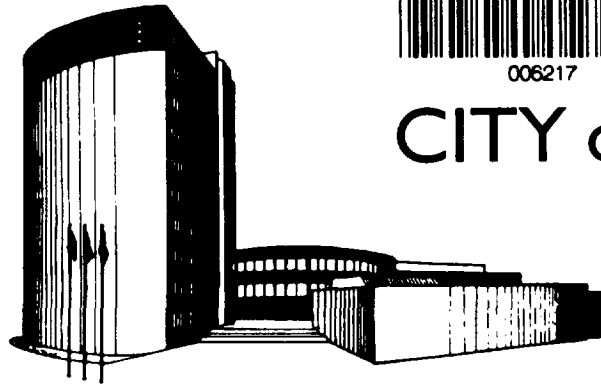


MAYOR  
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VIRGINIA VALENTINE



# CITY of LAS VEGAS

March 9, 1999

Mr. Lance Groft  
Groft's Search Light Advertising Co. Inc.  
2184 Christy Lane  
Las Vegas, Nevada 89115

RE: U-143-98 - SPECIAL USE PERMIT

Dear Mr. Groft:

The City Council at a regular meeting held February 22, 1999 considered the Appeal filed by Kummer Kaempfer Bonner & Renshaw from the Denial by the Planning Commission for a Special Use Permit on property located at 1595 North Eastern Avenue FOR THE OFF-PREMISE SALE OF BEER AND WINE IN CONJUNCTION WITH AN APPROVED 2,919 SQUARE FOOT CONVENIENCE STORE; AND FOR A WAIVER OF THE 400 FOOT DISTANCE SEPARATION REQUIREMENT FROM A CHURCH, C-1 (Limited Commercial) Zone.

The City Council granted the Appeal; thereby APPROVING the Special Use Permit. The Notice of Final Action was filed with the Las Vegas City Clerk on February 23, 1999. This approval is subject to:

1. This use shall be reviewed in one year.
2. This constitutes approval of waiver of the minimum 400 foot separation requirement from an existing church.
3. The sale of individual containers of any size of beer, wine coolers, or screw cap wine shall be prohibited.
4. Approval does not constitute the approval of a liquor license.
5. Provide 24 inch box trees 20 feet on center with shrubs and ground cover along Eastern Avenue as required by the Planning and Development Department. The use of drought tolerant landscaping is encouraged.
6. This use shall be in compliance with the requirements of Title 6.50 of the Las Vegas Municipal Code.

400 E. STEWART AVENUE • LAS VEGAS, NEVADA 89101-2986  
(702) 229-6011 (VOICE) • (702) 386-9108 (TDD)  
[www.ci.las-vegas.nv.us](http://www.ci.las-vegas.nv.us) (WEBSITE)

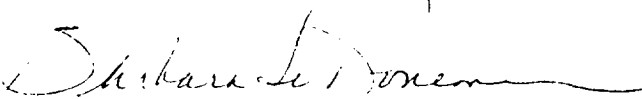


7. Dedicate an additional 29 feet of right-of-way for a total radius of 54 feet on the southwest corner of Owens Avenue and Eastern Avenue prior to the issuance of any permits as required by the Department of Public Works. No construction or relocation of existing improvements will be required with this action. This condition shall not be enforced if the applicant can show proof that there is permanent signage or other private improvements within the area required for dedication.
8. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to occupancy of this site as required by the Department of Public Works.
9. Meet with the Traffic Engineer for assistance in the possible redesign of the proposed driveway access, on-site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. All new driveways and modifications to existing driveways shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.
10. If such has not already been established and because access and parking may be shared by other parcels to the south of this site, a Joint Access and Parking Agreement is required to allow perpetual intrasite circulation between the adjoining parcels as required by the Planning and Development Department and the Department of Public Works.
11. All development shall be in conformance with the plot plan and building elevations.
12. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
13. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.
14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
15. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.

Mr. Lance Groft  
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16. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Planning and Development Department. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS  
City Clerk

*RSJA  
bxb*

/ac

cc: Planning and Development Dept.  
Development Coordination-DPW  
Dept. Of Fire Services  
Land Development Services

Mr. Odeh Kheir  
7937 Coral Point Avenue  
Las Vegas, Nevada 89128