

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 84

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**VACATION - PUBLIC HEARINGVAC-14-99 - STEWART VILLAS, LIMITED
LIABILITY COMPANY

Petition to vacate a portion of a public alley generally located west of Twenty-Eighth Street, between Stewart Avenue and Marlin Avenue, Ward 3 (Reese).

NOTICES MAILED: 1 BY CITY CLERK

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

The Planning Commission (6-0 vote) and staff recommend APPROVAL, subject to:

1. A minimum twenty foot wide public sewer and drainage easement shall be retained over the entire area to be vacated as required by the Department of Public Works. Final layout of the retained easement(s) shall be at the discretion of the City Planning Engineer.

2. If the alley will not continue to be used as a private vehicular access corridor, remove the existing curb cuts where this alley intersects the abutting public streets and replace with new improvements (sidewalk, curb and gutter, etc.) meeting current City standards concurrent with on-site development activities as required by the Department of Public Works.

REESE - APPROVED subject to conditions - UNANIMOUS

MAYOR JONES declared the Public Hearing open.

No one appeared on behalf of the applicant or in opposition.

There was no discussion.

MAYOR JONES declared the Public Hearing closed.

(4:13)

5 - 330

111

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 85

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**VAC-14-99 - STEWART VILLAS, LIMITED
LIABILITY COMPANY

3. All public improvements, if any, adjacent to and in conflict with this Vacation Application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation as required by the Department of Public Works.

4. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress therefrom shall be provided if required.

5. All development shall be in conformance with code requirements and design standards of all City departments.

6. The Order of Vacation shall not be recorded until all of the above conditions have been met provided, however, that Condition Nos. 2 and 3 may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application, if necessary, because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still complied with and the intent of the Vacation Application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all Vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way being vacated must be retained.

7. If the Order of Vacation is not recorded within one (1) year after approval by the City Council or an Extension of Time is not granted by the Planning Commission, then approval will terminate and a new petition must be submitted.

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: VACATION - PUBLIC HEARING - VAC-14-99 - STEWART VILLAS, LIMITED LIABILITY COMPANY**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

This request is for the Vacation of an east/west public alley located on the west side of Twenty-Eighth Street between Stewart Avenue and I-515. The applicant's justification letter states the request is necessary to accommodate the desired restricting of access to the adjacent apartment buildings.

BACKGROUND DATA:

There is no history for this site.

ANALYSIS AND FINDINGS:

This application has been submitted to allow the abandonment of a public alley located west of Twenty-Eighth Street, between Stewart Avenue and Marlin Avenue. Maintenance of the vacated area and electronic access system will be the responsibility of the property owner. Parking will not be affected by approval of this request. The applicant is in the process of establishing a resident council and neighborhood watch program for this apartment complex. Additionally, the Boys and Girls Club and the YMCA will be sponsoring youth programs and activities on-site. The vacation of the alley and installation of electric gates is essential to the success of these amenities and security of the development.

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 1

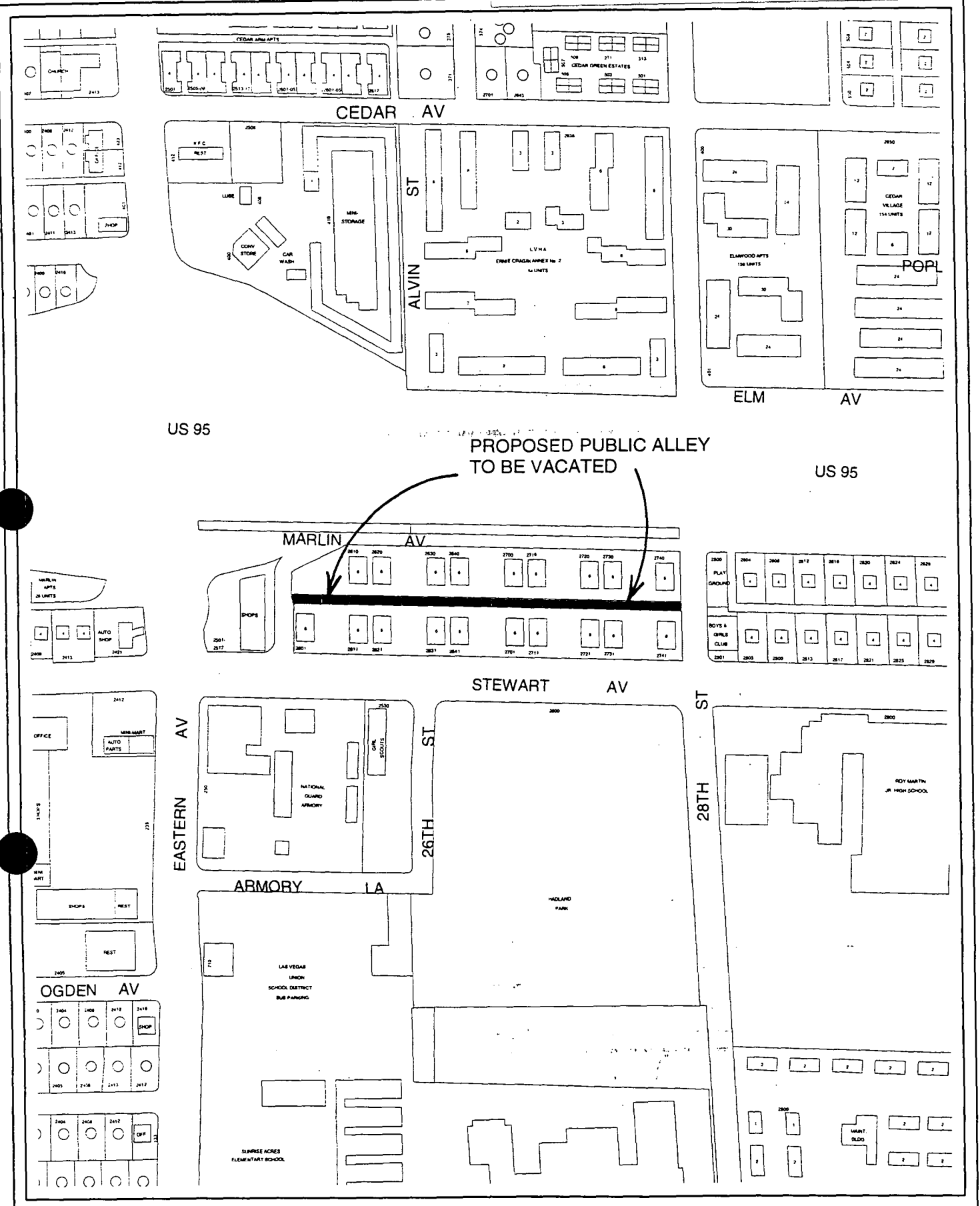
APPROVALS: 0

PROTESTS: 0

SEE ATTACHED LOCATION MAP

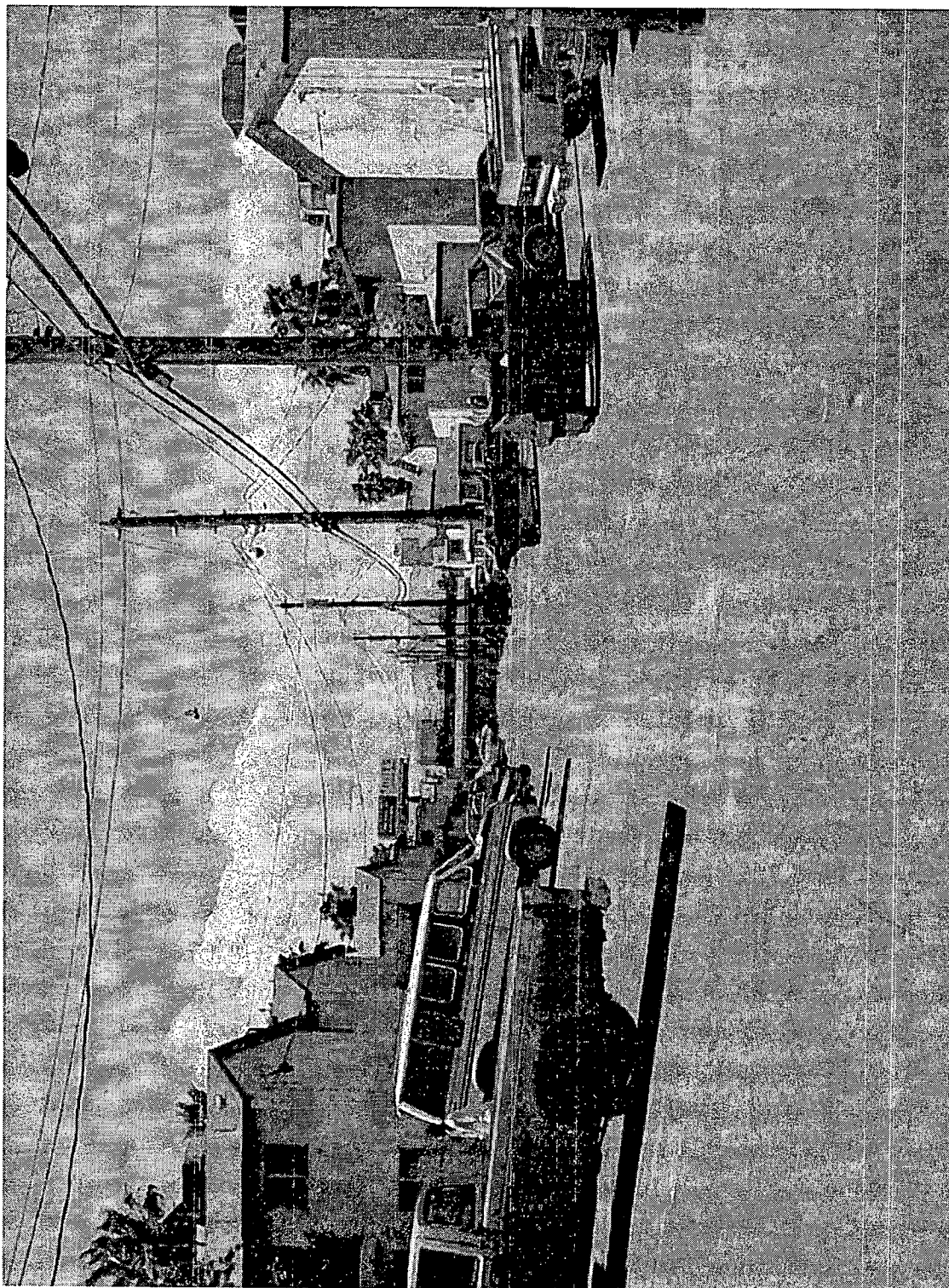
Agenda Item

111



CASE: VAC-14-99





April 22, 1999 PC VAC-14-99
From 28th Street toward the alley

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 86

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****FIVE YEAR REQUIRED REVIEW - SPECIAL
USE PERMIT - PUBLIC HEARING**

112

**U-43-94(1) - KENNEDY-OSWALD, INC. ON
BEHALF OF RONCO**

Five Year Required Review on an approved Special Use Permit on property located at 3900 and 3920 West Charleston Boulevard which allowed two 55 foot high, 14 foot x 48 foot off-premise advertising (billboard) signs, C-1 (Limited Commercial) Zone, Ward 1 (McDonald), APN's 139-31-801-011 and 012.

NOTICES MAILED: 27

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

1. This use shall be reviewed in two (2) years, at which time the City Council may require the signs to be removed.

2. All City Code requirements and design standards of all City departments must be satisfied.

**McDONALD - APPROVED subject to conditions -
UNANIMOUS**

MAYOR JONES declared the Public Hearing open.

ATTORNEY BOB GRONAUER, Kummer Kaempfer Bonner & Renshaw, 7th Floor, 3800 Howard Hughes Parkway, appeared to represent Martin Media. There has been little or no change in the area.

COUNCILMAN McDONALD confirmed with ATTORNEY GRONAUER that Condition No. 1 for the review of this site is required every two years.

No one appeared in opposition.

There was no further discussion.

MAYOR JONES declared the Public Hearing closed.

(4:13 - 4:14)

5 - 356

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: FIVE YEAR REQUIRED REVIEW - SPECIAL USE PERMIT - PUBLIC HEARING - U-43-94(1) - KENNEDY-OSWALD, INC. ON BEHALF OF RONCO

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This request is for a required five year review of an approved Special Use Permit on property located at 3900 and 3920 West Charleston Boulevard which allows two 55 foot high, 14 foot x 48 foot off-premise advertising (billboard) signs.

BACKGROUND DATA:

04/20/94 The City Council approved a Special Use Permit (U-43-94) for two 55 foot high, 14 foot x 48 foot off-premise advertising (billboard) signs on this site.

DETAILS OF APPLICATION REQUEST:

The two existing off-premise advertising signs are located on a commercially developed site. One sign is located on the northeast corner of the site oriented towards the north and south bound traffic on Valley View Drive. The other sign is located on the southwest corner of the site oriented towards the east and west bound traffic on Charleston Boulevard. No changes are being proposed at this time.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	C-1 & C-V	offices/Park
South	C-1	retail Shops
East	C-V	Las Vegas Valley Water District Office
West	C-2	automotive repair shop

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: FIVE YEAR REQUIRED REVIEW - SPECIAL USE PERMIT - PUBLIC HEARING - U-43-94(1) - KENNEDY-OSWALD, INC. ON BEHALF OF RONCO

PURPOSE/BACKGROUND**FINDINGS:**

Section 19A.14.100 of the City of Las Vegas Zoning Code permits the removal of the signs if conditions in the surrounding area have changed in a manner which no longer meets the standards for approval of a Special Use Permit. In this case, little or no change has occurred in the area around the subject signs. Additionally, when the original Special Use Permit was approved, the signs met the minimum code requirements in effect at that time. Therefore, staff finds that the continued use of the off-premise signs at this location would be compatible with the surrounding area and recommends approval subject to a review in two years.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 27

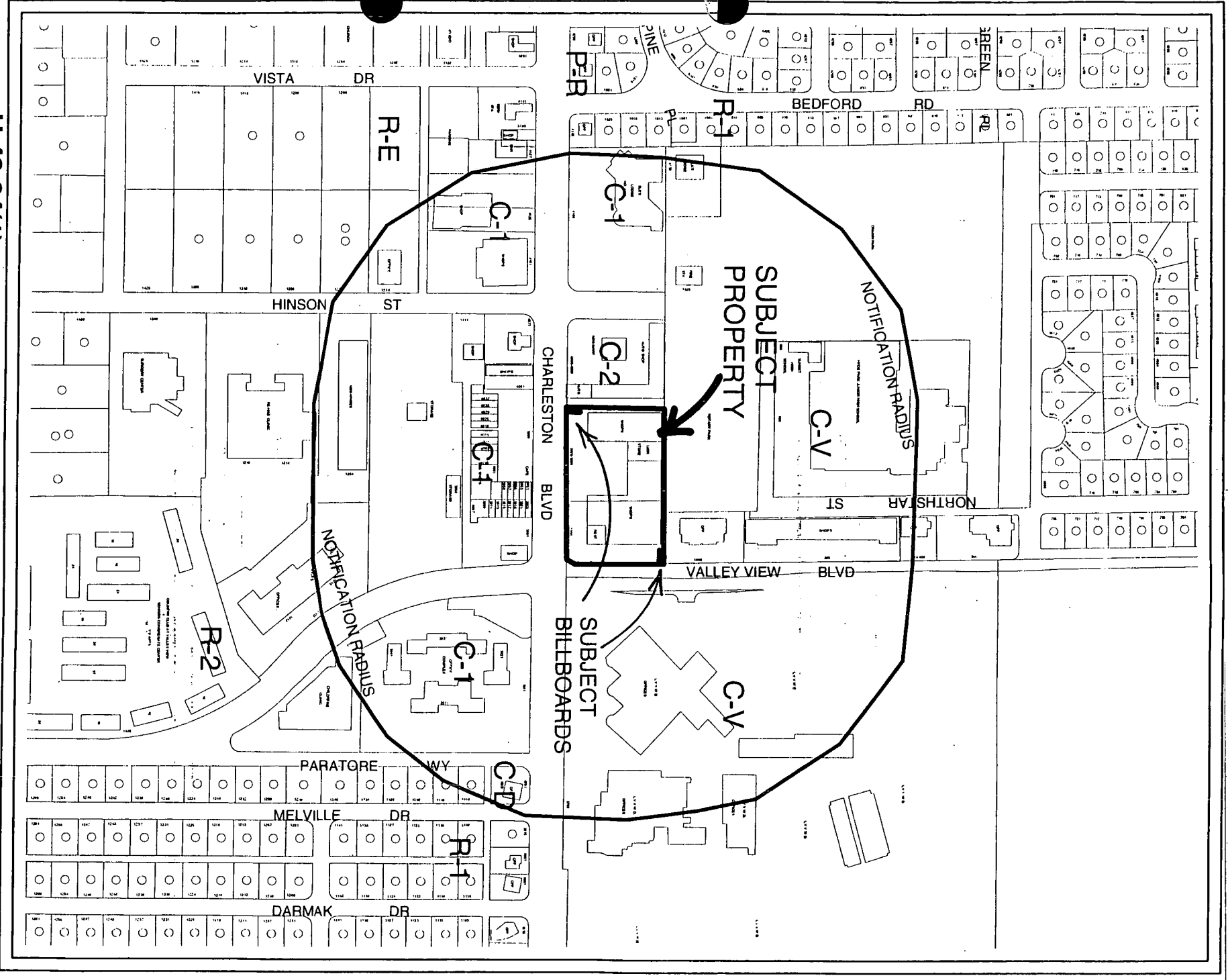
APPROVALS: 0

PROTESTS: 0

SEE ATTACHED LOCATION MAP

Agenda Item

--



CASE: U-43-94(1)
RADIUS: 750 FT



April 22, 1999 PC U-43-94(1) Five Year Required Review
Sign adjacent to Valley View Boulevard



April 22, 1999 PC U-43-94(1) Five Year Required Review
Sign adjacent to Charleston Boulevard

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 87

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**SPECIAL USE PERMIT - PUBLIC HEARING

113

ABEYANCE ITEM - U-37-99 - CHARLESTON
HEIGHTS SHOPPING CENTER ON BEHALF
OF AUTO AID, LIMITED LIABILITY COMPANY

Request for a Special Use Permit on property located at 4905 West Alta Drive FOR USED CAR SALES, C-2 (General Commercial) Zone, Ward 1 (McDonald), APN: 138-36-701-002.

NOTICES MAILED: 95 BY CITY CLERK

APPROVALS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

PROTESTS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

The Planning Commission (2-0-2 vote) and staff recommend APPROVAL, subject to:

1. The use is limited to 11 for-sale cars.
2. The installation and use of an outside public address or bell system is prohibited.
3. No used or discarded automotive part or equipment shall be located in any open area outside of an enclosed building.

McDONALD - ABEYANCE to 7/26/99 - UNANIMOUS

MAYOR JONES declared the Public Hearing open.

RICHARD BIDDLE, President of Auto Aid, 3612 Briarglen Lane, was present. He received approval from the Charleston Neighborhood Preservation Association as well as another Charleston Heights Neighborhood organization. He submitted paperwork from the Charleston Neighborhood Preservation Association to be made part of the record. He does not plan to have his business at this location much longer as he is in the process of trying to find a larger location, but he needs additional time.

JAMES NUNN, President, West Charleston Lions Park Association, indicated that his Association did not support, but would not oppose the request subject to MR. BIDDLE agreeing to and complying with the conditions approved at the Association meeting on April 20, 1999. He outlined the conditions as follows:

1. No test driving through the neighborhoods; it will all be done on the U.S.95 Expressway.
2. No junk vehicles; all vehicles to be 1993 models and newer.
3. No auto work performed on-site.

MR. NUNN also requested a one year review if this item is approved so that it can be determined to be in compliance with the conditions.

HEATHER McKINNIS, 4507 Lorna Place, appeared in favor. A lot of the businesses have left this area and some are being rented to people running for political office. She referred to a letter previously provided to the Council from JUANITA CLARK, President of the Charleston Neighborhood Preservation Association. The letter indicated that MS. CLARK was impressed with the cleanliness of the premises. MS. McKINNIS compared the quality of these cars to those at Courtesy Oldsmobile.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 88

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**ABEYANCE ITEM - U-37-99 - CHARLESTON
HEIGHTS SHOPPING CENTER ON BEHALF
OF AUTO AID, LIMITED LIABILITY COMPANY

4. All exterior lighting shall be screened or otherwise designed so as to not shine directly onto any adjacent parcel of land.
5. The only stickers allowed in the windows of the cars will be an 8-1/2 X 11 sign listing features on the car and the price.
6. No cars on the premises will be older than six model years.
7. No flags or like type banners etc. will be allowed on the cars or lease premises.
8. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. No parking, deliveries, or display of any vehicles shall be permitted in the public right-of-way.

COUNCILMAN REESE commented that once this type of business is allowed in an area, other applicants will request similar businesses, and it is difficult for the Council to deny the same type of request.

MAYOR JONES responded that approval of this item will not set a precedent because cars have previously been sold on this property. She supported a one year review.

MR. BIDDLE stated that the owner of the property, MR. BECKER, will not re-lease to a used car operation.

COUNCILMAN McDONALD added that MR. BIDDLE runs a fine organization. He requested that this item be held in abeyance to the second City Council meeting in July in order to have time to find another location for this business. The City will assist MR. BIDDLE in finding a new location and, in the interim, he can continue operating his business.

No one appeared in opposition.

There was no further discussion.

MAYOR JONES declared the Public Hearing closed.

(4:14 - 4:23)

5 - 382

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** ABEYANCE ITEM - SPECIAL USE PERMIT - PUBLIC HEARING - U-37-99 - CHARLESTON HEIGHTS
SHOPPING CENTER ON BEHALF OF AUTO AID, LIMITED LIABILITY COMPANY**PURPOSE/BACKGROUND**

***THIS ITEM WAS HELD IN ABEYANCE FROM THE MAY 10, 1999 CITY COUNCIL MEETING AT COUNCILMAN
McDONALD'S REQUEST SO THAT HE COULD MEET WITH THE APPLICANT.***

APPLICATION REQUEST:

This request is for a Special Use Permit on property located at 4905 West Alta Drive for Used Car Sales within a C-2 (General Commercial) zoning district.

BACKGROUND DATA:

There have been no previous zoning actions on this site.

DETAILS OF APPLICATION REQUEST:

Site Area:	2.28 Acres
Building Area:	1,500 Square Feet
Parking Required:	3 Spaces
Parking Provided:	11 Spaces
Building Height:	1 Story

Access to the site is provided by two driveways from Alta Drive. The proposed auto sales office is a storefront within an existing commercial subdivision. The lease agreement that the applicant has with the lessor indicates that the car dealership has been allocated 11 parking spaces. The parking spaces are located in front of the store facing Alta Drive.

There is little or no landscaping for the existing commercial center. The one planter that is indicated on the site plan has been designated for future commercial development.

The elevations of the existing one-story commercial strip center include a white stucco exterior and a flat roof.

Agenda Item

113

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** ABEYANCE ITEM - SPECIAL USE PERMIT - PUBLIC HEARING - U-37-99 - CHARLESTON HEIGHTS
SHOPPING CENTER ON BEHALF OF AUTO AID, LIMITED LIABILITY COMPANY**PURPOSE/BACKGROUND****ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:**

North:	C-2	Car Sales
South:	C-2	Commercial
East:	C-2	Restaurant & Service Station
West:	C-1	Commercial

FINDINGS:

Staff acknowledges that it is unusual for a used car lot to be placed within a shopping center. However, because the building where the applicant is proposing to locate his business is oriented toward the street and away from the remainder of the shopping center, staff believes this use will not have a detrimental affect on the center. Additionally, directly across the street from this portion of the shopping center is the existing Fletcher Jones Auto Dealership. Staff finds that the configuration of this shopping center will allow the proposed use to be compatible with the surrounding land uses

The applicant has indicated in his lease agreement that his use is allocated 11 parking spaces within the overall development. The submitted floor plans indicate eight desks for employees, and there are three required spaces. If this is the case there will be no space for parking inventory for display. Because of this, staff recommends that this Special Use Permit be limited to a maximum of five cars for sale on the lot.

The Planning Commission (2-0-2 vote) and staff recommend APPROVAL.

[Note: At the Planning Commission meeting, the applicant indicated that the submitted floor plan is a copy of a plan used several years ago for a previous dealership at this location. This will be a two or three man operation. Based on the information provided, the Planning Commission allowed a maximum of 11 cars, not to be older than six model years.

PC NOTICES MAILED: 92

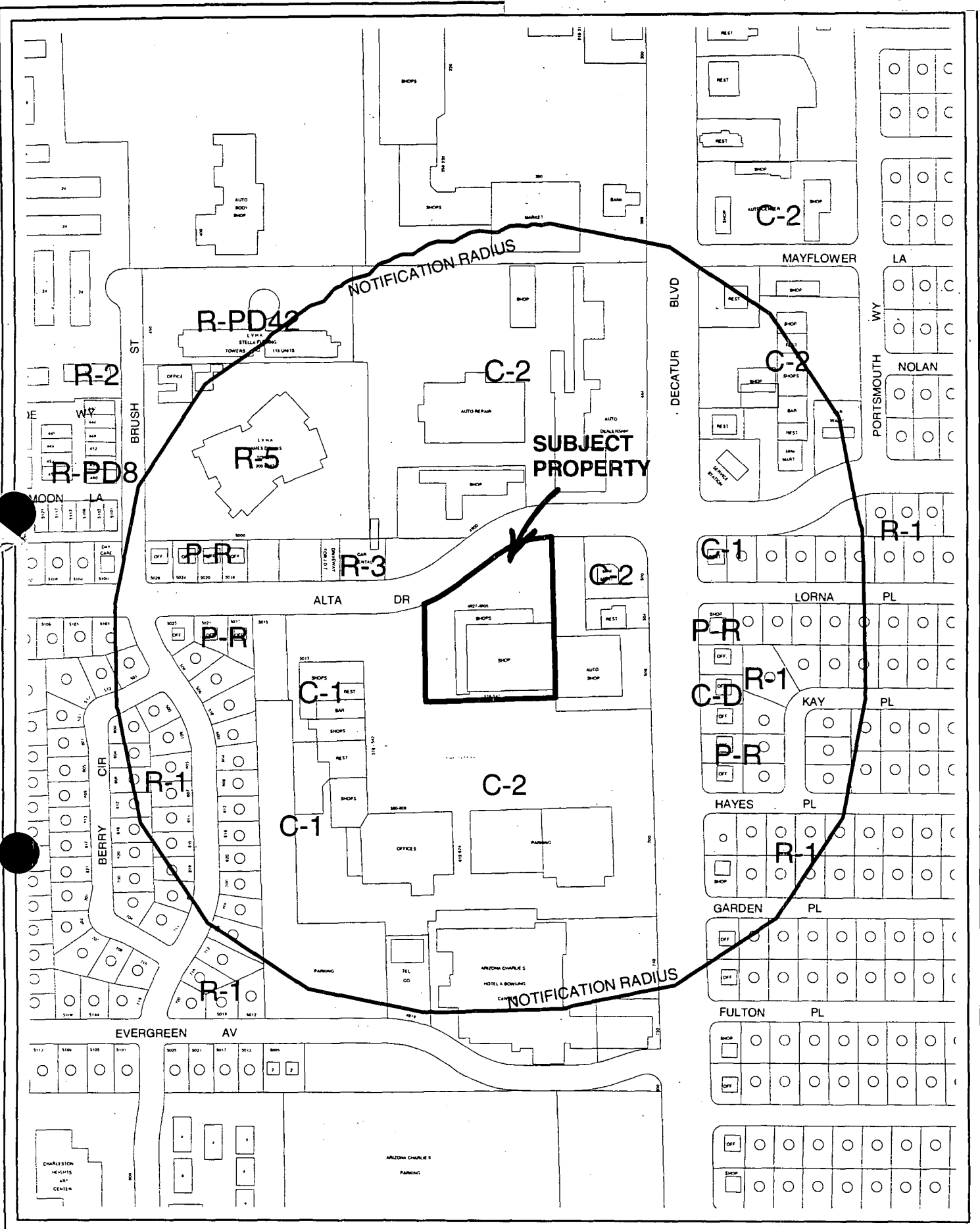
APPROVALS: 1

PROTESTS: 1

SEE ATTACHED LOCATION MAP

Agenda Item

--



CASE: U-37-99
RADIUS: 750 FT



U-37-99

4-8-99 PC

$$\begin{aligned}\Delta &= 32^\circ\text{C} \\ R &= 260.0 \\ T &= 74.7 \\ L &= 145.6\end{aligned}$$

(80.00 FEET WIDE)

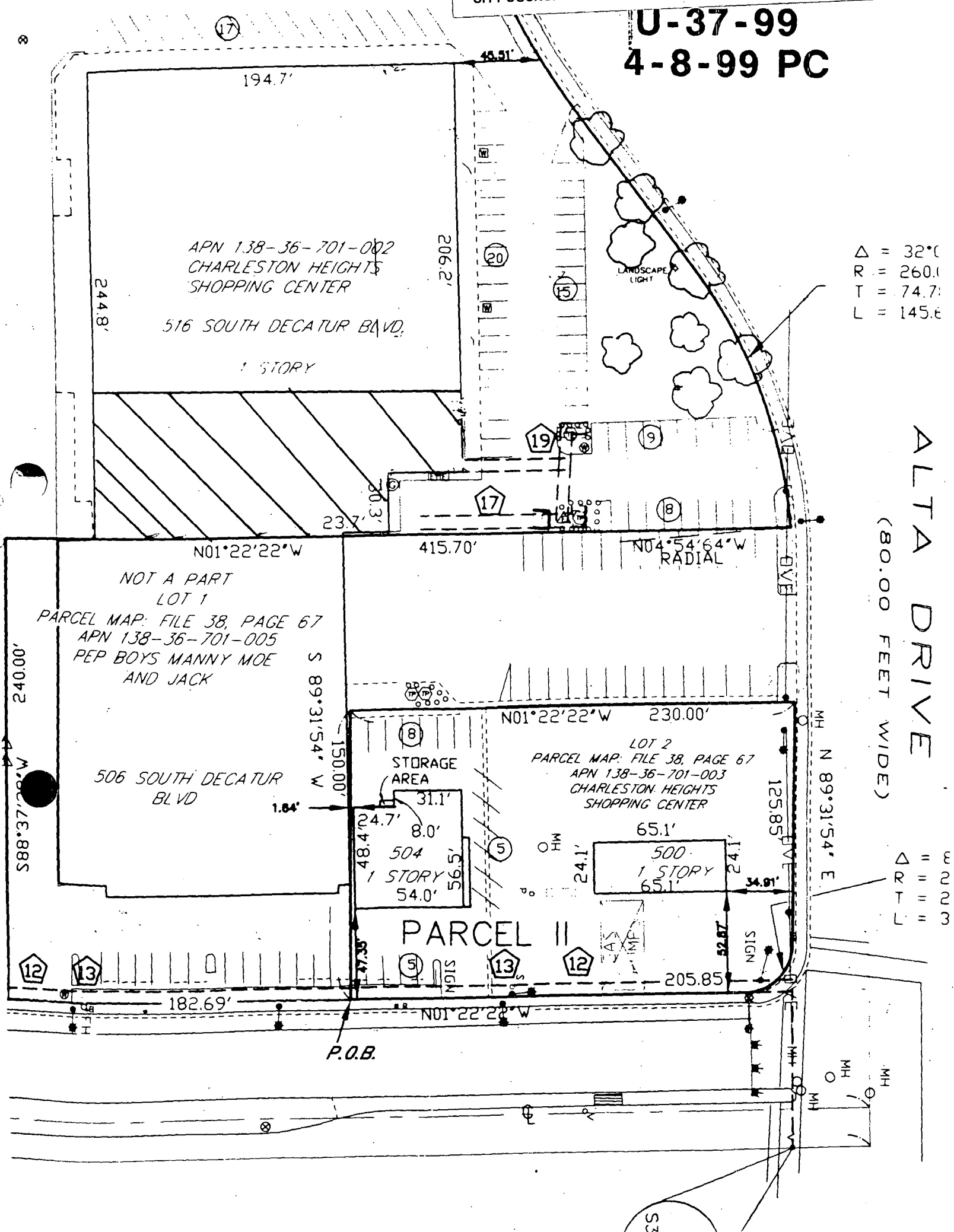
$$\begin{aligned}\Delta &= 8 \\ R &= 2 \\ T &= 2 \\ L &= 3\end{aligned}$$


EXHIBIT "A" to Lease dated this 9th day of November, 1998, by and between CHARLESTON HEIGHTS SHOPPING CENTER hereinafter called "Landlord" and DAVID L. BIDDLE, AS AN INDIVIDUAL DBA AUTO AID BROKERS & CONSULTANTS, Tenant, for the premises located at 4905-4907 Alta Drive, Las Vegas, NV 89107.

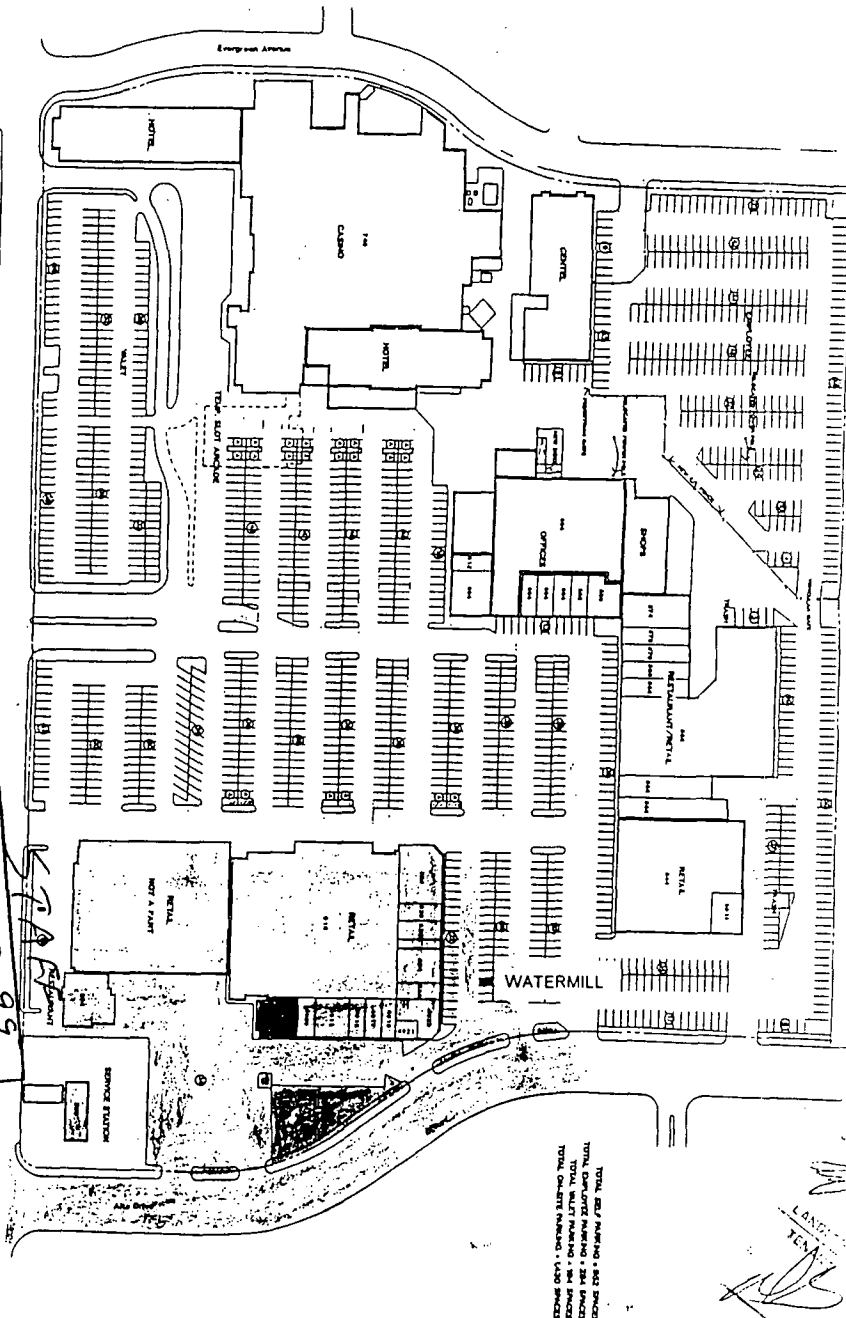
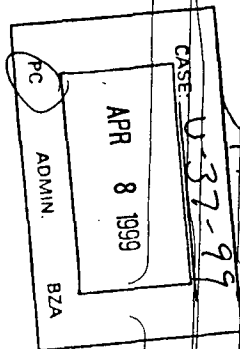
CHARLESTON HEIGHTS SHOPPING CENTER

Southwest corner of Decatur Boulevard and Alta Drive

4-9-99 PC

U-37-99

CASE: U-37-99



SITE PLAN

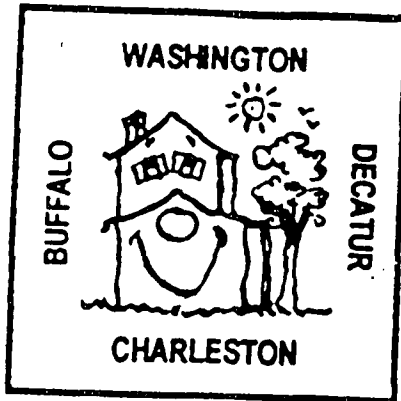
Charleston Heights Shopping Center
On-Site Vehicular Parking

DATE	01/01/99
BY	J. B. BIDDLE
DATE	01/01/99
BY	J. B. BIDDLE
DATE	01/01/99
BY	J. B. BIDDLE

MARNELL CORRAO ASSOCIATES
ARCHITECTS PLANNERS DESIGNERS CONSULTANTS
1000 Las Vegas Blvd. S., Suite 1000, Las Vegas, NV 89101



U-37-99



CHARLESTON NEIGHBORHOOD PRESERVATION

"Doing things today that will make a difference tomorrow"

21 May 1999

(American Red Cross funded)

statements FOR AUTO AID provided PERMANENT LOCATION at SW corner of Becker Properties at Decatur & Alta::

COUNCILMEN & MAYOR:

We were informed that U-37-99 on the 2 PM agenda for 24 May had been removed. The city clerk informs us that this item is #113 and STILL on the agenda.

Therefore, we will share a few of our comments which have been compiled after spending over an hour at the site in one visit and subsequent spot checks at various times of the day.

AUTO AID owner has and keeps this corner lot spotless, gathering trash (paper) which blows over from ROSS clothing (they need several large dumpsters since their refuse is /was not contained).

Noting that the 11 car spaces allowed AUTO AID are at the most Northerly side of the lot and the statement of the owner that only 5-6 of those are used, we see this business most appropriate for this corner.

The employees from the auto dealer on the North side of Alta park their vehicles in a variety of locations in this general area which could pose a "public nuisance" in the area. We note that AUTO AID has the type of standards AND the personnel to foster safety along with providing a corner anchor displaying a model of appropriate business practices.

No window paint, no balloons, no flags, an 8½X11 buyers guide paper is on the windshield and side rear window of each vehicle on display.

Better Business Bureau & Chamber of Commerce stickers identify this as one that we want in this location.

Test drives are taken miles away off US-95 to the West so the integrity of the neighborhood is maintained. Plus the vehicles are kept polished.

URGE MAYOR JONES AND ALL COUNCILMEN TO MAKE AUTO AID PERMANENT IN THIS LOCATIC

137 S. Lorenzi St., Las Vegas, Nv. 89107

[Handwritten signatures]

#113

⑧ Businesses near AUTO AID:: (from WEST to EAST)

Good Neighbor Pharmacy	McDonald hdq.
Tavern	Stage Struck shoes
Laundromat	Simply Smart Home-security
Vogue Cleaners	Cash Out
Peter Piper Pizza	Mark James hdq.
Florist	Point Blank framing
Hair & NAILS	Thai Silk
Wear Merchant	AUTO AID
Insurance	
Arizona Charlies hotel & casino	
Pastry Chef	
Ross	
Pep Boys	

⑧ AUTO AID is a beneficial business for this particular location because:

C-2 zone
test drives off US 95 (to West)
Becker owns SW corner Alta to Evergreen approved
2 immediate exits onto ALta
no window paint
no balloons
no flags
8½ X 11 inch buyers guide on window
Better Business Bureau
Chamber of Commerce
\$30,000 invested
safe-run business
cars polished at least once a week
No repairs on lot or on site
clean asphalt--no trash & good condition
clearly marked parking
business owners with an ATTITUDE OF ADDING TO AN AREA RATHER THAN 'TAKING' FROM !!

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 89

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**SPECIAL USE PERMIT - PUBLIC HEARINGU-4-99 - S & S #2, LIMITED LIABILITY
COMPANY ON BEHALF OF AJ's MINI-MART

Request for a Special Use Permit on property located at 400 North Eastern Avenue FOR A SERVICE STATION (GASOLINE SALES) IN CONJUNCTION WITH A PROPOSED CONVENIENCE STORE (AJ's MINI-MART), R-3 (Medium Density Residential) Zone under Resolution of Intent to C-1 (Limited Commercial), Ward 3 (Reese), APN: 139-36-210-003.

NOTICES MAILED: 182 BY CITY CLERK

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 1

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 1

Planning Commission (5-1 vote) and staff recommend **WITHDRAWAL WITHOUT PREJUDICE** of the off-premise sale of beer and wine and waiver of the minimum distance separation; and **APPROVAL** (6-0 vote) of the service station (gasoline sales), subject to:

1. This action does not constitute approval of a liquor license.

REESE - APPROVED subject to conditions and withdrawing without prejudice the sale of off-premise beer and wine - Motion carried with JONES not voting and ADAMSEN excused

MAYOR JONES declared the Public Hearing open.

ATTORNEY PAUL LARSEN, Lionel Sawyer & Collins, 300 South Fourth Street, appeared to represent the applicant. Construction of this store was started and not completed. During the completion phase the prior operator ran out of capital. At that time the applicant took over the project and has taken it to completion. The mini-mart and Mobil gasoline station are almost ready to open. The application previously had an alcohol sales component which has been withdrawn.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

(4:23 - 4:25)

5 - 686

114

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 90

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**U-4-99 - S & S #2, LIMITED LIABILITY
COMPANY ON BEHALF OF AJ's MINI-MART

2. Conformance to all applicable Conditions of Approval for Rezoning Application Z-115-94 and Plot Plan and Building Elevation Review Z-115-94(1).

3. All development shall be in conformance with the site development plan and building elevations.

4. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. For non-residential developments, failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

5. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

6. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

7. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.

8. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 91

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**U-4-99 - S & S #2, LIMITED LIABILITY
COMPANY ON BEHALF OF AJ's MINI-MART

9. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.

10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

11. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet.



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: SPECIAL USE PERMIT - PUBLIC HEARING - U-4-99 - S & S #2, LIMITED LIABILITY COMPANY ON BEHALF OF AJ'S MINI-MART

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This request is for a Special Use Permit on property located at 400 North Eastern Avenue for the off-premise sale of beer and wine and a service station (gasoline sales) in conjunction with a proposed convenience store. The applicant's justification letter indicates a Special Use Permit was approved on October 18, 1995 to allow off-premise sale of beer and wine and gasoline sales in conjunction with the proposed convenience store. The Special Use Permit was not exercised within the one year time limit and no extension was filed and has therefore expired. Additionally, a waiver of the 400 foot minimum distance separation from an existing church and daycare (licensed for more than 12 children) is required.

BACKGROUND DATA:

11/16/94	The City Council approved C-1 (Limited Commercial) zoning for this site as part of a larger request (Z-115-94).
03/23/95	The Planning Commission approved a Plot Plan and Building Elevation Review for the convenience store on this site which also included a minor auto repair building and a mini-storage facility [Z-115-94(1)].
10/18/95	The City Council approved a Special Use Permit for the off-premise sale of beer and wine and gasoline sales in conjunction with a proposed convenience store which has expired (U-120-95).

DETAILS OF APPLICATION REQUEST:

Site Area:	4.16	Acres (Overall)
Building Area (Convenience Store):	4,184	Square Feet
Parking Required:	17	Spaces
Parking Provided:	19	Spaces

Agenda Item

114

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: SPECIAL USE PERMIT - PUBLIC HEARING - U-4-99 - S & S #2, LIMITED LIABILITY COMPANY ON BEHALF OF AJ'S MINI-MART

PURPOSE/BACKGROUND

Construction of this site was started but never completed. Partially finished structures include the convenience store and gasoline pump islands and canopy. Access to the site is via one driveway from Eastern Avenue and one driveway from Cedar Avenue. The parking area is unpaved and no landscaping has been installed. The building elevations consist of a stucco exterior and a flat roof with tile accents.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	C-1	Fast Food Restaurant and Unimproved
South		Freeway Off-Ramp
East	C-1	Unimproved
West	C-1	Offices and Retail

FINDINGS:

USES:

Off-Premise sale of Beer and Wine:

Chapter 19A.04.050 of the City of Las Vegas Zoning Code establishes the criteria for the approval of liquor establishments. The Code states no beer/wine/cooler off-sale use shall be located within 400 feet of any church, synagogue, school, child care facility licensed for more than twelve children or City park. The Code now also requires that distances shall be determined with reference to the shortest distance between two property lines, one being the property line of the proposed liquor establishment which is closest to the existing use, and the other being the property line of that existing use which is closest to the proposed liquor establishment (off-premise consumption).

This site is within 400 feet of an existing church. The applicant has not provided anything to staff to indicate they have received support from the church.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** SPECIAL USE PERMIT - PUBLIC HEARING - U-4-99 - S & S #2, LIMITED LIABILITY COMPANY ON
BEHALF OF AJ'S MINI-MART**PURPOSE/BACKGROUND**

Staff recommends accepting the applicant's request to withdraw without prejudice the request for off-premise beer and wine sales.

Additionally, the City of Las Vegas Redevelopment Agency does not support this request.

Service Station:

The proposed service station (gasoline sales) meets the Code requirements for approval of this type of use. Staff feels this use can be conducted in a manner that is harmonious and compatible with surrounding land uses and development, and is recommending approval of this portion of the request.

PLOT PLAN:

The site plan for this development was previously approved by the Planning Commission and permits were issued for the convenience store and gasoline pump islands and canopy. Because this site is partially constructed, it may not be possible to enforce current code requirements with regard to landscaping. Staff feels the Conditions of Approval for Plot Plan and Building Elevation Review Z-115-94(1) should continue to apply.

The Planning Commission (5-1 vote) and staff recommend **WITHDRAWAL WITHOUT PREJUDICE** of the off-premise sale of beer and wine and waiver of the minimum distance separation; and **APPROVAL** (6-0 vote) of the service station (gasoline sales).

PC NOTICES MAILED: 181

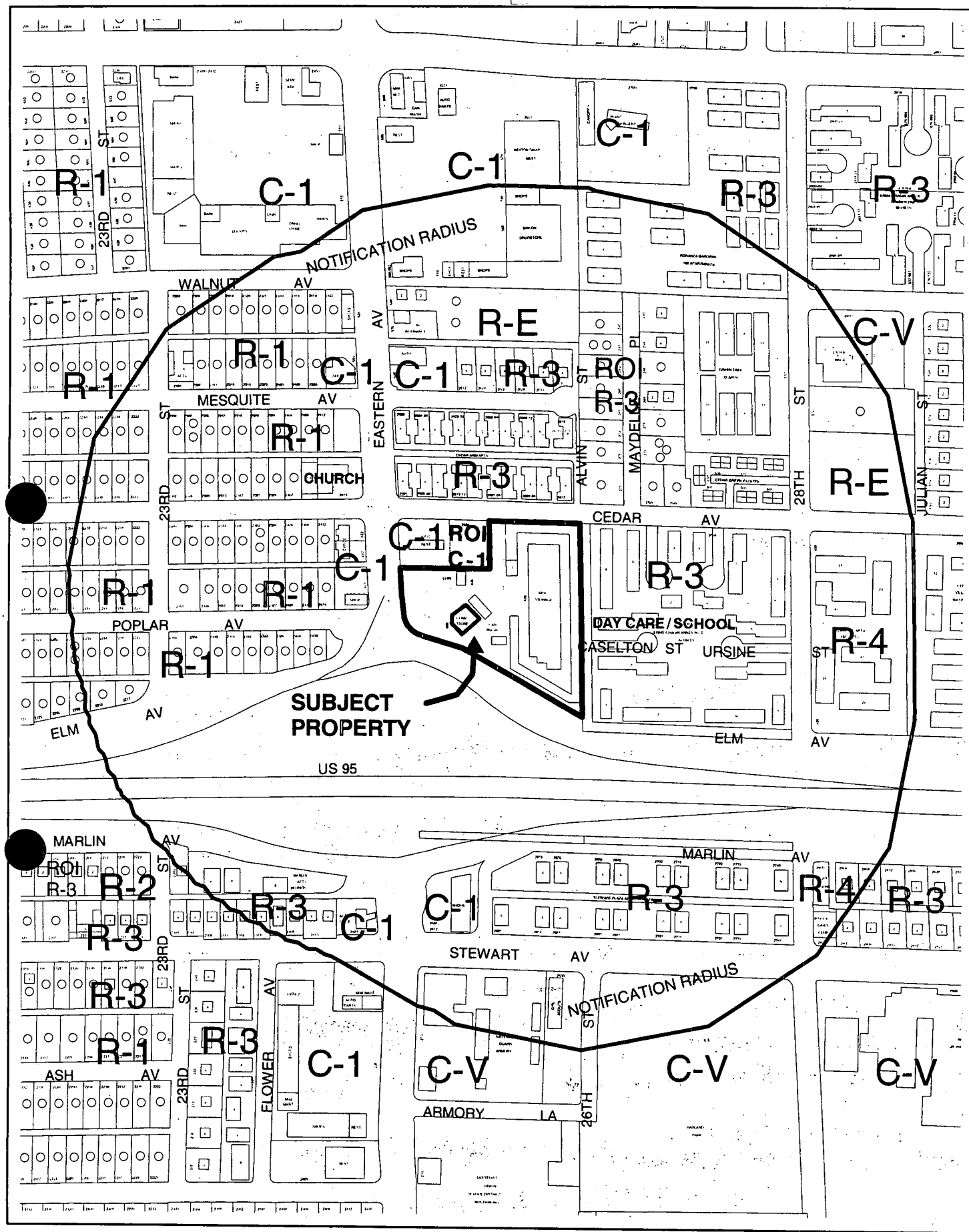
APPROVALS: 0

PROTESTS: 1

SEE ATTACHED LOCATION MAP

Agenda Item

--

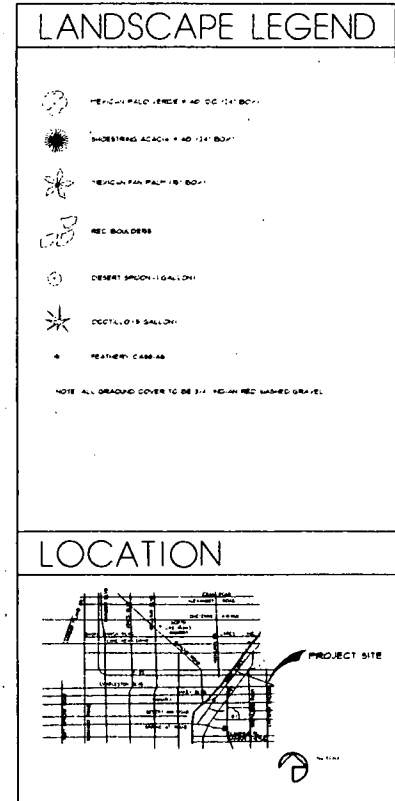
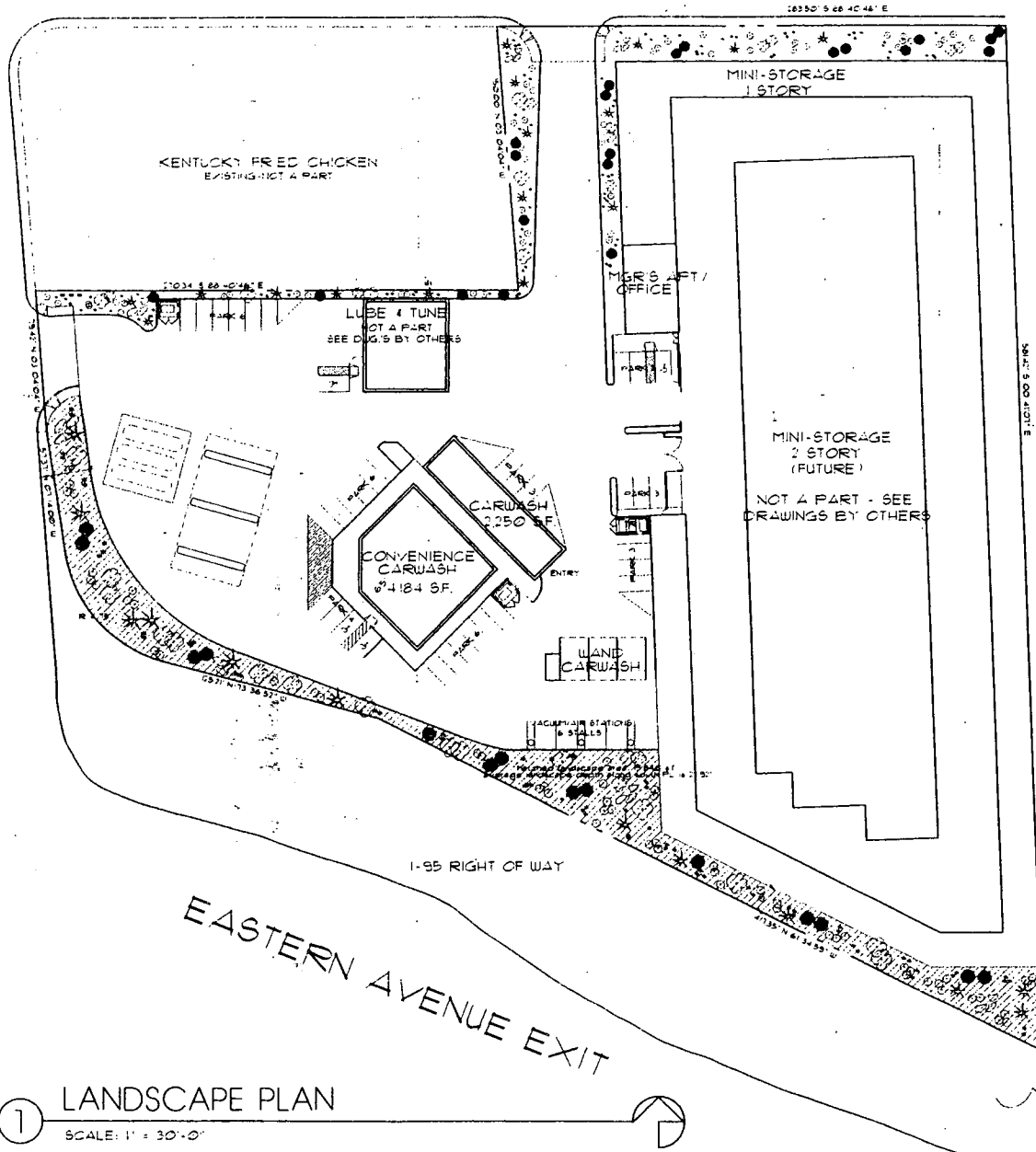


CASE: U-4-99
RADIUS: 1000 FT



CEDAR AVENUE

EASTERN AVENUE



U-4-99
2-25-99 PC

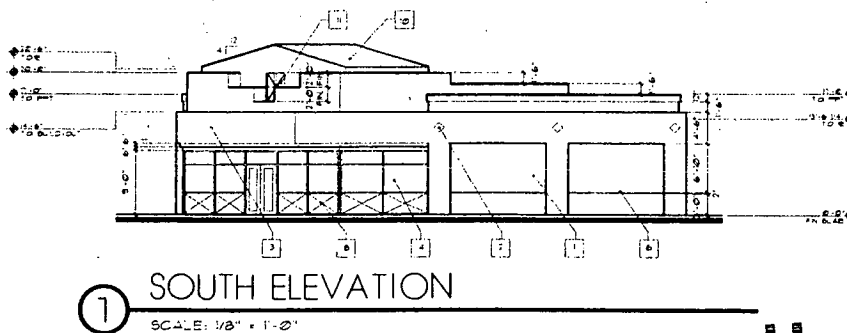
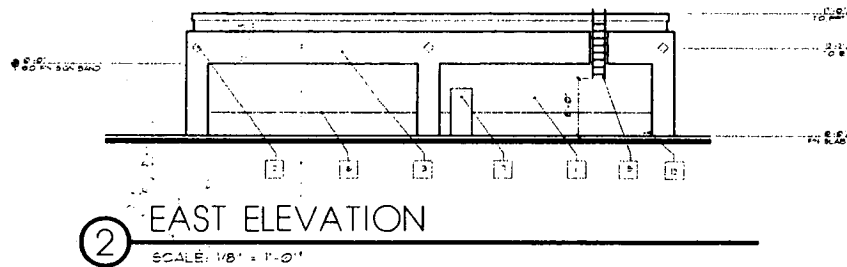
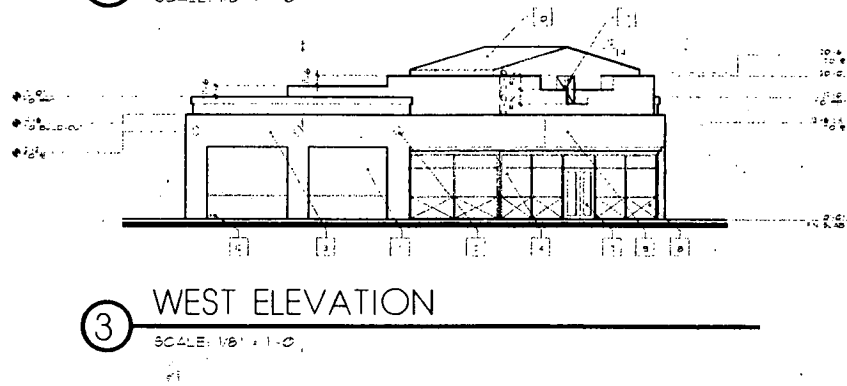
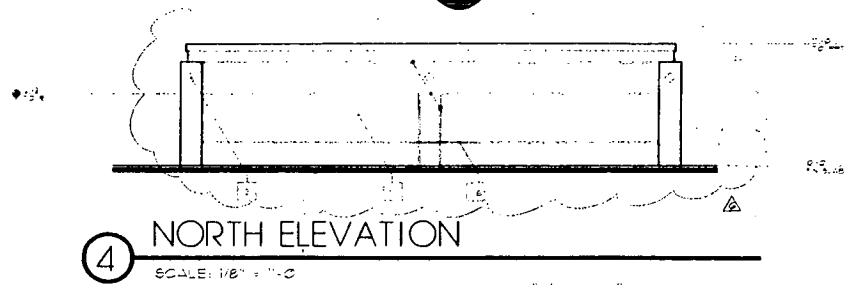
STAFF

revisions
A
B
C

john
dani
bume
architect

Convenience Store
for: Grove Construction

date
proj. no.
drawn by
sheet no.
17



NOTE: EXTERIOR STUCCO TO BE SAND FINISH WITH (2)
COATS OF ELASTOMERIC MASONRY PAINT
NOTE: ALL EXPOSED STUCCO CORNERS TO HAVE RIGHT ANGLE
STUCCO CORNER BEADS

U-4-99
2-25-99 PC

KEYNOTES

NO.	DESCRIPTION
1	1" STUCCO FINISH OVER BRICKWORK
2	STUCCO TO BE SAND FINISH
3	COATS OF ELASTOMERIC MASONRY PAINT
4	COATS OF ELASTOMERIC MASONRY PAINT
5	COATS OF ELASTOMERIC MASONRY PAINT
6	COATS OF ELASTOMERIC MASONRY PAINT
7	COATS OF ELASTOMERIC MASONRY PAINT
8	COATS OF ELASTOMERIC MASONRY PAINT
9	COATS OF ELASTOMERIC MASONRY PAINT
10	COATS OF ELASTOMERIC MASONRY PAINT
11	COATS OF ELASTOMERIC MASONRY PAINT
12	COATS OF ELASTOMERIC MASONRY PAINT
13	COATS OF ELASTOMERIC MASONRY PAINT
14	COATS OF ELASTOMERIC MASONRY PAINT
15	COATS OF ELASTOMERIC MASONRY PAINT
16	COATS OF ELASTOMERIC MASONRY PAINT
17	COATS OF ELASTOMERIC MASONRY PAINT
18	COATS OF ELASTOMERIC MASONRY PAINT
19	COATS OF ELASTOMERIC MASONRY PAINT
20	COATS OF ELASTOMERIC MASONRY PAINT
21	COATS OF ELASTOMERIC MASONRY PAINT
22	COATS OF ELASTOMERIC MASONRY PAINT
23	COATS OF ELASTOMERIC MASONRY PAINT
24	COATS OF ELASTOMERIC MASONRY PAINT
25	COATS OF ELASTOMERIC MASONRY PAINT
26	COATS OF ELASTOMERIC MASONRY PAINT
27	COATS OF ELASTOMERIC MASONRY PAINT
28	COATS OF ELASTOMERIC MASONRY PAINT
29	COATS OF ELASTOMERIC MASONRY PAINT
30	COATS OF ELASTOMERIC MASONRY PAINT
31	COATS OF ELASTOMERIC MASONRY PAINT
32	COATS OF ELASTOMERIC MASONRY PAINT
33	COATS OF ELASTOMERIC MASONRY PAINT
34	COATS OF ELASTOMERIC MASONRY PAINT
35	COATS OF ELASTOMERIC MASONRY PAINT
36	COATS OF ELASTOMERIC MASONRY PAINT
37	COATS OF ELASTOMERIC MASONRY PAINT
38	COATS OF ELASTOMERIC MASONRY PAINT
39	COATS OF ELASTOMERIC MASONRY PAINT
40	COATS OF ELASTOMERIC MASONRY PAINT
41	COATS OF ELASTOMERIC MASONRY PAINT
42	COATS OF ELASTOMERIC MASONRY PAINT
43	COATS OF ELASTOMERIC MASONRY PAINT
44	COATS OF ELASTOMERIC MASONRY PAINT
45	COATS OF ELASTOMERIC MASONRY PAINT
46	COATS OF ELASTOMERIC MASONRY PAINT
47	COATS OF ELASTOMERIC MASONRY PAINT
48	COATS OF ELASTOMERIC MASONRY PAINT
49	COATS OF ELASTOMERIC MASONRY PAINT
50	COATS OF ELASTOMERIC MASONRY PAINT
51	COATS OF ELASTOMERIC MASONRY PAINT
52	COATS OF ELASTOMERIC MASONRY PAINT
53	COATS OF ELASTOMERIC MASONRY PAINT
54	COATS OF ELASTOMERIC MASONRY PAINT
55	COATS OF ELASTOMERIC MASONRY PAINT
56	COATS OF ELASTOMERIC MASONRY PAINT
57	COATS OF ELASTOMERIC MASONRY PAINT
58	COATS OF ELASTOMERIC MASONRY PAINT
59	COATS OF ELASTOMERIC MASONRY PAINT
60	COATS OF ELASTOMERIC MASONRY PAINT
61	COATS OF ELASTOMERIC MASONRY PAINT
62	COATS OF ELASTOMERIC MASONRY PAINT
63	COATS OF ELASTOMERIC MASONRY PAINT
64	COATS OF ELASTOMERIC MASONRY PAINT
65	COATS OF ELASTOMERIC MASONRY PAINT
66	COATS OF ELASTOMERIC MASONRY PAINT
67	COATS OF ELASTOMERIC MASONRY PAINT
68	COATS OF ELASTOMERIC MASONRY PAINT
69	COATS OF ELASTOMERIC MASONRY PAINT
70	COATS OF ELASTOMERIC MASONRY PAINT
71	COATS OF ELASTOMERIC MASONRY PAINT
72	COATS OF ELASTOMERIC MASONRY PAINT
73	COATS OF ELASTOMERIC MASONRY PAINT
74	COATS OF ELASTOMERIC MASONRY PAINT
75	COATS OF ELASTOMERIC MASONRY PAINT
76	COATS OF ELASTOMERIC MASONRY PAINT
77	COATS OF ELASTOMERIC MASONRY PAINT
78	COATS OF ELASTOMERIC MASONRY PAINT
79	COATS OF ELASTOMERIC MASONRY PAINT
80	COATS OF ELASTOMERIC MASONRY PAINT
81	COATS OF ELASTOMERIC MASONRY PAINT
82	COATS OF ELASTOMERIC MASONRY PAINT
83	COATS OF ELASTOMERIC MASONRY PAINT
84	COATS OF ELASTOMERIC MASONRY PAINT
85	COATS OF ELASTOMERIC MASONRY PAINT
86	COATS OF ELASTOMERIC MASONRY PAINT
87	COATS OF ELASTOMERIC MASONRY PAINT
88	COATS OF ELASTOMERIC MASONRY PAINT
89	COATS OF ELASTOMERIC MASONRY PAINT
90	COATS OF ELASTOMERIC MASONRY PAINT
91	COATS OF ELASTOMERIC MASONRY PAINT
92	COATS OF ELASTOMERIC MASONRY PAINT
93	COATS OF ELASTOMERIC MASONRY PAINT
94	COATS OF ELASTOMERIC MASONRY PAINT
95	COATS OF ELASTOMERIC MASONRY PAINT
96	COATS OF ELASTOMERIC MASONRY PAINT
97	COATS OF ELASTOMERIC MASONRY PAINT
98	COATS OF ELASTOMERIC MASONRY PAINT
99	COATS OF ELASTOMERIC MASONRY PAINT
100	COATS OF ELASTOMERIC MASONRY PAINT

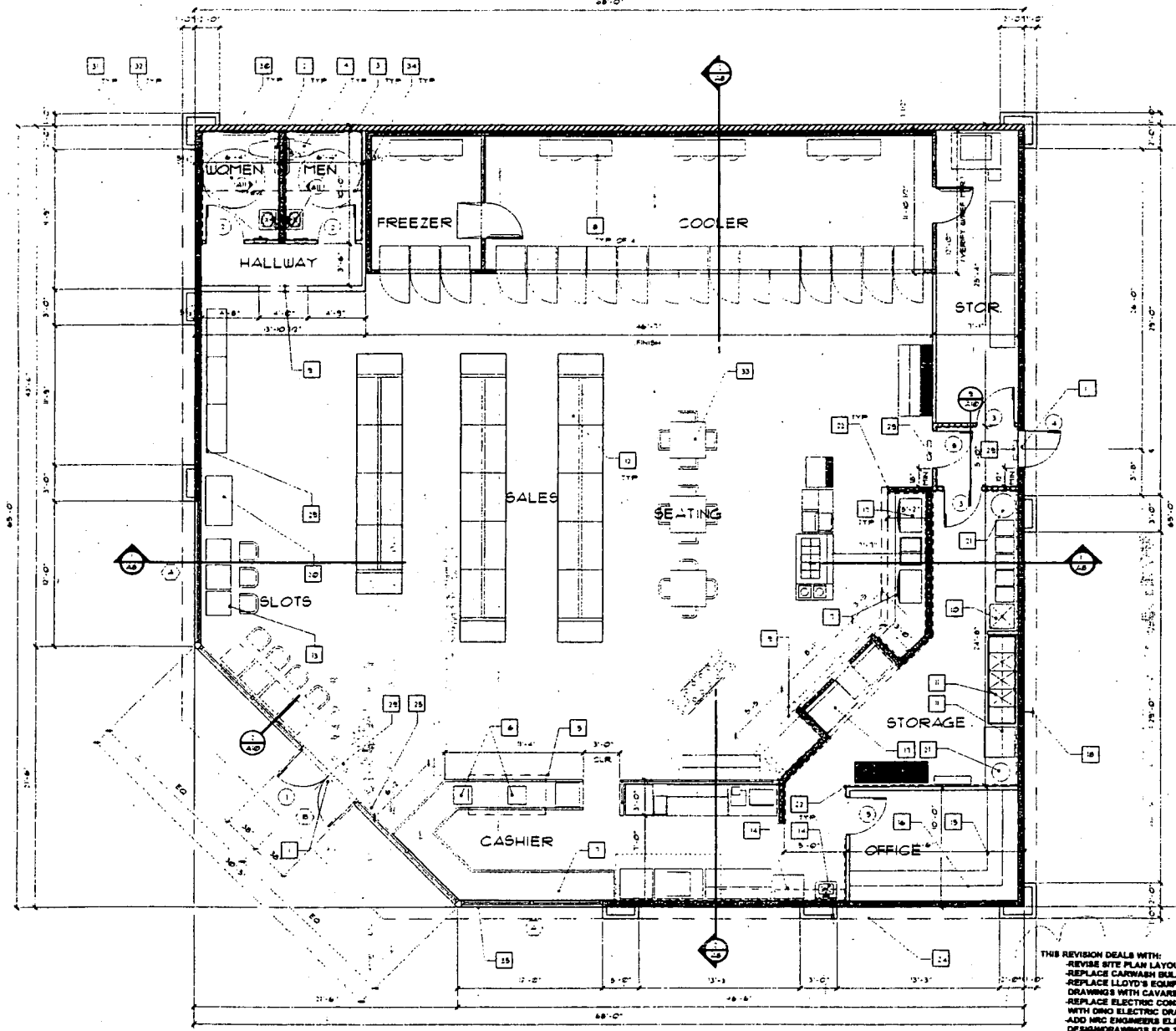
revisions

john
dahl
burke, architect
1999-9-13-11 1000 N. 10TH ST. CH. 10TH FLOOR, S. 10TH

Convenience Store
for: Grove Construction

date
proj. no.
dwg. by
sheet no.
A2

STAFF



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE SEE DRAWINGS FOR ALL REQUIREMENTS SPEC LOADS & LOCATIONS
NOTE ALL EXPOSED STYROBOARD CORNERS TO HAVE BULLHORN CORNER BRADS

THIS REVISION DEALS WITH:
- REVISE SITE PLAN LAYOUT
- REPLACE CASHWASH BUILDINGS
- REPLACE LLOYD'S EQUIPMENT
- DRAWINGS WITH CAVARETTA DRAWINGS
- REPLACE ELECTRIC CONSTRUCTION DRAWINGS WITH DINO ELECTRIC DRAWINGS
- ADD MRC ENGINEER ELECTRICAL DESIGN DRAWINGS FOR THE CASHWASHES

NOTE ALL ACCESSIBLE ENTRANCES TO THE BUILDING & RESTROOM FACILITIES ARE REQUIRED TO BE CENTRED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY

KEYNOTES	
1	ALUMINUM THRESHOLD - 1" STEP RAUPUT
2	HAND CAP GRASSHOPS - 13" AFF. 12" LONG AT REAR - 42" LONG AT SIDE - 12" DIA. 1/8" PER AFF. 12" SEC. 4" DIA
3	ATREDS CHINA SALL HING BNC L 15" DIA KNEE SPACE BELOW
4	TOILET
5	CIGARETTE RACK ABOVE - DESIGN & INSTALLATION BY GENERAL CONTRACTOR
6	CASH REGISTER WITH PRINTER BELOW - COORDINATE ELECTRICAL CONNECTION FOR POWER REQUIREMENTS
7	PLASTIC LUMINATE OVER PARTIAL BOARD CABINETS - SEE DRAWINGS BY OTHERS
8	REFRIGERATION UNIT - SEE DRAWINGS BY OTHERS
9	LINE OF BOPPY ABOVE
10	HOP BNC - SEE DRAWINGS BY OTHERS
11	3 COMPARTMENT BNC - SEE DRAWINGS BY OTHERS
12	MERCHEMINE SCHOOLS - SEE DRAWINGS BY OTHERS
13	BLO'S - SEE DRAWINGS BY OTHERS
14	HANDSINK - SEE DRAWINGS BY OTHERS
15	13" PLASTIC LUMINATE DECK - VERIFY HEIGHT & OWNER
16	SHELVES - BY OTHERS
17	FOOD SERVICE EQUIPMENT - SEE DRAWINGS BY OTHERS
18	RECEIVED HOME BNC
19	ICE MACHINE
20	WASH MACHINE
21	HOT WATER HEATER
22	WALL MOUNT STAINLESS STEEL CORNER GUARDS
23	HOT USED
24	LINE OF STUCCO BOPPY ILLUMINATED SIGN BAND ABOVE
25	13" 1/2" DIA PAINTED STYED PONT WALL
26	VERDY - SUPPLY BY OWNER
27	ACCA TANKS
28	CLEAR FLOOR SPACE AS PER AND SEC. 4472
29	ILLUMINATED EXIT SIGN ABOVE (SEE REFLECTED CEILING PLAN)
30	ROAD D SPENDER
31	HAND TOLL & TRASH RECEPTICAL
32	18" HANDCAP CIRCLE
33	TABLE SEATING
34	15" X 60" CLEAR FLOOR SPACE
35	LINE OF STUCCO PONT WALL - HANDCAP - 36" HIGH FROM

ENERGY VALUES	
U	VALUE OF EXTERIOR WALL - 0.48 BTU/H·FT²
R	VALUE OF ROOF - 25 BTU/H·FT²
U	VALUE OF GLAZING - 0.76 BTU/H·FT²

LEGEND	
	TYPICAL INTERIOR WALL - 1/4" STUDS @ 16" OC US 5/8" STYED BOTH SIDES
	TYPICAL EXTERIOR WALL - 1/4" STUDS @ 16" OC US 5/8" STYED INTERIOR FACE 1 1/2" STYED EXTERIOR 1/2" BATT INSULATION
	FRP
	1/2" INTERIOR WALL - 1/4" STUDS @ 16" OC 5/8" STYED BOTH SIDES
	1/2" EXTERIOR WALL - 1/4" STUDS @ 16" OC 5/8" STYED EXTERIOR 1/2" BATT INSULATION

revisions
A
B
C
D
E
F
G
H
I
J
K
L
M
N
O
P
Q
R
S
T
U
V
W
X
Y
Z

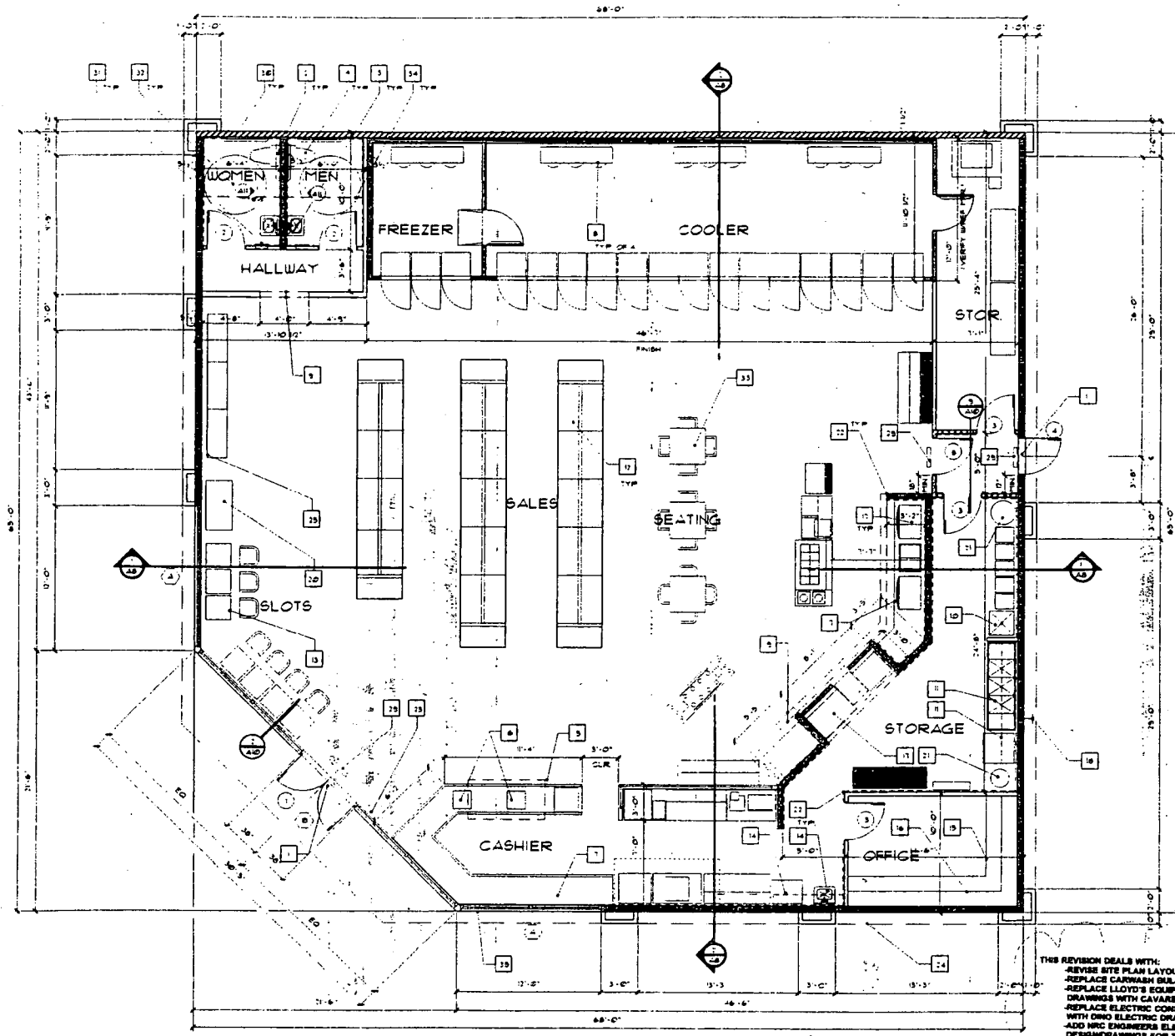
john
burke
architect

Convenience Store
for: Grove Construction

date
no.
sheet

U-4-99
2-25-99 PC

STAFF



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: SEE DRAWINGS FOR ALL REQUIREMENTS SPECIFIC LOADS & LOCATIONS
NOTE: ALL 5'x5' SEC 5" MIN BOARD CORNERS TO HAVE BUILDING CORNER BEADS

THIS REVISION DEALS WITH:
-REVISE SITE PLAN LAYOUT
-REPLACE CARWASH BUILDINGS
-REPLACE LLOYD'S EQUIPMENT
-DRAWINGS WITH CAVARETTA DRAWINGS
-REPLACE ELECTRIC CONSTRUCTION DRAWINGS
-WITH DRG ELECTRIC DRAWINGS
-ADD NRC ENGINEERS ELECTRICAL
-DESIGN DRAWINGS FOR THE CARWASHES

NOTE: ALL ACCESSIBLE ENTRANCES TO THE BUILDING & RESTROOM FACILITIES ARE REQUIRED TO BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY

KEYNOTES	
1	ASSOCIATION
2	ALUMINUM THRESHOLD - 1" STEP MAXIMUM
3	HAND CAP GRABBARS 4" DIA. 1" DIA. LONG AT REAR - 1" DIA. LONG AT SIDE - 1" DIA. THRESHOLD REAR AND SIDE - SEE DRG.
4	STANDARD CHINA SINK 18" DIA. 18" DIA. SPACE BELOW
5	TOILET
6	CABINET BACK ABOVE - DESIGN & INSTALLATION BY GENERAL CONTRACTOR
7	CASH REGISTER WITH PRINTER BELOW - COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER REQUIREMENTS
8	PLASTIC LAMINATE OVER PARTICAL BOARD CABINETRY - SEE DRAWINGS BY OTHERS
9	REFRIGERATION UNIT - SEE DRAWINGS BY OTHERS
10	LINE OF SLOTT ABOVE
11	TOP SINK - SEE DRAWINGS BY OTHERS
12	3 COMPARTMENT SINK - SEE DRAWINGS BY OTHERS
13	MERCHANDISE SHELVES - SEE DRAWINGS BY OTHERS
14	SLOTS - SEE DRAWINGS BY OTHERS
15	HANDSINK - SEE DRAWINGS BY OTHERS
16	18" PLASTIC LAMINATE COUNTER - VERIFY HEIGHT & NUMBER SHELVES - BY OTHER
17	FOOD SERVICE EQUIPMENT - SEE DRAWINGS BY OTHERS
18	RECESSED HOLE SINK
19	ICE MACHINE
20	ATM MACHINE
21	HOT WATER HEATER
22	ALL HEIGHT STAINLESS STEEL CORNER GUARDS
23	NOT USED
24	LINE OF STUCCO SLOTT/ILLUMINATED SIGN BAND ABOVE
25	18" X 18" PAINTED GYPD. POINT WALL
26	PERIOD - SUPPLIED BY OWNER
27	MODA TANKS
28	CLEAR FLOOR SPACE AS PER AMB. SEC. 4.1.2
29	ILLUMINATED EXIT SIGN ABOVE (SEE REFLECTED CEILING PLAN)
30	SOUP DISPENSER
31	HAND TOWEL / TRASH RECEPTACLE
32	18" HANDICAP CIRCLE
33	TABLE SEATING
34	18" X 6" CLEAR FLOOR SPACE
35	LINE OF STUCCO POINT WALL - 1/4" MIN COAT - 3/8" HIGH FINISH

ENERGY VALUES

U-VALUE OF EXTERIOR WALL: 2.48 Btu/h-ft²
U-VALUE OF ROOF: 2.5 Btu/h-ft²
U-VALUE OF GLAZING: 0.76 Btu/h-ft²

LEGEND

---	TYPICAL INTERIOR WALL 1/2" STUDS @ 16" OC U.S.G. 5/8" GYPD. BOTH SIDES
---	TYPICAL EXTERIOR WALL 1/2" STUDS @ 16" OC U.S.G. 5/8" GYPD. INTERIOR FACE 1/2" STUCCO EXTERIOR 1/2" BATT INSULATION
---	R.R.P.
---	1/4" INTERIOR WALL 1/2" STUDS @ 16" OC U.S.G. 5/8" GYPD. BOTH SIDES
---	1/4" EXTERIOR WALL 1/2" STUDS @ 16" OC U.S.G. 5/8" GYPD. 1/2" STUCCO EXTERIOR 1/2" BATT INSULATION

revisions

John Burke Architects

City Council Meeting of May 24, 1999

Convenience Store

Location: Grove Center

1000

1000

1000

sheet no.

3

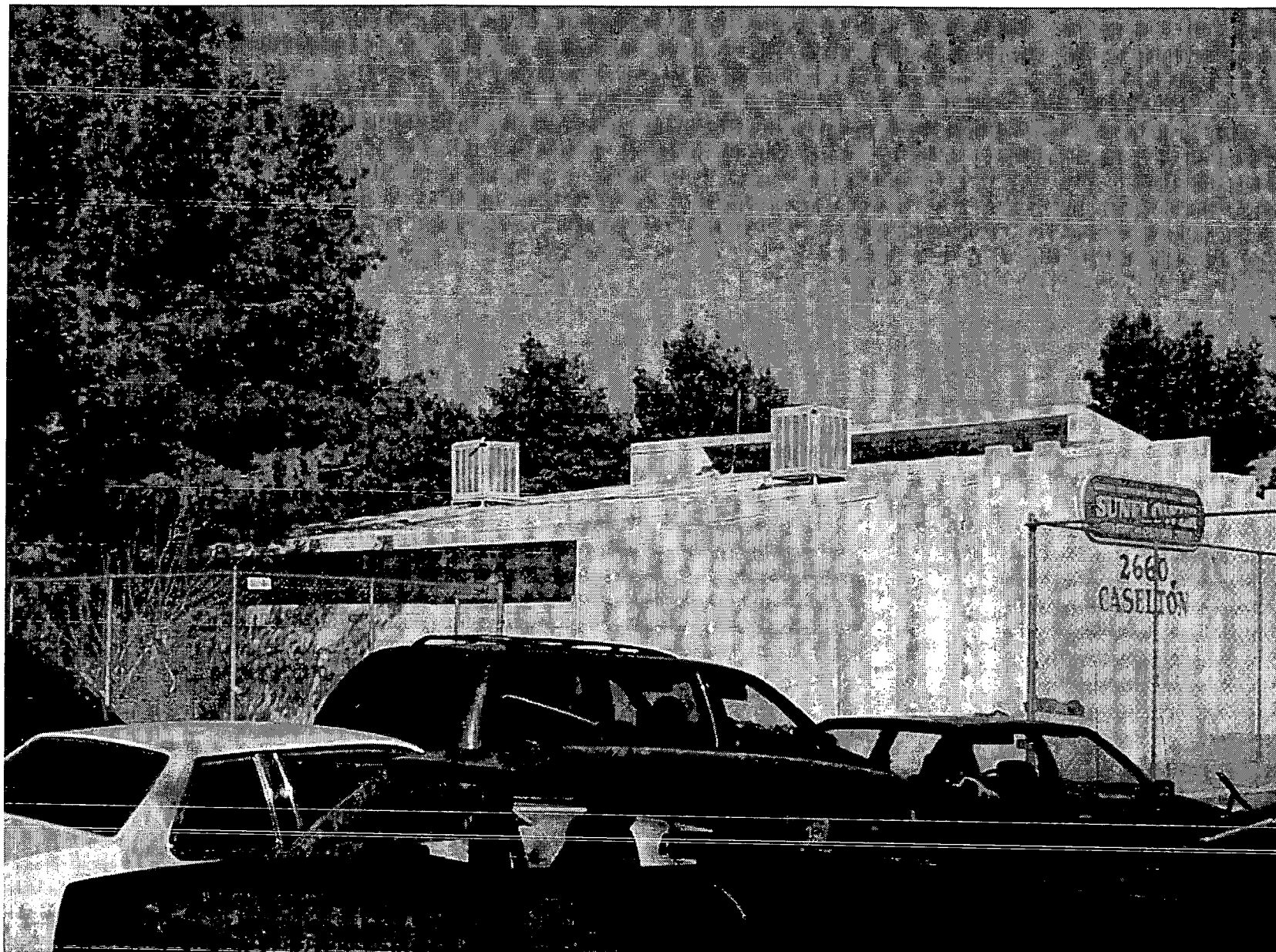
Page

874

U-4-99
2-25-99 PC

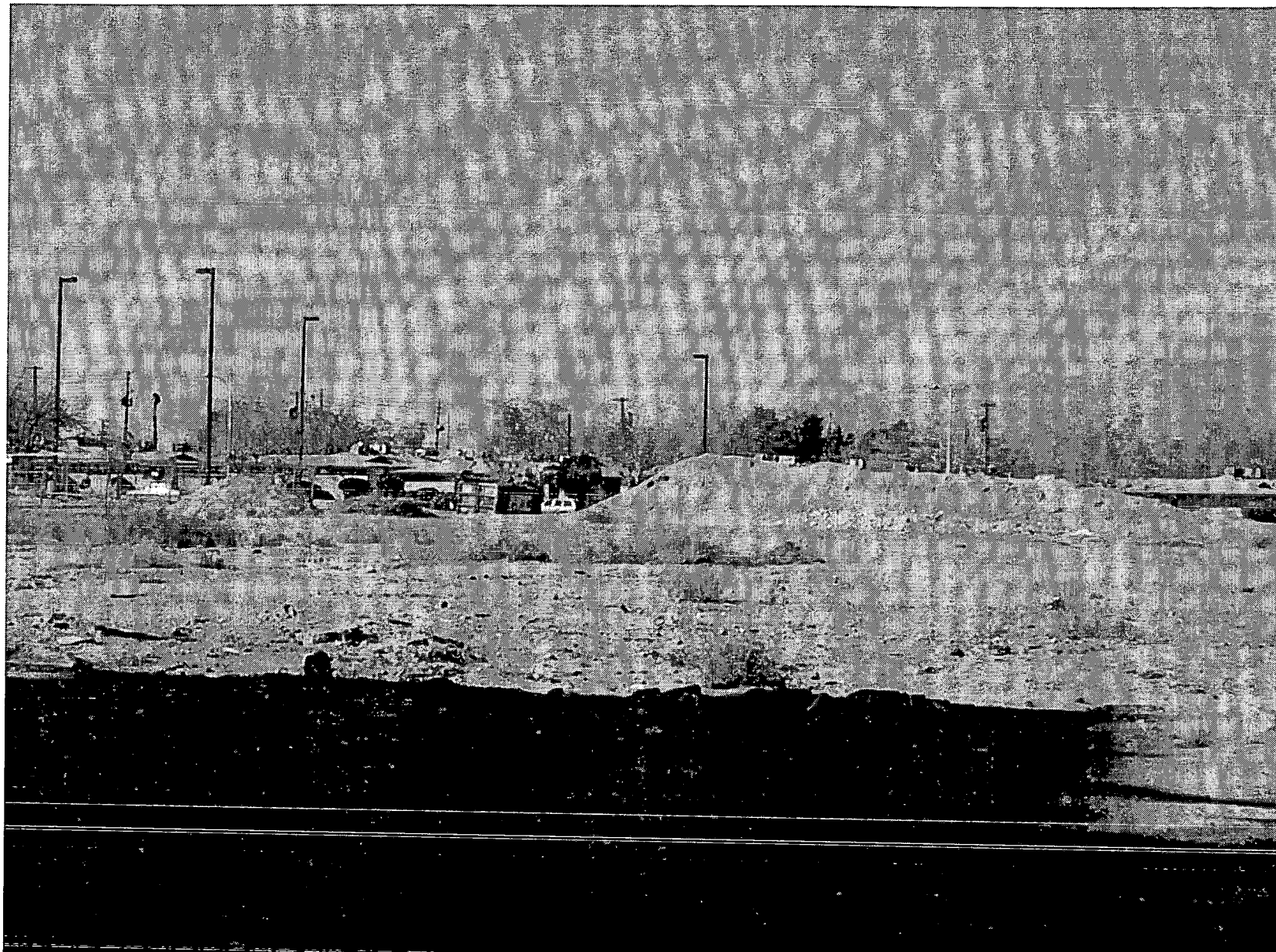
STAFF



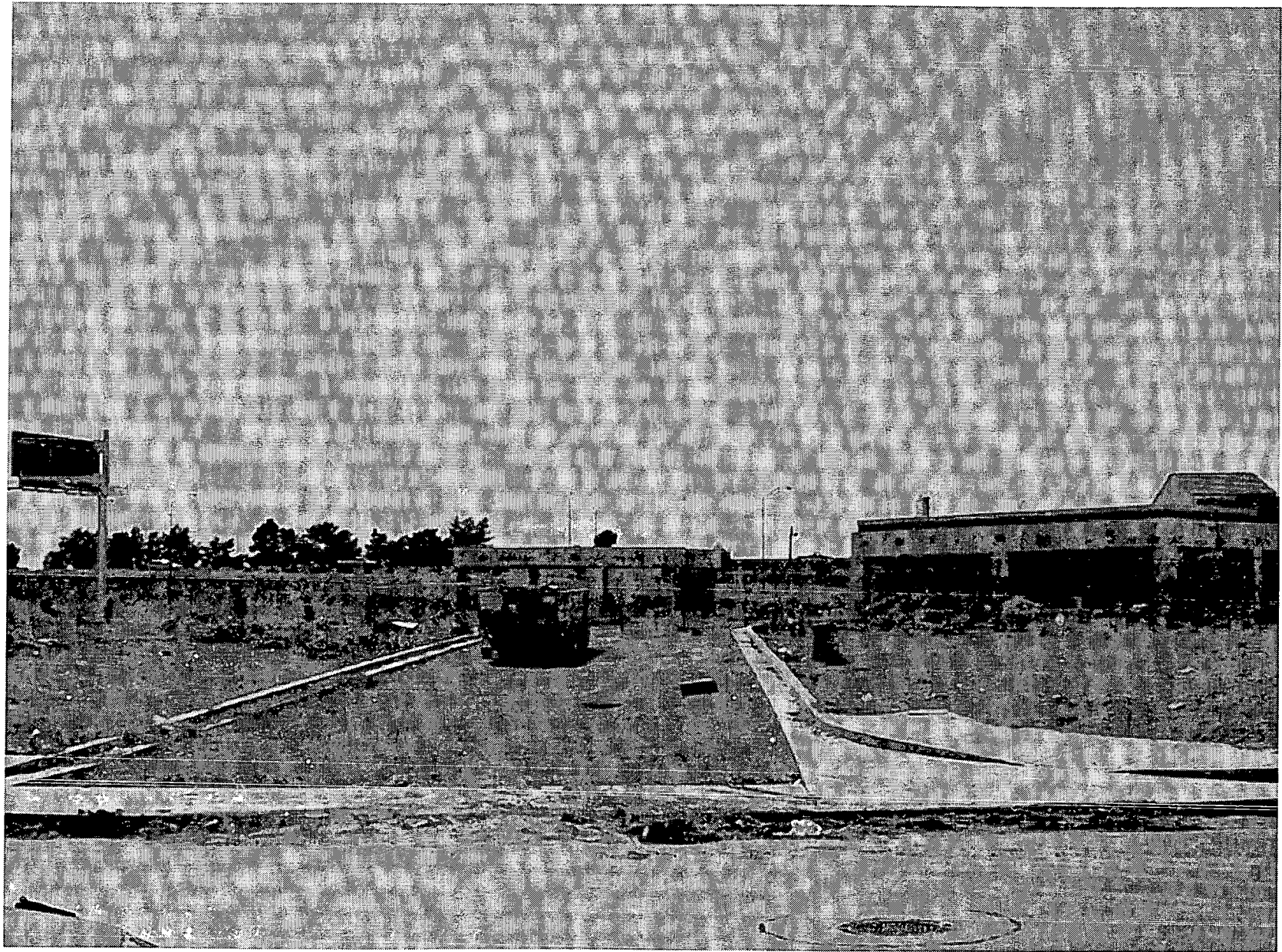


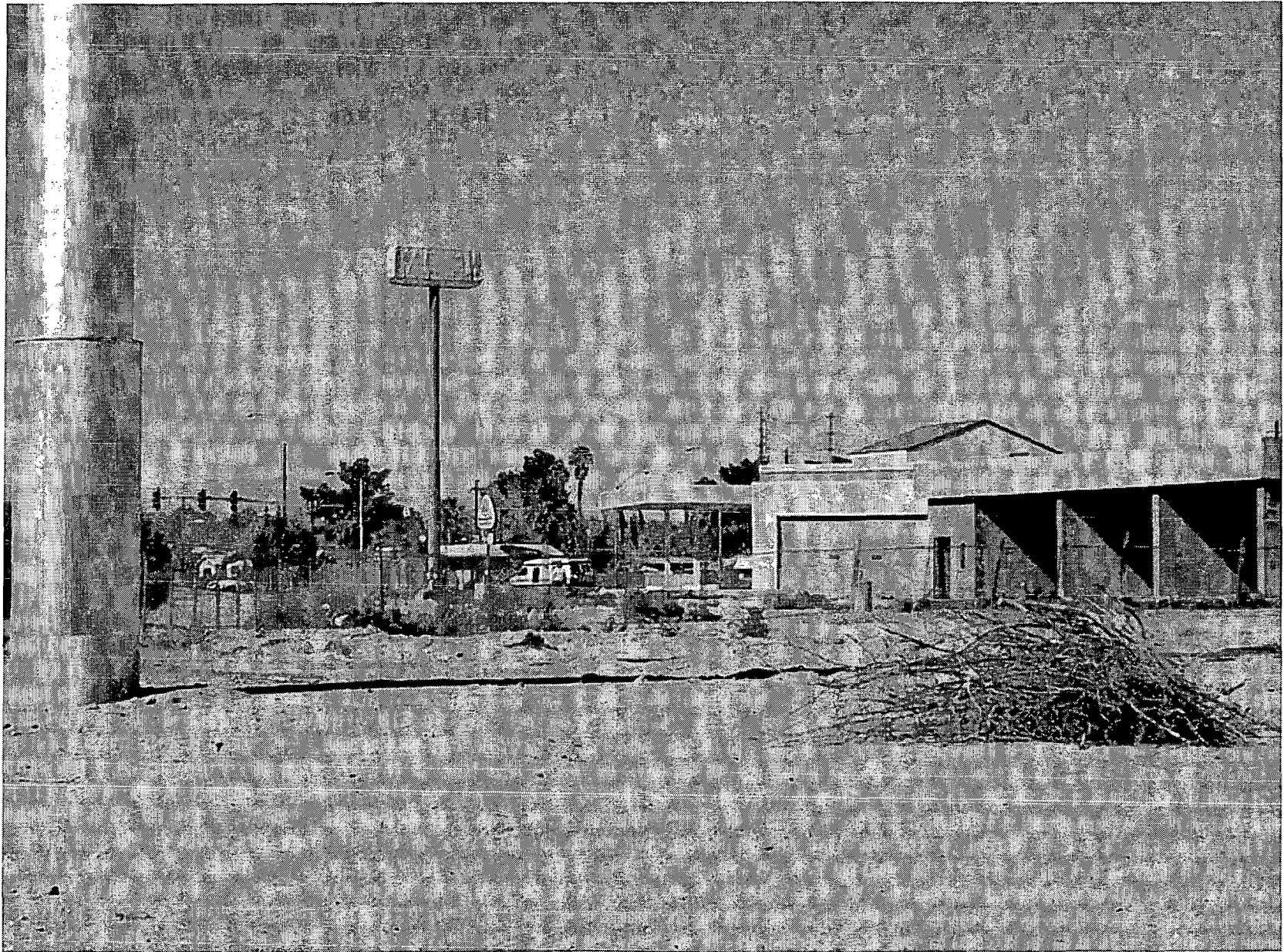
03-25-99 PC U-4-99 View of E. O. B. Head Start Child Care Center building located on property east of the subject site





03-25-99 PC U-4-99 View of subject site from the southeast corner of the site toward the northwest corner





CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 92

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****WARD 1:****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

115

GPA-6-99 - SHAWBETH, INC.

Request to Amend a portion of the Southwest Sector of the General Plan on property located on the north side of West Sahara Avenue, approximately 665 feet east of Tenaya Way, From: SC (Service Commercial) and O (Office) To: GC (General Commercial), Ward 1 (McDonald), APN: 163-03-806-001.

NOTICES MAILED: 1,731 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 4

AFTER PC MEETING

_____ Letters

52 _____ Petitions

TOTAL 56

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

**McDONALD - APPROVED - UNANIMOUS with Adamsen
excused**

MAYOR JONES declared the Public Hearing open.

APPEARANCES:

ATTORNEY JOHN MORAN, JR., 630 South 4th Street
DOUG SPEDDING, R.D.S., Inc., 2929 West 104th Avenue,
Westminster, Colorado

CAPPY HAYES, VTN Nevada, 2727 South Rainbow Blvd.

SHAWN HUGGINS, 630 South 4th Street

MARK FRENCH, 2280 Shaw Circle

ROBERT GENZER, Planning and Development

DEPUTY CITY ATTORNEY STEVE GEORGE

STUART NIEMS, 2220 Montessori Street

MAYOR JONES declared the Public Hearing closed.

NOTE: MR. NIEMS submitted a petition with 52 signatures in opposition.

NOTE: A Combined Verbatim Transcript of Item 115 [GPA-6-99] and Item 116 [Z-11-99] is made a part of the Final Minutes under Item 115 [GPA-6-99].

(4:25 - 4:46)

5 - 760

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-6-99 - SHAWBETH, INC.**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

This amendment to the Land Use Element of the General Plan from SC (Service Commercial) and O (Office) to GC (General Commercial) was filed in conjunction with a rezoning request from U (Undeveloped) Zone [SC (Service Commercial) and O (Office) General Plan Designations] under Resolution of Intent to C-1 (Limited Commercial) and P-R (Professional Office and Parking) to C-2 (General Commercial) for the purpose of developing a 21,313 square foot used car and truck dealership. The applicant justified the request for the following reasons:

1. This site fronts on Sahara Avenue.
2. There are existing auto dealerships in the vicinity.
3. This is a used auto sales facility, with no repair facilities (other than sales preparation) on-site. The applicant asserts that this causes the proposed use to be less intense than a new dealership, which typically has on-site repair facilities.

BACKGROUND DATA:

- | | |
|----------|---|
| 08/12/68 | The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas Valley. Within this document, the subject parcel was designated Suburban Residential, with a maximum density of two units per acre. |
| 05/26/77 | The Clark County Regional Planning Commission adopted a Regional Comprehensive General Plan for the Las Vegas Valley. Within this document, the subject parcel was designated Estate Density Residential, with a maximum density of three units per acre. |
| 1985 | The subject property was annexed into the City of Las Vegas. |
| 08/07/85 | The Las Vegas City Council adopted Community Profiles: A component of the Short-Range Plan Phase of the General Plan. Within this document, the subject parcel was designated Rural Density Residential, with a maximum density of three units per acre. |

Agenda Item

115

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-6-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

- 04/01/92 The Las Vegas City Council adopted the City of Las Vegas General Plan. On this plan, the north 150 feet of the subject parcel was designated Rural Density Residential, with a maximum density of 3.96 units per acre. The remainder of the site was designated Service Commercial.
- 08/21/96 The City Council approved a request to change the General Plan designation of the north 150 feet of this site to "O" (Office) (GPA-25-96).
- 08/21/96 The City Council approved a request to rezone this property to C-1 (Limited Commercial) and P-R (Professional Office and Parking). The P-R zoning was located in the northern 150 feet of the site (Z-68-96).

EXISTING LAND USE:

Subject Property	Unimproved
North	Single Family Dwellings
South (Clark County)	Minor Auto Repair Facility
East	Unimproved
West	Unimproved

PLANNED LAND USE:

Subject Property	SC (Service Commercial) and O (Office)
North	R (Rural Density Residential)
South (Clark County)	SC (Service Commercial)
East	GC (General Commercial)
West	GC (General Commercial)

Agenda Item

--

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-6-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

EXISTING ZONING OF ADJACENT PROPERTIES:

Subject Property	U	(Undeveloped) Zone under resolution of intent to C-1 (Limited Commercial) and P-R (Professional Office and Parking)
North	R-E	(Residence Estates
South (Clark County)	C-1	(Limited Commercial)
East	U	(Undeveloped) Zone under resolution of intent to C-2 (General Commercial)
West	U	(Undeveloped) Zone under resolution of intent to C-2 (General Commercial)

ANALYSIS:

Definitions:

SC (Service Commercial)

The Service Commercial category allows low to medium density retail, office, or other commercial uses that serve primarily local area patrons, and that do not include more intense general commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys and other places of public assembly and public and semi-public uses. This category also includes offices either singly or grouped as office centers with professional and business services.

O (Office)

Office uses are intended to serve as a transitional buffer between residential and commercial areas. Permitted office uses include business, professional and financial offices as well as offices for individuals, civic, social, fraternal and other non-profit organizations.

Agenda Item

--

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-6-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

GC (General Commercial)

General Commercial allows retail, service, wholesale, office and other general business uses of a more intense commercial character. These uses commonly include outdoor storage or display of products or parts, noise, lighting, or other characteristics not generally considered compatible with adjoining residential properties without significant transition. Examples include new and used car sales, recreation vehicle and boat sales, car body and engine repair shops, mortuaries, and other uses such as hotels and motels.

The parcel is located on the north side of Sahara Avenue, a primary street with a minimum right-of-way width of 150 feet.

A vehicle inventory area with landscaping is shown in the north portion of the site, and is intended to provide a transition between the used car sales area and the residential development north of Via Olivero Avenue.

The *Trip Generation Manual*, prepared by the Institute of Traffic Engineers, indicates a car lot of this size will generate approximately 63.26 vehicle trips per peak hour (Saturday Morning). In comparison, a general retail store of the same size will generate approximately 102.24 vehicle trips per peak hour.

The C-2 (General Commercial) zoning designation that would be allowed under the proposed General Plan Amendment allows such uses as retail, service, automotive, wholesale, and offices.

All utilities are available in the vicinity of the site. The nearest fire station is approximately 3.15 miles to the northeast. The nearest police substation is 2.26 miles away.

FINDINGS:

Staff finds that the landscaping and open parking area proposed in the north portion of this site will provide an adequate transition between the used car sales area and the existing residential development on the north side of Via Olivero Avenue. The type and intensity of use proposed under this application is compatible with the pattern of auto dealership development occurring along this portion of Sahara Avenue. Approval of this General Plan Amendment will not negatively affect the existing street network or the carrying capacities of the major streets involved. The proximity of all utilities and public services renders this parcel appropriate for the

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-6-99 - SHAWBETH, INC.**PURPOSE/BACKGROUND**

change in uses being proposed. The application satisfies Objective C of the Land Use Element of the General Plan, which states that the City should achieve a compatible balance of land uses throughout the City by providing appropriate and compatible locations for all land use categories.

The applicant has stated that nearly 1,800 letters were mailed to surrounding property owners, inviting them to attend a March 9TH informational meeting. The applicant indicates that two people attended this meeting. One was associated with Courtesy Pontiac, and was interested in the proposed development of this parcel. The second individual had no comment regarding the development plans.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 1,731

APPROVALS: 0

PROTESTS: 4

[Note: The protesters stated concerns that the approval of this request, which will allow development of a automobile dealership that sells used cars only, would not be consistent with the pattern of new car dealerships that are being developed in this area.]

SEE ATTACHED LOCATION MAP

Agenda Item

--



Las Vegas City Hall
Attn: All City Councilmen
400 East Stewart Avenue
Las Vegas, NV 89101

Dear Councilman;

We object to the proposed zoning changes as stated in the **NOTICE OF PUBLIC HEARING** announcements Z-11-99 and GPA-6-99, regarding the request by RDS Motors/Mr. R. Douglas Spedding from office to general commercial

PRINT NAME

SIGNATURE

ADDRESS

Paula & Dave Bergstrom 2000 Bogart Ct.

Laurie Lial Laurie Lial 2101 Bogart Ct

John David McCallister 2230 Montessouri

Stuart Niems Stuart Niems 2220 Montessouri

James S. Cleveland 2290 Montessouri

Pat Helper 2280 Montessouri

Scott Selby 2280 Montessouri

William M. Cobb 2270 Montessouri

William G. Gilder 2225 Montessouri

Rodney R. Ransom Jr. 2300 Ransom St.

Rosalie Ransom 2300 Ransom St

Ida Ninio Ida Ninio 2240 Montessouri

SHIMON J. NINIO - Shimon Ninio

MAXINE NIEMS Maxine Niems 2220 Montessouri St

Dear Councilman;

We object to the proposed zoning changes as stated in the NOTICE OF PUBLIC HEARING announcements Z-11-99 and GPA-6-99, regarding the request by RDS Motors/Mr. R. Douglas Spedding from office to general commercial

Name (Print)

Name (Signature)

Address

A. G. ROBINS A. G. Robins 2261 ROSANNA ST

Patricia Robins Patricia Robins 2261 Rosanna ST.

Jeremy Willhite Jeremy Willhite 1621 Montessori St.

DAVID WEBB David Webb 1715 Montessori

JOHN WHELAN John Whelan 1755 Montessori

Ed ED WELSH Ed Welsh 1760 Belcastro

Wayne Christensen Wayne Christensen 1650 Belcastro

GEORGIA L. RHODES Georgia L. Rhodes 1640 Belcastro ST

RICHARD P. MORISSETTE Richard P. Morissette 1275 Belcastro ST

Wayna F. GALUSKO Wayna F. Galusko 2521 Windhaven Cir.

Erin D. GALUSKO Erin D. Galusko 1521 Windhaven Cir.

WENNE A GISH Wenne A Gish 1541 Windhaven Cir

ERADIO CARROLL Eradio Carroll 1541 Windhaven Cir

Marcia Marx Marcia Marx 1501 Windhaven Circle

V. McCall-Nolan V. McCall-Nolan 3532 Woodbine Way

NANCY LePell Nancy LePell 6673 Fredonia

Sandolph S. Ascutt Sandolph S. Ascutt 6725 Waterville Circle

MAXAKILI 6132 MEADOWVIEW LN 89103

Bob White Bob White 2802 Sixshooter Dr. LV NV. 89119

LEONARD J. YELINEK Leonard Yelinek 3541 S Brown LV 89103

HAROLD SEIF Harold Seif 5415 W. Harmon LV. 89103

KAREN WOLFSON Karen Wolfson 311 Pecos Way LV NV 89131

Dear Councilman;

We object to the proposed zoning changes as stated in the NOTICE OF PUBLIC HEARING announcements Z-11-99 and GPA-6-99, regarding the request by RDS Motors/Mr. R. Douglas Spedding from office to general commercial

Name (Print)

Name (Signature)

Address

Earl Ohlson *Earl M. Ohlson* 7130 DOE L.V. NV 89117

Alesa Ohlson *Alesa Ohlson* 7130 DOE L.V. NV 89117

Kristine Benson *Kristine Benson* 7140 Doe L.V. 89117

ROBERT WONDRAK *Robert Wondrak* 7241 Doe L.V. 89117

Kristin Wondrak *Kristin Wondrak* 7241 Doe L.V. 89117

CLARENCE J. COTTEN *Clarence J. Cotten* 7250 JOE AVE. LV 89117

Judy J. Tabler

Judy Tabler *Judy Tabler* 7251 Del Rey Ave

Suzanne Lantz *Suzanne Lantz* 1425 Belcastro St.

JOEL NAKAE *Joel Nakae* 1404 BELCASTRO ST

Charles Riley *Charles Riley* 7175 Del Rey Ave 89117

JAMES J. CEBE *James J. Ceb* 7165 DEL REY AVE 89117

James J. Ceb *James J. Ceb* 7165 Del Rey Ave 89117

A E Moeller *A E Moeller* 7060 W Doe 89117

Brenda Moeller *Brenda Moeller* 7060 W Doe 89117

Aida James *AIDA JAMES* 1610 Montecarlo

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 1

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

MAYOR PRO TEM McDONALD

Item 115 is public hearing, GPA-6-99, Shawbeth, Inc. Request to Amend a portion of the Southwest Sector of the General Plan on the property located on the north side of West Sahara Avenue, approximately 665 feet east of Tenaya, from SC (Service Commercial) and O (Office) to GC (General Commercial). Four protests. Planning Commission and staff both recommend approval.

MAYOR JONES

This is a public hearing, we now declare it open. The applicant is present.

ATTORNEY JOHN MORAN, JR.

Good afternoon, Mayor, Council. John Moran Jr. I'm appearing on behalf of Mr. Spedding, who I know you've met before. Mr. Spedding is the one responsible for the Toyota West dealership on Sahara. That was his - dealership and he has dealerships throughout the western part of the United States. With me is Cappy Hayes from VTN and Shawn Huggins from my office is behind me. We're in agreement with staff's recommendations. We're also in agreement with the approvals given to us by the Planning Commission. There had been one condition that we were approved, staff had asked for, one Planning, one condition that was in fact Item No. 10.

MAYOR JONES

That's on 116, John. We're on 115.

ATTORNEY JOHN MORAN, JR.

Okay. Thank you, then. We'll let that go for a moment then. Thank you.

MAYOR JONES

This is a public hearing. Does anyone else wish to be heard on this item?

MARK FRENCH

My name is Mark French. I live at 2280 Shaw Circle, directly north of the piece of property in question. I'm opposed to the new and used car dealership at this location. I represent the cul-de-sac, the five acre cul-de-sac that's directly behind the dealership. That's all until 116.

MAYOR JONES

Thank you. Sir?

STUART NIEMS

I'll wait for 116.

MAYOR JONES

Does anyone else wish to be heard? Then I would close the public hearing.

COUNCILMAN McDONALD

Your Honor, on this 115, there's a, **make a motion for approval.**

MAYOR JONES

Vote on the motion. Post. Motion's approved. **(Motion carried with Adamsen excused).** Item 116 is Z-11-99 is a

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 2

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

request for a Rezoning on the property from Undeveloped to Service Commercial and O (Office) General Plan under Resolution of Intent to C-1 (Limited Commercial) and P-R (Professional Office) to C-2. Proposed use a 21,313 square foot used car and truck dealership. Planning Commission and staff recommend approval. This is a public hearing.

ATTORNEY JOHN MORAN, JR.

Madam Mayor, Council, John Moran, Jr., again for the record. With me is Mr. Spedding, Cappy Hayes from VTN and Shawn Huggins from my office. We would make the same representations at this time and that is basically that we would ask you respectfully to follow the Planning Commission approval, as well as the staff's recommendation of approval. At Planning Commission when we were approved we were successful in having Item No. 10, of staff's recommendation, deleted. We'd ask that that be deleted as well and as it was at Planning Commission, in which we were approved. Having said that, we're here to answer any questions that you may have and we appreciate the opportunity to appear in front of you.

MAYOR JONES

Thank you. This is a public hearing.

COUNCILMAN McDONALD

On that, staff, Mr. Moran deleting No. 10?

ATTORNEY JOHN MORAN, JR.

That's correct and that was deleted at Planning Commission. That dealt with vehicles no older than 10 years or excuse me, five years.

STUART NIEMS

I don't believe that was deleted.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Your Honor and Council, --

MAYOR JONES

It's not No. 10.

ROBERT GENZER, PLANNING &
DEVELOPMENT

-- if I may for the record. I think we need to make --

COUNCILMAN McDONALD

No. 10 is the sidewalk.

ROBERT GENZER, PLANNING &
DEVELOPMENT

-- I think we need to make it clear here that the applicant has applied for a used car and truck dealership in the C-2 zone, which in fact requires a Special Use Permit, which is not on your agenda today. So, approval of the zoning, if that occurs, does not give him the right to open a used car dealership without going through the Special Use Permit process. And there may be some of the conditions that are actually written under the zoning that would be more appropriately placed under the Special Use Permit when that comes through.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 3

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

ATTORNEY JOHN MORAN, JR.

We're in agreement with that representation Mr. Genzer made.

DEPUTY CITY ATTORNEY STEVE
GEORGE

In addition, Your Honor, just for the record too, that approval of these items, if they are approved by this Council, does not in any way imply acceptance in any way of the Special Use Permit, which may or may not be applied for later on.

ATTORNEY JOHN MORAN, JR.

And an application has been filed and will come before you in due course.

STUART NIEMS

Stuart Niems, 2220 Montessori. I've been here before, Your Honor, Councilmen. I'm here representing the neighborhood and it may be strange that I'm here opposing this when we approved the Courtesy and the Ackerman situation. Those are both new car operations. There's a tremendous difference between a used car operation and a new car operation. This operation is selling cars and trucks, whereas your new car operation basically is selling cars. There's also a tremendous difference in the type of sales people that are hired to sell used cars as opposed to new cars. We have met, I've talked with Mr. Spedding many times, or, not many times, but a used car operation usually has fences, banners, of course they've agreed not to, but I'll take and show pictures of operation, I don't know whether we --

COUNCILMAN McDONALD

Just put it right there. Perfect.

STUART NIEMS

-- and you can see some of these are types of fences with banners that are out from promoting used car sales. I also believe that this is probably a stop gap situation for Mr. Spedding, that he was probably going to build this and sell it to somebody like Republic or Auto Nation in the situation where we would have, as a neighborhood, no control as to who, what and where. Whereas with Mr. Scala from Courtesy or Mr. Ackerman, we are able to go and talk to them. If we have a problem with the neighborhood they correct the problem. If we --

COUNCILMAN McDONALD

One second. Roni?

MAYOR JONES

We need to start the time.

COUNCILMAN McDONALD

Thank you, Sir. Sorry to interrupt.

STUART NIEMS

No problem. We've discussed this before. Discussed it with Mr. Spedding, his, in his prior operations, I said there's been problems we have heard and he said it's because he is not in charge of this operation. Who says who's going to be in

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 4

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

charge of this operation. We at this time have people to go to and talk to at Courtesy and Ackerman and they have been complete gentlemen about taking care of problems regarding the neighborhood.

All the conditions that we have asked for from Courtesy and Ackerman have been approved and – they would try to meet each and every one of them. I think that's very clever. But, if it's sold who do we go to? Sunday selling, etc., etc. I think it's very easy to just go beyond this. And the, one other thing that I have a problem with is if you look at his plans, this is a used car dealership and the back of this is – supposedly for inventory. Well, a used car dealer that I go to or go to buy used cars, the front is where you sell your used cars over the entire property. I believe there's going to be cars sold out of the back of this property as well as the front, okay. And I think that's wrong. In a situation like with Courtesy or Ackerman or the situation, if we have a problem there, there's always General Motors, there's Jaguar, there's people that we can contact if there's a problem. I appreciate your help and again, I'm against this as the neighborhood is. And I do have some signatures here.

MAYOR JONES

Sir. John.

MARK FRENCH

Mark French again. As I said earlier, I live just north of the property and I oppose it for the used car dealership. If there was a new car dealership I would most likely not oppose it. When Ackerman's Jaguar dealership first went in there, it was turned down by the Council because of the signatures and the people in the neighborhood that didn't want it. We met with Councilman McDonald, we met with the people that own Pat Clark, the, not Pat Clark, excuse me, the Courtesy Pontiac Dealership and we've, at least two or three meetings. And at that time, I – was under the impression if we decide, if the neighborhood could agree on a new car dealership along that whole route, it would be fine. But I just can't understand why it should be permitted to allow a used car dealership between a Jaguar dealership and another new car dealership. I'd like to see like a Mercedes dealership go in there or another prestigious type automobile. Thank you.

COUNCILMAN McDONALD

Thank you, Mr. French.

MAYOR JONES

I would just like to make some comments because this has some historical perspective. The whole issue of used car dealerships and appropriate use along the Sahara corridor was first visited when Budget came.

The decision was made at that time and I may say that I

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 5

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

think I created the record and – cautioned the neighbors that once you allow a used car dealership meeting all the criteria as requested by a used, by a new car when it comes to building, that you've set a precedents that doesn't stop. The only thing that stopped it was Rainbow. When it came in front of this Council again, and initially we voted down Ackerman, it wasn't because I don't like the Ackermans, I think they're wonderful dealers. I also think that Courtesy are excellent dealers. But I said, once you open the door, you are opening the door. And I think just to speak in favor of used car dealers, there's no difference on how you operate a new car dealership or a used car dealership.

In fact, new car dealerships most generally rely on their used car sales to be a profitable venture. Particularly in certain economic times, your entire business will be dependent upon your used car business. Secondly, there's no difference in the sales people that you hire to sell new cars or used cars. And, so, when we're making comments, I mean, it has to be based on fact. And the facts in this are somewhat clear. We set a precedent, we – approved a used car dealership given certain buildings, yes we did, Budget, a used car sales, which is right down the street. Then we approved new car dealerships going west of Rainbow. Same time, made the record very clear, once you set this precedent, all of a sudden making a distinction on a piece of land that's between two existing car dealerships because of some perceived difference of used car and new car salesmen. And the other thing, I have never seen a new car or a used car operator that doesn't sell both cars and trucks, particularly in this market. It would never happen.

STUART NIEMS

I'm going to disagree with you, Your Honor, because when we discussed this situation we also discussed strictly new cars in that area. And I also made a comment to you in regards to that that there are no other franchises available, because you questioned me, you're opening up the neighborhood. And I said yes, but there are no other franchises available for new cars and we've asked and we specifically said new cars only in that area. And yes, go down to Boulder Highway and you've been in this new and used car business and the car business. Go down to some of your other car dealerships and walk into some of these places and look at the type of operations. Walk in to what is now Nisssan West and watch and see the pushiness of the different type of sales people that are hired. I disagree with you. I --

MAYOR JONES

I'm – certain that you do, but I'm saying for the record again, we've had this discussion, I've made it on the record,

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 6

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

everybody said no, it's not a problem, will do. You cannot make a differentiation, and when you talk about the difference of new cars and used cars, basically it comes to capital invested in infrastructure. And what's being proposed here is the same kind of capital investment that's made by any new car dealership because what it has to do with is the building and the facility. If you go down to Boulder Highway you don't find this kind of capital investment in the building. And it was the precedent that was set when Budget was approved for the very same reasons.

STUART NIEMS

Well, again, I'm going to disagree, respectfully. Okay.

MAYOR JONES

I'm sure you are. Don't say I didn't warn you.

ATTORNEY JOHN MORAN, JR.

Very briefly. I think we all recognize the issue today isn't one of used cars and new cars. And I'd like to point out that I couldn't agree with the Mayor more. In fact, our office has viewed the two video tape films of the proceedings on both of the Scala --

MAYOR JONES

We are going to close the public hearing. You can go ahead.

ATTORNEY JOHN MORAN, JR.

All right. We looked at both of those, both the Scala Dealership, as well as Mr. Ackerman's, and I can't agree more. There's not that distinction made. The door was open down at Budget, but that's for another day. That will be for when the application on the use comes back. What we're for, what we're here today is very simply this, is the zone change that's consistent on both sides of this property. That's what we're here for. All we're asking is to give us the same as both the two people on either side of us have obtained recently at those two hearings. And we're -- more than happy with the conditions that the Council previously imposed on them. We can abide by those.

I'd like to point out just a couple of things. Mr. Spedding, I have represented along with almost every other new car dealer at one time or other in my law career. I have represented Mr. Spedding, Auto Nation, Republic and on and on, on. I'll tell you this that Mr. Spedding at Toyota, when he opened up that new dealership there, worked very hard with Councilman McDonald and his representatives and the neighbors. We did many, many things at that dealership that were very responsive to the neighbors' concerns. I think it would be an injustice not to make that point on the record with Mr. Spedding here. He did a lot of things for that neighborhood over there and did a lot of things that the neighbors wanted him to do, including

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 7

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

posting up for a nice traffic signal there that makes ingress and egress a lot safer. Aside from that, we're here on this. This, as the Mayor and the Council and staff all know, this is not your used car dealership standard. This is built to new dealership standards. And we would just respectfully ask you to give the approval. We're - here before you asking for approval similar to what our neighbors have on either side of us. Thank you.

MAYOR JONES

Councilman?

COUNCILMAN McDONALD

Thank you. And I think when you look back, for the record, in '95 is when we gave Budget theirs. That was below Rainbow, as the Mayor pointed out, and Courtesy, I believe was in '94. That was on the west side of Rainbow before I was ever elected. And, as Mr. Moran stated, Mr. Spedding and during the last time I took over that part of the Ward just as he was developing, and he did come to all the meetings. We did have numerous meetings with the neighborhoods and I got to commend him for that. The issues we have before us here today is the rezoning of - C-2. We have issues before that were brought, on one side is C-2 the other side is C-2. It's almost inevitable that this was going to be C-2 and it was brought in by the neighbors.

That set aside, we're looking at it. You know, we, everybody has seen that we have before us today that they're going to be coming for a used car and that's it. I had an opportunity to talk to Mr. Moran and this is a Special Use Permit. I would remind the applicant that. This is a Special Use Permit that you have to come before us. There are concerns dealing with my opinion and also the neighbors. The comments that the Mayor made do rely on the infrastructure and the financial conditions that are put into it. So, I don't know. Staff is this part of a Site Development Plan Review?

MAYOR JONES

No, this is a Use Permit.

COUNCILMAN McDONALD

I mean --

ROBERT GENZER, PLANNING &
DEVELOPMENT

The site development will take place during the Use Permit hearing.

COUNCILMAN McDONALD

Right. Okay. So, the only concern I have is, I have no problem granting - the use because he is entitled to it owning the property or going for the property because it's C-2 on both sides. **However, I would ask that a one-review period is set on this. Mr. Moran, I didn't have an opportunity to talk to you before. And any changes at all, I want it back before this Council. Anything. If a**

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 8

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

rock got out of way and you have to move it, I would like to know. Again, that's just for the re, the zoning of it. The battle on the other is for another day. That's my motion.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Councilman, I would suggest then that the review should probably be more properly placed on the Special Use Permit. We do have the Resolution of Intent condition, which is Condition No. 19. We can make that for one year.

COUNCILMAN McDONALD

Well, the reason I say it on the zoning, if the bottom falls out and God forbid something bad happens, Mr. Spedding has to – leave the project, I don't want to wind up with a tattoo parlor sitting here.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Then my recommendation would be to add one year to the Resolution of Intent, which is Condition No. 19.

COUNCILMAN McDONALD

Okay.

ATTORNEY JOHN MORAN, JR.

I would just ask that in light of the fact that that's a one year to pull a permit and since we do have the application for the use coming right behind it, which would be about maybe three more months, that – would make our one year then look like nine months, if we were successful. I would ask, perhaps if we could have a year and a half to take into consideration the next permit that's coming, 'cause we can't start until we got that approved anyway.

COUNCILMAN McDONALD

Well, I'll probably move it back to approval now and then move it back to when that one comes before us. Will that be putting the cart before the horse?

ATTORNEY JOHN MORAN, JR.

We have no problem with the Resolution of Intent. If it could just be made a few months longer then that way it'll – still be the year that you're asking for when we come back depending on what happens on the use.

COUNCILMAN McDONALD

Right. What I'm asking for is the zoning on the property. I may have confused everybody. The zoning on the property, the C-2 is what I was talking about.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Correct.

COUNCILMAN McDONALD

So that gives them, and a year if nothing is done, I want it back before us again.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Okay. And normally that'll run from this date of approval, so we could say --

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 9

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

COUNCILMAN McDONALD

That's fine. If it runs from, this is what I want to talk about, it's just the land itself. And, you know, if the process moves forward in three months, that's another battle.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Okay. If they, just for the record, if they have pulled permits one, by one year from today, then that would be sufficient to extend that Resolution of Intent. If they have not pulled permits by one year from today, they would have to come back for an Extension of Time based on this condition.

COUNCILMAN McDONALD

Right. That's -- what I'm looking for.

ATTORNEY JOHN MORAN, JR.

But I can't pull a permit until I get the next three months --

COUNCILMAN McDONALD

Right.

ATTORNEY JOHN MORAN, JR.

-- under my belt. So, that's why I was asking for a year and whatever that is, so that it comes down to a year because I can't pull a building permit until I get the other --

COUNCILMAN McDONALD

But it's almost guaranteed to C-2. I mean, any reasonable man, if you talk to the City Attorney, if you have a C-2 on both sides, the one in the middle has to be C-2.

ATTORNEY JOHN MORAN, JR.

I agree.

COUNCILMAN McDONALD

And that's the only issue. We're looking at the type of development we want to see in this corridor. And the only way I'm asking for the guarantee is that we hold this to a standard of one year. That's all it is, is that this back before us, we just want to know that this will still be C-2, coming back before us again if nothing is done. It's almost a given because it's C-2 on both sides. I hate to use the word given.

ATTORNEY JOHN MORAN, JR.

I -- understand. Okay, we're approved on the C-2 today and we'll bring it back in a year to see where we're at.

COUNCILMAN McDONALD

Okay.

ATTORNEY JOHN MORAN, JR.

I guess that's what we're all saying.

COUNCILMAN McDONALD

That's great. That's what I'm trying --

DEPUTY CITY ATTORNEY STEVE
GEORGE

And Mayor Pro Tem, just for clarification, for our purposes, on three different issues. First we'll deal with the Resolution of Intent. The condition was that it be Resolution of Intent for a one year period, which means that it would expire in one year unless the applicant came in with an Extension of Time, which they can apply for it if they need that additional

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 10

COMBINED VERBATIM TRANSCRIPT - ITEM 115 - GPA-6-99 AND ITEM 116 - Z-11-99 - SHAWBETH, INC.

time. The second issue is regarding the Site Development Plan Review. For some reason if the Use Permit does not come forward to the City Council, I guess this a question for staff, and they wanted to go ahead and build a new car dealership or anything else, would they need to come back with a Site Development Plan Review or would this constitute a Site Plan Development Review.

ROBERT GENZER, PLANNING &
DEVELOPMENT

We have conditions in place on this Rezoning that would allow them to move forward under this plan without any additional Site Development Plan Review were this a new car dealership.

DEPUTY CITY ATTORNEY STEVE
GEORGE

Okay. So, no additional Site Development Plan Reviews would be required without the Special Use Permit to develop this project.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Correct.

DEPUTY CITY ATTORNEY STEVE
GEORGE

And just for clarification, was the condition that if anything changes on this plan that's been presented that they come back with a new Site Development Plan Review.

COUNCILMAN McDONALD

Yes. Those are one of the conditions. So now is everybody thoroughly confused.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Yes.

COUNCILMAN McDONALD

Okay. Motion for approval.

DEPUTY CITY ATTORNEY STEVE
GEORGE

Subject to conditions as amended.

COUNCILMAN McDONALD

Subject to all the conditions that were stated here today and conditions. Cast your votes. Post. Motion's approved. **(Motion carried with Jones and Adamsen excused).**

ATTORNEY JOHN MORAN, JR.

Thank you.

(END OF DISCUSSION)

/ac

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 93

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-6-99 - PUBLIC
HEARING**

116

Z-11-99 - SHAWBETH, INC.

Request for a Rezoning on property located on the north side of West Sahara Avenue, approximately 665 feet east of Tenaya Way, From: U (Undeveloped) Zone [SC (Service Commercial) and O (Office) General Plan Designations] under Resolution of Intent to C-1 (Limited Commercial) and P-R (Professional Office and Parking) To: C-2 (General Commercial), PROPOSED USE: A 21,313 SQUARE FOOT USED CAR AND TRUCK DEALERSHIP, Size: 5.25 Acres, Ward 1 (McDonald), APN: 163-03-806-001.

NOTICES MAILED: 1,731 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 4

AFTER PC MEETING

_____ Letters

52 _____ Petitions

TOTAL 56

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

1. Approval of a General Plan Amendment to GC (General Commercial).

2. No test drives shall be conducted on Via Olivero Avenue or other residential streets in the vicinity of this request.

McDONALD - APPROVED subject to conditions and amending Condition #19 that the Resolution of Intent shall be for one year period - **UNANIMOUS** with Adamsen excused

MAYOR JONES declared the Public Hearing open.

APPEARANCES:JOHN MORAN, JR., 630 South 4th StreetDOUG SPEDDING, R.D.S., Inc., 2929 West 104th Avenue, Westminster, Colorado

CAPPY HAYES, VTN Nevada, 2727 South Rainbow Blvd.

SHAWN HUGGINS, 630 South 4th Street

MARK FRENCH, 2280 Shaw Circle

ROBERT GENZER, Planning and Development

DEPUTY CITY ATTORNEY STEVE GEORGE

STUART NIEMS, 2220 Montessori Street

MAYOR JONES declared the Public Hearing closed.

NOTE: MR. NIEMS submitted a petition with 52 signatures in opposition.

NOTE: A Combined Verbatim Transcript of Item 115 [GPA-6-99] and Item 116 [Z-11-99] is made a part of the Final Minutes under Item 115 [GPA-6-99].

(4:25 - 4:46)

5 - 760

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 94

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-11-99 - SHAWBETH, INC.

3. Construct a nominal eight foot high decorative block wall, set back 10 feet for landscaping, parallel to Via Olivero Avenue as required by the Planning and Development Department.

4. The Sahara Avenue landscape planter shall be modified to include palm trees spaced 20 feet on center. All other landscaping shall be as depicted on the submitted landscaping plan. This constitutes a waiver of the landscaping requirements for the vehicle storage area.

5. The installation and use of an outside public address or bell system is prohibited.

6. No used or discarded automotive parts shall be located in any open area outside of an enclosed building.

7. All exterior lighting shall be screened or otherwise designated so as to not shine directly on to any adjacent parcel.

8. All repair service shall be performed inside an enclosed area.

9. There shall be no temporary on-premise signage (pennants, banners or flags) associated with the automobile dealership

10. There shall be no sidewalk constructed along the south side of Via Olivero Avenue.

11. The underlying Resolutions of Intent to C-1 (Limited Commercial) and P-R (Professional Office and Parking) are hereby expunged.

12. Dedicate an additional 14.5 feet for a total half street width of 75 feet on Sahara Avenue, prior to the issuance of any permits as required by the Department of Public Works.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 95

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-11-99 - SHAWBETH, INC.

13. Construct half-street improvements including appropriate overpaving on Via Olivero Avenue adjacent to this site concurrent with development of this site as required by the Department of Public Works. Construct all incomplete half-street improvements (sidewalk) on Sahara Avenue adjacent to this site concurrent with development of this site as required by the Department of Public Works. All existing overpaving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Also, if necessary, remove all substandard public street improvements and unused driveway cuts, if any, adjacent to this site and replace with new improvements meeting current City Standards concurrent with on-site development activities as required by the Department of Public Works.

14. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. A revised site plan shall be submitted to and approved by the City Traffic Engineer to specifically address on-site circulation of delivery trucks through this site, including appropriate turning radii; no parking or deliveries to this site shall be permitted in the public right-of-way. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 96

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-11-99 - SHAWBETH, INC.

15. Contribute \$7,900.00 to partially fund the future upgrading of the existing traffic signal system at the intersection of Sahara Avenue and Tenaya Way prior to the issuance of building or off-site permits as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for future traffic signal system concurrent with development of this site. The City reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within this general vicinity which is impacted by this development and which has a more immediate need for signalization.

16. Landscape and maintain all unimproved rights-of-way on Sahara Avenue and on Via Olivero Avenue adjacent to this site as required by the Department of Public Works. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

17. Submit an Encroachment Agreement for all landscaping and private improvements (driveways) located in the Sahara Avenue and Via Olivero Avenue public rights-of-way adjacent to this site prior to occupancy of this site as required by the Department of Public Works.

18. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 97

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-11-99 - SHAWBETH, INC.

shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

19. A Resolution of Intent.

20. All development shall be in conformance with the plot plan and building elevations.

21. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

22. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

23. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 98

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-11-99 - SHAWBETH, INC.

24. All City Code requirements and design standards of all City departments must be satisfied.

25. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

26. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

27. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade.

28. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-6-99 - PUBLIC HEARING - Z-11-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND**APPLICATION REQUEST:**

This is a request for a Rezoning from U (Undeveloped) Zone [SC (Service Commercial) and O (Office) General Plan Designations] under Resolution of Intent to C-1 (Limited Commercial) and P-R (Professional Office and Parking) to C-2 (General Commercial) for a proposed 21,313 square foot used car and truck dealership (***subject to the approval of a Special Use Permit***) on property located on the north side of Sahara Avenue, approximately 665 feet east of Tenaya Way.

BACKGROUND DATA:

1985	The subject property was annexed into the City of Las Vegas.
04/01/92	The Las Vegas City Council adopted the City of Las Vegas General Plan. On this plan, the north 150 feet of the subject parcel was designated R (Rural Density Residential), with a maximum density of 3.96 units per acre. The remainder of the site was designated SC (Service Commercial).
08/21/96	The City Council approved a request to change the General Plan designation of the north 150 feet of this site to O (Office) (GPA-25-96).
08/21/96	The City Council approved a request to Rezone this property to C-1 (Limited Commercial) and P-R (Professional Office and Parking). The P-R (Professional Office and Parking) zoning was located on the northern 150 feet of the site (Z-68-96).
06/10/99	The Planning Commission will consider a request for a Special Use Permit to allow Used Motor Vehicle Sales on this site (U-64-99).

DETAILS OF APPLICATION REQUEST:

Site Area:	5.25	Acres
Building Area:	21,313	Square Feet
Building Height:	90	Feet
Parking Required:	69	Spaces
Parking Provided:	294	Spaces



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-6-99 - PUBLIC HEARING - Z-11-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

Access to the proposed dealership will be provided by a 30 foot wide driveway to Sahara Avenue. Vehicle display areas and customer parking will be located in the south portion of the site. The main building will contain an auto showroom, administrative offices, and vehicle service bays. A smaller building in the west portion of the site will include additional service bays. A 25 foot wide landscape planter (15 feet on-site and 10 feet in the right-of-way) with shrubs and ground cover is shown along the Sahara Avenue frontage. Additional landscaping is shown in eight foot wide planters along portions of the east and west property lines, in a 15 foot wide planter along Via Olivero Avenue, within planters adjacent to the building and in the customer parking areas.

The elevations depict a decorative split-face concrete block exterior, with a maximum building height of 30 feet. A glass block arcade wall and storefront windows are shown on the showroom side of the building.

ZONING AND LAND USE INFORMATION:

EXISTING LAND USE:

Subject Property	Unimproved
North	Single Family Dwellings
South (Clark County)	Minor Auto Repair Facility
East	Unimproved
West	Unimproved

PLANNED LAND USE:

Subject Property	SC (Service Commercial) and O (Office)
North	R (Rural Density Residential)
South (Clark County)	SC (Service Commercial)
East	GC (General Commercial)
West	GC (General Commercial)

Agenda Item

--

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-6-99 - PUBLIC HEARING - Z-11-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

EXISTING ZONING OF ADJACENT PROPERTIES:

North:	R-E (Residence Estates)
South (Clark County)	C-1 (Limited Commercial)
East	U (Undeveloped) Zone under resolution of intent to C-2 (General Commercial)
West	U (Undeveloped) Zone under resolution of intent to C-2 (General Commercial)

FINDINGS:

GENERAL PLAN:

Several General Plan Amendments to GC (General Commercial) have been approved along this portion of Sahara Avenue, in order to facilitate development of automotive dealerships. The proposed General Plan Amendment to General Commercial associated with this request (GPA-6-99) will support P-R (Professional Office and Parking), O (Office), C-1 (Limited Commercial) or C-2 (General Commercial) zoning on this property.

REZONING:

The proposed Rezoning to C-2 (General Commercial) will allow this site to be developed with buildings and uses that are compatible with the existing and proposed auto dealerships in the area. Uses permitted as a matter of right in the C-2 (General Commercial) zoning district include a hotel, new car dealership, hospital, mortuary, post office, special care facility, outdoor recreation facility, wedding chapel, commercial cleaners, and a full service car wash.

Staff notes that the Budget Used Car Sales facility located on Sahara Avenue was approved with a condition prohibiting the sale or display of vehicles that are more than five years old.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-6-99 - PUBLIC HEARING - Z-11-99 - SHAWBETH, INC.**PURPOSE/BACKGROUND****SITE PLAN:**

The setbacks and building heights are in conformance with the Zoning Code and the Urban Design Guidelines and Standards. The landscaping is compatible with the existing development in the area, but does not comply with the City of Las Vegas Urban Design Guidelines and Standards. The depicted planters along Sahara Avenue do not include trees; the Standards require 24 inch box trees spaced 20 feet on center. The applicant states that the placement of trees along the street frontage will hinder visibility to the vehicle display area. Additionally, the Standards require planters along the entire length of the east and west property lines; the applicant believes this to be unnecessary in the vehicle storage area.

Staff has determined that both the auto dealership to the west (Z-28-98) and the dealership to the east (Z-59-98) were approved with waivers of the landscaping requirements within the vehicle storage areas. Therefore, staff believes there is adequate justification for waiving the landscaping standards of the Urban Design Guidelines and Standards for the vehicle storage area of the subject site.

In regard to the proposed landscaping within the customer parking/vehicle display area, staff believes that the Sahara Avenue planter could be modified to include palm trees spaced 20 feet on center. This would serve to aesthetically enhance the appearance of the site while allowing the auto dealership to have street visibility to the vehicle display area.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

[Note: The Planning Commission requested that the applicant meet with staff to explore limitations for the used automobile sales use, noting that used automobile sales requires the approval of a Special Use Permit. In recommending approval of this request, the Planning Commission deleted a condition proposed by staff that would have restricted the age of vehicles sold on this site. The Planning Commission felt that the issue of vehicle age would be more appropriately addressed during the Special Use Permit hearing.]

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-6-99 - PUBLIC HEARING - Z-11-99 - SHAWBETH, INC.

PURPOSE/BACKGROUND

PC NOTICES MAILED: 1,731

APPROVALS: 0

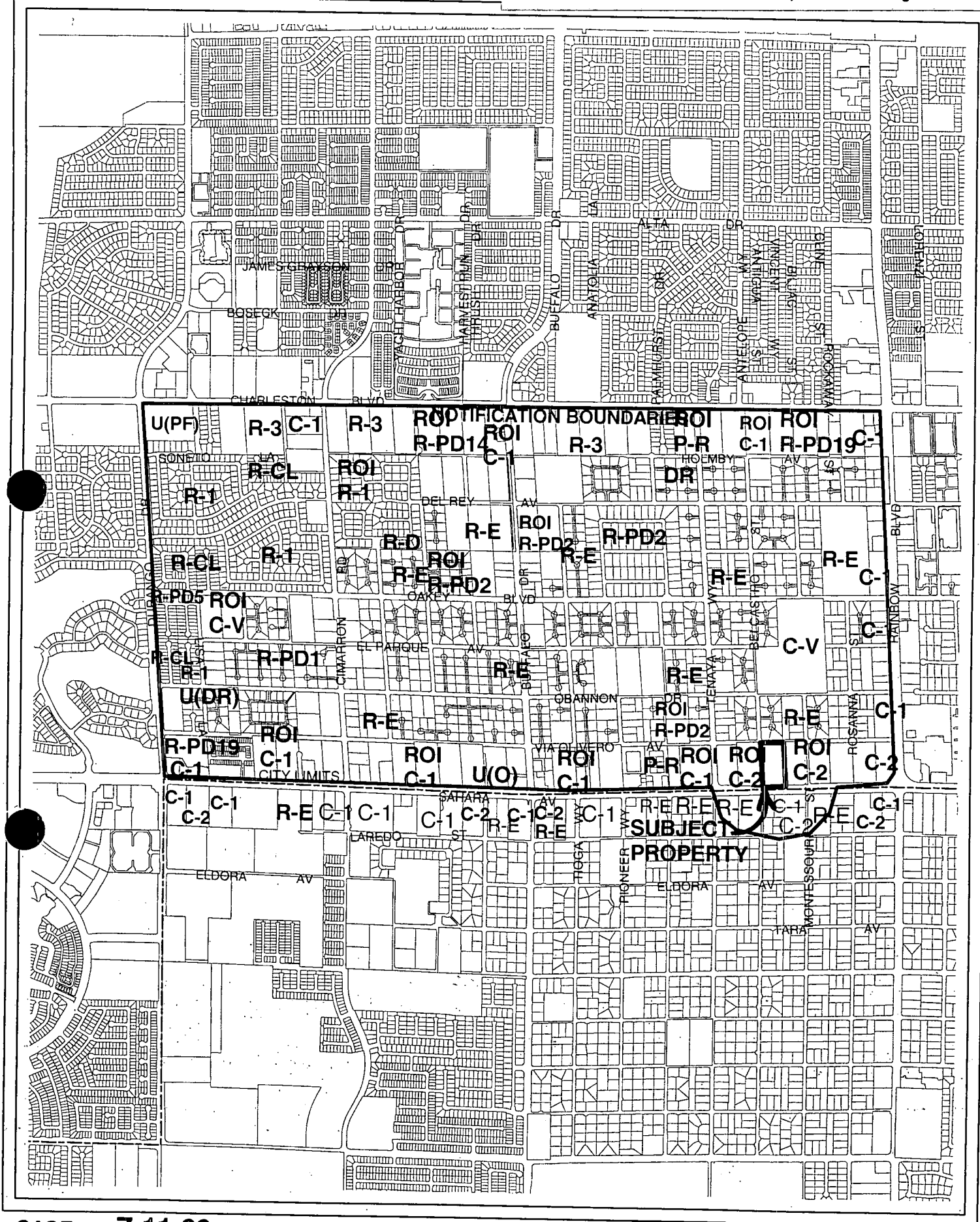
PROTESTS: 4

[Note: The protesters stated concerns that used automobile sales without new automobile sales would not be consistent with other approvals for automobile dealerships in the area.]

SEE ATTACHED LOCATION MAP

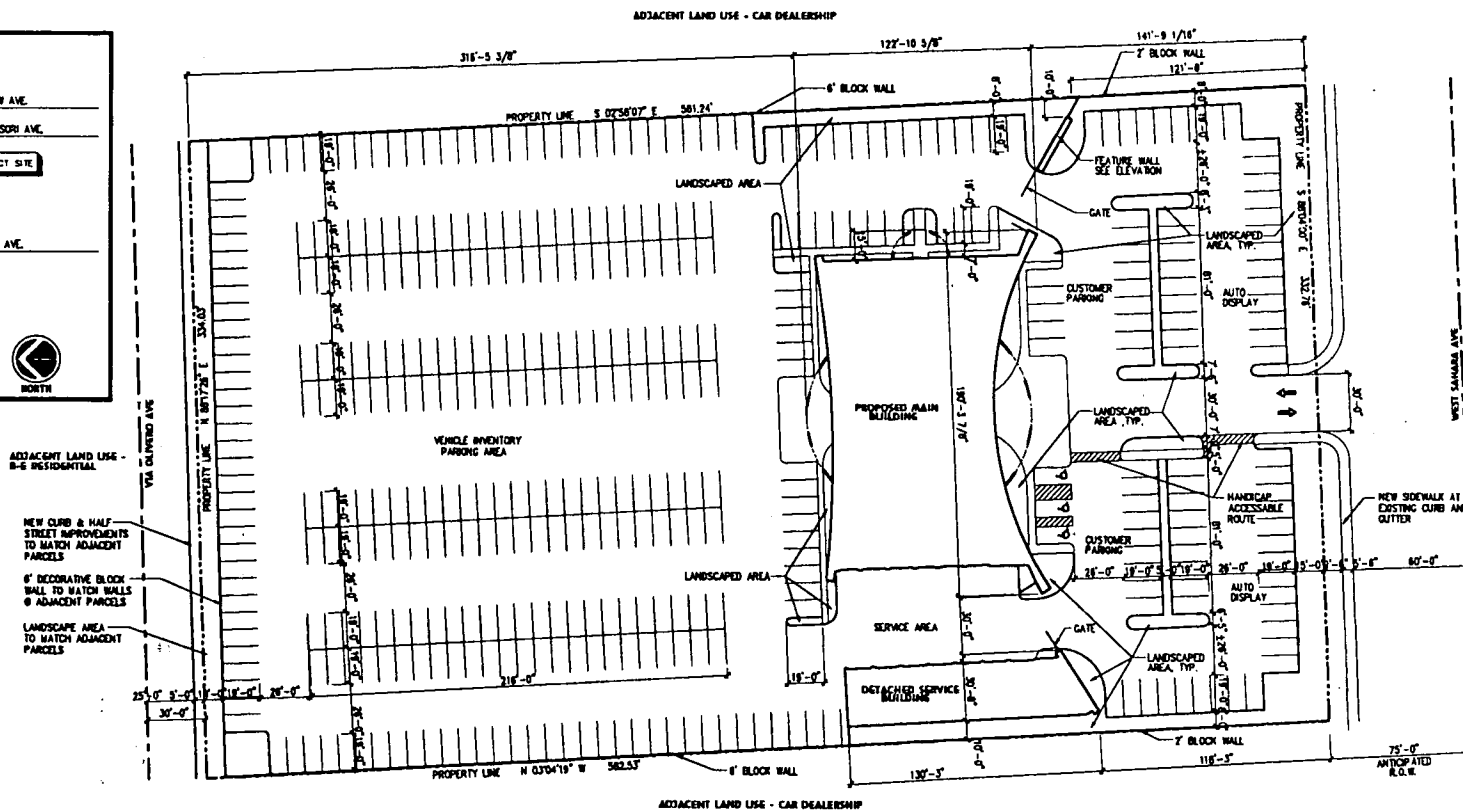
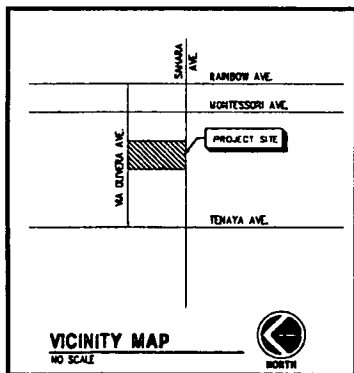
Agenda Item

--



CASE: Z-11-99
RADIUS: EXPANDED





PROPOSED BUILDING

MAIN BUILDING 1ST FLOOR	11,808 S.F.
SHOWROOM, OFFICES	2,800 S.F.
SERVICE BAYS	9,008 S.F.
SUBTOTAL	12,608 S.F.
DETACHED SERVICE BUILDING	3,703 S.F.
TOTAL 1ST FLOOR	16,312 S.F.
MAIN BUILDING 2ND FLOOR	
OFFICES	3,101 S.F.
TOTAL SQUARE	19,413 S.F.
FOOTAGE PROPOSED	
SITE AREA	4.43 ACRES NET
LOT COVERAGE (T.A.R.)	8.4%

PARKING CALCULATION:

SHOW ROOM, OFFICE AREAS 14,710 S.F. / 500 = 29.42 CUSTOMER SPACES REQUIRED	
AUTO REPAIR GRAGE AREAS 8,603 S.F. / 200 + 5 SPACES = 38.02 SPACES REQUIRED	
TOTAL PARKING PROPOSED	
CUSTOMER PARKING	30
SERVICE, EMPLOYEES & INVENTORY PARKING	284
TOTAL	314

SITE PLAN
SCALE: 1"=30'-0"



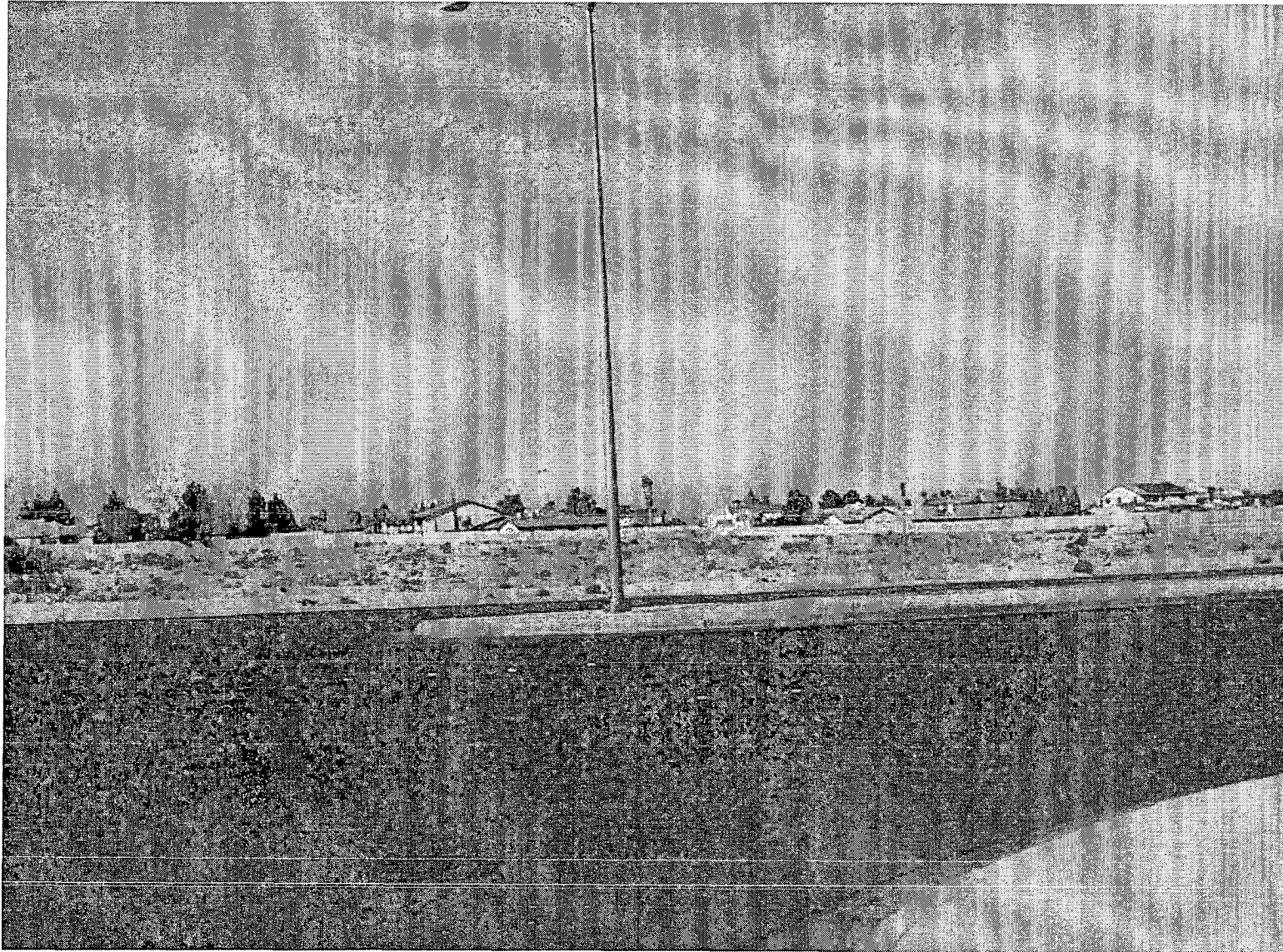
STAFF
GPA-6-99
Z-11-99
4-15-99 QPC

RDS MOTORS

SITE PLAN

PRELIMINARY LANDSCAPE PLAN
SCALE: 1"=50'-0"





April 15, 1999 Quarterly Planning Commission GPA-6-99 and Z-11-99

Dear Neighbor;

You have recently been notified of another petition for rezoning from RDS Motors/Mr. Douglas Spedding for a Used Car and Truck retail center on Sahara Blvd. between the Courtesy and Jaguar dealerships. Although they list the conditions we asked for and received by the other dealers, we cannot allow this property to get rezoned because it is a USED CAR LOT not a new car dealership.

I met with Mr. Spedding and I told him I was concerned by his prior business practices. His comment was that it was his people, not him, running it and he was not responsible for their actions. Well, who knows who will run this place.

We don't need signs, fences, etc. for his special sales. Mr. Spedding is famous for opening a new business and then turning around and selling it. What prevents him from selling this dealership. Once approved, all conditions would be out the window and we could face 7 days a week sales, loud speakers, late hours, etc. **WE MUST NOT ALLOW THIS AREA TO BE REZONED.**

Please sign the petition or call Councilman Mike MacDonald's office at 229-6405 and tell him you are against Z-11-99 and GPA-6-99. If you have any further questions, you can contact me, your neighbor Stuart Niems at home - 228-6667 or work 876-1799.

#116.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 99

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

117

GPA-9-99 - ROBERT E. HORNER, ET AL

Request to Amend a portion of the Southwest Sector of the General Plan on properties located at 6811 and 6825 West Oakey Boulevard, From: L (Low Density Residential) To: O (Office), Ward 1 (McDonald), APN's: 163-02-310-002 and 003.

NOTICES MAILED: 329 BY PLANNING DEPT

APPROVALS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

PROTESTS: 44

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 44

Staff recommends DENIAL.

Due to the failure of the Planning Commission to establish a super-majority vote (3-3 on a recommendation for denial), this item is being forwarded to City Council as a recommendation for DENIAL.

**McDONALD - DENIED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

RICHARD GALLEGOS, 2301 Richard Drive, and BRIAN HORNER, BJH Investments, 2437 High Vista Circle, Henderson, Nevada, appeared to represent the application. MR. GALLEGOS said these properties are no longer suitable for residential use. There is high density residential to the north at approximately 18 units per acre with C-1 (Commercial) uses to the west and northwest. There are three lots in the Wildwood Development that face Oakey, an 80 foot wide street.

PEGGY POE, 6811 West Oakey, appeared to represent one of the properties on this application. She and her husband purchased their home in 1977 with the idea of living there many years. It would be an adequate location to raise their two children and grandchildren. At this time, the traffic is so heavy that her grandchildren cannot play in the yard. It is difficult to get in and out of their circular driveway. Her neighbors don't think the traffic in front of her house is very heavy, but is heavy on their streets. Motorists use her driveway as a shortcut to get to their destinations faster. She submitted a copy of a letter dated 4/3/97 in approval from JANET T. ABNEY representing the residents of Wildwood Estate #2.

COUNCILMAN REESE asked if anyone lives in the property due west of MS. POE's house. RICHARD GALLEGOS explained there are three parcels; the POE's to the east, MR. HORNER in the center, and the LEAVITT's to the west.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 100

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

GPA-9-99 - ROBERT E. HORNER, ET AL

PAT DOUGLAS, 6810 Adobe Court, appeared in opposition. When she purchased her home in Wildwood Ranch Estates, the surrounding property was zoned R-E. She understood that Rainbow would eventually become commercial, but the rest of the area would remain single family dwellings. Subsequently, apartments were developed around her subdivision. The traffic has increased along Oakey in this area. The residents in Wildwood Ranch Estates have a problem exiting Casa Vista and Redwood onto Oakey. The subject residents are set back from Oakey and she suggested those homes could be sold if reasonably priced. However, this is spot zoning. There are many other locations for a commercial business.

MARY JOHNSON, 6824 Adobe Court, appeared in protest. This is a threat to the integrity of the Wildwood Ranch Estates residential neighborhood. The subject properties are surrounded on three sides by single family residential estates. The fourth side abuts condominiums. There are no office designated parcels in this section of Oakey. There is no need to turn a home into an office when the applicant's business can be located in a vacant P-R approved space or office space available on Rainbow and Jones. However, Alta is a comparable east/west street and a residential road. If this request is approved, it will set a precedent. She submitted a map outlining the development in the area.

MR. GALLEGOS rebutted that this proposal will not impact the neighbors by encroaching into setbacks or parking in the rear. They plan to maintain the existing mature trees. The applicant purchased this property approximately three years ago with the idea of living in the home. After living there for a year, he discovered the area was not conducive for residential use. He put the house up for sale and the only offers were for professional uses. They have offered to plant additional trees, raise the wall height, and other mitigations. MR. LEAVITT, who lives in the home to the west, is against this application, but his wife is in approval.

MR. HORNER stated that the house was appraised and the only offer was under the appraised value. He plans to use this property for his computer graphics company, which has only three employees. Since his partner and he are handicapped, it is easier for them to conduct their business in a house environment rather than in a commercial property. This house is rented monthly at the present time. They will be improving the property.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 101

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

GPA-9-99 - ROBERT E. HORNER, ET AL

EDDIE ESCOBEDO, 3008 Holly Hill, appeared in favor as he plans to do business with MR. HORNER. He explained that he likes to do business with minority and handicapped persons.

MAYOR PRO TEM McDONALD was concerned about spot zoning. This request is not compatible with the area. The City is looking at traffic mitigation plans through the major corridors. This will not promote the health, safety and welfare of the neighborhood. In essence, this zoning is too intense.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

(4:46 - 5:13)

5 - 1510

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-9-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND**APPLICATION REQUEST:**

This amendment to the Land Use Element of the General Plan from L (Low Density Residential) to O (Office) was filed in conjunction with a rezoning request from R-E (Residence Estates) to P-R (Professional Office and Parking) for the purpose of developing an office complex. The applicant justified the request for the following reasons:

1. The site fronts on Oakey Boulevard, an 80 foot wide street.
2. The owners have been unable to find a buyer for this property under its present residential designation.
3. Proposed P-R (Professional Office and Parking) zoning will not have any impact upon the area schools.

BACKGROUND DATA:

- | | |
|----------|--|
| 08/12/68 | The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas Valley. Within this document, the subject parcel was designated Low Density Residential, with a maximum density of six units per acre |
| 05/26/77 | The Clark County Regional Planning Commission adopted a Regional Comprehensive General Plan for the Las Vegas Valley. Within this document, the subject parcel was designated Low Density Residential, with a maximum density of seven units per acre |
| 08/07/85 | The Las Vegas City Council adopted Community Profiles: A component of the Short-Range Plan Phase of the General Plan. Within this document, the subject parcel was designated Rural Density Residential, with a maximum density of three units per acre. |
| 04/01/92 | The Las Vegas City Council adopted the City of Las Vegas General Plan. On this plan, the subject site was designated Rural Residential, with a maximum density of 3.96 units per acre. |
| 12/03/98 | The Planning Commission DENIED a request for a Special Use Permit for a commercial child care facility at 6825 West Oakey Boulevard (U-136-98). |

Agenda Item

117

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-9-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND

EXISTING LAND USE:

Subject Property	Single Family Dwellings
North	Condominiums
South	Single Family Dwellings
East	Single Family Dwellings
West	Single Family Dwelling

PLANNED LAND USE:

Subject Property	R (Rural Density Residential)
North	M (Medium Density Residential)
South	R (Rural Density Residential)
East	R (Rural Density Residential)
West	R (Rural Density Residential)

EXISTING ZONING OF SUBJECT PROPERTY AND ADJACENT PROPERTIES:

Subject Property	R-E (Residence Estates)
North	R-PD17 (Residential Planned Development - 17 Units Per Acre)
South	R-E (Residence Estates)
East	R-E (Residence Estates)
West	R-E (Residence Estates)

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-9-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND**DETAILS OF APPLICATION REQUEST:**

R (Rural Density Residential)

The Rural Density Residential category allows a maximum of 3.96 dwelling units per acre. This is a rural or semi-rural environment with a life-style much like that of Desert Rural, but with a smaller allowable lot size, ranging from 11,000 to 40,000 square feet or greater.

O (Office)

Office uses are intended to serve as a transitional buffer between residential and commercial areas. Permitted office uses include business, professional and financial offices as well as offices for individuals, civic, social, fraternal and other non-profit organizations.

The parcel is located on Oakey Boulevard, a secondary street with a maximum right-of-way width of 80 feet.

The *Trip Generation Manual*, prepared by the Institute of Traffic Engineers, indicates a general office of the proposed size (5,248 square feet) will generate approximately 34 vehicle trips per peak hour (weekdays at 4PM).

The P-R (Professional Office and Parking) zoning designation that would be allowed under the proposed General Plan Amendment allows such uses as offices, museums and copy centers.

All utilities are available in the vicinity of the site. The nearest fire station is approximately 1.89 miles to the northeast. The nearest police station is 1.75 miles away.

The applicant states that a neighborhood meeting was held regarding this application. Five property owners attended the meeting, and indicated they were not in favor of this request, believing that it would lead to further commercial development on this portion of Oakey Boulevard.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-9-99 - ROBERT E. HORNER, ET AL**PURPOSE/BACKGROUND****ANALYSIS AND FINDINGS:**

Staff believes that the existing R (Rural Density Residential) land use designation is the appropriate category for this property. The properties to the east, west, and south are also designated R and are developed with single-family dwellings at two units per acre. The property to the north is designated M (Medium Density Residential) and developed with condominiums at 17 units per acre.

Staff finds the amendment inappropriate for the following reason:

Objective C of the Land Use Element of the General Plan states that the City should achieve a compatible balance of land uses throughout the City by providing appropriate and compatible locations for all land use categories. There are no Office-designated parcels along the section of Oakey Boulevard between Rainbow Boulevard and Torrey Pines Drive. Because the area in the vicinity of the request is suburban in character, approval of this request would constitute a spot zoning.

Staff recommends DENIAL.

Due to the failure of the Planning Commission to establish a super-majority vote (3-3 on a recommendation for denial), this item is being forwarded to City Council as a recommendation for denial.

[Note: The Planning Commission had mixed feelings on this request as evidenced by the split vote. On the one hand Commission members noted that because the site is oriented toward Oakey Boulevard it is not connected to the interior of the neighborhood and is less attractive for residential use, on the other hand Commission members were concerned that this request could set a precedent for other properties which front to Oakey.]

PC NOTICES MAILED: 329

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-9-99 - ROBERT E. HORNER, ET AL**PURPOSE/BACKGROUND****APPROVALS: 1**

[Note: The person who spoke in favor of this request cited traffic, commercial encroachment, and the multi-family development on the north side of Oakey as reasons why this request should be approved.]

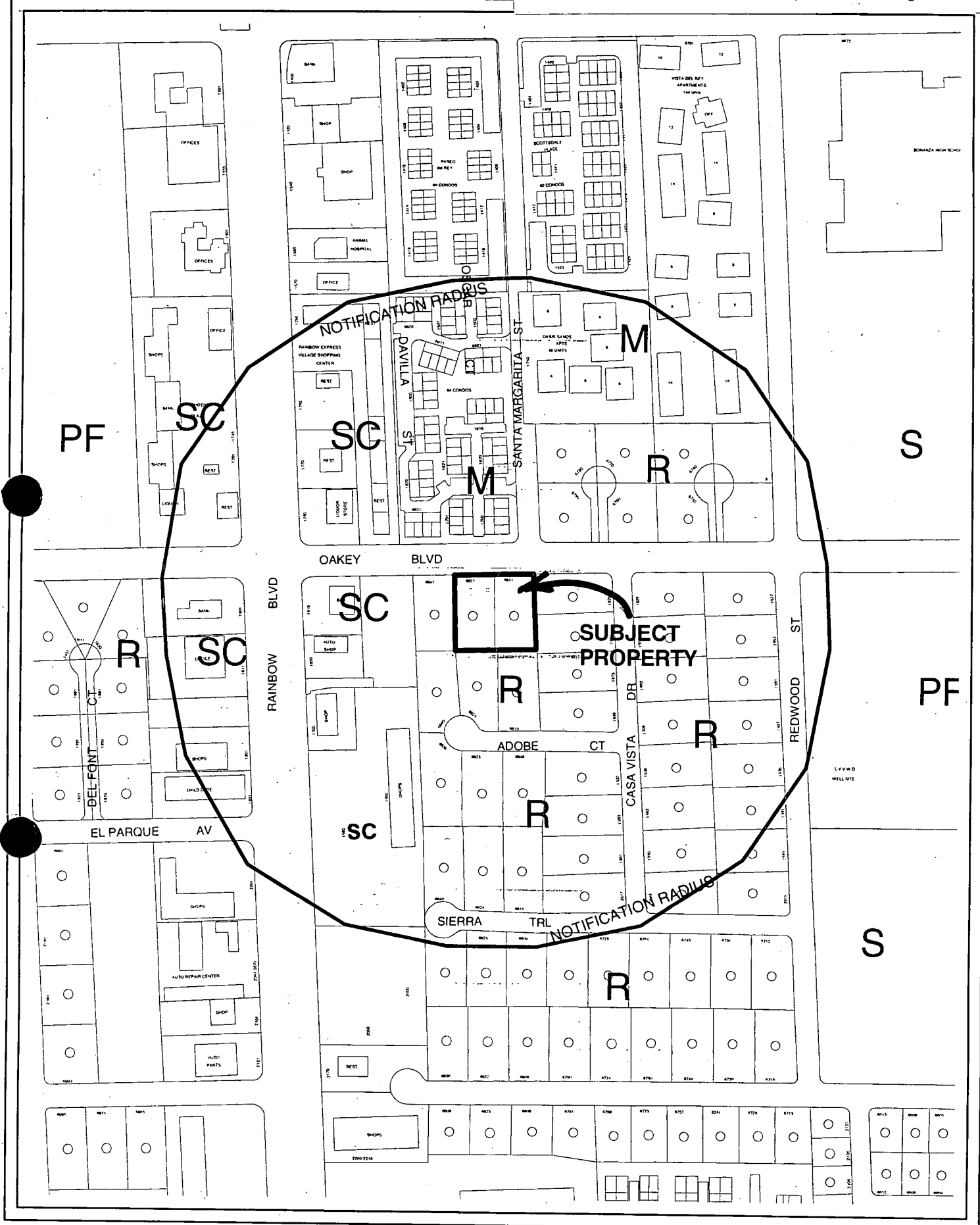
PROTESTS: 44

[Note: The protesters oppose any office use along Oakey adjacent to the existing single family neighborhood and are concerned that the use would have a negative impact on the quality of life, neighborhood safety, and general character of the area.]

SEE ATTACHED LOCATION MAP

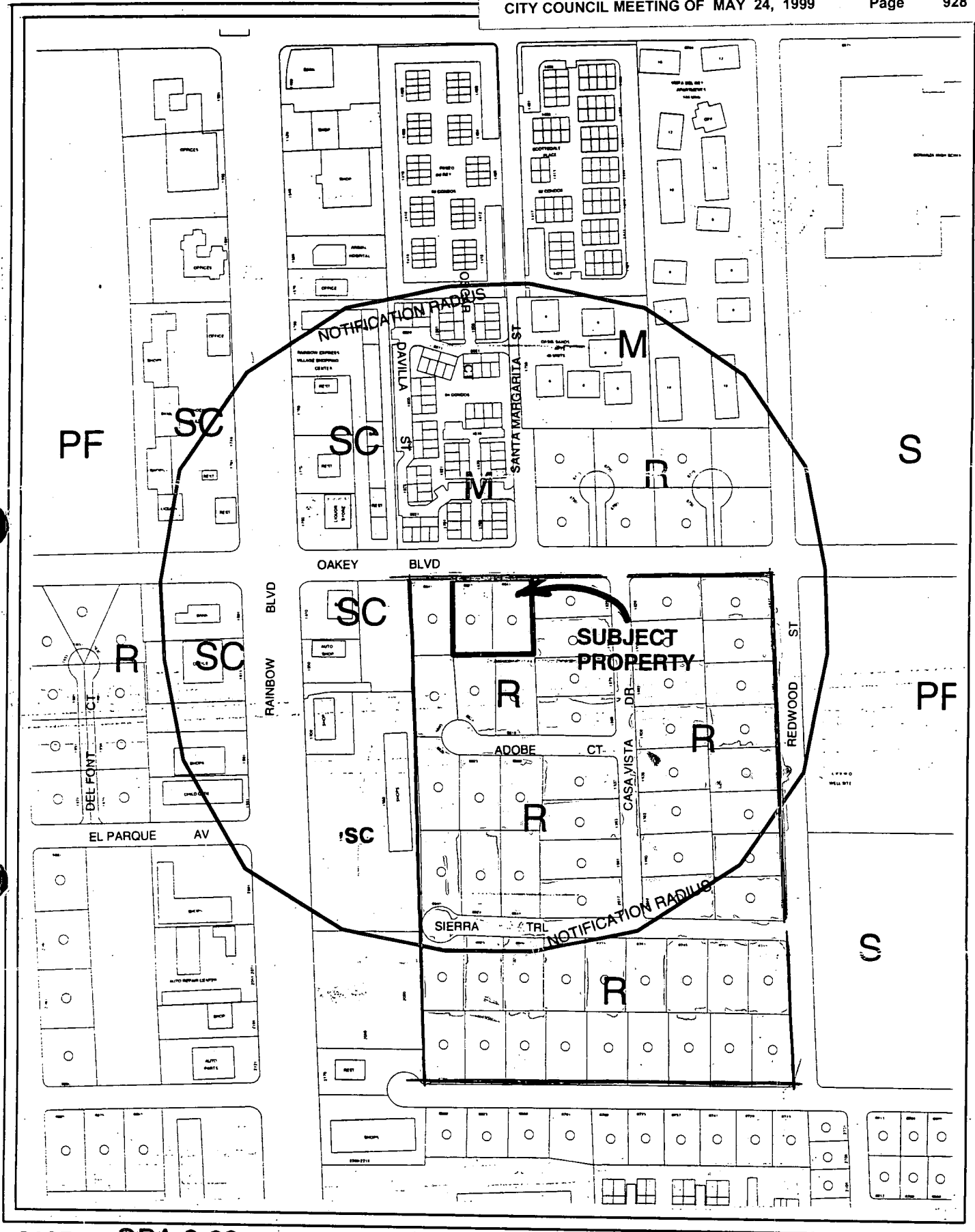
Agenda Item

--



CASE: GPA-9-99
RADIUS: 750 FT





CASE: GPA-9-99

RADIUS: 750 FT

Pink-Signed petition
for denial
Yellow-Spoke for denial, but not on petition
24 of 45
All approved
54-1/2 acre
45



#117

6824 Adobe Court
Las Vegas, NV 89146
April 5, 1999

Councilman Michael J. McDonald
400 East Stewart Avenue
10th Floor
Las Vegas, NV 89101

Re: GPA-9-99 and Z-14-99

Dear Councilman McDonald:

Enclosed you will find a copy of a letter I am submitting to the City Planning Commission. It involves property in Ward 1. As you can probably tell by the tone of the letter, my husband and I are quite distressed about this situation.

Any support we could count on from you would be greatly appreciated. It is nice to feel that the homeowners in our development can count on honest representation and continued support of the existing General Plan.

Sincerely,


Mary Jane Johnson

Enc.

117

6824 Adobe Court
Las Vegas, Nevada 89146
April 5, 1999

Planning and Development Department
Current Planning Division
Development Services Center
731 South Fourth Street
Las Vegas, Nevada 89101

Re: GPA-9-99 and Z-14-99

Dear Ms. Wauwie and City Planning Commission Members:

I am writing to object to the request to amend the General Plan in order to rezone the two properties cited in the above-referenced notices.

Three years ago my husband and I searched the entire valley for eight months to find a large lot on which a moderately-sized house was located. We wanted a development with family homes and residents with a strong sense of community. We made it a point to know our neighbors, not only out of politeness but also to provide a sense of security in the area. We have been fortunate to have kind and caring neighbors on our street.

We realized we were close to Rainbow and Oakey, and we saw that Rainbow was zoned commercial and were willing to accept this type of growth (with its accompanying dust and noise) in order to purchase the home and property we now own and love. We viewed Rainbow as a commercial corridor running north and south, something of a "necessary evil."

However, we also verified that the houses on the property abutting ours were all zoned R-residential, including the houses immediately to our rear and facing West Oakey Boulevard. The owners of these two homes have now requested to be re-zoned for businesses. This is a blow to my husband and I. We wanted to retire in Las Vegas at our current residence, and we placed our faith in a Master Plan for an already developed area. According to this General Plan, residential areas extend east and west on Oakey. Why disrupt a happy community by changing the zoning merely to put a few extra dollars into the pockets of the owners (not necessarily the residents) of these two family dwellings? I would like to know that I can look out the back windows of my home and not face the continued encroachment of office buildings and stores, and face, instead, the smiling faces of satisfied residents in my supportive community.

Sincerely,



Mary Jane Johnson

cc: City Planning Commission Members

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 102

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-9-99 - PUBLIC
HEARING**

118

Z-14-99 - ROBERT E. HORNER, ET AL

Request for a Rezoning on properties located at 6811 and 6825 West Oakey Boulevard, From: R-E (Residence Estates) To: P-R (Professional Office and Parking), PROPOSED USE: CONVERSION OF TWO EXISTING SINGLE FAMILY RESIDENCES TOTALING 5,248 SQUARE FEET FOR PROFESSIONAL OFFICES, Size: 0.92 Acre, Ward 1 (McDonald), APN's: 163-02-310-002 and 003.

NOTICES MAILED: 329 BY PLANNING DEPT

APPROVALS: 1

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 1

PROTESTS: 44

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 44

Staff recommends DENIAL.

The Planning Commission vote resulted in a tie (3-3) which is tantamount to recommending DENIAL. If approved, subject to:

1. Prior to the issuance of permits, the applicant shall work with staff to provide five additional 24-inch box trees within planter areas adjacent to the parking area.

**McDONALD - DENIED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: All related discussion for Item 117 [GPA-9-99] and Item 118 [Z-14-99] took place under Item 117 [GPA-9-99].

(4:46 - 5:13)

5 - 1510

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 103

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****DENIED**Z-14-99 - ROBERT E. HORNER, ET AL

2. The applicant shall remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to occupancy of this site as required by the Department of Public Works.

3. The applicant shall meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation, and parking lot layout prior to the occupancy of this site or the issuance of any permits, whichever may occur first.

4. If such has not already been established and because it appears that access and parking may be shared by both parcels of this overall site, a Joint Access and Parking Agreement shall be required to allow intrasite circulation between the two adjoining parcels.

5. The applicant shall contribute \$1,500 for general neighborhood traffic mitigation prior to the issuance of building or off-site permits, whichever may occur first, as required by the Department of Public Works. The City reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any intersection within this general vicinity which is impacted by this development.

6. All landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

7. A Resolution of Intent.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 104

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****DENIED**Z-14-99 - ROBERT E. HORNER, ET AL

8. All development shall be in conformance with the site plan, as amended by the above conditions, and building elevations.

9. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

10. The applicant shall submit a landscaping plan prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

11. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

12. All City Code requirements and design standards of all City departments must be satisfied.

13. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.

14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

15. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 105

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****DENIED**Z-14-99 - ROBERT E. HORNER, ET AL

16. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade.

17. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

City of Las Vegas

CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-9-99 - PUBLIC HEARING - Z-14-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This is a request for a Rezoning from R-E (Residence Estates) to P-R (Professional Office and Parking) for the proposed conversion of two existing single-family residences, totaling 5,248 square feet, to professional offices on properties totaling 0.92 acres located at 6811 and 6825 West Oakey Boulevard.

BACKGROUND DATA:

12/03/98 The Planning Commission denied a request for a Special Use Permit for a commercial child care facility at 6825 West Oakey Boulevard (U-136-98).

DETAILS OF APPLICATION REQUEST:

Site Area:	0.92	Acres
Building Area:	5,248	Square Feet
Parking Required:	18	Spaces (including one handicap space)
Parking Provided:	22	Spaces (including two handicap spaces)

This site is developed with two existing single-family dwellings. Access to the site is provided by two driveways to Oakey Boulevard. Fifteen foot wide landscape planters with 24-inch box trees spaced approximately 15 feet on center are shown along the street frontage. Ten foot wide planters are shown along the east and west property lines. There is existing mature landscaping in the rear portion of the properties.

ZONING AND LAND USE INFORMATION:

EXISTING LAND USE:

Subject Property	Single Family Dwellings
North	Condominiums
South	Single Family Dwellings
East	Single Family Dwellings
West	Single Family Dwelling

Agenda Item

118

City of Las Vegas

CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-9-99 - PUBLIC HEARING - Z-14-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND

PLANNED LAND USE:

Subject Property	R (Rural Density Residential)
North	M (Medium Density Residential)
South	R (Rural Density Residential)
East	R (Rural Density Residential)
West	R (Rural Density Residential)

EXISTING ZONING OF ADJACENT PROPERTIES:

North	R-PD17 (Residential Planned Development - 17 Units Per Acre)
South	R-E (Residence Estates)
East	R-E (Residence Estates)
West	R-E (Residence Estates)

FINDINGS:

GENERAL PLAN:

The applicant has filed an application for General Plan Amendment from L (Low Density Residential) to O (Office) for these properties. Objective C of the Land Use Element of the General Plan stipulates that the City should achieve a compatible balance of land uses throughout the City by providing appropriate and compatible locations for all land use categories. There are no Office-designated parcels along this section of Oakey Boulevard. Because the area in the vicinity of the request is suburban in character, approval of this request would constitute a spot zoning.

Program C2.1 of the Land Use Element of the General Plan stipulates that the City should plan commercial land uses in locations to provide essential goods and services throughout the City, with emphasis placed on planned commercial development instead of "strip commercial" development. This application does not meet the intent of the above stated program. If this application were approved, it would be the start of commercial development extending along Oakey Boulevard.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-9-99 - PUBLIC HEARING - Z-14-99 - ROBERT E. HORNER, ET AL

PURPOSE/BACKGROUND**REZONING:**

The existing homes along this portion of Oakey Boulevard (from Torrey Pines Drive to Rainbow Boulevard) are all zoned R-E (Residence Estates) and are in a well-maintained condition. Staff believes that if the subject property were to convert to a commercial use, it would set a negative precedent whereby other single-family dwellings in the area would also be requested for conversion.

SITE PLAN:

Staff has no major objections to the site plan as submitted, other than the plan is for an inappropriate land use. The site plan complies with the Urban Design Guidelines and Standards, however, if this application is approved, staff has determined that there is sufficient room in the front yard area for the placement of five additional 24-inch box trees. This will aesthetically enhance the appearance of the parking area when viewed from Oakey Boulevard.

Staff recommends DENIAL.

The Planning Commission vote resulted in a tie (3-3) which is tantamount to recommending DENIAL.

[Note: The Planning Commission had mixed feelings on this request as evidenced by the split vote. On the one hand Commission members noted that because the site is oriented toward Oakey Boulevard it is not connected to the interior of the neighborhood and is less attractive for residential use, on the other hand Commission members were concerned that this request could set a precedent for other properties which front to Oakey.]

PC NOTICES MAILED: 329

APPROVALS: 1

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-9-99 - PUBLIC HEARING - Z-14-99 - ROBERT E. HORNER, ET AL**PURPOSE/BACKGROUND**

[Note: The person who spoke in favor of this request cited traffic, commercial encroachment, and the multi-family development on the north side of Oakey as reasons why this request should be approved.]

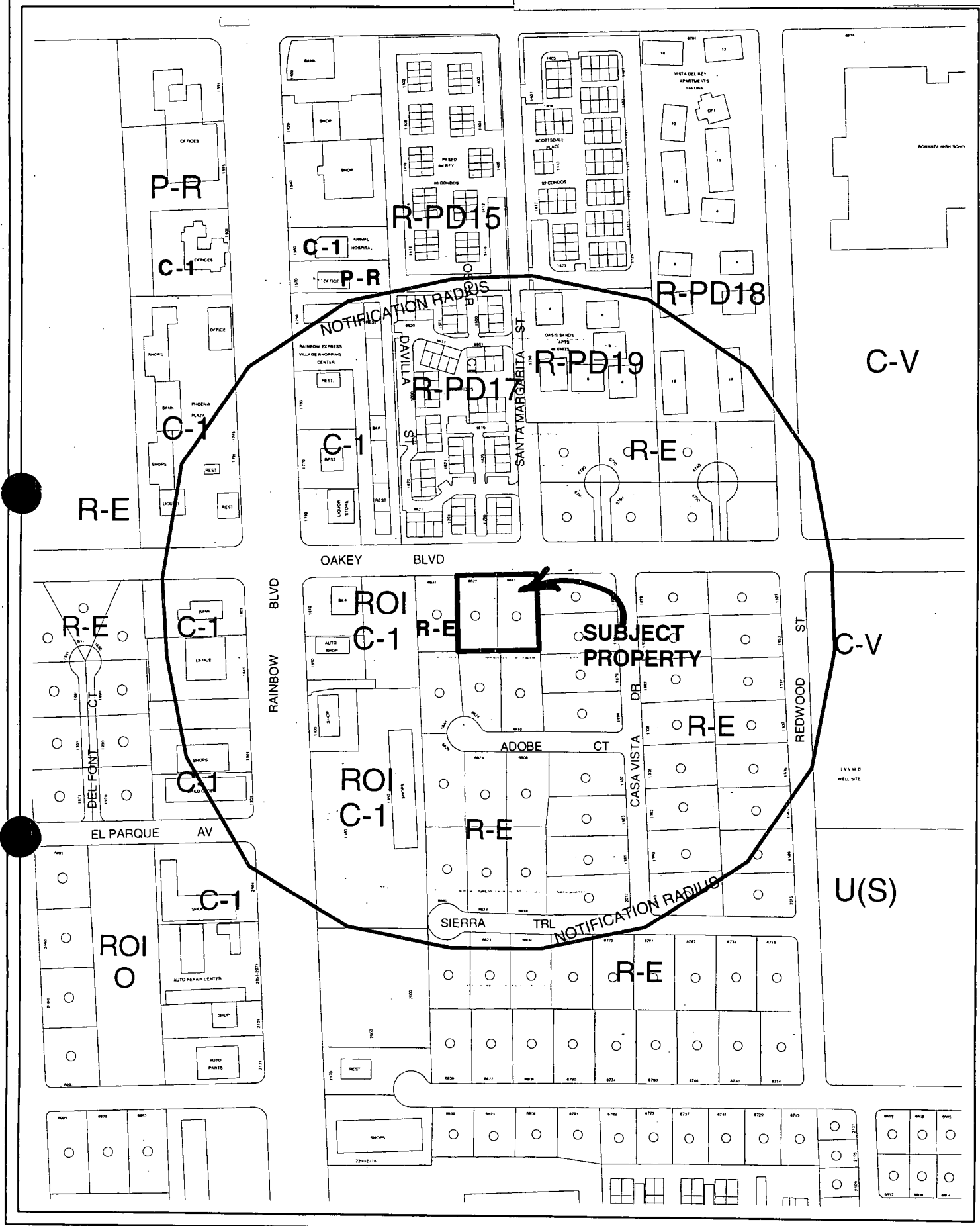
PROTESTS: 44

[Note: The protesters oppose any office use along Oakey adjacent to the existing single family neighborhood and are concerned that the use would have a negative impact on the quality of life, neighborhood safety, and general character of the area.]

SEE ATTACHED LOCATION MAP

Agenda Item

--

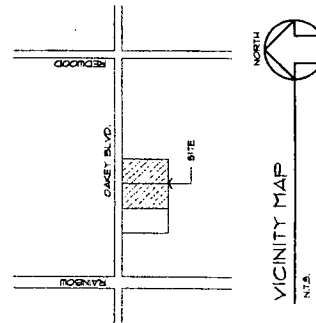


CASE: Z-14-99
RADIUS: 750 FT

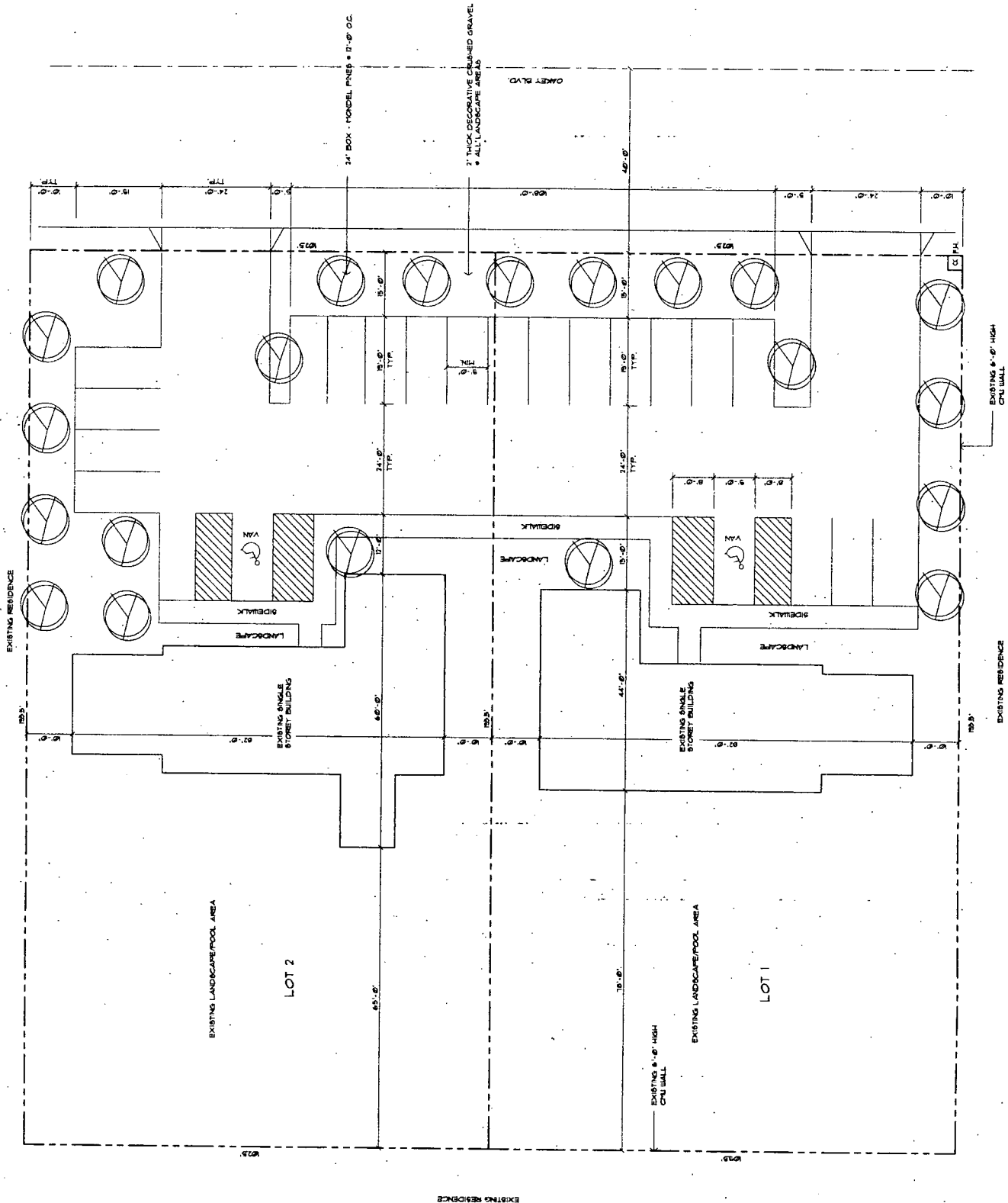


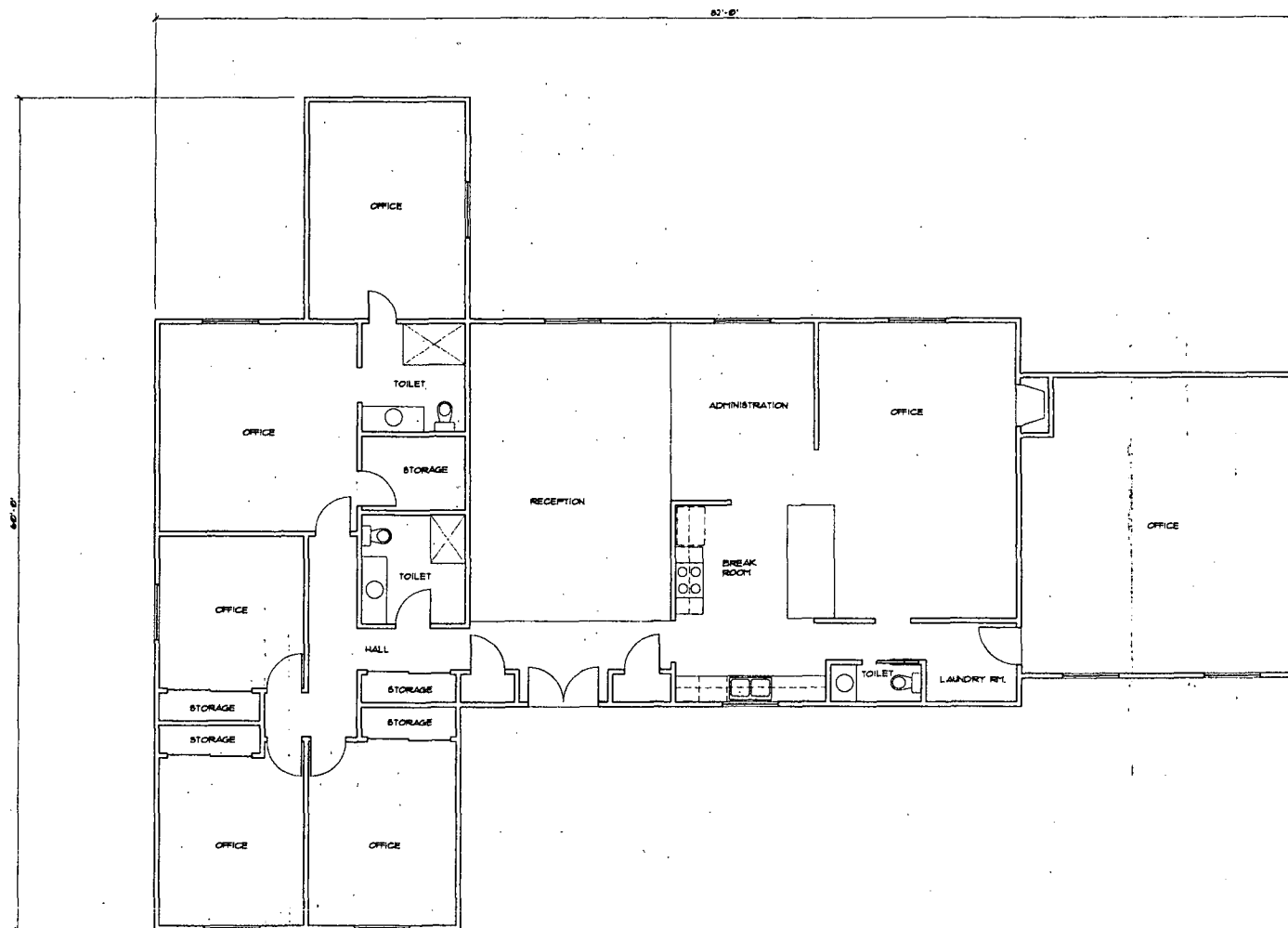
PROJECT DATA

EXISTING USE ZONE	R-E
PROPOSED USE ZONE	PR
LOT 1 AREA	20,000 SQ. FT.
LOT 2 AREA	20,000 SQ. FT.
LOT 1 FLOOR AREA	2,170 SQ. FT.
LOT 2 FLOOR AREA	2,310 SQ. FT.
LOT COVERAGE (LOT 1 & 2)	13%
PARKING REQUIRED (LOT 1 & 2)	18 STALLS
PARKING PROVIDED (LOT 1 & 2)	22 STALLS



GPA-9-99
Z-14.99
APC 4-15-99



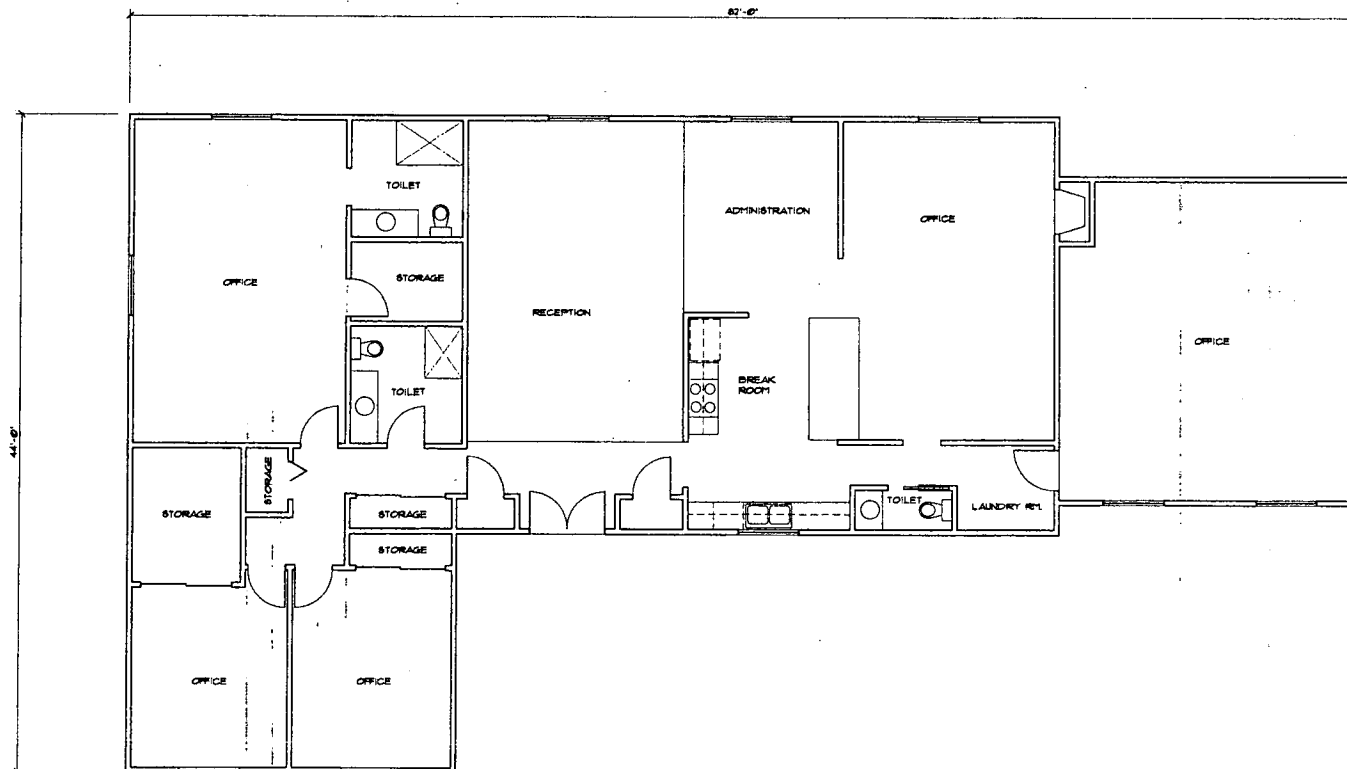


FLOOR PLAN - LOT 2

SCALE: 1/4" = 1'-0"

GPA. 9-99
Z-14-99
QPC 4-15-99

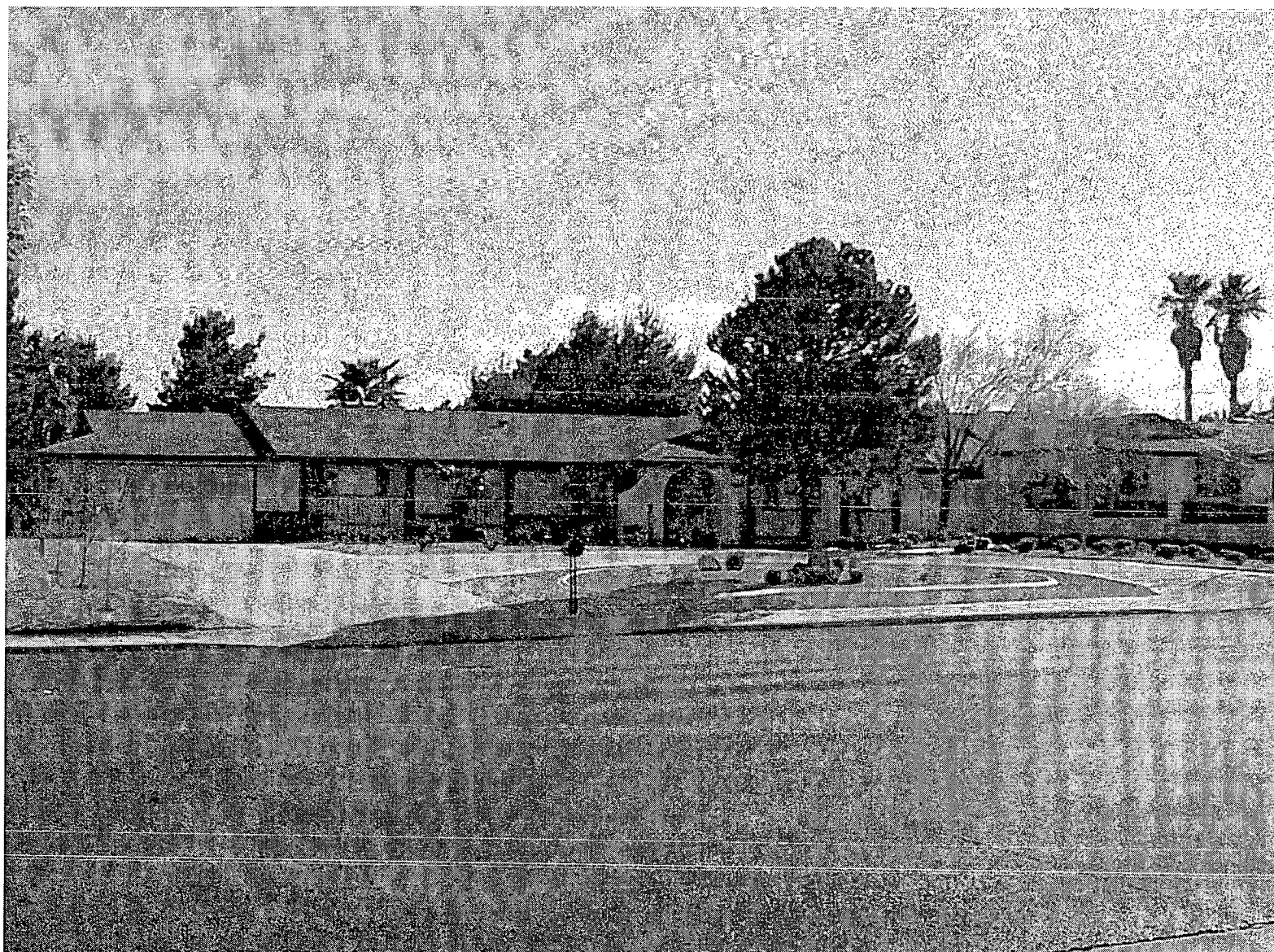
TITLE
PROJECT
CLIENT
ARCHITECT
DATE
FLOOR PLAN - LOT 2
OAKLEY PROFESSIONAL BLDG.
BUH INVESTMENTS
6035 W. OAKLEY
LAS VEGAS, NV 89146
SCALE: 1/4" = 1'-0"



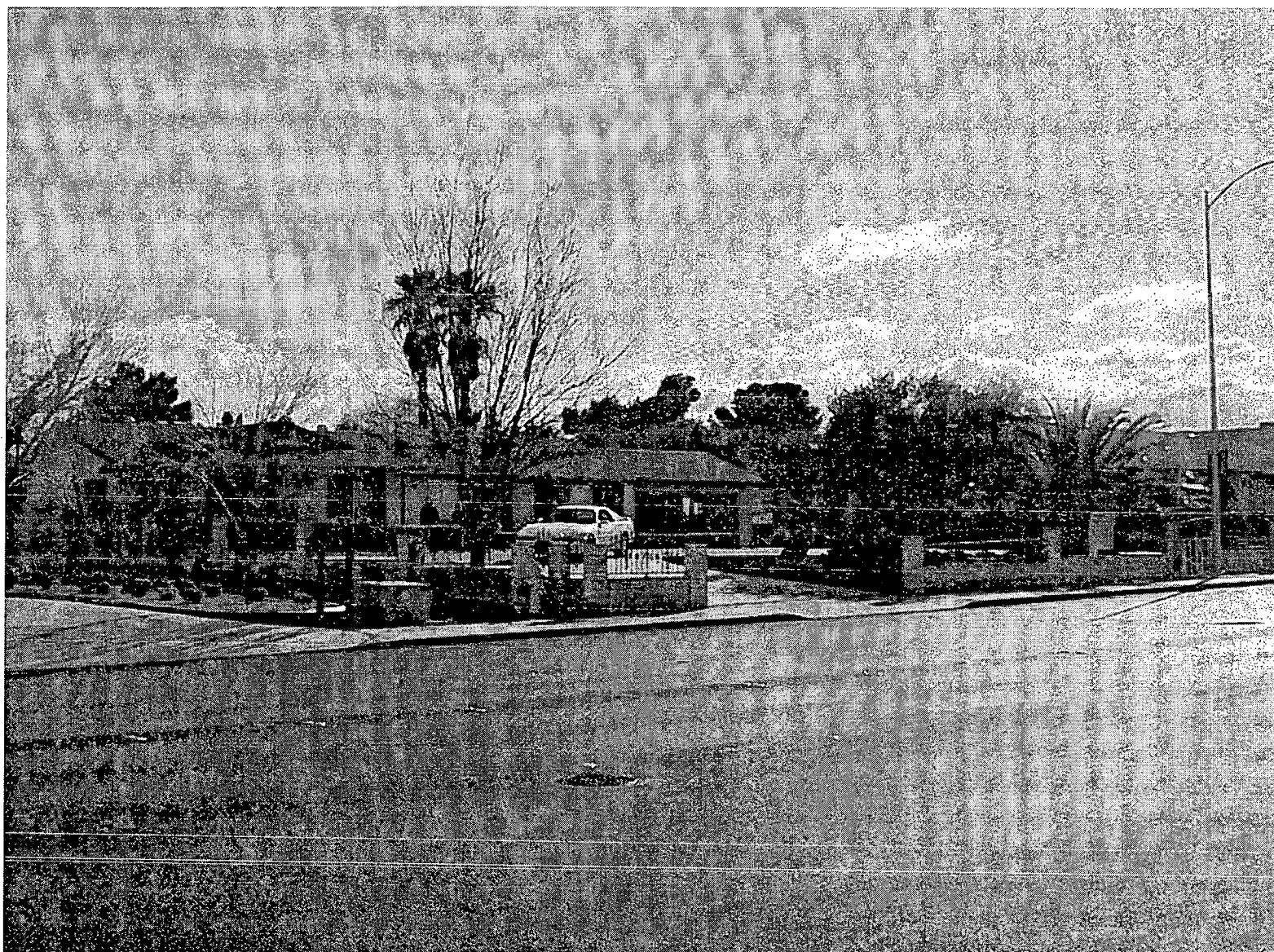
FLOOR PLAN - LOT 1
SCALE: 1/4" = 1'-0"

GPA-9-99
Z-14-99
QPC 4-15-99

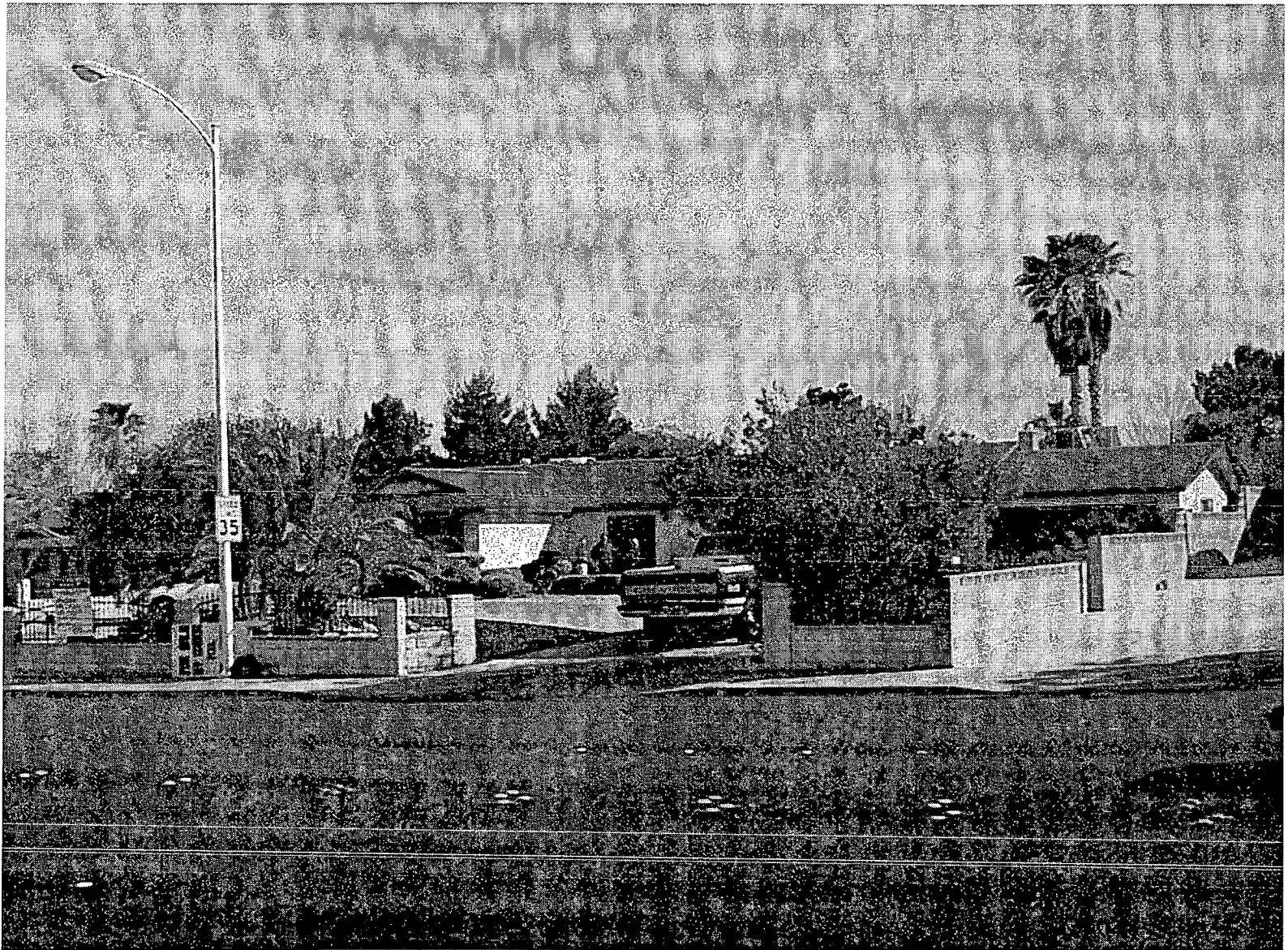
FLOOR PLAN - LOT 1	
TITLE:	Oakey Professional Bldg.
PROJECT:	BJH INVESTMENTS
CLIENT:	6825 W. OAKLEY
ADDRESS:	LAS VEGAS, NV 89146
NO. SHEETS:	SCALE: AS SHOWN
DATE:	7-17-99
43	



April 15, 1999 Quarterly Planning Commission GPA-9-99 and Z-14-99



April 15, 1999 Quarterly Planning Commission GPA-9-99 and Z-14-99



April 15, 1999 Quarterly Planning Commission GPA-9-99 and Z-14-99

April 3, 1997

City of Las Vegas
Traffic Engineer
400 E. Stewart
Las Vegas, Nv. 89101 -

Gentlemen:

This letter is written on behalf of the residents of WILDWOOD ESTATES #2 - located one block east of Rainbow off Oakey to the south.

The housing area consists of 60+ homes in the plus \$150,000.00 category and have been there over 18 years or so.

The community is built on a cul-de-sac plan and there is not a direct outlet to any main streets.

The traffic has doubled with cars coming thru - many at speeds that are excessive thru this community - and then reeling around in anger when there is no outlet.

We feel this request is substantiated by the increase traffic flow caused by the enlarging of Oakey to a four-lane road, and the additional impact of the extra students at Bonanza High School.

Therefore we submit the following for your consideration:

- A. The traffic - and speed of it - mainly causes us a great concern to the safety of our neighborhood. We wish consideration to be given to place the "flat speed bumps" on Redwood between OAKLEY and ORANNON. This is not a thru street - and seems to be a favorite race stretch.
- B. Second request for some of the following to be considered -
 - 1. CASA VISTA - "NO THRU STREET"
 - 2. ADOBE COURT - "DEAD-END"

These streets have cars racing thru and finding themselves at "Dead-Ends" throwing "wheeles" to turn around and get out.

Please contact me on behalf of the residents and I will be happy to arrange a meeting or any additional documentation you may require.

Respectfully submitted,

Janet T. Abney
HOME(AM ONLY) #876-5500
OFFICE: #243-3500

J:j

Copies: Residents of Wildwood Estate #2

118

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 106

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****WARD 3:****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

119

**GPA-7-99 - ROMAN CATHOLIC BISHOP OF
LAS VEGAS**

Request to Amend a portion of the West Las Vegas Plan on property located on the south side of Lake Mead Boulevard, approximately 370 feet east of Martin L. King Boulevard, From: SC (Service Commercial) and ML (Medium-Low Density Residential) To: M (Medium Density Residential), Ward 3 (Reese), APN's: 139-21-701-003 and 139-21-702-002.

NOTICES MAILED: 155 BY PLANNING DEPT

APPROVALS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

CONCERNS: 1

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 1

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

**REESE - APPROVED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

ERNEST FREGGIARO, 720 South Fourth Street, appeared to represent the Roman Catholic Bishop of Las Vegas. Appearing with MR. FREGGIARO was MELVIN GREEN, Project Architect, and PAULA HAYNES GREEN, Developer for Mercy Housing. MR. FREGGIARO felt this project will favorably benefit the community. They have worked with staff and COUNCILMAN REESE. He did not have any comments on the merits of the General Plan Amendment.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: See Item 120 [Z-12-99] for further discussion.

(5:13 - 5:15)

5 - 2630

RECESS

(5:21 - 5:22)

5 - 2660

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-7-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

This amendment to the Land Use Element of the West Las Vegas Plan from ML (Medium-Low Density Residential) and SC (Service Commercial) to M (Medium Density Residential) was filed in conjunction with a rezoning request from R-E (Residence Estates) to R-PD18 (Residential Planned Development - 18 Units per Acre) for the purpose of developing 64 units of elderly multi-family housing. The applicant justified the request for the following reasons:

1. The site is readily accessible to the Doolittle Senior Center, public transportation, and other senior services.
2. This type of development will enhance the community and have a negligible impact on traffic.

BACKGROUND DATA:

There have been no previous zoning actions on the above referenced parcels.

- | | |
|----------|--|
| 1956 | The subject properties were annexed to the City of Las Vegas. |
| 09/22/59 | The City Planning Commission adopted a Generalized Land Use Plan. Within that plan the subject parcels were designated Low Density Residential, which allowed a maximum of five units per acre. |
| 08/12/68 | The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcels were designated Low Density Residential, which allowed three to six dwelling units per acre. |
| 05/26/77 | The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcels were designated Low Density Residential, which allowed three to seven dwelling units per acre. |

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-7-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS

PURPOSE/BACKGROUND

08/07/85 The City of Las Vegas adopted Community Profiles: A component of the short range plan phase of the General Plan. Within this document, the subject parcels were designated SC (Service Commercial).

04/05/92 The Las Vegas City Council adopted the City of Las Vegas Downtown Development Plan. On this plan, the subject parcels were designated for Residential Serving Service Commercial and Residential Infill.

03/02/94 The Las Vegas City Council adopted the West Las Vegas Plan. Within this document, the subject parcels were designated SC (Service Commercial) and ML (Medium-Low Density Residential).

DETAILS OF APPLICATION REQUEST:

Site Area: 3.49 Acres

EXISTING LAND USE:

Subject Parcels	Unimproved
North	Single Family Residential
South	Unimproved (Pending Church) and Single Family Residential
East	Unimproved
West	Commercial

PLANNED LAND USE:

Subject Parcels	SC (Service Commercial) & ML (Medium-Low Density Residential)
North	SC (Service Commercial) & ML (Medium-Low Density Residential)
South	L (Low Density Residential)
East	ML (Medium-Low Density Residential)
West	SC (Service Commercial)

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-7-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS**PURPOSE/BACKGROUND****EXISTING ZONING OF ADJACENT PROPERTIES:**

North R-2 & ROI to C-1
South R-1 & R-E
East ROI to P-R
West R-E & C-1

ANALYSIS:

The following definitions are for the proposed land use category and the existing land use categories as provided in the General Plan:

M (Medium Density Residential) - The Medium Density Residential category permits a maximum of 20 dwelling units per gross acre. This category includes a variety of multi-family units such as plexs, townhouses, and low density apartments.

ML (Medium Low Density Residential) - The Medium-Low Density Residential category permits a maximum of 11 dwelling units per gross acre. This density range permits: single family detached; including compact lots and zero lot lines, mobile home parks, and two-family dwellings. Local supporting uses such as parks, schools, and churches are also allowed.

SC (Service Commercial) - The Service Commercial category allows low to medium intensity retail, office, or other commercial uses that serve primarily local area patrons, and that do not include more intense General Commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys, and other places of public assembly and public and semi-public uses.

The subject parcels are located with frontage onto Lake Mead Boulevard, a primary roadway with a designated right-of-way of 100 feet according to the adopted Master Plan of Streets and Highways. This project, 64 elderly apartment units, will produce approximately five weekday peak hour trips. This is a significant reduction in the trips that would be generated from a standard single family development and retail commercial.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-7-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS

PURPOSE/BACKGROUND

Recommendation number 4 of the Housing Element of the West Las Vegas Plan encourages the development of additional affordable senior housing. This project proposes 64 senior apartments that are centrally located to various senior services and public transportation.

Policy B2 of the Land Use Element of the General Plan encourages infill development to make use of existing utilities, facilities, and services. This project would fulfill the goals of that policy.

Objective C of the Land Use Element of the General Plan states that the City should achieve a compatible balance of land uses throughout the City. Staff believes that this General Plan Amendment to M (Medium Density Residential) will be compatible with the existing and planned development in the area which is a proposed church and single family to the south, commercial to the west, transitional commercial to the north, and planned medium-low density residential to the east.

The closest elementary and middle schools are approximately ¼ mile away, and the closest high school is about three miles away. This proposed project would have little or no impact on the area schools. The nearest park is about ½ mile from the proposed project. The closest fire station and hospital are each respectively about two miles away. There are several senior services in the area which include the Doolittle senior center, parks, swimming pools, and public transportation. There is existing water and sewer service to the site.

FINDINGS:

Staff finds this amendment appropriate for the following reasons:

1. The West Las Vegas Plan encourages the development of additional affordable senior housing.
2. Objective C of the Land Use Element of the General Plan encourages a compatible balance of land uses throughout the City.
3. Policy B2 of the Land Use Element of the General Plan encourages infill development to make use of existing utilities, facilities, and services.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-7-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS**PURPOSE/BACKGROUND**

4. This project will not put undue stress on the existing street network or the existing school facilities.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 155

APPROVALS: 1

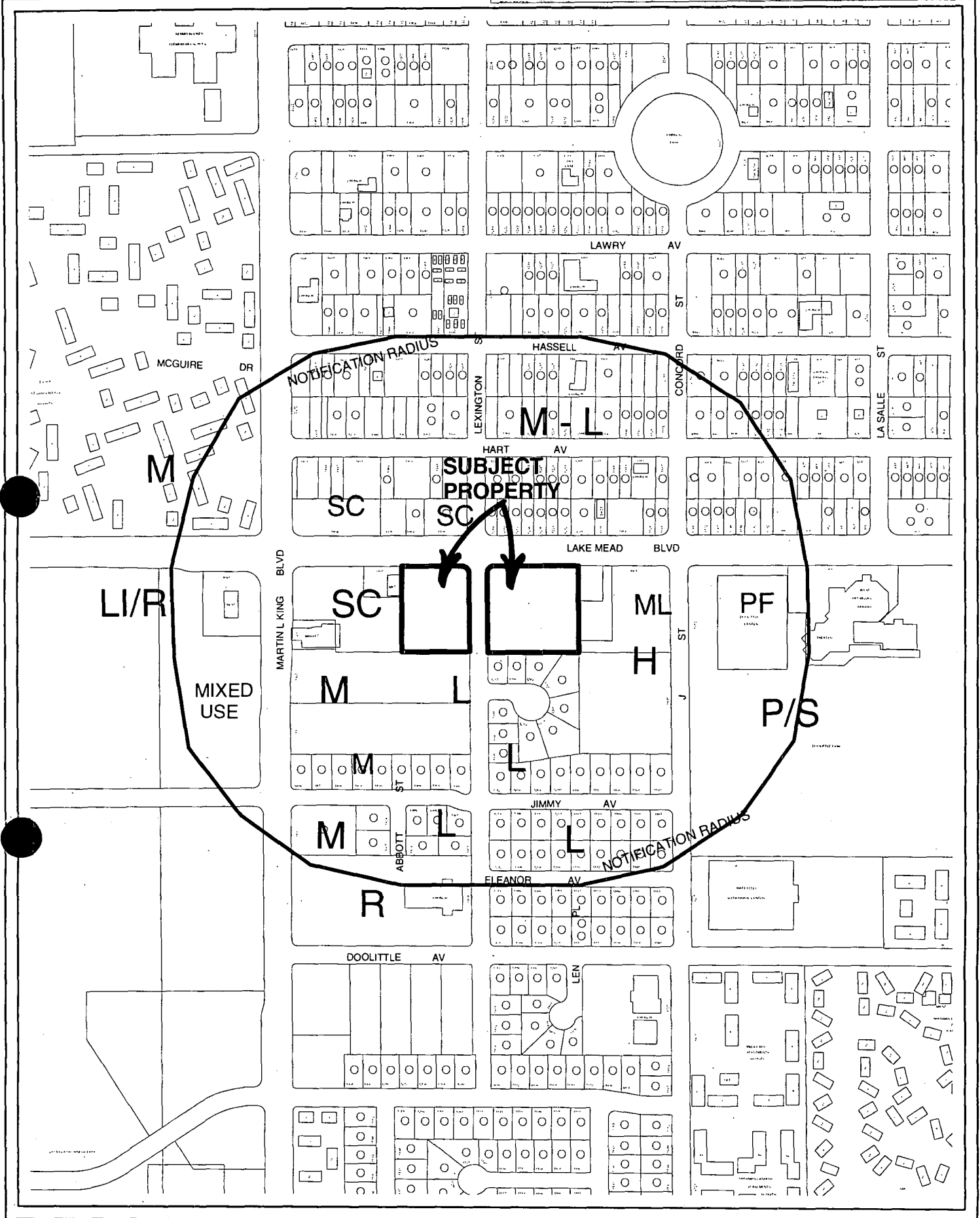
PROTESTS: 0

CONCERNS: 1

SEE ATTACHED LOCATION MAP

Agenda Item

--



CASE: GPA-7-99
RADIUS: 750 FT



MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 107

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

120

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-7-99 - PUBLIC
HEARING****Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS
VEGAS**

Request for a Rezoning on property located on the south side of Lake Mead Boulevard, approximately 370 feet east of Martin L. King Boulevard, From: R-E (Residence Estates) To: R-PD18 (Residential Planned Development - 18 Units Per Acre), PROPOSED USE: 64 UNIT SENIOR MULTI-FAMILY RESIDENTIAL DEVELOPMENT, Size: 3.49 Acres, Ward 3 (Reese), APN's: 139-21-701-003 and 139-21-702-002.

NOTICES MAILED: 155 BY PLANNING DEPT

APPROVALS: 1

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 1 _____

PROTESTS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0 _____

CONCERNS: 1

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 1 _____

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

REESE - APPROVED subject to conditions and deleting Condition #7 - UNANIMOUS with Jones and Adamsen excused

MAYOR PRO TEM McDONALD declared the Public Hearing open.

ERNEST FREGGIARO, 720 South Fourth Street, appeared to represent the Roman Catholic Bishop of Las Vegas. Appearing with MR. FREGGIARO was MELVIN GREEN, Project Architect, and PAULA HAYNES GREEN, Developer for Mercy Housing. MR. FREGGIARO felt this project will favorably benefit the community. They have worked with staff and COUNCILMAN REESE.

The Planning Commission requested Lexington Street be vacated. However, when the traffic mitigation plan is completed, there may be a requirement for additional monies by Public Works. He requested that the City Council eliminate Condition #7 requiring a traffic signal system contribution of \$5,300.00. This is a low-cost housing project for the benefit of senior citizens in the neighborhood by a non-profit organization who should not be viewed as for-profit developers.

CHERI EDELMAN, Public Works, explained that the \$5,300.00 fee was computed at \$1,500.00 per acre in lieu of a Traffic Impact Analysis. That money would be a contribution towards a traffic signal system at the intersection of Lake Mead Boulevard and Martin L. King Boulevard. Any additional monies would be a result of Lexington Street, which would take the safe-route-to-school off Lexington. Condition #7 should remain since an easement may have to be put through this project or additional signalization be required. In addition, Condition #1 addresses any additional impacts that may be required at the time of the Vacation.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 108

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS
VEGAS

1. Submit an application to vacate all existing public right-of-way adjacent to this site in conflict with this proposal (i.e. Lexington Street) as required by the Department of Public Works. Such vacation shall terminate Lexington Street south of this site in a manner acceptable to the Department of Public Works. If approved, the Order of Vacation shall record prior to the issuance of any building or grading permits over any portion of the area to be vacated. Vacation of the existing public street, if allowed, may require the applicant to participate in the mitigation of the impact(s) of diverting existing pedestrian and vehicular traffic that currently use Lexington Street to other public corridors. Such mitigation requirements shall be determined at the time of approval of the required Vacation application.

2. Submit a revised site plan for review and approval by the Planning and Development Department, showing a fence along the landscape planter along Lake Mead Boulevard and Lexington Street maintaining clear sight areas, and relocating the trash enclosure on the eastern parcel a minimum of 50 feet from the existing single family residences to the south.

3. Fifty percent of the units shall be designed with roll-in showers.

4. Construct all incomplete half-street improvements on Lexington Street adjacent to this site concurrent with development as required by the Department of Public Works.

PAULA HAYNES GREEN explained that they will be applying for a bond cap with a 4% tax credit, which will only allow 40% of the units to go to median income. They will be seeking Redevelopment monies, which could bring the one and two bedroom units in around \$45,000 to \$50,000 per unit.

COUNCILMAN REESE was in favor of the project. There are other non-profit projects, but added that the \$5,300.00 should remain. However, there would be a possibility of the City helping in the future. CHERI EDELMAN, Public Works, noted that the fee could be waived and addressed at the time of the Vacation request and applied to other mitigation costs.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: See Item 119 [GPA-7-99] for further discussion.

(5:21 - 5:28)

5 - 2726

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 109

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS
VEGAS

5. Meet with the Traffic Engineering representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works. Additionally, the driveways accessing Lexington Street shall be aligned with each other or be offset a minimum of 125 feet unless an alternative traffic mitigation plan is approved by the Traffic Engineering Division.

6. Provide a pedestrian friendly handicap access path between the two sites as required by the Department of Public Works.

7. Contribute \$5,300.00 for the future upgrading of the traffic signal system at the intersection of Lake Mead Boulevard and Martin L. King Boulevard prior to the issuance of building or off-site permits as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within this general vicinity which is impacted by this development and which has a more immediate need for signalization.

8. The design and layout of all on-site private circulation and access drives shall meet the approval of the Department of Fire Services prior to the issuance of any permits.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 110

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS
VEGAS

9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

10. A Resolution of Intent.

11. All development shall be in conformance with the plot plan as amended by the above conditions and the building elevations.

12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

13. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 111

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS
VEGAS

14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

15. All City Code requirements and design standards of all City departments must be satisfied.

16. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade.

17. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Department of Building and Safety. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

*City of Las Vegas***CITY COUNCIL MINUTES****MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-7-99 - PUBLIC HEARING - Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS

PURPOSE/BACKGROUND**APPLICATION REQUEST:**

This request is for rezoning from R-E (Residence Estates) to R-PD18 (Residential Planned Development - 18 Units per Acre) on property located on the south side of Lake Mead Boulevard, approximately 370 feet east of Martin L. King Boulevard for the purpose of developing 64 senior apartments on the site. The applicant justified the request for the following reasons:

1. The site is readily accessible to the Doolittle Senior Center, public transportation, and other senior services.
2. This type of development will enhance the community and have a negligible impact on traffic.

BACKGROUND DATA:

There have been no previous zoning actions on the above referenced parcels.

DETAILS OF APPLICATION REQUEST:

Site Area:	3.49	Acres
No. of Units:	64	
Density:	18.34	Units per Acre
Open Space Required:	1.04	Acres
Building Height:	28	Feet
Parking Required:	74	Spaces
Parking Provided:	83	Spaces

The proposed project is on two separate parcels with Lexington Street bisecting through the center. Access to the site is provided by one driveway each to the east and west off of Lexington Street. Parking is provided to the south on the easterly parcel and mid-site on the westerly parcel. Both parcels have five structures located on them, the parcel to the west has a pedestrian access to the proposed church to the south.

Agenda Item

120

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-7-99 - PUBLIC HEARING - Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS

PURPOSE/BACKGROUND

There are six foot high decorative block walls proposed around the perimeter of the site. A twenty foot wide landscape planter is proposed along Lake Mead Boulevard with 24 inch box trees placed 20 feet on center. The remainder of the property has 10 foot wide landscape planters proposed around the perimeter.

The elevations depict light gray stucco exteriors with a gray flat concrete tile roof. The front facades show wrought iron railings and column supports.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	R-2 & ROI to C-1	Single Family Residential
South	R-1 & R-E	Unimproved (Pending Church) and Single Family
East	ROI to P-R	Unimproved
West	R-E & C-1	Commercial

FINDINGS:

GENERAL PLAN:

The applicant has requested an amendment to the West Las Vegas Land Use Plan from ML (Medium-Low Density Residential) and SC (Service Commercial) to M (Medium Density Residential). Staff has recommended approval of that request based on the proposed designations compatibility with the existing and planned uses in the vicinity and because of the need for affordable senior housing in the West Las Vegas area.

REZONING:

The applicant has requested a rezoning from R-E (Residence Estates) to R-PD18 (Residential Planned Development - 18 Units Per Acre). This request corresponds to the requested General Plan Designation of M (Medium Density Residential) and should be compatible with the existing uses and those uses proposed by the West Las Vegas Plan. The subject site is physically suited for the type and intensity of use proposed. Lake Mead Boulevard is of sufficient size to meet the needs of the proposed project. The health, safety, and welfare of the public will not be jeopardized.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-7-99 - PUBLIC HEARING - Z-12-99 - ROMAN CATHOLIC BISHOP OF LAS VEGAS**PURPOSE/BACKGROUND**

The applicant met with the West Las Vegas Neighborhood Advisory Board on March 2, 1999. The Board recommended approval of the project.

PLOT PLAN:

Staff has no objection to the submitted site plan as it meets the standards of the Las Vegas Zoning Code. Staff does however have one concern regarding the decorative block wall which will need to be set back behind the required landscape planters on Lake Mead Boulevard and Lexington Street. Also, the trash enclosure on the eastern parcel will have to be moved a minimum of 50 feet from any existing single family residence.

Staff has also had discussions with the applicant in regard to vacating Lexington Street from the south right-of-way line of Lake Mead Boulevard, southerly approximately 300 feet. Staff is of the opinion that this vacation will make the apartment complex one cohesive project and will enhance the health, safety, and welfare of the residents of the apartment complex.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

[Note: In recommending approval, the Planning Commission, with concurrence from the applicant, added a condition which requires a minimum of 50 percent of the units to be designed with roll-in showers.]

PC NOTICES MAILED: 155

APPROVALS: 1

PROTESTS: 0

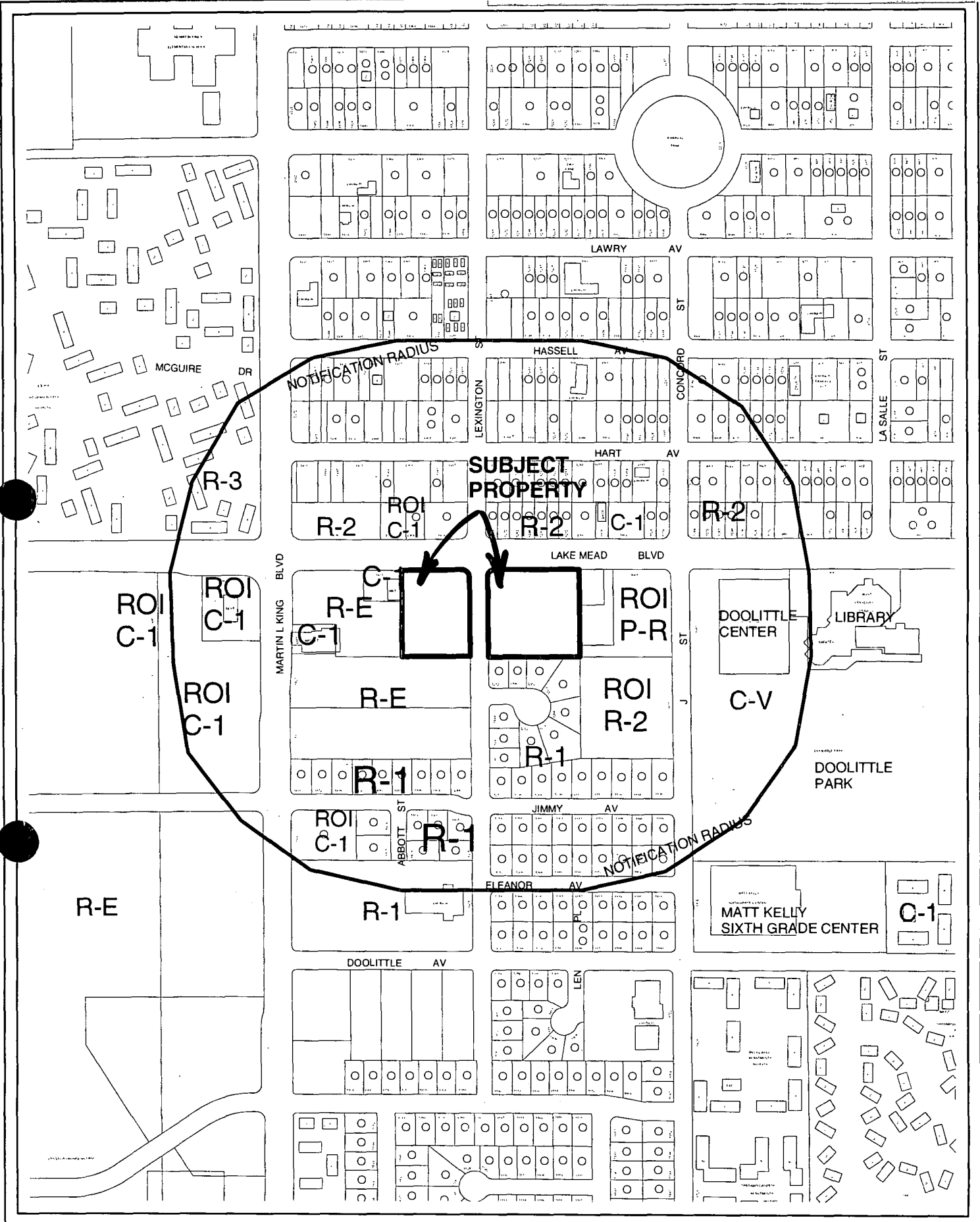
CONCERNS: 1

[Note: One person who was not in opposition to the project stated a concern and suggested that a deed restriction be required mandating that this project be restricted to senior housing.]

SEE ATTACHED LOCATION MAP

Agenda Item

--

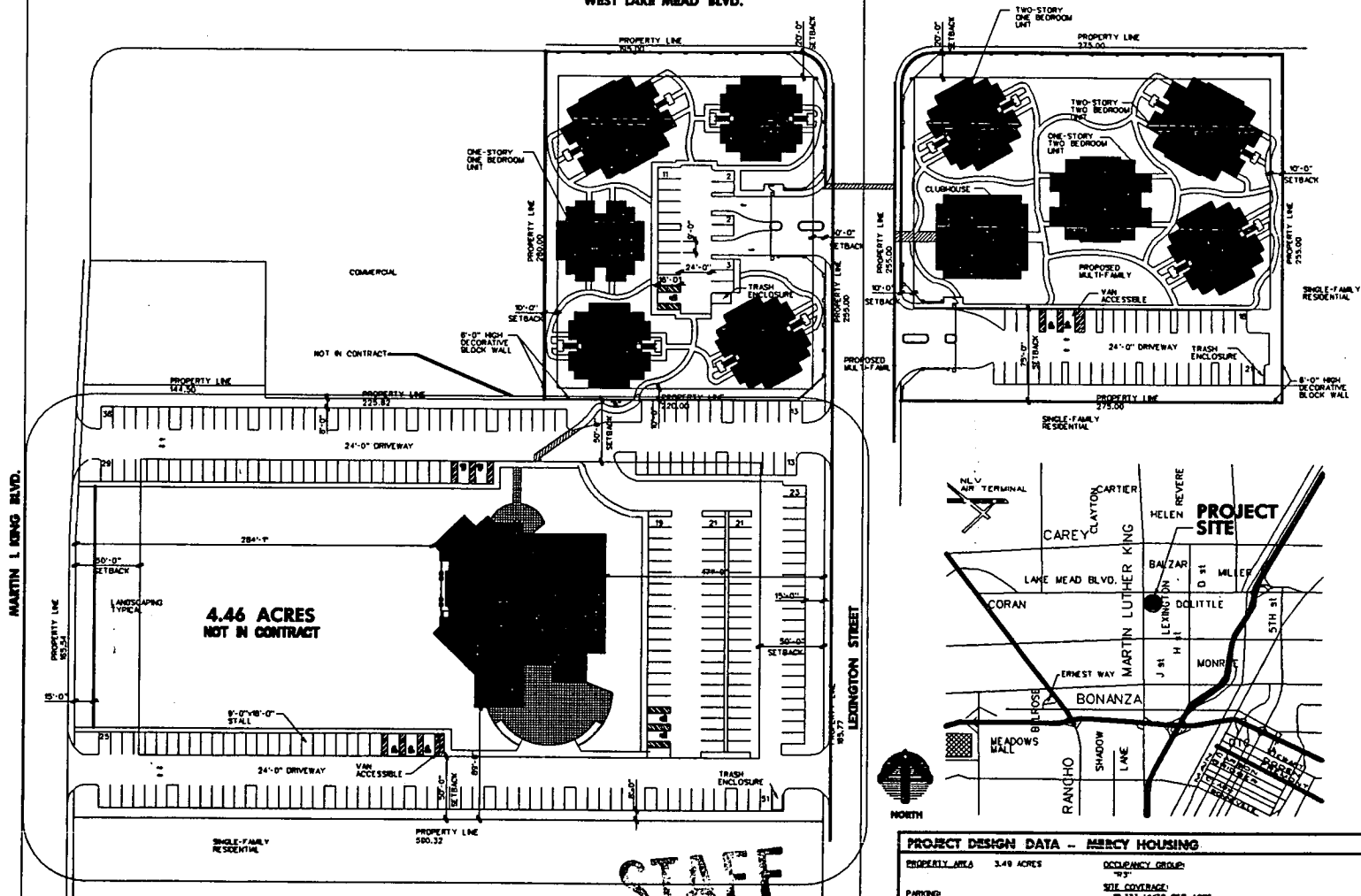


CASE: **Z-12-99**
RADIUS: 750 FT



SINGLE-FAMILY
RESIDENTIAL

WEST LAKE MEAD BLVD.



MARTIN L KING BLVD.

OVERALL SITE PLAN

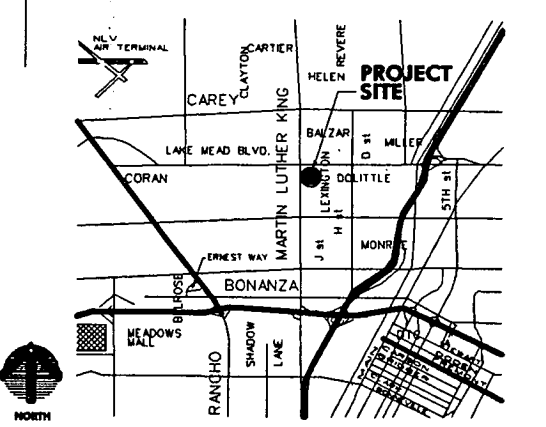
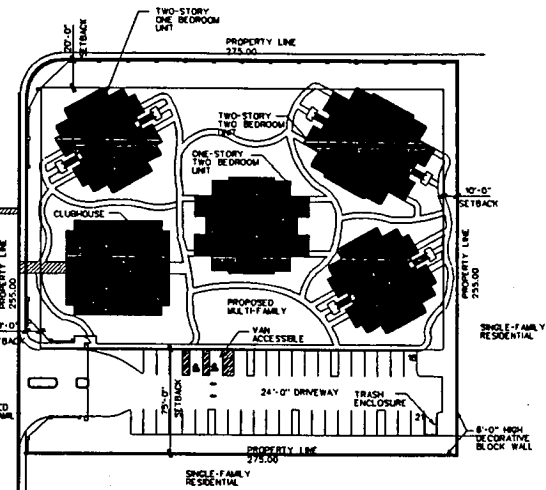
SCALE: 1" = 40'-0"



STAFF

Z-12-99
GPA-7-99

4-15-99 QPC



PROJECT DESIGN DATA - MERCY HOUSING			
PROPERTY AREA	3.48 ACRES	OCCUPANCY GROUP	70
PARKING	1 SPACES PER UNIT 1 SPACE PER 3 UNITS FOR GLETS	SITE COVERAGE	70
REQUIRED 74 SPACES		MAX. OCC.	10,333 UNITS PER ACRE
PROVIDED 83 SPACES (13 LANDSCAP SPACES)		141 ONE-STORY, 1 BEDROOM (1836 S.F. + 4-3,544 S.F.)	
SHARED PARKING 18 SPACES		141 ONE-STORY, 2 BEDROOM (1865 S.F. + 4-3,548 S.F.)	
		140 TWO-STORY, ONE BEDROOM (1836 S.F. + 40-35,440 S.F.)	
		181 TWO-STORY, TWO BEDROOM (1862 S.F. + 10-13,792 S.F.)	
		1 CLUBHOUSE (12,071 S.F.)	
SETBACKS		CONSTRUCTION	TYPE V-NON-RATED
FRONT - 30'-0"			
SIDES - 10'-0"			
BACK - 10'-0" 75'-0" @ RESIDENTIAL			

REVISIONS	BY

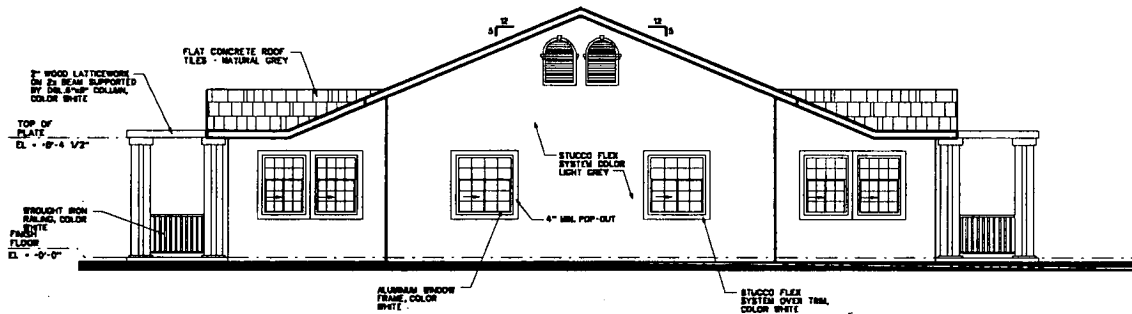
MG
MELVIN GREEN ARCHITECT, LIMITED
ARCHITECTURE • COMMERCIAL • RESIDENTIAL
1000 WEST LAS VEGAS AVENUE, SUITE 400
LAS VEGAS, NEVADA 89102
TEL: 702-735-1111
FAX: 702-735-1112

**ST. JAMES COMMUNITY CENTER AND
MERCY MULTI-FAMILY HOUSING PROJECT
MLK @ WEST LAKE MEAD
LAS VEGAS, NEVADA**

OVERALL SITE PLAN

SP1.11

DATE: 02/05/99
SCALE: 1"=40'-0"
DRAWN: M/GAM
JOB NO.: 58-12
SHEET

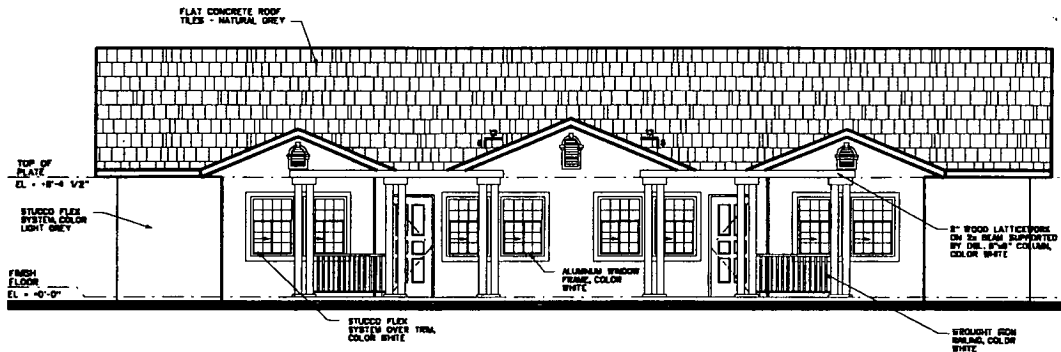


NORTH ELEVATION

ONE-STORY ONE BEDROOM

SOUTH ELEVATION - OPPOSITE HAND

SCALE: 1/4"=1'-0"



EAST ELEVATION

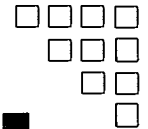
ONE-STORY ONE BEDROOM

WEST ELEVATION - OPPOSITE HAND

SCALE: 1/4"=1'-0"

STAFF

Z-12-99
GPA-7-99
4-15-99 QPC



REVISIONS	BY

MG MELVIN GREEN ARCHITECT, LIMITED ARCHITECTURE - COMMERCIAL - RESIDENTIAL 1000 W. HARRIS AVENUE, SUITE 400 LAS VEGAS, NEVADA 89102-1000 (702) 735-1000	PROJECT: ST. JAMES COMMUNITY CENTER AND MERCY MULTI-FAMILY HOUSING PROJECT MLK @ WEST LAKE MEAD LAS VEGAS, NEVADA DATE: 02/05/99 SCALE: 1/4"=1'-0" DRAWN: MS/SC JOB NO.: 198-30 SHEET: A2.12 OF 12 SHEETS
---	---

SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

STAFF

GPA-7-99

Z-12-99

4-15-99 QPC

A 4x4 grid of squares. The bottom-left square (row 4, column 1) is filled black. All other squares are white.

REVISIONS	BY

11/10/1983 11:00 AM

MG
 ■ MELVIN GREEN ARCHITECT, LIMITED
 ■ ARCHITECTURE • COMMERCIAL • RESIDENTIAL

100 DAVENPORT BUILDINGS, 800, SUITE #4
 100 DAVENPORT BUILDINGS, 800, SUITE #4
 OFFICE TEL: 343-8974 FAX: 343-8986
 5-406, Imperial (Downtown) Unit
 5-406, Imperial (Downtown) Unit

PROJECTS

**ST. JAMES COMMUNITY CENTER AND
MERCY MULTI-FAMILY HOUSING PROJECT
MLK @ WEST LAKE MEAD
LAS VEGAS, NEVADA**

PROJECTS

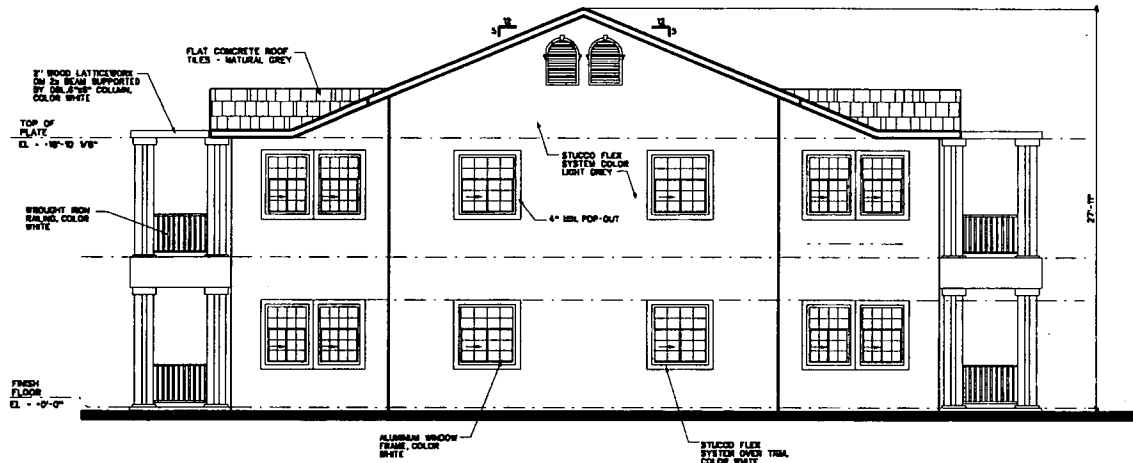
BUILDING ELEVATIONS

DATE: 02/05/00
SCALE: 1/4"=1'-0"
DRAWN: MC
JOB NO.: PB-30

SHEET

A2.14

OF SHEETS



NORTH ELEVATION

TWO-STORY ONE BEDROOM

SOUTH ELEVATION - OPPOSITE HAND

SCALE: 1/4" = 1'-0"



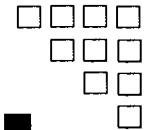
EAST ELEVATION

TWO-STORY ONE BEDROOM

WEST ELEVATION - OPPOSITE HAND

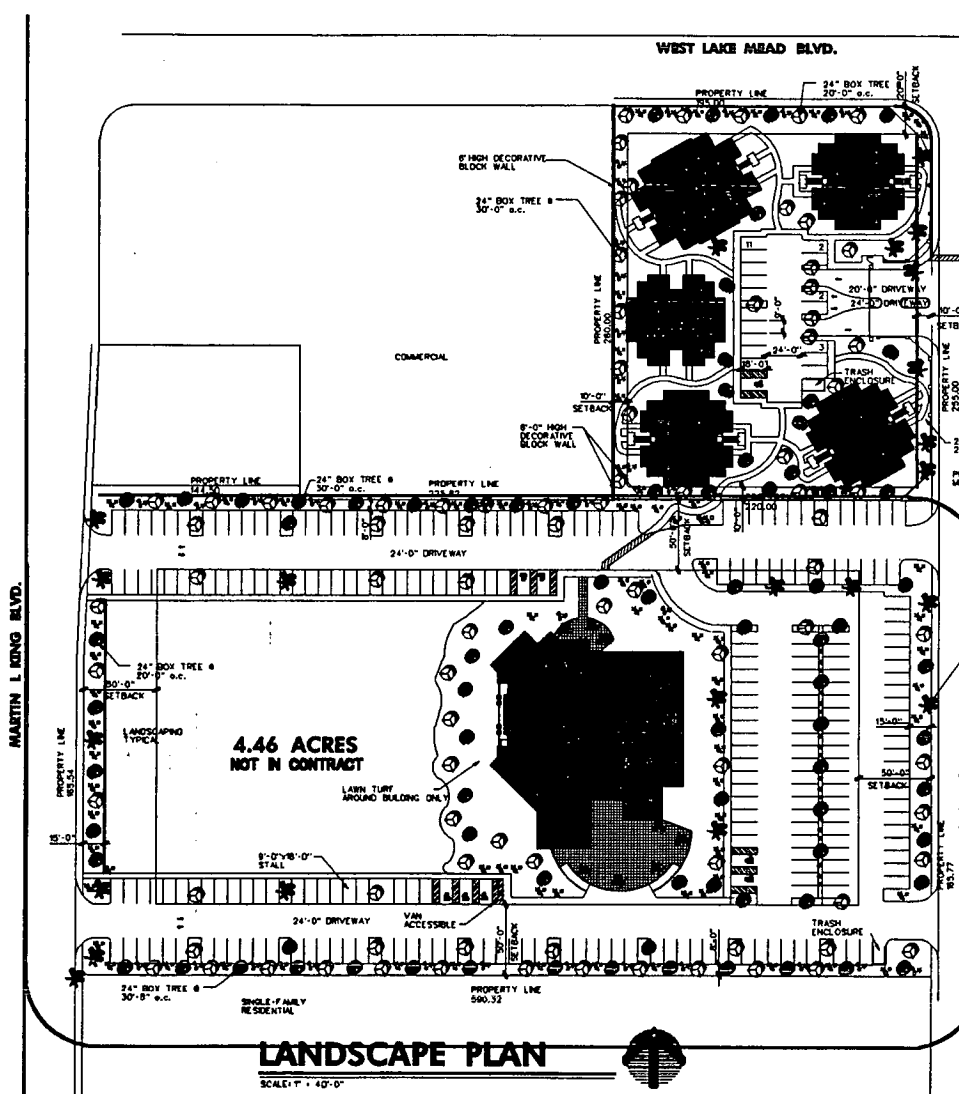
SCALE: 1/4" = 1'-0"

STAFF
Z-12-99
GPA-7-99
4-15-99 QPC



PROJECT	BY
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
APPROVED BY	
PROJECT NAME	
PROJECT ADDRESS	
PROJECT CITY	
PROJECT STATE	
PROJECT ZIP	
PROJECT PHONE	
PROJECT FAX	
PROJECT E-MAIL	
PROJECT WEBSITE	
PROJECT NOTES	

PROJECT	ST. JAMES COMMUNITY CENTER AND MERCY MULTI-FAMILY HOUSING PROJECT MLK @ WEST LAKE MEAD LAS VEGAS, NEVADA
DATE	02/05/99
SCALE	1/4" = 1'-0"
DRAWN BY	MC/SC
DATE	02/05/99
CHECKED BY	
DATE	
APPROVED BY	
DATE	
SHEET TITLE	
BUILDING ELEVATIONS	
SHEET NO.	
A2.13	
SHEET TOTAL	
17 SHEETS	



LANDSCAPE PLAN
SCALE: 1" = 40'-0"



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	SCIRPUS MOLLE	CALIFORNIA PEPPER	24" BOX	
	PAVS SLIMAC	SLIMAC, AFRICAN	24" BOX	
	PARVISONIA ACULEATA	JERUSALEM THORN (MEXICAN PALE VERDE)	24" BOX	
	JAMPER SP. CASSIA MEMPHILA OFFICIALIS PROSTRATUS	JAMPER TAM'S DESERT CASSIA UPRIGHT ROSEMARY	5 GALLON GROUP OF THREE	

NOTE:
LANDSCAPE TURT LIMITED TO 30% OF TOTAL LANDSCAPABLE AREA.
DESERT ROSE DECORATIVE ROCK AND DROUGHT TOLERANT LANDSCAPING ALL OTHERS

Z-12-99
GPA-7-99
4-15-99 QPC
STAFF

REVISIONS	BY

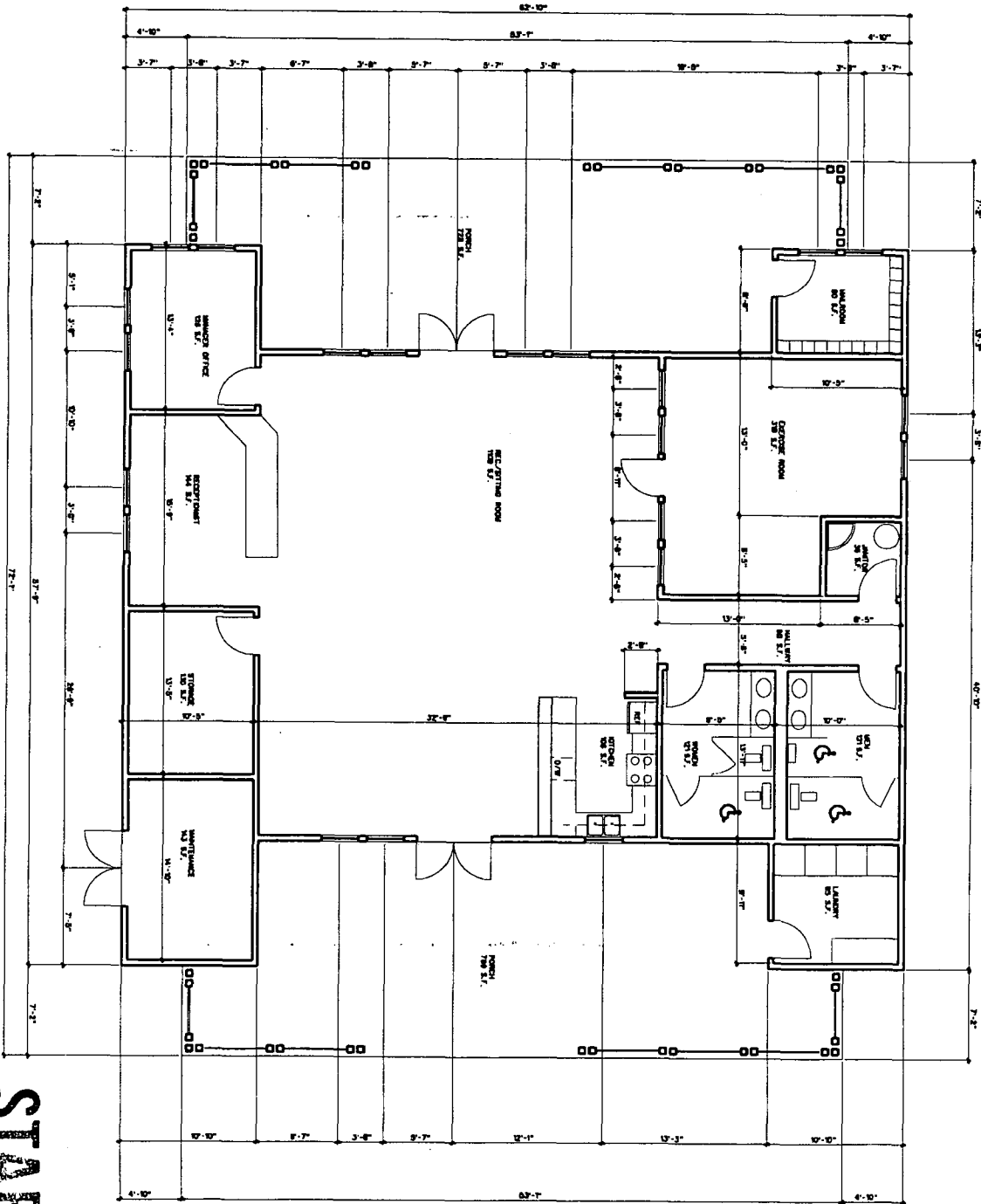
MG
MERCY GREEN ARCHITECT, LIMITED
ARCHITECTURE • COMMERCIAL • RESIDENTIAL

PROJECT: ST. JAMES COMMUNITY CENTER AND MERCY MULTI-FAMILY HOUSING PROJECT
MLK @ WEST LAKE MEAD
LAS VEGAS, NEVADA

SHEET: 11
LANDSCAPE PLAN

DATE: 02/08/99
SCALE: 1"=40'-0"
DRAWN: MCM/AM
JOB NO.: 98-31

SHEET: 11
OF SHEETS



CLUBHOUSE

SCALE 1/4" = 1'-0"



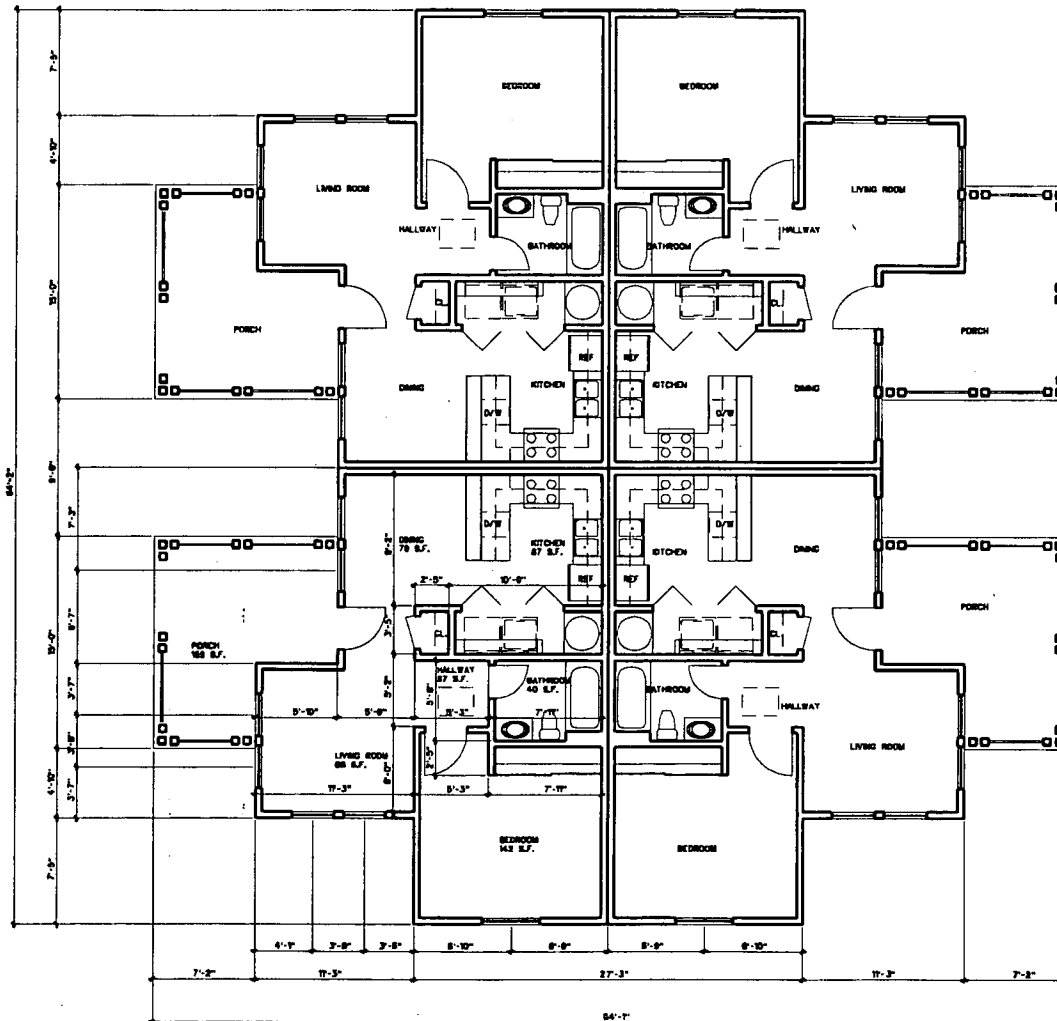
STAFF

GPA-7-99
Z-12-99
4-15-99 QPC

PROJECT: ST. JAMES COMMUNITY CENTER AND MERCY MULTI-FAMILY HOUSING PROJECT MLK @ WEST LAKE MEAD LAS VEGAS, NEVADA	DATE: 03/02/99 SCALE: 1/4" = 1'-0" SHEET NO. 100-20	SHEET TITLE: CLUBHOUSE FLOOR PLAN
--	--	--

MG MELVIN GREEN ARCHITECT, LIMITED ARCHITECTURE • COMMERCIAL • RESIDENTIAL	1000 WEST BROADWAY, SUITE 400 LAS VEGAS, NEVADA 89102 OFFICE: 702.333.3333 FAX: 702.333.3334 E-MAIL: melvin@mgarchitect.com
--	--

--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



FLOOR PLAN - ONE BEDROOM

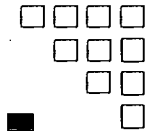
636 GROSS S.F. PER UNIT

SCALE: 1/4" = 1'-0"



STAFF

**Z-12-99
GPA-7-99
4-15-99 QPC**



KEYS	BY
DATE	
PROJECT	ST. JAMES COMMUNITY CENTER AND MERCY MULTI-FAMILY HOUSING PROJECT MLK @ WEST LAKE MEAD LAS VEGAS, NEVADA
DATE: 03/05/99	
SCALE: 1/4" = 1'-0"	
DRAWN: MG	
JOB NO.: 40-108-30	
SHEET	A1.11
FLOOR PLAN - ONE BEDROOM	

862 GROSS S.F. PER UNIT

SCALE: 1/4"=1'-0"



STAFF
GPA-7-99
Z-12-99
4-15-99 QPC

[illegible]

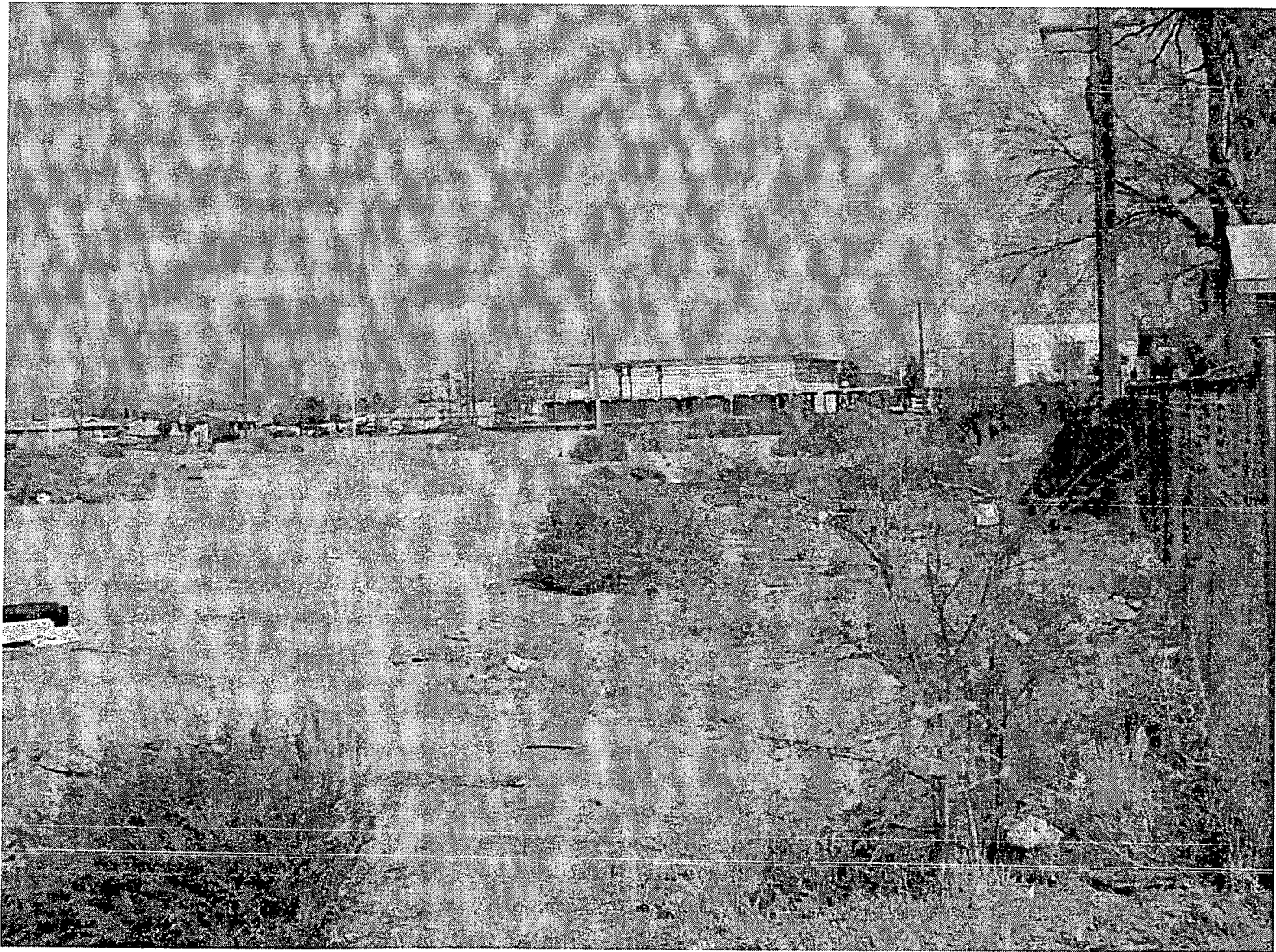
PROJECT: ST. JAMES COMMUNITY CENTER AND MERCY WEST-FAMILY HOUSING PROJECT
MLK @ WEST-LAKE MEAD
LAS VEGAS, NEVADA

DATE: 02/25/98
SCALE: 1/4" = 1'-0"
DRAWN BY: MJC
JOB NO.: 4-1987-3D

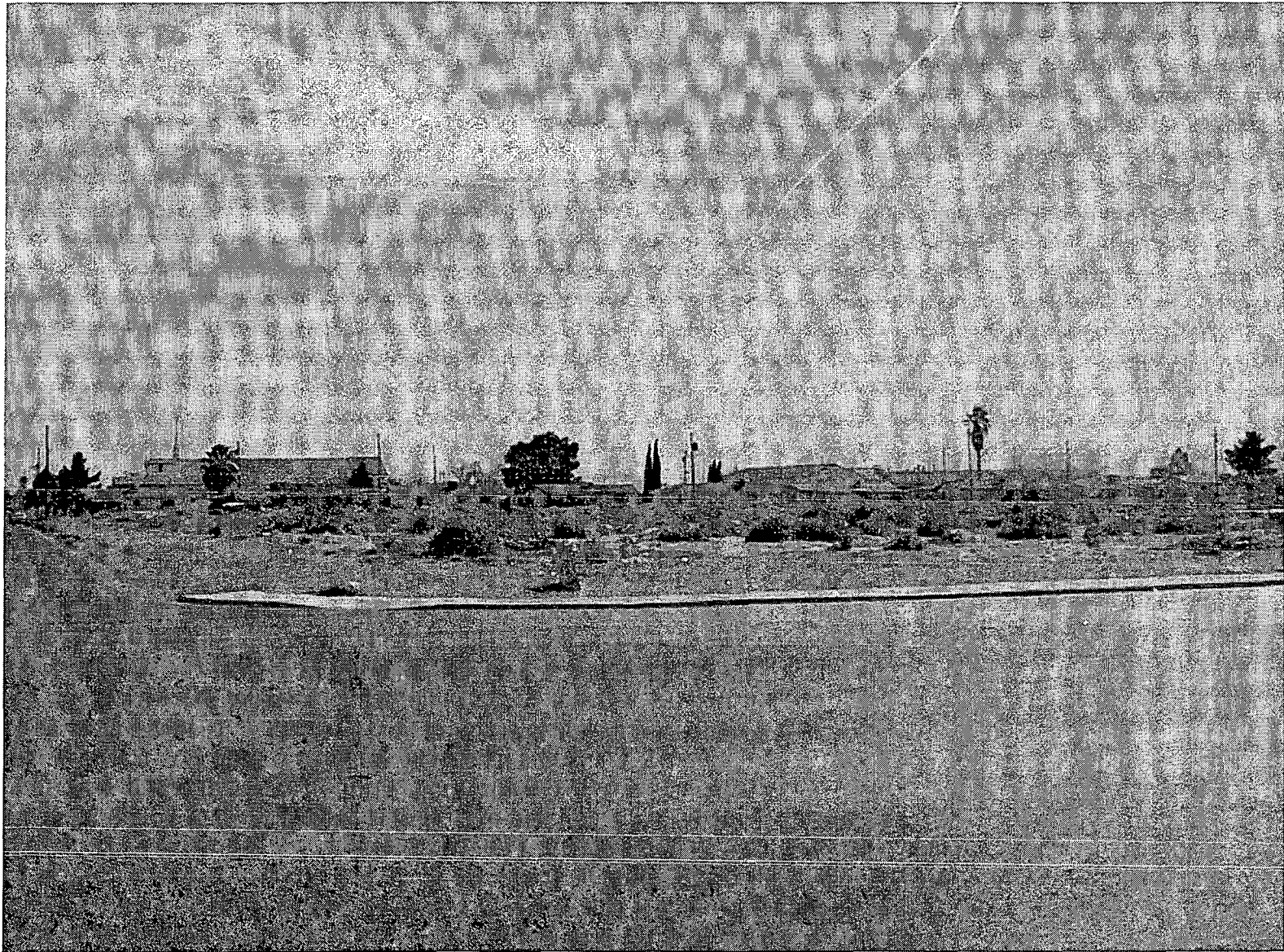
SHEET: 11 OF 11
FLOOR PLAN

A1.16

SHEETS



April 15, 1999 Quarterly Planning Commission GPA-7-99 and Z-12-99



April 15, 1999 Quarterly Planning Commission GPA-7-99 and Z-12-99

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 112

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

121

GPA-8-99 - K. S. NEVADA, INC.

Request to Amend a portion of the Southeast Sector of the General Plan on property located on the southeast corner of Bonanza Road and Page Street, From: ML (Medium-Low Density Residential) To: SC (Service Commercial), Ward 3 (Reese), APN's: 140-32-114-001 through 044.

NOTICES MAILED: 338 BY PLANNING DEPT

APPROVALS: 2

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 2

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

Staff recommends DENIAL.

The Planning Commission (6-0 vote) recommends APPROVAL, subject to:

1. The General Plan Amendment (GPA-8-99) is amended to SC (Service Commercial) north of the common east-west property line that this site shares with the child care center, and O (Office) on the remaining southern portion of the site.

**REESE - APPROVED subject to condition - UNANIMOUS
with Jones and Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

HAROLD FOSTER, 3230 Polaris Avenue, appeared to represent the applicant. This property was acquired through a foreclosure this past January. Both sides of Bonanza Road to Lamb Boulevard are commercial and previously the City's Master Plan showed the north portion of this property designated as commercial until the early 1990's. The previous owner wanted to build townhouses on this site, had a subdivision recorded, and then the General Plan was cleaned up causing this property to revert back to Medium-Low Density Residential. This site does not abut single family development. There is an elementary school, a child care facility, and apartments in the area. A small meeting was held with the neighbors who favor a commercial project rather than rental units. The only access from this project to Diamond Head, because of the congestion with the school, will be only for emergencies. The Planning Commission recommended an amendment on the zoning to O [Office] for the south portion adjacent to the day care facility down to Diamond Head and C-1 [Commercial] on the north portion.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: See Item 122 [Z-13-99] for further discussion.

(5:28 - 5:32)

5 - 3032

City of Las Vegas

CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This amendment to the Land Use Element of the General Plan from ML (Medium-Low Density Residential) to SC (Service Commercial) was filed in conjunction with a rezoning request from R-PD12 (Residential Planned Development - 12 Units Per Acre) to C-1 (Limited Commercial) for the purpose of developing a 13,400 square foot retail center with two pad sites for future commercial development. The applicant justified the request for the following reasons:

1. The property to the north and west along Bonanza Road is undergoing rezoning to C-1 (Limited Commercial). According to the Zoning Code, C-1 (Limited Commercial) zoning should be located on the periphery of residential neighborhoods and should be in the area of primary and secondary thoroughfares.
2. Rezoning to C-1 (Limited Commercial) would be consistent with many of the properties along Bonanza Road and would also serve the relatively dense population of the neighborhood.

BACKGROUND DATA:

09/22/59	The City Planning Commission adopted a Generalized Land Use Plan. Within that plan the subject parcels were designated Low Density Residential, which allowed a maximum of five units per acre.
08/12/68	The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcels were designated Low Density Residential, which allowed three to six dwelling units per acre.
05/26/77	The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcels were designated Low Density Residential, which allowed three to seven dwelling units per acre.
08/07/85	The City of Las Vegas adopted Community Profiles: A component of the short range plan phase of the General Plan. Within this document, the subject parcels were designated Medium Low Density Residential which allowed six to twelve dwelling units per acre.

Agenda Item

121

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.**PURPOSE/BACKGROUND**

- 05/18/88 The City Council approved a request to Rezone this property to R-PD12 (Residential Planned Development - 12 Units Per Acre) on the south half of the site and C-1 (Limited Commercial) on the north half of the site (Z-28-88).
- 09/27/88 The Planning Commission approved a request for a Plot Plan Review for a proposed apartment complex and accessory mini-storage facility [Z-28-88(1)].
- 05/10/90 The Planning Commission approved a request for a Plot Plan and Building Elevation Review for a proposed town home development [Z-28-88(2)]. This project was not initiated and the zoning expired on May 10, 1990.
- 03/18/92 The City Council approved a request to Rezone this property to R-PD12 (Residential Planned Development - 12- Units Per Acre) (Z-5-92).
- 06/24/93 The City Council approved a request for a Reinstatement and an Extension of Time which expired on July 21, 1994 [Z-5-92(1)].
- 09/21/94 The City Council approved a request for a Reinstatement and second Extension of Time which expired on September 21, 1995 [Z-5-92(2)].
- 10/03/95 The City Council approved a request for a third Extension of Time with an expiration date of September 21, 1996 [Z-5-92(3)]. The zoning has been kept alive by the recordation of a subdivision map on this site (Diamondhead Townhomes).
- 11/24/97 The Planning Commission approved a request for a Site Development Plan Review for a proposed 44 unit town home development [Z-5-92(4)].

DETAILS OF APPLICATION REQUEST:

Site Area: 3.42 Acres

Agenda Item

--



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

EXISTING LAND USE:

Subject Parcels	Unimproved
North	Single Family Residential
South	Child Care Center, Elbert Edwards Elementary School
East	Condominiums
West	Unimproved, Apartments

PLANNED LAND USE:

Subject Parcels	ML (Medium-Low Density Residential)
North	ML (Medium-Low Density Residential)
South	S (School)
East	ML (Medium-Low Density Residential)
West	SC (Service Commercial) and M (Medium Density Residential)

EXISTING ZONING OF ADJACENT PROPERTIES:

North	R-CL
South	R-E, C-V
East	ROI to R-PD12
West	R-3, ROI to C-1

ANALYSIS:

The following City of Las Vegas General Plan definitions describe the specific land use categories affected by this application:

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

ML (Medium Low Density Residential) - The Medium-Low Density Residential category permits a maximum of 11 dwelling units per gross acre. This density range permits: single family detached; including compact lots and zero lot lines, mobile home parks, and two-family dwellings. Local supporting uses such as parks, schools, and churches are also allowed.

SC (Service Commercial) - The Service Commercial category allows low to medium intensity retail, office, or other commercial uses that serve primarily local area patrons, and that do not include more intense General Commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys, and other place of public assembly and public and semi-public uses.

The subject parcels have frontage along Bonanza Road, a primary roadway, as well as Page Street and Diamond Head Drive, both local collector streets. Bonanza Road has a designated right-of-way of 100 feet according to the adopted Master Plan of Streets and Highways. The proposal is for a shopping center with in-line stores on the south half of the site and two pad sites on the north half of the site. The *Trip Generation Manual*, prepared by the Institute of Traffic Engineers, provides vehicular traffic statistics for shopping centers based upon the gross leasable floor area. Based on conservative estimates and the information provided by the applicant, the site could be developed with approximately 26,500 square feet of building area. This results in 131.7 vehicle peak hour trips generated on a Saturday. In comparison, the General Plan's recommendation for Medium-Low Density residential development results in 20.43 vehicle peak hour trips generated on a Saturday.

In addition, Page Street and Diamond Head Drive are local streets that are not of adequate capacity or design to service large commercial vehicles and high traffic volume.

All utilities are available at the site. The nearest fire station is approximately 2 miles to the southeast. The nearest police substation is approximately 2.5 miles to the northwest. Policy B2 of the Land Use Element of the General Plan encourages infill development to make use of existing utilities, facilities, and services. This project would fulfill the goals of that policy.

Agenda Item

--



CITY COUNCIL MINUTES

MEETING OF

MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

The SC (Service Commercial) General Plan category allows C-D (Designed Commercial) and C-1 (Limited Commercial) development. The C-D (Designed Commercial) zoning designation allows offices uses, office support uses such as copy centers or low volume retail uses, and public/semi-public uses such as government offices and museums. The C-1 (Limited Commercial) zoning designation allows uses including retail, services, and offices. Other, more intensive uses are permitted conditionally or with the grant of a Special Use Permit.

Objective C of the Land Use Element of the General Plan states that the City should achieve a compatible balance of land uses throughout the City. Although the request is compatible with the service commercial uses to the west, this General Plan Amendment to SC (Service Commercial) will not be compatible with the adjacent existing development which includes multi-family residential, a child care center, and an elementary school. In addition, the site boundaries protrude into the surrounding developed properties, resulting in a greater impact of the proposed commercial development on the existing residential and lower intensity child care center and school facilities. The noise, lights, and micro-environment heating from paved surfaces will negatively impact these adjacent uses. Also, the associated traffic impacts create concerns for the general health and welfare of the community as well as public safety, particularly children walking to and from the elementary school.

The site's location on the corner of Page Street and Bonanza Road is immediately east of an already approved C-1 (Limited Commercial) zoned site. As such, it would be acceptable for commercial development under the General Plan designation of SC (Service Commercial); however, as filed, it results in excessive commercial encroachment into non-commercial development.

FINDINGS:

Staff finds this amendment is not appropriate for the following reasons:

1. Objective C of the Land Use Element of the General Plan encourages a compatible balance of land uses throughout the City.
2. This project will increase traffic on the existing street network above the use proposed by the General Plan.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-8-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

Staff recommends DENIAL.

The Planning Commission (6-0 vote) recommends APPROVAL.

[Note: The Planning Commission, after considering staff's concerns, recommended that the application be amended to SC (Service Commercial) on the north portion of the site and O (Office) on the south portion of the site which will act as a buffer to the single family homes and school to the south.]

PC NOTICES MAILED: 338

APPROVALS: 2

[Note: The supporters felt that the proposed development would improve the neighborhood.]

PROTESTS: 0

SEE ATTACHED LOCATION MAP

Agenda Item

--

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 113

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-8-99 - PUBLIC
HEARING**

122

Z-13-99 - K. S. NEVADA, INC.

Request for a Rezoning on property located on the southeast corner of Bonanza Road and Page Street, From: R-PD12 (Residential Planned Development - 12 Units Per Acre) To: C-1 (Limited Commercial) PROPOSED USE: A 13,400 SQUARE FOOT RETAIL CENTER AND TWO PAD SITES FOR FUTURE COMMERCIAL DEVELOPMENT, Size: 3.42 Acres, Ward 3 (Reese), APN's: 140-32-114-001 through 044.

NOTICES MAILED: 338 BY PLANNING DEPT

APPROVALS: 2

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 2

PROTESTS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

Staff recommends DENIAL.

The Planning Commission (6-0 vote) recommends APPROVAL, subject to:

1. The zone change shall be amended to C-1 (Limited Commercial) north of the common east-west property line that this site shares with the child care facility, and O (Office) on the remaining southern portion of the site.

2. A Resolution of Intent.

**REESE - APPROVED subject to conditions - UNANIMOUS
with Jones and Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

HAROLD FOSTER, 3230 Polaris Avenue, appeared to represent the applicant. He indicated the same discussion would apply to this application as under Item 121 [GPA-8-99].

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: See Item 121 [GPA-8-99] for further discussion.

(5:32 - 5:33)

5 - 3032

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 114

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-13-99 - K. S. NEVADA, INC.

3. An application for Site Development Plan Review shall be approved prior to any development of any portion of the site.

4. The applicant shall submit and record appropriate Reversionary, Parcel, or Subdivision Maps to establish the property lines as shown with this project prior to the issuance of any building permits as required by the Department of Public Works.

5. Construct all incomplete half-street improvements on Bonanza Road, Page Street and Diamond Head Drive adjacent to this site concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to occupancy of this site as required by the Department of Public Works.

6. Prior to the recordation of any maps further dividing this site, appropriate public sewer easements shall be granted to each parcel comprising this overall site in locations acceptable to the City Planning Engineer as required by the Department of Public Works.

7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 115

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-13-99 - K. S. NEVADA, INC.

8. Common access rights shall be established between all proposed retail uses on this site, and inter-site access shall be provided between all proposed retail uses as required by the Department of Public Works. Provide proof of such common access rights prior to the issuance of any building permits for this site.

9. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a map dividing this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine traffic signal contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site or the recordation of a map dividing this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any Condition of Approval imposed by the Planning Commission or the City Council on the development of this site.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 116

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-13-99 - K. S. NEVADA, INC.

10. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of any maps further subdividing this site, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

11. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. For non-residential developments, failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

12. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

13. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 117

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-13-99 - K. S. NEVADA, INC.

14. All City Code requirements and design standards of all City departments must be satisfied.

15. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.

16. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.

17. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structure.

18. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet.

19. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.

20. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrances(s) with submittal of plans for building permits as required by the Department of Building and Safety. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This is a request for a rezoning from R-PD12 (Residential Planned Development - 12 Units Per Acre) to C-1 (Limited Commercial) on property located on the southeast corner of Bonanza Road and Page Street for the purpose of developing a commercial retail center. The applicant's justification letter indicates that the zone change would be consistent with the properties located along Bonanza Road and would provide services for the surrounding residential development.

BACKGROUND DATA:

09/22/59	The City Planning Commission adopted a Generalized Land Use Plan. Within that plan the subject parcels were designated Low Density Residential, which allowed a maximum of five units per acre.
08/12/68	The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcels were designated Low Density Residential, which allowed three to six dwelling units per acre.
05/26/77	The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcels were designated Low Density Residential, which allowed three to seven dwelling units per acre.
08/07/85	The City of Las Vegas adopted Community Profiles: A component of the short range plan phase of the General Plan. Within this document, the subject parcels were designated Medium Low Density Residential which allowed six to twelve dwelling units per acre.
05/18/88	The City Council approved a request to Rezone this property to R-PD12 (Residential Planned Development - 12 Units Per Acre) on the south half of the site and C-1 (Limited Commercial) on the north half of the site (Z-28-88).
09/27/88	The Planning Commission approved a request for a Plot Plan Review for a proposed apartment complex and accessory mini-storage facility [Z-28-88(1)].

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

05/10/90 The Planning Commission approved a request for a Plot Plan and Building Elevation Review for a proposed town home development [Z-28-88(2)]. This project was not initiated and the zoning expired on May 10, 1990.

03/18/92 The City Council approved a request to Rezone this property to R-PD12 (Residential Planned Development - 12- Units Per Acre) (Z-5-92).

06/24/93 The City Council approved a request for a Reinstatement and an Extension of Time which expired on July 21, 1994 [Z-5-92(1)].

09/21/94 The City Council approved a request for a Reinstatement and second Extension of Time which expired on September 21, 1995 [Z-5-92(2)].

10/03/95 The City Council approved a request for a third Extension of Time with an expiration date of September 21, 1996 [Z-5-92(3)]. The zoning has been kept alive by the recordation of a subdivision map on this site (Diamondhead Townhomes).

11/24/97 The Planning Commission approved a request for a Site Development Plan Review for a proposed 44 unit town home development [Z-5-92(4)].

DETAILS OF APPLICATION REQUEST:

Site Area:	3.42	Acres
Total Building Area:	13,400	Square Feet
Building Number 1 Area:	11,000	Square Feet
Building Number 2 Area:	2,400	Square Feet
Building Height:	19 Feet, 6 Inches	
Parking Required:	54	Spaces (Title 19A, General Retail Store, Other Than Listed)
Parking Provided:	71	Spaces; including 3 compact parking spaces
Handicapped Parking Required:	3	Spaces
Handicapped Parking Provided:	2	Spaces

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

The site plan depicts two pad sites on the north half of the site, labeled Lot 1 and Lot 2, with no proposed development. A proposed L-shaped private street provides access to the south half of the site from Bonanza Road and Page Street. Lot 3 comprises the south half of the site and is shown on the site plan with two commercial buildings, accessory parking, and landscaping. Building Number 1 is located on the east side of the site and its accessory parking is located on the north and west side of the building. Building Number 2 is located on the west half of Lot 3 and its accessory parking is located west of the building. Loading areas are located along the north and south sides of the building and a trash dumpster is provided at the northwest corner of Lot 3.

An existing concrete masonry wall abuts the property along the east property line and the common property line along the south and west portions of the site adjacent to the child care center. A 16 inch tall concrete masonry unit wall with a 2 foot, 8 inch high wrought iron fence on top is shown along Diamond Head Drive. A 4 foot high wrought iron crash gate provides emergency access to Diamond Head Drive.

The elevation plans depict both proposed buildings with matching architectural design and finish. The design includes a mansard roofline with peaked accents at the entrances along the west side of Building Number 1 and along the north, west, and east elevations of Building Number 2. The mansard roofline wraps around the front and sides of the buildings to a distance of 24 feet on Building Number 1 and 40 feet on Building Number 2. The remainder of the facades do not include the same decorative features. The building materials and colors consist of stucco finish with adobe texture in tan, stucco column bases with smooth texture in light tan with brown marbling, stucco wrapped trim bands with smooth texture colored brown and light brown, dual glazed aluminum storefront with medium bronze glazing with dark bronze frames, stucco columns with sand texture in Navajo white, and Spanish style medium brown cement roof tiles.

The landscape plan depicts 15 foot wide landscape planters along Page Street and Bonanza Road; and 8 foot wide planters along the east and west side property lines. Lot 1 and Lot 2 pad sites are not to be improved with landscape plantings at this time and will require site design review for the landscaping upon development. Lot 3, the south half of the site, is shown on the landscape plans with planters along the north and south sides of Building Number 2, and along the west side of Building Number 1. A 12 foot wide planter is proposed along Diamond Head Drive.

Agenda Item

--

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

Building No. 1 floor plans depict 12 tenant lease spaces consisting of 916 square feet each. The building is constructed such that the tenant spaces can be combined into larger lease areas, reducing the total number of lease spaces. Each lease space is designed with a front and rear door and individual restrooms.

The floor plans for Building No. 2 depict two tenant lease spaces with 1,200 square feet devoted to each leaseable area. The tenant spaces are flexible and can be adjusted to the size and area desires of the individual tenant. Customer entrances are located on the north, east, and west sides of the building and emergency exits are located along the south side of the building.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	R-CL	Single Family Residential
South	R-E, C-V	Child Care Center, School
East	ROI to R-PD12	Condominiums
West	R-3, ROI to C-1	Apartments, Unimproved

FINDINGS:

GENERAL PLAN:

The site is designated ML (Medium-Low Density Residential) on the Southeast Sector Map of the General Plan. Staff has recommended DENIAL of a General Plan Amendment to SC (Service Commercial) for this site based on the incompatibility of the request with the surrounding area.

REZONING:

If limited to the north portion of the site, across from the existing C-1 (Limited Commercial) zoning located on the west side of Page Street, the proposed zone change would present less of a conflict with the General Plan. However, the proposed C-1 (Limited Commercial) zoning designation allows retail uses that are not compatible with the surrounding development adjacent to the south half of the site. Of particular concern is the increased traffic and potential conflicts with the elementary school located south of Diamond Head Drive. The existing R-PD12 (Residential Planned Development - 12 Units per Acre) is acceptable on the south half of the site.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.**PURPOSE/BACKGROUND****PLOT PLAN:**

The site plan proposes a trash dumpster within 8 feet of an adjacent residential property line. Title 19A requires that trash dumpsters be located not less than 50 feet from any residential property line. Therefore, the trash dumpster must be moved to a suitable location elsewhere on the site.

LANDSCAPE PLAN:

The landscape planter located along Diamond Head Drive is 11 feet wide where a 15 foot wide planter is required. Also, the spacing of the proposed landscape materials is not noted on the landscape plan. Additionally, scaled measurement of the distance between the plant materials reveals that the proposed plant spacing is greater than that allowed by the Las Vegas Urban Design Guidelines and Standards. All landscaping must conform to the minimum requirements of the Las Vegas Urban Design Guidelines and Standards.

ELEVATIONS:

The Las Vegas Urban Design Guidelines and Standards require that all building facades exhibit design continuity. The Standards specifically state: "There should be no unimproved side to a structure. For instance, a mansard roof should be carried around all sides of the building, not just along the front". The proposed building elevations do not meet this criteria and the elevations must be redesigned to have as much articulation on the rear and side elevations as the front elevations.

Staff recommends DENIAL.

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

[Note: The Planning Commission, after considering staff's concerns, recommended that the application be amended to C-1 (Limited Commercial) on the north portion of the site and O (Office) on the south portion of the site which will act as a buffer to the single family homes and school to the south.]

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-8-99 - PUBLIC HEARING - Z-13-99 - K. S. NEVADA, INC.

PURPOSE/BACKGROUND

PC NOTICES MAILED: 338

APPROVALS: 2

[Note: The supporters felt that the proposed development would improve the neighborhood.]

PROTESTS: 0

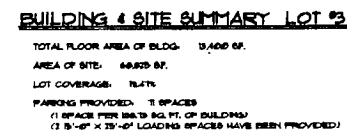
SEE ATTACHED LOCATION MAP

Agenda Item

--



GPA-8-99
Z-13-99
4-15-99 QPC



A-1 SITE PLAN
A-2 FLOOR PLAN - BUILDING 9
A-3 FLOOR PLAN - BUILDING 7
A-4 EXTERIOR ELEVATIONS - BUILDINGS 9 & 7
A-5 LANDSCAPING PLAN



VICINITY MAP



REVISIONS	DATE

COMPLET

257-8177

**WARREN B. BUCHANAN
ARCHITECT**

W3

PROJECT TITLE	SITE PLAN DRAWING INDEX
PROJECT	DIAMONDHEAD COMMERCIAL CENTER for K&N NEVADA, INC.

DATE 2/7/98

SCALE 1" = 30'-0"

JOE 9907

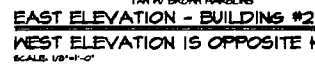
SECRET
A-1

CITY COUNCIL MEETING OF MAY 24, 1999

Page

666

4-15-99 QPC
STAFF



DATE 2/17/99
SCALE 1/8"=1'-0"
DRAWN M.B.
JOB 9902
SHEET
A-4

Page 1000

1902-04

LANDSCAPING SCHEDULE			
SYMBOL	COMMON NAME	SIZE	REMARKS
①	RICHELLE PINE	24" BOX	
②	AFRICAN SIKAC	24" BOX	
③	PURPLE-LEAF FILIX	24" BOX	
④	ITALIAN CYPRESS	8 GALLON	PLANT 8'-10" O.C.
⑤	BLUE PACIFIC	8 GALLON	
⑥	JANIPERUS CONFORTA		

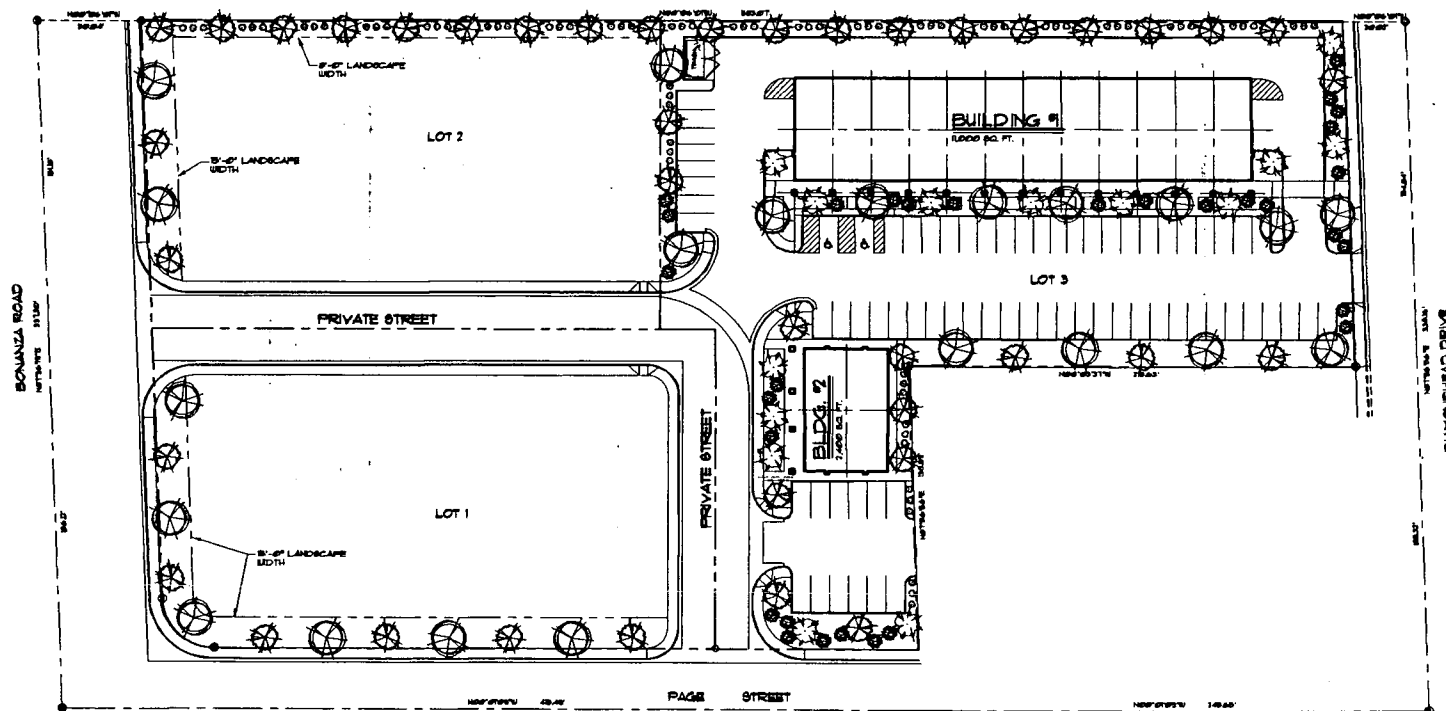
LANDSCAPING NOTES

1. SITE PREPARATION: THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS, AND ALL OTHER EXTRANEOUS MATERIAL FROM THE JOBSITE PRIOR TO PROCEEDING WITH ANY WORK, AND DISPOSE OF IT IN A SUITABLE AND LAWFUL MANNER.
2. DRAINAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURFACE AND UNDERGROUND DRAINAGE. (MINIMUM 1% GRADIENT ALL AREAS EXCEPT AS NOTED.)
3. FINISH GRADE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADES IN ALL PLANTING AREAS. SOIL SHALL BE FLOATED TO A SMOOTH AND EVEN SURFACE CONFORMING TO SPECIFIC GRADES AFTER SETTLEMENT HAS OCCURRED. FINISH GRADE IN SHRUB AND GROUND COVER AREAS SHALL BE 2" BELOW ADJACENT HARDSCAPE. ALL CHANGES IN GRADE AND GRADERS AT THE LIMIT OF WORK SHALL BE SIGNED TO OBTAIN A SMOOTH AND EVEN TRANSITION AND ELIMINATE ABRUPT CHANGE.
4. IRRIGATION: NO PLANTING SHALL TAKE PLACE UNTIL THE ENTIRE IRRIGATION SYSTEM IS UNDER FULL AND AUTOMATIC OPERATION.
5. PLANTING TABLETS: TABLETS SHALL BE PLACED IN THE PLANT PIT AT ONE THIRD OF THE DEPTH OF THE ROOT BALL AT THE FOLLOWING RATE:
8 GALLON = TWO TABLETS, 24" BOX = FOUR TABLETS.
6. ALL PLANTING BEDS IN LOT THREE ONLY TO RECEIVE 2" THICK MINIMUM DESERT ROSE ROCK. USE PINE-DEPENDENT PRIOR TO PLACING ROCK. (LOTS 1 & 2 WILL BE COVERED AS THEY ARE DEVELOPED.)

GPA-8-99
Z-13-99

4-15-99 QPC

STAFF



LANDSCAPING PLAN
SCALE: 1" = 30'-0"

A
A-5



REVISIONS	BY

CONSULTANT

257-8177

WARREN B. BUCHANAN
ARCHITECT

257-8177

CITY COUNCIL MEETING OF MAY 24, 1999

BLIND COMMERCIAL

PROJECT

DATE 2/1/98

SCALE 1" = 30'

DRAWN WED

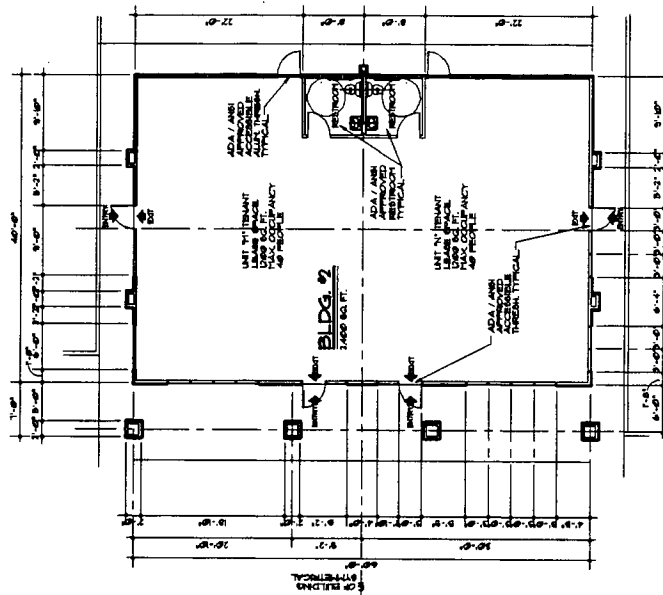
JOB 9902

SHEET **A-5**

Page 1001

GPA-8-99
Z-13-99
4-15-99 QPC

STAFF



FLOOR PLAN • BUILDING 2
SCALE: 1/8" = 1'-0"

REVISIONS	BY

CONSULTANT

957-0177

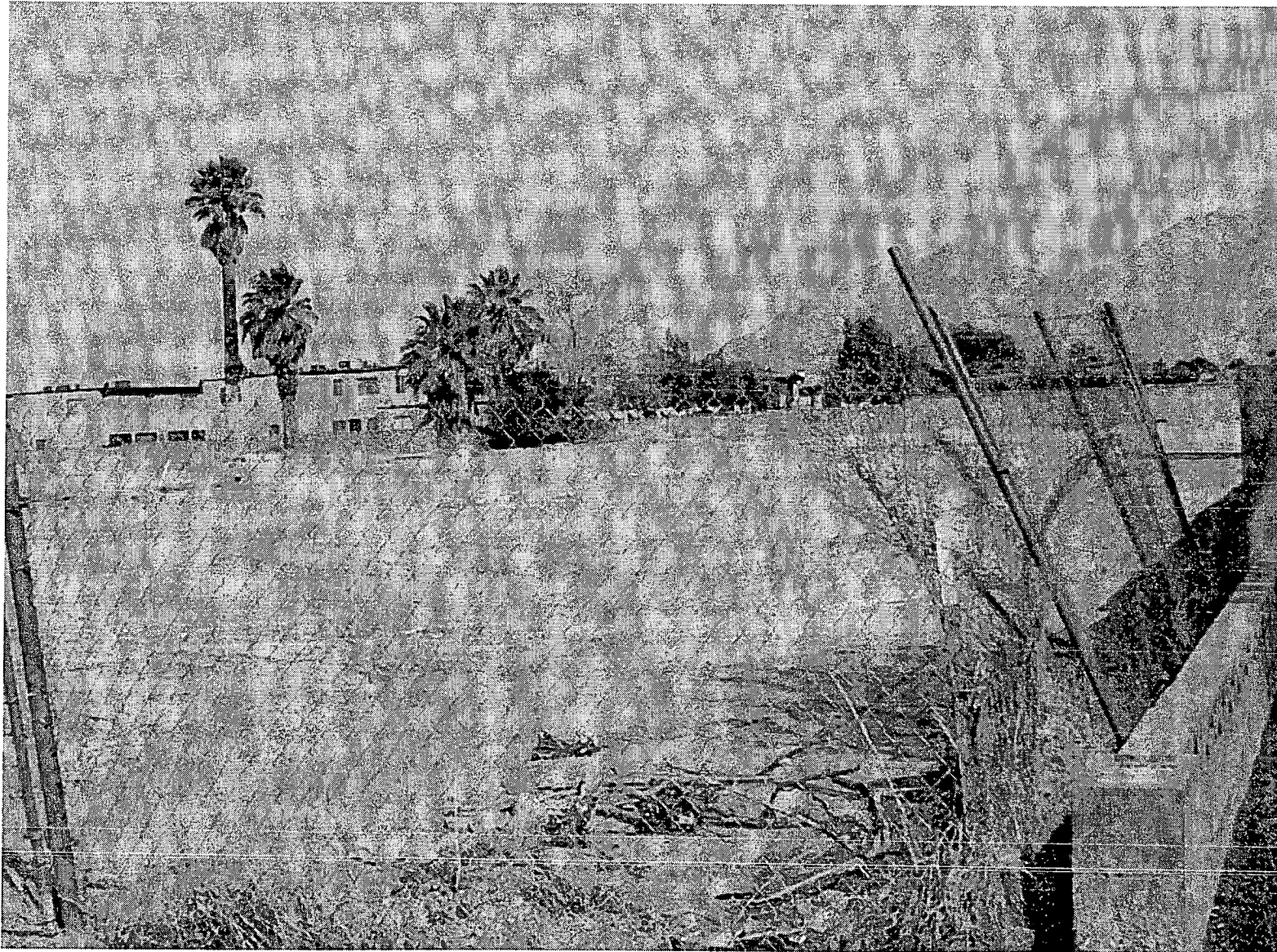
WARREN B. BUCHANAN
ARCHITECT
D, STE. 9 - LAS VEGAS, NV

MB

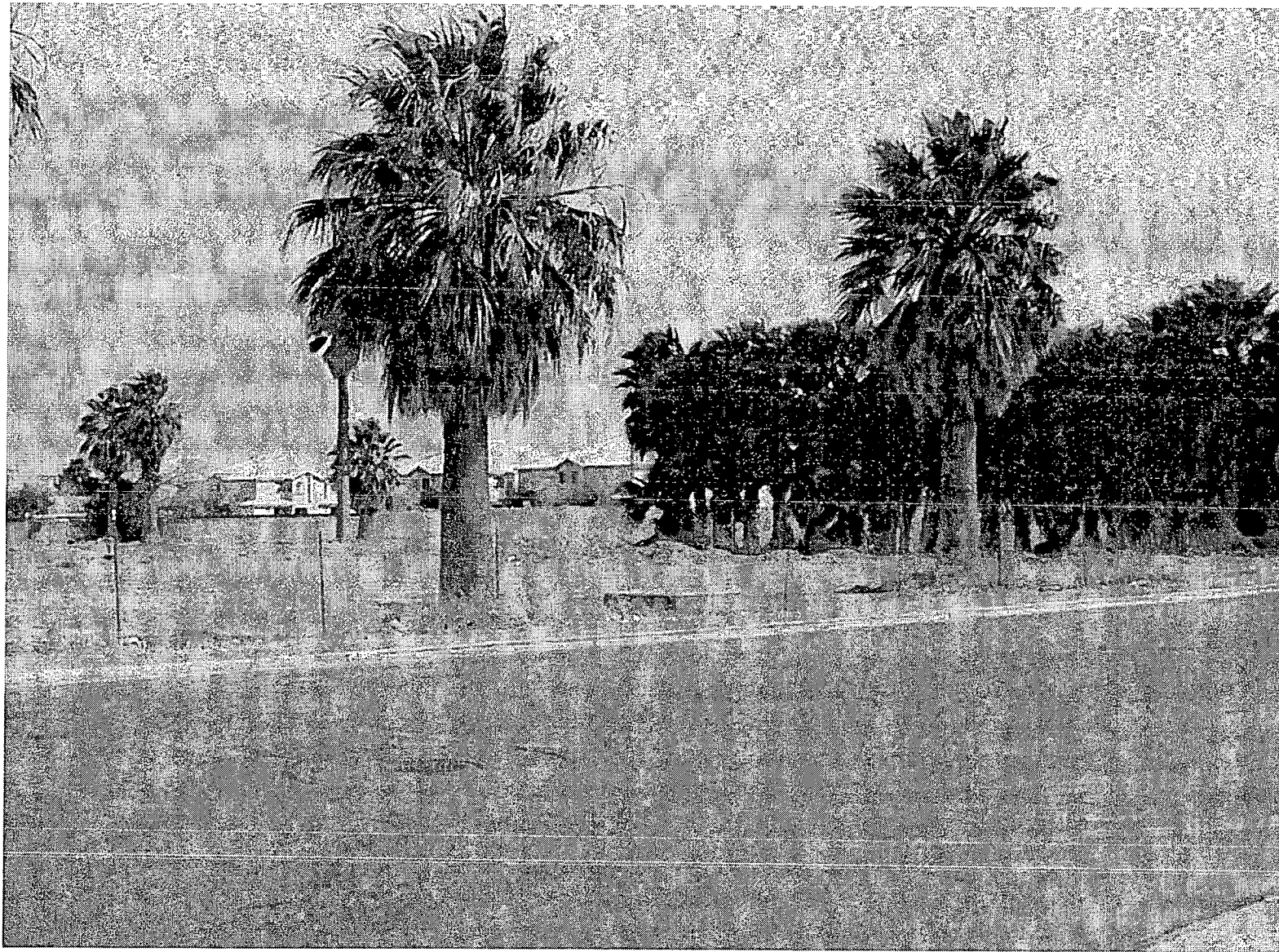
PROJECT
DIAMONDHEAD
COMMERCIAL CENTER
• BUILDING 2

SHEET TITLE FLOOR PLAN
DATE 2/7/99
SCALE 1/8" = 1'-0"
DRAWN D.D.Y.
JOB 9902

SHEET
A-3



April 15, 1999 Quarterly Planning Commission GPA-8-99 and Z-13-99



April 15, 1999 Quarterly Planning Commission GPA-8-99 and Z-13-99

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 118

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

PLANNING & DEVELOPMENT DEPARTMENT - DISCUSSION

WARD 4:

GENERAL PLAN AMENDMENT - PUBLIC HEARING

GPA-1-99 - CITY OF LAS VEGAS

Request to Amend the Northwest Sector of the General Plan on properties generally located north of Cheyenne Avenue and west of Decatur Boulevard to include recent General Plan Amendments, the Town Center Plan as a chapter of the Northwest Area General Plan, and correct the narrative, Ward 4 (Brown), APN: Multiple.

NOTICES MAILED: NEWSPAPER ONLY

APPROVALS: 4

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 4

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

**BROWN - APPROVED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

APPEARANCES:

CHRIS KNIGHT, Planning and Development
LOUISE RUSKAMP, Tule Springs Community Association,
8500 Log Cabin Way
BRUCE HAMILTON, 8524 Maggie Avenue
DEPUTY CITY ATTORNEY GEORGE

NOTE: COUNCILMAN BROWN indicated that comments made at this meeting should be incorporated into the 6/1/99 Recommending Committee meeting under Bill 99-28. DEPUTY CITY ATTORNEY STEVE GEORGE advised that a vote should be taken on this item.

NOTE: COUNCILMAN BROWN stated that the Northwest Master Plan was adopted in 1996. With all the development in the northwest a comprehensive review should be done. He asked staff to develop a time line, looking towards the end of 1999 and the beginning of the year 2000, for that type of review to take place.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: A Verbatim Transcript is made a part of the Final Minutes.

(5:33 - 5:40)

5 - 3300

123

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-1-99 - CITY OF LAS VEGAS**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

The purpose of this update of the Northwest Area Amendment to the General Plan of the City of Las Vegas, is to bring the Plan up to date with previously approved amendments to the plan, improvements of the existing and proposed infrastructure, and the fusing the General Plan Amendment with the Town Center plan. The intent of this General Plan Amendment is to preserve the low density residential land use patterns that currently exist and are continuing to develop in the area. The justification for the request is to reflect recent changes to the Northwest Area General Plan and to ensure:

1. Conformance with existing residential and commercial development patterns; and
2. Future development of vacant parcels will be compatible with existing land use patterns.

BACKGROUND DATA:

The Northwest General Plan Amendment to the City of Las Vegas General Plan was adopted on December 18, 1996 and amended on December 5, 1997. The area of the Amendment is between Moccasin Road to the North and Cheyenne Avenue to the south, Decatur Boulevard to the east and Red Rock Conservation Area to the west. The amendment's goal was to preserve the rural nature of the area while at the same time provide for innovative development tools.

Beginning in the fall of 1998, the Planning and Development Department initiated meetings with representatives of Public Works, Clark County, the Water District, the Regional Transportation Commission and others to update the information and maps of the Northwest General Plan Amendment. In addition, three (3) open houses were conducted in December, 1998 and February, 1999 at which the general public was invited to provide input. The consensus of these cooperative efforts is that this update is in the best interest of the Northwest.

DETAILS OF APPLICATION REQUEST:

Site Area: 35,840 Acres

Agenda Item

123

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-1-99 - CITY OF LAS VEGAS**PURPOSE/BACKGROUND****EXISTING LAND USE:**

Single Family Residential, multi-family, commercial uses and vacant land.

PLANNED LAND USE:

Single Family Residential, Multi-family Residential, Commercial, Public Uses and Open Space.

ANALYSIS:

The majority of the properties within the area of consideration under this General Plan Amendment have currently been, and continue to be, developed to the standards and established land use classifications contained in the Northwest Area General Plan Amendment. This action would bring the General Plan in to conformance with the patterns of development within this area. In doing so, "a compatible balance of land uses...by providing appropriate and compatible locations for all land uses..." will be achieved, as prescribed in Objective C of the Land Use Element of the General Plan.

Land Use: The update to the map reflects individual General Plan Amendments that have occurred in the area since the last amendment. Mapping errors that were found during the analysis process will be corrected with this update. A request has also been received from a group of property owners near the intersection of Horse and Bradley to have their land uses changed to be consistent with the changes approved with the Iron Mountain Plan. See attached chart for a list of the mapping locations and descriptions.

Infrastructure and circulation: With this update, the Northwest Area General Plan Amendment will be consistent with plans maintained by Public Works, Clark County, the Water District, Regional Transportation Commission, and Leisure Activities.

Electrical Service: The chapter of the Northwest Area General Plan Amendment on Electrical Service has been withheld from this update to allow for time to solidify transmission corridor routing, which is incomplete at this time.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-1-99 - CITY OF LAS VEGAS**PURPOSE/BACKGROUND****FINDINGS:**

Staff finds this amendment appropriate for the following reasons:

1. Objective C of the Land Use Element of the General Plan indicates that it is desirable to "achieve a compatible balance of land uses throughout the City by providing appropriate and compatible locations for all land uses".
2. The majority of the properties in the area of consideration under this General Plan Amendment have currently been, and continue to be, developed to the standards and previously established land use classifications. This action will bring the General Plan in to conformance with the pattern of development within this area.
3. This amendment of the General Plan meets the four conditions of justification of a General Plan Amendment stipulated in Chapter 19A.18.030 of the Las Vegas Zoning Code.
 - a. General Plan Conformance - This update encourages the development and the preservation of the rural areas.
 - b. Compatibility with Surrounding Land Uses - The majority of the lands immediately adjacent to the area, particularly to the west, east, and north, are undeveloped at this time so the impacts on these areas will be minimal.
 - c. Appropriateness of the Rezoning - The current and future inhabitants of the area will need commercial services, recreational facilities, and employment. The northwest is also the home of the City's largest concentration of people who enjoy a rural lifestyle and want this very rural density living environment to be maintained. This update will effectively blend the need for services in a residentially compatible environment.
 - d. Adequate Access to the Property - The circulation element is consistent with the update to the Master Plan of Streets and Highways.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-1-99 - CITY OF LAS VEGAS**PURPOSE/BACKGROUND**

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: NEWSPAPER PUBLICATION ONLY

APPROVALS: 4

PROTESTS: 0

SEE ATTACHED LOCATION MAP

Agenda Item

--

GPA-1-99

Location	Existing General Plan	Proposed General Plan
NE corner of Fort Apache/Log Cabin	P	PCD
NE corner of Fort Apache/Log Cabin	PF	PCD
Racel/Fort Apache	TC	MLA
SW corner of El Capitan/Horse	TC	ML
SW corner of Racel/El Capitan	TC	ML
SW corner of Cimarron/Elkhorn	TC	ML
SE corner of Cimarron/Elkhorn	TC	ML
NE corner of Cimarron/Deer Springs	TC	ML
NW corner of Torrey Pines/Lone Mtn	L	MLA
SE Thom/Craig	DR	SC
NW Gilmore/Decatur	DR	L
Bonn Court (NW Thom/Ricky)	DR	L
NE Gowan/Rancho	SC/DR	GC
Nevada Classic Drive (NE Alexander/Rainbow)	L	ML
SE Buckskin/Buffalo	R	O
NW Cheyenne/Ft. Apache	ML	MLA
NE Grand Cyn/Cheyenne	ML	MLA
NS of Alexander at Al Carrison	DR	R
NW Hickam/Buffalo	DR	R
NE Craig/Torrey Pines	SC	GC
NW Lone Mtn/Torrey Pines	L	MLA
SE Hammer/Torrey Pines	R	L

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 1

VERBATIM TRANSCRIPT - ITEM 123 - GPA-1-99 - CITY OF LAS VEGAS

MAYOR PRO TEM McDONALD

Item 123, General Plan Amendment, public hearing. GPA-1-99, City of Las Vegas. Request to amend the Northwest Sector General Plan on properties generally located on, located north of Cheyenne Avenue and west of Decatur Boulevard to include recent General Plan Amendments, the Town Center Plan is a capture of the Northwest Area General Plan and correct the narrative. Four approvals, no protests. Planning Commission and staff recommend approval. Applicant's present. You're in.

CHRIS KNIGHT, PLANNING &
DEVELOPMENT

Yes.

COUNCILMAN BROWN

Mayor Pro Tem, Mr. Knight, if you'd hold off just for a sec. This morning we introduced the bill that would create the ordinance for this. That's going to be heard at Recommending Committee. So this public hearing, as well as Recommending Committee, then we'll have two bites of this apple? Or -- we can move forward today without impacting the ordinance then?

MAYOR PRO TEM McDONALD

Or do we hold it in abeyance?

COUNCILMAN BROWN

I -- That's, yeah.

MAYOR PRO TEM McDONALD

Oh, I'm sorry. But you're looking at me.

DEPUTY CITY ATTORNEY STEVE
GEORGE

We could move forward without impacting the ordinance, but you could, up to your discretion, you could hold it if you chose to do so.

COUNCILMAN BROWN

Okay. Let's -- take comments while we're here and then also --

CHRIS KNIGHT, PLANNING &
DEVELOPMENT

Mayor Pro Tem, is that -- As Councilman Brown alluded to, this was Item No. 95, Bill 99-28, that's been moved forward to the 6/1 Recommending Committee. When the Town Center Plan was adopted in September of 1998, the staff made a commitment to put the Town Center Plan into the Northwest General Plan. If you'll recall that that document came forward as a free-standing document and our commitment was to meld it into Chapter 3 of the Town Center Plan and bring it back here for adoption and unification of the document between the Northwest General Plan and the Town Center Land Use Plan. That's what precipitated this work. Along with this work, we picked up some other items, General Plan Amendments, that had been conducted over the -- years since the adoption of the Northwest General Plan in December of 1996, as well as some other -- housekeeping measures.

**CITY COUNCIL
MEETING OF
MAY 24, 1999**

Page 2

VERBATIM TRANSCRIPT - ITEM 123 - GPA-1-99 - CITY OF LAS VEGAS

Basically, this is a housekeeping item that is before you. The plan that is here up on the monitor now is the existing Northwest Area General Plan. A couple of things that we've picked up on that, you'll see over along the beltway there are some slivers of R-E and slivers of PCD that we've picked those up and made those clean-up measures in our Land Use Plan.

The corrections basically fall into five different categories. Ten changes are a result of staff recommendations related to Town Center, one change is a staff recommendation as a result of the neighborhood request in relation to the Iron Mountain Plan approval and ten of the changes are previously approved General Plan Amendments. Twenty of the changes are developments that existed at higher densities prior to the adoption of the Northwest General Plan that weren't picked up as a matter of mapping and three changes are just the identification of Las Vegas area well sites.

All of those changes are depicted on this map here. This is the Iron Mountain change and you'll see the slivers and the number of changes throughout. You can see that they're scattered throughout the Northwest and they really are just land use changes. And this is not a major revamp of the Northwest General Plan.

So the resulting map is this map here that we're recommending be adopted by the City Council. In the future, the staff will be engaging in a mass, the development of a new Master Plan. And the process of looking at that new Master Plan, we will wish to propose to -- go and revisit the Northwest General Plan Amendment. Councilman Brown has asked us to do that already and we've responded to him that this would be part of the master planning effort, which we would go back and look at issues such as buffers in the PCD land use classification area. There's currently a 600 foot buffer requirement and do we make that throughout the entire Northwest General Plan area.

Densities in the PCD currently range from two to eight units per acre. Some of the residents out there would like to see perhaps two to four. We don't know. We make no commitment to it. But the densities on the implementation would be something that we would look at as well. Trails and parks planning, the Comprehensive Planning Division is -- got senior staff on board that is looking at major parks planning effort and major trails planning effort that we want to incorporate into the Northwest General Plan and City-

**CITY COUNCIL
MEETING OF
MAY 24, 1999**

Page 3

VERBATIM TRANSCRIPT - ITEM 123 - GPA-1-99 - CITY OF LAS VEGAS

wide. And then public safety, identification of school sites and resolutions of some minor land use conflicts, such as along Rancho Drive and in other areas of the Northwest General Plan.

But for the time being, we're - proposing this as a housekeeping measure, pick up some of the GPAs that have been done, pick up the Town Center as a unification of the Town Center document in the Northwest General Plan document.

MAYOR PRO TEM McDONALD

Thank you. This is a public hearing. Does anyone wish to be heard?

LOUISE RUSKAMP

Louise Ruskamp, 8500 Log Cabin Way. I represent the Tule Springs Community Association. We're in, all in favor of the changes that are being made to the Northwest General Plan. Thank you.

MAYOR PRO TEM McDONALD

Thank you for coming down. Anyone else wish to be heard?

BRUCE HAMILTON

Bruce Hamilton, 8524 Maggie Avenue, President of the Tule Springs Community Association. And I just wanted to echo what Louise said, that we've looked over all these changes and we are in favor of them.

MAYOR PRO TEM McDONALD

Thank you, Sir. Seeing no one else, we'll close the public hearing. Councilman?

COUNCILMAN BROWN

Again, question as far as process to -- Mr. George, do we just accept the comments and incorporate them into our Recommending Committee public hearing and take final action, or do we, can we amend the Plan today?

DEPUTY CITY ATTORNEY STEVE
GEORGE

Councilman, I would recommend that we take a vote on it. However, I would also recommend that we make and reiterate those same comments at Recommending.

COUNCILMAN BROWN

Okay. Then, one comment before my motion. As Mr. Knight indicated, the Northwest Master Plan, I think, was adopted in '96 and probably the year or 18 months prior to that. So we're - a good five years out. And with all the development in this area, I - think it's time for a real comprehensive look. So I would ask staff to maybe over the next few weeks develop some kind of timeline where it's not urgent, but it's important. And that we balance that into some kind of process over the next certainly calendar year '99, going into maybe, perhaps the first quarter 2000. So if you could have discussion down in Planning, we'd appreciate that. We need to take a real hard look again.

**CITY COUNCIL
MEETING OF
MAY 24, 1999**

Page 4

VERBATIM TRANSCRIPT - ITEM 123 - GPA-1-99 - CITY OF LAS VEGAS

My motion would be for approval, subject to staff conditions.

MAYOR PRO TEM McDONALD

Cast your votes. Post. Motion's approved. (Motion carried with JONES and ADAMSEN excused)

(END OF DISCUSSION)

/vwd

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 119

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

124

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****GENERAL PLAN AMENDMENT - PUBLIC
HEARING****GPA-3-99 - DIPAK AND KUSUM DESAI, ET AL**

Request to Amend a portion of the Northwest Amendment to the General Plan on property located on the east side of Rancho Drive, approximately 370 feet south of Lone Mountain Road, From: SC (Service Commercial) To: GC (General Commercial), Ward 4 (Brown), APN: 138-02-102-003.

NOTICES MAILED: 586 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

0

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

**BROWN - APPROVED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

JIM VELTMAN, Zoning Consultant, 2801 North Tenaya Way, appeared to represent the applicant. They would like to bring this tract of land up to the level of C-2 [General Commercial] zoning. The area to the east has been rezoned C-1 [Limited Commercial] in a plan agreed to with the neighbors. They are straightening the line along the back of this property so that it will be square. He concurred with staff's conditions.

COUNCILMAN BROWN confirmed with ROBERT GENZER, Planning and Development, that the property to the north and east has been approved for C-1 [Limited Commercial]. MR. GENZER added that a master plan has to come back to the City for those properties individually to indicate how they relate to this subject property.

No one appeared in opposition.

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: See Item 125 [Z-8-99] for further discussion.

(5:40 - 5:42)

6 - 30

NOTE: A Combined Verbatim Transcript of Item 124 [GPA-3-99] and Item 125 [Z-8-99] is made a part of the Final Minutes under Item 124 [GPA-3-99]

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-3-99 - DIPAK AND KUSUM DESAI, ET AL**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

This amendment to the Northwest Amendment to the General Plan from SC (Service Commercial) to GC (General Commercial) was filed in conjunction with a rezoning request from C-2 (General Commercial) and R-E (Residence Estates) to C-2 (General Commercial) on property located on the east side of Rancho Drive, approximately 367 feet south of Lone Mountain Road for the purpose of developing a new car sales lot on the property. The applicant justified the request for the following reasons:

1. Buffering will be provided by C-1 (Limited Commercial) uses along Torrey Pines Drive and Lone Mountain Road.
2. There are not enough available areas for new car dealerships in the northwest area of the City.

BACKGROUND DATA:

- | | |
|----------|--|
| 1964 | The subject properties were annexed to the City of Las Vegas. |
| 08/12/68 | The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcels were designated Low Density Residential, which allowed three to six dwelling units per acre. |
| 05/26/77 | The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcels were designated Low Density Residential, which allowed three to seven dwelling units per acre. |
| 08/07/85 | The City of Las Vegas adopted Community Profiles: A component of the short range plan phase of the General Plan. Within this document, the subject parcels were designated GC (General Commercial). |
| 04/01/92 | The Las Vegas City Council adopted the City of Las Vegas General Plan. On this plan, the subject parcels were designated for GC (General Commercial). |

Agenda Item

124

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-3-99 - DIPAK AND KUSUM DESAI, ET AL

PURPOSE/BACKGROUND

12/05/96 The Las Vegas City Council adopted the Northwest Amendment to the General Plan. Within this document, the subject parcels were designated SC (Service Commercial).

DETAILS OF APPLICATION REQUEST:

Site Area: 6.0 Acres

PLANNED LAND USE:

Subject Property	SC	Service Commercial
North	SC	Service Commercial
South	SC	Service Commercial
East	SC	Service Commercial
West	R-O-W	Rancho Drive

EXISTING LAND USE:

Subject Property	Unimproved
North	Unimproved and Feed Store
South	Unimproved
East	Unimproved
West	R-O-W (Rancho Drive)

ZONING OF ADJACENT PROPERTIES:

North	R-E (Residence Estates) pending C-1 (Limited Commercial)
South	R-E (Residence Estates)
East	R-E (Residence Estates) pending C-1 (Limited Commercial)
West	R-O-W (Rancho Drive)

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-3-99 - DIPAK AND KUSUM DESAI, ET AL**PURPOSE/BACKGROUND****ANALYSIS:****Definitions:**

The following City of Las Vegas General Plan definitions describe the specific land use categories affected by this application:

GC (General Commercial) - General Commercial allows retail, service, wholesale, office and general business uses of a more intense commercial character. These uses commonly include outdoor storage or display of products or parts, noise, lighting, or other characteristics not generally considered compatible with adjoining residential areas without significant transition. Examples include: new and used car sales; recreational vehicle and boat sales, car body and engine repair.

SC (Service Commercial) - The Service Commercial category allows low to medium intensity retail, office, or other commercial uses that serve primarily local area patrons, and that do not include more intense General Commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys, and other places of public assembly and public and semi-public uses.

The applicant held two neighborhood meetings regarding this General Plan Amendment, staff was present at both meetings. There was very little opposition to this request by the residents, as their focus was directed to the uses proposed closer to Lone Mountain Road and Torrey Pines Drive.

The subject parcel fronts onto Rancho Drive, approximately 370 feet south of Lone Mountain Road. Rancho Drive is a State maintained road with a designated right-of-way of 125 feet in front of the subject parcel. The potential GC (General Commercial) uses generate potentially the same or less traffic than the uses allowed in the SC (Service Commercial) land use category.

The uses allowed in the General Commercial land use category should only be allowed near single family residential uses if there is a significant transition area between them. The applicant has requested a rezoning to C-1 (Limited Commercial) on the parcels to the north and east which will provide a transition area between the high intensity general commercial use and the low density single family residential to the north and east.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-3-99 - DIPAK AND KUSUM DESAI, ET AL**PURPOSE/BACKGROUND**

The GC (General Commercial) land use category should be compatible with the adjacent future land uses as proposed by the Northwest Amendment to the General Plan. This entire area, to the east, north, and south, of the subject parcel, is designated to be SC (Service Commercial). To the west of the subject property is Rancho Drive, a highly commercial corridor which is in keeping with this type of designation.

There is existing water and sewer service to the site. The closest fire station is about 1½ miles away. This project will have no affect on the existing schools in the area.

FINDINGS:

Staff finds this amendment appropriate for the following reasons:

1. Objective B of the Land Use Element of the General Plan states that the City should achieve a compatible balance of land uses throughout the northwest by providing appropriate and compatible locations for all land use categories.
2. There will be a significant transition area between the proposed General Commercial use and the single family uses to the north and east.
3. Rancho Drive is of sufficient size to meet the needs of the proposed development.

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 586

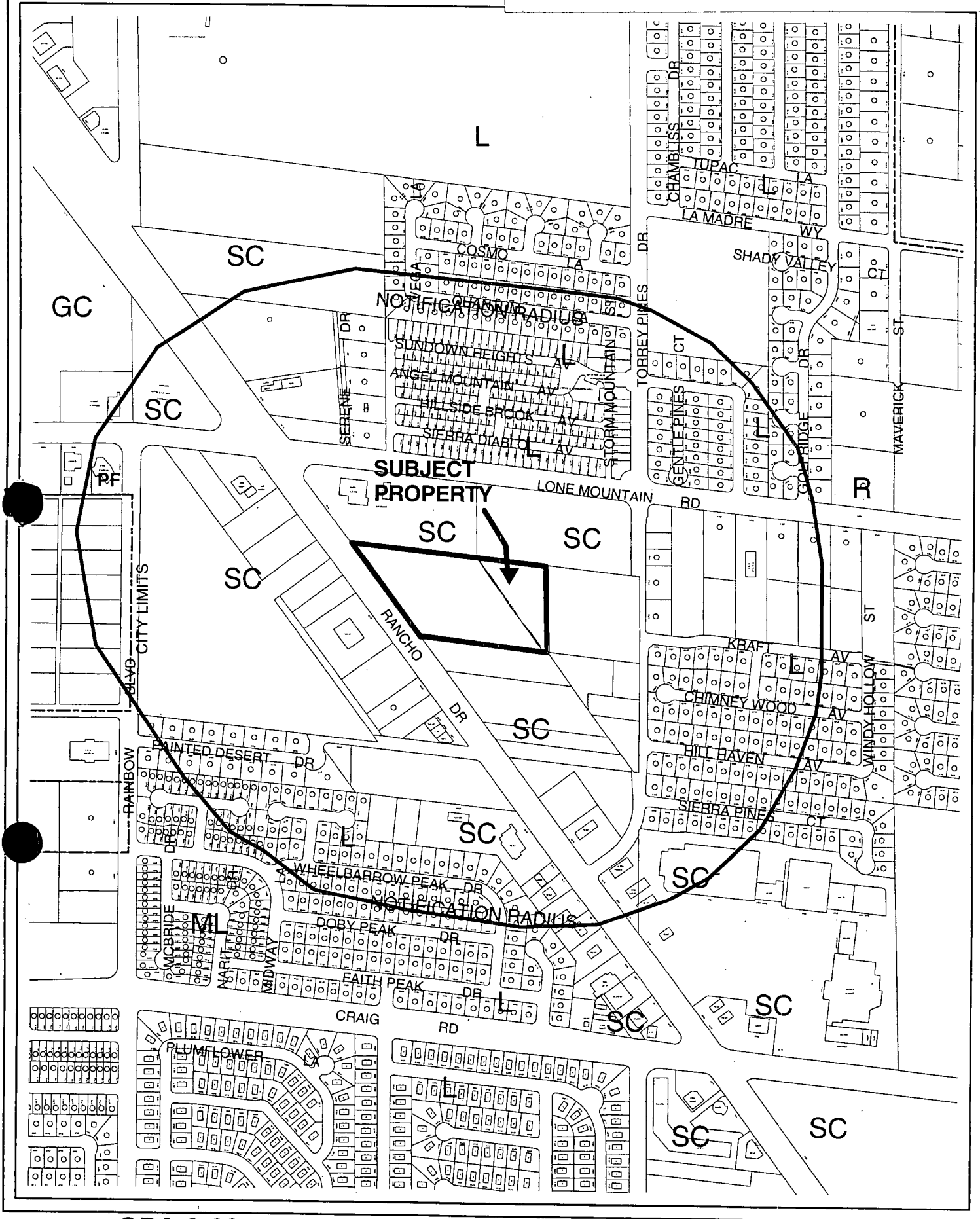
APPROVALS: 0

PROTESTS: 0

SEE ATTACHED LOCATION MAP

Agenda Item

--



CASE: GPA-3-99

RADIUS: 1320 FT



CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 1

COMBINED VERBATIM TRANSCRIPT - ITEM 124 - GPA-3-99 AND ITEM 125 - Z-8-99
DIPAK AND KUSUM DESAI, ET AL.

MAYOR PRO TEM McDONALD

Takes us to Item 124. General Plan Amendment - Public Hearing. GPA-3-99, Dipak and Kusum Desai, et al. Request to Amend a portion of the Northwest Amendment to the General Plan on the property located east side of Rancho, approximately 370 feet south of Lone Mountain Road, from SC (Service Commercial) to GC (General Commercial). Planning Commission and staff both recommend approval. The applicant's present. This is a public hearing, now declare it open.

JIM VELTMAN

Jim Veltman, 2801 North Tenaya Way. Two things are going on here. We are bringing this tract of land up to the level of the zoning. It currently is zoned C-2. So we're bringing the General Plan in line with - that. The area to the east has been rezoned in a plan agreed with the neighbors, as a buffer, C-1 buffer to this C-2. And then the other thing is we are straightening the line on the back side of the property so that we have a square back and it - lays out much better. Those are the basic issues involved here. We agree with all staff conditions and ask for your approval.

MAYOR PRO TEM McDONALD

Thank you, Mr. Veltman. This is a public hearing, does anyone else wish to be heard? Seeing none, we'll close it. Councilman.

COUNCILMAN BROWN

Staff, it says that the property to the north and to the east pending C-1?

JIM VELTMAN

That's been approved.

COUNCILMAN BROWN

Is it pending or has that been approved?

ROBERT GENZER, PLANNING &
DEVELOPMENT

That's correct. I believe that the rezoning has now been approved. What has to come back is a master plan for those properties, individually and showing how they relate to this particular piece of property.

COUNCILMAN BROWN

I'd - my **motion would be for approval.**

MAYOR PRO TEM McDONALD

Cast your votes. Post. Motion's approved. **(Motion carried unanimously with Jones and Adamsen excused.)**

Item 125. Rezoning related to GPA-3-99 - Public Hearing. Z-8-99 - Dipak and Kusum Desai, et al. Request for the rezoning on property located on the east side of Rancho Drive, approximately 370 feet south of Lone Mountain from R-E (Residential Estate) and C-2 (General Commercial) to C-2 (General Commercial). Proposed use: 32,525 square foot new car dealership and accessory. Planning

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 2

COMBINED VERBATIM TRANSCRIPT - ITEM 124 - GPA-3-99 AND ITEM 125 - Z-8-99
DIPAK AND KUSUM DESAI, ET AL.

Commission and staff both recommend approval. This is a public hearing, I declare it open. Applicant's present.

JIM VELTMAN

Jim Veltman, 2801 North Tenaya. This is a new Chrysler dealership that we're proposing here. And, again, we're just straightening up the back line so that we can do a much more efficient plan and that it ties in with the adjacent properties.

MAYOR PRO TEM McDONALD

Thank you, Mr. Veltman. Anyone else wish to be heard? Close the public hearing. Councilman.

COUNCILMAN BROWN

Mr. Veltman, do we have any – oh, here we are. Would this be, would there be any access easterly off this property?

JIM VELTMAN

No, all the access is to Rancho only. Yeah, there's no access east or north.

COUNCILMAN BROWN

And – what are accessory uses? Is that a term? We just throw that in? What – do we mean by accessory uses?

ROBERT GENZER, PLANNING &
DEVELOPMENT

I'd rather that the applicant respond to that. I'm assuming repair type uses,

JIM VELTMAN

Well, – Yeah, yeah.

MAYOR PRO TEM McDONALD

Auto boutiques.

JIM VELTMAN

We have a detail shop and auto repair bays, that's it. No body shop.

DEPUTY CITY ATTORNEY STEVE
GEORGE

And, Councilman, just for the record, under the code, there is a specific definition for accessory uses and it is a use incidental or secondary to the principal use of a lot, building or structure and located on the same lot as – the principal use.

COUNCILMAN BROWN

Could you – point out, I see where the – big dealership is, the new car dealership –

JIM VELTMAN

This is the – new car dealership, right here. This is the detail shop. This is the repair bays on the back side and this is the service door, into the back area. And that's just parking for the service area. Everything – in here is gated and fenced, in the back side. See we, you may – have a slightly different plan. As a result of working with the neighbors, this site has, in fact, shrunk and we have reconstituted the layout. Now we have to resubmit the plans for final approval.

COUNCILMAN BROWN

Do you have any elevations?

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 3

COMBINED VERBATIM TRANSCRIPT - ITEM 124 - GPA-3-99 AND ITEM 125 - Z-8-99
DIPAK AND KUSUM DESAI, ET AL.

JIM VELTMAN Yes, I do.

COUNCILMAN BROWN 'Cause I'm looking at, again, these look like straight barracks.

MAYOR PRO TEM McDONALD You didn't get the new ones.

COUNCILMAN BROWN Those look like straight barracks.

MAYOR PRO TEM McDONALD The new car dealership?

COUNCILMAN BROWN This is – out back. It's just the –

JIM VELTMAN This is the auto show room area, which is in fact covered, is in that area there. And then a portion of it is outside and is covered. And then all the interior facilities are behind it. This is the entrance back to the service area and that, no, excuse me, this is the entrance back to the service area, which is just basically two doors that open up during the daytime and shut at night.

COUNCILMAN BROWN Is that facing Rancho?

JIM VELTMAN Those two; yeah, those two doors face Rancho. And when they're open, the doors are open all day.

MAYOR PRO TEM McDONALD So the second drawing would be what we're facing if we're facing Rancho? Coming in off of Rancho?

JIM VELTMAN This is what would be facing Rancho.

MAYOR PRO TEM McDONALD Thank you.

COUNCILMAN BROWN Staff, are you overwhelmed by this?

ROBERT GENZER, PLANNING & DEVELOPMENT Those elevations could possibly stand a little bit of work. Our – biggest concern as evidenced by Condition No. 1, is the lack of landscaping within the front parking area, which would be for display and customers and so forth. We do have that condition that requires the site plan to be revised to meet our code requirements for landscaping. And certainly, if – that's done, that will also help to soften the – appearance of – the structure. But if the applicant's willing to add a condition to work with us on the elevations, we'll be happy to do that.

JIM VELTMAN We have no problem with that, no.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 4

COMBINED VERBATIM TRANSCRIPT - ITEM 124 - GPA-3-99 AND ITEM 125 - Z-8-99
DIPAK AND KUSUM DESAI, ET AL.

COUNCILMAN BROWN

Yeah. If, Mr. Veltman, if – you could work on just it, it's long rectangular and – just maybe get a little bit creative, to just break up that form.

JIM VELTMAN

Not a problem. Not a problem at all.

COUNCILMAN BROWN

Okay. And the other part that I would like to get on the record is, although I have not seen any plans for the properties east of this, on the corner of Lone Mountain and Torrey Pines, I do want the record to indicate that I'm support, I've supported the GPA and I support what's before us because of its access and frontage onto Rancho. I'm still very concerned about what's going to happen on the Lone Mountain/Torrey Pines intersection. Because although it is designated zoning as C-1, it is absolutely the other three corners have established themselves as single-family residential units. And C-1 allows commercial, but there are also some buffering uses, as far as perhaps office or things far less intense.

I have not had a chance to visit with Mr. Veltman on the remainder of that portion, but I – do want the record to indicate that this GPA is a Rancho frontage GPA. I think we have a lot of work to do, especially with a master plan of that intersection at Torrey Pines and Lone Mountain. I'd be more than happy to work with you on that.

JIM VELTMAN

Yeah, and we've agreed to work with the neighbors on that. It's – the work with the neighbors that has gotten it this far. Next step is the final site plan and resubmitting of it for a site plan review.

COUNCILMAN BROWN

Okay. My **motion would be for approval, subject to staff conditions** and an acknowledgement on the record from the applicant that we'll work a little bit on the elevations.

MAYOR PRO TEM McDONALD

(inaudible) Thunderbird and see more. There's a motion on the floor, cast your votes. Post. Motion's approved. **(Motion carried unanimously with Jones and Adamsen excused)**. Thank you, Mr. Veltman.

(END OF DISCUSSION)

/vwd;bb

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 120

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-3-99 - PUBLIC
HEARING**

125

Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

Request for a Rezoning on property located on the east side of Rancho Drive, approximately 370 feet south of Lone Mountain Road, From: R-E (Residence Estates) and C-2 (General Commercial) To: C-2 (General Commercial), PROPOSED USE: 33,525 SQUARE FOOT NEW CAR DEALERSHIP AND ACCESSORY USES, Size: 6.00 Acres, Ward 4 (Brown), APN: 138-02-102-003.

NOTICES MAILED: 586 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

The Planning Commission (6-0 vote) and staff recommend APPROVAL, subject to:

1. A new site plan showing one landscape finger planter for every six parking spaces in the customer/employee parking areas shall be submitted for administrative approval by the Planning and Development Department.

BROWN - APPROVED subject to conditions - UNANIMOUS with Jones and Adamsen excused

MAYOR PRO TEM McDONALD declared the Public Hearing open.

JIM VELTMAN, Zoning Consultant, 2801 North Tenaya Way, appeared to represent the applicant. This will be a new Chrysler dealership. They are just straightening the back line so it will tie in with the adjacent properties.

COUNCILMAN BROWN asked if there will be any access easterly off this property. MR. VELTMAN replied that all the access will be via Rancho and none east or north. He added that the accessory uses will include a detail shop and auto repair bays. There will not be a body shop on the premises. COUNCILMAN BROWN expressed concern about the appearance of the project. MR. VELTMAN had the elevations shown on the monitor.

DEPUTY CITY ATTORNEY STEVE GEORGE clarified for the record the specific definition for accessory uses. It is a use incidental or secondary to the principle use of a lot, building or structure located on the same lot as the principle use.

ROBERT GENZER, Planning and Development, indicated that the elevations could be enhanced. However, staff's biggest concern is the lack of landscaping in the front parking area which is being addressed by a condition to revise the landscaping plan.

COUNCILMAN BROWN urged the applicant to break up the long rectangular appearance of the buildings, but supported this proposal because of its access and frontage onto Rancho. There remains work to be done on a Master Plan for the intersection of Torrey Pines and Lone Mountain. MR. VELTMAN said they plan to continue working with the neighbors and will enhance the elevations.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 121

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION**Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

2. Submit and record appropriate Reversionary, Parcel or Subdivision Maps to establish the property lines as shown with this project prior to the issuance of any building permits as required by the Department of Public Works.

3. Dedicate 40 feet of right-of-way adjacent to the entire legal parcel for Torrey Pines Drive prior to the issuance of any permits as required by the Department of Public Works.

4. Construct all incomplete half-street improvements on Torrey Pines Drive and Rancho Drive adjacent to the entire legal parcel of which this site is a part concurrent with the first phase of development anywhere on this site as required by the Department of Public Works. Also, if legally able, construct a minimum of two lanes of temporary paving on Torrey Pines Drive, west of the centerline, from the south edge of this site southward to tie into existing improvements and from the north edge of this site northward to Lone Mountain Road. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Construction of all required improvements on Torrey Pines Drive adjacent to this site shall commence within one year of approval of this rezoning action. Failure to comply with this requirement shall result in this item being reconsidered by the City Council.

5. Prior to any maps further dividing this site, appropriate public sewer easements shall be granted along the south edge of this site eastward to Torrey Pines as required by the Department of Public Works.

No one appeared in opposition

There was no further discussion.

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

(5:42 - 5:49)

6 - 90

NOTE: A Combined Verbatim Transcript of Item 124 [GPA-3-99] and Item 125 [Z-8-99] is made a part of the Final Minutes under Item 124 [GPA-3-99]

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 122

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

6. Common access rights shall be established between all proposed retail uses on this site, and inter-site access shall be provided between all proposed retail uses as required by the Department of Public Works. Provide proof of such common access rights prior to the issuance of any building permits for this site.

7. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works

8. A Traffic Impact Analysis must be submitted to and approved by the Nevada Department of Transportation and a copy submitted for review to the Department of Public Works prior to the issuance of any building or grading permits. Include a section addressing the proposed median cut on Rancho Drive. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine traffic signal contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 123

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any Condition of Approval imposed by the Planning Commission or the City Council on the development of this site.

9. Landscape and maintain all unimproved rights-of-way on Rancho Drive adjacent to this site as required by the Department of Public Works.

10. Submit an application for an Occupancy Permit for all landscaping and private improvements (driveways) in the Rancho Drive public right-of-way adjacent to this site prior to the issuance of any permits as required by the Department of Public Works.

11. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 124

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

12. A Resolution of Intent with a one year time limit.

13. All development shall be in conformance with the plot plan as amended by the above conditions and building elevations.

14. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

15. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

16. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

17. All City Code requirements and design standards of all City departments must be satisfied.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 125

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

18. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

19. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet.

20. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade.

21. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Department of Building and Safety. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-3-99 - PUBLIC HEARING - Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This request is for Rezoning from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial) on property located on the east side of Rancho Drive, approximately 370 feet south of Lone Mountain Road for the purpose of developing a new car dealership on the property.

BACKGROUND DATA:

There have been no previous zoning actions on the subject parcel.

DETAILS OF APPLICATION REQUEST:

Site Area:	6.0	Acres
Building Area:	33,525	Square Feet
FAR:	0.13	
Parking Required:	67	Spaces
Parking Provided:	108	Spaces
Building Height:	25.5	Feet

Access to the site is provided by two driveways from Rancho Drive. The main structure is located mid-site with parking surrounding the building. The ancillary uses include a detail shop, and service department, which is on the easterly development line.

A 15 foot wide landscape planter is proposed along Rancho Drive with 24 inch box trees 20 feet on center. There are ten foot wide landscape planters along the north and south property lines with 24 inch box trees 15 feet on center. There is no landscaping proposed along the east property line.

The elevations depict a beige stucco exterior with a metal red roof. The front elevation shows a multi-column support for a front canopy and a skylight.

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-3-99 - PUBLIC HEARING - Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

PURPOSE/BACKGROUND

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North	R-E (Residence Estates) pending C-1 (Limited Commercial)	Unimproved and Feed Store
South	R-E (Residence Estates)	Unimproved
East	R-E (Residence Estates) pending C-1 (Limited Commercial)	Unimproved
West	R-O-W (Rancho Drive)	

FINDINGS:

GENERAL PLAN:

The Northwest Amendment to the General Plan designates this property as SC (Service Commercial). The applicant has applied for a General Plan Amendment to GC (General Commercial). Staff has recommended approval of that request based on the compatibility of the proposal with the surrounding area.

REZONING:

The applicant has requested a rezoning from R-E (Residence Estates) and C-2 (General Commercial) to C-2 (General Commercial). The majority of the parcel (5.0 acres) is already zoned C-2 (General Commercial) with the remaining portion (1.0 acres) under consideration. Staff, as a policy, encourages trying to achieve unified zoning on properties that have split zoning categories on one parcel. Staff finds that the rezoning request is appropriate and compatible with the surrounding area and recommends approval.

PLOT PLAN:

Staff is requesting that the applicant meet the City Zoning Code regarding having one landscape finger planter for every six parking spaces within the customer/employee parking areas. The remainder of the site meets the standards of the Las Vegas Zoning Code and the Las Vegas Urban Design Guidelines and Standards.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-3-99 - PUBLIC HEARING - Z-8-99 - DIPAK AND KUSUM DESAI, ET AL

PURPOSE/BACKGROUND

The Planning Commission (6-0 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 586

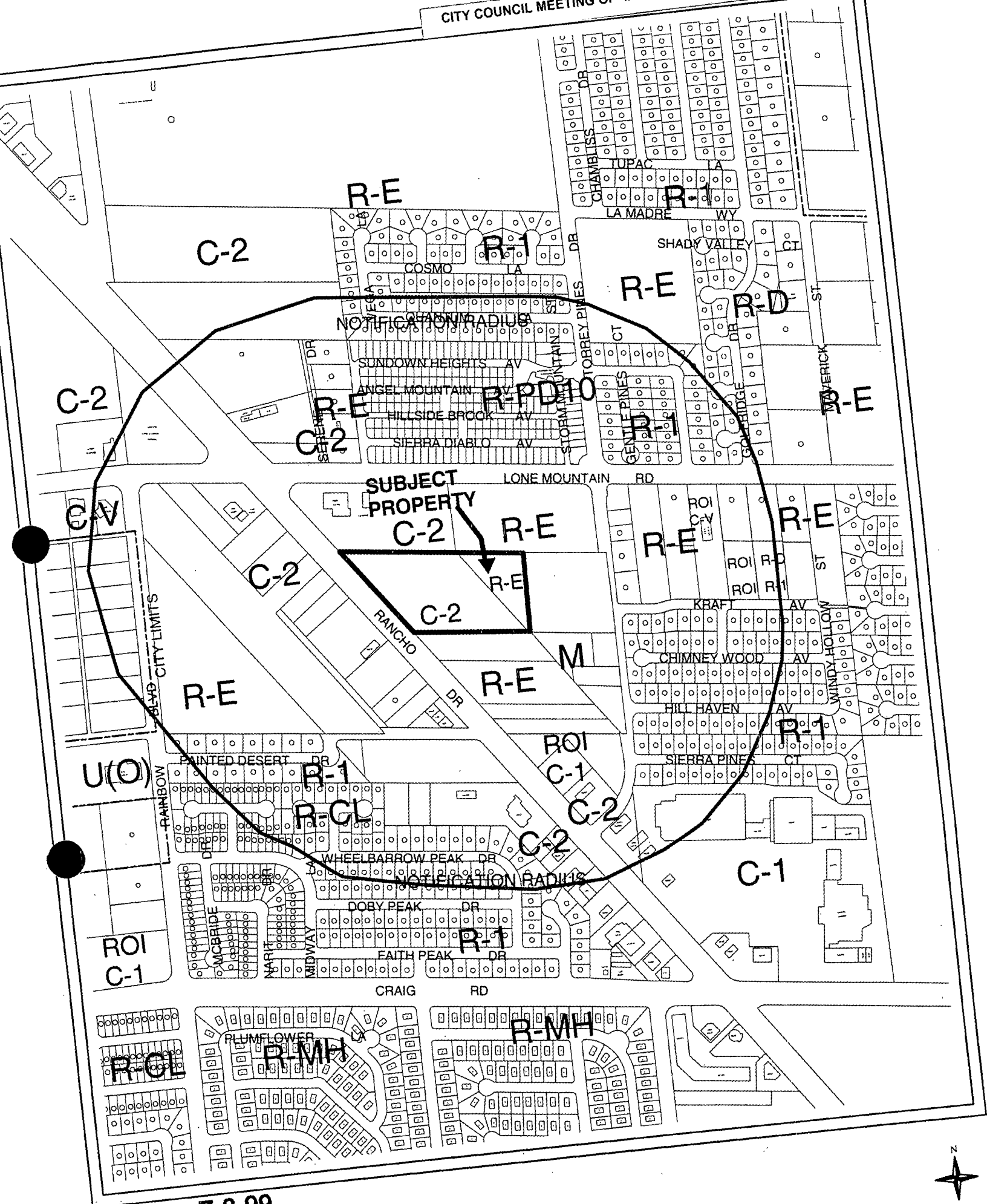
APPROVALS: 0

PROTESTS: 0

SEE ATTACHED LOCATION MAP

Agenda Item

--



CASE: Z-8-99
RADIUS: 1320 FT

PARKING ANALYSIS

C-2 AUTO DEALERSHIP	
WATER & UTILITY CAN DISPLAY SPACES	253
SERVICE & STORAGE SPACES	140
TOTAL NON PUBLIC USE SPACES	393
CUSTOMER/EMPLOYEE PARKING REQUIRED	67
CUSTOMER/EMPLOYEE PARKING PROVIDED	160
HAZARDOUS WASTE SPACES REQUIRED	0
HAZARDOUS WASTE SPACES PROVIDED	0
TOTAL ACCESSIBLE SPACES PROVIDED	160

MEET CITY IMPROVEMENTS SHALL CONFORM WITH
ANALYSIS ACCESSIBILITY REQUIREMENTS.

SITE DATA

GROSS SITE AREA	0.2 ACRES
C-2 AUTO DEALERSHIP	
EXISTING SIZE	0.25 ACRES
PROPERTY SIZE	0.25 ACRES
PLANNED AREA (SQ. FT.)	0.15
EXISTING C-2 ZONING	0.15 ACRES
PROPOSED C-2 ZONING (EXIST. B-4)	0.15 ACRES

EXISTING SPD-14 RESIDENTIAL
EXISTING TOWNHOMES

LONE MOUNTAIN RD

EXISTING C-2 COMMERCIAL
EXISTING PEST/TACK STORE

PROPOSED C-1 COMMERCIAL
RETAIL CENTER

PROPOSED
MEDIAN CUT

STEP DOWN IN WALL HEIGHT

BY LANDSCAPE BUFFER

PERMANENT SIGN FENCE

PROPERTY WALL (TYP)

EXISTING C-2

CUSTOMER/EMPLOYEE PARKING

DETAIL SHOP

PROPOSED C-2

EXISTING C-2

PROPOSED C-1 COMMERCIAL
NEW STORAGE

PROPOSED C-1 COMMERCIAL
NEW STORAGE

EXISTING B-4

EXISTING C-2

VACANT B-4 RESIDENTIAL

REVISED
2-8-99

EXISTING R-1 RESIDENTIAL
VACANT

NOTES:
THIS PLAN IS PREPARED FOR THE PROPOSED DEVELOPMENT. ALL DIMENSIONS SHOWN ARE FOR INFORMATION ONLY. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION OR THE RESULTS OF THE DEVELOPMENT.

TORREY PINES DR

EXISTING B-4 RESIDENTIAL
EXISTING NEW STORAGE

EXISTING B-4 RESIDENTIAL
EXISTING NEW STORAGE

FOR MORE CONSULTING SERVICES
CONTACT THE ENGINEER
AT THE FOLLOWING ADDRESS:
1000 N. 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.1000



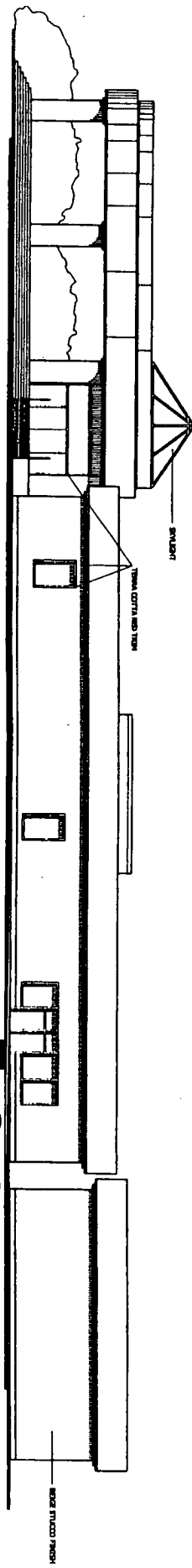
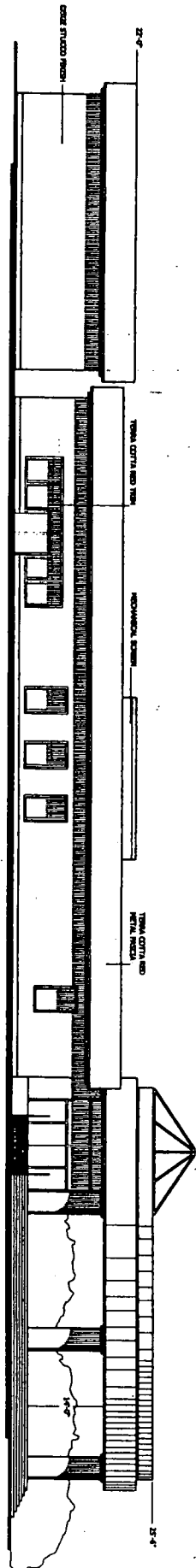
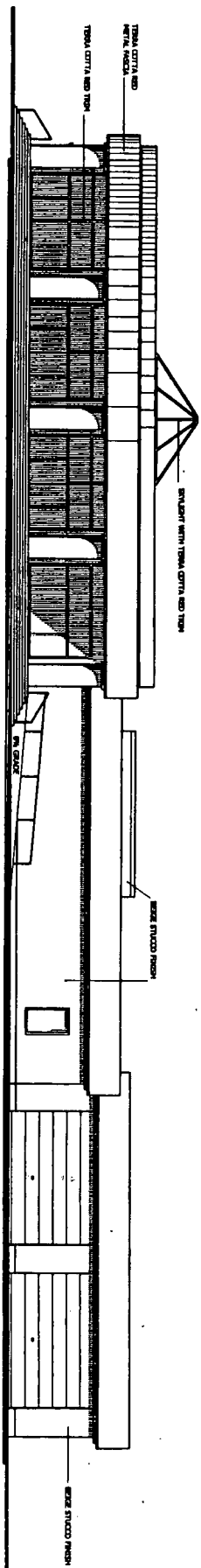
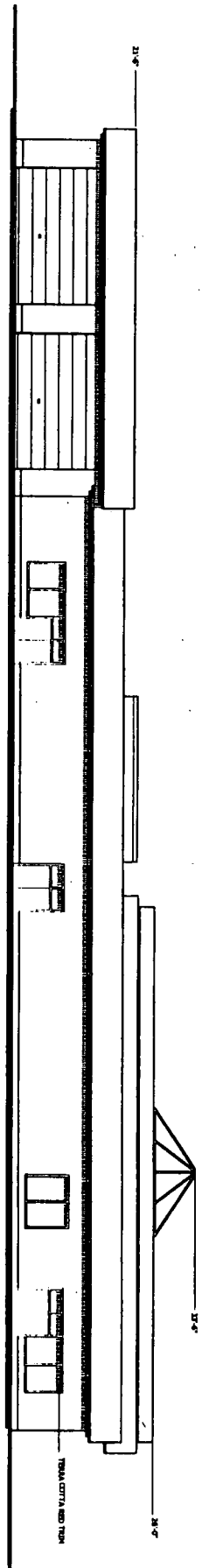
SITE PLAN

RANCHO PLAZA

CITY COUNCIL MEETING OF MAY 24, 1999



SCALE: 1" = 40'
23 MARCH 1999



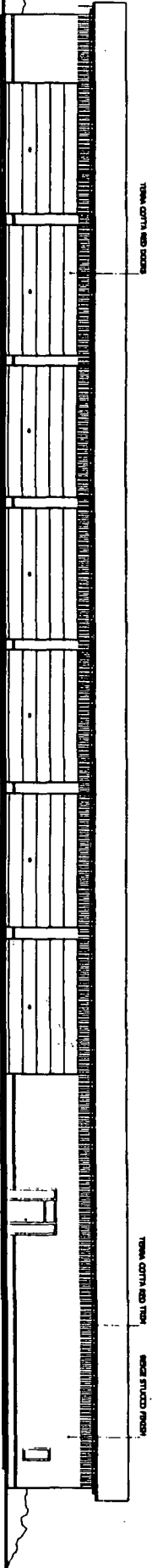
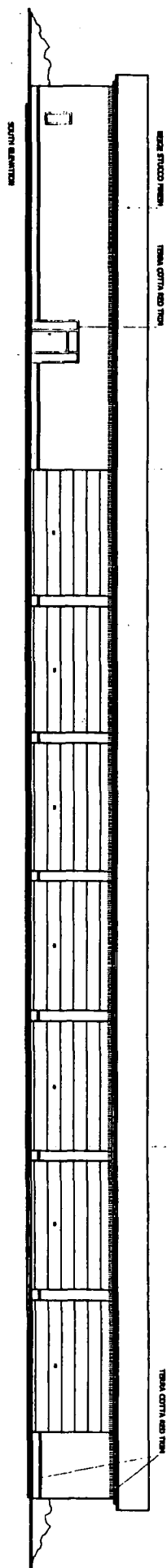
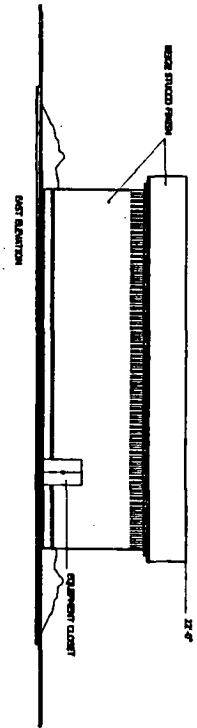
Z-8-99
GPA-3-99
4-15-99 QPC
STAFF



VELTMAN CONSULTING SERVICES
Land Planning / Landscape Architecture
2801 North Torrey Way, Suite B
Las Vegas, Nevada 89128
Office: 702-496-2232 Fax: 702-496-2021

AUTO DEALERSHIP
ELEVATIONS

RANCHO PLAZA



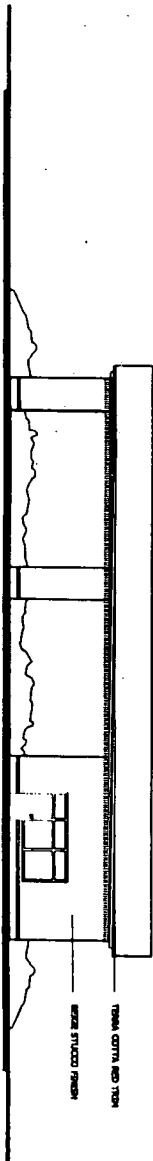
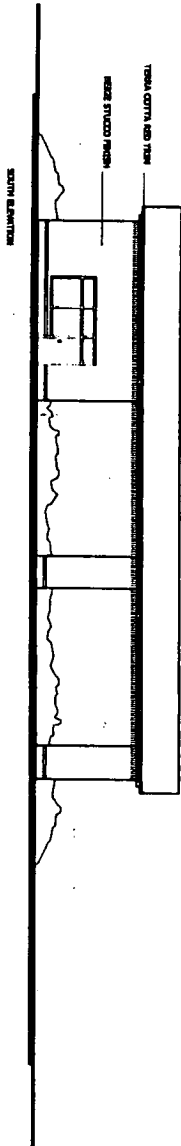
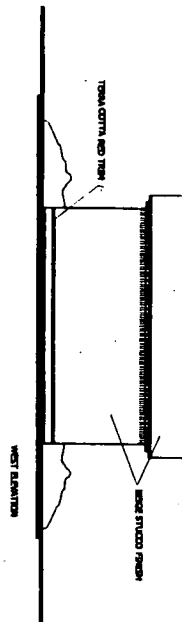
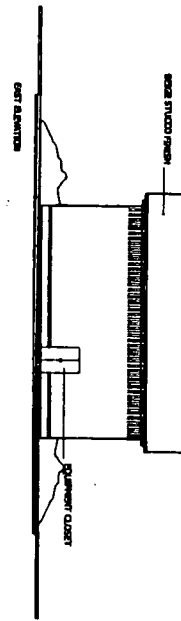
GPA-3-99
:Z-8-99
4-15-99 QPC STAFF

RANCHO PLAZA

PARTS & SERVICE DEPARTMENTS ELEVATIONS

VELTMAN CONSULTING SERVICES
 Land Planning / Landscape Architecture
 2801 North Torrey Way, Suite B
 Los Angeles, California 90048
 Office 702-488-3285 Fax 702-488-3221

SCALE: 1/4"=1'-0"
 DRAWING: 1.1



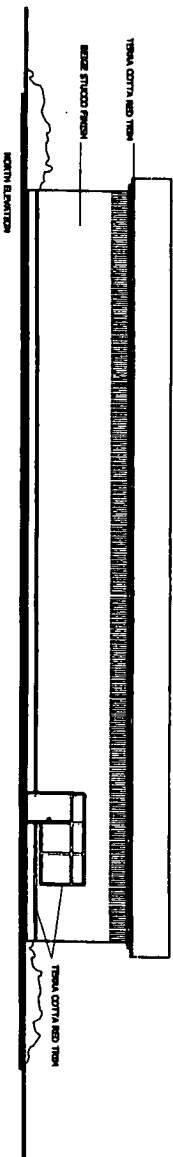
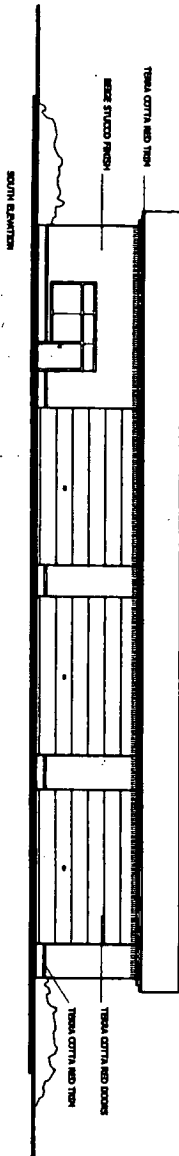
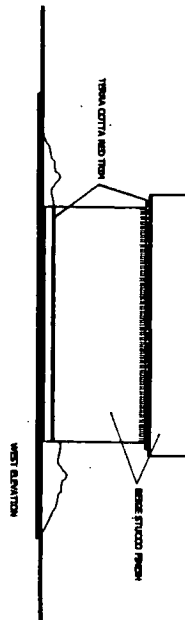
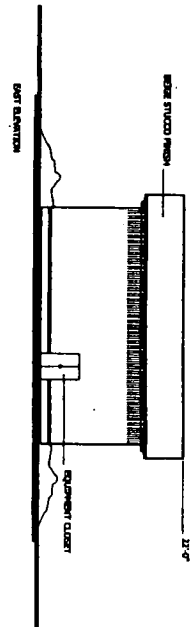
Z-8-99
GPA-3-99
4-15-99 QPC
STAFF



VELTMAN CONSULTING SERVICES
 Land Planning / Landscape Architecture
 2801 North Tansley Way, Suite B
 Las Vegas, Nevada 89129
 Office 702-885-2388 Fax 702-885-3021

**AUTO WASH
 ELEVATIONS**

RANCHO PLAZA



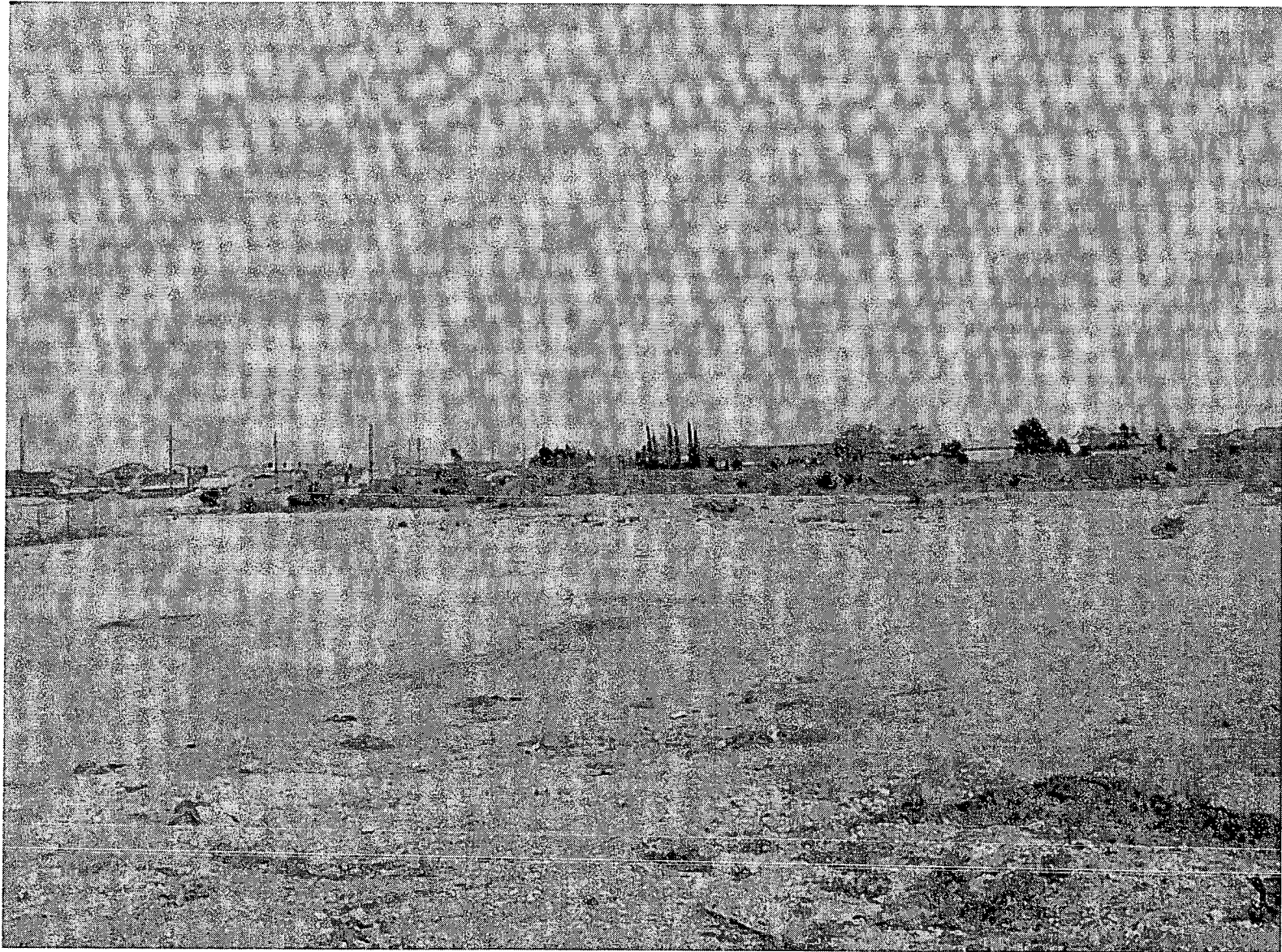
GPA-3-99
Z-8-99
4-15-99 QPC
STAFF

RANCHO PLAZA

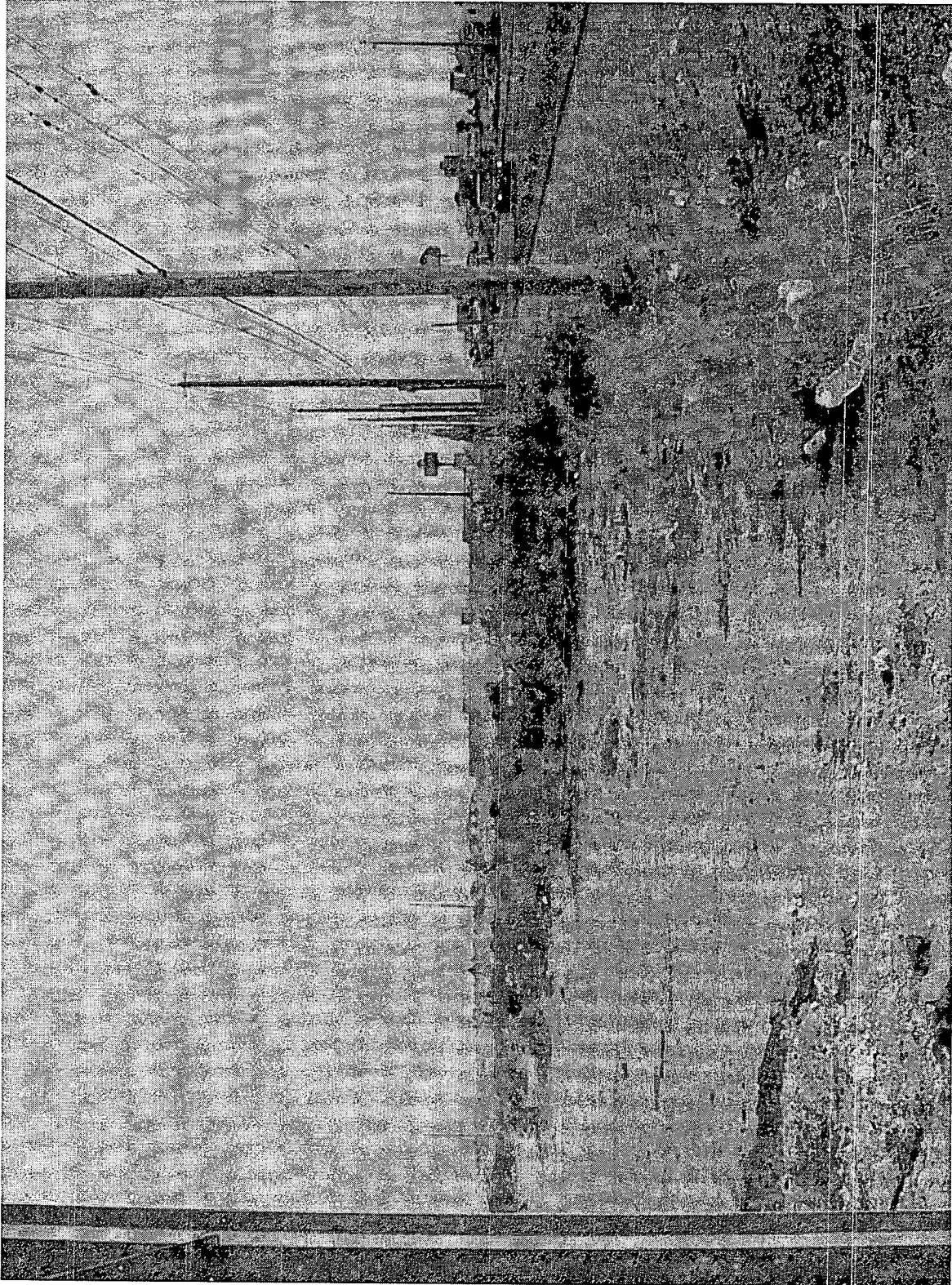
DETAIL SHOP
ELEVATIONS



VELTMAN CONSULTING SERVICES
Land Planning / Landscape Architecture
2801 North Torrey Way, Suite B
Las Vegas, Nevada 89135
Office 702-895-2258 Fax 702-895-3221



April 15, 1999 Quarterly Planning Commission GPA-3-99 and Z-8-99



April 15, 1999 Quarterly Planning Commission GPA-3-99 and Z-8-99

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 126

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

126

GPA-4-99 - LAS VEGAS DUNES, INC.

Request to Amend a portion of the Northwest Amendment to the General Plan on property located on the north side of Log Cabin Way, approximately 1,320 feet east of Durango Road, From: P/S (Park/Recreation/Open Space) To: R (Rural Density Residential), Ward 4 (Brown), APN: 125-04-001-008.

NOTICES MAILED: 159 BY PLANNING DEPT

APPROVALS: 3

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 3 _____

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

CONCERNS: 2

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 2

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

**BROWN - APPROVED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

APPEARANCES:

ATTORNEY CHRIS KAEMPFER, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, 7th Floor
GREG BORGEL, 300 South Fourth Street
BRUCE HAMILTON, Tule Springs Community Association, 8524 Maggie Avenue
ROBERT GENZER, Planning & Development

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: A Combined Verbatim Transcript of Item 126 [GPA-4-99] and Item 127 [Z-9-99] is made a part of the Final Minutes under Item 126 [GPA-4-99].

(5:49 - 5:53)

6 - 300



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This amendment to the Land Use Element of the Northwest Amendment to the General Plan from P/S (Park/Recreation/Open Space) to R (Rural Density Residential) was filed in conjunction with a rezoning request from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units Per Acre) for the purpose of developing a 112 lot single family residential subdivision. The applicant justified the request for the following reasons:

1. The development will be the continuation of a pending zone change on property located to the west which consists of single family lots.
2. This site is designated erroneously and needs to be changed to allow the property owner development rights and to conform with the Northwest Amendment to the General Plan.
3. The project promotes the public health, safety and general welfare of the surrounding community by providing continuity to the adjacent development using City of Las Vegas design standards and similar residential features to the surrounding area.

NOTE: Title 19A prohibits the filing of an application on the same site which was the subject of a denial action for the same land use category, a similar category, or a less restrictive land use category or which has been withdrawn subsequent to the noticing of a public hearing, for a period of one year. This R (Rural Density Residential) request is more restrictive than the previously denied application for PCD (Planned Community Development). Therefore, the application may be processed and heard by the Planning Commission and City Council.

BACKGROUND DATA:

- 1964 The subject property was annexed into the City of Las Vegas.
- 08/12/68 The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcel was designated Rural Density at 0 to 0.5 dwelling units per acre.



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.

PURPOSE/BACKGROUND

- 05/26/77 The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcel was designated Rural Density at 0 to 0.5 dwelling units per acre.
- 08/07/85 The City of Las Vegas adopted Community Profiles: A component of the short range plan phase of the General Plan. Within this document, the subject parcels were designated Desert Rural Density residential at 0 to 2 units per acre.
- 03/12/92 The City of Las Vegas adopted the City of Las Vegas General Plan the subject property was designated as Park/Recreation.
- 12/18/96 The City of Las Vegas adopted the Northwest Amendment to the General Plan which designated this site P/S (Park/School). Staff believes that this was a mapping error based on the fact that the property is privately owned.
- 07/09/98 The Planning Commission accepted the withdrawal of a staff initiated General Plan Amendment from P/S (Park/School) to DR (Desert Rural Density Residential) on this site (GPA-22-98).
- 10/12/98 The City Council denied a General Plan Amendment from P/S (Park/School) to PCD (Planned Community Development) on this site (GPA-29-98).
- 10/12/98 The City Council denied a request to Rezone this property to R-PD4 (Residential Planned Development - 4 Units Per Acre) for a single family residential subdivision development (Z-41-98).
- 03/22/99 The City Council approved a request to Rezone the abutting property to the west to R-PD2 (Residential Planned Development - 2 Units Per Acre) for a single family residential development and limited the density to 2.49 units per acre (Z-1-99).

DETAILS OF APPLICATION REQUEST:

Site Area: 40.7 Acres

Agenda Item

--



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO:
THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.

PURPOSE/BACKGROUND

EXISTING LAND USE:

Subject Parcel: Unimproved
North: Unimproved
South: Gun Club
East: Unimproved
West: Unimproved

PLANNED LAND USE:

Subject Parcel: P/S (Park/Recreation/Open Space)
North: P/S (Park/Recreation/Open Space)
South: P/S (Park/Recreation/Open Space)
East: P/S (Park/Recreation/Open Space)
West: PCD (Planned Community Development)

EXISTING ZONING OF ADJACENT PROPERTIES:

North: R-E
South: R-E
East: R-E
West: ROI to R-PD2

ANALYSIS:

DEFINITIONS:

The following City of Las Vegas General Plan definitions describe each land use category affected by this application.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

P/S (Parks/Recreation/Open Space) - The Parks/Recreation/Open Space category allows large public parks and recreation areas such as public and private golf courses, trails and easements, drainage ways and detention basins, and any other large areas of permanent open land.

R (Rural Density Residential) - The Rural Density Residential category allows a maximum of 3.5 dwelling units per gross acre. This is a rural or semi-rural environment with a life-style much like that of the Desert Rural, but with a smaller allowable lot size.

EXAMINATION:

This parcel was inadvertently included within the boundaries of the Floyd Lamb State Park when the Northwest Amendment to the General Plan was adopted by the City Council. The subject parcel is owned by a private individual and the Parks/Recreation/Open Space designation is not appropriate. Staff recognizes that the General Plan Amendment application is needed to provide the property owner economic rights and to prevent adverse action by claims of taking against the City.

The site currently has no public street frontage and is not accessible to existing public right-of-ways except through adjacent properties. Currently, no streets exist within one mile of the site. The proposed development cannot be initiated without street improvements to the site.

The closest park, Floyd Lamb State Park, is adjacent to the site. Fire Station #9 is located at the southwest corner of Lone Mountain Road and Rainbow Boulevard and is approximately 6.5 miles from the site. The nearest elementary school is located northeast of Torrey Pines Drive and Washburn Road; the nearest middle school is located at the northeast corner of Bradley Road and Tropical Parkway, both are approximately 7 miles from the site. The nearest high school is located at Smoke Ranch Road and Tenaya Way which is about 8.5 miles away. A Metro station is located at U.S. 95, between Jones Boulevard and Torrey Pines Drive and is 13.5 miles from the site. The Mountain View Hospital which serves the northwest area, is located at the southwest corner of U.S. 95 and Cheyenne Avenue, 7.5 miles from the site.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

No public infrastructure facilities or services immediately serve the site. Policy A2.1 defines development not immediately adjacent to infrastructure as "Leap Frog" development, and requires that all Leap Frog development be responsible for providing all permanent and/or oversized infrastructure. All infrastructure will have to be constructed and extended more than one mile to the site.

The properties located to the north, east, and south are part of the Floyd Lamb State Park, which consists primarily of open, unimproved land that is used for passive recreational purposes. The property located immediately south of the site is improved with an outdoor gun firing range. In addition, the nearby existing residential development consists of less than one dwelling unit per acre.

The site located to the west was approved by the City Council on March 22, 1999 for development at a density of 2.49 units per acre. This site is proposed for development with access provided through that adjacent parcel. Objective B of the Northwest Amendment to the General Plan encourages the achievement of a compatible balance of land uses. Staff does not object to the development if the density of this site is limited to not more than 2.49 units per acre. The density limitation is addressed in staff's recommendation for Z-9-99.

PROCEDURE:

The process for a General Plan Amendment and accompanying Zone Change requires that the applicant meet with the surrounding property owners. This meeting was held on March 9, 1999 at 7:00 p.m. in the lobby of the City Center West Building located at 7201 West Lake Mead Boulevard.

FINDINGS:

Staff finds that this amendment is appropriate, if limited to a density of not more than 2.49 units per acre, for the following reasons:

Objective B of the Northwest Amendment of the General Plan states that the City should achieve a compatible balance of land uses throughout the northwest by providing appropriate and compatible locations for all land use categories.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-4-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

Policy A2.1 states that any development which is not immediately adjacent to all required public infrastructure shall be defined as being "Leap Frog" development. All development which is determined as being Leap Frog shall be responsible for providing all permanent and/or oversized infrastructure leading to and providing services for that development.

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

PC NOTICES MAILED: 159

APPROVALS: 3

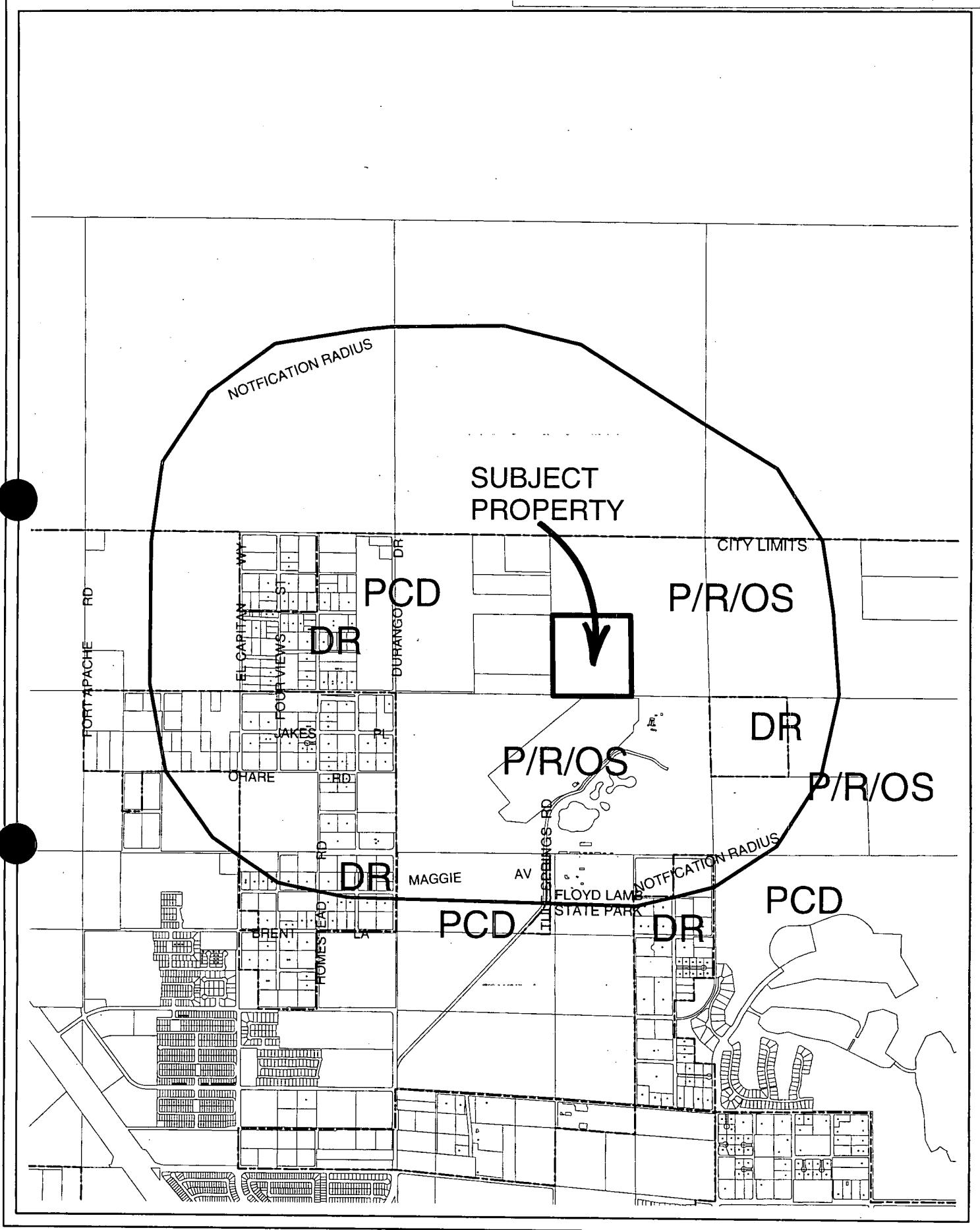
PROTESTS: 0

CONCERNS: 2

SEE ATTACHED LOCATION MAP

Agenda Item

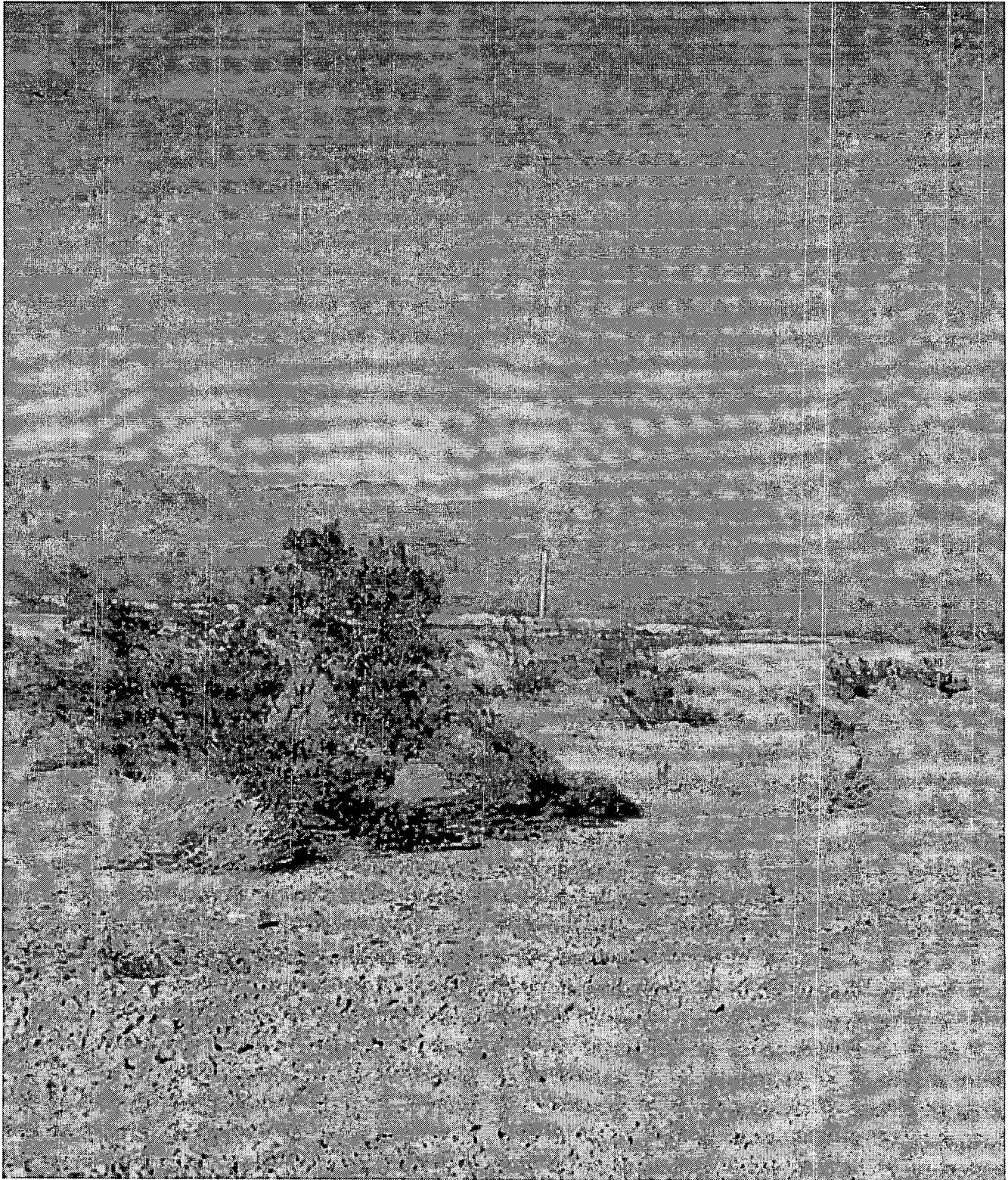
--



CASE: GPA-4-99

RADIUS: 3500 FT





GPA-4-99 AND Z-9-99
VIEW FROM WEST OF SITE

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 1

COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.

MAYOR PRO TEM McDONALD

Item 126. General Plan Amendment - Public Hearing. GPA-4-99, Las Vegas Dunes, Inc. Request to Amend a portion of the Northwest Amend (sic) to the General Plan on property located north side of Log Cabin Way, approximately 1,320 feet east of Durango Road, from P/S (Park/Recreation/Open Space) to R (Rural Density Residential). Three approval, no protests. Two concerns after the meeting. Planning Commission and staff both recommend approval. This is a public hearing. Applicant's present.

ATTORNEY CHRIS KAEMPFER

Yes. Good afternoon. I'm Chris Kaempfer. With me is Greg Borgel. We're here on behalf of the applicant. As staff notes in the backup material, which I'm sure you read, the, this particular piece of property was originally -- I meant that seriously, I wasn't kidding. This -- piece of property was originally master planned as part of the Floyd Lamb Park. It was inadvertently included as part of the Floyd Lamb Park. And had it not been so included, it probably would have been master planned as the property to the west of it was master planned, which was P-CD, which would allow from two to eight units an acre. And what we are requesting by this General Plan Amendment is three units, three and half R actually. But our application is for a maximum of 2.49 units an acre. When we get to the zone change, which is the next item on the agenda, we will agree to a limitation of a maximum of 2.49 units an acre and a zoning of R-PD2.

By the way, so the record is clear, I meant, I was not kidding. I meant that seriously. I know you, I know you're reading 'em.

MAYOR PRO TEM McDONALD

Yeah, yeah. Okay. Sure. Thank you, Mr. Kaempfer. This is a public hearing. Does anyone else wish to be heard on this item?

BRUCE HAMILTON

Afternoon, Council, Mayor Pro Tem. Name is Bruce Hamilton with the Tule Springs Community Association. My address is 8524 Maggie Avenue. I'm actually the President of the Tule Springs Community Association and the only member able to still be here today.

There are two or three issues that I wanted to address and just make sure that we're clear on. Understand that, I believe it's Condition 9 that states that all of the conditions which applied to the previous adjacent application are to be applied as appropriate to this application. And I wanted to make sure that is in fact what Condition 9 means, that everything that's been imposed on the application to the --

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 2

COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.

west as appropriate would also be applied to this application.

MAYOR PRO TEM McDONALD

That's Item 10 --

COUNCILMAN BROWN

Mr. Hamilton, yeah, we're -- going to handle that on the rezoning. I'm sorry. Yes.

BRUCE HAMILTON

Okay. These two aren't consolidated? Are we just talking about the --

COUNCILMAN BROWN

Yeah. We're just --

MAYOR PRO TEM McDONALD

GPA right now.

BRUCE HAMILTON

GPA? Then why'd I stand up then?

MAYOR PRO TEM McDONALD

We just want to hear from you, Sir.

BRUCE HAMILTON

We have no objections to the GPA.

MAYOR PRO TEM McDONALD

Thank you, Sir. Anyone -- else wish to be heard? Close the public hearing. Councilman Brown.

COUNCILMAN BROWN

Staff, are you comfort, more comfortable going to the rural density residential designation versus the P-CD? Was there any, is it an either or?

ROBERT GENZER, PLANNING &
DEVELOPMENT

Yeah. We're comfortable with the rural. It's actually more restrictive and we feel that's a better situation for everyone.

COUNCILMAN BROWN

Thank you. **My motion would be for approval of GPA-4-99, subject to staff conditions.**

MAYOR PRO TEM McDONALD

Cast your votes. Post. Motion's approved. **(Motion carried unanimously with Jones and Adamsen excused).**

Item 127. Rezoning related to GPA-4-99, public hearing. Z-9-99, Las Vegas Dunes, Inc. Request for a Rezoning on property located north side of Log Cabin, approximately 1,320 feet east of Durango Road, from R-E (Residential Estates) to R-PD3 (Residential Planned Development - 3 units per acre). Use is 112 single family dwellings. Three approvals, two concerns. Planning Commission and staff both recommend approval. This is a public hearing. Now declare it open.

ATTORNEY CHRIS KAEMPFER

Yes. And good afternoon again, Mr. Chair, members of the Council. I'm Chris Kaempfer. This is Greg Borgel. We

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 3

COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.

accept the conditions which are a maximum of, well, one of which conditions is a maximum of 2.49 units an acre and an approval at R-PD2, which we accept. Anticipating the first question from the opposition on the previous application, we do fully understand that all conditions that apply to the previous application that was approved with regard to the property to the west of us, would apply as applicable to our site as well.

MAYOR PRO TEM McDONALD

You know, I was reading my backup earlier and I was thinking the same thing.

ATTORNEY CHRIS KAEMPFER

You know, I know you guys do. You know. You couldn't ask -- the questions you did if you didn't read your backup.

MAYOR PRO TEM McDONALD

This is a public hearing? Mr. Hamilton.

BRUCE HAMILTON

So, --

MAYOR PRO TEM McDONALD

Welcome back.

BRUCE HAMILTON

Bruce Hamilton, 8524 Maggie Avenue. President of the Tule Springs Community Association. Hopefully I not to sound quite as stupid as I did last time.

MAYOR PRO TEM McDONALD

Aren't you the President of this Association?

BRUCE HAMILTON

I am the President of this Association and don't forget it.

MAYOR PRO TEM McDONALD

No, Sir.

COUNCILMAN REESE

He was -- the only one that was able to stick around this late.

MAYOR PRO TEM McDONALD

I was wondering where everybody else was.

BRUCE HAMILTON

That's -- right. Yeah, there were like 200 of us out here at 3:00 o'clock.

MAYOR PRO TEM McDONALD

I saw that. Yeah.

BRUCE HAMILTON

Basically, I want to revisit Condition 9 again. There are a couple of things that I wanted to look at that I'm just not sure have been taken into account here.

It's my understanding that Log Cabin it's been removed from the Master Plan of Streets of Highways, as it's been reduced from an 85 foot right-of-way to a 60 foot right-of-way. And, consequently, the conditions that were applied to the development standards, easements, etc., along Log Cabin should probably be revised to reflect the 60 foot

**CITY COUNCIL
MEETING OF
MAY 24, 1999**

Page 4

**COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.**

right-of-way. We wanted to make sure that it remains with this parcel that all access will be obtained off of the Mocassin alignment, westward to Fort Apache or westward to the Kyle Canyon cutoff if – possible. And we wanted clarification on Condition 11 to specific state no construction traffic shall be allowed through the adjacent neighborhood. Adjacent in this case being the already developed neighborhood to the west of Durango, I think we call that.

We're still interested in seeing conditions added to have the applicant hire an independent archeologist to be present on site from the inception of development at grub and clear until all grading and excavation of any kind is completed. In the event of any archeological discovery, development halted while the discovered items are removed and preserved. That the person have a Master's Degree or above in archeology and also that he have a paleontologist on site.

And we're also interested in seeing a specifically required that the applicant obtain needed permits required by the U.S. Army Corps of Engineers with regards to jurisdictional waters, 404 water permits and environmentally impact created by adjusting of waters flowing through the washes in the subject area prior to the issuance of any permits for the project. The reason for this last condition is that we have subsequent to the flood studies and approvals and water redirection engineering that has been done on the to-date developed adjacent property, our neighborhood has begun to experience flooding problems that it never had before the Spring Mountain Ranch was approved and development begun on that. We're somewhat concerned that the increased water flow from Spring Mountain Ranch through this neighborhood and some of it actually arriving at the west edge of this property, is going to need to have adequate run off. And so far the run off provisions that have been made in the development immediately adjacent to our neighborhood, have been inadequate in keeping the run off from flooding the roads and from flooding streets and yards of the existing neighborhood, which never experienced this kind of flooding before.

If, for instance, there's any elevation in grade at the western edge of the far west edge of this property, the previous application I anticipate that we'll experience some real problems with the water diversion. It's for that reason that we specifically ask that the Army Corps of Engineers and the 404 water permits are given extra special care. Aside from that, we have no further comments on this application.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 5

COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.

MAYOR PRO TEM McDONALD

Thank you, Sir. Anyone else wish to be heard? Close the public hearing. Councilman?

COUNCILMAN BROWN

Mr. Borgel, are you a paleontologist?

GREG BORDEL

I was not, but I did take related course work back in the old days. I just look old like a paleontologist.

COUNCILMAN BROWN

So, just to, what Mr. Hamilton brought up. We are going to, and I think the applicant has agreed to this, incorporate the whole body of work, the public record on the remainder of this Master Planned Community, are we not?

ROBERT GENZER, PLANNING &
DEVELOPMENT

Correct. That's Condition No. 10.

COUNCILMAN BROWN

And that -- includes the Log Cabin alignment, cut through traffic, bring things up to Mocassin down the Fort Apache. So that condition will be clearly stated. This becomes one.

ROBERT GENZER, PLANNING &
DEVELOPMENT

Yes.

ATTORNEY CHRIS KAEMPFER

Just so that we're clear. The -- previous application addressed the construction traffic going on, to Macassin over to Fort Apache and -- down as opposed to being the main entrance, needless to say, to the development.

COUNCILMAN BROWN

Right.

ATTORNEY CHRIS KAEMPFER

But, with, because, Mr. Hamilton didn't use the word construction. I knew he meant to, but he didn't and I wanted to make that clear. But, yes, Sir, everything that applies to that other application that would be applicable here, we fully accept and understand is a condition of any approval.

COUNCILMAN BROWN

And -- likewise, I think we did not support the request for the archeologist and paleontologist and -- I won't --

ATTORNEY CHRIS KAEMPFER

No, but we don't want to play down the importance that if we find something there, we have to comply with Federal and State laws and making sure that the project is stopped and that whatever is found is handled appropriately and the appropriate authorities are advised and we intend to comply with all Federal and State laws in that regard.

COUNCILMAN BROWN

Right, right. Good. And flooding, I thought, we also addressed pretty thoroughly on the last go round. So, I'd incorporate that record in, into this one also.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 6

COMBINED VERBATIM TRANSCRIPT - ITEM 126 - GPA-4-99 AND ITEM 127 - Z-9-99
LAS VEGAS DUNES, INC.

ATTORNEY CHRIS KAEMPFER

Yes, Sir.

COUNCILMAN BROWN

And finally, if we didn't on the first go round, the whole issue of grading, especially on the western border of the master planned community here, we don't have a grading ordinance in place, but I know we've talked about this that this should not be graded for aesthetic reasons, for view lots. It should be graded with respect to the adjacent neighbors and the Tule Springs Association. And as long as the record clearly demonstrates that, I don't think we'll have any problem. Any other comments from staff on this one? No other comments here, Mayor Pro Tem, **my motion would be for -- approval subject to staff's conditions and incorporating the record that was made today.**

MAYOR PRO TEM McDONALD

Cast your votes. Post. Motion's approved. **(Motion carried unanimously with Jones and Adamsen excused).** Thank you, gentlemen.

GREG BORGEL

Thank you.

ATTORNEY CHRIS KAEMPFER

Thank you very much.

MAYOR PRO TEM McDONALD

Mr. Hamilton, thank you.

(END OF DISCUSSION)

/ac

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 127

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-4-99 - PUBLIC
HEARING**

127

Z-9-99 - LAS VEGAS DUNES, INC.

Request for a Rezoning on property located on the north side of Log Cabin Way, approximately 1,320 feet east of Durango Road, From: R-E (Residence Estates) To: R-PD3 (Residential Planned Development - 3 Units Per Acre) PROPOSED USE: 112 SINGLE FAMILY DWELLINGS, Size: 40.7 Acres, Ward 4 (Brown), APN: 125-04-001-008.

NOTICES MAILED: 159 BY PLANNING DEPT

APPROVALS: 3

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 3

PROTESTS: 0

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 0

CONCERNS: 2

AFTER PC MEETING

_____ Letters
_____ Petitions

TOTAL 2

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL, subject to:

1. A Resolution of Intent with a 1-year time limit.

BROWN - APPROVED subject to conditions - UNANIMOUS with Jones and Adamsen excused

MAYOR PRO TEM McDONALD declared the Public Hearing open.

APPEARANCES:

ATTORNEY CHRIS KAEMPFER, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, 7th Floor
GREG BORGEL, 300 South 4th Street
BRUCE HAMILTON, Tule Springs Community Association, 8524 Maggie Avenue
ROBERT GENZER, Planning & Development

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: COUNCILMAN BROWN noted that the Council did not support the request for an on-site archeologist and paleontologist. He requested the flooding comments made during discussions pertaining to the Master Plan be incorporated into this item. Also, in regard to the grading on the western border of the Master Planned Community, it should take into account the residents' request in the Tule Springs Community Association that no construction be allowed through the neighborhood.

NOTE: A Combined Verbatim Transcript of Item 126 [GPA-4-99] and Item 127 [Z-9-99] is made a part of the Final Minutes under Item 126 [GPA-4-99].

(5:53 - 6:02)
6 - 420

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 128

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

2. The application shall be amended to R-PD2 (Residential Planned Development - 2 Units Per Acre) with a maximum density of 2.49 units per acre.

3. At the time of Tentative Map submittal, detailed plans and elevations of all proposed walls and fences shall be submitted for review and approval by the Planning and Development Department. All walls and fences shall be in conformance with Title 19A and the Las Vegas Urban Design Guidelines and Standards.

4. Prior to the issuance of any permits for this site, an amended Design Guidelines document shall be submitted that addresses development requirements for the subject site and deletes development requirements that apply to the adjacent property located west of the subject site.

5. Prior to the issuance of any permits for this site:

A) The open space required for this site shall be calculated in accordance with the requirements of Title 19A; any excess provided open space may be noted as excess, and

B) The park areas and trail areas shall be labeled "open space" on all plans and referred to as such on all documents, and

C) All plans and documents shall be amended to correctly reflect the required amount of open space according to Title 19A.

6. Prior to the issuance of any permits for this site, an amended site plan and Design Guidelines document shall be submitted depicting the proposed setbacks in conformance with the setbacks established in the Design Guidelines with the exception that the front setback shall be established as follows: "The distance between the garage door and back of sidewalk or curb if no sidewalk is provided shall not be less than 18 feet for front-load garages."

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 129

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

7. The Design Guidelines requirements for "Design Review Process / Plan Review / Submittals / Administration" shall not apply to any required City permit or other application. All City permit processes, fees, and other requirements shall apply to this site.

8. Future homeowners shall be notified of the gun club at the time they make a deposit when purchasing a house.

9. If the Cimarron Road alignment and/or the Log Cabin Way secondary thoroughfare alignments are required to be built, a Site Development Plan Review application shall be required for review by the Planning Commission in order to determine compliance with Title 19A and the Las Vegas Urban Design Guidelines and Standards.

10. All development shall be in conformance with the Site Development Plan and Design Guidelines as amended by these conditions, and with the Conditions of Approval of Z-1-99 if this site is developed as part of that project.

11. Dedicate appropriate right-of-way to terminate Log Cabin Way, unless an alternate access plan is submitted to and approved by the City Planning Engineer, as required by the Department of Public Works.

12. If this site develops as a part of the proposed project to the west, two lanes of access paving in accordance with Standard Drawing #209 along a legal access corridor to be obtained by the developer of this site shall be in place on Moccasin Road from the west edge of this site westward to Fort Apache Road and on Fort Apache Road southward to the nearest existing pavement prior to the issuance of any building or

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 130

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

grading permits for any on-site activities. If this site is developed independently of the parcel to the west, two lanes of access paving in accordance with Standard Drawing #209 along a legal access corridor to be obtained by the developer of this site shall be in place on Durango Drive and on Log Cabin Way, or along an alternate access easement through the parcel to the west, southward to the nearest existing pavement prior to the issuance of any permits for any building or grading permits for any on-site activities. Additional paved access routes may be required if requested by the Traffic Engineer based on construction traffic patterns and/or the impact of this project's traffic on the surrounding neighborhood.

13. Construct appropriate public street improvements (including appropriate overpaving, as needed) adjacent to this site concurrent with development of this site, unless otherwise noted, as required by the Department of Public Works.

14. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any permits or the recordation of a Final Map for this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to final inspection of any units within this site. The City shall determine traffic signal contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 131

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

Standard Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any Condition of Approval imposed by the Planning Commission or the City Council on the development of this site.

15. Coordinate the extension and oversizing of public sanitary sewer to service this site along an alignment and to a location acceptable to the City Planning Engineer prior to the submittal of any public sewer construction drawings as required by the Department of Public Works. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any off-site permits. The City will not allow public sewage lift stations servicing this site.

16. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any permits, or the recordation of a Final Map, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 132

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

17. The City reserves the right to withhold building permit issuance for any and all lots within this Rezoning site if adequate street improvements and/or adequate traffic capacity does not exist on the access corridors leading to this rezoning site as determined by the Director of the Department of Public Works. The City also reserves the right to withhold building permit issuance for any and all lots within this rezoning site if adequate intersection capacity does not exist at the Durango/US95 intersection as determined by the Director of the Department of Public Works. These rights shall be exercised based on the traffic capacity conditions that exist at the time of the developer's request for the issuance of each building permit. In the event of a dispute with the decision of the Director of the Department of Public Works, the developer may appeal directly to the City Council for final resolution.

18. The final layout of this site shall be determined with the Tentative Map. Final right-of-way and road construction requirements shall be determined at that time.

19. All development shall be in conformance with the building elevations.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 133

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-9-99 - LAS VEGAS DUNES, INC.

20. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner.

21. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

22. All City Code requirements and design standards of all City departments must be satisfied.

23. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.

24. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet.

25. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.

*City of Las Vegas***CITY COUNCIL MINUTES****MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND****APPLICATION REQUEST:**

This request is for rezoning from R-E (Residence Estates) to R-PD3 (Residential Planned Development - 3 Units Per Acre) on property located on the north side of Log Cabin Way (extended alignment), approximately 1,320 feet east of Durango Drive for the purpose of developing a 112 lot single family residential subdivision. The applicant justified the request for the following reasons:

1. The development will be the continuation of a pending zone change on property located to the west which consists of single family lots.
2. This site is designated erroneously and needs to be changed to allow the property owner development rights and to conform with the Northwest Amendment to the General Plan.
3. The project promotes the public health, safety and general welfare of the surrounding community by providing continuity to the adjacent development using City of Las Vegas design standards and similar residential features to the surrounding area.

NOTE: Title 19A prohibits the filing of an application on the same site which was the subject of a denial action for the same zoning classification, to a less restrictive classification or for the same use or one of a similar density which has been denied or which has been withdrawn subsequent to the noticing of a public hearing, for a period of one year. This R-PD3 (Residential Planned Development - 3 Units Per Acre) request is more restrictive than the previously denied application for R-PD4 (Residential Planned Development - 4 Units Per Acre). Therefore, the application may be processed and heard by the Planning Commission and City Council.

BACKGROUND DATA:

- 07/09/98 The Planning Commission accepted the withdrawal of a staff initiated General Plan Amendment from P/S (Park/School) to DR (Desert Rural Density Residential) on this site (GPA-22-98).
- 10/12/98 The City Council denied a General Plan Amendment from P/S (Park/School) to PCD (Planned Community Development) on this site (GPA-29-98).

Agenda Item

127

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.

PURPOSE/BACKGROUND

- 10/12/98 The City Council denied a request to Rezone this property to R-PD4 (Residential Planned Development - 4 Units Per Acre) for a single family residential subdivision development (Z-41-98).
- 03/22/99 The City Council approved a request to Rezone the abutting property to the west to R-PD2 (Residential Planned Development - 2 Units Per Acre) for a single family residential development and limited the density to 2.49 units per acre (Z-1-99).

DETAILS OF APPLICATION REQUEST:

Site Area:	40.7	Acres
Number of Lots:	112	
Density:	2.8	Lots Per Acre
Typical Lot Size:	10,000	Square Feet
Open Space Required:	1.88	Acres
Open Space Provided:	3.8	Acres
Model Homes:	3	Types
Model Home Area:	2,326	Square Feet and
	2,345	Square Feet

Model Home Height

One-Story:	20 Feet, 6 inches
Two-Story:	26 Feet, 6 inches

Minimum Building Setbacks Established on the Site Plan

Front:	18	Feet
Side:	5	Feet
Corner Side:	10	Feet
Rear:	15	Feet

The site plan depicts the proposed subdivision with access to Durango Drive through the adjacent planned development. The entrance to the subdivision is gated and the internal streets are private. The street pattern is grid-like in design and consists of a modified loop road which connects to 6 cul-de-sac streets. The open space is provided along the south and west property lines as a linear multi-use open space, as well as within an internal community park site. Five of the cul-de-sac streets are designed with openings at the cul-de-sac terminus to the open spaces.

Agenda Item

--

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.

PURPOSE/BACKGROUND

The single story homes have windows on all sides; front, side, and rear doors; and front load garages. One of the single-story elevation plans show the homes finished with plaster walls and decorative features on the front elevations only. The other single-story elevation plan shows the homes finished with stucco. The decorative features include plaster over shaped foam trim, vinyl shutter(s), stone veneer, and a pot shelf below the first floor window.

The two-story homes are designed with windows on all sides; an optional rear deck and patio; front, side, and rear doors; and front load garages. The homes are finished with the same elements proposed for the single story homes and also include the optional rear deck and front porch with railings.

The landscape plan depicts a perimeter landscape planter along the south and west sides of the site, within which a meandering pedestrian path is proposed. The pedestrian path extends along the front entrance landscape feature to an internal open space and adjacent cul-de-sac streets. The landscape elevations depict typical open space sections to demonstrate the scale of the plant materials at full maturity. The elevations also provide a concept of the fencing and other hardscaping materials.

In addition to the above plans, a Design Guidelines booklet is included in the application contents. This booklet is not required for a R-PD zone change. The Design Guidelines provide details of the Master Plan, Site Planning, Architecture, Landscape, and Design Review Guidelines.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

North:	R-E	Unimproved, Floyd Lamb State Park
South:	R-E	Unimproved, Gun Club, Floyd Lamb State Park
East:	R-E	Unimproved, Floyd Lamb State Park
West:	ROI to R-PD2	Unimproved

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND****FINDINGS:****PROCEDURE:**

The process for a General Plan Amendment and accompanying Zone Change requires that the applicant meet with the surrounding property owners. This meeting was held on March 9, 1999 at 7:00 p.m. in the lobby of the City Center West Building located at 7201 West Lake Mead Boulevard.

GENERAL PLAN:

The applicant has requested an amendment to the Northwest Amendment to the General Plan from P/S (Park/Recreation/Open Space) to R (Rural Density Residential). Staff has recommended approval of that request.

REZONING:

This request conforms to the General Plan Designation of R (Rural Density Residential). However, the proposed R-PD3 (Residential Planned Development - 3 Units per Acre) zoning with a density of 2.8 dwelling units per acre and a minimum lot size of 10,000 square feet is not compatible with the nearby existing development located west of Durango Drive, which is single family on lots ranging from 0.97 acres to lots 2.39 acres in size. The existing homes are located within a rural environment that permits greater privacy and some non-commercial raising of domestic animals. Based on this incompatibility, staff believes this development would be more appropriately located adjacent to an area developed or proposed to be developed for Low Density Residential (maximum of 3.51 to 5.49 dwelling units per acre) land uses. In addition, the proposed density is higher than the recently approved R-PD2 (Residential Planned Development - 2 Units Per Acre) with a maximum of 2.49 dwelling units per acre approved for the adjacent site to the west. Staff would have no objection to matching the proposed density to the 2.49 dwelling units per acre as approved on the site to the west.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**

THE CITY COUNCIL

FROM:

WILLARD TIM CHOW, DIRECTOR

PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

It should be emphasized that the 2.49 units per acre was done recognizing that some portions of the site would exceed 2.49. But overall density would not. For this parcel staff recommends that the 2.49 be the maximum allowed, and that this hold true even if the parcel is incorporated into the overall development.

PLOT PLAN:

The submitted site plan meets the requirements of Title 19A and the Las Vegas Urban Design Guidelines and Standards. However, plan and elevation details of the perimeter walls have not been provided. These will be required to meet the Code provisions upon application for tentative map approval.

OPEN SPACE:

Included with the application contents is a Design Guidelines booklet which specifies development requirements for the subject site as well as the proposed development on the adjacent parcel located west of the subject site. Staff is concerned that combining the development requirements of these two developments will lead to confusion regarding which development requirements apply to each individual site. For example, the guidelines require that each subdivision shall contribute approximately 50% of the required area of open space. The subject site is comprised of only one subdivision, which technically leads to the conclusion that only 50% of the required open space may be provided. An amended Design Guidelines document should be submitted that addresses only the subject site.

The Guidelines indicate that the calculated open space is based upon a sliding scale whereas Title 19A contains an open space formula and specific requirements regarding which areas of a development can and cannot be included in the open space calculation. Open space must be provided in accordance with Title 19A and the Las Vegas Urban Design Guidelines and Standards. Based upon staff evaluation, adequate open space is provided although the figures contained on the plans and Guidelines are higher than that which may be allowable.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

TO: THE CITY COUNCIL	FROM: WILLARD TIM CHOW, DIRECTOR PLANNING AND DEVELOPMENT DEPARTMENT
-------------------------	---

SUBJECT: REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

Furthermore, the provision for open space as contained in the Guidelines is vague because the structure of the provision could be construed to allow development of the subdivision without internal open space which is a requirement of the R-PD (Residential Planned Development) zoning district.

The Public Works Department has requested non-specific right-of-way dedication for the Log Cabin alignment. Until that alignment and terminus (if any) is determined, the width of the proposed trail cannot be determined. However, the remainder of the site contains adequate open space to meet the requirements of Title 19A.

LANDSCAPING

Staff has no objection to the proposed landscaping criteria contained in the Design Guidelines. It should be noted however, that the Las Vegas Urban Design Guidelines requires that single family residential development located adjacent to primary and/or secondary thoroughfares conform with specific landscape requirements. The site is adjacent to two secondary thoroughfare alignments. At this time these alignments do not appear to be planned for improvement and this criteria would therefore not apply to the site. However, if conditions change and the alignments are required, then the Las Vegas Urban Design Guidelines criteria will be required.

SETBACKS:

The site plan notes indicate minimum required setbacks and the Design Guidelines also contain minimum required setbacks that conflict with those shown on the plans. Specifically, the Design Guidelines allow an alternative front setback that steps the building face away from the street right-of-way. The living/porch/side entry garage is required to be setback 18 feet and all other portions of the building may be setback 14 feet from the front property line. Furthermore, the setback requirements in the Design Guidelines require that not "...more than 60% of the units within a subdivision block shall have, as the forward most element, the garage face at the minimum setback. In order to promote non-garage architecture, the remaining dwellings must feature one of the following:

1. Architecture of living areas extending forward of the garage plane a minimum of 2-feet, but no closer than 14-feet to the front property line.
2. Increased garage setback to a minimum of 22-feet.
3. Use of side entry or split garages."

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

In addition, setback exceptions are detailed in the Design Guidelines. The exceptions include rear setbacks of 10 feet for those lots which front onto cul-de-sac bulbs or knuckles; and allow specific improvements including utilities, roof overhangs, steps and sidewalks, fences/walls, landscaping, driveways, 2 foot deep by 9 feet wide fireplace/media niche projections, bay windows, and architectural projections within all required yards.

Due to public safety considerations, in no case should the distance between the garage door and back of sidewalk or curb be less than 18 feet for front-load garages. Also, the site plan should be amended to match the setbacks established by the Design Guidelines.

SIGNS

The Design Guidelines require that the master developer prepare a master sign program for the development and submit this for review and approval by City staff.

ARCHITECTURE

The Design Guidelines establish the minimum architectural requirements for the development to ensure that a successful and long lived development results. Staff has no objection to the fenestration, roof, and building facade requirements.

DESIGN REVIEW PROCESS / PLAN REVIEW / SUBMITTALS / ADMINISTRATION

The Design Guidelines contain specific provisions for Plan Review. Any and all plan review should conform with the established City procedures and requirements.

Agenda Item

--

*City of Las Vegas***CITY COUNCIL MINUTES****MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**

THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR

PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: REZONING RELATED TO GPA-4-99 - PUBLIC HEARING - Z-9-99 - LAS VEGAS DUNES, INC.**PURPOSE/BACKGROUND**

The Planning Commission (5-0-1 vote) and staff recommend APPROVAL.

[Note: The Planning Commission recommended an additional condition which requires all potential home buyers to be notified of the proximity of this site to the adjacent Gun Club at the time they place a deposit on a home.]

PC NOTICES MAILED: 159

APPROVALS: 3

[Note: Those who spoke in favor of this application did so provided the site is limited in density to that approved on the adjacent property to the west and provided the conditions imposed on the adjacent property to the west are also applied to this site.]

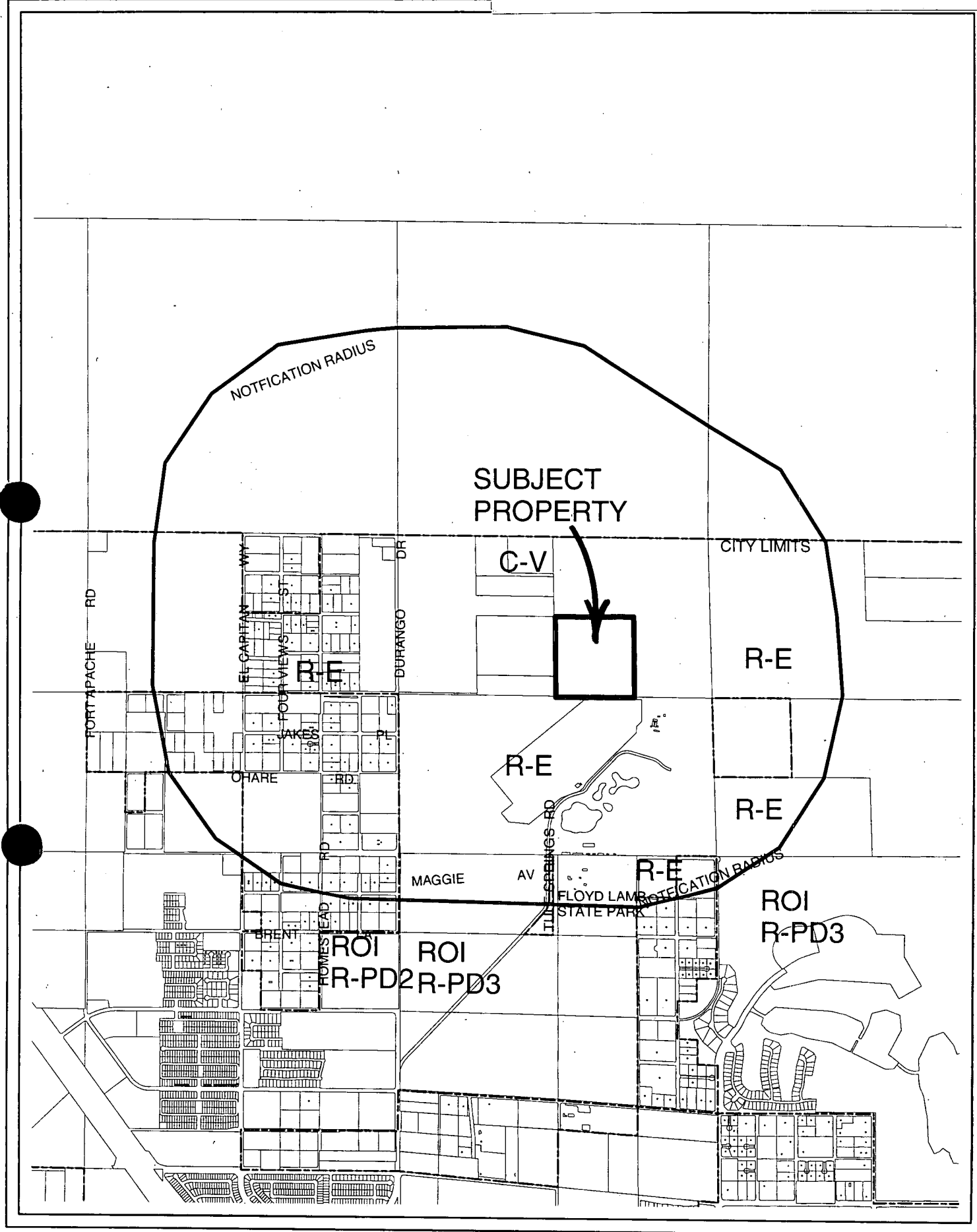
PROTESTS: 0

CONCERNS: 2

SEE ATTACHED LOCATION MAP

Agenda Item

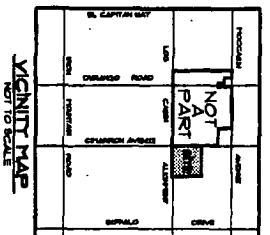
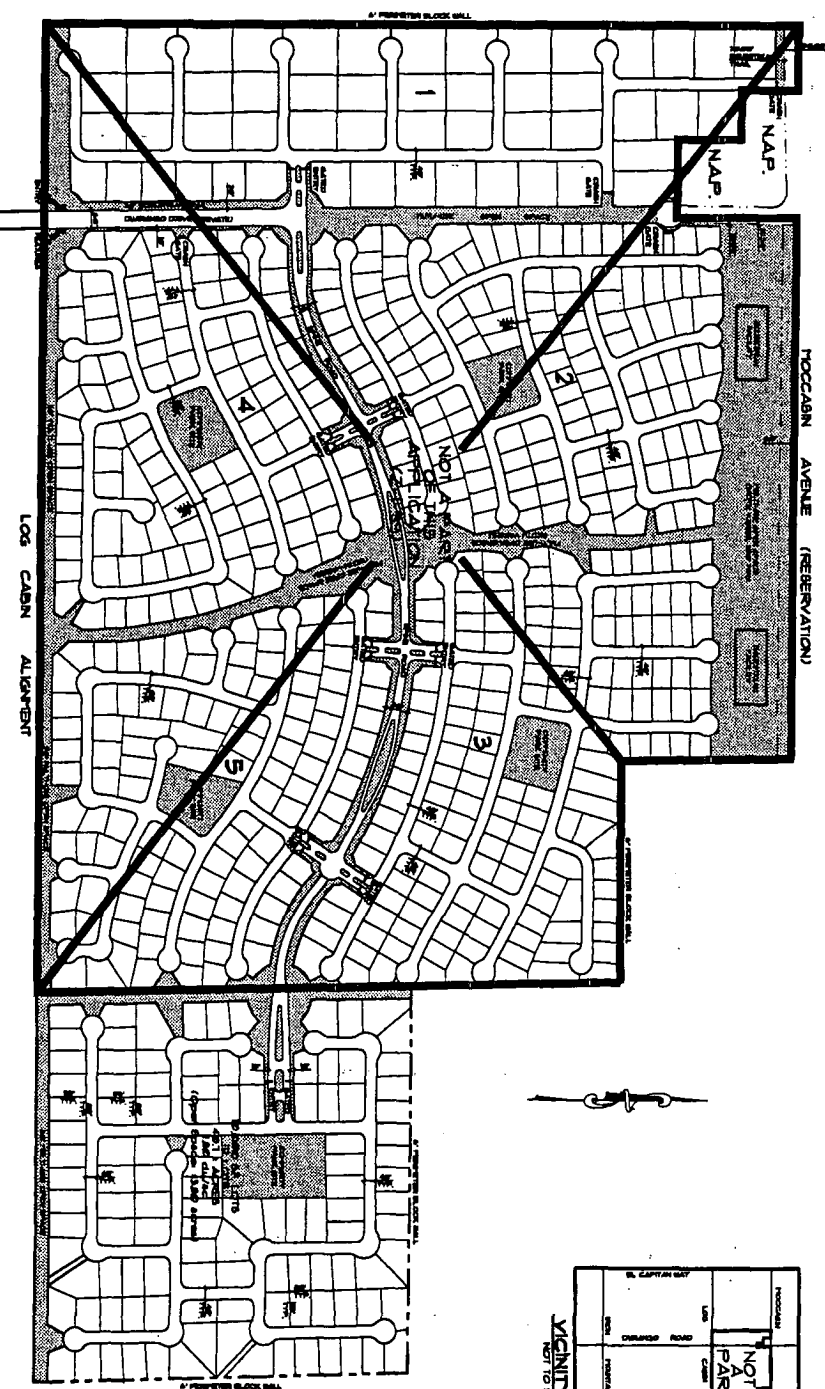
--



CASE: Z-9-99
RADIUS: 3500 FT



● GPA-4-99 ● 4-15-99 QPC Z-9-99 STAFF



2001
PROPOSED ZONING:
PROPOSED LOT:
EXISTING MASTER PLAN DESIGNATION:
PROPOSED MASTER PLAN DESIGNATION:

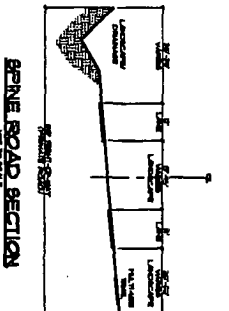
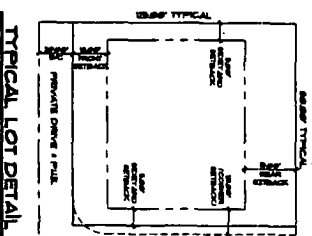
2001
PROPOSED ZONING:
PROPOSED LOT:
EXISTING MASTER PLAN DESIGNATION:
PROPOSED MASTER PLAN DESIGNATION:

2001
PROPOSED ZONING:
PROPOSED LOT:
EXISTING MASTER PLAN DESIGNATION:
PROPOSED MASTER PLAN DESIGNATION:

LOG CABIN, LLC
3300 NORTH HIGHLAND
LAS VEGAS, NEVADA 89128

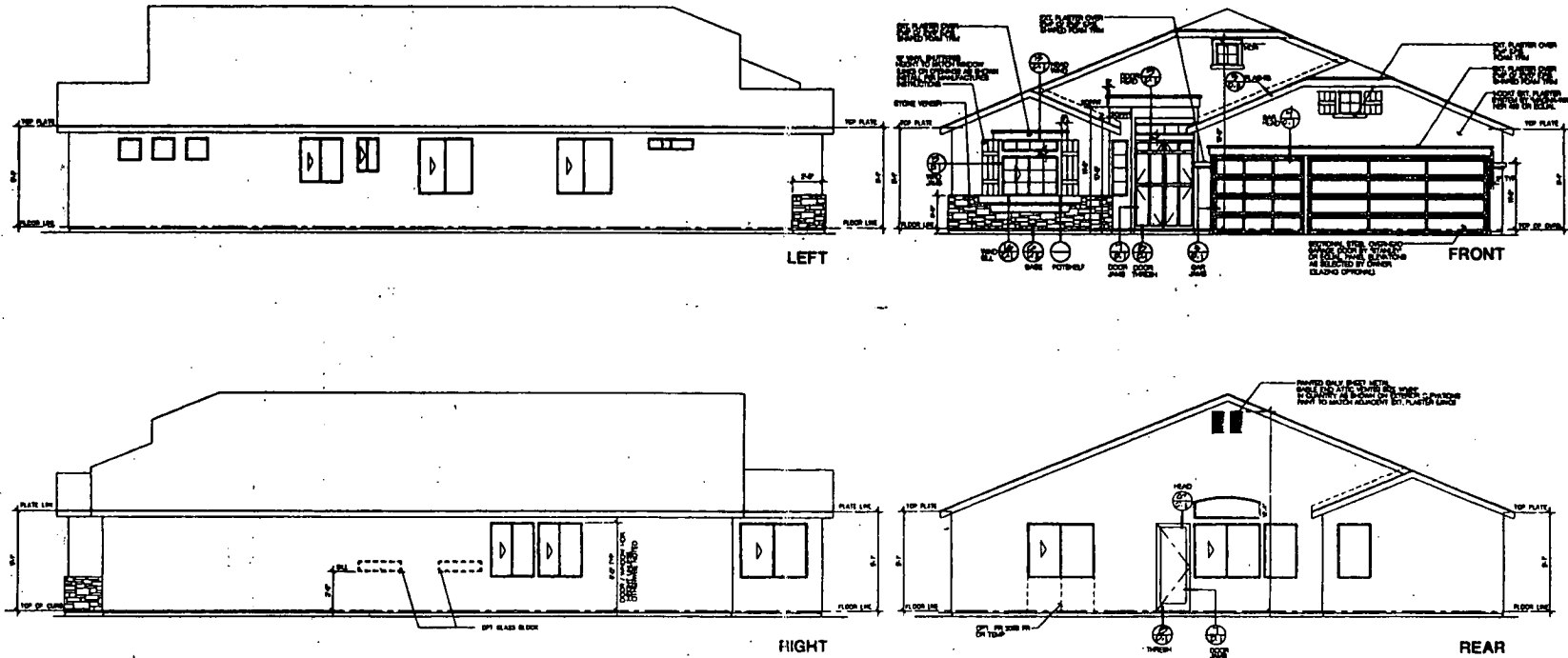
136 NO. RANDOW BLVD., SUITE 811
LAS VEGAS, NEVADA 89128

1. THERE ARE NO EXISTING STRUCTURES LOCATED ON THIS SITE.
 2. ALL INTERIOR STREETS, INCLUDING THE DRIVE ROAD, ARE TO BE PRIVATELY MAINTAINED BY AN APPROVED HOMEOWNERS ASSOCIATION.
 3. THE PROPOSED LOT LAYOUT IS BASED ON THE RESULTS OF AN ACTUAL BOUNDARY SURVEY.
 4. THIS PLAN IS A SUBSTITUTION AND IS TO BE USED FOR PLANNING PURPOSES ONLY. NO LUMINITY IS ASSIGNED.
 5. THIS SITE IS WITHIN SECTION 4 OF TOWNSHIP 18 SOUTH, RANGE 28 EAST, AND IS A CONTINUATION OF THE HIGH TRAILS RANCH PROJECT. THE PROPOSED 22 DU/AC DENSITY IS COMPATIBLE WITH THE ADJACENT HIGH TRAILS RANCH 22 DU/AC DENSITY.

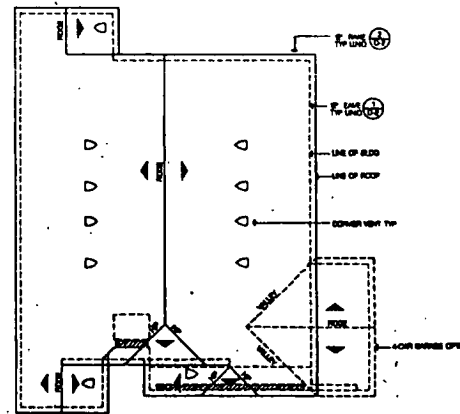


SITE PLAN TO ACCOMPANY GENERAL PLAN AMENDMENT/ ZONE CHANGE HIGH TRAILS RANCH II		LOG CABIN, LLC 3300 NORTH HIGHLAND LAS VEGAS, NEVADA 89128 CITY OF LAS VEGAS, NEVADA	CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS 2727 SOUTH RANDOW BOULEVARD LAS VEGAS, NEVADA 89146-8146 PHONE (702) 873-7550 FAX (702) 363-2587
DATE: 05/08 BY: ASH/MS FOR: 05/08 SCALE: 1" = 100'	PROJECT:	REVISION:	DATE:

STAFF



SCALE : 1/4" = 1'-0"



AIRCRAFT

[illegible]

BLACK BODY IS FOR W/ LAMP ON (DIMMER)
 BODY IS DIMMER ONLY
 FULLY FOR LAMP/CLAMP INSTRUCTIONS
 NO-ON KIDS AND ON SCALE

[illegible]

Project .

**GREYSTONE AT
SPRING MOUNTAIN
RANCH**

**GREYSTONE
LAS VEGAS, NEVADA**

97263



RMY NEVADA, -

1000 MITCHELL, SOUTH
IRVINE, CA 92614

716 662-2288
716 662-2284 FAX

KIGYGROUP, Inc.
Irvine, California
Fort Lauderdale, Florida
San Diego, Thailand



Potential in Charge: _____ & Total _____

Project Director : R. C. ...
Project Architect : R. C. ...
Project Designer : J. C. ...

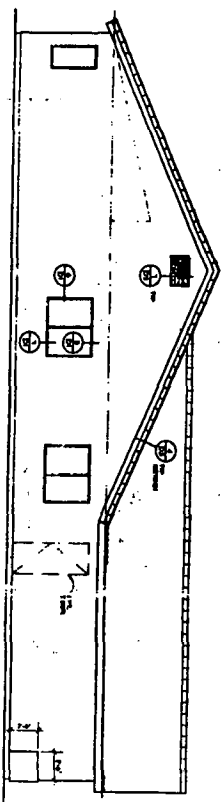
Sheet Title: **PLAN 4**

T ROOF PLAN

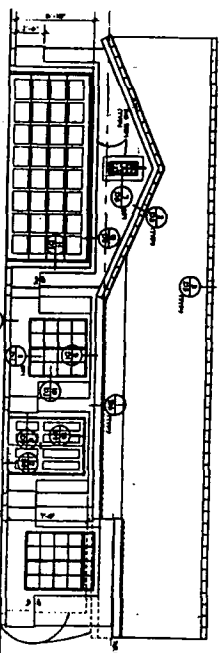
Chart No. 1 14718
A 46

GPA-4-99 Z-9-99

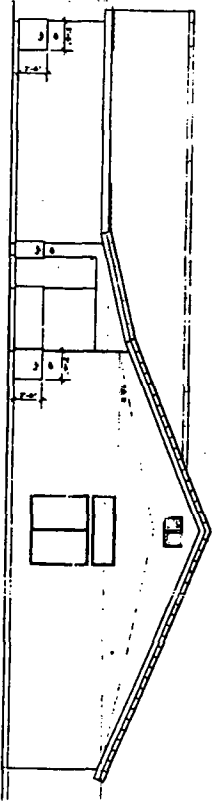
STAFF 4-15-99 QPC



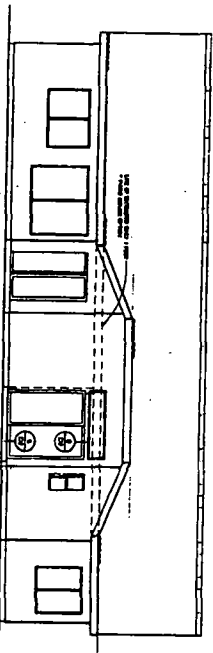
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



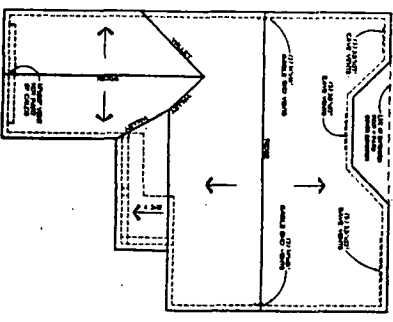
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



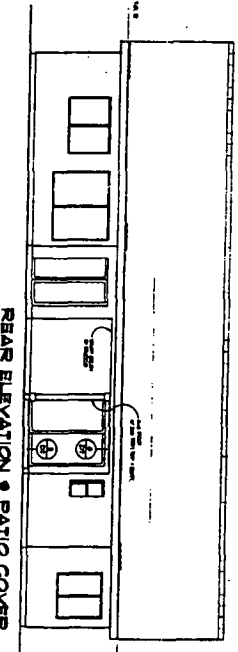
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN



REAR ELEVATION + PATIO COVER
SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES:
1. ROOF SHALL BE AS SHOWN.
2. ROOF SHALL BE 12/12 PITCH.
3. ROOF SHALL BE 1/2" MIN. THICK.
4. ROOF SHALL BE 1/2" MIN. THICK.
5. ROOF SHALL BE 1/2" MIN. THICK.
6. ROOF SHALL BE 1/2" MIN. THICK.
7. ROOF SHALL BE 1/2" MIN. THICK.
8. ROOF SHALL BE 1/2" MIN. THICK.
9. ROOF SHALL BE 1/2" MIN. THICK.
10. ROOF SHALL BE 1/2" MIN. THICK.

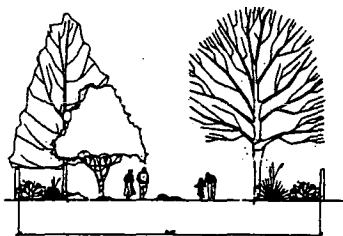
EXTERIOR ELEVATION NOTES:
1. EXTERIOR SHALL BE AS SHOWN.
2. EXTERIOR SHALL BE 1/2" MIN. THICK.
3. EXTERIOR SHALL BE 1/2" MIN. THICK.
4. EXTERIOR SHALL BE 1/2" MIN. THICK.
5. EXTERIOR SHALL BE 1/2" MIN. THICK.
6. EXTERIOR SHALL BE 1/2" MIN. THICK.
7. EXTERIOR SHALL BE 1/2" MIN. THICK.
8. EXTERIOR SHALL BE 1/2" MIN. THICK.
9. EXTERIOR SHALL BE 1/2" MIN. THICK.
10. EXTERIOR SHALL BE 1/2" MIN. THICK.

Greystone Homes, Inc.

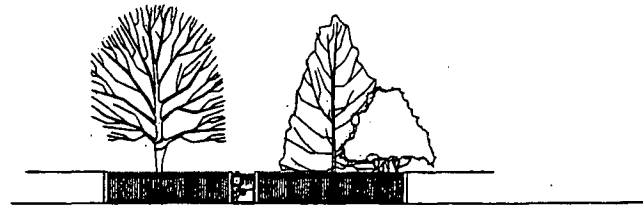
ASSOCIATES

PLAN 1
SHEET 1
1076

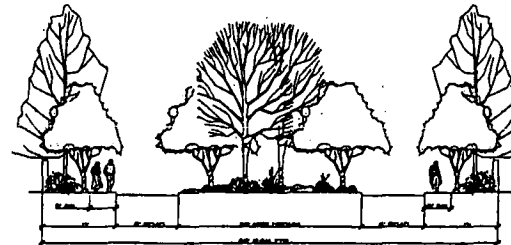
SCALE: NTB



2023-2024



SCALE: NTC

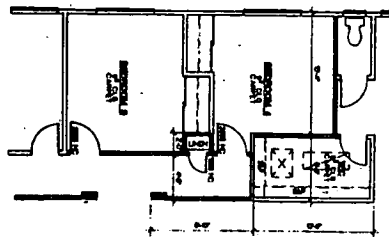


SCALE: NTS

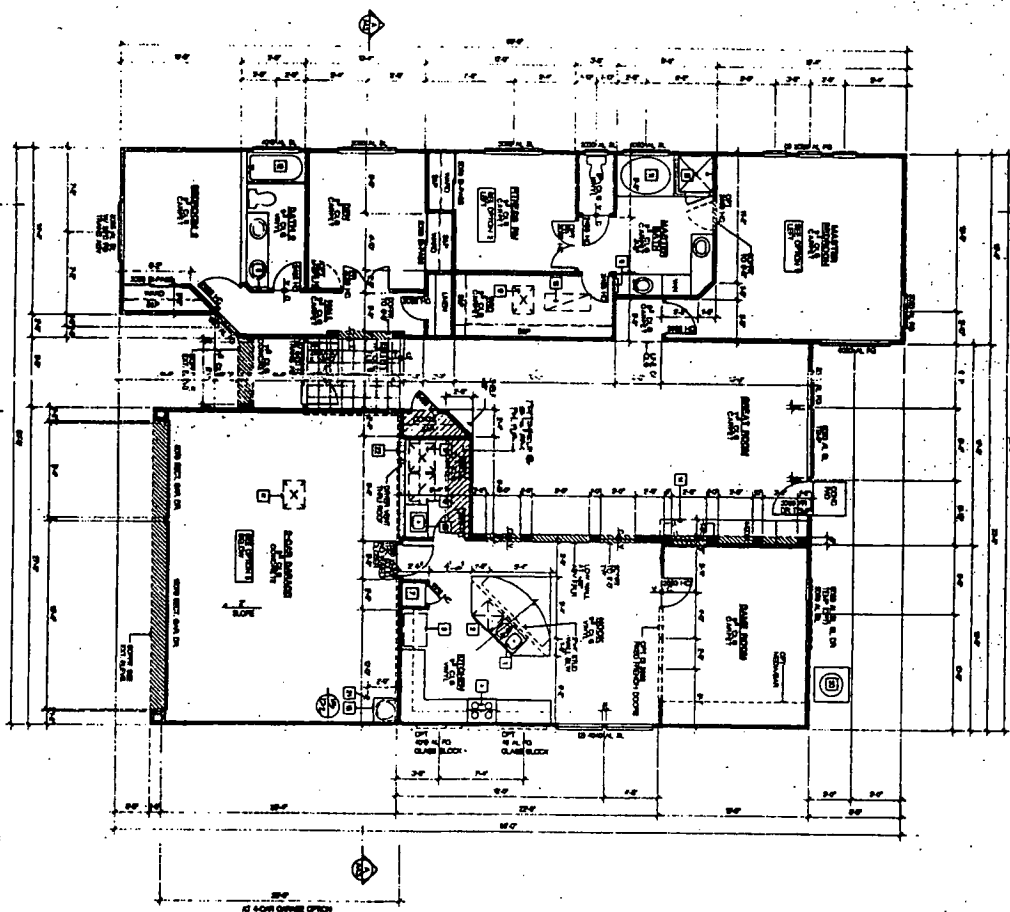
EXPERTS

66-6-Z

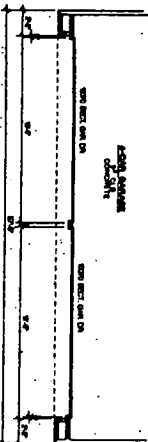
STAFF 4-15-99 QPC



2 BEDROOM 3 AND 4 OPTIONS



③ 4-CAR GARAGE OPTION



- ## KEYNOTES

1. LOCAL AREA OR REGIONAL SECURITY
2. NATIONAL SECURITY
3. INTERNATIONAL SECURITY
4. SECURITY INFORMATION
5. SECURITY INFORMATION
6. SECURITY INFORMATION
7. SECURITY INFORMATION
8. SECURITY INFORMATION
9. SECURITY INFORMATION
10. SECURITY INFORMATION
11. SECURITY INFORMATION
12. SECURITY INFORMATION
13. SECURITY INFORMATION
14. SECURITY INFORMATION
15. SECURITY INFORMATION
16. SECURITY INFORMATION
17. SECURITY INFORMATION
18. SECURITY INFORMATION
19. SECURITY INFORMATION
20. SECURITY INFORMATION
21. SECURITY INFORMATION
22. SECURITY INFORMATION
23. SECURITY INFORMATION
24. SECURITY INFORMATION
25. SECURITY INFORMATION
26. SECURITY INFORMATION
27. SECURITY INFORMATION
28. SECURITY INFORMATION
29. SECURITY INFORMATION
30. SECURITY INFORMATION
31. SECURITY INFORMATION
32. SECURITY INFORMATION
33. SECURITY INFORMATION
34. SECURITY INFORMATION
35. SECURITY INFORMATION
36. SECURITY INFORMATION
37. SECURITY INFORMATION
38. SECURITY INFORMATION
39. SECURITY INFORMATION
40. SECURITY INFORMATION
41. SECURITY INFORMATION
42. SECURITY INFORMATION
43. SECURITY INFORMATION
44. SECURITY INFORMATION
45. SECURITY INFORMATION
46. SECURITY INFORMATION
47. SECURITY INFORMATION
48. SECURITY INFORMATION
49. SECURITY INFORMATION
50. SECURITY INFORMATION
51. SECURITY INFORMATION
52. SECURITY INFORMATION
53. SECURITY INFORMATION
54. SECURITY INFORMATION
55. SECURITY INFORMATION
56. SECURITY INFORMATION
57. SECURITY INFORMATION
58. SECURITY INFORMATION
59. SECURITY INFORMATION
60. SECURITY INFORMATION
61. SECURITY INFORMATION
62. SECURITY INFORMATION
63. SECURITY INFORMATION
64. SECURITY INFORMATION
65. SECURITY INFORMATION
66. SECURITY INFORMATION
67. SECURITY INFORMATION
68. SECURITY INFORMATION
69. SECURITY INFORMATION
70. SECURITY INFORMATION
71. SECURITY INFORMATION
72. SECURITY INFORMATION
73. SECURITY INFORMATION
74. SECURITY INFORMATION
75. SECURITY INFORMATION
76. SECURITY INFORMATION
77. SECURITY INFORMATION
78. SECURITY INFORMATION
79. SECURITY INFORMATION
80. SECURITY INFORMATION
81. SECURITY INFORMATION
82. SECURITY INFORMATION
83. SECURITY INFORMATION
84. SECURITY INFORMATION
85. SECURITY INFORMATION
86. SECURITY INFORMATION
87. SECURITY INFORMATION
88. SECURITY INFORMATION
89. SECURITY INFORMATION
90. SECURITY INFORMATION
91. SECURITY INFORMATION
92. SECURITY INFORMATION
93. SECURITY INFORMATION
94. SECURITY INFORMATION
95. SECURITY INFORMATION
96. SECURITY INFORMATION
97. SECURITY INFORMATION
98. SECURITY INFORMATION
99. SECURITY INFORMATION
100. SECURITY INFORMATION

NOTES

1. What are the major components of the environment?
The environment is composed of the physical, chemical, and biological factors that surround and influence living organisms.
2. How do these components interact to form ecosystems?
The components of the environment interact through energy flow and nutrient cycling to form ecosystems. Energy flows from the sun to producers, then to consumers, and finally to decomposers. Nutrients are recycled within the ecosystem.
3. What are the major types of ecosystems?
The major types of ecosystems are terrestrial (land) and aquatic (water). Terrestrial ecosystems include forests, grasslands, and deserts. Aquatic ecosystems include oceans, lakes, and rivers.
4. How do human activities impact the environment?
Human activities, such as deforestation, pollution, and climate change, have a significant impact on the environment. Deforestation leads to the loss of biodiversity and the release of carbon dioxide into the atmosphere. Pollution contaminates the air, water, and soil. Climate change is caused by the increase in greenhouse gases, leading to global warming and sea level rise.
5. What are some ways to protect the environment?
There are many ways to protect the environment, including recycling, conserving water, and reducing energy consumption. We can also protect the environment by supporting sustainable practices and advocating for environmental policies.
6. What are some of the challenges facing the environment?
Some of the major challenges facing the environment are climate change, biodiversity loss, and pollution. Climate change is a global problem that requires international cooperation to address. Biodiversity loss is a result of habitat destruction and overexploitation of resources. Pollution is a major threat to human health and the environment.
7. What are some of the solutions to these challenges?
There are many solutions to these challenges, including renewable energy, conservation, and sustainable development. Renewable energy, such as solar and wind power, can help reduce greenhouse gas emissions. Conservation of natural resources can help protect biodiversity. Sustainable development is a way of meeting the needs of the present without compromising the ability of future generations to meet their own needs.

SQUARE FOOTAGE

FLOOR AREA	MASS BT
FLOOR TOTAL	4440.07
DOOR SURFACE AREA AVERAGE	680.00

**GREYSTONE AT
SPRING MOUNTAIN
RANCH
GREYSTONE
LAS VEGAS, NEVADA**

97263



RMV NEVADA

KTOY GROUP.



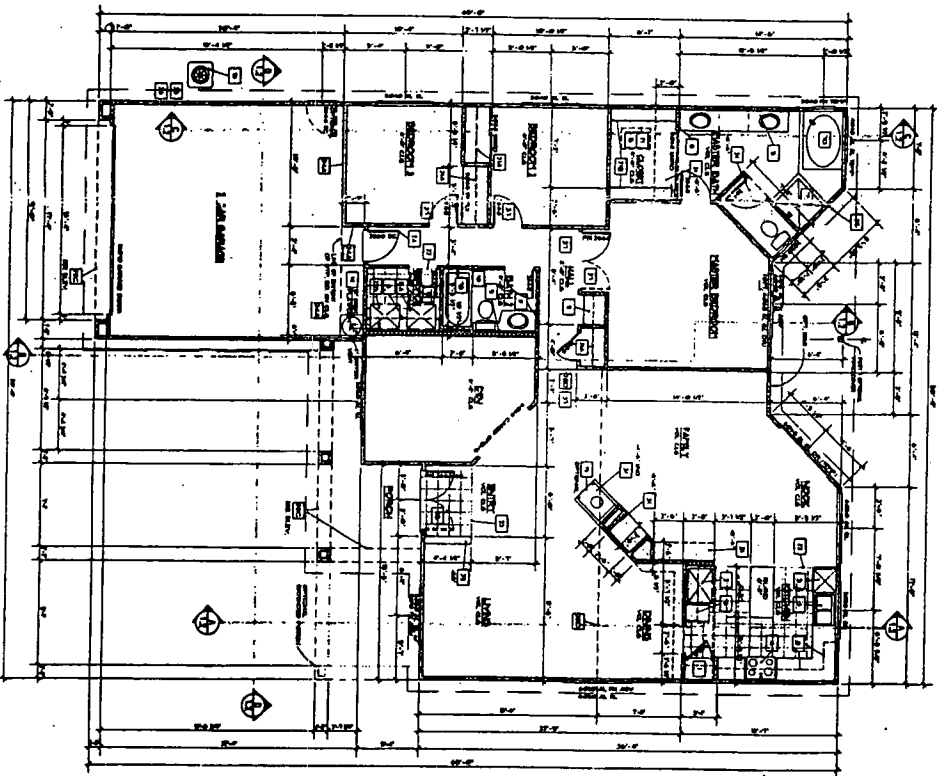
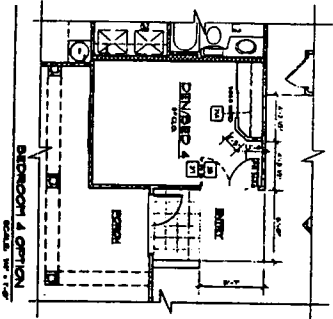
Product is Designed
Product Structure
Product Available
Product Supplier
Contacted By

STAFF

GPA-4-99

Z-9-99

4-15-99 QPC



FLOOR PLAN

FLOOR PLAN NOTES

1. EXISTING FLOOR PLAN.

2. EXISTING WALLS AND PARTITIONS TO REMAIN.

3. EXISTING DOORS TO REMAIN.

4. EXISTING WINDOWS TO REMAIN.

5. EXISTING CEILING TO REMAIN.

6. EXISTING FLOORING TO REMAIN.

7. EXISTING LIGHTING TO REMAIN.

8. EXISTING VENTILATION TO REMAIN.

9. EXISTING ACQUISITION TO REMAIN.

10. EXISTING UTILITIES TO REMAIN.

11. EXISTING STRUCTURE TO REMAIN.

12. EXISTING LANDSCAPE TO REMAIN.

13. EXISTING SITEWORK TO REMAIN.

14. EXISTING UTILITIES TO REMAIN.

15. EXISTING STRUCTURE TO REMAIN.

16. EXISTING LANDSCAPE TO REMAIN.

17. EXISTING SITEWORK TO REMAIN.

18. EXISTING UTILITIES TO REMAIN.

19. EXISTING STRUCTURE TO REMAIN.

20. EXISTING LANDSCAPE TO REMAIN.

21. EXISTING SITEWORK TO REMAIN.

22. EXISTING UTILITIES TO REMAIN.

23. EXISTING STRUCTURE TO REMAIN.

24. EXISTING LANDSCAPE TO REMAIN.

25. EXISTING SITEWORK TO REMAIN.

26. EXISTING UTILITIES TO REMAIN.

27. EXISTING STRUCTURE TO REMAIN.

28. EXISTING LANDSCAPE TO REMAIN.

29. EXISTING SITEWORK TO REMAIN.

30. EXISTING UTILITIES TO REMAIN.

31. EXISTING STRUCTURE TO REMAIN.

32. EXISTING LANDSCAPE TO REMAIN.

33. EXISTING SITEWORK TO REMAIN.

34. EXISTING UTILITIES TO REMAIN.

35. EXISTING STRUCTURE TO REMAIN.

36. EXISTING LANDSCAPE TO REMAIN.

37. EXISTING SITEWORK TO REMAIN.

38. EXISTING UTILITIES TO REMAIN.

39. EXISTING STRUCTURE TO REMAIN.

40. EXISTING LANDSCAPE TO REMAIN.

41. EXISTING SITEWORK TO REMAIN.

42. EXISTING UTILITIES TO REMAIN.

43. EXISTING STRUCTURE TO REMAIN.

44. EXISTING LANDSCAPE TO REMAIN.

45. EXISTING SITEWORK TO REMAIN.

46. EXISTING UTILITIES TO REMAIN.

47. EXISTING STRUCTURE TO REMAIN.

48. EXISTING LANDSCAPE TO REMAIN.

49. EXISTING SITEWORK TO REMAIN.

50. EXISTING UTILITIES TO REMAIN.

51. EXISTING STRUCTURE TO REMAIN.

52. EXISTING LANDSCAPE TO REMAIN.

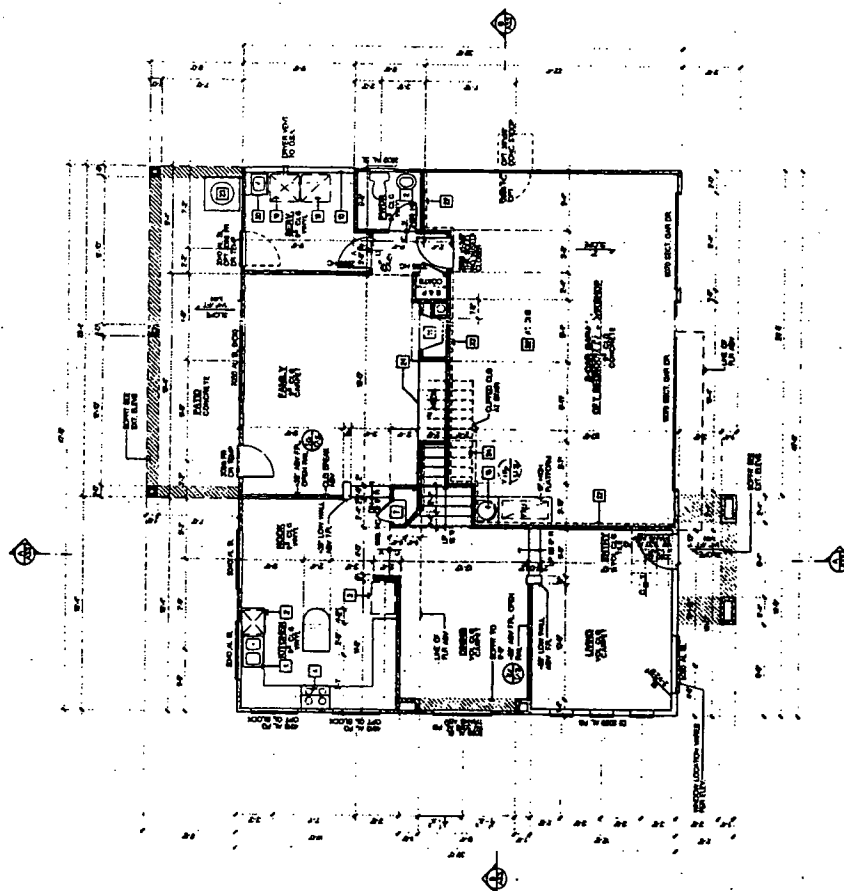
53. EXISTING SITEWORK TO REMAIN.

Greystone Homes, Inc.

ASSOCIATES

GPA - 99
Z - 9 - 99

STAFF 4-15-99 QPC



KEYNOTES

- | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|-----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 | 101 | 102 | 103 | 104 | 105 | 106 | 107 | 108 | 109 | 110 | 111 | 112 | 113 | 114 | 115 | 116 | 117 | 118 | 119 | 120 | 121 | 122 | 123 | 124 | 125 | 126 | 127 | 128 | 129 | 130 | 131 | 132 | 133 | 134 | 135 | 136 | 137 | 138 | 139 | 140 | 141 | 142 | 143 | 144 | 145 | 146 | 147 | 148 | 149 | 150 | 151 | 152 | 153 | 154 | 155 | 156 | 157 | 158 | 159 | 160 | 161 | 162 | 163 | 164 | 165 | 166 | 167 | 168 | 169 | 170 | 171 | 172 | 173 | 174 | 175 | 176 | 177 | 178 | 179 | 180 | 181 | 182 | 183 | 184 | 185 | 186 | 187 | 188 | 189 | 190 | 191 | 192 | 193 | 194 | 195 | 196 | 197 | 198 | 199 | 200 | 201 | 202 | 203 | 204 | 205 | 206 | 207 | 208 | 209 | 210 | 211 | 212 | 213 | 214 | 215 | 216 | 217 | 218 | 219 | 220 | 221 | 222 | 223 | 224 | 225 | 226 | 227 | 228 | 229 | 230 | 231 | 232 | 233 | 234 | 235 | 236 | 237 | 238 | 239 | 240 | 241 | 242 | 243 | 244 | 245 | 246 | 247 | 248 | 249 | 250 | 251 | 252 | 253 | 254 | 255 | 256 | 257 | 258 | 259 | 260 | 261 | 262 | 263 | 264 | 265 | 266 | 267 | 268 | 269 | 270 | 271 | 272 | 273 | 274 | 275 | 276 | 277 | 278 | 279 | 280 | 281 | 282 | 283 | 284 | 285 | 286 | 287 | 288 | 289 | 290 | 291 | 292 | 293 | 294 | 295 | 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 | 306 | 307 | 308 | 309 | 310 | 311 | 312 | 313 | 314 | 315 | 316 | 317 | 318 | 319 | 320 | 321 | 322 | 323 | 324 | 325 | 326 | 327 | 328 | 329 | 330 | 331 | 332 | 333 | 334 | 335 | 336 | 337 | 338 | 339 | 340 | 341 | 342 | 343 | 344 | 345 | 346 | 347 | 348 | 349 | 350 | 351 | 352 | 353 | 354 | 355 | 356 | 357 | 358 | 359 | 360 | 361 | 362 | 363 | 364 | 365 | 366 | 367 | 368 | 369 | 370 | 371 | 372 | 373 | 374 | 375 | 376 | 377 | 378 | 379 | 380 | 381 | 382 | 383 | 384 | 385 | 386 | 387 | 388 | 389 | 390 | 391 | 392 | 393 | 394 | 395 | 396 | 397 | 398 | 399 | 400 | 401 | 402 | 403 | 404 | 405 | 406 | 407 | 408 | 409 | 410 | 411 | 412 | 413 | 414 | 415 | 416 | 417 | 418 | 419 | 420 | 421 | 422 | 423 | 424 | 425 | 426 | 427 | 428 | 429 | 430 | 431 | 432 | 433 | 434 | 435 | 436 | 437 | 438 | 439 | 440 | 441 | 442 | 443 | 444 | 445 | 446 | 447 | 448 | 449 | 450 | 451 | 452 | 453 | 454 | 455 | 456 | 457 | 458 | 459 | 460 | 461 | 462 | 463 | 464 | 465 | 466 |
|---|---|---|---|---|---|---|---|---|-----|-----|

NOTES

1. THE UNITED STATES OF AMERICA
 2. DEPARTMENT OF JUSTICE
 3. FEDERAL BUREAU OF INVESTIGATION
 4. WASHINGTON, D. C. 20535
 5. DIVISION OF IDENTIFICATION
 6. LABORATORY
 7. 1000 PENNSYLVANIA AVENUE, N.W.
 8. WASHINGTON, D. C. 20535
 9. TELEPHONE (202) 344-3131
 10. FAX (202) 344-3131
 11. E-MAIL: IDENT@DOJ.GOV
 12. WWW: IDENT@DOJ.GOV
 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807.

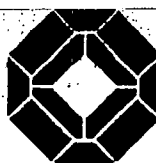
SQUARE FOOTAGE

| DOOR AREA | 1966 S.F. | 1967 S.F. |
|--------------|-----------|-----------|
| FIRST FLOOR | | |
| SECOND FLOOR | | |
| TOTAL | 2586 S.F. | 2672 S.F. |

EIGHT FIVE ODD BULL

GREYSTONE AT
SPRINO MOUNTAIN
RANCH
GREYSTONE
LAS VEGAS, NEVADA

97263.



BY N. NEVADA

RESEARCH FUNDING

Call 800-225-2268
Or 800-225-2268 FAX

KTGY GROUP, INC.

Fort Lauderdale, Florida
August, 1944

11



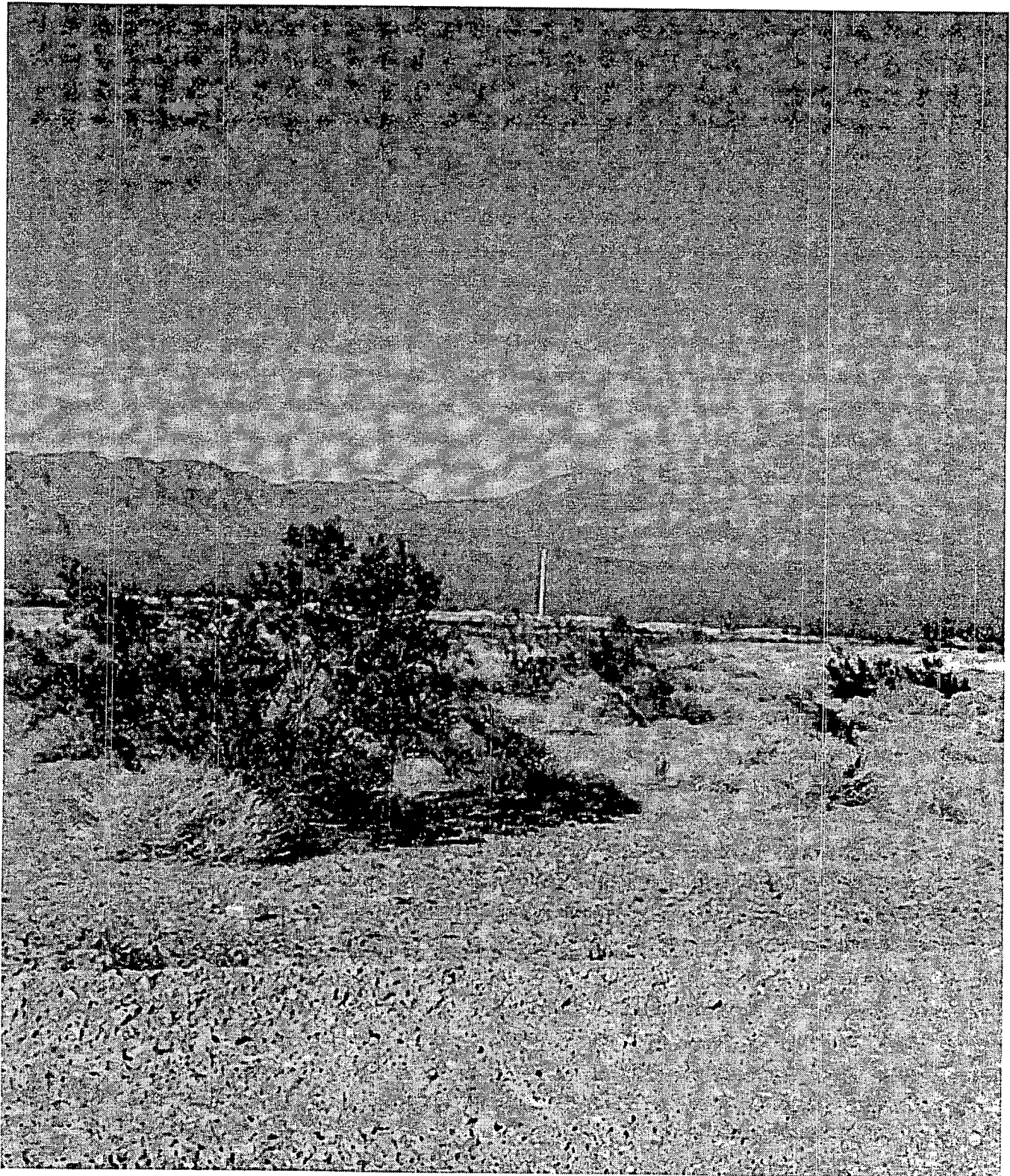
Medical & Chiropractic
Project Director
Project Assistant
Project Designer

Sheet Title: 5

1st FLOOR PLAN

1

10



GPA-4-99 AND Z-9-99
VIEW FROM WEST OF SITE

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 134

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****GENERAL PLAN AMENDMENT - PUBLIC
HEARING**

128

**GPA-5-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED**

Request to Amend a portion of the Northwest Sector of the General Plan on property located on the east side of Jones Boulevard, approximately 145 feet north of Lone Mountain Road, From: R (Rural Density Residential) and ML (Medium-Low Density Residential) To: SC (Service Commercial), Ward 4 (Brown), APN's: 125-36-403-001 and 004.

NOTICES MAILED: 133 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 2

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 2

Staff recommends DENIAL.

The Planning Commission (5-0-1 vote)
recommends APPROVAL.

**BROWN - APPROVED - UNANIMOUS with Jones and
Adamsen excused**

MAYOR PRO TEM McDONALD declared the Public Hearing open.

APPEARANCES:

ATTORNEY CHRIS KAEMPFER, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, 7th Floor

GREG BORGEL, 300 South Fourth Street

ROBERT GENZER, Planning & Development

DOUG POWELL, Deputy Director, Planning & Development

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: A Combined Verbatim Transcript of Item 128 [GPA-5-99] and Item 129 [Z-10-99] is made a part of the Final Minutes under Item 128 [GPA-5-99].

(6:02 - 6:08)

6 - 715



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

| | |
|-------------------------|---|
| TO:
THE CITY COUNCIL | FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT |
|-------------------------|---|

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This amendment to the Land Use Element of the Northwest Amendment to the General Plan from R (Rural Density Residential) and ML (Medium-Low Density Residential) to SC (Service Commercial) on property located on the east side of Jones Boulevard, approximately 145 feet north of Lone Mountain Road was filed in conjunction with a rezoning request from R-E (Residence Estates) to C-1 (Limited Commercial) for the purpose of constructing a 43,835 square foot mini-storage facility. The applicant justified the request for the following reasons:

1. The parcel abuts existing commercial development which consists of a 7-Eleven convenience store and a child care center.
2. The proposed storage facility will consist of low profile, one-story stucco buildings with one two-story office building.

BACKGROUND DATA:

- | | |
|----------|---|
| 1964 | The subject property was annexed into the City of Las Vegas. |
| 08/12/68 | The Clark County Regional Planning Council adopted a Coordinated General Plan for the Las Vegas valley. Within this document, the subject parcel was designated Low Density Residential at 3 to 6 dwelling units per acre. |
| 05/26/77 | The Clark County Regional Planning Council adopted a Regional Comprehensive Plan. Within this document, the subject parcel was designated Low Density residential at 3 to 7 dwelling units per acre. |
| 08/07/85 | The City of Las Vegas adopted Community Profiles: A component of the short-range plan phase of the General Plan. Within this document, the subject parcels were designated Rural Density Residential at 0 to 3 dwelling units per acre. |
| 07/02/86 | The City Council denied a Variance request for a convenience store (7-Eleven) on adjacent property located south and west of the subject site (V-34-86). |

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED**PURPOSE/BACKGROUND**

- 12/17/86 The City Council approved a Variance to allow a convenience store (7-Eleven) on adjacent property located south and west of the subject site (V-105-86).
- 03/12/92 The City of Las Vegas adopted the City of Las Vegas General Plan, designating the site for SC (Service Commercial) development.
- 06/10/93 The Planning Commission accepted a request to withdraw from consideration a request for rezoning from R-E (Residence Estates) to C-1 (Limited Commercial) on this property (Z-19-93). Staff recommended denial and the request was withdrawn because Variance V-39-93 was approved.
- 05/25/93 The Board of Zoning Adjustment approved a Variance on a portion of this site to allow a child care center (V-39-93).
- 06/10/93 The Planning Commission accepted a request to withdraw from consideration a request for a general plan amendment from R (Rural Density Residential) to SC (Service Commercial) on this property (GPA-6-93). Staff recommended denial and the request was withdrawn because Variance V-39-93 was approved.
- 05/24/94 The Board of Zoning Adjustment approved a Variance on a portion of this site to allow the construction of a child care center with a 5 foot side yard setback where 10 feet is required (V-54-94).
- 12/18/96 The City of Las Vegas adopted the Northwest Amendment to the General Plan, designating the site for ML (Medium-Low Density Residential) and R (Rural Density Residential) development.

DETAILS OF APPLICATION REQUEST:

Site Area: 2.91 Acres

Agenda Item

| |
|--|
| |
|--|

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

| | |
|-------------------------|---|
| TO:
THE CITY COUNCIL | FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT |
|-------------------------|---|

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

EXISTING LAND USE:

| | |
|------------------|--|
| Subject Property | Unimproved |
| North | Single Family Residential |
| South | Convenience Store, Single Family Residential |
| East | Child Care Center |
| West | Church |

PLANNED LAND USE:

| | |
|------------------|--|
| Subject Property | ML (Medium-Low Density Residential), R (Rural Density Residential) |
| North | R (Rural Density Residential) |
| South | ML (Medium-Low Density Residential) |
| East | R (Rural Density Residential) |
| West | R (Rural Density Residential) |

EXISTING ZONING OF ADJACENT PROPERTIES:

| | | |
|-------|-------|--|
| North | R-E | (Residence Estates) |
| South | R-PD5 | (Residential Planned Development - 5 Units Per Acre) |
| East | R-E | (Residence Estates) |
| West | R-E | (Residence Estates) |

Agenda Item

| |
|--|
| |
|--|

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED**PURPOSE/BACKGROUND****ANALYSIS:****PROCEDURE:**

The process for a General Plan Amendment and accompanying zone change requires that the applicant meet with the surrounding property owners. This meeting was held on Wednesday, March 10, 1999 at 6:00 p.m. at the Santa Fe Hotel & Casino, Pavilion Room located at 4949 North Rancho Drive. It is staff's understanding that some surrounding property owners are not opposed to the development while other surrounding property owners are opposed to the development.

DEFINITIONS:

The following City of Las Vegas General Plan definitions describe the specific land use categories affected by this application:

R (Rural Density Residential) - The Rural Density Residential category allows a maximum of 3.5 dwelling units per gross acre. This is a rural or semi-rural environment with a life-style much like that of the Desert Rural, but with a smaller allowable lot size.

ML (Medium Low Density Residential) - The Medium-Low Density Residential category permits single family compact lots and zero lot lines; manufactured home parks and residential planned development with a maximum of 8 dwelling units per gross acre. Local supporting uses such as parks, other recreation facilities, schools and churches are allowed in this category.

SC (Service Commercial) - The Service Commercial category allows low to medium intensity retail, office or other commercial uses that serve primarily local area patrons, and that do not include more intense general commercial characteristics. Examples include neighborhood shopping centers and areas, theaters, bowling alleys and other places of public assembly and public and semi-public uses. This category also includes offices either singly or grouped as office centers with professional and business services.

Agenda Item

| |
|--|
| |
|--|

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED**PURPOSE/BACKGROUND****EXAMINATION:**

The site is located on the east side of Jones Boulevard and on the north side of Lone Mountain Road. The southwest boundaries of the site wrap around an existing convenience store at the corner of the intersection and the east property line is adjacent to a child care center. These commercial developments were established by the grant of Variances. A church is located on the northwest corner of Jones Boulevard and Lone Mountain Road. The other surrounding properties consist of single family residential development. The nearest commercial development is located approximately three-quarters of a mile from the site, west on Lone Mountain Road at Rancho Drive and south on Jones Boulevard at Rancho Drive. Commercial development is also located approximately 1 mile east of the site at the intersection of Decatur Boulevard and Lone Mountain Road. It is at these locations that commercial development is planned for by the Northwest Amendment to the General Plan. The intent of the Northwest Amendment to the General Plan is to concentrate commercial development in the Town Center Area and in areas already zoned and developed for commercial enterprises.

The General Plan amendment makes available not only the C-1 (Limited Commercial) zoning district requested by the accompanying rezoning application but similarly affords the possibility of O (Office) or PD (Planned Development). The request would encourage strip commercial development along both Jones Boulevard and Lone Mountain Road. Policy B of the Northwest Amendment to the General Plan encourages the achievement of a compatible balance of land uses. The resultant development pressure from the approval of this request on the properties located along the adjacent streets will be an increase in demand for commercial development and a decrease in the desirability of the properties for residential use.

The site has public street frontage on Jones Boulevard and Lone Mountain Road, which are existing primary arterials with planned 100 foot wide rights-of-way on the Master Plan of Streets and Highways. The site has access to sewer and water infrastructure services which are located within the adjacent street rights-of-way. Bus transit routes extend along Jones Boulevard and Lone Mountain Road adjacent to this site. The Ernest J. May elementary school is located approximately one mile from this site, west of Jones Boulevard on Washburn Road. The closest middle school is the Lead Middle School, located approximately two miles from this site, at the northeast corner of Bradley Road and Tropical Parkway. The nearest fire station is located at 6841 West Lone Mountain Road.

Agenda Item

| |
|--|
| |
|--|

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

| | |
|-------------------------|---|
| TO:
THE CITY COUNCIL | FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT |
|-------------------------|---|

SUBJECT: GENERAL PLAN AMENDMENT - PUBLIC HEARING - GPA-5-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND**FINDINGS:**

Staff finds that this amendment is not appropriate for the following reasons:

Objective B of the Northwest Amendment of the General Plan states that the City should achieve a compatible balance of land uses throughout the northwest by providing appropriate and compatible locations for all land use categories.

Program B1.3 of the Northwest Amendment of the General Plan states that the City should encourage infilling of random vacant lots in substantially developed, single family neighborhoods at densities similar to existing development.

Staff recommends DENIAL.

The Planning Commission (5-0-1 vote) recommends APPROVAL.

PC NOTICES MAILED: 133

APPROVALS: 0

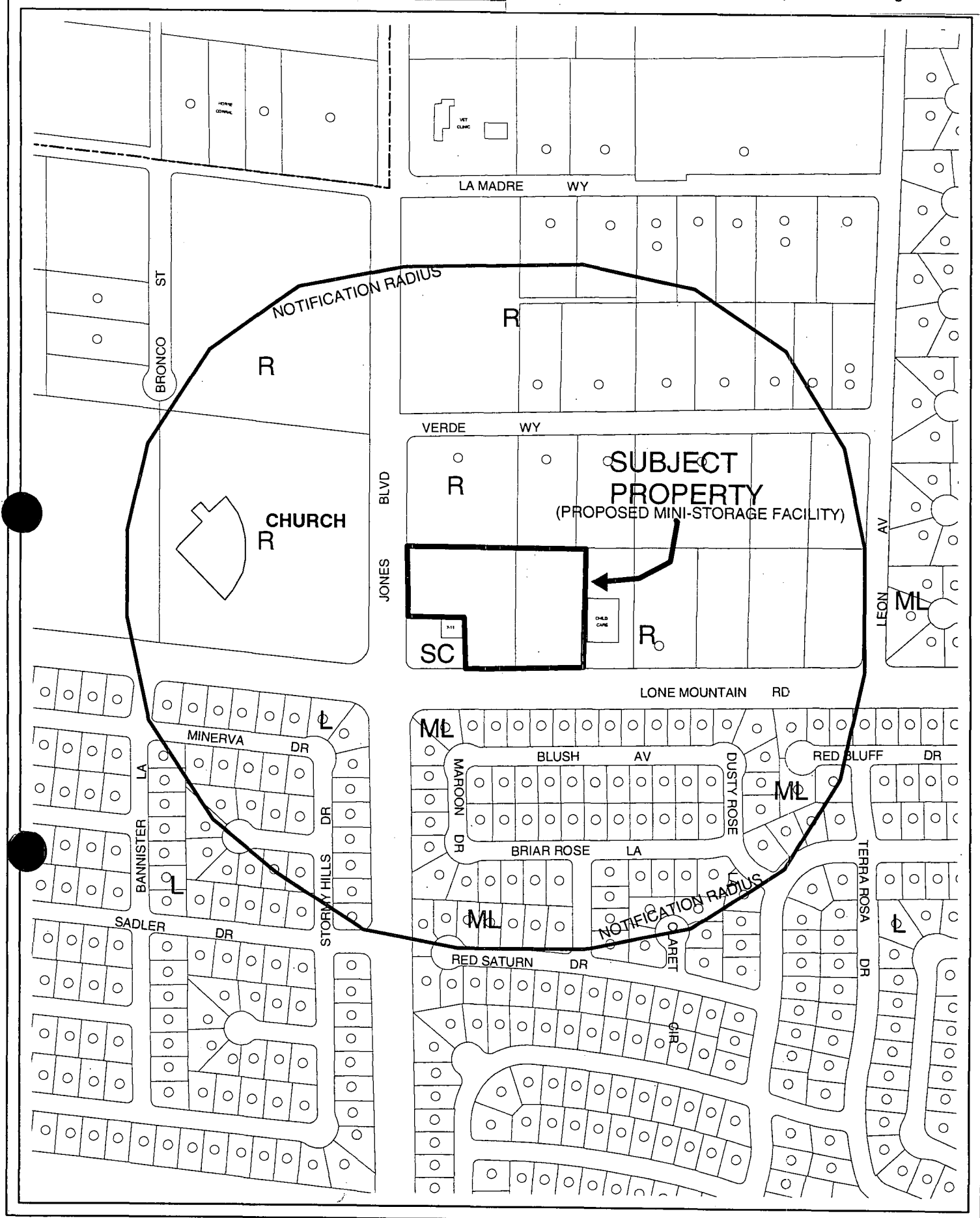
PROTESTS: 2

[Note: The protesters are concerned that approval of this request will result in additional commercial encroachment into the existing residential neighborhood.]

SEE ATTACHED LOCATION MAP

Agenda Item

| |
|--|
| |
|--|



CASE: **GPA-5-99**
RADIUS: 750 FT



CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 1

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

MAYOR PRO TEM McDONALD

Item 128. General Plan Amendment. Public Hearing. GPA-5-99. Lone Mountain Developers, Limited. Request to Amend a portion of the Northwest Sector of the General Plan on property located on the east of Jones Boulevard, approximately 145 feet north of Lone Mountain, from R (Rural Density Residential) and ML (Medium-Low Density Residential) to SC (Service Commercial) Two denial. Two protests. Staff recommends denial. Planning Commission recommends approval. This is a public hearing. The applicant is present. For the record, I did my back-up.

ATTORNEY CHRIS KAEMPER

Are you going to let me alone on that one? I actually, I meant that seriously.

MAYOR PRO TEM McDONALD

It's - been a good day.

ATTORNEY CHRIS KEAMPER

We don't have to go through all of it because I know you read your back-up. That's what I meant by my comment.

MAYOR PRO TEM McDONALD

Actually, Councilman Brown reads it to me. And Gary Reese interprets it for me.

ATTORNEY CHRIS KAEMPER

I'm leaving all of this alone and moving right on. Yes. Good afternoon, Mr. Chair, Members of the Council. I'm Chris Kaempfer here on behalf of the applicant. With me, of course, is Mr. Greg Borgel.

This is our application for both the General Plan Amendment and the zone change to allow for what is a single-story mini-storage facility on the northeast corner of Lone Mountain and Jones. The property is presently General Planned for up to three and half to eight units an acre. Our General Plan Amendment requests Service Commercial and our zone change request is for C-1 to allow for the mini-storage facility.

In evaluating the appropriateness of this site, I'd like you to look at two things. One is the site itself and the use. Now, as to the site, we're at the corner, as Mr. Borgel is pointing out, of Jones Boulevard and Lone Mountain Road, two major section line streets. We have frontage on Lone Mountain to the south and both Jones and Lone Mountain, as you, rather on Jones, Jones goes north, as you know, Lone Mountain goes east/west. We have an existing 7-Eleven on the corner of Jones and Lone Mountain. Immediately across the street from that we have a church that's already existing there. And then on the other side of the property, on the east side, we have an existing child care facility. So what we have is a piece of property

**CITY COUNCIL
MEETING OF
MAY 24, 1999**

Page 2

**COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED**

configured as somewhat like an "L" with a convenience market, two major streets, a church across the street, a child care facility. It's a very difficult piece of property to plan and zone for. We believe that what we've done is - the best for the area. Now, I can move right to the use. I know it's not part of the General Plan Amendment, but perhaps it would speed things up with the next item if I could just talk about the use itself.

What we're proposing is a single-story mini-storage facility with the only two-story being a small portion there, which I know in discussions with Councilman Brown, he may have some concerns over and we're certainly ready, willing, and able to reduce it to single-story. We've asked for two-story for security purposes because it's the residence for the gentleman and his wife who live there. And that does provide some additional security to be able to have a second floor where you can oversee the storage area.

MAYOR PRO TEM McDONALD

So, his residence would be on top.

ATTORNEY CHRIS KAEMPER

His residence is on top. And what we are doing here is catering to homes that are from \$150,000 to \$250,000. So, security is going to be a very, very big issue with these people. And so, we want to provide a secure location as we can.

With regard to mini-storage facilities in general, as you know, they serve perfect buffers between higher density commercial uses, such as the 7-Eleven and other residential uses. And in fact, have been employed both by the City and the County all over this City. There is one in, in fact, I believe, it's probably in your district, Councilman McDonald, which is right behind the Big Dog Center. And you don't even know it's there. It's a single-story mini-storage facility between some very nice homes to the north and the Big Dog Center to the south. And, as I say, it serves a perfect buffer. And they have done the same thing that we are seeking to do here, which is to have a large landscaping strip along the, as Mr. Borgel is pointing along Jones, and then all along the northern portion of the property to serve as a - an additional buffer there.

None of the impacts that you have with commercial uses such as noise, traffic, crime, things like that, are attendant usually with a mini-storage facility. And we're finding more and more that they're probably the most innocuous of all commercial uses because people either store their stuff and come back and visit it once every six months or at the most you have, you know, the minimal amount of trips in and out.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 3

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

I guess what we're saying is, it really comes down to whether or not it's practical to require in this area here, in accordance with the Master Plan, single family detached homes. And we don't believe that is practical. We believe this is a very appropriate solution to a difficult piece of property. Councilman Brown has insisted, in conversations that we've had with him, that we landscape along Lone Mountain with very mature landscaping. We have provided, I think, what is it, Mr. Borgel -- ?

GREG BORGEL

Fifteen.

ATTORNEY CHRIS KAEMPFER

-- a 15 foot landscape buffer on that portion of the property. He's also asked that we reduce the height of these down, I believe, and -- perhaps some clarification from Councilman Brown, if -- we misspeak, but to 10 feet on these sites here and then on the north side to increase the wall height for the protection of those neighbors over there, to eight feet, all of which is acceptable to us. So, with those comments, and I don't know if Mr. Borgel has any. Unless there's other questions, we'd move one.

MAYOR PRO TEM McDONALD

This is a public hearing. Does anyone wish to be heard on this item? Seeing none, we'll close the public hearing. Councilman Brown?

COUNCILMAN BROWN

On -- the GPA, my recommendation would be for approval.

MAYOR PRO TEM McDONALD

Cast your votes. Post. Motion's approved. **(Motion carried with JONES and ADAMSEN excused)**. Item 129. Public hearing rezoning related to GPA-5-99, Z-10-99, Lone Mountain Developers, Limited. Request for a Rezoning on the property located on the east side of Jones Boulevard, approximately 145 feet north of Lone Mountain Road. From R-E (Residence Estates) to C-1 (Limited Commercial). Proposed use 43,835 square foot mini-storage facility. Two protests. Staff recommends denial. Planning Commission recommends approval. This is a public hearing. I now declare it open.

COUNCILMAN REESE

Did you notice Councilman Brown reading his back-up?

MAYOR PRO TEM McDONALD

I thought he read his back-up.

COUNCILMAN REESE

He's reading his back-up. I've seen him.

MAYOR PRO TEM McDONALD

Did you read your back-up?

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 4

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

COUNCILMAN BROWN

No this has interpret for Michael McDonald written on the top.

MAYOR PRO TEM McDONALD

That was in the back-up, though.

COUNCILMAN BROWN

A couple of comments here. One is, and I was concerned, as far as the GPA on this area. I did talk to a couple of our local home builders, one of which actually went out and looked at the site. And I think, it's just under three acres net or somewhere around there and any kind of, even at four/five units per acre, it's just, it's not going to work. As far as getting five, maybe six half acre custom homes on this property, again I think it's - unrealistic. The mistake was made, from my perspective of dropping this convenience store, way back when, probably even before a lot of the residential was developed, and we've created, perhaps from a residential standpoint, a parcel that just can't be built as homes. Or at least the quality homes that are surrounded in this area.

So, the next step was to find, perhaps, the best buffer, not only a buffer to the existing neighborhood, but something of major concern was something that would not allow the proliferation of commercial north on Jones Boulevard or east on Lone Mountain Road. And when I first saw the design here, I think there're - some things that can in fact do that. As far as the specific conditions, the elevation on the two-story portion, since security will be an important component here, again, I'm not a designer, but if we could make that look more like a residential home. There's one over on Craig and the expressway that you know it's mini-storage, but it also has a little bit of a residential feel to it. **So, if we could condition that to try to make that two story as residential in nature, especially from the Jones Boulevard point of view.** And I agree with the two story from a security aspect. **The walls, just so we clarify, and I, on the northern wall we're going to raise that to eight feet. On your eastern wall, that will be essentially the back of the storage unit, which is 10 feet. Likewise, we'll do there back to eight feet, back up to 10 feet or something aesthetically that, and we talked a little bit about that that kind of, on the southerly wall, that would be 10 feet where the units are?**

GREG BORGEL

Yes, Sir.

COUNCILMAN BROWN

And that's --

GREG BORGEL

And then we have - two gaps, one is a crash gate --

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 5

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

COUNCILMAN BROWN Crash gate.

GREG BORGEL -- which we think we need to do normally --

COUNCILMAN BROWN Okay.

GREG BORGEL -- and then we have a little gap where, at your discretion, whether that be six, eight or ten.

COUNCILMAN BROWN **Make that, from, again aesthetically if it matches the ten just bring it across a ten and that would be good. On the landscaping, especially on the Lone Mountain and the - Jones side, that's - 15 feet. Staff is that correct?**

GREG BORGEL We're - showing it at 15 feet, Councilman, if that's what you're asking.

COUNCILMAN BROWN And do we have, what kind of landscape are we recommending on that?

ROBERT GENZER, PLANNING & DEVELOPMENT Our condition was just that the landscaping be designed in accordance with the Las Vegas Urban Design Guidelines and Standards. And I believe the standard is 24 inch box trees, 20 feet on center along major streets, with shrubs and groundcover.

GREG BORGEL And that is what we've shown, Councilman.

COUNCILMAN BROWN **And if we could, if you could have the landscape person associated with the project get with our landscape person, what I'd like to see is even more of the 24 inch box on both that Lone Mountain segment and the little piece of Jones, preferably something like, in the pine family. And you can work, even if we have to stagger a little bit, sometimes the 20 foot on center leaves a little bit too much gap and what we're trying to do is enclose all this. If I could make that part of the recommendation or the condition --**

ATTORNEY CHRIS KAEMPFER Councilman, just so that you know, I've spoken with the developer on this and he said he would be more than willing to enhance the landscaping both along Lone Mountain and on the entrance area on Jones. So that's not going to be an issue at all.

COUNCILMAN BROWN So, if we, and I won't even, I don't know what the reduction from 20 foot on center to a staggered kind of a up back, but --

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 6

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

ATTORNEY CHRIS KEAMPFER He's more than happy to do that.

COUNCILMAN BROWN You know the intent there.

ATTORNEY CHRIS KAEMPFER Yeah.

COUNCILMAN BROWN Just work with our landscape person. And finally the signage. What is the signage plan for this site?

ATTORNEY CHRIS KAEMPFER Best of the West sign? No.

COUNCILMAN BROWN Under - a 100 feet.

GREG BORDEL I'm sorry, what was your comment?

COUNCILMAN BROWN The signage.

GREG BORDEL No, what, you said under some feet?

COUNCILMAN BROWN Under a 100 feet.

GREG BORDEL Guaranteed.

COUNCILMAN REESE Monument - sign.

ATTORNEY CHRIS KAEMPFER I'm not, I don't know what that is. Greg --

COUNCILMAN BROWN Do we have an elevation?

GREG BORDEL We have an elevation, but I, it doesn't show the final signage program. We'd certainly be willing to defer to administrative staff review on the signage program, Councilman.

COUNCILMAN BROWN Are we thinking something monument and something modest?

MAYOR PRO TEM McDONALD Monumental.

COUNCILMAN BROWN A modest monument.

MAYOR PRO TEM McDONALD I think you'd like that.

GREG BORDEL I think that's correct, Councilman. I guess when you use subjective terms it's hard for me to say for sure. But, there's not need for a great big pole sign out here in this neighborhood. And so, we will turn in something that we hope staff will like and they can check with you, how's that?

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 7

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

COUNCILMAN BROWN

Staff, modest monument, that's what we're looking for, the new -- terminology? And in closing, I'd like to again make this record perfectly clear that --

ATTORNEY CHRIS KAEMPFER

Might be blocked by that 7-Eleven store right there.

COUNCILMAN BROWN

-- in spite of the convenience store and the zoning needed for this land use being commercial, I would've preferred an office designation, but under our code we're not allowed to do mini-storage under the office designation. But I think, if we look around the established neighborhood, that we have a strong case that this is a stand-alone parcel, it's an in-fill piece. It's more to protect the convenience store that's out of place across the street from a church and across the street from two well established upscale neighborhoods. So, I think by itself, this stands the test of any kind of proliferation or precedent setting along, either the Jones corridor or the Lone Mountain. I just want the record to clearly reflect that.

With all that and with the indulgence, I'd like to get into a little narrative up here.

MAYOR PRO TEM McDONALD

War and peace has not been recited yet. Go ahead.

COUNCILMAN BROWN

My motion would be for approval, subject to staff conditions and those amended here at the public hearing and acknowledged by the applicant.

MAYOR PRO TEM McDONALD

Mr. Kaempfer, do you have a question?

ATTORNEY CHRIS KAEMPFER

No. I -- understand what the signage issue, that we're going to be working with staff. I, just so that I'm clear on that.

COUNCILMAN REESE

Seven foot, four inch monument sign.

GREG BORGEL

That's, the degree of the exactness, we can't quite agree to. We can agree to a monument sign and a signage program that staff will review and they can show to you. But we don't have one to show you, so I can't say seven foot four inches.

COUNCILMAN BROWN

Well, a monument sign for sure and -- I don't want to see any -- kind of pole sign or even mini-storage up on top of that house. They'll know it's a mini-storage.

DEPUTY DIRECTOR DOUG POWELL

Council Member, this use, or this development does have to come back for a Use Permit so we can take up those items when it comes back before you.

CITY COUNCIL
MEETING OF
MAY 24, 1999

Page 8

COMBINED VERBATIM TRANSCRIPT - ITEM 128 - GPA-5-99 AND ITEM 129 - Z-10-99 - LONE MOUNTAIN
DEVELOPERS, LIMITED

COUNCILMAN BROWN

Thank you. That's great. Call for the question.

MAYOR PRO TEM McDONALD

Filibuster is through. Motion on the floor. Cast your votes.
Post. Motion's approved. **(Motion carried with Jones and
Adamsen excused)**

GREG BORGEL

Thank you.

ATTORNEY CHRIS KAEMPFER

Thank you very much.

MAYOR PRO TEM McDONALD

Thank you gentlemen.

ATTORNEY CHRIS KAMEPFER

Have a good day.

COUNCILMAN BROWN

Staff, the next quarter of GPAs could we put Ward 4 first so
I can exchange the banter when we get down to three, two,
one.

ROBERT GENZER, PLANNING &
DEVELOPMENT

They are actually, the plan has always been to rotate
through the - GPAs so that no one person is always first or
last.

MAYOR PRO TEM McDONALD

It should be numerical, Mr. Genzer.

(END OF DISCUSSION)

/ac

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 135

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****REZONING RELATED TO GPA-5-99 - PUBLIC
HEARING**

129

**Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED**

Request for a Rezoning on property located on the east side of Jones Boulevard, approximately 145 feet north of Lone Mountain Road, From: R-E (Residence Estates) To: C-1 (Limited Commercial), PROPOSED USE: 43,835 SQUARE FOOT MINI-STORAGE FACILITY, Size: 2.91 Acres, Ward 4 (Brown), APN's: 125-36-403-001 and 004.

NOTICES MAILED: 133 BY PLANNING DEPT

APPROVALS: 0

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 0

PROTESTS: 2

AFTER PC MEETING

_____ Letters

_____ Petitions

TOTAL 2

Staff recommends DENIAL.

The Planning Commission (5-0-1 vote) recommends APPROVAL, subject to:

1. A Resolution of Intent with a one year time limit.

2. The handicapped parking access aisle shall be designed in accordance with Title 19A.

BROWN - APPROVED subject to conditions, with additional conditions as follows:

- That the two-story portion of the structure inclusive of the living quarters element shall be residential in character, especially from the Jones Boulevard visibility;
- That the northern wall height be raised to eight (8) feet, the eastern wall raised to ten (10) feet, and the southern wall raised to ten (10) feet if appropriate or if not, having varying heights of eight (8) and ten (10) feet as approved administratively by staff with a definite ten (10) foot adjacent to the units;
- Landscaping on Lone Mountain Road and Jones Boulevard to be enhanced beyond the Las Vegas Urban Design Guidelines and Standards and specifically attempt to provide additional 24 inch box trees on Lone Mountain and Jones, preferably in the pine family. Work with the City's landscape personnel to stagger or increase landscaping beyond the 20 foot on center required by the Las Vegas Urban Design Guidelines and Standards;
- Prohibit pole signs or wall signs. Modest signage, which shall be restricted to a monument-design, shall be allowed.

- UNANIMOUS with Jones and Adamsen excused

MAYOR PRO TEM McDONALD declared the Public Hearing open.

APPEARANCES:

ATTORNEY CHRIS KAEMPFER, Kummer Kaempfer Bonner & Renshaw, 3800 Howard Hughes Parkway, 7th Floor
GREG BORGEL, 300 South Fourth Street
ROBERT GENZER, Planning & Development
DOUG POWELL, Deputy Director, Planning & Development

MAYOR PRO TEM McDONALD declared the Public Hearing closed.

NOTE: A Combined Verbatim Transcript of Item 128 [GPA-5-99] and Item 129 [Z-10-99] is made a part of the Final Minutes under Item 128 [GPA-5-99].

(6:08 - 6:17)

6 - 930

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 136

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED

3. The side yard setback and landscaping shall be designed in accordance with Title 19A and the Las Vegas Urban Design Guidelines and Standards.

4. An amended site plan demonstrating conformance with these conditions shall be submitted for review and approval by the Planning and Development Department prior to the issuance of any permits for this site.

5. All development shall be in conformance with the site plan and landscape plan as amended by these conditions.

6. Construct all incomplete half-street improvements on Jones Boulevard and Lone Mountain Road adjacent to this site concurrent with development of this site as required by the Department of Public Works. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.

7. Meet with the Traffic Engineering representative for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 137

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED

8. Contribute \$4,500 to partially fund the future upgrading of the existing traffic signal system at the intersection of Jones Boulevard and Lone Mountain Road prior to the issuance of building or off-site permits as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City reserves the right to utilize the contributed traffic signal monies for the installation of traffic signals at any other intersection within this general vicinity which is impacted by this development and which has a more immediate need for signalization.

9. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved Drainage Plan/Study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.

10. All development shall be in conformance with the building elevations.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 138

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED

11. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. For non-residential developments, failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

12. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

13. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).

14. All City Code requirements and design standards of all City departments must be satisfied.

15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

16. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet.

17. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 139

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

**PLANNING & DEVELOPMENT DEPARTMENT
- DISCUSSION****APPROVED**Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED

18. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrances(s) with submittal of plans for building permits as required by the Department of Building and Safety. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO:
THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: REZONING RELATED TO GPA-5-99 - PUBLIC HEARING - Z-10-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

APPLICATION REQUEST:

This request is for rezoning from R-E (Residence Estates) to C-1 (Limited Commercial) on property located on the east side of Jones Boulevard, approximately 145 feet north of Lone Mountain Road for the purpose of constructing a 43,835 square foot mini-storage facility. The applicant justified the request for the following reasons:

1. The parcel abuts existing commercial development which consists of a 7-Eleven convenience store and a child care center.
2. The proposed storage facility will consist of low profile, one-story stucco buildings with one two-story office/residence.

BACKGROUND DATA:

- 07/02/86 The City Council denied a Variance request for a convenience store (7-Eleven) on adjacent property located south and west of the subject site (V-34-86).
- 12/17/86 The City Council approved a Variance to allow a convenience store (7-Eleven) on adjacent property located south and west of the subject site (V-105-86).
- 06/10/93 The Planning Commission accepted a request to withdraw from consideration a request for rezoning from R-E (Residence Estates) to C-1 (Limited Commercial) on this property (Z-19-93). Staff recommended denial and the request was withdrawn because Variance V-39-93 was approved.
- 06/10/93 The Planning Commission accepted a request to withdraw from consideration a request for a general plan amendment from R (Rural Density Residential) to SC (Service Commercial) on this property (GPA-6-93). Staff recommended denial and the request was withdrawn because Variance V-39-93 was approved.

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION**

| | |
|-------------------------|---|
| TO:
THE CITY COUNCIL | FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT |
|-------------------------|---|

SUBJECT: REZONING RELATED TO GPA-5-99 - PUBLIC HEARING - Z-10-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

05/25/93 The Board of Zoning Adjustment approved a Variance on a portion of this site to allow a child care center (V-39-93).

05/24/94 The Board of Zoning Adjustment approved a Variance on a portion of this site to allow the construction of a child care center with a 5 foot side yard setback where 10 feet is required (V-54-94).

DETAILS OF APPLICATION REQUEST:

| | | |
|------------------------------|--------|-----------------------------|
| Site Area: | 2.91 | Acres |
| Building Area: | 43,835 | Square Feet |
| Number of Storage Units: | 271 | |
| Floor Area Ratio: | 0.35 | |
| Building Height: | 24 | Feet |
| Parking Spaces Provided: | 13 | |
| Parking Spaces Required: | 11 | (Title 19A, Mini-warehouse) |
| Handicapped Spaces Required: | 1 | |
| Handicapped Spaces Provided: | 1 | |

The site plan depicts the proposed development with its customer entrance on Jones Boulevard and an emergency access on Lone Mountain Road. The emergency access is secured with a fire crash gate. A fence and rolling gate located adjacent to the office/residence on the west side of the property restrict access to the interior of the site. The mini-storage buildings are internally oriented and there is limited visibility into the development from the adjacent streets. The buildings along the north side of the site face outwards with an 8 foot wide landscape planter providing visual screening between the subject site and the adjacent residential development. All of the mini-storage buildings are one-story and the office/residence area is two stories.

Agenda Item

| |
|--|
| |
|--|

City of Las Vegas

**CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999**

AGENDA DOCUMENTATION

TO:
THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: REZONING RELATED TO GPA-5-99 - PUBLIC HEARING - Z-10-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

The elevation plans depict the two-story office/residence finished with light beige textured metal wall panels, a desert red brown mechanical screen on the flat roof, and sage green framed storefront window system. The mini-warehouse buildings are finished with desert tan split face concrete masonry unit walls, a desert red brown flat metal roof system, warm beige colored roll up doors, and desert red brown ribbed metal wall panels between the roll up doors.

The landscape plans depict a 15 foot wide landscape planter along Lone Mountain Road and Jones Boulevard. An 8 foot wide planter is depicted along the north property line. The proposed plant material spacing is consistent with the requirements of the Las Vegas Urban Design Guidelines and Standards.

The submitted floor plans depict the office area of the mini-warehouse facility. In addition to the mini-warehouse operations, the use will include a mail room as shown on the floor plans.

ZONING AND DEVELOPMENT OF ADJACENT PROPERTIES:

| | | |
|-------|-------|--|
| North | R-E | Single Family Residential |
| South | R-PD5 | Convenience Store, Single Family Residential |
| East | R-E | Child Care Center |
| West | R-E | Church |

FINDINGS:

PROCEDURE:

The process for a General Plan Amendment and accompanying Rezoning requires that the applicant meet with the surrounding property owners. This meeting was held on Wednesday, March 10, 1999 at 6:00 p.m. at the Santa Fe Hotel & Casino, Pavilion Room located at 4949 North Rancho Drive. It is staff's understanding that while some of the nearby property owners do not oppose this request, other nearby property owners do not support this request.

Agenda Item

| |
|--|
| |
|--|

*City of Las Vegas***CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999****AGENDA DOCUMENTATION****TO:**
THE CITY COUNCIL**FROM:** WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT**SUBJECT:** REZONING RELATED TO GPA-5-99 - PUBLIC HEARING - Z-10-99 - LONE MOUNTAIN DEVELOPERS,
LIMITED**PURPOSE/BACKGROUND****GENERAL PLAN:**

The applicant has concurrently requested an amendment to the Northwest Amendment to the General Plan from R (Rural Density Residential) and ML (Medium-Low Density Residential) to SC (Service Commercial). Staff has recommended denial of that request.

REZONING:

This request will introduce additional commercial development to an area of primarily residential and residential related uses. The site is unimproved and is located adjacent to a child care center, a use that may be located in residentially zoned areas in accordance with Title 19A. Specifically, a child care center may be established in an R-E (Residence Estates) zoning district by the grant of a Special Use Permit. To the west of the site, across Jones Boulevard, is a church that is also a use that may be located in residentially developed areas in accordance with Title 19A. A church is permitted in all residential zoning districts if a Special Use Permit is approved. Although these two uses have characteristics similar to commercial development such as large parking lots and relatively high customer/visitor traffic volume, the uses are considered to be compatible with residential development.

The only commercial development that is not permitted in a residential zoning district and that is within the vicinity of this site is the 7-Eleven convenience store located adjacent to and southwest of the subject site. The establishment of these uses on the adjacent properties does not force the subject property to be developed for commercial purposes.

There are unimproved parcels located on Jones Boulevard and Lone Mountain Road. It is not unusual for properties such as these to escalate in value with speculation for commercial development to the point that the planned residential development is no longer feasible. In addition, as the applicant indicates in their justification letter, the property owner to the north desires to convert that property to commercial development. Approval of this request will result in development pressure for commercial development of an area that is primarily developed for residential purposes and that is planned for residential development.

Agenda Item

| |
|--|
| |
|--|



CITY COUNCIL MINUTES
MEETING OF
MAY 24, 1999

AGENDA DOCUMENTATION

TO:
THE CITY COUNCIL

FROM: WILLARD TIM CHOW, DIRECTOR
PLANNING AND DEVELOPMENT DEPARTMENT

SUBJECT: REZONING RELATED TO GPA-5-99 - PUBLIC HEARING - Z-10-99 - LONE MOUNTAIN DEVELOPERS, LIMITED

PURPOSE/BACKGROUND

PLOT PLAN:

The handicapped parking space shown on the site plan must conform with the requirements of Title 19A for access aisle widths. The plan depicts a 9 foot wide access aisle and a 5 foot wide access aisle where both access aisles must be 9 feet wide. The proposed site design includes 2 extra parking spaces, one of which can be eliminated and replaced with a full-width handicapped access aisle.

The buildings do not meet the minimum 10 foot setback and 8 foot landscape planter requirements along the east side property line and adjacent to the common property line with the 7-Eleven convenience store.

ELEVATIONS:

Elevation plans have not been submitted for the crash gate, fences, or walls that will surround the site. All fence and wall components must be designed in conformance with the Las Vegas Urban Design Guidelines and Standards.

Staff recommends DENIAL.

The Planning Commission (5-0-1 vote) recommends APPROVAL.

PC NOTICES MAILED: 133

APPROVALS: 0

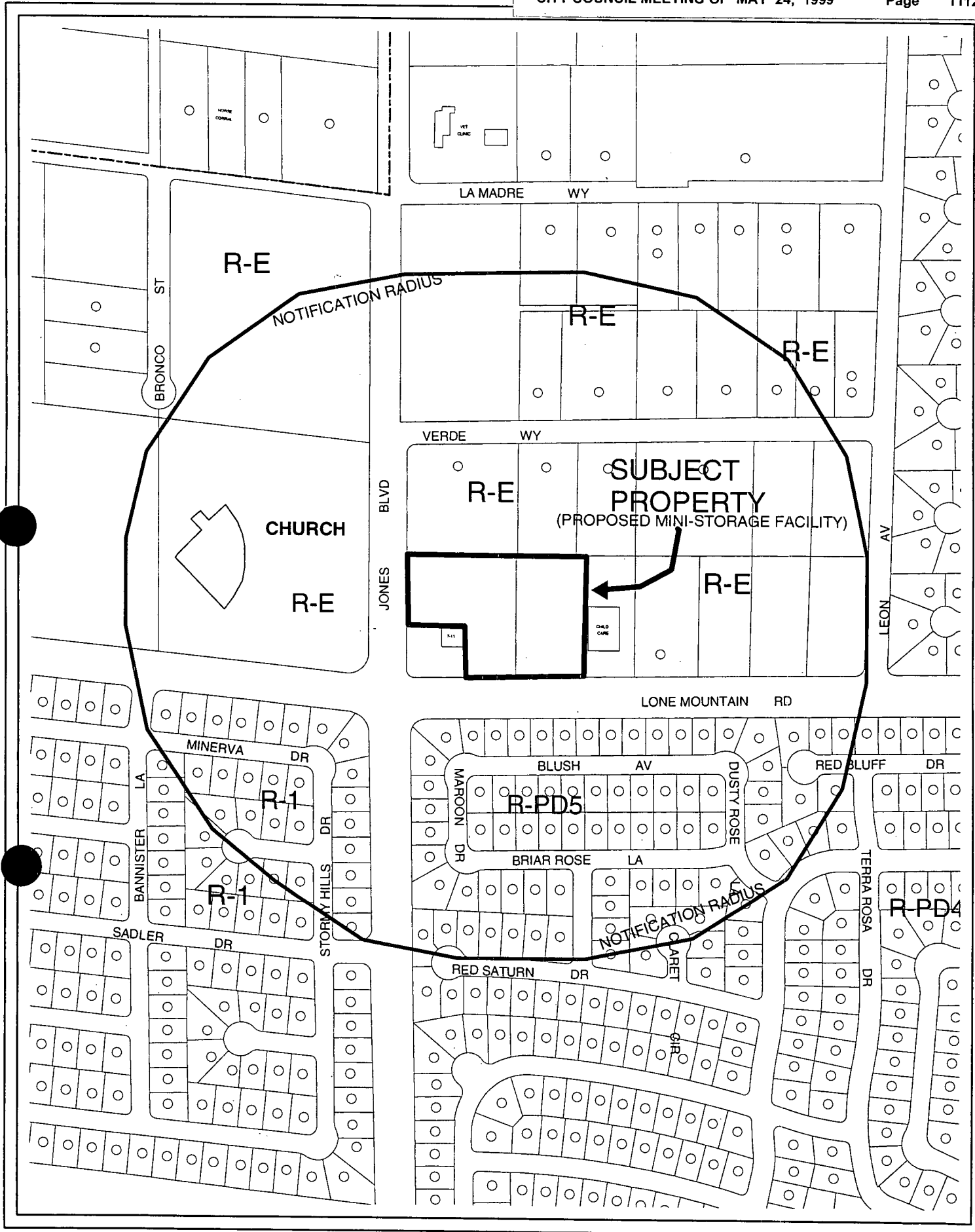
PROTESTS: 2

[Note: The protesters are concerned that approval of this request will result in additional commercial encroachment into the existing residential neighborhood.]

SEE ATTACHED LOCATION MAP

Agenda Item

| |
|--|
| |
|--|



CASE: Z-10-99

RADIUS: 750 FT

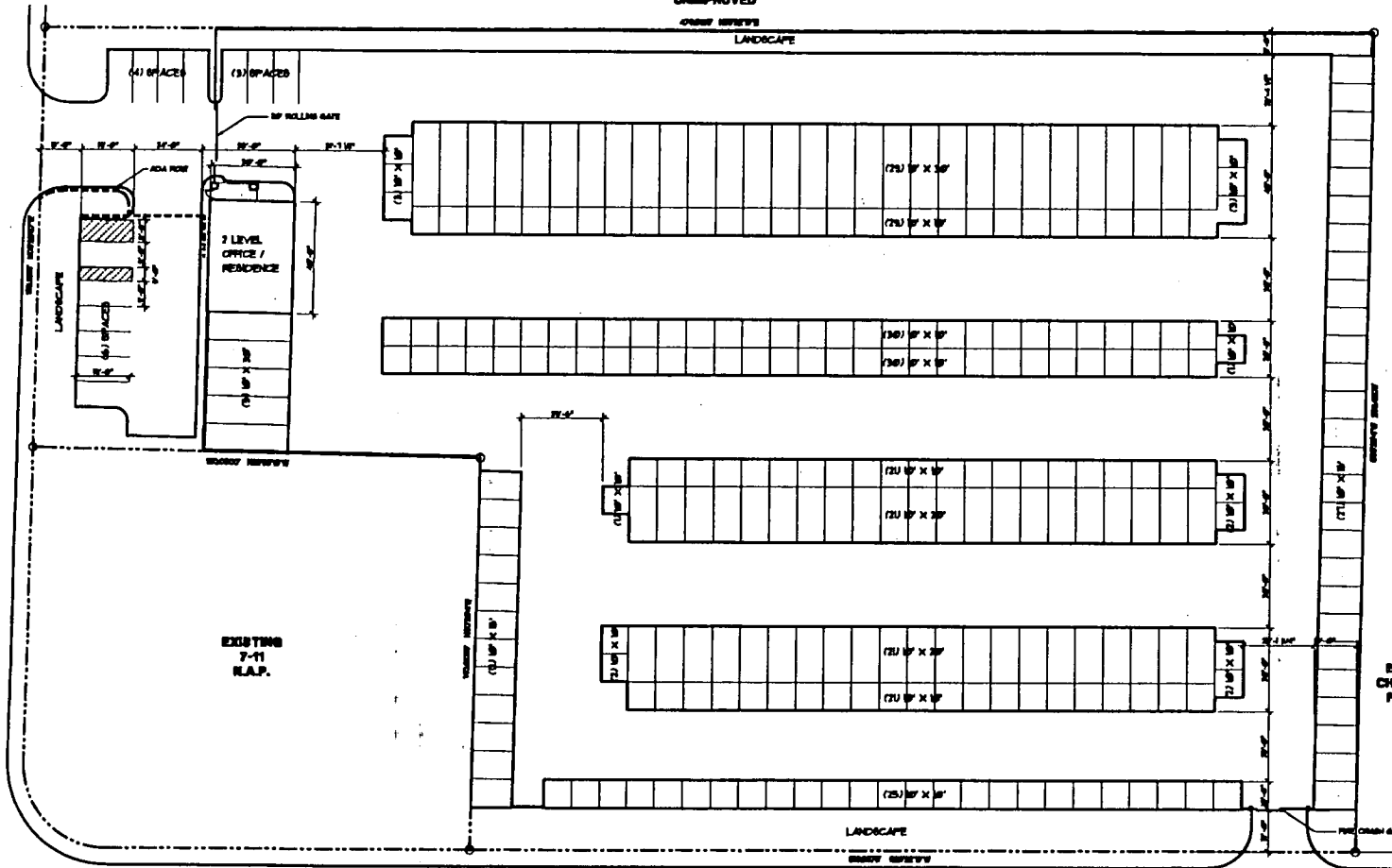
MINI STORAGE

LONE MOUNTAIN & JONES

LONE MOUNTAIN, MISSOURI
 LANE 1000000
 APPROVED 11, 1999

R - E
 UNIMPROVED

LANDSCAPE



SITE DATA

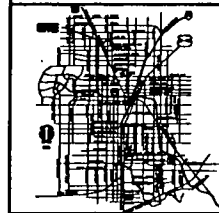
| | |
|-------------------------------|-------------|
| BUILDING AREA : | |
| (34) 10' x 30' = 10,200 S.F. | |
| (42) 10' x 20' = 8,400 S.F. | |
| (20) 10' x 10' = 2,000 S.F. | |
| (170) 10' x 10' = 17,000 S.F. | |
| (200) UNITAREA | 41,400 S.F. |
| OFFICE/RESID. AREA | 8,400 S.F. |
| TOTAL BLDG. AREA | 69,800 S.F. |

NET AREA : 117,253 S.F. (2.69 ACRES)
 COVERAGE : (69,800/117,253) 59.56 %

PARKING ANALYSIS

| | |
|-------------------------|-----------|
| PARKING REQ'D : | |
| 1/30 UNITS + 8 SPACES | |
| OUTSIDE FENCE | 11 SPACES |
| PARKING PROV'D : | |
| 1/30 UNITS + 8 SPACES | |
| OUTSIDE FENCE | 11 SPACES |
| RESIDENCE | 8 SPACES |
| TOTAL PROV'D | 19 SPACES |
| HANDICAP PARKING REQ'D | 1 SPACES |
| HANDICAP PARKING PROV'D | 1 SPACES |

VICINITY MAP



R - E
 EXISTING
 CHILD CARE
 FACILITY

LONE MOUNTAIN ROAD

R - E
 EXISTING
 RESIDENTIAL
 DEVELOPMENT

SITE PLAN



Z-10-99
 GPA-5-99
 4-15-99 QPC

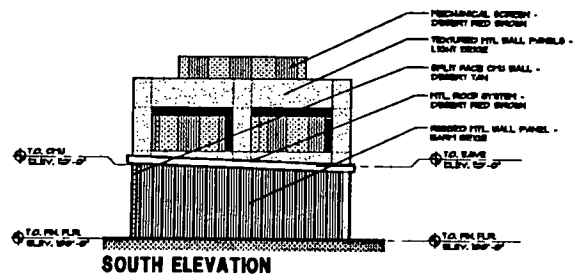
SWISHER & HALL AIA
 ARCHITECTS AND PLANNERS
 1000 N. 10TH ST. SUITE 100
 OMAHA, NE 68102-1000

STAFF

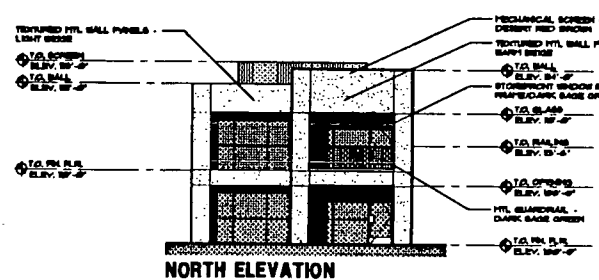
MINI STORAGE

LONE MOUNTAIN & JONES

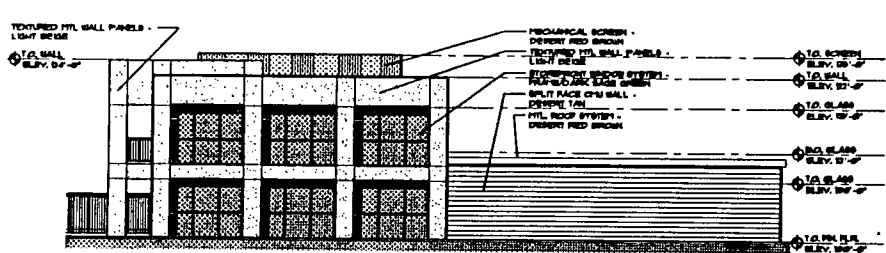
Law Offices
 10000 N. 10th Ave.
 Suite 100
 Phoenix, AZ 85020



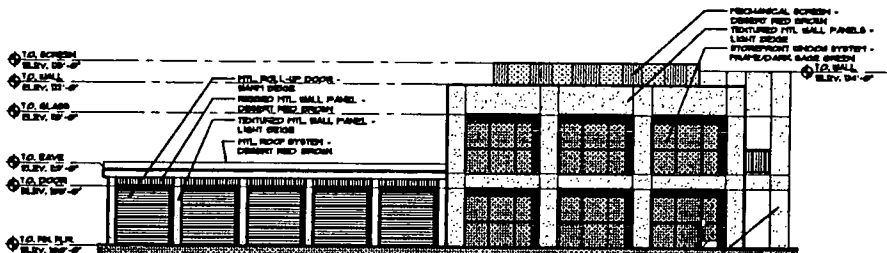
SOUTH ELEVATION



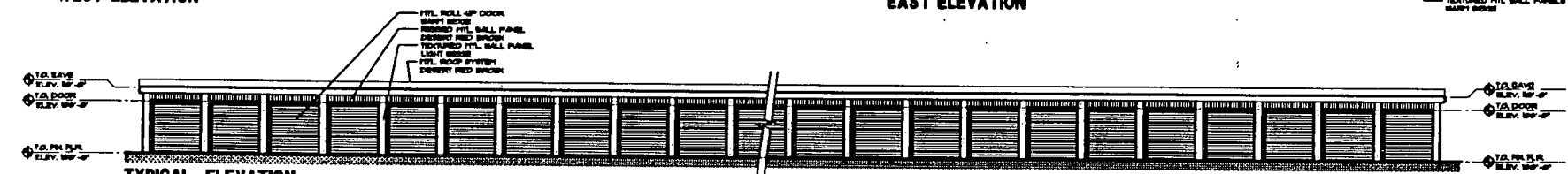
NORTH ELEVATION



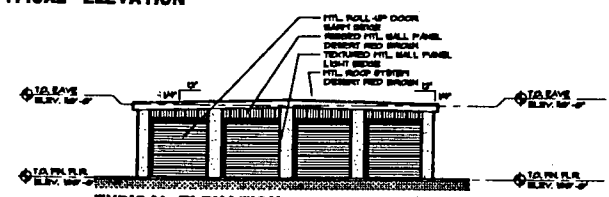
WEST ELEVATION



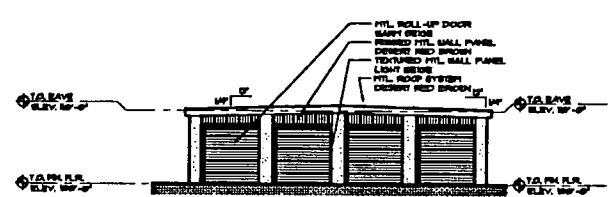
EAST ELEVATION



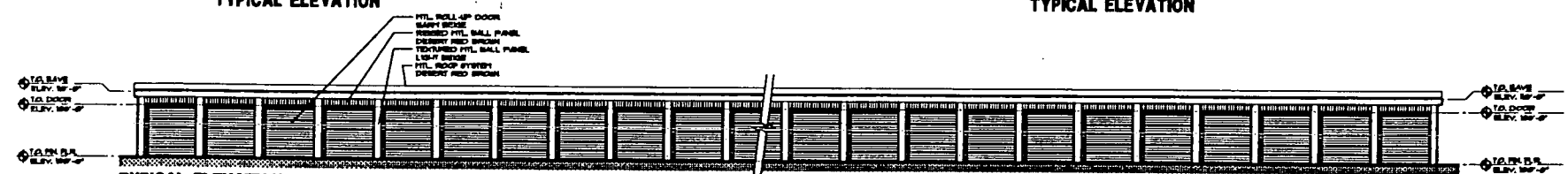
TYPICAL ELEVATION



TYPICAL ELEVATION



TYPICAL ELEVATION



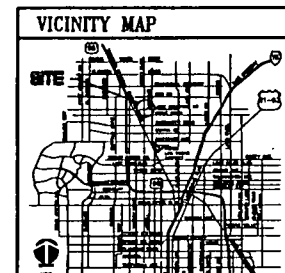
TYPICAL ELEVATION

EXTERIOR ELEVATIONS



GPA-5-99
Z-10-99
4-15-99 QPC
STAFF

SWISHER & HALL AIA
 ARCHITECTS AND PLANNERS
 10000 N. 10th Ave.
 Suite 100
 Phoenix, AZ 85020



**R - E
EXISTING
CHILD CARE
FACILITY**



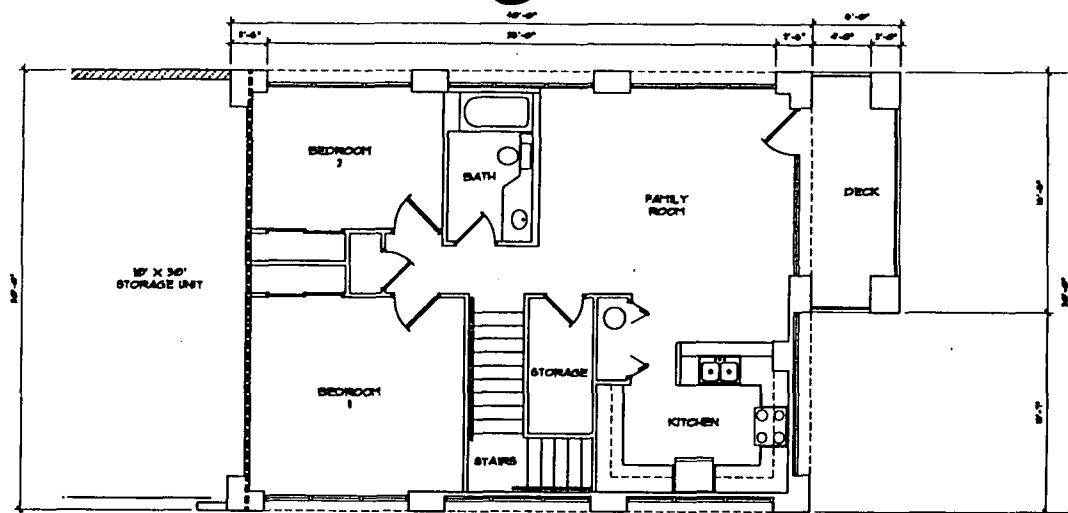
 **SWISHER & HALL AIA, LIMITED**
ARCHITECTURE AND PLANNING
2200 - 10000 170TH AVE. NW, SUITE 200
LYNN, WASH. 98035
206-765-1100 • FAX 206-765-1101 • 206-765-1102

STAFF

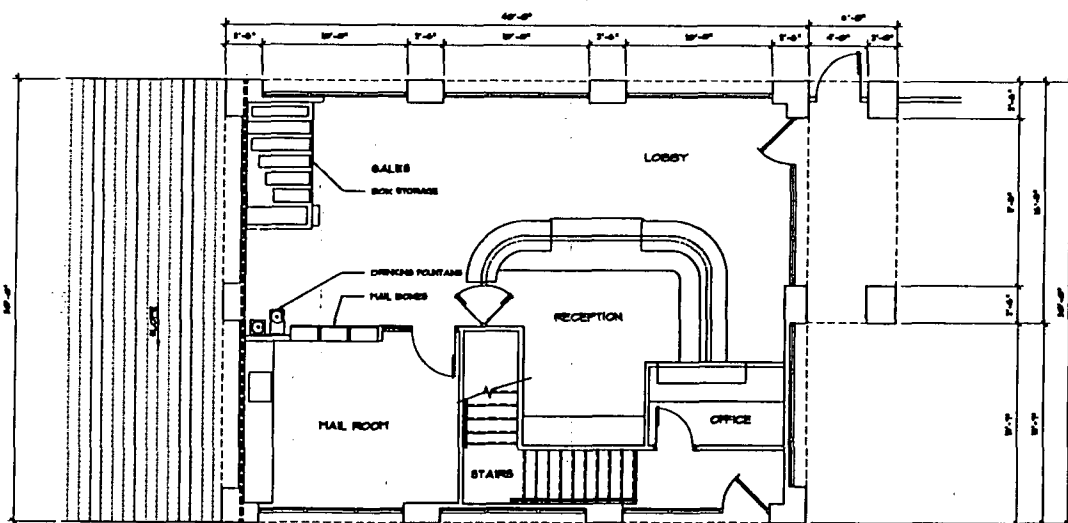
1. On 10/10/1981, the
County Controller
has been advised that

FIRST LEVEL (OFFICE) = 1,200 S.F.
SECOND LEVEL (RESIDENCE) = 1,236 S.F.

TOTAL = 2,436 S.F.



SECOND LEVEL FLOOR PLAN



FIRST LEVEL FLOOR PLAN

FLOOR PLANS



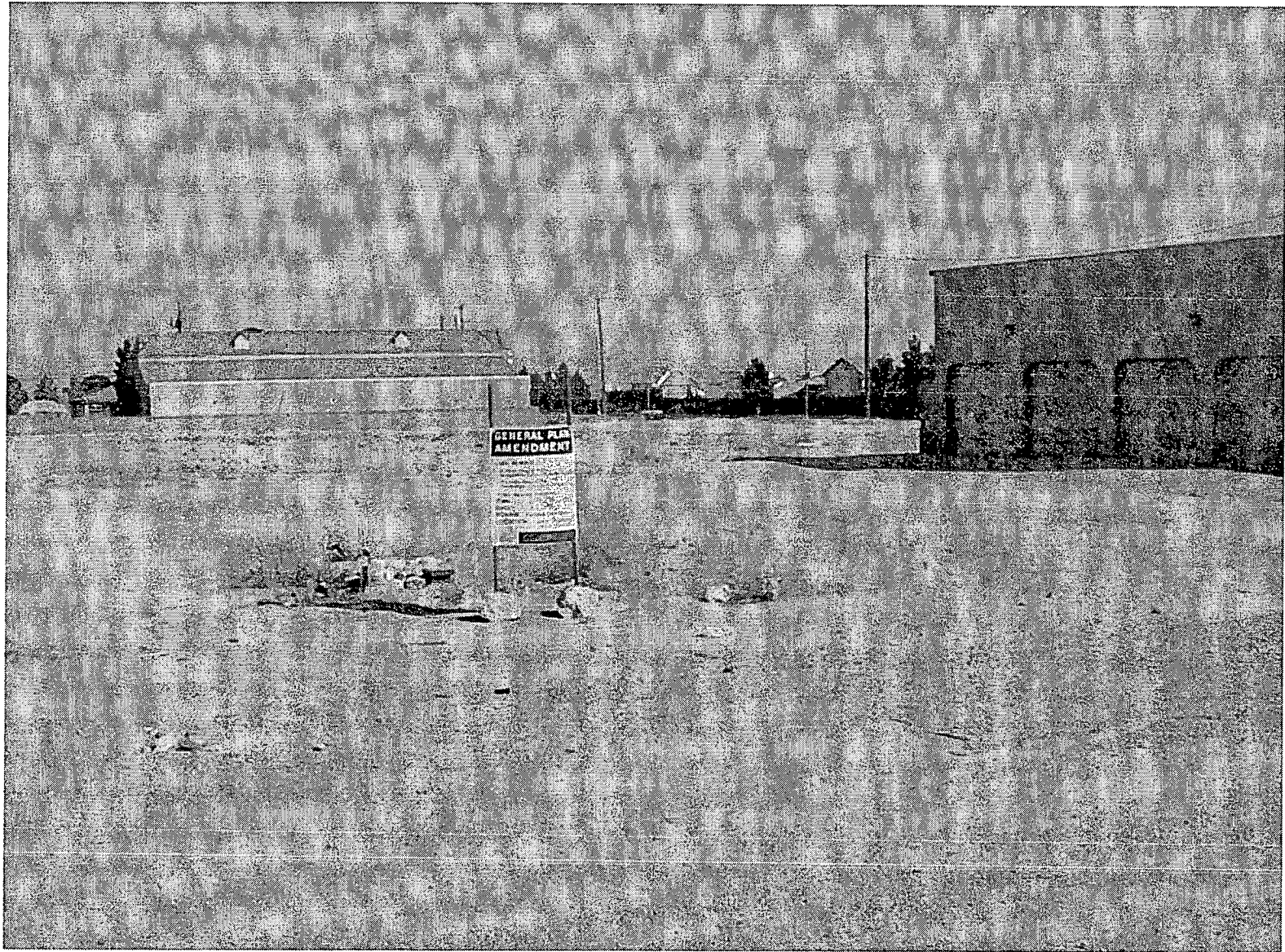
GPA-5-99
Z-10-99
4-15-99 QPC
STAFF



SWISHER & HALL AIA
 ARCHITECTS AND PLANNERS
 1001 NORTH TRENTA WAY, SUITE 101
 LAS VEGAS, NEVADA 89105
 (702) 735-1111 FAX (702) 735-1112



April 15, 1999 Quarterly Planning Commission GPA-5-99 and Z-10-99



April 15, 1999 Quarterly Planning Commission GPA-5-99 and Z-10-99

CITY COUNCIL

MEETING OF

MAY 24, 1999

City of Las Vegas

AGENDA & MINUTES

Page 140

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

130

Set date on any appeals filed or required public hearings from the City Planning Commission and Board of Zoning Adjustment meetings and dangerous buildings or nuisance/litter abatements.

DB 125 N. 11th Street, V-10-99, V-20-99, V-22-99, U-35-99, U-39-99, U-40-99, U-41-99, U-42-99, U-44-99, U-45-99, U-47-99, U-48-99, U-50-99, U-51-99, U-52-99, U-54-99, VAC-13-99, VAC-15-99, VAC-16-99, Z-30-92(7), U-12-99, U-43-99
-- 6/14/99 Agenda

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 141

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

X. ADDENDUM

None.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 142

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM**ACTION****XI. CITIZENS PARTICIPATION**

Items raised under this portion of the City Council Agenda cannot be deliberated or acted upon until the notice provisions of the Open Meeting Law have been met. If you wish to speak on a matter not listed on the agenda, please step up to the podium and clearly state your name and address. In consideration of others, avoid repetition, and limit your comments to no more than three (3) minutes. To ensure all persons equal opportunity to speak, each subject matter will be limited to ten (10) minutes.

COUNCILMAN McDONALD thanked the Council members, City staff and his parents for their support and assistance during the last four years. He also thanked his constituents in Ward 1 for re-electing him to another four year term.

MEETING ADJOURNED AT 6:18 P.M.

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 143

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

NOTES AND DIRECTIVES

COUNCILMAN BROWN directed that the comments made regarding Bid No. 99.1739.06 (Item No. 45) at the 5/10/99 City Council meeting be made a part of the 5/24/99 minutes. (See Item No. 26)

(10:40 - 11:06)

1-584/652

COUNCILMAN ADAMSEN instructed that a customer survey be conducted on the company. He would like the matter held for two weeks to have Human Resources brief the individual Council members on the cost and the changes that have been made to expedite payment of claims. (See Item No. 44)

MAYOR JONES directed that a representative of the company be present at the 6/14/99 Council meeting. (See Item No. 44)

(11:06 - 11:10)

1-1589

COUNCILMAN ADAMSEN directed that the Merialdo Lane gate installation be done immediately and as attractive as possible and that a contribution request be made to the developer (Triple Five Corporation) of Boca Park to help pay for the permanent gate. He also directed that the neighborhood residents be surveyed within six months to see how they feel about the closure. (See Item No. 88)

(11:26 - 11:53)

1-2454/2-137

COUNCILMAN BROWN indicated that comments made at this meeting should be incorporated into the 6/1/99 Recommending Committee meeting under Bill 99-28. DEPUTY CITY ATTORNEY STEVE GEORGE advised that a vote should be taken on this item. (See Item 123 - GPA-1-99)

COUNCILMAN BROWN stated that the Northwest Master Plan was adopted in 1996. With all the development in the northwest, a comprehensive review should be done. He asked staff to develop a time line, looking towards the end of 1999 and the beginning of the year 2000, for that type of review to take place. (See Item 123 - GPA-1-99)

(5:33 - 5:40)

5-3300

CITY COUNCIL

MEETING OF

MAY 24, 1999

*City of Las Vegas***AGENDA & MINUTES**

Page 144

COUNCIL CHAMBERS • 400 EAST STEWART AVENUE

ITEM

ACTION

NOTES AND DIRECTIVES

COUNCILMAN BROWN noted that the Council did not support the request for an archeologist and paleontologist. He requested the flooding comments made during discussions pertaining to the Master Plan be incorporated into this item. Also, in regard to the grading on the western border of the Master Planned Community, it should take into account the residents in the Tule Springs Community Association. (See Item 127 - Z-9-99)

(5:53 - 6:02)

6-420