

000649

May 25, 2000

Greater Philadelphia Church, Inc.
1200 "D" Street
Las Vegas, Nevada 89106

RE: Z-83-99 - REZONING

Dear Applicant:

The City Council at a regular meeting held May 3, 2000 APPROVED the request for a Rezoning on properties located at 1200 D Street and 315 & 317 West Monroe Avenue, From: R-4 (High Density Residential) To: C-V (Civic), PROPOSED USE: 3,453 SQUARE FOOT ADDITION TO AN EXISTING 1,640 SQUARE FOOT CHURCH (GREATER PHILADELPHIA CHURCH) AND OFF-SITE PARKING, Size: 0.50 Acres, Ward 5 (Weekly), APN's: 139-27-211-002, 139-27-111-079 and 080. The Notice of Final Action was filed with the Las Vegas City Clerk on May 4, 2000. This approval is subject to:

1. Prior to the issuance of a building permit, submit to the Planning and Development Department a revised site plan depicting: a van accessible handicap space at least nine feet wide with an adjacent five foot wide access aisle and an eight foot wide access aisle, handicap accessible spaces at least nine feet wide with adjacent five foot wide access aisles, a minimum driveway width of 24 feet for two-way traffic, and a paved striped parking area.
2. The church shall execute a parking agreement, satisfactory to the City Attorney, which outlines the terms and conditions of the off-site parking.
3. Additional uses, not specified in this request such as day care, require an additional public hearing to add the use.
4. Prior to obtaining a building permit, submit for approval by the Planning and Development Department a revised landscape plan for the off-site parking lot that depicts: a minimum landscape planter width of eight feet adjacent to the south, east and west property lines and a minimum 15 foot wide planter adjacent to the north property line. The planters are required to consist of 24 inch box trees spaced a maximum of 30 linear feet on-center. Additionally, one 24 inch box tree is required for every six proposed parking spaces in the off-site parking area.
5. Dedicate a 20 foot radius on the northeast corner of Madison Avenue and D Street prior to the issuance of any permits as required by the Department of Public Works.
6. Construct all incomplete half-street improvements (sidewalk) on Monroe Avenue adjacent to this site concurrent with development of this site as required by the Department of Public Works. Also, construct full width alley paving adjacent to both parcels comprising this overall site concurrent with development of this site as required by the Department of Public Works.

MAYOR
OSCAR B. GOODMAN

CITY COUNCIL
MICHAEL J. McDONALD
(MAYOR PRO-TEM)
GARY REESE
LARRY BROWN
LYNETTE B. McDONALD
LAWRENCE WEEKLY
MICHAEL MACK

CITY MANAGER
VIRGINIA VALENTINE

CITY OF LAS VEGAS
100 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TDD 702.386.9108
www.ci.las-vegas.nv.us

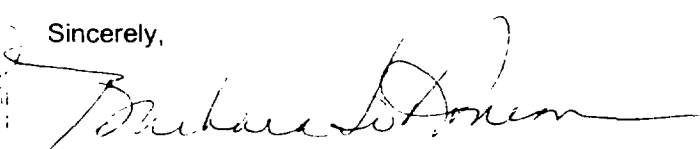


7. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards prior to occupancy of this site as required by the Department of Public Works.
8. Meet with the Traffic Engineering Representative in Land Development for assistance in the possible redesign of the proposed driveway access, on site circulation and parking lot layout prior to the submittal of any construction plans or the issuance of any permits, whichever may occur first. All new and modifications to existing driveways shall be designed, located and constructed to meet the intent of Standard Drawing #222a as required by the Department of Public Works.
9. The entry gates as proposed, if electrically operated, may be placed immediately behind the street right-of-way line (i.e., on the private property side of where the sidewalk is located) and the back edge of paving along the alley. If the entry gates are to be manually opened and closed, the gates shall be set back a sufficient distance (a minimum of 18 feet) to allow a vehicle to pull completely out of the public street, or alley, right-of-way before parking to manually operate the gates as required by the Department of Public Works. The installation of either swing gates or rolling gates are acceptable as long as no part of the gates, either in the opened or closed position, intrude into the public right-of-way. The gates shall remain fully opened during normal church functions and gatherings.
10. A Traffic Impact Analysis must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits. Comply with the recommendations of the approved Traffic Impact Analysis prior to occupancy of the site. The City shall determine area traffic mitigation contribution requirements based upon information provided in the approved Traffic Impact Analysis; such monies shall be contributed prior to the issuance of any permits for this site. The Traffic Impact Analysis shall also include a section addressing Standard Drawings #234.1 and #234.2 to determine additional right-of-way requirements adjacent to this site, if any; dedicate all areas recommended by the approved Traffic Impact Analysis. All additional rights-of-way required by Standard Drawing #201.1 shall be dedicated prior to or concurrent with the commencement of on-site development activities unless specifically noted as not required in the approved Traffic Impact Analysis. Alternatively, in lieu of a Traffic Impact Analysis, the applicant may participate in a reasonable alternative mutually acceptable to the applicant and the Department of Public Works. Phased compliance will be allowed if recommended by the approved Traffic Impact Analysis. No recommendation of the approved Traffic Impact Analysis, nor compliance therewith, shall be deemed to modify or eliminate any condition of approval imposed by the Planning Commission or the City Council on the development of this site.
11. A Resolution of Intent with a one year time limit.
12. All development shall be in conformance with the site plan and building elevations, as amended.
13. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be permanently maintained in a satisfactory manner. For non-residential developments, failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.

Greater Philadelphia Church, Inc.
Z-83-99 – Page Two
May 25, 2000

14. All mechanical equipment, air conditioners and trash areas shall be screened from view from the abutting streets (excluding single family development).
15. All City Code requirements and design standards of all City departments must be satisfied.
16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
17. Provide plans showing accessible exterior routes from public transportation stops, accessible parking, passenger loading zones and public sidewalks to the accessible building entrance(s) with submittal of plans for building permits as required by the Department of Building and Safety. Accessible routes shall have running slopes and cross slopes in accordance with the applicable code.

Sincerely,



BARBARA JO RONEMUS
City Clerk

/ac

cc: Planning and Development Dept.
Development Coordination-DPW
Dept. Of Fire Services
Land Development Services

Pastor Darrell Thomas
2801 Mason Avenue
Las Vegas, Nevada 89102