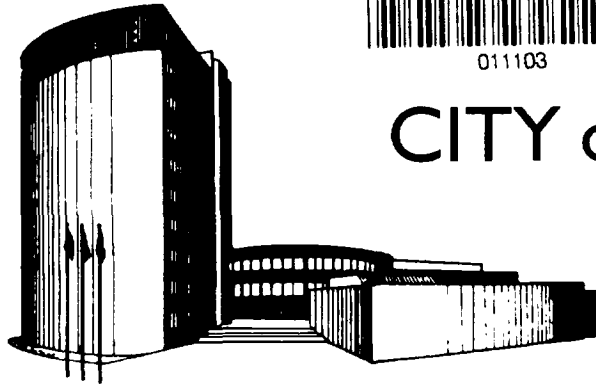




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CITY of LAS VEGAS



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LARRY K. BARTON**

May 20, 1998

Mr. David Barksdale
Charleston Associates Limited Liability Company
9452 West Sahara Avenue
Las Vegas, Nevada 89117

RE: Z-30-92(5) - SITE DEVELOPMENT PLAN REVIEW [Related to Z-12-98]

Dear Mr. Barksdale:

The City Council at a regular meeting held April 27, 1998 APPROVED the request for a Site Development Plan Review on property located on the northeast corner of Rampart Boulevard and Charleston Boulevard FOR A PROPOSED 433,240 SQUARE FOOT RETAIL SHOPPING CENTER INCLUDING 21 RETAIL PAD SITES, U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial), Size: 48.7 Acres. The Notice of Final Action was filed with the Las Vegas City Clerk on April 28, 1998. This approval is subject to:

1. Install a 15 foot wide landscape planter along Merialdo Lane from Charleston Boulevard to the southern boundary of the single family residential development and install a 45 foot wide landscape planter from that point to the north boundary of the site.
2. A bike staging area shall be incorporated into the final site design and bike racks shall be provided throughout the development. The bike racks and staging area shall be depicted on the final site plan submitted for Planning and Development Department review and approval prior to the issuance of any permits.
3. A six foot high decorative wall shall be constructed along the east property line where such does not exist.
4. The proposed garden center shall be designed with a screening material acceptable to the Planning and Development Department.
5. Outdoor storage and display outside of the garden center area shall be prohibited.
6. There shall be no storage of odor producing materials outside the buildings or the garden center enclosure.
7. The parking rows depicted along the sidewalk adjacent to the south and west side of the commercial strip building shall be removed and only handicapped parking and landscaping may be located in these areas.



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8. The proposed parking lots located along the north side of the commercial strip building shall be redesigned and landscaped to create more defined driving aisles and better relationship between clusters of parking spaces.
9. The location of all trash dumpsters and enclosures shall be depicted on the final site development plan and shall be approved by staff and Silver State Disposal Service.
10. Access to Merialdo shall be restricted to prevent left turn movements out of the project.
11. There shall be no food service in Building "N".
12. Distinctive entry features identifying the project shall be located at the intersections of Rampart Boulevard and Charleston Boulevard and Charleston Boulevard and Merialdo Lane.
13. Final site, landscape, and elevation plans shall be submitted for review and approval by the Planning and Development Department prior to the issuance of any permits.
14. The final design of the Site Development Plan shall be subject to the review and approval of the Metro Crime Prevention Office, with the Planning and Development Department having the final approval status prior to the issuance of any permits.
15. A final sign plan shall be submitted for review and approval by the Planning and Development Department prior to the issuance of any permits.
16. The developer shall work with the City and the owners of property adjacent to the west side of Rampart Boulevard to install landscaping within the right-of-way no later than upon completion of 50% of the site. A maintenance agreement shall be made, with maintenance of this landscaping being the responsibility of the property owners as required by the Planning and Development Department.
17. There shall be a 24-hour security provided 7 days a week throughout the project, with emphasis on the east property line.
18. Construction of the northern phase shall commence within a maximum of four years.
19. The submitted Reversionary Parcel Map, PM-1-98, shall record prior to the recordation of a Final Map as required by the Department of Public Works.
20. Construct all half-street improvements including full-width paving adjacent to this site on Alta Drive. Also, construct half-street improvements on Merialdo Lane and all incomplete half-street improvements on Rampart Boulevard (sidewalk) as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. Construction drawings for all required public street improvements on Alta Drive shall be submitted to the City within 180 days of City Council approval of this Site Development Plan Review, and construction of such improvements shall begin within 90 days of approval of the submitted construction drawings. Failure to comply with this condition shall result in this item being reconsidered by the City Council.

21. Construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site; the connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on-site with a handicap ramp as required by the Department of Public Works.
22. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
23. Contribute a total of \$348,180.00 for the entire development site bounded by Alta Drive, Merialdo Lane, Charleston Boulevard and Rampart Boulevard per the approved Peccole Ranch Signal Participation Proposal prior to the issuance of building or off-site permits or the recordation of a Final Map on this site, whichever may occur first as required by the Department of Public Works. This amount may be reapportioned among any undeveloped parcels within the Peccole Ranch Signal Participation area or phased within this development site if an alternate proposal is submitted to and approved by the Department of Public Works.
24. A Traffic Impact Analysis for the overall Peccole Town Center site, including a Master Driveway Analysis and On-Site Circulation Plan for the overall Planned Development site shall be submitted to and approved by the Department of Public Works prior to the issuance of grading, building or off-site permits or the recordation of a Final Map for this site. The Traffic Impact Analysis shall determine any additional traffic signal contribution requirements needed for a secondary traffic signal at the intersection of Merialdo Lane and Charleston Boulevard to service this commercial site. The Traffic Impact Analysis shall also include a section addressing the addition of a median island on Merialdo Lane to prevent east to northbound traffic into the residential neighborhood, potential on-site and off-site bike paths connecting to the existing bike path network, and shall also include a section addressing Standard Drawings #201.1, #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. If additional rights-of-way are not required and Traffic Control devices are or may be proposed at this site outside of the public right-of-way, all necessary easements for the location and/or access of such devices shall be granted prior to the issuance of permits for this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. The Master Driveway Analysis shall determine the number and location of allowable driveways servicing this site; no other driveways shall be allowed to service this site unless authorized by the Traffic Engineer. The On-Site Circulation Plan shall specifically address the proposed circulation of delivery trucks through this site including appropriate turning radii. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

25. The applicant shall work with the Traffic Engineer to install appropriate tonnage signs adjacent to the residential community.
26. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on-site circulation, and parking lot layout prior to the issuance of any building or grading permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
27. This overall commercial site shall have perpetual common access to all driveways connecting this site to the abutting streets, and a note to this effect shall appear on any Final Map or other map further subdividing this commercial site, if applicable, as required by the Department of Public Works.
28. Landscape and maintain all unimproved right-of-way on Charleston Boulevard adjacent to this site as required by the Department of Public Works.
29. Submit an application for an Occupancy Permit for all landscaping and private improvements in the Charleston Boulevard public right-of-way adjacent to this site prior to the issuance of any permits as required by the Department of Public Works.
30. Submit an encroachment agreement for all landscaping and private improvements., if any, located in the Rampart Boulevard or Alta Drive public right-of-way including landscaping within median islands, adjacent to the site as required by the Department of Public Works.
31. Remove all substandard public street improvements, if any, adjacent to this site and replace with new improvements meeting current City Standards concurrent with on-site development activities as required by the Department of Public Works.
32. A Drainage Plan and Technical Drainage Study for the overall Peccole Town Center site must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study; all public easements in conflict with this development site shall be vacated as required by the Department of Public Works.
33. Development of this site shall conform with the Peccole Town Center Master Development Plan and Development Standards established for Phase 1, except as modified above or when more restrictive regulations are required by City Code or Ordinance.
34. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

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35. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
36. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
37. All City Code requirements and design standards of all City departments must be satisfied.
38. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.
39. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.
40. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
41. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
42. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade, unless otherwise stipulated.
43. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,

Handwritten signature of Barbara Jo Ronemus in cursive script, with the initials 'BJR' written below the signature.

BARBARA JO RONEMUS
City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Mr. Steve Swisher
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Las Vegas, Nevada 89128