

PLANNING &
DEVELOPMENT



Development
Services Center
731 S. Fourth Street
Las Vegas, NV 89101

TDD 702-386-9108
Voice:
Administration 229-6353
Comp Planning 229-6022
Current Planning 229-6301
Permits & Inspections 229-6251



011027

February 27, 1998

C O R R E C T E D L E T T E R

Dr. Stephen Shearing
2575 Lindell
Las Vegas, Nevada 89102

RE: Z-137-97 - REZONING

Dear Dr. Shearing:

Your request for a Rezoning on property located south of Centennial Parkway, east of Rancho Drive, From: R-PD7 (Residential Planned Development - 7 Units Per Acre) Zone and R-E (Residence Estates) under Resolution of Intent to R-PD7 (Residential Planned Development - 7 Units Per Acre) To: PD (Planned Development), PROPOSED USE: MIXED USE DEVELOPMENT, Size: 11.00 Acres, Ward 4 (Brown), APN: 125-27-101-014, 125-27-111-002 through 009, and 125-27-112-001 through 176, was considered by the Planning Commission on February 12, 1998.

The Planning Commission voted to recommend APPROVAL of your request, subject to the following:

1. Approval of a site development plan by the Planning Commission and City Council at a public hearing prior to the issuance of any permits for this site.
2. The final architectural theme shall be consistent for the entire project and conform to the all standards of the master development plan.
3. Amend the traffic study to clarify issues relating to access to Tropical Parkway and traffic signalization at the time of approval of the site development plan.
4. Meet with the Clark County Department of Public Works to determine the extent to which the planned Las Vegas Valley Beltway project will impact this rezoning site, if any. Provide to the City a copy of a letter from the County (or other information acceptable to City Staff) identifying all required Beltway right-of-way, if any, needed from this rezoning site; such information must be submitted to the City prior to or concurrent with submission of a Site Development Review application or the submission of any map dividing this rezoning site, whichever may occur first, as required by the Department of Public Works. Site plans submitted shall reflect the Beltway right-of-way requirements as set forth in the above required County letter/information. This rezoning action shall not apply to that portion of this rezoning site that is needed for the Beltway project.

Mayor
Jan Laverty Jones

Councilmen
Arnie Adamsen
Michael J. McDonald
Gary Reese
Larry Brown

City Manager
Larry K. Barton



5. A Vacation Application to vacate all public rights-of-way in conflict with the approved site plan must record prior to the issuance of any permits for this rezoning site or the recordation of any map dividing this rezoning site, whichever may occur first, as required by the Department of Public Works.
6. A Reversionary Map to revert the underlying Centennial Ranch Condominiums Subdivision Map to acreage shall record prior to the issuance of any permits for this rezoning site as required by the Department of Public Works.
7. Submit an alignment proposal, including appropriate geometric, speed limit and super-elevation design information, for an 80-foot wide right-of-way comprising the Tropical Parkway/East-West Frontage Road corridor for review and approval by the City Planning Engineer; this design proposal shall extend from Rancho Drive through this rezoning site and continuing to Tenaya Way. Dedicate this rezoning's share of the approved design alignment and provide dedication through the adjacent property to the east to connect to Monte Cristo Way for the Tropical Parkway/East-West Frontage Road corridor. As an alternate, this corridor may be designed at a width other than 80 feet as long as the corridor allows for pedestrian corridors and a four-travel-lane facility including extra right-of-way width, where needed, to accommodate proposed turning movements at intersecting streets and driveways. The design proposal shall also address the need for additional right-of-way widths to accommodate embankment footprint areas if elevated roadway sections are included in the design proposal; if the applicant can utilize the embankment areas for other purposes, such areas do not need to be dedicated as public right-of-way subject to approval of the City Planning Engineer. The design of this street corridor and the associated right-of-way dedication areas must be approved by the City Planning Engineer prior to the submittal of any future Site Development Review proposals or the submittal of any maps dividing this rezoning site, whichever may occur first, as required by the Department of Public Works. Provide a plan acceptable to the City Planning Engineer and dedicate the appropriate right-of-way to terminate Ranch House Road in a public cul-de-sac (meeting current City Standards) within the overall project boundaries. All required dedications shall be provided to the City within 60 days of approval by the City Planning Engineer of the alignment proposal for the Tropical Parkway/East-West Frontage Road corridor and termination plan for Ranch House Road as required by the Department of Public Works.
8. Construct all full-width street and cul-de-sac improvements needed to terminate Ranch House Road and to meet current City Standards for dead-end street corridors; construct all full-width street improvements on the Tropical Parkway/East-West Frontage Road corridor through this site; construct a minimum of two lanes of paving from this rezoning site easterly to Tenaya Way as required by the Department of Public Works. All required street improvements shall be constructed prior to or concurrent with development of this site; all required improvements must be accepted by the City prior to occupancy of this rezoning site. The applicant shall submit construction drawings for all required public street improvements on the proposed Tropical Parkway/East-West Frontage Road corridor within 180 days of receipt of written notification by the City that such improvements are required, and construction of such improvements shall begin within 90 days of approval of the

submitted construction drawings. Failure to comply with this condition shall result in this item being reconsidered by the City Council. Install all appurtenant underground facilities, if any, adjacent to this rezoning site needed for the future traffic signal system network concurrent with development of this site.

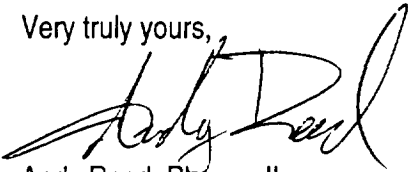
9. Coordinate the extension and oversizing of the public sanitary sewer system servicing this site with the Department of Public Works. All required public sewer easements necessary to connect this rezoning site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any off-site permits as required by the Department of Public Works.
10. If not already existing, provide a minimum of two lanes of paved, legal access to this site prior to occupancy of any units within this development as required by the Department of Public Works.
11. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
12. A Traffic Impact Analysis and Master Driveway and Onsite Circulation Plan must be submitted to and approved by the Department of Public Works prior to the issuance of grading, building or off-site permits. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall address operational issues regarding the number and location of the proposed access drives, shall determine traffic signal contribution requirements and shall also include a section addressing Standard Drawings #201.1, #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. The number and location of the permitted driveways to service the overall commercial site shall be as approved within the required plan; no additional driveways or driveway relocations shall be allowed unless the Department of Public Works approves such. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
13. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways as recommended in the approved Drainage Plan/Study.

Dr. Stephen Shearing
February 27, 1998
Z-137-97 - Page Four

14. The underlying Resolution of Intent shall be expunged upon recordation of a Reversionary Map of the Centennial Ranch Condominium subdivision.
15. A Resolution of Intent.

This item will be considered by the City Council on March 9, 1998, at 2:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Council requires that you or your representative be present at this meeting. If you or your representative choose not to attend, the City Council may act in your absence without your input.

Very truly yours,



Andy Reed, Planner II
Current Planning Division

AR:sd

cc: Mr. Robert Schulman
LVLM, Limited Liability Company
3900 Paradise Road, Suite #185
Las Vegas, Nevada 89109

Mr. Jim Veltman
2801 North Tenaya Way, Suite B
Las Vegas, Nevada 89128