



006788

October 6, 1999

Mr. Donald Romano
Elkhorn/Bradley, a Limited Partnership
6773 West Charleston Boulevard
Las Vegas, Nevada 89146

MAYOR
OSCAR B. GOODMAN

RE: V-68-99 - VARIANCE

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD

Dear Mr. Romano:

CITY MANAGER
VIRGINIA VALENTINE

Your request for a Variance on property located at the northwest corner of Elkhorn Road and Bradley Road TO ALLOW 10 FOOT REAR YARD SETBACKS WHERE 15 FEET IS THE MINIMUM REAR YARD SETBACK ALLOWED ON ALL PERIMETER LOTS AND TO ALLOW A 16 FOOT FRONT YARD SETBACK WHERE A 20 FOOT FRONT YARD SETBACK IS THE MINIMUM REQUIRED, R-E (Residence Estates) pending R-1 (Single Family Residence), Ward 4 (Brown), APN: 125-13-402-011, was considered by the Board of Zoning Adjustment on October 5, 1999.

The Board of Zoning Adjustment unanimously voted to WITHDRAW the requested 10 foot rear yard setback for all perimeter lots, and recommends APPROVAL of the remainder of your request, subject to the following:

1. All development must be in conformance with the submitted site plan.
2. City Code Requirements and design standards of all City Departments which are not affected by approval of this Variance must be satisfied.
3. The distance from the face of the garage door to the back of sidewalk (or curb, if no sidewalk is proposed) shall be a minimum distance of 18 feet to prevent a car in the driveway from encroaching into the vehicular or pedestrian travel corridor as required by the Department of Public Works.
4. Site Development to comply with all applicable conditions of approval for Zoning Reclassification Z-46-99 and all other site-related actions as required by the Departments of Planning and Development and Public Works.
5. No more than 66% of the subdivision lots are allowed the 16 foot front yard setback.

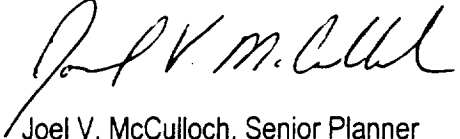
CITY OF LAS VEGAS
400 STEWART AVENUE
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This item will be considered by the City Council November 17, 1999, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Council requires that you or your representative be present at this meeting. If you or your representative choose not to attend, the City Council may act in your absence without your input.

Sincerely,



Joel V. McCulloch, Senior Planner
Planning and Development Department
Current Planning Division

JVM:rlr

cc: Mr. Dale Billy
Greystone Homes
3765 East Sunset Road, #9
Las Vegas, Nevada 89120

Ms. Rose Milner
Pentacore Engineering
6763 West Charleston Boulevard
Las Vegas, Nevada 89146