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CITY of LAS VEGAS

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October 8, 1998



Mr. Andrew L. Breech
M. E. Ryan, Limited Liability Company and National Facilities Corporation
2120 Wilshire Boulevard, Suite 400
Santa Monica, California 90403

RE: SD-19-98 - SITE DEVELOPMENT PLAN REVIEW [Related to Z-74-97(2)]

Dear Mr. Breech:

The City Council at a regular meeting held September 14, 1998 APPROVED the request for a Site Development Plan Review on property located on the south side of Ann Road and east of Rancho Drive FOR A PROPOSED 84,404 SQUARE FOOT AUTOMOBILE DEALERSHIP, C-2 (General Commercial) and R-E (Residence Estates) Zones under Resolution of Intent to PD (Planned Development), Size: 14.74 Acres. The Notice of Final Action was filed with the Las Vegas City Clerk on September 15, 1998. This approval is subject to:

1. All landscape planters that abut the residential properties to the east shall be a minimum of 15 feet in width with 24 inch box trees spaced 20 feet on center, shrubs and ground cover. The width of the planter may be reduced to eight feet where it abuts a residential property where the owner has elected to keep their portion of the Rio Vista Street Vacation.
2. The existing six foot high block wall along the east property line may be raised to a height of eight feet if it is determined that, in doing so, the wall will remain structurally sound. If such is not the case, the developer can work with staff to determine an alternative method for increasing the wall height.
3. Any wall to be placed along the Rio Vista Street and Drexel Road cul-de-sacs, or to separate the dealership from the planned Rio Vista shopping center, shall be decorative as determined by the Planning and Development Department.
4. The installation and use of an outside public address or bell system is prohibited.
5. No used or discarded automotive parts shall be located in any open area outside of an enclosed building.



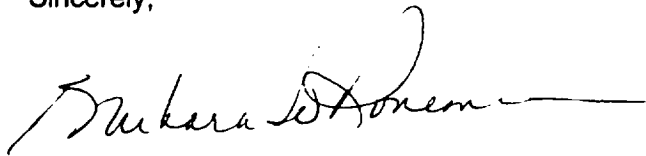
6. Post no-parking signs on the east half of Rio Vista Street from the northeast edge of the site northward to Ann Road; the location of such signs shall be at the discretion of the Traffic Engineer.
7. All exterior lighting shall be screened or otherwise designated so as to not shine directly on to any adjacent parcel.
8. All accessory service shall be performed inside an enclosed area.
9. There shall be no test drives conducted on Rio Vista Street.
10. The parking structure is limited to a maximum height of 35 feet to be measured from the top of the screening wall, with no canopy on the upper level, except that the elevator shaft may exceed the height limit as needed.
11. There shall be no barbed wire on the site.
12. Appropriate vacation applications for all existing rights-of-way in conflict with this site plan shall have recorded prior to the issuance of any grading or building permits for this site, whichever may occur first, as required by the Department of Public Works. However, as an exception to the above requirement, if the vacation of Rio Vista Street south of the proposed cul-de-sac can not be recorded, the applicant shall landscape, at minimum, the easternmost 30 feet of Rio Vista Street south of the proposed cul-de-sac; the proposed parking lot may encroach into the western 30 foot half-street portion of Rio Vista Street. The applicant shall submit an Encroachment Agreement for all landscaping and private improvements within the Rio Vista Street public right-of-way prior to occupancy of this site.
13. The submitted Master Traffic Impact Analysis for the Fletcher Jones/Team Ford Auto Dealerships shall have received City approval prior to the issuance of any permits for this site as required by the Department of Public Works. Comply with all applicable recommendations of the approved Traffic Impact Analysis prior to occupancy of this site.
14. An addendum to the Drainage Plan and Technical Drainage Study for the Rio Vista Plaza commercial subdivision must be submitted to and approved by the Department of Public Works prior to the issuance of any permits or the recordation of a Final Map for this site, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways as recommended in the approved drainage plan/study.
15. Site development to comply with all applicable conditions of approval for Z-74-97, the Rio Vista Plaza commercial subdivision, and all other site-related actions as required by the Planning and Development Department and the Department of Public Works.

16. All development shall be in conformance with the plot plan, as revised by the above conditions, and building elevations.
17. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
18. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
19. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
20. All City Code requirements and design standards of all City departments must be satisfied.
21. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.
22. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.
23. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.
24. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
25. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

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26. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS
City Clerk *BJR*

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Mr. Don Benedict
Rio Vista Plaza, Limited Liability Company
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