

# IMPROVEMENT PLANS FOR GRADING OF LOT 2 MSM22-600063 APN:125-11-502-001 CLARK COUNTY, NEVADA 2.09 ACRES

**OWNER/DEVELOPER**

ELIZABETH COMES AND TODD JEROME &  
BRITNI M. WELDY  
6265 IRON MOUNTAIN ROAD,  
LAS VEGAS, NV 89131  
PHONE: 702-336-3775  
EMAIL: IZZYCOMBSREALTOR@GMAIL.COM

**ENGINEER**

JPL ENGINEERING, INC.  
6725 S. EASTERN AVE., STE. 5  
LAS VEGAS, NEVADA 89119  
CONTACT: JAMES P. LOPEZ, P.E.  
PHONE: (702) 898-6269  
EMAIL: JAMES@JPLENGINEERINGINC.COM

**BASIS OF BEARING**

SOUTH 86°03'06" EAST, BEING THE BEARING OF THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 11, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN BY MAP THEREOF ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN BOOK 134, PAGE 26 OF PLATS.

**BENCHMARK**

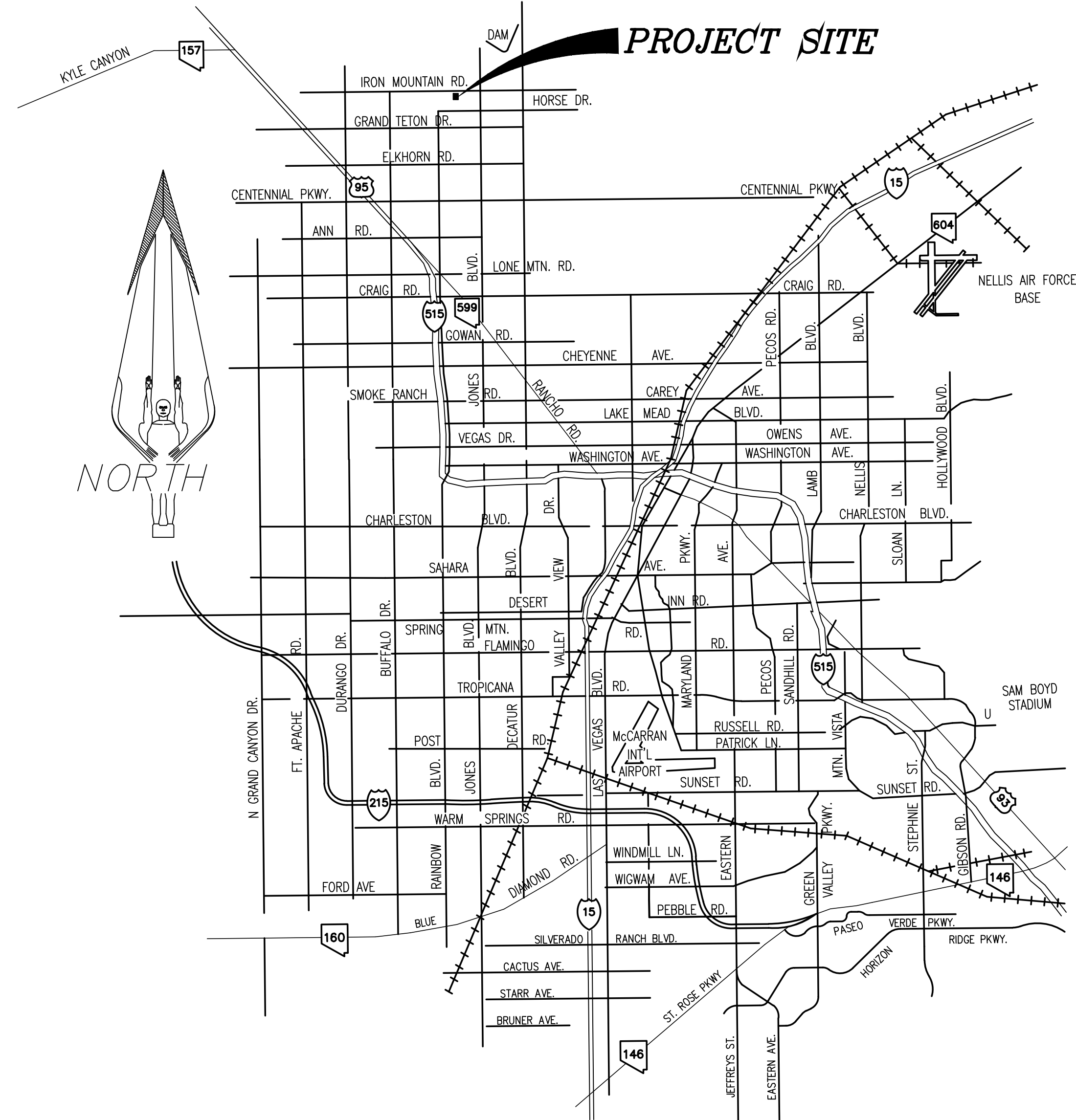
CLARK COUNTY BENCHMARK: 8LV9034NES  
CITY OF LAS VEGAS RIVET AND ROUND PLATE IN TOC, SOUTHWEST CORNER OF ANN RD. AND RAINBOW BLVD. NEAR THE PC OF ANN RD.  
ELEVATION = 708.698 METERS (NAVD '88)  
ELEVATION = 2325.12 U.S. SURVEY FEET (NAVD '88)

**LEGAL DESCRIPTION**

A PORTION OF THE NORTH HALF (N 1/2) OF THE WEST HALF (W 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 11, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. AND M., CLARK COUNTY, NEVADA.

**FLOOD ZONE NOTE**

THIS SITE IS LOCATED IN A FLOOD ZONE X (UNSHADED), DEFINED AS AN AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FIRM PANEL 32003C1753F, MAP REVISED NOVEMBER 16, 2011.



**LOCATION MAP**

NTS

**GENERAL NOTES:**

1. ALL GRADING WORK TO CONFORM TO SOILS REPORT AS PREPARED FOR THIS PROPERTY.
2. CONTRACTOR SHALL REMOVE EXCESS DEBRIS PRIOR TO CONSTRUCTION, REPORT DISCREPANCIES TO ENGINEER IMMEDIATELY.
3. JPL ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES SHOWN OR NOT SHOWN. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM RECORD INFORMATION AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL RELEVANT UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. IF A CONFLICT OR DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY.

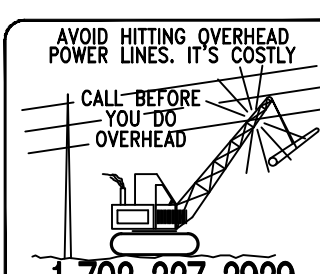
**SHEET INDEX**

SHEET NO.	SHEET INDEX	SHEET TITLE
1	CV	COVER SHEET
2	GP	GRADING PLAN



**UTILITY NOTE**

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

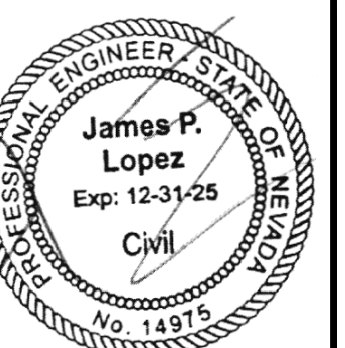


SurfacedWG P.A.H.: C:\Users\Surfaced\OneDrive\My Documents\2024-03-28\2016 - Weedy Residence - CADs\_2024-03-28\2016 - Cover.dwg

**JPL ENGINEERING INC.**

**APN 125-11-502-001  
WELDY 2 LOT MSM22-600063**

**COVER SHEET**



JOB# 23-016

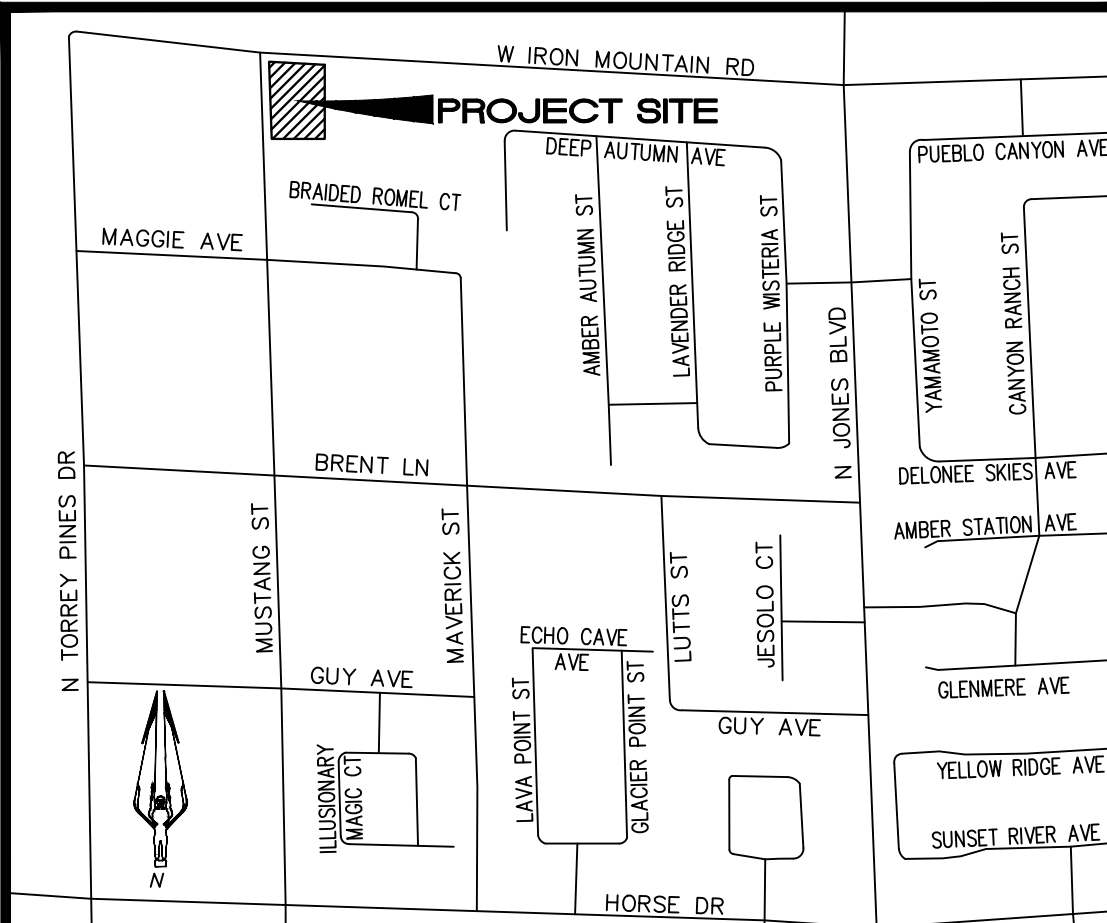
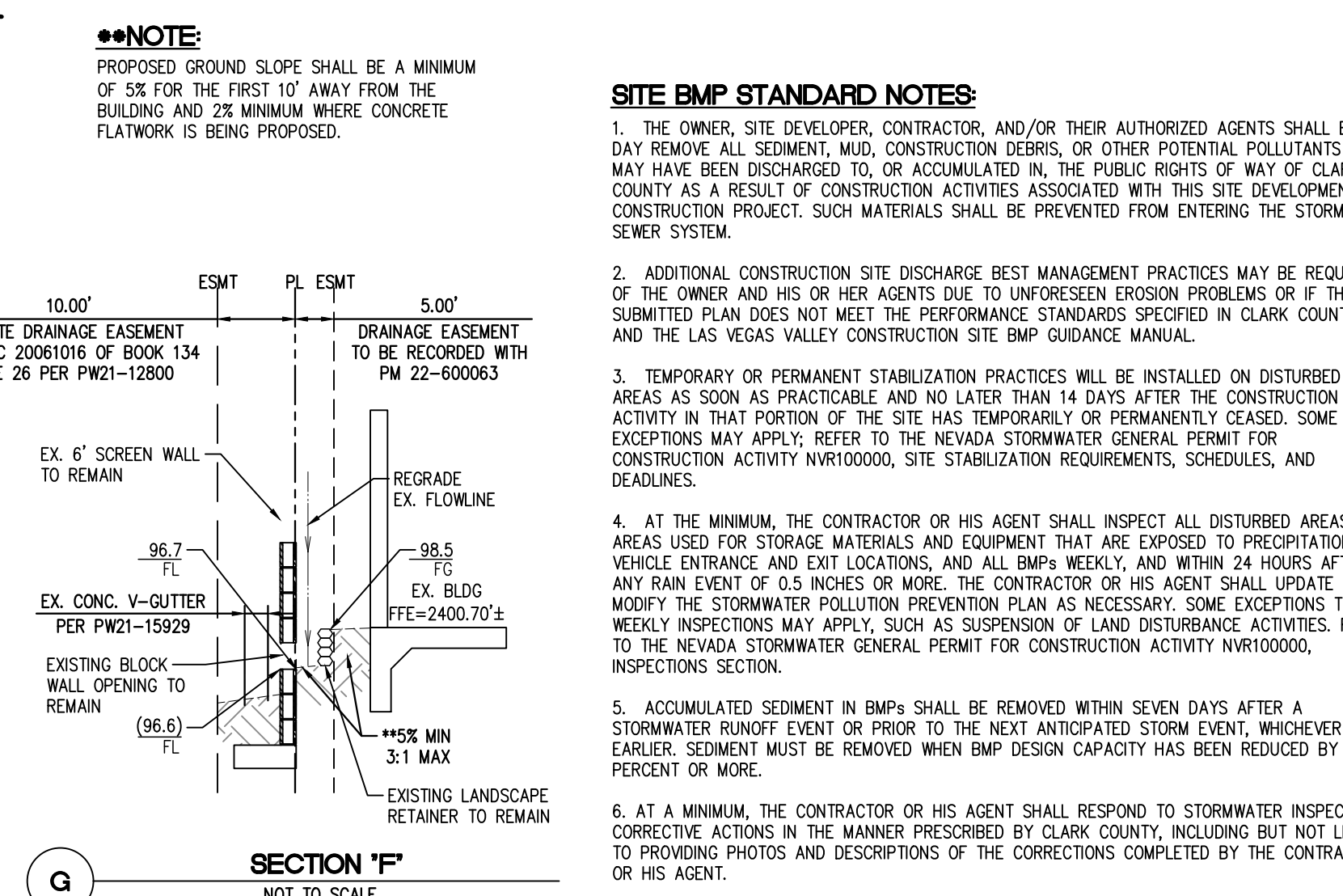
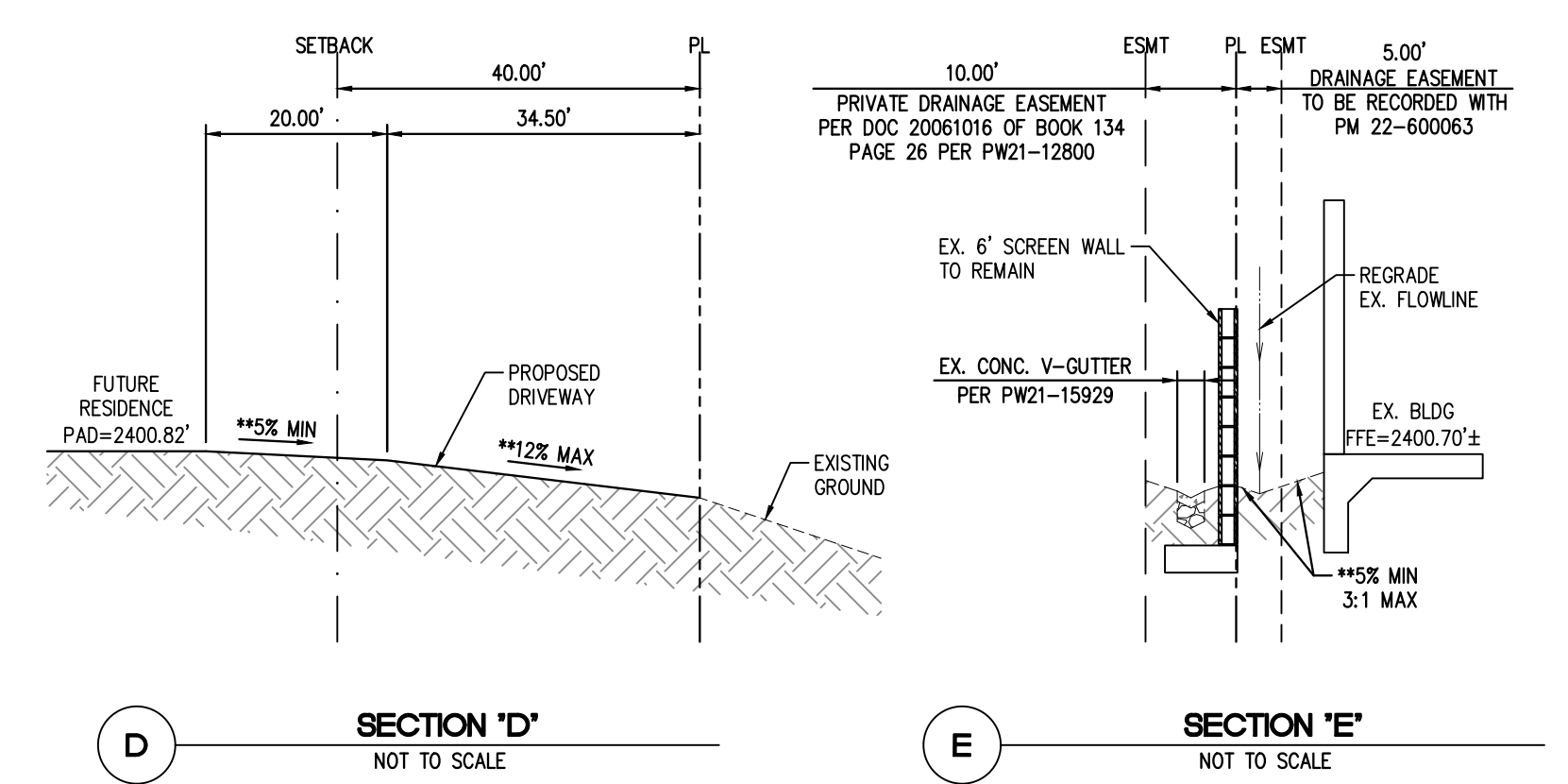
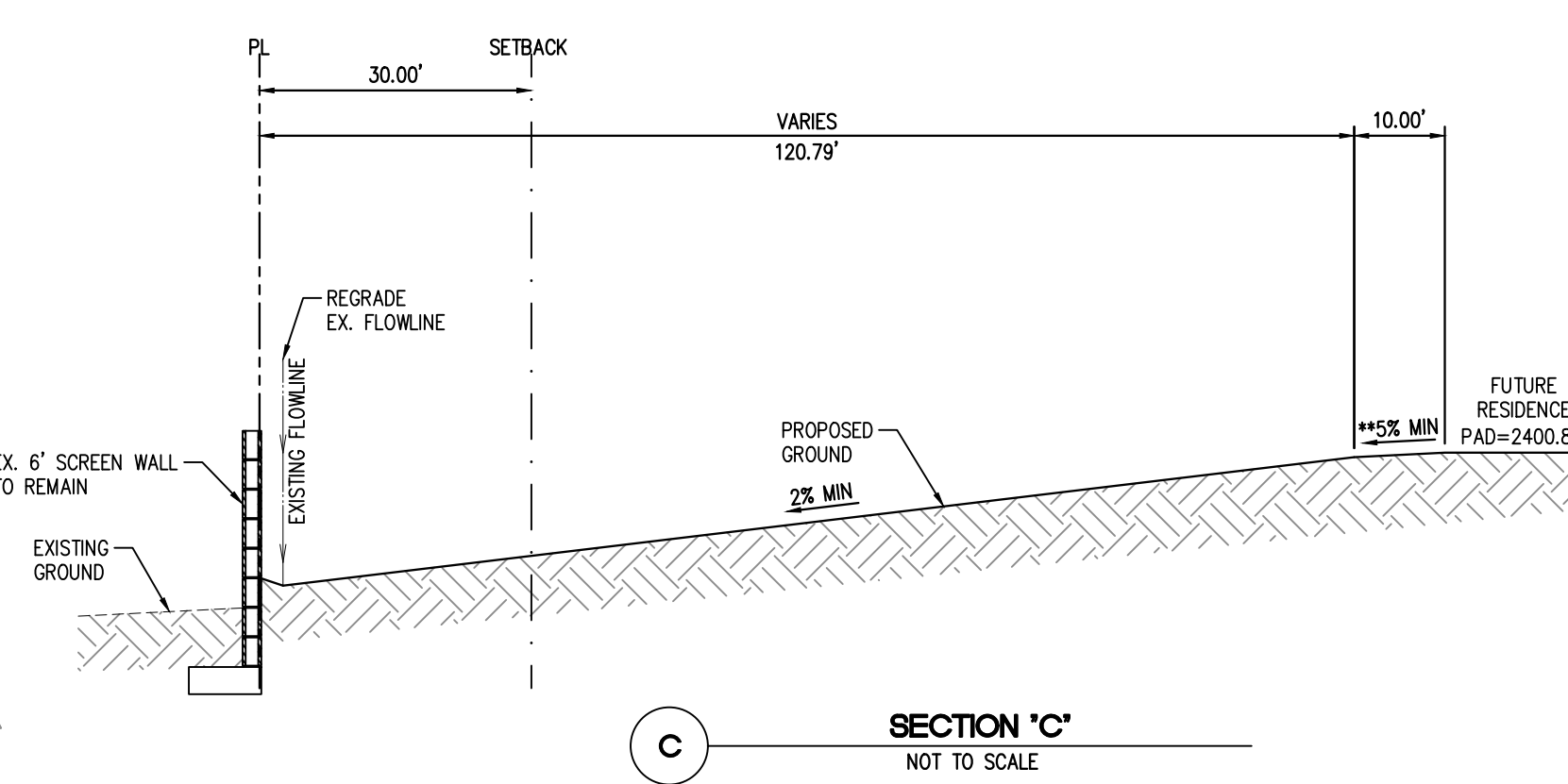
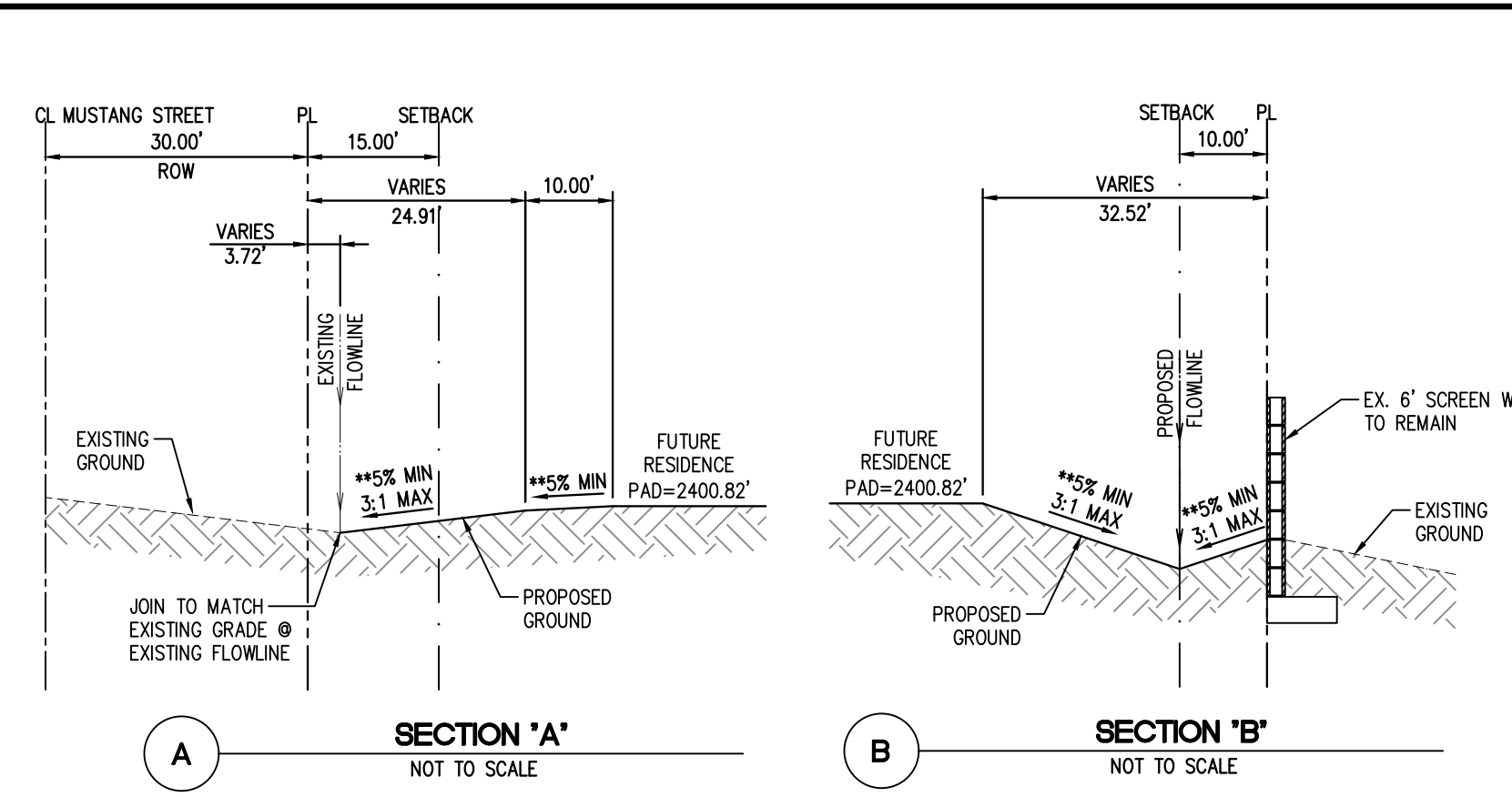
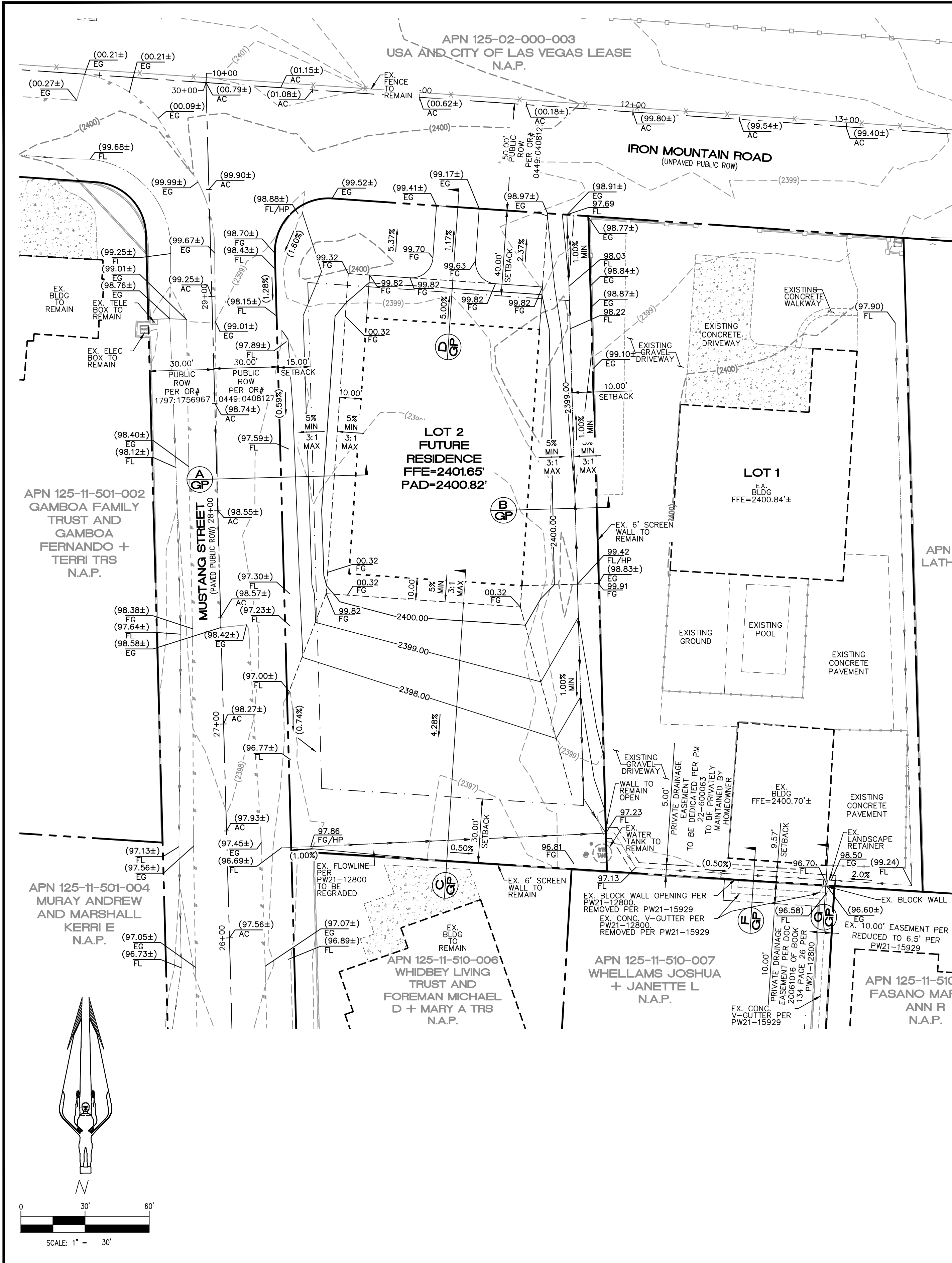
SHEET

**CV**

01 OF 02

MAY 2024

REV.	DATE	DESCRIPTION	SHEET #	APPROVAL



**VICINITY MAP**  
NTS

**LEGEND**

EXISTING	PROPOSED
	CENTERLINE
	PROPERTY LINE
	CURB & GUTTER
	EDGE OF PAVEMENT
	CONCRETE
	SCREEN WALL
	CONTOUR W/ ELEVATION
	GRADES
	FLOW LINE
	CHAIN LINK FENCE
	SETBACK
	GRADE BREAK
	WOODEN FENCE
	CHAINLINK FENCE
	OVERHEAD POWER LINE
	POWER POLE
	SEWER MANHOLE
	WATER VALVE
	SIGHT VISIBILITY ZONE (SVZ)

**ABBREVIATION**

AC	ASPHALT CONCRETE	FG	FINISH GRADE	PL	PROPERTY LINE
CATV	CABLE BOX	FL	FLOWLINE	ROW	RIGHT-OF-WAY
C/L	CENTERLINE	GB	GRADE BREAK	S	SOUTH
CONC.	CONCRETE	HP	HIGH POINT	TC	TOP OF CURB
D/WY	DRIVEWAY	INV. E	INVERT ELEVATION	TEL	TELEPHONE
E	EAST	LF	LINEAR FEET	TG	TOP OF GRATE
EG	EXISTING GRADE	MAX.	MAXIMUM	TW	TOP OF WALL
ELEC.	ELECTRIC	MIN.	MINIMUM	W	WEST
EX.	EXISTING	N	NORTH	WL	WALL
ETC.	ETC.	NTS	NOT TO SCALE	WM	WATER METER
FF	FINISH FLOOR	O.R.	OFFICIAL RECORD		

**ENGINEER**  
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**NOTE**  
OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED, OR OBSERVED DURING CONSTRUCTION.

**FAST**  
Call before you UnderGround  
1-702-432-5300  
FREWAY AND ARTERIAL SYSTEM OF TRANSPORTATION

**UTILITY NOTE**  
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CALL BEFORE YOU DIG  
AND OTHER UNDERGROUND UTILITIES ARE YOURS TO PROTECT  
CALL  
1-800-642-2444

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY  
CALL BEFORE YOU DIG  
AND OTHER OVERHEAD UTILITIES ARE YOURS TO PROTECT  
1-702-227-2929

**GENERAL NOTES**

- CONTRACTOR SHALL NOTIFY ENGINEER IF THERE ARE ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION.
- JPL ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES SHOWN OR NOT SHOWN. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM RECORD INFORMATION AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL RELEVANT UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. IF A CONFLICT OR DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY.
- EACH STRUCTURE INCLUDED IN THIS PLAN SET (BUILDINGS, FENCES, WALLS, POOLS, ETC.) AND UTILITIES REQUIRES A SEPARATE PERMIT.
- ADD 2300 TO ALL GRADE TAGS.

**EARTHWORK QUANTITIES**

NOTES: THESE QUANTITIES ARE APPROXIMATE AND ARE RAW VOLUMES ONLY. OVER EXCAVATION, SUBSIDENCE, SHRINKAGE AND BULKING FACTORS, ARE NOT INCLUDED AS PART OF THESE EARTHWORK QUANTITIES.

ON-SITE AREA OF DISTURBANCE: 44,440 SQ. FT. (1.02 AC)

CUT	405 CUBIC YARD
FILL	1,751 CUBIC YARD
NET	1,346 CUBIC YARD (FILL)

OFF-SITE AREA OF DISTURBANCE: 0 SQ. FT. (0 AC)

CUT	0 CUBIC YARD
FILL	0 CUBIC YARD
NET	0 CUBIC YARD (FILL)

**NOTE:**  
PROPOSED GROUND SLOPE SHALL BE A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING AND 2% MINIMUM WHERE CONCRETE FLATWORK IS BEING PROPOSED.

**SITE BMP STANDARD NOTES:**

- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESSEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN CLARK COUNTY AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SITE STABILIZATION REQUIREMENTS, SCHEDULES, AND DEADLINES.
- AT THE MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, INSPECTIONS SECTION.
- ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL REPORT TO STORMWATER INSPECTION CORRECTIVE ACTIONS IN THE MANNER PRESCRIBED BY CLARK COUNTY, INCLUDING BUT NOT LIMITED TO PROVIDING PHOTOS AND DESCRIPTIONS OF THE CORRECTIONS COMPLETED BY THE CONTRACTOR OR HIS AGENT.

I CERTIFY THIS GRADING PLAN CONFORMANCE TO THE APPROVED DRAINAGE STUDY ON FILE WITH CLARK COUNTY FOR THIS PROJECT.  
(PW24-11063 & PW21-12800)

JAMES P. LOPEZ, P.E. #19975

6-19-24

APN 125-11-502-001  
WELDY 2 LOT MSM22-600063  
GRADING PLAN

JPL ENGINEERING INC.  
6725 S. EASTERN AVE. STE. 5, LAS VEGAS, NV 89119  
PHONE (702) 898-6269 FAX (877) 457-8292

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02 OF 02