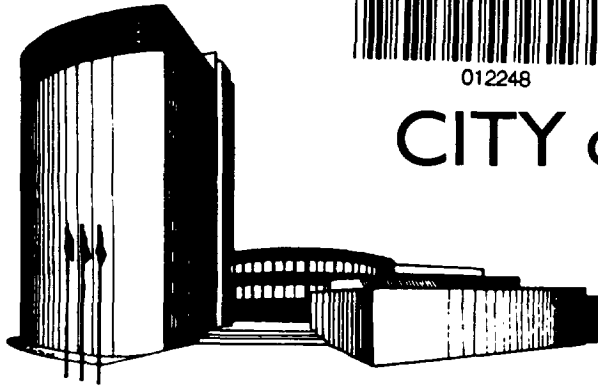


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CITY MANAGER  
VIRGINIA VALENTINE



# CITY of LAS VEGAS

March 9, 1999

Mr. Kevin Novak  
Mr. Hank Gordon  
Laurich Properties, Inc.  
2500 West Sahara Avenue, Suite #211  
Las Vegas, Nevada 89102

RE: Z-131-94(5) - SITE DEVELOPMENT PLAN REVIEW (Related to U-168-98, U-169-98 & U-171-98)

Dear Messers Novak and Gordon:

The City Council at a regular meeting held February 22, 1999 APPROVED the request for a Site Development Plan Review on property located on the south side of Washington Avenue, approximately 320 feet east of Buffalo Drive FOR A PROPOSED 135,712 SQUARE FOOT COMMERCIAL RETAIL CENTER, U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial), Size: 11.74 Acres. The Notice of Final Action was filed with the Las Vegas City Clerk on February 23, 1999. This approval is subject to:

1. Construct a decorative wall to screen the automobile service area from Washington Avenue. The wall shall extend between the driveways and shall be stepped down in height to provide for sight considerations.
2. The trash compactor shall be relocated to the southwest end of the building with a revised site plan being submitted to Silver State Disposal for review.
3. The elevation plans and the site plan shall be amended so that the location of the loading area and trash compactor are consistent on the plans. The loading area shall be screened with a 10 foot block wall as measured from the exterior elevation regardless of interior grade.
4. The building sites located on the west side of the property shall be redesigned to include loading areas in accordance with Title 19A.
5. Delivery hours shall be limited to between 6:00 a.m. to 10:00 p.m.
6. The roll-down metal door proposed for the Pawn Shop shall be deleted, hinged swing style doors shall be allowed.
7. All buildings in the commercial center shall have a unified architectural design and color scheme, the pawn shop building panel walls shall not be teal, blue or other shades of blue.

400 E. STEWART AVENUE • LAS VEGAS, NEVADA 89101-2986  
(702) 229-6011 (VOICE) • (702) 386-9108 (TDD)  
[www.ci.las-vegas.nv.us](http://www.ci.las-vegas.nv.us) (WEBSITE)



Mr. Kevin Novak  
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Page Two -- Z-131-94(5)  
March 9, 1999

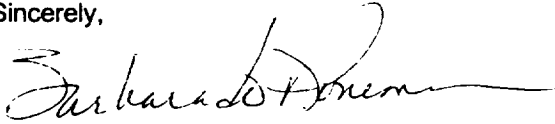
8. There shall be no drive through lane associated with the Pawn Shop building.
9. The wall along the east property line shall be constructed at a height of eight feet.
10. Provide 36 inch box trees 10 feet on center inside the wall along the east property line.
11. The landscape plan shall be revised to include the specific size and spacing of plant materials in accordance with the requirements of Title 19A and the Las Vegas Urban Design Guidelines and Standards.
12. The landscape plan shall be revised to depict the common access drives to the properties located south and west of the site and eliminate landscaping within the common access drive areas.
13. There shall be no signs placed on the building facades of pads "C" and "D" facing Washington Avenue.
14. The east elevations of the K-mart shall be aesthetically enhanced.
15. Construct all incomplete half-street improvements (sidewalk and streetlights) on Washington Avenue adjacent to this site and extending eastward to the east edge of the drainage channel and westward to tie into existing improvements at the intersection of Washington Avenue and Buffalo Drive concurrent with development of this site as required by the Department of Public Works.
16. Construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets as required by the Department of Public Works. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on-site with a handicap ramp.
17. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
18. An update to the previously approved Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, or the recordation of a Final Map for this site. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.

19. Submit an application to vacate all existing public drainage, sewer, and access easements in conflict with this site plan prior to the approval of construction drawings for this site as required by the Department of Public Works. Grant new public drainage, sewer, and access easements in accordance with the proposed site plan to preserve the existing access to the undeveloped parcels to the south of this site prior to the issuance of any grading or building permits, whichever may occur first. The required Vacation Application shall have received City Council approval prior to the issuance of building permits for any portion of the area to be vacated, and shall record prior to occupancy of this site as required by the Department of Public Works.
20. An addendum to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways as recommended in the approved drainage plan/study.
21. Site development to comply with all applicable Conditions of Approval for the Washington/Buffalo (Commercial Subdivision), Zoning Reclassification Z-131-94 and all other subsequent site-related actions as required by the Planning and Development Department and the Department of Public Works.
22. All development shall be in conformance with the site plan, landscape plan, and elevation plans as amended by these conditions.
23. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
24. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
25. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
26. All City Code requirements and design standards of all City departments must be satisfied.
27. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
28. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.
29. Fence heights shall be measured from the side of the fence with the least vertical exposure above the finished grade.

Mr. Kevin Novak  
Mr. Hank Gordon  
Page Four -- Z-131-94(5)  
March 9, 1999

30. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS  
City Clerk

*see  
pkb*

/ac

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. Of Fire Services  
Land Development Services

Mr. Mark Fiorentino  
Kummer Kaempfer Bonner & Renshaw  
3800 Howard Hughes Parkway, 7<sup>th</sup> Floor  
Las Vegas, Nevada 89109