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# CITY of LAS VEGAS

October 8, 1998

Mr. Chet Nichols  
Kryfam, Limited Partnership  
1253 South Arville Street  
Las Vegas, Nevada 89102

RE: Z-64-95(2) - SPECIAL USE PERMIT [Related to U-86-98]

Dear Mr. Nichols:

The City Council at a regular meeting held September 14, 1998 APPROVED the request for a Site Development Plan Review on property located north of Ann Road, between U.S. 95 and Tenaya Way, FOR A PROPOSED 114,798 SQUARE FOOT RETAIL SHOPPING CENTER, C-2 (Limited Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to C-1 (Limited Commercial), Size: 11.38 Acres. The Notice of Final Action was filed with the Las Vegas City Clerk on September 15, 1998. This approval is subject to:

1. A revised site plan, indicating compliance with the landscape requirements of the City of Las Vegas Urban Design Guidelines and Standards and with the Town Center Development Standards shall be submitted for review and approval by the Planning and Development Department prior to the issuance of any permits.
2. The loading area shall be relocated from the north side of the parcel to the west property line, next to the existing car dealership.
3. There shall be no trash enclosures or dumpsters on the north property line.
4. There shall be no parking on the north property line.
5. Monument signage shall be consistent with Town Center Standards.
6. The six foot wall shall be maintained at six feet, even after grading of the property. In the event grading causes the wall to be less than six feet and footing specifications make it impossible to increase the height of the wall, the issue shall be reviewed by the City Council.
7. Speed bumps shall be installed in the rear on the north property line.
8. The minor auto repair facility shall be deleted from this request unless the permitted uses within the proposed SC-TC Land Use category are changed to allow minor auto repair.

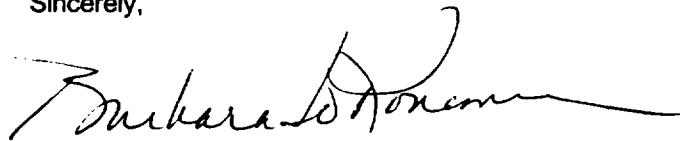


9. The submitted update to the previously approved Traffic Impact Analysis for the Ann/Tenaya Development must be approved by the Department of Public Works prior to the issuance of any building or grading permits for this site. The applicant shall construct the traffic signal at the intersection of Tenaya Way and Skypointe Drive prior to occupancy of any buildings on this site, if such is allowed by the Department of Transportation. If such is not allowed at the time of development of this site, the applicant shall construct all underground infrastructure as required and shall obtain and grant to the City all necessary equipment to construct the entire signal. Monies in lieu of construction and/or equipment may be contributed if allowed by the City Traffic Engineer. The update shall also address the number and locations of the proposed driveways for this site and shall be modified as required by the Traffic Engineer. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
10. Meet with the Traffic Engineer for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Proposed driveways shall be coordinated with the existing driveways adjacent to and across the street from this site as required by the Department of Public Works. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
11. **Original condition #23 of Zoning Reclassification action Z-64-95 shall be revised to read as follows:** A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.
12. Site development to comply with all applicable conditions of Z-64-95 as required by the Planning and Development Department and the Department of Public Works.
13. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
14. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
15. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets.

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16. All City Code requirements and design standards of all City departments must be satisfied.
17. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.
18. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.
19. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
20. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
21. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS  
City Clerk *RSB*

/ac

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. Of Fire Services  
Land Development Services

Mr. Brian Psioda  
VTN Nevada  
2727 South Rainbow Boulevard  
Las Vegas, Nevada 89146

Ms. Tami Hulsey  
Amland Development, Incorporated  
1253 South Arville Street  
Las Vegas, Nevada 89102