



MAYOR  
OSCAR B. GOODMAN

CITY COUNCIL  
MICHAEL J. McDONALD  
(MAYOR PRO-TEM)  
GARY REESE  
LARRY BROWN  
LYNETTE B. McDONALD

CITY MANAGER  
VIRGINIA VALENTINE

August 17, 1999



012520

Mr. Donald Romano  
Elkhorn Road/Bradley Road Limited Partnership on behalf of  
Greystone Homes  
6773 West Charleston Boulevard  
Las Vegas, Nevada 89146

**RE: Z-46-99 - REZONING**

Dear Mr. Romano:

Your request for a Rezoning on property located on the northwest corner of Elkhorn Road and Bradley Road, From: R-E (Residence Estates) To: R-1 (Single Family Residential) Zone, PROPOSED USE: 86 SINGLE FAMILY DWELLINGS, Size: 18.12 Acres, Ward 4 (Brown), APN: 125-13-402-011, was considered by the Planning Commission on August 12, 1999.

The Planning Commission voted to recommend APPROVAL of your request, subject to the following:

1. The site plan shall be revised to provide a landscape planter with 24 inch box trees spaced 30 feet on center and ground cover consisting of four 5 gallon shrubs for every tree. The planter can taper from 15 feet on the west side of the property to 10 feet on the east.
2. The applicant shall work with the surrounding property owners regarding landscaping.
3. A deed restriction prohibiting two story construction shall be recorded on those lots with adjacency to Bradley Road.
4. Dedicate 30 feet of right-of-way adjacent to this site for Severance Lane, a 20 foot radius on the southwest corner of Severance Lane and Bradley Road and a 54 foot radius at the northwest corner of Bradley Road and Elkhorn Road as required by the Department of Public Works.
5. Construct half-street improvements including appropriate overpaving, where legally able, on Severance Lane, Bradley Road and Elkhorn Road adjacent to this site concurrent with development of this site as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. Construction of all required improvements on Severance Lane, Bradley Road and Elkhorn Road shall commence within 12 months of approval of this action by the City Council. Failure to comply with this condition shall result in this item being reconsidered by the City Council.
6. The proposed private access drives connecting this site to the abutting public streets shall be gated. All gated entries shall be designed, located and constructed in accordance with Standard Drawing #222a as required by the Department of Public Works.

CITY OF LAS VEGAS  
400 STEWART AVENUE  
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011  
TDD 702.386.9108  
www.ci.las-vegas.nv.us

7. Construct public sewer in the Elkhorn Road alignment to 5 feet west of the west edge of this site concurrent with development of this site. If public sewer service does not exist at the intersection of Bradley Road and Elkhorn Road at the time of development of this site, this developer shall be responsible to connect to the existing public sewer in the Bradley Road alignment. Coordinate with the Collection Systems Planning Section for extension and oversizing agreements if needed as required by the Department of Public Works. All required public sewer easements necessary to connect this site to the existing public sewer system shall be provided to the City prior to City approval of sewer construction plans, or the issuance of any off-site permits as required by the Department of Public Works.
8. Construct a minimum of paving and curb and gutter on the private drives internal to this site as required by the Department of Public Works.
9. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine traffic signal contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any Condition of Approval imposed by the Planning Commission or the City Council on the development of this site. Alternatively, in lieu of a Traffic Impact Analysis, the applicant may contribute \$27,000.00 for neighborhood traffic mitigation prior to the issuance of building or off-site permits, whichever may occur first, as required by the Department of Public Works. Install all appurtenant underground facilities, if any, adjacent to this site needed for the future traffic signal system concurrent with development of this site. The City reserves the right to utilize the contributed traffic monies for the installation of traffic signals at any intersection within this general vicinity which is impacted by this development.
10. A Homeowner's Association shall be established to maintain all perimeter walls, private drives, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

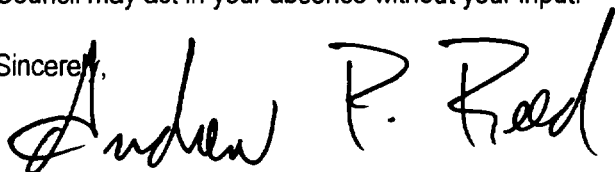
11. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services prior to the issuance of any permits.
12. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or the recordation of a Final Map for this site, whichever may occur first, as required by the Department of Public Works. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to contribute monies for the construction of neighborhood or local drainage improvements. The amount of such monies shall be determined by the approved Drainage Plan/Study and shall be contributed prior to the issuance of any building or grading permits or the recordation of a Final Map for this site, whichever may occur first. In lieu of monetary contributions, in whole or in part, the developer may agree to construct such drainage facility improvements as are recommended by the approved Drainage Plan/Study concurrent with development of this site if allowed by the Planning Engineer.
13. The City reserves the right to withhold building permit issuance for any and all lots within this Rezoning site if adequate street improvements and/or adequate traffic capacity does not exist on the access corridors leading to this rezoning site as determined by the Director of the Department of Public Works. The City also reserves the right to withhold building permit issuance for any and all lots within this rezoning site if adequate street improvements and/or adequate traffic capacity does not exist on the issuance for any and all lots within this rezoning site if adequate intersection capacity does not exist at the Durango/US95 intersection as determined by the Director of the Department of Public Works. These rights shall be exercised based on the traffic capacity conditions that exist at the time of the developer's request for the issuance of each building permit. In the event of a dispute with the decision of the Director of the Department of Public Works, the developer may appeal directly to the City Council for final resolution.
14. The final layout of this subdivision shall be determined at the time of approval of the Tentative Map.
15. A Resolution of Intent with a 12 month time limit.
16. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner.
17. A landscaping plan must be submitted prior to or at the same time application is made for a building permit or license, or prior to occupancy, whichever occurs first.

Mr. Donald Romano  
Z-46-99 - Page Four  
August 17, 1999

18. All City Code requirements and design standards of all City departments must be satisfied.
19. Parking and driveway plans must be approved by the Traffic Engineer prior to the issuance of any permits.
20. All damage to the existing street improvements resulting from this development must be repaired as required by the Department of Public Works.
21. Remove all substandard public street improvements and all unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City standards prior to occupancy of this site as required by the Department of Public Works.
22. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
23. Where new water mains are extended along streets and fire hydrants are not needed for protection of structures, hydrants shall be spaced at a maximum distance of 1,000 feet to provide for transportation hazards.

This item will be considered by the City Council on September 15, 1999, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative choose not to attend, the City Council may act in your absence without your input.

Sincerely,



Andrew P. Reed, Senior Planner  
Current Planning Division

APR:sd

cc: Mr. Dale Billy  
Greystone Homes  
3765 East Sunset Road #9  
Las Vegas, Nevada 89120

Ms. Rose Milner  
Pentacore Engineering  
6763 West Charleston Boulevard  
Las Vegas, Nevada 89146