

FIRST AMENDMENT

BILL NO. 98-74

ORDINANCE NO. **5113**

AN ORDINANCE RELATING TO ZONING; AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERETO; PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO; AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH.

Sponsored by:
Councilman Larry Brown

Summary: Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto.

THE CITY COUNCIL OF THE CITY OF LAS VEGAS DOES HEREBY ORDAIN
AS FOLLOWS:

SECTION 1: Title 19A, Chapter 4 of the Zoning Code of the City of Las Vegas is hereby amended by adding thereto a new subchapter, designated as Subchapter 110, reading as follows:

19A.06.110 T-C TOWN CENTER DISTRICT

A. Intent and Objectives

1. The Town Center (T-C) District is established to permit and encourage the development of a mixed use employment center which will provide economic stability and diversification for the City of Las Vegas. The primary objective of the T-C District concept is to provide employment for in excess of 100,000 individuals while, at the same time, creating a unique blending of human habitation and economic activity. The rezoning of property to the T-C District is appropriate only if the Town Center concept will be followed and the objectives set forth in Subsection 2 below are adhered to.

2. In the T-C District, the developer must demonstrate the potential for achieving the following outlined objectives throughout the planning, design and development stages:

a. Providing for an orderly and creative arrangement of land uses with respect to each other, to the Town Center and to all adjacent properties;

1 b. Providing for a variety of housing types which are not found elsewhere
2 in the City, as well as employment opportunities and commercial services to achieve a balanced
3 community for individuals and families of wide variety of ages, sizes and levels of income;

4 c. Providing for a planned and integrated comprehensive transportation
5 system for pedestrian and vehicular traffic, which may include provisions for mass transportation and
6 roadways, bicycle paths, pedestrian walkways and other similar transportation facilities;

7 d. Providing for cultural, educational, medical, religious and recreational
8 facilities;

9 e. Locating and siting structures to take maximum advantage of the natural
10 and manmade environment and to establish new view corridors; and

11 f. Providing for adequate, well-located and well-designed open space and
12 community facilities.

13 **B. Permitted Land Uses and Development Standards**

14 1. Development in the T-C District may consist of any use or appropriate
15 combination of uses that are specifically approved for the property in the Town Center Land Use
16 Matrix, as set forth in the Town Center Development Standards Manual. The developer shall identify
17 in a written analysis the proposed uses for each project and shall specify how each proposed use is
18 consistent with the Land Use Matrix.

19 2. Development in the T-C District shall conform to the Town Center
20 Development Standards Manual, which is hereby adopted by this reference. The Town Center
21 Development Standards Manual shall be on file in the Office of the City Clerk and in the Planning and
22 Development Department. The Town Center Development Standards Manual may be amended from
23 time to time by ordinance or by resolution of the City Council.

24 **C. Special Application Requirements**

25 Plans and documentation which must accompany a rezoning application are as follows:

26 1. A conceptual development plan for the property, including general land use
27 designations, parking plans, transportation plans and plans for open space and community facilities.
28 A general phasing plan shall be included to indicate the intended timing of development;

1 2. Proposed development standards that set forth architecture; densities; building
2 height, bulk and setback requirements; requirements for signage, landscaping, parking and open space.
3 The proposed standards should demonstrate consistency and compliance with the Town Center
4 Development Standards Manual;

5 3. Storm drainage information, which shall consist of a preliminary drainage study
6 completed by a registered professional engineer on a map with a minimum contour interval of five
7 feet;

8 4. Conceptual utility layout that includes tentative sewer and water main corridors;
9 and

10 5. Proposed conditions, covenants and restrictions, including architectural, design
11 and other development guidelines to be followed.

12 **D. Development Review, Recommendation, and Approval**

13 1. **Zoning Approval**

14 The rezoning of property to the T-C District shall be by means of a review and
15 recommendation by the Planning Commission and approval by the City Council, in accordance with
16 the provisions of Chapter 19A.18 of this Title. The approval of a T-C District by the City Council
17 shall be accomplished directly by ordinance. The approval of a T-C District may include the approval
18 of a Development Plan which shall thereafter govern the development of the property.

19 2. **Development Approval**

20 a. Plans for proposed development within the T-C District must be
21 submitted to the Planning and Development Department. The Director or the Director's designee shall
22 review the plans for conformance with the provisions of this Subchapter, and may require
23 modifications to the proposal in order to protect the public health, safety and welfare and to better
24 fulfill the intent of the Town Center Land Use Plan and the Town Center Development Standards
25 Manual.

26 b. Development of any project within the T-C District may be approved
27 administratively if the proposed development :

28 1) Requires no additional approval by any board or the City

1 Council; and

2
3 2) Is in full compliance with the Town Center Development
4 Standards Manual, any Development Plan which has been approved for the project, and the intent of
5 the Town Center concept.

6 c. For any other development, approval must be obtained in accordance
7 with the procedural and substantive requirements set forth in the Town Center Development Standards
8 Manual, this Subchapter, and the provisions of this Title.

9 **3. Appeal of Decision**

10 An applicant that is aggrieved by the decision of the Director or the Director's designee
11 with respect to a proposed plan for development may appeal that decision to the Planning
12 Commission. An applicant that is aggrieved by the decision of the Planning Commission may appeal
13 such decision to the City Council by filing a written request for appeal with the City Clerk within
14 fifteen calendar days after the date of the Planning Commission's decision.

15 **E. Open Space and Landscape Area Requirements**

16 A minimum of 20 percent of the gross property area proposed to be added to or
17 developed within the T-C District shall consist of any combination of open space, recreation
18 facilities, multi-purpose trails, pedestrian and bikeway facilities, other common community facilities
19 and landscaped areas in public rights-of-way. Any private recreation facility which serves more than
20 one individual lot may be counted as a part of the minimum requirement. Specific open space and
21 landscaped area requirements are as set forth in the Town Center Development Standards Manual.

22 **F. Street and Subdivision Design Requirements**

23 All development shall conform to the standard street and subdivision design
24 requirements set forth in Title 18 of the Las Vegas Municipal Code, except as otherwise provided for
25 specifically in the Town Center Development Standards Manual.

26 **G. Analogous Applications**

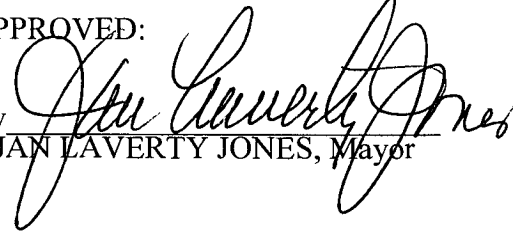
27 With regard to any issue of land use regulation that may arise in connection with the
28 T-C District and that is not addressed or provided for specifically in this Subchapter or in the Town


1 Center Development Standards Manual, the Director of Planning and Development may apply by
2 analogy the general definitions, principles and procedures set forth in this Title, taking into
3 consideration the intent of the approved the Town Center Land Use Plan.

4 SECTION 2: If any section, subsection, subdivision, paragraph, sentence, clause or
5 phrase in this ordinance or any part thereof, is for any reason held to be unconstitutional, or invalid
6 or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or
7 effectiveness of the remaining portions of this ordinance or any part thereof. The City Council of the
8 City of Las Vegas hereby declares that it would have passed each section, subsection, subdivision,
9 paragraph, sentence, clause or phrase thereof irrespective of the fact that any one or more sections,
10 subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional,
11 invalid or ineffective.

12 SECTION 3: All ordinances or parts of ordinances or sections, subsections, phrases,
13 sentences, clauses or paragraphs contained in the Municipal Code of the City of Las Vegas, Nevada,
14 1983 Edition, in conflict herewith are hereby repealed.

15 PASSED, ADOPTED and APPROVED this 9th day of November, 1998.

16 APPROVED:
17 
18 By JAN LAVERTY JONES, Mayor

19 ATTEST:
20 
21 BARBARA JO RONEMUS, City Clerk

22 APPROVED AS TO FORM:
23 Vil Hood 11-2-98
24 Date

1 The above and foregoing ordinance was first proposed and read by title to the City Council on
2 the 12th day of October, 1998 and referred to the following committee composed of
3 Councilmen McDonald and Brown for recommendation; thereafter the said committee reported
4 favorably on said ordinance on the 9th day of November, 1998 which was a regular meeting
5 of said Council; that at said regular meeting, the proposed ordinance was read by title to the
6 City Council as first introduced and adopted by the following vote:

7 VOTING "AYE": Councilmen Adamsen, McDonald, Reese and Brown


8 VOTING "NAY": NONE

9 EXCUSED: Mayor Jones

10 APPROVED:

11 
12 JAN LAVERTY JONES, Mayor

13 ATTEST:

14 
15 BARBARA JO RONEMUS, City Clerk

TOWN CENTER DEVELOPMENT STANDARDS MANUAL

**Approved by Planning Commission
August 13, 1998**

**Adopted by City Council
November 9, 1998**



TOWN CENTER DEVELOPMENT STANDARDS MANUAL

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A. INTRODUCTION

1. PURPOSE

The Town Center (T-C) District (Section 19A.06.100 of the Zoning Ordinance) requires a Land Use Plan which identifies general land use designations, transportation networks, open space and community facilities for developments within Town Center. The T-C District also requires the development of standards which establish requirements for commercial intensities, residential densities, building height and setbacks, signage, landscaping, parking and open space requirements, as well as procedures for site plan review and modification of the Town Center Land Use Plan.

These Development Standards have been prepared in accordance with the above mentioned requirement and this document has been adopted by reference and made a part of the T-C Zoning District regulations for the Town Center. The purpose of these standards is to provide minimum requirements for development and uses within Town Center. Architecture, engineering, and landscaping plans and signage programs will be reviewed by the City prior to City approval. Design criteria, developed by the City, provide additional guidance for the developer and facilitate the City's review process.

With regard to any issue pertaining to land use and development that may arise in connection with these Development Standards, and that are not addressed or provided for specifically in these standards or a development agreement entered into pursuant to Section 19A.06.030 of the City of Las Vegas Zoning Code (Title 19A of the Las Vegas Municipal Code), the applicable regulations and standards contained in the City of Las Vegas Zoning Ordinance will apply. Currently the Zoning Ordinance does not define "Auto Lube Facility", which for purposes of this document, shall be defined as a facility that is limited to performing the following specific automobile lubrication activities, on vehicles of 10,000 pounds gross vehicle weight or less: replacement of oil and filter; lubrication of the automobile chassis; and, replacement of windshield wiper fluids.

The Director of the Department of Planning and Development may waive or modify any Development Standard contained herein if, in the opinion of the Director, the waiver or modification will not be

contrary to the overall purpose and intent of the Standards or the Town Center Land Use Plan.

2. PROJECT HISTORY

On December 18, 1996, the City of Las Vegas City Council adopted the Northwest General Plan Amendment. This planning document made provisions for a Town Center. Additionally, it established a requirement to develop a Plan at a level of detail not available at the Las Vegas General Plan scale.

This provision is to establish detailed regulations, standards, conditions and programs on a more defined scale than the General Plan can provide. The area covered by this Land Use Plan is depicted on the Northwest General Plan Map as the Town Center.

The Town Center Master Plan is a guide for development of the Town Center Land Use Plan, through its maps and text, incorporates regulations and development standards affecting the use of land within the Plan area.

3. LAND USE HIERARCHY

The following Land Use Districts are found within the Town Center. Chapter 3 of the Northwest General Plan Amendment describes the Land Use Districts proposed for each parcel and Map 4 (Proposed Town Center Land Use Map) identifies the location for each of the land use districts. The TC suffix means that these Land Uses have been modified for the Town Center.

A. GENERAL COMMERCIAL (GC-TC):












The General Commercial District allows all types of retail, service, office and other general business uses of a more intense commercial character. These uses will normally require a Special Use Permit and will commonly include limited outdoor display of product and lights or other characteristics not generally compatible with the adjoining residential areas without significant transition. Examples include new and used car sales, highway commercial uses such as hotels, motels, and tourist commercial uses such as resorts and recreational facilities. When adjacent to the beltway, these uses may exceed the height of the beltway by one story, otherwise development within the GC-TC land use area is restricted to 2 stories in height.

MAP FOUR

City of Las Vegas

NORTHWEST AREA

Proposed Town Center Land Use

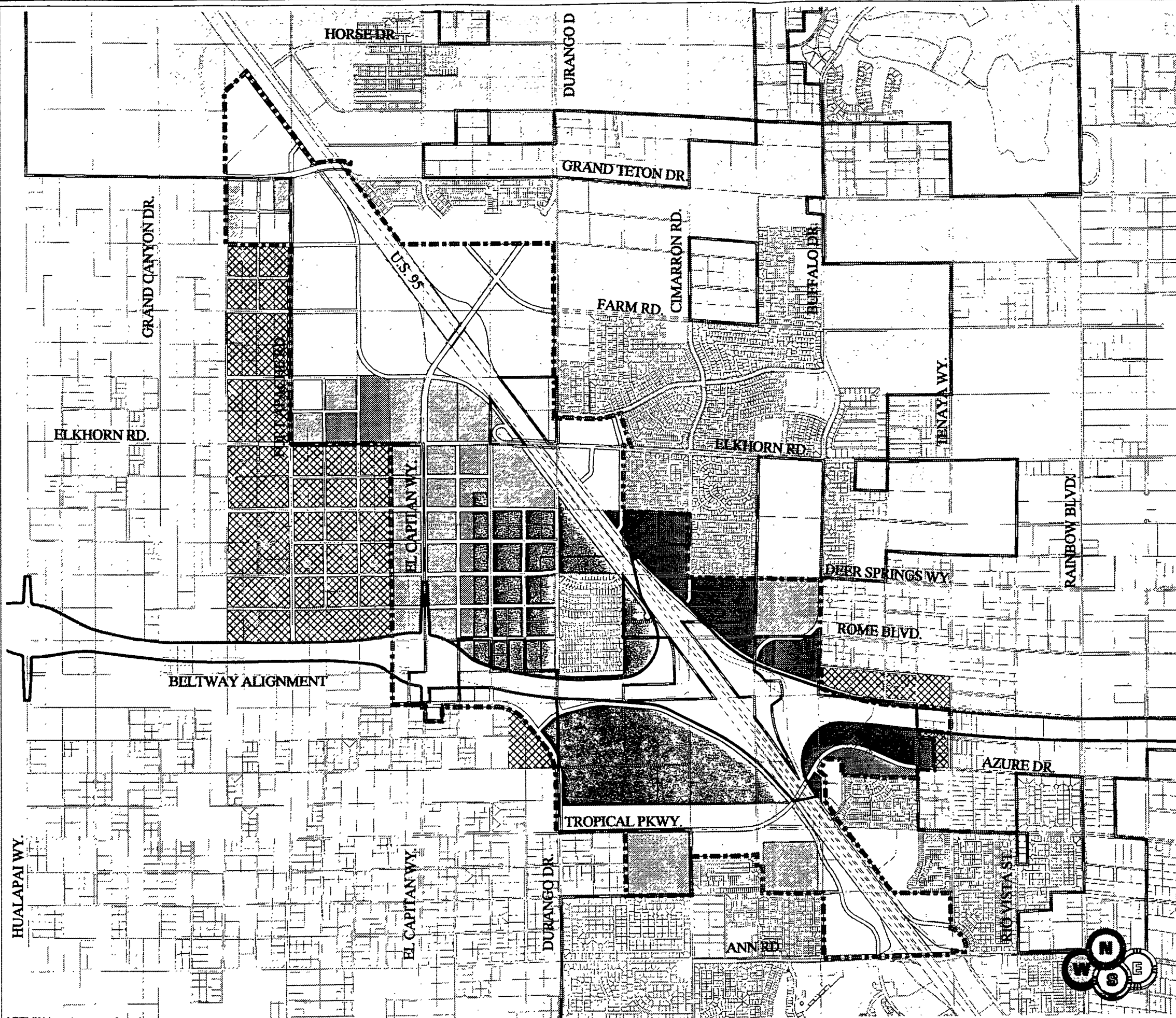
-  General Commercial (GC-TC)
-  Service Commercial (SC-TC)
-  Urban Center Mixed-Use (UC-TC)
-  Suburban Mixed-Use (SX-TC)
-  Main Street Mixed-Use (MST-TC)
-  Employment Center Mixed-Use (EC-TC)
-  Low Residential (L-TC)
-  Medium Residential (M-TC)
-  Public Facility (PF-TC)
-  Town Center
-  Future Town Center Expansion Area (See MAP THREE)

SOURCE: City of Las Vegas, Department of Comprehensive Planning

September 22, 1998

PLANNING &
DEVELOPMENT
CITY OF LAS VEGAS
Development
Services Center

GIS maps are normally produced only to meet the needs of the City. Due to continuous development activity this map is for reference only.
Geographic Information System
Comprehensive Planning
702-219-6022



B. SERVICE COMMERCIAL (SC-TC):

The Service Commercial District allows low to medium intensity retail, office or other commercial uses that are intended to serve primarily the Northwest area and do not include more intense general commercial characteristics. Examples include neighborhood shopping centers, theaters, bowling alleys, and other places of public assembly and public/quasi-public uses. This district also includes office centers offering or with professional and business services. These uses shall not exceed 2 stories in height.

C. URBAN CENTER MIXED USE (UC-TC):

The intent of the Urban Center Mixed Use District is to enable development with imaginative site and building design and maximize the use of the property. These developments should have a compatible mixture of land uses and encourage employment opportunities and the provision of goods and services to the Northwest area of the City. Development within this land use designation will typically be multi-storied having ground floor offices and/or retail with similar or residential uses utilizing the upper floors. Minimum development shall be two stories in height. Developments in excess of twelve (12) stories along the El Capitan corridor are possible with a Special Use Permit (SUP). There are no density limitations in the UC District.

D. SUBURBAN MIXED USE (SX-TC):

The Suburban Mixed Use District can be characterized as being similar to the previously described service commercial district with the addition of medium density residential being a permitted use and is intended to enable development with imaginative adjacency standards. Building and site designs which reflect a mixture of compatible land uses having either a vertical or horizontal character will maximize employment and housing opportunities. This district also is more reflective of suburban development than the Urban Center Mixed Use category. Excepting the area adjacent to the Beltway/US 95 interchange, development will typically be no more than two stories in height. Projects which are adjacent to the Beltway and/or US 95 may construct up to one story higher than the street infrastructure to which it is adjacent. Single story offices are recommended to be used as a land use buffer when adjacent to single family dwelling units.

E. MAIN STREET MIXED USE (MS-TC):

The purpose of the Main Street Mixed Use District is to create a neighborhood which generates a sense of place, a feeling of being in a unique small town business district. Because of the intensive pedestrian orientation of the Main Street Mixed Use designation, structures must be a minimum of two stories in height. Uses such as automobile services, outdoor sales yards, drive in businesses and other similar uses are prohibited from locating within this district. This designation is intended to encourage a cohesive mix of interdependent uses, including leisure shopping, and offices on the main floor and similar uses and/or medium to high density residential on the upper floor(s) in addition to providing amenities which are conducive to attracting pedestrian activity rather than automotive access and is therefore required to be a minimum of two stories in height.

Open air courtyards, plazas and public infrastructure will be required of all projects and shall be designed and developed to enhance pedestrian activity and maximize land use function. Retail and office uses adjacent to single family housing are restricted to a maximum of two stories in height and 24 hour retail operations are prohibited from locating adjacent to single family housing.

F. EMPLOYMENT CENTER MIXED USE (EC-TC):

The Employment Center Mixed Use District is intended to accommodate needed non-polluting and non-nuisance services which, under normal circumstances would not otherwise be found in Central Business District. Given the land use constraints of the Northwest General Plan Amendment, very little opportunity for light manufacturing uses exist within the Northwest sector of the City. Given the propensity for visual pollution, all uses within the district are required to be completely self-contained within a structure giving a business park appearance. No outside storage is allowed. The Employment Center Mixed Use District permits the broadest spectrum of uses within the Town Center; however, residential development opportunities are minimal.

G. LOW DENSITY RESIDENTIAL (L-TC):

The Low Density Residential District has a density range from 3.5 to 5.5 units per gross acre. This district permits single family detached homes as well as other more imaginative Low Density residential development which put an emphasis upon common open space. Local supporting land uses such as parks, other public recreational facilities, schools and churches are also allowed in this district.

H. MEDIUM DENSITY RESIDENTIAL (M-TC):

The Medium Density Residential District has a density range from twelve (12) units to twenty-five (25) units per gross acre. Projects within the M-TC district shall place an emphasis on maximizing usable common open space. As in the Low Density Residential District local supporting public and quasi public uses are permitted as well.

I. PUBLIC FACILITY (PF-TC):

The Public Facilities district is intended to accommodate any property which is used for a Public and/or Quasi-Public purpose. Any project which is owned and operated by a governmental agency (e.g.: schools) or is a used solely by a non-profit organization (e.g.: religious facility) qualifies for this land use designation. Utility projects can also qualify for his designation but must adhere to the design regulations of Town Center.

B. DEVELOPMENT USES

1. PERMITTED USES

This chapter indicates which uses are permitted in each of the eight Land Use Districts. The Permitted Uses Matrix (Table 1) identifies those uses which are permitted by right, conditionally permitted, and those which require approval by special use permit.

- A. Other uses may be added by following the Modification Procedures found in Section 19A.06.100(F)(3) of Title 19A.
- B. Uses not specifically identified shall not be permitted in areas other than indicated herein unless they are specifically noted on development plans submitted for review and incorporated into the Development Standards prior to project approval.

2. PERMITTED USES MATRIX LEGEND

A. Permitted Uses (P):

The use is permitted by right within the designated Land Use District. This does not exclude other uses which are generally considered accessory to the primary use. An accessory use or structure which is customarily incidental to the principal use or structure, and is located on the same lot or tract shall be permitted as an accessory use without being separately listed as a permitted use. Accessory uses may not occupy more than 30 percent of the gross floor area utilized by the primary use.

B. Conditional Uses (C):

The use is permitted subject to meeting specified conditions. These conditions are listed following the Permitted Use Matrix.

C. Special Use Permits (S):

The principle use may be permitted in the designated Land Use district only after obtaining a Special Use Permit in accordance with Section 19A.18.060 of Title 19A.

D. Temporary Commercial Permits (TCP):

Application for a Temporary Commercial Permit must be made per Section 19A.04.030 of Title 19A.

E. A blank square indicates that the use is not permitted in that District.

The following matrix implements the above described legend for each proposed land use.



Permitted Uses

COMMERCIAL USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities TC
Alcoholic Beverage Sales / Liquor Stores	S	S	S	S	S	S			
Amusement Parks (Outdoor)	S	S	S	S		S			P
Antique and Collectibles Stores	P	P	P	P	P				
Art Supply Stores	P	P	P	P	P				
Auto Body Repair Shops						C			
Auto Lube Facility	S	S		S					
Auto Mechanical Repair and Service (Minor)						C			
Auto Mechanical Repair Shops (Major)						C			
Auto Rental (Passenger vehicles only)	P					P			
Auto Sales (New)	C					C			
Auto Sales (Used, with new car sales)	C					C			
Auto Service Stations	S	S	S	S	S	S			
Barber/Beauty Shop	P	P	P	P	P	P			
Banks/Financial Institutions	P	P	P	P	P	P			
Boat Dealerships	P					P			
Bowling Centers/Lanes	P	P	P	P	C	P			
Business and Professional Offices	P	P	P	P	P	P			
Car Washes (Automatic)	S	S		S		S			
Cemeteries									S
Child Care (Limited)	P	P	P	P	P	P			
Child Care (Commercial)	P	P	P	P	P	P			
Clothing Stores	P	P	P	P	P	P			
Clubs: Public & Private (Non-Profit)	P	P	P	P		P			P
Convalescent Facilities	S	S	S		S				S
Convenience Stores (No Fuel Pumps)	P	P	P	P	C	P			
Convenience Stores (w/Fuel Pumps)	S	S		S		S			



Permitted Uses

COMMERCIAL USES continued	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cnte Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Dance/Gymnastic/Exercise Studios	P	P	P	P	P				P
Dental Laboratory			P	P	C	P			
Drug Stores	P	P	P	P	P	P			
Dry Cleaner/Laundry	P	P	P	P	P	P			
Equipment Rental (Small Equipment, Indoor Only))	S	S				C			
Flea Markets						P			
Florist	P	P	P	P	P	P			
Furniture Stores (Indoor Only)	P	P	P	P	P	P			
Gaming (Restricted)	S	S	S	S	S	S			
Garden Supply Stores						C			
General Merchandise/Wholesale	P	P	P	P	P	P			
Gift Stores	P	P	P	P	P	P			
Grocery Stores	P	P		P		P			
Golf Cart Sales (Indoor Only)	P	P				P			
Hardware Stores/Building Supplies (Indoor Only)	P	P		P	P	P			
Health Food Stores	P	P	P	P	P	P			
Health Spas/Athletic Clubs/Fitness Centers	P	P	P	P	C	P			P
Heavy Equipment Sales & Service						S			
High Tech/Light Assembly & Manufacturing						C			
Home Occupations			C		C	C			
Hotel, Motel, Inns, Resorts	S		S	S	S	S			
Laundromats, (Coin Operated)		S	S	S	S	S			
Liquefied Petroleum Gas Installation	S	S				S			S
Lube & Tune	S	S				S			
Martial Arts Studio	P	P	P	P	P	P			
Mini-Storage Facilities	S	S		S	S	S			



Permitted Uses

COMMERCIAL USES continued	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Mortgage Company	P	P	P	P	P	P			
Mortuaries/Funeral Homes/Crematories		S				S			
Night Clubs/Discotheques	S		S		S	S			
Offices, General Business	P	P	P	P	P	P			
Offices, Medical	P	P	P	P	P	P			
Office Supply Stores	P	P	P	P	P	P			
Outdoor Storage/Sales	S	S	S	S	S	S			
Pawn Shops									
Pet Boarding Kennels						S			
Pet Cemeteries/Crematories									
Pet Shops	C	C	C	C	C	C			
Plant Nurseries (Indoor Only)	P	P	P	P		P			
Post Office/Annexes	P	P	P	P	P	P			
Print Shop/Copy Service			P	P	P	P			
Product Distribution/Storage						P			
Professional/Governmental Offices	P	P	P	P	P	P			P
Pubs, Bars & Lounges (Taverns, etc.)	S		S		S	S			
Recreational Vehicle Sales						P			
Rental Stores (Small tools & Household Items)						C			
Rental Service Stores/Yards (Large Equipment)						S			
Rescue Mission, Shelter for the Homeless	S					S			
Repair Shops (Appliances)						C			
Restaurants (w/out drive-up)	P	P	P	P	P	P			
Restaurants (w/drive-up)	S	S		S		S			
RV Service/Storage						S			
Scientific Research Facilities			S	S	S	P			

Permitted Uses

COMMERCIAL USES continued	General Commercial T-C	Service Commercial T-C	Urban Cntr Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Second Hand Stores									
Sidewalk Vending			S		S				
Skating Rinks (Ice/Roller)	S	S	S		S	S			P
Small Animal Hospital/Clinic				S		P			
Special Events (See Municipal Code)	C	C	C	C	C	C			C
Specialty Shops (such as art supply stores, beauty salons, barber shops, florists, specialty food and all other similar retail shops)	P	P	P	P	P	P			
Taxidermists									
Theaters, Movie	P	P	P	P	P	P			
Thrift Shops						C			
Tow Truck Service/Yards						S			
Truck Sales Rentals (U-Haul, etc.)						S			
Veterinary Hospitals/Clinics				S		S			
Wedding Chapels			P		P	P			



Permitted Uses

HOUSING FACILITIES	General Commercial T-C	Service Commercial T-C	Urban Cntr Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Mixed Use T-C	High Density T-C	Public Facilities T-C
Caretaker/Domestic Units			C	C	C	C			
Catered Living Quarters			S	S				P	
Extended Care Facilities			S	S			S	S	
Guest Houses									
High Density (25 + du/ac)- Mixed Use			P	P	S				
High Density (25 + du/ac) - Single Use			S	S				P	
Low Density (1-5.5 du/ac)							P		
Retirement Residential			S	S	S		P	P	



Permitted Uses

PUBLIC & QUASI-PUBLIC USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Cellular Communication Towers/Microwave Dish	S	S	S	S	S	S			
Community Information Centers	P	P	P	P	P	P			P
Electric Sub-station	S	S	S	S	S	S			S
Emergency Medical Facilities	P	P	P	P		P			P
Fire Stations	P	P	P	P		P			P
Hospitals (Included Related Facilities)	P	P	P	P		P			P
Owner Assoc. Buildings and Facilities	P	P	P	P	P	P			
Parking Lots/Structures (non-residential)	P	S	P	P	P	P			P
Police stations	P	P	P	P		P			P
Pump Stations	S	S	S	S		S			P
Radio, Cable & Television Stations	S	S		S		S			
Transit Stops	P	P	P	P	P	P			P
Transportation & Transit Maintenance Facilities						S			S
Utility Service Yards						P			
Wastewater Treatment Facilities						P			
Water Storage Facilities	P	P	P	P		P			P
Solar Energy Systems	C	C	C	C	C	C	C	C	C



Permitted Uses

SUPPORT USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Surbaban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Ancillary Eating Facilities, and Specialty Shops associated with Recreational Facilities	P	P	P	P	P	P			P
Commercial Recreation Uses	S	S	S	S	C				S
Golf Courses/Clubhouses (Public & Private)									P
Maintenance facilities related to Open Space Uses (Lawn Equipment)	P	P	P	P		P			P
Open Space & Open Space Easements	P	P	P	P	P	P			P
Pedestrian Trails & Paths	P	P	P	P	P	P			P
Recreation Centers	P	P	P	P	P	P			P
Recreation Fields, Courts & Other Sports Facilities	P	P	P	P	P	P			P
Recreational Vehicle Campground									
Stadiums/Arenas	S					S			S
Storm Drainage Structures, Retention & Detention Areas	P	P	P	P	P	P			P
Swimming Pools (Public)	P	P	P	P		P			P
Youth Centers/Clubs	S	S	S	S		S			S



Permitted Uses

EDUCATIONAL FACILITIES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Colleges & Universities	P	P	P	P		P			P
Satellite Campus of Colleges & Universities	P	P	P	P	P	P			P
Vocational/Trade Schools				P		P			P
High Schools			C	C					C
Jr. High Schools			C	C					C
Elementary Schools									C



Permitted Uses

COMMUNITY SUPPORT USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Amphitheaters									P
Art Gallerles	P	P	P	P	P	P			P
Charitable /Public Service Event (Carnival Fundraiser)	TCP	TCP	TCP	TCP	TCP	TCP			TCP
Convention Centers	S	S	S	S	S	S			P
Conference Centers	S	S	S	S	S	S			P
Libraries	P	P	P	P	P	P			P
Museums, Private	C	C	C	C	C	C			C
Museums, Public	P	P	P	P	P	P			P
Religious facilities	P	P	P	P	C	P			P
Special Community Events	TCP	TCP	TCP	TCP	TCP	TCP			TCP
Theaters, Indoor (West of Highway 95 Only)			P	P	P				P



Permitted Uses

MISCELLANEOUS USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Helistop and Heliport	S	S	S	S		S			S
TEMPORARY USES	General Commercial T-C	Service Commercial T-C	Urban Cntr. Mixed Use T-C	Suburban Mixed Use T-C	Main St. Mixed Use T-C	Employ Cntr. Mixed Use T-C	Low Density T-C	High Density T-C	Public Facilities T-C
Temporary Construction Offices	TCP	TCP	TCP	TCP	TCP	TCP			TCP
Temporary Sales Offices	TCP	TCP	TCP	TCP	TCP	TCP			TCP
Temporary Use (Other)	TCP	TCP	TCP	TCP	TCP	TCP			TCP



3. CONDITIONAL USES

A. GENERAL

In addition to the other requirements of these standards, the following regulations shall apply to each of the uses in districts where they are indicated with a "C" in the Land Use Matrix. The Conditional Uses are listed alphabetically below in Section (C).

B. SPECIAL USE PERMIT REQUIRED

Uses requiring a Special Use Permit are deemed as being potentially incompatible with the Town Center concept and those uses will therefore be conditioned to ensure compatibility.

C. CONDITIONS

1) AUTO BODY REPAIR SHOP

- a. No used or discarded automotive parts or equipment shall be located or stored in any open area outside of an enclosed building.
- b. All disabled or wrecked vehicles shall be stored within an enclosed structure.
- c. Openings in service bays shall not face public rights-of-way and shall be designed to minimize visual intrusion into adjoining properties.
- d. All repair work shall be performed within an enclosed building.

2) AUTO MECHANICAL REPAIR AND SERVICE (MAJOR)

- a. All repair and service work shall be performed within a completely enclosed building.
- b. Openings to the service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- c. No used or discarded automotive parts or equipment shall be located or stored in any open area outside of an enclosed building.
- d. No outside storage of stock, equipment, or residual used equipment.
- e. All disabled vehicles shall be stored in an area which is screened from view from the surrounding properties and adjoining streets.

3) AUTO MECHANICAL REPAIR AND SERVICE (MINOR)

- a. All repair and service work shall be performed within a completely enclosed building.
- b. Openings to the service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- c. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.
- d. No outside storage of stock, equipment, or residual used equipment is permitted.
- e. All disabled vehicles shall be stored in an area which is screened from view from the surrounding properties and adjoining streets. Vehicles shall be stored within an enclosed structure.

4) AUTO RENTALS

- a. The minimum site area shall be 25,000 square feet.
- b. The installation and use of an outside public address or bell system is prohibited.
- c. No used or discarded automotive parts or equipment shall be located or stored in any open area outside of an enclosed building.
- d. All exterior lighting shall be screened or otherwise designed so as not to glare directly onto any adjacent parcel of land.
- e. Service bays for repairs, installations, cleaning or gas dispensing services shall not face a public street or a residential zoning district and shall be designed to minimize the visual intrusion into adjoining properties.

5) AUTO SALES (NEW)

- a. Motor vehicle sales may include an outdoor used car sales lot when operated by a franchised, new car dealer. The used car sales shall be located directly adjacent to the new car sales and service facility and be operated as an incidental use.
- b. The installation and use of an outside public address or bell system is prohibited.
- c. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.
- d. All exterior lighting shall be screened or otherwise designed so as not to shine directly onto any adjacent parcel of land.
- e. All accessory services shall be performed inside an enclosed structure.

- f. Openings in service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- g. Accessory automobile rental is permitted.

6) AUTO SALES (USED)

- a. The minimum site area shall be 25,000 square feet.
- b. The installation and use of an outside public address or bell system is prohibited.
- c. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.
- d. All exterior lighting shall be screened or otherwise designed so as not to shine directly onto any adjacent parcel of land.
- e. Openings in service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- f. Accessory automobile rental is permitted.

7) BOWLING CENTERS/LANES

- a. Bowling facilities shall not locate within 330 feet of any single family dwelling.

8) CARETAKERS/DOMESTIC UNITS

- a. Unit shall not be on the ground floor.
- b. A caretaker or domestic unit shall be designed to contain a bedroom, bathroom, kitchen and other living space, provided the living quarters are attached to and have interior access to the main structure.
- c. The unit shall only be occupied by a caretaker or employee of the occupant of the main dwelling.

9) CHILD CARE COMMERCIAL

- a. Access to the child care center shall be by means of a collector street or larger
- b. The site shall be designed so that all discharging or loading of passengers from a vehicle is accomplished on the site. The layout of driveways, circulation patterns and parking shall be approved by the City Traffic Engineer prior to the issuance of any building permits.

- c. Where structures or play areas have single family residential adjacency:
- A block wall eight feet in height shall be installed along the common property line, with an additional buffer of ever-green trees along the play area. The trees shall be a minimum 24 inch box in size and shall be installed at a minimum of 20 feet on-center and shall be a variety that will grow together to form a visual screen.
 - The building entrance and access shall be oriented away from residential uses on local streets.
 - Outdoor play shall be limited to daylight hours.
 - Outdoor lighting shall be designed so as not to shine directly onto any abutting property.
- d. The use is subject to the child care regulations and standards of the Department of Finance and Business Services.

10) CONVENIENCE STORES (NO FUEL PUMPS)

- a. May not locate within 330 feet of any single family dwelling.

11) COMMERCIAL RECREATION USES

- a. May not locate within 330 feet of any single family dwelling.

12) DENTAL LABORATORY

- a. May not locate within 330 feet of any single family dwelling.

13) EQUIPMENT RENTAL (SMALL EQUIPMENT)

- a. Outdoor storage, rentals and sales are prohibited. Openings to storage facilities shall not face public rights-of-way and shall be designed to minimize visual intrusion into adjoining properties.

14) GARDEN SUPPLY

- a. Garden tools, supplies, and fertilizer and non-living material shall be stored only within an enclosed building or other area screened from view from any abutting streets or adjacent residential property.
- b. Live plants may be located outside of an enclosed building provided their location and arrangement will not be detrimental to internal site circulation or to abutting streets or adjacent property.

15) HEALTH SPA/ATHLETIC CLUB/FITNESS CENTERS

- a. May not locate within 330 feet of any single family dwelling.

16) HIGH TECH/LIGHT ASSEMBLY AND MANUFACTURING

- a. No outside storage is permitted.
- b. All processing, manufacturing, and storage of materials, equipment, and products shall be performed in a completely enclosed building.
- c. There shall be no audible or noticeable indication of a manufacturing operation outside the building.
- d. There shall be no smoke, dust, or foreign matter emitted.

17) MINI-STORAGE

- a. No more than one manager or security residence shall be permitted.
- b. Within the MS District all storage facilities shall be located above the ground floor and no outdoor storage of any kind will be permitted.
- c. No business shall be conducted from or within a mini-storage facility.
- d. Retail sales of stored items on the premises is prohibited.
- e. The commercial repair of motor vehicles, boats, trailers and other like vehicles shall be prohibited.
- f. The operation of spray painting equipment, power tools, welding equipment or other similar equipment shall be prohibited.
- g. The production, fabrication or assembly of products shall be prohibited.
- h. Within the EC District the rental of single unit trucks and small utility trailers shall be permitted as an accessory use to a mini-storage use, provided the business is conducted out of the same office as that of the mini-storage facility. No trucks or trailers shall be displayed in public view and the combined total of all trucks and trailers stored on site shall not exceed a ratio of two trucks or trailers for each 100 storage units. On-site parking shall be provided for each rental vehicle in excess of the number required for the mini-storage complex.
- i. Within the EC District truck and trailer storage may be permitted when screened from the street and adjacent property by exterior walls.
- j. All storage shall be within an enclosed building except for the storage of recreational vehicles which shall be completely screened from view from surrounding properties and abutting streets by exterior walls.
- k. Within the Town Center all exterior walls of the mini-storage facilities shall be constructed with a facade so as to appear as an office or retail facility.

18) Museums, Private

- a. Outdoor storage and/or exhibits are prohibited.

19) PET SHOP

- a. All animals shall be confined within an enclosed building at all times.
- b. The building shall be designed to provide complete sound barriers and odor protection for the adjacent property.

20) RENTAL STORES (SMALL TOOLS & HOUSEHOLD ITEMS)

- a. No outside storage is permitted.

21) REPAIR SHOPS (APPLIANCES)

- a. No outside storage is permitted.

22) SATELLITE CAMPUS OF COLLEGES & UNIVERSITIES

- a. May not locate within 330 feet of any single family dwelling.

23) SCHOOLS, PUBLIC AND PRIVATE (ELEMENTARY, JR. HIGH SR. HIGH)

- a. May not locate adjacent to, nor have direct access/egress to any arterial street in the Town Center.
- b. Requires site plan review by the Planning Commission.

24) SOLAR ENERGY SYSTEMS

- a. Must be screened from public view such that it cannot be discerned or seen from any public rights- of-way.

25) Special Events

- a. Per the requirements of the Municipal Code and Title 19A.

26) TEMPORARY CONSTRUCTION OFFICES

- a. Must obtain a Temporary Commercial Permit per the requirements of Title 19A.

27) TEMPORARY SALES OFFICES

- a. Must obtain a Temporary Commercial Permit per the requirements of Title 19A.

28) THRIFTSHOP

- a. No outdoor display, sales or storage of any merchandise shall be permitted.
- b. The use shall comply with the applicable requirements of Title 6 of the Las Vegas Municipal Code.

29) UTILITY SERVICE YARDS

- a. All areas used for the parking and storage of operable vehicles shall be paved.
- b. All stored vehicles, parts, and equipment shall be stored within an enclosed structure with the access bays located so as not to be visible from adjoining properties or public rights-of-way.

4. SPECIAL USE PERMITS

A. GENERAL

- 1) The uses in this section require a Special Use Permit and have base requirements which shall be met prior to approval of the Special Use Permit. These uses are indicated by an "S" in the Land Use Matrix.
- 2) The following conditions are the minimum conditions for approval of a Special Use Permit for this use. Additional conditions may also be required during the public hearing process to ensure compatibility of that use in relation to surrounding uses and the pattern of development.
- 3) Special Use Permits which do not have minimum requirements listed in the following section may have conditions placed on the proposed use during the public hearing process.
- 4) The following requirements are minimum standards that must be satisfied.
- 5) The following uses, with minimum Special Use Permit requirements, are listed below alphabetically.

B. MINIMUM REQUIREMENTS

1) ALCOHOLIC BEVERAGE SALES/LIQUOR STORES

Pursuant to its general authority to regulate the sale of alcoholic beverages, the City Council declares that the public health, safety and general welfare of the City are best promoted and protected by requiring that:

- a. No beer/wine/cooler on-sale, beer/wine/cooler off-sale, beer/wine/cooler on-off-sale, package, wholesale general use shall be located within 400 feet of any church, synagogue, school, child care facility licensed for more than twelve children, or City park.
- b. The distances referred to in Paragraph One shall be measured in a straight line from the nearest property line of the church, synagogue, school, or child care facility, and from the nearest property line of a City park to the nearest property line of the proposed liquor establishment premises, disregarding all intervening obstacles.

- c. When considering a Special Use Permit application for a liquor establishment for off-premise consumption which also requires a waiver of the distance limitation in Paragraph One, the Planning Commission shall take into consideration the distance policy and shall, as part of its recommendation to the City Council, state whether the distance requirement should be waived and the reasons in support of the decision.
- d. All businesses which sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

2) Amusement PARKS

- a. Amusement parks will be reviewed and conditions imposed on a case by case basis.

3) AUTO LUBE FACILITY

- a. No repairs to automobiles will be performed. Work will be limited to the replacement of oil and filter; lubrication of the automobile chassis; and, replacement of windshield wiper fluids.
- b. All work shall be performed within a completely enclosed building.
- c. Openings to the service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- d. No outside storage of stock, equipment, or residual used equipment is permitted.
- e. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.

4) AUTO SERVICE STATION

- a. All activities and operations shall be conducted entirely within an enclosed structure, except as follows:
 - The dispensing of petroleum products, water and air from pump islands.
 - The provision of emergency services of a minor nature.
- b. Pump islands shall be located in accordance with Chapter D, Section 3, subsection A (Gas and Service Stations) of this Development Standards Manual.
- c. No vehicle shall be parked on the premises for the purposes of offering the vehicle for sale.
- d. No used or discarded automotive parts or equipment or disabled, junked, or wrecked vehicles shall be located in any open area outside the main structure.

- e. Noise from bells or loudspeakers shall not be audible beyond the property line at any time.
 - f. The installation of LPG tanks is not permitted.
- 5) CAR WASHES (AUTOMATIC)
- a. Reviewed and conditioned on a case by case basis.
- 6) CATERED LIVING QUARTERS
- a. Reviewed and conditioned on a case by case basis.
- 7) Cellular Communication Tower
- a. Subject to the provisions of Paragraph Two below, a wireless communication facility is permitted if it utilizes stealth technology (made part of another structure and isn't visually discernible) and is not within 330 feet of any single family dwelling. Otherwise, a Special Use Permit is required.
 - b. Towers and monopoles are subject to Subchapter 19A.08.060.
- 8) CEMETERIES
- a. A decorative masonry and/or wrought iron fence with a minimum height of six feet shall be constructed around the perimeter of the cemetery site. The wall along the primary street frontage shall be set back a minimum of 35 feet from the front property line. The front yard area shall not be used for interment and shall be landscaped.
 - b. Cemeteries shall only be allowed on parcels abutting and having access to collector street or larger.
- 9) COMMERCIAL RECREATIONAL USES
- a. Reviewed and conditioned on a case by case basis.
- 10) CONVENTION CENTER
- a. Reviewed and conditioned on a case by case basis.
- 11) CONFERENCE CENTERS
- a. Reviewed and conditioned on a case by case basis.
- 12) CONVALESCENT FACILITIES
- a. The minimum parcel size required shall be 20,000 square feet.
 - b. The maximum number of beds per acre of land shall be 50.
 - c. Care facilities shall be located on a collector street or larger.

- 13) CONVENIENCE STORE (W/ FUEL PUMPS)
 - a. Reviewed and conditioned on a case by case basis.
 - b. Same as 3)b.

- m) ELECTRIC SUB-STATION
 - a. Electrical power sub-stations will be reviewed and conditions imposed on a case by case basis.

- 14) Extended Care Facilities
 - a. Reviewed and conditioned on a case by case basis.
 - b. May not locate within 330 feet of any single family dwelling.

- 15) GAMING (RESTRICTED)
 - a. A Special Use Permit is required for any new gaming establishment.
 - b. May not locate within 330 feet of any single family dwelling.

- 16) HEAVY EQUIPMENT SALES AND SERVICE
 - a. Reviewed and conditioned on a case by case basis.

- 17) HELISTOP AND HELIPORT
 - a. The helipad shall be permitted only as an accessory use to an office tower, hospital, medical facility, medical office or other emergency service provider.
 - b. The helipad shall designate a flight path which does not fly over adjacent residential areas.

- 18) HIGH DENSITY RESIDENTIAL (MIXED USE)
 - a. May not locate within 330 feet of any single family dwelling.

- 19) HIGH DENSITY RESIDENTIAL (SINGLE USE)
 - a. Single purpose high density residential uses in the UC District will be reviewed and conditions imposed on a case by case basis.

- 20) HOME OCCUPATION
 - a. Title 19A requirements apply.

- 21) HOTEL, MOTEL, INNS AND RESORTS
 - a. May not locate within 330 feet of any single family dwelling.

- 22) LAUNDROMATS
 - a. May not locate within 330 feet of any single family dwelling.

23) LPG (LIQUEFIED PETROLEUM GAS) INSTALLATION

- a. An LPG installation which includes tanks with an aggregate water capacity of 288 gallons or less is permitted as of right in any zoning district. Such use will be subject to the requirements applicable to the district if the installation complies with the provisions of NRS 590.465 et seq. and these regulations.
- b. An LPG installation which includes tanks with an aggregate water capacity of more than 288 gallons shall be excluded in any Residential Land Use District including the MS and UC Districts, but with a Special Use Permit is allowed in other Town Center Land Use Districts.

24) MICROWAVE DISH

- a. All microwave dishes shall be screened from public streets and adjoining private property.

25) MORTUARIES/FUNERAL HOMES/CREMATORIUMS

- a. All operations of a crematory shall be within a completely enclosed building.
- b. There shall be no audible or noticeable indication of the use outside of the building.
- c. All structures shall be set back 100 feet from any residential use.

26) NIGHT CLUBS/DISCOTHEQUES

- a. Reviewed and conditioned on a case by case basis.
- b. May not locate within 330 feet of any single family dwelling.

27) OUTDOOR STORAGE/SALES

- a. Reviewed and conditioned on a case by case basis.
- b. Only retail items may be displayed for stored outdoors.
- c. All outdoor storage areas shall be contained within a definable area and shall be aesthetically screened as determined by the Planning Director.
- d. Barbed wire, razor ribbon, chainlink, etc. are prohibited.

28) PUBS, BARS & LOUNGES (TAVERNS, ETC.)

Pursuant to its general authority to regulate the sale of alcoholic beverages, the City Council declares that the public health, safety and general welfare of the Town Center are best promoted and protected by requiring that:

- a. No tavern shall be located within 1,500 feet of any church, synagogue, school, child care facility licensed for more than

twelve children, or City park. No restaurant service bar or Supper Club shall be located within 400 feet of any church, synagogue, school, child care facility licensed for more than twelve children, or City park.

- b. Uses licensed as taverns or other comparable establishments, shall have no specific spacing requirements between similar uses. However, the Las Vegas City Council may consider the concentration and spacing of such uses as part of its deliberation and approval of any requests for such establishments.
- c. The distances referred to in Paragraphs One and Two shall be measured in a straight line from the primary public entrance of the church, synagogue, school, child care facility, or from the nearest property line of a City park to the primary public entrance of the proposed liquor premises, and in a straight line from the primary public entrance of the proposed tavern to the primary entrance of any existing tavern or comparable establishment, disregarding all intervening obstacles.
- d. All businesses which sell alcoholic beverages shall conform to the provisions of Chapter 6.50 of the Las Vegas Municipal Code.

29) PUMP STATIONS

- a. Water Pump stations will be reviewed and conditions imposed on a case by case basis.

30) RADIO, CABLE AND TELEVISION STATIONS

- a. Reviewed and conditioned on a case by case basis.
- b. May not locate within 330 feet of any single family dwelling.

31) RENTAL SERVICE STORES/YARDS (HEAVY EQUIPMENT)

- a. All heavy wheeled equipment shall be stored on paved surfaces and shall be screened from all public rights-of-way and adjacent private properties.
- b. All non-wheeled equipment, parts and or other rental/sales items shall be stored and/or displayed in an enclosed structure.

32) RESCUE MISSION, SHELTER FOR THE HOMELESS

- a. Rescue missions and shelters for the homeless will be reviewed and conditions imposed on a case by case basis.

33) RESTAURANTS (W/DRIVE-UP)

- a. Reviewed and conditioned on a case by case basis.

34) RETIREMENT RESIDENTIAL

- a. May not locate within 330 feet of any single family dwelling.

35) RV SERVICE AND STORAGE

- a. No more than one manager's or security residence shall be permitted.
- b. No business other than the provision of RV related services shall be conducted from or within an RV storage facility.
- c. Retail sales of stored items on the premises is prohibited.
- d. The commercial repair of RVs, motor vehicles, boats, trailers and other like vehicles shall be conducted within an enclosed structure.
- e. Within the EC District RV and trailer storage may be permitted when screened from the street and adjacent property by exterior walls.
- f. All storage shall be within an enclosed building except for the storage of recreational vehicles which shall be completely screened from view from surrounding properties and abutting streets by exterior walls.
- g. Within the Town Center all exterior walls of the RV storage facilities shall be constructed with a facade so as to appear as an office or retail facility.

36) SIDEWALK VENDORS

- a. Sidewalk vendors are permitted but must not locate within 330 feet of any single family dwelling (except for special events).
- b. Use is restricted to locations within the UC and MS Districts where the sidewalk is in excess of 12 feet in width or where a special event is held.

37) SKATING RINKS (ICE/ROLLER)

- a. May not locate within 330 feet of any single family dwelling.

38) STADIUMS/ARENAS

- a. Stadiums and/or arenas will be reviewed and conditions imposed on a case by case basis.

39) TEMPORARY USE (OTHER)

The intent of this section is to allow temporary uses which would otherwise be prohibited to operate for limited periods of time (one to three weeks) on an annual basis. These uses include but are not limited to Christmas tree sales, firework sales, and other special events.

- a. Temporary Uses will be reviewed and conditions imposed on a case by case basis. The SUP will be carried forward for use in future years unless conditions of approval are ignored or violated at which time the temporary use is revoked.

40) TOWING TRUCK SERVICE & YARD

- a. All areas used for the parking and storage of operable vehicles shall be paved.
- b. All stored, damaged, or wrecked vehicles, parts, and equipment shall be stored within an enclosed structure with the access bays located so as not to be visible from adjoining properties or public rights-of-way.

41) TRANSPORTATION & TRANSIT MAINTENANCE FACILITIES

- a. Reviewed and conditioned on a case by case basis.
- b. All non-vehicle storage areas shall be within a wholly enclosed structure.
- c. All parking/vehicle storage areas shall be paved.

42) TRUCK SALES & RENTALS (U-HAUL)

- a. Truck sales may include an outdoor used vehicle sales lot when operated by a franchised, new truck dealer. The used vehicle sales shall be located directly adjacent to the new truck sales and service facility and be operated as an incidental use.
- b. The installation and use of an outside public address or bell system is prohibited.
- c. No used or discarded automotive parts or equipment shall be located in any open area outside of an enclosed building.
- d. All exterior lighting shall be screened or otherwise designed so as not to shine directly onto any adjacent parcel of land.
- e. All accessory services shall be performed inside an enclosed structure.
- f. Openings in service bays shall not face public rights-of-way and shall be designed to minimize the visual intrusion into adjoining properties.
- g. Accessory vehicle and trailer rentals are permitted.

43) VETERINARY/HOSPITAL AND CLINICS

- a. Reviewed and conditioned on a case by case basis.

44) YOUTH CENTERS & CLUBS

- a. Youth centers and clubs will be reviewed and conditions imposed on a case by case basis.

C. CIRCULATION

1. STREETScape DESIGN STANDARDS

Streets within the Town Center are the organizing feature around which buildings and open space will be developed. The role they play must be identified within the urban context in terms of hierarchy, image, character, and the functional requirements of linking land uses.

Proposed site plans not in compliance with this, or any other, Town Center Design or Development Standard shall be subject to review at a public hearing before the Planning Commission and/or City Council.

A. TOWN CENTER STREET HIERARCHY

There are six types of streets or roadways within the Town Center. The designation and right-of-way width of each of these is as follows:

<u>Street Type</u>	<u>Right-of-Way Width</u>
Parkway	120 Feet
Frontage Road	80 "
Main Street	80 "
Typical Town Center Street	80 "

Each type of street within the Town Center shall be designed to be pedestrian friendly and shall have a distinctive character that includes the actual right-of-way, the adjacent setbacks, landscape, and plazas, and complements the building articulation.

Streets other than those discussed below shall conform to the Department of Public Works Standards Manual.

In order to coordinate the street rights-of-way designs within the Town Center and that of the adjacent neighborhoods, certain modification to the Design Standards are necessary. The general existing context of the Northwest area with a great variety of developments and phases does permit a generalization of all cases into one single standard. Therefore, all developments occurring on the fringes of the Town Center will be given special attention to permit a seamless transition of streetscape design. The following

criteria are intended to provide an answer to potential future conflicts, other criteria may be developed in the future as the need arises under particular conditions.

1. All public rights-of-way shall be from back of curb to back of curb; all landscape amenities and sidewalk shall be included as a "Pedestrian walkway and landscape easement to be privately maintained."
2. Staff has the right to modify the Town Center standards on a case by case basis, based on technical concerns and/or existing conditions adjacent to or surrounding the proposed parcel(s) to be developed.
3. The Typical Town Center Frontage Road shall be a "signature" roadway that is consistent with other pieces of the frontage road so that once completed, it shall be identifiable along all stretches of the overall frontage road system. Where left turns are not needed, the 14 foot left turn bay shall be constructed as a landscaped median island to be privately maintained by the adjacent property owners.

The following standards describe in detail the minimum requirements for each type of street:

B. STANDARDS APPLICABLE TO ALL TOWN CENTER STREETS

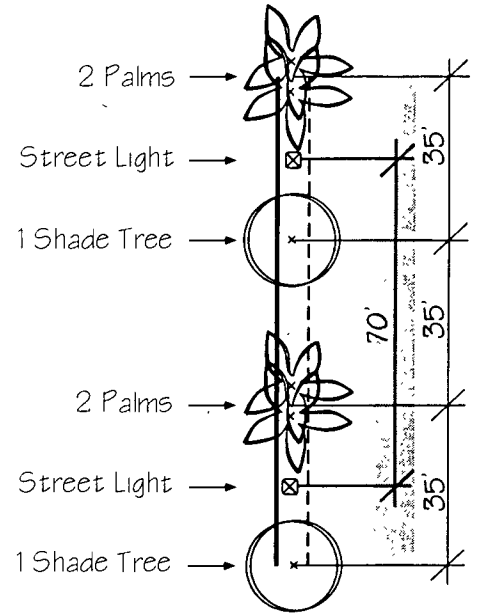
Locational requirements for street furniture are described below. For specific details concerning the design of street furniture refer to the Town Center Development Standards.

1. Benches. Benches shall be provided at and only at bus shelters.
2. Trash Receptacles. Trash receptacles shall be provided at every corner of each intersection and at every bus shelter.
3. Newspaper Racks. Newspaper racks shall not be permitted except that two newspaper racks may be located at each intersection so long as they are on corners opposite one another. Each of the two permitted newspaper racks shall not exceed four individual paper racks.

4. Telephone Booths. Telephone booths shall not be permitted except that two telephone booths may be located at each intersection so long as they are on corners opposite one another. Each of the two permitted telephone booths shall contain no more than four telephones and no more than a total of eight telephones are permitted at any intersection.

C. PARKWAYS (FIGURE 2)

1. Purpose. Parkway are designed to carry vehicular traffic in and out of the Town Center. They must provide safe and easy access to the freeway system and to other areas of the City.
2. Design Elements. All median landscape, street trees, sidewalk patterns and other street furniture shall be coordinated with the general Town Center design elements.
3. Principal Characteristics.
 - i) All sidewalk patterns shall conform to the Town Center Development Standards for Special Pavement and Sidewalk Treatment.
 - ii) All medians shall be landscaped using a mix of drought tolerant trees, plants, and shrubs in the following manner: at least 20% of the landscaping shall consist of palm trees, at least 10% of the landscaping shall consist of flowering trees; at least five 5-gallon flowering shrubs shall be planted per tree; at least two accent trees shall be provided at each intersection; a combination of other plant materials shall be used to obtain at least 75% coverage within three years of normal growth after installation. Trees must be evenly distributed within the median. Trees may be grouped as long as the maximum distance between 2 trees does not exceed 40' on-center.
 - iii) Within Parkway Amenity Zones (Figure 1) trees shall be installed 35 feet on-center in an alternating pattern consisting of one shade tree and two palm trees. Two accent trees shall be installed in each median at every intersection.



Parkway Tree Planting Layout
 Note:
 A symmetrical arrangement shall be reflected on the opposite side of the parkway.

Figure 1

- iv) All street lighting shall be overhead and shall conform to Department of Public Works Development Standards Manual.

D. FRONTAGE ROADS (FIGURE 3)

1. Purpose. The intersection of US-95 and the Beltway divides the Town Center into four quadrants. Along these roads, the Nevada Department of Transportation requires that frontage roads be constructed to provide access among the four quadrants.
2. Design Elements. The frontage road system shall be designed to provide a safe, efficient, and attractive environment that preserves the pedestrian emphasis of Town Center.
3. Principal Characteristics.
 - i) All sidewalk patterns shall conform to the Town Center Development Standards for Special Pavement and Sidewalk Treatment.
 - ii) Within Frontage Road Amenity Zones palm trees shall be installed 35 feet on-center. Two accent trees shall be installed in each Amenity Zone at every intersection.
 - iii) All required street lighting shall be overhead and shall conform to Department of Public Works Development Standards Manual.

E. MAIN STREET (FIGURE 4)

1. Purpose. The "Main Street" concept is a central focus of the Town Center because of the emphasis placed on pedestrian activity. With only two lanes of traffic and angled parking, the Main Street concept area is a place for business and social interaction.
2. Design Elements. Plazas, patios, courtyards, and other outdoor amenities and gathering places along the Main Street corridors will invite foot traffic and provide a stimulating array of visual attractions along the street.

3. Principal Characteristics.

- i) All sidewalk patterns shall conform to the Town Center Development Standards for Special Pavement and Sidewalk Treatment.
- ii) Within the Main Street concept area Amenity Zones shade trees shall be installed 30 feet on-center. Two accent trees shall be installed in each Amenity Zone at every intersection.
- iii) Decorative street lights shall occur at intervals of 60 feet on-center. All other required street lighting shall be overhead and shall conform to Department of Public Works Development Standards Manual.

F. TYPICAL TOWN CENTER STREETS (FIGURE 5)

- 1. Purpose. Typical Town Center Streets are the backbone of the traffic circulation system within the Town Center. A regular street grid allows for a greater choice of travel routes and an even distribution of traffic during peak hours.
- 2. Design Elements. This type of street is the narrowest of all streets in the Town Center in terms of net paved area, with only 52 feet of pavement.
- 3. Principal Characteristics.
 - i) All sidewalk patterns shall conform to the Town Center Development Standards for Special Pavement and Sidewalk Treatment.
 - ii) The Typical Town Center Street Amenity Zone shall include single alternating shade trees and flowering trees at intervals of 35 feet on-center. Two accent trees shall be installed in each Amenity Zone at every intersection.
 - iii) Decorative street lights shall occur at intervals of 70 feet on-center (tandem settings). All other required street lighting shall be overhead and shall conform to Department of Public Works Development Standards Manual.

G. DRIVEWAYS AND CURB CUTS

In general, curb cuts for driveways shall conform to the Department of Public Works Development Standards Manual. However, in the Urban Center Mixed Use (UC-TC) and Main Street Mixed Use (MS-TC) Districts vehicular access from the public right-of-way is prohibited and driveway curb cuts shall not be permitted. Access to sites shall be from the rear via privately owned mid-block alleyways. These alleyways shall be designed to access support and auxiliary uses such as parking structures, loading docks, and similar uses.

H. STREET INTERSECTIONS (FIGURES 6 & 7)

Except as noted below, all street intersections shall be constructed in conformance with the Department of Public Works Development Standards Manual.

The two most common types of street intersections that occur in the Town Center are Intersections Type A (Figure 6) and Type B (Figure 7). These intersections are designed to calm vehicular traffic and provide a pedestrian-friendly environment. In conjunction with the Urban Design Features depicted in Figure 8, they contribute to the unique identity of Town Center. This is accomplished through the use of narrower paved areas, wider sidewalks, and diagonal crossing patterns.

I. GATEWAYS (FIGURES 9 & 10)

Key entry points to the Town Center will be symbolically marked by gateway features. The gateways into the Town Center should receive special treatment, including landscaping, lighting, signage, and other related improvements to make them distinctive within the urban environment, establishing a presence and pride for visitor, workers, and residents. Gateways to the Town Center shall be implemented at two different levels: 1) Level I, automotive oriented entries, 2) Level II, pedestrian oriented entries.

1. Level I: Automotive entries (see Figure 8 & 9):

These gateways shall be located at major traffic access points into the Town Center. They shall be built on all 4 corners of each intersection with signage only on the 2 corners marking the entry to the Town Center. They will be located at the following intersections:

- i. El Capitan and Highway 95;
- ii. El Capitan and Centennial Beltway;
- iii. Fort Apache and Grand Teton;
- iv. Fort Apache and Centennial Beltway; and
- v. Frontage Road at Ann Road east and West of Highway 95.

2. Level II: Pedestrian entries (see Figure 8 & 9):

These gateways shall be located within the Town Center at major access points into the pedestrian core. They shall be built on all 4 corners of each intersection. They will be located at the following intersections:

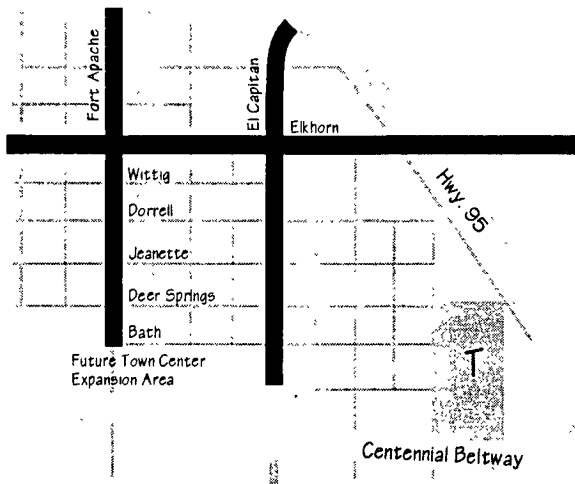
- i. Dorrell and El Capitan;
- ii. Deer Springs and El Capitan;
- iii. Main Street (Riley) and Elkhorn Road; and
- iv. Main Street (Riley) and the north side of Centennial Beltway.

J. ARCADE DISTRICT

The establishment of an Arcade District along Main Street will create a distinct urban ambiance which builds upon the climate, culture, and history of Las Vegas while at the same time providing an opportunity for each property owner in the District to express a unique design solution for their development.

The Arcade District is defined by Main Street (Riley) from Elkhorn Road to the Centennial Beltway alignment. The District shall extend a minimum of 150' on each intersecting street.

Arcades shall be set at a width of 10'-0" over the sidewalk easement, shall not be taller than the first floor height, shall be clear of any obstruction, and shall be for pedestrian traffic only. Temporary pedestrian oriented retail activity may extend up to 5'-0" under the arcade after approval by the Planning and Development Department. The arcade shall be an integral part of the building architecture and must be constructed of permanent material. The roof of the Arcade may be used for outdoor purposes in connection to the above businesses. However, no structure can permanently be built over the arcade.



Parkway

ROW : 120'
 Traffic : 6 Lanes & Median
 Direction : 2 way
 Parking : Off Street

Note:

El Capitan left turn lane allowed only on:

- Elkhorn
- Dorrell, and
- Deer Springs

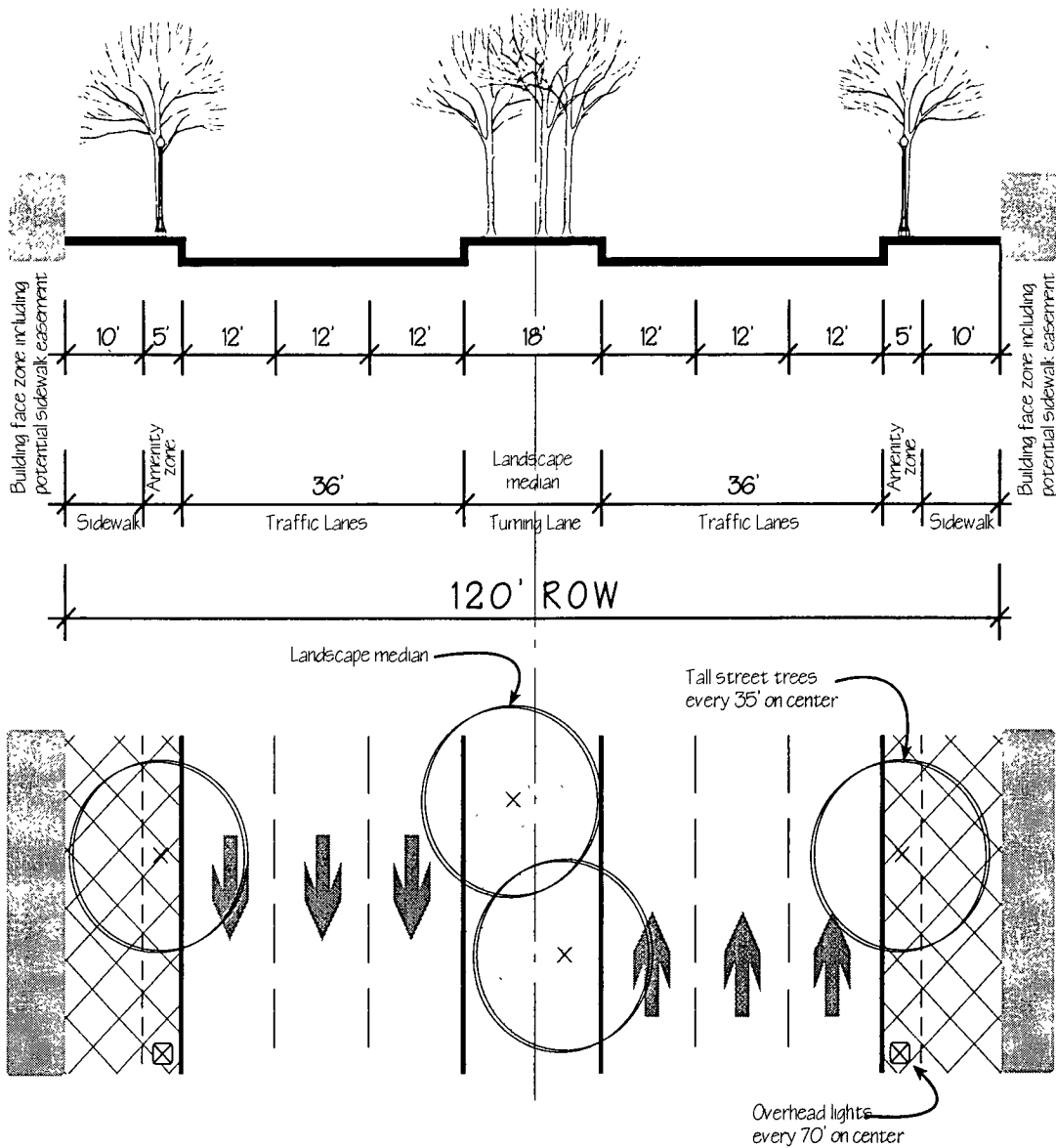
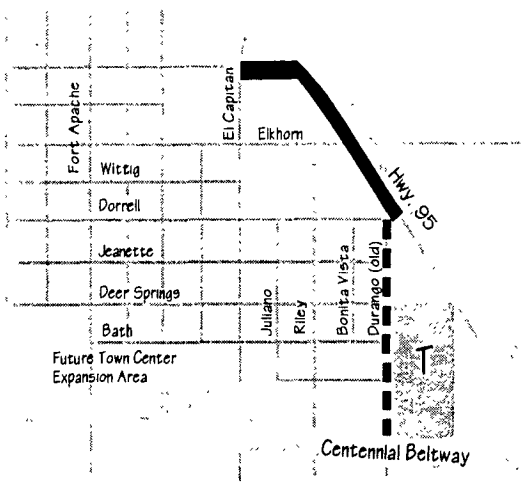


Figure 2



Typical Town Frontage Road

- ROW : 80'
- Traffic : 5 Lanes
- Direction : 4 way + 1 Turning
- Parking : No

Note:
 See Figure X for complete frontage road locations;
 ■■■ See Typical Town Center Street section

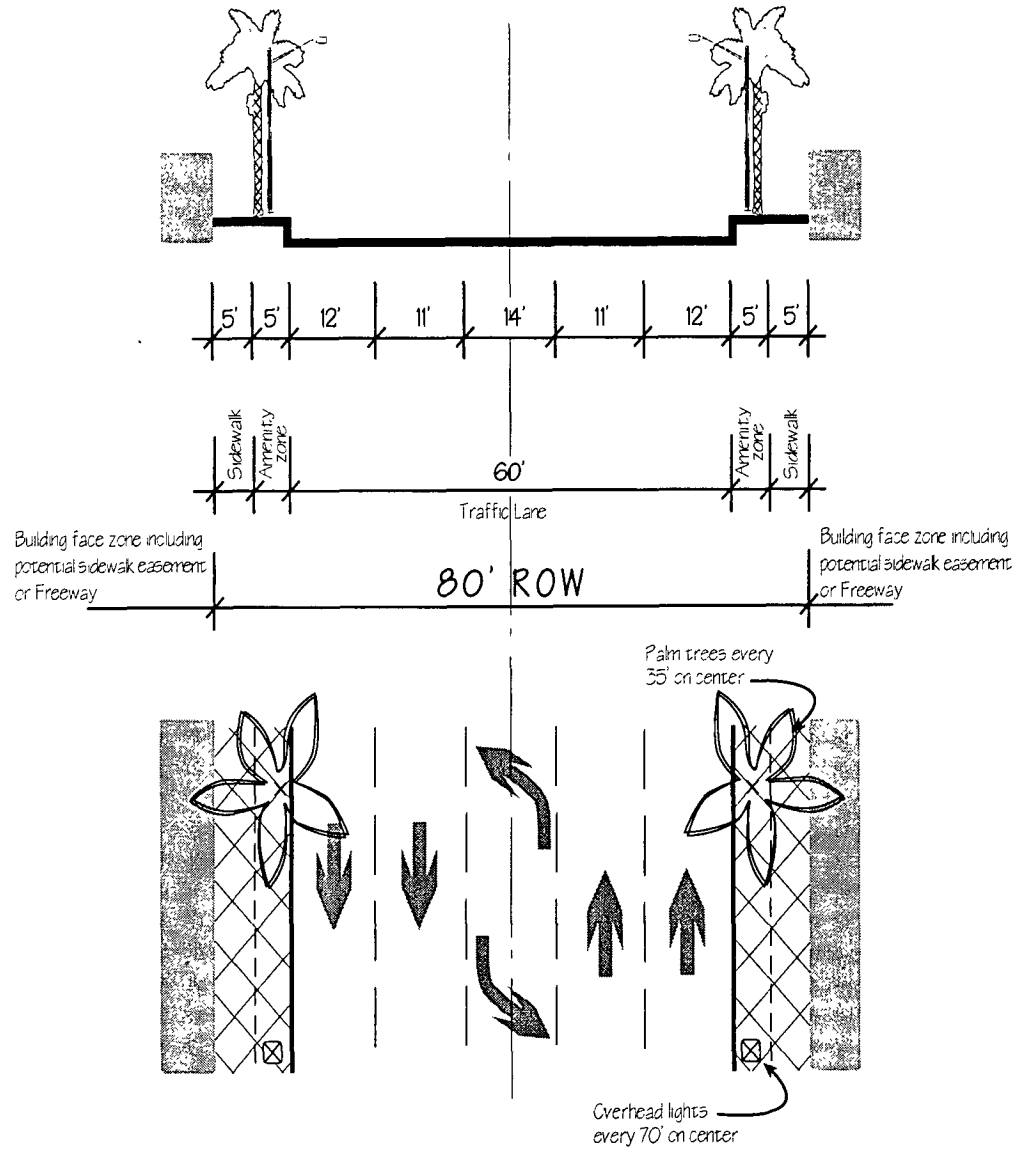
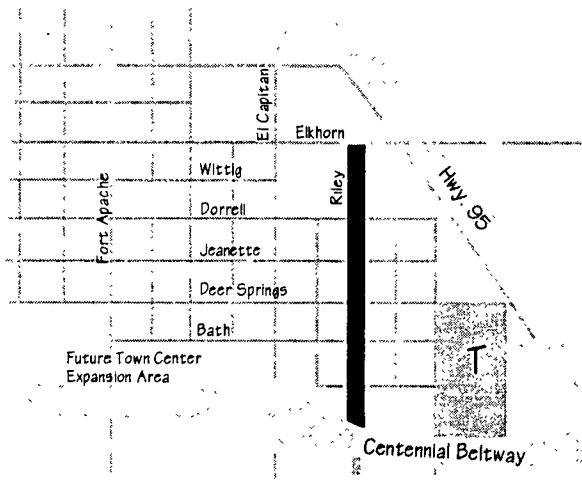


Figure 3

Main Street



- ROW : 100'
- Traffic : 2 Lanes
- Direction : 2 way
- Parking : 45°-both sides

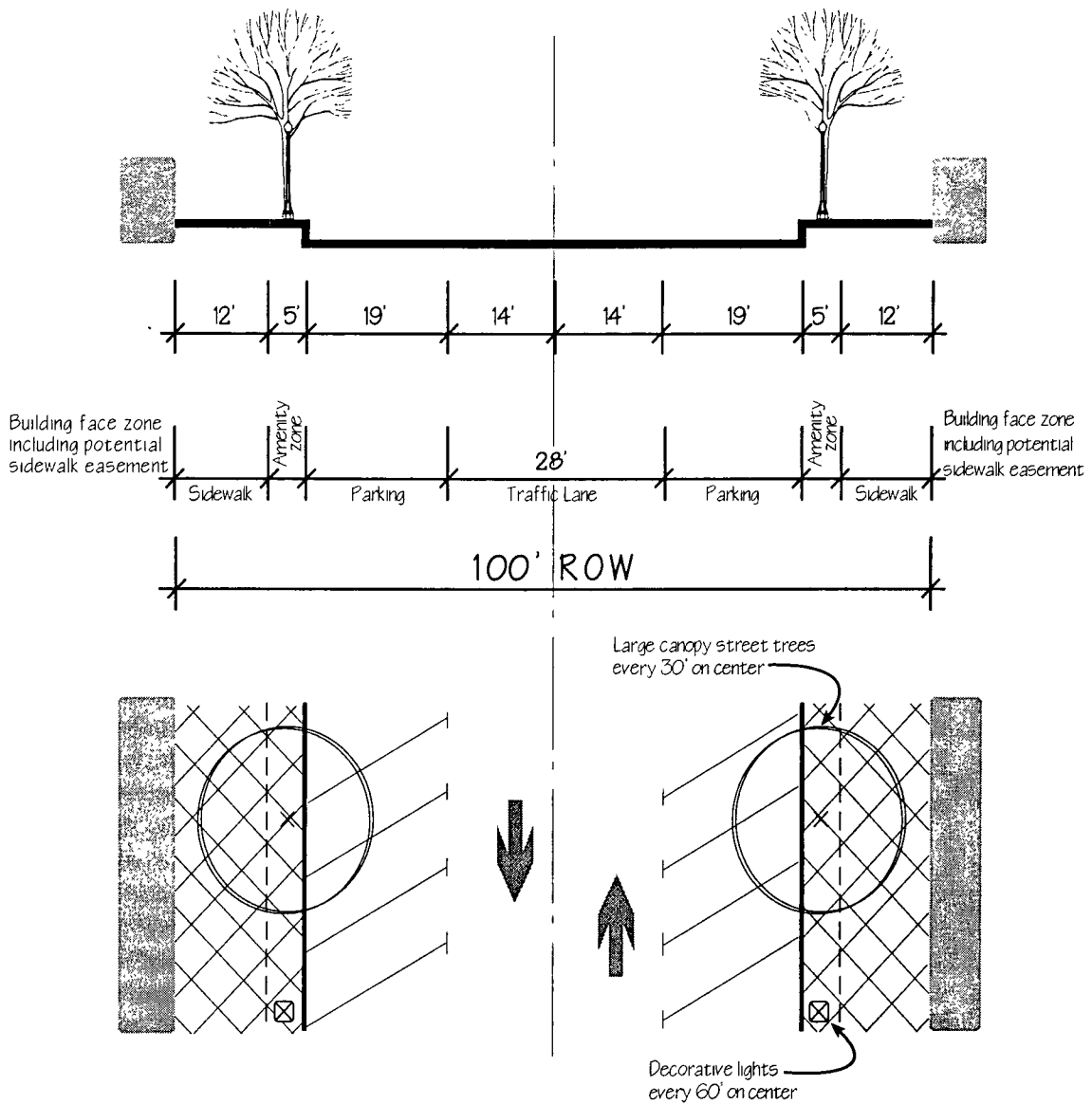
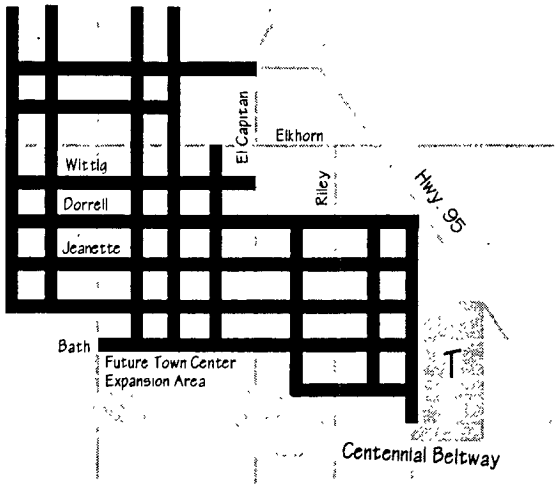


Figure 4





Typical Town Center Street

- ROW : 80'
- Traffic : 3 Lanes
- Direction : 2 way + 1 Turning
- Parking : Parallel both sides

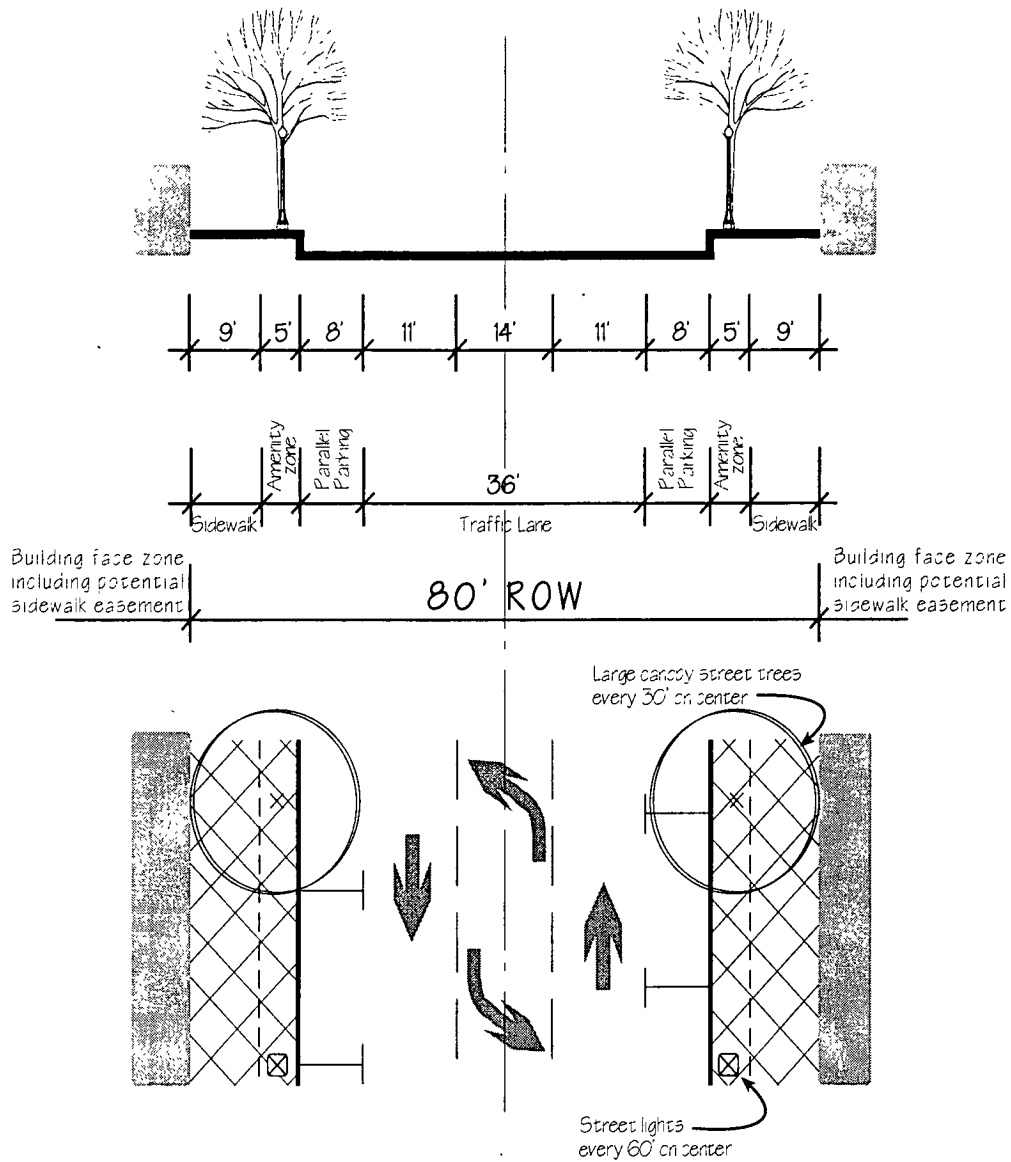
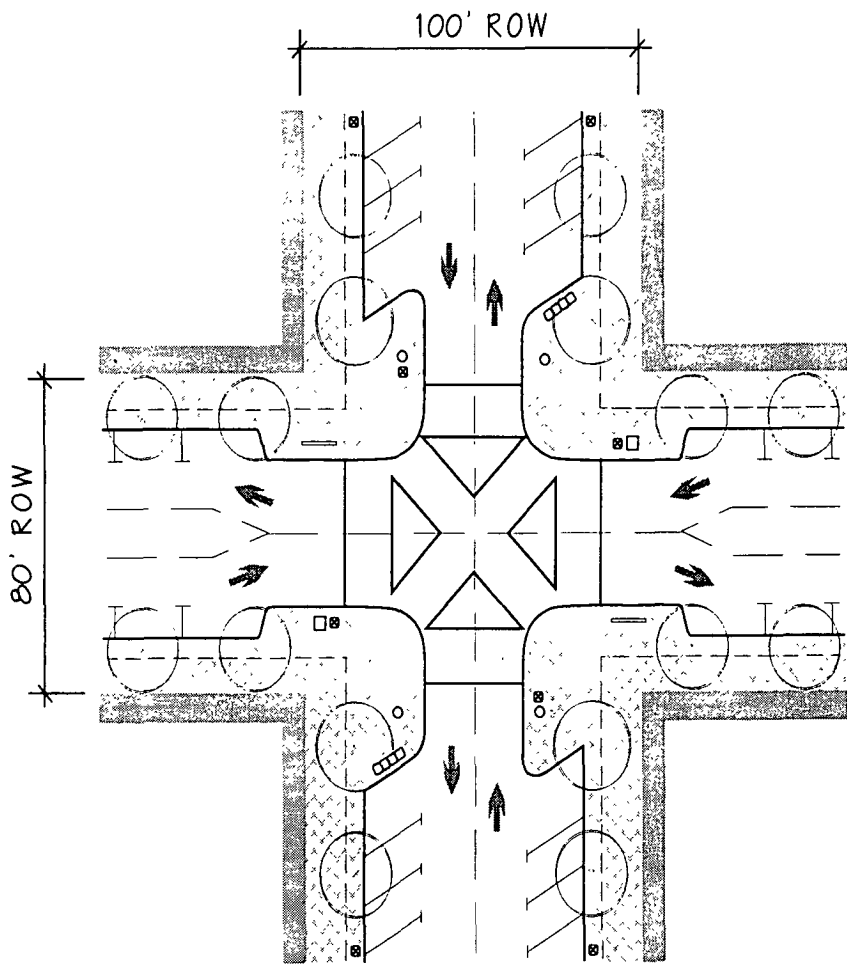
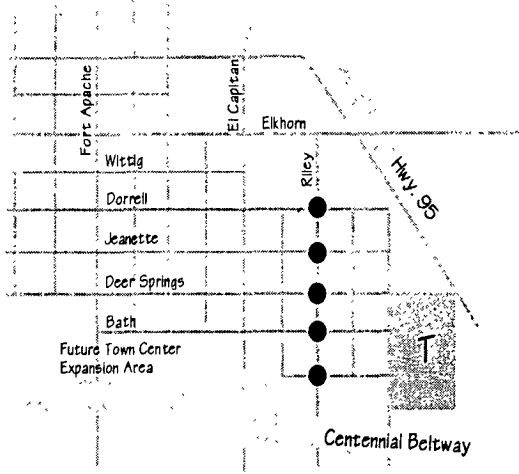


Figure 5

Intersection Type A



- Newspaper Rack
- Trash Receptacle
- Street Light

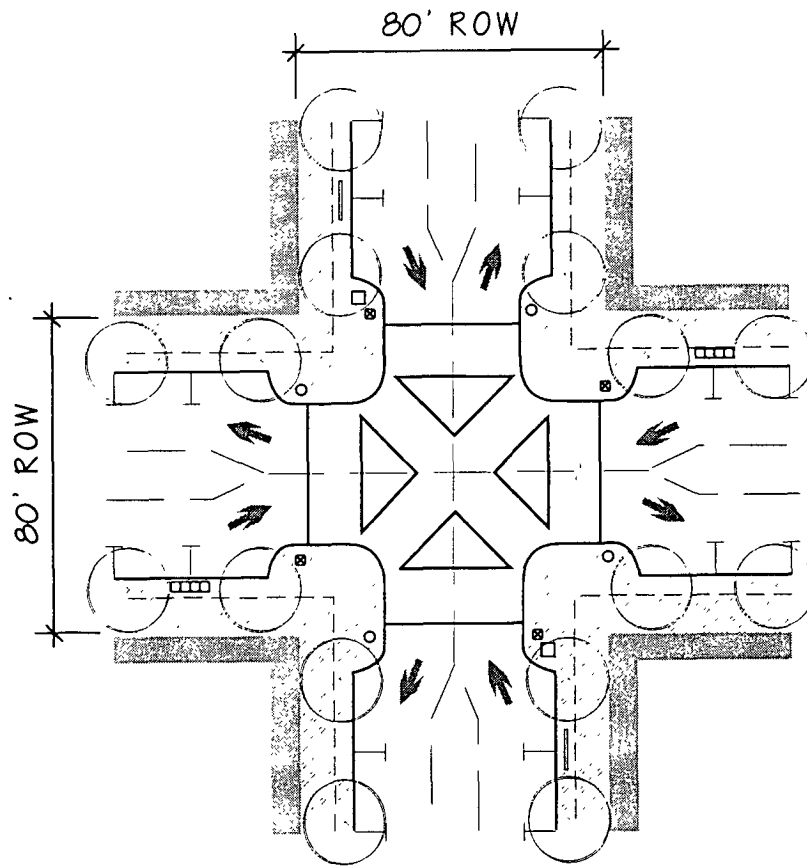
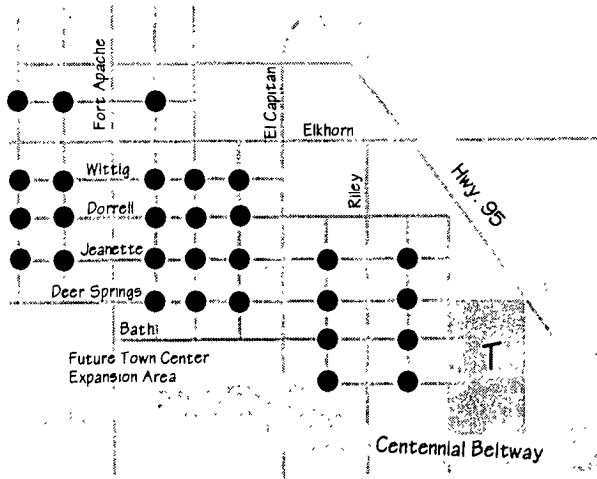
- District Map/Information
- Mailbox

Note:

- Allow diagonal Crossing
- Maximum 28' of Pavement Width at Crossing

Figure 6

Intersection Type B



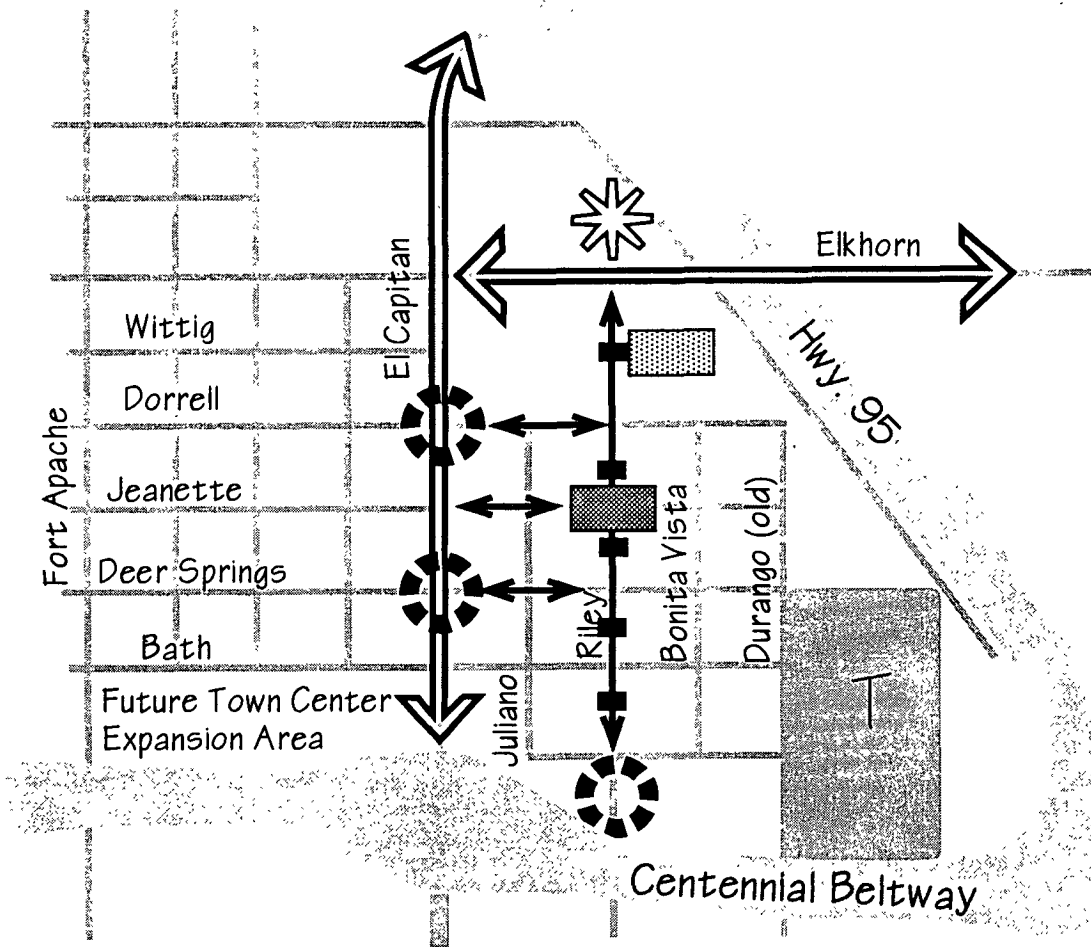
- | | |
|------------------|--------------------------|
| Newspaper Rack | District Map/Information |
| Trash Receptacle | Mailbox |
| Street Light | |

Note:

- Allow diagonal Crossing
- Maximum 28' of Pavement Width at Crossing

Figure 7

Urban Design Features











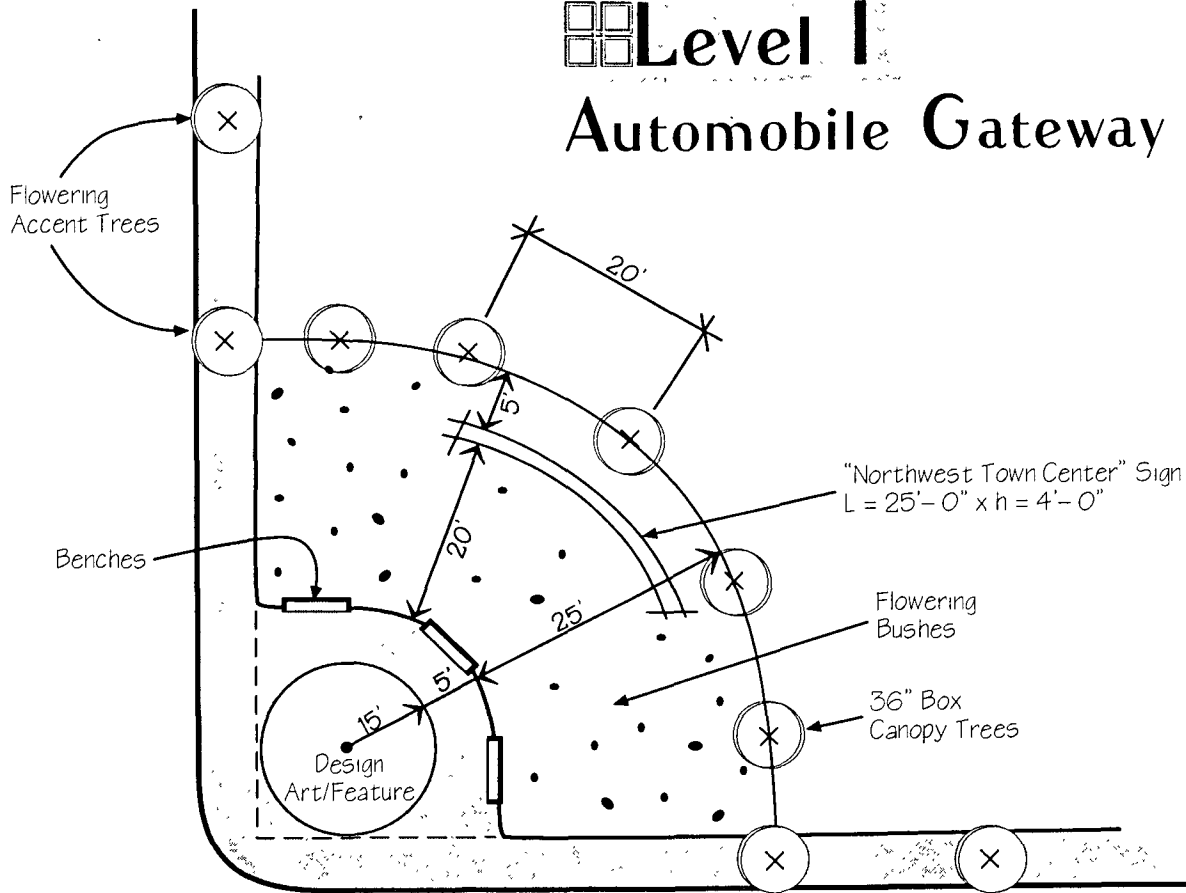
-  Automotive Gateway Feature
-  Pedestrian Gateway Feature
-  Major Focal Point Feature
-  Major Mid-block Crossing
-  Major Civic Space
-  Major Open Space
-  Major Traffic Circulation
-  Major Pedestrian Circulation

Figure 8

Level I Automobile Gateway



Building Orientation

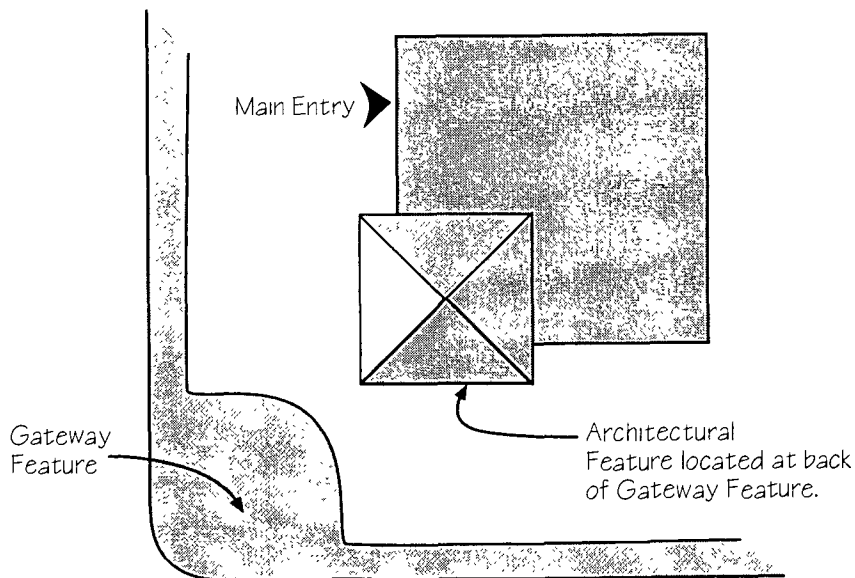


Figure 9

Level II Pedestrian Gateway

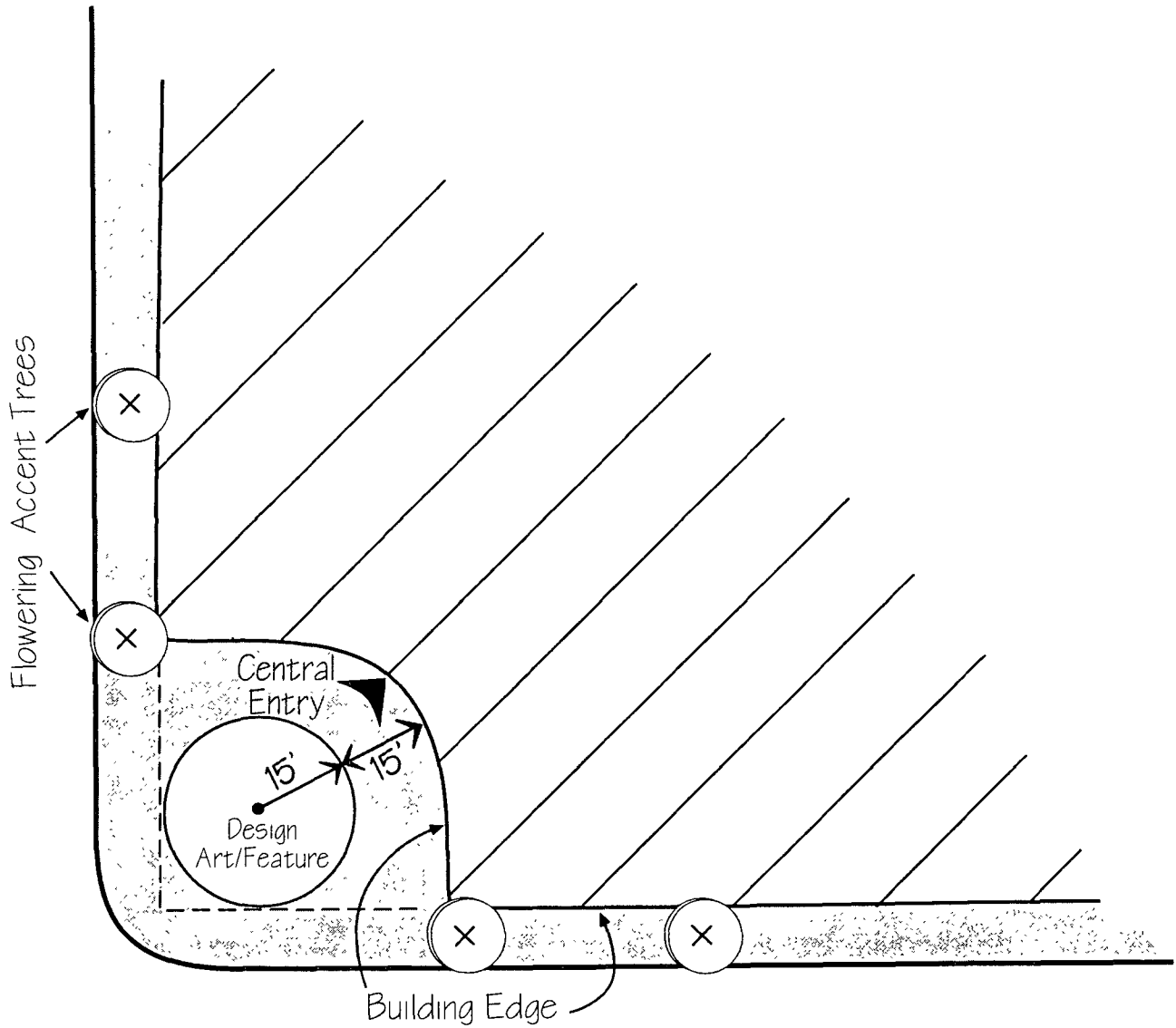


Figure 10

D. DEVELOPMENT STANDARDS

1. ARCHITECTURAL FEATURES:

In all cases, architectural features shall contribute to an attractive, integrated environment consistent with the intent of the Town Center Land Use Plan and the adjacent neighborhood or projects.

Proposed site plans not in compliance with this, or any other, Town Center Design or Development Standard shall be subject to review at a public hearing before the Planning Commission and/or City Council.

A. BUILDING FACADE.

In addition to meeting building height, stepback, and exterior materials requirements, building design shall incorporate patterns and materials that are visually interesting, particularly at street level. This must be accomplished through the use of a combination of expression lines and areas, and features of the facade that include changes in material, color, and/or relief.

B. EXTERIOR FEATURES.

The use of visually interesting features such as awnings, signage, windows, and doors are required, particularly along primary pedestrian routes. Such features are subject to review and approval by the Planning and Development Department. At a minimum, all proposed applications shall adhere to the following standards.

1. Walls on primary pedestrian routes shall have a minimum of 70% clear glazing at the ground floor level.
2. Glazing shall not exceed 75% coverage of any building elevations excluding the ground floor where specific percentage apply.
3. Dark tinted glass is prohibited at the street level.
4. All external stairwells throughout Town Center shall be covered in a finish that matches or complements the exterior finish of the building.

C. BUILDING HEIGHT, STEPBACKS, AND BUILT-TO-LINE STANDARDS

Maximum building heights, stepback, and built-to-line requirements are intended to ensure that structures have consistent height, bulk, and mass relationship to one another. All development shall conform to the height requirements shown in Figures 23-27.

1. Stepbacks. Stepback requirements are intended to provide visually interesting building elevations, reduce the street canyon effect, and lessen the effect of strong winds at the street level. All development shall conform to the stepback requirements shown in Figures 23-27.
2. As shown in Figure 11, buildings along primary pedestrian corridors must abut the setback line on the side of the building facing the street. Minor variations may be approved by the Department of Planning and Development to allow the articulation of decorative features such as columns and pillars.
3. Built-to-line requirements apply only to the first three stories or the first 36 feet of building height, whichever is greater.
4. Eighty percent of the ground level uses shall be commercial, retail, entertainment, or similar uses. The eighty percent use calculation shall be based on the linear street frontage of each building.
5. Doorways, porticoes, or other approved entryways shall occur a minimum of every 50 feet of building facade that fronts on a street or plaza area.
6. Outdoor dining areas and sidewalk cafes are strongly encouraged.

In This Example,
Built-to-Line Requirement is 60%, the remaining
40% is dedicated to a corner plaza

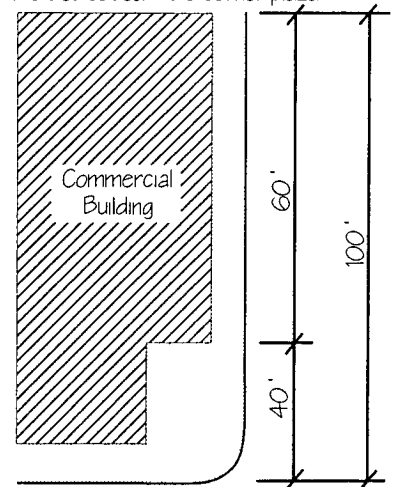


Figure 11

D. ROOFS AND ROOFTOPS

Roofs and rooftops shall be designed with consideration given to overhead views. The following standards apply to all roofs and rooftops.

1. Highly reflective materials or contrasting colors are prohibited.
2. All roof mounted equipment or other obtrusive features shall be screened from view on all sides and from the top.

3. An articulated roof line or cornice is to be designed as a major feature at or near the top of all building walls.

E. EXTERIOR MATERIALS

It is the intent of the exterior materials standards to encourage creative expression. Exterior materials of all buildings shall contribute to a cohesive physical environment and convey a sense of timelessness. Because they do not meet these standards, the following exterior materials are prohibited:

1. Mirrored glass.
2. Wood and asphalt shingles.
3. Corrugated fiberglass.
4. Imitation masonry and rock.
5. Exposed, unfinished tilt-up concrete; and
6. Plastic laminate.

F. EXTERIOR COLORS

Developers are urged to concentrate richer and high quality materials on the ground floor of buildings within the Town Center. To emphasize the continuous plane created by the street-wall, consistency and coordination of texture and color is essential to maintain a homogenous streetscape. Exterior materials such as stucco and sandblasted concrete shall be used with a smooth finish with occasionally, if necessary at all, some minor areas of lightly texture surface. Large areas of flat uniform texture, unarticulated, windowless, mono-color building face shall be avoided.

The use of color will dramatically effect the visual appearance of buildings. It will affect the apparent scale and proportion of buildings by highlighting architectural elements such as doors, windows, fascias, cornices, lintels, and sills. Color will also be a significant element in unifying and identifying individual developments to create a visually coherent streetscape. Color must be carefully considered in relation to the overall design intent.

Careful attention shall be given to developing a palette of color used on each building. The palette is a range of basic and accent

colors which may be used. Light, pastel, earthtone colors shall be used as a background or field colors. Accent colors can be used to highlight building elements and to reinforce appropriate scale and proportion. The selected palette shall promote a selection of colors taken from the natural landscape and used in the same proportion as in their natural element.

Prohibited colors in the Town Center include, but are not limited to, all unblended primary colors, including black and white, unless used in very limited areas delineate specific architectural features.

G. PERMITTED SIGNS

The purpose of sign regulations within the Town Center is to: 1) encourage creativity; 2) promote continuity; 3) reduce conflicting design among signs; and 4) enhance the overall appearance of the Town Center. The following signs are permitted in the Town Center. They must be in compliance with Title 19A of the City of Las Vegas Zoning code.

1. Freestanding monument signs at major gateway points;
2. Modular wall signs, including hanging signs and parapet signs, no greater than 50 square feet in size;
3. Modular awning signs no greater than 25 square feet in size;
4. Public utility signs;
5. Animated signs that display only the time and temperature;
6. Neon signs; and,
7. Pennants, paper, cloth, or plastic streamer signs, for short term events only;
8. Letters and/or copy incorporated into the architectural structure of the building facade, parapet walls, or fascia as part of an architectural expression. Size and character permitted to be determined by the Department of Planning and Development through an architectural review process.



G. PROHIBITED SIGNS.

The following signs are prohibited in the Town Center:

1. Pole signs;
2. Temporary A-frame signs;
3. Animated signs;
4. Beacon lights;
5. Bench signs;
6. Billboard signs;
7. Changeable copy signs except theater, convention marquee and special event/traffic signs);
8. Tethered balloons;
9. General advertising signs (i.e., soft drinks, beer, cigarettes, etc.);
10. Magnetic signs;
11. Painted signs on display windows;
12. Roof signs;
13. Statuary with lettering and/or graphics; and,
14. Projecting signs extending into the right-of-way, except as permitted on awnings.

H. SIGN DESIGN GUIDELINES.

The following guidelines shall be considered when reviewing signage within the Town Center.

1. Signs which identify the business shall fit within the architectural frame or sign band of the storefront. They shall not overpower the facade or its surrounding streetscape;

2. Signs shall be easily read from the pedestrian level. Hanging signs are allowed provided they are well crafted and display a symbol of the business;
3. Brevity is encouraged in sign messages;
4. Easy to read typeface is encouraged;
5. Colors should be selected to contribute to legibility and design integrity;
6. There should be a significant contrast between the background and the letter or symbol colors;
7. The use of more than three colors on any single sign is discouraged;
8. Signs should be placed in such a way as to clearly indicate the location of access to a business;
9. Signs shall be sized in a manner consistent with the scale of the building elements in the facade as well as the individual storefront;
10. Wall sign placement shall establish facade rhythm, scale, and proportion;
11. Irregularly shaped signs are discouraged;
12. Lettering shall not occupy more than 75% of the sign face;
13. Sign design shall be consistent with the building on which it is placed;
14. Directional signs shall be placed perpendicular to approaching vehicular traffic and they must be located so that site distances are maintained.

I. GUIDELINES SPECIFIC TO WALL AND BUILDING SIGNS.

In addition to the Sign Design Guidelines noted above, the following guidelines shall be considered when reviewing signage to be placed on all exterior walls and building facades.

1. Exterior wall and building signs shall not be permitted above the bottom of the second floor window line except for

hotels and high-rise buildings with 12 stories or more which may have a sign panel just below the roof line for the sole purpose of identification.

2. Both direct and indirect lighting methods are permitted provided they are not harsh or unnecessarily bright.
3. Sign colors shall be compatible with all other signs on the same building and all other signs on the parcel.
4. Address numbering shall comply with Chapter 28 of the Las Vegas Municipal Code.

2. ON-SITE AND OFF-SITE IMPROVEMENTS

Proposed site plans not in compliance with this, or any other, Town Center Design or Development Standard shall be subject to review at a public hearing before the Planning Commission and/or City Council.

A. FENCES AND WALLS

1. Screen walls, fences, and retaining walls shall be designed and constructed in conformance with Town Center setback requirements.
2. Screen walls shall be composed of 100% decorative material in accordance with City of Las Vegas Urban Design guidelines and shall include 20% contrasting material and color. Neither contrasting texture of the same material nor light to dark variations of the same color are permitted.
3. A combination of a 2'-10" low masonry wall with a 3'-2" wrought iron fence is the required design when residential privacy is not compromised. In residential conditions, the low masonry wall design is strongly encouraged.
4. Chain link fences are not permitted within the Town Center except on temporary construction sites in conjunction with obtaining a Temporary Commercial Permit.

5. Razor wire and barbed wire are not permitted within the Town Center.
6. Solid screen walls and retaining walls with a height of six feet or greater shall be designed with a minimum five foot wide landscape planter as a buffer (Figure 12).

B. LANDSCAPING

1. Street trees shall be planted along every street within Town Center and shall be included in all plans for street improvements in accordance with the Town Center Street Hierarchy.
2. There are four types of trees that shall be used in combination throughout Town Center, as follows:
 - i) **Palm Tree:**
Washingtonia Robusta (Mexican Fan Palm), at least 25 feet in height at the time of installation.
 - ii) **Shade Tree:**
Fraxinus Velutina Rio Grande (Rio Grande Ash), at least 18 feet in height at the time of installation.
 - iii) **Accent Tree:**
Chitalpa Tashkentensis (Chitalpa), at least 18 feet in height at the time of installation.
 - iv) **Flowering Tree:**
Robinia Ambigua "Purple Robe" (Purple Robe Locust), at least 18 feet in height at the time of installation.
3. To determine the required theme and planting rhythm along a particular street refer to the Streetscape Design Standards.
4. Required street trees shall be planted within the Amenity Zone and regularly spaced. A tree grate measuring four feet square shall be installed at the base of each tree. Standard decorative cast iron grates (Figure 13), as specified by the City's Public Works requirements, shall be used.

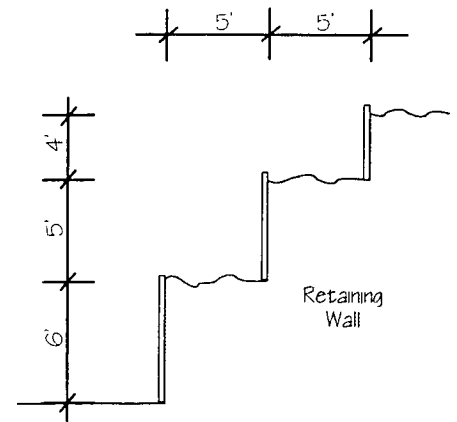


Figure 12

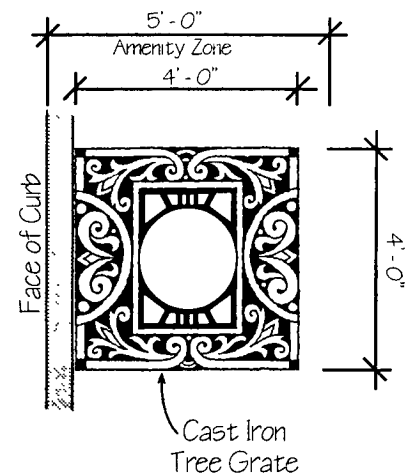


Figure 13

- Sidewalks may not be built on the side of any street that is directly adjacent by 150' or less to a freeway with no development occurring in that zone. However, a landscape trail shall be installed in lieu of the sidewalk. The 5'-0" amenity zone shall remain unaffected with the required trees and street light. The overall landscape trail width shall be no less than 20'-0". With a meandering path no less than 5'-0" in width. The trail path shall be constructed of compacted decomposed granite or similar material as approved by Public Works. The entire area, from the back of curb to the NDOT right-of-way shall be landscaped to provide a minimum of 60% ground coverage with water efficient material and with at least one 24" box trees for every 650 square feet of total landscape, in addition to the required street trees.

C. SPECIAL PAVEMENT AND SIDEWALK TREATMENTS

A special paving pattern is established and required for the Town Center as a unifying element for pedestrian enjoyment. The typical pattern is composed of three major elements: an amenity zone, the sidewalk, and the accent patterns at street intersections. The following paragraphs describe the required design characteristics of each of these elements.

1. THE AMENITY ZONE

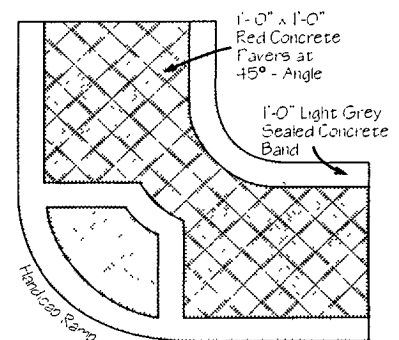
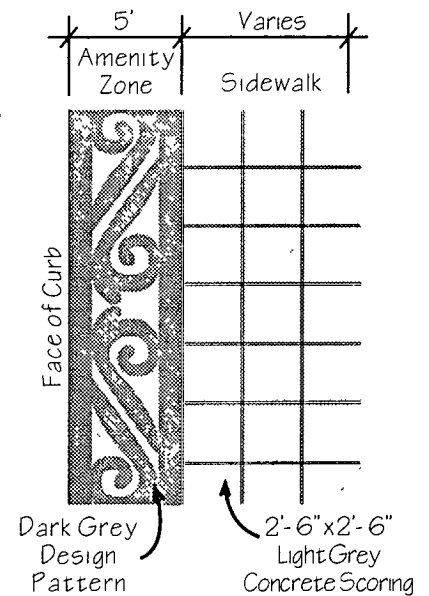
This zone is five feet wide and is directly adjacent to the curb line. It contains a dark gray design pattern composed of sealed concrete on a light gray background, as depicted in Figure 14.

2. THE SIDEWALK

The width of the sidewalk varies from the edge of the amenity zone to the face of the building, including all required sidewalk easements. A 2'-6" square grid scoring shall be designed on a light gray smooth concrete finish, as depicted in Figure 14.

3. THE ACCENT PATTERNS AT STREET INTERSECTIONS

An accent pattern shall be used at every intersection to emphasize the pedestrian crosswalk areas. It consists of red concrete pavers, one square foot in size, laid at a 45° angle.



Note:
Building corner design shall comply with City of Las Vegas SVRE requirements

Figure 14

D. SETBACKS AND SIDEWALK EASEMENTS (FIGURE 22)

1. Setbacks may be used to enlarge the sidewalk area or they may be used as an outdoor extension of the adjacent business for building articulation, patios, courtyards, or other public and pedestrian uses only.
2. When a landscaped open space is provided within the setback, it shall be no less than 2000 square feet in size and shall provide such amenities as benches and recirculating water fountains.
3. All setbacks are measured from the street right-of-way line.
4. Where these standards are not applicable, City of Las Vegas Codes and Regulations shall apply.

E. STREET LIGHTING

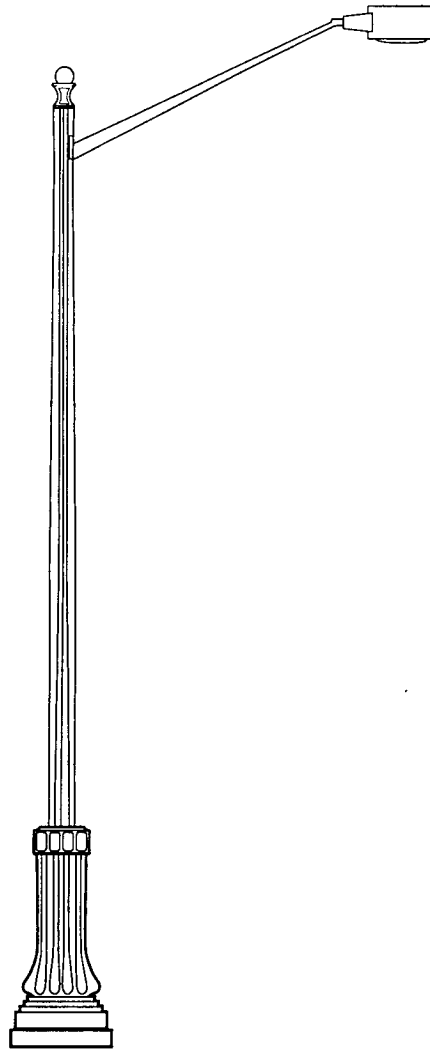
Town Center shall have two types of street lighting. These are standard overhead lights and decorative street lights. Both overhead and decorative street lights shall be incorporated into the design of street improvements. The design of the lights and the pattern of their placement are part of the overall design for the Town Center. Therefore, special attention shall be placed on maintaining a consistent spacing rhythm. In addition, the following standards apply:

1. Street lights are intended to reinforce the hierarchical street system, therefore, lights in the right-of-way associated with individual developments are prohibited.
2. Overhead lights, illustrated in Figure 15, shall be installed in conformance with the Department of Public Works Development Standards Manual.
3. Decorative lights shall be placed in a distinctive, clearly-defined geometric pattern with regular spacing. This type of light is illustrated in Figure 16, and shall be installed in conformance with the Department of Public Works Development Standards Manual.

F. STREET FURNITURE

The design of street furniture such as benches, trash receptacles, newspaper racks, and information panels, within Town Center shall

Overhead Lighting Street Furniture



Specifications:

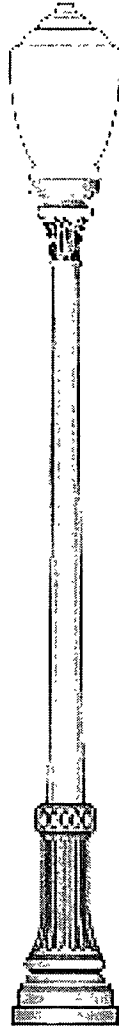
See City of Las Vegas Public Works
Drawings #'s SK20797E and
SK110796

Pedestal:

Similar or equal to Whatley Series
312 "San Jaun".

Figure 15

Decorative Lighting **Street Furniture**



Specifications:

POST:

10'-0" ft. above grade

BASE:

20" w x 36" h

LUMINAIRE:

13" x 20" h

Pedestal:

Similar or equal to Whatley Series
312 "San Jaun".

Figure 16



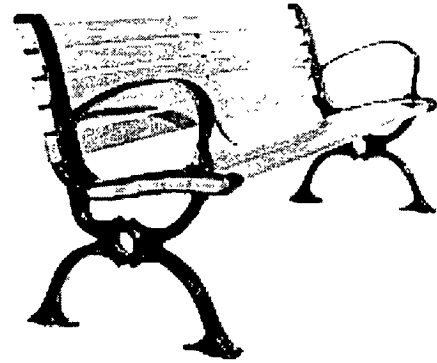
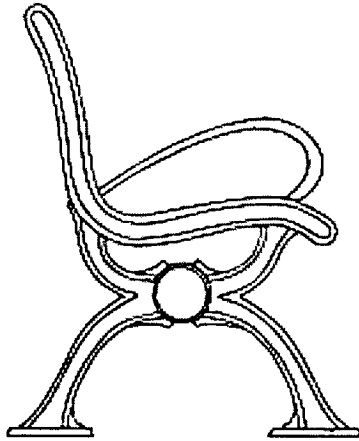
coordinate with all other street furniture in size, shape, color, and style. All street furniture elements shall conform to Town Center Development Standards (Figures 17-19) and shall conform to Department of Public Works specifications.

G. PARKING STANDARDS

Parking requirements within the Northwest Town Center shall comply with City of Las Vegas Title 19A and the following provisions.

1. On-street parking shall not count in meeting the requirement for the number of parking spaces. Limited on-street parking may be provided as a reserve for short-term parking or for service and delivery purposes.
2. Multiple-user parking structures are the preferred method for providing adequate parking and special consideration will be given for shared parking within a structure.
3. Above-grade parking structures must be setback an additional 10' from the required setback to provide a substantial landscape buffer. This additional setback requirement may be waived for the portion of the parking structure that incorporates ground floor retail uses.
4. The exterior walls of all parking structures shall be designed to complement and coordinate with the architectural form of the main building or surrounding buildings. Parking structures shall appear to be an integral part of the main building. The intent is to minimize the garage appearance of parking structures through designs which conform to the accompanying development's general architectural features.
5. Surface parking shall be separated from buildings by surface treatment variations and/or grade separation.
6. Parking spaces shall not directly abut buildings.
7. Parking facilities shall be located away from the right-of-way, on the rear side of the structure they serve. They shall be accessed from the back alley when available.
8. Parking lots facing public streets, major pedestrian walkways, or plazas and open spaces shall incorporate a 10' wide

Benches Street Furniture



Specifications:

ENDS:

One-piece end castings of grey iron with Town Center logo inserted

SEAT:

Recycled plastic slats 2.75 in. (7cm.) x 1.125 in. (2.75cm.)

LENGTH:

5ft. (50in. / 147 cm)

DIMENSIONS:

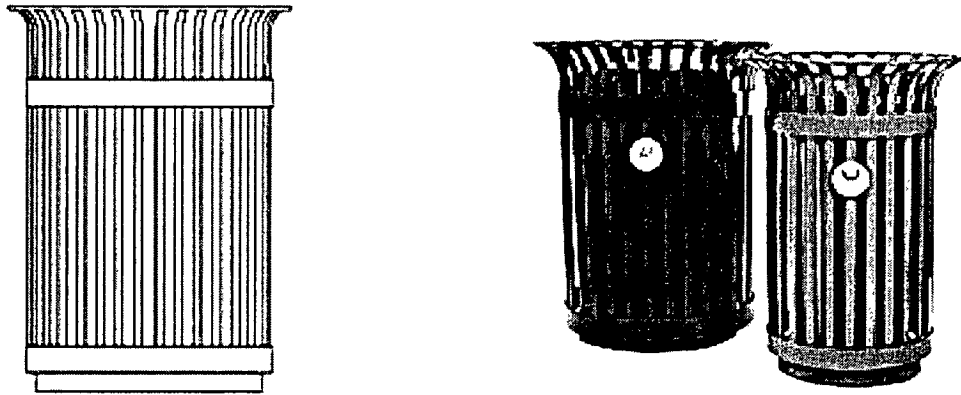
Height: 32 in. (81cm.)

Seat height: 16.5 in. (41cm)

Depth: 30 in. (76cm.)

Figure 17

Trash Receptacles Street Furniture



Specifications:

FRAME:

Solid steel flatbar fabrication with Town Center logo inserted

LINER:

Heavy duty plastic

INSTALLATION

May be fastened to concrete using anchor plates provided in base

DIMENSIONS.

26.5 in. (66cm.) diameter x 38 in (95 cm.) height

CAPACITY:

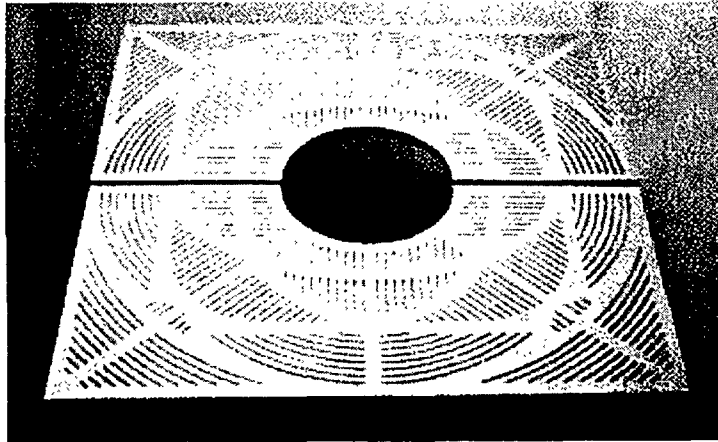
32 gallon

WEIGHT:

170 lb (77 kg.)

Figure 18

Tree Grates Street Furniture



Specifications:

Cast iron Tree Grates

- Provides easy watering access for the trees.
- Durable tar dipped cast iron construction
- Concentric rings can be cut and removed as the tree matures.

NUMBER OF SECTIONS:

Two sections

DIMENSIONS:

Overall size: 4'-0" x 4'-0"

Figure 19

landscaped buffer in addition to the required setback. This additional landscape buffer shall incorporate berms or decorative landscaped screens with a minimum height of 3'6" above the sidewalk finish grade, along the entire length of visual exposure.

9. Parking lots shall be landscaped in accordance with the requirements of the *City of Las Vegas Landscape, Wall & Buffer Standards*.
10. Any area(s) dedicated to surface parking shall be large enough to be able to accommodate a potential future building or parking structure.

3. STANDARDS FOR SPECIFIC USES

Proposed site plans not in compliance with this, or any other, Town Center Design or Development Standard shall be subject to review at a public hearing before the Planning Commission and/or City Council.

A. GAS AND SERVICE STATIONS

Gas and service stations within Town Center shall be integrated with other structures serving automobiles, such as parking garages. The intent is to enhance the appearance of gas and service stations through designs which conform to the accompanying development's general architectural features and the overall aesthetics of Town Center. The following standards apply:

1. Exterior walls of all gas and service station buildings are to be designed as part of the architectural form of the primary building or surrounding buildings.
2. When part of a larger structure, standard setback requirements shall apply to gas and service stations.
3. When gas stations are freestanding structures, they must be setback an additional five feet from the required setback to provide a more substantial landscape buffer.
4. The main building that contains the cashier and convenience store must be located against the right-of-way and face the inside of the parcel (Figure 20).

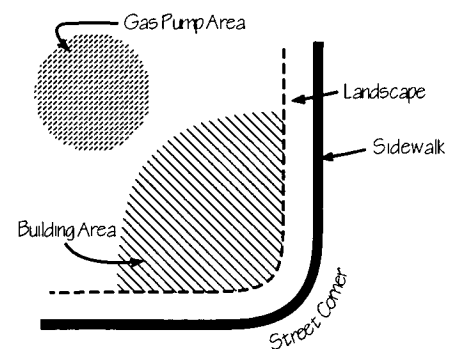


Figure 20

5. Gas pumps must be located away from the right-of-way to provide for safe access. All accessways shall be coordinated with adjacent uses.
6. To further enhance the presence of gas and service stations, care must be given to the lighting. Overhead lighting of the station shall be controlled to avoid spill-over onto adjacent uses. The underside of the gas pump canopy lighting must be recessed to avoid unnecessary glare.

B. FAST FOOD RESTAURANTS

Fast food restaurants within Town Center shall be integrated with other structures along streets. Exterior walls of all fast food buildings are to be designed as part of the architectural form of the main building or surrounding buildings. The intent is to minimize the fast food appearance through designs which conform to the accompanying development's general architectural features. The following standards apply:

1. When part of a larger structure, standard setback requirements shall apply to the fast food businesses.
2. When fast food buildings are freestanding structures, they shall be setback an additional 10 feet from the required setback to provide a more substantial landscape buffer.
3. To further enhance the presence of fast food enterprises, drive-through lanes shall not wrap around more than two sides of the building, and cannot encroach upon the required landscaping (Figure 21).
4. Outdoor dining areas may encroach into the required additional 10 foot wide landscaped area.

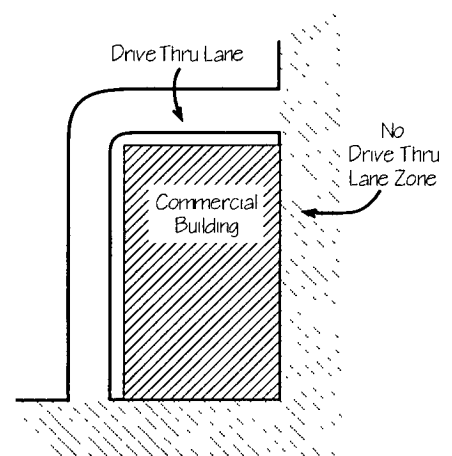


Figure 21

C. LOADING AND SERVICE AREAS

1. All loading and service areas (including storage, equipment, and maintenance areas) shall be screened from view with landscaping and/or architectural elements so as not to be viewed from any adjacent uses or public rights-of-way. Architectural screening shall be constructed of the same materials and finishes as the primary building.

2. All service and loading areas shall be positioned so that service vehicles will not disrupt traffic flow or parking lot operations.
3. No service, storage, maintenance or loading area may extend into a setback area.
4. All service and loading areas within the Main Street district shall be located in privately owned, mid-block alleyways.

D. MALLS AND MINI-MALLS

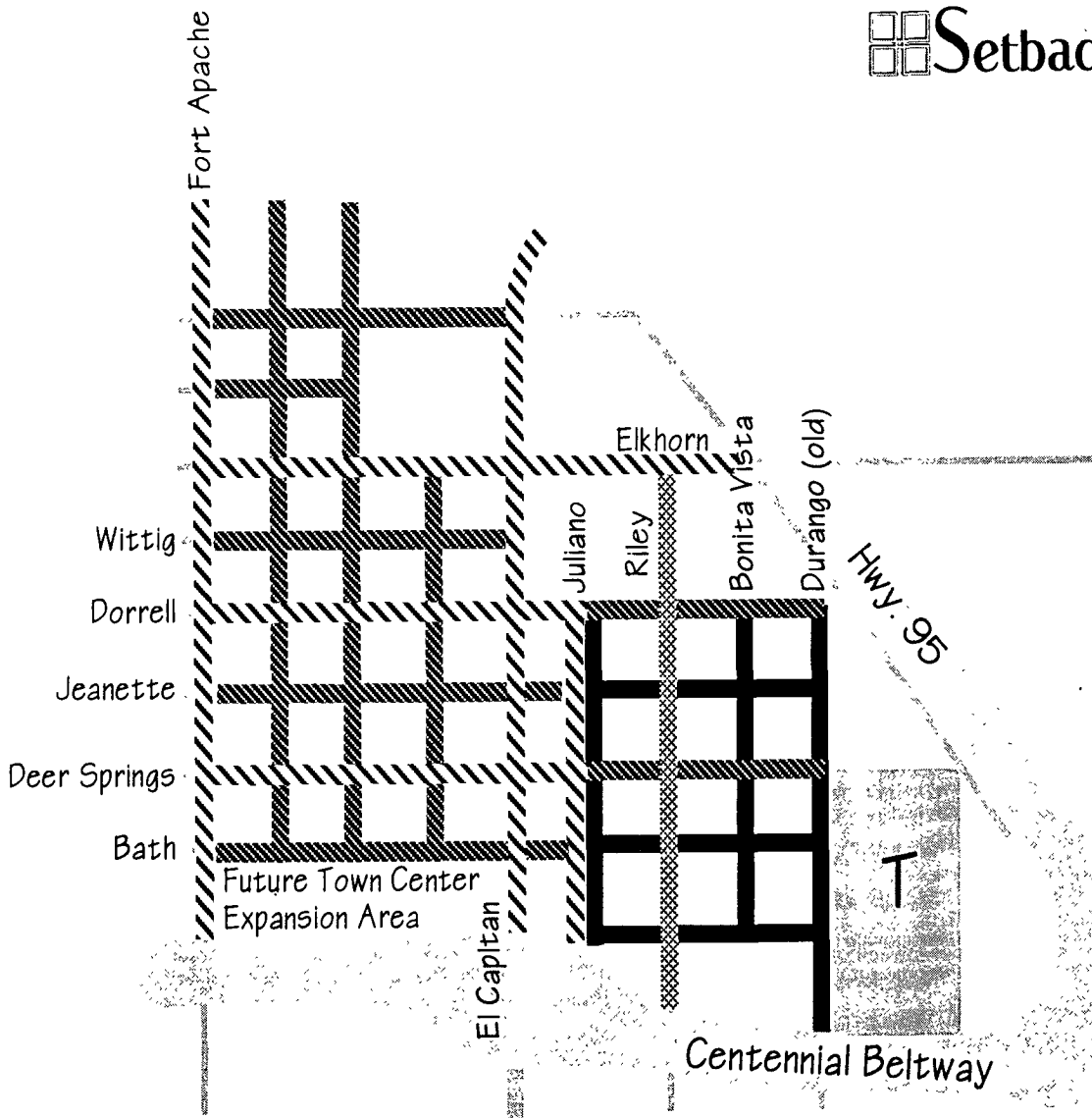
1. Commercial groupings such as malls and mini-malls shall be designed to emphasize safe pedestrian circulation and convenient parking. Parking areas, when no parking structure is provided, shall be consolidated in one central space and landscaped according to the City of Las Vegas *Landscape, Wall & Buffer Standards*.
2. Commercial buildings shall be located around the main parking area and be adjacent to a landscape buffer. When internal streets are provided, commercial buildings shall be directly adjacent to these streets to form a street edge and facilitate pedestrian connection between the buildings. Outdoor extension of any commercial business is recommended to activate pedestrian interest and reduce vehicular traffic.

D. PUBLIC TRANSIT

Public transit will play a major role in the success of Town Center. To address the need to provide transit alternatives and to alleviate the increasing congestion problems, staff will be working closely with the Regional Transportation Commission to provide for mass transit alternatives for the Town Center. Three elements will make up the backbone of transit in Town Center: Citizens Area Transit, the Fixed Guideway, and park-and-ride locations.

These elements are essential to the success of achieving a pedestrian-friendly environment for the Town Center.

As development proceeds within the Town Center, public transportation routes and schedules should be adjusted to accommodate demand from the Northwest users.



Main Street

Row:	100' typical
Sidewalk:	12' + 5' = 17'
Setback	
Sidewalk easement:	<u>10'</u>
Total Sidewalk:	27'
Typical Building Face to Face:	120'

Minor Town Center Street

Row:	80' typical
Sidewalk:	9' + 5' = 14'
Setback	
Sidewalk easement:	<u>3'</u>
Total Sidewalk:	17'
Typical Building Face to Face:	86'

Major Town Center Street

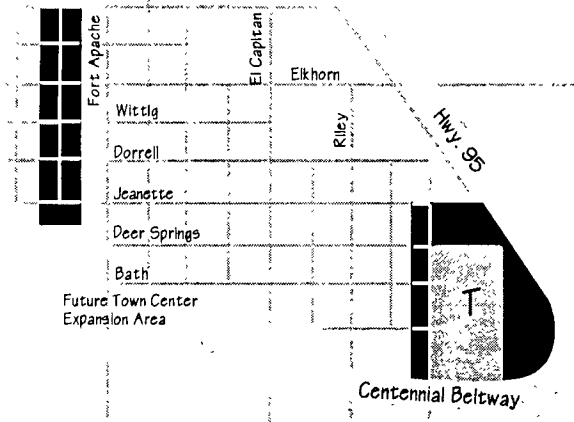
Row:	80' typical
Sidewalk:	9' + 5' = 14'
Setback	
Sidewalk easement:	<u>6'</u>
Total Sidewalk:	20'
Typical Building Face to Face:	92'

Parkway Type

Row:	120' typical
Sidewalk:	10' + 5' = 15'
Setback	
Landscape/Plaza:	<u>30'</u>
Typical Building Face to Face:	180'

Figure 22

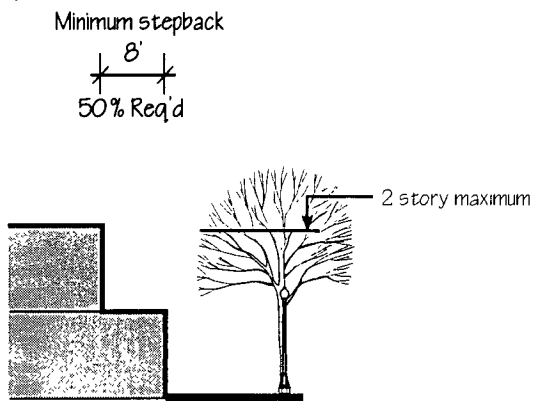
Main Street District



Building Height

- Stepbacks

Built-to-Line

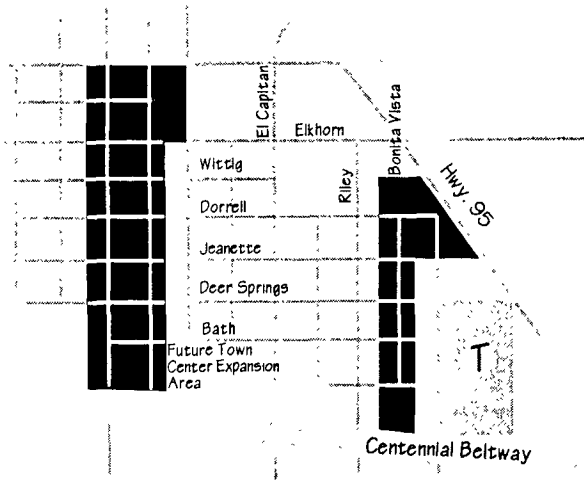


Minimum built to setback line : 60%

Remaining 40% to be used for plaza, access to inner courtyard / parking and building face articulation

Figure 23

Main Street District Transition Zone

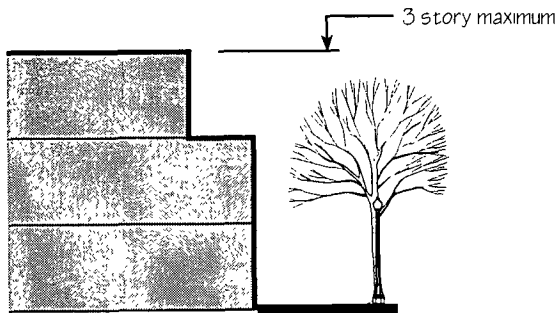


Building Height

- Stepbacks

Built-to-Line

minimum stepback

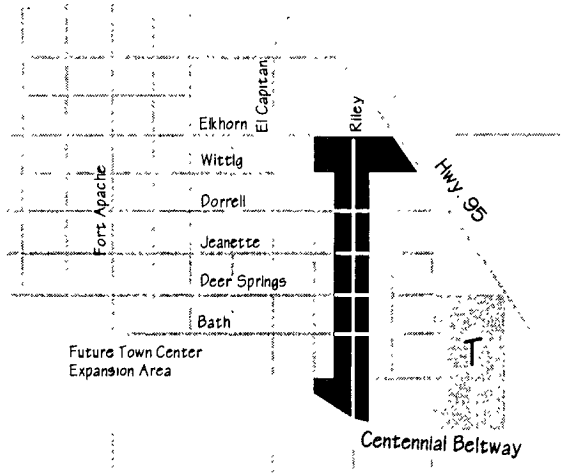


Minimum built to setback line : 70%

Remaining 30% to be used for plaza, access to inner courtyard / parking and building face articulation

Figure 24

Main Street

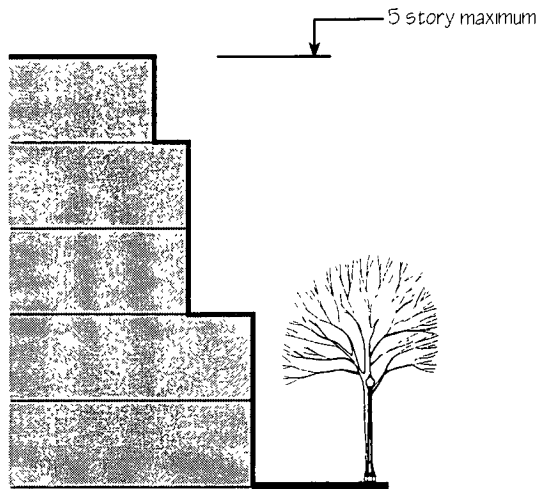
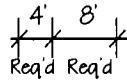


Building Height

- Stepbacks

Built-to-Line

minimum stepback



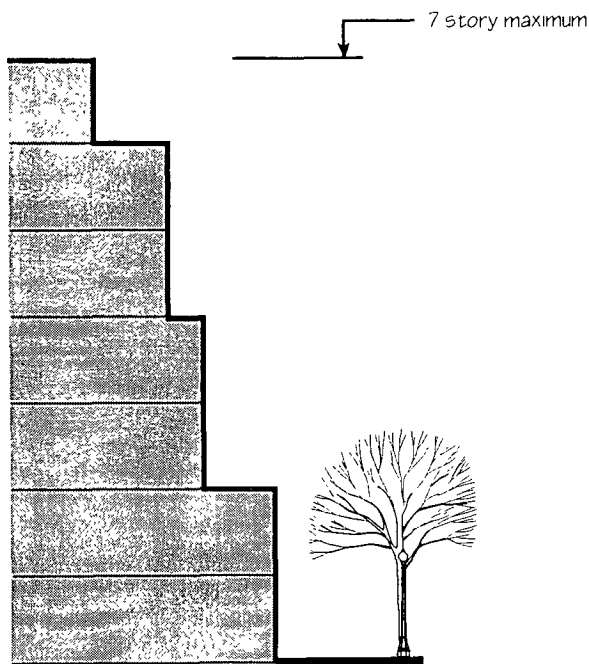
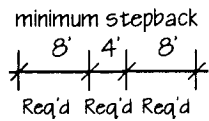
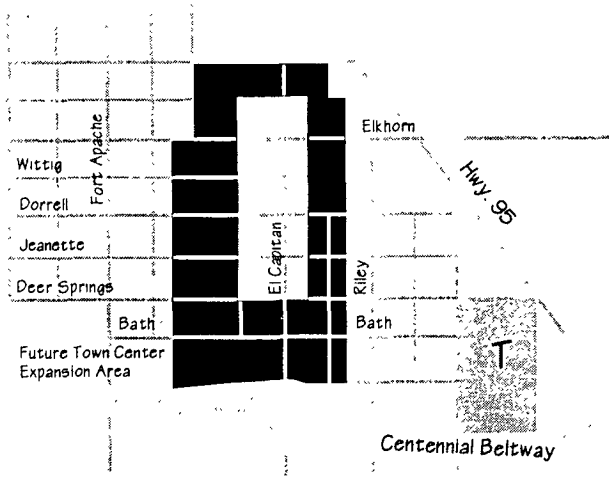
Minimum built to setback line : 80%

Remaining 20% to be used for plaza, access to inner courtyard / parking and building face articulation

Figure 25

Business District Transition Zone

Building Height
• Stepbacks
Built-to-Line

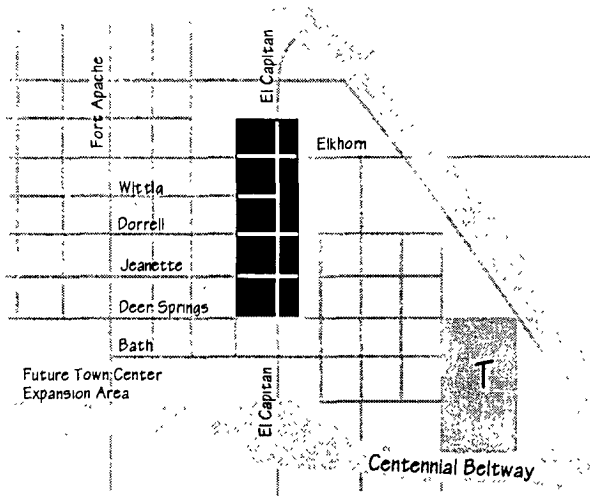


Minimum built to setback line : 60%

Remaining 40% to be used for plaza,
access to inner courtyard / parking
and building face articulation

Figure 26

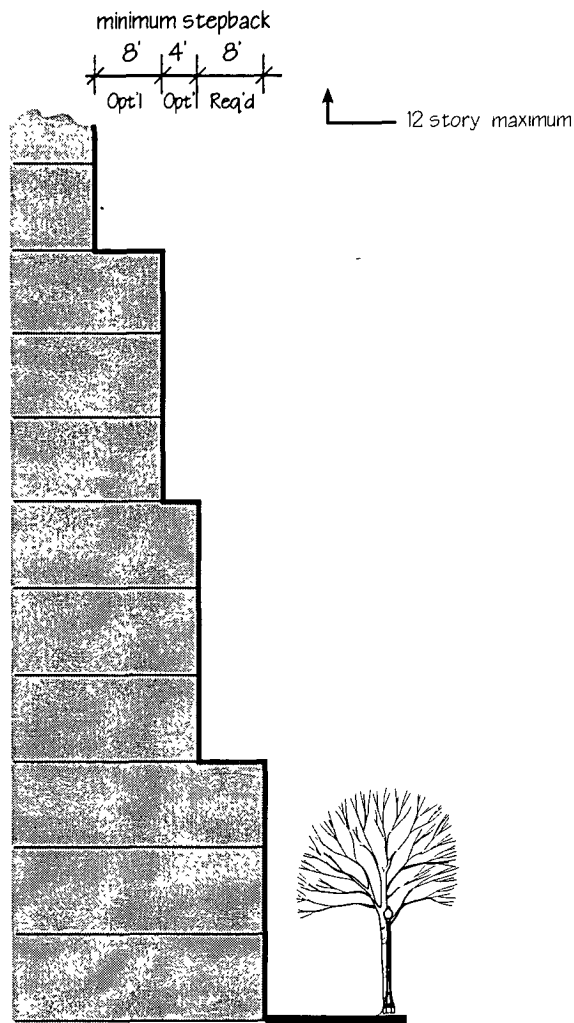
Business District



Building Height

- Stepbacks

Built-to-Line



Minimum built to setback line : N/A

Note:

Building height in excess of 12 stories shall require Site Plan Review by PC/CC

Figure 27

BILL NO. 98-74

ORDINANCE NO. ____

AN ORDINANCE RELATING TO ZONING; AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERETO; PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO; AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH.

Sponsored by:
Councilman Larry Brown

Summary: Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto.

THE CITY COUNCIL OF THE CITY OF LAS VEGAS DOES HEREBY ORDAIN
AS FOLLOWS:

SECTION 1: Title 19A, Chapter 4 of the Zoning Code of the City of Las Vegas is hereby amended by adding thereto a new subchapter, designated as Subchapter 110, reading as follows:

19A.06.110 T-C TOWN CENTER DISTRICT

A. Intent and Objectives

1. The Town Center (T-C) District is established to permit and encourage the development of a mixed use employment center which will provide economic stability and diversification for the City of Las Vegas. The primary objective of the T-C District concept is to provide employment for in excess of 100,000 individuals while, at the same time, creating a unique blending of human habitation and economic activity. The rezoning of property to the T-C District is appropriate only if the Town Center concept will be followed and the objectives set forth in Subsection 2 below are adhered to.

2. In the T-C District, the developer must demonstrate the potential for achieving the following outlined objectives throughout the planning, design and development stages:

a. Providing for an orderly and creative arrangement of land uses with respect to each other, to the Town Center and to all adjacent properties;

b. Providing for a variety of housing types which are not found elsewhere

1 in the City, as well as employment opportunities and commercial services to achieve a balanced
2 community for individuals and families of wide variety of ages, sizes and levels of income;

3 c. Providing for a planned and integrated comprehensive transportation
4 system for pedestrian and vehicular traffic, which may include provisions for mass transportation and
5 roadways, bicycle paths, pedestrian walkways and other similar transportation facilities;

6 d. Providing for cultural, educational, medical, religious and recreational
7 facilities;

8 e. Locating and siting structures to take maximum advantage of the natural
9 and manmade environment and to establish new view corridors; and

10 f. Providing for adequate, well-located and well-designed open space and
11 community facilities.

12 **B. Permitted Land Uses and Development Standards**

13 1. Development in the T-C District may consist of any use or appropriate
14 combination of uses that are specifically approved for the property in the Town Center Land Use
15 Matrix, as set forth in the Town Center Development Standards Manual. The developer shall identify
16 in a written analysis the proposed uses for each project and shall specify how each proposed use is
17 consistent with the Land Use Matrix.

18 2. Development in the T-C District shall conform to the Town Center
19 Development Standards Manual, which is hereby adopted by this reference. The Town Center
20 Development Standards Manual shall be on file in the Office of the City Clerk and in the Planning and
21 Development Department. The Town Center Development Standards Manual may be amended from
22 time to time by ordinance or by resolution of the City Council.

23 **C. Special Application Requirements**

24 Plans and documentation which must accompany a rezoning application are as follows:

25 1. A conceptual development plan for the property, including general land use
26 designations, parking plans, transportation plans and plans for open space and community facilities.

27 A general phasing plan shall be included to indicate the intended timing of development;

28 2. Proposed development standards that set forth architecture; densities; building

1 height, bulk and setback requirements; requirements for signage, landscaping, parking and open space.
2 The proposed standards should demonstrate consistency and compliance with the Town Center
3 Development Standards Manual;

4 3. Storm drainage information, which shall consist of a preliminary drainage study
5 completed by a registered professional engineer on a map with a minimum contour interval of five
6 feet;

7 4. Conceptual utility layout that includes tentative sewer and water main corridors;
8 and

9 5. Proposed conditions, covenants and restrictions, including architectural, design
10 and other development guidelines to be followed.

11 **D. Development Review, Recommendation, and Approval**

12 **1. Zoning Approval**

13 The rezoning of property to the T-C District shall be by means of a review and
14 recommendation by the Planning Commission and approval by the City Council, in accordance with
15 the provisions of Chapter 19A.18 of this Title. The approval of a T-C District by the City Council
16 shall be accomplished directly by ordinance. The approval of a T-C District may include the approval
17 of a Development Plan which shall thereafter govern the development of the property.

18 **2. Development Approval**

19 a. Plans for proposed development within the T-C District must be
20 submitted to the Planning and Development Department. The Director or the Director's designee shall
21 review the plans for conformance with the provisions of this Subchapter, and may require
22 modifications to the proposal in order to protect the public health, safety and welfare and to better
23 fulfill the intent of the Town Center Land Use Plan and the Town Center Development Standards
24 Manual.

25 b. Development of any project within the T-C District may be approved
26 administratively if the proposed development :

27 1) Requires no additional approval by any board or the City
28 Council; and

1 consideration the intent of the approved the Town Center Land Use Plan.

2 SECTION 2: If any section, subsection, subdivision, paragraph, sentence, clause or
3 phrase in this ordinance or any part thereof, is for any reason held to be unconstitutional, or invalid
4 or ineffective by any court of competent jurisdiction, such decision shall not affect the validity or
5 effectiveness of the remaining portions of this ordinance or any part thereof. The City Council of the
6 City of Las Vegas hereby declares that it would have passed each section, subsection, subdivision,
7 paragraph, sentence, clause or phrase thereof irrespective of the fact that any one or more sections,
8 subsections, subdivisions, paragraphs, sentences, clauses or phrases be declared unconstitutional,
9 invalid or ineffective.

10 SECTION 3: All ordinances or parts of ordinances or sections, subsections, phrases,
11 sentences, clauses or paragraphs contained in the Municipal Code of the City of Las Vegas, Nevada,
12 1983 Edition, in conflict herewith are hereby repealed.

13 PASSED, ADOPTED and APPROVED this ____ day of _____, 1998.

14 APPROVED:

15
16 By _____
JAN LAVERTY JONES, Mayor

17 ATTEST:

18
19 _____
BARBARA JO RONEMUS, City Clerk

20 APPROVED AS TO FORM:

21 _____
22 _____
Date

23
24
25
26
27
28

1 The above and foregoing ordinance was first proposed and read by title to the City Council on the
2 ____ day of _____, 1998, and referred to the following committee composed of
3 _____ and _____ for recommendation;
4 thereafter the said committee reported favorably on said ordinance on the ____ day of
5 _____, 1998, which was a _____ meeting of said Council; that at said
6 _____ meeting, the proposed ordinance was read by title to the City Council
7 as first introduced and adopted by the following vote:

8 VOTING "AYE": _____
9 VOTING "NAY": _____
10 ABSENT: _____

11 APPROVED:

12
13 By _____
JAN LAVERTY JONES, Mayor

14 ATTEST:
15
16 _____
BARBARA JO RONEMUS, City Clerk

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RECEIVED
CITY CLERK

AFFP DISTRICT COURT
Clark County, Nevada

1998 NOV -5 A 10: 18

AFFIDAVIT OF PUBLICATION

STATE OF NEVADA)
COUNTY OF CLARK) SS:

Barbara Linford, being 1st duly sworn, deposes and says:
That she is the Legal Clerk for the Las Vegas Review-Journal and the Las Vegas Sun, daily newspapers regularly issued, published and circulated in the City of Las Vegas, County of Clark, State of Nevada, and that the advertisement, a true copy attached for,

LV CITY CLERK
493896

2296311LV

was continuously published in said Las Vegas Review Journal or Las Vegas Sun in 1 edition(s) of said newspaper issued from 10/29/98 to 10/29/1998, on the following days: OCTOBER 29, 1998

Signed: Barbara Linford

SUBSCRIBED AND SWORN BEFORE ME THIS THE 29

day of Oct. 1998
Monica A. Peterson

Notary Public

MONICA A. PETERSON
Notary Public - Nevada
No. 97-3700-1
My appt. exp. Sept. 11, 2001

FIRST AMENDMENT
BILL NO. 98-74
AN ORDINANCE RELATING TO ZONING, AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERETO, PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO, AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH
SPONSORED BY Larry Brown
SUMMARY Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto, the textual plan elements to be applied thereto
At a City Council meeting
OCTOBER 12, 1998
BILL NO 98-74 WAS READ BY TITLE AND REFERRED TO RECOMMENDING COMMITTEE Councilmen McDonald and Brown
COPIES OF THE COMPLETE BILL ARE AVAILABLE FOR PUBLIC INFORMATION IN THE OFFICE OF THE CITY CLERK, 1ST FLOOR, CITY HALL, 400 EAST STEWART AVENUE, LAS VEGAS, NEVADA
PUB October 29, 1998
Las Vegas Review-Journal

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CITY CLERK

1998 NOV 23 P 4:41

AFFP DISTRICT COURT
Clark County, Nevada

AFFIDAVIT OF PUBLICATION

STATE OF NEVADA)
COUNTY OF CLARK) SS:

Barbara Linford, being 1st duly sworn, deposes and says:

That she is the Legal Clerk for the Las Vegas Review-Journal and the Las Vegas Sun, daily newspapers regularly issued, published and circulated in the City of Las Vegas, County of Clark, State of Nevada, and that the advertisement, a true copy attached for,

LV CITY CLERK
512790

2296311LV

was continuously published in said Las Vegas Review Journal or Las Vegas Sun in 1 edition(s) of said newspaper issued from 11/12/98 to 11/12/1998, on the following days: NOVEMBER 12, 1998

Signed:

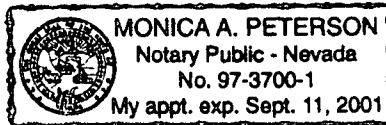
Barbara Linford

SUBSCRIBED AND SWORN BEFORE ME THIS THE

day of Nov. 1998

Notary Public

Monica A. Peterson



FIRST AMENDMENT
BILL NO. 98-74
ORDINANCE NO. 5113

AN ORDINANCE RELATING TO ZONING; AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERETO; PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO, AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH

SPONSORED BY: Councilman
Larry Brown

SUMMARY: Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto. The above and foregoing ordinance was first proposed and read by title to the City Council on the 12th day of October, 1998, and referred to the following committee composed of Councilmen McDonald and Brown for recommendation; thereafter the said committee reported favorably on said ordinance on the 9th day of November, 1998, which was a regular meeting of said City Council; and that at said regular meeting the proposed ordinance was read by title to the City Council as amended and adopted by the following vote:
VOTING "AYE" Councilmen Adamsen, McDonald, Reese and Brown
VOTING "NAY" NONE
EXCUSED: Mayor Jones
COPIES OF THE COMPLETE ORDINANCE ARE AVAILABLE FOR PUBLIC INFORMATION IN THE OFFICE OF THE CITY CLERK, 1ST FLOOR, 400 EAST STEWART AVENUE, LAS VEGAS, NEVADA
PUB. November 12, 1998
Las Vegas Review-Journal

RECEIVED
CITY CLERK

1998 NOV -5 A 10: 18

AFFP DISTRICT COURT
Clark County, Nevada
AFFIDAVIT OF PUBLICATION
STATE OF NEVADA)
COUNTY OF CLARK)

SS:

Barbara Linford, being 1st duly sworn, deposes and says:
That she is the Legal Clerk for the Las Vegas Review-Journal and the Las Vegas Sun, daily newspapers regularly issued, published and circulated in the City of Las Vegas, County of Clark, State of Nevada, and that the advertisement, a true copy attached for,

LV CITY CLERK
493896

2296311LV

was continuously published in said Las Vegas Review Journal or Las Vegas Sun in 1 edition(s) of said newspaper issued from 10/29/98 to 10/29/1998, on the following days: OCTOBER 29, 1998

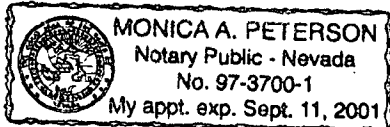
Signed: Barbara Linford

SUBSCRIBED AND SWORN BEFORE ME THIS THE 29

day of Oct 1998

Monica A. Peterson

Notary Public



FIRST AMENDMENT
BILL NO. 98-74
AN ORDINANCE RELATING TO ZONING; AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERE TO; PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO; AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH.
SPONSORED BY: Larry Brown
SUMMARY: Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto; the textual plan elements to be applied thereto.
At a City Council meeting, OCTOBER 12, 1998
BILL NO. 98-74 WAS READ BY TITLE AND REFERRED TO RECOMMENDING COMMITTEE: Councilmen McDonald and Brown
COPIES OF THE COMPLETE BILL ARE AVAILABLE FOR PUBLIC INFORMATION IN THE OFFICE OF THE CITY CLERK, 1ST FLOOR, CITY HALL, 400 EAST STEWART AVENUE, LAS VEGAS, NEVADA.
PUB: October 29, 1998
Las Vegas Review-Journal



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RECEIVED
CITY CLERK

AFFP DISTRICT COURT
Clark County, Nevada

1998 NOV 23 P 4:42

AFFIDAVIT OF PUBLICATION

STATE OF NEVADA)
COUNTY OF CLARK) SS:

Barbara Linford, being 1st duly sworn, deposes and says:

That she is the Legal Clerk for the Las Vegas Review-Journal and the Las Vegas Sun, daily newspapers regularly issued, published and circulated in the City of Las Vegas, County of Clark, State of Nevada, and that the advertisement, a true copy attached for,

LV CITY CLERK
512790

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was continuously published in said Las Vegas Review Journal or Las Vegas Sun in 1 edition(s) of said newspaper issued from 11/12/98 to 11/12/1998, on the following days: NOVEMBER 12, 1998

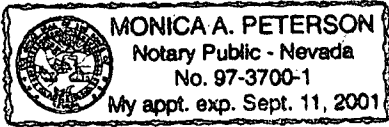
Signed: Barbara Linford

SUBSCRIBED AND SWORN BEFORE ME THIS THE 12

day of Nov. 1998

Monica A. Peterson

Notary Public



FIRST AMENDMENT
BILL NO. 98-74
ORDINANCE NO. 5113

AN ORDINANCE RELATING TO ZONING; AMENDING TITLE 19A, CHAPTER 4, OF THE ZONING CODE OF THE CITY OF LAS VEGAS, AS ADOPTED BY AND INCORPORATED IN TITLE 19A OF THE MUNICIPAL CODE OF THE CITY OF LAS VEGAS, NEVADA, 1983 EDITION, BY ADDING THERETO A NEW SUBCHAPTER, DESIGNATED AS SUBCHAPTER 110, TO ESTABLISH THE TOWN CENTER (T-C) ZONING DISTRICT AND THE REGULATIONS AND STANDARDS PERTAINING THERETO; PROVIDING FOR OTHER MATTERS PROPERLY RELATING THERETO; AND REPEALING ALL ORDINANCES AND PARTS OF ORDINANCES IN CONFLICT HEREWITH.

SPONSORED BY: Councilman Larry Brown

SUMMARY: Establishes the Town Center (T-C) Zoning District and the regulations and standards pertaining thereto

The above and foregoing ordinance was first proposed and read by title to the City Council on the 12th day of October, 1998, and referred to the following committee composed of Councilmen McDonald and Brown for recommendation; thereafter the said committee reported favorably on said ordinance on the 9th day of November, 1998, which was a regular meeting of said City Council; and that at said regular meeting the proposed ordinance was read by title to the City Council as amended and adopted by the following vote:

VOTING "AYE" Councilmen Adamsen, McDonald, Reese and Brown

VOTING "NAY" NONE

EXCUSED: Mayor Jones

COPIES OF THE COMPLETE ORDINANCE ARE AVAILABLE FOR PUBLIC INFORMATION IN THE OFFICE OF THE CITY CLERK, 1ST FLOOR, 400 EAST STEWART AVENUE, LAS VEGAS, NEVADA.

PUB: November 12, 1998
Las Vegas Review-Journal

