



012407



March 15, 2000

Mr. Anthony Wade Leiker
2425 East McWilliams Avenue
Las Vegas, Nevada 89101

RE: Z-0085-99 - REZONING (Related to GPA-0044-99)

MAYOR
OSCAR B. GOODMAN

Dear Mr. Leiker:

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK

The City Council at a regular meeting held March 1, 2000 APPROVED the request for a rezoning on property located at 2425 East McWilliams Avenue FROM: R-1 (Single Family Residential) TO: P-R (Professional Office and Parking), PROPOSED USE: 1,422 SQUARE FOOT Office, Size: 0.14 Acres, Ward 3 (Reese), APN: 139-26-811-025. The Notice of Final Action was filed with the Las Vegas City Clerk on March 2, 2000. This approval is subject to:

CITY MANAGER
VIRGINIA VALENTINE

1. A two year Resolution of Intent.
2. A Site Development Plan Review shall be approved by Planning and Development Department staff prior to the issuance of any building permit on the site. The site plan shall depict compliance with the landscape buffer zone requirements under Las Vegas Municipal Code 19A.12.060, incorporating a minimum 8-foot wide planter with 24-inch box trees 20 feet on-center along the south and west property lines where adjacent to single family residential use. The site plan shall depict one handicap accessible parking space to City of Las Vegas standards. The site plan shall also depict the area in the northeast corner of the site, if not used for required parking, shall be landscaped instead of unused asphalt as shown on the current site plan. The site plan shall specifically address ingress and egress.
3. Dedicate an additional 5 feet of right-of-way for a total radius of 25 feet on the southwest corner of McWilliams Avenue and Eastern Avenue prior to the issuance of any permits as required by the Department of Public Works.
4. Remove all substandard public street improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site as required by the Department of Public Works.
5. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. Driveways shall be designed, located and constructed to meet the intent of Standard Drawing #222a as required by the Department of Public Works.

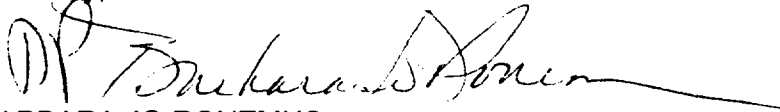
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400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

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6. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
7. Obtain an Occupancy Permit for all landscaping and private improvements (such as driveways) within the Eastern Avenue right-of-way adjacent to this site prior to occupancy of this site as required by the Department of Public Works.

Sincerely,



BARBARA JO RONEMUS
City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Mr. Greg Borgel
300 S. 4th Street, 15th Floor
Las Vegas, Nevada 89101

Mr. Tony Liker, Esq.
804 South 6th Street
Las Vegas, Nevada 89101