

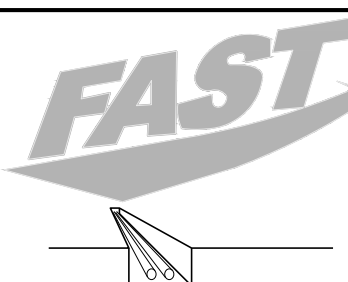
DISCLAIMER NOTE:

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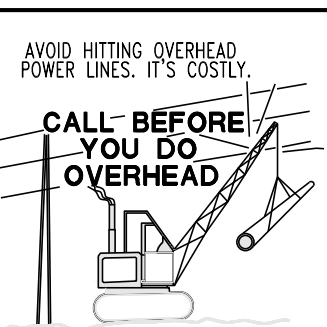
Call before you Dig
AVOID CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY.



OR
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1-702-432-5300
FREIGHT AND MATERIAL
SYSTEM OF TRANSPORTATION



1-702-227-2929

BENCHMARK

CITY OF LAS VEGAS BENCHMARK: 7LV01 185W66

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW
CORNER BEVIE RD. & DECATUR BLVD.

ELEVATION=672.300 Meters (NAVD'88 v.2008)

ELEVATION=2205.71 US Survey Feet (NAVD'88 v.2008)

BASIS OF BEARINGS

NORTH 89°26'38" EAST, BEING THE BEARING OF THE
SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY
OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY
MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK
COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

BUILDING PERMIT NOTE

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL
WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT.
APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE
GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH
ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT
POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY
FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH
CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY
WORK WITHIN A PUBLIC STREET RIGHT-OF-WAY. THIS DOES
NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL
IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE
ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING
PERMIT APPLICATION.

FLOOD ZONE NOTE

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP
(FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED
NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X".

SURVEY MONUMENT NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS
REQUIRED BY CITY OF LAS VEGAS AND CLARK COUNTY UNIFORM
STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO
REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR
OBSOLETE DURING CONSTRUCTION.

SIGHT VISIBILITY ZONE

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS
PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT
(MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB
EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

ENGINEERS NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
- SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
- SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
- ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
- THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
- ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
- DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST THREE GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
- SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GEOTEK RESIDENTIAL, LLC
PROJECT NO. 16813-LVR
DATED: APRIL 6, 2022
- CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 1,323 CY
NET FILL: 33,567 CY
- FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

NOTE

POST-CONSTRUCTION BMPs (PCBMPs) / CONTROL
MEASURES NOTED ON THE GRADING PLANS ARE
MANDATORY PERMANENT REGULATORY STORMWATER
POLLUTION CONTROLS. THESE PCBMPs MUST BE
INSTALLED PER THE APPROVED PLANS AND MUST
BE PERMANENTLY MAINTAINED.

NOTE

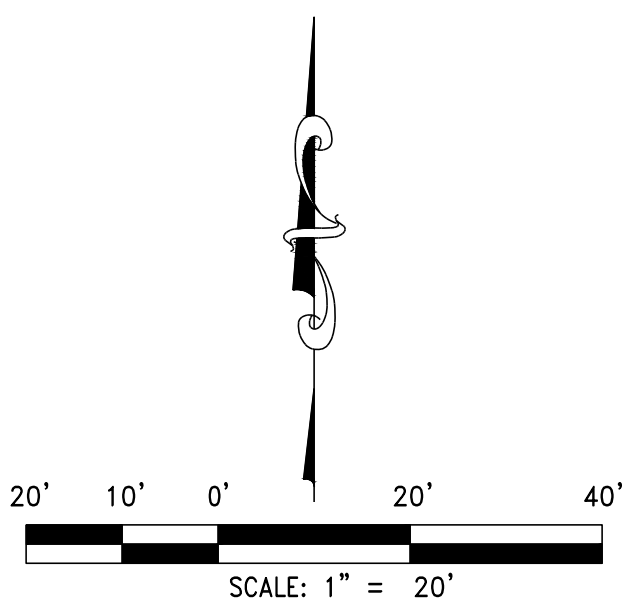
ALL ON-SITE STORM DRAINS AND THE
ASSOCIATED FACILITIES ARE PRIVATELY
OWNED AND TO BE PRIVATELY MAINTAINED
BY THE HOA

NOTE

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SEWER EASEMENTS AND PUBLIC DRAINAGE
EASEMENTS TO BE PRIVATELY MAINTAINED
BY HOA

SEWER EASEMENT NOTE

NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



CONSTRUCTION NOTES

- CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- CONSTRUCT 4" SIDEWALK PER CCAUSD #234
- CONSTRUCT 5" SIDEWALK PER CCAUSD #234
- CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE I)
SAWCUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL
LIMITS TO BE SET BY FIELD INSPECTOR
- CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- CONSTRUCT BLOCK WALL OPENING PER DETAIL 19 SHEET C5.0
- CALL BOX BY OTHERS
- ELECTRONIC CONTROLLED GATES BY OTHERS
- PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- CONSTRUCT 3" VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT
COMMERCIAL DRIVEWAY PER CCAUSD #222.1, #225 AND #228
- CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS
CDS (STORMWATER TRASH, SEDIMENT AND OIL INTERCEPTOR
STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- CONSTRUCT 1.5" VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5"
SIDEWALK PER CCAUSD #216 AND #234
- REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL
DRIVEWAY PER CCAUSD #224
- INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- INSTALL RIP-RAP, D50=6", 12" THICK
- INSTALL 6"x6" JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH
MARKER PER UDACS 421. SEE PCBMP NOTE. THIS SHEET.
- INSTALL TACK ON ISLAND PER CCAUSD #220.1S1

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November 17, 2022			
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CITY OF LAS VEGAS BENCHMARK: 7LV01 18SWW6

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW
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ELEVATION=672.300 Meters (NAVD'88 v.2008)
ELEVATION=2205.71 US Survey Feet (NAVD'88 v.2008)

NORTH 89°26'38" EAST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

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ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X"

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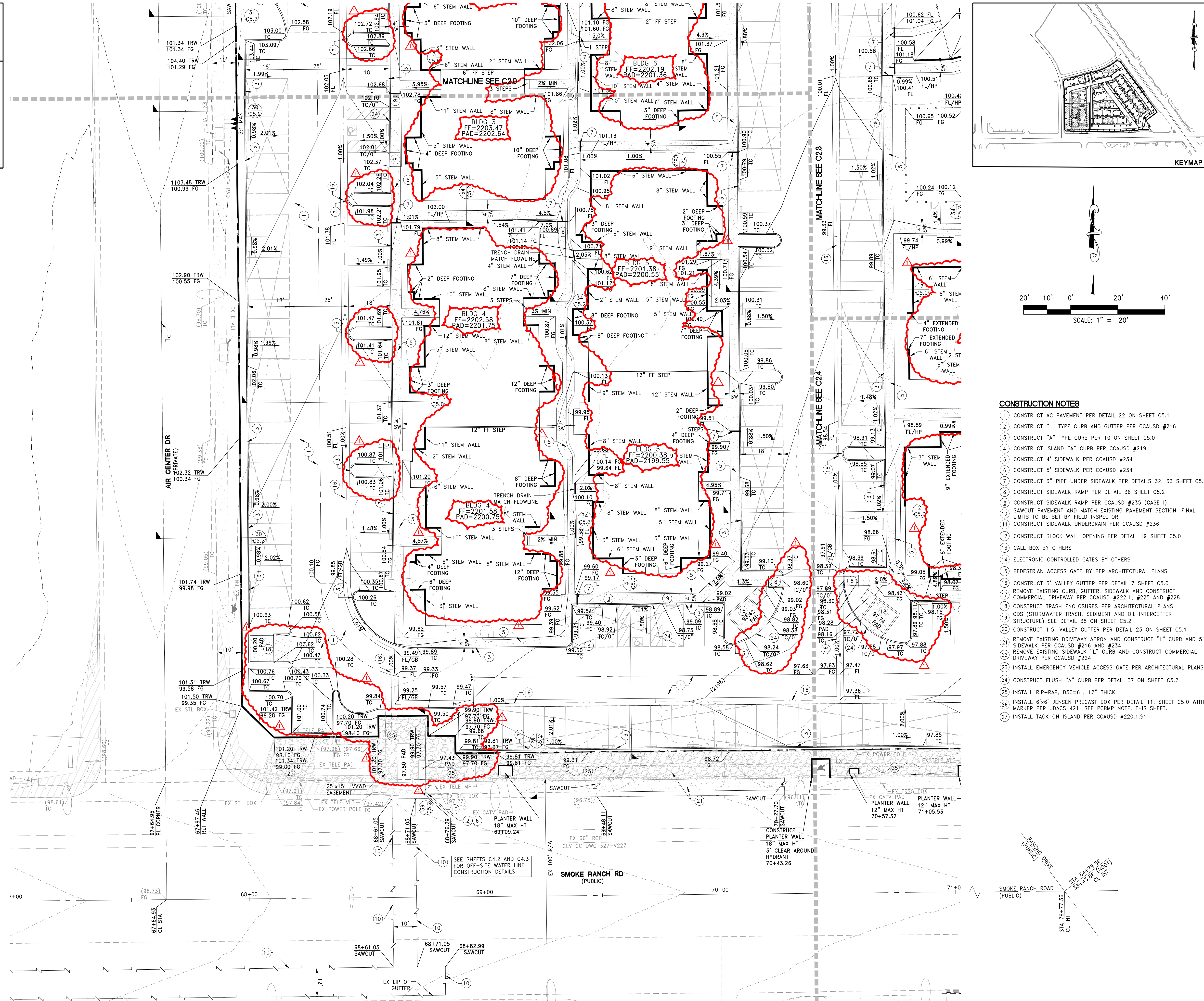
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8. SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GUTTOR RESIDENTIAL, LLC
PROJECT NO. 16813-LVR
DATED: APRIL 6, 2022
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 1.45 CY
NET FILL: 35.58 CY
10. FOR STORMWATER RUNOFF MANAGEMENT PLANS REFER TO SHEET N-1

NOTE
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NOTE
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BY HOA.

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I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVE DRAINAGE STUDY DS #5583C ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

Brian K Reed
BRIAN K REED, PE NO. 14464

11/17/2022

IMPROVEMENT PLANS FOR

RANCHO VILLAGE APARTMENTS PHASE 2

GRADING PLAN (SHEET 2 OF 7)

CITY OF LAS VEGAS

NEVADA

DATE: 11/17/2022

DRAWING

C2.1

SHT. 11 OF 40

CLV PROJECT NUMBER

107V9756

CLV PROJECT NUMBER

107V9754

ENGINEER

RECD

Exp. 12/31/2023

CIVIL

NO. 144664

COMMITTEE

EDWARD J. HOMES

8475 S EASTERN AVE. SUITE# 105

LAS VEGAS, NEVADA 89123

PH. 702-665-9889 FAX. 702-675-6319

GRABN BT: W/V

DESIGNED BY: W/V

CHECKED BY: BKR

APPROVED BY: BKR

PROJECT #: 4555-0008

RCI ENGINEERING

500 SOUTH RANCHO BLVD. SUITE 100

LAS VEGAS, NV 89106

PHONE: 702-453-0800 FAX: 702-453-0803

DATE: November 17, 2022

HORIZ. SCALE: 1" = 20'

VERT. SCALE: N/A

REVISIONS:

1. REVISED CURB RETURNS TO MEET FIRE TURN RADIUS

2. REVISED DRIVEWAY TO MEET FIRE TURN RADIUS

3. REVISED MEET AND LANDW EASEMENT - ADJUSTED FENCE

4. ADJUSTED WALLS ACCORDINGLY

5. RELOCATED TATCH ENCLOSURES AND ADJUSTED PARKING STALLS

6. ADJUSTED STEM WALLS AND DEEPENED FOOTINGS

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CITY OF LAS VEGAS BENCHMARK: 7LV01 18SWW6

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3. SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
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GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER, GOTEK RESIDENTIAL, LLC
PROJECT NO. 16B13-LVR
DATED:
APRIL 6, 2022
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 1,223 CY
NET FILL: 33,567 CY
10. FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

ALL LANDSCAPING AND IMPROVEMENTS IN THE 30' WIDE PUBLIC DRAINAGE EASEMENT, AND OVER THE EXISTING 12'X8' BOX CULVERT, MUST ADHERE TO THE FOLLOWING:

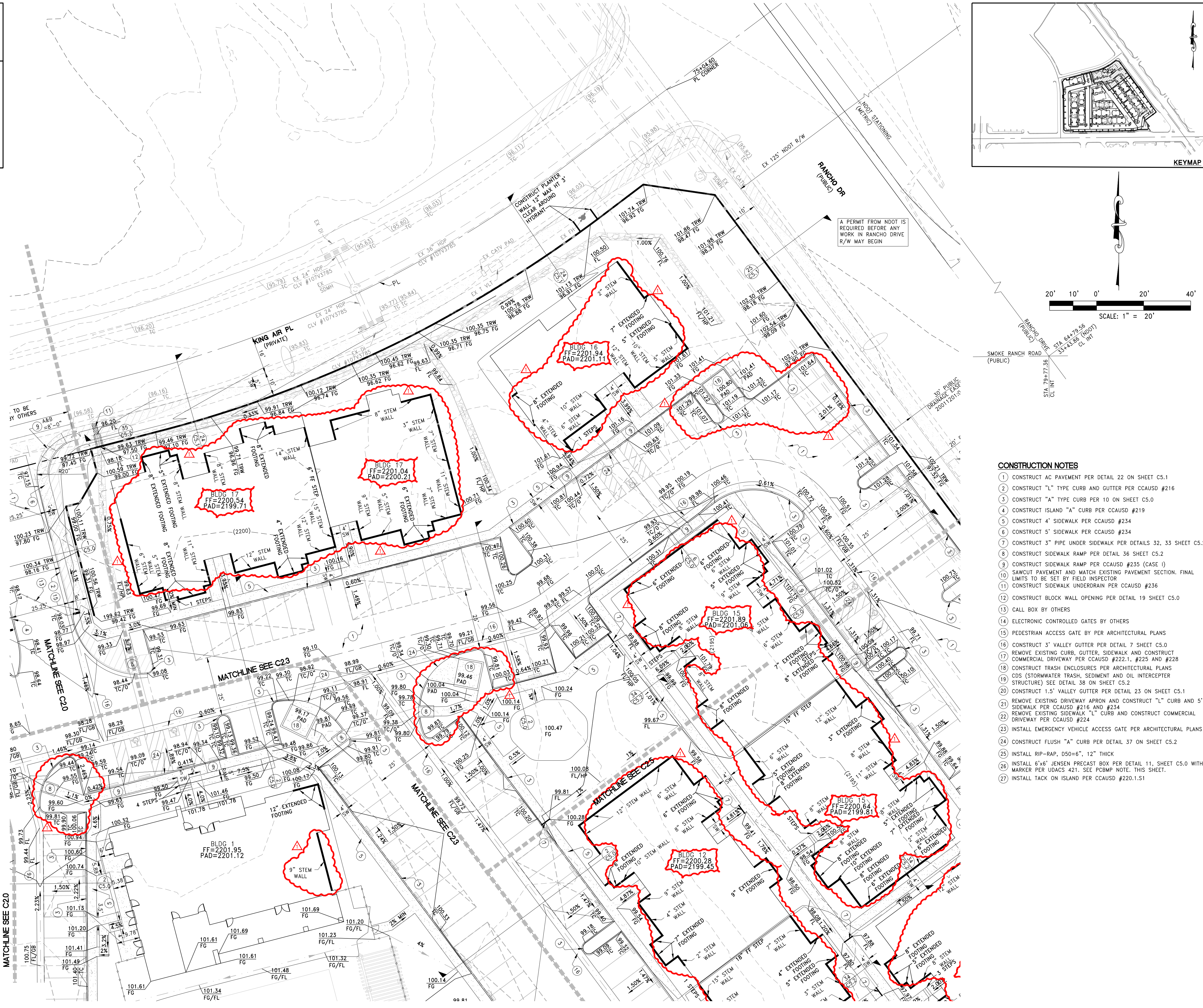
1. ROOT AND MOISTURE BARRIERS OVER THE STORM DRAIN FACILITIES MUST BE PROVIDED ANYTIME LANDSCAPING IS PROPOSED.
2. NO TREES ARE ALLOWED IN THE DRAINAGE EASEMENT.
3. IMPROVEMENTS WITHIN THE EASEMENT CANNOT ADVERSELY IMPACT LOADING FOR THE EXISTING STORM DRAIN FACILITY.
4. THESE REQUIREMENTS ARE TO BE COORDINATED WITH THE CITY OF LAS VEGAS.

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NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



- 1) CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- 2) CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- 3) CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- 4) CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- 5) CONSTRUCT 4' SIDEWALK PER CCAUSD #234
- 6) CONSTRUCT 5' SIDEWALK PER CCAUSD #234
- 7) CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.1
- 8) CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- 9) CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE I)
- 10) SAWCUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL LIMITS TO BE SET BY FIELD INSPECTOR
- 11) CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- 12) CONSTRUCT BLOCK WALL OPENING PER DETAIL 19 SHEET C5.0
- 13) CALL BOX BY OTHERS
- 14) ELECTRONIC CONTROLLED GATES BY OTHERS
- 15) PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- 16) CONSTRUCT 3' VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- 17) REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #221, #225 AND #228
- 18) CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS
- 19) CDS (STORMWATER TRENCH, SEDIMENT AND OIL INTERCEPTOR STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- 20) CONSTRUCT 1.5' VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- 21) REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5' SIDEWALK PER CCAUSD #216 AND #234
- 22) REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #216
- 23) INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- 24) CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- 25) INSTALL RIP-RAP, D50=6", 12" THICK
- 26) INSTALL 6'-R6" JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH MARKER PER UDCAS 421. SEE PCOMP NOTE THIS SHEET.
- 27) INSTALL TACK ON ISLAND PER CCAUSD #220.1.S1

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVE DRAINAGE STUDY DS #5583C ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.


BRIAN K REED, PE NO. 14464

11/17/2022

REV	DESCRIPTION	BY	APP'D	DATE
				November 17, 2022
	HORIZ. SCALE: 1" = 20'			
	VERT. SCALE: N/A			
	DRAWN BY: WW			
	CHECKED BY: DSP			
	DRAWN BY: BMR			
	CHECKED BY: BMR			
	APPROVED BY:			
	6555-0088			
	PROJECT #:			
	ADJUSTED SIDE WALLS AND DEEPENED FOOTINGS			
	ADJUSTED EASEMENT - ADJUSTED FENCE			
	REVIEWED METER AND LVMWD EASEMENT			
	REQUIREMENTS: PARKING STALLS ACCORDINGLY			
	FOR THE TRUNK PAVEMENT			
	ADJUSTED SIDE WALLS AND DEEPENED FOOTINGS			

EDWARD HOMES 8475 S EASTERN AVE. SUITE# 105
LAS VEGAS, NEVADA 89123
PH. 702-662-6889 FAX. 702-675-6319

RCI ENGINEERING
500 SOUTH RANCHO DRIVE, SUITE 17, LAS VEGAS, NV 89106
MAIN: 702.453.0000 FAX: 702.453.0081

IMPROVEMENT PLANS FOR

RANCHO VILLAGE APARTMENTS PHASE 2

GRADING PLAN (SHEET 3 OF 7)

CITY OF LAS VEGAS

NEWADA

FILE NAME	DATE	TIME	FILE TYPE
4555.Edward Homes\0008_Rancho Ph 2&3_CIVIL_IPS\Ph2_S0004_G-1.dwg	11/17/22	1:24pm	dwg

DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call before you Dig
AVOID CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY.
**Call
811**
OR
1-800-642-2444

FAST
CALL BEFORE WORK STARTS
1-702-432-5300
TRENCH AND TRENCH
SYSTEM OF TRANSPORTATION

AVOID HITTING OVERHEAD
POWER LINES. IT'S COSTLY.
**CALL BEFORE
YOU DIG
OVERHEAD**

BENCHMARK

CITY OF LAS VEGAS BENCHMARK: ZLV01 185WV6

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW
CORNER BEVIE RD. & DECATUR BLVD.

ELEVATION=672.300 Meters (NAVD'88 v.2008)

ELEVATION=2205.71 US Survey' Feet (NAVD'88 v.2008)

BASIS OF BEARINGS

NORTH 89°26'38" EAST, BEING THE BEARING OF THE
SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY
OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY
MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK
COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

BUILDING PERMIT NOTE

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL
WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT.
APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE
GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH
ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT
POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY
FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH
CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY
WORK WITHIN A PUBLIC STREET RIGHT-OF-WAY. THIS DOES
NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL
IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE
ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING
PERMIT APPLICATION.

FLOOD ZONE NOTE

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP
(FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED
NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X".

SURVEY MONUMENT NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS
REQUIRED BY CITY OF LAS VEGAS AND CLARK COUNTY UNIFORM
STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO
REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR
OBSOLETE DURING CONSTRUCTION.

SIGHT VISIBILITY ZONE

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS
PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT
(MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB
EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

ENGINEERS NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
- SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
- SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
- ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
- THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
- ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
- DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST THREE GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
- SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GEOTEK RESIDENTIAL, LLC
PROJECT NO. 16813-LVR
DATED: APRIL 6, 2022
- CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 323.21 CY
NET FILL: 33.567 CY
- FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

NOTE

ALL LANDSCAPING AND IMPROVEMENTS IN THE
30' WIDE PUBLIC DRAINAGE EASEMENT, AND OVER
THE EXISTING 12" BOX CULVERT, MUST
ADHERE TO THE FOLLOWING:
1. ROOT AND MOISTURE BARRIERS OVER THE
STORM DRAIN FACILITIES MUST BE PROVIDED
ANYTIME LANDSCAPING IS PROPOSED.
2. NO TREES ARE ALLOWED IN THE DRAINAGE
EASEMENT.
3. IMPROVEMENTS WITHIN THE EASEMENT
CANNOT ADVERSELY IMPACT LOADING FOR THE
EXISTING STORM DRAIN FACILITY.
4. THESE REQUIREMENTS ARE TO BE
COORDINATED WITH THE CITY OF LAS VEGAS.

NOTE

POST-CONSTRUCTION BMPs (PCBMPs) / CONTROL
MEASURES NOTED ON THE GRADING PLANS ARE
MANDATORY PERMANENT REGULATORY STORMWATER
POLLUTION CONTROLS. THESE PCBMPs MUST BE
INSTALLED PER THE APPROVED PLANS AND MUST
BE PERMANENTLY MAINTAINED.

NOTE

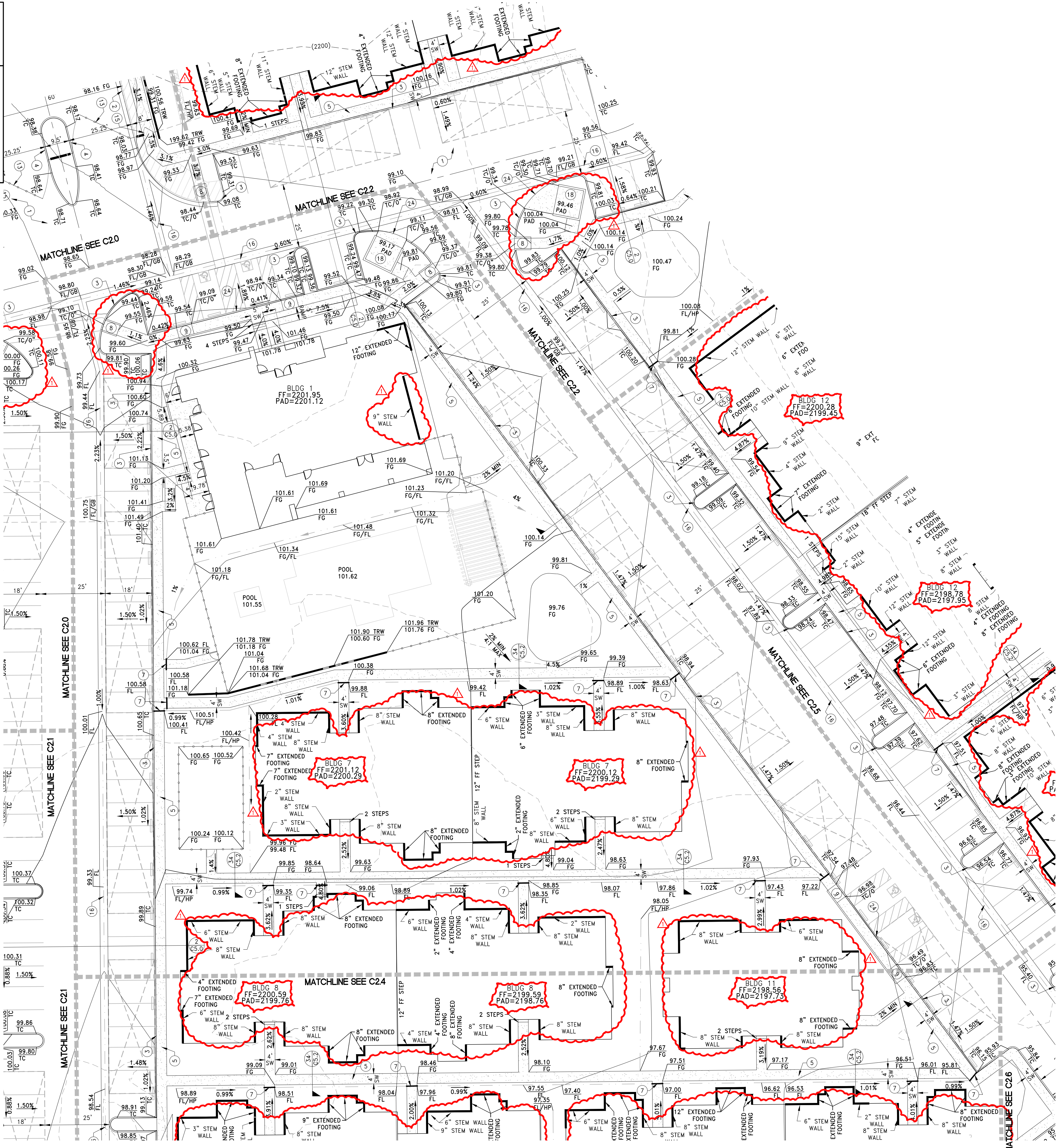
ALL ON-SITE STORM DRAINS AND THE
ASSOCIATED FACILITIES ARE PRIVATELY
OWNED AND TO BE PRIVATELY MAINTAINED
BY THE HOA

NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC
SEWER EASEMENTS AND PUBLIC DRAINAGE
EASEMENTS TO BE PRIVATELY MAINTAINED
BY HOA.

SEWER EASEMENT NOTE

NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



CONSTRUCTION NOTES

- CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- CONSTRUCT 4' SIDEWALK PER CCAUSD #234
- CONSTRUCT 5' SIDEWALK PER CCAUSD #234
- CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE I)
- SAW CUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL LIMITS TO BE SET BY FIELD INSPECTOR
- CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- CONSTRUCT BLOCK WALL OPENING PER DETAIL 19 SHEET C5.0
- CALL BOX BY OTHERS
- ELECTRONIC CONTROLLED GATES BY OTHERS
- PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- CONSTRUCT 3' VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #222.1, #225 AND #228
- CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS
- CDS (STORMWATER TRASH, SEDIMENT AND OIL INTERCEPTOR STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- CONSTRUCT 1.5' VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5' SIDEWALK PER CCAUSD #216 AND #234
- REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #224
- INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- INSTALL RIP-RAP, D50=6", 12" THICK
- INSTALL 6'x6' JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH MARKER PER UDACS 421. SEE PCBMP NOTE, THIS SHEET.
- INSTALL TACK ON ISLAND PER CCAUSD #220.1S1

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED
DRAINAGE STUDY DS #55830 ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

Brian K. Reed
BRIAN K. REED, PE NO. 14464

11/17/2022

DATE: November 17, 2022	BY: JAPD	DATE:
HORIZ. SCALE: 1" = 20'	VERT. SCALE: N/A	DATE:
DRAWN BY: WW	CHECKED BY: DSP	DATE:
DESIGNED BY: BKR	APPROVED BY: BKR	DATE:
PROJECT #:	PROJECT #:	DATE:

REVISED CURB RETURNS TO MEET FIRE TURN RADII
ADJUSTED STEM WALLS AND DEEPER FOOTINGS

IMPROVEMENT PLANS FOR
RANCHO VILLAGE APARTMENTS PHASE 2
GRADING PLAN (SHEET 4 OF 7)

EDWARD HOMES
RCI ENGINEERING
8475 S EASTERN AVE. SUITE # 105
LAS VEGAS, NEVADA 89123
PH. 702-685-6989 FAX. 702-675-6319
500 SOUTH RANCHO DRIVE, SUITE 17, LAS VEGAS, NV 89106
MAIN: 702-453-0800 FAX: 702-453-0801

DATE: 11/17/2022
DRAWING
C2.3
SHEET 13 OF 40
CLV DRAWING NUMBER
107V9758
CLV PROJECT #122-02394

11/17/2022

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call
811

OR
1-800-642-2444

A diagram showing a light ray entering a rectangular block from the left. The ray bends towards the normal as it enters the block, and then bends away from the normal as it exits the block on the right side. The block is represented by a rectangle with a horizontal line above it and a horizontal line below it.

CALL BEFORE WORK STARTS
1-702-432-5300
FREEWAY AND ARTERIAL

1-702-227-2929

CITY OF LAS VEGAS BENCHMARK: 7LV01 18SWW6

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW CORNER BEVVIE RD. & DECATUR BLVD.

ELEVATION=672.300 Meters (NAVD'88 v.2008)
ELEVATION=2205.71 US Survey Feet (NAVD'88 v.2008)

NORTH 89°26'38" EAST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY DRIVEWAY OR DRIVEWAY RIGHT-OF-WAY, THIS DOES NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING PERMIT APPLICATION."

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X".

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS
REQUIRED BY CITY OF LAS VEGAS AND CLARK COUNTY UNIFORM
STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO
REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR
OBSCURED DURING CONSTRUCTION.

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT (MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

1. CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
2. SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
3. SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
4. ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
5. THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
6. ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
7. DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST TWO GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
8. SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GEOTEK RESIDENTIAL, LLC
PROJECT NO. 16B13-LVR
DATED: APRIL 6, 2022
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE
NET CUT: 1,223 CY
NET FILL: 33,567 CY
10. FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

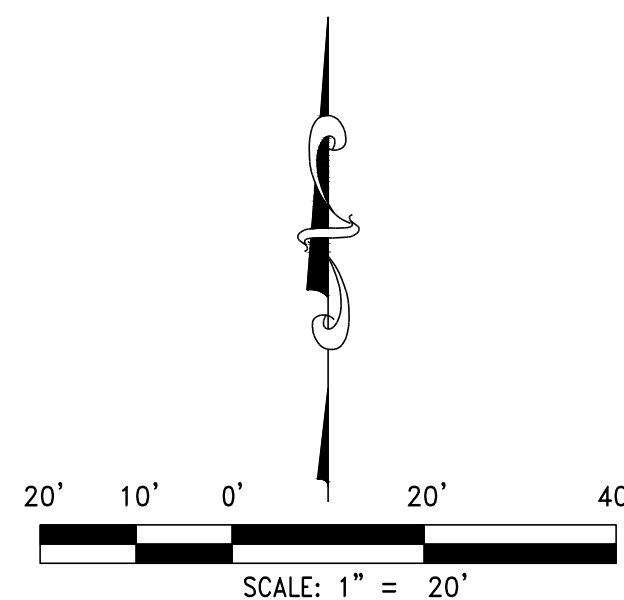
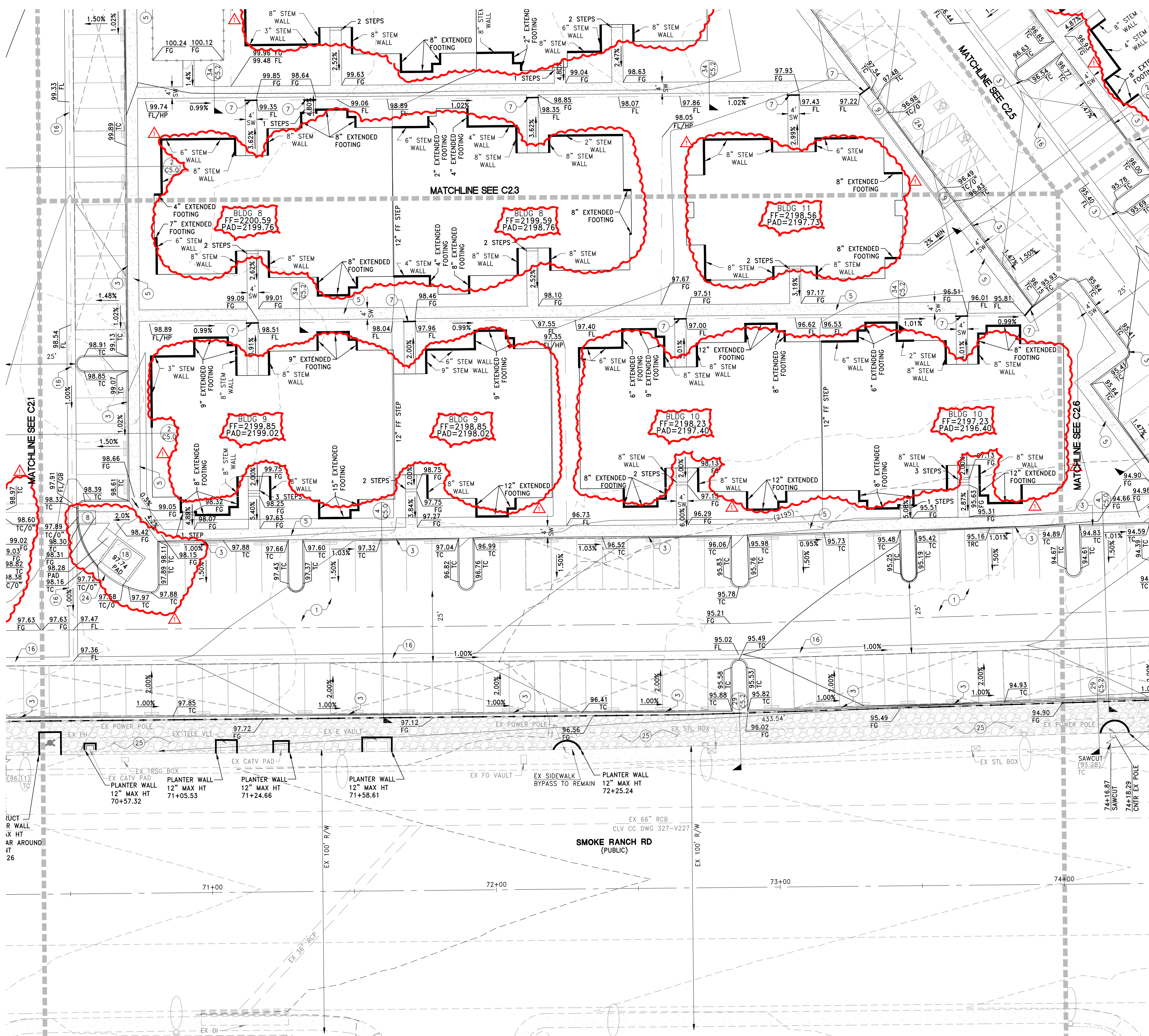
NOTE
POST-CONSTRUCTION BMPs (PCBMPs) / CONTROL MEASURES NOTED ON THE GRADING PLANS ARE MANDATORY PERMANENT REGULATORY STORMWATER POLLUTION CONTROLS. THESE PCBMPs MUST BE INSTALLED PER THE APPROVED PLANS AND MUST BE PERMANENTLY MAINTAINED.

NOTE
ALL ONSITE STORM DRAINS AND THE
ASSOCIATED FACILITIES ARE PRIVATELY
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BY THE HOA

NOTE
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BY HOA.

SEWER EASEMENT NOTE

NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



- 1) CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- 2) CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- 3) CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- 4) CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- 5) CONSTRUCT 4' SIDEWALK PER CCAUSD #234
- 6) CONSTRUCT 5' SIDEWALK PER CCAUSD #234
- 7) CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.
- 8) CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- 9) CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE 1)
SAWCUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL
LIMITS TO BE SET BY FIELD INSPECTOR
- 10) CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- 11) CALL BOX BY OTHERS
- 12) ELECTRONIC CONTROLLED GATES BY OTHERS
- 13) PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- 14) CONSTRUCT 3' VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- 15) REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT
COMMERCIAL DRIVEWAY PER CCAUSD #223, #225 AND #228
- 16) CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS
CDS (STORMWATER TRASH, SEDIMENT AND OIL INTERCEPTOR
STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- 17) CONSTRUCT 1.5' VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- 18) REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5'
SIDEWALK PER CCAUSD #216 AND #234
- 19) REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL
DRIVEWAY PER CCAUSD #234
- 20) INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- 21) CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- 22) INSTALL RIP-RAP, D50=6", 12" THICK
- 23) INSTALL 6"x6" JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH
MARKER PER UDACS 21. SEE PCBMP NOTE, THIS SHEET.
- 24) INSTALL TACK ON ISLAND PER CCAUSD #220.1.S1

REV	DESCRIPTION	BY	APPD	DATE
	DATE: November 17, 2022			
	HORIZ. SCALE: 1" = 20'			
	VERT. SCALE: N/A			
	DRAWN BY: WW			
	DESIGNED BY: DSP			
	CHECKED BY: BRR			
	APPROVED BY: BRR			
	PROJECT #: 455-0008			
	REVISOR: REVISED CURB RETURNS TO MEET FIRE TURN RADIIUS ADJUSTED STEM WALLS AND DEFENDED FOOTINGS			

EDWARD J. HINES
8475 S. EASTERN AVE. SUITE# 105
LAS VEGAS, NEVADA 89123
PH. 702-655-6989 FAX. 702-675-6319

RCI ENGINEERING
500 SOUTH RANCHO DRIVE, SUITE 17, LAS VEGAS, NV 89101
MAIN: 702-453.0800 FAX: 702-453.0801

IMPROVEMENT PLANS FOR
RANCHO VILLAGE APARTMENTS PHASE 2
GRADING PLAN (SHEET 5 OF 7)



DATE: 11/17/2022

DRAWING
C2.4
SHT 14 OF 40
CLV DRAWING NUMBER
107V9758
CLV PROJECT #122-02394

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVE DRAINAGE STUDY DS #5583C ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.


BRIAN K REED, PE NO. 14464

11/17/2022
DATE

DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call before you Dig
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UTILITY LINES. IT'S COSTLY.
Call 811
OR
1-800-642-2444

FAST
CALL BEFORE WORK STARTS
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FIREARM AND ARTIFACT
SYSTEM OF TRANSPORTATION

CALL BEFORE YOU DO OVERHEAD
AVOID HITTING OVERHEAD
POWER LINES. IT'S COSTLY.
1-702-227-2929

BENCHMARK

CITY OF LAS VEGAS BENCHMARK: 7LV01 185W06

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW
CORNER BEVIE RD. & DECATUR BLVD.

ELEVATION=672.300 Meters (NAVD'88 v.2008)
ELEVATION=2205.71 US Survey' Feet (NAVD'88 v.2008)

BASIS OF BEARINGS

NORTH 89°26'38" EAST, BEING THE BEARING OF THE
SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF
SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY
OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY
MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK
COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

BUILDING PERMIT NOTE

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL
WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT
APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE
GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH
ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT
POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY
FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH
CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY
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ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING
PERMIT APPLICATION.

FLOOD ZONE NOTE

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP
(FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED
NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X".

SURVEY MONUMENT NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS
REQUIRED BY CITY OF LAS VEGAS AND CLARK COUNTY UNIFORM
STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO
REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR
OBSOLETE DURING CONSTRUCTION.

SIGHT VISIBILITY ZONE

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS
PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT
(MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB
EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

ENGINEERS NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
- SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
- SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
- ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
- THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
- ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
- DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST THREE GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
- SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GEOTEK RESIDENTIAL, LLC
PROJECT NO. 16813-LVR
DATED: APRIL 6, 2022
- CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 1,323 CY
NET FILL: 33,567 CY
- FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

NOTE

ALL LANDSCAPING AND IMPROVEMENTS IN THE
30' WIDE PUBLIC DRAINAGE EASEMENT, AND OVER
THE EXISTING 12'x8' BOX CULVERT, MUST
ADHERE TO THE FOLLOWING:
1. ROOT AND MOISTURE BARRIERS OVER THE
STORM DRAIN FACILITIES MUST BE PROVIDED
ANYTIME LANDSCAPING IS PROPOSED.
2. NO TREES ARE ALLOWED IN THE DRAINAGE
EASEMENT.
3. IMPROVEMENTS WITHIN THE EASEMENT
CANNOT ADVERSELY IMPACT LOADING FOR THE
EXISTING STORM DRAIN FACILITY.
4. THESE REQUIREMENTS ARE TO BE
COORDINATED WITH THE CITY OF LAS VEGAS.

NOTE

POST-CONSTRUCTION BMPs (PCBMPs) / CONTROL
MEASURES NOTED ON THE GRADING PLANS ARE
MANDATORY PERMANENT REGULATORY STORMWATER
POLLUTION CONTROLS. THESE PCBMPs MUST BE
INSTALLED PER THE APPROVED PLANS AND MUST
BE PERMANENTLY MAINTAINED.

NOTE

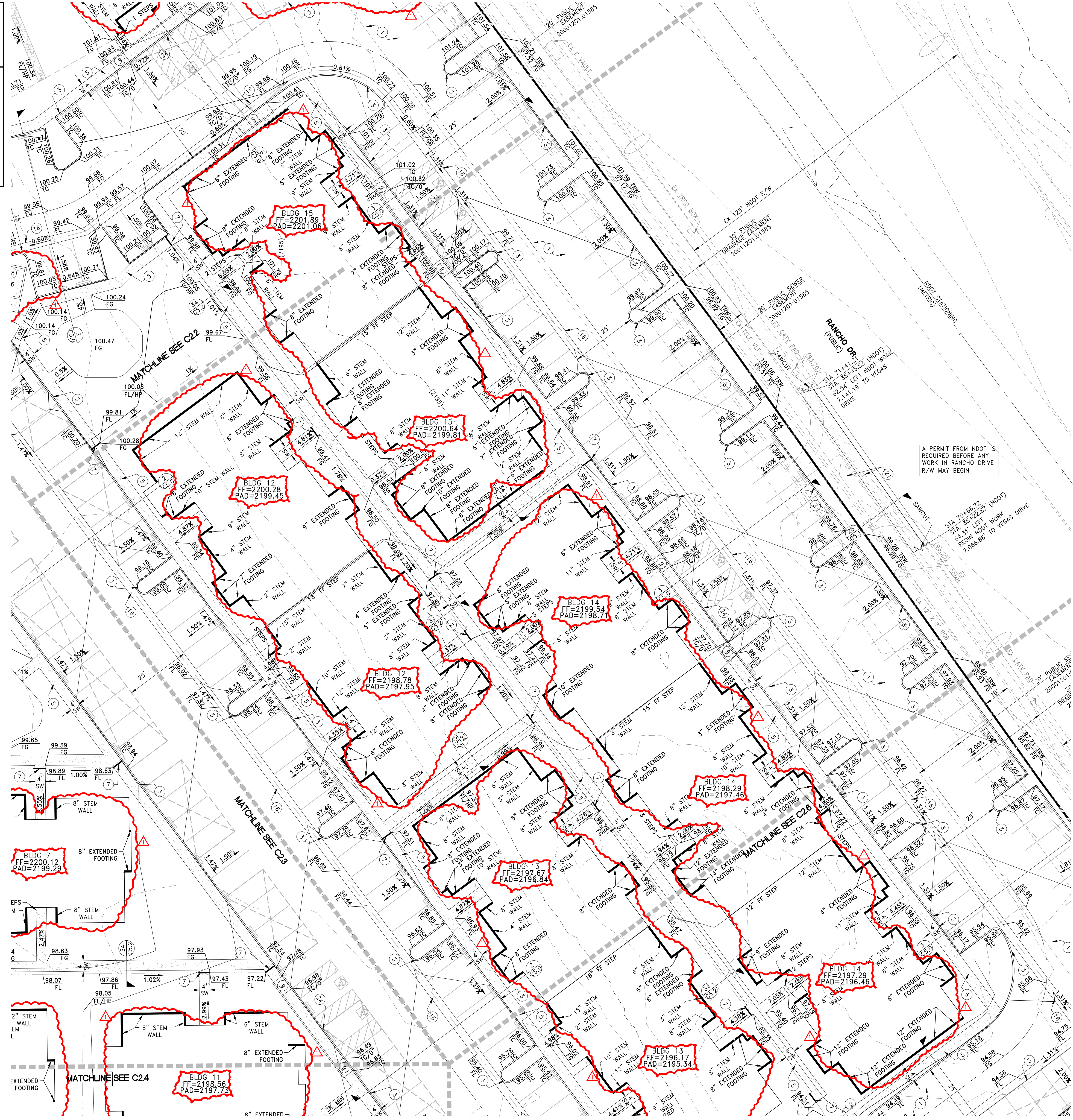
ALL ON-SITE STORM DRAINS AND THE
ASSOCIATED FACILITIES ARE PRIVATELY
OWNED AND TO BE PRIVATELY MAINTAINED
BY THE HOA

NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC
SEWER EASEMENTS AND PUBLIC DRAINAGE
EASEMENTS TO BE PRIVATELY MAINTAINED
BY HOA

SEWER EASEMENT NOTE

NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



CONSTRUCTION NOTES

- CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- CONSTRUCT 4' SIDEWALK PER CCAUSD #234
- CONSTRUCT 5' SIDEWALK PER CCAUSD #234
- CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE 1)
- SAWCUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL LIMITS TO BE SET BY FIELD INSPECTOR
- CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- CONSTRUCT BLOCK WALL OPENING PER DETAIL 19 SHEET C5.0
- CALL BOX BY OTHERS
- ELECTRONIC CONTROLLED GATES BY OTHERS
- PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- CONSTRUCT 3' VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #221.1, #225 AND #228
- CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS CDS (STORMWATER TRASH, SEDIMENT AND OIL INTERCEPTOR STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- CONSTRUCT 1.5' VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5' SIDEWALK PER CCAUSD #216 AND #234
- REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #224
- INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- INSTALL RIP-RAP, D50=6", 12" THICK
- INSTALL 6'x6" JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH MARKER PER UDACS 421. SEE PCBMP NOTE, THIS SHEET.
- INSTALL TACK ON ISLAND PER CCAUSD #220.1.51

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY D5 #55830 ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

Brian K. Reed
BRIAN K. REED, PE NO. 14464

11/17/2022

DATE: November 17, 2022	BY: JAPD	DATE:
HORIZ. SCALE: 1" = 20'	VERT. SCALE: N/A	DATE:
DRAWN BY: WW	DESIGNED BY: DSP	DATE:
CHECKED BY: BKR	APPROVED BY: BKR	DATE:
PROJECT #:	PROJECT #:	DATE:

REVISIONS: REVISED CURB RETURNS TO MEET FIRE TURN RADIUS REQUIREMENTS - ADJUSTED PARKING STALLS ACCORDINGLY
RELOCATED TRASH ENCLOSURES AND ADJUSTED PARKING STALLS
ADJUSTED STEM WALLS AND DEEPENED FOOTINGS

8475 S EASTERN AVE SUITE# 105
LAS VEGAS, NEVADA 89123
PH. 702-685-6989 FAX. 702-675-6319
RCI ENGINEERING
500 SOUTH RANCHO DRIVE, SUITE 17, LAS VEGAS, NV 89106
MAIN: 702-453-0800 FAX: 702-453-0801

EDWARD HOMES

RANCHO VILLAGE APARTMENTS PHASE 2

GRADING PLAN (SHEET 6 OF 7)

11/17/22 1:24pm

CITY OF LAS VEGAS

DATE: 11/17/2022

DRAWING

C2.5

SHT 15 OF 40

CLV DRAWING NUMBER

107V9758

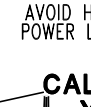
CLV PROJECT #122-02394

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call before you Dig
AVOID CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY.

Call
811

OR
1-800-642-2444



AVOID HITTING OVERHEAD
POWER LINES. IT'S COSTLY.

**CALL BEFORE
YOU DO
OVERHEAD**

1-702-227-2929

CITY OF LAS VEGAS BENCHMARK: 7LV01 18SWW6

RIVET & PLATE (OLD RECTANGULAR) IN TOP OF CURB AT THE SW CORNER BEVVIE RD. & DECATUR BLVD.

ELEVATION=672.300 Meters (NAVD'88 v.2008)
ELEVATION=2205.71 US Survey Feet (NAVD'88 v.2008)

NORTH 89°26'38" EAST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 18, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY MAP THEREOF ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN BOOK 108, PAGE 15 OF PLATS.

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT. APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY WORK WITHIN THE STREET RIGHT-OF-WAY. THIS DOES NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING PERMIT APPLICATION."

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBERS 32003C2155F DATED NOVEMBER 16, 2011, THE SITE IS LOCATED IN A ZONE "X"

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS
REQUIRED BY CITY OF LAS VEGAS AND CLARK COUNTY UNIFORM
STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO
REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR
OBSCURED DURING CONSTRUCTION.

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT (MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

1. CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
2. SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
3. SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
4. ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
5. THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
6. ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
7. DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST TWO CHECK DAMS ON VERTICAL TANGENTS TO VEER SLOPES.
8. SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: GROTKE RESIDENTIAL, LLC
PROJECT NO. 16B13-LVR
DATED:
APRIL 6, 2022
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 22.23 CY
NET FILL: 33.567 CY
10. FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1

ALL LANDSCAPING AND IMPROVEMENTS IN THE 30' WIDE PUBLIC DRAINAGE EASEMENT, AND OVER THE EXISTING 12'X8' BOX CULVERT, MUST ADHERE TO THE FOLLOWING:

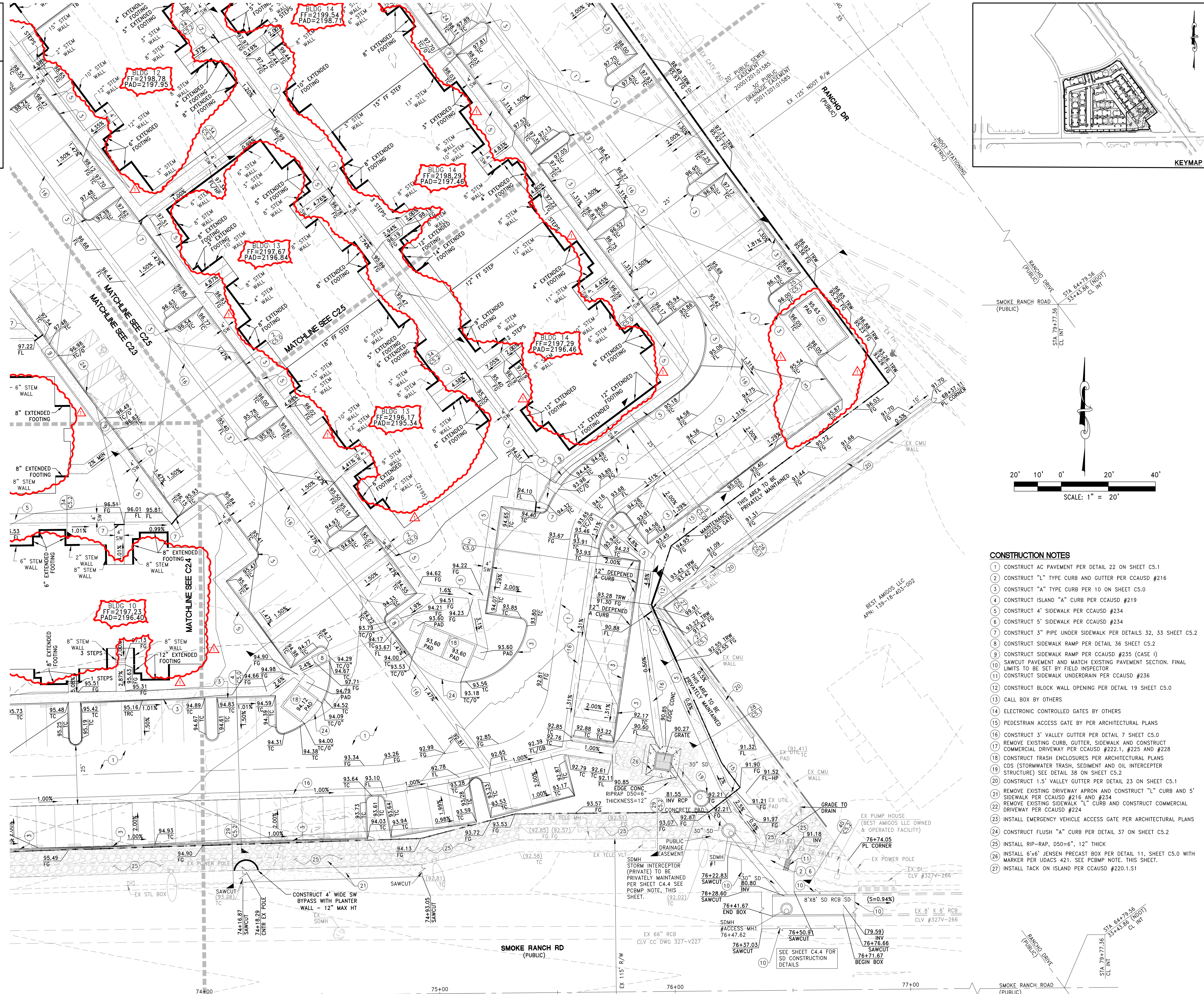
1. ROOT AND MOISTURE BARRIERS OVER THE STORM DRAIN FACILITIES MUST BE PROVIDED ANYTIME LANDSCAPING IS PROPOSED.
2. NO TREES ARE ALLOWED IN THE DRAINAGE EASEMENT.
3. IMPROVEMENTS WITHIN THE EASEMENT CANNOT ADVERSELY IMPACT LOADING FOR THE EXISTING STORM DRAIN FACILITY.
4. THESE REQUIREMENTS ARE TO BE COORDINATED WITH THE CITY OF LAS VEGAS.

POST-CONSTRUCTION BMPs (PCBMPs) / CONTROL MEASURES NOTED ON THE GRADING PLANS ARE MANDATORY PERMANENT REGULATORY STORMWATER POLLUTION CONTROLS. THESE PCBMPs MUST BE INSTALLED PER THE APPROVED PLANS AND MUST BE PERMANENTLY MAINTAINED.

ALL ONSITE STORM DRAINS AND THE ASSOCIATED FACILITIES ARE PRIVATELY OWNED AND TO BE PRIVATELY MAINTAINED BY THE HOA.

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.

NO STRUCTURES AND NO TREES OR VEGETATION TALLER
THAN THREE FEET ALLOWED WITHIN CLV SEWER EASEMENT



- 1 CONSTRUCT AC PAVEMENT PER DETAIL 22 ON SHEET C5.1
- 2 CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD #216
- 3 CONSTRUCT "A" TYPE CURB PER 10 ON SHEET C5.0
- 4 CONSTRUCT ISLAND "A" CURB PER CCAUSD #219
- 5 CONSTRUCT 4' SIDEWALK PER CCAUSD #234
- 6 CONSTRUCT 5' SIDEWALK PER CCAUSD #234
- 7 CONSTRUCT 3" PIPE UNDER SIDEWALK PER DETAILS 32, 33 SHEET C5.2
- 8 CONSTRUCT SIDEWALK RAMP PER DETAIL 36 SHEET C5.2
- 9 CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 (CASE I)
- 10 SAWCUT PAVEMENT AND MATCH EXISTING PAVEMENT SECTION. FINAL
- 11 LIMITS TO BE SET BY FIELD INSPECTOR
- 12 CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #236
- 13 CONSTRUCT BLOCK WALL OPENING PER DETAIL 19 SHEET C5.0
- 14 CALL BOX BY OTHERS
- 15 ELECTRONIC CONTROLLED GATES BY OTHERS
- 16 PEDESTRIAN ACCESS GATE BY PER ARCHITECTURAL PLANS
- 17 CONSTRUCT 3' VALLEY GUTTER PER DETAIL 7 SHEET C5.0
- 18 REMOVE EXISTING CURB, GUTTER, SIDEWALK AND CONSTRUCT
- 19 COMMERCIAL DRIVEWAY PER CCAUSD #222.1, #225 AND #228
- 20 CONSTRUCT TRASH ENCLOSURES PER ARCHITECTURAL PLANS
- 21 CDS (STORMWATER TRASH, SEDIMENT AND ILL INTERCEPTOR
- 22 STRUCTURE) SEE DETAIL 38 ON SHEET C5.2
- 23 CONSTRUCT 1.5' VALLEY GUTTER PER DETAIL 23 ON SHEET C5.1
- 24 REMOVE EXISTING DRIVEWAY APRON AND CONSTRUCT "L" CURB AND 5'
- 25 SIDEWALK PER CCAUSD #216 AND #234
- 26 REMOVE EXISTING SIDEWALK "L" CURB AND CONSTRUCT COMMERCIAL
- 27 DRIVEWAY PER CCAUSD #224
- 28 INSTALL EMERGENCY VEHICLE ACCESS GATE PER ARCHITECTURAL PLANS
- 29 CONSTRUCT FLUSH "A" CURB PER DETAIL 37 ON SHEET C5.2
- 30 INSTALL RIP-RAP, D50=6", 12" THICK
- 31 CONSTRUCT 6"x6" JENSEN PRECAST BOX PER DETAIL 11, SHEET C5.0 WITH
- 32 MARKER PER UDACS 421. SEE PCBM NOTE. THIS SHEET.
- 33 INSTALL TACK ON ISLAND PER CCAUSD #220.1.S1

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY DS #5583C ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

Brian K. Reed
BRIAN K REED, PE NO. 14464

11/17/2022

[illegible]

DATE:	November 17, 2022
HORIZ. SCALE:	1" = 20'
VERT. SCALE:	N/A
DRAWN BY:	WW
DESIGNED BY:	DSP
CHECKED BY:	BKR
APPROVED BY:	BKR
PROJECT #:	4555.0008

EDWARD HOMES

 8475 S EASTERN AVE SUITE# 105
 LAS VEGAS, NEVADA 89123
 PH. 702-665-6889 FAX. 702-675-6319

RCI ENGINEERING

 500 SOUTH SANDHILL DRIVE, SUITE 17, LAS VEGAS, NV 89106
 MAIN: 702-453-0800 FAX: 702-453-0801

IMPROVEMENT PLANS FOR
RANCHO VILLAGE APARTMENTS PHASE 2
GRADING PLAN (SHEET 7 OF 7)
CITY OF LAS VEGAS
NEVADA



DATE: 11/17/2022
 DRAWING
C2.6
 SHT 16 OF 40
 CLV DRAWING NUMBER
 107V9758
 CLV PROJECT #122-02394

\\4555_Edward_Homes\0008_Rancho Ph 2&3\CIVIL\IPS\Ph2\S0004_G-1.dwg cthompson 11/17/22 1:24pm