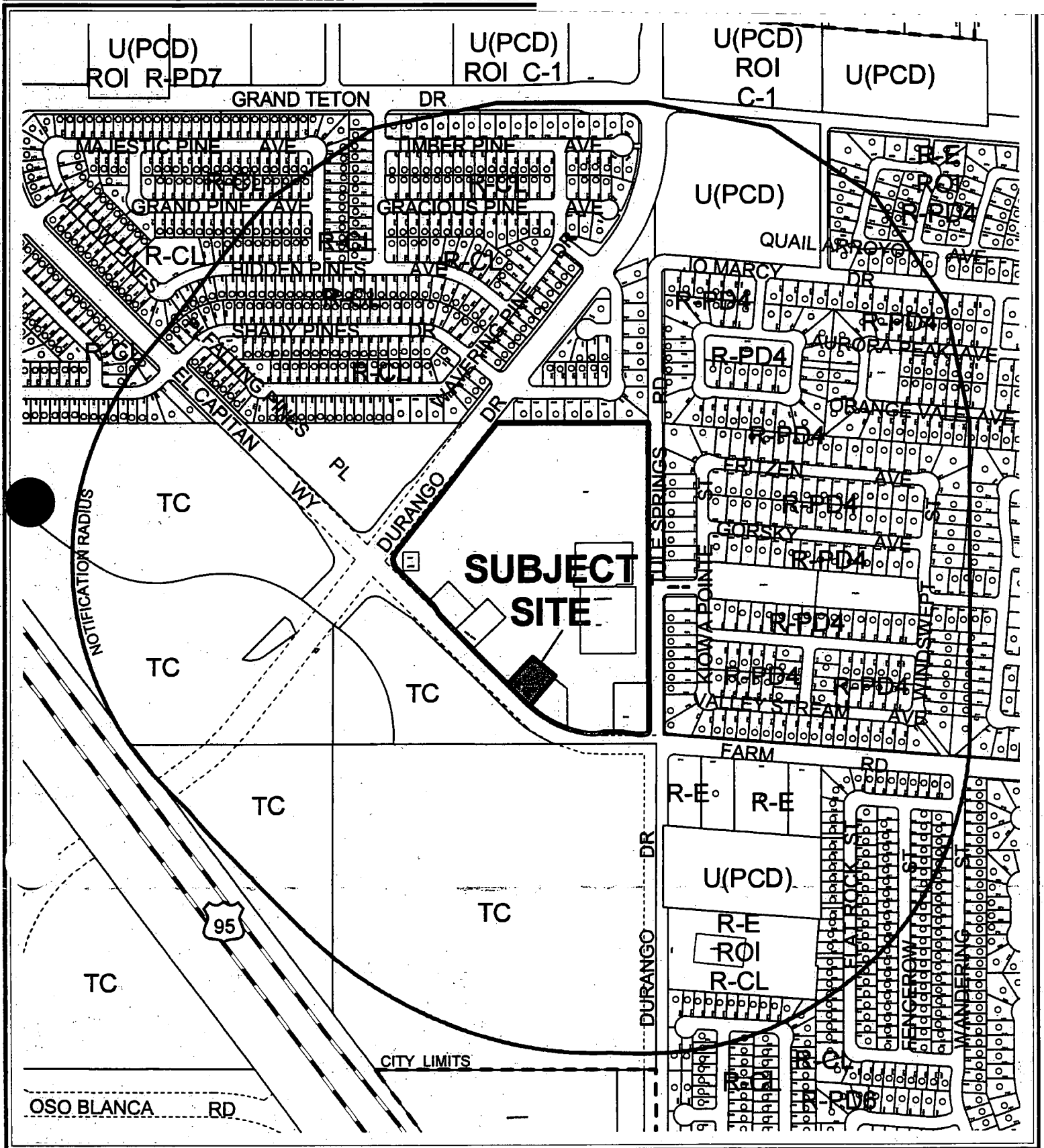
4-333

CONDITIONS:**Planning and Development**

1. A Special Use Permit (U-0130-02) for a proposed restaurant with drive-thru shall be approved by the City Council.
2. Conformance to the Conditions of Approval for Rezoning (Z-0076-98) and Site Development Plan Review [Z-0076-98(14)] and all other subsequent site related actions.
3. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.

Public Works

4. An addendum to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
5. Site development to comply with all applicable conditions of approval for Z-0076-98, the Tule Springs Village (Commercial Subdivision) and all other site-related actions.



CASE: Z-0076-98(36)

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: TC (TOWN CENTER)

0 400 800 Feet

107



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0076-98(36) - FARM ROAD RETAIL, LIMITED LIABILITY COMPANY ON BEHALF OF LAURICH PROPERTIES**

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Special Use Permit (U-0130-02) for a proposed restaurant with drive-thru shall be approved by the City Council.
2. Conformance to the Conditions of Approval for Rezoning (Z-0076-98) and Site Development Plan Review [Z-0076-98(14)] and all other subsequent site related actions.
3. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.

Public Works

4. An addendum to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
5. Site development to comply with all applicable conditions of approval for Z-0076-98, the Tule Springs Village (Commercial Subdivision) and all other site-related actions.

Z-0076-98(36) - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Site Development Plan Review for a proposed restaurant with drive through (Starbucks) on property located adjacent to the northeast corner of Durango Drive and Farm Road.

BACKGROUND DATA

- 12/07/98 The City Council approved a request for Rezoning from R-E (Residence Estates) to TC (Town Center) as part of a larger request (Z-0076-98). The Planning Commission recommended approval.
- 05/17/00 The City Council approved a Site Development Plan Review [Z-0076-98(14)] for a commercial retail center on the subject site. The Planning Commission recommended approval.
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- 10/24/02 The Planning Commission recommended approval of a related item; a Special Use Permit (U-0130-02) for a restaurant with drive through.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #69).

DETAILS OF APPLICATION REQUEST

OVERALL SITE

Site Area	23.28	Acres
Building Area	222,129	Square Feet
Building Height (Anchor & Albertson's)	40	Feet
Building Height (Pads)	32	Feet
Parking Required	890	Spaces, including 18 handicap spaces
Parking Provided	1,026	Spaces, including 53 handicap spaces

Z-0076-98(36) - Staff Report Page Two
November 20, 2002 City Council Meeting

PAD SITE

Site Area:	19,699	Square Feet
Building Area:	5,203	Square Feet
Building Height:	29	Feet
Parking Required:	15	Spaces
Parking Provided:	15	Spaces

Access to the pad site will be by internal driveways within the larger commercial development. The drive-thru lane is depicted on the west side of the site, additional landscaping is proposed along the outside of the stacking lane and throughout the parking area. The proposed architecture will reflect a similar design style to the larger commercial development.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	R-CL (Single Family Compact Lot)	Single Family Residential
South	TC (SC-TC)	Undeveloped
East	R-PD4 (Residential Planned Development – 4 Units Per Acre)	Single Family Residential
West	TC (SC-TC)	Undeveloped

ANALYSIS & FINDINGS

ZONING

This project falls within the Service Commercial District of the Town Center. It allows low to medium intensity retail, office, or other commercial uses that are intended to serve primarily the Northwest area and do not include more intense general commercial characteristics. The proposed restaurant with drive-thru is an appropriate use in the zoning district.

SITE PLAN

The proposed drive-thru restaurant is appropriate, in that the parking requirements are satisfied for the use proposed, adequate handicapped accessible parking is well-placed near restaurant entrance, and the trash enclosure area is properly screened. Since ingress/egress to the pad is via an internal shopping center drive, traffic conflicts are not an issue.

Z-0076-98(36) - Staff Report Page Three
November 20, 2002 City Council Meeting

LANDSCAPE PLAN

The landscaping plan is adequate and consistent with the previously approved landscape plan for the overall shopping center development.

ELEVATIONS

The elevations are compatible with surrounding development and in accordance with the previously approved Site Development Plan Review [Z-0076-98(14)] as to architectural style, building materials and colors and the approved Town Center Development Standards.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission or City Council to affirm all of the following:

1. **"The proposed development is compatible with adjacent development and development in the area."**

The proposed drive-thru restaurant is compatible with adjacent development in that they conform to the requirements of the previously approved Site Development Plan Review [Z-0076-98(14)], Review of Condition [Z-0076-98(27)], and the approved Town Center Development Standards.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

The proposed drive-thru restaurant meets the requirements of the Las Vegas Municipal Code, General Plan, and City standards and design policies.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."**

Access to the pad site is via an internal shopping center drive, which is in turn connected to Durango Drive and Farm Road, each of which are 100-foot wide Primary arterial roadways.

4. **"Building and landscape materials are appropriate for the area and for the City."**

Z-0076-98(36) - Staff Report Page Four
November 20, 2002 City Council Meeting

The building and landscape materials appropriate for the area and the City in that they conform to the previously approved Site Development Plan Review [Z-0076-98(14)] and the approved Town Center Development Standards.

5. **“Building elevations, design characteristics, and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area.”**

The elevations and architectural design creates and aesthetically pleasing environment in that the proposed development conforms to the previously approved Site Development Plan Review [Z-0076-98(14)] and the approved Town Center Development Standards.

6. **“Appropriate measures taken to secure and protect the public health, safety and general welfare.”**

The proposed building will be subject to site inspections by the Planning and Development Department, building inspections for Tenant Improvements and Certificates of Occupancy, and subject to business licensing regulations. Therefore, the development will not compromise the public health, safety or welfare.

NOTICES MAILED 708 by Planning Department

APPROVALS 0

PROTESTS 0



STATEMENT OF FINANCIAL INTEREST

f:\depot\Application Packet\Statement of Financial Interest.doc

TULE SPRINGS VILLAGE CENTER

PADS & SHOPS

SHELL ONLY

Project: 10-24-02 PC
Date: 10/24/02
Scale: 1" = 30'-0"

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/24/02
2	REVISED	10/24/02
3	REVISED	10/24/02
4	REVISED	10/24/02
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7	REVISED	10/24/02
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99	REVISED	10/24/02
100	REVISED	10/24/02

SITE PLAN NOTES

1. REFER TO THE SUBMITTAL FOR ALL NOTES, SEE LISTING.
2. THE SHOPS & STORES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE TULSA COUNTY ZONING ORDINANCES.
3. REFER TO THE SUBMITTAL FOR THE SHOPS & STORES.
4. THE SHOPS & STORES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE TULSA COUNTY ZONING ORDINANCES.
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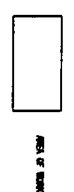
PARKING COUNT

TYPE	NUMBER	PERCENTAGE	TOTAL
SHOPS & STORES	100	100%	100
OFFICE	100	100%	100
RETAIL	100	100%	100
RESTAURANT	100	100%	100
THEATRE	100	100%	100
CONVENTION	100	100%	100
RECREATION	100	100%	100
OTHER	100	100%	100
TOTAL	1000	100%	1000

TOTAL SHADES REQUIRED

TYPE	NUMBER	PERCENTAGE	TOTAL
SHOPS & STORES	100	100%	100
OFFICE	100	100%	100
RETAIL	100	100%	100
RESTAURANT	100	100%	100
THEATRE	100	100%	100
CONVENTION	100	100%	100
RECREATION	100	100%	100
OTHER	100	100%	100
TOTAL	1000	100%	1000

LEGEND



SITE/BUILDING INFORMATION

- Building Address: 1000 N. 10th St., Tulsa, OK 74103
- Building Name: Tule Springs Village Center
- Building Type: Office/Commercial
- Building Size: 100,000 sq. ft.
- Building Height: 10 stories
- Building Orientation: North
- Building Color: White
- Building Material: Concrete
- Building Foundation: Slab-on-grade
- Building Utilities: Water, Sewer, Gas, Electric
- Building Access: 1000 N. 10th St.
- Building Parking: 1000 N. 10th St.
- Building Landscaping: 1000 N. 10th St.
- Building Security: 1000 N. 10th St.
- Building Maintenance: 1000 N. 10th St.
- Building Insurance: 1000 N. 10th St.
- Building Taxes: 1000 N. 10th St.
- Building Other: 1000 N. 10th St.

STAFF

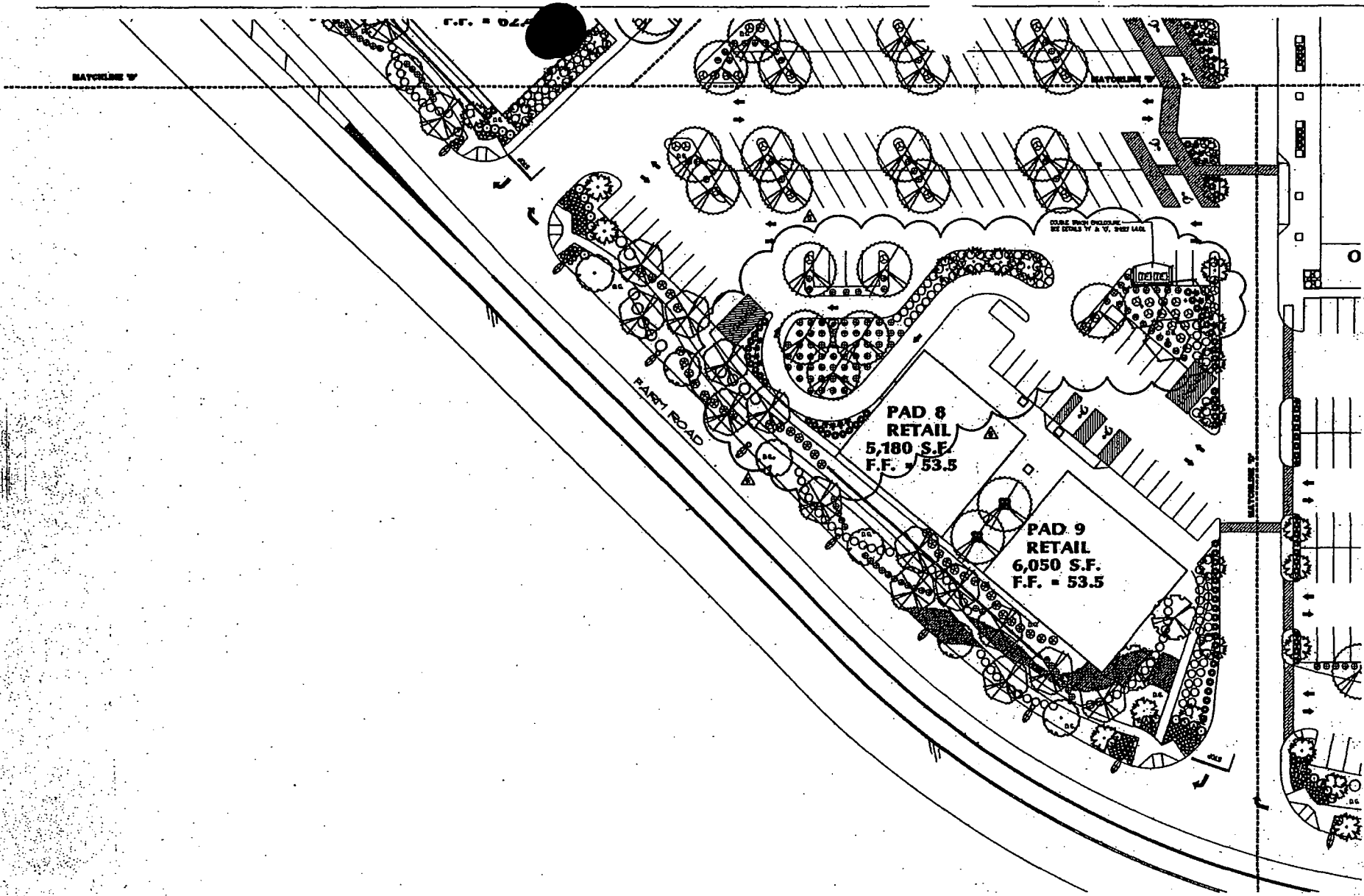
Z-0076-98(36)

10-24-02 PC



- 1. REFER TO THE SUBMITTAL FOR ALL NOTES, SEE LISTING.
- 2. THE SHOPS & STORES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE TULSA COUNTY ZONING ORDINANCES.
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- 10. THE SHOPS & STORES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE TULSA COUNTY ZONING ORDINANCES.

REFERENCE SITE PLAN 1



PLANT LEGEND

- CLUSTER BUSHES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- SHRUBS - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- TREES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'

PLANT LEGEND

- CLUSTER BUSHES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- SHRUBS - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- TREES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'

PLANT LEGEND

- CLUSTER BUSHES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
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- TREES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'

PLANT LEGEND

- CLUSTER BUSHES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
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PLANT LEGEND

- CLUSTER BUSHES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- SHRUBS - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'
- TREES - 20' - 25' - 30' - 35' - 40' - 45' - 50' - 55' - 60' - 65' - 70' - 75' - 80' - 85' - 90' - 95' - 100'

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STAFF

Z-0076-98(36)
10-24-02 PC

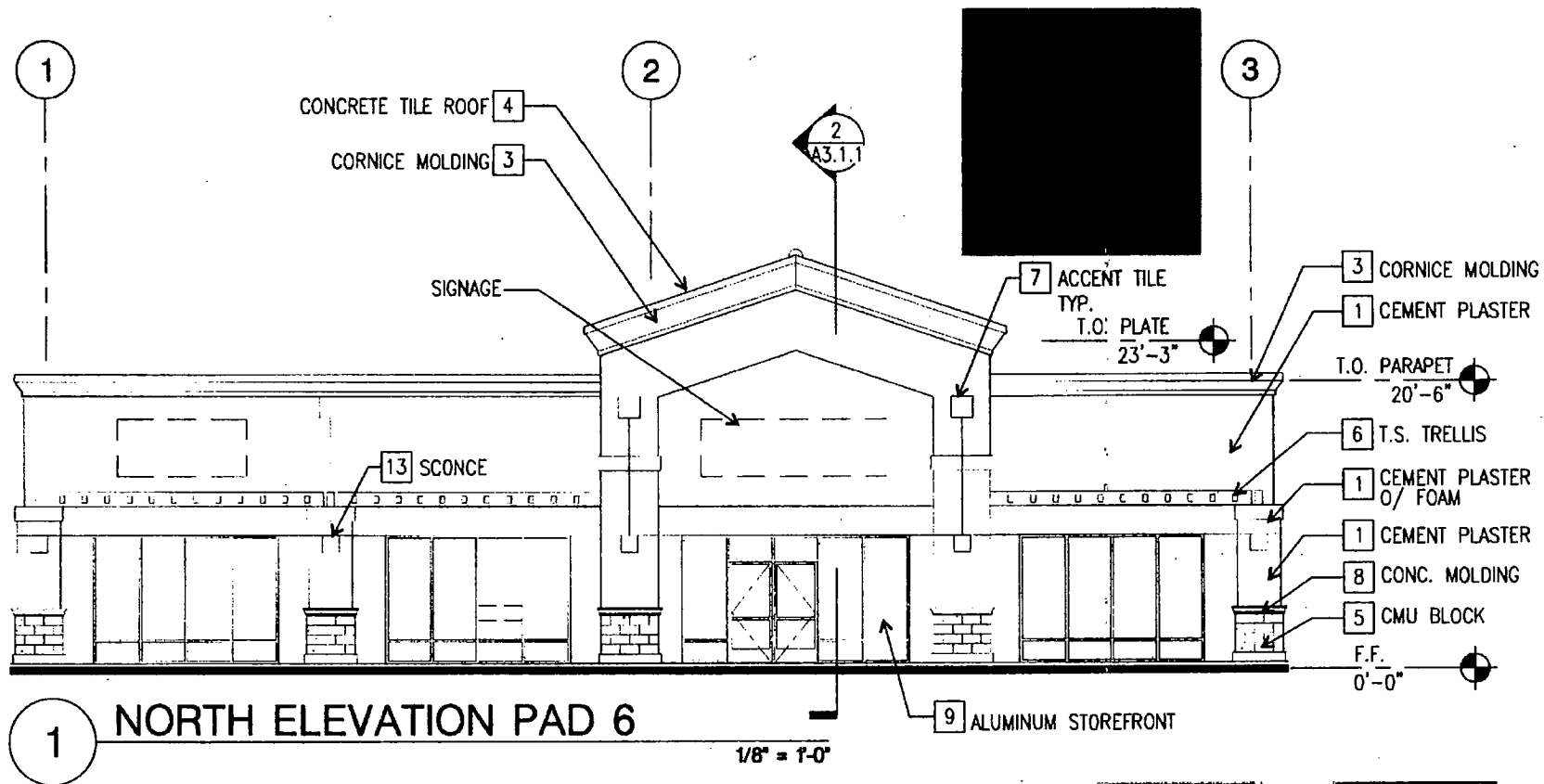


1111 Broadway Avenue
Suite 100, San Jose
California 95128
Tel: 408.955.1111

TULE SPRINGS VILLAGE CENTER

PUD 849
SHELL
ONLY

NO.	DATE	DESCRIPTION
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| 1 | CEMENT PLASTER SYSTEM | FRAZEE COLOR: #8710W - DISCOVERY |
| 2 | CEMENT PLASTER SYSTEM | FRAZEE COLOR: #8648M - OAK FLATS |
| 3 | CEMENT PLASTER SYSTEM | FRAZEE COLOR: #8735D - WILD COUNTRY |
| 4 | ROOF TILE | MONIER LIFETILE, SO. NV. COLLECTION "DESERT REDROCK" C/T |
| 5 | CMU BLOCK | ORCO BLOCK CO., SPLITFACE "BROWN" |
| 6 | T.S. TRELLIS | MATCH: DUNN EDWARDS COLOR: #3153 |
| 7 | ACCENT TILE | 12 X 12 LATCO CERAMIC TILE NUANCE ACCENTS #NB-6 |

STAFF

Z-0076-98(36)

10-24-02 PC

#8710W - DISCOVERY

#8648M - OAK FLATS

#8735D - WILD COUNTRY

TULE SPRINGS VILLAGE CENTER	
SECTION SK-1	REFLECT SHEET NO.
TITLE TYPICAL ELEVATION	SCALE: AS NOTED
	DATE: 30-JAN-01
	PROJECT NUMBER: 40017
1115 Atlantic Avenue Alameda, CA 94501 Tel: 510 865 8663 Fax: 510 598 0154	



Z-0076-98(36) - FARM ROAD RETAIL, LIMITED LIABILITY COMPANY ON BEHALF OF LAURICH
PROPERTIES
8440 FARM ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 108

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

REZONING - PUBLIC HEARING - Z-0046-02 - BONANZA REALTY, INC. - Request for a Rezoning FROM: R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial) TO: C-1 (Limited Commercial) on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road (APN: 139-27-707-008, 139-27-810-001, 002, 003, 004, 139-27-712-046, 047, 048, 049, 050, and 051), PROPOSED USE: MIXED USE SENIOR APARTMENT AND COMMERCIAL DEVELOPMENT, Ward 5 (Weekly). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****6****City Council Meeting****77****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****76****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Appeal letter and attachments from Kenneth K. Williams
5. Submitted after final agenda – Protest petition with 83 signatures with attachments from Kenneth K. Williams
6. Submitted after final agenda – Letter from Attorney Bill Curran requesting abeyance
7. Submitted at City Council – Notice of Neighborhood Meeting with attendance sheet submitted by Attorney Curran

MOTION:**WEEKLY – APPROVED subject to conditions – UNANIMOUS**

NOTE: A Combined Verbatim Transcript of Item 108 [Z-0046-02], Item 109 [U-0114-02], Item 110 [V-0072-02] and Item 111 [Z-0046-02(1)] has been made a part of the Final Minutes under Item 108 [Z-0046-02].

**Agenda Item No. 108**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 108 – Z-0046-02

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

APPEARANCES:

BILL CURRAN, Attorney, Curran and Parry, 300 South Fourth Street
ROBERT GENZER, Director, Planning and Development Department
MARGO WHEELER, Manager, Planning and Development Department
DENNIS RUSK, Project Engineer
FRED MARCUS, 622 Biltmore Drive
LILLIAN ESQUITE, 108 Verdy Lane
KEN WILLIAMS, 130 Palm Lane
CHARLES DOLAN, 801 North First Street
TODD FARLOW, 240 North 19th Street
LEE MANCH, Biltmore Drive

MAYOR GOODMAN declared the Public Hearing closed.

(2:34 – 3:22)

4-46

CONDITIONS:

Planning and Development

1. Resolution of Intent with a two-year time limit.
2. A Site Development Plan review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading and all development activity for the site.

Public Works

3. Dedicate an additional 10 feet of right-of-way adjacent to this site for Bonanza Road, an additional 4 feet for Main Street, an additional 14 feet for a total radius of 54 feet on the northeast corner of Bonanza Road and Main Street, and a 25 foot radius on the northwest corner of Bonanza Road and 1st Street prior to the issuance of any permits. Additional public street dedications may be required if so determined in the approved Traffic Impact Analysis. Coordinate with the Right-of-way Section of the Department of Public Works for assistance in preparing the appropriate documents.

**Agenda Item No. 108**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 108 – Z-0046-02

CONDITIONS – Continued:

4. Construct all incomplete half-street improvements on 1st Street, Bonanza Road and Main Street, if any, adjacent to this site concurrent with development of this site. Also, remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
5. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A, unless otherwise allowed by City Traffic Engineer. Also, any new driveways or modifications to existing driveways along Main Street and Bonanza Road shall receive approval from the Nevada Department of Transportation.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the submittal of any construction drawings. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

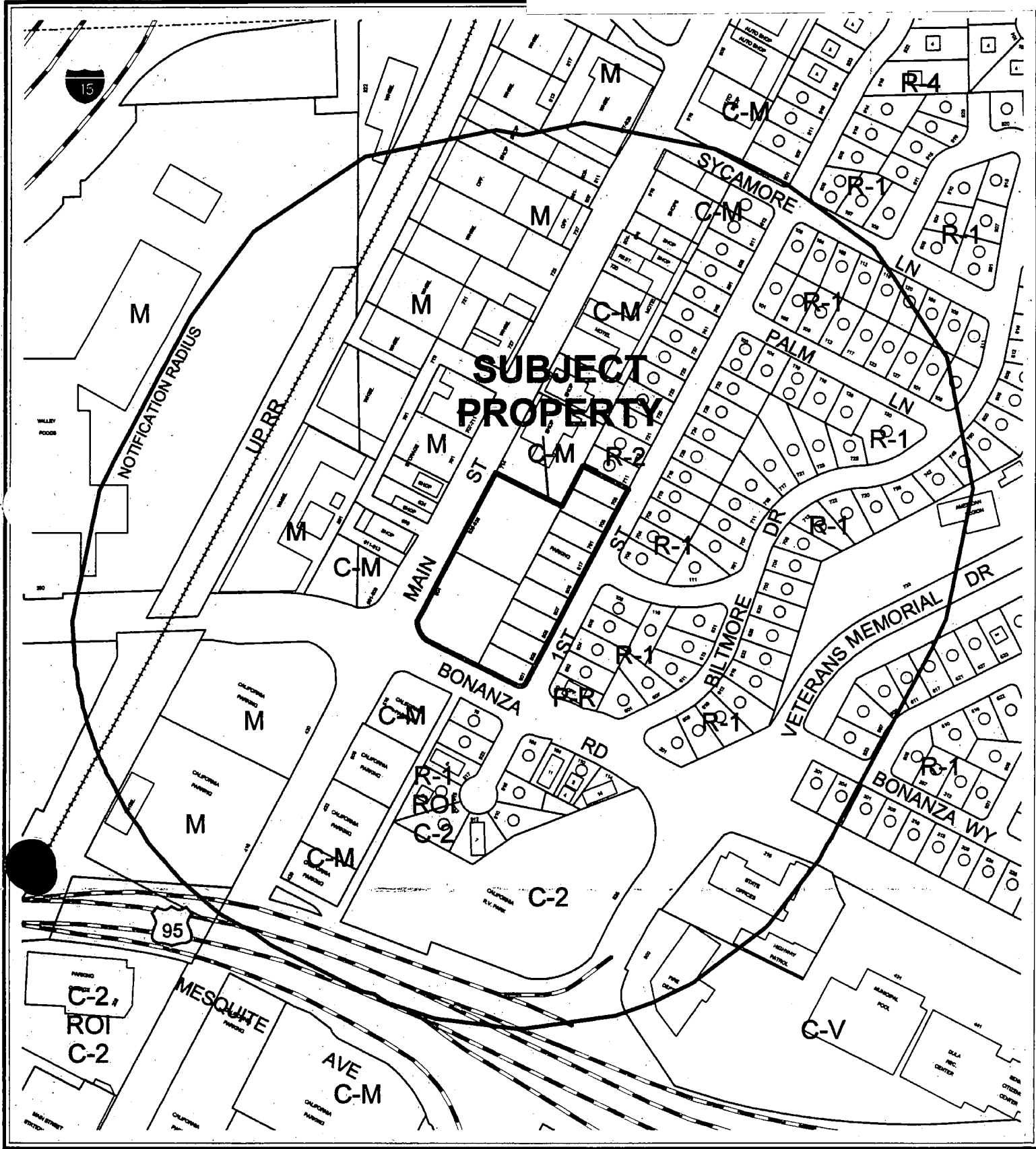
*City of Las Vegas***Agenda Item No. 108**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 108 – Z-0046-02

CONDITIONS – Continued:

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first, if allowed by the City Engineer.
8. Landscape and maintain all unimproved right-of-way on 1st Street, Bonanza Road and Main Street adjacent to this site.
9. Submit an Encroachment Agreement or obtain an Occupancy Permit, as appropriate, for all private improvements located in the 1st Street, Bonanza Road and Main Street public rights-of-way adjacent to this site prior to occupancy of this site.



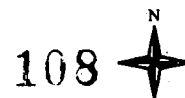
CASE: Z-0046-02

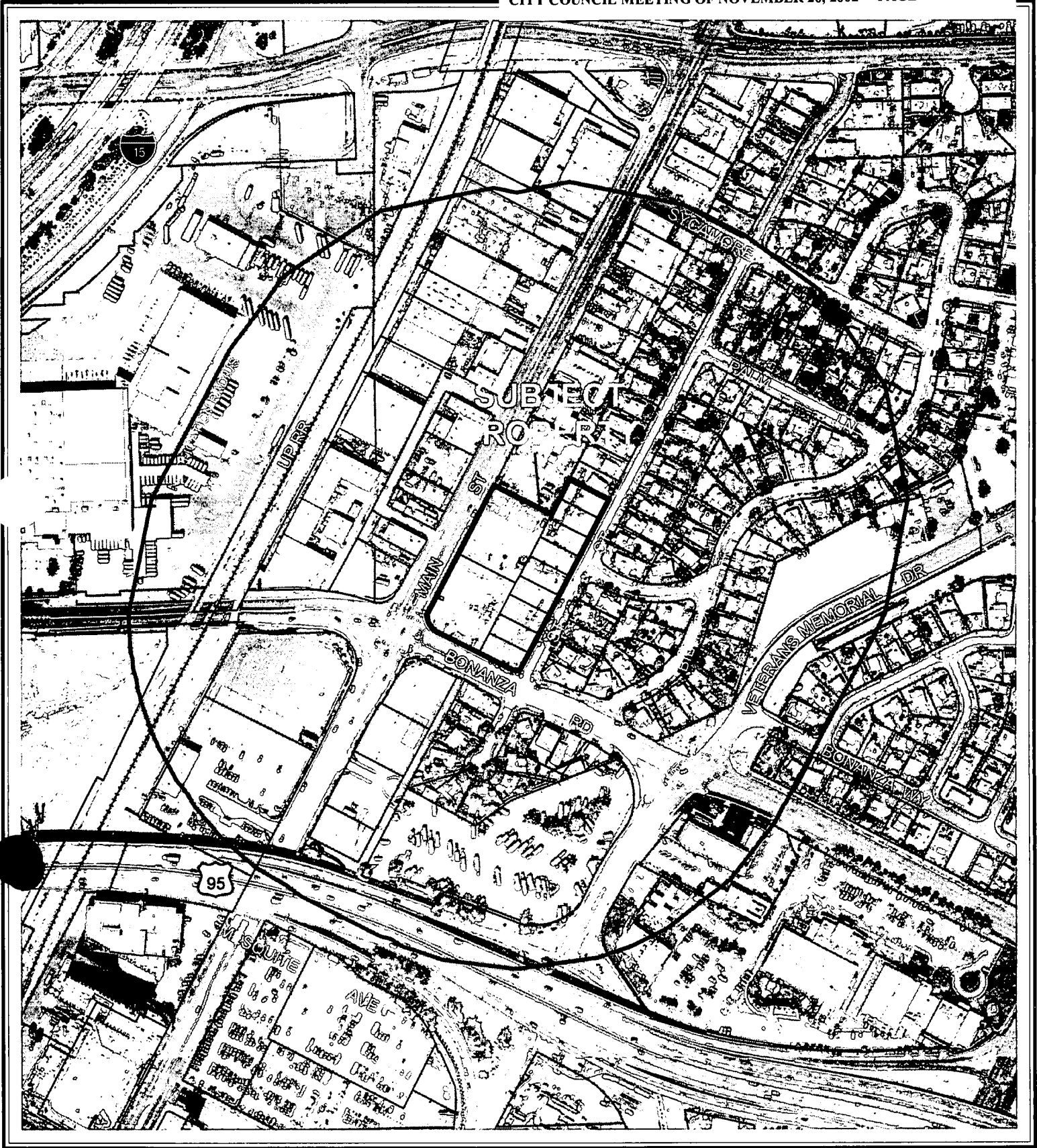
RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet





CASE: Z-0046-02

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0046-02 - BONANZA REALTY, INC.**

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. Resolution of Intent with a two-year time limit.
2. A Site Development Plan review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading and all development activity for the site.

Public Works

3. Dedicate an additional 10 feet of right-of-way adjacent to this site for Bonanza Road, an additional 4 feet for Main Street, an additional 14 feet for a total radius of 54 feet on the northeast corner of Bonanza Road and Main Street, and a 25 foot radius on the northwest corner of Bonanza Road and 1st Street prior to the issuance of any permits. Additional public street dedications may be required if so determined in the approved Traffic Impact Analysis. Coordinate with the Right-of-way Section of the Department of Public Works for assistance in preparing the appropriate documents.
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Z-0046-02 - Conditions Page Two
November 20, 2002 City Council Meeting

6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the submittal of any construction drawings. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first, if allowed by the City Engineer.
8. Landscape and maintain all unimproved right-of-way on 1st Street, Bonanza Road and Main Street adjacent to this site.
9. Submit an Encroachment Agreement or obtain an Occupancy Permit, as appropriate, for all private improvements located in the 1st Street, Bonanza Road and Main Street public rights-of-way adjacent to this site prior to occupancy of this site.

Z-0046-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for rezoning from R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial) to C-1 (Limited Commercial) for the purpose of constructing a 256 unit, multi-family senior apartment complex on 2.87 acres located near the northeast corner of Main Street and Bonanza Road. The applicant's justification letter states that the project will consist of a 325 unit senior apartment complex, with a two-story parking structure and a four-story apartment building. The letter further states that it falls within the City's redevelopment area and will be an improvement to the neighborhood.

The applicant has submitted revised plans and an application for a Variance (V-0081-02) to allow lot coverage in excess of 50% as required by the zoning code.

BACKGROUND DATA

- 11/15/01 The Planning Commission accepted the withdrawal of a General Plan Amendment (GPA-0042-01) to TC (Tourist Commercial) on a portion of the subject site.

- 09/12/02 The Planning Commission held a Rezoning (Z-0046-02) to C-1 (Limited Commercial), a Special Use Permit (U-0114-02), and a Site Development Plan Review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site in abeyance to the October 24, 2002 Planning Commission meeting.

- 10/24/02 The Planning Commission recommended approval of a related Special Use Permit (U-0114-02) and Variance (V-0072-02) and a Site Development Plan review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site.

- 10/24/02 The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #13).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	C-M and M	Shops
South	C-2 and C-M	Single Family Residential and Parking
East	R-1	Single Family Residential
West	C-M and M	Shops

Z-0046-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

GENERAL PLAN

This site is designated Tourist Commercial on the City of Las Vegas Downtown Development Plan. This designation allows those uses permitted of the C-1 (Limited Commercial) zoning district.

ZONING

The site is currently zoned R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial), which allow more intense uses than the proposed C-1 (Limited Commercial) district. The properties to the North, West and South are all C-M (Commercial/Industrial) or M (Industrial). Therefore, the request conforms to the established development pattern of the surrounding area.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19A.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The request is in conformance to the City of Las Vegas Downtown Development Plan.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

The uses allowed by the C-1 (Limited Commercial) district are compatible with the established development pattern of this area of the City.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

This project will help to revitalize to this area of the City and will assist in redevelopment efforts.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

Bonanza Road and Main Street, both 100 foot right-of-way Primary Arterials are adequate to meet the needs of this development.

Z-0046-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

NOTICES MAILED 126 by Planning Department

APPROVALS 76

PROTESTS 6



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Z-0046-02

Case Number: _____ APN: _____

Name of Property Owner: Bonanza Realty Inc.

Name of Applicant: Bonanza Realty Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: [Signature]

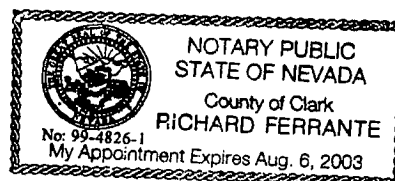
Print Name: David Pratt

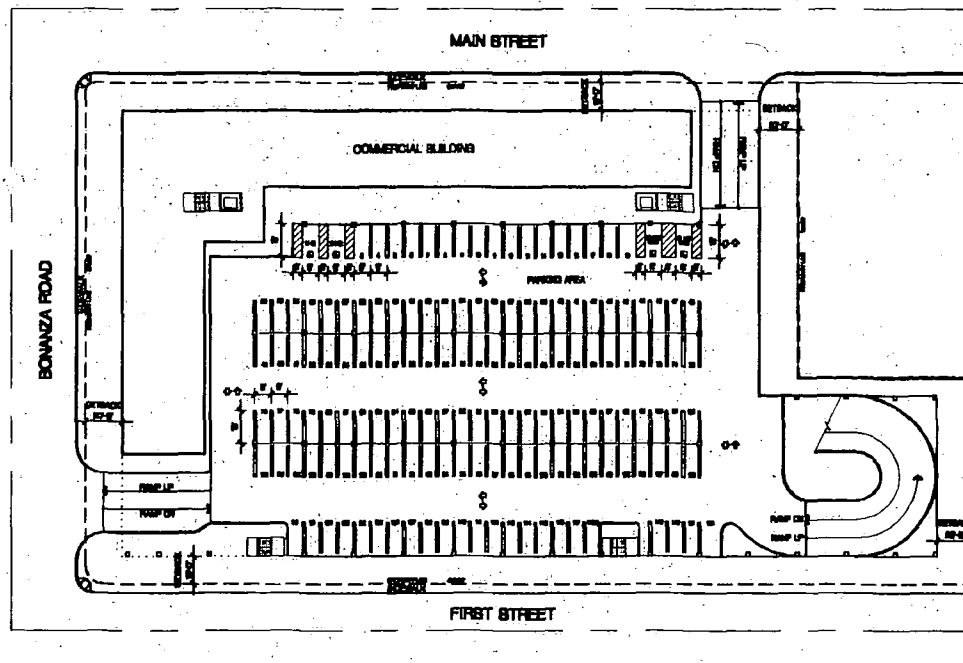
Subscribed and sworn before me

This 30 day of May, 2002

[Signature]

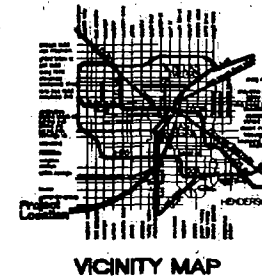
Notary Public in and for said County and State



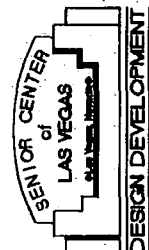


PROJECT DATA:

ADDRESS	MAIN ST & BONANZA RD / FIRST STREET
LOT CORNER	745
LOT AREA	10,000 SF / 0.23 ACRES
TOTAL FLOOR AREA	10,000 SF
PURPOSE / PRESENTATION	100,000 SF / 2.3 ACRES
PERMITS	CLUST # 100 - 100
RETAIL	CLUST # 100 - 100
TOTAL PERMITS REQUIRED	CLUST # 100 - 100
PURPOSE PROPOSED	CLUST # 100 - 100
STANDARD DOW 10' x 10'	100
STANDARD DOW 10' x 10'	100
STANDARD DOW 10' x 10'	100
TOTAL PERMITS PROPOSED	100



ARCHITECTURAL SITE PLAN



DESIGN DEVELOPMENT



STAFF

REVISED

U-0114-02
10-24-02 PC

SCALE 1" = 20'



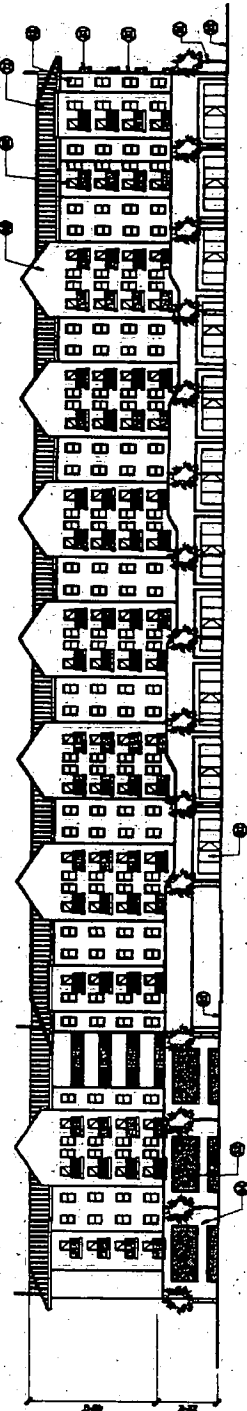
STAFF
REVISED
U-0114-02
10-24-02 PC

LANDSCAPE LEGEND													
SYMBOL	NO.	SYMBOL NAME	SYMBOL NAME	USE	PLANT SPEC.	PLANT SPEC.							
	45	PINE	ALPINE PINE	EVERGREEN TREE	LARGE OVER 40'	24' DIA. STD. TRUNK		0	LEUCOPHYLLUM	TRANS. BARKER	EVERGREEN SHrub	24"	3' BALCH
	25	PINE	MODER. PINE	EVERGREEN TREE	LARGE OVER 40' & MEDIUM 20'-40'	24' DIA. STD. TRUNK		25	SACCHARIS	DESBET. BROCK	EVERGREEN PINE	24"	3' BALCH
		GAZONIA	GAZONIA	GRASS COVER				0	RUFFELLIA	SEVAN. RUFFELLIA	EVERGREEN SHrub	24"	3' BALCH

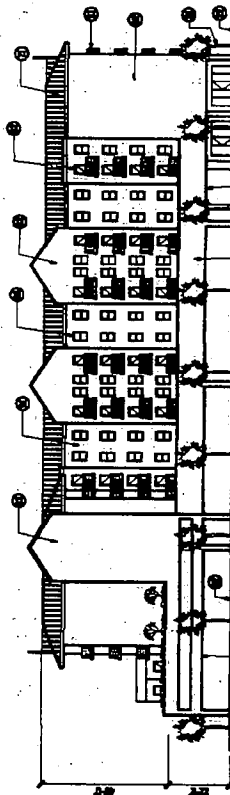
STAFF
REVISED
 U-0114-02
 10-24-02 PC

ELEVATION NOTES

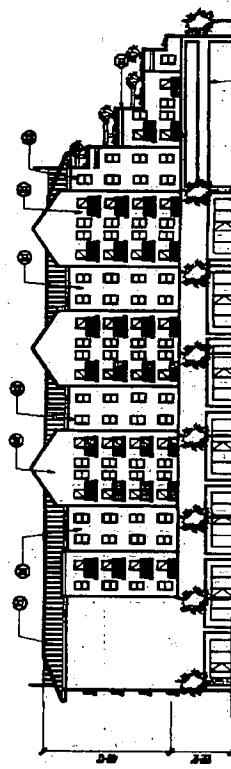
- 1. ROOF
- 2. LANDSCAPE ELEVATIONS
- 3. GENERAL
- 4. CONCRETE
- 5. COORDED SIGN - SEE SPECIFICATIONS
- 6. CONCRETE COLUMN - SEE STRUCTURAL
- 7. METAL
- 8. GOLF PUT PALMS
- 9. GOLF PUT LUSH
- 10. TERRACE & BENCHES
- 11. REFORMED METAL EXTERIOR GOLF COURSE
- 12. DOORS AND WINDOWS
- 13. ALUMINUM EXTERIOR
- 14. HOLLOW METAL COOR
- 15. SINGLE FRAME WINDOW
- 16. FIBER GLASS WINDOW
- 17. FINISHES
- 18. STUCCO - LIGHT
- 19. STUCCO - CHALKED RED
- 20. STUCCO - OFFSHORE CHALK
- 21. STUCCO - COOL GRAY



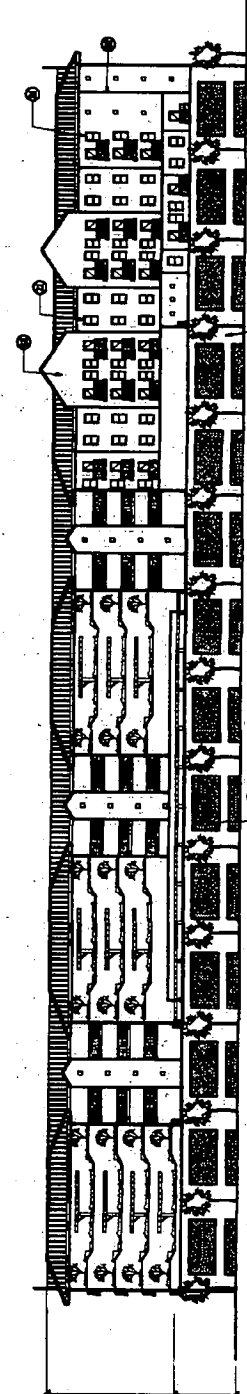
WEST/MAIN STREET ELEVATION



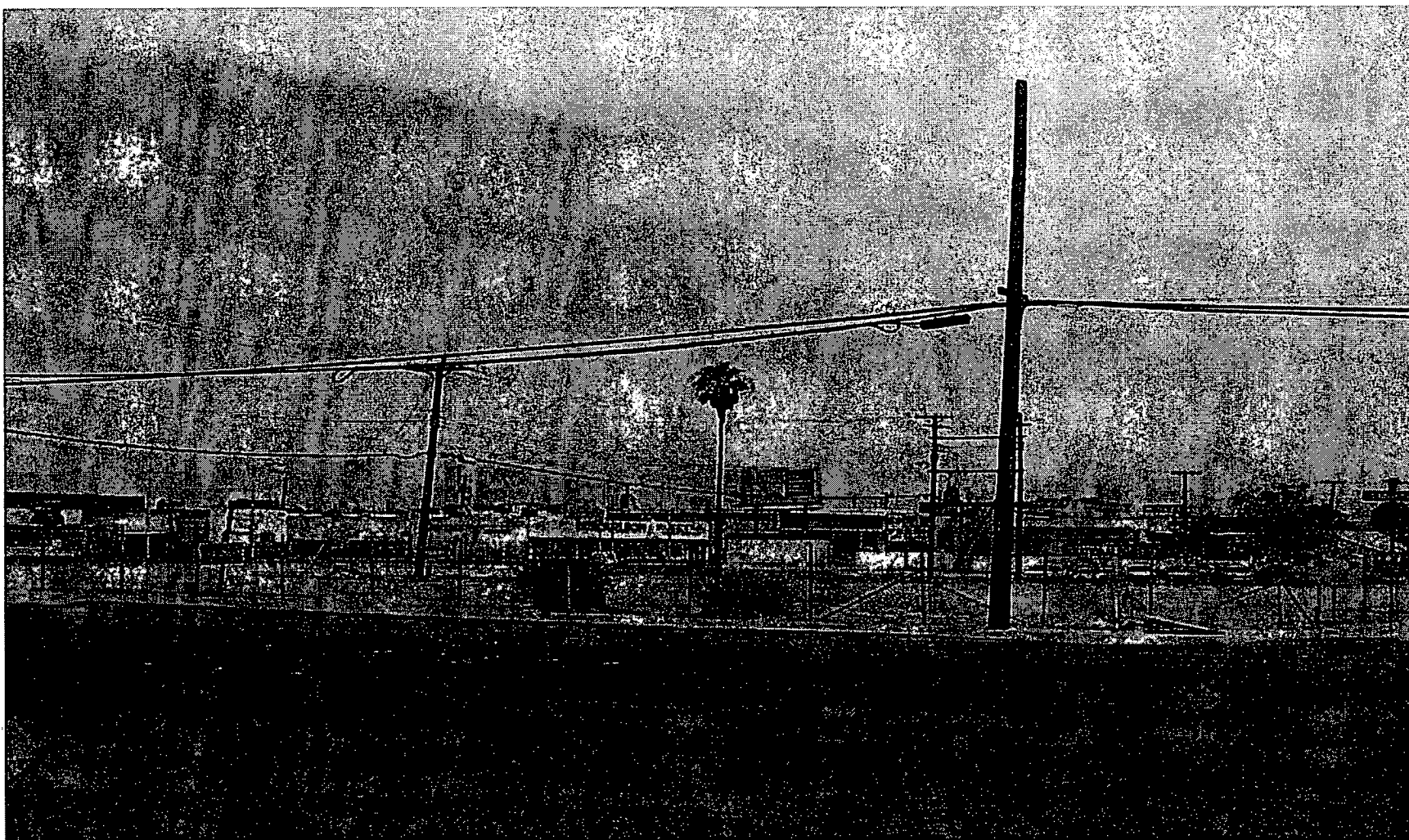
NORTH ELEVATION



SOUTH/BONANZA ROAD ELEVATION



EAST/FIRST STREET ELEVATION



Z-0046-02 - BONANZA REALTY, INC.
NORTHEAST CORNER OF MAIN STREET AND BONANZA ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

KENNETH K. WILLIAMS
130 Palm Lane
Las Vegas, NV 89101

382-6593

10-31-02

Barbara Jo Ronemus, City Clerk
City Hall, 400 Stewart Ave.
Las Vegas, NV 89101

RE: Appeal to Las Vegas City Council of Planning Commission
action on: Z-0046-02 REZONING, U-0114-02 SPECIAL USE
PERMIT; Z-0046-02(1) SITE DEVELOPMENT PLAN REVIEW,
and V-0072-02 VARIANCE, taken October 24, 2002

Dear Ms. Ronemus, City Clerk:

On October 24, 2002 the Las Vegas City Planning Commission voted to approve items 13 through 16 on its agenda respecting applicant Bonanza Realty Inc. on the following matters:

Z-0046-02 REZONING, U-0114-02 SPECIAL USE PERMIT,
Z-0046(1) SITE DEVELOPMENT PLAN REVIEW,
V-0072-02 VARIANCE.

I appeared and spoke in opposition to these matters on that date.

I hereby appeal the Planning Commission's approval of the above matters to the City Council. I file this appeal also at the request of those persons who signed the attached petition "To Lawrence Weekly And Other City Council Members" a true copy of which is attached hereto. The original, together with signatures of additional neighbors, will be filed with the City Clerk for distribution to the City Council prior to the hearing on this appeal.

I also attach a copy of ONE NEIGHBOR'S RESPONSE to the above matters which I provided to Planning Staff and the City Clerk for distribution to the Planning Commission prior to their October 24, 2002 hearing on these matters.


KENNETH K. WILLIAMS

RECEIVED
CITY CLERK

2002 NOV - 1 P 2:59

TO COUNCILMAN LAWRENCE WEEKLY
AND OTHER COUNCIL MEMBERS

RE: Planning Commission approval of a seven story structure
on the Northeast corner of Main Street and Bonanza Road.

We, the undersigned, are residents of the Biltmore Addition, the
oldest subdivision of the City of Las Vegas.

Many of us were visited by applicant's representatives who asked us
to sign an approval sheet for a structure they had a partly colored
picture of. Many of us signed. They were nice gentlemen.

We now know more about the proposed impact of this structure on our
neighborhood:

It is seven stories high.

It is designed to house over 500 people.

It would dominate our neighborhood.

It would have many windows and balconies that would look down
on our back yards to the north. (Their picture didn't show
this.)

We like our neighborhood. It is a crime free, family neighborhood
of modest-cost houses. City planning has recommended the Biltmore
Addition to be an historic neighborhood.

We do not object to the supposed use of this structure, housing for
older people with commercial uses on Main and Bonanza. We object
to this structure's excessive size, seven stories, 68 feet high.
We do not want something like this built. It would dictate that
our whole neighborhood should expect to be replaced. We intend and
wish to continue living here.

We ask you, the Mayor and the City Council to overturn the Planning
Commission's approval of this project and request the applicants to
design a smaller structure that would be sensitive to our existing
neighborhood and mitigate the adverse visual and aesthetic impacts
of the present project, as City planning documents require.

NAME:

ADDRESS:

Henry E. Smith - 602 N. 1st St. LV, NV 89101
~~719 N 1st Las Vegas NV.~~
Stephen & Margo 708 N 1st Las Vegas N.V.
Courtney Munger 712 North First L.V. NV

Attached Signature Page to Lawrence Weekly request.

NAME:

ADDRESS:

Theresa Dobson 716 N. 1st St.

Kathy Kidwell 721 Nth 1st St

William Panawoff 721 Nth 1st St

Charlotte Riey 725 N. 1st St.

John L. Riey 729 N. 1st St.

~~William Panawoff~~ 732 N. 1st.

Alfred Gallego 711 BELL DR 89101

Ann L. Rodriguez 918 BILTMORE DR

ROSELIO K. CHAVEZ 1116 PALM LN LV

Stan Bernas 105 Palm Ln LV. NV.

✓ Priscilla Ochua-D. 120 PALM LN LV

✓ Patrick Kelly 104 PALM LANE

Jose Antonio 101 PALM LN

Augusta Tapia 113 PALM LANE

✓ Mike Tapia 113 PALM Lane LAS VEGAS NV 89101

Hector Gordon 128, SYCAMORE LN. LAS VEGAS NV 89101

Kathie Dahill 128 Sycamore Ln NV

ONE NEIGHBOR'S RESPONSE TO:
Z-0046-02 REZONING
U-0114-02 SPECIAL USE PERMIT
Z-0046-02(1) SITE DEVELOPMENT PLAN REVIEW
V-0072-02 VARIANCE

ITEMS 13 through 16

Hearing: Thu., Oct. 24, 02, 6:00 p.m.
Planning Commission
City Hall, 400 Stewart Ave.
in the Council Chambers

I have lived in this neighborhood, the Biltmore Addition, for five years. But I have known this neighborhood for over 40 years. I was married in the back yard of 130 Palm Lane in 1959. Slim and Bertie Ewing, my uncle and aunt, lived at 130 Palm Lane for over 40 years. Slim died five years ago. I closed my practice and came to Las Vegas to care for Bertie who had Alzheimer's. I wanted to keep her in her own home, a unique place. Bertie died two weeks ago. 130 Palm Lane is now my home.

Do we have a real neighborhood or is it simply a bunch of old houses that should be torn down and replaced? I believe that it is a real, and unique neighborhood.

HOW DID THIS AREA COME INTO BEING, AND WHAT IS IT NOW?

The "Biltmore Addition" was the first subdivision added to the City of Las Vegas. This was done in 1940 and the houses were built in 1940 through 1943. They built the houses out of concrete block. A good idea in the days of swamp coolers. They were two bedroom houses, modest in size. They have held up well.

Two streets enter this area from Bonanza. First and Biltmore Drive. There are about 115 homes in this area, north of Bonanza. They sell for from \$60,000 to over \$100,000. This area is separated from the downtown casino area by the I-95 Freeway. It exists unaffected by the casino activities.

This is a mature neighborhood of working people. Some houses are about the same as constructed. Many have been improved and expanded a lot. Some houses do not keep their yards up much. Many keep their yards in very nice condition. Each home occupies a lot typically 60 by 100 feet. Each home has a front yard and a back yard.

This, as an area of homes 60 years old, has matured, grown and developed over the years individually. People walk in this neighborhood. Mothers walk their children to school or to the school bus stop.

Many Hispanic families have purchased homes in this area, by reason of their lower cost. After they buy and move in, they typically improve their homes and yards.

Many older persons are living in these homes and have lived in them many years. Many of the homes are owned by Anglo working people as well.

This is a low crime area. I have talked to the police and they say they have very few calls in this area. One exception was a murder on First Street that had the whole police force searching every house in this area for a man they finally caught.

The neighborhood improvement laws are being enforced within this area. But we should do more to get some of the homes to keep their yards looking better.

WHAT DOES THE CITY THINK OF THIS AREA?

This area was recently the focus of an overall renewal of infrastructure that was badly needed. New water mains and connections were installed. New gas mains and connections were installed. The streets, curbs and sidewalks were finally rebuilt. (They needed replacement badly.) Everyone was glad to see this done.

The Biltmore Addition was included within the boundaries of the Downtown Neighborhood Plan 2000. This plan was adopted by the City Council on November 1, 2000. None of the owners of property within this area were included on the DCDC Planning Team as Geographical Representatives.

This plan notes that the Planning Department has identified this area as a possible historic district. In order to preserve and enhance this district that plan made the following recommendations:

- a. Work with residents of the Biltmore Addition to have the neighborhood designated a historic neighborhood by the City Council;
- b. Develop a comprehensive strategy to address all properties maintenance issues within one year of adoption of this plan;
- c. Locate and develop a pocket park or community garden within the neighborhood; and
- d. Continue to work on a mass transit/light rail system to better serve the culture amenities the district has to offer.

While not addressing the Biltmore Addition as a discrete neighborhood, the Las Vegas Master Plan 2020 contained many findings addressed to the Neighborhood Revitalization Area (which included the Biltmore Addition) as follows:

GOAL 2: Mature neighborhoods will be sustained and improved through appropriate and selective high quality redevelopment and preservation.

POLICY 2.1.1: That mixed-use residential/commercial developments occur on sites currently occupied by declining commercial centers or vacant land.

POLICY 2.1.2 : That development on vacant or underutilized lots within existing residential neighborhoods be sensitive in use and design to surrounding development.

POLICY 2.1.7: That the demand for transportation services be reduced by improving the balance between jobs and housing and by creating options for people to live and work within walking or cycling distance of their place of work.

POLICY 2.1.8: That the concept of walkable communities with porches and neighborhood amenities, be promoted in areas of residential reinvestment.

POLICY 2.2.1: That any higher density or mixed use development which is adjacent to lower density residential development incorporate appropriate design, transition, or buffering elements which will mitigate adverse visual, aesthetic and traffic impacts.

POLICY 2.2.2: That senior citizen's and assisted living housing be encouraged to develop, both to meet the needs of community residents who wish to age in place in their neighborhoods, and as a means of increasing residential densities in these areas.

POLICY 2.2.3: That design standards be adopted to address the need for transitions between different kinds of urban land uses.

POLICY 2.3.1: That the Downtown Centennial Plan, in conjunction with appropriate neighborhood plans, such as the Downtown Neighborhood 2000 Plan, provide such direction for Downtown.

POLICY 2.3.4: That historic districts provide such direction to preserve the architectural heritage of Las Vegas.

POLICY 2.4.5: That the City work with neighborhood and homeowner associations to learn about local concerns, as they arise, and respond to these concerns in a comprehensive and timely manner.

Policy 2.4.6: That the City assist local residents in mature neighborhoods in developing self-help techniques to protect and preserve the integrity of their neighborhoods, and neighborhood associations and assist in the development of special improvement programs offering lower cost loans or other discounts for neighborhood restoration projects..

The Biltmore Addition area does not fall within the boundaries of the Downtown Centennial Plan.

DO APPLICANT'S PLANS CONFORM TO CITY POLICIES, AND DO THEY "MELD" WITH THIS AREA?

Do the applicant's plans conform to the above guidelines, and are they consistent with the continued existence of the Biltmore Addition? Yes, in part, and no, in larger part.

On the yes side, their proposal to construct a senior housing facility on the corner of Main and Bonanza is consistent with Policy 2.2.2., above. I do not believe that anyone would oppose such a use.

On the no side, I believe that construction of a seven story, 68 foot high, building is wholly out of the character of the Biltmore Addition, and should be opposed. 333 units, in so high a structure, would be too much of an impact on this area.

Their proposal raises many questions that should be examined. Their past proposals indicate that the owners, who reside in Tarzana, California, simply want to attain as dense a use as possible for this site. Their first proposal, to build a four story casino on this site, (they asked for a Master Plan change) was abandoned. Their second proposal was to build a 325 unit development, on which they went through planning staff.

Almost all of the units in this plan were one bedroom. After that consultation their proposal was reduced to a 256 unit plan that had more two and three bedroom units. They were larger units than are now being proposed.

When I went to their community meeting on October 16th (about 6 people attended) they presented a plan by a new architect. Their notice had stated this was a 325-unit project. At the meeting they stated that this was a 326-unit project, almost all one bedroom. I purchased a copy of their latest plan on Friday, the 18th, and base my analysis on this latest submitted plan.

Actual count, from the submitted plans, show that there are 333 units. 325 one-bedroom apartments (562 sq. ft. each) and eight two-bedroom apartments (690 sq. ft. each). The apartments occupy four stories, over three stories of parking. In addition, they plan 20,000 sq. ft. of commercial area, fronting Main and Bonanza.

To do this, they first are requesting a zone change. A zone change would be appropriate in the event any single use was proposed for the land they have accumulated.

But they propose a dual use building. Commercial fronting on Main and Bonanza, and residential for the balance. For this they request the entire parcel be rezoned to C-1 (limited commercial). Once rezoned, the property could be sold and devoted entirely to limited commercial uses. That is why I appeared at their former Planning Commission hearing (July 25) and opposed their bare request for a rezoning. That is why the Planning Commission insisted that their entire plan be presented at the time the rezoning is heard.

There is a reason for my concern. The gentlemen who have presented this plan are good men, local professionals, who have done a good job attempting to gain approval for this project. They have walked the neighborhood with a colored picture allegedly representing this project, and held their public meeting on October 16th. I am sure that the efforts of these men have obtained many persons on their sign up sheet. Especially when those who are asked to sign have not had the benefit of any opposing views. And because of the fact that they have been told that the proposed project is the "only" available type of project that will work within the project boundaries.

But my concerns remain. They are not aided by the fact that there has been and still is a large "For Sale" sign on this property. While the efforts of these men on behalf of the owner, at this junction, are well intended and professional, these representatives do not control what the *owner's* future intent may be. There has been no financing obtained regarding this project. This, despite the fact that they stated at the last hearing, that they were intending to get Title 8 financing. Now they state that they are going a private financing route. Is it the owner's intention simply to get Planning Commission approval and then sell this property?

WHAT ABOUT THE 20,000 FT. COMMERCIAL AREA?

One concern is commercial parking space. There are proposed 20,000 square feet of commercial development, along Main and Bonanza, for this site. Under the zoning code, Ch. 19A.10 there are a variety of parking requirements listed for various commercial uses.

Under Retail, Personal, Commercial & Business Services, the "All Other Commercial Uses Not Listed" the requirement is one space for each 250 sf (square foot) of gfa (gross floor area). This standard would require 80 parking spaces. This totals over half of the parking shown for the first floor parking area.

More important is the fact that the representatives have made no promise as to which commercial uses will be developed along Main and Bonanza. They simply don't know. The choice of commercial uses are very important not only from the standpoint of the residents of this structure, but also to the residents of the Biltmore Addition.

The representatives have described the potential commercial uses in terms of what the residents might enjoy, such as, a beauty shop, a convenience store, a medical office, or a drug store, etc. But no one knows what commercial uses will be attracted to this site. In order to rent this commercial area and receive an income from it there are many more, less desirable, uses listed within the asked-for C-1 zoning, many of which may be considered by the owner. Should this owner not be limited in his choice of the commercial uses for which he may utilize this particular commercial property? Should we rather simply trust in this owner's present stated intent?

WHAT IS THE MAJOR CONCERN WITH THIS PROJECT?

My major concern may be summed up – it is just too big! It is **huge**!

This structure will be 68 feet high. Almost three times the height of any two story home within the Biltmore Addition. Much, much higher than its next door neighbor, a single story, single family dwelling.

This structure will dominate the whole southern portion of the Biltmore Addition. It is too huge and too high to be located within the Biltmore Addition. It does not comply with Policy 2.1.2 (above) that requires "development on vacant ... lots within existing residential neighborhoods be sensitive in use and design to surrounding development." How can this structure be considered "sensitive?"

It will have a major shadow effect on the surrounding neighborhood, one that its neighbors probably have not considered.

It will present a squared-off face on its north end, 220 feet wide by 68 feet in height.

This proposal is especially intrusive on the single family neighborhood to the north. It features four stories (the fourth through seventh) that has 44 windows overlooking the back yards of the houses to the north, and 26 balconies with windows (plus three without windows) overlooking the back yards of houses to the north. In addition, it features four

stories with 41 windows and 21 balconies with windows overlooking houses and yards to the east.

This project should be scaled to be sensitive to the neighborhood, not to dominate it.

Instead of seven stories, this project should be downsized to be no more than 35 to 40 feet in height.

This will mean, of course, less units. Let us talk about the "present" project of 333 units.

That is too many units. This project should offer no more than around 100 units.

This project presents units per floor as follows:

Fourth floor -	83 (81 1br. & 2 2br.)
Fifth floor -	86 (84 1br. & 2 2br.)
Sixth floor -	86 (84 1br. & 2 2br.)
Seventh floor-	78 (76 1br. & 2 2br.)

This project should be limited to two floors of 50 units each. The additional floor space freed up by dropping over 33 units per floor should be made available as open space for the enjoyment of what would be the approximately 150 residents of a 100 unit structure. This open space should be located along the north end of this project, making it much more compatible with the single family dwelling neighborhood it will be a part of.

Realize that one deficit of the Biltmore Addition area is its lack of park amenities. Any structure that is going to be home for 150 (or approximately 500, as planned) should consider what the residents (some of which would not be working) would *do*. The planned proposal would bring a *lot* of residents into the Biltmore Addition.

Where are the residents to go, outside of their apartments?

There is a 39' by 110' multi-purpose area, a 25' by 39' exercise room and three "Garden Courts" (openings between lines of apartments) on the Fourth floor. There is one 157' by 15' "Roof Garden" on the Fifth floor. There is one 157' by 16' and one 58' by 16' "Roof Garden" on the Sixth floor. There is one 157' by 8' and one 54' by 8' "Roof Garden" on the Seventh floor.

Is this enough, or are the 500 or so residents supposed to go downtown and wander through the casinos? This project needs much more outdoor landscaped areas where the residents can go to enjoy themselves. These areas should be located on the north end of this structure, adjacent to the single family dwellings this structure abuts.

Chapter 19A.12 sets the minimum landscape and buffer requirements for the zoning code. Is this one reason (unstated, so far) the owners are seeking a variance? 19A-12.20 states the intent of establishing minimum standards for landscaping, walls and buffering to be:

- A. To ensure that new development will contribute to the overall attractiveness of the City;
- B. To increase design compatibility between residential and abutting commercial ...land uses;

- C. To reinforce a sense of community and preserve the integrity of neighborhoods;
- D. To conserve water and reduce erosion;
- E. To reduce unsightly views;
- F. To reduce heat and glare generated by development;
- G. To aid in filtering dust and particulate matter from the air.

I ask you to review the standards set forth in this portion of the Zoning Code.. Many are applicable to this project.

The owners are asking for a variance. They state that the only reason is that they have a structure that occupies over 50% of the land area. After they count their setback requirements (20' on Main, 20' on Bonanza, 15' on First, and 15' to 20' on their north end) their parking area still covers 70% of the lot.

The owner is requesting the Planning Commission to grant a variance for this project. To do this their request must comply with the Zoning Code, Chapter 19A.18 L., Determinations. This provides:

1. In order to recommend approval of, or to approve a Variance application, the Planning Commission ... must determine that the Variance is warranted both under State law and this subchapter. The minimum State law standards are set forth in Subsection 2 below.
2. Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property at the time of the enactment of the regulation [not here applicable], or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition of the piece of property [not here applicable] the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property [not here applicable], a variance from that strict application may be granted without substantial detriment to the public good, ... and without substantially impairing the intent and purpose of any ordinance or resolution.

As is apparent, the owner does not meet any of the standards for issuance of a variance. This is not a peculiarly affected property, nor is the owner being subjected to peculiar and exceptional practical difficulties or exceptional undue hardships. This is a plain piece of property that the owner simply wants to overbuild. No variance is warranted.

WHAT SHOULD BE DONE?

The owner wishes to obtain the most he can from his investment in this property. That is understandable. I am a member of the neighborhood that this project will affect greatly. I oppose his project, not in its use, but in its size. I hope that this may also be understandable.

As I stated to the owners representatives, a valid project can be proposed. It would cost a lot less to construct than the one he has planned. It would require less parking. It would require less construction. It could yield the owner, or whoever he sells this property to, a profit.

In the event the owner wished not to build this project, there are other uses to which this piece of property could be devoted and be in keeping with the needs of this special, stable, and mature neighborhood, the Biltmore Addition. This is a neighborhood that serves a distinct need of Las Vegas. A low cost, low crime rate, family neighborhood that is within walking distance to the downtown. The downtown is a major source of employment.

This project is not in conformance with many of the important requirements of the City of Las Vegas.

This is not an appropriate (by reason of its height and size) development that will help sustain and improve this mature neighborhood. (Goal 2, above).

It is a development that is not sensitive in design to surrounding development (Policy 2.1.2, above).

It is a mixed use development that does not incorporate appropriate transition or buffering elements to mitigate adverse visual and aesthetic impacts (Policy 2.2.1).

The proposed development has not adopted design standards to address the need for transition between the present differing and adjacent land uses (Policy 2.2.3).

You might also inquire whether the change between the number of units their present plans propose, 333, and the number of units stated by the applicants, 325, requires a new notice of hearing on this application.

Approval of this proposal by the Planning Commission would not assist the residents of this mature neighborhood to preserve and protect the integrity of their neighborhood or be of assistance in the development of special improvement programs offering lower cost loans or other discounts for neighborhood restoration projects (Policy 2.4.6). (This huge structure would *discourage* such programs and loans respecting the abutting and adjacent homes. I would give a strong message that the whole neighborhood is in transition.)

Remember, the Biltmore Addition area is to be designated an historic neighborhood. (Downtown Neighborhood Plan 2000, recommendation a., and Las Vegas Master Plan 2020, Policies 2.3.1 and 2.3.4)

Most cities would love to be able to preserve and improve a neighborhood such as this. I hope that you do too. Please reject the present proposal and direct the owner to present a revised proposal that works within, but does not dominate and overwhelm, the Biltmore Addition neighborhood.

Kenneth K. Williams
130 Palm Lane
Las Vegas, NV 89101

382-6593



TO COUNCILMAN LAWRENCE WEEKLY
AND OTHER COUNCIL MEMBERS

RE: Planning Commission approval of a seven story structure
on the Northeast corner of Main Street and Bonanza Road.

We, the undersigned, are residents of the Biltmore Addition, the
oldest subdivision of the City of Las Vegas.

Many of us were visited by applicant's representatives who asked us
to sign an approval sheet for a structure they had a partly colored
picture of. Many of us signed. They were nice gentlemen.

We now know more about the proposed impact of this structure on our
neighborhood:

It is seven stories high.

It is designed to house over 500 people.

It would dominate our neighborhood.

It would have many windows and balconies that would look down
on our back yards to the north. (Their picture didn't show
this.)

We like our neighborhood. It is a crime free, family neighborhood
of modest-cost houses. City planning has recommended the Biltmore
Addition to be an historic neighborhood.

We do not object to the supposed use of this structure, housing for
older people with commercial uses on Main and Bonanza. We object
to this structure's excessive size, seven stories, 68 feet high.
We do not want something like this built. It would dictate that
our whole neighborhood should expect to be replaced. We intend and
wish to continue living here.

We ask you, the Mayor and the City Council to overturn the Planning
Commission's approval of this project and request the applicants to
design a smaller structure that would be sensitive to our existing
neighborhood and mitigate the adverse visual and aesthetic impacts
of the present project, as City planning documents require.

NAME:

ADDRESS:

Horacio Zuniga m

715. Biltmore dr. L-Vegas Nevada 10180

(702) 676-2036

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NOV 13 P 3:17

Submitted after final agenda

Date 11/13/02 Item #108-
#111

TO COUNCILMAN LAWRENCE WEEKLY
AND OTHER COUNCIL MEMBERS

RE: Planning Commission approval of a seven story structure on the Northeast corner of Main Street and Bonanza Road.

We, the undersigned, are residents of the Biltmore Addition, the oldest subdivision of the City of Las Vegas.

Many of us were visited by applicant's representatives who asked us to sign an approval sheet for a structure they had a partly colored picture of. Many of us signed. They were nice gentlemen.

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It would have many windows and balconies that would look down on our back yards to the north. (Their picture didn't show this.)

We like our neighborhood. It is a crime free, family neighborhood of modest-cost houses. City planning has recommended the Biltmore Addition to be an historic neighborhood.

We do not object to the supposed use of this structure, housing for older people with commercial uses on Main and Bonanza. We object to this structure's excessive size, seven stories, 68 feet high. We do not want something like this built. It would dictate that our whole neighborhood should expect to be replaced. We intend to continue living here. *peacefully!*

We ask you, the mayor and the City Council to overturn the Planning Commission's approval of this project and request the applicants to design a smaller structure that would be sensitive to our existing neighborhood and mitigate the adverse visual and aesthetic impacts of the present project, as City planning documents require.

NAME:

ADDRESS:

Fred Marcus 622 Biltmore 89101 -

George O'Brien - 618 Biltmore 89101 George O'Brien

Ruby Anderson-Muepph 611 Biltmore Dr 89101 Ruby Anderson Muepph

Adam W. H. 612 Biltmore Dr.

(4)

2002 NOV 13
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TO COUNCILMAN LAWRENCE WEEKLY
AND OTHER COUNCIL MEMBERS

RE: Planning Commission approval of a seven story structure on the Northeast corner of Main Street and Bonanza Road.

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Many of us were visited by applicant's representatives who asked us to sign an approval sheet for a structure they had a partly colored picture of. Many of us signed. They were nice gentlemen.

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We like our neighborhood. It is a crime free, family neighborhood of modest-cost houses. City planning has recommended the Biltmore Addition to be an historic neighborhood.

We do not object to the supposed use of this structure, housing for older people with commercial uses on Main and Bonanza. We object to this structure's excessive size, seven stories, 68 feet high. We do not want something like this built. It would dictate that our whole neighborhood should expect to be replaced. We intend and wish to continue living here.

We ask you, the Mayor and the City Council to overturn the Planning Commission's approval of this project and request the applicants to design a smaller structure that would be sensitive to our existing neighborhood and mitigate the adverse visual and aesthetic impacts of the present project, as City planning documents require.

NAME:

ADDRESS:

HENRY E. SMITH - 602 N. 1ST ST. LV, NV 89101

~~719 N 1ST Las Vegas NV.~~

~~Stephen & Margo 708 N 1ST Las Vegas N.V.~~

~~Courtney Danziger 712 North First St. LV.~~

(4)

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Attached Signature Page to Lawrence Weekly request.

NAME:

ADDRESS:

Theresa Dobson 716 N. 1st St.

Kathy Kidwell 721 Nth 1st St

William Panawoff 721 Nth 1st St

Charlotte Riey 725 N. 1st St.

John J. Riey 729 N. 1st St.

William J. Jaraman 732 N. 1st.

Alfred Gallego 711 BELLE 89101

Ann L. Loderer 918 BILTMORE DR

ROSELIO K. CHAY 1116 PALM LN LX

Stan Bernal 105 Palm Ln LV. NV.

Francis Osuna 120 PALM LN LV

Blanche Kelly 104 Palm Lane

Jose Antonio 101 PALM LN

Augusta Tapia 113 PALM LANE

Miguel Tapia 113 PALM Lane LAS VEGAS NV 89101

Hector Gordon 128, SYCAMORE LN. LAS-VEGAS NV 89101

Kathie Wabick 128 S jaraman Ln NV

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NOV 13 P 3:18RECEIVED
CITY CLERK
NOV 13 P 3:11

Attached Signature Page to Lawrence Weekly request.

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NAME:

ADDRESS:

2002 NOV 13 P 3:18

Karen R Prounshe 607 Biltmore Drive Las Vegas NV 89101

George O'Brien 618-Biltmore Dr. L.V.N. 89101

Evelyn Reagen 630 Biltmore Dr. Las V. 89101

Obed O. Nichols 701 Biltmore Dr. 89101

Gloria 704 Biltmore Dr. 89101

Rayna Teske 708 Biltmore Dr. 89101

Henry Apac. 715 Biltmore Dr. 89101

Phillip Gilman 712 Biltmore Dr. 89101

Irene Jacuinde 717 Biltmore Dr. 89101

Max Putnam 721 Biltmore Dr.

Mayra Loto 725 Biltmore Dr.

William Mann 722 Biltmore Dr.

Maise Ullas 730 Biltmore Dr.

Betty Miller 123 Palm Lane

Don Hauler 127 Palm Lane

John Wells 131 Palm Lane

Anthony Hernandez 724 N 1st St

Attached Signature Page to Lawrence Weekly request.

NAME:

ADDRESS:

Marcella Soles 750 Biltmore Dr.

Odilia Lopez 742 BILTMORE DR

Rachel Lopez 742 BILTMORE DR

Athene Coons 109 Palm Ln

Francis Carmiche 610 Biltmore Dr

Yolanda A. Lopez 800 BILTMORE DR.

Apolinar Gonzalez 800 BILTMORE DR.

Jose Vasquez 804 Biltmore Dr.

Elda Vasquez 804 Biltmore Dr.

Efren Gonzalez 808 Biltmore Dr.

Carolina Lopez 808 Biltmore Dr.

Lose Cruz Gonzalez 124 SYCAMORE

Salvador Ortiz 904 Melrose Dr

Roy Alva 911 Melrose HV 8101

Victor M. CAZARES 107 SYCAMORE Ln.

Jim D. Alva 910 MELROSE DR.

JUAN Carrillo 919 Melrose Dr.

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2002 NOV 13 P 3:08

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NAME:

ADDRESS:

2002 NOV 13 P 3:18

Rosa Cervantes 920 Biltmore Dr

Abel Aguilar 915 Biltmore Dr

Vicente GARCIA 907 Biltmore Dr.

Cortez Ruben 135 Palm Lane L.V.

Lois Armando Garcia 111 Verdy

Kenna Galinski 110 Verdy Ln. L.V. NV. 89101

Delia Aracu 704 N. 1st LV, NV 89101

FRANZISKA Polzius 700 N. 1st. NV. 89101

Frederick W. Ernst 606 N. 1st St L.V.N. 89101-1904

Luis Lopez Celis 728 1st St L.V.N. 89101

Lani Miller 741 1st St. Las Vegas 89101

Jose Martin 811 N 2nd St

Greg Deville 911 N. 1st St. L.V. NV. 89101

ABRIL VASCO 915 N 1st St NV NV. 89101

Maria Ojeda 914 N. 1st St LV NV 89101

Bryant H. H. 914 N. 1st St LV NV 89101

Linda J. Smith 729 N. 1st St. LV NV. 89101

Attached Signature Page to Lawrence Weekly request.

NAME:

ADDRESS:

Luis F. Castro 805 N 1st LAS VEGAS NV 89101

Greg Kuester 100 Sycamore Ln LV NV 89101

Katie Kuester 100 Sycamore Ln LV NV 89101
For a building not to high

Vernice m. Holley 112 Sycamore Lane LV 89101.

Richard S. Roberts 915 MELROSE DR 89101

Rafael Ruiz Jr. 920 Biltmore dr 89101

Ray Ramos 900 Biltmore Jr L.V. NV 89101

Steve Bland 824 Biltmore Dr LV NV 89101

Jeff 820 Biltmore Dr LV NV 89101

Harriet Hicks 816 Biltmore Dr LV 89101

Andrew Kennedy 812 Biltmore Dr NV 89101

Grace Apfelbaum 736 BILTMORE DR 89101

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2002 NOV 13 P 3 18

SUMMARY – RESPONSE TO PETITION, BILTMORE ADDITION RESIDENTS

Many people to whom the attached petition was presented read the entire petition, then made up their minds and signed or didn't sign.

To all of the people to whom this petition was presented, they were first advised that the Planning Commission had approved construction of a seven story apartment house for the elderly (three stories parking and four stories apartments) with commercial along Main and Bonanza, and that we were appealing this matter to the City Council to request that the City Council reduce the size of this structure to around three stories.

Many people stated that they had signed an approval sheet circulated before, with a copy of a colored picture. They said they thought it was a picture of a three story building. (Really!)

This petition was circulated to all the homes within the Biltmore Addition and Biltmore Addition Annex No. 1, north of Bonanza Road. It was not circulated to the Biltmore Addition Annex No. 2 area, which lies to the east of the affected area. One person from the Annex No. 2 area stopped me as I was circulating the petition and signed it. I don't count him below.

In circulating this petition, I was attempting to get one signature per home. A few people insisted on two people signing for a home. (10 homes)

I enclose a map of the area within which this petition was circulated, showing by colors what the response was. A summary of the responses this petition elicited is as follows:

Homes within this area	-- 115
Persons who <u>signed</u> this petition	-- 87
Homes represented by those signing	-- 77
Persons who said "no," (agreeing with 7 stories)	-- 6
"Not at home" responses	-- 28

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In addition, there was one "will think about it" (I couldn't later find him at home), one "no thanks" (not a commitment either way) and one "I won't sign anything."

KEN WILLIAMS

RESPONSE TO PETITION, BILTMORE ADDITION RESIDENTS:

711 N. First Street,	Alfred Gallego,	Signed
719	R Rosold	signed
721	Kathy Kidwell	signed
	William Panonoaf	signed
725	Charlotte Ruiz	signed
729	Francis J. Rios	signed
733	Oliver Moore	"will think about it"
737		no "I'll go with it like it is"
741	Lani Miller	signed
745		not home (Sun after 7:)
801		no (owns property across 1st Street from project)
805	Luis Castro	signed
811	Jose Martin	signed
813		no
907		not home
911	Greg DeVille	signed
915	Art Velasco	signed

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600 N. First Street		no
602	Henry E. Smith	signed
604		not home
606	Frederick W. Ernst	signed
700	Franziska Polzius	signed
704	Ofelia Aracu	signed

708	Stephen Morgan	signed
712 N. First Street	Courtney Dunigan	signed
716	Theresa Dolan	signed
720		not home
724	Anthony Gonzalez	signed
728	Luis Lopez Celis	signed
732	Yolanda Stevenson	signed
900		not home
906		not home
910		not home
914	Maria Ozuna	signed
	Briali Annar	signed

601 Biltmore Drive		no
607	Karen R. Provonsha	signed
611	Ruby Anderson-Murrah	signed
615		not home
631		not home
701	Obed D. Nichols	signed
707		not home
711		not home
715	Henry Apac	signed
717	Irene Jacuinde	signed
721	M. L. Putnam	signed
725	Mayra Soto	signed
729		not home
811		not home
901		not home
907	Vincent Garcia	signed

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915	Abel Aguilar	signed
-----	--------------	--------

606 Biltmore Drive		not home
610	Francis Carniele	signed
612	Adam Walch	signed
618	George O'Brien	signed
622	Fred Marcus	signed
626		not home
630	Evelyn Reyes	signed
700		"no thanks"
704	T. Lariosa	signed
708	Rayioa Jeske	signed
712	Phillip Collim	signed
722	William Mann	signed
730	Maisgs Ulloa	signed
736	Grace Applebaum	signed
742	Adulia Lopez	signed
746	Raphael Lopez Ring	signed
750	Marcella Solis	signed
800	Yosuia A. Gonzalez	signed
	Apolinar Norma Gonzalez	signed
804	Jose Vasquez	signed
	Elda Vasquez	signed
808	Efren Gonzales	signed
	Caroline Vasquez	signed
812	Andrew Kennedy	signed
816	Harriett Hicks	signed
820	Gail Sherman	signed
824	Steve Bland	signed
900	Ray Okamots	signed

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904 not home

908 Biltmore Drive not home

912 not home

918 Armondo L. Rodriguez signed

920 Rosa Cervantes signed
Rafael Peirot signed

108 Verde Lane no

110 Verina Apolisos signed

111 Luis Armando signed

100 Palm Lane not home

104 "won't sign anything"

110 Aanick Pulley signed

116 Rogewlio Y. Cay signed

120 Gracie Odwa signed

130 Kenneth Williams signed

101 Jose Antonio signed

105 Stan Bemzel signed

109 Shane Coons signed

113 Augustin Tapia signed
Maria G. Tapia signed

117 not home

123 Betty Miller signed

127 Don Houldac signed

131 Alan Ware signed

135 Cortez Rubin signed

100 Sycamore Lane Greg Kuester signed
Kathy Kuester signed

104 not home

108 Jose Cruz Gonzales signed

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2002 NOV 13 P 3:18

112	Vernice M. Holley	signed
116 Sycamore Lane		not home
120		"they live in LA"
124		not home
128	Hector Gordon Kathie Dabill	signed signed
107	Victor M. Cazares	signed
109		not home
911 Melrose Drive	Roy Blue	signed
915	Richard S. Robertson	signed
919	Juan Carrillo	signed
925		not home
900		not home
904	Salvadore Ortiz	signed
910	Jim G. Alli	signed

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2002 NOV 13 P 3:18



SIGNED PETITION ●
7 STORIES IS OK ●

CURRAN & PARRY
ATTORNEYS AT LAW
300 SOUTH FOURTH STREET
SUITE 1201
LAS VEGAS, NEVADA 89101

WILLIAM P. CURRAN
STANLEY W. PARRY
JOSHUA H. REISMAN
GLENN M. MACHADO

TELEPHONE
(702) 471-7000
FACSIMILE
(702) 471-7070
E-MAIL
curran_parry@msn.com

November 20, 2002

Barabara Joe Ronemus, City Clerk
City Clerk's Office
City of Las Vegas
400 E. Stewart Avenue
Las Vegas, Nevada 89101

Via Facsimile: 382-4803

Re: Request to Hold Z-0046-02, U-0114-02, V-0072-02, Z-0046-02(1) / Items 108, 109, 110, 111 Respectively - November 20, 2002 City Council Agenda

Dear Ms. Ronemus:

On behalf of my client, Bonanza Realty, Inc., I respectfully request that the above referenced applications be held in abeyance for two weeks.

Please contact me if you have any questions. Thank you.

Sincerely,



Bill Curran

WPC:cw

E:\Bonanza Realty\Incl\ur to Hold LTR-01.wpd

cc: Mayor Oscar B. Goodman
Councilman, Mayor Pro-Tem Gary Reese
Councilman Michael J. McDonald
Councilman Larry Brown
Councilwoman Lynette Boggs McDonald
Councilman Lawrence Weekly
Councilman Michael Mack

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2002 NOV 20 P 12:27

Submitted after final agenda

Date 11/20/02 Item 108, 109, 110, 111

NOTICE OF NEIGHBORHOOD MEETING

SENIOR CITIZEN APARTMENTS/COMMERCIAL MIXED USE DEVELOPMENT

**PROPOSED TO BE BUILT ON NORTH SIDE OF BONANZA ROAD,
BETWEEN MAIN STREET AND FIRST STREET.**

You are invited to attend an information session to discuss the proposed development of a mixed use development on Wednesday, October 16, 2002 at 6:00 p.m. at the Las Vegas Senior Citizens Center located at 451 East Bonanza Road. Representatives of the developer and the project architect will be present to inform all neighborhood residents of the proposed project and to receive input from the neighbors.

The project is a 325 unit senior citizen apartment project, consisting of both one bedroom and two bedroom apartments. Some of these apartments will be built above a commercial development that will be located on the ground level along Main Street and Bonanza Road. The project will also contain a parking ramp sized to accommodate all parking needs; in fact, the development will have 526 parking spaces, 38 more than required by City Code. At its maximum height, the development is 68 feet, although some parts will be much lower as the development steps down towards First Street. Residents will be limited to people 55 years old and older. This is a private development, not a HUD or public housing project.

Hopefully, the presentation and discussion can be concluded within 90 minutes, but the developer's representatives will stay as long as necessary to answer any and all questions. It is also expected that representatives of the City of Las Vegas will be in attendance.

Please plan to attend if you desire additional information. The same matter will be considered by the Las Vegas Planning Commission and the Las Vegas City Council, but you will receive a separate notification of these meetings from the City.

Submitted at City Council

Date 11/30/02 Item # 08-111

~~746-501~~

ROBERT & GWEN Muehlhausen
811 BILTMORE AVE

LV. NV. 89101

HOME (530) 945-5464 - WORK (530) 472-3266

JOSE M. AVILA - BLANCA AVILA

725 N. 1ST ST. LV 89101

HOME (818) 833-8002

MELVIN GOLDEN

100 PHLO LV. 89105

716 N 1ST

801 N 1ST

805 N 1ST

745 LUISA JUAN

714 DUNCAN

CHARLES DOLAN
384-9745

LOUIS CASTRO

Submitted at City Council

Date 11/20/02 Item #108-111

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

MAYOR GOODMAN

I have four items, all together here, 108, 109, 110 and 111. 108 is Z-0046-02, Bonanza Realty, Inc., a request for a Rezoning from R-2 (Medium-Low Density Residential) and C-M (Commercial-Industrial) to C-1 (Limited Commercial) on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road. Planning Commission and staff both recommend approval, subject to conditions.

109 is U-0114-02, the same applicant, request for a Special Use Permit for a multi-family senior apartment complex on 2.87 acres, adjacent to the northeast corner of Main and Bonanza. Planning Commission and staff recommend approval, subject to conditions on that as well.

Let's see. 110 is V-0072-02, same applicant, request for a Variance to allow lot coverage in excess of 50% for a senior apartment complex at that same location on that same acreage. Planning Commission and staff recommend approval subject to conditions.

And finally, 111, Z-0046-02(1), Bonanza Realty, Inc., request for a Site Development Plan Review and a reduction of the on-site landscape requirements for a 326-unit multi-family senior apartment complex with 20,000 square feet of commercial development on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road. Planning Commission and staff recommend approval subject to conditions. All four of these items are subject to the public hearing and I now declare them open. Mr. Curran.

ATTORNEY BILL CURRAN

Good afternoon. I'm Bill Curran, Curran and Parry, 300 South Fourth Street, appearing on behalf of the applicant. Also with me, in the audience, is Dennis Rusk, the project architect, if you have questions of, having to do – with design issues. I am told that staff has, well, not just told, 'cause I've actually seen the disk, but they have done a sort of a 3-D presentation that I think illustrates the site. And perhaps it's a good way to begin.

MAYOR GOODMAN

All right. Mr. Genzer. Like to see it.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

ROBERT GENZER, DIRECTOR, PLANNING & DEVELOPMENT

That's correct, Your Honor. Thank you and – Council. We have prepared a Multi-Gen present, very short Multi-Gen presentation for you this afternoon, to give you a, somewhat of a perspective of what this project will look like, should it be approved and constructed at this location. So if we're ready to roll that, let's go ahead and do it.

COUNCILMAN WEEKLY

Well, and before you roll that, I want to thank them, Mayor, very much, for addressing all the concerns, you know, a lot of the concerns that I had. Because I shared a lot of the concerns that the neighbors had when I first had this presentation and, Mr. Curran, I appreciate you all taking the time to go out and meet with the residents and hopefully concerns that some, I see some of the residents from the neighborhood are here, I'd like to hear what you all have to say, as well as it, as we move forward with this project today. Thank you.

MAYOR GOODMAN

Okay.

ROBERT GENZER, DIRECTOR, PLANNING & DEVELOPMENT

If we can begin the Multi-Gen, Ms. Wheeler will narrate what you're looking at as we go through it.

COUNCILMAN WEEKLY

Sure.

MARGO WHEELER, MANAGER, PLANNING & DEVELOPMENT

As you know, Mr. Mayor and members of the Council, the Multi-Gen system that we have, you can, and you can roll in the back whenever you're ready. The Multi-Gen system has been used to

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 – V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

illustrate some of the City's public parks and other projects. This is our first attempt to utilize this as a decision-making tool for the Council on a private project.

This project is located just north of downtown, as you can see, at the northeast intersection of Main and Bonanza. We're going down Main Street now. The ground floor is commercial with landscaping in front of it, then the residential. There's two layers of parking above that and then the residential senior citizen units are above that. Planning Commission has recommended restricting the units to persons 55 and older.

Now you can see looking back, the project is just north of the I-95, north of downtown and the casino district in our downtown is just south of this project. Along the Main Street side, the other property is, that is a C-M zoning and along the west side of First Street, that is R-2 zoning. There is an R-1 neighborhood to the east, and that is why as you can see here, from this direction, the step-back that the architect has put into the project. There's 15 feet of landscaping along this side, the parking as you see it, and then a landscaped patio setback area. As you can see, the residential is stepped back, fully stepped back from the residential properties on First Street. It's a very unique design. There you can see the step-back where this, the property above the parking area will be utilized as patio and open space and there is landscaping, as you can see from this view, all the way up that side of the building that is the side facing the residential neighborhood.

The entire point of the design was to place the massing of the project that was believed to be appropriate on the Bonanza and Main Street side, stepping back the residential and the parking from the residential neighborhood. And we felt that Multi-Gen would be a good tool to be able to utilize this in 3-D, in assisting the Council in looking at this project and making your decision. Thank you.

MAYOR GOODMAN

Thank you very much. Mr. Curran?

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
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ATTORNEY BILL CURRAN

That's really cool. I don't know how I follow that. But suffice to say that we're proposing a 325-unit, 326-unit senior apartment complex that in the, a mixed used project also incorporating 20,000 square feet of commercial. The commercial will be on the ground floor level, as you saw in the presentation. It's on the ground floor, street-floor level along Main Street and along Bonanza. The entrance and exits to the property will also be along Main Street and Bonanza, so that there'll be no direct access onto First Street from the project, simply as another effort to try to be sensitive to the existing residential neighborhood there.

We have circulated through the neighborhood, met with as many people as we could find, I think I myself was there, I can't tell you how many weekends. We've gathered something in excess of a hundred, I think maybe a hundred and one or so, signatures in support of the project. We have very good reception. In addition, we've already turned that petition in at the time of the Planning Commission. In addition to that, we sent a notice of a neighborhood meeting. I'm not sure I did turn that in at the time of the Planning Commission, so perhaps I'll give a copy of that to your Clerk while we're here this afternoon. We sent that to all the people in the City's notice area, held a neighborhood meeting, representatives of the City attended. We think that we have done all the diligence that could realistically ever be done by applicants to try to get out and meet with the neighbors.

We had what we thought was very good response and reception. In the course of canvassing the neighborhood, in my canvas, I found three people who were not supportive of the project. Really one who was not supportive specifically because of the project itself. I know he's here today and will, you'll hear from him. I am told that he, himself, then after our neighborhood meeting has gone back out and canvassed the neighborhood and collected signatures now in opposition to it. I'll let him speak for himself, but I think you have a good sense of what this project is. We're very proud of it. We think that this will be a real crowning jewel in efforts of the City to revitalize this area. It's of interest to my clients, because of its proximity to a number of facilities that are of interest to the kind of market group that we intend to market this to. Downtown, of course, the government and commercial and recreational facilities in downtown. Then along

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Bonanza, there's the Dula Center, there's the senior citizen as far over as Las Vegas Boulevard. Going up Las Vegas Boulevard, the Reed Whipple Cultural Center, the Public Library, Cashman Field, the State Building, we think that there are just a number of facilities there that the senior residents that we intend to market to are going to be interested in utilizing and that are going to make them find this to be an attractive place to live.

We do intend to have as many amenities as possible. Some of them, I suppose, are fairly conventional. The kind, recreational room, meeting room, exercise area, the kind of thing that you see in most projects. In addition to that, we're sort of following up on the id, what's developed in New York City, with the pocket part, pocket park concept, where people like to have a place where they can literally be involved with the soil and have small gardens. This integrates small garden plots that the residents can grow anything from flowers to herbs to tomatoes, things of that nature. All in all, we think that this is packed with amenities, packed with things that are going to be attractive to the senior population that we hope to attract and, frankly, we think attractive and beneficial to the neighborhood.

MAYOR GOODMAN

You don't have to go to New York for the little parks, they have them over at the McCann Center; right, Councilman?

ATTORNEY BILL CURRAN

I'll remember that.

MAYOR GOODMAN

Just – it's so incidental in the scheme of the entire project, but facing Main Street, are you going to, are those little balconies out there? Or are they just design type wrought iron?

ATTORNEY BILL CURRAN

I think they're just little design –

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FRED MARCUS

That's First Street, where the balconies are, Sir. Yeah.

ATTORNEY BILL CURRAN

I'll let – Mr. Rusk answer that.

DENNIS RUSK

All the units have balconies and they face either Main Street or they face each other on the courtyard. There aren't any that face the neighborhood.

MAYOR GOODMAN

I see.

FRED MARCUS

Oh, excuse me. What is this? Isn't this on First Street?

DENNIS RUSK

That, that's the recreation area.

FRED MARCUS

Is, this is First Street; isn't (inaudible)

DENNIS RUSK

That's First Street.

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FRED MARCUS

Okay. These are balconies here?

DENNIS RUSK

Those are walkways that tie the building to building.

FRED MARCUS

(inaudible)

DENNIS RUSK

The private residences are down these corridors, these atriums, and they face either other.

FRED MARCUS

Okay. I stand corrected.

MAYOR GOODMAN

Are – these apartments or are they for – ownership?

ATTORNEY BILL CURRAN

These are senior apartments.

MAYOR GOODMAN

Okay. And what, do you have any idea what the – rental price will be?

ATTORNEY BILL CURRAN

We don't – know the answer to that. I think the question was asked –

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COUNCILMAN WEEKLY

Yesterday, about the total square footage though.

ATTORNEY BILL CURRAN

The square footage, if I recall, we figured was about 600 square feet.

COUNCILMAN WEEKLY

Six hundred for the one-bedroom.

ROBERT GENZER, DIRECTOR, PLANNING & DEVELOPMENT

The – smaller unit was approximately 600 and the larger unit was about 850, I believe.

COUNCILMAN WEEKLY

Eight, eight-fifty.

MARGO WHEELER

Eight-fifty, yeah.

MAYOR GOODMAN

Okay. Thank you. All right. Any other questions of Mr. Curran? Okay. Yes, Sir. Be happy to hear from you.

FRED MARCUS

I do have some – I – beg your pardon. I'm Fred Marcus, 622 Biltmore Drive. I live two streets away from this project. I've often stated that we need something on that corner and just about anything would've been an improvement. The drawings that we've seen and I've seen and this beautiful rendering here doesn't really show the height of the building. It's more of an artist's misconception here. I – understand from the elevations, the architectural elevations, it's like six

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or seven-stories high. Here I can only count four to five. What – are we dealing with here (inaudible)

ATTORNEY BILL CURRAN

I can answer that, –

MAYOR GOODMAN

All right, Mr. Curran, yes.

ATTORNEY BILL CURRAN

– if I may. The building is 60 feet, 68 point, 68 feet 2 inches high.

FRED MARCUS

So it's seven stories, basically.

ATTORNEY BILL CURRAN

Well, to me, as a layman, I would count seven stories. That's four build, four stories of residences on top of three – stories of parking lot. I am told that from the standpoint of professional, design professionals, whether they're staff or architects, they would call this six stories. The reason being that not only is the first story of parking submerged below ground because of the soils problems and we have to excavate seven feet in order to deal with the soils, and then we build back up. The first level will be four feet, then the next layers of parking are eight feet high rather than ten or twelve, and so one foot between the stories instead of two, things like that, then the net result is, depends on how you count. You can find seven different levels to stand on. An architect would say it's six stories. One thing for sure, it's 68 feet and a couple inches.

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FRED MARCUS

Okay. Well, I, I'm primarily concerned with the height. It's totally out of character for the neighborhood. There are only about three houses that are more than one story in the entire neighborhood. I personally can't see the mountains or the sunset unless, I live between a couple of the houses that are across the street from me and now I'm going to see a big edifice here, that – is just totally out of character.

You know, frankly, I'd like to see that area built up with some commercial enterprise and I'd like for it to spill about six houses into the, my street, since I'm the, in the sixth house. But I'm wondering if – indeed this isn't just a bit large for that – area, for that parcel. It's less than three acres and you're putting a building on there, I'm not sure of the square footage, but the motel down on Washington and Main Street is but three, maybe four stories high and it looks like a monolithic edifice as it is, and then we're going to go up three more floors. I – totally have to, you know, request that you deny this because of the – height, the overall height of it. So, –

MAYOR GOODMAN

Thank you, Sir.

FRED MARCUS

You bet.

MAYOR GOODMAN

Would anybody else like to be heard? Please tell us who you are and where you live?

LILLIAN ESQUITE

Lillian Esquite, 108 Verdy Lane. My house is directly across the street from where this building, I hope, will be. By the way, may I say that Mr. Weekly is my Councilman and he works very hard and he gives us notices about everything that's going on. He's an amazing Councilman. He's, he does such a good job. I've never met him, but –

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COUNCILMAN WEEKLY

Thank you. Hello.

LILLIAN ESQUITE

– he's very good. Hello. Anyway, my house, the side of my house, my side porch will face this building. It couldn't be too tall for me. I don't care if it's the Empire State Building. The people who are in charge of building it or in charge of the project have notified us of everything that's going on. They gave us the phone numbers we can call and ask questions. It sounds like a fantastic project to me. It's certainly better than a vacant lot, which is there now. I think everybody involved has been above-board about everything. I'm very happy about it and every day when I take my dogs out to the side yard and let them run around and bring them back in the house with me, I will be seeing that building, that's what I'll be looking at. I think it's terrific. I hope you approve it and it – can be built, the Empire State Building, for all I care. I thank you all very much. Thank you.

MAYOR GOODMAN

Thank you very much. Thank you. Thanks for coming down. Yes, Sir.

KEN WILLIAMS

Yes, I'm Ken Williams and I perhaps got a lot of this stuff going because I – appealed two of the matters that would not have come to the Council anyway. My name is Ken Williams. I live at 130 Palm Lane. And first I have a greeting for Mayor Goodman. Hello.

MAYOR GOODMAN

Hello.

KEN WILLIAMS

This is from Jerry Coleman, one of your classmates, who is a fine attorney in Long Beach.

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MAYOR GOODMAN

Oh, boy. Yes, he is.

KEN WILLIAMS

He asked me to say hello to you, I'm sorry it took me five years to do it.

MAYOR GOODMAN

Thank you very much. I appreciate that.

KEN WILLIAMS

And I'd like to read my remarks, because I can get through them easier this way and not waste any of your time.

MAYOR GOODMAN

Please.

KEN WILLIAMS

Let's get down to work. I have been amazed that Planning staff has suggested to you that all of the approvals you are being asked by the applicant to give their project can lawfully be given by you. How do they suggest this? How do they suggest that this seven-story, 68.2 feet high project can lawfully be approved for insertion into a stable, crime-free neighborhood of single-family dwellings? Simple. They ignore this neighborhood. I'll quote from staff, regarding their attitude, from Page 3 of their report on the request for variance. Quote, this project is located within a Long Beach redevelopment area –

MAYOR GOODMAN

No, it's not Long Beach.

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KEN WILLIAMS

I'm sorry. Las Vegas redevelopment area.

COUNCILMAN WEEKLY

And that's what he been doing the whole time, talking about Long Beach.

KEN WILLIAMS

See, I'm still Long Beach, after all these years, doggone it. Well, it is, of course. There's the redevelopment area and as you can see, the redevelopment area covers all of downtown Long Beach, Las Vegas. I quote, but just outside the boundaries of the downtown overlay district. Well, here's the overlay district and – this portion, this little tip up on top, the only portion of the overlay district that lies north of Highway, Freeway Number 95, are public buildings, two-story public buildings.

Where, quote, where we leave from the automatic application of certain development standards is available, in order to encourage the development of mixed-use environment. Note, they did say that this project was outside this Downtown Overlay District. The, quote, the proposed mixed-use senior apartment complex includes all of those components and should be allowed relief from the lot coverage standard of 50%. Now, they are asking you to grant a variance of the 50% lot coverage requirement. They state that the reason is because this is a mixed-use senior apartment complex. That is not a lawful ground on which to grant a variance.

And, quote, the proposed project has the potential to spur further redevelopment of the surrounding neighborhood. Now, are they saying that the 115 homes within the Biltmore Addition are going to be redeveloped? I think this is a question that the Council might consider, but it has not made any decision on it.

Quote, and the potential to provide a gateway from the Downtown Overlay District to downtown north. Well, there is no – here's – Main Street and here's Las Vegas Boulevard. And there is no entrance from north to south under the Long Beach, under the Las – under the 95 Freeway, through this area. This project will definitely affect the future of 115 homes that form the

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Biltmore Addition area. These homes are the neighborhood to the north and east of this project. Now why didn't the staff mention this Biltmore area even once?

After the residents of this neighborhood became familiar with the true extent of this development, they signed a petition that is a part of the material you've been furnished, 85 residents signed representing 77 homes. Please look at the petition, the typed breakdown of the petition and the summary of it and look at the map that shows the location of homes of the signers.

The most frequent remark that was made to me during the circulation of this petition was I saw their pretty picture when they came around, I thought it was a three-story building. How would you feel if it was proposed to put a seven-story building next to your home? The building is adjacent to single-story houses and across a 30-foot street from many more single-family homes. This drawing from your zoning code illustrates the normal way a building that is higher than a single-family dwelling should phase its way up. That is much less than the building they are planning and asking these four exceptions from you for.

Now, look, we don't oppose the uses being proposed by these people. We don't. We think it's a fine development to put a seniors apartment house in there. It's a fine development to have commercial along Main and Bonanza. We just object to the height of this building. It's too darn tall for our neighborhood.

MAYOR GOODMAN

All right. Thank you.

KEN WILLIAMS

As to the granting of a variance, staff has left some language out of their quote. Basically, you are prohibited from granting a variance to relieve a hardship which is solely, quote, self-created or financial in nature. Applicants have created their supposed hardship themselves by simply proposing to overbuild this site. That's why they ask you for their variance. There's nothing exceptional about this property. It doesn't fall into the exceptional topographic conditions, the

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exceptional or undue hardships or any of those forms – of expression that are used in determining, under state law, which is applicable under your laws, specifically in your zoning code, when you can grant an exception.

Now, there's also other land, language in the variance provision that relates to the phrases without substantial detriment to the public good and without substantially impairing the extent and purpose of any ordinance or resolution. So you are to consider existing ordinances and resolutions, like the Las Vegas Master Plan. The vision statement says Las Vegas will become a multicultural and diverse community where people and families are our top priority. Where we can live and grow in safe and distinctive neighborhoods. And in regard to neighborhood revitalization, goal two, mature neighborhoods will be sustained and improved through appropriate and selective high-quality redevelopment and preservation. And policy 2.1.2, that development on vacant or under utilized lots within existing residential neighborhoods be sensitive in use and design to surrounding development. And policy 2.2.1, that any higher density or mixed-use development which is adjacent to lower density residential development incorporate appropriate design, transition or buffering elements which will mitigate adverse visual, audible and aesthetic impacts.

A seven-story building within a single-family dwelling neighborhood; is this sensitive use? Is this sensitive design? Is this design and transition that mitigates adverse visual and aesthetic impacts? Please. These ordinances and resolutions also affect your approval of the site plan, the special use permit and the rezoning. I won't go into how they do that, but they do.

The Biltmore Addition was identified by Planning staff as a possible historic district, it being the oldest subdivision in the City of Las Vegas. In the Downtown Neighborhood Plan 200 (sic), that's where they did that. That Plan urged working with residents of the Biltmore Addition to have the neighborhood so designated and working to develop property maintenance issues within this area. I have also been advised that the Biltmore Addition is on the Historic Las Vegas Walking Trail.

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We, the residents of the Biltmore Addition, are willing to work with you. Are you willing to work with us? Or do you really feel that this whole area should be wiped out and redeveloped as seven-story structures?

MAYOR GOODMAN

Thank you very much.

KEN WILLIAMS

Thank you very much. I appreciate you giving me this time.

MAYOR GOODMAN

All right. Would anybody else like to be heard?

CHARLES DOLAN

Good afternoon, Mayor, Council members.

MAYOR GOODMAN

Good afternoon.

CHARLES DOLAN

My name is Charles Dolan and I live on 801 North First Street. I own 716 North First, right across from this subject property and it's about time we cleaned up that corner. Councilman Reese, Councilman Weekly, you know what a mess it has been. I'm all for this. This is just a tad higher than the Expressway bridge a half a block away and much shorter than Main Street Station, a block down the street. It's on two-thirds commercial property right now. I – just had the Rapid Response over there and move a man that's been bumming around that whole property for 20 years. And it's right across from it. I – own the biggest house in both downtown neighborhoods over here, it's 2400 square feet. I just remodeled it for the cost of \$12,000 in the

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last year and remodeled my house. All my neighbors are remodeling. I'm trying to sell the big house. I'm getting old. I just – came out of the hospital. I had a stroke Friday.

I see nothing, absolutely nothing wrong with this project at all and I, please, hope you will pass it.

MAYOR GOODMAN

Thank you, Sir.

CHARLES DOLAN

Thank you.

MAYOR GOODMAN

Thank you. Anybody else?

TODD FARLOW

Thank you. Todd Farlow, 240 North Nineteenth Street. The gentleman before this man mentioned the 2020 Master Plan, and I'm glad he did. Because the 2020 Master Plan calls for a high-density downtown. In order to get that density here, you're going to have to have places that pencil out. You can put a two-story or a three-story place on here and you'll have to have rents of what? \$2,000 a month, which – would just never sell. I mean, if we're going to have the high-density which – the Plan calls for, this is the stuff we need.

The step-back design I think is absolutely beautiful. So, and, for the people that might complain about what this looks like, I remember that terrible old busted down ho, motel, or whatever it was, that was there before. I mean this is, this thing looks like the hanging gardens of Babylon or something compared to that. I mean, this is beautiful. Thank you.

COUNCILMAN WEEKLY

Go, Todd Farlow.

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LEE MANCH

I'm Lee Manch and I live on Biltmore Drive. And I am in back of Ken Williams all the way. And I thank you.

MAYOR GOODMAN

All right. Thank you. Anybody else like to be heard? All right. Mr. Curran, do you want to, 20 seconds.

ATTORNEY BILL CURRAN

If I could just add a couple very brief things. One, I wanted the record to be clear that the height is three stories on the First Street side, just as illustrated, it steps back. It's 68 feet at the maximum height over on Main Street. I do want to talk about the hardship issue that Mr. Williams raises, because I think we have some very good answers to that.

In addition to the soils problems, which I have previously mentioned and detailed in the Planning Commission, the hearing, there is also a long, narrow, irregular shaped lot that forces us to try to integrate this project into some fairly widely differing uses on different sides of the project and sort of buffer everything from each other. The reason we have to have a variance is on the lot coverage. If I can use round numbers, I believe your requirement is that a lot should not cover more than 50% of the project and we are slightly in excess of 70%. The reason for that is the parking. It's not the occupied structures themselves. The occupied structures themselves occupy roughly 40% of the project. But the reason we have to have so much parking is that Las Vegas is one of the few cities, I'm told that does not have a special parking requirement for senior projects. We have to meet the same parking requirement for this project as any other apartment project. Quite honestly, we think that this will have greatly excess parking, greatly excess for the need of the residents. We haven't asked for a variance from the parking requirement because, frankly – we want this to be a project that's packed with amenities, not only so that it's easy for the people who live there to park and their – guests to park, but secondly we want to be sure that the commercial down on the ground level succeeds and that there is ample parking and that it's

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recognized by all the people who use it, that this is going to be a place that they can pull into and find a place to park.

So we haven't asked for a variance from that. It is the parking itself that leads to the problem. And secondly, as you know, the one gentleman described this as the hanging garden of Babylon, you know, the – landscaping that we get official credit for is that which is down at the ground level. We have all this additional landscaping, as you step up. I mean, this is going to be a very heavily landscaped project that we think fully complies with everything that you expect of a development. Now I know your staff has given more thought to the hardship issue and they may wish to add something further on that. But –

MAYOR GOODMAN

Okay. Thank you. I'd – any other comment? Well, I have to say this. I respect the opinion of the neighbors, because we value your input. There's no question about that. But I gotta tell you this, as the Mayor, when I pass that corner as it presently exists, to me, that's just part of the downtown blight. Nothing good's going to happen as a result of that piece of property remaining the way it is. And when Mr. Curran came in with Mr. Schaffer last week to show me the renderings – I flipped out, to be honest with you. I just think that this is exactly what we're trying to accomplish in the downtown area. If I felt that it was detracting from your quality of life, I couldn't support it. But I think that this will enhance the quality of life.

I have a little bit of familiarity with Coronado in – California and going down Orange Avenue there, where people have had very similar homes, and you may be familiar with this, Mr. Williams. They have these little bungalow type homes on Orange Avenue and I'm sure the City Council down there heard the same arguments as to vacant lots being developed where large beautiful garden style apartments with wonderful landscaping and flower and life and interesting design was going across the street from them. They probably fought it because everybody fights change, but I have to tell you, in my opinion, and I vote my conscience on these kind of things, in my opinion, if I were living across from that, I honest to goodness would feel a lot better than living across from that vacant blighted lot. So, that's just my feeling. Councilwoman.

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COUNCILWOMAN McDONALD

Your Honor, I think that it's very important too that we always remember that we have a strategic goal of the City of Las Vegas of trying to have more senior and veteran, you know, housing. A project especially within the, you know, downtown area and I see this project as helping us meet a public policy strategic goal, you know, of the City. And, you know, I can also give you an example of, after example of projects in other cities' redevelopment, and what has occurred when you have these type of projects, whether it be downtown Portland, downtown Denver, the property values of those adjacent residents typically go up in value. In fact, some people can no longer afford to pay the property taxes because of the increased value to their home and they sell them and move to other locations, because these projects add value to, economically, to surrounding neighborhoods, especially in redevelopment areas.

The only thing that I would add, now that we've seen the Multi-Gen presentation, I love the elevation of the Main Street side. I think this is, you know, very innovative way to, you know, meet the adjacency standards and to be able to bring some aesthetic value and buffering to those adjoining neighborhoods. The, having seen the Multi-Gen presentation, I would like to see if there was a way to break up that roof line a little bit on the Main Street side, to be able to have some interesting elevation on that side as well. And even if it meant, possibly even going up even higher, possibly just to be able to have some variations of elevations, so it won't have that kind of canyon-wall, big-block, you know, effect, on Main Street. And I think again, with that being a very important corridor of commercial development, just having a little variation on that roof line, I think, would go a long way in just the overall aesthetic nature of the – project. So I don't know if that is something that the Councilman would have, but just again, I love the Main Street side. It's very, you know, urban. Has variation in its look. If there's a way to break up that roof line on the – Main Street side, I'd love to see that as well.

ATTORNEY BILL CURRAN

As you know, the architect is here with us this afternoon. I know he's heard your comments and I'm sure he can try to integrate those design changes. I –

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BONANZA REALTY, INC.**

COUNCILWOMAN McDONALD

Because it, I – concur with the – neighbor that said even if it goes up a few more stories, you know, to be able to have a little variation on that. I think, again, there've been wonderful projects that have been done in other redevelopment areas across the country. Again, I don't think there is any limit on how high you can go, but if, to be able to have a little variation on that, I think would be, helpful.

ATTORNEY BILL CURRAN

Okay.

COUNCILWOMAN McDONALD

And maybe the architect has some thoughts on that.

DENNIS RUSK

The – City did a marvelous job of modeling my design, but because of the shortness of time, they were not able to put the 3-dimensionality of the Main Street, they did it as a block. All those are very, they're revealed, in and out, back and forth this way. And it is our intention to break that roof line up and to give it more urban kind of appeal. And that's what we're going to do, with your permission.

COUNCILWOMAN McDONALD

Okay. Right, that would be my concern, just to have that big block. And if that's your design, then I say go for it.

DENNIS RUSK

Thank you.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 – V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

KEN WILLIAMS

May I point out, by the way, that –

MAYOR GOODMAN

No, no, no, Sir. Sir.

KEN WILLIAMS

All right.

MAYOR GOODMAN

All right. Really, I gave you all the time that you needed. Now – it's our turn.

KEN WILLIAMS

Yeah, I concede that. All right. Thank you.

MAYOR GOODMAN

Would anybody else in the Council like to be heard? Councilman Weekly.

COUNCILMAN WEEKLY

Yes, thank you very much, Your Honor. I'd like to once again thank Mr. Curran and – the architect and the developer for the presentation, as well as the neighbors. Because again this is a project that had come before us and I sat and watched during the Planning Commission and, when it was live, and heard all the commentary that had come before the Planning Commission. I think I had said to Mr. Curran earlier, that I had some concern, I want you all to go out and talk with the residents and I think they spent about four weeks doing that, out in the neighborhood, canvassing and just listening to many of the concerns.

And many of the residents in the Biltmore neighborhood are just really adamant about wanting to see their neighborhood revitalized and wanting to see the quality of life improved. And Mr. Fred

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

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ITEM 109 – U-0114-02, ITEM 110 – V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

Marcus, who spoke earlier, who shared his concern, I want to publicly thank you. Because this man here, he goes out on his own free time, he keeps the landscaping up on the corner of, what's that, Bonanza and Veterans Memorial.

FRED MARCUS

Veterans Memorial.

COUNCILMAN WEEKLY

And we want to thank you publicly for that, Mr. Marcus. That shows a sincere resident who cares about his neighborhood. And I really do appreciate that very much. When others would stay inside their homes and – complain, you're out doing something about it. So thank you very much.

Mr. Curran, and thank you very much, because you went out and did everything that we asked of you, and I appreciate that. Mr. Williams, I know, coming from Long Beach, as you reiterated on several occasions, several of the concerns that you brought, from my understanding, working with Mr. Genzer and Ms. Margo (sic) here, understanding that you were kind of bringing some of those elements that you all had over in Long Beach, being that I understand you were a planning commissioner, and – is that correct?

KEN WILLIAMS

No.

COUNCILMAN WEEKLY

You were just actively involved?

KEN WILLIAMS

I never – advised the Planning Commission. I sat through a bunch of meetings.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
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BONANZA REALTY, INC.**

COUNCILMAN WEEKLY

Okay, well, at any rate – Okay, well good. We want you to come and attend ours. How's that?
All right. Thank you.

KEN WILLIAMS

Fine. I (inaudible) cable.

COUNCILMAN WEEKLY

At any rate, Your Honor, I think this'll be great for the neighborhood. I had concerns that number one, had this building gone straight up, it's six stories high, I had major concerns about it. Had it been multi-family, and being that this area consists of mostly seniors, I had a major concern about that. But the – step-back of this project is, it's absolutely beautiful. The architectural design is great. I was more concerned about the – intense use of 326 units on there, but after just kind of getting an explanation of how we would make this thing work, I felt a bit more comfortable, especially having no access onto First Street. Because I was really concerned as to how we were going impact those homeowners on that street there. But you all, the set-back and the step-back looks really good, that they should feel really comfortable with that.

And so, Your Honor, on Item Number 108, as it relates to re – to the rezoning, I'd like to follow staff's recommendation for approval and I want to throw over it to Planning and see if there are any other conditions that we'd like to discuss?

MARGO WHEELER

Wait –

ROBERT GENZER, DIRECTOR, PLANNING & DEVELOPMENT

Not on 108. We'd – like to make comments on the variance, when it comes up.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 – V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

COUNCILMAN WEEKLY

We're fine on 108, we're fine? So – Okay. So on Item Number 108, Your Honor, **move for approval, subject to conditions**, please.

MAYOR GOODMAN

All right. I would just like to add, so the Councilwoman gave her two cents on the architecture, I'd like the architect to consider maybe, we're – going to design this for you, shutters on the Main Street side as well as some awnings. Just consider it.

DENNIS RUSK

Absolutely.

MAYOR GOODMAN

Because there's some very nice apartments, in Ward 1 in particular that, and 2, that have these little awnings, the little blue awnings out there and the shutters. And just, the ginger breadding just changes the whole dynamics of the outside. This is just my two cents, that's all.

COUNCILMAN WEEKLY

And we don't want the – residents to get concerned over the color that they see on this Multi-Gen either, because that's not the color.

MAYOR GOODMAN

Okay. All right. Vote on 108.

COUNCILMAN WEEKLY

It better not be, Genz.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

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ITEM 109 – U-0114-02, ITEM 110 – V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

MAYOR GOODMAN

Post, please. Motion carries. (Motion carried unanimously.) 109?

COUNCILMAN WEEKLY

Yes, Sir, Your Honor. Move for approval, subject to staff conditions, please.

MAYOR GOODMAN

Vote on that, please. Post, please. Motion carries. (Motion carried unanimously.) 110, please.

COUNCILMAN WEEKLY

One 110, Your Honor, staff has some additional comments they'd like to make.

ROBERT GENZER, DIRECTOR, PLANNING & DEVELOPMENT

We – just want to comment in regards to the variance, and – in response to a couple of things that were said. I think our staff report does state our feeling on why a variance is appropriate here. And that being essentially the – shape of this particular lot being rather narrow in width and – long, it makes it somewhat difficult to build an urban type project, which is what we're looking for for this particular area. Also, in relation to residential adjacency, it's our belief of reading through our code, even again, during the hearing, that because this site is in fact in the redevelopment area, this building as proposed does do, does meet the residential adjacency standards.

MAYOR GOODMAN

Thank you. All right. Can I have a motion on 110, please?

COUNCILMAN WEEKLY

Yes, Your Honor. Move for approval, subject to staff conditions, please.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

MAYOR GOODMAN

Vote on that motion, please. Post, please. Motion carries. (Motion carried unanimously.)
And, Mr. Curran, assuming that you get this last vote, when will this project be up and running?

ATTORNEY BILL CURRAN

Well, I can hear one of the principals say tomorrow, but as you know, they'll have to – request all the appropriate permits and so forth. That's been a very much asked question. Some of the residents in the neighborhood say, said that they wanted to be sure that they lived long enough to be able to maybe move into it, and urged us to go forward with all possible speed. And I – can tell you that's my client's plans. I think before we come out of the ground though, I'll let Mr. Rusk address that.

DENNIS RUSK

If – it's approved today, my clients have instructed me they'd like to have me turn the plans in for permit plan check by the middle of February, hoping we can get through very quickly with the – outstanding City Building Department that you do have. We could be breaking ground some time in the middle of March and hopefully we would have this thing open for business a year from now.

MAYOR GOODMAN

Terrific. That's outstanding. All right. Thank you. As to Item 111, Councilman?

COUNCILMAN WEEKLY

Yes, Mayor, thank you. I'd like to move for approval, subject to staff conditions, as well as the amendments as far as the awnings that you asked for, as far as the – various type of issues that the Councilwoman pointed out relating to the roof and, what else did you ask for, Mayor? You all were asking for all kinds of stuff.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

MAYOR GOODMAN

Shutters.

COUNCILMAN WEEKLY

Shutters. Yeah, that too.

MAYOR GOODMAN

Shutters. I mean, why not?

COUNCILMAN WEEKLY

Anything – else? Anybody in the audience want to add anything? What you all want?

UNIDENTIFIED AUDIENCE MEMBER

Free hotdogs and lemonade.

COUNCILWOMAN McDONALD

Free hotdogs.

COUNCILMAN WEEKLY

Free hotdogs and lemonade, huh? All right. Your Honor, that's my motion, please.

MAYOR GOODMAN

All right. Vote on that, please.

COUNCILMAN WEEKLY

Thank you.

**CITY COUNCIL MINUTES
MEETING OF
November 20, 2002**

**COMBINED VERBATIM TRANSCRIPT: ITEM 108 – Z-0046-02,
ITEM 109 – U-0114-02, ITEM 110 –V-0072-02 AND ITEM 111 – Z-0046-02(1)
BONANZA REALTY, INC.**

MAYOR GOODMAN

Post, please. Motion carries. (Motion carried unanimously.) And, Mr. Curran, do you have some congratulations in order for your son? He just received a great award, did he not?

ATTORNEY BILL CURRAN

My son was named rookie of the year in the New England Small College Athletic Conference for his work as a running back. And I am proud and thank you for bringing it up.

MAYOR GOODMAN

And we're proud of you. Thank you.

(END OF DISCUSSION)

/vwd;ac

City of Las Vegas

Agenda Item No. 109

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SPECIAL USE PERMIT RELATED TO Z-0046-02 - PUBLIC HEARING - U-0114-02 - BONANZA REALTY, INC. - Request for a Special Use Permit FOR A MULTI-FAMILY SENIOR APARTMENT COMPLEX on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road (APN: 139-27-707-008, 139-27-810-001, 002, 003, 004, 139-27-712-046, 047, 048, 049, 050, and 051), R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial) Zones [PROPOSED: C-1 (Limited Commercial)], Ward 5 (Weekly). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

6
77

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

76
1

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Appeal letter and attachments from Kenneth K. Williams
5. Submitted after final agenda – Protest petition with 83 signatures with attachments from Kenneth K. Williams
6. Submitted after final agenda – Letter from Attorney Bill Curran requesting abeyance
7. Submitted at City Council – Notice of Neighborhood Meeting with attendance sheet submitted by Attorney Curran
8. Submitted after final agenda – Support letter and attachments from Virginia Grayson, Grayson Realty & Construction

MOTION:

WEEKLY – APPROVED subject to conditions – UNANIMOUS

NOTE: A Combined Verbatim Transcript of Item 108 [Z-0046-02], Item 109 [U-0114-02], Item 110 [V-0072-02] and Item 111 [Z-0046-02(1)] has been made a part of the Final Minutes under Item 108 [Z-0046-02].

**Agenda Item No. 109**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 109 – U-0114-02

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

APPEARANCES:

BILL CURRAN, Attorney, Curran and Parry, 300 South Fourth Street
ROBERT GENZER, Director, Planning and Development Department
MARGO WHEELER, Manager, Planning and Development Department
DENNIS RUSK, Project Engineer
FRED MARCUS, 622 Biltmore Drive
LILLIAN ESQUITE, 108 Verdy Lane
KEN WILLIAMS, 130 Palm Lane
CHARLES DOLAN, 801 North First Street
TODD FARLOW, 240 North 19th Street
LEE MANCH, Biltmore Drive

MAYOR GOODMAN declared the Public Hearing closed.

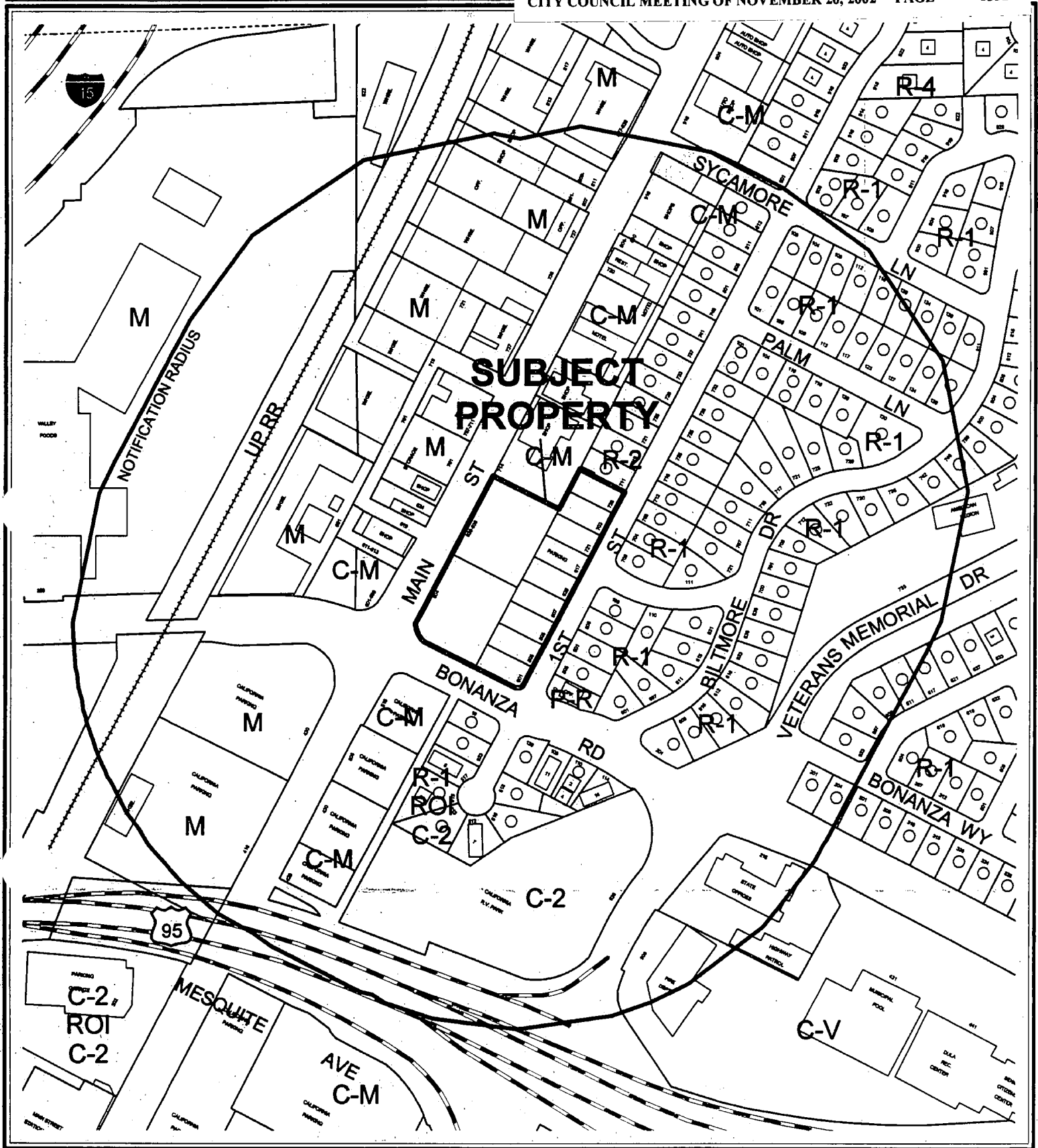
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4-46

CONDITIONS:

Planning and Development

1. This Special Use Permit shall expire in two years from the date of final approval, unless it is exercised or an Extension of Time is approved.
2. Conformance to the conditions of approval of Rezoning (Z-0046-02) and Site Development Plan Review [Z-0046-02(1)].
3. Residents shall be restricted to 55 years of age or older to the extent of applicable laws.



CASE: U-0114-02

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

109



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: U-0114-02 - BONANZA REALTY, INC.**

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. This Special Use Permit shall expire in two years from the date of final approval, unless it is exercised or an Extension of Time is approved.
2. Conformance to the conditions of approval of Rezoning (Z-0046-02) and Site Development Plan Review [Z-0046-02(1)].
3. Residents shall be restricted to 55 years of age or older to the extent of applicable laws.

U-0114-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for approval of a Special Use Permit for a mixed-use, 256 unit senior apartment complex on the site. The letter submitted by the applicant states that it would be an improvement to the area.

The applicant has submitted revised plans and an application for a Variance (V-0081-02) to allow lot coverage in excess of 50% as required by the zoning code.

BACKGROUND DATA

- 11/15/01 The Planning Commission accepted the withdrawal of a General Plan Amendment (GPA-0042-01) to TC (Tourist Commercial) on a portion of the subject site.
- 09/12/02 The Planning Commission held a Rezoning (Z-0046-02) to C-1 (Limited Commercial), a Special Use Permit (U-0114-02), and a Site Development Plan Review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site in abeyance to the October 24th Planning Commission meeting.
- 10/24/02 The Planning Commission recommended approval of a related Rezoning (Z-0046-02), Special Use Permit (U-0114-02), and Variance (V-0072-02) for a mixed use senior apartment complex on the subject site.
- 10/24/02 The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #14).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	C-M and M	Shops
South	C-2 and C-M	Single Family Residential and Parking
East	R-1	Single Family Residential
West	C-M and M	Shops

ANALYSIS & FINDINGS

ZONING

The applicant has proposed C-1 (Limited Commercial) zoning for this site, which is consistent with the City of Las Vegas Downtown Development Plan. The proposed Senior Apartment/Mixed-Use facility is permitted within the C-1 (Limited Commercial) zoning district, with the approval of a Special Use Permit.

U-0114-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

USE

The proposed senior apartment complex is compatible with the surrounding area.

FINDINGS

In order to approve a Special Use Permit application, per Las Vegas Municipal Code Section 19.18.060 the Planning Commission or City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

This site is within the redevelopment area of the City and can be conducted in a manner that is harmonious and compatible with the established land development pattern of the area.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The site is of adequate size and suitable for the proposed senior apartment complex.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

Bonanza Road and Main Street, both 100 foot right-of-way Primary Arterials are adequate to meet the needs of this development.

4. **"Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan."**

Approval of the request will assist the redevelopment plans of this area of the City.

PLANNING COMMISSION ACTION

The Planning Commission added a condition restricting residency for those 55 years of age or older. The applicant concurred.

NOTICES MAILED 128 by City Clerk

APPROVALS 76

PROTESTS 6



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: U-0114-02 APN: See Attached

Name of Property Owner: BONANZA REALTY INC

Name of Applicant: BONANZA REALTY INC.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

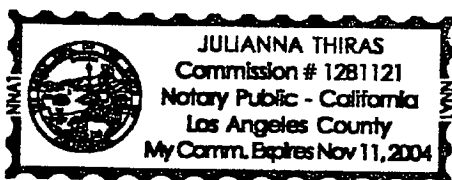
Signature of Property Owner/Authorized Agent:

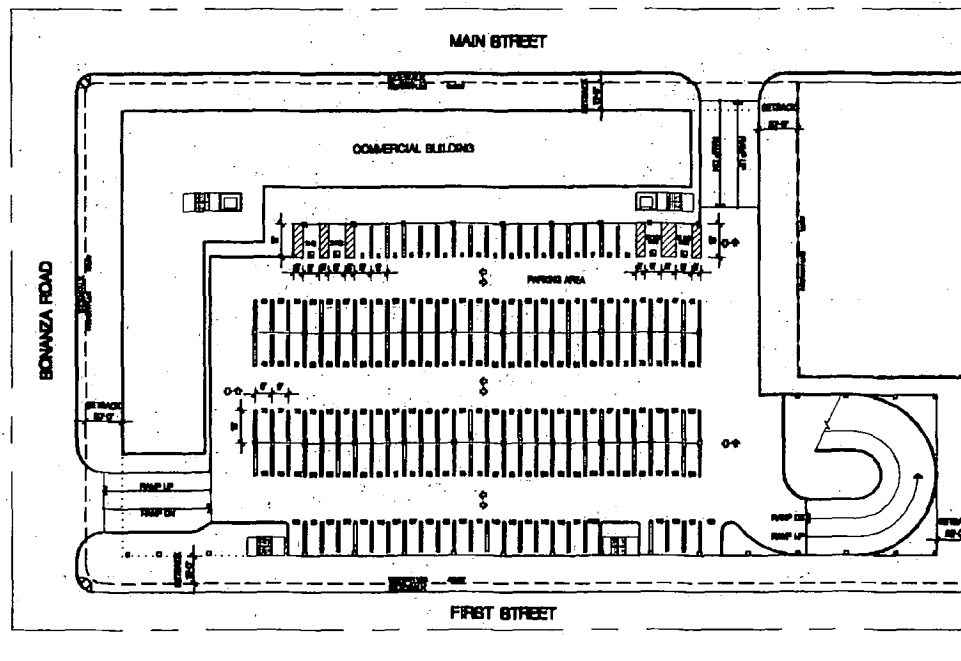
Print Name: MOSHE SCHAPP

Subscribed and sworn before me J. Salazar THIRAS

This 29 day of July, 2002

Notary Public in and for said County and State

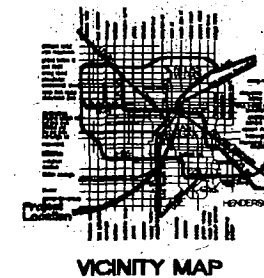




REVISED

PROJECT DATA:

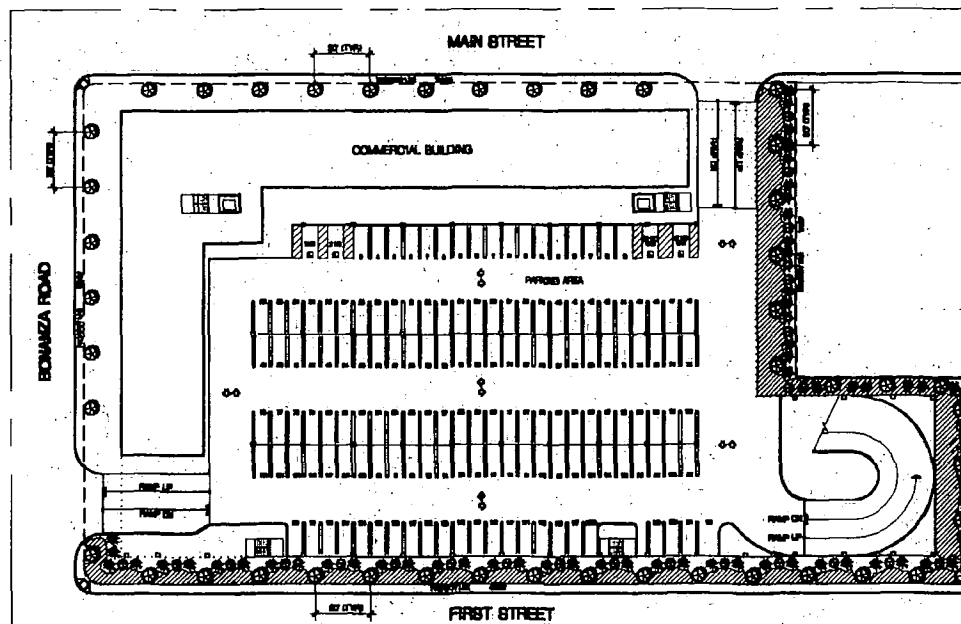
ADDRESS	MAIN ST. & BONANZA RD. / FIRST STREET
LOT CORNER	745
LOT AREA	2000 SF / 4.54 ACRES
TOTAL FLOOR AREA	2000 SF
PARKING PROVIDED	200 SPACES
RESIDENTIAL	200 UNITS / 200 - 200
MEDICAL	200 SF / 200 - 200
RETAIL	200 SF / 200 - 200
TOTAL PARKING PROVIDED	200 SPACES
PARKING PROVIDED	200 SPACES
STANDARD CAR 9' x 18'	200
COMPACT CAR 8' x 12'	200
OVERSIZED 12' x 24'	200
TOTAL PARKING PROVIDED	200 SPACES



STAFF

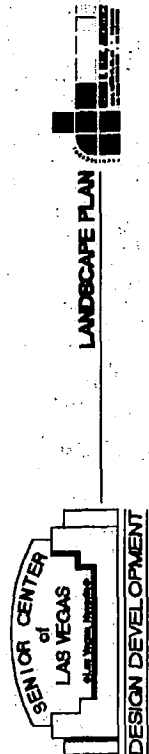
U-0114-02
10-24-02 PC

20' x 14' STAFF



LANDSCAPE LEGEND										
SYMBOL	NO.	COMMON NAME	SCIENTIFIC NAME	USE	FULL SIZE	REMARKS	QTY	LANDSCAPE	PLANTING	REMARKS
	40	PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
	20	PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
		PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
		PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
		PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
		PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
		PALE VERDE	ALBUQUERQUE PALM	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 20'-25'	24" DIA. STD. TRUNK	1	LEUCOPHYLLON	TEXAS BARKER	EVERGREEN SHrub
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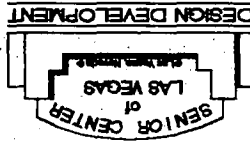
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U-0114-02
10-24-02 PC



SCALE - 1"=20'



BUILDING ELEVATIONS

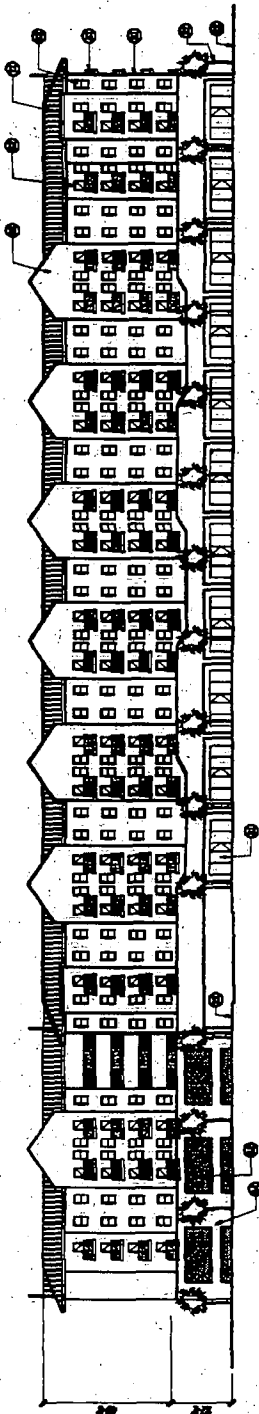


SCALE 1" = 20'-0"

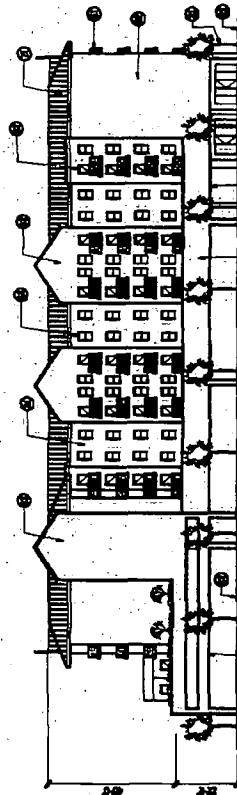
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 U-0114-02
 10-24-02 PC

ELEVATION NOTES

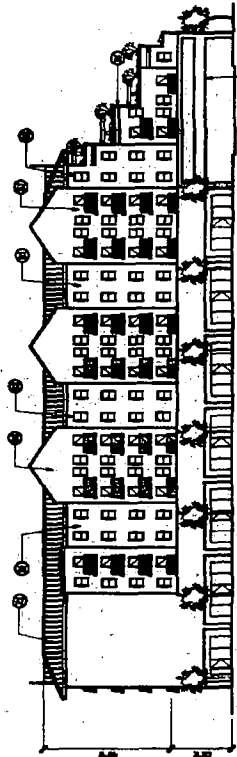
- 1. ROOFING
- 2. LANDSCAPE ELEMENTS
- 3. EXTERIOR
- 4. CORNER
- 5. CORNER SIGN - SEE STRUCTURAL
- 6. CORNER COLUMN - SEE STRUCTURAL
- 7. MATERIAL
- 8. GLASS ELEVATION
- 9. GLASS ELEVATION
- 10. TERRACE & BALCONY FLOORING
- 11. PREFORMED METAL ROOFING (SEE COOL ONLY)
- 12. CORNER AND WINDOW
- 13. ALUMINUM STONE FRONT
- 14. YELLOW METAL CORNER
- 15. SINGLE HUNG WINDOW
- 16. FIXED GLASS WINDOW
- 17. FINISHES
- 18. STUCCO - L&D
- 19. STUCCO - CHALKED
- 20. STUCCO - CHROME CHALK
- 21. STUCCO - COOL ONLY

WEST/ALAN STREET ELEVATION
SCALE 1" = 20'-0"

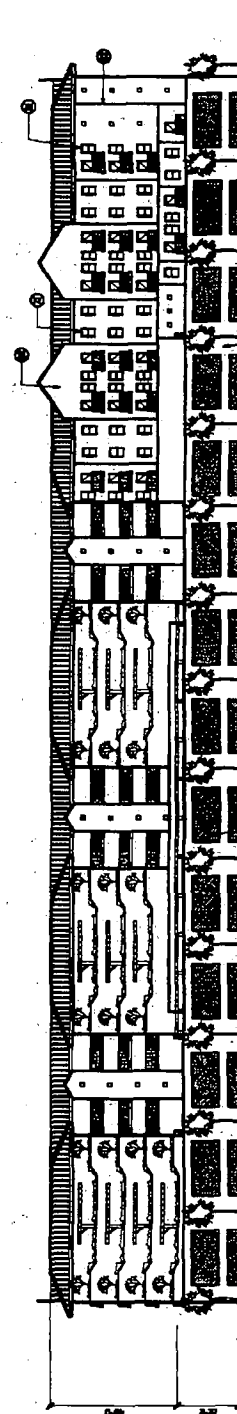
4

NORTH ELEVATION
SCALE 1" = 20'-0"

3

SOUTH/BONANZA ROAD ELEVATION
SCALE 1" = 20'-0"

2

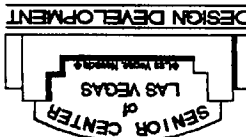
EAST/FIRST STREET ELEVATION
SCALE 1" = 20'-0"

1

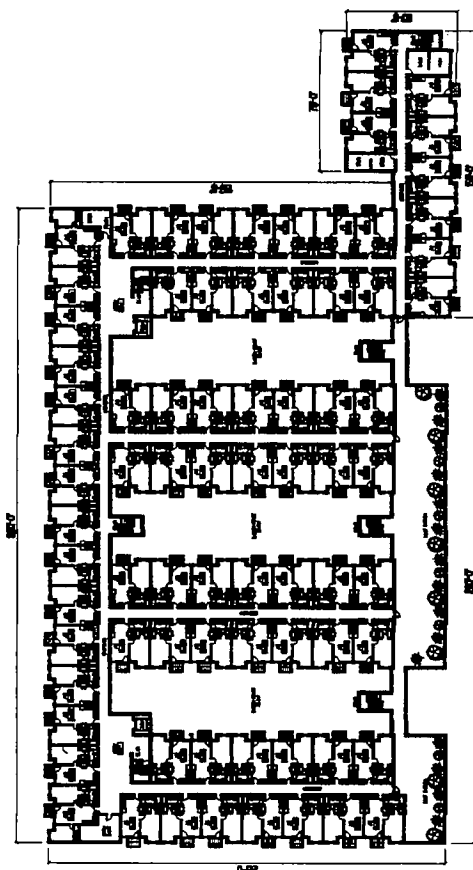
U-0114-02
STAFF 10-24-02 PC
REVISED



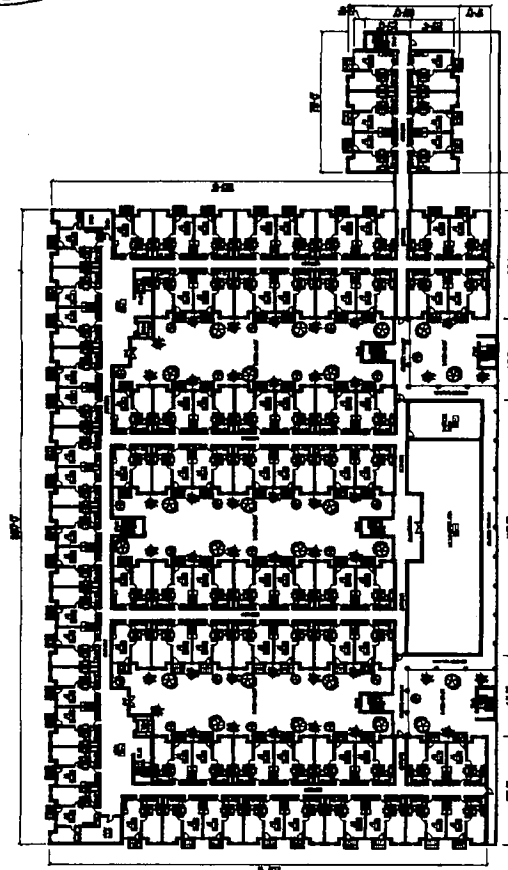
4TH, 5TH, 6TH + 7TH FLOOR PLAN



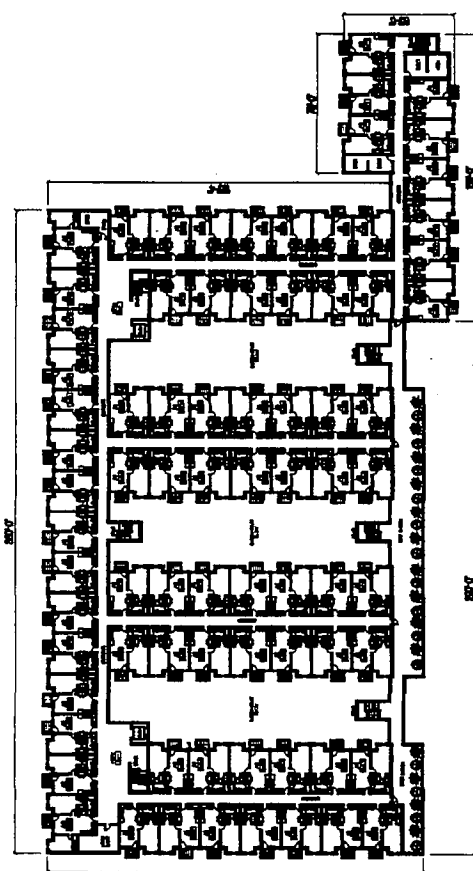
SCALE: 1" = 30'-0"



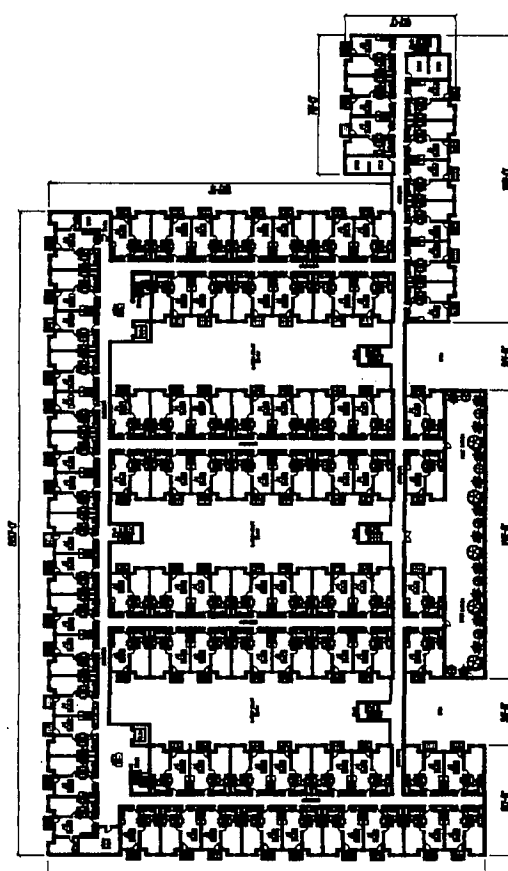
6TH FLOOR PLAN
U-0114-02



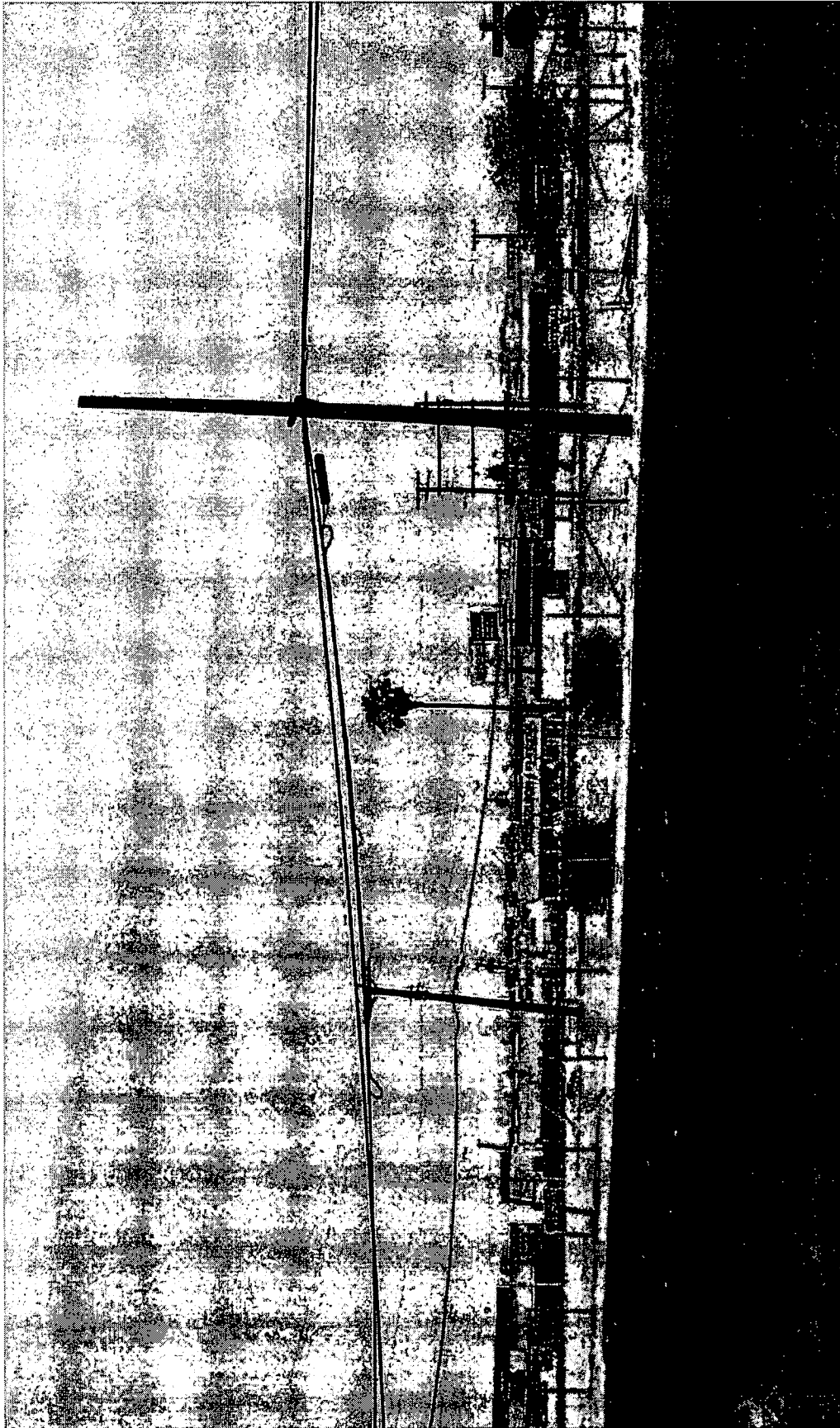
4TH FLOOR PLAN
U-0114-02



7TH FLOOR PLAN
U-0114-02



5TH FLOOR PLAN
U-0114-02



U-0114-02 - BONANZA REALTY, INC.
NORTHEAST CORNER OF MAIN STREET AND BONANZA ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

GRAYSON REALTY
AND CONSTRUCTION
STATE LIC. #364241

VIRGINIA GRAYSON
8 CROMWELL CT
RANCHO MIRAGE, CA 92270

Eliza Beck Stensrud and Clayton Stensrud - Counselors
GRAYSON REALTY
OFFICE - GREEN ROOM
2230 AMADO EAST
PALM SPRINGS, CA 92262
Calif. 1-760-323-4719
VIRGINIA M. GRAYSON

Construction

the Grayson realty.

Submitted after final agenda

Date 11/18/02 Item #109

434 South Canon Drive
Suite 406
Beverly Hills
California 90012
Phone: 213 / 552-1957
Post Office Box 9027
South Lake Tahoe
California 95731
Phone: 916 / 544-2276

2002 NOV 18 A 10:51

RECEIVED
CITY CLERK

Support

CITY COUNCIL MEETING OF
NOVEMBER 20, 2002 PAGE

1342

Re-Request for approval on
special use permit to
build a multi-family senior
complex on Main St, Las Vegas -

Dear Barbara Jo Ronemus,
As per request by you
voice our opinion on
the proposed Senior Apt.
Complex, practically next
door to our property at 104 Palm Lane - St. Las Vegas.
Then, yes - we agree, also - we will visit the
Bonanza Realty - to look at the plans to see if
they are with, our approval, as we cannot
make a firm commitment, on their proposed
building plans, without looking at their blue-
prints, which should include (Earthquake, foot
proof foundation), flood control, seniors
security alarms, park-like areas, outside
with outside park like sitting areas and
a pool, and double constructed bldgs. That won't
collapse - with tremors, which are necessary to
conform with City Permit, to build, as the City are
responsible for proper bldg. codes, to protect
seniors, who depend on the City, for fire hazards, also
Thank you, Eliza Beck

NOTICE OF PUBLIC HEARING

SPECIAL USE PERMIT

STENSRUD CLAYTON & ELIZABETH
%GRAYSON REALTY
%OFFICE-GREEN RM
2230 AMADO EAST
PALM SPRINGS CA 92262-6512

MEETING: CITY COUNCIL
DATE: NOVEMBER 20, 2002
TIME: 1:00 P.M.
LOCATION: CITY COUNCIL CHAMBERS
400 STEWART AVENUE
LAS VEGAS, NEVADA

U-0114-02

REQUEST BY BONANZA REALTY, INC. FOR A SPECIAL USE PERMIT FOR A MULTI-FAMILY SENIOR APARTMENT COMPLEX ON 2.87 ACRES ADJACENT TO THE NORTHEAST CORNER OF MAIN STREET AND BONANZA ROAD (APN: 139-27-707-008, 139-27-810-001, 002, 003, 004, 139-27-712-046, 047, 048, 049, 050, AND 051), R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL) ZONES [PROPOSED: C-1 (LIMITED COMMERCIAL)], WARD 5 (WEEKLY).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF THE SOUTH HALF (S½) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

Any and all interested persons may appear and be heard at said meeting, or may, prior thereto, file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall, 400 Stewart Avenue, Las Vegas, Nevada, 89101. For further information, please call (702) 229-6301 (TDD 386-9108) <http://www.ci.las-vegas.nv.us>.



SEE LOCATION MAP ON REVERSE SIDE

O.K. By
Elizabeth Stensrud
Clayton Stensrud as
BARBARA JO RENEMUS
CITY CLERK

*per City approval and
Planning Dept. Codes on
Building, for safety - to*

*Depend on protect seniors who
City Planning Dept. for safety
measures.*

City of Las Vegas

Agenda Item No. 110

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

VARIANCE RELATED TO Z-0046-02 AND U-0114-02 - PUBLIC HEARING - V-0072-02 - BONANZA REALTY, INC. - Request for a Variance TO ALLOW LOT COVERAGE IN EXCESS OF 50% FOR A SENIOR APARTMENT COMPLEX on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road (APN: 139-27-707-008, 139-27-810-001, 002, 003, 004, and 139-27-712-046, 047, 048, 049, 050, and 051), R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial) Zone [PROPOSED: C-1 (Limited Commercial)], Ward 5 (Weekly). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

6

City Council Meeting

77

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

76

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Appeal letter and attachments from Kenneth K. Williams
5. Submitted after final agenda – Protest petition with 83 signatures with attachments from Kenneth K. Williams
6. Submitted after final agenda – Letter from Attorney Bill Curran requesting abeyance
7. Submitted at City Council – Notice of Neighborhood Meeting with attendance sheet submitted by Attorney Curran

MOTION:

WEEKLY – APPROVED subject to conditions – UNANIMOUS

NOTE: A Combined Verbatim Transcript of Item 108 [Z-0046-02], Item 109 [U-0114-02], Item 110 [V-0072-02] and Item 111 [Z-0046-02(1)] has been made a part of the Final Minutes under Item 108 [Z-0046-02].

**Agenda Item No. 110**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 110 – V-0072-02

MINUTES:

MAYOR GOODMAN declared the Public Hearing open.

APPEARANCES:

BILL CURRAN, Attorney, Curran and Parry, 300 South Fourth Street
ROBERT GENZER, Director, Planning and Development Department
MARGO WHEELER, Manager, Planning and Development Department
DENNIS RUSK, Project Engineer
FRED MARCUS, 622 Biltmore Drive
LILLIAN ESQUITE, 108 Verdy Lane
KEN WILLIAMS, 130 Palm Lane
CHARLES DOLAN, 801 North First Street
TODD FARLOW, 240 North 19th Street
LEE MANCH, Biltmore Drive

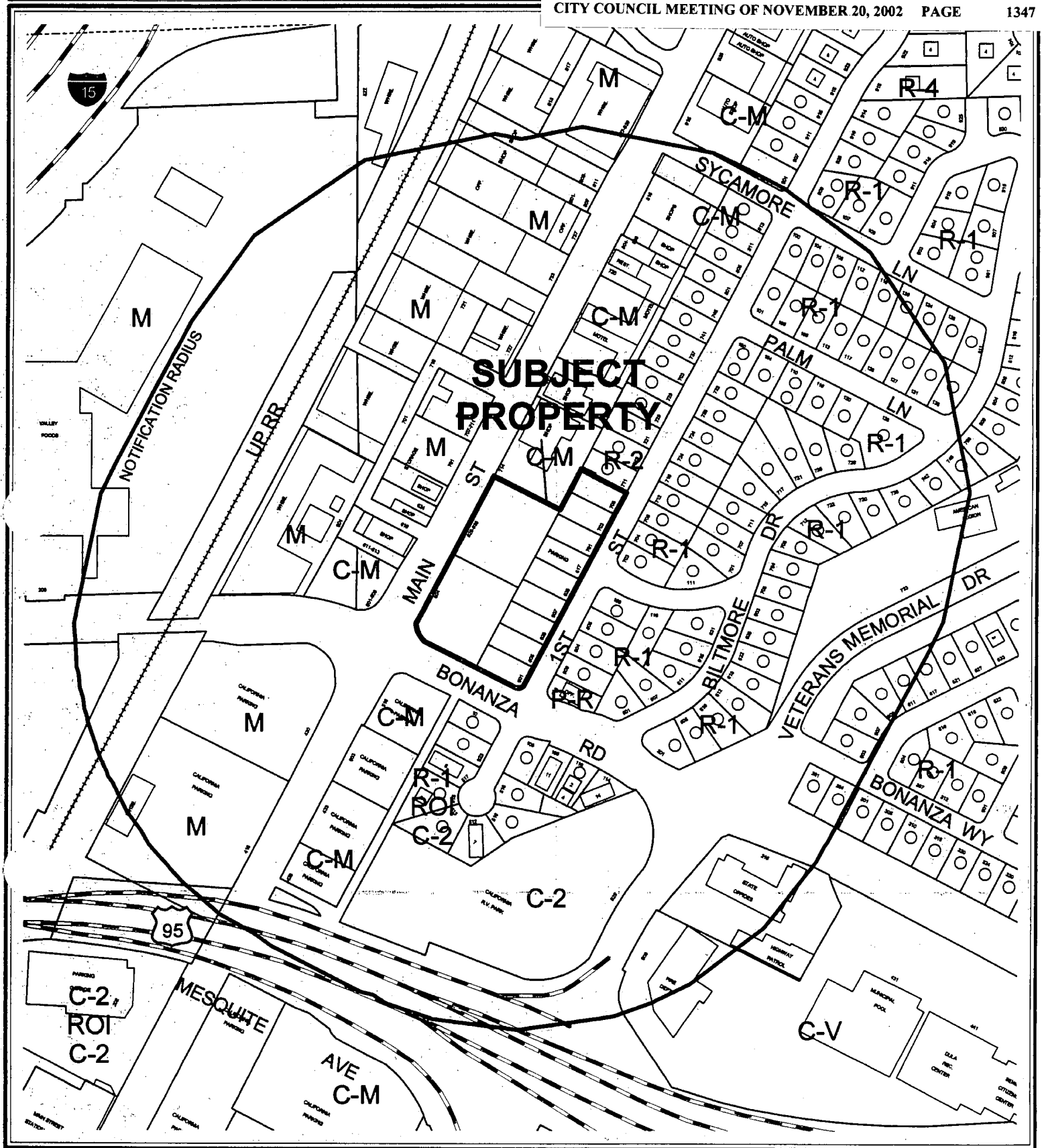
MAYOR GOODMAN declared the Public Hearing closed.

(2:34 – 3:22)

4-46

CONDITIONS:

1. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0046-02), Special Use Permit (U-0114-02) and Site Development Plan Review [Z-0046-02(1)].
2. This Variance shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.



CASE: V-0072-02

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL) 110



*City of Las Vegas***AGENDA MEMO**

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: V-0072-02 - BONANZA REALTY, INC.

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

1. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0046-02), Special Use Permit (U-0114-02) and Site Development Plan Review [Z-0046-02(1)].
2. This Variance shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.

V-0072-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

The applicant is requesting a Variance to allow lot coverage in excess of the 50% for the purpose of constructing a multi-family senior apartment complex on 2.87 acres located near the northeast corner of Main Street and Bonanza Road. The applicant's justification letter states that the project will consist of a 326-unit senior apartment complex, with a two-story parking structure and a four-story apartment building. The letter further states that it falls within the City's redevelopment area and will be an improvement to the neighborhood.

BACKGROUND DATA

- 11/15/01 The Planning Commission accepted the withdrawal of a General Plan Amendment (GPA-0042-01) to TC (Tourist Commercial) on a portion of the subject site.
- 09/12/02 The Planning Commission held a Rezoning (Z-0046-02) to C-1 (Limited Commercial), a Special Use Permit (U-0114-02), and a Site Development Plan Review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site in abeyance to the October 24th Planning Commission meeting.
- 10/24/02 The Planning Commission recommended approval of a related Rezoning (Z-0046-02), Special Use Permit (U-0114-02), and Site Development Plan Review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site.
- 10/24/02 The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #15).

DETAILS OF APPLICATION REQUEST

Site Area:	125,017	Square Feet
Total Floor Area:	514,489	Square Feet
Parking Required:	507	Spaces
Parking Provided:	552	Spaces
Lot Coverage Proposed:	74	Percent
Lot Coverage Allowed:	50	Percent

The proposed mixed-use senior apartment complex includes ground level commercial, three levels of parking garage, and four levels of senior apartments.

V-0072-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	C-M and M	Shops
South	C-2 and C-M	Single Family Residential and Parking
East	R-1	Single Family Residential
West	C-M and M	Shops

ANALYSIS & FINDINGS

Section 19.18.070B of the Las Vegas Municipal Code states the following:

“B. Scope and Limitations

Pursuant to NRS Chapter 278 and this subchapter, the Planning Commission, a hearings officer who has been appointed for that purpose and the City Council have the authority to act upon Variance applications as set forth in this subchapter and as they deem appropriate. . . . A Variance shall not be granted in order to:

1. Permit a use in a zoning district in which the use is not allowed;
2. Vary any minimum spacing requirement between uses;
3. Relieve a hardship which is solely personal, self-created or financial in nature.”

Section 19.18.070.L. of the Las Vegas Municipal Code states:

“L. Determinations

1. In order to recommend approval of, or to approve a Variance application, the Planning Commission, hearings officer or City Council must determine that the Variance is warranted both under State law and this subchapter. The minimum State law standards are set forth in Subsection 2 below.
2. Where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property ... or by reason of exceptional topographic conditions or other extraordinary and exceptional situation or condition... the strict application of any zoning regulation would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardships upon, the owner of the property, a variance from that strict application may be granted so as to relieve the difficulties or hardship, if the relief may be granted without substantial detriment to the public good, without substantial impairment of affected natural resources and without substantially impairing the intent and purpose of any ordinance or resolution.”

V-0072-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

The subject property is located within the Las Vegas Redevelopment Plan, but just outside the boundaries of the Downtown Overlay District, where relief from the automatic application of certain development standards is available, in order to encourage the development of a mixed-use environment. The proposed mixed-use senior apartment complex includes all of those components and should be also be allowed relief from the lot coverage standard of 50%. The proposed project has the potential to spur further redevelopment of the surrounding neighborhood and the potential to provide a gateway from the Downtown Overlay District and Downtown North.

PLANNING COMMISSION ACTION

The Planning Commission and staff found the long, narrow lot to be developed with a structure having significant building step-back on the eastern side provided grounds for the variance.

NOTICES MAILED 123 by City Clerk

APPROVALS 76

PROTESTS 6



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: V-0072-02 APN: _____Name of Property Owner: Bonanza Realty Inc.Name of Applicant: Sam Oued

To the best of your knowledge, does the Mayor or any member of the City Council have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

____ Yes

X No

If yes, please indicate the member of the City Council who is involved and list the name(s) of the person or persons with whom the Mayor or City Council member holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

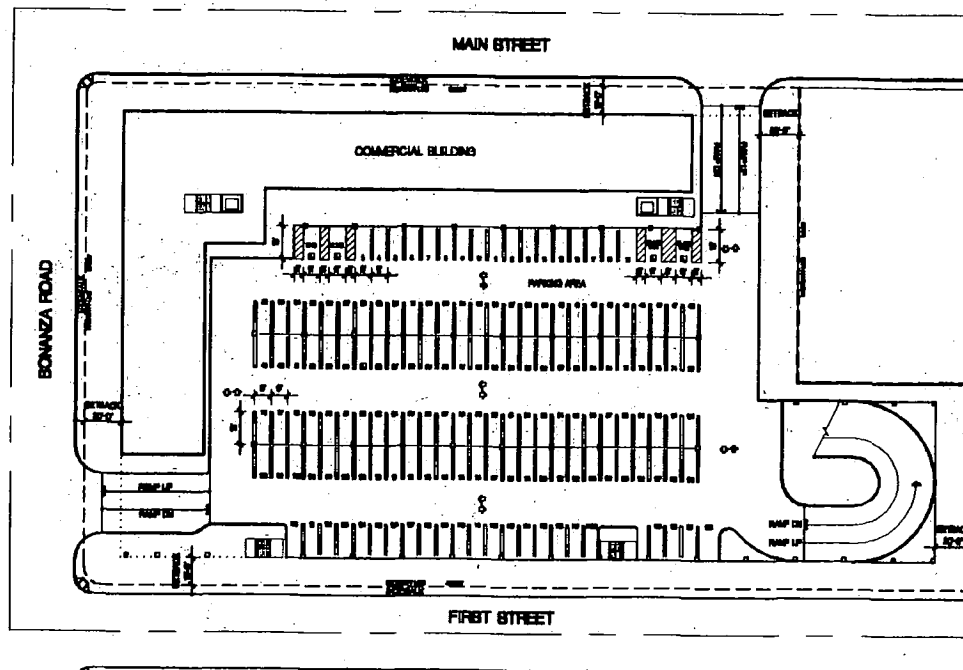
Council Member: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: _____

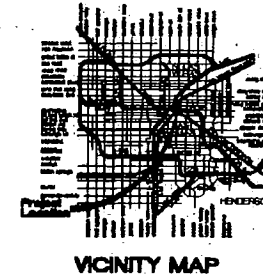
☒ Subscribed and sworn before meThis See Attachment day of _____, 20_______
Notary Public in and for said County and State



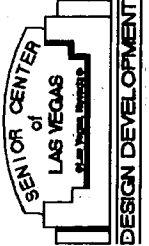
PROJECT DATA:

ADDRESS	MAIN ST & BONANZA RD / FIRST STREET
LOT COVERAGE	70%
LOT AREA	2000 SF / 40' X 50' LOT AREA
TOTAL FLOOR AREA	2000 SF
PARKING PROPOSED	200 SPACES / 10' X 20' - 200
PERCENTAGE	10% / 200 - 200
RETAIL	2000 SF / 2000 - 2000
TOTAL PARKING PROPOSED	200 SPACES

PARKING PROPOSED	200
STANDARD CAR 9' X 18'	200
COMPACT CAR 9' X 14'	200
UNDEVELOPED 9' X 14'	200
TOTAL PARKING PROPOSED	200 SPACES



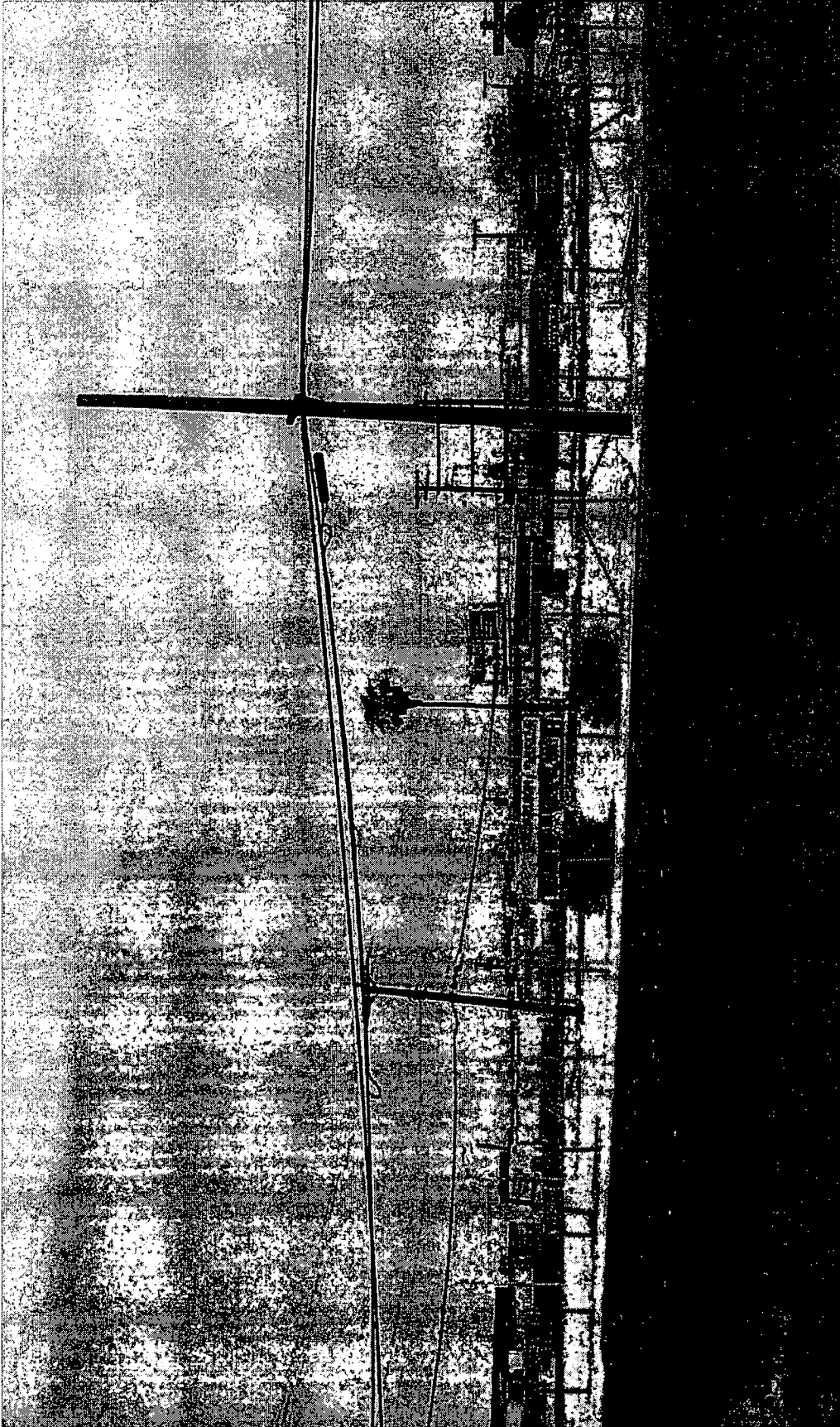
ARCHITECTURAL SITE PLAN



DESIGN DEVELOPMENT

STAFF

V-0072-02
10-24-02 PC



V-0072-02 - BONANZA REALTY, INC.
NORTHEAST CORNER OF MAIN STREET AND BONANZA ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

City of Las Vegas

Agenda Item No. 111

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

SITE DEVELOPMENT PLAN REVIEW RELATED TO Z-0046-02, U-0114-02 AND V-0072-02 - PUBLIC HEARING - **Z-0046-02(1) - BONANZA REALTY, INC.** - Request for a Site Development Plan Review and a Reduction of the on-site Landscape Requirements FOR A 326-UNIT MULTI-FAMILY SENIOR APARTMENT COMPLEX WITH 20,000 SQUARE FEET OF COMMERCIAL DEVELOPMENT on 2.87 acres adjacent to the northeast corner of Main Street and Bonanza Road (APN: 139-27-707-008, 139-27-810-001, 002, 003, 004, 139-27-712-046, 047, 048, 049, 050 and 051), R-2 (Medium-Low Density Residential) and C-M (Commercial/Industrial) Zones, [PROPOSED: C-1 (Limited Commercial)], Ward 5 (Weekly). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

6

City Council Meeting

77

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

76

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Appeal letter and attachments from Kenneth K. Williams
5. Submitted after final agenda – Protest petition with 83 signatures with attachments from Kenneth K. Williams
6. Submitted after final agenda – Letter from Attorney Bill Curran requesting abeyance
7. Submitted at City Council – Notice of Neighborhood Meeting with attendance sheet submitted by Attorney Curran

MOTION:

WEEKLY – APPROVED subject to conditions and amending Condition #6 to read:

6. The elevations shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation, *including awnings and shutters on the Main Street side of the building.*

– UNANIMOUS

**Agenda Item No. 111**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002

Planning & Development Department

Item 111 – Z-0046-02(1)

MINUTES – Continued:

NOTE: A Combined Verbatim Transcript of Item 108 [Z-0046-02], Item 109 [U-0114-02], Item 110 [V-0072-02] and Item 111 [Z-0046-02(1)] has been made a part of the Final Minutes under Item 108 [Z-0046-02].

MAYOR GOODMAN declared the Public Hearing open.

APPEARANCES:

BILL CURRAN, Attorney, Curran and Parry, 300 South Fourth Street

ROBERT GENZER, Director, Planning and Development Department

MARGO WHEELER, Manager, Planning and Development Department

DENNIS RUSK, Project Engineer

FRED MARCUS, 622 Biltmore Drive

LILLIAN ESQUITE, 108 Verdy Lane

KEN WILLIAMS, 130 Palm Lane

CHARLES DOLAN, 801 North First Street

TODD FARLOW, 240 North 19th Street

LEE MANCH, Biltmore Drive

MAYOR GOODMAN declared the Public Hearing closed.

(2:34 – 3:22)

4-46

CONDITIONS:

Planning and Development

1. A Rezoning (Z-0046-02) to a C-1 (Limited Commercial) Zoning District, a Variance (V-0072-02) for lot coverage, and a Special Use Permit (U-0114-02) for Multi-Family approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
4. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.

**Agenda Item No. 111**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002

Planning & Development Department

Item 111 – Z-0046-02(1)

CONDITIONS – Continued:

5. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 20 feet on-center along the Main Street and Bonanza Road frontages, and minimum 24-inch box trees planted a maximum of 20 feet on-center and a minimum of four five-gallon shrubs for each tree within provided planters along the east and north property lines.
6. The elevations shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation.
7. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. [Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.]
8. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. Parking lot lighting standards shall extend no more than 10 feet in height from the parking garage floor and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
11. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
12. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19A.12.050.

City of Las Vegas

Agenda Item No. 111

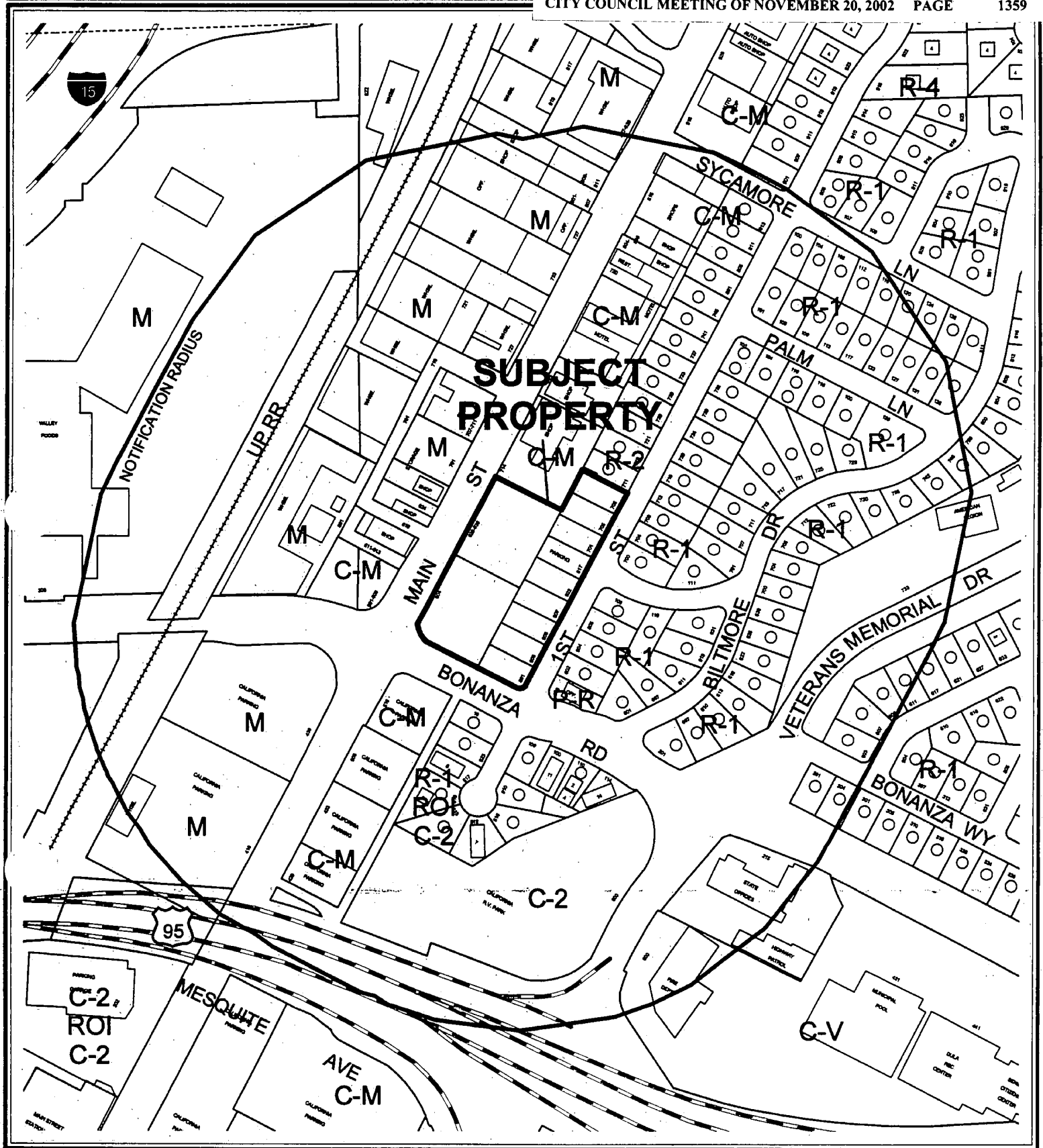
CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 111 – Z-0046-02(1)

CONDITIONS – Continued:

13. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
15. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

16. Site development to comply with all applicable conditions of approval for Z-46-02 and all other subsequent site-related actions.



CASE: Z-0046-02(1)

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL) AND C-M (COMMERCIAL/INDUSTRIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

0 200 400 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: Z-0046-02(1) - BONANZA REALTY, INC.

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Rezoning (Z-0046-02) to a C-1 (Limited Commercial) Zoning District, a Variance (V-0072-02) for lot coverage, and a Special Use Permit (U-0114-02) for Multi-Family approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
4. Prior to the submittal of a building permit, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
5. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 20 feet on-center along the Main Street and Bonanza Road frontages, and minimum 24-inch box trees planted a maximum of 20 feet on-center and a minimum of four five-gallon shrubs for each tree within provided planters along the east and north property lines.
6. The elevations shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, with additional architectural features to enhance façade articulation.
7. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner. [Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.]
8. A landscaping plan must be submitted prior to or at the same time application is made for a building permit.

Z-0046-02(1) - Conditions Page Two
November 20, 2002 City Council Meeting

9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. Parking lot lighting standards shall extend no more than 10 feet in height from the parking garage floor and shall utilize 'shoe-box' fixtures and downward-directed lights. Wallpack lighting shall utilize 'shoe-box' fixtures and downward-directed lights on the proposed building. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
11. A Master Sign Plan shall be submitted for approval of the Planning Commission or City Council prior to the issuance of a Certificate of Occupancy for any building on the site.
12. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19A.12.050.
13. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
15. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

16. Site development to comply with all applicable conditions of approval for Z-46-02 and all other subsequent site-related actions.

Z-0046-02(1) - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for approval of a Site Development Plan and a reduction of the on-site landscaping requirement for a 326 unit multi-family senior apartment complex, 20,216 square feet of commercial area, and a two-story parking garage on a 2.87 acre parcel located on the northeast corner of Main Street and Bonanza Road.

The applicant has revised the elevations and the floor plans and has also submitted an application for a Variance (V-0081-02) to allow lot coverage in excess of 50% as required by the zoning code.

BACKGROUND DATA

- 11/15/01 The Planning Commission accepted the withdrawal of a General Plan Amendment (GPA-0042-01) to TC (Tourist Commercial) on a portion of the subject site.

- 08/23/02 The applicant met with staff for a second time to review the details of the proposed project. Other than the maximum Lot Coverage, all development standards required by the zoning code are met. Staff suggested the applicant to introduce the project to the area residents at a public meeting.

- 09/12/02 The Planning Commission held a Rezoning (Z-0046-02) to C-1 (Limited Commercial), a Special Use Permit (U-0114-02), and a Site Development Plan Review [Z-0046-02(1)] for a mixed use senior apartment complex on the subject site in abeyance to the October 24th Planning Commission meeting.

- 10/16/02 The applicant sponsored a neighborhood meeting at the Las Vegas Senior Citizen Center located at 451 East Bonanza. About eight area residents attended the meeting. The project architect and an applicant representative presented the proposed project and answered questions. Major topics of discussion included height, parking, landscape, color and financing. The majority of the participants talked in support of the project with one person objecting to the development on the basis of the mass of the project in relation to the existing single-family neighborhood to the east.

- 10/24/02 The Planning Commission recommended approval of a related Rezoning (Z-0046-02), Special Use Permit (U-0114-02), and Variance (V-0072-02) for a mixed use senior apartment complex on the subject site.

- 10/24/02 The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #16).

Z-0046-02(1) - Staff Report Page Two
November 20, 2002 City Council Meeting

DETAILS OF APPLICATION REQUEST

Parcel Size:	2.87	Acres
Building Area:	514,489	Square Feet
Commercial Area:	20,000	Square Feet
Apartment Area:	207,000	Square Feet
Number of Apartments:	326	Units (318 One-Bedroom & 8 Two-Bedroom)
Parking Required:	507	Spaces
Parking Provided:	552	Spaces
Building Height:	68.2	Feet

Access to the site is via 27-foot wide driveways from Main Street and Bonanza Road. The commercial portion of the project is located along the Main Street and Bonanza Road frontages, setback 15 and 20 feet respectively from the right-of-way. Parking area is provided on the ground floor behind the commercial portion, and then on the second and third levels. Levels four through seven are then devoted to apartment units.

Twenty four inch box trees are provided thirty foot on center along the Main Street and Bonanza Road frontages. Full perimeter landscaping is provided along the First Street frontage within a 15 foot wide landscape planter, and along the north property line in a 10 to 15 foot wide landscape planter. Other on-site landscaping materials are provided in landscaped terraces along the east elevation.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	C-M and M	Shops
South	C-2 and C-M	Single Family Residential and Parking
East	R-1	Single Family Residential
West	C-M and M	Shops

ANALYSIS & FINDINGS

ZONING

The applicant has proposed C-1 (Limited Commercial) zoning for this site, which is consistent with the City of Las Vegas Downtown Development Plan. The proposed Senior Apartment/Mixed-Use facility is permitted within the C-1 (Limited Commercial) zoning district, with the approval of a Special Use Permit.

Z-0046-02(1) - Staff Report Page Three
November 20, 2002 City Council Meeting

SITE PLAN

The proposed Senior Apartment/Mixed Use facility complies with all of the city standards, with the exception of lot coverage. The applicant has requested a Variance (V-0072-02) to allow lot coverage in excess of 50%, and staff has recommended approval of this request.

LANDSCAPE PLAN

A commercially zoned property is required to provide minimum 15 foot wide landscaped planter areas along the street frontages and eight foot wide planters along the other property lines. This proposal does not meet this standard of the Code in regards to the landscaping provided along Main Street and Bonanza Road. Staff recommends that the landscape materials be revised to indicate twenty four inch box shade trees located twenty foot on center along the Main Street and Bonanza Road frontages, and to indicate twenty four inch box Mondel and Aleppo Pines along the east and north property lines twenty foot on center.

ELEVATIONS

The revised elevations as submitted satisfy several issues staff has with its former design, however the following blank expanses of wall need façade articulations, windows, or other architectural elements to create a coherent design as is required by the Zoning Code (Title 19): The west corner of the south elevation, the west and east corners of the north elevation, and the numerous gables on all four elevations.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission or City Council to affirm all of the following:

1. **"The proposed development is compatible with adjacent development and development in the area."**

The proposed Senior Apartments/Mixed Use facility is compatible with and will promote positive redevelopment within the surrounding area.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

The proposed development is consistent with the General Plan, but not with other city standards in regards to landscaping, architectural character, and lot coverage requirements. The applicant has requested a Variance (V-0072-02) for lot coverage and a reduction of perimeter landscaping. The architectural character issue should be adequately addressed by staff's recommended conditions.

Z-0046-02(1) - Staff Report Page Four
November 20, 2002 City Council Meeting

3. "Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."

Bonanza Road and Main Street, both 100 foot right-of-way Primary Arterials are adequate to meet the needs of this development.

4. "Building and landscape materials are appropriate for the area and for the City."

All building and landscape materials proposed in conjunction with the proposed Senior Apartment/Mixed Use complex are appropriate for the area and for the City, however staff recommends increased amounts of landscaping materials be required to be more in conformance with city standards.

5. "Appropriate measures taken to secure and protect the public health, safety and general welfare."

The proposed development will be subject to inspections for Certificate of Occupancy, and therefore the development will not compromise the public health, safety or welfare.

NOTICES MAILED 126 by Planning Department

APPROVALS 76

PROTESTS 6



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0046-02(1) APN: see att-40c1

Name of Property Owner: BONANZA REALTY INC

Name of Applicant: BONANZA REALTY INC.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

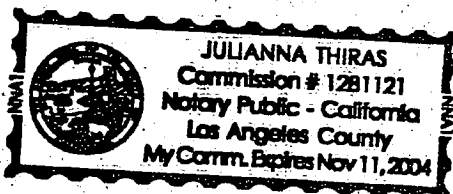
Signature of Property Owner/Authorized Agent:

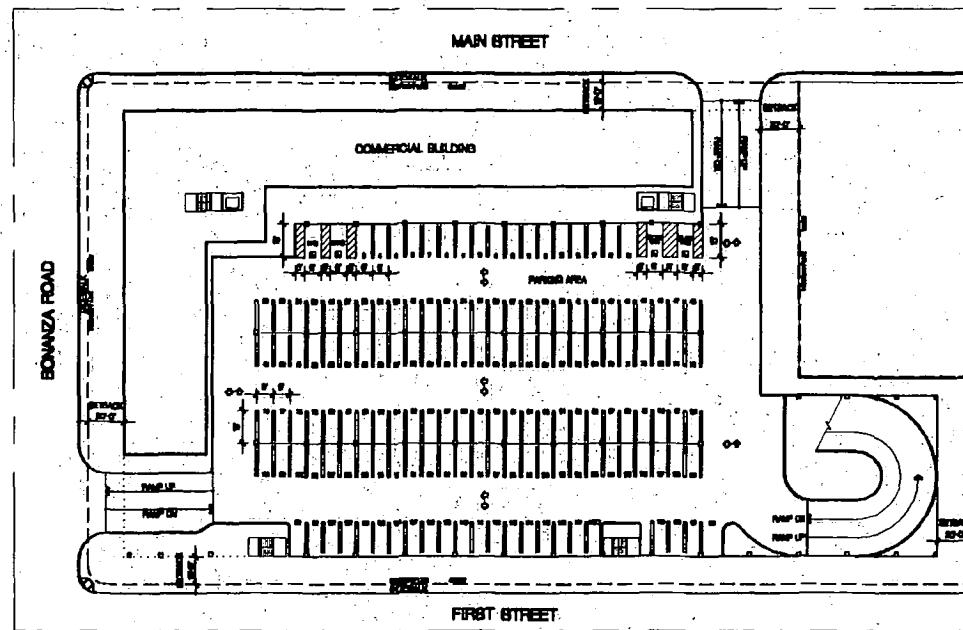
Print Name: MOSHE SCHAPP

Subscribed and sworn before me *Juliana THIRAS*

This 29 day of July, 2002

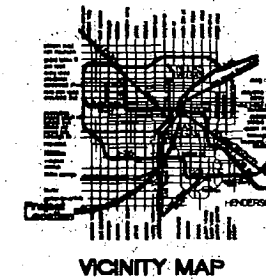
Notary Public in and for said County and State



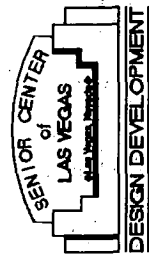


PROJECT DATA:

ADDRESS	MAIN ST & BONANZA RD / FIRST STREET
LOT CORNER	700
LOT AREA	TRUCK STOP / 40' x 60' ACRES
TOTAL FLOOR AREA	60,000 SF
PERIOD REQUIREMENTS	700' LATER + 50' + 50'
PERCENTAGE	CLUST + 50' + 50'
MEDIA	CLUST + 50' + 50'
REDA	CLUST + 50' + 50'
TOTAL PARKING REQUIRED	400 SPACES
PARKING PROVIDED	400
STANDARD DATA 10' x 10'	10
STANDARD DATA 10' x 10'	10
STANDARD DATA 10' x 10'	10
TOTAL PARKING PROVIDED	400 SPACES



ARCHITECTURAL SITE PLAN



DESIGN DEVELOPMENT

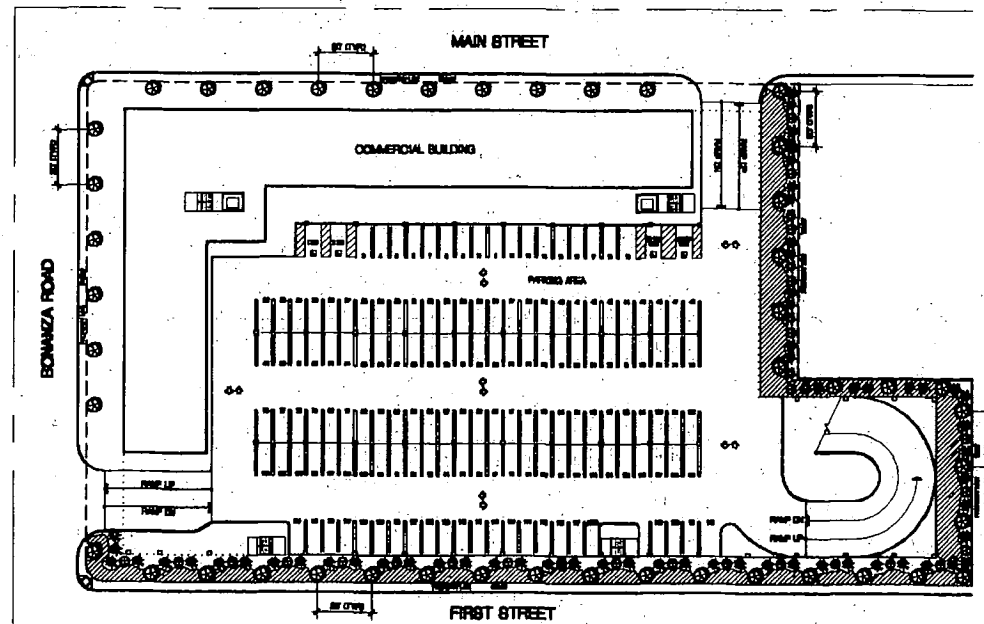


STAFF

REVISED

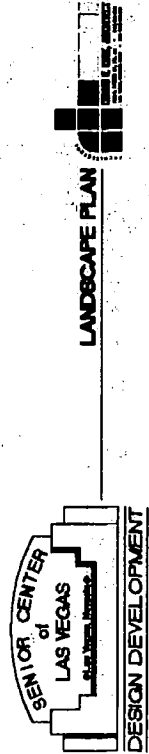
U-0114-02
10-24-02 PC

SCALE 1/8" = 1'-0"



LANDSCAPE LEGEND													
SYMBOL	NO.	COMMON NAME	COMMON NAME	USE	PLANT SIZE	REMARKS							
	45	PALE	ALBERTA PINE	EVERGREEN TREE	LARGE OVER 40'	24" DIA. STD. TRUNK		O	LEUCOPHYLLUM	TRUNK BRANCH	EVERGREEN TREE	40'	5 GALON
	46	PALE	MODEL PINE	EVERGREEN TREE	LARGE OVER 40' X HEIGHT 80'-10'	24" DIA. STD. TRUNK		AB	BACKBUSH	DECIDUOUS BRUSH	EVERGREEN TREE	30'	5 GALON
		GRASS	GRASS	GRASS COVER				O	SHRUBS	SCAR SHRUBS	EVERGREEN TREE	40'	5 GALON

STAFF
REVISED
U-0114-02
10-24-02 PC



AS - 1 STAGE

STAFF
REVISED
U-0114-02
10-24-02 PC

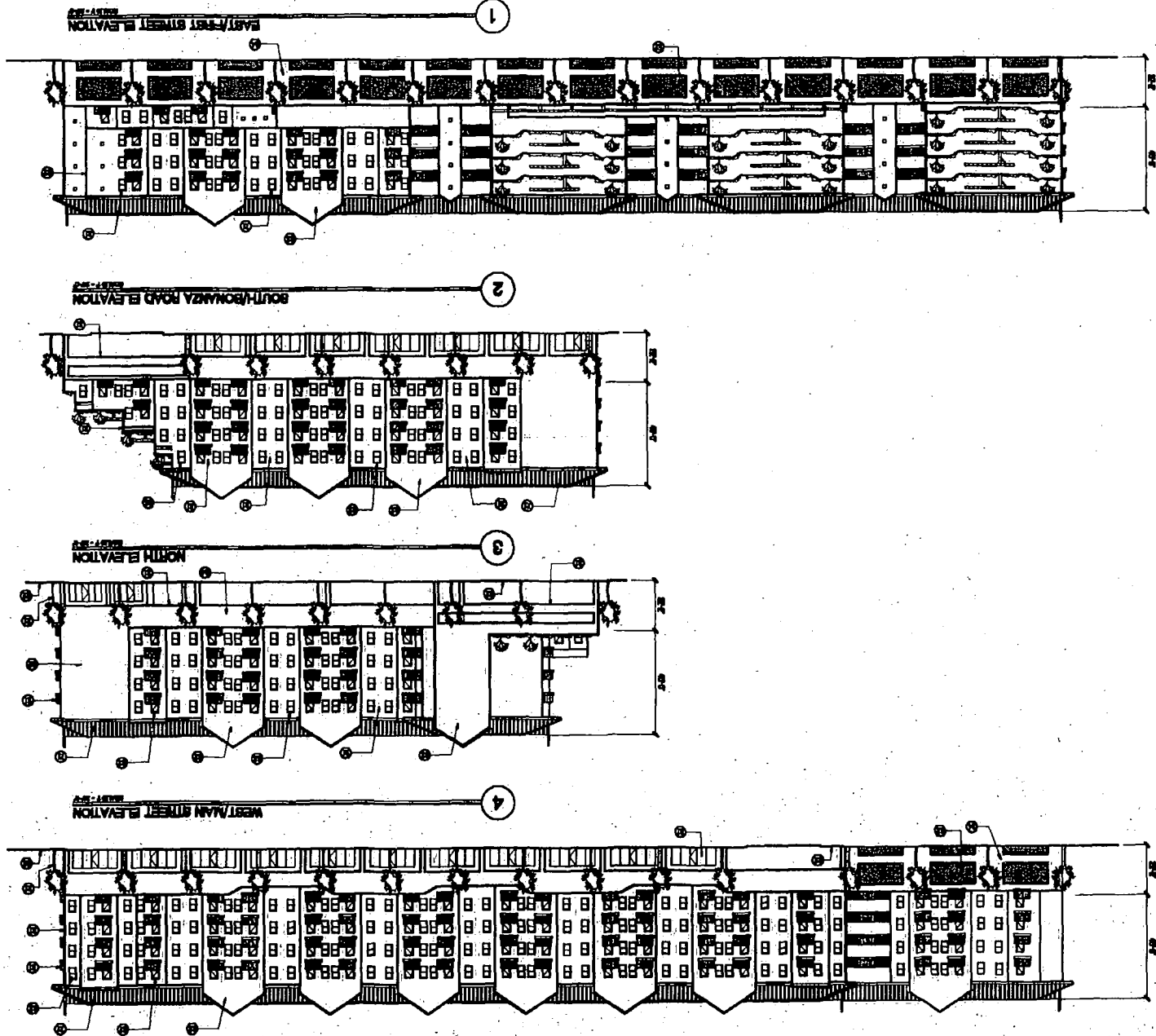
SCALE 1" = 20'-0"

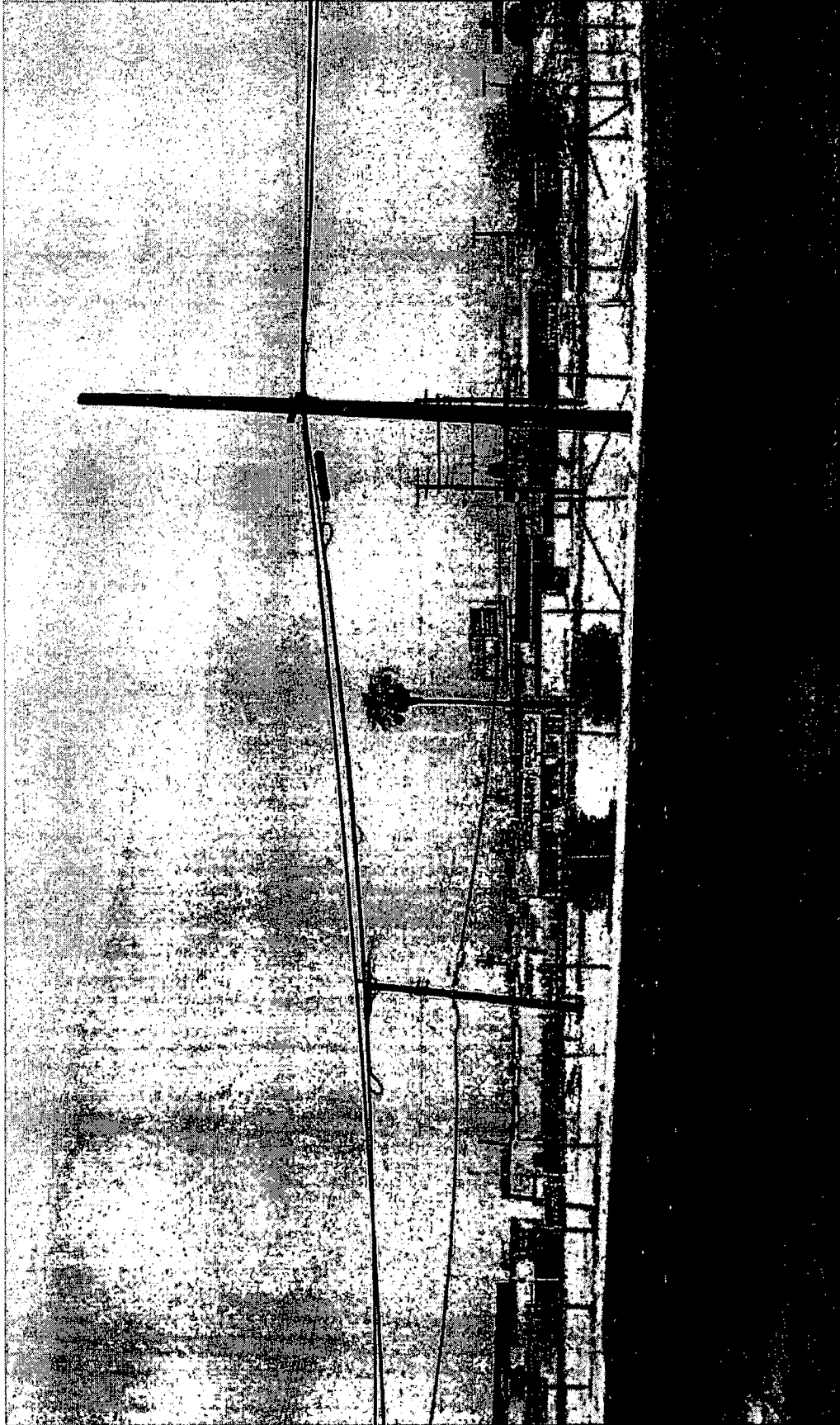
DESIGN DEVELOPMENT
SENIOR CENTER
of
LAS VEGAS
ARCHITECTS

BUILDING ELEVATIONS



- ELEVATION NOTES
- 1. FINISHES
 - 2. EXTERIOR WALLS - SEE STRUCTURAL
 - 3. EXTERIOR WALLS - SEE STRUCTURAL
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Z-0046-02(1) - BONANZA REALTY, INC.
NORTHEAST CORNER OF MAIN STREET AND BONANZA ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

City of Las Vegas

Agenda Item No. 112

AGENDA SUMMARY PAGE – PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

REZONING - PUBLIC HEARING - Z-0075-02 - CONCORDIA HOMES NEVADA, INC., ET AL - Request for a Rezoning FROM: U (Undeveloped) Zone [ML-TC (Medium-Low Density Residential – Town Center) General Plan Designation] TO: T-C (Town Center) on 17.77 acres adjacent to the southeast corner of Deer Springs Way and Fort Apache Road (APN: 125-20-301-001, 002, 004 and 005) PROPOSED USE: 120-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION, Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK – APPROVED subject to conditions – UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE explained that MAYOR GOODMAN was excused to attend the birth of his second grandchild and declared the Public Hearing open.

JEFFREY ARMSTRONG, VTN-Nevada, 2727 South Rainbow Boulevard, appeared on behalf of the applicant Concordia Homes and concurred with the conditions proposed for both applications with the exception front and side setbacks reflected under the site development plan review which appear to be reversed. Planning staff agreed with the correction.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.



Agenda Item No. 112

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
 Planning & Development Department
 Item 112 – Z-0075-02

MINUTES – Continued:

NOTE: All discussion pertaining to Item 112 [Z-0075-02] and Item 113 [Z-0075-02(1)] was held under Item 112 [Z-0075-02].

(3:22 – 3:25)

4-1742

CONDITIONS:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

2. Submit a Petition of Vacation to vacate those portions of the public street adjacent to the west boundary of parcel 125-20-301-003. If the Petition of Vacation is not approved this site shall be responsible for dedicating the west half of the street and constructing it accordingly.
3. Dedicate 50 feet of right-of-way adjacent to this site for Fort Apache Road, 40 feet for Bath Road, 40 feet for Deer Springs Way, 40 feet for Campbell Road, a 25 foot radius on the northeast corner of Bath Road and Fort Apache Road, a 54 foot radius at the southeast corner of Fort Apache Road and Deer Springs Way, a 20 foot radius at the northwest corner of Bath Road and Campbell Road, and a 25 foot radius at the southwest corner of Campbell Road and Deer Springs Way.
4. Construct half-street improvements including appropriate overpaving, if legally able on Fort Apache Road, Deer Springs Way, Campbell Road, and Bath Road adjacent to this site concurrent with development of this site. All roadways shall be constructed to meet applicable Town Center Standards. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site.
5. Extend public sanitary sewer to southern boundary in Campbell Road and to the western boundary of this site in Bath Road along an alignment and to a depth and location acceptable to the City Engineer. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any offsite permits.

**Agenda Item No. 112**

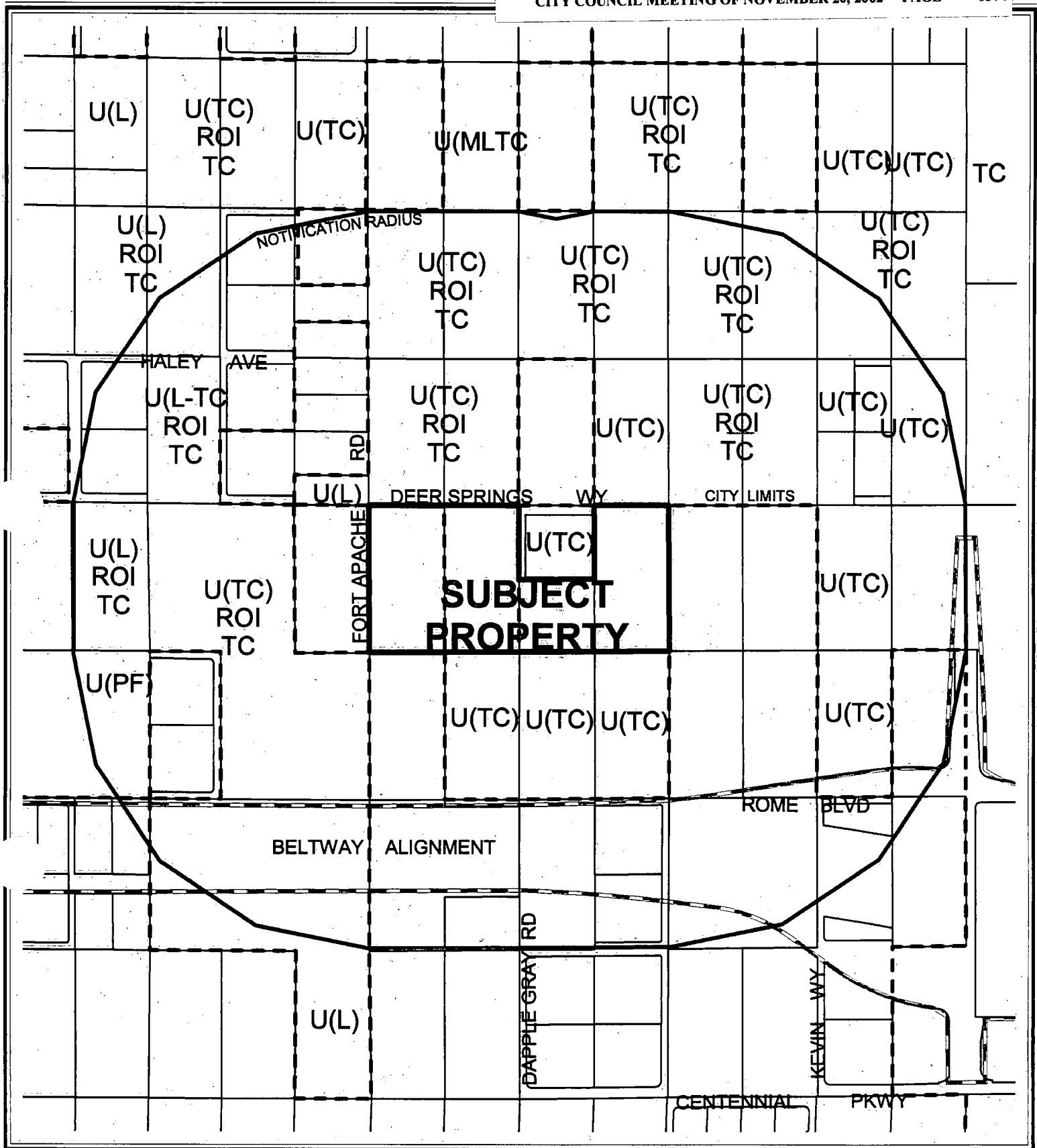
CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 112 – Z-0075-02

CONDITIONS - Continued:

6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: Z-0075-02

RADIUS: 1320 FT

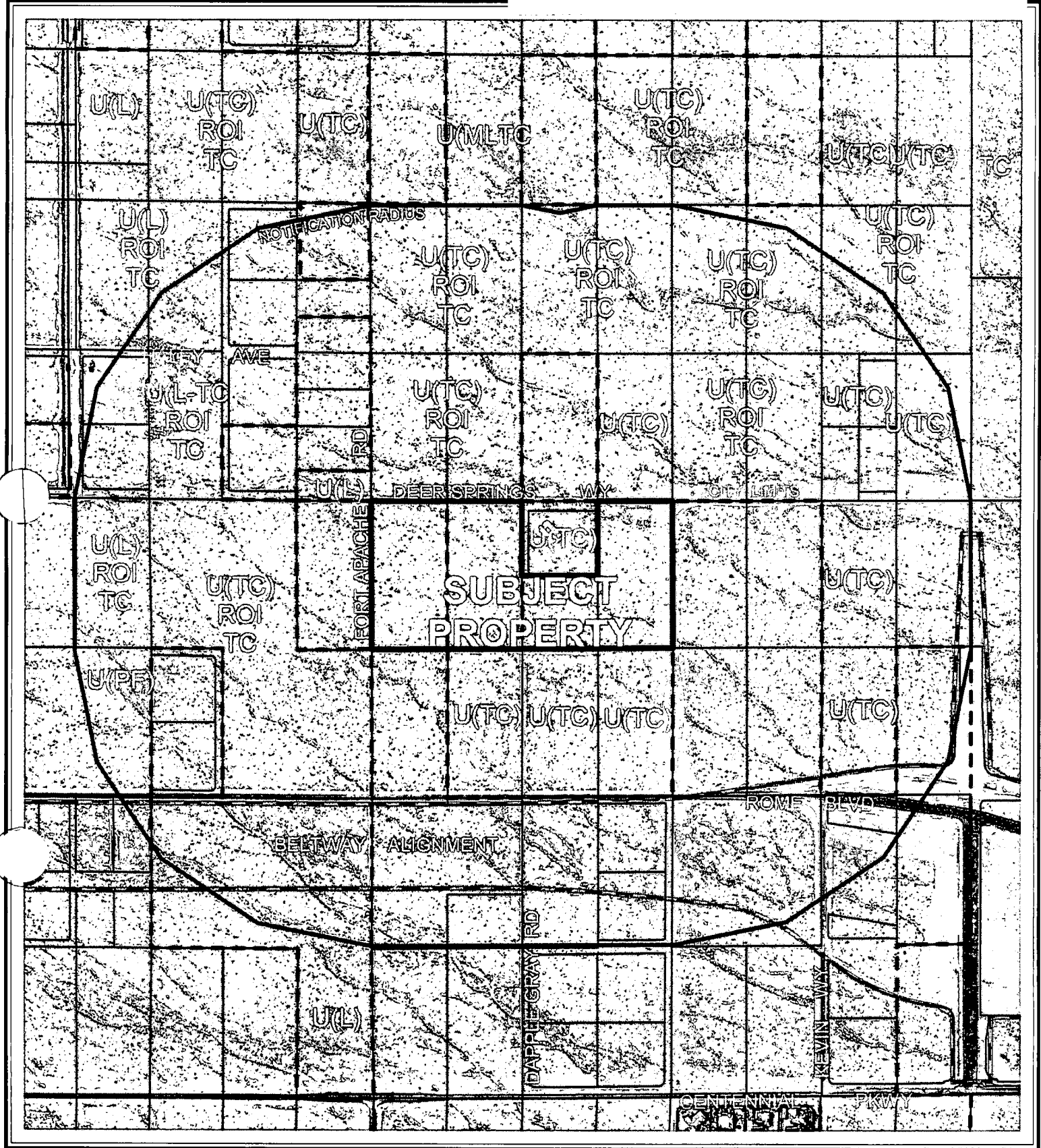
ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: T-C (TOWN CENTER)

0 400 800 Feet

112





CASE: Z-0075-02

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: T-C (TOWN CENTER)

0 400 800 Feet



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0075-02 - CONCORDIA HOMES NEVADA INC, ET AL**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

2. Submit a Petition of Vacation to vacate those portions of the public street adjacent to the west boundary of parcel 125-20-301-003. If the Petition of Vacation is not approved this site shall be responsible for dedicating the west half of the street and constructing it accordingly.
3. Dedicate 50 feet of right-of-way adjacent to this site for Fort Apache Road, 40 feet for Bath Road, 40 feet for Deer Springs Way, 40 feet for Campbell Road, a 25 foot radius on the northeast corner of Bath Road and Fort Apache Road, a 54 foot radius at the southeast corner of Fort Apache Road and Deer Springs Way, a 20 foot radius at the northwest corner of Bath Road and Campbell Road, and a 25 foot radius at the southwest corner of Campbell Road and Deer Springs Way.
4. Construct half-street improvements including appropriate overpaving, if legally able on Fort Apache Road, Deer Springs Way, Campbell Road, and Bath Road adjacent to this site concurrent with development of this site. All roadways shall be constructed to meet applicable Town Center Standards. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site.
5. Extend public sanitary sewer to southern boundary in Campbell Road and to the western boundary of this site in Bath Road along an alignment and to a depth and location acceptable to the City Engineer. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any offsite permits.

Z-0075-02 - Conditions Page Two
November 20, 2002 City Council Meeting

6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0075-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Rezoning from U (Undeveloped) Zone [ML-TC (Medium Low Density Residential – Town Center) General Plan Designation to T-C (Town Center) on approximately 20.31 acres adjacent to the southeast corner of Deer Springs Way and Fort Apache Road. The justification letter states that the subject property is proposed for development as a 138-lot single-family residential subdivision that includes approximately 62,245 square feet of open space.

BACKGROUND DATA

- | | |
|----------|--|
| 12/07/98 | The City Council approved a Rezoning (Z-0076-98) to TC (Town Center) of a 1,468-acre portion of the Northwest. The subject site was not included within the 1998 Rezoning area. |
| 04/04/01 | The City Council approved a General Plan Amendment (GPA-0038-00) to expand the limits of the Town Center into the designated "Future Town Center" and designating the subject site ML (Medium-Low Residential) as part of a larger area. The Planning Commission recommended Approval. |
| 09/18/02 | The City Council approved an Annexation (A-0020-02), related to this application. The effective date is September 27, 2002. The Planning Commission recommended Approval. |
| 10/10/02 | The Planning Commission voted to hold in abeyance the subject Rezoning and a related request for a Site Development Plan Review [Z-0075-02(1)] to the October 24, 2002 Planning Commission meeting in order to allow additional time for staff to review the revised site plan. |
| 10/24/02 | The Planning Commission recommended approval of a related request for a Site Development Plan Review [Z-0075-02(1)] for a proposed 138-lot single-family residential development. |
| 10/24/02 | The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #26). |

Z-0075-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	ROI to T-C (Town Center) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	Clark County [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
South	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	Clark County [M-TC (Medium Density - Town Center) General Plan Designation]	Undeveloped
	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
East	Clark County [L-TC (Low Density - Town Center) General Plan Designation]	Undeveloped
West		Undeveloped

ANALYSIS & FINDINGS

GENERAL PLAN

The subject site is designated ML (Medium-Low Residential) on Map 4 of the Centennial Hills Sector Plan of the General Plan. This category allows a residential density range of 5.6 to 8.0 units per acre. The requested Rezoning to T-C (Town Center) is consistent with this General Plan designation in that the proposed residential development will be within the allowable density range and will be subject to the development standards of the Town Center Master Plan.

ZONING

The requested T-C (Town Center) zoning will be appropriate for the site consistent with the U (Undeveloped) [ML (Medium- Low Residential) General Plan Designation] zoning of adjacent properties.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

The subject site is designated ML (Medium-Low Residential) on Map 4 of the Centennial Hills Sector Plan of the General Plan. This category allows a residential density range of 5.6 to 8.0 units per acre. The requested Rezoning to T-C (Town Center) and the proposed residential development are consistent with this General Plan designation.

Z-0075-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

The proposed residential development on the subject site is consistent with the allowable density under the current ML (Medium-Low Density Residential) General Plan designation, and will be consistent with the densities of newer single-family residential developments in the northwest.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

The proposed project will help meet future needs of the Town Center area for single-family residential lots, as properties within the Town Center are now under development with commercial projects and the residential development will create a balance of uses.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The site will be accessed from a planned roadway network that will be adequate for allowable development under the proposed TC (Town Center) zone.

NOTICES MAILED 39 by Planning Department

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: E-0075-02 APN: 125-20-301-001

Name of Property Owner: SUAREZ RIO LLC

Name of Applicant: CONCORDIA HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

97 - No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: by Theresa Mavroy

Print Name: Rosa Rios

Subscribed and sworn before me by RASA HERRERA.

This 13th day of August, 2002

Notary Public in and for said County and State





Case Number: Z-0075-02 APN: 125-20-301-002, 004 and 005

Name of Property Owner: CONCORDIA HOMES

Name of Applicant: CONCORDIA HOMES

Yes ☒ No

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent:

Print Name:

Subscribed and sworn before me

This 9th day of August, 2002

Notary Public in and for said County and State



08/23/08 FRI 11:02 FAX 7024346200

CONCORD LA HOMES

0000



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: 62015 APN: 125-20-301-003

Name of Property Owner: MARK ALTSCHULER ET. AL.

Name of Applicant: CONCORDIA RUMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

Ne

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent _____

Print Name: MARIE ALTSCHULSK

Subscribed and sworn before me

This 12th day of Sept. 2002

Notary Public in and for said County and State



NILA WILLIAMS
Notary Public - Nevada
CLARK COUNTY
My Commission Expires
July 28, 2005
No. 91-1159-1

Revised 2/2021

Reopened Application Pending Statement of Financial Interests



WETA
WETA-TV

Z-0075-02
10-24-02 PC

City of Las Vegas

Agenda Item No. 113

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SITE DEVELOPMENT PLAN REVIEW RELATED TO Z-0075-02 - PUBLIC HEARING - Z-0075-02(1) - CONCORDIA HOMES NEVADA INC, ET AL - Request for a Site Development Plan Review FOR A 120-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION on 17.77 acres adjacent to the southeast corner of Deer Springs Way and Fort Apache Road (APN: 125-20-301-001, 002, 004, and 005), U (Undeveloped) Zone [ML-TC (Medium-Low Density Residential - Town Center) General Plan Designation] [PROPOSED: T-C (Town Center)], Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK – APPROVED subject to conditions and amending Condition 3 to a 20-foot front (to garage) maximum setback and 5-foot side setback – **UNANIMOUS** with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

JEFFREY ARMSTRONG, VTN-Nevada, 2727 South Rainbow Boulevard, appeared on behalf of the applicant Concordia Homes and concurred with the conditions proposed for both applications with the exception front and side setbacks reflected under the site development plan review which appear to be reversed. Planning staff agreed with the correction.

No one appeared in opposition.

There was no further discussion.



Agenda Item No. 113

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
 Planning & Development Department
 Item 113 – Z-0075-02(1)

MINUTES – Continued:

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 112 [Z-0075-02] and Item 113 [Z-0075-02(1)] was held under Item 112 [Z-0075-02].

(3:22 – 3:25)

4-1742

CONDITIONS:

Planning and Development

1. The City Council shall approve a Rezoning (Z-0075-02) to T-C (Town Center).
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. The setbacks for this development shall be:

Front (to House)	15	Feet
Front (to Garage) Maximum	5	Feet
Side	20	Feet
Corner Side	10	Feet
Rear	10	Feet
4. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 20 feet on-center and a minimum of four five-gallon shrubs for each tree within provided planters.
5. The applicant shall construct a six-foot high decorative block wall, with at least 20 percent contrasting materials, along the street frontages, where applicable. Wall heights shall be measured from the side of the wall with the least vertical exposure above the finished grade, unless otherwise stipulated.
6. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets. Air conditioning units shall not be mounted on rooftops.

**Agenda Item No. 113**

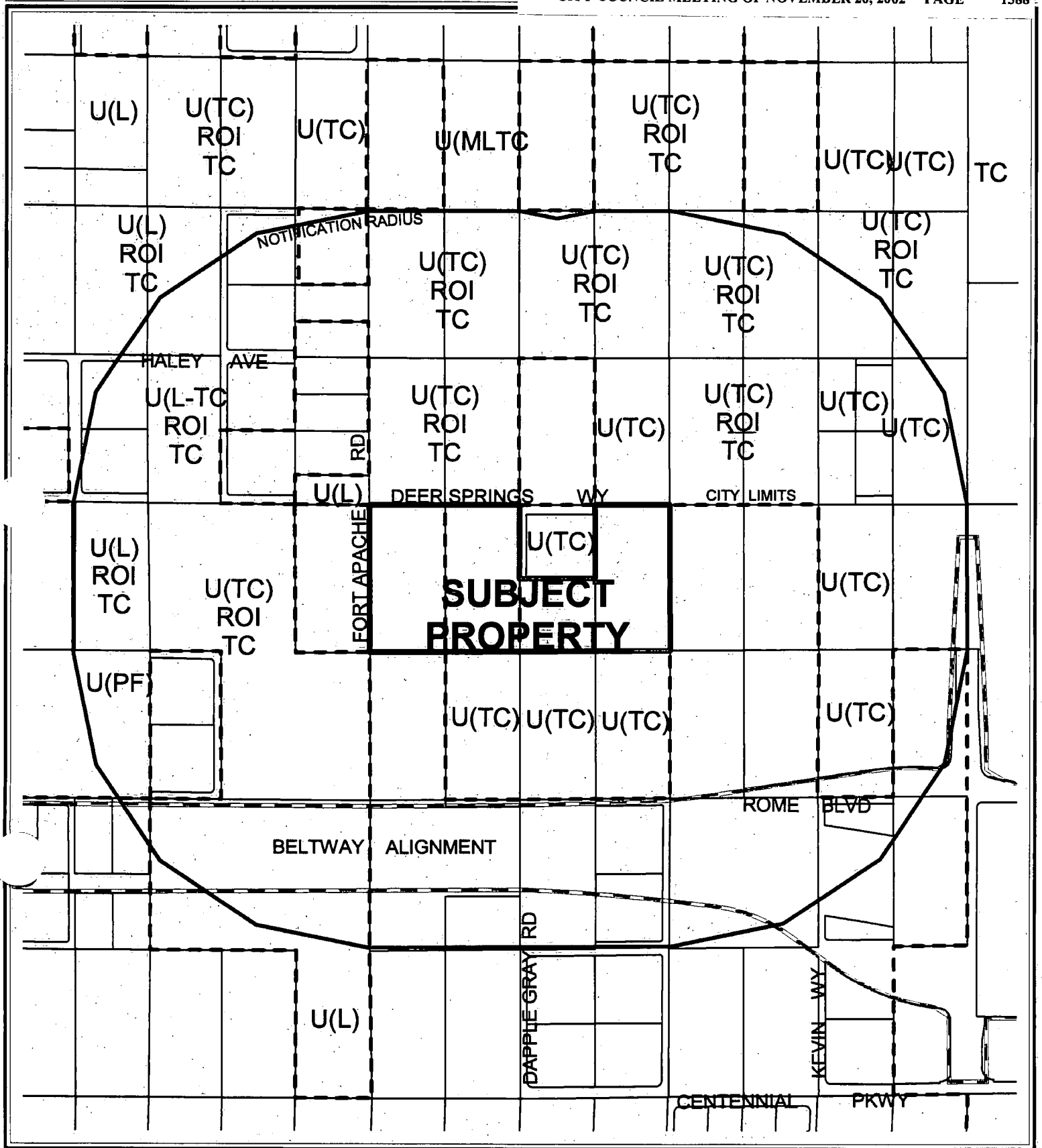
CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 113 – Z-0075-02(1)

CONDITIONS – Continued:

8. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
10. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

11. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed access drives and on site circulation prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. All active gated access drives shall be designed, located and constructed in accordance with Standard Drawing #222a.
12. A Homeowner's Association or other organization shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
14. Site development to comply with all applicable conditions of approval for Z-75-02 and any other subsequent site-related actions.



CASE: Z-0075-02(1)

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: T-C (TOWN CENTER)

0 400 800 Feet



113



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0075-02(1) - CONCORDIA HOMES NEVADA INC, ET AL

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. The City Council shall approve a Rezoning (Z-0075-02) to T-C (Town Center).
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. The setbacks for this development shall be:

<i>Front (to House)</i>	<i>15</i>	<i>Feet</i>
<i>Front (to Garage) Maximum</i>	<i>5</i>	<i>Feet</i>
<i>Side</i>	<i>20</i>	<i>Feet</i>
<i>Corner Side</i>	<i>10</i>	<i>Feet</i>
<i>Rear</i>	<i>10</i>	<i>Feet</i>

4. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 20 feet on-center and a minimum of four five-gallon shrubs for each tree within provided planters.
5. The applicant shall construct a six-foot high decorative block wall, with at least 20 percent contrasting materials, along the street frontages, where applicable. Wall heights shall be measured from the side of the wall with the least vertical exposure above the finished grade, unless otherwise stipulated.
6. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets. Air conditioning units shall not be mounted on rooftops.
8. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

Z-0075-02(1) - Conditions Page Two
November 20, 2002 City Council Meeting

9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
10. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

11. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed access drives and on site circulation prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. All active gated access drives shall be designed, located and constructed in accordance with Standard Drawing #222a.
12. A Homeowner's Association or other organization shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
13. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.
14. Site development to comply with all applicable conditions of approval for Z-75-02 and any other subsequent site-related actions.

Z-0075-02(1) - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Site Development Plan Review for a 138-lot single-family residential subdivision on approximately 20.31 acres adjacent to the southeast corner of Deer Springs Way and Fort Apache Road. The justification letter states the proposed project will be developed with 138 dwelling units at a maximum density of 6.79 dwelling units per acre and the development will provide approximately 62,245 square feet of open space provided in a central location.

BACKGROUND DATA

- 12/07/98 The City Council approved a Rezoning (Z-0076-98) to TC (Town Center) of a 1,468-acre portion of the Northwest. The subject site was not included within the 1998 Rezoning area.

- 04/04/01 The City Council approved a General Plan Amendment (GPA-0038-00) to expand the limits of the Town Center into the designated "Future Town Center" and designating the subject site ML (Medium-Low Residential) as part of a larger area. The Planning Commission recommended Approval.

- 09/18/02 The City Council approved an Annexation (A-0020-02), related to this application. The effective date is September 27, 2002. The Planning Commission recommended Approval.

- 10/10/02 The Planning Commission voted to hold in abeyance the subject Site Development Plan Review and a related request for a Rezoning (Z-0075-02) to the October 24, 2002 Planning Commission meeting in order to allow additional time for staff to review the revised site plan.

- 10/24/02 The Planning Commission recommended approval of a related request for a Rezoning (Z-0075-02) from U (Undeveloped) Zone [ML-TC (Medium Low Density Residential – Town Center) General Plan Designation to T-C (Town Center).

- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #27).

DETAILS OF APPLICATION REQUEST

Total Site Area	20.31	Acres
Number of Lots	138	Lots

Z-0075-02(1) - Staff Report Page Two
November 20, 2002 City Council Meeting

Density	6.79	Dwelling Units Per Acre
Lot Area Typical	3,500	Square Feet
Proposed Setbacks		
Front	15	Feet
Garage	20	Feet
Side	5	Feet
Corner Side	10	Feet
Rear	10	Feet
Building Height	2	Stories
Open Space Required	61,929	Square Feet
Open Space Provided	62,245	Square Feet

The proposed development will consist of a 138-lot single-family residential development with access from Deer Springs Way, Campbell Road and Bath Drive. Lots are approximately 3,500 square feet in area. Typical lots are proposed to be 35 feet wide by 100 feet deep. The proposed residential plans are a two-story product, ranging in size from approximately 1,100 square feet to 2,300 square feet. Building elevations depict stucco exteriors and concrete tile roofs. The garage entrances to the homes will be front-loading, accessed directly from 37-foot wide public streets. There are two open space pods, approximately 22,107 square feet and 14,795 square feet each, located centrally to the site. Six-foot wide landscape planters located on the perimeter of the site are planted with 24-inch box Modesto Ash and Mondel Pine trees mixed with 15-gallon Photnia and Flowering Plum trees and Date Palms.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	ROI to T-C (Town Center) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	Clark County [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
South	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
	Clark County [M-TC (Medium Density - Town Center) General Plan Designation]	Undeveloped
	U (Undeveloped) [ML-TC (Medium- Low Density – Town Center) General Plan Designation]	Undeveloped
East	Clark County [L-TC (Low Density - Town Center) General Plan Designation]	Undeveloped
West		Undeveloped

Z-0075-02(1) - Staff Report Page Three
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

ZONING

The requested T-C (Town Center) zoning will be appropriate for the site consistent with the ML-TC (Medium-Low Residential) General Plan designation.

SITE PLAN

The site plans as submitted presents an effective layout of lots and internal streets.

LANDSCAPE PLAN

The landscape plan will exceed the requirements of the single-family Town Center development standards, which would require seven percent (7%) of the overall project to be open space. The landscape plan indicates varying spacing of the required 24-inch box trees, a condition is included to conform to ensure conformance Las Vegas Urban Design Guidelines and Standards.

ELEVATIONS

The building elevations are appropriate for this type residential development within the Town Center Planning Area.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission or City Council to affirm all of the following:

1. **"The proposed development is compatible with adjacent development and development in the area."**

The proposed residential development on the subject site is consistent with the allowable density under the current ML (Medium-Low Residential) General Plan designation, and will be consistent with the densities of newer single-family residential developments in the northwest.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

The proposed development is consistent with the General Plan and the Town Center Development Standards, as well as Title 19A with the incorporation of the listed condition regarding landscaping.

Z-0075-02(1) - Staff Report Page Four
November 20, 2002 City Council Meeting

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."**

The site will be accessed from a planned roadway network that will be adequate for allowable development under the proposed T-C (Town Center) zone.

4. **"Building and landscape materials are appropriate for the area and for the City."**

The building and landscape materials are appropriate for this type of development in this portion of the City.

5. **"Building elevations, design characteristics, and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area."**

The building elevations are typical of single-family residential developments and will be compatible with future single-family subdivisions in the area.

6. **"Appropriate measures taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to the Uniform Building Code, and therefore the development will not compromise the public health, safety or welfare.

PLANNING COMMISSION ACTION

The Planning Commission amended condition number 12 and deleted another Public Works condition at the applicant's request.

NOTICES MAILED 39 by Planning Department

APPROVALS 0

PROTESTS 0

08/23/08 FRI 11:02 FAX 7024348200

CONCORDIA HOMES

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CITY COUNCIL MEETING OF NOVEMBER 20, 2002 **PAGE**



STATEMENT OF FINANCIAL INTEREST

Case Number: 2-015-041 APN: 125-20-301-003
Name of Property Owner: MARK ALTSCHULER ET. AL.
Name of Applicant: CONCORDIA HOMES

Name of Property Owner: MARK ALTSCHULER ET. AL.

Name of Applicant: CONCORDIA ROMEZ

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes

~~_____~~ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

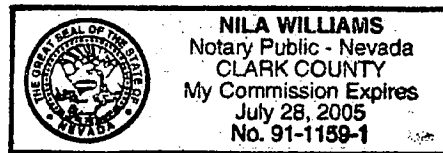
Signature of Property Owner/Authorized Agent: 

Print Name: MARK ALTSHULER

Subscribed and sworn before me

This 12th day of Sept. 2002

Notary Public in and for said County and State



Revised 2/12/03

Adopted Application Period: Statement of Financial Interests



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0075-02(1) APN: 125-20-301-002, 004 and 005

Name of Property Owner: CONCORDIA HOMES

Name of Applicant: CONCORDIA HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

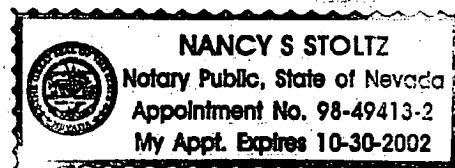
Signature of Property Owner/Authorized Agent:

Print Name:

Subscribed and sworn before me

This 9th day of August, 2002

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0075-02(1) APN: 125-20-301-001

Name of Property Owner: SUAREZ RIO LLC

Name of Applicant: CONCORDIA HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

PH - No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: Suarez Rio LLC

Print Name: Rosa Herrera

Subscribed and sworn before me by ROSA HERRERA

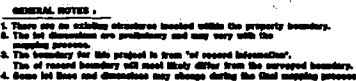
This 13th day of August, 2002

Victor Singh Malhi

Notary Public in and for said County and State

San Diego County





LOCATION MAP

DATE	2/26/71	PROJECT NO.	1-5850
BY	U.S. DIRECTOR		
DATE	12/2/71	BY	U.S. DIRECTOR
DATE	12/2/71	BY	U.S. DIRECTOR

1 of 1 sheets

6208-3-00A

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Z-0075-02(1)
10-24-02 PC

City of Las Vegas

Agenda Item No. 114

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

REZONING - PUBLIC HEARING - Z-0085-02 - DURANGO ELK HOLDING COMPANY, LIMITED LIABILITY COMPANY ON BEHALF OF FEHRMAN, FERRARO & ASSOCIATES - Request for a Rezoning FROM: U (Undeveloped) [TC (Town Center) General Plan Designation] TO: TC (Town Center) on 5.00 acres adjacent to the southwest corner of Elkhorn Road and El Capitan Way (PROPOSED Durango Drive Alignment) (APN: 125-20-101-008 and 009), Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****1****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****0****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (6-0-1 vote) and staff recommends APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK - APPROVED subject to conditions - UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY TOM AMICK, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, stated that the applications before the Council were simplified with the withdrawal of the general plan amendment. The zoning will now be consistent with the General Plan and will allow for the permitted special use permit. He concurred with the Planning Commission and staff recommendations as well as the proposed conditions for both Item 114 [Z-0085-02] and Item 115 [U-0129-02].

TODD FARLOW, 240 North Nineteenth Street, questioned the green area reflected in the overhead map. **COUNCILMAN MACK** replied that it was Mountain Ridge Park and thanked the applicant for withdrawing the general plan amendment.



Agenda Item No. 114

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 114 – Z-0085-02

MINUTES – Continued:

No one appeared in opposition.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 114 [Z-0085-02] and Item 115 [U-0129-02] was held under Item 114 [Z-0085-02].

(3:37 – 3:41)

4-2409

CONDITIONS:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 50 feet of right-of-way adjacent to this site for Elkhorn Road, 60 feet for Durango Drive (AKA El Capitan Way), and a 54 foot radius on the southwest corner of Elkhorn Road and Durango Drive prior to the issuance of any permits. Additional public street dedication for dual left turn lanes and free right turn lanes, in accordance with Standard Drawing #201.1, shall also be dedicated unless specifically noted as not required in the approved Traffic Impact Analysis.
4. Construct half-street improvements including appropriate overpaving (if legally able) on Elkhorn Road and Durango Drive adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Also, provide a paved legal access per Clark County Area Standard Drawing #209 to this site prior to occupancy of any units within this development.

*City of Las Vegas***Agenda Item No. 114**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 114 – Z-0085-02

CONDITIONS -Continued:

5. If not already constructed at the time of development of this site, extend oversized public sewer in Elkhorn Road to the western edge of this site at a depth and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
6. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.
7. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

**Agenda Item No. 114**

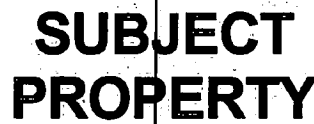
CITY COUNCIL MEETING OF NOVEMBER 20, 2002

Planning & Development Department

Item 114 – Z-0085-02

CONDITIONS - Continued:

8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



114 

City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0085-02 - DURANGO ELK HOLDING COMPANY, LIMITED LIABILITY COMPANY ON BEHALF OF FEHRMAN, FERRARRO & ASSOCIATES

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 50 feet of right-of-way adjacent to this site for Elkhorn Road, 60 feet for Durango Drive(AKA El Capitan Way), and a 54 foot radius on the southwest corner of Elkhorn Road and Durango Drive prior to the issuance of any permits. Additional public street dedication for dual left turn lanes and free right turn lanes, in accordance with Standard Drawing #201.1, shall also be dedicated unless specifically noted as not required in the approved Traffic Impact Analysis.
4. Construct half-street improvements including appropriate overpaving (if legally able) on Elkhorn Road and Durango Drive adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Also, provide a paved legal access per Clark County Area Standard Drawing #209 to this site prior to occupancy of any units within this development.
5. If not already constructed at the time of development of this site, extend oversized public sewer in Elkhorn Road to the western edge of this site at a depth and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
6. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.

Z-0085-02 - Conditions Page Two
November 20, 2002 City Council Meeting

7. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0085-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for a Rezoning to TC (Town Center) on 5.0 acres located adjacent to the southwest corner of El Capitan Way [Proposed Durango Drive alignment] and Elkhorn Road. The applicant's justification letter states that the request is consistent with the Master Plan and meets the Town Center Development Standards Manual.

BACKGROUND DATA

- 03/25/99 The Planning Commission approved an Annexation (A-0003-99) on the subject site as part of a larger request.
- 10/24/02 The Planning Commission recommended approval of a related General Plan Amendment (GPA-0038-02) and two related Rezoning requests (Z-0084-02) & (Z-0085-02) to designate the subject site GC-TC (General Commercial – Town Center) and bring it into the Town Center Master Plan area.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #39).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	TC (Town Center)	Vacant
East	TC (Town Center)	Vacant
West	U (Undeveloped)	Vacant
	[TC (Town Center) General Plan Designation]	
South	U (Undeveloped)	Vacant
	[TC (Town Center) General Plan Designation]	

ANALYSIS & FINDINGS

GENERAL PLAN

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as UC-TC (Urban Center Mixed Use – Town Center) as part of the Town Center Master Plan. The applicant has requested to change the designation to GC-TC (General Commercial – Town Center), which staff finds inappropriate. Regardless of the proposed land use designation, the site is a part of the Town Center Master Plan area. Therefore, the rezoning to TC (Town Center) is appropriate.

Z-0085-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING

The site is bounded by property designated TC (Town Center), to the north, south, and east with the approval of the proposed rezoning to the east of this property. The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as UC-TC (Urban Center Mixed Use – Town Center) as part of the Town Center Master Plan. The applicant has requested to change the designation to GC-TC (General Commercial – Town Center), which is inappropriate. Regardless of the proposed land use designation, this site is a part of the Town Center Master Plan area. Therefore, the rezoning to TC (Town Center) is appropriate.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

The abutting street network, including El Capitan Way (Proposed Durango Drive alignment) that is planned as a 120-foot wide Parkway Arterial and Elkhorn Road that is planned as a 100-foot wide Primary Arterial, will be adequate for the traffic generated by this Tavern use.

Z-0085-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

NOTICES MAILED 42 by Planning Department

APPROVALS 0

PROTESTS 1



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0085-02 APN: 125-20-101-008 & 009

Name of Property Owner: Durango Elk Holding Company, LLC

Name of Applicant: Fehrman, Ferrarro & Associates

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

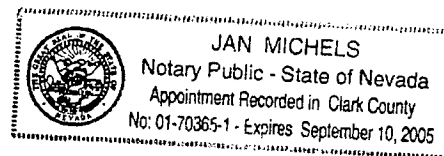
Signature of Property Owner/Authorized Agent: [Signature]

Print Name: Tom Fehrman

Subscribed and sworn before me

This 9th day of September, 2002

John Nichols
Notary Public in and for said County and State



STAFF

Z-0085-02

10-24-02 PC

SITE INFORMATION

Parcel Number
125-20-101-006

ZONING
UTC

UTC

AREA (Approximate)

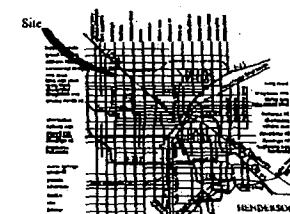
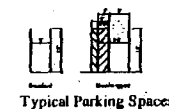
Gross Area: 574,311 sq ft 13.18 acres

BUILDING AREA

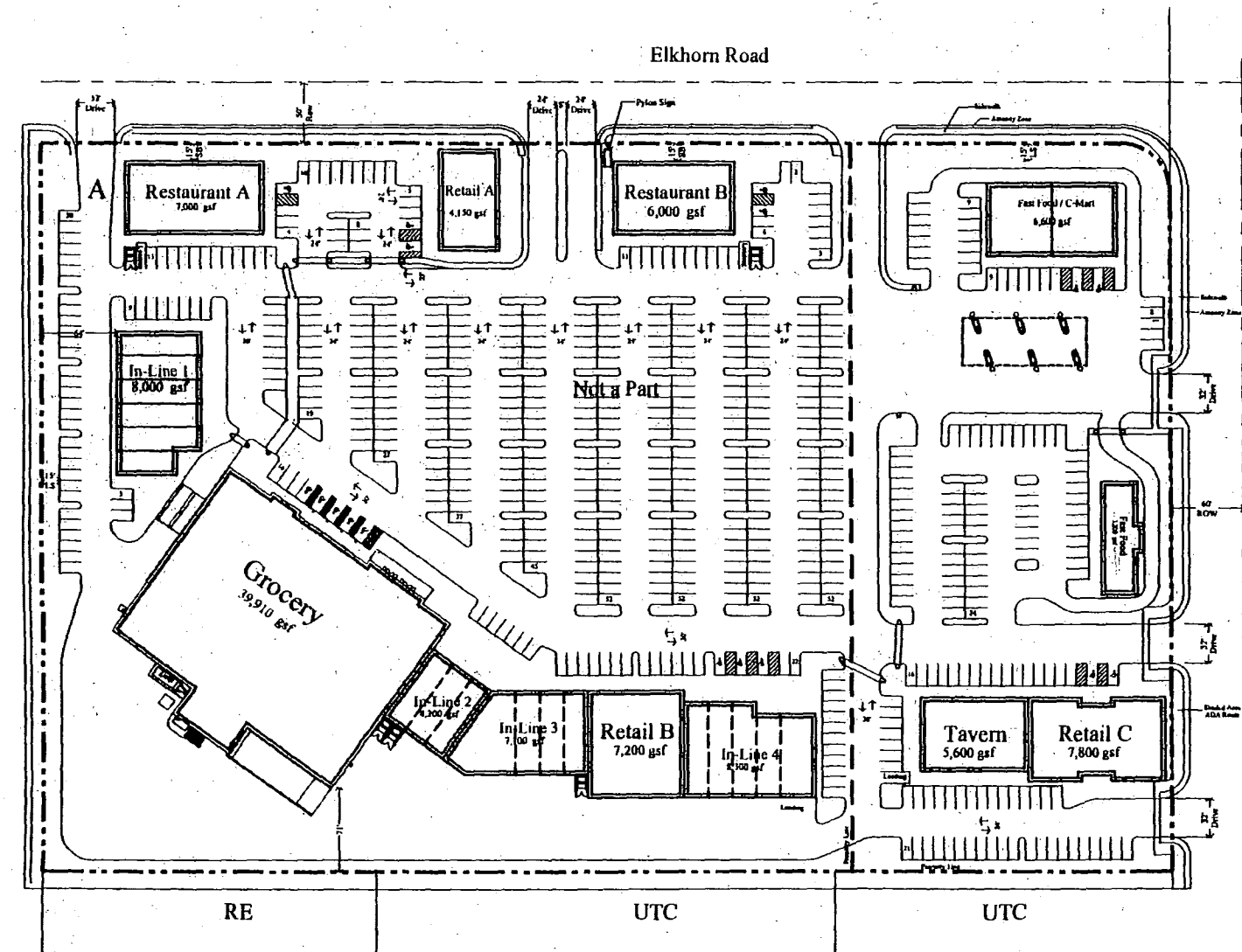
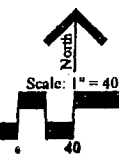
C-Mart	6,400 gsf
Grocery	39,910 gsf
In-Line 1	8,000 gsf
In-Line 2	4,200 gsf
In-Line 3	7,100 gsf
In-Line 4	10,400 gsf
Retail A	4,150 gsf
Retail B	7,200 gsf
Retail C	7,800 gsf
Restaurant A	7,000 gsf
Restaurant B	6,000 gsf
Fast Food	3,200 gsf
Tavern	5,600 gsf

Total	117,160 gsf
PARKING	162
Restaurant	14 sq / 100 =
Retail	32 sq / 120 =
Tavern	60
Total	592 627

Setback	0 ft
Front	15 ft
Side	15 ft
Rear	15 ft
Density	0.20



Vicinity Map

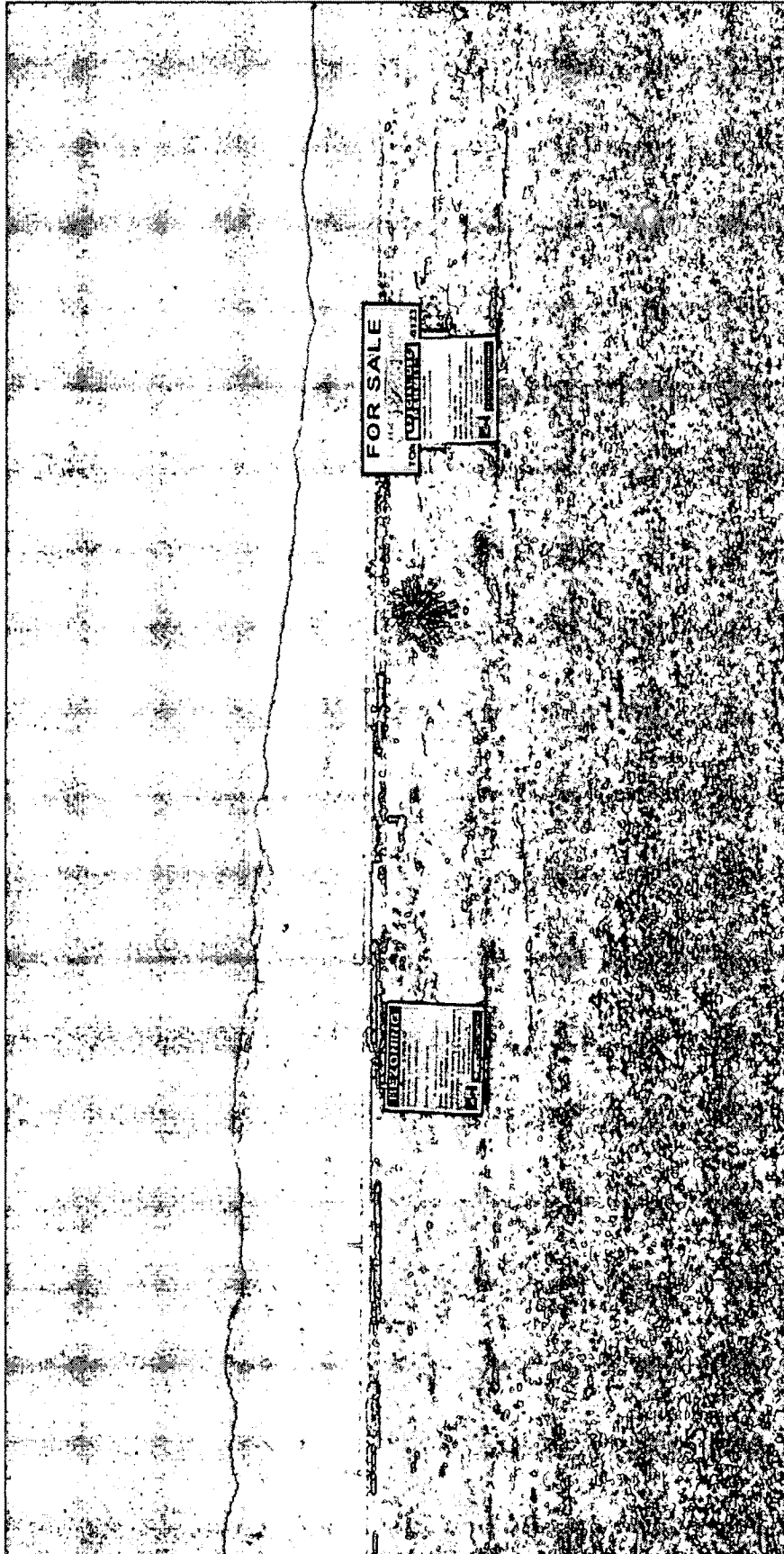


Elkhorn and Durango Commercial 1 Fehrman, Ferraro & Associates
Las Vegas, Nevada 1-702-804-8123

Elkhorn and Durango Drive, Las Vegas, Nevada

Conceptual Site Plan - Scheme E

Date: September 10, 2002
Project Number: 102153



Z-0085-02 - DURANGO ELK HOLDING COMPANY, LIMITED LIABILITY COMPANY ON BEHALF OF
FEHRMAN, FERRARRO & ASSOCIATES
SOUTHWEST CORNER OF ELKHORN ROAD AND EL CAPITAN WAY
OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02

City of Las Vegas

Agenda Item No. 115

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SPECIAL USE PERMIT RELATED TO REZONING Z-0085-02 - PUBLIC HEARING - U-0129-02 - DURANGO ELK HOLDING COMPANY, LIMITED LIABILITY COMPANY ON BEHALF OF FEHRMAN, FERRARO & ASSOCIATES - Request for a Special Use Permit FOR A PROPOSED TAVERN adjacent to the southwest corner of Elkhorn Road and El Capitan Way (PROPOSED Durango Drive Alignment) (APN: 125-20-101-008 and 009), U (Undeveloped) [TC (Town Center) General Plan Designation] [PROPOSED: TC (Town Center)], Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

1

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK - APPROVED subject to conditions and an added condition that the required site development plan review must be processed prior to the issuance of any construction related permits - UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY TOM AMICK, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, stated that the applications before the Council were simplified with the withdrawal of the general plan amendment. The zoning will now be consistent with the General Plan and will allow for the permitted special use permit. He concurred with the Planning Commission and staff recommendations as well as the proposed conditions for both Item 114 [Z-0085-02] and Item 115 [U-0129-02].

**Agenda Item No. 115**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 115 – U-0129-02

MINUTES - Continued:

TODD FARLOW, 240 North Nineteenth Street, questioned the green area reflected in the overhead map. COUNCILMAN MACK replied that it was Mountain Ridge Park and thanked the applicant for withdrawing the general plan amendment.

MARGO WHEELER, Manager, Planning & Development, requested that a condition be added to clarify that the required site development plan review must be processed prior to the issuance of any construction related permits. ATTORNEY AMICK concurred.

No one appeared in opposition.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 114 [Z-0085-02] and Item 115 [U-0129-02] was held under Item 114 [Z-0085-02].

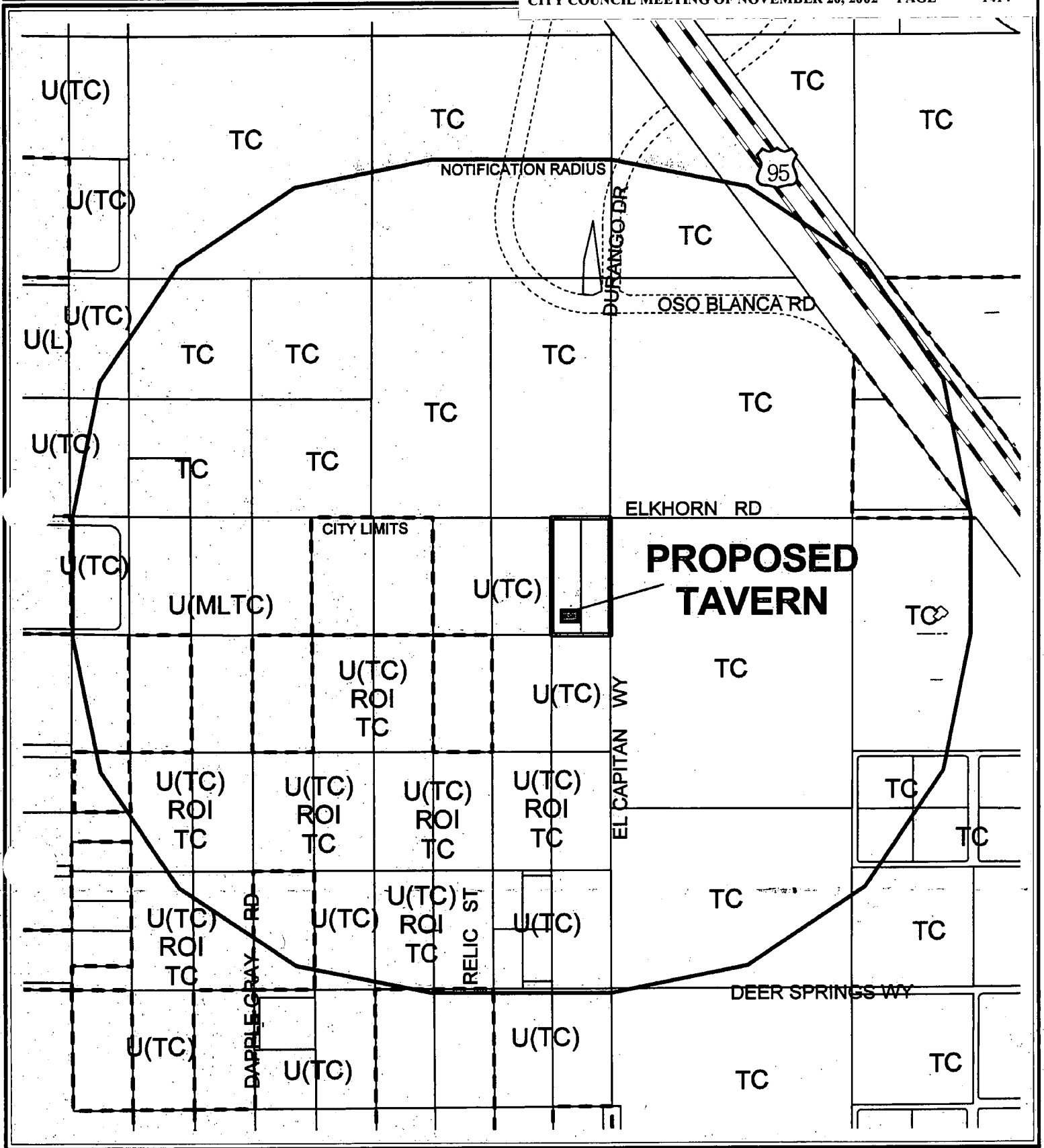
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4-333

CONDITIONS:

Planning and Development

1. Conformance to all Minimum Requirements of the Town Center Development Standards Manual for Pubs, Bars & Lounges (Taverns, etc.) use.
2. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0085-02).
3. This Special Use Permit shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
4. All City Code requirements and design standards of all City departments must be satisfied.
5. Approval of this Special Use Permit does not constitute approval of a liquor license.
6. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.



CASE: U-0129-02

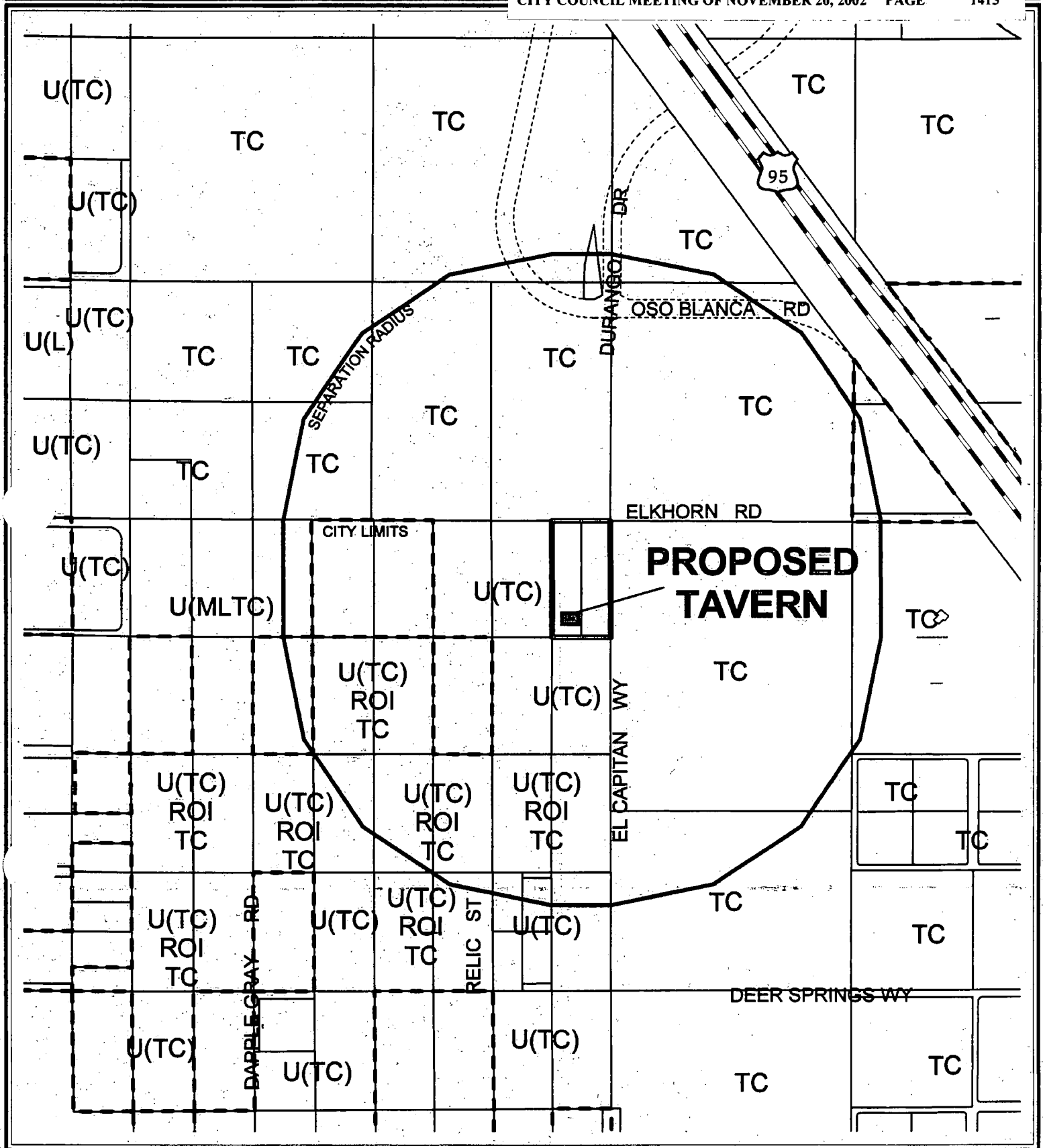
RADIUS: 2000 FT

ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL PLAN DESIGNATION]
PROPOSED: TC (TOWN CENTER)

0 600 1200 Feet

115





CASE: U-0129-02

SEPARATION RADIUS: 1500 FT

ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [TC (TOWN CENTER) GENERAL
PLAN DESIGNATION]
PROPOSED: TC (TOWN CENTER)

0 600 1200 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: U-0129-02 - DURANGO ELK HOLDING COMPANY, LIMITED
LIABILITY COMPANY ON BEHALF OF FEHRMAN, FERRARRO & ASSOCIATES**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. Conformance to all Minimum Requirements of the Town Center Development Standards Manual for Pubs, Bars & Lounges (Taverns, etc.) use.
2. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0085-02).
3. This Special Use Permit shall expire two years from the date of final approval, unless it is exercised or an Extension of Time is granted by the City Council.
4. All City Code requirements and design standards of all City departments must be satisfied.
5. Approval of this Special Use Permit does not constitute approval of a liquor license.
6. This business shall operate in conformance to Chapter 6.50 of the City of Las Vegas Municipal Code.

U-0129-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for a Special Use Permit for a Tavern on property located adjacent to the southwest corner of Elkhorn Road and El Capitan Way (Proposed Durango Drive alignment). The applicant's justification letter states that the request is consistent with the Master Plan and meets the requirements of the Town Center Development Standards Manual.

BACKGROUND DATA

- 03/25/99 The Planning Commission approved an Annexation (A-0003-99) on the subject site as part of a larger request.
- 10/24/02 The Planning Commission recommended approval a related General Plan Amendment (GPA-0038-02) and two related Rezoning requests (Z-0084-02) & (Z-0085-02) to designate the subject site UC-TC (Urban Center Mixed Use – Town Center) and bring it into the Town Center Master Plan area.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #40).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	TC (Town Center)	Vacant
East	TC (Town Center)	Vacant
West	U (Undeveloped)	Vacant
	[TC (Town Center) General Plan Designation]	
South	U (Undeveloped)	Vacant
	[TC (Town Center) General Plan Designation]	

ANALYSIS & FINDINGS

ZONING

The subject site is currently zoned U (Undeveloped) with a UC-TC (Urban Center Mixed Use) general plan designation. A Rezoning (Z-0085-02) to TC (Town Center) has been requested and will be heard concurrently. The Rezoning is appropriate since the site and abutting properties are in Town Center.

U-0129-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

The proposed tavern will be within the range of uses permitted, with approval of a Special Use Permit, in the UC-TC (Urban Center Mixed Use) Land Use Designation, within the TC (Town Center) zoning district. While this area of the city is currently undeveloped, this request is consistent with the anticipated development patterns of the area.

USE

The Town Center Development Standards require a tavern to be a minimum of 1,500 feet from any church, synagogue, school, childcare facility licensed for more than twelve children or City Park, as measured from property line to property line. In this case, this use meets the minimum distance separation requirements as no protected uses have been identified within 1,500 feet of the subject property.

FINDINGS

In order to approve a Special Use Permit application, per Las Vegas Municipal Code Section 19.18.060 the Planning Commission or City Council must affirm the following:

1. **"The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan."**

The Town Center Development Standards require a Tavern to be a minimum of 1,500 feet from any church, synagogue, school, childcare facility licensed for more than twelve children or City Park, as measured from property line to property line. In this case, this use meets the minimum distance separation requirements as no protected uses have been identified within 1,500 feet of the subject property. The request is consistent with the anticipated land development patterns of this area of the city.

2. **"The subject site is physically suitable for the type and intensity of land use proposed."**

The subject site will be physically suitable for the type and intensity of land use as proposed by this proposed Tavern.

3. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use."**

The abutting street network, including El Capitan Way (Proposed Durango Drive alignment), which is planned as a 120-foot wide Parkway Arterial and Elkhorn Road, which is planned as a 100-foot wide Primary Arterial, will be adequate for the traffic generated by this Tavern use.

U-0129-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

4. **“Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.”**

The proposed Tavern use will be subject to regular City and County inspections for licensing and will therefore not compromise the public health, safety, and welfare.

NOTICES MAILED 37 by City Clerk

APPROVALS 0

PROTESTS 1



Case Number: U-0129-02 APN: 125-20-101-008 & 009

Name of Property Owner: Durango Elk Holding Company LLC

Name of Applicant: Fehrman, Ferrarro & Associates

_____ Yes _____ No

APN: _____

Print Name: Tom Fehrman

Notary Public in and for said County and State



STAFF

U-0129-02

10-24-02 PC

Elkhorn Road

SITE INFORMATION

Parcel Number
125-20-101-006

ZONING
UTC

UTC

AREA (Approximate)

Gross Area: 574,311 sf 13.18 acres

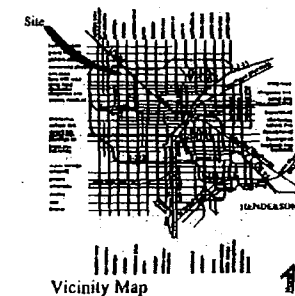
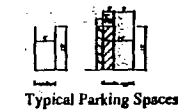
BUILDING AREA

C-Mart	6,600 gsf
Grocery	39,910 gsf
In-Line 1	8,000 gsf
In-Line 2	4,200 gsf
In-Line 3	7,100 gsf
In-Line 4	10,400 gsf
Retail A	4,150 gsf
Retail B	7,200 gsf
Retail C	7,800 gsf
Restaurant A	7,000 gsf
Restaurant B	6,000 gsf
Fast Food	3,200 gsf
Tavern	5,600 gsf

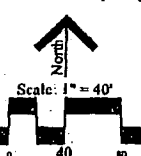
Total		117,140 gsf	
PARKING		Required	Provided
Restaurant	14 sq. ft./100 sq. ft. of building area	162	370
Retail		370	60
Tavern		60	
Total		592	627

Setback		
Front		0 ft
Side		15 ft
Rear		15 ft

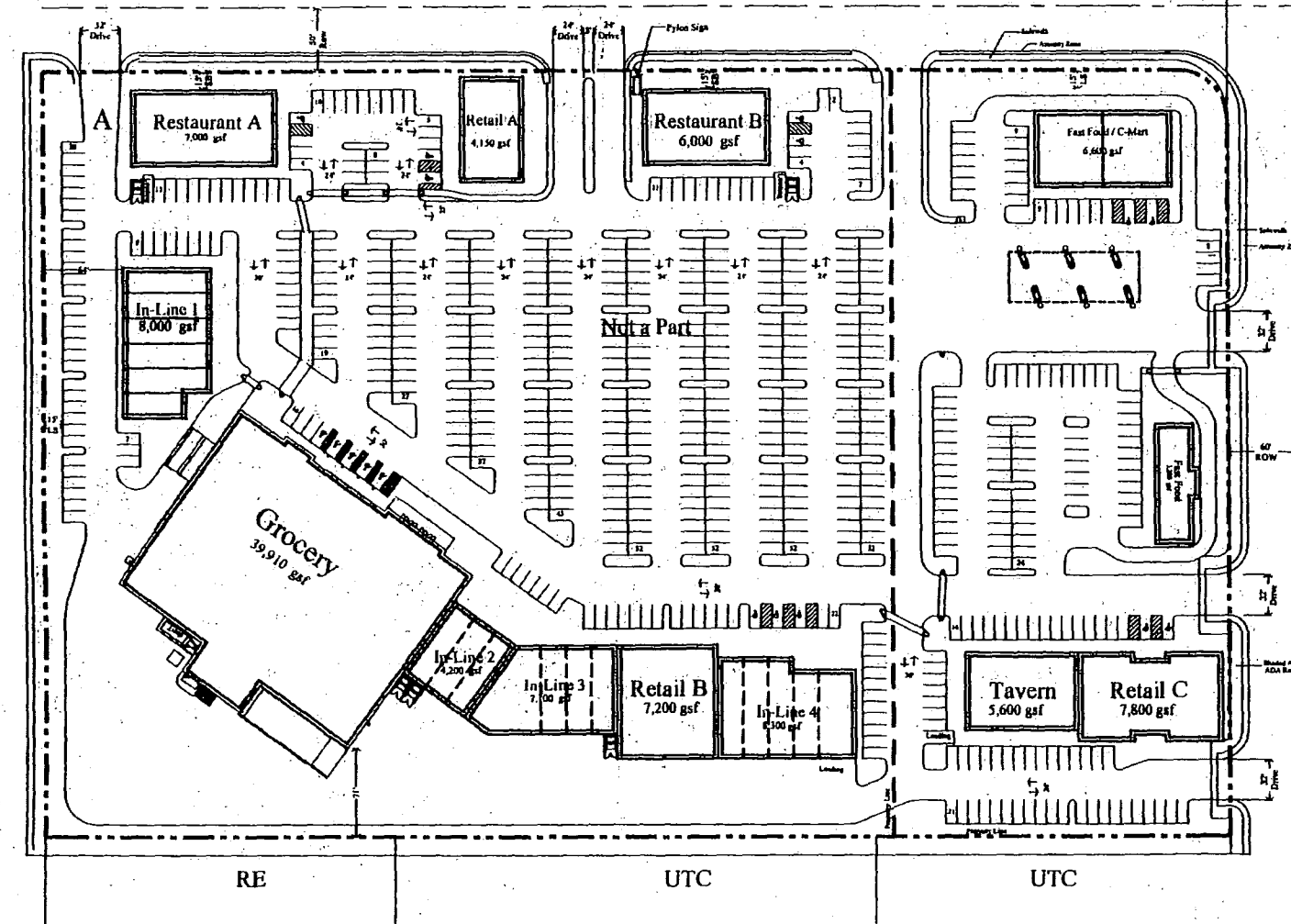
Density 0.20



Vicinity Map



Scale: 1" = 40'



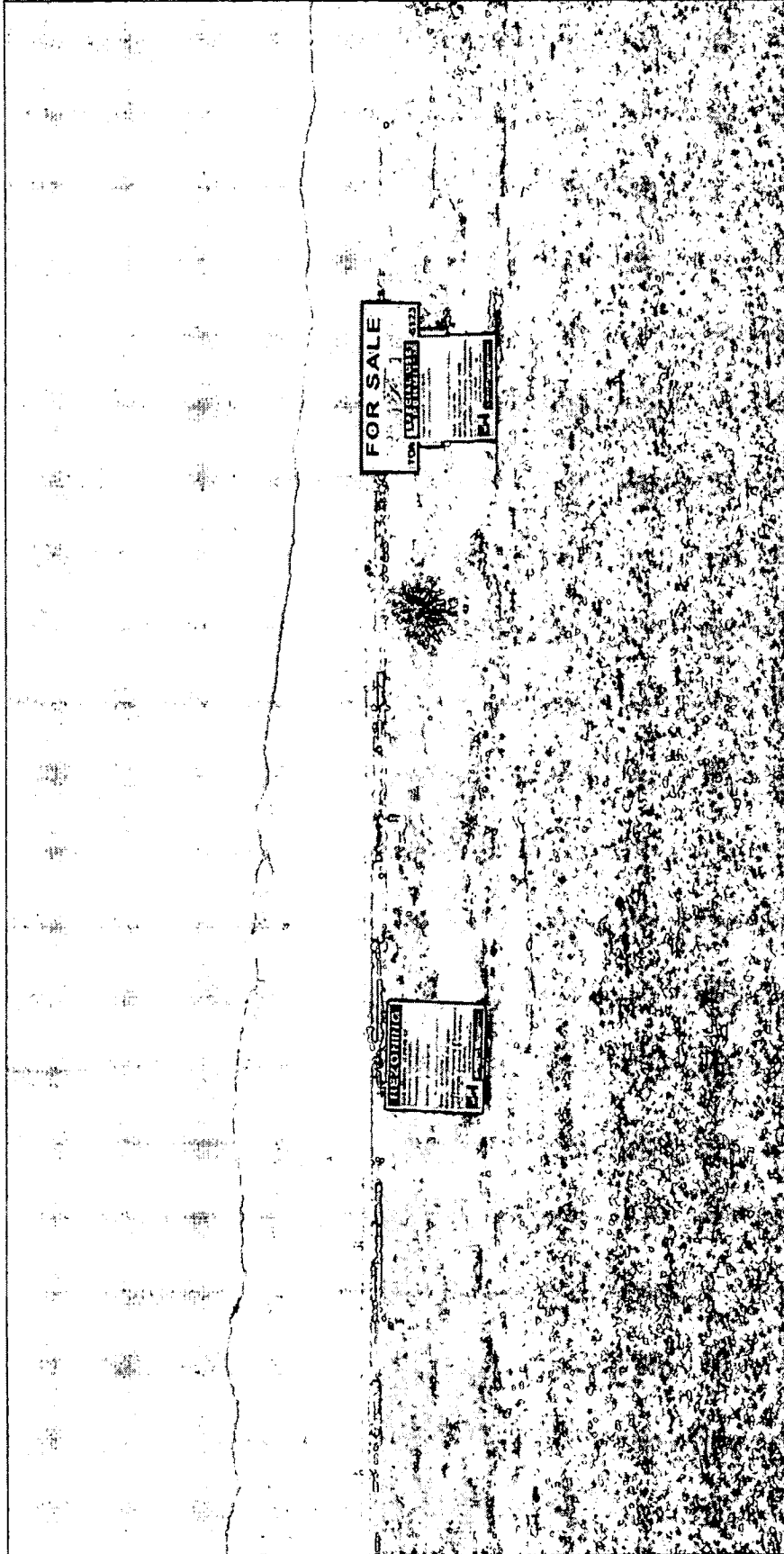
Elkhorn and Durango Commercial 1

Fehrman, Ferraro & Associates
Las Vegas, Nevada
1-702-804-8123

Elkhorn and Durango Drive, Las Vegas, Nevada

Conceptual Site Plan - Scheme E

Date: September 10, 2002
Project Number: 102153



U-0129-02 - DURANGO ELK HOLDING COMPANY, LIMITED LIABILITY COMPANY ON BEHALF OF
 FEHRMAN, FERRARO & ASSOCIATES
 SOUTHWEST CORNER OF ELKHORN ROAD AND EL CAPITAN WAY
 OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02

City of Las Vegas

Agenda Item No. 116

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

REZONING - PUBLIC HEARING - Z-0083-02 - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC. - Request for a Rezoning FROM: R-E (Residence Estates) TO: R-PD2 (Residential Planned Development - 2 Units Per Acre) on approximately 10 acres adjacent to the southwest corner of Buffalo Drive and Craig Road (APN: 138-04-704-001, 002, 003 and 004), PROPOSED USE: SINGLE FAMILY RESIDENTIAL DEVELOPMENT, Ward 4 (Brown). The Planning Commission (5-0-2 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****4****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****0****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (5-0-2 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted after final agenda – Letter from Terri Pastorelli, Tetra Tech, Inc., requesting withdrawal without prejudice

MOTION:

REESE – Motion to HOLD IN ABEYANCE Item 91 [VAC-0070-02], Item 102 [U-0127-02] and Item 103 [SD-0047-02] to 12/4/2002, ACCEPT THE WITHDRAWAL WITHOUT PREJUDICE of Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1) and TABLE Item 123 [GPA-0038-02] – UNANIMOUS with M. McDONALD and BROWN excused

NOTE: A motion by BROWN to recall Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)], so that he could make a comment, passed unanimously with GOODMAN excused and WEEKLY not voting.

MINUTES:

COUNCILMAN BROWN confirmed with DEPUTY CITY ATTORNEY BRYAN SCOTT that it would be appropriate to make a record regarding the withdrawal without prejudice. This site on Craig and Buffalo is borderline with the County and the seamless Regional Master Plan. The application was originally with KB Homes of Nevada for 1.97 units per acre.

*City of Las Vegas***Agenda Item No. 116**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 116 – Z-0083-02

MINUTES - Continued:

However, the land is almost entirely surrounded by half-acre lots. Despite the urban design, the community is pleased with the compatible project. In the future, he would hope that the property owner, broker and applicant would contact his office in order to clarify the eleventh hour withdrawal. He was concerned that the purpose would be to come back with a project similar to the 2.49 unit per acre project up the road. It would be unfair for a change in the project after all the work done with the surrounding neighbors and the effort to reach compatibility. He would like some assurance that the fear circulating is unfounded.

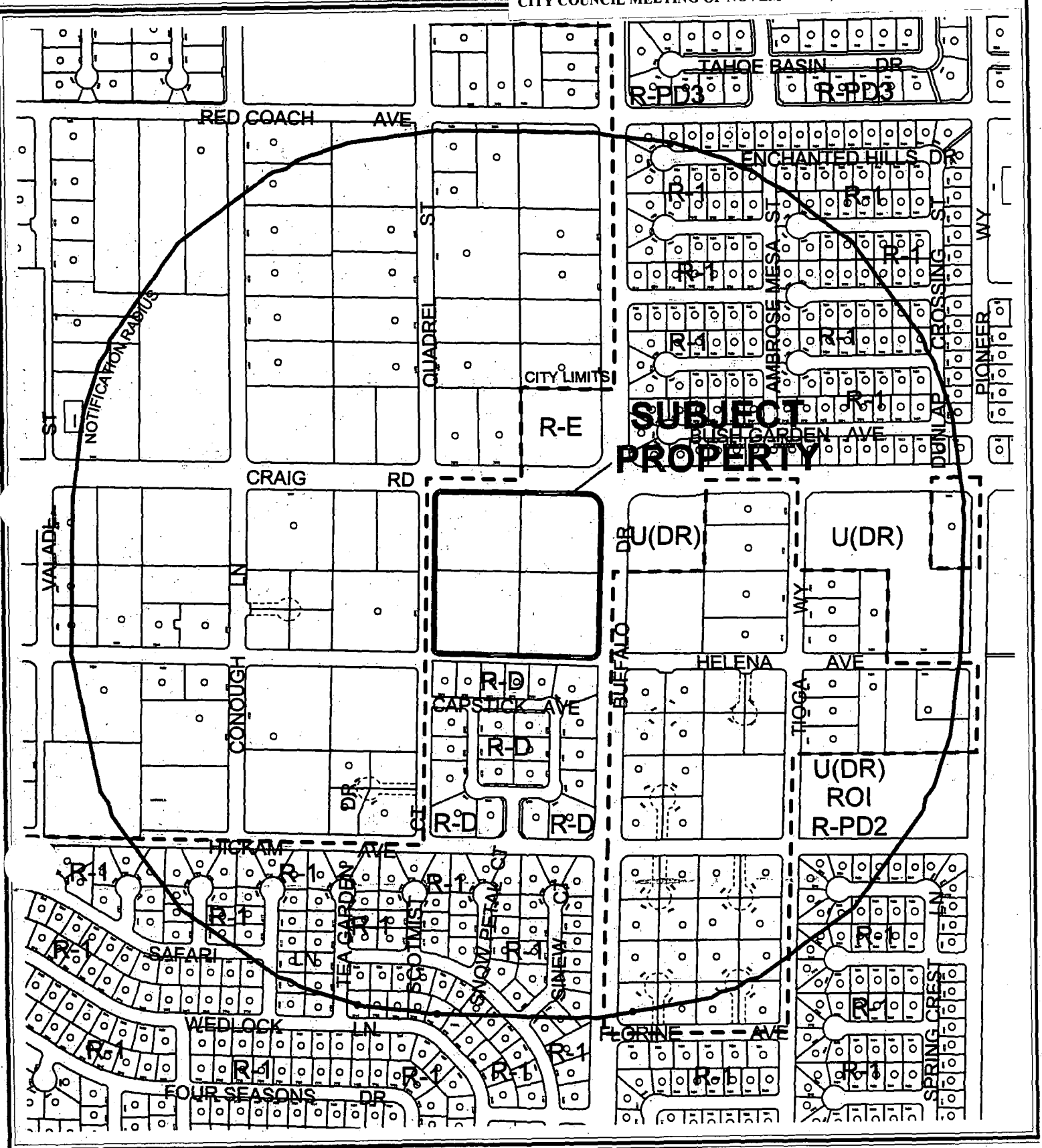
MAYOR PRO TEM REESE clarified with DEPUTY CITY ATTORNEY SCOTT that the remarks did not constitute reconsideration and no further action was required.

There was no further discussion.

NOTE: All discussion pertaining to Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)] was held under Item 116 [Z-0083-02].

(1:41 – 1:47/3:25 – 3:28)

3-1/4-1896



CASE: Z-0083-02

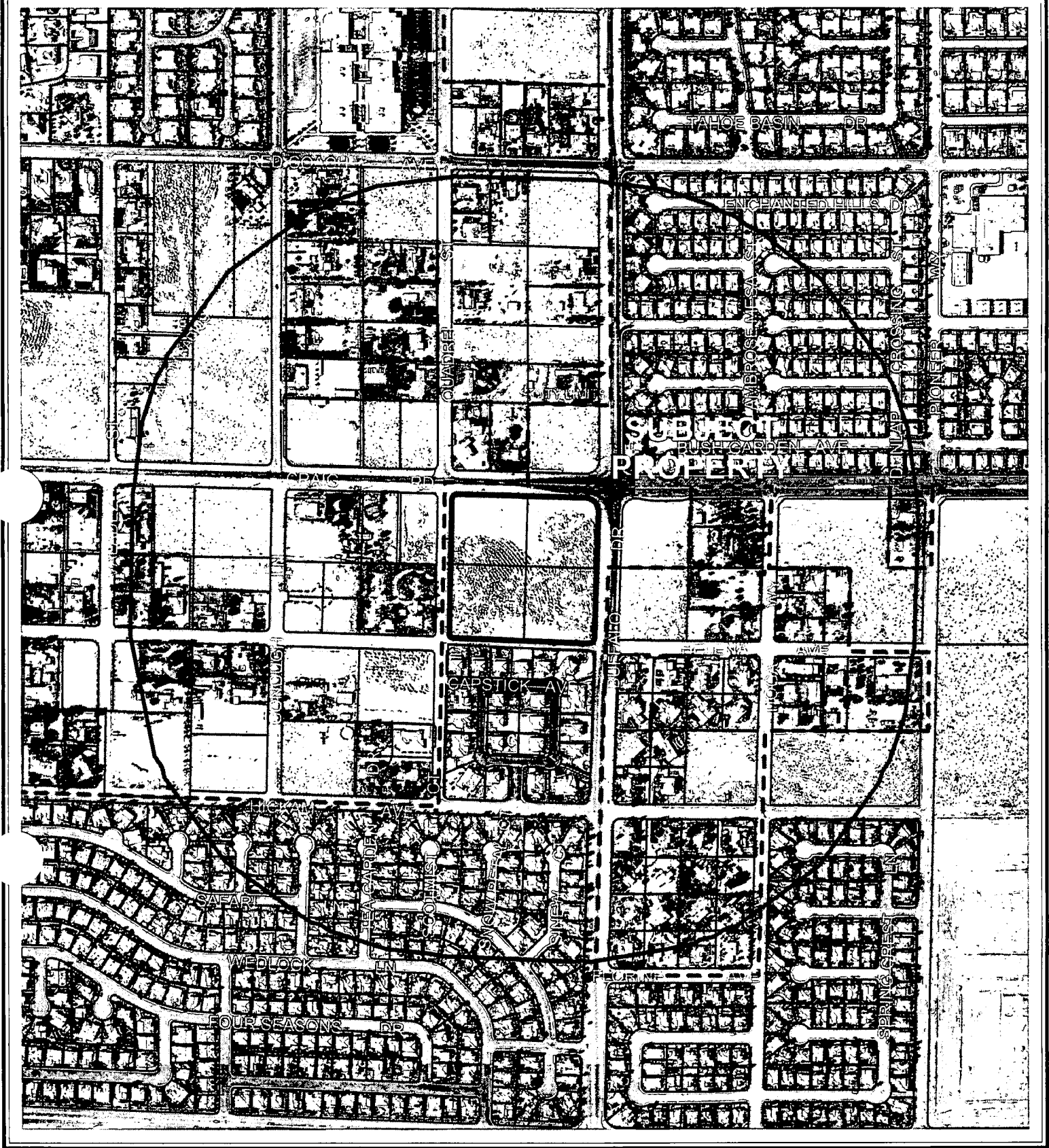
RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

116





CASE: Z-0083-02

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

0 500 1000 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0083-02 - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC.

**** CONDITIONS ****

The Planning Commission (5-0-2 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit.
2. The subject site shall be limited to a maximum density of 2.0 dwelling units per acre.
3. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Submit a Petition of Vacation to vacate Helena Avenue adjacent to this site; such vacation application shall be acted upon by the City Council prior to the submittal of a Final Map for technical review, and if approved the Order of Vacation shall record prior to recordation of a Final Map overlying or adjacent to the area to be vacated.
5. Construct half-street improvements including appropriate overpaving on Buffalo Drive, Craig Road, and Quadrel Street adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically

Z-0083-02 - Conditions Page Two
November 20, 2002 City Council Meeting

noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. Provide a plan for approval by the City indicating how the proposed drainage easement along the south edge of this site will be designed and maintained so as to not become a "no-man's land" between this subdivision and the existing subdivision to the south prior to or concurrent with submittal of a Tentative Map for this site.
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0083-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Rezoning from R-E (Residence Estates) to R-PD2 (Residential Planned Development – 2 Units Per Acre) of 10 acres adjacent to the southwest corner of Buffalo Drive and Craig Road. The applicant's justification letter states this rezoning is suitable to this location based on the land use/zoning categories for the areas surrounding this site. The applicant has revised the proposed development to eliminate 3-lots to bring the density into conformance.

BACKGROUND DATA

- 01/04/89 The subject property was Annexed (A-0016-88) into the City of Las Vegas.
- 09/07/94 The City Council approved a Rezoning (Z-0072-94) from R-E (Residence Estates) to R-D (Single Family Residential-Restricted) on this site as part of a larger request.
- 11/01/95 The City Council approved an Extension of Time [Z-0072-94(3)] for the rezoning request. Condition number two eliminated the northern half of the rezoning request of which this site is a part. Therefore this site was reverted back to R-E.
- 10/24/02 The Planning Commission recommended approval of a Site Development Plan Review [Z-0083-02(1)] for a proposed 21 lot single family residential development on this site.
- 10/24/02 The Planning Commission voted 5-2 to recommend APPROVAL (PC Agenda Item #53).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Unincorporated Clark County	Single Family Residential
	R-E (Residence Estates)	Undeveloped
East	U [DR (Desert Rural) General Plan Designation]	Undeveloped
	Unincorporated Clark County	Undeveloped
West	Unincorporated Clark County	Single Family Residential
	Unincorporated Clark County	Undeveloped
South	R-D (Single Family Residential-Restricted)	Single Family Residential

Z-0083-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

GENERAL PLAN

The subject site is designated DR (Desert Rural) on the Centennial Hills Sector Map of the General Plan. This category allows a residential density range of 0 to 2 units per acre. The requested Rezoning to R-PD2 (Residential Planned Development – 2 Units Per Acre) will allow a maximum density of 2.49 units per acre, consistent with this General Plan designation, provided the density does not exceed 2.0 dwelling units per acre.

ZONING

The applicant has proposed a 21-lot subdivision on 10.80 acres for an overall density of 1.9 dwelling units per acre, which is within the allowable density of the R-PD2 (Residential Planned Development – 2 Units Per Acre).

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

The requested Rezoning to R-PD2 (Residential Planned Development – 2 Units-Per Acre) is consistent with the Centennial Hills Sector Map designation of DR (Desert Rural Density Residential) on the subject site, provided the density is limited to 2.0 units per acre on this site.

2. “The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”

The proposed R-PD2 (Residential Planned Development – 2 Units Per Acre) zoning will be compatible with the R-D (Single Family Residential-Restricted) zoning to the south and the other properties surrounding this site.

3. “Growth and development factors in the community indicate the need for or appropriateness of the rezoning.”

The proposed rezoning will allow development of single-family uses at a density that is compatible with the existing residential development found on surrounding properties.

Z-0083-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

The street system will have adequate capacity to accommodate traffic generated by this proposed development.

NOTICES MAILED 351 by Planning Department

APPROVALS 0

PROTESTS 4



STATEMENT OF FINANCIAL INTEREST

Name of Applicant: KB HOME Nevada Inc.

Yes ☒ No ☐

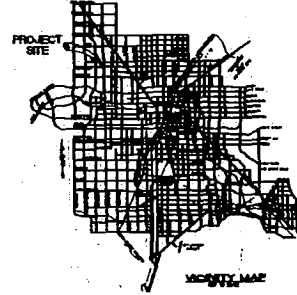
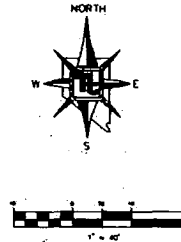
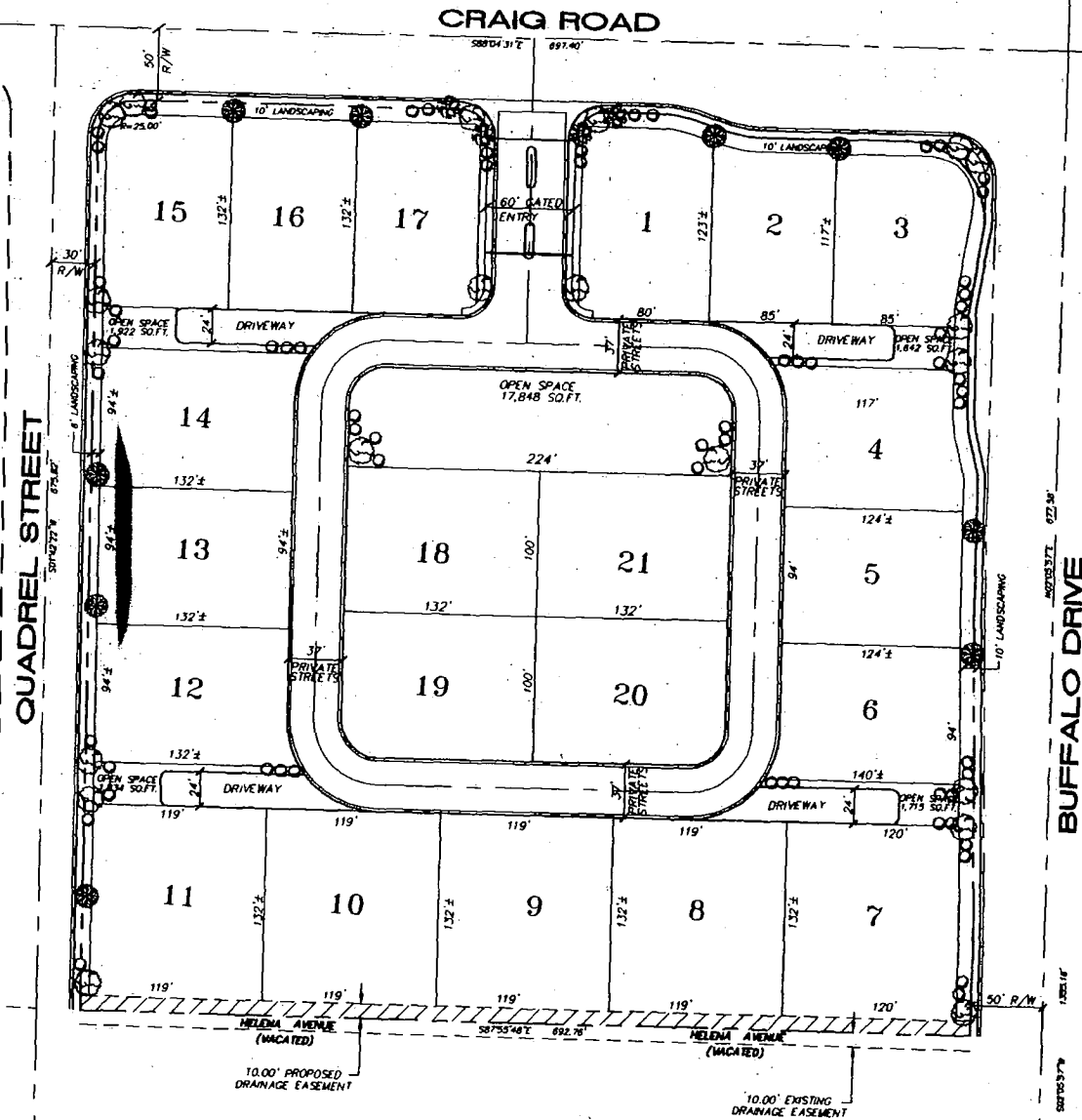
APN: _____

Print Name: Randall J. Tarr, V.P. Forward Planning
KB Home Nevada Inc., Attorney. IN. FACT

Notary Public in and for said County and State



BUFFALO/CRAIG



TABULATION

APN #	138-04-704-001; 138-04-704-002 138-04-704-003; 138-04-704-004
EXISTING ZONING	R-E
PROPOSED ZONING	R-PD2
EXISTING LAND USE	DR
PROPOSED LAND USE	DR
GROSS ACREAGE	10.80 ACRES ±
LOT COUNT	21 LOTS
D.U.A.	1.9 ±
OPEN SPACE REQUIRED	14,374 SQ.FT. (0.39 ACRES)
1.9 x 0.0165 x 10.80 = 0.33 ACRES	
OPEN SPACE PROVIDED	24,981 SQ.FT. (0.57 ACRES)

DEVELOPER

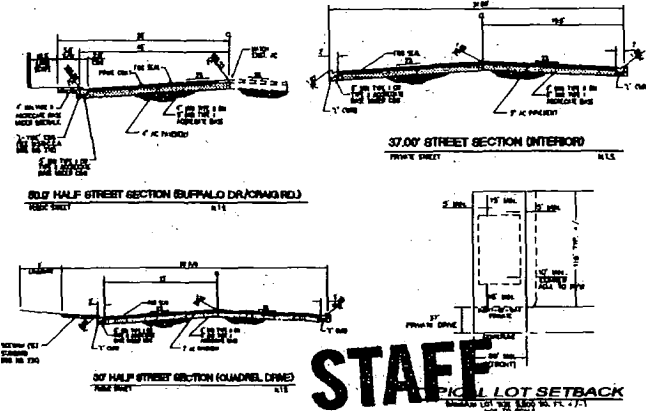
KB HOME NEVADA INC.
730 PLOTT ROAD, SUITE F
LAS VEGAS, NV 89119
PHONE: (702) 814-2300

OWNERS

APN: 138-04-704-001; 138-04-704-002
138-04-704-003; 138-04-704-004
CRING BUFFALO LTD
7444 ALICE SPRINGS CIR.
LAS VEGAS, NV. 89129

GENERAL NOTES

1. THERE ARE NO EXISTING STRUCTURES LOCATED ON THIS SITE.
2. ALL STREETS ARE 37' PRIVATELY MAINTAINED RIGHTS-OF-WAY.
3. THE BOUNDARY SHOWN HEREON IS FROM RECORD INFORMATION AND IS NOT INTENDED TO REPRESENT THE RESULTS OF AN ACTUAL BOUNDARY SURVEY.
4. THIS PLAN IS ILLUSTRATIVE AND IS TO BE USED FOR PLANNING PURPOSES ONLY. NO LIABILITY IS ASSUMED.
5. THE PARKING ANALYSIS REQUIREMENTS ARE MET BY TWO CAR GARAGES AND AVAILABLE PARKING IN THE DRIVEWAYS THAT MEET THE STANDARD OF TWO PARKING SPACES PER DWELLING UNIT.



STAFF

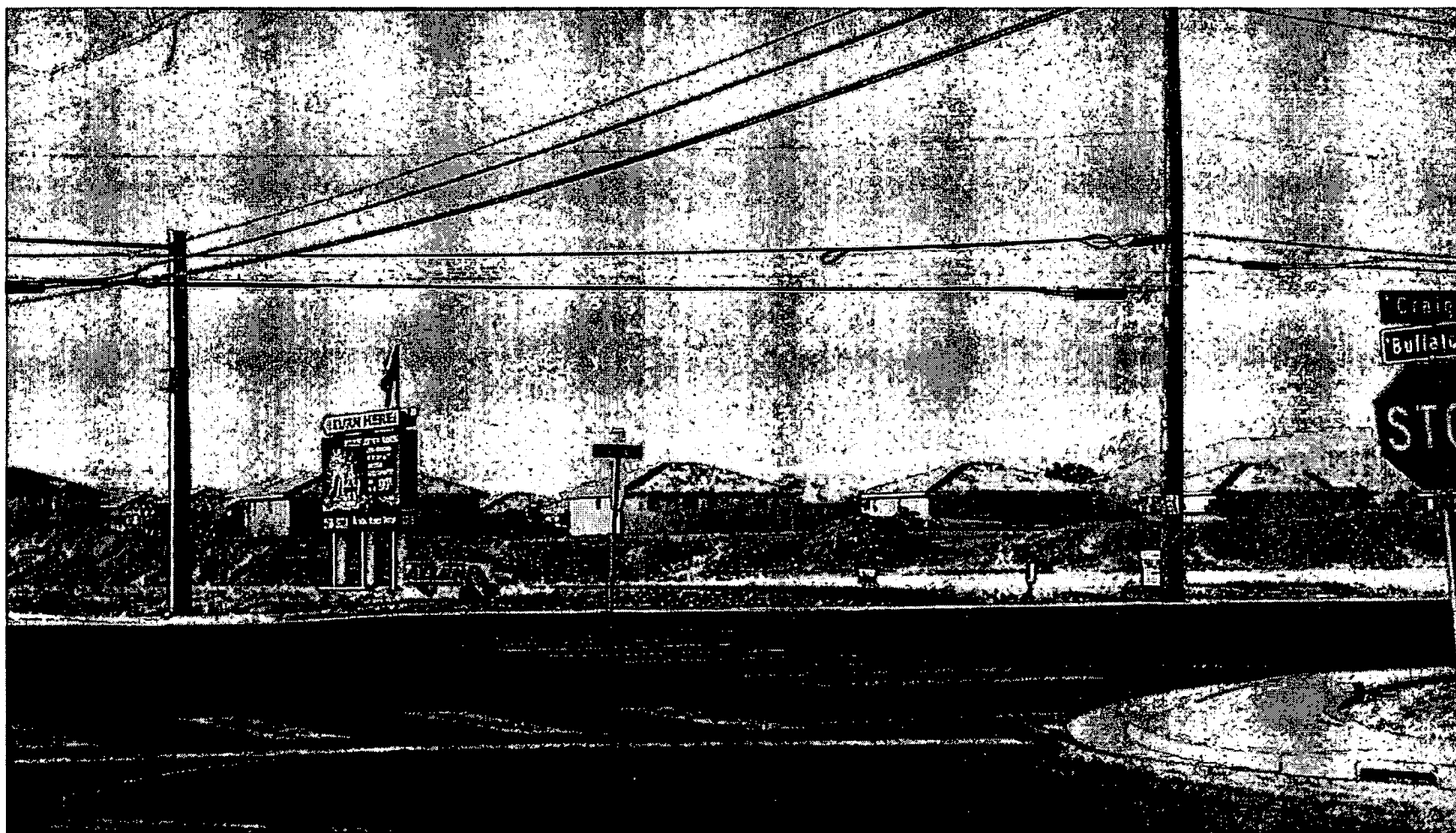
NOTED: THIS PLAN WAS PREPARED USING RECORD INFORMATION. IT IS ILLUSTRATIVE AND IS TO BE USED FOR PLANNING PURPOSES ONLY. NO LIABILITY IS ASSUMED.

REVISED
9-23-02

Z-0083-02
10-24-02 PC

KB HOME
138-04-704-001 / 138-04-704-002 / 138-04-704-003 / 138-04-704-004
TETRA TECH, INC.

SITE PLAN TO ACCOMPANY
ZONE CHANGE AND SDPR



Z-0083-02 - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC.
SOUTHWEST CORNER OF BUFFALO DRIVE AND CRAIG ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02



TETRA TECH, INC.
Infrastructure Services Group

November 14, 2002

P08042-0047-00 3328

City of Las Vegas
Planning and Development
731 South Fourth Street
Las Vegas, NV 89101

Attention: Troy Jeschke
Via Fax @ 385-7268

Reference: Z-0083-02; Z-0083-02(1)
Buffalo/Craig for KB HOME

2002 NOV 14 P 2:07

RECEIVED
CITY CLERK

On behalf of KB HOME Nevada Inc., we respectfully request that the above-listed entitlements, Z-0083-02 and Z-0083-02(1), be *withdrawn without prejudice*.

The subject entitlement requests were submitted on September 10, 2002. The requests were to rezone the site from R-E to R-PD2 to allow a 24 lot, single family residential development on a 10.80± acre site. The density requested for the proposed site is 2.22± dwelling units per acre. These items were approved by Planning Commission on October 24, 2002, and currently are scheduled to be heard by City Council on November 20, 2002.

As stated above, at this time KB HOME Nevada Inc. is requesting that Z-0083-02 and Z-0083-02(1) be withdrawn without prejudice.

If you have any questions or require additional information, please feel free to contact me.

Sincerely,

Terri Pastorelli
Project Coordinator

TP:sl

cc: Lisa Kremer, KB HOME (Fax to 614-2645)
Randy Tarr, KB HOME
Robert Gronauer, KKBR (Fax to 796-7181)
Russell Skuse, Tetra Tech
Gary Kazio, Tetra Tech

Submitted after final agenda

Date 11/14/02 Item #116 & #117

401 North Buffalo Drive, Suite 100, Las Vegas, NV 89145
Tel 702.242.4200 Fax 720.242.3100

City of Las Vegas

Agenda Item No. 117

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

SITE DEVELOPMENT PLAN REVIEW RELATED TO Z-0083-02 - PUBLIC HEARING - Z-0083-02(1) - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC. - Request for a Site Development Plan Review FOR A PROPOSED 21-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on approximately 10 acres adjacent to the southwest corner of Buffalo Drive and Craig Road (APN: 138-04-704-001, 002, 003 and 004), R-E (Residence Estates) [PROPOSED: R-PD2 (Residential Planned Development - 2 Units Per Acre)], Ward 4 (Brown). The Planning Commission (5-0-2 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (5-0-2 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted after final agenda – Letter from Terri Pastorelli, Tetra Tech, Inc., requesting withdrawal without prejudice

REESE – Motion to HOLD IN ABEYANCE Item 91 [VAC-0070-02], Item 102 [U-0127-02] and Item 103 [SD-0047-02] to 12/4/2002, ACCEPT THE WITHDRAWAL WITHOUT PREJUDICE of Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)] and TABLE Item 123 [GPA-0038-02] – UNANIMOUS with M. McDONALD and BROWN excused

NOTE: A motion by BROWN to recall Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)], so that he could make a comment, passed unanimously with GOODMAN excused and WEEKLY not voting.

MINUTES:

COUNCILMAN BROWN confirmed with DEPUTY CITY ATTORNEY BRYAN SCOTT that it would be appropriate to make a record regarding the withdrawal without prejudice. This site on Craig and Buffalo is borderline with the County and the seamless Regional Master Plan. The application was originally with KB Homes of Nevada for 1.97 units per acre.

*City of Las Vegas***Agenda Item No. 117**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 117 – Z-0083-02(1)

MINUTES - Continued:

However, the land is almost entirely surrounded by half-acre lots. Despite the urban design, the community is pleased with the compatible project. In the future, he would hope that the property owner, broker and applicant would contact his office in order to clarify the eleventh hour withdrawal. He was concerned that the purpose would be to come back with a project similar to the 2.49 unit per acre project up the road. It would be unfair for a change in the project after all the work done with the surrounding neighbors and the effort to reach compatibility. He would like some assurance that the fear circulating is unfounded.

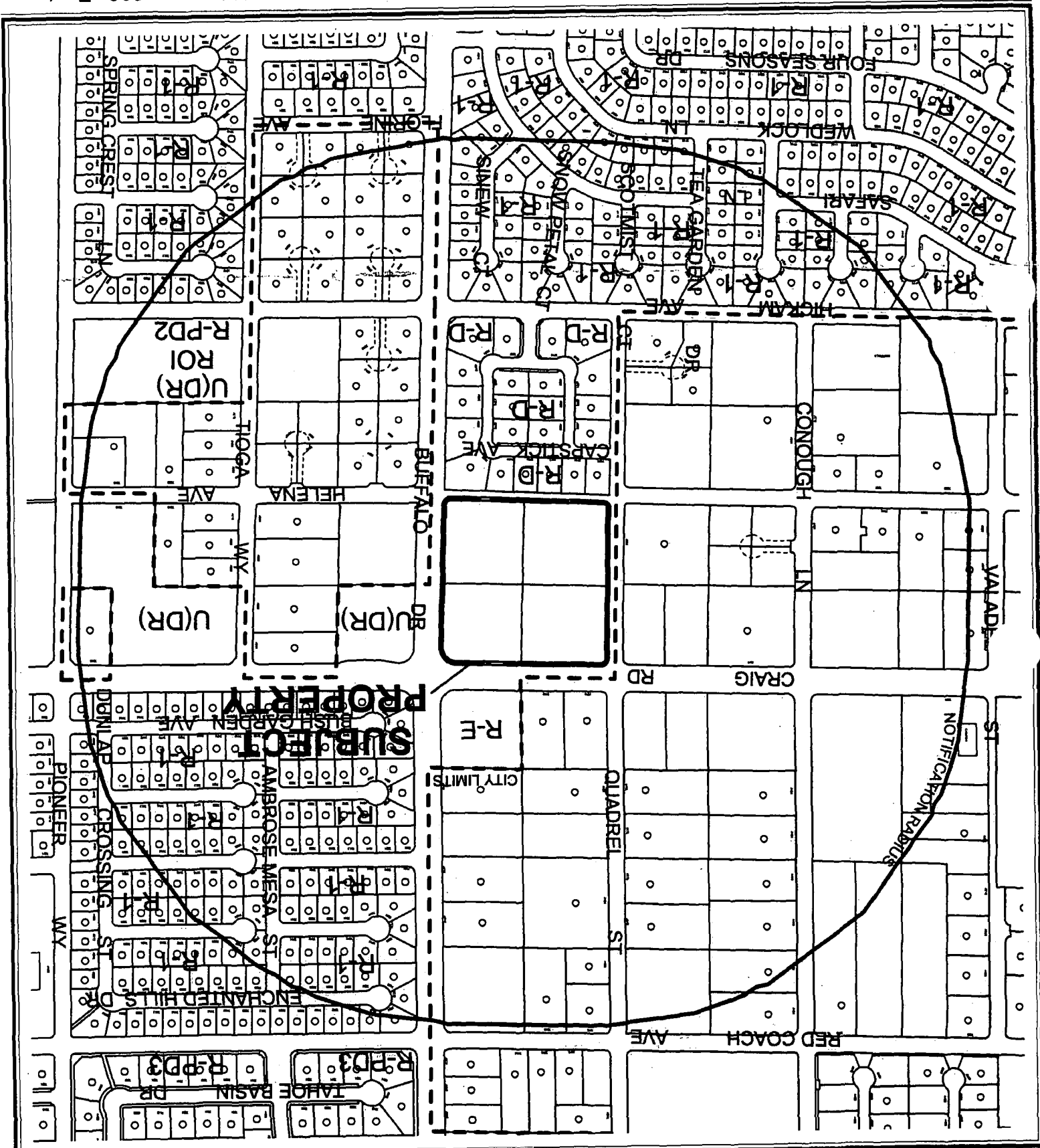
MAYOR PRO TEM REESE clarified with DEPUTY CITY ATTORNEY SCOTT that the remarks did not constitute reconsideration and no further action was required.

There was no further discussion.

NOTE: All discussion pertaining to Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)] was held under Item 116 [Z-0083-02].

(1:41 – 1:47/3:25 – 3:28)

3-1/4-1896



CASE: Z-0083-02(1)
RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: R-E (RESIDENCE ESTATES)

PROPOSED ZONING OF SUBJECT PROPERTY: R-PD2 (RESIDENTIAL PLANNED DEVELOPMENT - 2 UNITS PER ACRE)

117



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0083-02(1) - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC.

**** CONDITIONS ****

The Planning Commission (5-0-2 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Rezoning (Z-0083-02) to a R-PD2 (Residential Planned Development – 2 Units Per Acre) Zoning District approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
4. The maximum building height shall not exceed two stories or 35 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 18 feet front yard setback as measured from back of sidewalk or from back of curb if no sidewalk is provided, 5 feet on the side, 10 feet on the corner side, and 15 feet in the rear.
6. The landscape plan shall be revised and approved by Planning and Development Department staff, prior to the time application is made for a building permit, to reflect minimum 24-inch box trees planted a maximum of 30 feet on-center plus one (1) additional 24 inch box tree per planter. Ground cover is required and shall include a minimum of four (4) shrubs of five (5) gallon minimum each per each 24 inch box tree provided.
7. Landscaping and a permanent underground sprinkler system shall be installed as required by the Planning Commission or City Council and shall be permanently maintained in a satisfactory manner.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19A.12.050.
9. Air conditioning units shall not be mounted on rooftops.

Z-0083-02(1) - Conditions Page Two
November 20, 2002 City Council Meeting

10. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the wall with the least vertical exposure above the finished grade, unless otherwise stipulated.
11. All City Code requirements and design standards of all City departments must be satisfied

Public Works

12. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed access layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Active gated entries, if proposed, shall be designed, located and constructed in accordance with Standard Drawing #222a.
13. A Master Streetlight Plan of public street lights for the entire subdivision shall be submitted to and approved by the Department of Public Works prior to the submittal of construction drawings for this site.
14. Public drainage easements must be common lots to be privately maintained by a home owner's association or maintenance association for all public drainage not located within existing public street right-of-way.
15. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
17. Site development to comply with all applicable conditions of approval for Z-83-02 on this same agenda and all other subsequent site-related actions.
18. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

Z-0083-02(1) - Staff Report Page One
November 20, 2002 City Council Meeting

** STAFF REPORT **

APPLICATION REQUEST

This request is for a Site Development Plan Review for a proposed 21-lot single family development on approximately 10 acres located adjacent to the southwest corner of Buffalo Drive and Craig Road.

BACKGROUND DATA

- 01/04/89 The subject property was Annexed (A-0016-88) into the City of Las Vegas.
- 09/07/94 The City Council approved a Rezoning (Z-0072-94) from R-E (Residence Estates) to R-D (Single Family Residential-Restricted) on this site as part of a larger request.
- 11/01/95 The City Council approved an Extension of Time [Z-0072-94(3)] for the rezoning request. Condition number two eliminated the northern half of the rezoning request of which this site is a part. Therefore this site was reverted back to R-E.
- 10/24/02 The Planning Commission recommended approval of a Rezoning (Z-0083-02) from R-E (Residence Estates) to R-PD2 (Residential Planned Development – 2 Units Per Acre) on this site.
- 10/24/02 The Planning Commission voted 5-2 to recommend APPROVAL (PC Agenda Item #54).

DETAILS OF APPLICATION REQUEST

Site Area:	10.80	Acres
Number of Lots:	21	Lots
Density:	1.9	Units Per Acre
Proposed Setbacks:		
Front	18	Feet
Side:	5	Feet
Corner Side:	10	Feet
Rear:	15	Feet
Open Space Required:	0.33	Acres
Open Space Provided:	0.57	Acres

Z-0083-02(1) - Staff Report Page Two
November 20, 2002 City Council Meeting

Thirteen-lots will have direct access to a 37-foot wide private drive and eight-lots will have access to the 37-foot wide private drive through a common driveway. The plan shows that no more than two-lots will have access to each of the four common driveways. A gated entry to Craig Road is shown in the north portion of the site. A six-foot wide landscape planter is proposed along Quadrel Street and a 10-foot wide landscape planter is proposed along Craig Road and Buffalo Drive. The proposed elevations indicate one-story and two-story homes with stucco exteriors and tile roofs.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Unincorporated Clark County R-E (Residence Estates)	Single Family Residential Undeveloped
East	U [DR (Desert Rural) General Plan Designation] Unincorporated Clark County	Undeveloped Undeveloped
West	Unincorporated Clark County Unincorporated Clark County	Single Family Residential Undeveloped
South	R-D (Single Family Residential-Restricted)	Single Family Residential

ANALYSIS & FINDINGS

ZONING

The subject site is currently zoned R-E (Residence Estates). The proposed overall development density of 1.9 dwelling units per acre on the 10.80-acre site is consistent with the proposed rezoning (Z-0083-02) to R-PD2 (Residential Planned Development – 2 Units Per Acre).

SITE PLAN

The proposed site plan is in compliance with Title 18 (Subdivision Code) which requires private streets to be a minimum of 37 feet wide for "L" curbing or a minimum of 39 feet wide for "rolled" curbs. The site plan depicts an acceptable street layout and an appropriate location for open space. The proposed development indicates 15-foot minimum rear setbacks. The majority of the lot sizes on this site are similar in size to R-D (Single family Residential-Restricted) lots that require a minimum 30-foot rear setback. A rear setback of 20-feet is recommended, to allow structures to be further away from the rear property lines as are other structures on adjacent properties.

LANDSCAPE PLAN

The landscape plan needs to be revised to show the correct number of trees with the appropriate spacing. The proposed development under Title 19.06.040 would require .34 acres of open space and the proposed layout depicts .57 acres of open space. The proposed layout shows one area containing 17,848 square feet of open space that is located south of the gated entryway. This one area meets the required amount of open space and will be easily accessible to all lot owners.

Z-0083-02(1) - Staff Report Page Three
November 20, 2002 City Council Meeting

ELEVATIONS

The elevations depict one and two story dwellings with stucco exteriors and tile roofs.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission or City Council to affirm all of the following:

1. **"The proposed development is compatible with adjacent development and development in the area."**

The site plan as proposed would allow for development of single-family uses at a density that is compatible with the existing residential development in the vicinity.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

The proposed development is consistent with the General Plan and other ordinances of the City. The landscaping plan needs to be modified to be consistent with the Las Vegas Urban Design Guidelines and Standards.

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."**

The street system will have adequate capacity to accommodate traffic generated by this proposed development. The development will have one entrance/exit and that will be onto Craig Road.

4. **"Building and landscape materials are appropriate for the area and for the City."**

The proposed project will incorporate appropriate building elevations and materials for the area. The proposed landscape materials also are appropriate for the area.

5. **"Building elevations, design characteristics, and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area."**

Z-0083-02(1) - Staff Report Page Four
November 20, 2002 City Council Meeting

The building elevations are typical of single-family developments and will be compatible with other single-family dwellings in the area.

6. **"Appropriate measures taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to the Uniform Building Code, and therefore the development will not compromise the public health, safety or welfare.

PLANNING COMMISSION ACTION

The Planning Commission recommended approval of the 21 unit project with minor amendments to conditions 15 & 17.

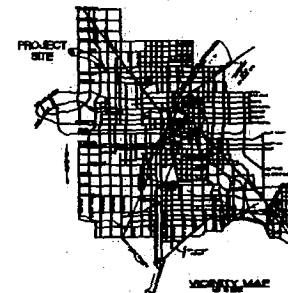
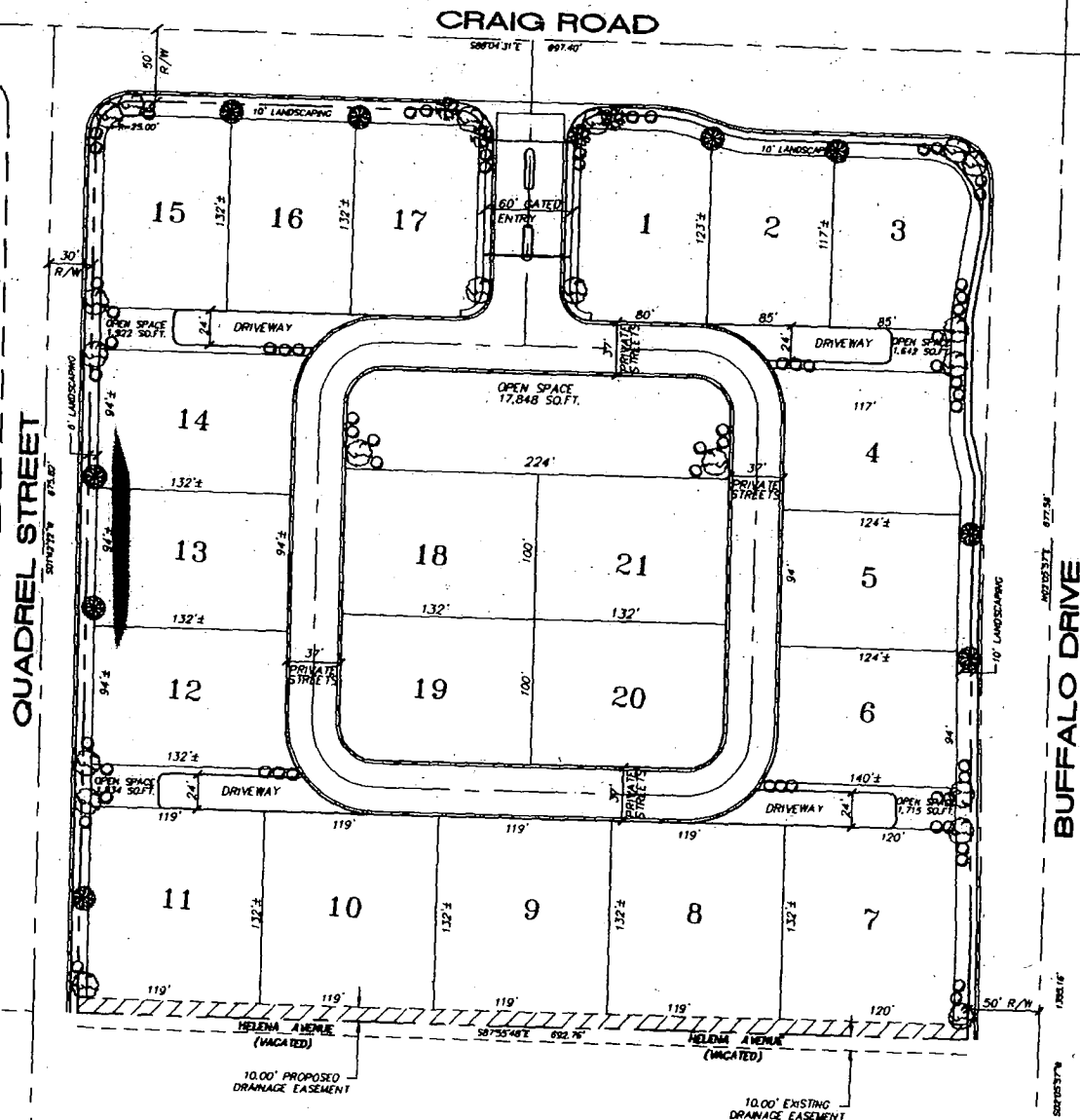
NOTICES MAILED 351 by Planning Department

APPROVALS 0

PROTESTS 0



BUFFALO/CRAIG



TABULATION

APN # 138-04-704-001; 138-04-704-002
138-04-704-003; 138-04-704-004

EXISTING ZONING R-E
PROPOSED ZONING R-PD2
EXISTING LAND USE DR
PROPOSED LAND USE DR
GROSS ACREAGE 10.80 ACRES ±
LOT COUNT 21 LOTS
D.U.A. 1.9 #

OPEN SPACE REQUIRED 14,374 SQ.FT. (0.39 ACRES)
1.9 x 0.0185 x 10.80 = 0.33 ACRES
OPEN SPACE PROVIDED 24,961 SQ.FT. (0.57 ACRES)

DEVELOPER

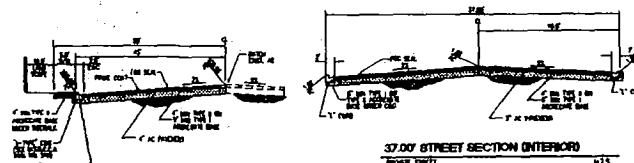
KB HOME NEVADA INC.
750 PILOT ROAD, SUITE F
LAS VEGAS, NV 89119
PHONE: (702) 814-2500

OWNERS

APN: 138-04-704-001; 138-04-704-002
138-04-704-003; 138-04-704-004
CRAD BUFFALO, LTD
7444 ALICE SPRINGS CIR.
LAS VEGAS, NV 89129

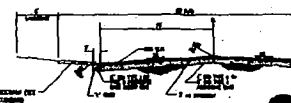
GENERAL NOTES

1. THERE ARE NO EXISTING STRUCTURES LOCATED ON THIS SITE.
2. ALL STREETS ARE 37' PRIVATELY MAINTAINED RIGHTS-OF-WAY.
3. THE BOUNDARY SHOWN HEREON IS FROM RECORD INFORMATION AND IS NOT INTENDED TO REPRESENT THE RESULTS OF AN ACTUAL BOUNDARY SURVEY.
4. THIS PLAN IS ILLUSTRATIVE AND IS TO BE USED FOR PLANNING PURPOSES ONLY. NO LIABILITY IS ASSUMED.
5. THE PARKING ANALYSIS REQUIREMENTS ARE MET BY TWO CAR GARAGES AND AVAILABLE PARKING IN THE DRIVEWAYS THAT MEET THE STANDARD OF TWO PARKING SPACES PER DWELLING UNIT.



30.0' HALF STREET SECTION (BUFFALO DRIVE/CRAIG RD.)

PLAN (INCHES)



30.0' HALF STREET SECTION (QUADREL DRIVE)

PLAN (INCHES)

STAFF

TYPICAL LOT SETBACK

NOTES: THIS PLAN WAS PREPARED USING RECORD INFORMATION. IT IS ILLUSTRATIVE AND IS TO BE USED FOR PLANNING PURPOSES ONLY. NO LIABILITY IS ASSUMED.

REVISED
9-23-02

7-0083-02(1)
10-24-02 PC

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
PAGE 1446

1

KB HOME
750 PILOT ROAD, SUITE F
LAS VEGAS, NV 89119
(702) 814-2500

DEVELOPER/OWNER
SITE PLAN TO ACCOMPANY
ZONING CHANGE AND SDP

1

TETRA TECH, INC.
1000 W. CLARK STREET, SUITE 100
LAS VEGAS, NV 89102
(702) 814-2500



KB HOME
ARCHITECTURE

**LONE
MOUNTAIN
CLASSICS**

13 ROME
Nevada Inc.
750 Pilot Road,
Suite 7
Las Vegas, NV 89119
TEL: (702) 614-2590
FAX: (702) 614-2449

• KB Home •
SECOND UPDATE

- 11-18 2002
 ISSUE DATE: 08/24/01
 DRAWN BY: LKH
 PROJECT NO.: 000-875
 PROJECT NAME: JC
 REVISIONS:



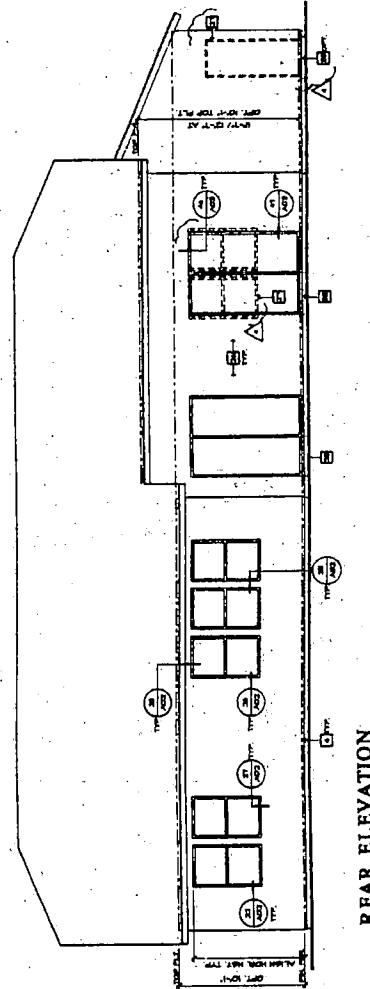
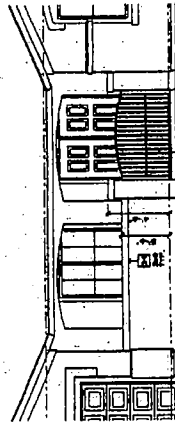
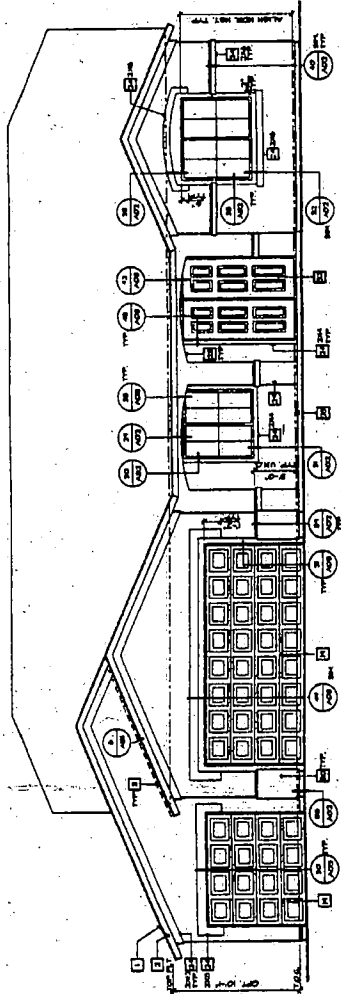
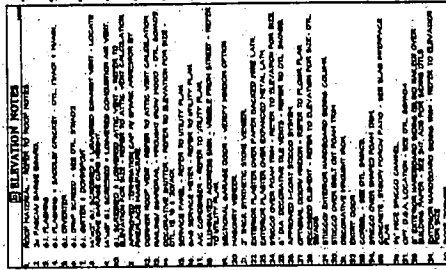
PLAN: 155.2616
SHEET: 3.1

APPROVAL IS FOR CLOUDED,
AREAS OR LATEST REVISIONS
ONLY. SEE ORIGINALS

STAFF

100-443887-1

Z-0083-02(1)
10-24-02 PC



Z-0083-02(1)
10-24-02 PC

STAFF

PLAN 1552616
SHEET 32

DATE: 06/24/01
PROJECT: 1552616
PROJECT NO.: 02-019
SHEET NO.: 32

FOR HOME
CONSTRUCTION
NO. 13 302

STATE APPROVED
CONSTRUCTION
OFFICIAL

DATE: 06/24/01



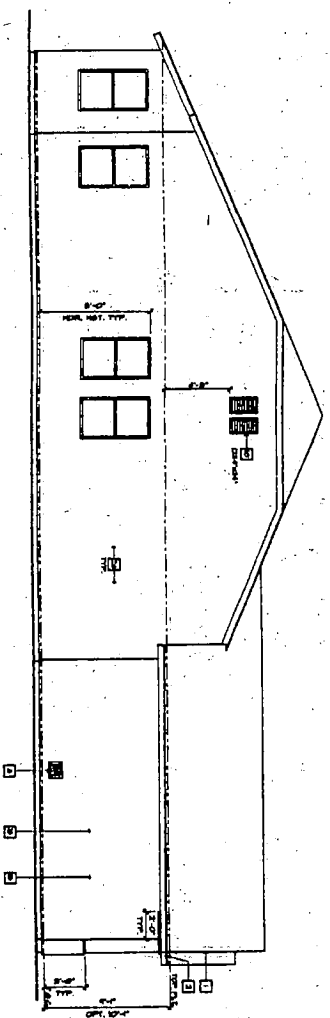
KB HOME ARCHITECTURE

LONE MOUNTAIN CLASSICS

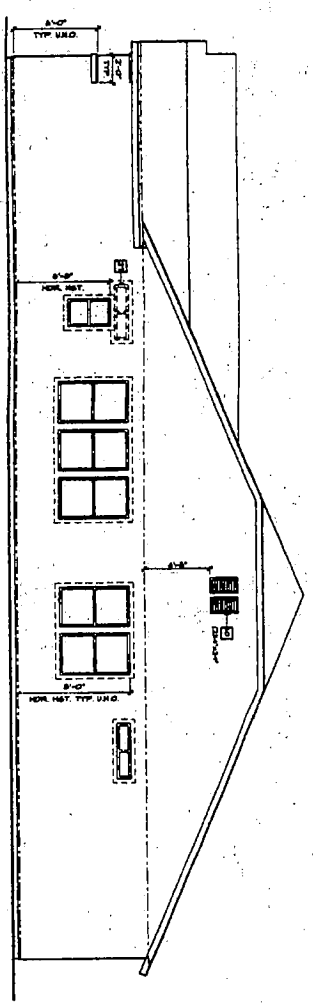
720 York Road
Lan, Virginia, VT 05110
TEL: (783) 611-2800
FAX: (783) 611-2808

- ELEVATION NOTES**
1. ELEVATION 1 - FRONT ELEVATION - SEE PLAN & SECTION.
 2. ELEVATION 2 - SIDE ELEVATION - SEE PLAN & SECTION.
 3. ELEVATION 3 - REAR ELEVATION - SEE PLAN & SECTION.
 4. ELEVATION 4 - ROOF ELEVATION - SEE PLAN & SECTION.
 5. ELEVATION 5 - GROUND ELEVATION - SEE PLAN & SECTION.
 6. ELEVATION 6 - BASE ELEVATION - SEE PLAN & SECTION.
 7. ELEVATION 7 - FINISH ELEVATION - SEE PLAN & SECTION.
 8. ELEVATION 8 - EXTERIOR ELEVATION - SEE PLAN & SECTION.
 9. ELEVATION 9 - INTERIOR ELEVATION - SEE PLAN & SECTION.
 10. ELEVATION 10 - ATTIC ELEVATION - SEE PLAN & SECTION.
 11. ELEVATION 11 - GARAGE ELEVATION - SEE PLAN & SECTION.
 12. ELEVATION 12 - PORCH ELEVATION - SEE PLAN & SECTION.
 13. ELEVATION 13 - DECK ELEVATION - SEE PLAN & SECTION.
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LEFT ELEVATION "A"



RIGHT ELEVATION "A"

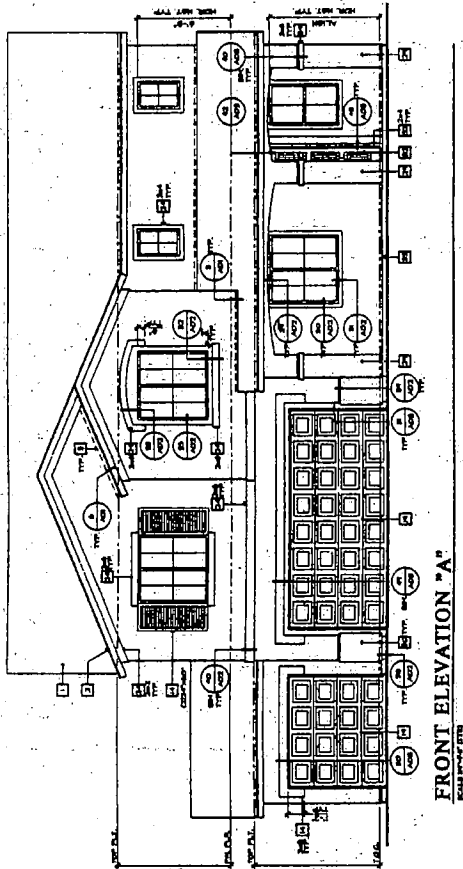




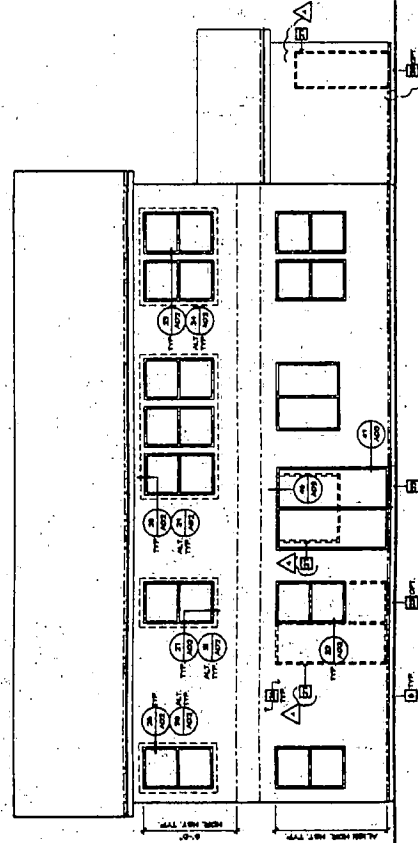
**LONE
MOUNTAIN
CLASSICS**

150 Pined Road
Las Vegas, NV 89119
TEL: (702) 411-8890
FAX: (702) 411-8890

ELEVATION NOTES
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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FRONT ELEVATION "A"



REAR ELEVATION

ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
ALL FINISHES TO BE AS SHOWN ON SHEET 1.
ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.

APPROVAL IS FOR CLOUDED
AREAS OR LATEST REVISIONS
ONLY SEE ORIGINALS

STAFF

Z-0083-02(1)
JAN 18 2002

10-24-02 PC

KB Home
SECOND UPDATE
150 Pined Road
Las Vegas, NV 89119
TEL: (702) 411-8890
FAX: (702) 411-8890



FILE # 2453039
SHEET 31



KB HOME
ARCHITECTURE

KB HOME
760 Plaza Road
Suite 7
Las Vegas, NV 89119
TEL: (702) 814-8888
FAX: (702) 814-8888



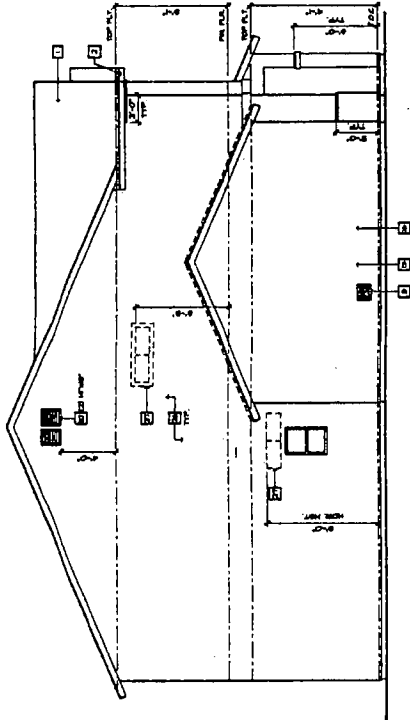
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DRAWN BY: LHM
PROJECT NO.: 008-02
PROJECT NAME: STAFF

KB HOME
CONSTRUCTION
INC. 11 201

PLANS APPROVED
DATE: 08/24/01
BY: LHM
PROJECT NO.: 008-02

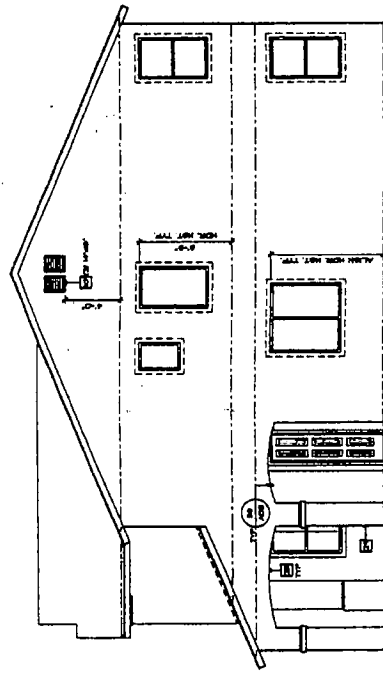
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SHEET: 32

- ELEVATION NOTES**
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LEFT ELEVATION "A"

DASHED LINES INDICATE 4" TURN TO APPLY
ADJACENT WINDOW DOORS THAT ARE ADJACENT
TO STREETS AND COMMON OPEN SPACES.



RIGHT ELEVATION "A"

DASHED LINES INDICATE 4" TURN TO APPLY
ADJACENT WINDOW DOORS THAT ARE ADJACENT
TO STREETS AND COMMON OPEN SPACES.

STAFF

Z-0083-02(1)

10-24-02 PC

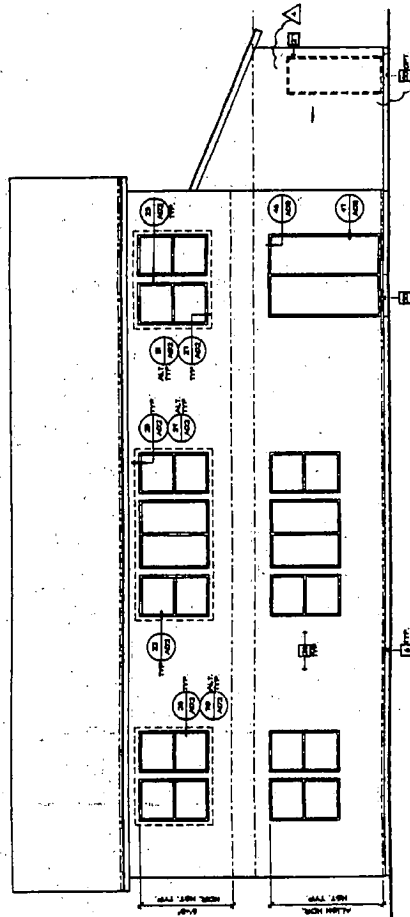
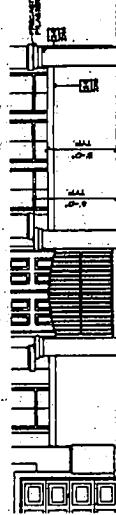
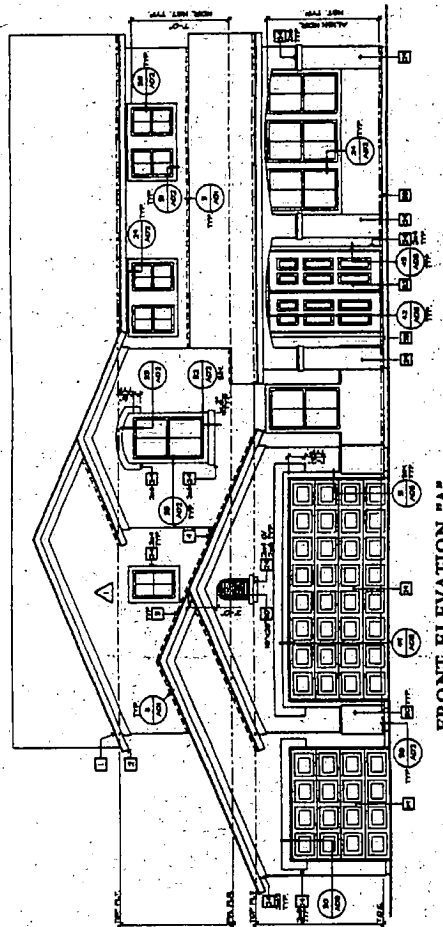


LONE MOUNTAIN CLASSICS

328 BOWIE
7500 Peach Road
Suite 7
Las Vegas, NV 89119
TEL (702) 811-2880
FAX (702) 811-8889

ELEVATION NOTES

1. SEE PLAN FOR WINDOW SCHEDULE.
2. ALL FINISHES TO BE INDICATED ON ELEVATION.
3. ALL MATERIALS TO BE INDICATED ON ELEVATION.
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CLIMATIC ZONE 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

KB Home
SECOND UPDATE
11.11.2002

DATE: 11/11/02
DRAWN BY: JAC
PROJECT NO.: 000-075
PROJECT NAME: JAC
EXTENSION: JAC



PLAN
250.3633
SHEET 31

APPROVAL IS FOR CLOUDED AREAS OR LATEST REVISIONS ONLY SEE ORIGINALS

PLANS PREPARED BY: JAC
DATE: 11/11/02
BY: JAC
CHECKED BY: JAC
DATE: 11/11/02

STAFF

Z-0083-02(1)

10-24-02 PC



**LONE
MOUNTAIN
CLASSICS**

KB HOME
 Nevada Inc.
 750 Pilot Road
 Suite f
 Las Vegas, NV 89119
 TEL: (702) 814-2890
 FAX: (702) 814-2898



ISSUE DATE: 08/24/91 AC
JULIANS ST: 600-675 AC
PROPERTY NO.:
PROPERTY MEAS.:

KB Home
CONSTRUCTIONPLANS APPROVED
CONSTRUCTION

2012.7.7. MON

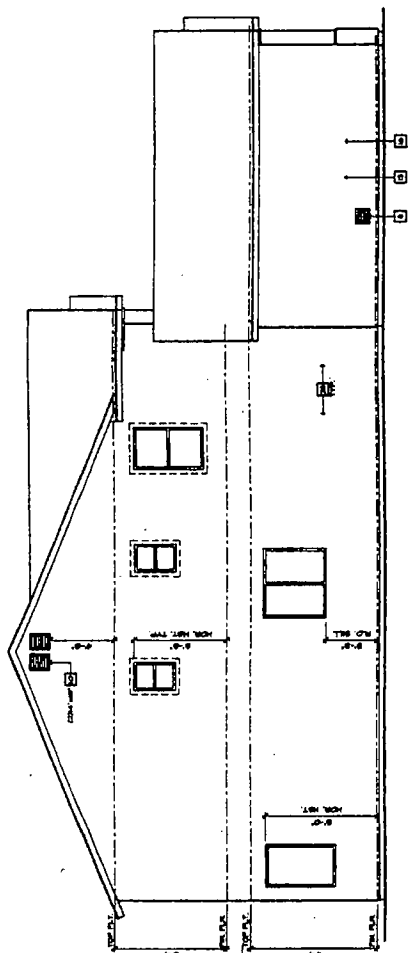
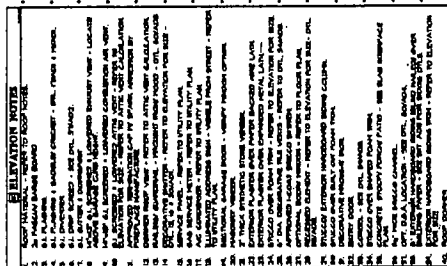
PLAN: 7503633

3.2

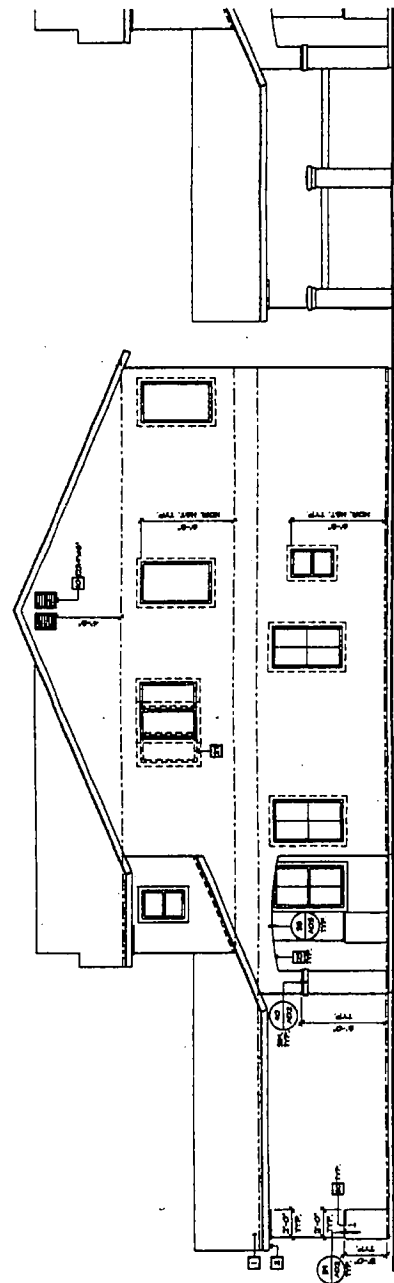
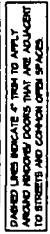
STAFF

Z-0083-02(1)

10-24-02 PC



LEFT ELEVATION "A"



**RIGHT ELEVATION "A"
AT COURTYARD**

RIGHT ELEVATION "A"

DASHED LINES INDICATE 4" TRIM TO APPLY AROUND RECESSED DOORS THAT ARE ADJACENT TO STREETS AND COMMON OPEN SPACES.



LONE
MOUNTAIN
CLASSICS

100 HOME
700 Main Road
Suite 100
Tel: (708) 811-2200
Fax: (708) 811-2200
SECOND UPDATE
20.11.02

APPROVAL IS FOR CLOBBED
AREAS OR LATEST REVISIONS
UNLESS OTHERWISE NOTED
FOR REVISIONS

PLANS APPROVED
FOR CONSTRUCTION
DATE: 12/13/02

ISSUE DATE: 12/13/02
DRAWN BY: LHM
PROJECT NO.: 008-02
REVISIONS:
DATE: 12/13/02



NOTHING
FIRST UPDATE
NO 21 2002

2453407
SHEET 31

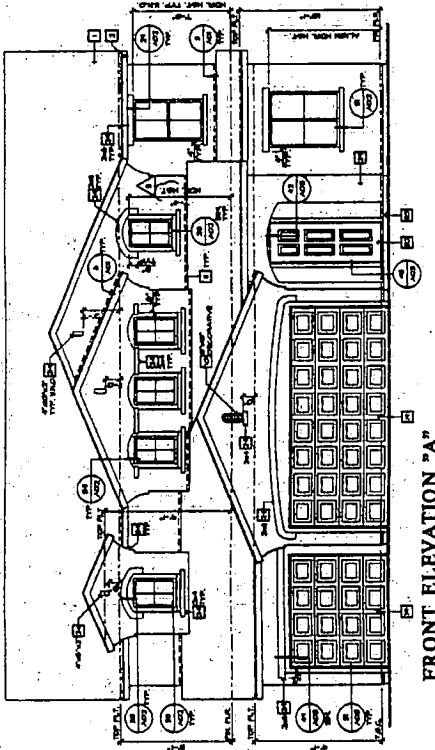
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CITY CLERK

STAFF

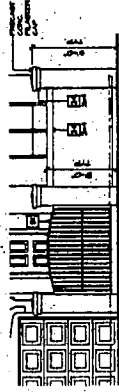
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10-24-02 PC

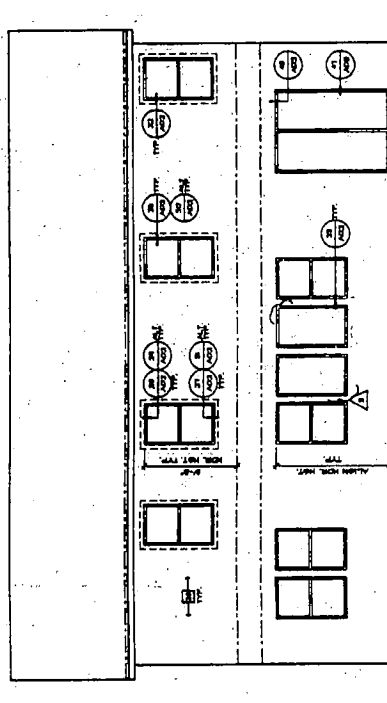
ELEVATION NOTES
1. ALL ELEVATIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL FINISHES ARE TO BE INDICATED BY A FINISH CODE.
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100. ALL ELEVATIONS ARE TO BE INDICATED BY A FINISH CODE.



FRONT ELEVATION "A" AT COURTYARD



FRONT ELEVATION "A" AT COURTYARD



REAR ELEVATION

DIMENSIONED LINES INDICATE 4' FROM TO APPLY
AROUND REAR ELEVATION THAT ARE ADJACENT
TO STREETS AND CORNER PLOT SPACES.



LONE MOUNTAIN CLASSICS

750 West Road
Las Vegas, NV 89110
TEL: (702) 614-2880
FAX: (702) 614-2889

SECOND UPDATE
JUL 19 2002

APPROVAL IS NOT CLOUSED
AS OF LATEST REVISIONS
OTHER REVISIONS FOR
PLANS APPROVED
ARCHITECTURE

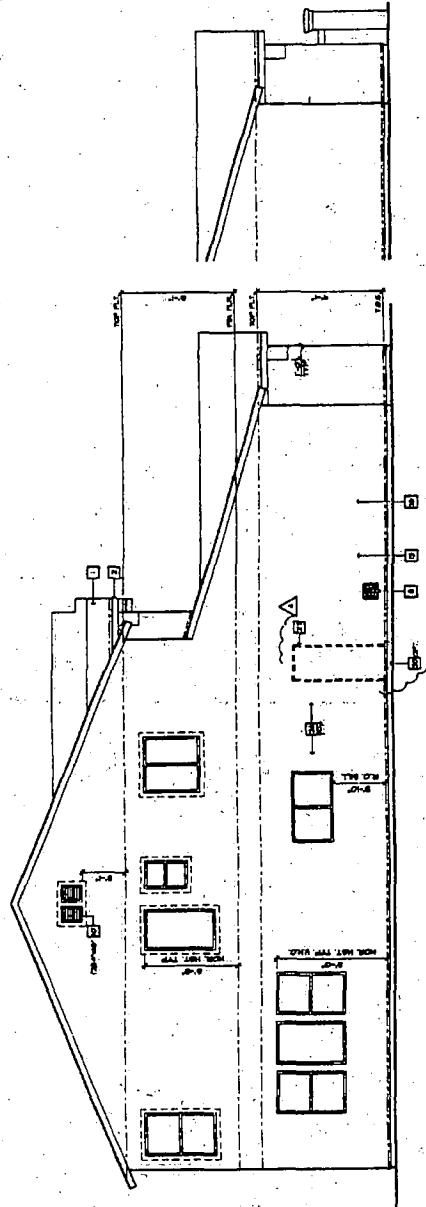
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DATE: 10/17/02



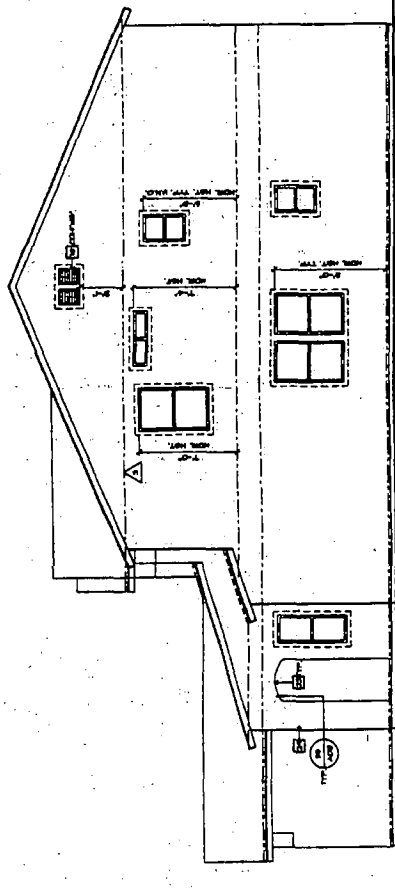
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SHEET: 3.2

- ELEVATION NOTES**
1. ALL ELEVATIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES: EXTERIOR - STUCCO; INTERIOR - PLASTER.
 3. ROOF: 12/12 PITCH, ASPH/FLT SHINGLES.
 4. FLOORING: INTERIOR - CARPET; EXTERIOR - CONCRETE.
 5. WALLS: INTERIOR - PLASTER; EXTERIOR - STUCCO.
 6. CEILING: INTERIOR - PLASTER; EXTERIOR - STUCCO.
 7. DOORS: ALL DOORS TO BE 6'0" HIGH BY 3'0" WIDE.
 8. WINDOWS: ALL WINDOWS TO BE 6'0" HIGH BY 3'0" WIDE.
 9. PORCHES: ALL PORCHES TO BE 4'0" HIGH BY 6'0" WIDE.
 10. STAIRS: ALL STAIRS TO BE 8'0" HIGH BY 4'0" WIDE.
 11. BALCONIES: ALL BALCONIES TO BE 4'0" HIGH BY 6'0" WIDE.
 12. PATIOS: ALL PATIOS TO BE 4'0" HIGH BY 6'0" WIDE.
 13. DRIVEWAYS: ALL DRIVEWAYS TO BE 10'0" WIDE.
 14. GARAGES: ALL GARAGES TO BE 12'0" WIDE.
 15. PORCHES: ALL PORCHES TO BE 4'0" HIGH BY 6'0" WIDE.
 16. STAIRS: ALL STAIRS TO BE 8'0" HIGH BY 4'0" WIDE.
 17. BALCONIES: ALL BALCONIES TO BE 4'0" HIGH BY 6'0" WIDE.
 18. PATIOS: ALL PATIOS TO BE 4'0" HIGH BY 6'0" WIDE.
 19. DRIVEWAYS: ALL DRIVEWAYS TO BE 10'0" WIDE.
 20. GARAGES: ALL GARAGES TO BE 12'0" WIDE.



LEFT ELEVATION "A"

DIMED LINES INDICATE 4' INCH TO APPLY
AROUND WINDOWS/DOORS THAT ARE ADJACENT
TO STREETS AND COMMON OPEN SPACES



RIGHT ELEVATION "A"

DIMED LINES INDICATE 4' INCH TO APPLY
AROUND WINDOWS/DOORS THAT ARE ADJACENT
TO STREETS AND COMMON OPEN SPACES

STAFF
Z-0083-02(1)
10-24-02 PC



LONE MOUNTAIN CLASSICS

321 JONES
Savannah, GA
760 Phipps Road
Suite 200
Tel: (903) 814-2800
Fax: (903) 814-2808

KB Home
SECOND UPDATE
JUL 10 2002

PLANS APPROVED
APPROVED BY
DATE: 12/10/02
PROJECT NO.: 02-0083-02(1)

APPROVAL IS FOR CLOUDED
ONLY. IF ORIGINALS ARE
OTHER REQUIREMENTS.

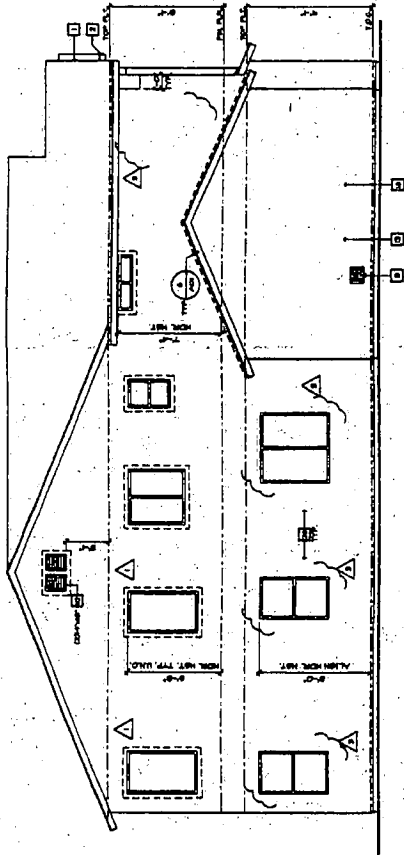
APPROVED BY: [Signature]
DATE: 12/10/02
PROJECT NO.: 02-0083-02(1)



PLAN 7453793
SHEET 3.2

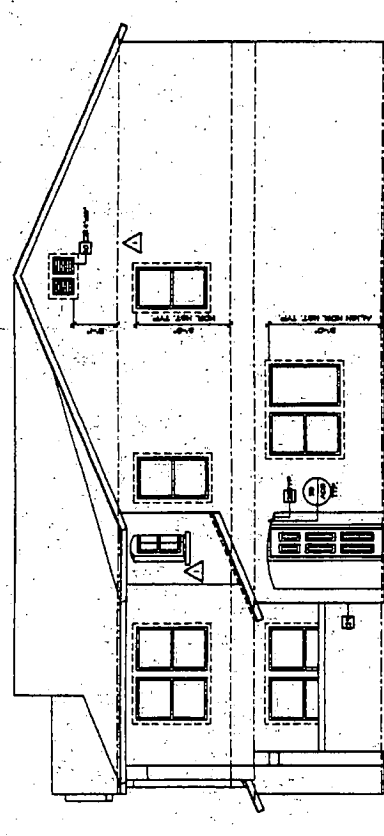
RECEIVED
NOV 29 2002
CITY OF ATLANTA
PLANNING

- ELEVATION NOTES**
1. ELEVATION NOTES - REFER TO ELEVATION NOTES.
 2. ALL WINDOWS - UNLESS OTHERWISE NOTED - 6' HIGH x 4' WIDE.
 3. ALL DOORS - UNLESS OTHERWISE NOTED - 6' HIGH x 3' WIDE.
 4. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.
 5. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 6. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 7. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
 8. ALL LIGHTING - UNLESS OTHERWISE NOTED - 1' SQUARE RECESSED CAN LIGHTS.
 9. ALL PAINT - UNLESS OTHERWISE NOTED - WHITE.
 10. ALL EXTERIOR FINISHES - UNLESS OTHERWISE NOTED - BRICK.
 11. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
 12. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.
 13. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 14. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
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 19. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
 20. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.
 21. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 22. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 23. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
 24. ALL LIGHTING - UNLESS OTHERWISE NOTED - 1' SQUARE RECESSED CAN LIGHTS.
 25. ALL PAINT - UNLESS OTHERWISE NOTED - WHITE.
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 27. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
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 30. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
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 38. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 39. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
 40. ALL LIGHTING - UNLESS OTHERWISE NOTED - 1' SQUARE RECESSED CAN LIGHTS.
 41. ALL PAINT - UNLESS OTHERWISE NOTED - WHITE.
 42. ALL EXTERIOR FINISHES - UNLESS OTHERWISE NOTED - BRICK.
 43. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
 44. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.
 45. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 46. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 47. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
 48. ALL LIGHTING - UNLESS OTHERWISE NOTED - 1' SQUARE RECESSED CAN LIGHTS.
 49. ALL PAINT - UNLESS OTHERWISE NOTED - WHITE.
 50. ALL EXTERIOR FINISHES - UNLESS OTHERWISE NOTED - BRICK.
 51. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
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 53. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 54. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 55. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
 56. ALL LIGHTING - UNLESS OTHERWISE NOTED - 1' SQUARE RECESSED CAN LIGHTS.
 57. ALL PAINT - UNLESS OTHERWISE NOTED - WHITE.
 58. ALL EXTERIOR FINISHES - UNLESS OTHERWISE NOTED - BRICK.
 59. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
 60. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.
 61. ALL SIDING - UNLESS OTHERWISE NOTED - VINYL Siding.
 62. ALL FLOORING - UNLESS OTHERWISE NOTED - CARPET.
 63. ALL CEILING - UNLESS OTHERWISE NOTED - DRYWALL.
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 99. ALL INTERIOR FINISHES - UNLESS OTHERWISE NOTED - CARPET.
 100. ALL ROOFING - UNLESS OTHERWISE NOTED - 12/12 PITCH.



LEFT ELEVATION "A"

DASHED LINES INDICATE 4' TYP. TO APPLY
AROUND WINDOWS AND DOORS THAT ARE ADJACENT
TO STREETS AND CORNER OPEN SPACES.



RIGHT ELEVATION "A"

DASHED LINES INDICATE 4' TYP. TO APPLY
AROUND WINDOWS AND DOORS THAT ARE ADJACENT
TO STREETS AND CORNER OPEN SPACES.

STAFF

Z-0083-02(1)

10-24-02 PC



Z-0083-02(1) - CRAIG BUFFALO LIMITED ON BEHALF OF KB HOME NEVADA, INC.
SOUTHWEST CORNER OF BUFFALO DRIVE AND CRAIG ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02

City of Las Vegas

Agenda Item No. 118

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

ABEYANCE ITEM - GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0031-02 - JOHNSON FAMILY TRUST ON BEHALF OF JOE RISNER - Request to amend a portion of Southeast Sector Plan FROM: SC (Service Commercial) TO: GC (General Commercial) on approximately 0.52 acres located at 2834 East Charleston Boulevard (APN: 139-36-402-013), Ward 3 (Reese). The Planning Commission (7-0 vote) and staff recommend DENIAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

3
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application – Not Applicable
3. Staff Report
4. Submitted at meeting: Letter from Clark County Fence Co., Inc. requesting a withdrawal without prejudice

MOTION:

REESE – ACCEPTED the WITHDRAWAL WITHOUT PREJUDICE – UNANIMOUS with M. McDONALD excused

MINUTES:

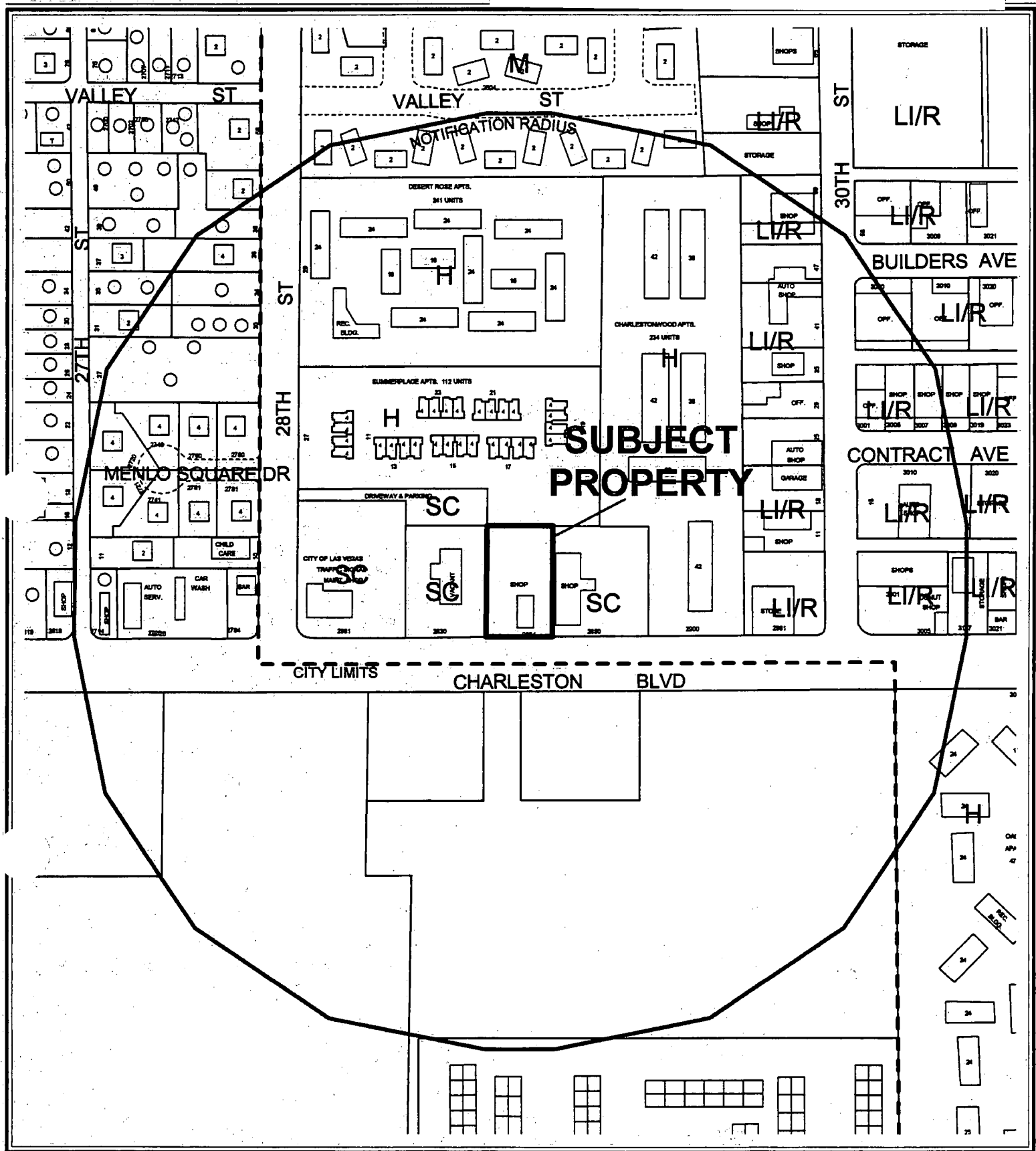
COUNCILMAN REESE indicated that the applicant submitted a letter requesting to withdraw without prejudice Item 118 [GPA-0031-02] and Item 119 [Z-0074-02].

No one appeared in opposition.

There was no discussion.

(1:11 – 1:15)

3-380

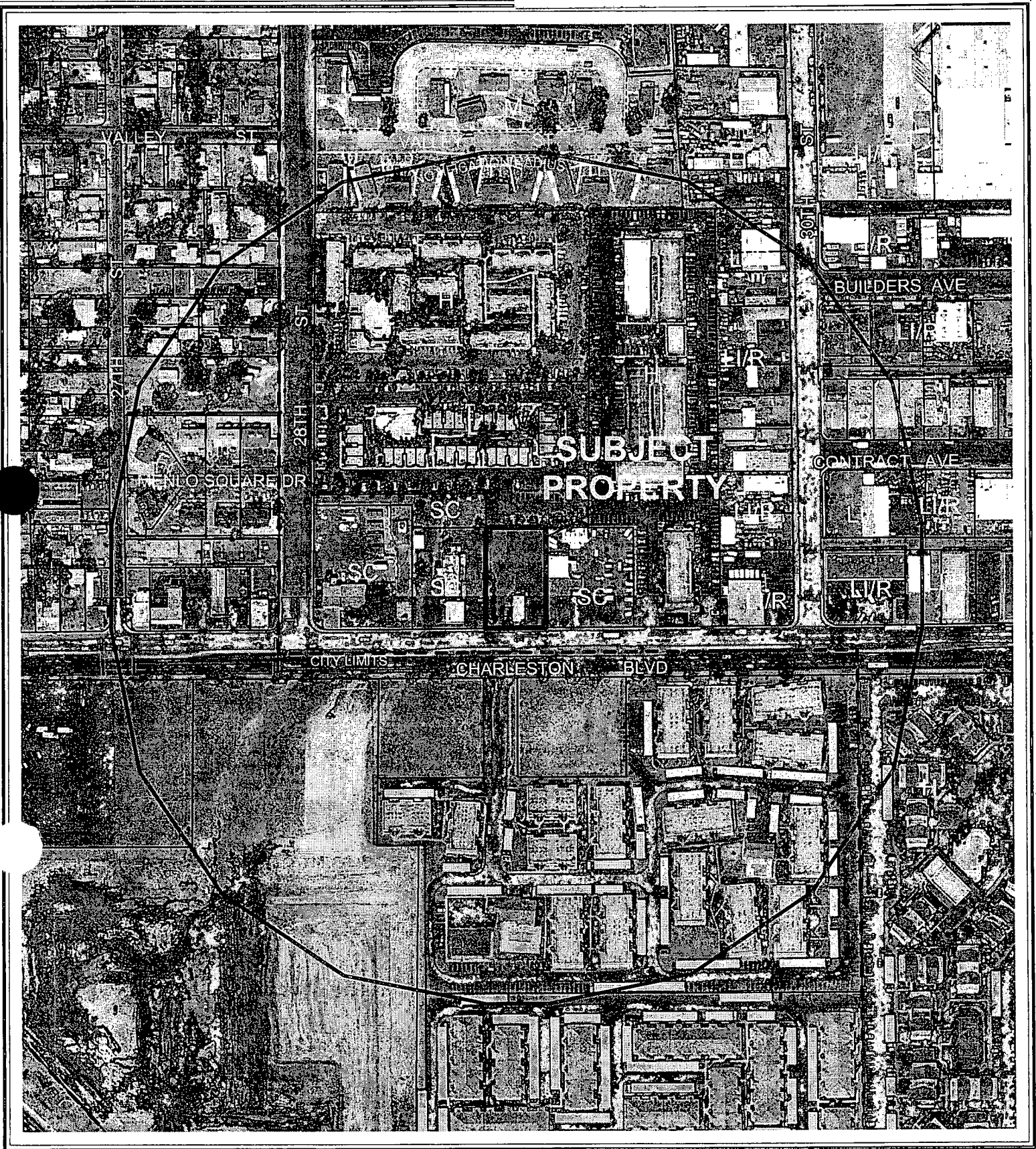


CASE: GPA-0031-02

RADIUS: 750 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: SC (SERVICE COMMERCIAL)

PROPOSED TO: GC (GENERAL COMMERCIAL)



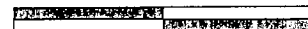
CASE: GPA-0031-02

RADIUS: 750 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: SC (SERVICE COMMERCIAL)

PROPOSED TO: GC (GENERAL COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO**

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002
DEPARTMENT: PLANNING AND DEVELOPMENT
ITEM DESCRIPTION: GPA-0034-02 - CITY OF LAS VEGAS

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend APPROVAL.

CLARK COUNTY RECOMMENDATION: **The Clark County Board of Commissioners is expected to act on this item on November 6, 2002.**

GPA-0034-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to amend Map No. 2 of the "Master Plan Transportation Trails Element" and Map No. 2 of the "Master Plan Recreation Trails Element" to bring the elements into compliance with the Interlocal Agreement seamless trails plan developed jointly between Las Vegas and Clark County.

BACKGROUND DATA:

- 03/12/92 The Planning Commission approved the three Land Use Sector Maps of the General Plan.
- 12/18/96 The City Council adopted the "Northwest General Plan Amendment" to the City of Las Vegas General Plan. Within this plan are provisions for various types of trails in the Northwest Sector (now referred to as the Centennial Hills Sector). Map Seven of the plan document specifically illustrates the alignment of these trails.
- 05/24/99 The City Council approved the Centennial Hills Sector Map (GPA-01-99) of the City of Las Vegas General Plan that replaced the Northwest Sector Map. The provision for various types of trails within the Centennial Hills Sector continue to be operative in this plan.
- 01/16/02 The City Council approved the "Master Plan Transportation Trails Element" and the "Master Plan Recreation Trails Element." These plans set forth the standards and conditions for various types of trails and included a Map No. 2 in each Element that replaced Map Seven of the Northwest General Plan and the Centennial Hills Sector Plan.
- 01/02/02 The City Council and the Board of County Commissioners adopted an Interlocal Agreement for establishing a joint position on corporate boundaries, planning, public facilities/service provisions and future annexations for the Centennial Hills Sector. Section 6 of the Agreement stipulates that the City and County shall agree to work together to develop a seamless plan of trails for the Centennial Hills Sector by June 1, 2002.

GPA-0034-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

- 05/07/02 The Board of County Commissioners approved the Lone Mountain Secondary Trails Plan that establishes a plan for various types of trails and alignments for the Centennial Hills Sector. This plan and the City's trail elements show trails and trail alignments that are not entirely consistent.
- 06/01/02 Staffs working for Las Vegas and Clark County completed a seamless plan of trails for the Centennial Hills Sector. The seamless plan requires amendments to the City's trail elements and the County's trails plan to bring them into conformance with the seamless plan.
- 10/10/02 The Planning Commission voted 7-0 to recommend APPROVAL (PC Agenda Item #32).

DETAILS OF APPLICATION REQUEST

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA:

See analysis section

SPECIAL PLAN AREA:

Not Applicable

RURAL PRESERVATION NEIGHBORHOOD:

Not Applicable

RURAL PRESERVATION NEIGHBORHOOD BUFFER:

Not Applicable

PROJECT OF REGIONAL SIGNIFICANCE:

Not Applicable

DEFINITIONS

Trails Element Definitions

Trail: A designated route for persons driving or riding non-motorized vehicles, for pedestrians, and for other trail users. There are two major types of trails: recreation trails and transportation trails.

Trail, equestrian: A recreation trail designed and intended strictly for equestrians.

Trail, multi-use, equestrian: A multi-use transportation trail combined with an equestrian trail.

GPA-0034-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

Trail, multi-use transportation: A transportation trail intended to be used and shared by bicyclists and persons on other non-motorized vehicles and for pedestrians.

Trail, recreation: A trail primarily intended for recreation purposes. A recreation trail may be characterized as a path that begins and ends in approximately the same locality, such as in a park or subdivision; it may constitute a path that is incorporated in a cultural or societal experience; or it may provide access to a destination that is generally oriented for recreation purposes.

Trail, transportation: A trail intended to be used for transportation purposes. A transportation trail may be characterized as a trail that provides access from one part of the community to another.

INTERAGENCY ISSUES

CITY OF LAS VEGAS/ CLARK COUNTY NORTHWEST INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA

See analysis section

SPECIAL PLAN AREA

See analysis section

ANALYSIS

The City and County adopted an Interlocal Agreement for establishing a joint position on corporate boundaries, planning, public facilities/service provision and future annexations for Land Use Planning Area. This area is the same as the Centennial Hills Sector.

Section 6 of the agreement, which was adopted on January 2, 2002, refers to Joint Parks and Trails Planning, stating:

Within the joint Land Use Planning Area, the City and County agree to jointly work together to develop and adopt an addendum to their respective Recreation Plans, as an element to their Comprehensive (Master) Plan; a parks plan, a recreational trails plan and jointly adopted recreational trails map that clearly delineates the location and function of parks and recreational trails in the Joint Land Use Planning Area. Both parties will make best efforts to complete by June 2002. The City and County will jointly work together to develop and adopt an amendment to

GPA-0034-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

their respective comprehensive/master plans to adopt recreation trails and transportation trails that interconnect between the two jurisdictions in the joint land use planning area.

Both the City and County have adopted trail plans with maps that illustrate where trails are to be located. The City's trails plan was adopted on January 16, 2002, and the County's trails plan for the Centennial Hills Sector was adopted on May 7, 2002.

An interlocal agreement committee of staff members of Clark County and Las Vegas and representatives from the offices of Commissioner Maxfield, Councilman Brown, and Councilman Mack met on several occasions to review and determine the degree of consistency of the two entities' approved trail plans. The trail plans were found to have minor connectivity problems. In resolving these problems, the committee determined that the purpose of the Interlocal Agreement was to combine or meld the various entities' plans – not to address specific issues or problems that relate to only one entity. The plan was completed by the June 1 deadline for completing the seamless plan.

The seamless trails plan is represented as Map No. 2 attached and made a part of this application. (This map includes only the Centennial Hills Sector portion of Map No. 2 of the trail elements, as the only proposed amendments are in this sector.) This map shows equestrian trails and transportation trails represented as multi-use, non-equestrian trails. Although the multi-use, non-equestrian trails are intended for transportation, i.e., for commuter purposes, bicyclists, inline skaters and others may use the trails for recreation purposes. No motorized vehicle is permitted on any of the trails shown.

There are certain trails required by Las Vegas that are not shown on the map. These trails will not cross-jurisdictional boundaries and include the trails in the area of the "Lone Mountain Master Development Plan" and the "Lone Mountain West Master Development Plan" and in Town Center.

For most side street trails, the particular side of the street on which they are to be located is indicated by reference to a letter denoting the direction or side of the street. Where no direction or two directions are denoted, the appropriate side of the street for the trail corridor is to be determined at the initial opportunity for development of the trail section. To maintain continuity, wherever possible, trail segments are to be continued across jurisdictional boundaries on the side of the street selected.

The construction of trails in each jurisdiction shall be according to the specific trail standards adopted by each respective jurisdiction. Where trails extend across jurisdictional boundaries and the trail standards are not consistent, particularly with trail path widths and locations, transitions shall occur at street intersections or at other places where there is an interruption in the trail continuity. Transitions in the width and location of trail paths otherwise shall be gradual as not

GPA-0034-02 - Staff Report Page Five
November 20, 2002 City Council Meeting

to obstruct safe travel. The manner in which the transition is accomplished shall be determined by the entity within which the transition occurs.

The Interlocal Agreement stipulates that the City and County will adopt amendments to their respective comprehensive/master plans for recreation trails and transportation trails that interconnect between the two jurisdictions in the joint land use planning area. Accordingly, those changes that Las Vegas needs to make to the "Master Plan Transportation Trails Element" and to the "Master Plan Recreation Trails Element" include the following:

1. Addition of the trails shown in Clark County's "Lone Mountain Secondary Trails Plan," including the changes to the County's plan noted below.
2. Changes in the location of the side of the street on which the trail is to be located as follows:
 - a. Racel Street, from Cimarron Road to Conough Lane, from the south side to the north side
 - b. Racel Street, from Conough Lane to Buffalo Drive, from the north side to the south side.

Those changes that Clark County needs to make to the Lone Mountain Secondary Trails Plan include the following:

1. Rainbow Boulevard, from Horse Drive to Grand Teton Drive, change from multi-use, equestrian to equestrian.
2. Grand Canyon Drive, from Grand Teton Drive to Deer Springs Way, east on Deer Springs Way to Fort Apache, and south on Fort Apache Road to the Beltway, change from multi-use, equestrian to equestrian.
3. Grand Canyon Drive, from Tropical Parkway to Ann Road, change from multi-use, equestrian to equestrian.
4. Ann Road, from Puli Drive to Durango Drive, change from multi-use, equestrian to equestrian.
5. La Madre Way, from Hualapai Way to Rio Vista Street, change from multi-use, equestrian to equestrian.
6. Alexander Road, from Fort Apache Road to Lone Mountain Park, change from multi-use, equestrian to equestrian.

GPA-0034-02 - Staff Report Page Six
November 20, 2002 City Council Meeting

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

Item "1" is not applicable, as the amendment is not site specific.

Item "2" is not applicable, as this amendment does not relate to zoning.

In regard to "3," while this amendment does not relate specifically to land uses, land use classifications, and densities of development, the amendment does enhance transportation by providing alternative modes for non-vehicular travel and provide recreational opportunities for walkers, joggers, and in-line skaters.

In regard to "4," the proposed amendment meets the provisions of the Interlocal Agreement.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting is to be held with the surrounding property owners. Since this application is not for a site-specific amendment to the General Plan, the staff met with the Northwest Network of Neighborhoods on September 9. Approximately 30 people were present and expressed no objection to the trail alignments. One person mentioned that there is restricted space along Grand Teton Drive for an equestrian trail and that an alternate route should be pursued around the area. (An alternate route is included in the amendments.) Use of the trails by off highway vehicles and horse carts was also questioned.

GPA-0034-02 - Staff Report Page Seven
November 20, 2002 City Council Meeting

The staff also met with the Southern Nevada Regional Trails Partnership at a meeting on September 30. Approximately 25 people were present. Persons indicated their support for the joint effort between the City and County and to work with both agencies to eliminate obstacles to trail connectivity.

PLANNING COMMISSION ACTION

There were three speakers with questions and concerns about the modifications to the trails plan for the northwest.

NOTICES MAILED NEWSPAPER ONLY

APPROVALS 1

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: GPA-0031-02 APN: 139-36-402-013

Name of Property Owner: Johnson Family Trust / L. Bruce Johnson

Name of Applicant: Joseph Kerner

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes

~~_____~~ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: B. L. L. L.

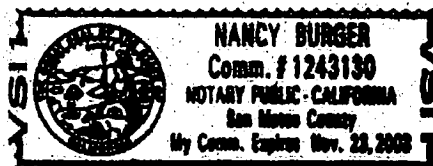
Print Name: L. B. Johnson, Trustee

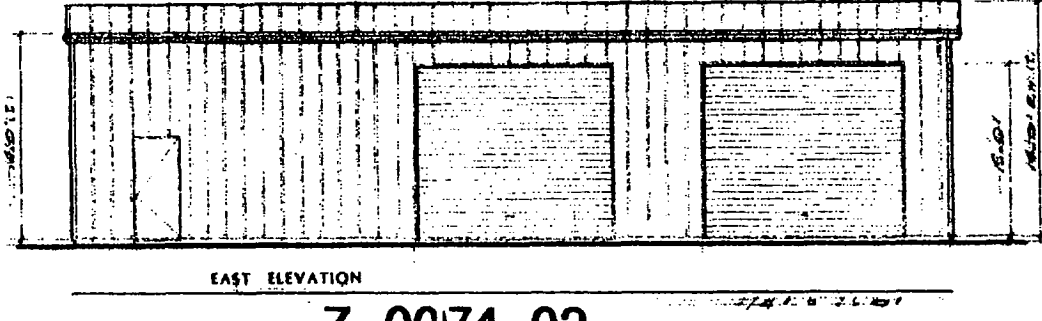
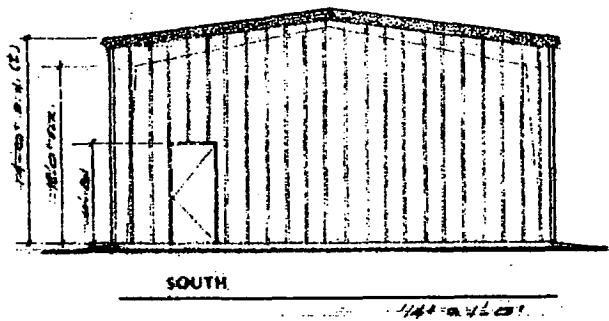
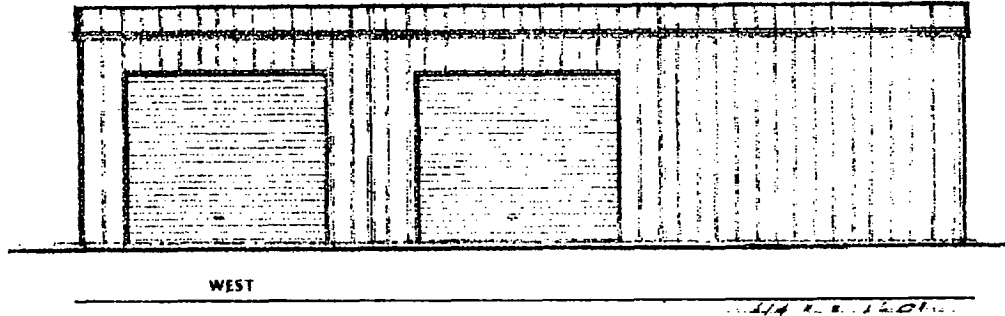
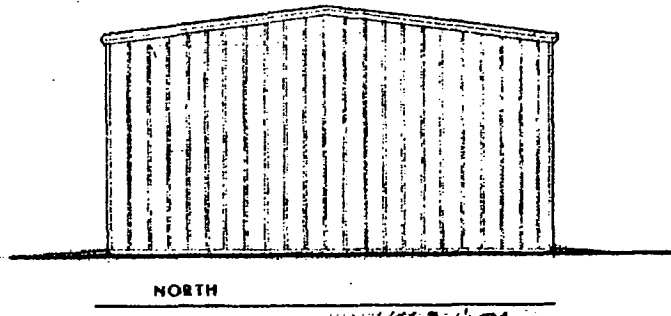
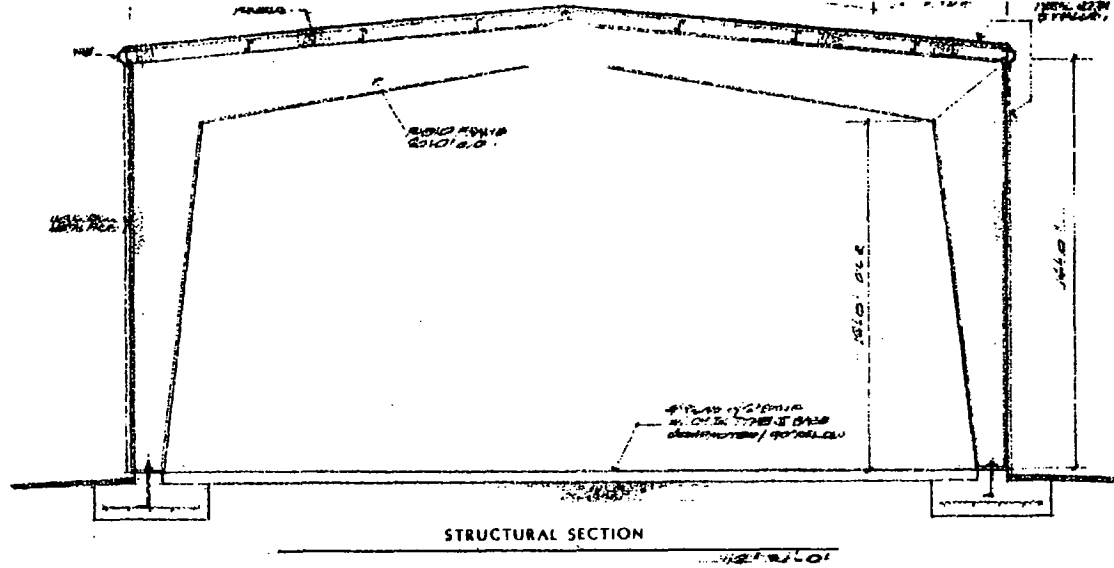
Subscribed and sworn before me

This 24 day of June, 2002

Notary Public in and for said County and State

San Mateo County
State of California
Revised 2/12/02





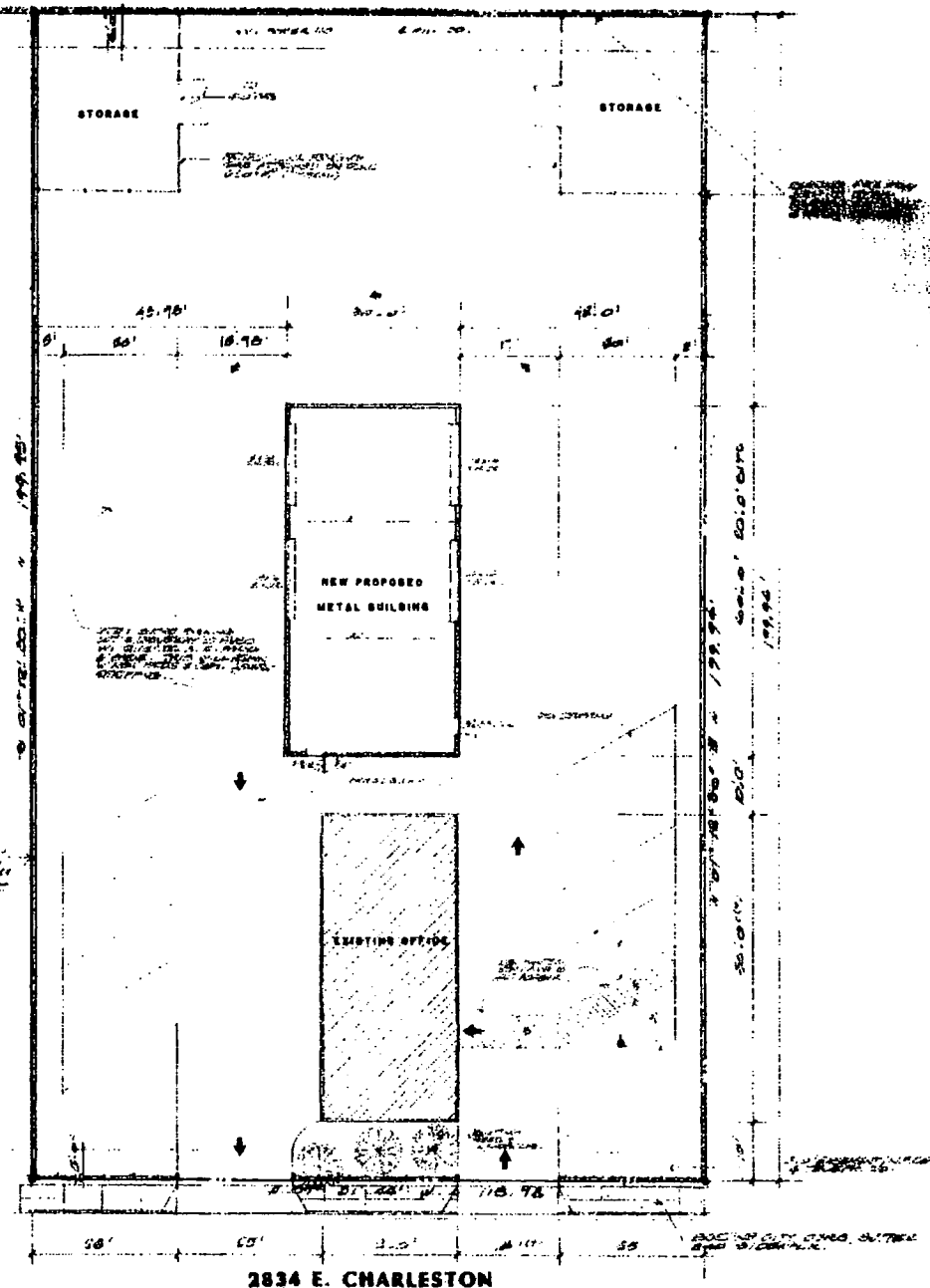
Z-0074-02

GPA-0031-02

Z-0074-02(1)

10-10-02 PC

STAFF



SITE PLAN

2834 E. CHARLESTON

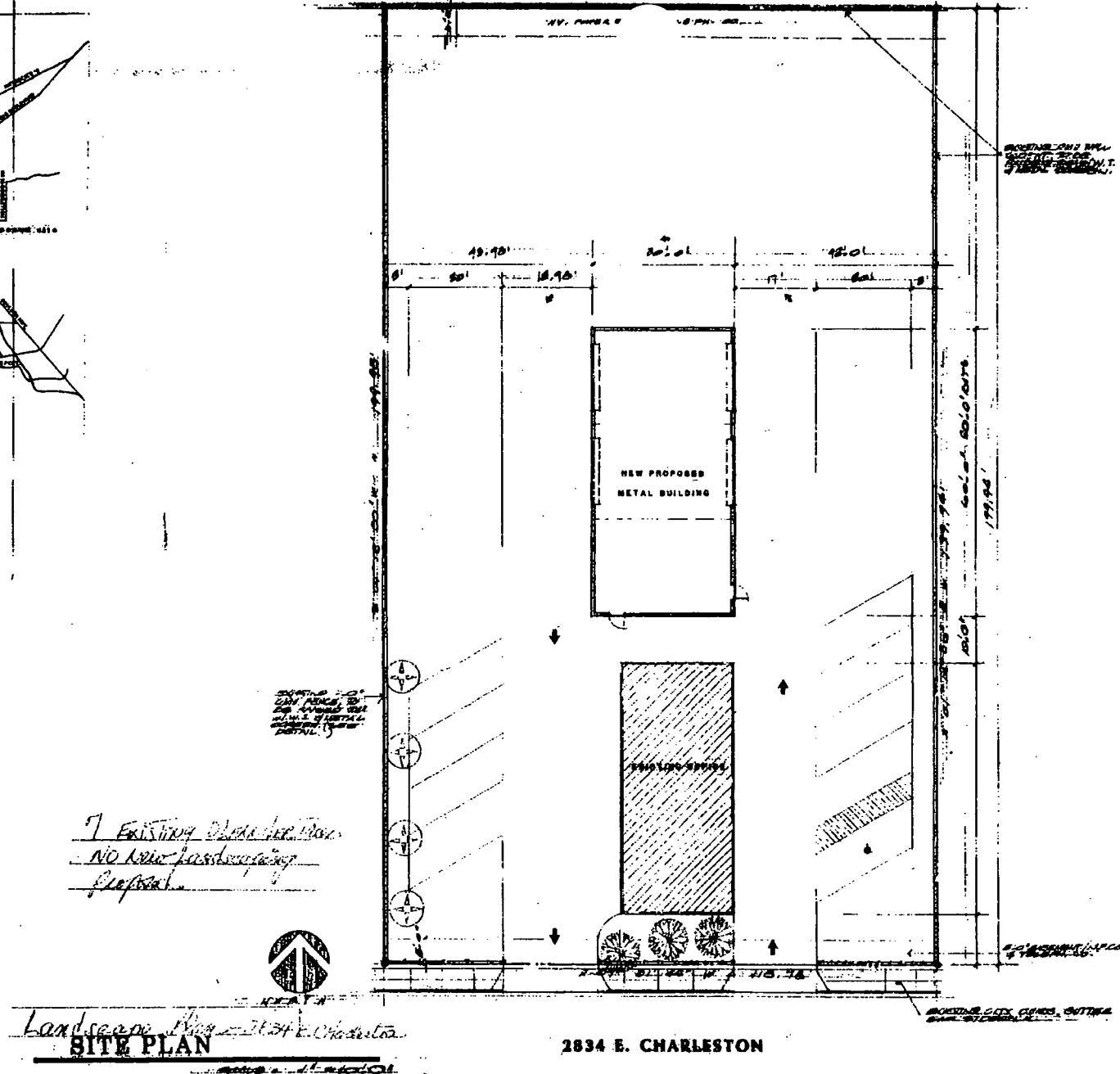
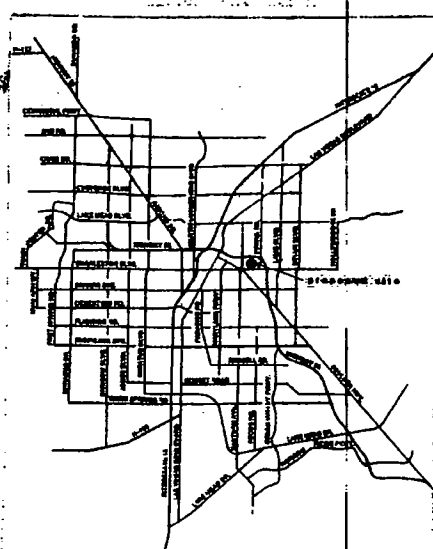
Z-0074-02

GPA-0031-02

STAFF

Z-0074-02(1)

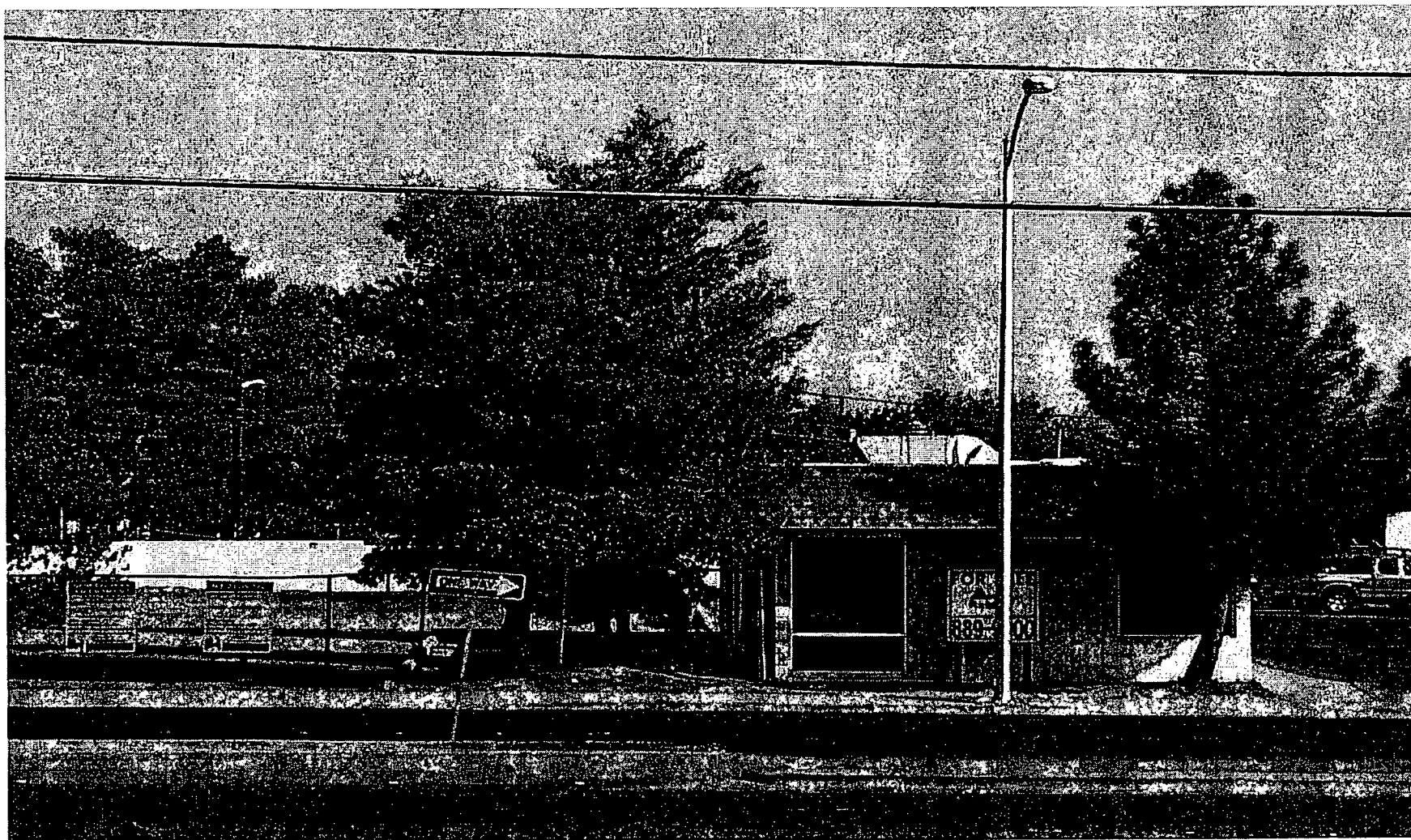
10-10-02 PC



STAFF

Z-0074-02
Z-0074-02(1)

GPA-0031-02
10-10-02 PC



GPA-0031-02 - JOHNSON FAMILY TRUST ON BEHALF OF JOE RISNER
LOCATED AT 2834 EAST CHARLESTON BOULEVARD
OCTOBER 10, 2002 PLANNING COMMISSION

DATE TAKEN: 9/30/02

CLARK COUNTY FENCE CO., INC.
3114 E. CHARLESTON BLVD.
LAS VEGAS, NV. 89104
702 457-2622 FAX 457-2173
LIC. #044377

November 16, 2002

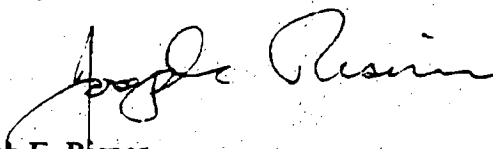
Ms. Margo Wheeler, Manager
Planning and Development Department
Current Planning Division
731 S. Fourth Street
Las Vegas, Nevada 89101

Dear Ms Wheeler,

Please remove GPA-0031-02 and Z-0074-02 from the Las Vegas City Council meeting,
Wednesday, November 20th, 2002.

I do not wish for any further consideration for the above mentioned applications and
request they be closed.

Sincerely,



Joseph E. Risner

Cc: Barbara Jo Ronemus
City Clerk
382-4803

Submitted at City Council

Date 11/20/02 Item 118 & 119

City of Las Vegas

Agenda Item No. 119

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 6, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

ABEYANCE ITEM - REZONING RELATED TO GPA-0031-02 - PUBLIC HEARING - Z-0074-02 - JOHNSON FAMILY TRUST ON BEHALF OF JOE RISNER - Request for a Rezoning FROM: C-1 (Limited Commercial) TO: C-2 (General Commercial) on approximately 0.52 acres located at 2834 East Charleston Boulevard (APN: 139-36-402-013), PROPOSED USE: INDOOR/OUTDOOR STORAGE, Ward 3 (Reese). The Planning Commission (7-0 vote) and staff recommend DENIAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

3
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted at meeting: Letter from Clark County Fence Co., Inc. requesting a withdrawal without prejudice.

MOTION:

REESE - ACCEPTED the WITHDRAWAL WITHOUT PREJUDICE - UNANIMOUS with M. McDONALD excused

MINUTES:

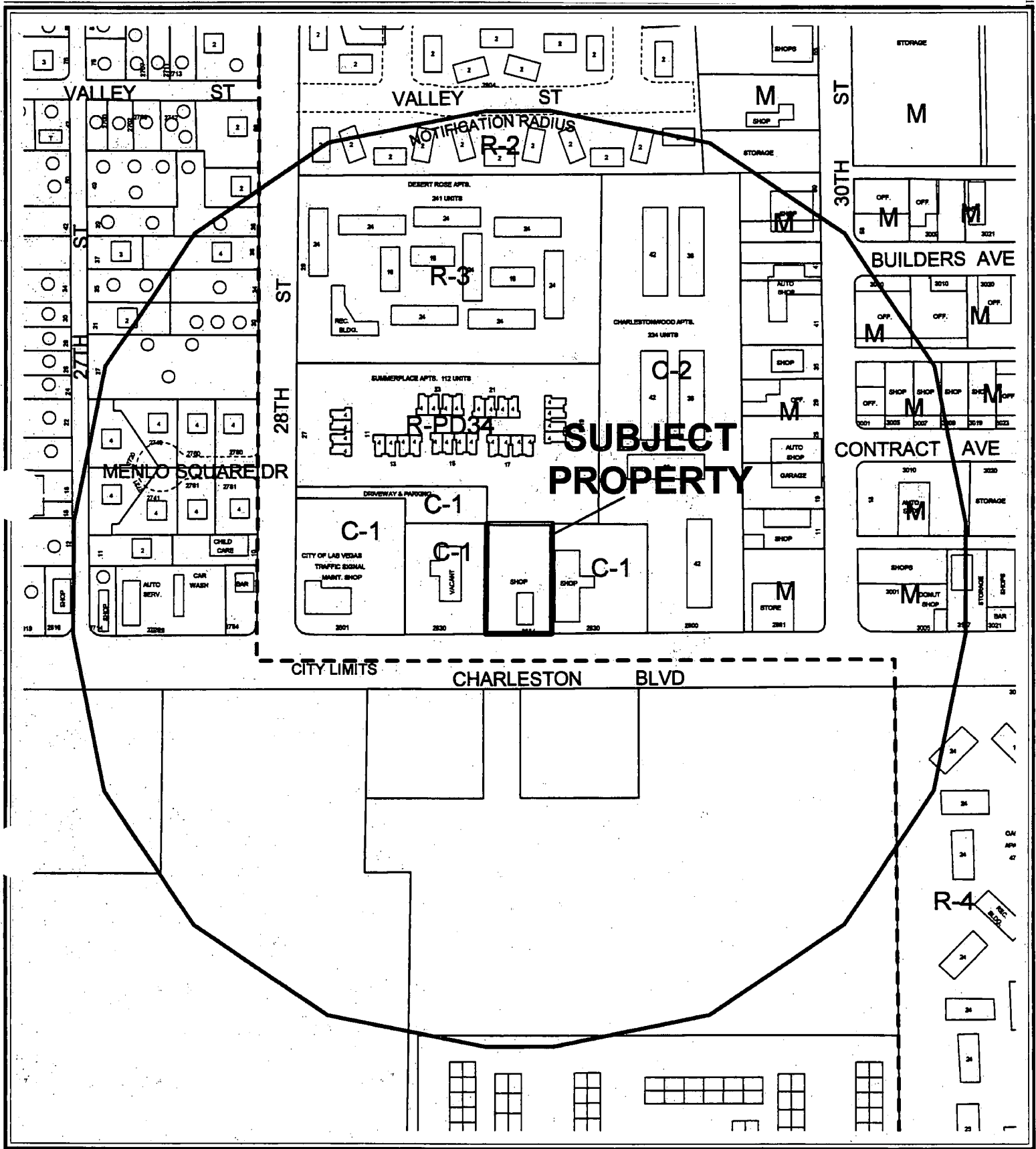
COUNCILMAN REESE indicated that the applicant submitted a letter requesting to withdraw without prejudice Item 118 [GPA-0031-02] and Item 119 [Z-0074-02].

No one appeared in opposition.

There was no discussion.

(1:11 - 1:15)

3-380



CASE: Z-0074-02

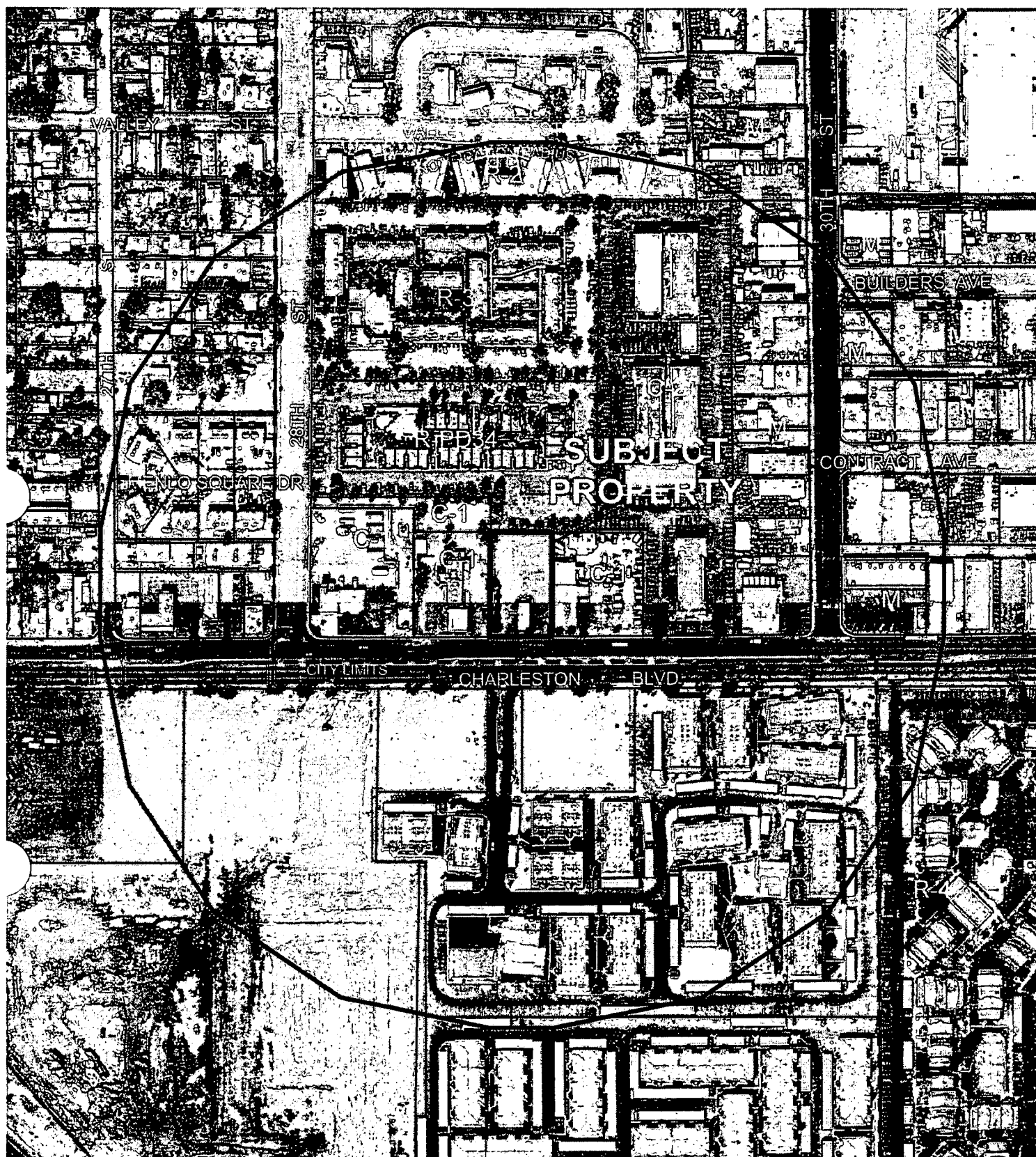
RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

119





CASE: Z-0074-02

RADIUS: 750 FT

ZONING OF SUBJECT PROPERTY: C-1 (LIMITED COMMERCIAL)

PROPOSED ZONING OF SUBJECT PROPERTY: C-2 (GENERAL COMMERCIAL)

0 200 400 Feet



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: ABEYANCE ITEM - Z-0074-02 – JOHNSON FAMILY TRUST
ON BEHALF OF JOE RISNER**

THIS ITEM WAS HELD IN ABEYANCE FROM THE NOVEMBER 6, 2002 CITY COUNCIL MEETING AT THE APPLICANT'S REQUEST.

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend DENIAL. If Approved, subject to:

Planning and Development

1. Approval of a General Plan Amendment (GPA-0031-02) to GC (General Commercial) approved by the City Council.
2. A Resolution of Intent with a two-year time limit.
3. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Remove all substandard public street improvements and unused driveway cuts adjacent to this site and replace with new improvements meeting current City Standards concurrent with development of this site.
5. Obtain a Nevada Department of Transportation (N.D.O.T.) Occupancy Permit for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the submittal of any construction drawings. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis.

Z-0074-02 - Conditions Page Two
November 20, 2002 City Council Meeting

All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site. Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

Z-0074-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for Rezoning from C-1 (Limited Commercial) Zone to C-2 (General Commercial) Zone on 0.52 acres at 2834 East Charleston Boulevard. The justification letter indicates the requested Rezoning is to use the existing structure and a proposed 1,800 square-foot building for the office, storage and assembly functions of a fencing contractor's firm. Not more than five per cent (5%) of the property will be used for outdoor storage of materials.

BACKGROUND DATA

- 10/21/64 The Board of City Commissioners approved a Rezoning (Z-0089-64), which included the subject site, from R-1 (Single Family Residential) to C-1 (Limited Commercial), under a Resolution of Intent with an 18-month time limit.
- 10/13/66 The Planning Commission reinstated the C-1 (Limited Commercial) zoning on the site, under a Resolution of Intent with a six-month time limit.
- 05/18/89 The City Council approved a Rezoning (Z-0028-89) for the subject site, from R-1 (Single Family Residential) to C-1 (Limited Commercial), under a Resolution of Intent with a 12-month time limit, for a proposed parking use.
- 10/10/02 The Planning Commission recommended denial of a companion request for a General Plan Amendment (GPA-0031-02) from SC (Service Commercial) to GC (General Commercial) for the subject site.
- 10/10/02 The Planning Commission tabled a companion request for a Site Development Plan Review and a waiver of on-site landscaping requirements [Z-0074-02(1)] for an 1,800 square foot building on the subject site.
- 10/10/02 The Planning Commission voted 7-0 to recommend DENIAL (PC Agenda Item # 22).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North:	R-PD34 (Residential Planned Development – 34 Units per Acre)	Apartments
East:	C-1 (Limited Commercial)	Commercial Building
South:	C-2 (General Commercial (Clark County)	Apartments and Vacant Land
West:	C-1 (Limited Commercial)	Commercial Building

Z-0074-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

GENERAL PLAN

The Southeast Sector of the General Plan designates the subject property as SC (Service Commercial). The proposed Rezoning to C-2 (General Commercial) does not conform to this land use designation. A companion application to this Rezoning seeks to amend the General Plan to GC (General Commercial), which would be the appropriate land use designation for the C-2 Zone. Adjacent properties to the east and west along Charleston Boulevard are designated as Service Commercial. The apartment development to the north of the site is designated as H (High Density Residential). There is no land designated as General Commercial in the vicinity of the subject site.

ZONING

The site is currently zoned C-1 (Limited Commercial). The proposed rezoning to C-2 (General Commercial) would allow for a more intensive range of commercial uses on the site than allowed under the C-1 District. One of the more intensive uses in the C-2 District is the outdoor storage of materials. Generally, activities allowed in the C-2 District would have the potential for a greater negative impact on the adjacent apartment development immediately to the north of the site, than would uses allowed under the C-1 District. Although there are nearby sites zoned as C-2, these sites are developed with apartment housing, and the site to the south across Charleston Boulevard is in Clark County. There are no commercially developed C-2 zoned sites in the vicinity of the subject property.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19A.18.040, the Planning Commission or City Council must affirm the following:

1. **"The proposal conforms to the General Plan."**

The proposed rezoning to C-2 (General Commercial) does not conform to the Southeast Sector of the General Plan, which designates the property as SC (Service Commercial). The proposed rezoning would conform if the companion General Plan Amendment request to GC (General Commercial) for the subject site is approved. There is no basis to support this General Plan Amendment request, however, given the context of surrounding General Plan designations.

Z-0074-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

2. **"The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."**

The proposed rezoning to C-2 (General Commercial) would allow a range of more intensive commercial activities and outdoor storage uses that may not be compatible with, and have the potential to create greater negative impacts on, the adjacent apartment development to the north of the site. Existing uses to the east and west of the site along Charleston Boulevard are not general commercial in nature, and would be incompatible with uses allowed under the proposed C-2 zoning.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

The proposed rezoning to C-2 (General Commercial) does not satisfy any identified needs within the immediate community. The proposed use of the site as a contractor's business yard would be more appropriately located in an industrial area, or in on a general commercial site that is not directly adjacent to apartment development.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The site is located on Charleston Boulevard, designated as a Primary (100-foot) Arterial in the Master Plan of Streets and Highways. This street would be sufficient to meet the requirements of the proposed C-2 (General Commercial) District.

NOTICES MAILED 51 by Planning Department

APPROVALS 0

PROTESTS 3

STATEMENT OF FINANCIAL INTEREST

2

CITY COUNCIL MEETING OF NOVEMBER 20, 2002 PAGE 1483

Case Number: 2-074-02 APN: 139-36-402-013

Name of Property Owner: Johnson Family Trust (L. Bruce Johnson)

Name of Applicant: Joseph KESTER

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: Johnson, Family Trust 9/13/84
B. Johnson

Print Name: L.B. Johnson Trustee

Subscribed and sworn before me

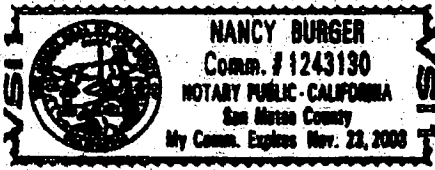
This 24 day of June, 2002

Nancy Bluer

Notary Public in and for said County and State.

State of California
Superior Court

San Mateo County
Revised 2/12/02



File:portApplication Packet,Statement of Financial Interest.doc

JUN-07-02 FRI 10:58 AM POWER REALTY

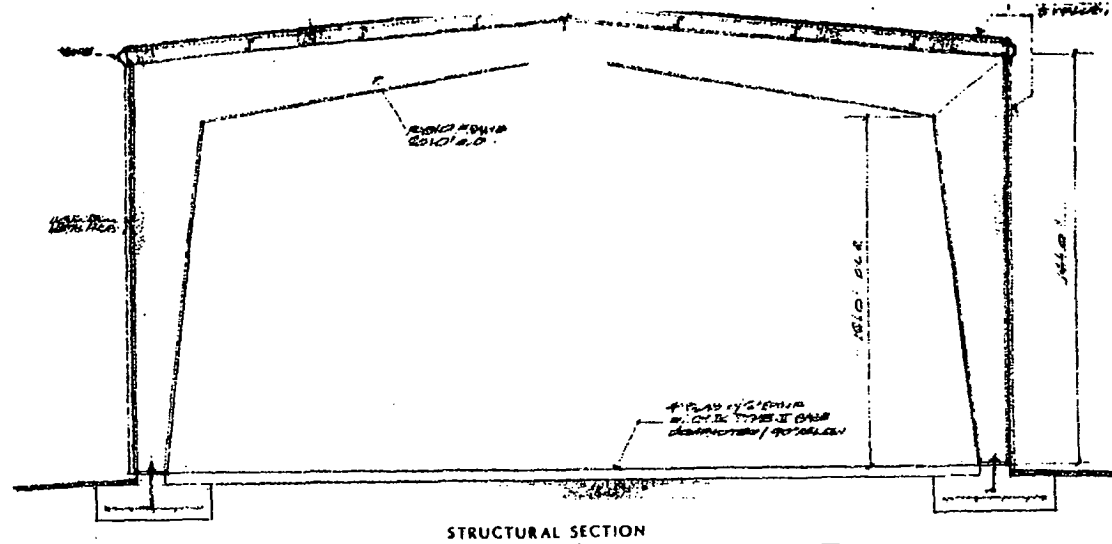
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P. 02

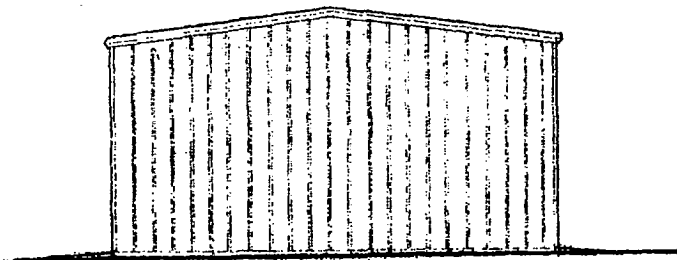
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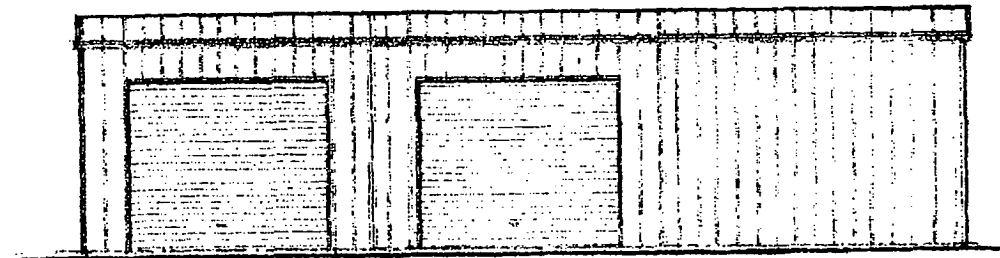
PLANNING & DEVELOPMENT DEPARTMENT



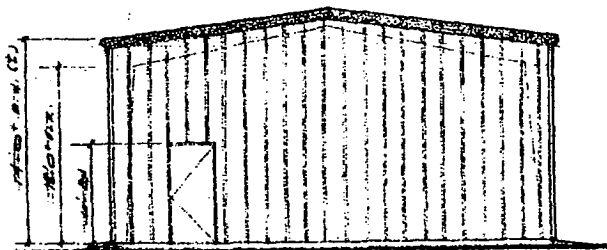
STRUCTURAL SECTION



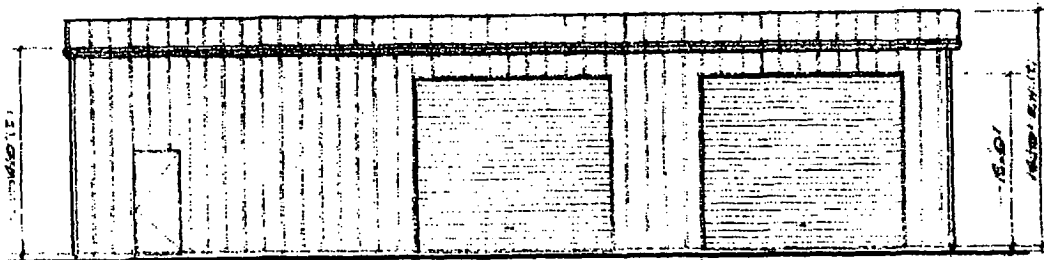
NORTH



WEST



SOUTH



EAST ELEVATION

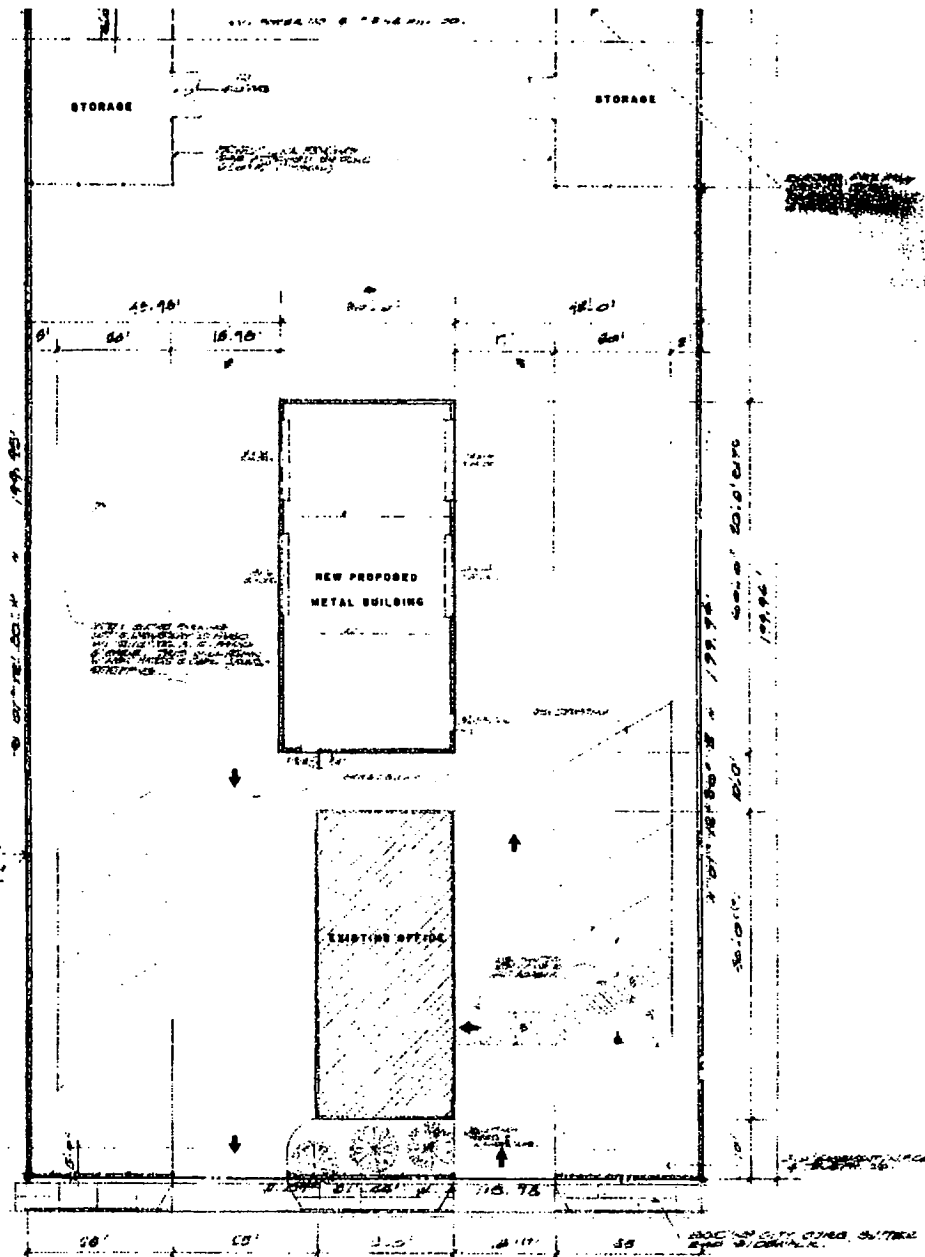
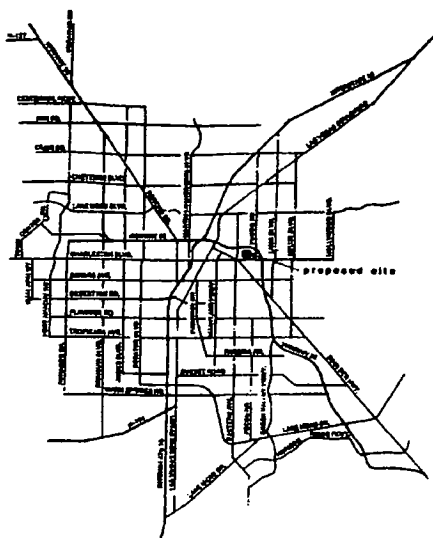
Z-0074-02

GPA-0031-02

Z-0074-02(1)

10-10-02 PC

STAFF



SITE PLAN

2834 E. CHARLESTON

STAFF

Z-0074-02

GPA-0031-02

Z-0074-02(1)

10-10-02 PC

1	2
CLARK COUNTY ENGINEERING 487-2822 FAX 487-2173	



Agenda Item No. 120

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0034-02 - CITY OF LAS VEGAS - Request to amend Map No. 2 of the Transportation Trails Element of the Master Plan and Map No. 2 of the Recreation Trails Element of the Master Plan to bring the Elements into compliance with the Interlocal Agreement seamless trails plan, Ward 4 (Brown), Ward 5 (Weekly), and Ward 6 (Mack). The Planning Commission (7-0 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

1

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (7-0 vote) and staff recommend APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application - Not Applicable
3. Staff Report

MOTION:

MACK - APPROVED - UNANIMOUS with WEEKLY not voting and GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

DON SCHMEISER, Comprehensive Planning Division, described the Interlocal Agreement between the City and County for development of the Northwest Centennial Hills Sector. The Agreement required the two entities to establish a joint-trails plan as opposed to the individual plan adopted by each entity. Over the course of several meetings by staff, the present plan was developed. The plan incorporates both transportation and equestrian trails. No additional trail segments are being added to the City's plan. The map simply reflects additional trails from the unincorporated County land. MR. SCHMEISER pointed out that one County property owner has strongly opposed a trail in front of her property. The position of the City has been that the resolution of that dispute rests with the County and the County is working with that property owner. Staff recommended that the amendment be adopted and incorporated into the City's Transportation and Recreation Trails Plan.

City of Las Vegas

Agenda Item No. 120

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 120 – GPA-0034-02

MINUTES - Continued:

TODD FARLOW, 240 North Nineteenth Street, spoke in favor of the plan and the excellent job done by City staff. He requested that a pocket map be created, similar to the bike trails pocket map, which includes the new trails.

COUNCILMAN MACK commended MR. SCHMEISER on the efforts of City and County staff.

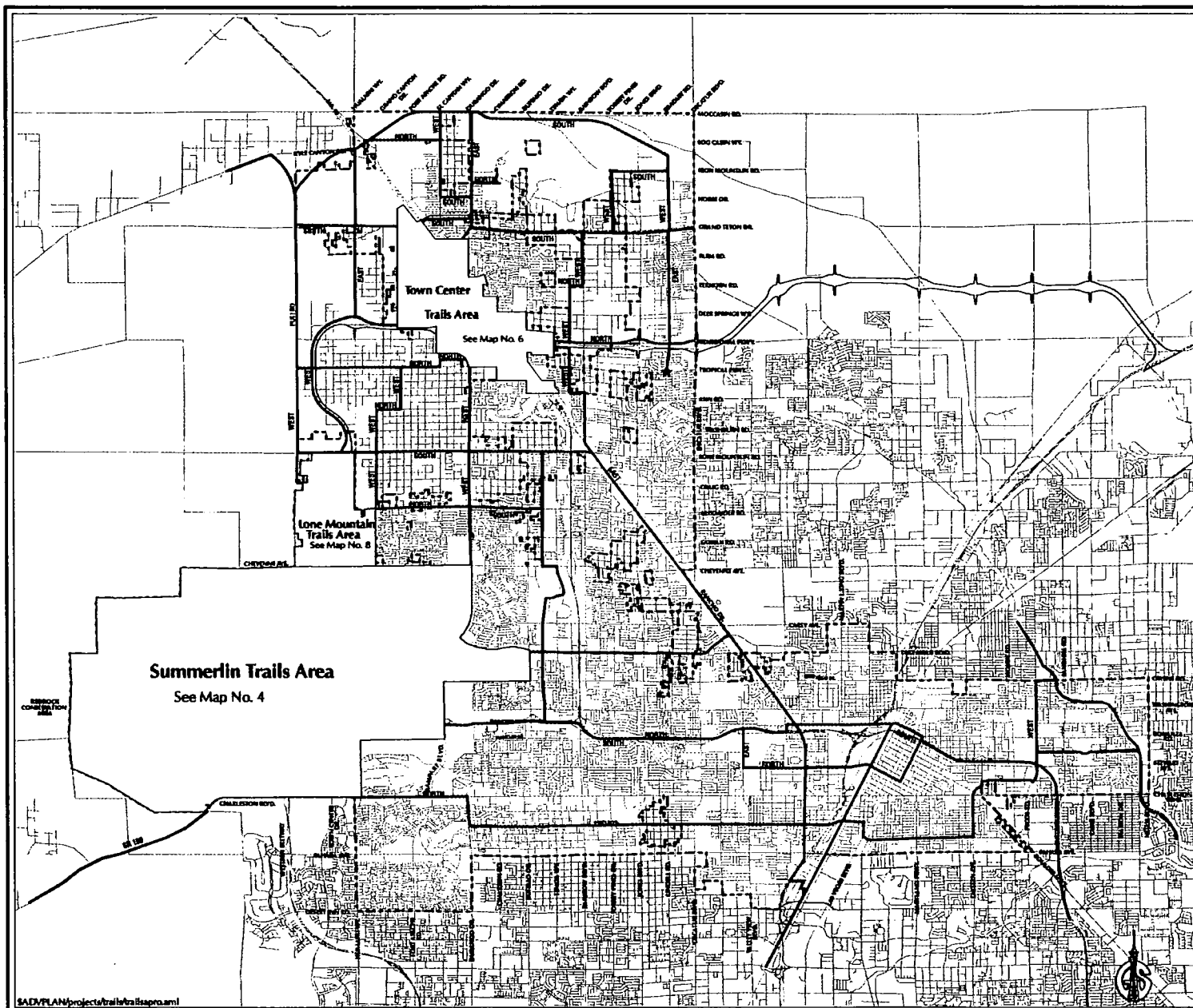
No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

(3:28 – 3:33)

4-2046



Map No. 2

City of Las Vegas

**OFF-STREET MULTI-USE
TRANSPORTATION
TRAIL ALIGNMENTS**

- N Multi-Use Trail
- - - Multi-Use Trail (Proposed)
- ★ Sidewalk Connection

Adopted: January 16, 2002
Ordinance No. 5417

This map replaces Map No. 7 of the Centennial Hills Sector Plan.

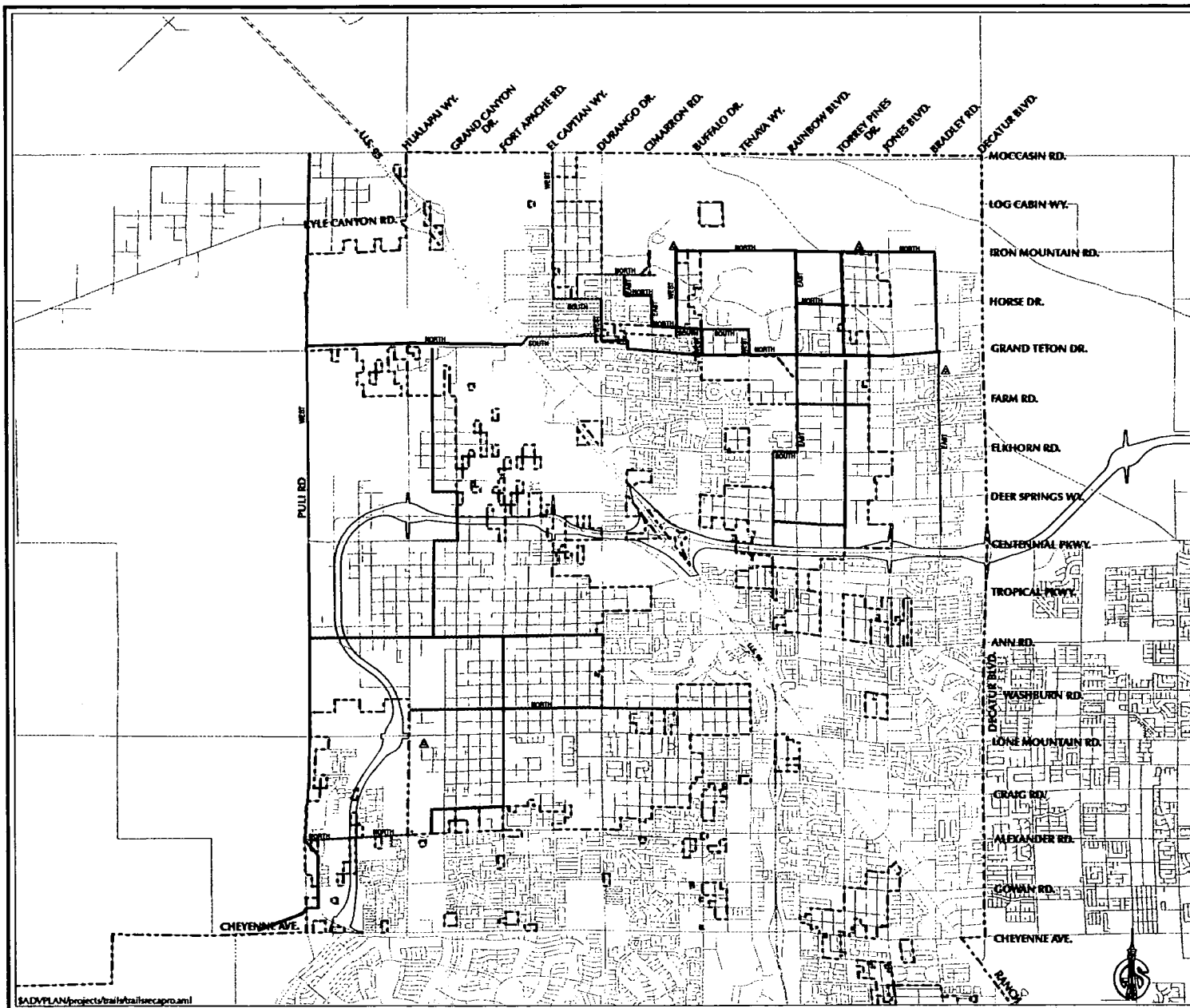


Plotted: September 10, 2002
GIS maps are normally produced
only to meet the needs of the City.
Due to continuous development activity
this map is for reference only.
Geographic Information System
Comprehensive Planning
702-224-6022



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GPA-0034-02
10-24-02 PC



Map No. 2

City of Las Vegas

OFF-STREET RECREATION TRAIL ALIGNMENTS

- Multi-Use, Equestrian Trail
- Equestrian Trail
- Multi-Use Equestrian Trail (Proposed)
- Equestrian Trail (Proposed)
- Trail Head

Adopted: January 16, 2002
Ordinance No. 5418

This map replaces Map No. 7 of the Centennial Hills Sector Plan.



Plotted: September 09, 2002
GIS maps are normally produced
only to meet the needs of the City.
Due to continuous development activity
this map is for reference only.
Geographic Information System
Comprehensive Planning
702-259-6022



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GPA-0034-02
10-24-02 PC

City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: ABEYANCE ITEM - GPA-0031-02 - JOHNSON FAMILY TRUST ON BEHALF OF JOE RISNER

THIS ITEM WAS HELD IN ABEYANCE FROM THE NOVEMBER 6, 2002 CITY COUNCIL MEETING AT THE APPLICANT'S REQUEST.

**** CONDITIONS ****

The Planning Commission (7-0 vote) and staff recommend DENIAL.

CLARK COUNTY RECOMMENDATION: N/A

GPA-0031-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to change the General Plan land use designation of the subject property located at 2834 East Charleston Boulevard from SC (Service Commercial) to GC (General Commercial). A Rezoning application, Z-0074-02, and a Site Development Plan Review application, Z-0074-02(1), have been filed with this plan amendment application.

The applicant proposes to relocate his business currently located at 3314 East Charleston Boulevard to this parcel being considered for a plan amendment review. The applicant has indicated that he needs to be able to store building materials outside of enclosed building.

BACKGROUND DATA:

- 08/07/85 The City Council approved the Community Profiles of the city of Las Vegas General Plan by Resolution. On this plan, the subject property was designated for SC (Service Commercial).
- 03/12/92 The Planning Commission approved the three Land Use Sector Maps of the General Plan. The subject of this amendment proposal is located in the Southeast Sector Map area and was designated as SC (Service Commercial).
- 03/31/996 The City Council approved the last update of the Southeast Sector Map. On this map the subject parcel was designated as SC (Service Commercial).
- 09/06/99 The City Council approved GPA-0010-00 to amend portions of the Southeast Sector Plan to indicate areas of potential transition, correct errors from GIS data conversion, and match actions since 1996.
- 09/06/00 The City Council approved the Las Vegas 2020 Master Plan. This site is within the Neighborhood Revitalization Area as described in the Plan.
- 04/17/02 The City Council approved an update of the Southeast Sector Map (GPA-0045-00) of the city of Las Vegas General Plan. On this map the subject parcel was designated as SC (Service Commercial).
- 10/10/02 The Planning Commission recommended denial (7-0 vote) of companion request of Rezoning from C-1 (Limited Commercial) to C-2 (General Commercial)/
- 10/10/02 The Planning Commission voted 7-0 to recommend DENIAL (PC Agenda Item # 21.

GPA-0031-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

DETAILS OF APPLICATION REQUEST

Site Area: 0.52 Acres

EXISTING LAND USE

Subject Property	Light Commercial
North	Multi-family residential
South	Light Commercial
East	Light Commercial
West	Light Commercial

PLANNED LAND USE

Subject Property	SC (Service Commercial)
North	H (High Density Residential)
South	Clark County
East	SC (Service Commercial)
West	SC (Service Commercial)

EXISTING ZONING

Subject Property	C-1 (Limited Commercial)
North	R-PD34 (Residential Planned Development, 34 DUA)
South	Clark County
East	C-1 (Limited Commercial)
West	C-1 (Limited Commercial)

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA: NO

SPECIAL PLAN AREA: NO

RURAL PRESERVATION NEIGHBORHOOD: NO

RURAL PRESERVATION NEIGHBORHOOD BUFFER: NO

PROJECT OF REGIONAL SIGNIFICANCE: NO

GPA-0031-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

DEFINITIONS

SC (Service Commercial)

The Service Commercial category allows low to medium intensity retail, office, or other commercial uses that serve primarily the local area patrons and do not include more intense general commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys and other places of public assembly and public and semi-public uses. This category also includes offices either individually or grouped as office centers with professional and business services.

GC (General Commercial)

General Commercial allows retail, service, wholesale, office, and other general business uses of a more intense commercial character. These uses include limited outdoor storage or display of products, noise, lighting or other characteristics not generally considered compatible with adjoining residential areas with significant transition. Examples of General Commercial uses include: new and used car sales; recreational vehicles and boat sales; mortuaries; and other vehicle-oriented uses such as hotels, motels, apartment hotels, and similar uses. This category includes the Village and Town Center concept areas.

PROJECTS OF REGIONAL SIGNIFICANCE IMPACT REPORT

The Southern Nevada Regional Policy Plan, approved February 22, 2001, set out a requirement for local entities to establish a means of identifying Projects of Regional Significance (PRS), and of addressing the impacts of these projects. The city of Las Vegas, through Ordinance No. 5477, has established such a process. Pursuant to this Ordinance, staff has determined that this proposed General Plan Amendment and its companion items would not meet the definition of a Project of Regional Significance as defined in the ordinance.

ANALYSIS

The application site is located near the intersection of 28th Street and Charleston Boulevard, shown on the Master Plan of Streets and Highways as a 100 foot Primary Arterial.

The subject parcel is between two parcels that are designated as SC (Service Commercial) and has a multi-family development behind it. This portion of Charleston Boulevard has been planned as SC (Service Commercial) since 1985. The neighborhood of the subject parcel has not transitioned to more intensive uses but has remained unchanged since at least the approval of the Community Profiles plan referred to previously. If approved, this plan amendment would cause a spot zoning and would permit uses inconsistent with the immediate area. The uses that would be permitted under the G-C land use include crematoriums, shelters for the homeless, industrial cleaners, tattoo parlors, auto body repair, new and used auto sales, etc.

GPA-0031-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

FINDINGS

Section 19A.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

In regard to "1": The proposed land use would introduce the possibility of allowed uses that would be much more intensive than the uses on all sides of the subject parcel. A spot zoning condition would be created.

In regard to "2": The proposed land use would permit zoning classifications that would be much more intensive than the properties immediately adjacent to this site.

In regard to "3": As the subject property is an infill parcel, there are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities that would be permitted by the proposed General Plan Amendment.

In regard to "4": There are no other adopted plans and policies, including approved neighborhood plans, that apply to the subject parcel.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting shall be held with the surrounding property owners. The applicant is requested to hold this meeting within 14 days of the closing date of this application. In accordance with the above, on September 14, 2002 a neighborhood meeting sponsored by the applicant was held within the offices at the subject property. Approximately ten persons were in attendance and had no comments about the proposal.

GPA-0031-02 - Staff Report Page Five
November 20, 2002 City Council Meeting

PLANNING COMMISSION ACTION

The Planning Commission concurred with staff's recommendation of denial believing that the requested change was incompatible with the existing land use and development pattern in the area.

NOTICES MAILED: 51 by Planning Department

APPROVALS: 0

PROTESTS: 3

City of Las Vegas

Agenda Item No. 121

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

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CONSENT

☒

DISCUSSION

SUBJECT:

GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0037-02 - SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER - Request to amend a portion of the Centennial Hills Sector Plan FROM: L-TC (Low Density Residential - Town Center) TO: ML-TC (Medium-Low Density Residential - Town Center) on 5.0 acres adjacent to the southwest corner of Fort Apache Road and Deer Springs Way (APN: 125-19-701-008), Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend DENIAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

2

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend DENIAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application - Not Applicable
3. Staff Report

MOTION:

MACK - DENIED - UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

JIM VELTMAN, Veltman Planning & Design Group, 2921 North Tenaya Way, appeared on behalf of the applicant. The original thinking was that higher residential density is appropriate adjacent to Town Center due to the proximity of the Beltway. The open space in medium-low to low density makes sense adjacent to the Beltway. As to the related rezoning, he concurred with the recommendation and proposed conditions.

TODD FARLOW, 240 North Nineteenth Street, expressed a concern that the site development plan review at Planning Commission failed to show any open space. That is a prescription for disaster in the Town Center area.

**Agenda Item No. 121**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 121 – GPA-0037-02

MINUTES - Continued:

COUNCILMAN MACK referred to the map which demonstrated that the land east of Fort Apache is all medium-low Town Center and opposite that is all low density. This major section line is the natural divide and a change could establish a precedent he would not like to see established. However, the rezoning is consistent with existing zoning within the Town Center, and he supported that application.

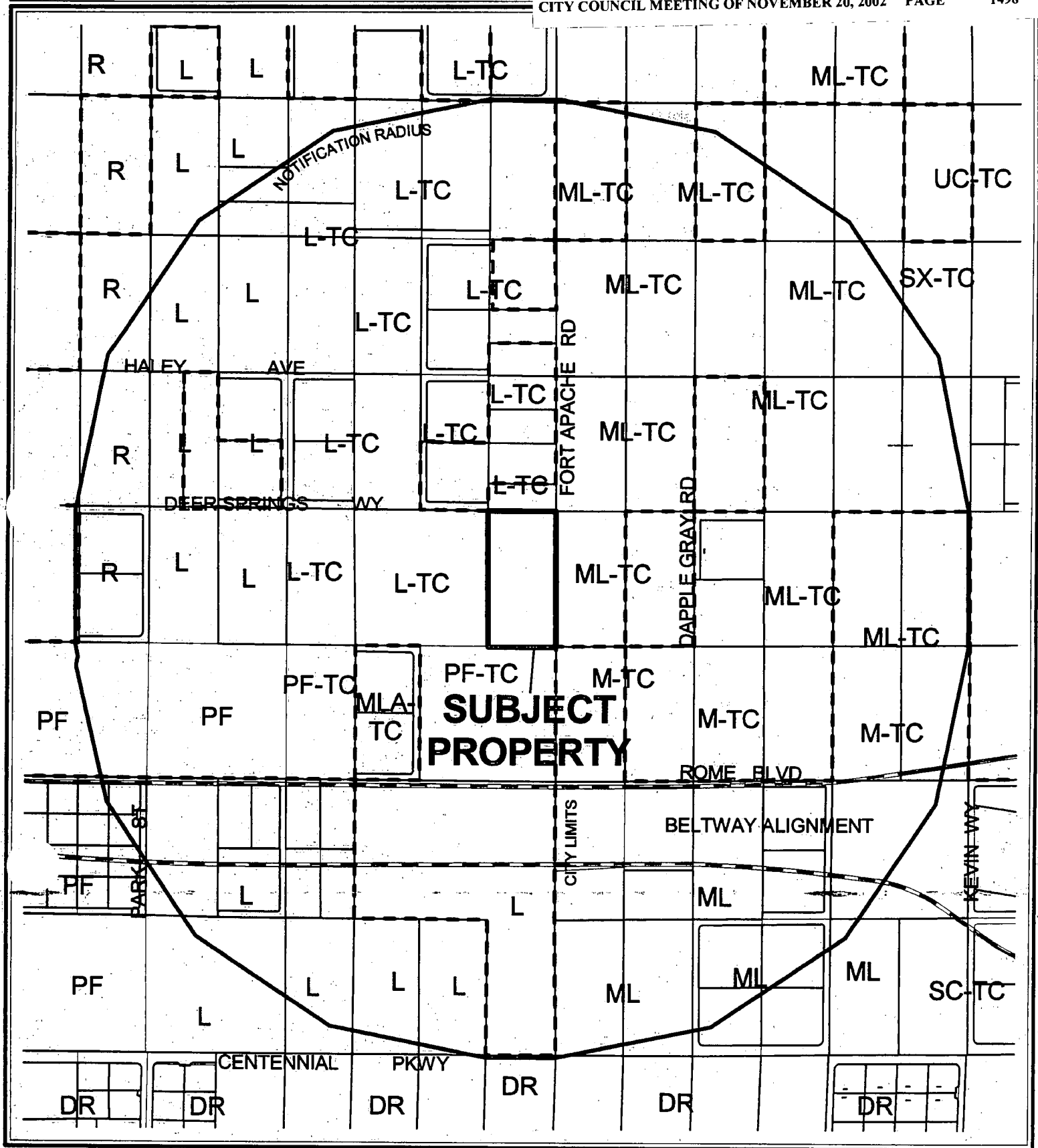
There was no further discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 121 [GPA-0037-02] and Item 122 [Z-0082-02] was held under Item 121 [GPA-0037-02].

(3:33 – 3:41)

4-2235



CASE: GPA-0037-02

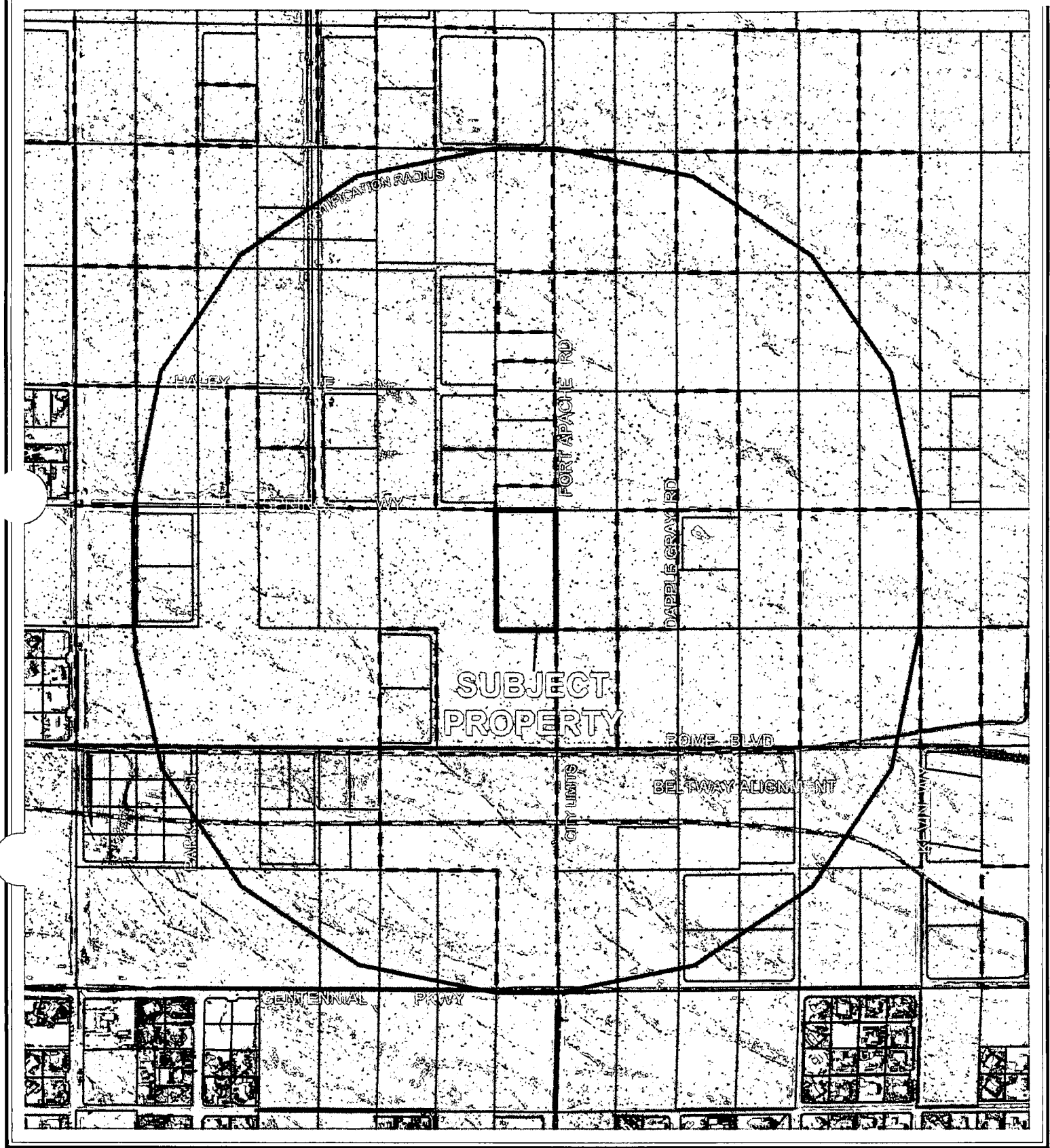
RADIUS: 2000 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: L-TC (LOW DENSITY RESIDENTIAL - TOWN CENTER)

PROPOSED TO: ML-TC (MEDIUM-LOW DENSITY RESIDENTIAL - TOWN CENTER)

121





CASE: GPA-0037-02

RADIUS: 2000 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: L-TC (LOW DENSITY RESIDENTIAL - TOWN CENTER)

PROPOSED TO: ML-TC (MEDIUM-LOW DENSITY RESIDENTIAL - TOWN CENTER)

0 600 1200 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: GPA-0037-02 – SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend DENIAL.

CLARK COUNTY RECOMMENDATION: To be considered Nov. 6, 2002

GPA-0037-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to change the General Plan land use designation of the subject property from L-TC (Low Density Residential) to ML-TC (Medium Low density Residential). The subject property located at the southwest corner of Deer Springs Way and Fort Apache Road. A rezoning application, U (L-TC) to TC, was filed with this plan amendment application.

BACKGROUND DATA:

- 05/24/99 The City Council approved the Northwest Sector Land Use Plan (GPA-01-99). On this plan, the subject properties were within the expansion area of the Town Center Master Planned Area. The subject properties were designated for L (Low Density Residential) land uses with a maximum density of 3.5 dwelling units per acre.
- 04/04/01 The City Council approved the expansion of Town Center on the Northwest (later the Centennial Hills) Sector Land Use Plan. The subject properties were designated as Town Center.
- 08/21/02 The City Council approved the last update of the Centennial Hills Town Center Land Use Map (GPA-19-02) of the city of Las Vegas General Plan. On this map, the subject properties were designated for L-TC (Low Density Residential- Town Center) land uses with a maximum density of 3.5 dwelling units per acre.
- 09/06/00 The City Council approved the Las Vegas 2020 Master Plan. This site is within the Newly Developing Area as described in the Plan.
- 11/07/01 The City Council approved the Town Center Development Standards Manual through Bill No. 2001-100.
- 10/24/02 The Planning Commission voted 6-1 to recommend DENIAL (PC Agenda Item #35).

DETAILS OF APPLICATION REQUEST

Site Area: 5.0 Acres

GPA-0037-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

EXISTING LAND USE

Subject Property	Vacant
North	Vacant
South	Vacant
East	Vacant
West	Vacant

PLANNED LAND USE

Subject Property	L-TC (Low Density Residential- Town Center)
North	L-TC (Low Density Residential- Town Center)
South	PF-TC (Public facility – Town Center)
East	ML-TC (Medium Low density residential- Town Center)
West	L-TC (Low Density Residential- Town Center)

EXISTING ZONING

Subject Property	No zoning as the parcel has not been annexed
North	U (TC) [Undeveloped (Town center)]
South	U (TC) ROI TC [Undeveloped (Town center) resolution of intent to Town Center]
East	U (TC) [Undeveloped (Town center)]
West	U (TC) ROI TC [Undeveloped (Town center) resolution of intent to Town Center]

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA: YES

SPECIAL PLAN AREA: YES

RURAL PRESERVATION NEIGHBORHOOD: NO

RURAL PRESERVATION NEIGHBORHOOD BUFFER: NO

PROJECT OF REGIONAL SIGNIFICANCE: NO

DEFINITIONS

L-TC (Low Density Residential) (3.6 to 5.5 units/gross acre.) This category permits single-family detached homes, manufactured homes on individual lots, gardening, residential planned developments, and planned community developments. Local supporting uses such as parks, other recreation facilities, schools, and churches are allowed in this category.

GPA-0037-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

ML-TC (Medium Low Density Residential)

(5.6 to 8 dwelling units/per gross acre.) This density range permits single-family compact lots and zero lot lines, manufactured home parks, and residential planned development. Local supporting uses such as parks, other recreation facilities, schools and churches are allowed in this category.

TC (Town Center)

The Town Center is intended to be the principal employment center for the Northwest and is a mixed-use development land use category. As compatibility allows, a mix of uses can include: mall facilities; shopping centers and other retail facilities; medium to high density residential uses; planned business; office and industrial parks; and recreational uses. The TC suffix to land use designations denotes that stricter design criteria will be used for project approval.

INTERAGENCY ISSUES

***CITY OF LAS VEGAS / CLARK COUNTY NORTHWEST INTERLOCAL AGREEMENT
JOINT LAND USE PLANNING AREA***

The subject site is located within the City's Centennial Hills Sector Plan area. Effective January 2, 2002, the entirety of the Centennial Hills Sector is subject to the provisions of an Interlocal Agreement between Clark County and the city of Las Vegas. The Centennial Hills Sector is referred to in the Interlocal Agreement as the "Joint Land Use Planning Area". Under the terms of the Agreement and subsequent procedures agreed upon by the City and the County, the City will forward any application for a General Plan Amendment within the "Excepted Areas" of the Joint Land Use Planning Area to the County for consideration by the Board of County Commissioners. Approval of both entities is required. This application was routed to Clark County Comprehensive and Current Planning Divisions for comment. Notice was received which indicated that the Clark County planning staff had no comment pertaining to this application. The Clark County Commission will review this application on November 6, 2002.

SPECIAL PLAN AREA

The subject site is located within the Town Center Plan area. The effect of this Special Plan Area on this application and the area affected by this application is a stricter zoning standard than that of other areas of the City.

GPA-0037-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

PROJECTS OF REGIONAL SIGNIFICANCE IMPACT REPORT

The Southern Nevada Regional Policy Plan, approved February 22, 2001, set out a requirement for local entities to establish a means of identifying Projects of Regional Significance (PRS), and of addressing the impacts of these projects. The city of Las Vegas, through Ordinance No. 5477, has established such a process. Pursuant to this Ordinance, staff has determined that this proposed General Plan Amendment and its companion items would not meet the definition of a Project of Regional Significance as defined in the ordinance.

ANALYSIS

The location of the proposed amendment to the plan is the southwest corner of Deer Springs Way and Fort Apache Road. Deer Springs Way is an 80 foot wide Town Center Arterial Street and Fort Apache Road is a 100-foot wide Primary Arterial street as defined and depicted in the Town Center Development Standards.

Very little of the acres and acres of land within the northwest quadrant of Town Center have been developed. The amount of growth in the area of this property does not justify the revision of the land use plan.

Some of the major arterials have been used as borders to separate the land use districts that are between the dense urban core and the sparsely developed areas to the west. Fort Apache Road is one of those borders, separating the Medium Low Density Residential with densities up to eight dwelling units per acre from the districts west of Fort Apache Road with a maximum density beginning at 5.5 dwelling units per acre. By permitting the Medium Low density to move across Fort Apache Road the method of using arterials as land use district borders will be weakened.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;

GPA-0037-02 - Staff Report Page Five
November 20, 2002 City Council Meeting

3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

In regard to "1": The land is just beginning to be developed in this quadrant of Town Center. Changing of the plan by altering the borders between the land use districts before the area can begin to develop is not justified. The concept of protecting of the rural areas of this part of northwest by a gradual decreasing of the residential densities should be allowed to continue. Perhaps sometime in the future, as more of the land is developed, it may be shown that the current theory of graduated density might have been inaccurate. But, the concept needs to be first tried as planned.

In regard to "2": The TC (Town Center) zoning encompasses all of the areas of Town Center, regardless of land use districts. All uses possible under the Town Center land uses are consistent with the Town Center zoning.

In regard to "3": As this area is on the outer fringe of the city limits all infrastructure will have to be brought to the subject parcel.

In regard to "4": There are no other applicable adopted plans and policies that include approved neighborhood plans that the proposed amendment conforms to.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting shall be held with the surrounding property owners. The applicant is requested to hold this meeting within 14 days of the closing date of this application. In accordance with the above, on October 17, 2002 a neighborhood meeting sponsored by the applicant was held. There were two persons in attendance. They were interested in whether their property south of the beltway could be sold as commercial. They had no concerns with the proposed land use change.

PLANNING COMMISSION ACTION

The Planning Commission concurred with staff to recommend denial of this proposed amendment as incompatible with the neighborhood.

NOTICES MAILED 52 by Planning Department

APPROVALS 0

PROTESTS 2



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: GPA-0037-02 APN: 125-19-701-008

Name of Property Owner: SPKQLOR, LLC.

Name of Applicant: GREG. BECKER

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

 Yes

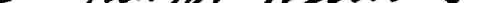
☒ Yes ☐ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

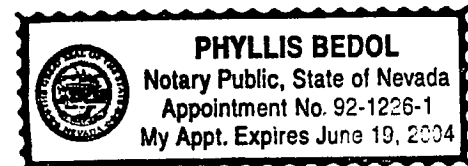
Signature of Property Owner/Authorized Agent: 

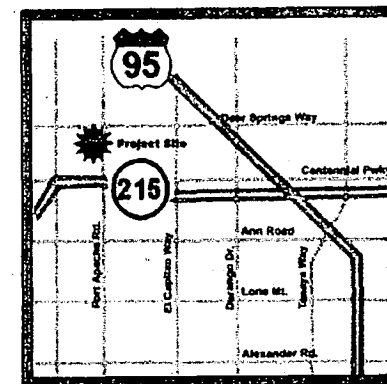
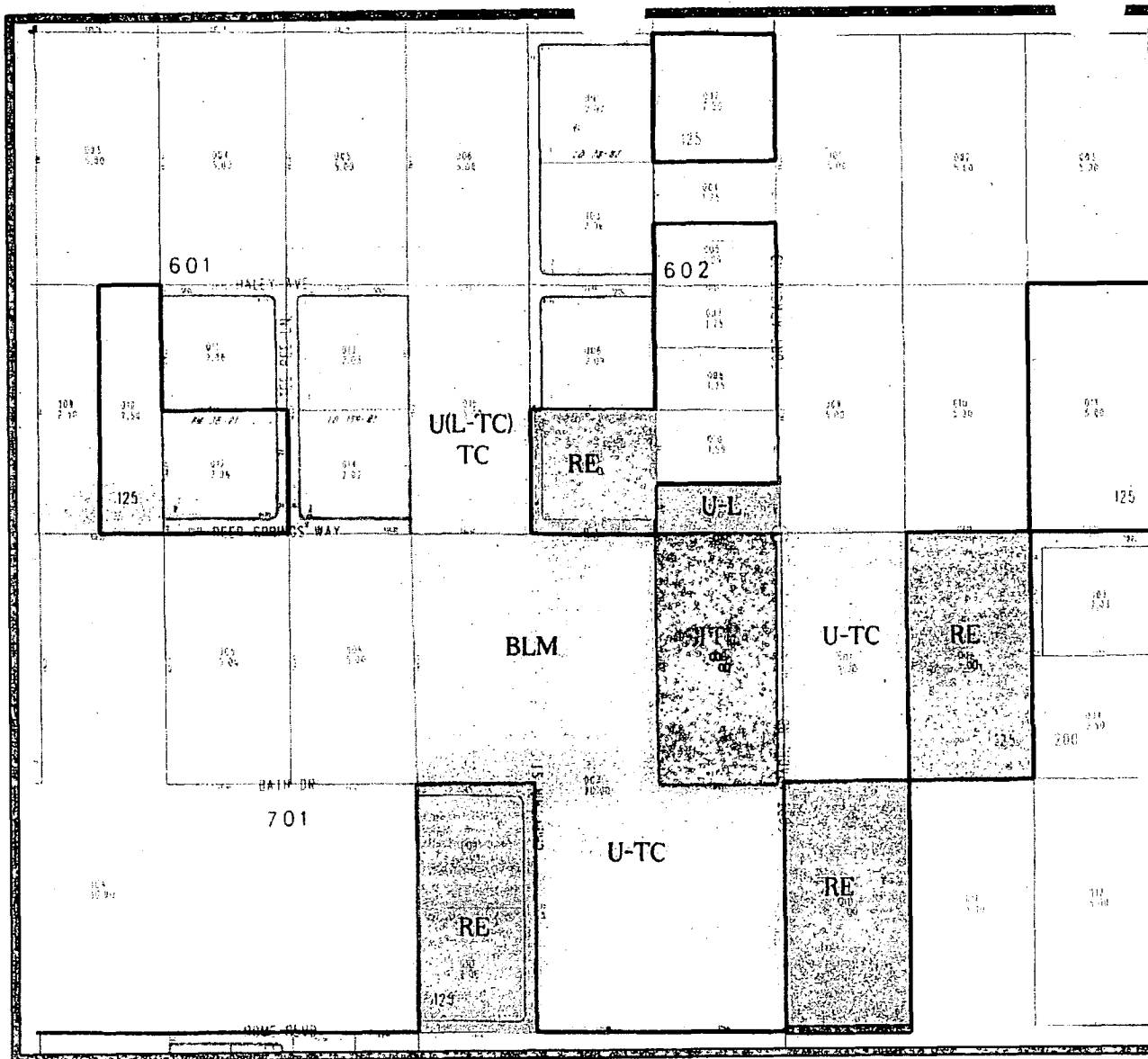
Print Name: Gregory Becker

Subscribed and sworn before me

This 10th day of September 2002

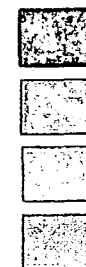
Phyllis Redol
Notary Public in and for said County and State





Location Map

**City of Las Vegas
Town Center
5 Acres Rezoning**

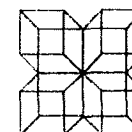


Project Site

Residential Use

Town Center/BLM Use

Unused Low Density



Veltman Planning and Design Group, LLC
Land Planning, Landscape Architecture and Urban Design

2921 N. TENAYA WAY, SUITE 335 LAS VEGAS, NV 89128
PHONE: 702-396-1044 FAX: 702-396-5381
EMAIL: veltman@vpdgroup.com

STAFF

GPA-0037-02

10-24-02 PC



GPA-0037-02 - SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER
SOUTHWEST CORNER OF FORT APACHE ROAD AND DEER SPRINGS WAY
OCTOBER 24, 2002 PLANNING COMMISSION

City of Las Vegas

Agenda Item No. 122

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

REZONING RELATED TO GPA-0037-02 - PUBLIC HEARING - Z-0082-02 - SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER - Request for a Rezoning FROM: U (Undeveloped) [L-TC (Low Density Residential - Town Center) General Plan Designation] TO: TC (Town Center) on 5.0 acres adjacent to the southwest corner of Deer Springs Way and Fort Apache Road (APN: 125-19-701-008), Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

2

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK – APPROVED subject to conditions – UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

JIM VELTMAN, Veltman Planning & Design Group, 2921 North Tenaya Way, appeared on behalf of the applicant. The original thinking was that higher residential density is appropriate adjacent to Town Center due to the proximity of the Beltway. The open space in medium-low to low density makes sense adjacent to the Beltway. As to the related rezoning, he concurred with the recommendation and proposed conditions.

TODD FARLOW, 240 North Nineteenth Street, expressed a concern that the site development plan review at Planning Commission failed to show any open space. That is a prescription for disaster in the Town Center area.

*City of Las Vegas***Agenda Item No. 122**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 122 – Z-0082-02

MINUTES - Continued:

COUNCILMAN MACK referred to the map which demonstrated that the land east of Fort Apache is all medium-low Town Center and opposite that is all low density. This major section line is the natural divide and a change could establish a precedent he would not like to see established. However, the rezoning is consistent with existing zoning within the Town Center, he supported that application.

There was no further discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 121 [GPA-0037-02] and Item 122 [Z-0082-02] was held under Item 121 [GPA-0037-02].

(3:33 – 3:41)

4-2235

CONDITIONS:**Planning and Development**

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 40 feet of right of way adjacent to this site for Deer Springs Way, 40 feet for Bath Drive, 50 feet for Fort Apache Road, a 54 foot radius on the southwest corner of Fort Apache Road and Deer Springs Way and a 54 foot radius on the northwest corner of Fort Apache Road and Bath Drive.
4. Construct half-street improvements, including appropriate overpaving, if legally able, on Deer Springs Way, Fort Apache Road, and Bath Drive adjacent to this site concurrent with development of this site. Fort Apache Road, Deer Springs Way, Bath Drive, and all interior streets shall be built to meet appropriate Town Center Roadway Standards. Install all appurtenant underground facilities, if any, adjacent to this site needed for future traffic signal systems concurrent with development of this site.

**Agenda Item No. 122**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 122 – Z-0082-02

CONDITIONS - Continued:

5. If not already constructed at time of development of this site, extend oversized public sanitary sewer in Deer Springs Way to the west edge of this site to a location and at a depth acceptable to the City Engineer, and extend public sanitary sewer in Fort Apache Road to the south edge of this site at a depth and to a location acceptable to the City Engineer. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any offsite permits.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site.

The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

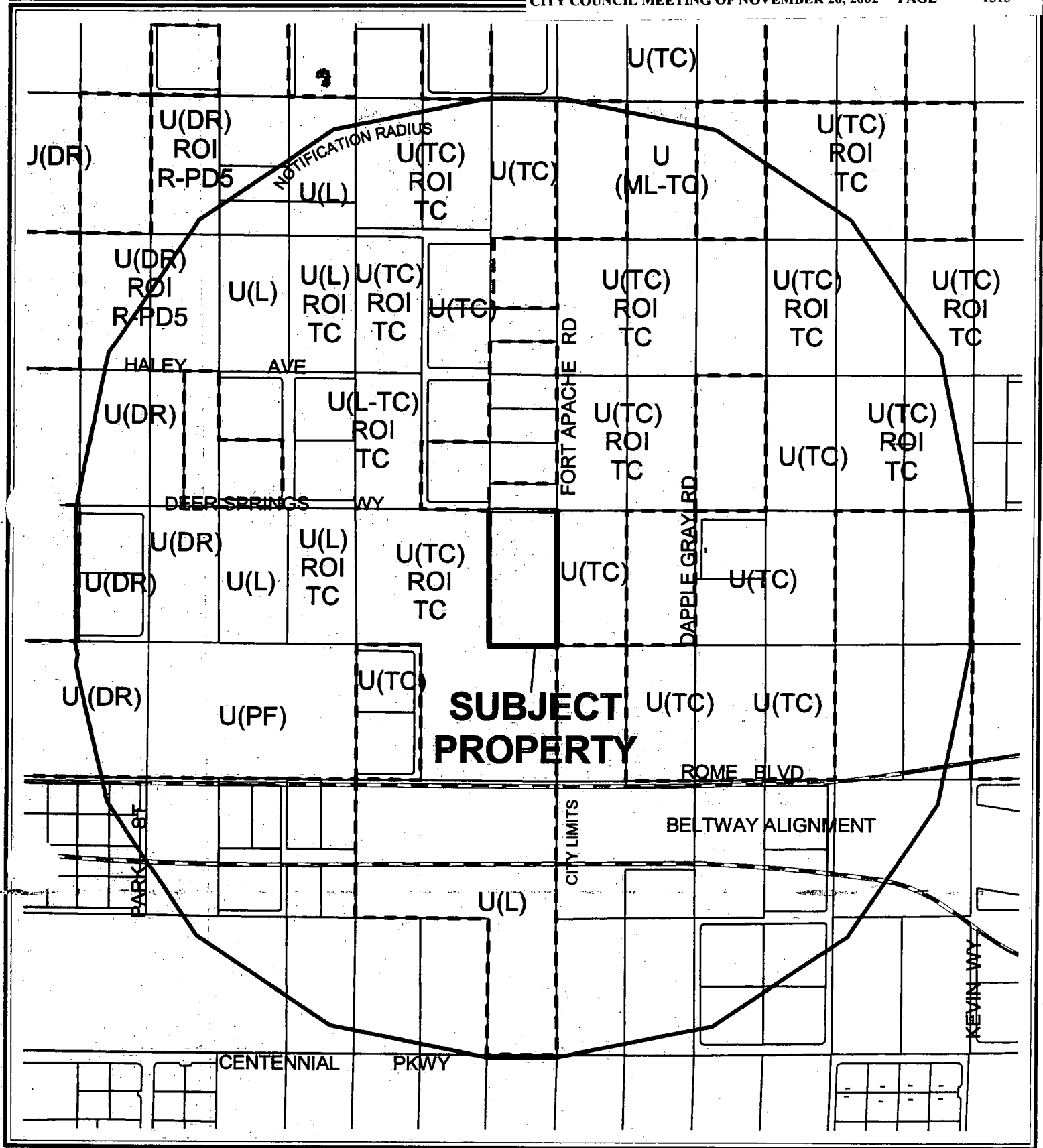
Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

*City of Las Vegas***Agenda Item No. 122**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 122 – Z-0082-02

CONDITIONS - Continued:

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: **Z-0082-02**

RADIUS: 2000 FT

ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [L-TC (LOW DENSITY RESIDENTIAL TOWN CENTER) GENERAL PLAN DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY: R-2 (MEDIUM-LOW DENSITY RESIDENTIAL)

0 500 1000 Feet

122



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0082-02 - SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 40 feet of right of way adjacent to this site for Deer Springs Way, 40 feet for Bath Drive, 50 feet for Fort Apache Road, a 54 foot radius on the southwest corner of Fort Apache Road and Deer Springs Way and a 54 foot radius on the northwest corner of Fort Apache Road and Bath Drive.
4. Construct half-street improvements, including appropriate overpaving, if legally able, on Deer Springs Way, Fort Apache Road, and Bath Drive adjacent to this site concurrent with development of this site. Fort Apache Road, Deer Springs Way, Bath Drive, and all interior streets shall be built to meet appropriate Town Center Roadway Standards. Install all appurtenant underground facilities, if any, adjacent to this site needed for future traffic signal systems concurrent with development of this site.
5. If not already constructed at time of development of this site, extend oversized public sanitary sewer in Deer Springs Way to the west edge of this site to a location and at a depth acceptable to the City Engineer, and extend public sanitary sewer in Fort Apache Road to the south edge of this site at a depth and to a location acceptable to the City Engineer. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any offsite permits.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site.

Z-0082-02 - Conditions Page Two
November 20, 2002 City Council Meeting

The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0082-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for a Rezoning to TC (Town Center) on 5 acres located adjacent to the southwest corner of Deer Springs Way and Fort Apache Road. The applicant's justification letter states that the edge properties along the beltway should be at a Medium Low Residential Density to protect the values of the properties to the north and to provide more diversity to the housing stock in the area.

BACKGROUND DATA

- 10/16/02 The City Council approved an Annexation (A-0021-02) for this site. It will be effective on November 15, 2002. The Planning Commission recommended approval.
- 10/24/02 The Planning Commission recommended denial of a General Plan Amendment (GPA-0037-02) to designate the subject site ML-TC (Medium-Low Density Residential – Town center) for this site.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #36).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	U (Undeveloped) L-TC (Low Density Residential - Town Center) General Plan Designation	Undeveloped
South	U (Undeveloped) PF-TC (Public Facility) General Plan Designation under ROI to TC (Town Center)	Undeveloped
East	U (Undeveloped) ML-TC (Medium Low Density Residential - Town Center) General Plan Designation	Undeveloped
West	U (Undeveloped) L-TC (Low Density Residential – Town Center) General Plan Designation under ROI to TC (Town Center)	Undeveloped

ANALYSIS & FINDINGS

GENERAL PLAN

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as L-TC (Low Density Residential) as part of the Town Center Master Plan. The applicant has requested to change the designation to ML-TC (Medium-Low Density Residential – Town Center) which staff has recommended denial. Regardless of the land use designation, it is a part of the Town Center Master Plan area and rezoning it to TC (Town Center) is appropriate.

Z-0082-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING

The proposed TC (Town Center) zoning will allow development of this property in accordance with the Town Center Development Standards Manual.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as L-TC (Low Density Residential) as part of the Town Center Master Plan. The applicant has requested to change the designation to ML-TC (Medium-Low Density Residential – Town Center) which staff has recommended denial. No matter what the designation ends up being, it is a part of the Town Center Master Plan area and rezoning it to TC (Town Center) is appropriate.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual and will be compatible with the surrounding land uses.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

Deer Springs Way is planned as a 80-foot wide Secondary Collector and Fort Apache Road is planned as a 100-foot wide Primary Arterial. They will both provide adequate access to the subject site.

Z-0082-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

PLANNING COMMISSION ACTION

The Planning Commission and staff concur that this change to Town Center zoning is appropriate.

NOTICES MAILED 52 by Planning Department

APPROVALS 0

PROTESTS 2



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0082-02 APN: 125-19-701-008

Name of Property Owner: SPKQLOR, LLC.

Name of Applicant: GREG. BECKER

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: 

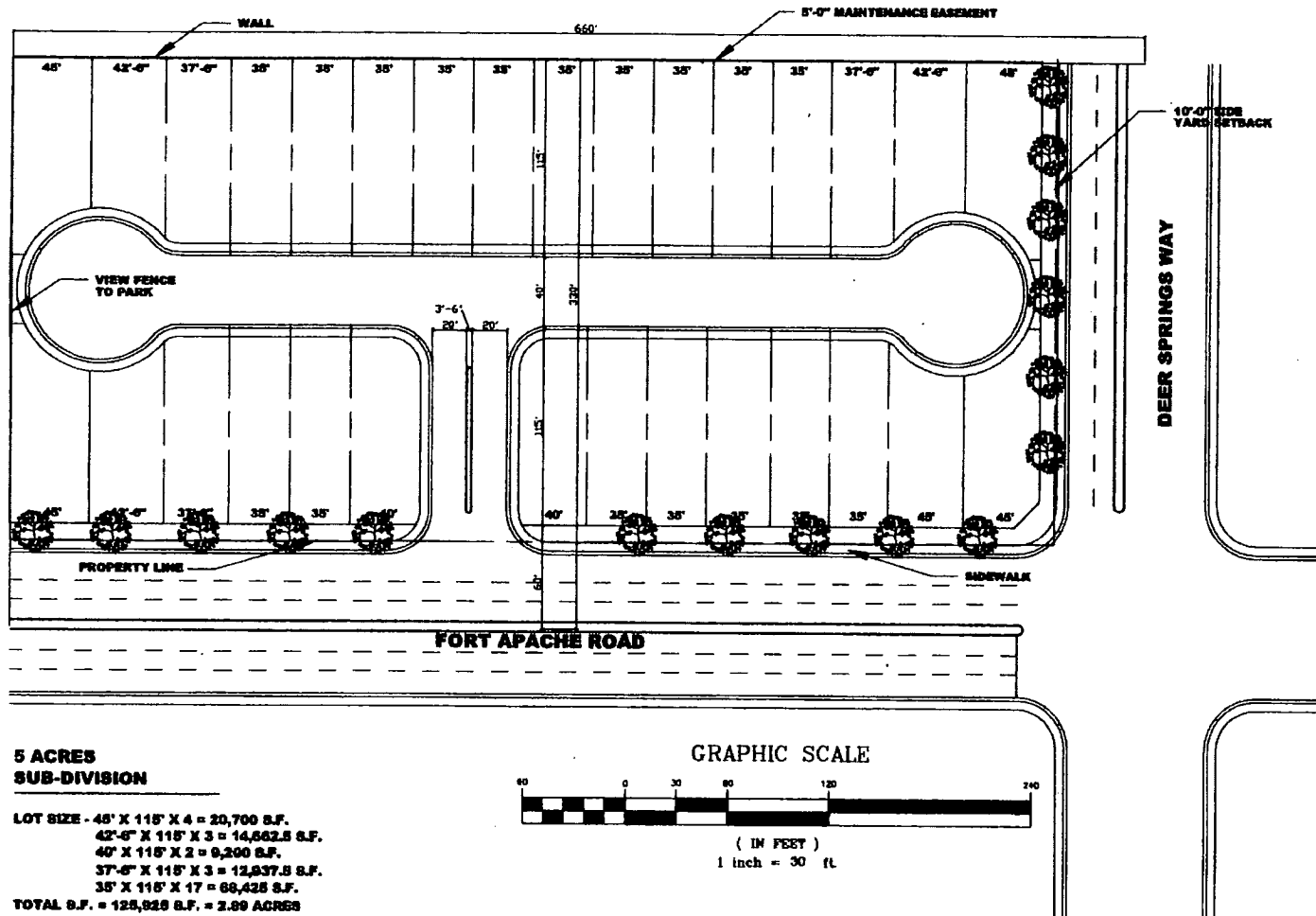
Print Name: Gregory Bickel

Subscribed and sworn before me

This 10th day of September, 2002

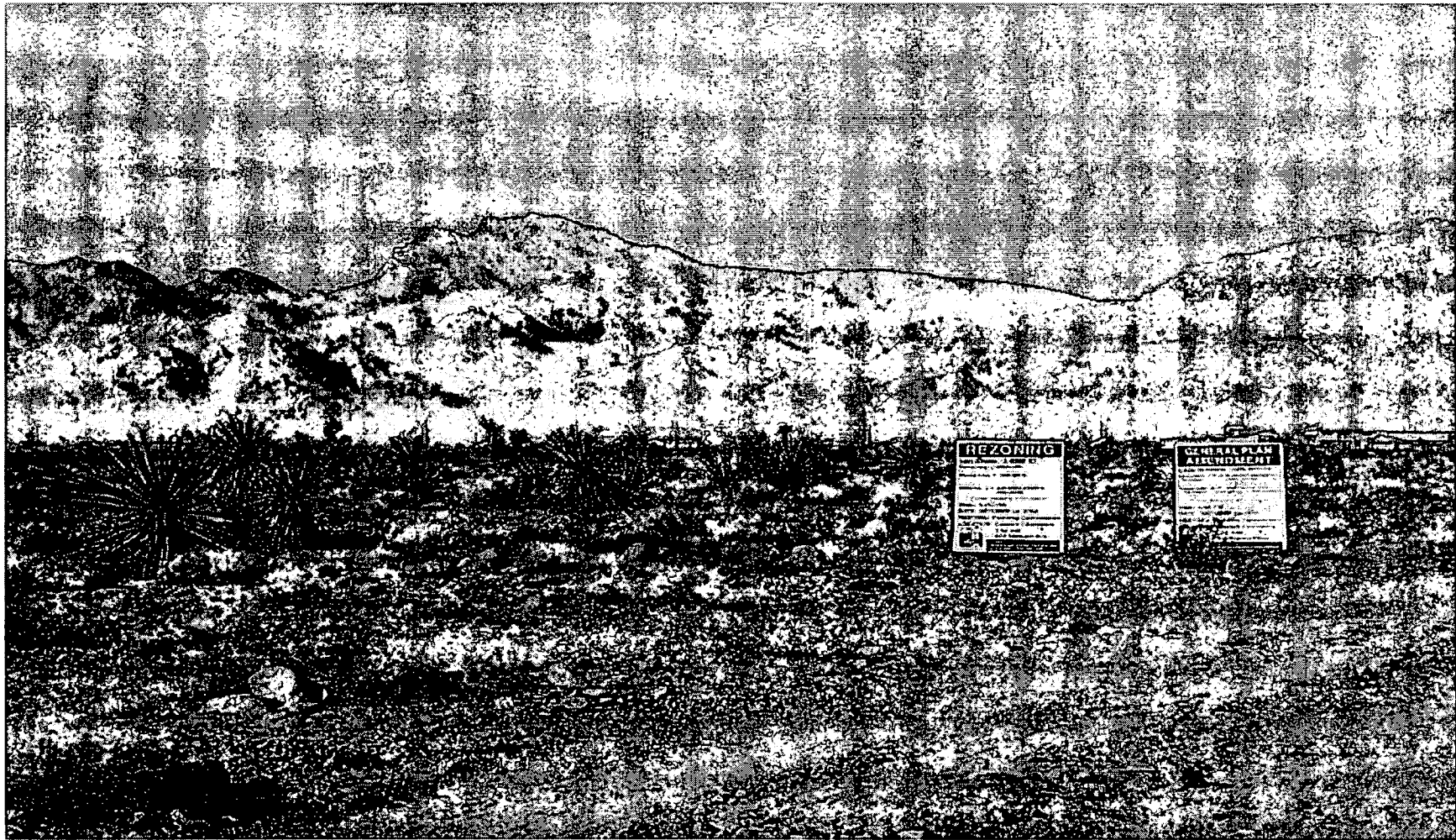
Phyllis Bedal
Notary Public in and for said County and State





5 ACRES SUB-DIVISION CONCEPTUAL SITE PLAN											
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STAFF
 Z-0082-02
 10-24-02 PC



Z-0082-02 - SPKQL8R, LIMITED LIABILITY COMPANY ON BEHALF OF GREG BECKER
SOUTHWEST CORNER OF FORT APACHE ROAD AND DEER SPRINGS WAY
OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02

City of Las Vegas

Agenda Item No. 123

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0038-02 - SPARTAN PROPERTIES, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF DELTA REALTY & INVESTMENTS - Request to amend a portion of the Centennial Hills Sector Plan of the General Plan FROM: ML-TC (Medium Low Residential) and UC-TC (Urban Center Mixed-Use) TO: GC-TC (General Commercial) on 15.0 acres adjacent to the southwest corner of Elkhorn Road and El Capitan Way (PROPOSED Durango Drive Alignment) (APN: 125-20-101-006, 007, 008 and 009), Ward 6 (Mack). Staff recommends DENIAL. The Planning Commission (6-0-1 vote) recommends APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

1
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

Staff recommends DENIAL. The Planning Commission (6-0-1 vote) recommends APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted after final agenda – Letter from Dean Lazarkis, Delta Realty, requesting that item be stricken

MOTION:

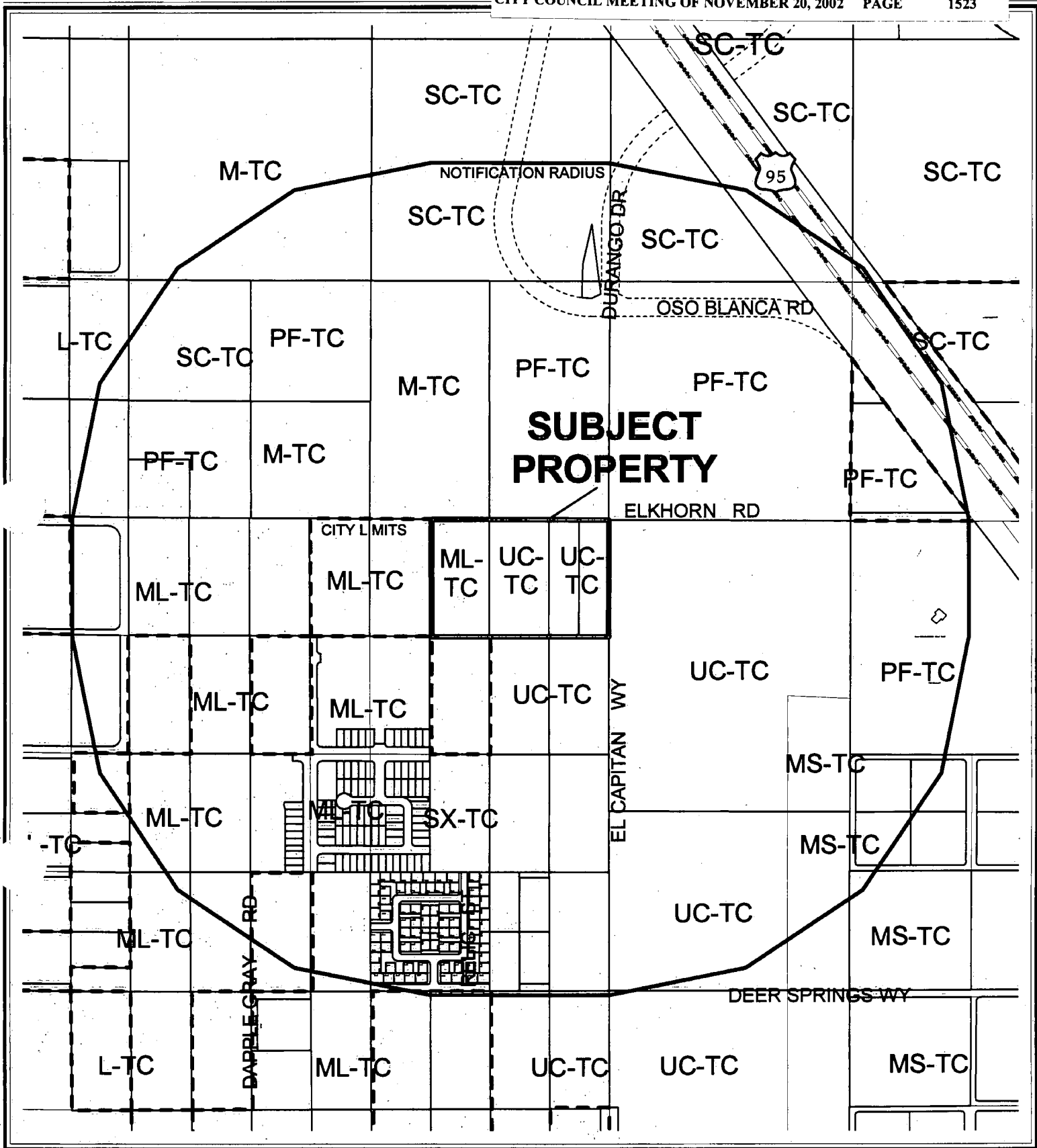
REESE – Motion to HOLD IN ABEYANCE Item 91 [VAC-0070-02], Item 102 [U-0127-02] and Item 103 [SD-0047-02] to 12/4/2002, ACCEPT THE WITHDRAWAL WITHOUT PREJUDICE of Item 116 [Z-0083-02] and Item 117 [Z-0083-02(1)] and TABLE Item 123 [GPA-0038-02] – UNANIMOUS with M. McDONALD and BROWN excused

MINUTES:

There was no discussion.

(1:41 – 1:47)

3-1



CASE: GPA-0038-02

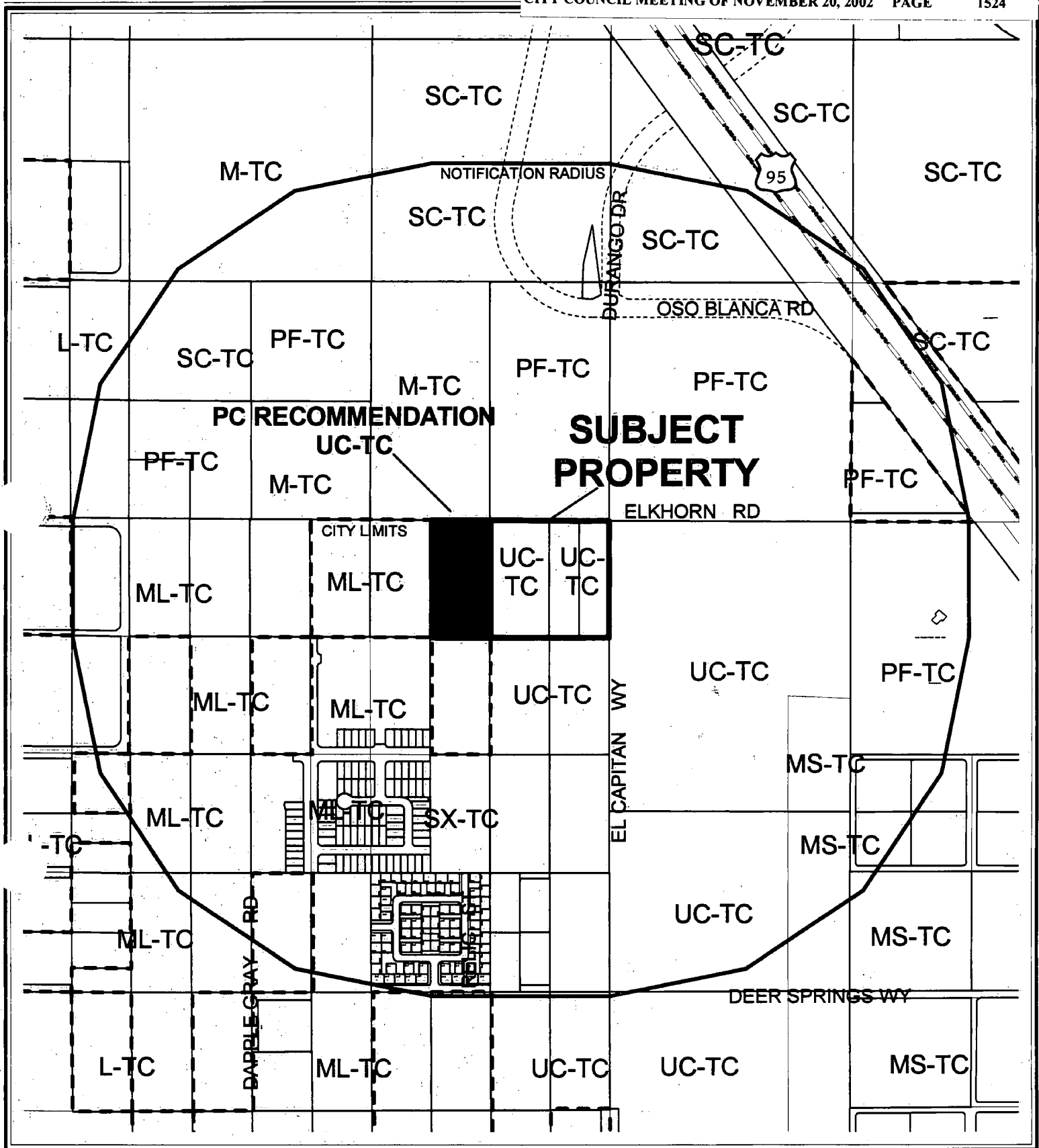
RADIUS: 2000 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: ML-TC (MEDIUM LOW RESIDENTIAL) AND UC-TC (URBAN CENTER MIXED-USE)

PROPOSED TO: GC-TC (GENERAL COMMERCIAL)

123



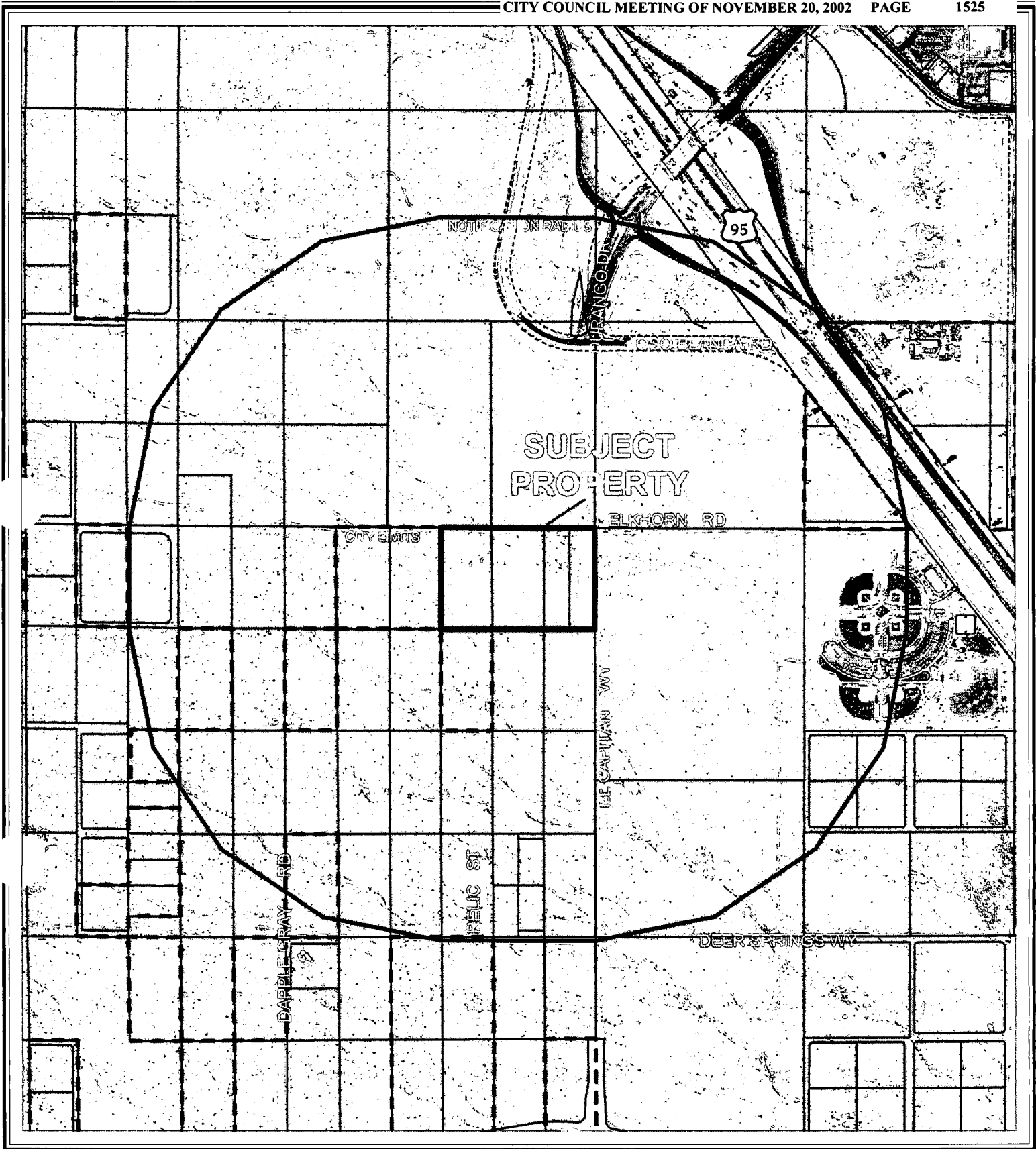


CASE: GPA-0038-02

RADIUS: 2000 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: ML-TC (MEDIUM LOW RESIDENTIAL) AND UC-TC (URBAN CENTER MIXED-USE)

PROPOSED TO: GC-TC (GENERAL COMMERCIAL)



CASE: GPA-0038-02

RADIUS: 2000 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: ML-TC (MEDIUM LOW RESIDENTIAL)
AND UC-TC (URBAN CENTER MIXED-USE)

PROPOSED TO: GC-TC (GENERAL COMMERCIAL)

0 700 1400 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

**ITEM DESCRIPTION: GPA-0038-02 – SPARTAN PROPERTIES, LIMITED LIABILITY
COMPANY ON BEHALF OF DELTA REALTY & INVESTMENTS**

**** CONDITIONS ****

Staff recommends DENIAL. The Planning Commission (6-0-1 vote) recommends APPROVAL, subject to:

1. Western five (5) acres of site shall be designated UC-TC, all other parcels shall not be changed.

CLARK COUNTY RECOMMENDATION: To be considered Nov. 6, 2002

GPA-0038-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to change the General Plan land use designation of the subject property from ML-TC (Medium Low Density Residential- Town Center) and UC-TC (Urban Center – Town center) to GC-TC (General Commercial- Town Center). The property is located at the intersection of Elkhorn Road and Kevin Street. A rezoning application, U (TC) to TC, was filed with this plan amendment application.

BACKGROUND DATA:

- 05/24/99 The City Council approved the Northwest Sector Land Use Plan (GPA-01-99). On this plan, the subject properties were within the expansion area of the Town Center Master Planned Area. The subject properties were designated for L (Low Density Residential) land uses with a maximum density of 3.5 dwelling units per acre.
- 04/04/01 The City Council approved the expansion of Town Center on the Northwest (later the Centennial Hills) Sector Land Use Plan. The subject properties were designated as Town Center.
- 08/21/02 The City Council approved the last update of the Centennial Hills Town Center Land Use Map (GPA-19-02) of the city of Las Vegas General Plan. On this map, the subject properties were designated for ML-TC (Medium Low Density Residential- Town Center) land uses with a maximum density of eight dwelling units per acre.
- 09/06/00 The City Council approved the Las Vegas 2020 Master Plan. This site is within the Newly Developing Area as described in the Plan.
- 11/07/01 The City Council approved the Town Center Development Standards (TCDS) Manual through Bill No. 2001-100. The TCDS details the uses permitted within Town Center and the development standards that will accomplish the vision of Town Center.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #37) in part.

GPA-0038-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

DETAILS OF APPLICATION REQUEST

Site Area: 10.0 Acres

EXISTING LAND USE

Subject Property	Vacant
North	Vacant
South	Vacant
East	Vacant
West	Vacant

PLANNED LAND USE

Subject Property	ML-TC (Low Density Residential- Town Center) and UC-TC (Urban Center- Town Center)
North	M-TC (Medium Density Residential- Town Center) and PF-TC (Public Facility- Town Center)
South	ML-TC (Medium Low density residential- Town Center) and UC-TC (Urban Center- Town Center)
East	UC-TC (Urban Center- Town Center)
West	ML-TC (Medium Low density residential- Town Center)

EXISTING ZONING

Subject Property	U (ML-TC) [Undeveloped (Medium Low Density Residential -Town Center)] and U (UC-TC) [Undeveloped (Urban Center- Town Center)]
North	TC (Town Center)
South	Clark County – Unzoned and U (UC-TC) [Undeveloped (Urban Center- Town Center)]
East	U (UC-TC) [Undeveloped (Urban Center -Town Center)]
West	Clark County – Unzoned

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA: YES

SPECIAL PLAN AREA: YES

RURAL PRESERVATION NEIGHBORHOOD: NO

RURAL PRESERVATION NEIGHBORHOOD BUFFER: NO

PROJECT OF REGIONAL SIGNIFICANCE: YES

GPA-0038-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

DEFINITIONS

ML-TC (Medium Low Density Residential)

(5.6 to 8 dwelling units/per gross acre.) This density range permits single-family compact lots and zero lot lines, manufactured home parks, and residential planned development. Local supporting uses such as parks, other recreation facilities, schools and churches are allowed in this category.

UC-TC (Urban Center Mixed-Use):

Development within this land use designation will typically be multi to -storied with offices and/or retail on the ground floor with similar or residential uses utilizing the upper floors. Minimum development shall be two stories in height. Developments in excess of twelve (12) stories along the El Capitan corridor are possible with a Special Use Permit (SUP). There are no density limitations in the UC District.

GC-TC (General Commercial)

The General Commercial District allows all types of retail, service, office and other general business uses of a more intense commercial character. These uses will normally require a Special Use Permit and will commonly include limited outdoor display of product, lights and/or other characteristics not generally compatible with the adjoining residential areas without significant transition. Examples include new and used car sales, highway commercial uses such as hotels, motels, and tourist commercial uses such as resorts and recreational facilities.

When adjacent to the beltway, these uses may exceed the height of the beltway by one story; otherwise development within the GC-TC land use area is restricted to two stories in height.

TC (Town Center)

The Town Center is intended to be the principal employment center for the Northwest and is a mixed-use development land use category. As compatibility allows, a mix of uses can include: mall facilities; shopping centers and other retail facilities; medium to high density residential uses; planned business; office and industrial parks; and recreational uses. The TC suffix to land use designations denotes that stricter design criteria will be used for project approval.

INTERAGENCY ISSUES

CITY OF LAS VEGAS / CLARK COUNTY NORTHWEST INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA

The subject site is located within the City's Centennial Hills Sector Plan area. Effective January 2, 2002, the entirety of the Centennial Hills Sector is subject to the provisions of an

GPA-0038-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

Interlocal Agreement between Clark County and the city of Las Vegas. The Centennial Hills Sector is referred to in the Interlocal Agreement as the "Joint Land Use Planning Area". Under the terms of the Agreement and subsequent procedures agreed upon by the City and the County, the City will forward any application for a General Plan Amendment within the "Excepted Areas" of the Joint Land Use Planning Area to the County for consideration by the Board of County Commissioners. Approval of both entities is required. This application was routed to Clark County Comprehensive and Current Planning Divisions for comment. Notice was received which indicated that the Clark County planning staff had no comment pertaining to this application. The Clark County Commission will review this application on November 6, 2002.

SPECIAL PLAN AREA

The subject site is located within the Town Center Plan area. The effect of this Special Plan Area on this application and the area affected by this application is a stricter zoning standard than that of other areas of the City.

PROJECTS OF REGIONAL SIGNIFICANCE IMPACT REPORT

The Southern Nevada Regional Policy Plan, approved February 22, 2001, set out a requirement for local entities to establish a means of identifying Projects of Regional Significance (PRS), and of addressing the impacts of these projects. The city of Las Vegas, through Ordinance No. 5477, has established such a process. Pursuant to this Ordinance, staff has determined that this proposed General Plan Amendment and its companion items would meet the definition of a Project of Regional Significance as defined in the ordinance.

ANALYSIS

The location of the proposed amendment to the plan is the intersection of the Elkhorn Road and Kevin Street alignments. Kevin Street is an 80 foot wide Town Center Collector Street and Elkhorn Road is a 100-foot wide Primary Arterial street as defined and depicted in the Town center Development Standards.

In terms of the GC-TC district, the policy of the city has been that all of the GC-TC land use districts would be found south of the 215 beltway, in the southwest and southeast quadrants of Town Center. The focus of the land use table of the Town Center Development Standards was to create pedestrian areas. The automotive uses typical of development today would not be found in these areas. Uses like car dealerships, auto repair, auto rental, smog checks, gas sales, etc. were to be kept out of the northwest quadrant and permitted south of the beltway. The beltway acts as a barrier between these intensive uses and the residential uses in the land use districts north of the beltway.

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November 20, 2002 City Council Meeting

The northwest quadrant is to have two primary developments: residential and mixed use. The applicant's parcels straddle the boundary of these two development areas, in this case ML-TC (Medium Low Residential- Town Center) and UC-TC (Urban Center Mixed Use). The services permitted in the Urban Center Mixed Use are people oriented. Contrast to services of GC-TC that are automobile oriented. The permitted development in Mixed Use districts focus on activities that can be walked to by the people that live in the districts. The GC-TC districts are developed in a manner that encourages the use of and is accessible by cars. This fundamental difference of development, one of a pedestrian orientation and the other with the focus of cars, is the reason for why the land use plan separates the development areas by a freeway.

The proposal would spot zone a GC- TC (General Commercial- Town Center) development in the heart of the northwest quadrant of Town Center. The proposal is contrary to the mixed use/ pedestrian friendly, live/ work/ play environment that the northwest quadrant of Town Center is envisioned to be.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies that include approved neighborhood plans.

In regard to "1": The addition of auto oriented uses will not help make the goal of making a truly urban/ pedestrian friendly development in this part of the valley a reality. As the plan has established that GC-TC uses are compatible to the plan areas south of the beltway the request is inconsistent with the plan. The amendment would create a spot zone situation.

GPA-0038-02 - Staff Report Page Six
November 20, 2002 City Council Meeting

In regard to "2": The TC (Town Center) zoning encompasses all of the areas of Town Center, regardless of land use districts. All uses possible under the Town Center land uses are consistent with the Town Center zoning.

In regard to "3": As this area is on the outer fringe of the city limits all infrastructure will have to be brought to the subject parcel.

In regard to "4": This application is inconsistent with the vision of a dense urban core of the Town Center Land Use Plan that will provide a mix of pedestrian accessible residential/ employment/ service uses.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting shall be held with the surrounding property owners. The applicant is requested to hold this meeting within 14 days of the closing date of this application. In accordance with the above, on October 9, 2002 a neighborhood meeting sponsored by the applicant was held. Three persons, representatives of the adjacent property owners, attended and had no comments.

NOTICES MAILED 42 by Planning Department

APPROVALS 0

PROTESTS 1

**PLANNING & DEVELOPMENT DEPARTMENT**

STATEMENT OF FINANCIAL INTEREST

Case Number: **GPA-0038-02** APN: **125-20-101-006 & 007**

Name of Property Owner: Spartan Properties LLC

Name of Applicant: Delta Realty & Investments, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

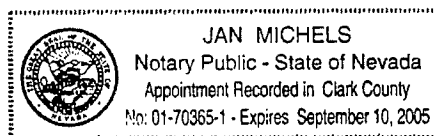
Signature of Property Owner/Authorized Agent: 

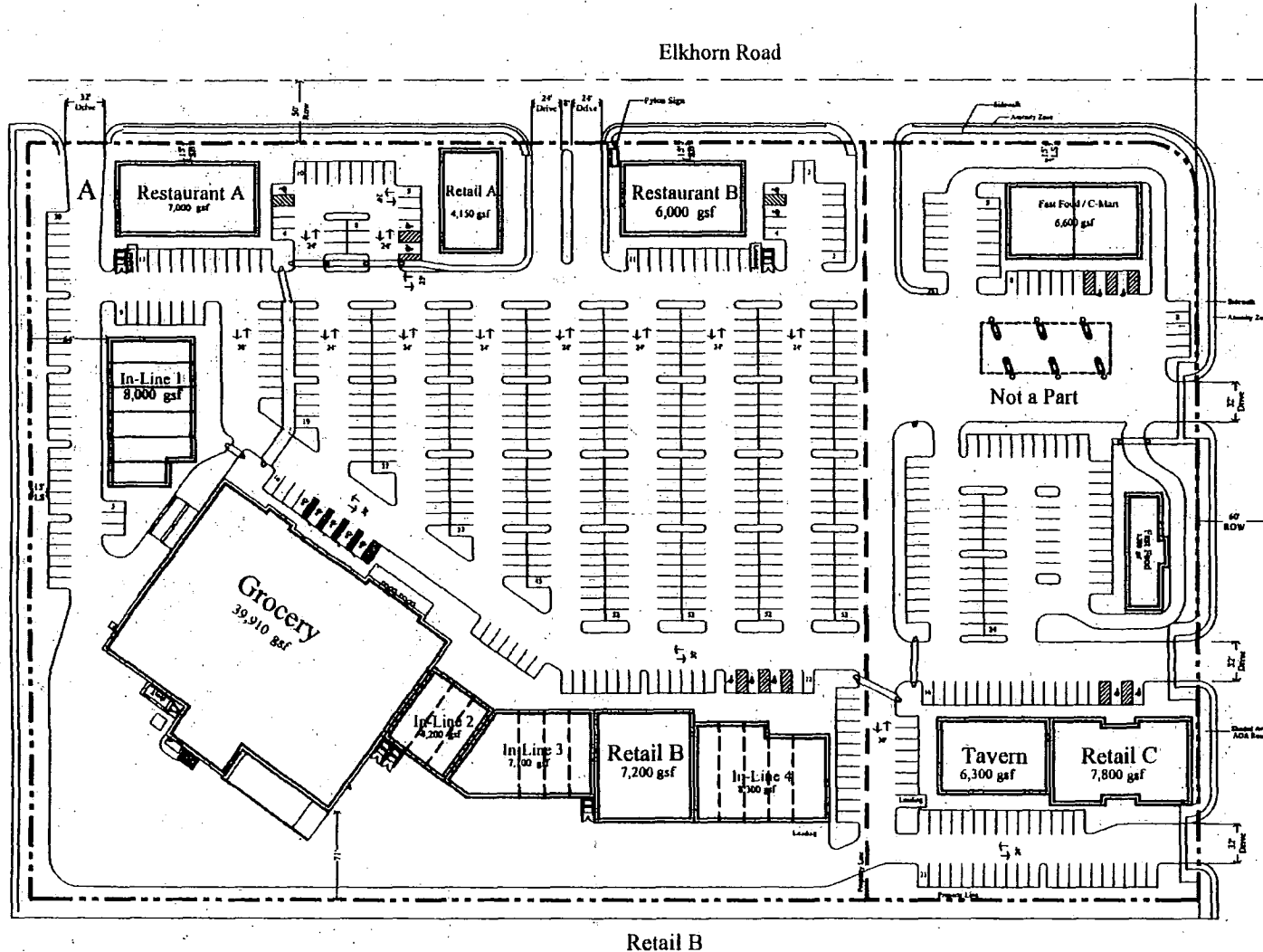
Print Name: Dean Lazarkis

Subscribed and sworn before me

This 9th day of September, 2002

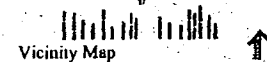
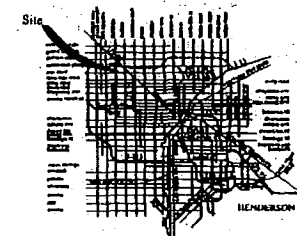
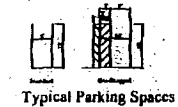
Jan Nichols
Notary Public in and for said County and State





SITE INFORMATION

Parcel Number	135-70-101-006
ZONING	UTC
AREA (Approximate)	
Gross Area:	574,311 sq. ft. 13.18 acres
BUILDING AREA	
C-Store	6,600 gsf
Grocery	39,910 gsf
In-Line 1	8,000 gsf
In-Line 2	4,200 gsf
In-Line 3	7,000 gsf
In-Line 4	4,300 gsf
Retail A	4,150 gsf
Retail B	7,200 gsf
Retail C	7,800 gsf
Restaurant A	7,000 gsf
Restaurant B	6,000 gsf
Fast Food	3,200 gsf
Tavern	5,600 gsf
Total	117,160 gsf
PARKING	
Restaurant	16.25 / 100 = 162
Retail	91.46 / 130 = 370
Tavern	60
Total	592 627
Setback	
Front	0 ft
Side	15 ft
Rear	15 ft
Density	0.20

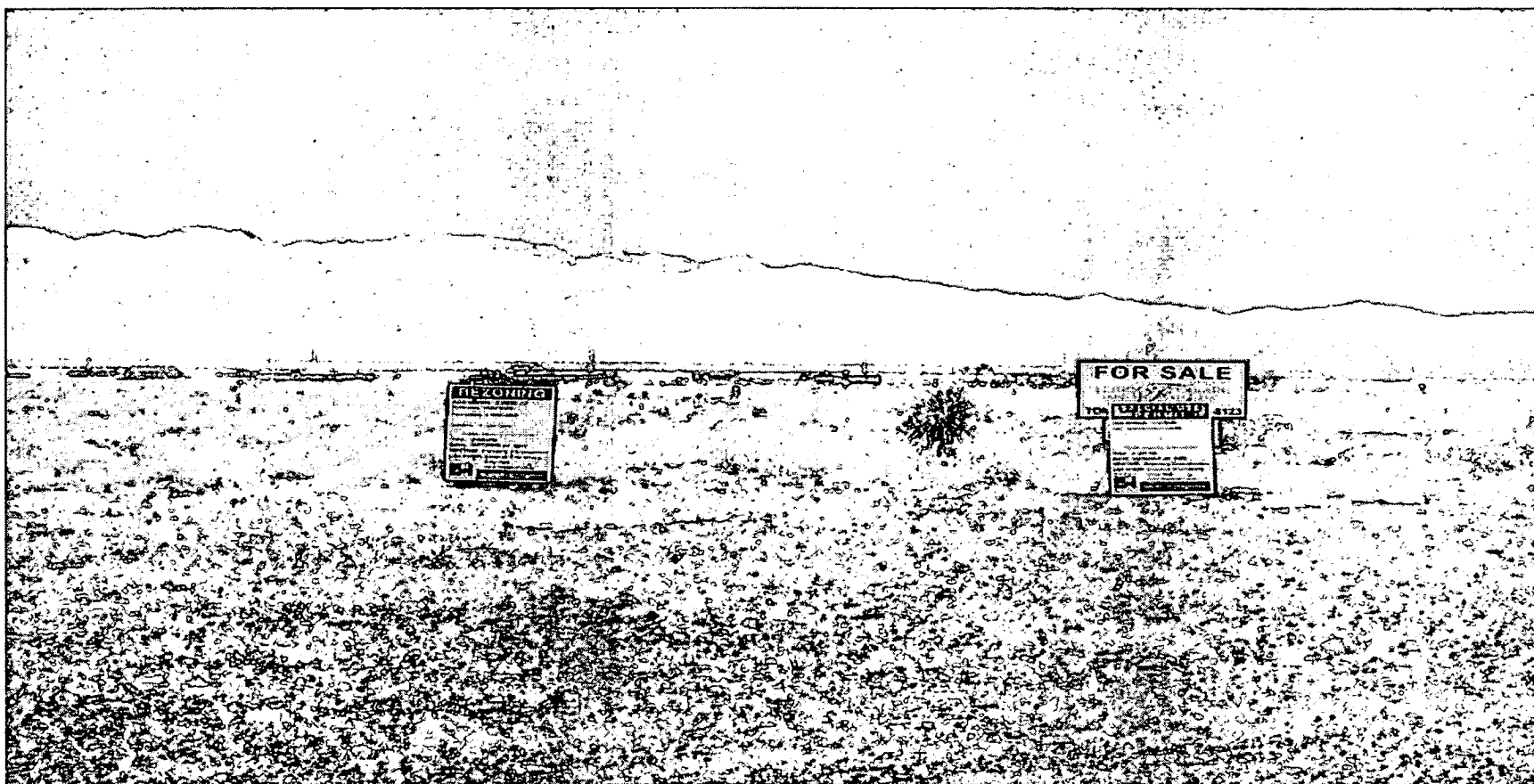


Elkhorn and Durango Commercial 2 Fehrman, Ferraro & Associates
Las Vegas, Nevada 1-702-804-8123

Elkhorn and Durango Drive, Las Vegas, Nevada

Conceptual Site Plan - Scheme D

Date: July 29, 2002
Project Number: 102153



GPA-0038-02 - SPARTAN PROPERTIES, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF DELTA
REALTY & INVESTMENTS
SOUTHWEST CORNER OF ELKHORN ROAD AND EL CAPITAN WAY
OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02



6767 W. Tropicana Ave. Suite 204
Las Vegas, NV 89103

Realty & Investments, Inc.

Phone: 702-220-6300
Fax: 702-220-6383

November 19, 2002

To: City of Las Vegas Clerk Via fax: (702) 382-4803

RE: Z-0084-02 and GPA-0038-02

Please to advised that we are currently exploring revised development plans, and wish to hold GPA-0038-02, without a date certain.

Additionally, we would still like to proceed with Z-0084-02 as scheduled for the November 20, 2002 City Council Meeting.

If you have any question or comments, I can be reached at (702) 220-6300.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read "DL", with a horizontal line extending to the right.

Dean Lazarkis
Managing Member
Spartan Properties, LLC.

CC: Greg Borgel Via fax: (702) 383-8845

RECEIVED
CITY CLERK
2002 NOV 19 A 11:57

Submitted after final agenda

Date 11/19/02 Item #123

City of Las Vegas

Agenda Item No. 124

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

REZONING RELATED TO GPA-0038-02 - PUBLIC HEARING - Z-0084-02 - SPARTAN PROPERTIES, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF DELTA REALTY AND INVESTMENTS - Request for a Rezoning FROM: U (Undeveloped) [TC (Town Center) General Plan Designation TO: TC (Town Center) on 10.00 acres adjacent to the south side of Elkhorn Road, approximately 330 feet west of El Capitan Way (PROPOSED Durango Drive Alignment) (APN: 125-20-101-006 and 007), Ward 6 (Mack). The Planning Commission (6-0-1 vote) and staff recommends APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

1

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommends APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

MACK – APPROVED subject to conditions – UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY TOM AMICK, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of the applicant. This will bring the zoning for this parcel into compliance with Town Center.

No one appeared in opposition.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

(3:41 – 3:42)

4-2593

**Agenda Item No. 124**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 124 – Z-0084-02

CONDITIONS:**Planning and Development**

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 50 feet of right-of-way adjacent to this site for Elkhorn Road prior to the issuance of any permits. Additional public street dedication for dual left turn lanes and free right turn lanes, in accordance with Standard Drawing #201.1, shall also be dedicated unless specifically noted as not required in the approved Traffic Impact Analysis.
4. Construct half-street improvements including appropriate overpaving (if legally able) on Elkhorn Road adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Also, provide a paved legal access per Clark County Area Standard Drawing #209 to this site prior to occupancy of any units within this development.
5. If not already constructed at the time of development, extend oversized public sewer in Elkhorn Road to the western edge of this site at a depth and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
6. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.

**Agenda Item No. 124**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 124 – Z-0084-02

CONDITIONS – Continued:

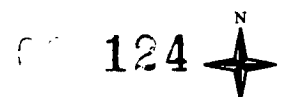
7. Provide a copy to the City of a recorded perpetual common access and parking agreement or other proof of common access rights between parcels 125-20-101-006, 125-20-101-007, 125-20-101-008, and 125-20-101-009 for the overall commercial area prior to the issuance of permits for this site.
8. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the

**Agenda Item No. 124**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 124 – Z-0084-02

CONDITIONS – Continued:

developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0084-02 - SPARTAN PROPERTIES, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF DELTA REALTY AND INVESTMENTS**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Site Development Plan Review application approved by the Planning Commission and City Council prior to issuance of any permits, any site grading, and all development activity for the site.
2. Conformance to all Town Center Development Standards.

Public Works

3. Dedicate 50 feet of right-of-way adjacent to this site for Elkhorn Road prior to the issuance of any permits. Additional public street dedication for dual left turn lanes and free right turn lanes, in accordance with Standard Drawing #201.1, shall also be dedicated unless specifically noted as not required in the approved Traffic Impact Analysis.
4. Construct half-street improvements including appropriate overpaving (if legally able) on Elkhorn Road adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Also, provide a paved legal access per Clark County Area Standard Drawing #209 to this site prior to occupancy of any units within this development.
5. If not already constructed at the time of development, extend oversized public sewer in Elkhorn Road to the western edge of this site at a depth and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
6. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222A.

Z-0084-02 - Conditions Page Two
November 20, 2002 City Council Meeting

7. Provide a copy to the City of a recorded perpetual common access and parking agreement or other proof of common access rights between parcels 125-20-101-006, 125-20-101-007, 125-20-101-008, and 125-20-101-009 for the overall commercial area prior to the issuance of permits for this site.
8. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0084-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for a Rezoning to TC (Town Center) on 10.0 acres located adjacent to the south side of Elkhorn Road, approximately 330 feet west of El Capitan Way [Proposed Durango Drive alignment]. The applicant's justification letter states that the request is consistent with the Master Plan and meets the Town Center Development Standards Manual.

BACKGROUND DATA

- 03/25/99 The Planning Commission approved an Annexation (A-0003-99) on the subject site as part of a larger request.
- 10/24/02 The Planning Commission recommended approval of a related General Plan Amendment (GPA-0038-02) and two related Rezoning requests (Z-0084-02) & (Z-0085-02) to designate the subject site GC-TC (General Commercial – Town Center) and bring it into the Town Center Master Plan area.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #38).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	TC (Town Center)	Vacant
East	TC (Town Center)	Vacant
West	U (Undeveloped)	Vacant
	[TC (Town Center) general plan designation]	
South	U (Undeveloped)	Vacant
	[TC (Town Center) general plan designation]	

ANALYSIS & FINDINGS

GENERAL PLAN

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as ML (Medium-Low Density Residential) as part of the Town Center Master Plan. The applicant has requested to change the designation to GC-TC (General Commercial – Town Center) which staff has recommended amending to UC-TC (Urban Center Mixed Use – Town Center). **[Regardless of the proposed land use designation, it is a part of the Town Center Master Plan area and the rezoning to TC (Town Center) is appropriate.]**

Z-0084-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The proposed TC (Town Center) zoning is in conformance with the general plan, which designates the subject site as ML (Medium-Low Density Residential) as part of the Town Center Master Plan. The applicant has requested to change the designation to GC-TC (General Commercial – Town Center) which staff has recommended amending to UC-TC (Urban Center Mixed Use – Town Center). The GC-TC designation allows all types of retail, service, office and other general business uses of a more intense nature. The intent of the UC-TC designation is to enable development with an imaginative site and building design to maximize the use of the property, which staff believes is more appropriate for this area of the city. Regardless of the proposed land use designation, the rezoning to TC (Town Center) is appropriate.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

All of the surrounding properties are designated TC. The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual in a manner consistent with the surrounding area.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

The proposed TC (Town Center) zoning will allow the development of this property in accordance with the Town Center Development Standards Manual.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

Elkhorn Road, a planned 100-foot wide Primary Arterial, will provide adequate access to the subject site.

Z-0084-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

NOTICES MAILED 42

APPROVALS 0

PROTESTS 1



Case Number: Z-0084-02 APN: 125-20-101-006 & 007

Name of Property Owner: Spartan Properties LLC

Name of Applicant: Delta Realty & Investments, Inc.

Yes

No

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: 

Print Name: Dean Lazarkis

This 9th day of September, 2002

Notary Public in and for said County and State



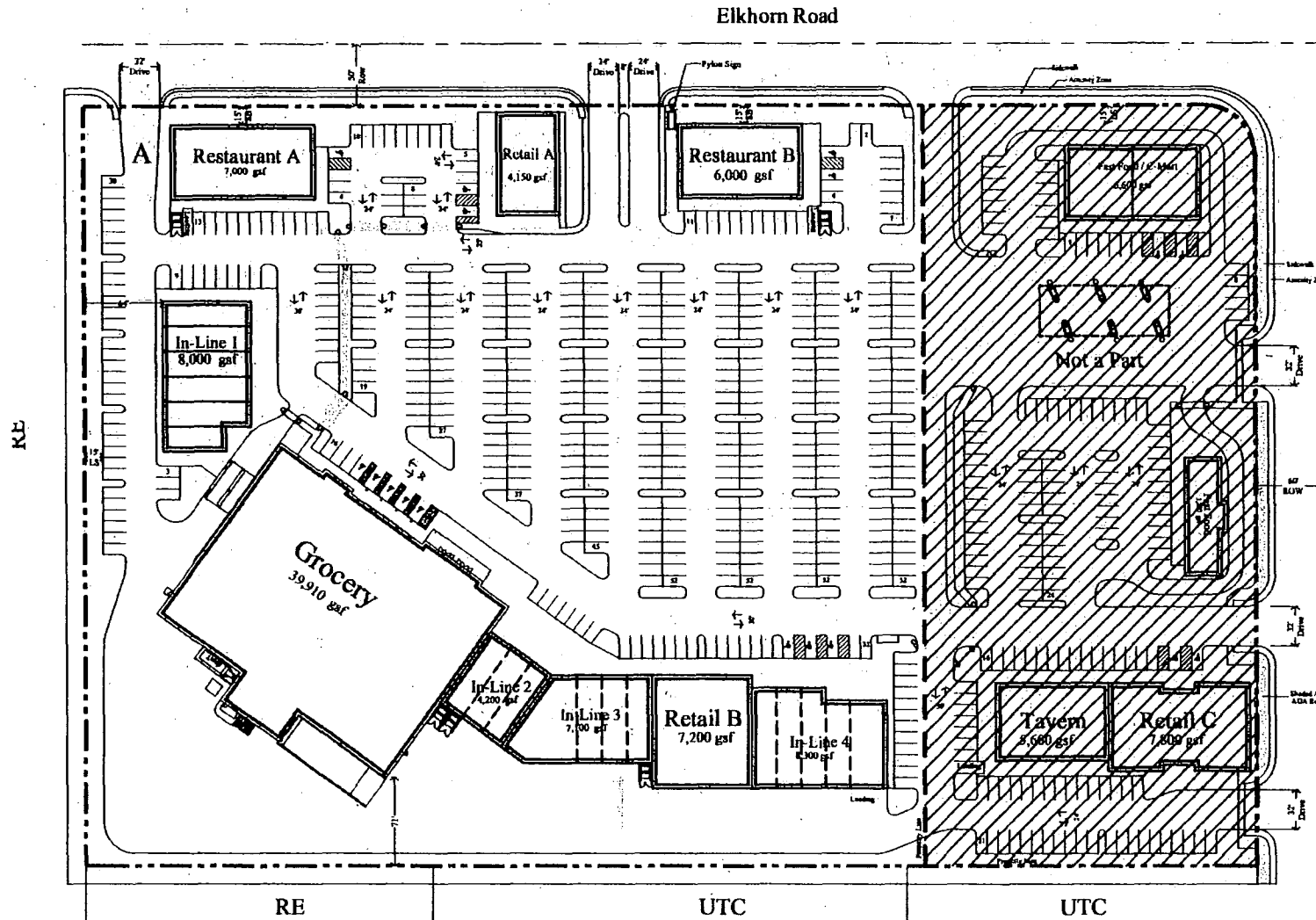
Notary Public - State of Nevada

Appointment Recorded in Clark County

No: 01-70365-1 - Expires September 10, 2005

STAFF

Z-0084-02
10-24-02 PC



SITE INFORMATION

Parcel Number 125-20-101-006-007

ZONING UTC

AREA (Approximate)
Gross Area: 410,311.18 sf, 9.21 acres

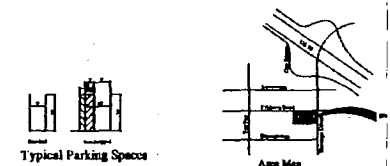
BUILDING AREA

Grocery	39,910 gsf
In-Line 1	8,000 gsf
In-Line 2	4,200 gsf
In-Line 3	7,100 gsf
In-Line 4	8,300 gsf
Retail A	4,150 gsf
Retail B	7,200 gsf
Restaurant A	7,000 gsf
Restaurant B	6,000 gsf
Total	91,860 gsf

PARKING	138 / 100 -	Required	Provided
Restaurant		130	
Retail	78.9% / 250 -	315	

Total	445	485
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Setback	0 ft
Front	15 ft
Side	15 ft
Rear	15 ft
Density	0.22



Elkhorn and Durango Commercial 2

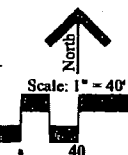
Las Vegas, Nevada

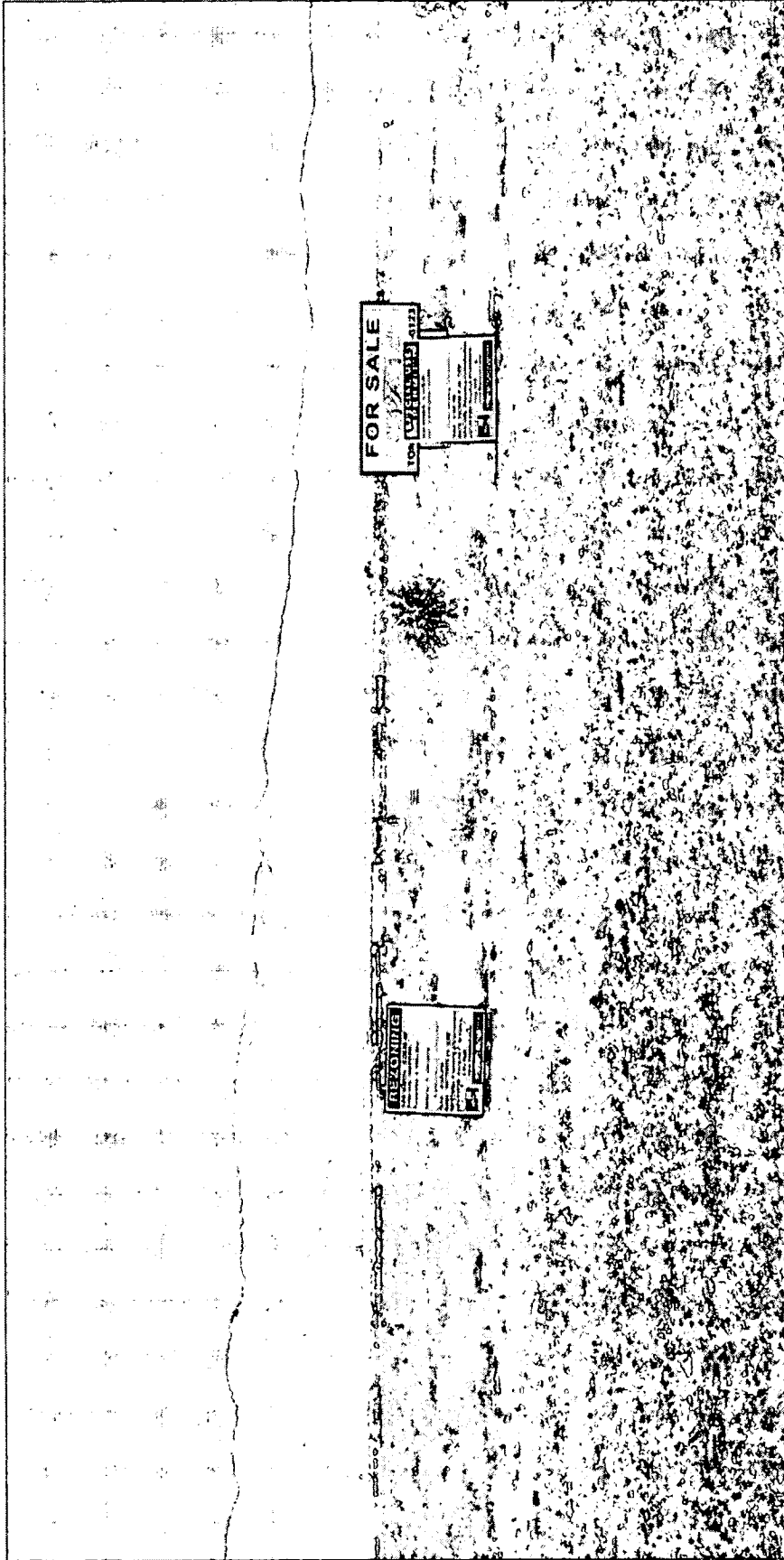
Delta Realty
1-702-220-6300

Elkhorn and Durango Drive, Las Vegas, Nevada

Conceptual Site Plan - Scheme E

Date: September 10, 2002
Project Number: 102153





Z-0084-02 - SPARTAN PROPERTIES, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF DELTA
 REALTY & INVESTMENTS
 SOUTHWEST CORNER OF ELKHORN ROAD AND EL CAPITAN WAY
 OCTOBER 24, 2002 PLANNING COMMISSION

10/14/02

City of Las Vegas

Agenda Item No. 125

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0040-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND AMERICAN HOMES - Request to amend a portion of Map No. 8 of the Transportation Trails Element of the General Plan TO CHANGE THE ALIGNMENT OF A PROPOSED MULTI-USE TRAIL generally located south of Gowan Road, approximately 700 feet east of Cliff Shadows Parkway (APN: 137-12-301-005, 006, 008 and 013), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to PD (Planned Development) and U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] [PROPOSED: PD (Planned Development)], Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****0****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****0****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application - Not Applicable
3. Staff Report

MOTION:

BROWN - APPROVED- UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY MARK FIORENTINO, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes, appeared on behalf of the applicant. He accepted all proposed conditions for the applications.

TODD FARLOW, 240 North 19th Street, confirmed with MARGO WHEELER, Manager, Planning & Development, that the map adopted at this meeting reflected that the trail had been removed. He expressed concern with the design which is not consistent with standard cluster homes. ATTORNEY FIORENTINO clarified that the cluster home portion was a separate site

**Agenda Item No. 125**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 125 – GPA-0040-02

MINUTES – Continued:

plan. The separate site plan was eventually approved by the Planning Commission after some revisions and will be heard at a public hearing by the City Council in a few weeks.

No one appeared in opposition.

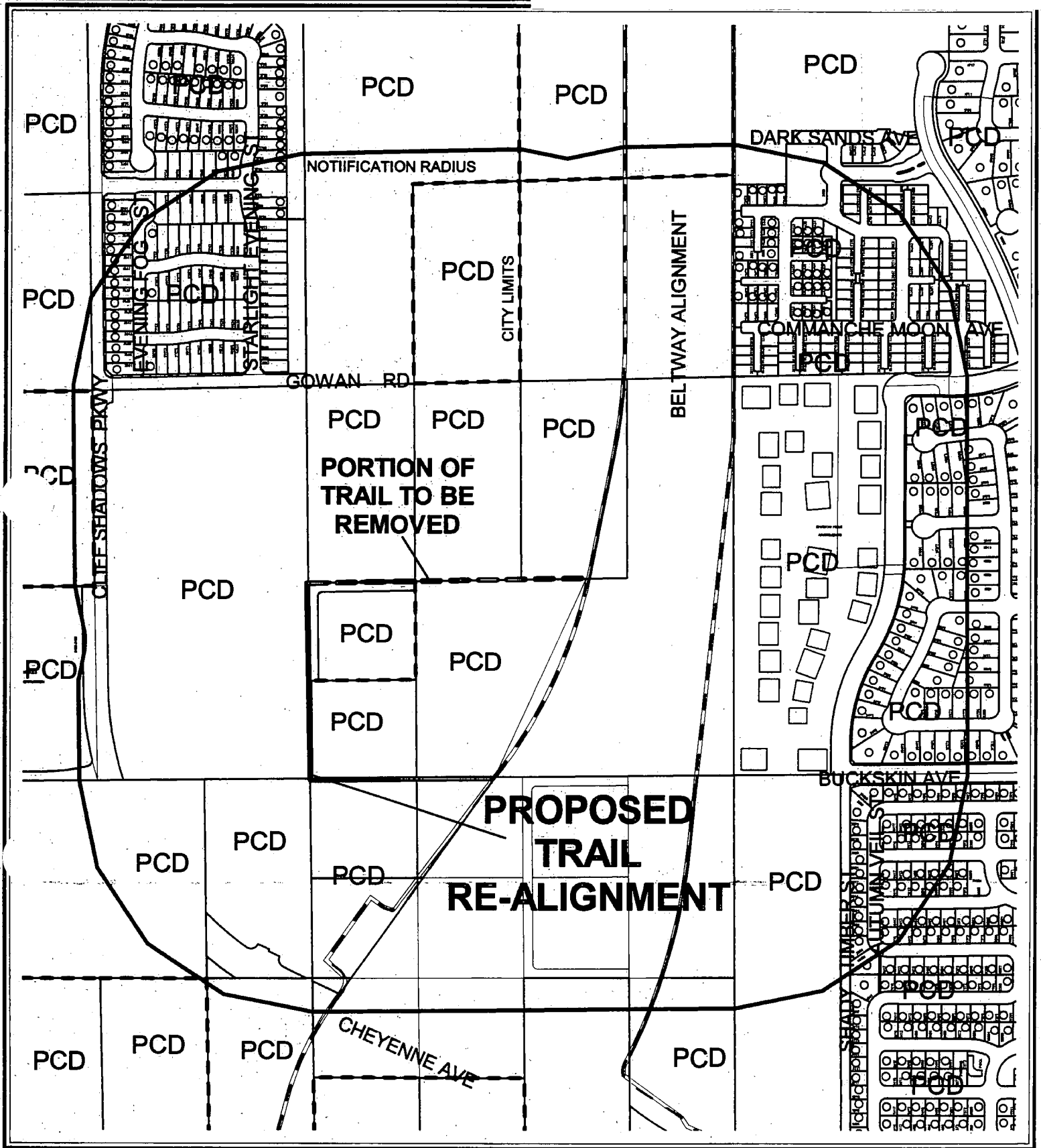
There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 125 [GPA-0040-02], Item 126 [Z-0024-99(48)] and Item 127 [Z-0073-02] was held under Item 125 [GPA-0040-02].

(3:42 – 3:47)

4-2661



CASE: GPA-0040-02

RADIUS: 750 FT

0 300 600 Feet



125





**PROPOSED
TRAIL
REALIGNMENT**

RADIUS: 750 FT

[illegible]

*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: GPA-0040-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND AMERICAN HOMES**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL.

CLARK COUNTY RECOMMENDATION: **The Clark County Board of Commissioners is expected to act on this item on November 6, 2002.**

GPA-0040-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to amend Map No. 8, Lone Mountain Multi-Use Trail Alignments, of the "Master Plan Transportation Trails Element." The proposed amendment would extend the present alignment of a trail, located approximately 650 feet east of Cliff Shadows Parkway, from a point approximately 650 feet north of the center of Buckskin Avenue, south to Buckskin Avenue, and then east to the proposed Beltway (please refer to the map attached and made a part of this application).

BACKGROUND DATA:

- 03/12/92 The Planning Commission approved the three Land Use Sector Maps of the General Plan.

- 12/18/96 The City Council adopted the Northwest General Plan Amendment to the City of Las Vegas General Plan. Within this plan are provisions for various types of trails in the Northwest Sector (now referred to as the Centennial Hills Sector). Map Seven of the plan document specifically illustrates the alignment of these trails.

- 05/24/99 The City Council approved the Centennial Hills Sector Map (GPA-01-99) of the City of Las Vegas General Plan that replaced the Northwest Sector Map. The provision for various types of trails within the Centennial Hills Sector continued to be operative in this plan.

- 06/14/99 The City Council approved the Lone Mountain West Master Development Plan. This Plan is a development plan for an area located east of the westerly city limits, south of Lone Mountain Road, west of the proposed Beltway, and north of Cheyenne Avenue. Figure 7 of this Plan illustrates the alignment of trails within the Plan area.

- 01/16/02 The City Council approved the "Master Plan Transportation Trails Element" and the "Master Plan Recreation Trails Element." These plans set forth the standards and conditions for various types of trails and include a Map No. 2 that replaces Map Seven of the Northwest General Plan and the Centennial Hills Sector Plan.

- 10/24/02 The Planning Commission voted 6-1 to recommended APPROVAL (PC Agenda Item #42).

GPA-0040-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

DETAILS OF APPLICATION REQUEST

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA:

See analysis

SPECIAL PLAN AREA:

This application is applicable to the Lone Mountain West Master Development Plan area.

RURAL PRESERVATION NEIGHBORHOOD:

Not applicable

RURAL PRESERVATION NEIGHBORHOOD BUFFER:

Not applicable

PROJECT OF REGIONAL SIGNIFICANCE:

Not applicable

DEFINITIONS

Trails Element Definitions

Trail: A designated route for persons driving or riding non-motorized vehicles, for pedestrians, and for other trail users. There are two major types of trails: recreation trails and transportation trails.

Trail, multi-use transportation: A transportation trail intended to be used and shared by bicyclists and persons on other non-motorized vehicles and for pedestrians.

Trail, transportation: A trail intended to be used for transportation purposes. A transportation trail may be characterized as a trail that provides access from one part of the community to another.

ROW (Right-of-Way)

A ROW is a strip of land acquired by reservation, dedication, forced dedication, prescription, or condemnation and intended to be occupied by a road, crosswalk, railroad, electric transmission lines, oil or gas pipeline, water line, sanitary storm sewer or other public utility or facility.

GPA-0040-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

INTERAGENCY ISSUES

CITY OF LAS VEGAS/ CLARK COUNTY NORTHWEST INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA

The subject site is located within the City's Centennial Hills Sector Plan area. Effective January 2, 2002, the entire Centennial Hills Sector is subject to the provisions of an Interlocal Agreement between Clark County and the city of Las Vegas. The Centennial Hills Sector is referred to in the Interlocal Agreement as the "Joint Land Use Planning Area." Under the terms of the Agreement and subsequent procedures agreed upon by the City and the County, the City is to forward any application for a General Plan Amendment within the Joint Land Use Planning Area to the County for consideration by the Board of County Commissioners. Approval of both entities is required. This application was routed to Clark County for comment. The Clark County Board of Commissions is expected to act on this item on November 6, 2002.

SPECIAL PLAN AREA

The subject site is located within the Lone Mountain West Master Development Plan area. This application has no affect on this area.

ANALYSIS

The Lone Mountain West Master Development Plan provides for trails within this master planned community. A power line traverses through much of the area, providing a corridor for a multi-use transportation trail. According to the Plan, this north-south trail is to turn easterly and connect with a trail along the proposed Beltway, approximately 1980 feet north of Cheyenne Avenue (please refer to the map attached and made a part of this application).

The applicant's client is developing the property through which the east-west section of the trail alignment extends to connect with the Beltway trail. As not to interfere with the planned development of this property, the developer wishes to extend the trail further south along the power line corridor and then easterly along the south side of the property, approximately 1320 feet north of Cheyenne Avenue. This newly proposed alignment would have no affect on the functionality of the trail.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

GPA-0040-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies which include approved neighborhood plans.

As to item "1," the proposed trail realignment should have no negative impact on development contiguous to the trail. To the contrary, the trail will provide an amenity to the residents of the proposed development as an alternative mode of travel to other locations and as a recreational facility.

Item "2" is not applicable, as this amendment does not relate to zoning.

In regard to "3," while this amendment does not relate specifically to land uses, land use classifications, and densities of development, the amendment does enhance transportation by providing alternative modes for non-vehicular travel and enhance recreational opportunities for walkers, joggers, and in-line skaters.

As to item "4," the proposed amendment conforms to the goals, objectives and policies of the Centennial Hills Sector Plan. In particular, Policy A3 states: "Where possible, develop links among trails, paths, public facilities, and public lands for alternate means of circulation and recreation." The trails in the Lone Mountain West area are an amenity to this area in furtherance of the policies of the Centennial Hills Sector Plan. An amendment that facilitates this policy, therefore, is consistent with both plans.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting is to be held with the surrounding property owners. It is requested that the applicant hold this meeting within 14 days of the closing date of the application. In accordance with the above, a neighborhood meeting sponsored by the applicant was held on September 30, 2002. Two persons attended the meeting and expressed concerns about development in the area, but they had no objection to the proposed trail amendment.

GPA-0040-02 - Staff Report Page Five
November 20, 2002 City Council Meeting

NOTICES MAILED 170 by Planning Department

APPROVALS 0

PROTESTS 0



Case Number: GPA-0040-02 APN: 137-12-301-013

Name of Property Owner: DONALD R. & BETH L. SYLVESTER

Name of Applicant: RICHMOND AMERICAN HOMES

_____ Yes _____ No

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent: _____

Print Name: _____

This _____ day of _____, 20____

Notary Public in and for said County and State



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **GPA-0040-02** APN: 137-12-301-008

Name of Property Owner: USA

Name of Applicant: RICHMOND AMERICAN HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent:

See attached letter

Print Name:

Subscribed and sworn before me

This day of , 20

Notary Public in and for said County and State



f:\dcpot\Application Packet\Statement of Financial Interest.doc



Case Number: **GPA-0040-02** APN: 137-12-301-005

Name of Applicant: RICHMOND AMERICAN HOMES

 Yes ~~No~~

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner/Authorized Agent:

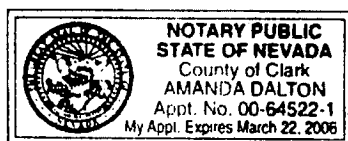
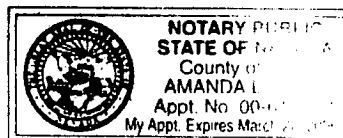
Print Name: _____

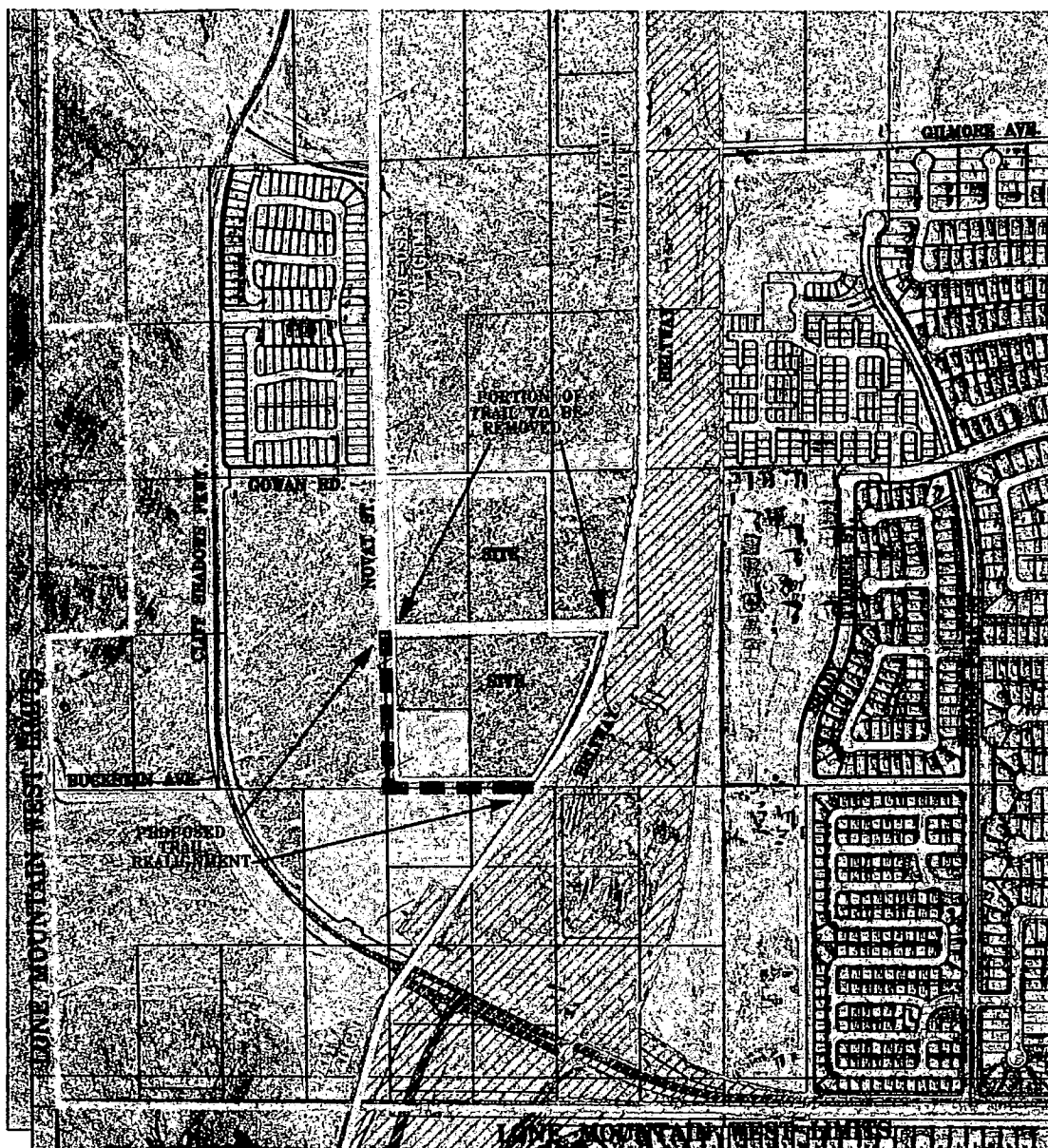
Subscribed and sworn before me

This 10th day of September, 2002

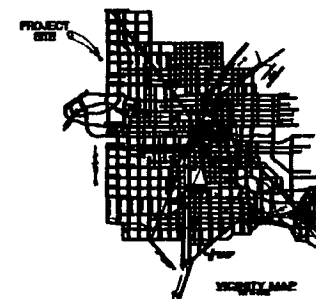
Amanda Rulter

Notary Public in and for said County and State





LONE MOUNTAIN WEST
TRAIL ALIGNMENTS



DEVELOPER

RICHMOND AMERICAN HOMES
7250 WEST PEAR DRIVE, SUITE 212
LAS VEGAS, NV 89120
PHONE: (702) 240-5070

SYNOPSIS

APR: 137-12-301-008 & 137-12-301-014
SOUTHWEST DESERT EQUITIES LLC
3320 N BUFFALO DR. #04
LAS VEGAS, NV 89129

APR 137-12-301-005
FALLING ROCK, LLC

3320 N. BUFFALO DR., SUITE 204
LAS VEGAS, NV 89129

AFM 137-12-303-013

DONALD R. & BETH L. SYLVESTER
3473 MISTY CT.
LAS VEGAS, NV 89120

APR 157-12-301-008
USA
WASHINGTON DC 20260

[illegible]



GPA-0040-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND
AMERICAN HOMES
SOUTH OF GOWAN ROAD, APPROXIMATELY 700 FEET EAST OF CLIFF SHADOWS PARKWAY
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 126

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

MAJOR MODIFICATION TO THE LONE MOUNTAIN WEST MASTER PLAN RELATED TO GPA-0040-02 - PUBLIC HEARING - Z-0024-99(48) - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND AMERICAN HOMES - Request for a Major Modification to the Lone Mountain West Master Plan TO REALIGN A PORTION OF THE MULTI USE TRAIL generally located south of Gowan Road, approximately 700 feet east of Cliff Shadows Parkway (APN: 137-12-301-005, 006, 008 and 013), U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to PD (Planned Development) and U (Undeveloped) Zones [PCD (Planned Community Development) General Plan Designation] [PROPOSED: PD (Planned Development)], Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

BROWN – APPROVED subject to condition – UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY MARK FIORENTINO, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes, appeared on behalf of the applicant. He accepted all proposed conditions for the applications.



Agenda Item No. 126

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 126 – Z-0024-99(48)

MINUTES – Continued:

TODD FARLOW, 240 North 19th Street, confirmed with MARGO WHEELER, Manager, Planning & Development, that the map adopted at this meeting reflected that the trail had been removed. He expressed concern with the design which is not consistent with standard cluster homes. ATTORNEY FIORENTINO clarified that the cluster home portion was a separate site plan. The separate site plan was eventually approved by the Planning Commission after some revisions and will be heard at a public hearing by the City Council in a few weeks.

No one appeared in opposition.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 125 [GPA-0040-02], Item 126 [Z-0024-99(48)] and Item 127 [Z-0073-02] was held under Item 125 [GPA-0040-02].

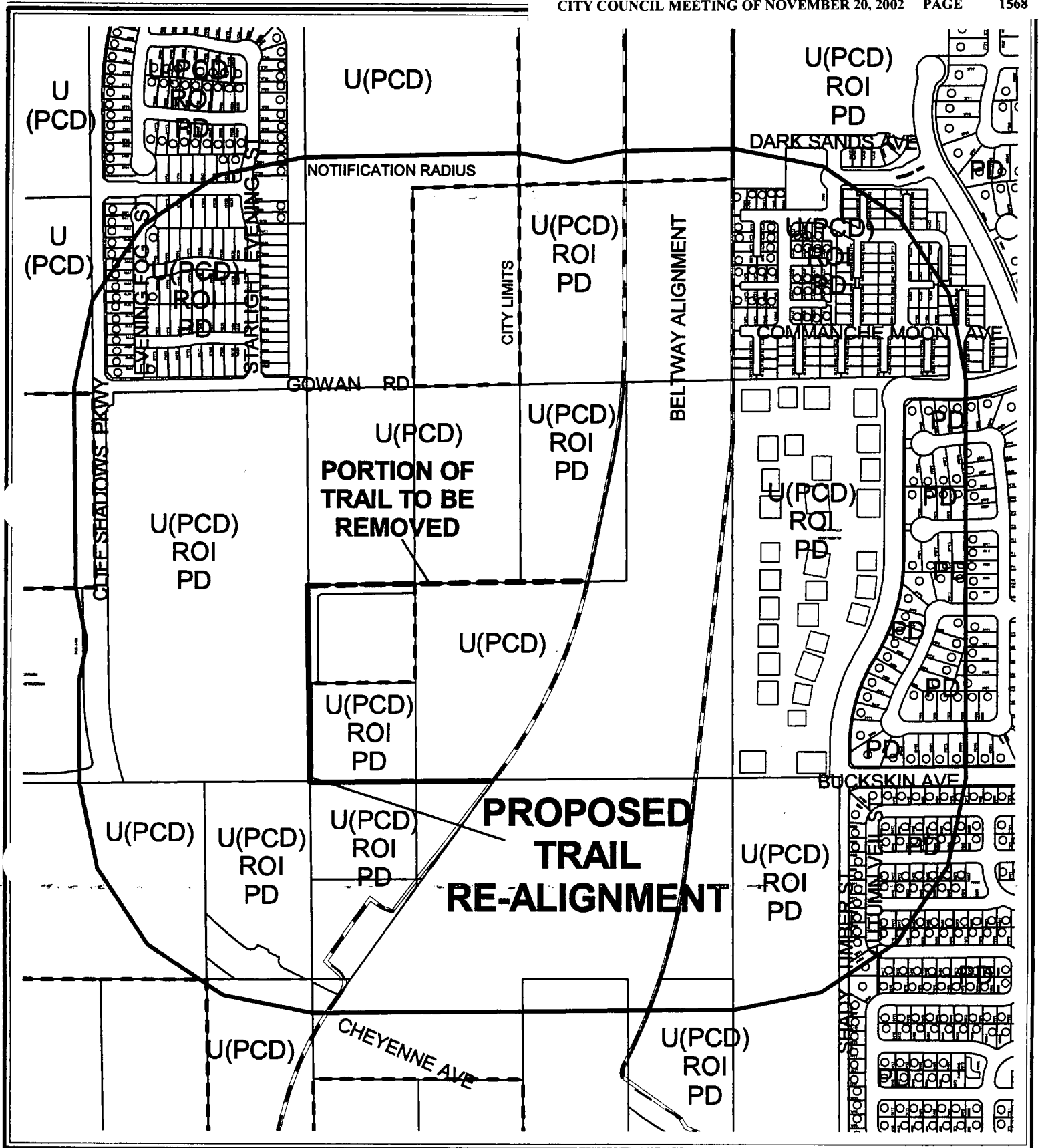
(3:42 – 3:47)

4-2661

CONDITIONS:

Planning and Development

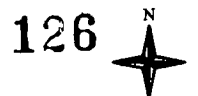
1. Figure # 7 of the Lone Mountain West Master Plan shall be amended to reflect the following changes:
 - Eliminate the trail alignment that runs between Novat Street and the Beltway that is approximately 660 feet south of Gowan Road.
 - Extend the trail alignment along the east side of Novat Street southerly approximately 660 feet to the Buckskin Avenue Alignment.
 - Add the trail alignment adjacent to the Buckskin Avenue Alignment from Novat Street to the Beltway.



CASE: Z-0024-99(48)

RADIUS: 750 FT

0 300 600 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0024-99(48) - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND AMERICAN HOMES

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. ***Figure # 7 of the Lone Mountain West Master Plan shall be amended to reflect the following changes:***
 - Eliminate the trail alignment that runs between Novat Street and the Beltway that is approximately 660 feet south of Gowan Road.
 - Extend the trail alignment along the east side of Novat Street southerly approximately 660 feet to the Buckskin Avenue Alignment.
 - Add the trail alignment adjacent to the Buckskin Avenue Alignment from Novat Street to the Beltway.

Z-0024-99(48) - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for approval of a Major Modification to the Lone Mountain West Master Plan to realign a portion of a multi use trail generally located south of Gowan Road, approximately 700 feet east of Cliff Shadows Parkway. The applicant's justification letter states that the realignment of the trail will allow them to develop the adjacent property as one consolidated residential development.

BACKGROUND DATA

- 05/01/02 The City Council approved a Major Modification to the Lone Mountain West Master Plan to ML (Medium-Low Density Residential) on this site. The Planning Commission recommended Approval.
- 10/24/02 The Planning Commission recommended approval of a General Plan Amendment (GPA-0040-02) to change the alignment of a proposed trail; a Rezoning (Z-0073-02) to PD (Planned Development) Zoning; and a Site Development Plan Review [Z-0073-02(1)] for a proposed 261-lot single-family development on this site.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #43).

DETAILS OF APPLICATION REQUEST

The applicant is proposing to amend the Lone Mountain West Master Plan by eliminating a portion of the trail alignment that runs between Novat Street and the beltway that is approximately 660 feet south of Gowan Road. The applicant is proposing to extend the trail located on the east side of Novat Street southerly another 660 feet the Buckskin Avenue alignment. The trail will then run easterly along the Buckskin Avenue alignment to the beltway.

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Unincorporated Clark County	Undeveloped
	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation	Undeveloped
South	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation under ROI to PD (Planned Development)	Undeveloped
East	Unincorporated Clark County	Beltway Alignment
West	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation under ROI to PD (Planned Development)	Undeveloped

Z-0024-99(48) - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

The applicant's justification for the elimination of the trail alignment is appropriate in that the trail will still serve the intended purpose of connecting the beltway to the power line trail that runs along the Novat Street alignment. The realignment will actually increase the overall length of the trail and facilitate the development of the adjacent parcels.

NOTICES MAILED 170 by Planning Department

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0024-99(48) APN: 137-12-301-013

Name of Property Owner: DONALD R. & BETH L. SYLVESTER

Name of Applicant: RICHMOND AMERICAN HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

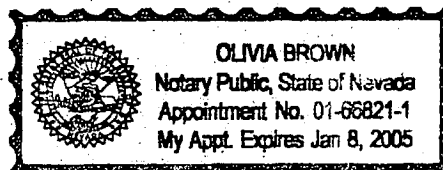
Signature of Property Owner/Authorized Agent:

Print Name:

Subscribed and sworn before me

This 12th day of September, 2002

Olivia Brown
Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: 7-0024-99(48) APN: 137-12-301-005

Name of Property Owner: FALLING ROCK, LLC

Name of Applicant: RICHMOND AMERICAN HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

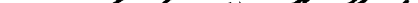
 Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

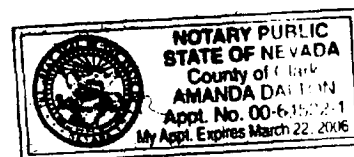
Signature of Property Owner/Authorized Agent: 

Print Name: _____

Subscribed and sworn before me

This 10th day of September, 2022

This 10th day of September, 2022
Shanda Patten
 Notary Public in and for said County and State





STATEMENT OF FINANCIAL INTEREST

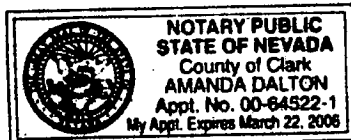
Name of Applicant: RICHMOND AMERICAN HOMES

 No

APN: _____

Print Name:

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **Z-0024-99(48)** APN: **137-12-301-013**

Name of Property Owner: DONALD R. & BETH L. SYLVESTER

Name of Applicant: RICHMOND AMERICAN HOMES

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

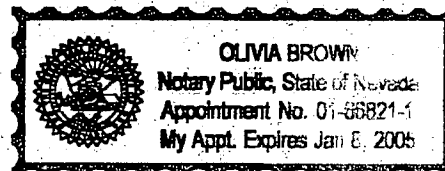
Signature of Property Owner/Authorized Agent

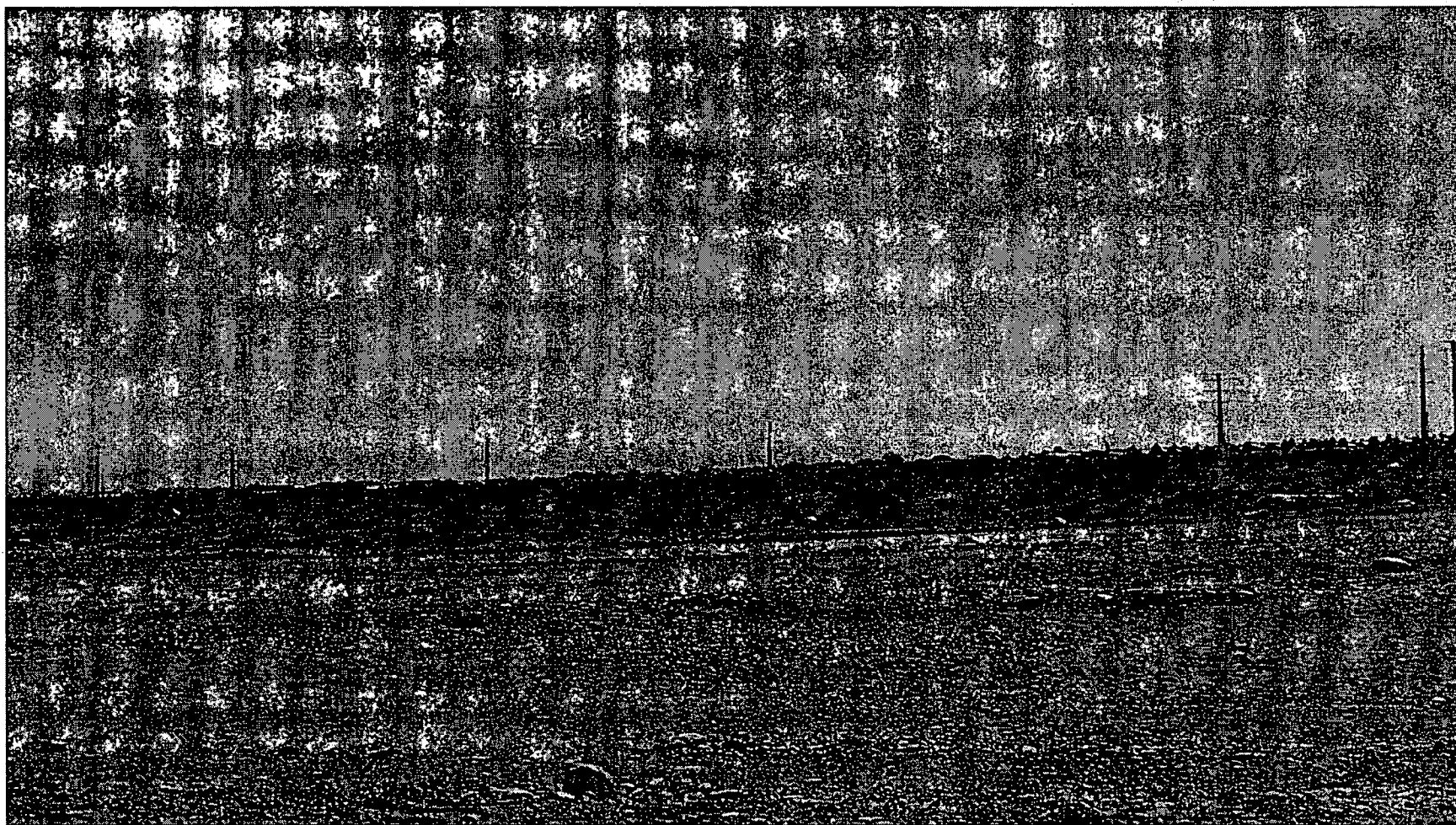
Print Name:

Subscribed and sworn before me

This 12th day of September, 2002

Olivia Brown
Notary Public in and for said County and State





Z-0024-99(48) - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND
AMERICAN HOMES
SOUTH OF GOWAN ROAD, APPROXIMATELY 700 FEET EAST OF CLIFF SHADOWS PARKWAY
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 127

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

REZONING RELATED TO GPA 0040-02 AND Z-0024-99(48) - PUBLIC HEARING - Z-0073-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF SOUTHWEST DESERT EQUITIES, LIMITED LIABILITY COMPANY - Request for a Rezoning FROM: U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to PD (Planned Development) and U (Undeveloped) Zone [PCD (Planned Community Development) General Plan Designation] TO: PD (Planned Development) of approximately 21.5 acres adjacent to the south side of Gowan Road, approximately 700 feet east of Cliff Shadows Parkway (APN: 137-12-301-005, 006, 013, 014, and a portion of 008), PROPOSED USE: SINGLE-FAMILY RESIDENTIAL DEVELOPMENT, Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

BROWN – APPROVED subject to conditions – UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY MARK FIORENTINO, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes, appeared on behalf of the applicant. He accepted all proposed conditions for the applications.

City of Las Vegas

Agenda Item No. 127

CITY COUNCIL MEETING OF NOVEMBER 20, 2002

Planning & Development Department

Item 127 – Z-0073-02

MINUTES – Continued:

TODD FARLOW, 240 North 19th Street, confirmed with MARGO WHEELER, Manager, Planning & Development, that the map adopted at this meeting reflected that the trail had been removed. He expressed concern with the design which is not consistent with standard cluster homes. ATTORNEY FIORENTINO clarified that the cluster home portion was a separate site plan. The separate site plan was eventually approved by the Planning Commission after some revisions and will be heard at a public hearing by the City Council in a few weeks.

No one appeared in opposition.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 125 [GPA-0040-02], Item 126 [Z-0024-99(48)] and Item 127 [Z-0073-02] was held under Item 125 [GPA-0040-02].

(3:42 – 3:47)

4-2661

CONDITIONS:

Planning and Development

1. A Resolution of Intent with a two-year time limit.
2. A Site Development Plan Review application approved by the Planning Commission or City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Submit a Petition of Vacation for the right-of-way adjacent to the north and west portion of Assessor Parcel Number APN #137-12-301-013, with the exception of the west 7.7 feet (approximately) along Novat Street (Siegfried and Roy Parkway) for a total anticipated full street width of 80 feet. Also, submit a Petition of Vacation to vacate the BLM Right-of-Way Grants for Roadway and Landscaping purposes along Delhi Road and Novat Street. Such Vacation Applications shall record prior to the recordation of a Final Map overlying the areas to be vacated.

*City of Las Vegas***Agenda Item No. 127****CITY COUNCIL MEETING OF NOVEMBER 20, 2002****Planning & Development Department****Item 127 – Z-0073-02****CONDITIONS – Continued:**

4. Provide proof of ownership for that portion of APN 137-12-301-008 prior to the recordation of a Final Map for this site. Coordinate with the City Surveyor to determine the appropriate method to subdivide the proposed development from the Beltway portion of the parcel; comply with the recommendations of the City Surveyor prior to the recordation of a Final Map for this site.
5. Dedicate 30 feet of right-of-way adjacent to this site for Gowan Road and appropriate right-of-way (approximately 7.7 feet) for a total street width of 80 feet for those portions of Novat Street not previously dedicated. Dedicate the appropriate right-of-way for a total radius of 25 feet on the southeast corner of Gowan Road and Novat Street.
6. Construct half-street improvements including appropriate overpaving, if legally able on Gowan Road and Novat Street, including any required improvements to protect the existing power poles located within the Novat Street alignment, adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site.
7. Provide a public sewer stub at the southeast corner of this site for the proposed adjacent commercial site at a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works.
8. An update to the previously approved Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

*City of Las Vegas***Agenda Item No. 127**

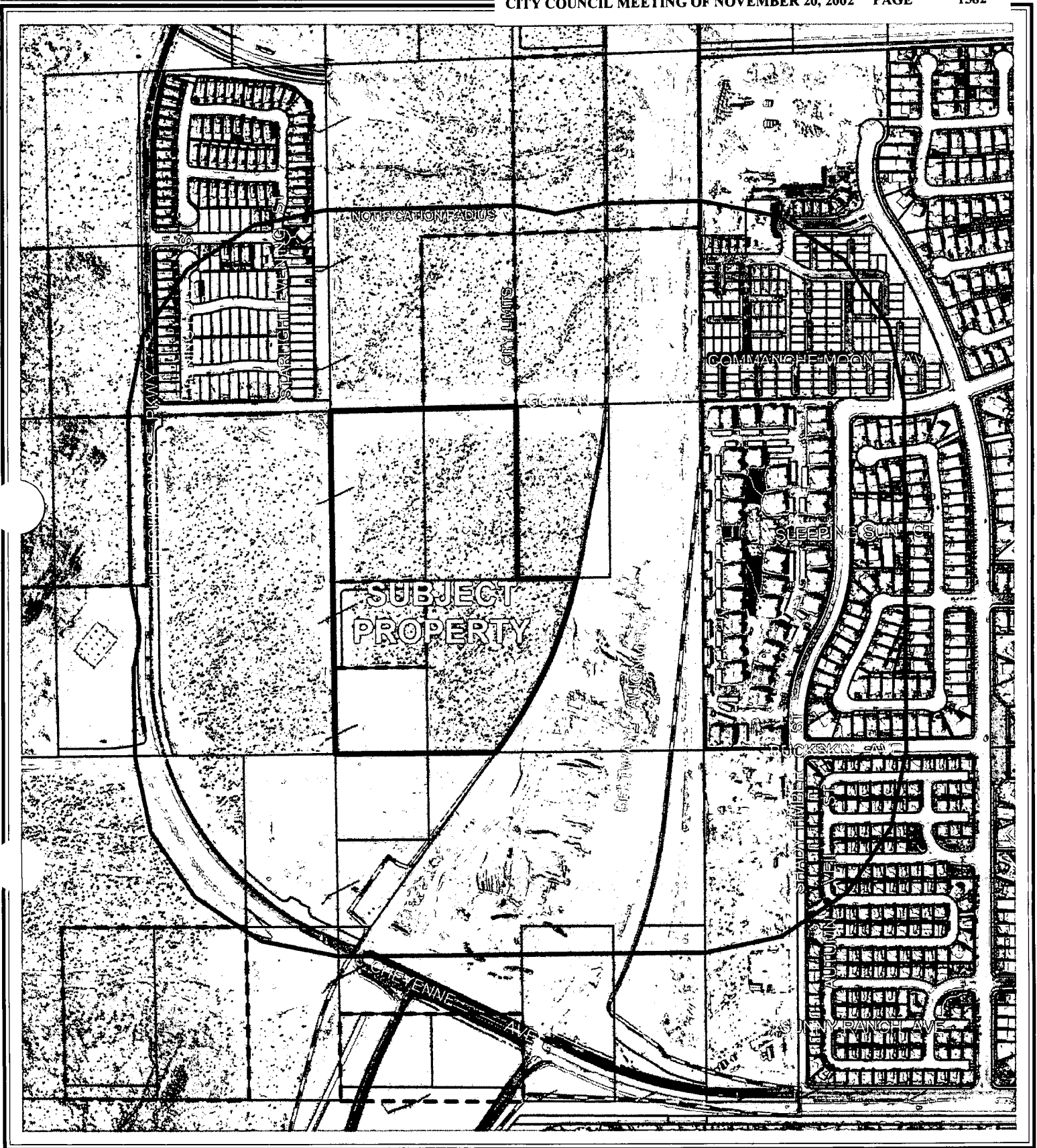
CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 127 – Z-0073-02

CONDITIONS – Continued:

9. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the recordation of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
10. Site development to comply with all applicable conditions of approval for the Lone Mountain West Master Plan, Z-0024-99 and all other subsequent site-related actions.



0 300 600 Feet



CASE: Z-0073-02

RADIUS: 750 FT

0 300 600 Feet



ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [PCD (PLANNED COMMUNITY DEVELOPMENT) GENERAL PLAN DESIGNATION] UNDER RESOLUTION OF INTENT TO PD (PLANNED DEVELOPMENT AND U (UNDEVELOPED) [PCD (PLANNED COMMUNITY DEVELOPMENT) GENERAL PLAN DESIGNATION]

PROPOSED ZONING OF SUBJECT PROPERTY: PD (PLANNED DEVELOPMENT)



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0073-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND AMERICAN HOMES

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A Resolution of Intent with a two-year time limit.
2. A Site Development Plan Review application approved by the Planning Commission or City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

3. Submit a Petition of Vacation for the right-of-way adjacent to the north and west portion of Assessor Parcel Number APN #137-12-301-013, with the exception of the west 7.7 feet (approximately) along Novat Street (Siegfried and Roy Parkway) for a total anticipated full street width of 80 feet. Also, submit a Petition of Vacation to vacate the BLM Right-of-Way Grants for Roadway and Landscaping purposes along Delhi Road and Novat Street. Such Vacation Applications shall record prior to the recordation of a Final Map overlying the areas to be vacated.
4. Provide proof of ownership for that portion of APN 137-12-301-008 prior to the recordation of a Final Map for this site. Coordinate with the City Surveyor to determine the appropriate method to subdivide the proposed development from the Beltway portion of the parcel; comply with the recommendations of the City Surveyor prior to the recordation of a Final Map for this site.
5. Dedicate 30 feet of right-of-way adjacent to this site for Gowan Road and appropriate right-of-way (approximately 7.7 feet) for a total street width of 80 feet for those portions of Novat Street not previously dedicated. Dedicate the appropriate right-of-way for a total radius of 25 feet on the southeast corner of Gowan Road and Novat Street.
6. Construct half-street improvements including appropriate overpaving, if legally able on Gowan Road and Novat Street, including any required improvements to protect the existing power poles located within the Novat Street alignment, adjacent to this site concurrent with development of this site. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site.

Z-0073-02 - Conditions Page Two
November 20, 2002 City Council Meeting

7. Provide a public sewer stub at the southeast corner of this site for the proposed adjacent commercial site at a location and depth acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works.
8. An update to the previously approved Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
9. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of any construction drawings or the recordation of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
10. Site development to comply with all applicable conditions of approval for the Lone Mountain West Master Plan, Z-0024-99 and all other subsequent site-related actions.

Z-0073-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for approval of a Rezoning from U (Undeveloped) Zone and U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] under Resolution of Intent to PD (Planned Development) and U (Undeveloped) Zone and U (Undeveloped) [PCD (Planned Community Development) General Plan Designation] to PD (Planned Development) adjacent to the south side of Gowan Road approximately 700 feet east of Cliff Shadows Parkway. The applicant's justification letter states that this rezoning is in conformance with the general plan land use and will allow for the development of an upscale cluster development.

BACKGROUND DATA

- 05/01/02 The City Council approved a Major Modification to the Lone Mountain West Master Plan to ML (Medium-Low Density Residential) on this site. The Planning Commission recommended Approval.

- 10/24/02 The Planning Commission recommended approval of a General Plan Amendment (GPA-0040-02) to change the alignment of a proposed trail; a Major Modification to the Lone Mountain West Master Plan [Z-0024-99(48)] to allow the relocation of a trail alignment; and a Site Development Plan Review [Z-0073-02(1)] for a proposed 261-lot single family development on this site.

- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #44).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Unincorporated Clark County	Undeveloped
	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation	Undeveloped
South	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation under ROI to PD (Planned Development)	Undeveloped
East	Unincorporated Clark County	Beltway Alignment
West	U (Undeveloped) PCD (Planned Community Development)	
	General Plan Designation under ROI to PD (Planned Development)	Undeveloped

Z-0073-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

ANALYSIS & FINDINGS

GENERAL PLAN

The Centennial Hills Sector Plan designates this site as PCD (Planned Community Development). The PCD (Planned Community Development) land use category allows for a mix of residential uses. The proposed PD (Planned Development) Zoning is consistent with the PCD (Planned Community Development) general plan land use.

ZONING

The PD (Planned Development) zoning district is intended to permit and encourage comprehensively planned developments. This property is located within the boundaries of the Lone Mountain West Master Plan area. The Lone Mountain West Master Plan designates this site as ML (Medium-Low Density Residential). This land use category allows a maximum density of 12 dwelling units per acre. The proposed cluster development is consistent with the Lone Mountain West Master Plan.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. "The proposal conforms to the General Plan."

The Centennial Hills Sector Plan designates this site as PCD (Planned Community Development). The proposed PD (Planned Development) Zoning is consistent with the PCD (Planned Community Development) general plan land use.

2. "The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts."

This property is located within the boundaries of the Lone Mountain West Master Plan area. The proposed cluster development is consistent with the Lone Mountain West Master Plan and will be compatible with the surrounding land uses.

3. "Growth and development factors in the community indicate the need for or appropriateness of the rezoning."

The proposed rezoning will allow for the development of a residential cluster use at a density that is compatible with the existing residential development to the north and west.

4. "Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."

Z-0073-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

The surrounding street system will have adequate capacity to accommodate traffic generated by this proposed development.

NOTICES MAILED 170 by Planning Department

APPROVALS 0

PROTESTS 0



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: Z-0073-02 APN: 137-12-301-013

Name of Property Owner: Donald R. Sylvester, Beth L. Sylvester

Name of Applicant: Southwest Desert Equities

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

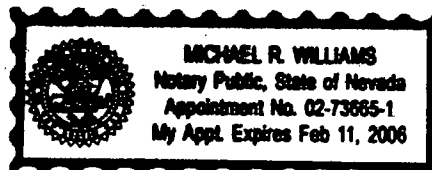
Signature of Property Owner/Authorized Agent: Donald R. Sylvester / Beth L. Sylvester

Subscribed and sworn before me

This 21 day of August, 2002

Michael R. Williams

Notary Public in and for said County and State



STAFF



TYPICAL LOT SETBACK

TABLE 1

EXTENDING ZONING	U	
PROPOSED ZONING	PD	
EXTENDING LAND USE	ML	
PROPOSED LAND USE	ML	
GROSS ACRESAGE	35.17 ACRES ±	
USABLE ACRESAGE	31.85 ACRES ±	
LOT COUNT	247 LOTS	
D.U.A.	11.67 ±	
OPEN SPACE	64,130 SQ.FT. (1.87 ACRES)	
OPEN SPACE REQUIRED	330 SQ.FT. PER LOT	
OPEN SPACE PROVIDED	64,130 SQ.FT. (1.87 ACRES)	

DEVELOPER

RICHMOND AMERICAN HOMES
7250 WEST PEAK DRIVE, SUITE 212
LAS VEGAS, NV 89128
PHONE: (702) 340-0878

OWNERS

APR 13-12-301-008 & 13-12-301-014
FOUNTAIN CREDIT COUNTRIES LLC
3300 N BUFFALO DR
LAS VEGAS, NV 89129

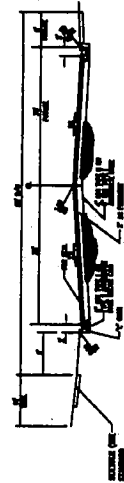
APR 13-12-301-008
PALMBO ROCK, LLC
3300 N BUFFALO DR, SUITE 304
LAS VEGAS, NV 89129

APR 13-12-301-013
DONALD A & STEW L STEINER
3463 86TH CT
LAS VEGAS, NV 89130

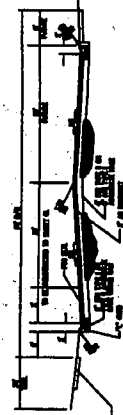
APR 13-12-301-008
USA
BIRMINGHAM, AL 35203



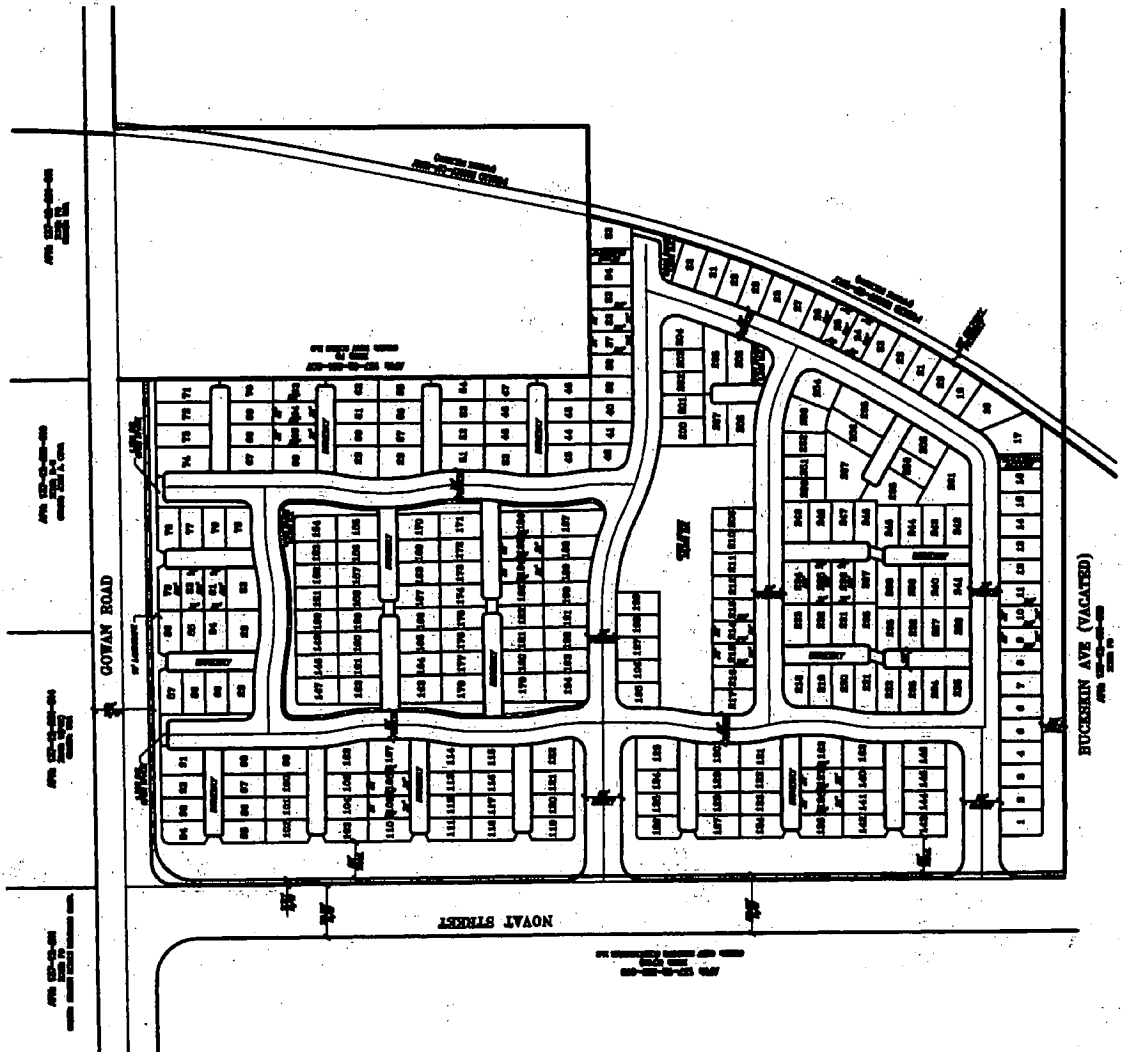
3600 STREET SECTION QNTESORO

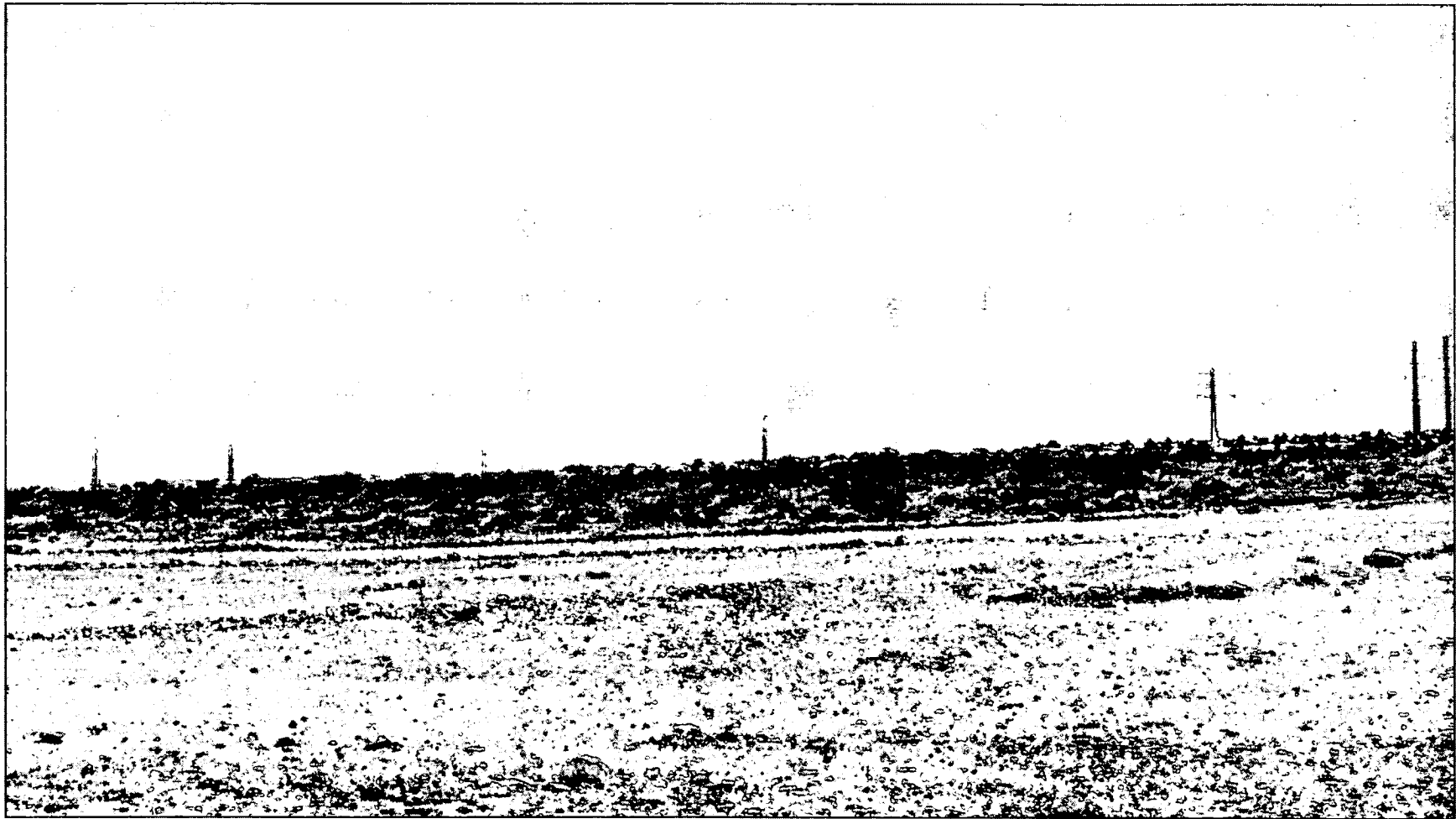


407 HALF STREET SECTION (BOWMAN ROAD)



407 HALL STREET SECTION (NORTH STREET)





Z-0073-02 - FALLING ROCK, LIMITED LIABILITY COMPANY, ET AL ON BEHALF OF RICHMOND
AMERICAN HOMES
SOUTH OF GOWAN ROAD, APPROXIMATELY 700 FEET EAST OF CLIFF SHADOWS PARKWAY
OCTOBER 24, 2002 PLANNING COMMISSION

City of Las Vegas

Agenda Item No. 128

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-0041-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP - Request to amend a portion of the Centennial Hills Sector Plan FROM: DR (Desert Rural Density Residential) TO: R (Rural Density Residential) on 13.5 acres adjacent to the southwest corner of Buffalo Drive and Lone Mountain Road (APN: 138-04-503-002 and 003), [PROPOSED: R-PD3 (Residential Planned Development - 3 Units Per Acre)], Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

2

City Council Meeting

0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

0

City Council Meeting

0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application - Not Applicable
3. Staff Report

MOTION:

BROWN - APPROVED - UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY ROBERT GRONAUER, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of Trophy Homes. The amendment to the General Plan is appropriate due to the proximity of a trailer park, R-PD3 zoning to the east and an existing school to the west. The original rezoning request for an R-PD3 has been amended to R-PD2, reducing the number of lots from 42 to 39 lots and an overall density of 2.49 units per acre. An addition condition should be added to the rezoning application regarding that maximum number of lots. The proposed gated community is appropriate for the area, even though interior open space has been eliminated. The exterior landscaping will be placed along Quadral, Lone Mountain and Buffalo. The largest lot size for these single-story homes is 15,000 square feet and the smallest is no less than 10,000. The anticipated price for the homes will range up to approximately \$400,000.

**Agenda Item No. 128**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 128 – GPA-0041-02

MINUTES – Continued:

With regard to Public Works conditions, he urged that the paving requirement from the southern portion of the property to Red Coach be deleted and that the streetlight requirement be clarified.

TODD FARLOW, 240 North 19th Street, urged that the developer be held to all the proposed conditions, especially given the projected cost of the homes.

JOSEPH HANSEN, 8102 McKenzie Court, indicated that despite the density reduction, high density is a problem. On another application heard by the Council, COUNCILMAN BROWN commented that higher density compromises might be made near major streets. This property is three homes away from Red Coach. This encroachment into the area is a cancer. KB Homes is probably just waiting to see what happens with this density before seeking higher density as well. Developers should be held to lower density. There is a market and developers will still make a profit.

COUNCILMAN BROWN agreed that the borderline properties are going to be the most difficult for development. There is a Durango Special Improvement District that will expand Durango and Lone Mountain and will ultimately be a fully improved urban street from the overpass to the Beltway. From a traffic and arterial standpoint, this intersection will actually be busier than the Durango intersection discussed in the past. There must be flexibility along major corridors. This property is also across the street from approved R-PD3, a middle school and along what will eventually be a very busy corridor. In considering these applications, he looked at the potential to establish a precedent and found that he could support the elimination of interior open space in order to create larger lots. The school to the west provides plenty of open space, as does the nearby expanded Wayne Bunker Park.

COUNCILMAN BROWN stressed that the greatest concern would be with the proposed community itself. This will be a gated, single-story product, which is extremely compatible with existing homes in the area. The square footage and price are also compatible. This product would make for a good compromise. As for the KB Homes application in the future, any decision will be based upon the record and justification. Certainly there are other vacant properties that will coming forward in the next few years. Each will be judged on its own merits but the key is to build consistency into the process. There are other types of products or changes that must be considered, but this product is appropriate.

City of Las Vegas

Agenda Item No. 128

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 128 – GPA-0041-02

MINUTES – Continued:

BART ANDERSON, Public Works, stated that the paving and streetlight conditions referred to by ATTORNEY GRONAUER pertain to Item 129 [Z-0086-02]. COUNCILMAN BROWN commented that the lights on the left side of the street are City standard. The applicant has been asked to put in the streetlight improvements, but not install the lights at this time. MR. ANDERSON confirmed that the standard condition language was used, but lighting is only used on a 60-foot street such as this. If that lighting was installed with the school in the County, no further lighting or lighting improvements would be required on the east side of the street. MR. ANDERSON further explained that the paving requirement is to avoid sawtooth streets. In this situation, it is moot because the Buffalo Special Improvement District is scheduled to begin in March. A second consideration is that the portion of road under discussion is in the County and they may not accept temporary paving standards as being proposed. Based on those comments, COUNCILMAN BROWN agreed to the deletion of the streetlighting and the elimination of paving beyond their property to Red Coach. MR. ANDERSON clarified that the amendments will include the elimination of the second and third sentences of Condition #4 Item 129 [Z-0086-02].

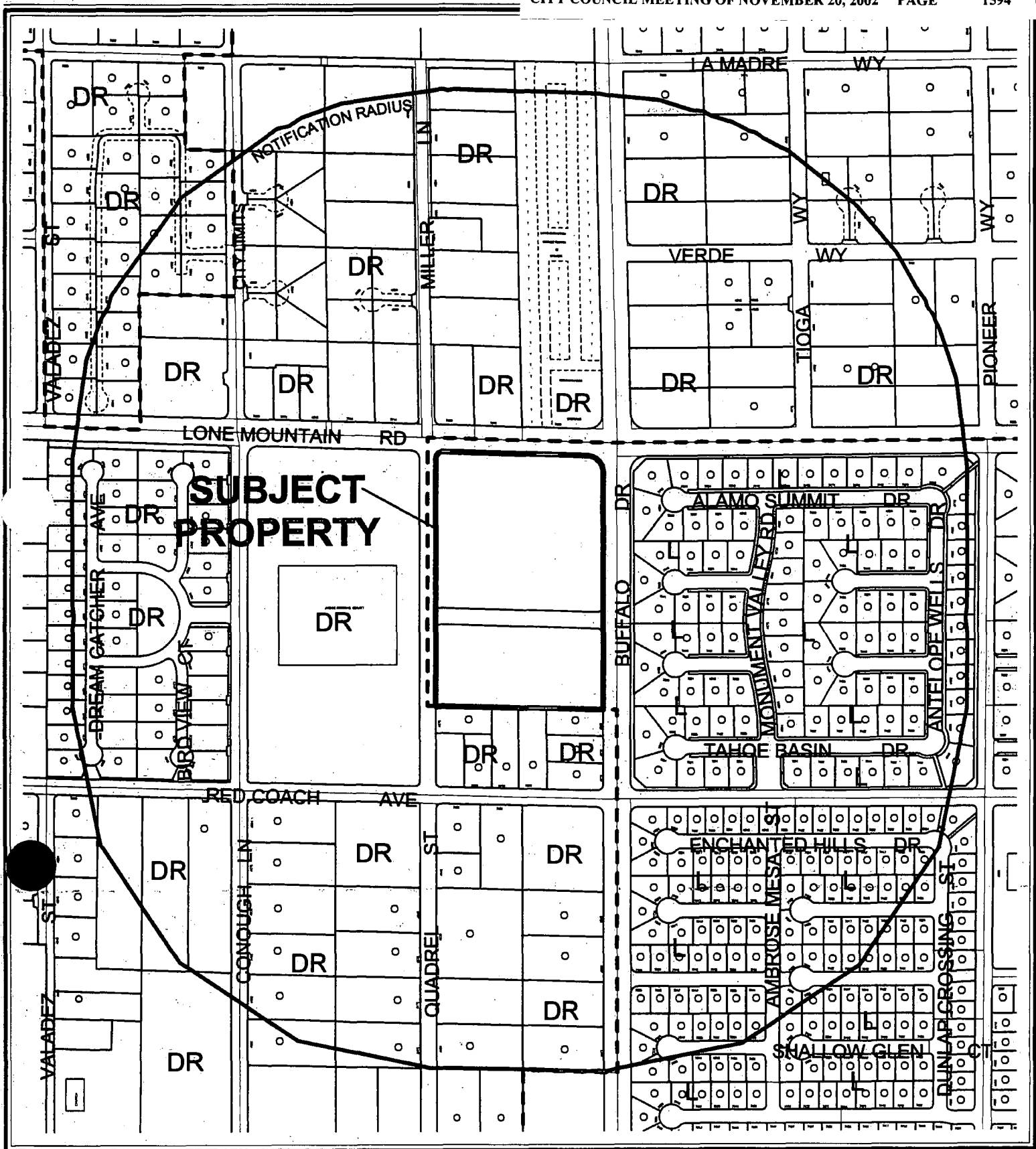
There was no further discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 128 [GPA-0041-02], Item 129 [Z-0086-02], Item 130 [VAC-0075-02] and Item 131 [Z-0086-02(1)] was held under Item 128 [GPA-0041-02].

(3:47 – 4:04)

4-3103



CASE: GPA-0041-02

RADIUS: 1320 FT

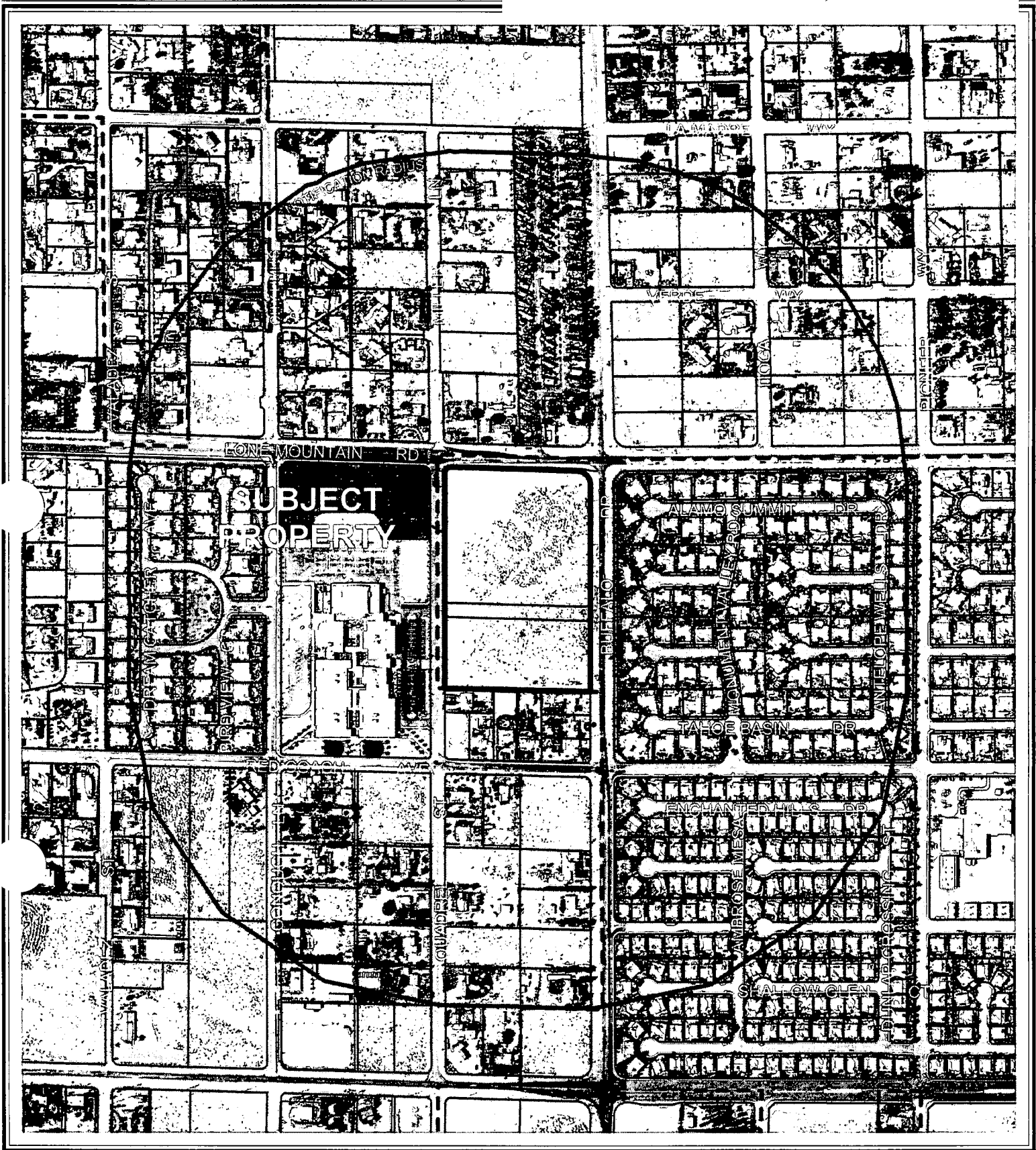
GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: DR (DESERT RURAL DENSITY RESIDENTIAL)

PROPOSED TO: R (RURAL DENSITY RESIDENTIAL - TOWN CENTER) PROPOSED: R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT - 3 UNITS PER ACRE)

0 400 800 Feet

128





CASE: GPA-0041-02

RADIUS: 1320 FT

GENERAL PLAN DESIGNATION OF SUBJECT PROPERTY: DR (DESERT RURAL DENSITY RESIDENTIAL)

PROPOSED TO: R (RURAL DENSITY RESIDENTIAL - TOWN CENTER) PROPOSED: R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT - 3 UNITS PER ACRE)



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: GPA-0041-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL.

CLARK COUNTY RECOMMENDATION: To be considered at the November 6, 2002
Clark County Commission meeting.

GPA-0041-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This application seeks to change the General Plan land use designation of the subject property located at the southwest corner of Lone Mountain Road and Buffalo Drive from DR (Desert Rural Density Residential) to R (Rural Density Residential). The applicant also seeks a rezoning (Z-0086-02) from U (Undeveloped) [DR (Desert Rural Density Residential) General Plan Designation) to R-PD3 (Residential Planned Development - 3 Units Per Acre) and a related Site Development Plan Review for a 42 lot single-family residential subdivision.

BACKGROUND DATA:

- 08/07/85 The City Council approved the Community Profiles of the city of Las Vegas General Plan by Resolution. On this plan, the subject properties were designated for Rural Density Residential land uses with a maximum density of three dwelling units per acre.
- 03/12/92 The Planning Commission approved the three Land Use Sector Maps of the General Plan.
- 05/24/99 The City Council approved the Centennial Hills Sector Map (GPA-01-99) of the city of Las Vegas General Plan, which replaced the Northwest Sector Map. On this map, the subject properties were designated for R (Rural Density Residential) land uses, with a maximum density of three dwelling units per acre).
- 09/06/00 The City Council approved the Las Vegas 2020 Master Plan. This site is within the Newly Developing Area as described in the Plan.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #46).

DETAILS OF APPLICATION REQUEST

Site Area: 13.5 Acres

EXISTING LAND USE

Subject Property	Undeveloped
North	Single Family Dwellings, Mobile Home Park
South	Single Family Dwellings

GPA-0041-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

East Single Family Dwellings
West Middle School

PLANNED LAND USE

Subject Property DR (Desert Rural Density Residential)
North DR (Desert Rural Density Residential)
South DR (Desert Rural Density Residential)
East L (Low Density Residential)
West DR (Desert Rural Density Residential)

EXISTING ZONING

Subject Property U (Undeveloped) [DR (Desert Rural Density Residential) General Plan
Designation)
North Clark County
South Clark County
East R-PD3 (Residential Planned Development, 3 units per acre)
West Clark County

INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA:

YES

SPECIAL PLAN AREA:

NO

RURAL PRESERVATION NEIGHBORHOOD:

YES

RURAL PRESERVATION NEIGHBORHOOD BUFFER:

YES

PROJECT OF REGIONAL SIGNIFICANCE:

NO

DEFINITIONS

DR (Desert Rural Density Residential) (0 to 2.0 dwelling units/gross acre). The Desert Rural Density Residential Category allows a maximum of 2 dwelling units per gross acre.

GPA-0041-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

The predominant residential lifestyle is single-family homes on large lots, many including equestrian facilities. This is generally a rural environment that permits greater privacy and some non-commercial raising of domestic animals.

R (Rural Density Residential) (2.1 to 3.5 dwelling units/gross acre). The Rural Density Residential category allows a maximum of 3.5 dwelling units per gross acre. This is a rural or semi-rural environment with a life-style much like that of the Desert Rural, but with a smaller allowable lot size.

INTERAGENCY ISSUES

CITY OF LAS VEGAS/ CLARK COUNTY NORTHWEST INTERLOCAL AGREEMENT JOINT LAND USE PLANNING AREA

The subject site is located within the City's Centennial Hills Sector Plan area. Effective January 2, 2002, the entirety of the Centennial Hills Sector is subject to the provisions of an Interlocal Agreement between Clark County and the city of Las Vegas. The Centennial Hills Sector is referred to in the Interlocal Agreement as the "Joint Land Use Planning Area". Under the terms of the Agreement and subsequent procedures agreed upon by the City and the County, the City will forward any application for a General Plan Amendment within the "Excepted Areas" of the Joint Land Use Planning Area to the County for consideration by the Board of County Commissioners. Approval of both entities is required. This application was routed to Clark County Comprehensive and Current Planning Divisions for comment. Clark County staff has indicated they have no comment regarding this request. The item will be considered at the November 6, 2002 Clark County Commission meeting.

RURAL PRESERVATION NEIGHBORHOOD BUFFER

The south portion of the site is within an area identified as a buffer for a Rural Preservation Neighborhood. Chapter 278 of the Nevada Revised Statutes stipulates the identification of a 330-foot transitional buffer around Rural Preservation Neighborhoods. Within these buffer areas, residential development density is limited to three dwelling units per acre, unless good cause is shown. The applicant's justification letter indicates that the density of this project will not exceed three units per acre within the area affected by the Rural Preservation Neighborhood Buffer.

PROJECTS OF REGIONAL SIGNIFICANCE IMPACT REPORT

The Southern Nevada Regional Policy Plan, approved February 22, 2001, set out a requirement for local entities to establish a means of identifying Projects of Regional Significance (PRS), and of addressing the impacts of these projects. The city of Las Vegas, through Ordinance No. 5477,

GPA-0041-02 - Staff Report Page Four
November 20, 2002 City Council Meeting

has established such a process. Pursuant to this Ordinance, staff has determined that this proposed General Plan Amendment and its companion items would not meet the definition of a Project of Regional Significance as defined in the ordinance.

ANALYSIS

The application site is located at the southwest corner of Buffalo Drive, and Lone Mountain Road, both of which are designated as 100 foot Primary Arterials by the Master Plan of Streets and Highways.

Because the site is located between an existing development of a similar density and a school, staff finds the R (Rural Density Residential) General Plan designation requested by the applicant to be appropriate.

FINDINGS

Section 19.18.030.I of the Las Vegas Zoning Code requires that the following conditions be met in order to justify a General Plan Amendment:

1. The density and intensity of the proposed General Plan Amendment is compatible with the existing adjacent land use designations;
2. The zoning designations allowed by the proposed amendment will be compatible with the existing adjacent land uses or zoning districts;
3. There are adequate transportation, recreation, utility, and other facilities to accommodate the uses and densities permitted by the proposed General Plan Amendment; and
4. The proposed amendment conforms to other applicable adopted plans and policies which include approved neighborhood plans.

In regard to "1", the proposed R (Rural Density Residential) General Plan designation, with a density of three dwelling units per acre, would be compatible with the existing development immediately to the east.

In regard to "2", the proposed zoning of R-PD3 (Residential Planned Development – 3 Units Per Acre) would permit a density of development with a maximum of 3.49 dwelling units per acre. This is compatible with the existing R-PD3 (Residential Planned Development – 3 Units Per Acre) zoning immediately to the east.

GPA-0041-02 - Staff Report Page Five
November 20, 2002 City Council Meeting

In regard to "3", as the proposal incorporates the use of infill parcels, there are adequate transportation, recreation, utility, and other facilities to accommodate the proposed uses.

In regard to "4, because the applicants justification letter and submitted development plan indicate that the density of this project will not exceed three units per acre within the area affected by the Rural Preservation Neighborhood Buffer, staff finds this request will be in compliance with Nevada Revised Statutes.

GENERAL PLAN AMENDMENT NEIGHBORHOOD MEETING

Per policy set forth in the city of Las Vegas application packet, a neighborhood meeting shall be held with the surrounding property owners. The applicant is requested to hold this meeting within 14 days of the closing date of this application. In accordance with the above, on October 2, 2002 a neighborhood meeting sponsored by the applicant was held at the Leavitt Middle School, 4701 Quadrill Street. Twenty-two people attended, with most seeming to be in favor or not opposing this request. However, one person expressed the opinion that Buffalo Drive was intended to serve as a boundary with no development over two units to the acre occurring west of that street.

NOTICES MAILED 351 by Planning Department

APPROVALS 0

PROTESTS 2

STATEMENT OF FINANCIAL INTEREST

Case Number: GPA-0041-02 APN: 138-04-503-002 & 003

Name of Property Owner: Lone Mountain Buffalo Partnership

Name of Applicant: Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes _____ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

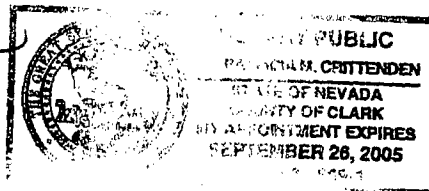
Signature of Property Owner/Authorized Agent: _____

Print Name: Albert D. Massi

Subscribed and sworn before me

This 21 day of August, 2002

Notary Public in and for said County and State



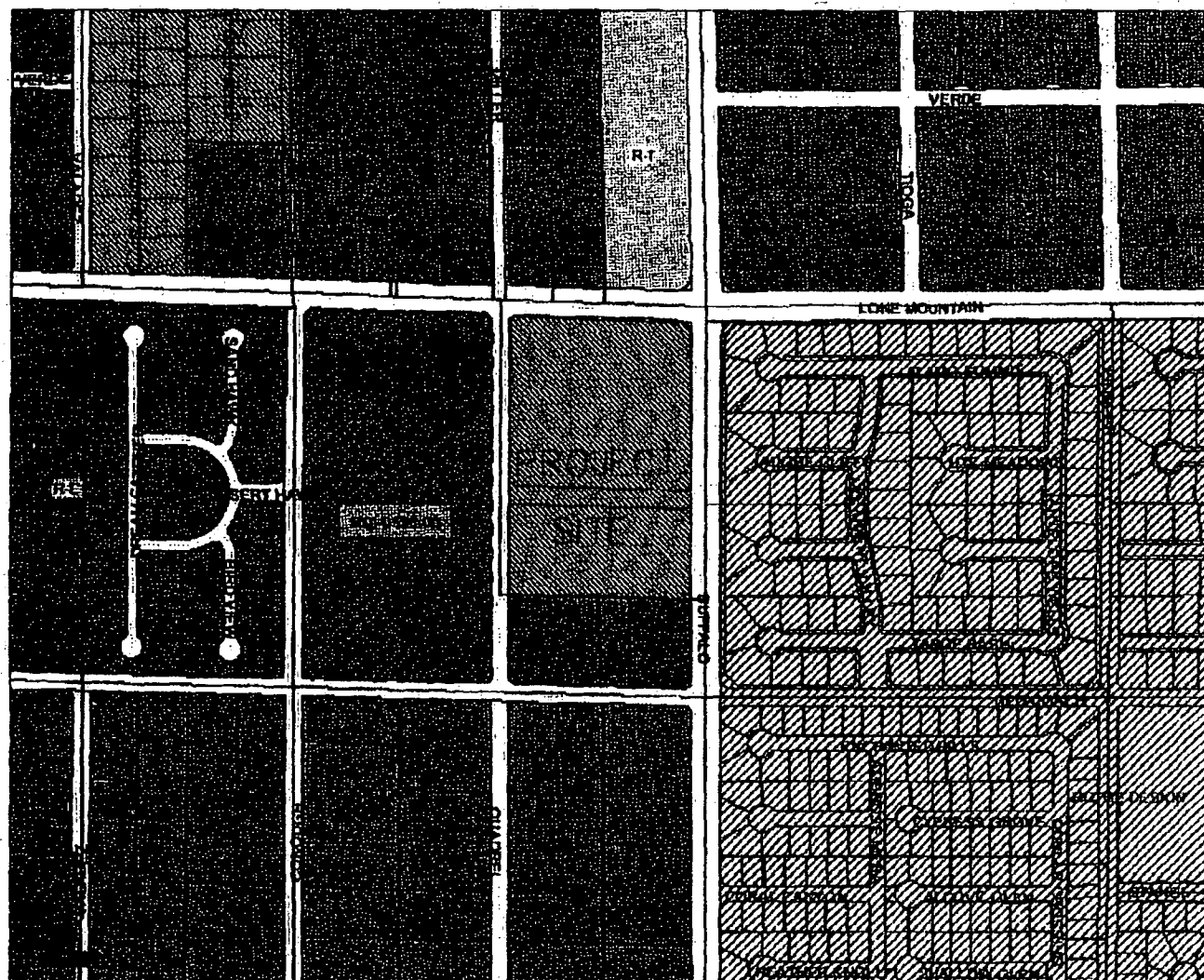
LOCATION MAP LONE MOUNTAIN & BUFFALO GPA EXHIBIT

ZONING LEGEND

-  CLARK COUNTY DESERT RURAL
-  COLV LOW DENSITY
-  CLARK COUNTY PARK/SCHOOL
-  COLV DESERT RURAL



TANEY ENGINEERING
4445 S. JONES BLVD. SUITE #1
LAS VEGAS, NV 89103
(702) 362-8844 FAX: (702) 362-5233



STAFF

GPA-0041-02
10-24-02 PC



GPA-0041-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP
SOUTHWEST CORNER OF BUFFALO DRIVE AND LONE MOUNTAIN ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

City of Las Vegas

Agenda Item No. 129

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT

CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: ROBERT S. GENZER

☐

CONSENT

☒

DISCUSSION

SUBJECT:

REZONING RELATED TO GPA-0041-02 - PUBLIC HEARING - Z-0086-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP - Request for a Rezoning FROM: U (Undeveloped) [DR (Desert Rural Density Residential) General Plan Designation]] [PROPOSED R (Rural Density Residential)] TO: R-PD3 (Residential Planned Development - 3 Units Per Acre) on 13.5 acres adjacent to the southwest corner of Buffalo Drive and Lone Mountain Road (APN: 138-04-503-002 and 003), PROPOSED USE: SINGLE FAMILY RESIDENTIAL DEVELOPMENT, Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

2
0

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.
City Council Meeting

0
0

RECOMMENDATION:

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted after final agenda – Revised site map

MOTION:

BROWN – APPROVED subject to conditions, changing the zoning to R-PD2 (Residential Development – 2 Units Per Acre) for 39 lots and amending Condition #4 to delete the second and third sentence and read:

4. Construct half-street improvements on Quadrel Street adjacent to this site concurrent with development of this site and construct half-street improvements including appropriate overpaving, if legally able, on Buffalo Drive and Lone Mountain Road adjacent to this site concurrent with development of this site. Alternatively, monies in lieu of such streetlights may be contributed to the City if allowed by the Department of Public Works.

– UNANIMOUS with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

*City of Las Vegas***Agenda Item No. 129**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 129 – Z-0086-02

MINUTES – Continued:

ATTORNEY ROBERT GRONAUER, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of Trophy Homes.

TODD FARLOW, 240 North 19th Street, and JOSEPH HANSEN, 8102 McKenzie, were present.

BART ANDERSON, Public Works, clarified the amendments to Condition #4 Item 129 [Z-0086-02] discussed by ATTORNEY GRONAUER and supported by COUNCILMAN BROWN.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 128 [GPA-0041-02], Item 129 [Z-0086-02], Item 130 [VAC-0075-02] and Item 131 [Z-0086-02(1)] was held under Item 128 [GPA-0041-02].

(3:47 – 4:04)

4-3103

CONDITIONS:

Planning and Development

1. A General Plan Amendment (GPA-0041-02) to R (Rural Density Residential) land use designation approved by the City Council.
2. A Resolution of Intent with a two-year time limit.
3. A Site Development Plan Review application approved by the Planning Commission or City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Construct half-street improvements on Quadrel Street adjacent to this site concurrent with development of this site and construct half-street improvements including appropriate overpaving, if legally able, on Buffalo Drive and Lone Mountain Road adjacent to this site concurrent with development of this site. Also, extend a minimum of two lanes of paving on the west side of Buffalo Drive from the south edge of this site southward to Red Coach Avenue concurrent with development of this site. The exterior streetlights on Quadrel Street will be stubbed out for future use, but the installation of the streetlights shall be deferred provided that the developer provide to the City such streetlights for future installation. Alternatively, monies in lieu of such streetlights may be contributed to the City if allowed by the Department of Public Works.

**Agenda Item No. 129**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 129 – Z-0086-02

CONDITIONS – Continued:

5. Coordinate with the Collection Systems Planning Section of the Department of Public Works to determine appropriate alignments to extend public sewer to the south edge of this site in Buffalo Drive at a size, depth, and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

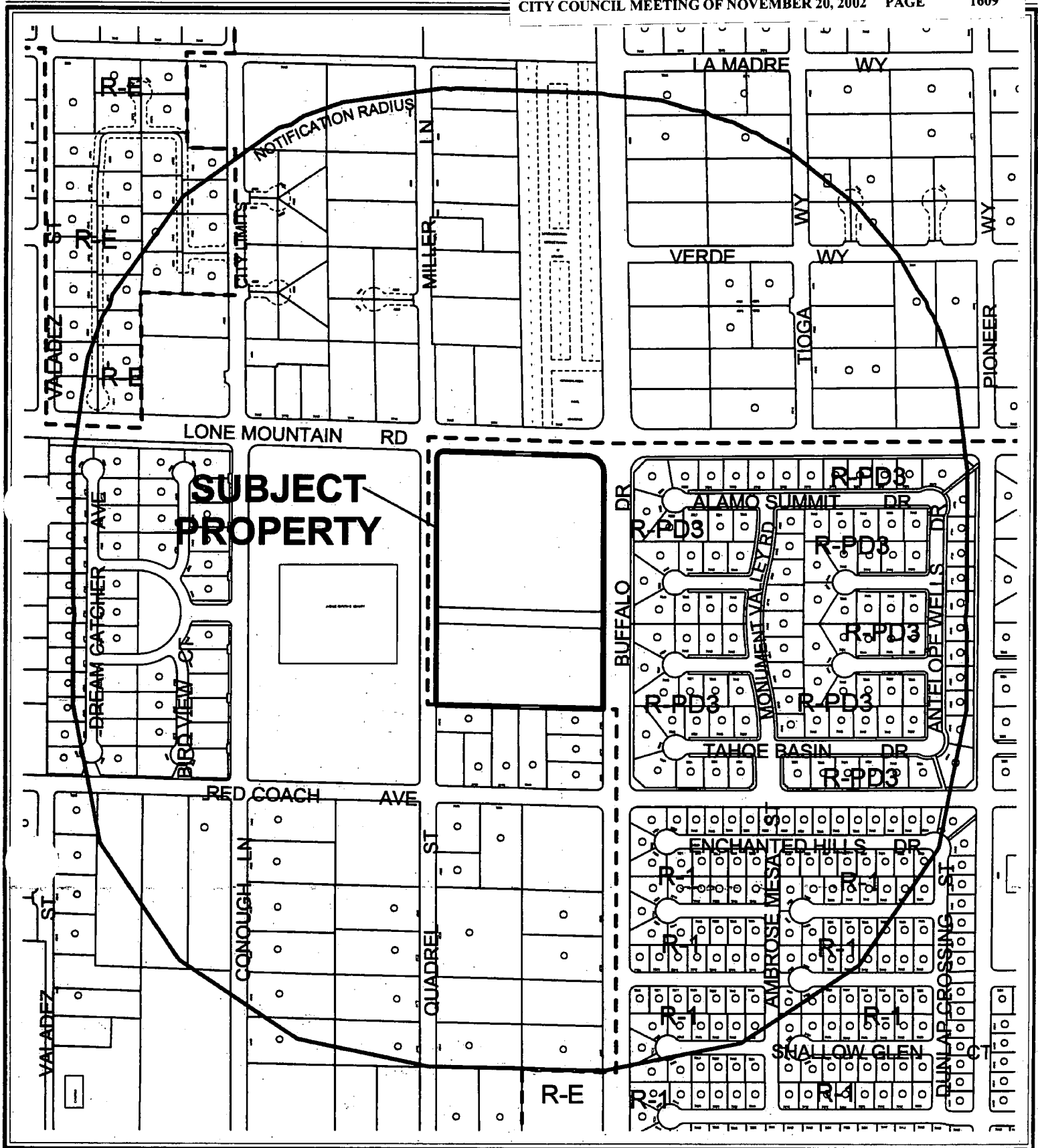
Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

**Agenda Item No. 129**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 129 – Z-0086-02

CONDITIONS – Continued:

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.



CASE: Z-0086-02

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION] 129

PROPOSED ZONING OF SUBJECT PROPERTY: R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT - 3 UNITS PER ACRE)

0 400 800 Feet



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: Z-0086-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP**

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A General Plan Amendment (GPA-0041-02) to R (Rural Density Residential) land use designation approved by the City Council.
2. A Resolution of Intent with a two-year time limit.
3. A Site Development Plan Review application approved by the Planning Commission or City Council prior to issuance of any permits, any site grading, and all development activity for the site.

Public Works

4. Construct half-street improvements on Quadrel Street adjacent to this site concurrent with development of this site and construct half-street improvements including appropriate overpaving, if legally able, on Buffalo Drive and Lone Mountain Road adjacent to this site concurrent with development of this site. Also, extend a minimum of two lanes of paving on the west side of Buffalo Drive from the south edge of this site southward to Red Coach Avenue concurrent with development of this site. The exterior streetlights on Quadrel Street will be stubbed out for future use, but the installation of the streetlights shall be deferred provided that the developer provide to the City such streetlights for future installation. Alternatively, monies in lieu of such streetlights may be contributed to the City if allowed by the Department of Public Works.
5. Coordinate with the Collection Systems Planning Section of the Department of Public Works to determine appropriate alignments to extend public sewer to the south edge of this site in Buffalo Drive at a size, depth, and location acceptable to the City Engineer. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

Z-0086-02 - Conditions Page Two
November 20, 2002 City Council Meeting

6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits or the recordation of a Map subdividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 #234.2 and #234.3 to determine additional right-of-way requirements for bus turnouts adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 for exclusive right turn lanes and dual left turn lanes shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works.

7. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the recordation of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. In lieu of constructing improvements, in whole or in part, the developer may agree to contribute monies for the construction of neighborhood or local drainage improvements, the amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, or the recordation of a Map subdividing this site, whichever may occur first, if allowed by the City Engineer.

Z-0086-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This request is for a Rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development – 3 Units Per Acre) on 13.5 acres located adjacent to the southwest corner of Buffalo Drive and Lone Mountain Road. The justification letter indicates this proposal takes into account the varying densities allowed by code and attempts to be sensitive to the surrounding uses while maintaining the spirit of the General Plan. The letter continues to state that by establishing a maximum overall density of three dwelling units per acre, the project will be consistent with and impose similar conditions to those currently provided for in the General Plan.

BACKGROUND DATA

- 03/01/02 The subject site was Annexed (A-0076-01) into the City of Las Vegas. The Planning Commission recommended Approval.
- 10/24/02 The Planning Commission recommended approval of three related items; a General Plan Amendment (GPA-0041-02) to amend a portion of the Centennial Hills Plan from DR (Desert Rural Density Residential) to R (Rural Density Residential), a Site Development Plan Review [Z-0086-02(1)] for a 42-lot single family residential subdivision, and a Vacation (VAC-0075-02) to vacate Kraft Avenue between Buffalo Drive and Quandrel Street.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #47).

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Clark County	Single Family Dwellings Mobile Home Park
South	Clark County	Single Family Dwellings
East	R-PD3 (Residential Planned Development – 3 Units Per Acre)	Single Family Dwellings
West	Clark County	Middle School

ANALYSIS & FINDINGS

GENERAL PLAN

The subject site is designated DR (Desert Rural Density Residential) on the Centennial Hills Sector of the General Plan. This category allows a residential density range of 0 to 2 units per acre. The requested Rezoning to R-PD3 (Residential Planned Development – 3 Units Per Acre) is not consistent with this General Plan designation.

Z-0086-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

The applicant has requested an amendment to the Centennial Hills Sector Plan to R (Rural Density Residential) on the site, which if approved will make the requested R-PD3 (Residential Planned Development – 3 Units Per Acre) zoning consistent with the General Plan designation.

The requested General Plan Amendment is appropriate since the site is located between an existing development of a similar density and a school. The Rural Density Residential allows densities up to 3.5 units per acre in a semi-rural environment. Therefore staff recommends approval of the R (Rural Density Residential) General Plan designation requested by the applicant.

ZONING

The proposed zoning of R-PD3 (Residential Planned Development – 3 Units Per Acre) would permit a density of development with a maximum of 3.49 dwelling units per acre. The proposed residential development will result in approximately 3.0 units per acre, which is consistent with the allowed density of the zoning district and with residential development to the east of this site.

FINDINGS

In order to approve a Rezoning application, pursuant to Las Vegas Municipal Code Section 19.18.040, the Planning Commission or City Council must affirm the following:

1. “The proposal conforms to the General Plan.”

The subject site is designated DR (Desert Rural Density Residential) on the Centennial Hills Sector of the General Plan. This category allows a residential density range of 0 to 2 units per acre. The requested Rezoning to R-PD3 (Residential Planned Development – 3 Units Per Acre) is not consistent with this General Plan designation. The applicant has requested an amendment to the Centennial Hills Sector Plan to R (Rural Density Residential) on the site, which if approved will make the requested R-PD3 (Residential Planned Development – 3 Units Per Acre) zoning consistent with the General Plan designation.

2. “The uses which would be allowed on the subject property by approving the rezoning will be compatible with the surrounding land uses and zoning districts.”

The proposed residential development with this request for an R-PD3 (Residential Planned Development – 3 Units Per Acre) zone will result in approximately 3.0 units per acre, which is comparable with the adjacent R-PD3 (Residential Planned Development – 3 Units Per Acre) zone and therefore is compatible with the surrounding land uses and zoning districts.

Z-0086-02 - Staff Report Page Three
November 20, 2002 City Council Meeting

The south portion of the site is within an area identified as a buffer for a Rural Preservation Neighborhood. Chapter 278 of the Nevada Revised Statutes stipulates the identification of a 330-foot transitional buffer around Rural Preservation Neighborhoods. Within these buffer areas, residential development density is limited to three dwelling units per acre, unless good cause is shown. The applicant's justification letter indicates that the density of this project will not exceed three units per acre within the area affected by the Rural Preservation Neighborhood Buffer.

3. **"Growth and development factors in the community indicate the need for or appropriateness of the rezoning."**

The proposed rezoning will allow development of single-family uses at a density that is compatible with the existing residential development found on surrounding properties.

4. **"Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed zoning district."**

The existing street system is partially developed around the subject site, and will have adequate capacity to accommodate traffic generated by the proposed development of this site with conditions regarding half-street improvements.

NOTICES MAILED 351 by Planning Department

APPROVALS 0

PROTESTS 0

Z-0086-02

APN: 138-04-503-002 & 003

Lone Mountain Buffalo Partnership

Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

7 No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

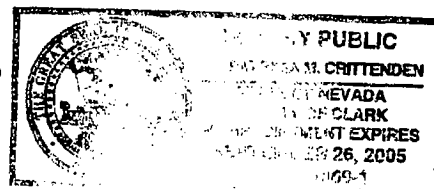
Signature of Property Owner/Authorized Agent: [Signature]

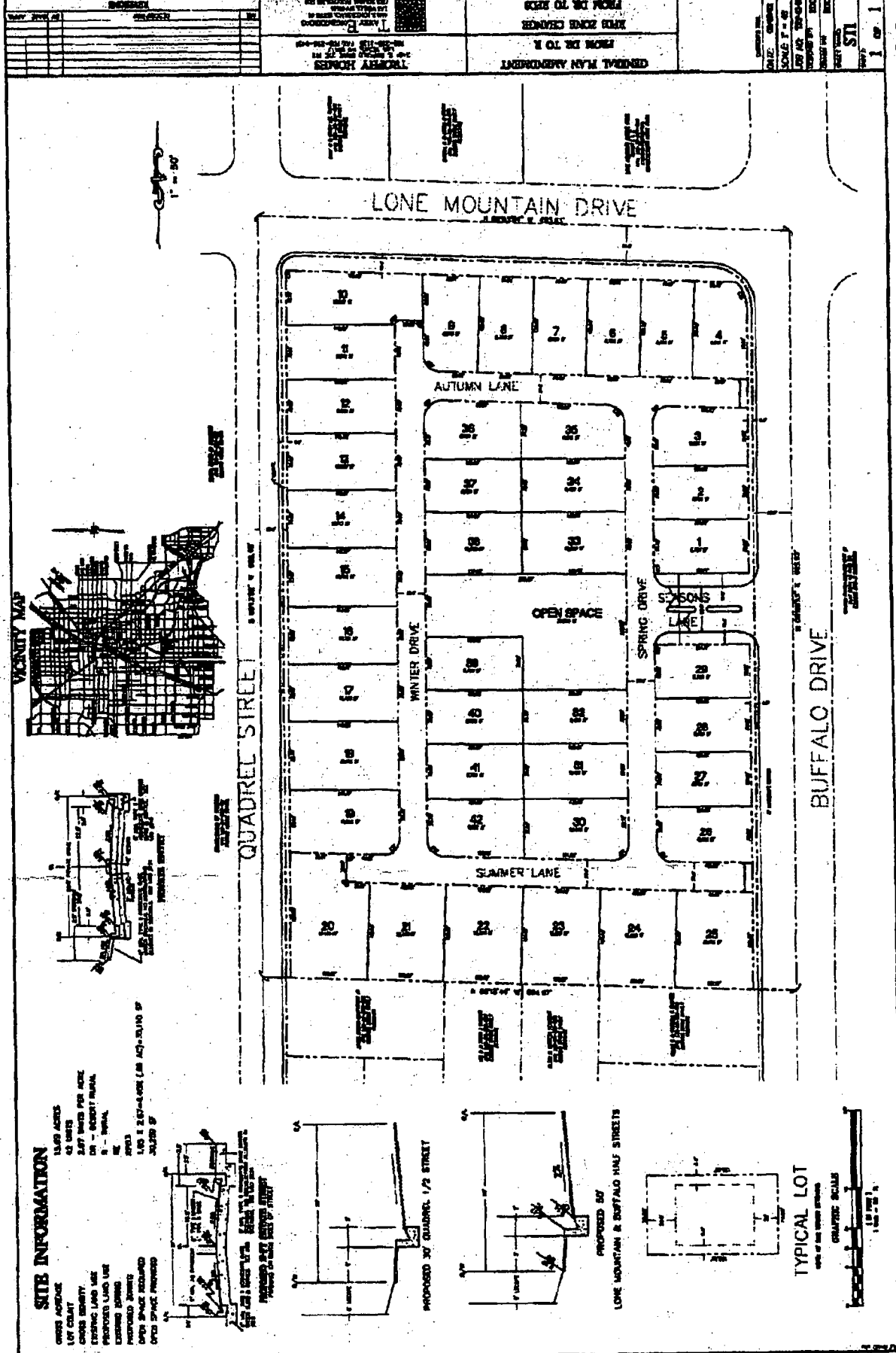
Print Name: Albert V. Massi

Subscribed and sworn before me,

This 14 day of December, 2008

Notary Public in and for said County and State



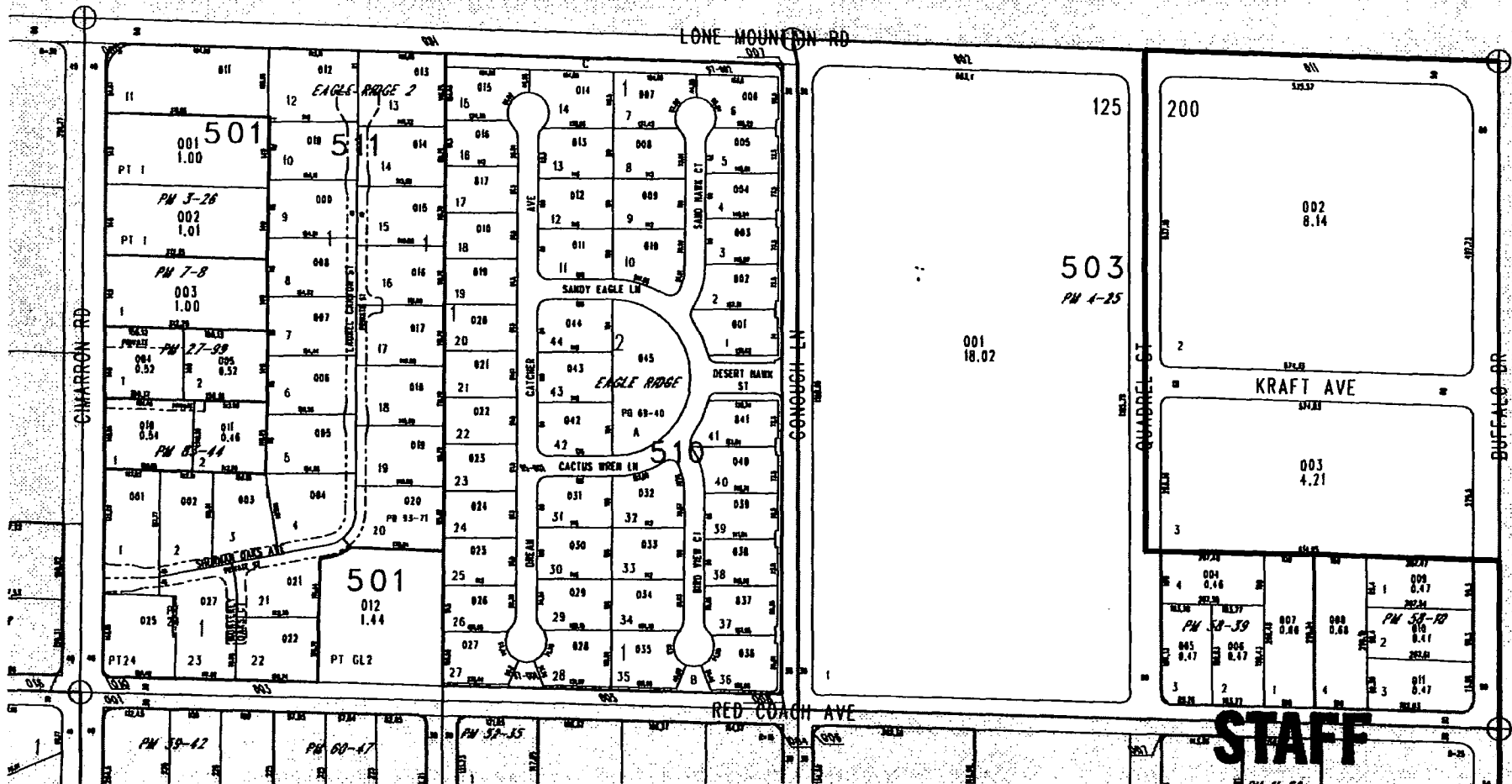


STAFF

Z-0086-02

10-24-02 PC

NOTES This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 1:17 ORIGINAL	MAP LEGEND AVERAGE OR VALUE 45 PARCEL BOUNDARY SUBD BOUNDARY ROAD EASEMENT PM/LO BOUNDARY NON-PARCEL LOT LINE MATCH LINE / LEADER LINE ROAD ID NUMBER	ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		T20S R60E	04	N 2 NE 4	138-04-5																																												
		001 1.00 202 5 5 GL5	PARCEL NUMBER ACRES PARCEL SUB/SEQ NUMBER PLAT RECORDING NUMBER BLOCK NUMBER LOT NUMBER GOV. LOT NUMBER	<table border="1"> <tr> <th>R50E</th> <th>R60E</th> <th>R61E</th> </tr> <tr> <td>126</td> <td>125</td> <td>124</td> </tr> <tr> <td>137</td> <td>138</td> <td>139</td> </tr> <tr> <td>144</td> <td>143</td> <td>142</td> </tr> </table>	R50E	R60E	R61E	126	125	124	137	138	139	144	143	142	<table border="1"> <tr> <td>1</td> <td>2</td> <td>3</td> <td>4</td> </tr> <tr> <td>5</td> <td>6</td> <td>7</td> <td>8</td> </tr> <tr> <td>9</td> <td>10</td> <td>11</td> <td>12</td> </tr> <tr> <td>13</td> <td>14</td> <td>15</td> <td>16</td> </tr> </table>	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	<table border="1"> <tr> <td>1</td> <td>2</td> <td>3</td> <td>4</td> </tr> <tr> <td>5</td> <td>6</td> <td>7</td> <td>8</td> </tr> <tr> <td>9</td> <td>10</td> <td>11</td> <td>12</td> </tr> <tr> <td>13</td> <td>14</td> <td>15</td> <td>16</td> </tr> </table>	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	
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TAX DIST 125,200

Z-0086-02
10-24-02 PC

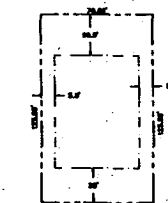
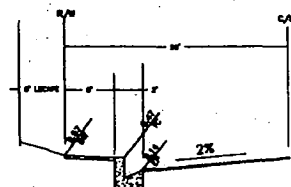
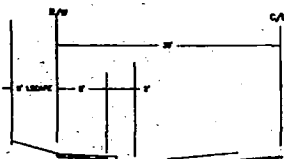
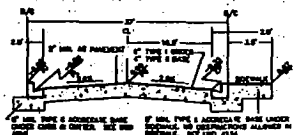


Z-0086-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP
SOUTHWEST CORNER OF BUFFALO DRIVE AND LONE MOUNTAIN ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

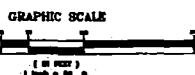
10/9/02

SITE INFORMATION

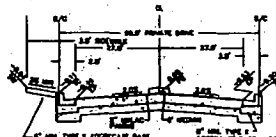
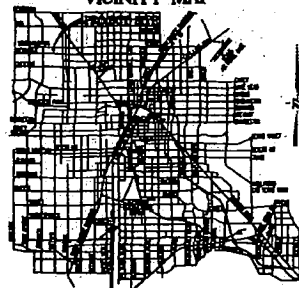
GROSS ACREAGE 15.69 ACRES
 LOT COUNT 42 UNITS
 GROSS DENSITY 2.67 UNITS PER ACRE
 EXISTING LAND USE DR - DESERT RURAL
 PROPOSED LAND USE R - RURAL
 EXISTING ZONING RE
 PROPOSED ZONING RPD3
 OPEN SPACE REQUIRED 1.65 X 2.67=4.40X (.89 AC)=30,110 SF
 OPEN SPACE PROVIDED 30,250 SF



GRAPHIC SCALE

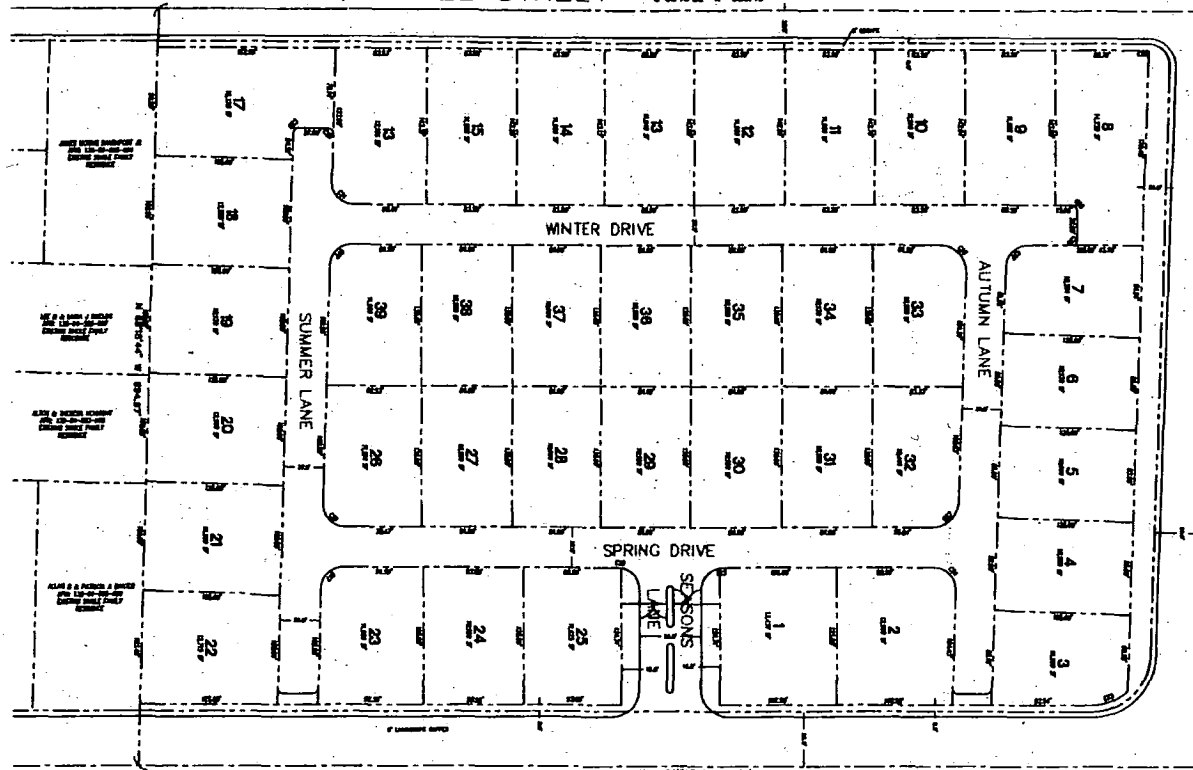


VICINITY MAP



QUADREL STREET

S 00°15'52" W 508.48'



BUFFALO DRIVE

LONE MOUNTAIN DRIVE

DATE: 02/04/02	SCALE: 1" = 50'	JOB NO: TYP-02-00	DESIGNED BY: BDC	DRAWN BY: BDC	SHEET NAME: ST1	SHEET: 1 OF 1
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Z-0086-02 REVISED
 Z-0086-02(1) 11-20-02 CC

Submitted after final agenda
 11/15/02 #129
 11/13/02 #131

City of Las Vegas

Agenda Item No. 130

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

VACATION RELATED TO GPA-0041-02 AND Z-0086-02 - PUBLIC HEARING - VAC-0075-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP - Petition to vacate Kraft Avenue between Buffalo Drive and Quadrel Street, Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:**Planning Commission Mtg.****2****City Council Meeting****0****APPROVALS RECEIVED BEFORE:****Planning Commission Mtg.****0****City Council Meeting****0****RECOMMENDATION:**

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report

MOTION:

BROWN – APPROVED subject to conditions – **UNANIMOUS** with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY ROBERT GRONAUER, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of Trophy Homes.

TODD FARLOW, 240 North 19th Street, and JOSEPH HANSEN, 8102 McKenzie, were present.

BART ANDERSON, Public Works, clarified the amendments to Condition #4 Item 129 [Z-0086-02] discussed by ATTORNEY GRONAUER and supported by COUNCILMAN BROWN.

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.



Agenda Item No. 130

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
 Planning & Development Department
 Item 130 – VAC-0075-02

MINUTES – Continued:

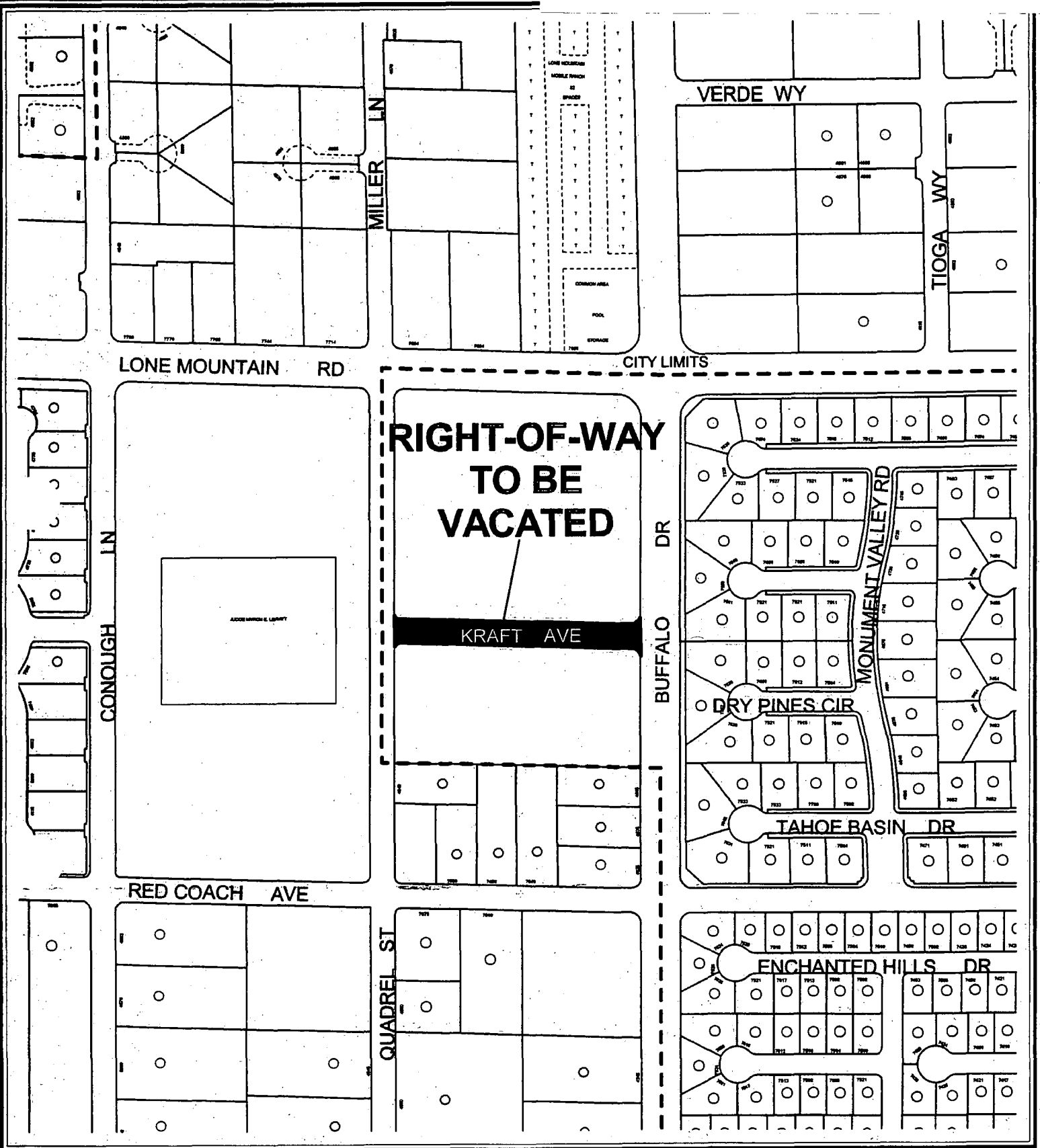
NOTE: All discussion pertaining to Item 128 [GPA-0041-02], Item 129 [Z-0086-02], Item 130 [VAC-0075-02] and Item 131 [Z-0086-02(1)] was held under Item 128 [GPA-0041-02].

(3:47 – 4:04)

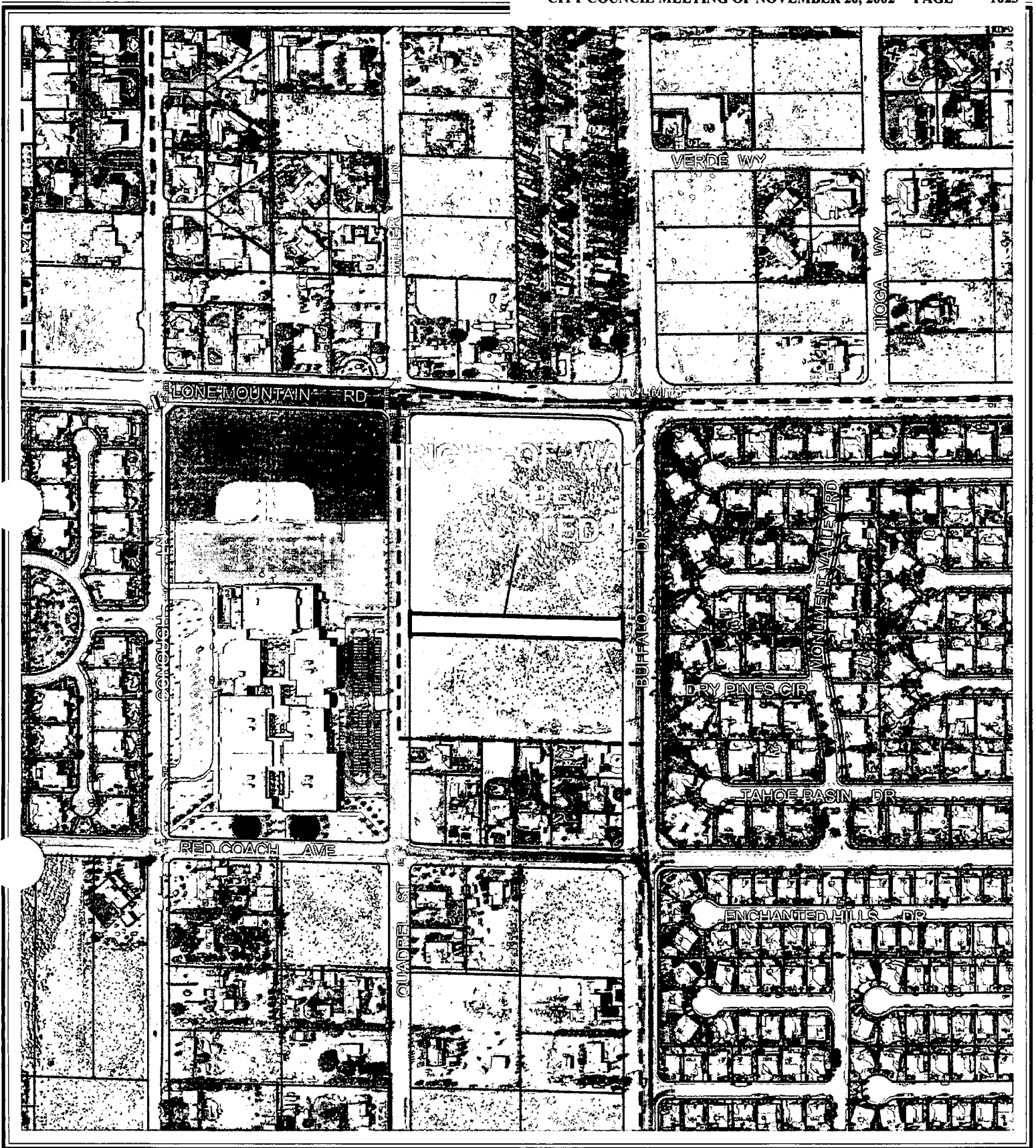
4-3103

CONDITIONS:

1. A Drainage Plan and Technical Drainage Study or other related drainage information acceptable to the Flood Control Section must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Vacation for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The drainage study required by Zoning Reclassification Z-0086-02 may be used to satisfy this condition.
2. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
3. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress therefrom shall be provided if required.
4. All development shall be in conformance with code requirements and design standards of all City Departments.
5. The Order of Vacation shall not be recorded until all of the above conditions have been met provided, however, that Condition #2 may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.
6. If the Order of Vacation is not recorded within one (1) year after approval by the City Council or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted.



CASE: VAC-0075-02
RADIUS: SPECIAL



CASE: VAC-0075-02

RADIUS: SPECIAL

0 300 600 Feet



*City of Las Vegas***AGENDA MEMO****CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: VAC-0075-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP****** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

1. A Drainage Plan and Technical Drainage Study or other related drainage information acceptable to the Flood Control Section must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Vacation for this application. Appropriate drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. The drainage study required by Zoning Reclassification Z-0086-02 may be used to satisfy this condition.
2. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
3. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress therefrom shall be provided if required.
4. All development shall be in conformance with code requirements and design standards of all City Departments.
5. The Order of Vacation shall not be recorded until all of the above conditions have been met provided, however, that Condition #2 may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.
6. If the Order of Vacation is not recorded within one (1) year after approval by the City Council or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted.

VAC-0075-02 - Staff Report Page One
November 20, 2002 City Council Meeting

**** STAFF REPORT ****

APPLICATION REQUEST

This is a request for a Petition of Vacation to vacate a portion of Kraft Avenue between Buffalo Drive and Quadrel Street. The applicant's justification letter states that the vacation of right-of-way will facilitate the development of the adjacent parcels.

BACKGROUND DATA

- 10/24/02 The Planning Commission recommended approval of a companion General Plan Amendment (GPA-0041-02) to R (Rural Density Residential), a Rezoning (Z-0086-02) to R-PD3 (Residential Planned Development - 3 Units Per Acre), and a Site Development Plan Review [Z-0086-02(1)] for a proposed 42-lot single family residential subdivision on this site.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #48).

ANALYSIS & FINDINGS

The proposed vacation of a portion of Kraft Avenue will not eliminate access to any abutting parcels nor adversely affect any abutting properties in that the roadway is currently undeveloped and consists of excess right-of-way.

The Department of Public Works has provided the following comments.

- A. Does this vacation request result in uniform or non-uniform right-of-way widths? *As proposed, it will eliminate an unused portion of Kraft Avenue.*
- B. From a traffic handling viewpoint will this vacation request result in a reduced traffic handling capability? *No, since the roadway proposed to be vacated is unused.*
- C. Does it appear that the vacation request involves only excess right-of-way? *N/A.*
- D. Does this vacation request coincide with development plans of the adjacent parcels? *Yes, the Lone Mountain Buffalo site, Z-86-02.*
- E. Does this vacation request eliminate public street access to any abutting parcel? *No.*
- F. Does this vacation request result in a conflict with any existing City requirements? *No.*

VAC-0075-02 - Staff Report Page Two
November 20, 2002 City Council Meeting

G. Does the Department of Public Works have an objection to this vacation request? *No.*

NOTICES MAILED 4 by City Clerk

APPROVALS 0

PROTESTS 2

VAC-0075-02

Lone Mountain Buffalo Partnership

Taney Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

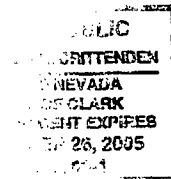
Signature of Property Owner/Authorized Agent:

ent: Albert D. MASS

Subscribed and sworn before me

This 11 day of August, 2008

Notary Public in and for said County and State





VAC-0075-02 - LONE MOUNTAIN BUFFALO PARTNERSHIP
KRAFT AVENUE BETWEEN BUFFALO DRIVE AND QUADREL STREET
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 131

AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002****DEPARTMENT: PLANNING & DEVELOPMENT****DIRECTOR: ROBERT S. GENZER**☐**CONSENT**☒**DISCUSSION****SUBJECT:**

SITE DEVELOPMENT PLAN REVIEW RELATED TO GPA 0041-02, Z-0086-02 AND VAC-0075-02 - PUBLIC HEARING - **Z-0086-02(1) - LONE MOUNTAIN BUFFALO PARTNERSHIP** - Request for a Site Development Plan Review FOR A 42-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT on 13.5 acres adjacent to the southwest corner of Buffalo Drive and Lone Mountain Road (APN: 138-04-503-002 and 003), U (Undeveloped) [DR (Desert Rural Density Residential) General Plan Designation] [PROPOSED: R-PD3 (Residential Planned Development - 3 Units Per Acre)], Ward 4 (Brown). The Planning Commission (6-0-1 vote) and staff recommend APPROVAL

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

2

City Council Meeting

0**APPROVALS RECEIVED BEFORE:**

Planning Commission Mtg.

0

City Council Meeting

0**RECOMMENDATION:**

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to conditions.

BACKUP DOCUMENTATION:

1. Location Map
2. Conditions For This Application
3. Staff Report
4. Submitted after final agenda – Revised site map

MOTION:

BROWN – APPROVED subject to conditions and amending Condition #1 to R-PD2 with a maximum of 39 lots – **UNANIMOUS** with GOODMAN excused

MINUTES:

MAYOR PRO TEM REESE declared the Public Hearing open.

ATTORNEY ROBERT GRONAUER, Kummer, Kaempfer, Bonner & Renshaw, 3800 Howard Hughes Parkway, appeared on behalf of Trophy Homes.

TODD FARLOW, 240 North 19th Street, and JOSEPH HANSEN, 8102 McKenzie, were present.

BART ANDERSON, Public Works, clarified the amendments to Condition #1 Item 131 [Z-0086-02(1)] discussed by ATTORNEY GRONAUER and supported by COUNCILMAN BROWN.



Agenda Item No. 131

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 131 – Z-0086-02(1)

MINUTES – Continued:

There was no discussion.

MAYOR PRO TEM REESE declared the Public Hearing closed.

NOTE: All discussion pertaining to Item 128 [GPA-0041-02], Item 129 [Z-0086-02], Item 130 [VAC-0075-02] and Item 131 [Z-0086-02(1)] was held under Item 128 [GPA-0041-02].

(3:47 – 4:04)

4-3103

CONDITIONS:

Planning and Development

1. A General Plan Amendment (GPA-0041-02) to R (Rural Density Residential) and a Rezoning (Z-0086-02) to a R-PD3 (Residential Planned Development – 3 Units Per Acre) Zoning District approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
4. The Building height shall not exceed two stories or 35 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 20 feet to the front of the house, 5 feet on the side, 10 feet on the corner side, and 20 feet in the rear.
6. Air conditioning units shall not be mounted on rooftops.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
8. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.



Agenda Item No. 131

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 131 – Z-0086-02(1)

CONDITIONS – Continued:

10. All City Code requirements and design standards of all City departments must be satisfied.

Public Works

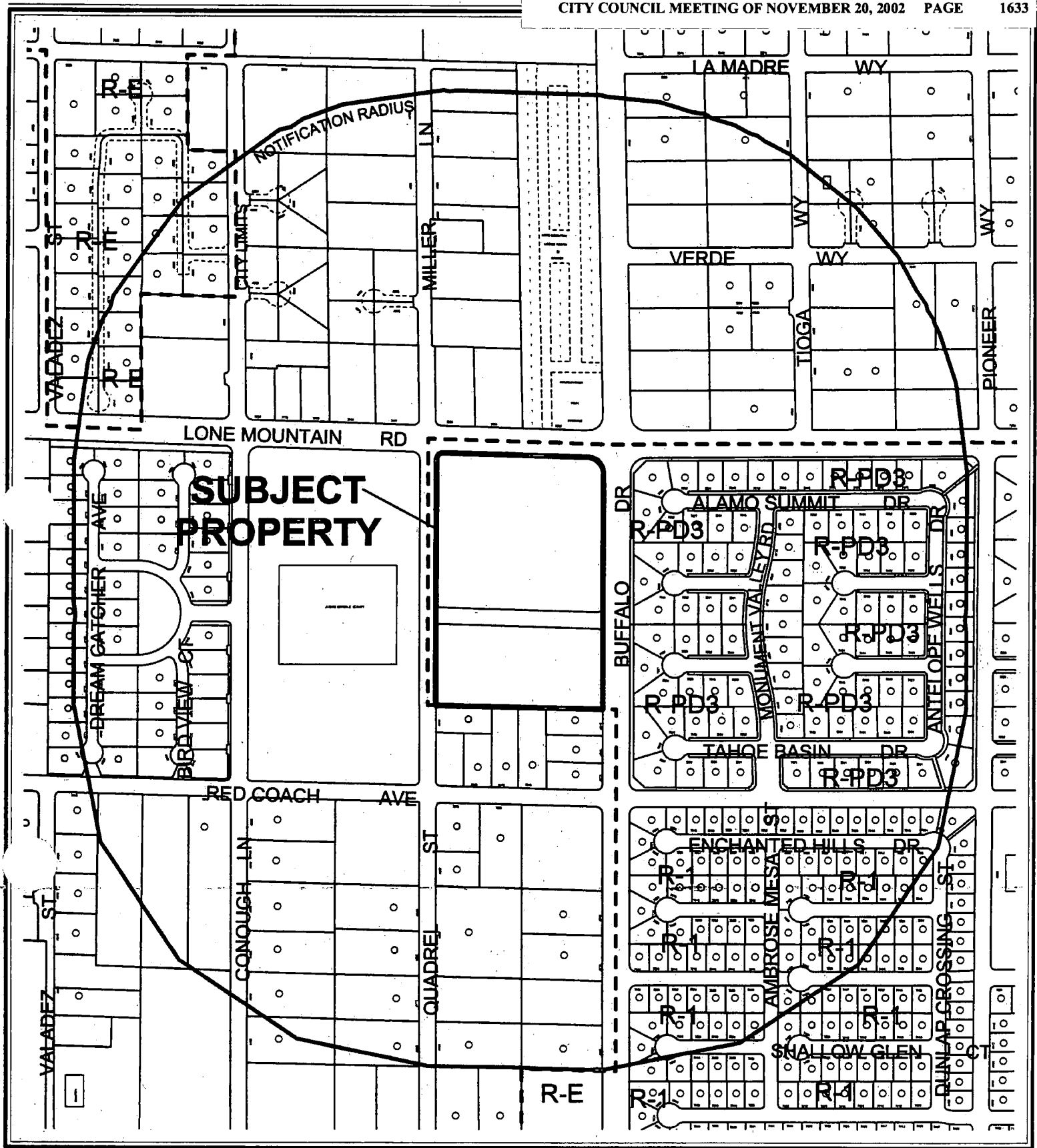
11. A Petition of Vacation (such as VAC-0075-02) to vacate Kraft Avenue shall be acted upon by the City Council prior to the submittal of a Final Map for technical review, and if approved the Order of Vacation shall record prior to recordation of a Final Map overlying or adjacent to the area to be vacated.
12. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed access layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Active gated entries, if proposed, shall be designed, located and constructed in accordance with Standard Drawing #222a.
13. A Master Streetlight Plan of public street lights for the entire subdivision shall be submitted to and approved by the Department of Public Works prior to the submittal of construction drawings for this site.
14. Public drainage easements must be common lots or private streets that are to be privately maintained by a home owner's association or maintenance association for all public drainage not located within existing public street right-of-way.
15. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
17. Site development to comply with all applicable conditions of approval for Z-83-02 and all other subsequent site-related actions.

*City of Las Vegas***Agenda Item No. 131**

CITY COUNCIL MEETING OF NOVEMBER 20, 2002
Planning & Development Department
Item 131 – Z-0086-02(1)

CONDITIONS – Continued:

18. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.



CASE: Z-0086-02(1)

RADIUS: 1320 FT

ZONING OF SUBJECT PROPERTY: U (UNDEVELOPED) [DR (DESERT RURAL DENSITY RESIDENTIAL) GENERAL PLAN DESIGNATION] 131

PROPOSED ZONING OF SUBJECT PROPERTY: R-PD3 (RESIDENTIAL PLANNED DEVELOPMENT - 3 UNITS PER ACRE)

0 400 800 Feet



City of Las Vegas

AGENDA MEMO

CITY COUNCIL MEETING DATE: NOVEMBER 20, 2002

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: Z-0086-02(1) - LONE MOUNTAIN BUFFALO PARTNERSHIP

**** CONDITIONS ****

The Planning Commission (6-0-1 vote) and staff recommend APPROVAL, subject to:

Planning and Development

1. A General Plan Amendment (GPA-0041-02) to R (Rural Density Residential) and a Rezoning (Z-0086-02) to a R-PD3 (Residential Planned Development – 3 Units Per Acre) Zoning District approved by the City Council.
2. This Site Development Plan Review shall expire two years from date of final approval unless it is exercised or an Extension of Time is granted by the City Council.
3. All development shall be in conformance with the site plan and building elevations, except as amended by conditions herein.
4. The Building height shall not exceed two stories or 35 feet, whichever is less.
5. The setbacks for this development shall be a minimum of 20 feet to the front of the house, 5 feet on the side, 10 feet on the corner side, and 20 feet in the rear.
6. Air conditioning units shall not be mounted on rooftops.
7. All utility boxes exceeding 27 cubic feet in size shall meet the standards of Municipal Code Section 19.12.050.
8. Any property line wall shall be a decorative block wall, with at least 20 percent contrasting materials. Wall heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
9. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
10. All City Code requirements and design standards of all City departments must be satisfied.

Z-0086-02(1) - Conditions Page Two
November 20, 2002 City Council Meeting

Public Works

11. A Petition of Vacation (such as VAC-0075-02) to vacate Kraft Avenue shall be acted upon by the City Council prior to the submittal of a Final Map for technical review, and if approved the Order of Vacation shall record prior to recordation of a Final Map overlying or adjacent to the area to be vacated.
12. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed access layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Active gated entries, if proposed, shall be designed, located and constructed in accordance with Standard Drawing #222a.
13. A Master Streetlight Plan of public street lights for the entire subdivision shall be submitted to and approved by the Department of Public Works prior to the submittal of construction drawings for this site.
14. Public drainage easements must be common lots or private streets that are to be privately maintained by a home owner's association or maintenance association for all public drainage not located within existing public street right-of-way.
15. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
16. Meet with the Fire Protection Engineering Section of the Department of Fire Services prior to submittal of a Tentative Map for this site. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
17. Site development to comply with all applicable conditions of approval for Z-83-02 and all other subsequent site-related actions.
18. The final layout of the subdivision shall be determined at the time of approval of the Tentative Map.

Z-0086-02(1) - Staff Report Page One
November 20, 2002 City Council Meeting

** STAFF REPORT **

APPLICATION REQUEST

This is a request for a Site Development Plan Review for a proposed 42-lot single family residential subdivision on approximately 15.69 gross acres located adjacent to the southwest corner of Buffalo Drive and Lone Mountain Road.

BACKGROUND DATA

- 03/01/02 The subject site was Annexed (A-0076-01) into the City of Las Vegas.
- 10/24/02 The Planning Commission recommended approval of three related items; a General Plan Amendment (GPA-0041-02) to amend a portion of the Centennial Hills Plan from DR (Desert Rural Density Residential) to R (Rural Density Residential), a Rezoning (Z-0086-02) from U(Undeveloped) [DR(Desert Rural General Plan Designation)] to R-PD3 (Residential Planned Development – 3 Units Per Acre), and a Vacation (VAC-0075-02) to vacate Kraft Avenue between Buffalo Drive and Quandrel Street.
- 10/24/02 The Planning Commission voted 6-1 to recommend APPROVAL (PC Agenda Item #49).

DETAILS OF APPLICATION REQUEST

Gross Site Area:	15.69	Acres
Net Site Area:	13.5	Acres
Number of Lots:	42	Lots
Density:	2.67	Units Per Acre
Lot Area:		
Maximum:	12,654	Square Feet
Minimum:	8,645	Square Feet
Typical:	8,750	Square Feet
Setbacks:		
Front:	20	Feet
Side:	5	Feet
Corner Side:	10	Feet
Rear:	20	Feet
Open Space Required:	30,110	Square Feet
Open Space Provided:	30,250	Square Feet

Z-0086-02(1) - Staff Report Page Two
November 20, 2002 City Council Meeting

ZONING AND EXISTING LAND USE OF ADJACENT PROPERTIES

North	Clark County	Single Family Dwellings and Mobile Home Park
South	Clark County	Single Family Dwellings
East	R-PD3 (Residential Planned Development – 3 Units Per Acre)	Single Family Dwellings
West	Clark County	Middle School

ANALYSIS & FINDINGS

ZONING

The applicant has submitted a Rezoning application requesting a RPD-3 (Residential Planned Development – 3 Units Per Acre) Zoning Designation. The request to R-PD3 (Residential Planned Development – 3 Units Per Acre) can be compatible with existing land uses surrounding the subject property. Currently the property to the east is developed at a density of R-PD3 (Residential Planned Development – 3 Units Per Acre).

As discussed in the Zoning application, the south portion of the subject site is within a Rural Preservation Neighborhood Buffer, as established by Chapter 278 of the Nevada Revised Statutes. Inside the buffer, density is limited to three units per acre. The submitted site plan depicts development that is in conformance with this legislation.

SITE PLAN

The site plans as submitted presents an effective layout of streets and access. The street sections proposed meet all the requirements of the City of Las Vegas Subdivision Ordinance (Title 18).

The applicant has proposed the following setbacks for this single family residential subdivision; 20 feet for the front, 5 feet for the side, 10 feet for the corner side yard, and 20 feet for the rear. From the submitted floor plans, staff performed a preliminary lot fit analysis. The largest house will be 55 feet wide by 79 feet long, which will accommodate the largest floor plan. Additionally, because the proposed development is providing the required amount of open space, there will be adequate room both on each individual lot and within the subdivision for residents. The proposed setbacks are appropriate for this subdivision.

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November 20, 2002 City Council Meeting

LANDSCAPE PLAN

Title 19.06.040 would require this project to allocate a total of 30,109 square feet of internal open space. The proposed layout depicts approximately 30,250 of eligible open space and thus complies with the Zoning Code. The landscape plan features landscape planters of adequate width on the perimeter of the subdivision. The 6-foot wide planters along Quadrel Street and Buffalo Drive, and the 20-foot planter along Lone Mountain Drive meet Title 19 standards. The submitted landscape plan meets the intent of the Las Vegas Urban Design Guidelines and Standards.

ELEVATIONS

The submitted elevations are appropriate for the proposed single-family residential development and the surrounding area.

FINDINGS

In order to approve a Site Development Plan Review application, pursuant to Las Vegas Municipal Code Section 19.18.050, the Planning Commission and City Council to affirm all of the following:

1. **"The proposed development is compatible with adjacent development and development in the area."**

The density of the proposed subdivision is 2.67 dwelling units per acre, which is comparable to the densities of the properties to the east, and is in accordance with the Clark County Rural Preservation Neighborhood to the south.

2. **"The proposed development is consistent with the General Plan, Title 19, the Design Standards Manual, the Landscape, wall and buffer standards, and other duly-adopted City plans, policies, and standards."**

The proposed residential development to be consistent with Title 19, and the landscape design manual. The applicant has applied for a General Plan Amendment (GPA-0041-02) that, if approved, will change the General Plan Designation to R (Rural Density Residential). Furthermore, the density complies with Objective 3.2 of the 2020 Master Plan, which seeks to ensure that rural preservation areas with distinctive rural residential character are preserved and buffered from higher density development, in accordance with the Nevada Revised Statutes.

Z-0086-02(1) - Staff Report Page Four
November 20, 2002 City Council Meeting

3. **"Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic."**

The street network adjacent to the subject site will have adequate capacity to accommodate traffic generated by the proposed development.

4. **"Building and landscape materials are appropriate for the area and for the City."**

The proposed project will incorporate appropriate building elevations and materials for the area. The proposed landscape materials also are appropriate for the area.

5. **"Building elevations, design characteristics, and other architectural and aesthetic features are not unsightly, undesirable or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area."**

The building elevations are typical of single-family developments and will be compatible with other single-family subdivisions in the area.

6. **"Appropriate measures taken to secure and protect the public health, safety and general welfare."**

The proposed development will be subject to the Uniform Building Code, and therefore the development will not compromise the public health, safety or welfare.

PLANNING COMMISSION ACTION

There were two speakers in protest of this application at the Planning Commission meeting.

NOTICES MAILED 351 by Planning Department

APPROVALS 0

PROTESTS 2

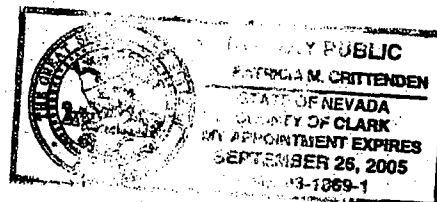
Name of Applicant: Taney Engineering

_____ Yes _____ No

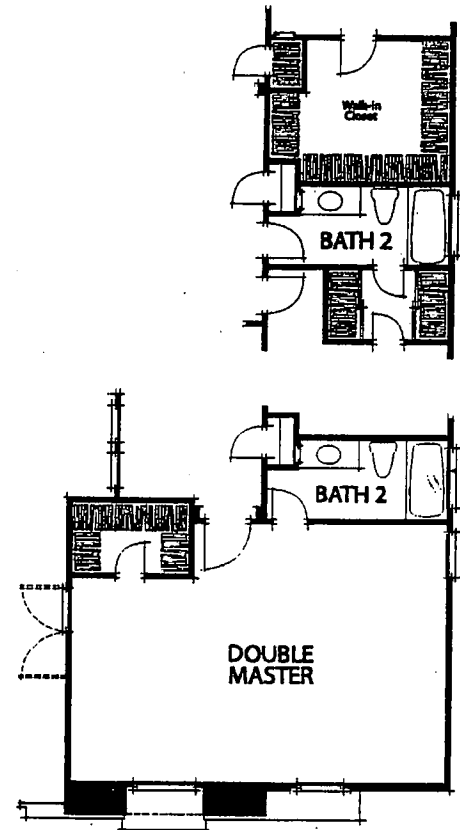
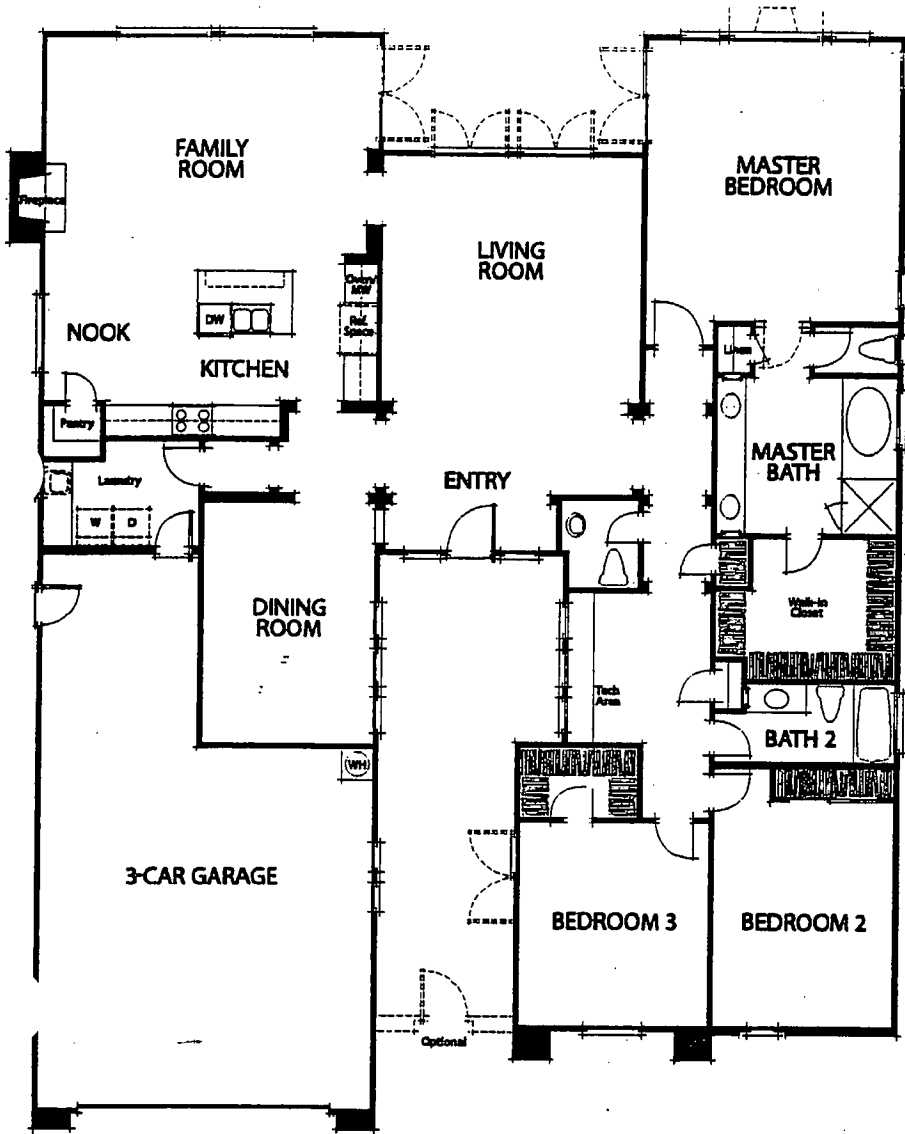
APN: _____

Print Name: Albert Q. Mason

Notary Public in and for said County and State



PLAN ONE

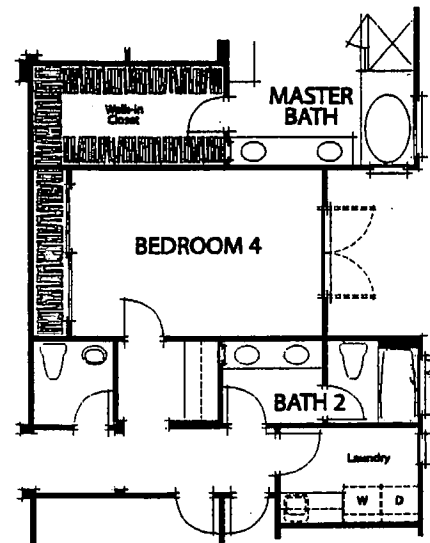
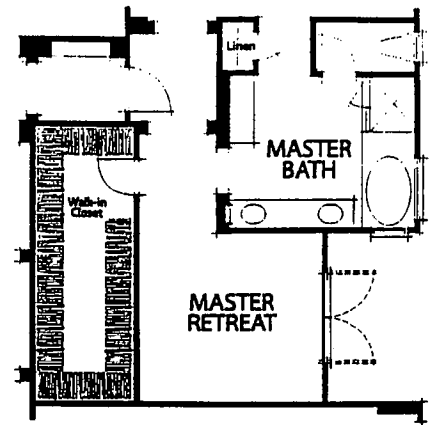
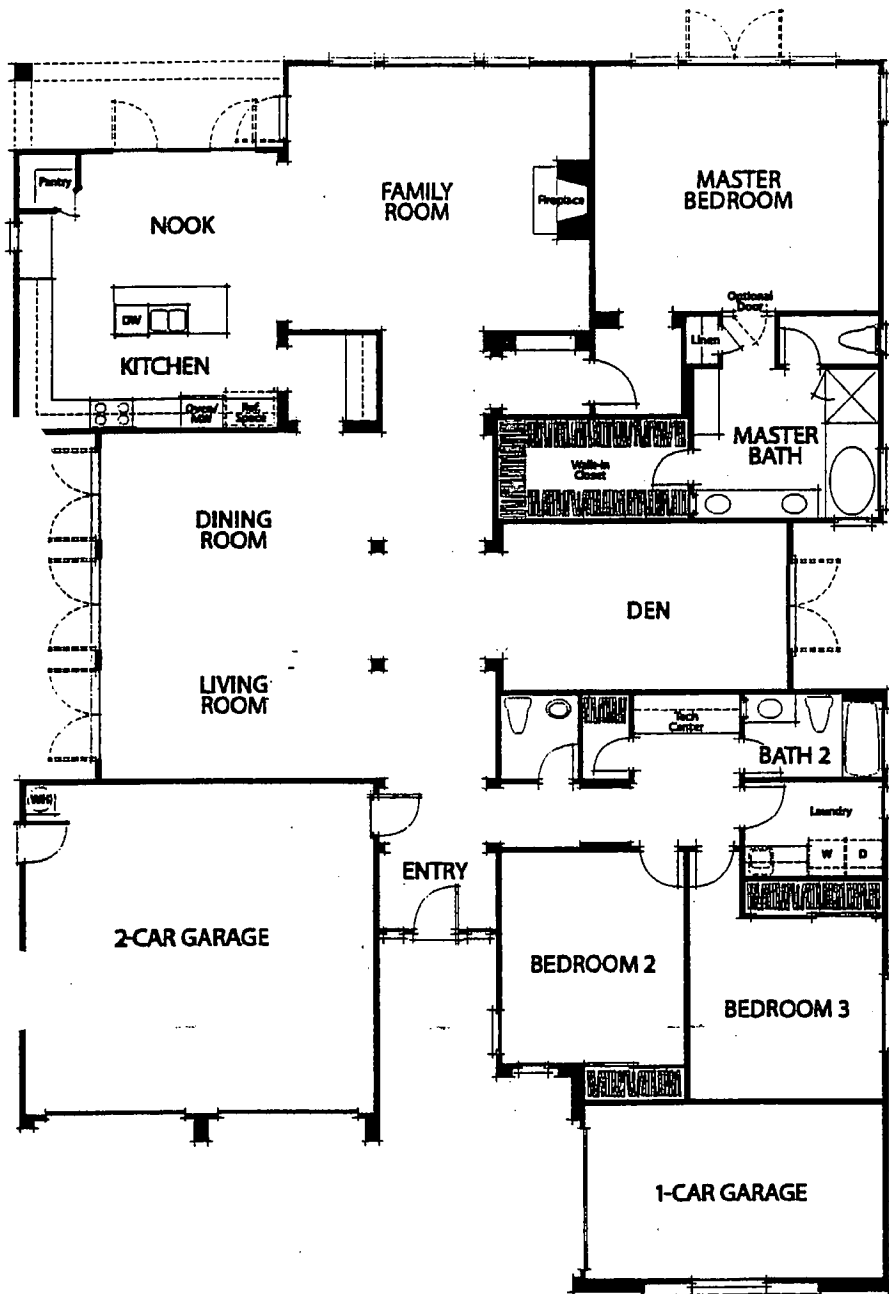


STAFF

Z-0086-02(1)

10-24-02 PC

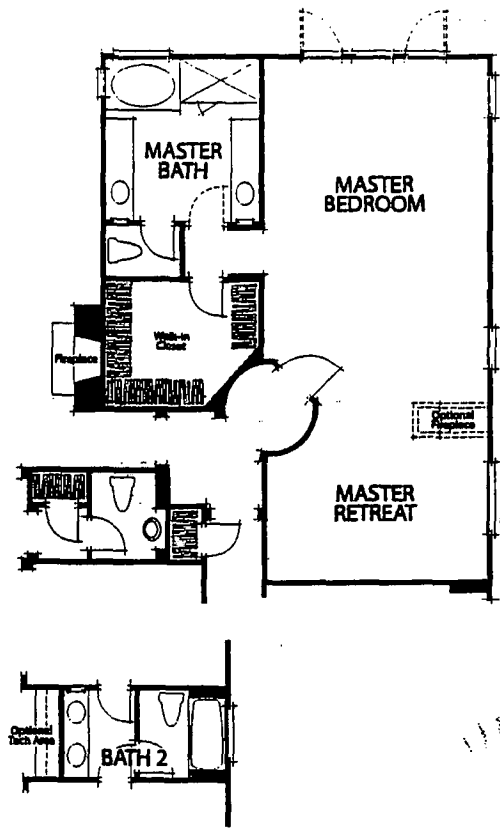
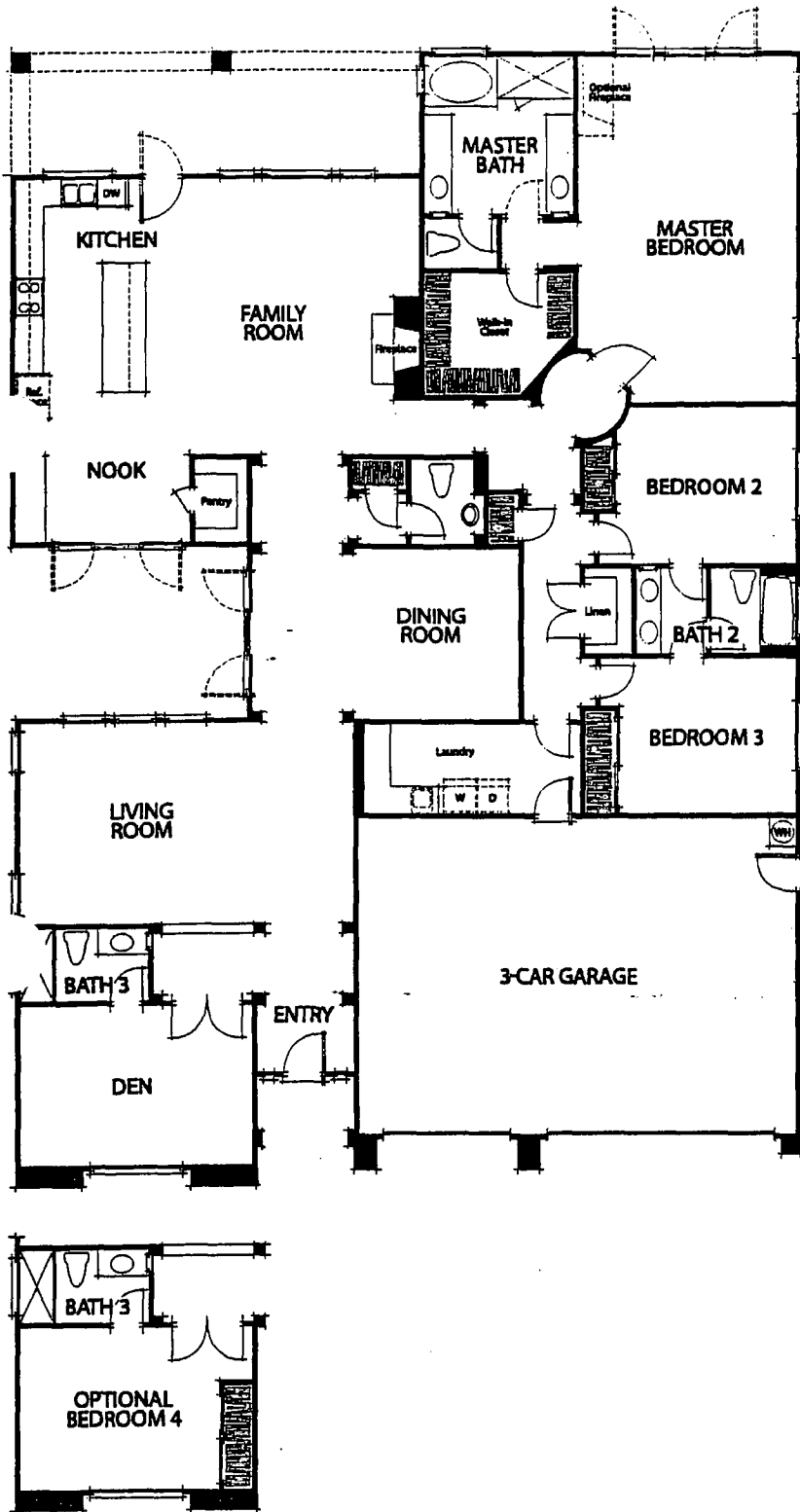
PLAN TWO

**STAFF**

Z-0086-02(1)

10-24-02 PC

PLAN THREE

**STAFF**

Z-0086-02(1)
10-24-02 PC



ELEVATION 'A'

VENTS PROVIDED:
ROOMS PLAT TILE VENT
(41 SQ. FT. FREE FLOIN AREA)
DAVE VENT BLOCKS
(105 SQ. FT. FREE FLOIN AREA)
WIRE ROOM:
REQUIRED 2343 SQ. FT. x 1000
ICE (18 PLAT TILE VENTS
(3 VERTICAL FEET ABOVE DAVE)
WIRE (2) DAVE VENT BLOCKS
TOTAL VENT AREA PROVIDED
416 & 27



SCALE: 140 = 150

ELEVATION 'A'

[illegible]

- 29 28 GA. RSH FLASHING TYPICAL AT VALLETS
- 30 28 GA. RSH FLASHING AT WALLS ABOVE ROOF
- 31 1/4"X1/2" LAMINATED AT THE VERT. PER AT THE VERT. SHEET
- 32 DECORATIVE RSH GIMNEY CAP
- 33 LINE OF WALLS BELOW
- 34 PROVIDE BRICKS KEEP SCURED NOT LESS THAN 4" FROM BRICK
- 35 BRICKED 4" REMAIN HOOD CHIMNEY
- 36 4"X4" DECORATIVE HOOD CORNER
- 37 PAINTED BRICKS
- 38 3"X3" REMAIN HOOD TIE
- 39 3"X3" REMAIN HOOD TIE
- 40 3"X3" REMAIN HOOD TIE
- 41 3"X3" REMAIN HOOD TIE
- 42 3"X3" REMAIN HOOD TIE
- 43 3"X3" REMAIN HOOD TIE
- 44 TYPICAL PLUMBING
- 45 1/2" REMAIN HOOD TIE
- 46 CONCRETE TO BE BROKEN FRAM. PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE AT ... PER ...
- 47 PROVIDE 3" CEMENT PIPE OVER DRAINAGE 3"X3" DIAMETER, GLASS 30 PSI PIPE. LOCATE THE 3" ...
- 48 PROVIDE 3" CEMENT PIPE OVER DRAINAGE 3"X3" DIAMETER, GLASS 30 PSI PIPE. LOCATE THE 3" ...
- 49 PROVIDE 3" CEMENT PIPE OVER DRAINAGE 3"X3" DIAMETER, GLASS 30 PSI PIPE. LOCATE THE 3" ...
- 50 PROVIDE 3" CEMENT PIPE OVER DRAINAGE 3"X3" DIAMETER, GLASS 30 PSI PIPE. LOCATE THE 3" ...

NOTE: ALL ROCK AND MINERAL TESTS TO BE RUN ON 40-60 MESH FRACTION. (SEE NOTE 2.)



SCALE: 1/8" = 1'-0"

ELEVATION 'A'

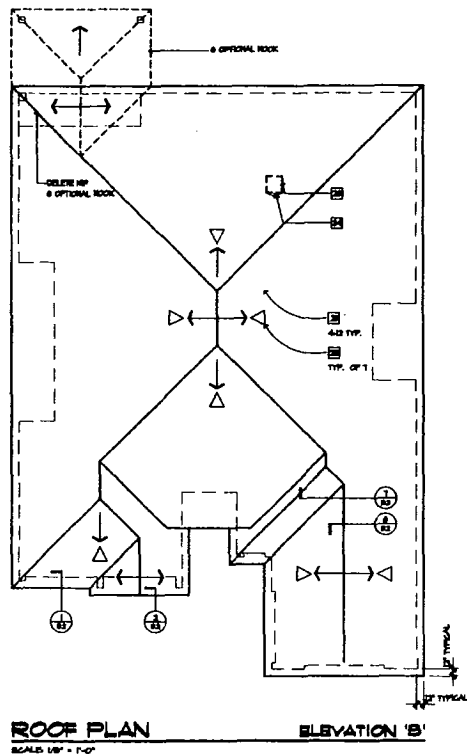

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ELEVATION 'A'



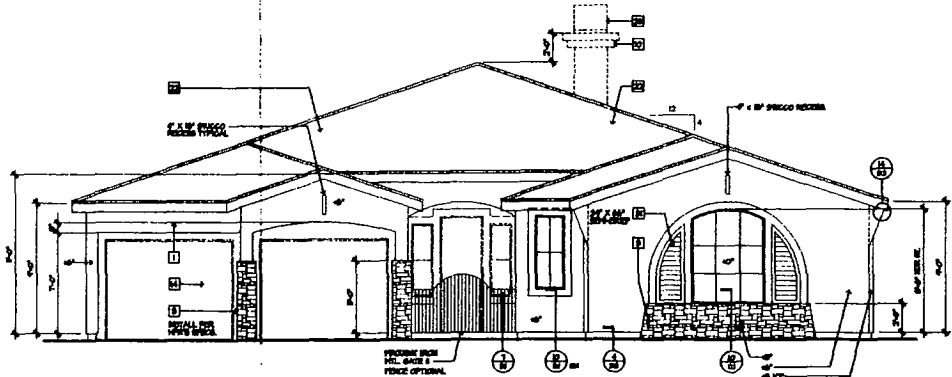
解法 2 1000 元 = 1000000 元

ELEVATION 'A'



ATTIC VENT SCHEDULE

VENT TYPE	VENT AREA + 1/2 SQ. FT.
ROOF FLAT TILE VENT LAY 1/2 SQ. FT. FREE FLUSH AREA	
RAV VENT BLOCKS (1/2 SQ. FT. FREE FLUSH AREA)	
RAV ROOF REQUIRED 2/3 SQ. FT. 1/2 SQ. FT.	
USE 1/2 PLAT TILE VENT 1/2 VERTICAL FEET ABOVE RAWS	+ 4.83 SQ. FT.
USE 1/2 RAWS VENT BLOCKS	+ 4.94 SQ. FT.
TOTAL VENT AREA PROVIDED ATTN: 1/2	+ 4.71 SQ. FT.



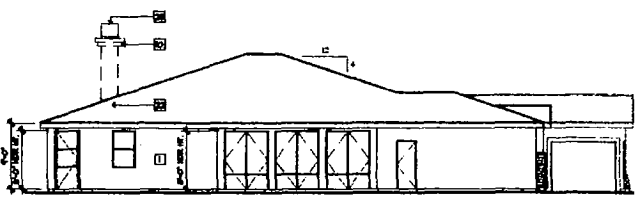
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION 'B'

ELEVATION NOTES

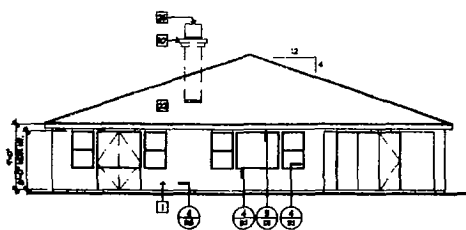
1. GOLF BRIDGE (TYPICAL) HALL WALLS WITH METAL LATH AND 1/2" LAYERS OF BRICK OR STONE OVER BRICKS. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL.
2. BRICK VENTILATION AT AREAS INDICATED BY 1/2" LAYERS OF BRICK OR STONE OVER BRICKS. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL.
3. COLORED STONE AT AREAS INDICATED BY 1/2" LAYERS OF BRICK OR STONE OVER BRICKS. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL. PROVIDE 20 GA. SH. FENCE SCREEN FOR BRICK WALL.
4. BRICK PAVING TYP. 1/2".
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LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

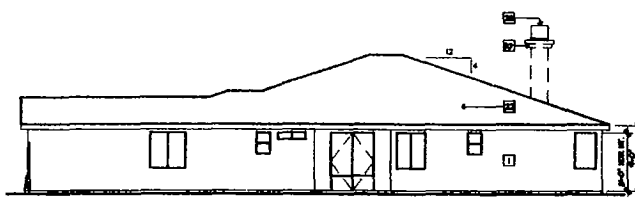
ELEVATION 'B'



REAR ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION 'B'



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION 'B'

STAFF

Z-0086-02(1)

Job Number	20-00
Drawn By	
Checked By	
Scale	1/8" = 1'-0"
EXTERIOR ELEVATION ROOF PLAN	
2A.06	



Z-0086-02(1) - LONE MOUNTAIN BUFFALO PARTNERSHIP
SOUTHWEST CORNER OF BUFFALO DRIVE AND LONE MOUNTAIN ROAD
OCTOBER 24, 2002 PLANNING COMMISSION

10/9/02

City of Las Vegas

Agenda Item No. 132

AGENDA SUMMARY PAGE**CITY COUNCIL MEETING OF: NOVEMBER 20, 2002**

DEPARTMENT: CITY CLERK**DIRECTOR: BARBARA JO (RONI) RONEMUS** ☐ **CONSENT** ☐ **DISCUSSION****SUBJECT:**

SET DATE ON ANY APPEALS FILED OR REQUIRED PUBLIC HEARINGS FROM THE CITY PLANNING COMMISSION MEETINGS, CENTENNIAL HILLS ARCHITECTURAL REVIEW COMMITTEE AND DANGEROUS BUILDING OR NUISANCE/LITTER ABATEMENTS

NL 112 South 1st Street, DB 880 East Sahara Avenue, DB 409 West Adams Avenue, DB 5427 Liverpool Avenue, SUP-1005, SUP-1033, SUP-1047, SUP-1051, SUP-1062, V-0052-02, VAC-1021, VAC-1023, VAC-1052, VAR-1010, U-0116-02 – 12/4/2002 AGENDA

*City of Las Vegas***AGENDA SUMMARY PAGE****CITY COUNCIL MEETING OF: NOVEMBER 20, 2002**

DEPARTMENT: CITY CLERK**DIRECTOR: BARBARA JO (RONI) RONEUMUS** ☐ **CONSENT** ☐ **DISCUSSION****SUBJECT:****ADDENDUM:**

None.

City of Las Vegas

AGENDA SUMMARY PAGE
CITY COUNCIL MEETING OF: NOVEMBER 20, 2002

CITIZENS PARTICIPATION:

Items raised under this portion of the City Council Agenda cannot be deliberated or acted upon until the notice provisions of the Open Meeting Law have been met. If you wish to speak on a matter not listed on the agenda, please step up to the podium and clearly state your name and address. In consideration of others, avoid repetition, and limit your comments to no more than three (3) minutes. To ensure all persons equal opportunity to speak, each subject matter will be limited to ten (10) minutes.

MINUTES:

CHRIS CHRISTOFF, 335 West Cincinnati, reported a kidnapping and molestation near the park recreation facilities. The assailant has not been caught. He expressed serious concern with accountability on the work done at the Stupak Center by subcontractors. There was a pledge that the Meadows Village Task Force was to drive crime out of the area. The result has been that property owners have to make the homes better for the drug dealers. There are either no speed bumps or inadequate speed bumps on Boston or Tam despite traffic of 1200 vehicles. Inexpensive surveillance cameras have not been installed at the recreation facility. If money is the issue, the property owners are ready to put up half the cost. The area must be secured in order to rent out the buildings.

MAYOR PRO TEM REESE assured MR. CHRISTOFF that although no action can be taken at this time, he has been heard by the Council. MR. CHRISTOFF protested that there has not been any response from the Councilman or his liaison DOUG RANKIN. COUNCILMAN McDONALD rebutted that MR. RANKIN has attended all the Task Force meetings even though MR. CHRISTOFF has not attended them all. The Task Force is in place, and the City Manager's office has been put in charge. Translators were provided for those who did not speak English. Property owners are attending the meetings and pointing out the drug dealers. Metro is doing undercover stings. There is constant activity, and his office is involved and informed. The Task Force has been working with the taxicab companies, and drivers are being cited by their employers. The same thing is true for the limo services. There has been a commitment to help with the children in the area. He personally has organized donation drives and programs. There is not too much more his office can do. He was the Councilperson who pushed the installation of the speed bumps that exist on Boston. The ones on Tam are scheduled to be installed in December if they pass the Parking & Traffic Commission.

City of Las Vegas

CITY COUNCIL MEETING OF NOVEMBER 20, 2002 CITIZENS PARTICIPATION

MINUTES – Continued:

MR. CHRISTOFF offered a video tape of drug sales in the area. COUNCILMAN McDONALD advised that the tape should be given to Metro. Metro has been making arrests. If the problem is with people not being arrested, that has to be addressed with the Sheriff. There are surveillance cameras on the alley. MR. CHRISTOFF responded that the scope is insufficient.

(4:04 – 4:10)

4 3823/5-1

TOM McGOWAN, Las Vegas resident, presented an exhibit on the overhead projector of a plan for remediation of the homeless situation within three years. The plan includes a multicultural music complex. This plan is available to the City and his resume has been on file with the City to demonstrate how he knows what he is talking about. He complimented DEPUTY CITY MANAGER BETSY FRETWELL as being highly familiar with government. A recent interview chastised FIRE CHIEF DAVID WASHINGTON for his training techniques. DEPUTY CITY MANAGER FRETWELL can attest that the same technique is utilized by the Southern Nevada Regional Planning Authority, which was enacted by the State Legislature. MR. McGOWAN encouraged the Council to stand up and apologize for not supporting CHIEF WASHINGTON sooner.

(4:10 – 4:17)

5-319

An unidentified woman speaker protested the trash along the roads and questioned whether or not inmates still help clean that up. COUNCILMAN WEEKLY responded that there is such a daily program, but it is impossible to keep up with the problem due to the constant foot traffic. She encouraged something be done about the cactus that is dying. She congratulated Metro on the sensitive handling of a recent murder in the neighborhood. The City has the best police and fire departments in the country.

(4:17 – 4:19)

5-568

TODD FARLOW, 240 North 19th Street, spoke on the improvement and positive activity within his neighborhood. He questioned whether there would be a presentation on the lower Fremont Street Experience. MAYOR PRO TEM REESE replied that there probably would be, but the time was not known. MR. FARLOW requested that the traffic substation across from the new Lowe's be rehabbed. MAYOR PRO TEM REESE advised CITY MANAGER DOUGLAS SELBY that the substation being discussed is in the County at the corner of 28th and Charleston.

(4:19 – 4:20)

5-626

City of Las Vegas

CITY COUNCIL MEETING OF NOVEMBER 20, 2002 CITIZENS PARTICIPATION

MINUTES – Continued:

JOHN VENTURA stated that he and his wife voted for COUNCILWOMAN McDONALD because she would have been a great Congresswoman. He wished the Council a Happy Thanksgiving and thanked them for the opportunity to speak.

(4:20 – 4:21)

5-658

MEETING ADJOURNED AT 4:21 P.M.