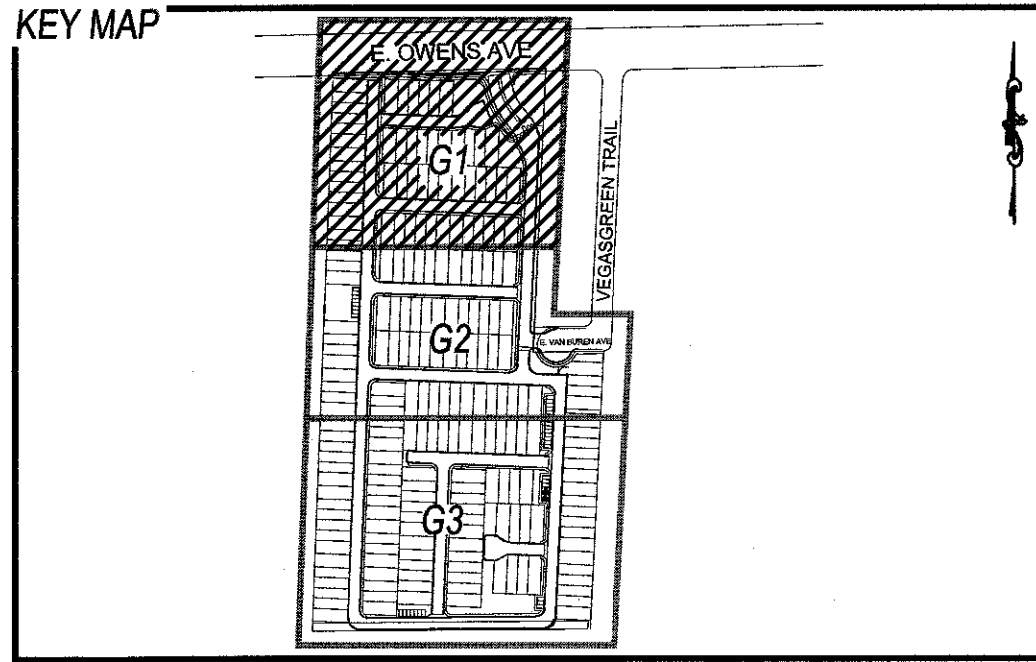


NOTE: ALL PRIVATE STREETS ARE P.U.E. PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.



MATCHLINE SEE SHEET G2



GRADING CONSTRUCTION NOTES

- 24" L-TYPE CURB & GUTTER (CCAUSSD#216)
- 24" R-TYPE CURB & GUTTER (CCAUSSD#217.3.51)
- 3" CURB TRANSITION (L TO R) (SEE Q/GD1)
- 4" THICK CONC. SIDEWALK; WIDTH AS LABELED IN PLAN VIEW (CCAUSSD#234)
- 5" THICK CONC. SIDEWALK; WIDTH AS LABELED IN PLAN VIEW (CCAUSSD#234)
- CASE 1 SIDEWALK RAMP; A=8'; B=8' UNLESS NOTED OTHERWISE IN PLAN VIEW (CCAUSSD#235)
- 8" CROSS GUTTER (CAUUSD #228)
- AC PAVEMENT OVER AGG. BASE - SEE GRADING DETAILS & SECTIONS FOR THICKNESS
- ADA PARKING AREA W/ CURB TRANSITION (DETAIL R/GD1)
- 5' WIDE CURB CUT (SEE W/GD1)
- 10' WIDE FLUME W/ FLOWLINE (SEE M/GD1)
- 20' WIDE VALLEY GUTTER WITH 20" DRAINAGE EASEMENT (SEE N/GD1)
- INSTALL A-TYPE CURB (USDCOA #219)
- RESIDENTIAL DRIVEWAY (CAUUSD #223)
- SAWCUT AND MATCH EX. AC PAVEMENT (CAUUSD #500.3)
- INSTALL 10" 4000PSI CONCRETE OVER 6" TYPE II (CCAUSSD #234.1)
- INSTALL 8" REINFORCED CONCRETE OVER 6" TYPE II (CCAUSSD #234.5)
- REMOVE AND REPLACE EX. L-CURB
- INSTALL SIDEWALK UNDERDRAIN (CAUUSD 236)
- LANDSCAPE ROCK D50=6"
- 10' WIDE VALLEY GUTTER WITH 20" DRAINAGE EASEMENT (SEE Q/GD1)
- 10' WIDE BLOCK WALL OPENING WITH WROUGHT IRON FENCE (T/GD1)

TYPICAL LOT DRAINAGE

EACH BUILDING WILL CONTAIN A 5' DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY THE HOA PER DETAIL U/GD1. THIS EASEMENT WILL ALLOW FOR FLOW TO BE CONVEYED IN A SWALE FROM THE REAR SIDE OF THE BUILDINGS TO BE DISCHARGED INTO THE ADJACENT DRIVE AISLE.

EARTHWORK

TOTAL FOR OVERALL DEVELOPMENT: 8,404 CY CUT / 60,834 CY FILL / 52,230 CY NET
NOTE: THIS OPINION OF THE CUT AND FILL QUANTITIES IS PROVIDED AS REQUIRED BY THE GOVERNING ENTITY. THIS INFORMATION SHOULD NOT BE USED FOR BIDDING PURPOSES. ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES. THESE TOTALS ARE RAW AND DO NOT ACCOUNT FOR SHRINKAGE AND SUBSIDENCE.

FLOOD ZONE

THIS PROJECT IS LOCATED IN FLOOD ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN, AND SHADED ZONE "X" AREA OF 0.2% ANNUAL CHANCE FLOOD PLAIN, AN PER FIRM PANEL 32003C2179F AND 32003C2187F, REVISED NOVEMBER 16, 2011.

UTILITY DISCLAIMER

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR EXISTING LOCATIONS.

GRADING NOTES

ADD 1700 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.
THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.
ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).
ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO THE GOVERNING ENTITY.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK ID NUMBER: 7C0219558E
RIVET & PLATE IN TOP OF CURB ON THE NORTH SIDE OF OWENS + 200 FT WEST OF ROYAL ESTATES
ELEVATION = 546.543 METERS (NAVD 88) 1976.40 FEET

GRADING CERTIFICATION

I CERTIFY THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY, D55699 & HTE# 22-18504, ON FILE WITH CITY OF LAS VEGAS & CLARK COUNTY FOR THIS PROJECT.

ROBERT CUNNINGHAM, PE DATE

GEOTECHNICAL
GEOTEK RESIDENTIAL, LLC
6835 SOUTH ESCONCADO STREET, SUITE B
LAS VEGAS, NV 89118 897-1424
REPORT NO. 14829-LVR
DATE: 06/21/19
UPDATE DATE: 10/26/21

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call before you Overhead
1-702-227-2929

Call before you Dig
Avoid cutting underground utility lines. It's costly.
811
OR
1-800-642-2444

WLCI LENDING, LLC

EST. 2000

TANEY ENGINEERING
CIVIL ENGINEERING
& LAND SURVEYING
6030 S. JONES BLVD
LAS VEGAS, NV 89118
(702) 362-8844
INFO@TANEYCORP.COM

LAMB & OWENS

A RESIDENTIAL SUBDIVISION

GRADING PLAN 1

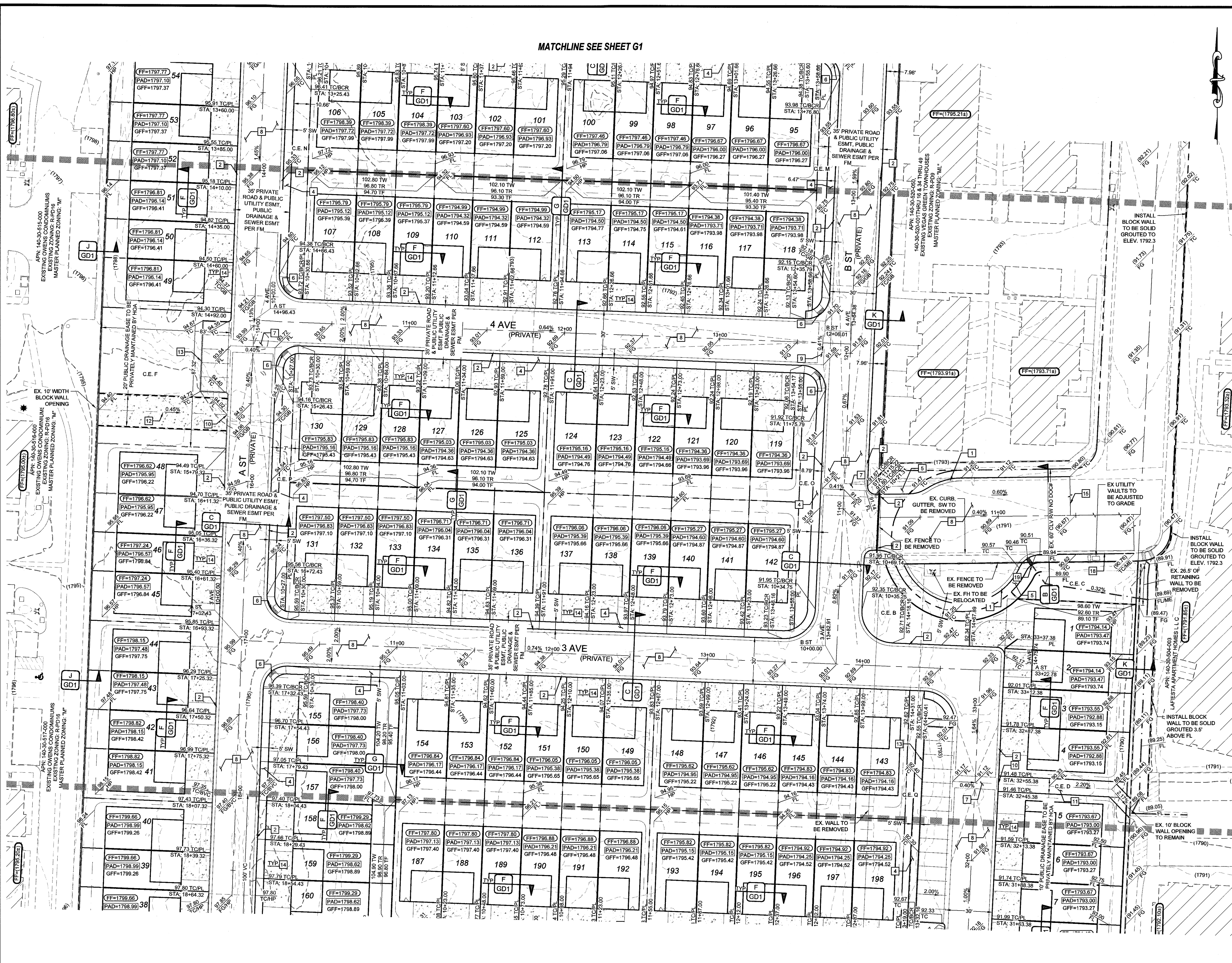
ROBERT D. CUNNINGHAM
Exp. 12-22-22
CIVIL

DATE: 11/7/2022
SCALE: 1"=30'
JOB NO: STR-19-003
DESIGNED BY: RBJ CHECKED BY: RC
SHEET NAME: G1

SHEET NUMBER: 3 OF 20

CLV 0000000

LAST PLOT: Jeff Thompson
FILE NAME: S:\ACTIVE\STORYBOOK HOMES\STR-19-03 - LAMB & OWENS\303 SHEET DWG\STR03_01_SHT_G.DWG



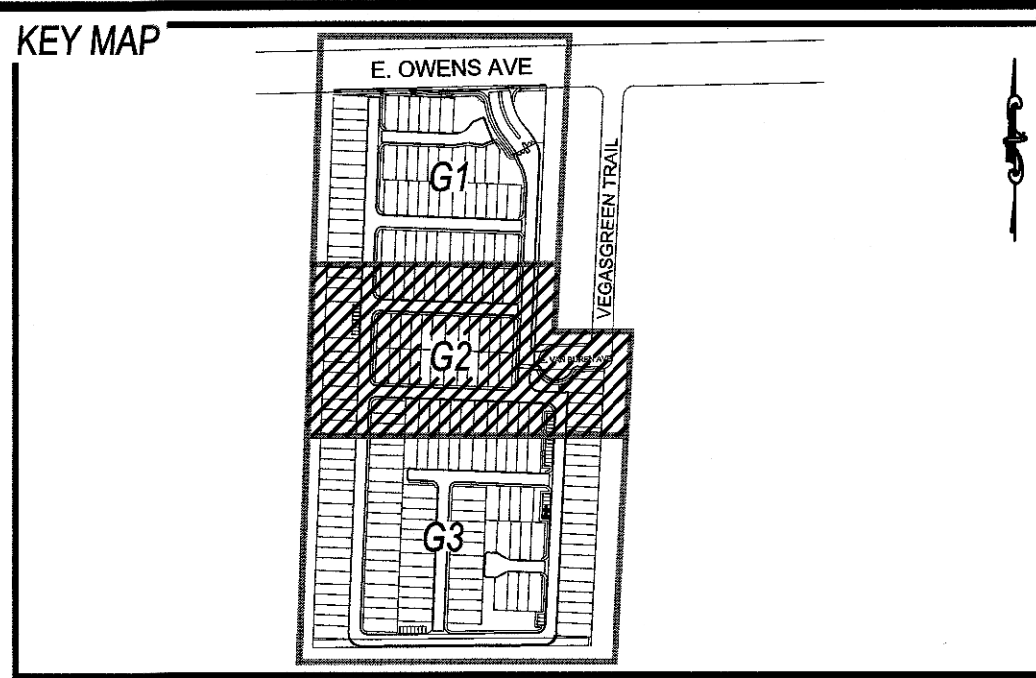
MATCHLINE SEE SHEET G1

MATCHLINE SEE SHEET G3

NOTE: ALL PRIVATE STREETS ARE P.U.E. PUBLIC
SEWER EASEMENTS, AND PUBLIC DRAINAGE
EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.

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6835 SOUTH ESCONCADO STREET, SUITE B
LAS VEGAS, NV 89118 897-1424
REPORT NO.: 14829-LVR
DATE: 06/21/19
UPDATE DATE: 10/26/21

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811
OR
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- GRADING CONSTRUCTION NOTES
- 24" L-TYPE CURB & GUTTER (CCASD#218)
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 - 5" THICK CONC. SIDEWALK, WIDTH AS LABELED IN PLAN VIEW (CCASD#234)
 - CASE 1 SIDEWALK RAMP, A-B, B-C UNLESS NOTED OTHERWISE IN PLAN VIEW (CCASD#235)
 - 8" CROSS GUTTER (CCASD #220)
 - AC PAVEMENT OVER AGO BASE - SEE GRADING DETAILS & SECTIONS FOR THICKNESS
 - ADA PARKING AREA W/ CURB TRANSITION (DETAIL R/GD1)
 - 5' WIDE CURB CUT (SEE W/GD1)
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 - INSTALL 8" REINFORCED CONCRETE OVER 6" TYPE II (CCASD #234.5)
 - REMOVE AND REPLACE EX L-CURB
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BENCHMARK
CITY OF LAS VEGAS BENCHMARK ID NUMBER: 7C02195SE6
RIVET & PLATE IN TOP OF CURB ON THE NORTH SIDE OF OWENS +/- 200 FT WEST OF ROYAL ESTATES
ELEVATION = 546.543 METERS (NAVD 88) 1976.40 FEET

GRADING CERTIFICATION
I CERTIFY THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY, DSS569 & HTE# 22-18504, ON FILE WITH CITY OF LAS VEGAS & CLARK COUNTY FOR THIS PROJECT.

ROBERT CUNNINGHAM, PE
DATE

REVISIONS

NO.	DESCRIPTION	BY	SHTS.	APPR.	DATE

WLCI LENDING, LLC

EST. 2000

TANEY ENGINEERING
CIVIL ENGINEERING & LAND SURVEYING
6030 S. JONES BLVD
LAS VEGAS, NV 89118
(702) 365-8844
INFO@TANEYCORP.COM

LAMB & OWENS
A RESIDENTIAL SUBDIVISION
GRADING PLAN 2

ROBERT D. CUNNINGHAM, P.E.
11.7.22

DATE: 11/7/2022
SCALE: 1"=30'
JOB NO: STR-19-003
DESIGNED BY: RBJ CHECKED BY: RC
SHEET NAME: G2
SHEET NUMBER: 4 OF 20
CLV 0000000