

**SUPPLEMENT 3
ADD1 TO TECHNICAL DRAINAGE STUDY**

**FOR
MSM-22-600039
WELDY 2 LOT
(APN: 125-11-502-001)**

@

SWC OF MUSTANG STREET AND IRON MOUNTAIN ROAD

JPL Job No. 23016

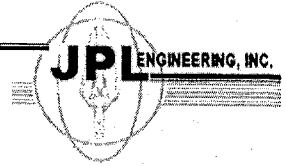
Prepared for:

COMBS ELIZABETH AND WELDY TODD JEROME & BRITNI M
6265 Iron Mountain Road
Las Vegas, NV 89131

Prepared by:

JPL Engineering, Inc.
6725 South Eastern Ave., Ste. 5
Las Vegas, Nevada 89119
Phone: 702-898-6269
Fax: 877-557-8292

May, 2024



May 30, 2024

Ruth Villatoro
Associate Engineer
Development Review
500 S. Grand Central Parkway
Las Vegas, Nevada 89110

**RE: SUPPLEMENT 3 TO ADDENDUM 1- TO THE TECHNICAL DRAINAGE STUDY WELDY
2 LOT (PW23-11063)**

Villatoro

Attached are the revised plans with the following responses to comments from the email from Ruth on April 2, 2024:

Comment 1.- Why are there two ex. 12" pipes and a wall block opening in the same place?

Response The existing 12" pipes have been removed and the area now drains through the block wall opening.

Comment 2.- Ensure the grades being called per PW21-15929 are actual grades. This area may need to be surveyed to ensure grades work and there is positive drainage in the easement.

Response The area has been surveyed and the elevations can be seen on the plans. It can be seen that the site now drains toward the south property into the existing drainage easement. See attached plans.

Please Contact JPL Engineering Inc. if you should have any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Apolonio Roblero". The signature is written in a cursive, flowing style.

Apolonio Roblero, EIT

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: WELDY 2 LOT Date: 5/30/2024
 Location of Development: a) Descriptive (Cross Streets) North/South: Iron Mountain Road
 East/West: Mustang Street
 b) Section: 11 Township: 19 South Range: 60 East
 c) APN : 125-11-502-001

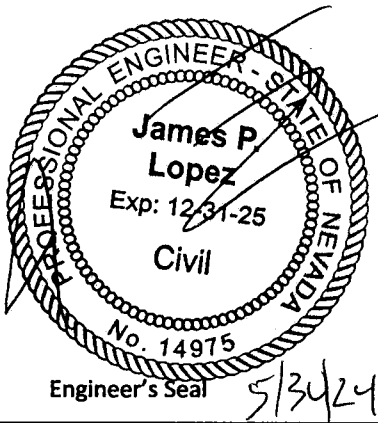
Name of Owner: COMBS ELIZABETH AND WELDY TODD JEROME & BRITNI M
 Telephone No.: _____ Fax No.: _____ E-Mail Address: _____
 Address: 6265 Iron Mountain Road Las Vegas, NV 89131

Contact Person-Name: James Lopez Telephone No.: (702) 898-6269
 * E-Mail Address: james@jplengineeringinc.com Fax No.: _____
 Firm: JPL Engineering, Inc.
 Address: 6725 S. Eastern Ave, Ste 5, Las Vegas, NV, 89119

Type of Land Development/Land Disturbance Process:

<input type="checkbox"/> Rezoning	<input type="checkbox"/> Subdivision Map	<input type="checkbox"/> Clearing and Grading Only
<input type="checkbox"/> Parcel Map	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Other (Please specify below)
<input type="checkbox"/> Large Parcel Map	<input checked="" type="checkbox"/> Building Permit	

1. Total Owned Land Area: At Site: 2.09 AC +/- Being Developed/Disturbed: 2.09 AC +/-
2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? Yes** No
3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? Yes** No
4. Proposed type of development (Residential, Commercial, Etc.): Residential
5. Approximate upstream land area which drains to the subject site: See Plans
6. Has the site drainage been evaluated in the past? YES NO If yes, please identify documentation: PW21-12800
7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: _____
8. Briefly describe your proposed schedule for the subject project: ASAP



Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

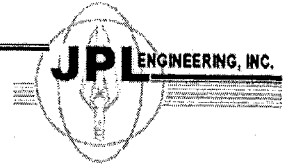
*New Required Field
 **Review and concurrence of the Clark County Regional Flood Control District is required.

	Revision	Date

Local Entity File No. _____

REFERENCE: _____

STANDARD FORM 1



Comment Email

From: Ruth Villatoro <Ruth.Villatoro@ClarkCountyNV.gov>
Sent: Tuesday, April 2, 2024 9:27 AM
To: James Lopez <james@jplengineeringinc.com>
Cc: Brian Churchill <Brian.Churchill@ClarkCountyNV.gov>
Subject: PW24-11063 - Weldy Lot 2

James,

Please see attached redlines. Why are there two ex. 12" pipes (who put this in?) and a wall block opening in the same place? This does not work... ensure the grades being called per PW21-15929 are actual grades (94.31)/EG because PW21-15929 called out a 96.58 FL on the other side of the wall there. This area may need to be surveyed to ensure grades work and there is positive drainage in the easement.

Send me corrections by Thursday. Two copies of grading plans.

You can always send corrections prior to submittal for feedback as well.

Thanks,

Ruth Villatoro
Associate Engineer
Development Review
702-455-6383