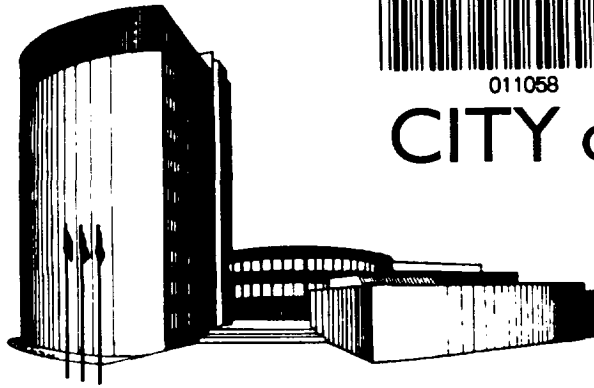


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LARRY K. BARTON



CITY of LAS VEGAS

May 4, 1998

Mr. Jim Maginn
Sahara Paradise Plaza Limited Partnership on behalf of
McDonald's Corporation
2716 Ocean Park Boulevard, Suite 3040
Santa Monica, California 90405-2430

RE: Z-20-77(1) - SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Maginn:

The City Council at a regular meeting held April 13, 1998 APPROVED the request for a Site Development Plan Review on property located on the northwest corner of Sahara Avenue and Paradise Road FOR A PROPOSED 3,087 SQUARE FOOT FAST FOOD RESTAURANT, C-1 (Limited Commercial) Zone, Size: 2.29 Acres. The Notice of Final Action was filed with the Las Vegas City Clerk on April 14, 1998 This approval is subject to:

1. The 1991 Variance granted for this center shall be permitted to continue.
2. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
3. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of grading, building or off-site permits. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The Traffic Impact Analysis shall determine traffic signal contribution requirements and shall also include a section addressing Standard Drawings #201.1, #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. The Traffic Impact Analysis should also address the impact the proposed drive-through will have on the existing on-site circulation for this site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any Condition of Approval imposed by the Planning Commission or the City Council on the development of this site.



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4. Any traffic mitigation required as a result of this use shall be the applicant's responsibility.
5. Landscape and maintain all unimproved rights-of-way on Sahara Avenue and Paradise Road, if any, adjacent to this site as required by the Department of Public Works.
6. Submit an application for an Occupancy Permit for all landscaping and private improvements in the Sahara Avenue and Paradise Road public rights-of-way adjacent to this site prior to the issuance of any permits as required by the Department of Public Works.
7. Conformance to the site plan as amended by the above conditions.
8. The building elevations shall be architecturally compatible with the surrounding shopping center.
9. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
10. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
11. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
12. City Code requirements and design standards of all City departments must be satisfied.
13. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.
14. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.
15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
16. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

Mr. Jim Maginn
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17. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS
City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Mr. Michael Crawley
McDonald's Corporation
2030 East Flamingo Road, Suite 290
Las Vegas, Nevada 89119

Mr. Patrick Klenk
Westar Architectural Group/NV, Inc.
3900 Meadows Lane, Suite 220
Las Vegas, Nevada 89107