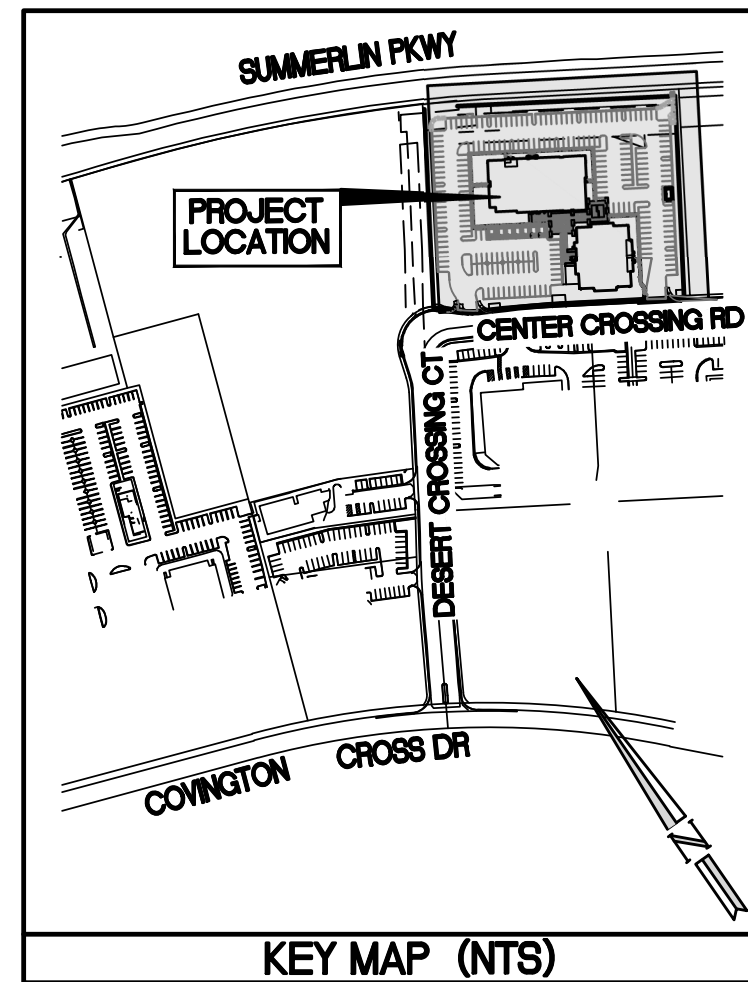
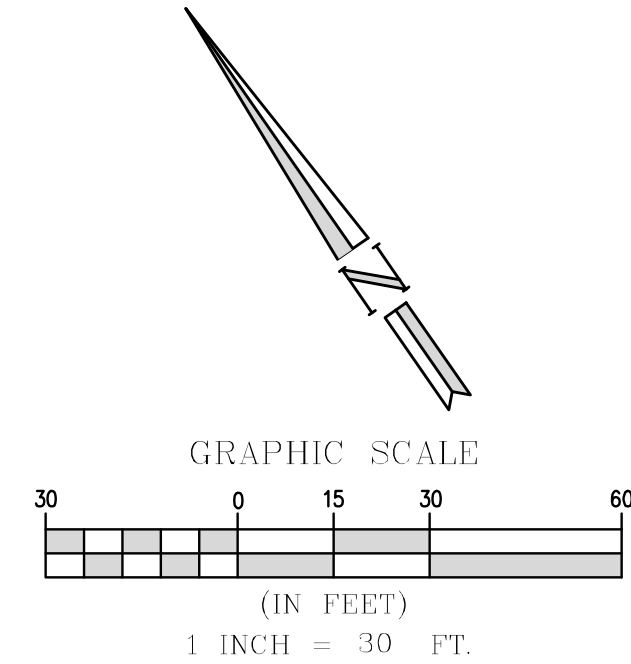


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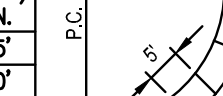
COMPASS DEVELOPMENT
3145 ST ROSE PKWY, SUITE 200 HENDERSON NV 89052

DRC **DRC Surveying Nevada, Inc.**
7080 LA CIENEGA ST., STE #200
LAS VEGAS, NEVADA 89119
(702) 270-6119

EASEMENT TABLE	
NO.	DESCRIPTION
◆	SEWER EASEMENT PER BOOK 950504 PER INSTRUMENT NO 01099
◆	CLY SEWER EASEMENT PER BOOK 950504 PER INSTRUMENT NO. 01116
◆	CITY OF LAS VEGAS SEWER EASEMENT & PUBLIC DRAINAGE EASEMENT BOOK 971105 PER INSTRUMENT NO. 01134 OF OFFICIAL RECORDS.
◆	30' WIDE LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 970730AS-01600
◆	LYVMD UTILITY EASEMENT AND RIGHT-OF-WAY BOOK 20020225 PER INSTRUMENT NO. 01491
◆	ACCESS EASEMENT PER BOOK NO. 20170214 PER INSTRUMENT NO. 01254
◆	LYVMD UTILITY EASEMENT AND RIGHT-OF-WAY EASEMENT PER BOOK 20171130 PER INSTRUMENT NO. 03804
◆	15'x28' LYVMD EASEMENT PER DOC XX
◆	50' WIDE LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 920220-00764
◆	15' LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 970730AS-01600
◆	LYVMD UTILITY EASEMENT AND RIGHT-OF-WAY EASEMENT PER BOOK 20171130 PER INSTRUMENT NO. 03795

NOTE
ALL ONSITE STORM DRAINS AND ASSOCIATED FACILITIES ARE PRIVATELY OWNED AND TO BE PRIVATELY MAINTAINED BY THE HOA OR PROPERTY OWNER(S)

NOTE
ADD 2800 FEET TO ALL TAGS

No.	GRADE (%) "B" TO "A"	"A"(F1) MIN	"B"(F1) MIN	
[1]	-6 TO -5.01	4.5'	21.5'	
[2]	-5 TO -4.01	4.5'	15.0'	
[3]	-4 TO -3.01	4.5'	12.0'	
[4]	-3 TO -2.01	4.5'	9.0'	
[5]	-2 TO 2	8.0'	8.5'	
[6]	2.01 TO 3	9.5'	4.5'	
[7]	3.01 TO 4	12.0'	4.5'	
[8]	4.01 TO 5	15.0'	4.5'	
[9]	5.01 TO 6	21.5'	4.5'	

NOTE:
 B TO A = NEGATIVE (-)
 A TO B = POSITIVE (+)

NOTE

NO WALLS, FENCES, SHRUBS, TREES, UTILITY APPURTENANCES OF ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

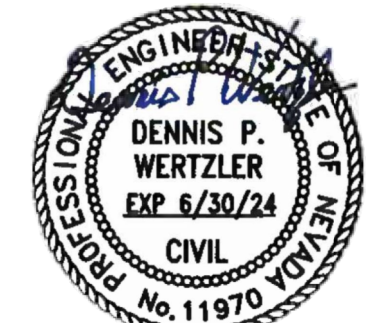
GENERAL NOTES

1. SEE SHEET NT FOR ADDITIONAL NOTES, LEGEND AND QUANTITY ESTIMATE.
2. SEE SHEET UP1 FOR UTILITY LOCATIONS.
3. SEE SHEETS DT1 FOR CONSTRUCTION DETAILS.
4. THE CONTRACTOR SHALL VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES AND SURFACE FEATURES PRIOR TO THIS PROJECT PERMIT TO CONSTRUCTION. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER IF ANY DISCREPANCIES ARE ENCOUNTERED.
5. CONSTRUCTION SHALL COMPLY WITH SOILS REPORT PROJECT NUMBER: 15-16-723 PREPARED BY: NOVA GEOTECHNICAL DATE: APRIL 25, 2018
UPDATED: AUGUST 17, 2021
DESIGNED BY: UNADJUSTED
QUANTITIES: (UNADJUSTED)
CUT: 484 CY (UNADJUSTED)
FILL: 10,621 CY (UNADJUSTED)

**PARKWAY WEST OFFICE
PARK**

GRADING PLAN

DRAWN BY:	DPW
DESIGNED BY:	DPW
CHECKED BY:	DPW
PROJECT NO:	SN21-114



SHEET
GP
OF 13 SHEETS

CLV# 107V9536
L22-00908

DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call before you Dig Avoid cutting underground utility lines. It's costly. Call  OR 1-800-642-2444	AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY. Call BEFORE YOU Overhead 1-702-227-2929	FAST  Call before you UnderGround 1-702-432-5300 FREIGHTWAY AND AERIAL SYSTEM ASSOCIATION
---	---	--

LEGEND		ABBREVIATIONS	
EXISTING TEXT	(TEXT)	ADI	AREA DRAIN INLET
PROPOSED TEXT	TEXT	EXT	EXTENDED
FINISH FLOOR ELEVATION	FFXXXX.XX	FG	FINISH GRADE
PAD ELEVATION	PAD=XXXX.XX	FL	FLOW LINE
PROPERTY LINE		FTG	FOOTING
RETAINING WALL		GB	GRADE BREAK
CUT/FILL TRANSITION LINE		GF	GARAGE FLOOR
EXISTING CONTOUR		HP	HIGH POINT
EDGE OF PAVEMENT		LSA	LANDSCAPE AREA
SAWTOOTH		SD	STORM DRAIN
AC REMOVAL		SW	SIDEWALK
CONCRETE REMOVAL		TC	TOP OF CURB
		TF	TOP OF FOOTING
		TW	TOP RETAINING WALL
		VG	VALLEY GUTTER
SIGHT VISIBILITY ZONE			

BASIS OF BEARINGS
NORTH 48°00'00" WEST, BEING THE BEARING OF THE
CENTERLINE OF COVINGTON CROSS DRIVE AS SHOWN IN BOOK
70, PAGE 61 OF PLATS IN THE RECORDER'S OFFICE OF
CLARK COUNTY, NEVADA.

BENCHMARK
CITY OF LAS VEGAS BENCHMARK NO. 0LV0030NW6
RIVET & PLATE IN THE TOP OF CURB NORTHWEST CORNER OF
TOWN CENTER DRIVE AND COVINGTON CROSS DRIVE.
ELEVATION = 856.034 METERS (PUBLISHED NAVD 88 DATUM)
ELEVATION = 2809.51' MSL (SURVEY ELEV. CALCULATED)

DRAINAGE STUDY NOTE:

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH
THE APPROVED DRAINAGE STUDY ON FILE AT CITY OF LAS
VEGAS FOR THIS PROJECT.

(DS5551A)

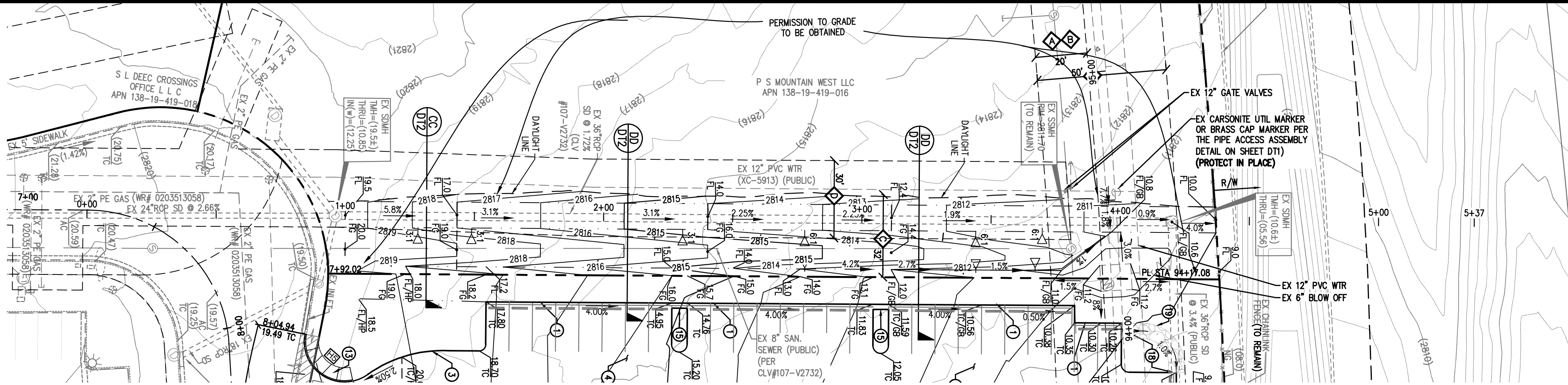
Dennis P. Webb

09/12/2022

DENNIS P. WEBB / P.E. NO. 11970

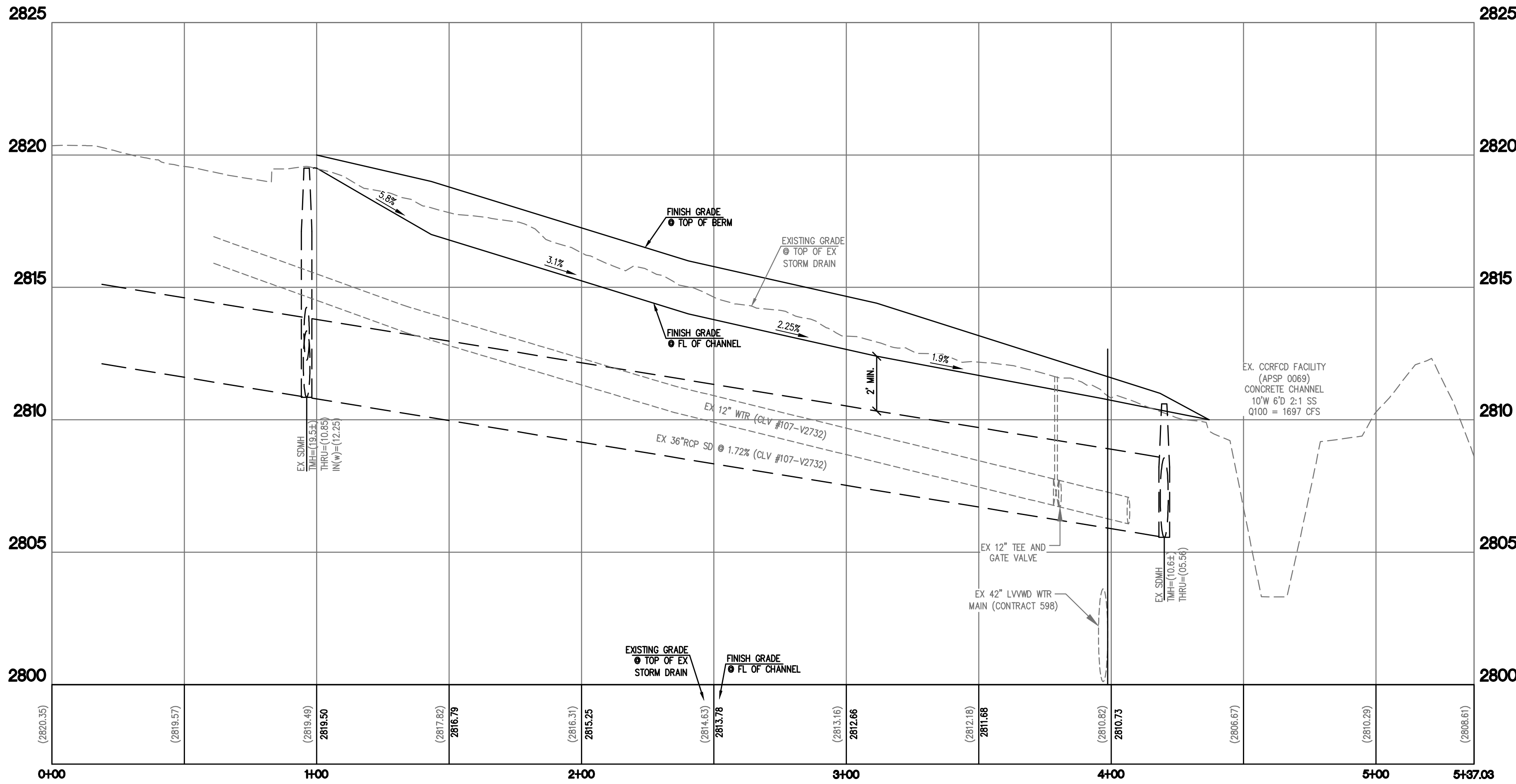
DATE

FILENAME: X:\2021\SN21-114 Compass - Crossroads Business Park\Cadlimp plans\SN21-114 GP.dwg, LAST SAVED ON: Oct 12 2022 9:55am PLOTTED BY: TGOULET, ON: Oct 13 2022 8:40am



BERM PROFILE

(PUBLIC)
SCALE: HORIZONTAL 1" = 30'
VERTICAL 1" = 3'



CONSTRUCTION NOTES	
1	CONSTRUCT 18" "L" CURB PER CCAUSD NO. 219 (ON-SITE ONLY)
2	CONSTRUCT 24" "L" CURB PER CCAUSD NO. 216
3	CONSTRUCT "A" TYPE 6" CURB PER CCAUSD NO. 219
4	CONSTRUCT AC PAVEMENT PER DETAIL 4 ON SHEET DT1
5	CONSTRUCT 0" CURB FACE PER DETAIL 9 ON SHEET DT1
6	CONSTRUCT SIDEWALK (4-INCH THICK) PER CCAUSD NO. 234
7	CONSTRUCT SIDEWALK DRAIN PER CCAUSD NO. 236
8	CONSTRUCT NON CURB AREA SIDEWALK UNDERDRAIN PER DETAIL 1 ON SHEET DT1
9	CONSTRUCT CURB AREA SIDEWALK UNDERDRAIN PER DETAIL 2 ON SHEET DT1
10	CONSTRUCT 2' VALLEY GUTTER PER DETAIL 5 ON SHEET DT1
11	CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS
12	REMOVE EXISTING CURB AND SIDEWALK, CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD NO. 222, 225 AND 228
13	CONSTRUCT SIDEWALK RAMP PER USD NO. 235 (CASE 1)
14	CONSTRUCT PRIVATE SIDEWALK RAMP PER ADA STANDARDS
15	CONSTRUCT 2' U CHANNEL PER DETAIL 6 ON SHEET DT1
16	CONSTRUCT 5' U CHANNEL PER DETAIL 6 ON SHEET DT1
17	CONSTRUCT 1-FIT CURB OPENING PER DETAIL 8 ON SHEET DT1
18	CONSTRUCT 2-FIT CURB OPENING PER DETAIL 8 ON SHEET DT1
19	INSTALL RIP RAP D50 = 2" (4" THICK) PER DETAIL 11 ON SHEET DT1
20	CONSTRUCT WROUGHT IRON FENCE OPENING PER DETAIL 7 ON SHEET DT1
21	INSTALL BEEHIVE GRATE PER USD NO. 416 ONTO EXISTING MANHOLE
22	CONSTRUCT 4' TYPE A INLET PER USD NO. 411, 421

BASIS OF BEARINGS

NORTH 48°00'00" WEST, BEING THE BEARING OF THE CENTERLINE OF COVINGTON CROSS DRIVE AS SHOWN IN BOOK 70, PAGE 61 OF PLATS IN THE RECORDER'S OFFICE OF CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK NO. QLV0030NW6
RIVET & PLATE IN THE TOP OF CURB NORTHWEST CORNER OF TOWN CENTER DRIVE AND COVINGTON CROSS DRIVE.

ELEVATION = 856.034 METERS (PUBLISHED NAVD 88 DATUM)
ELEVATION = 2808.51 US SURVEY FEET (CALCULATED)

APPROVED FOR CONSTRUCTION

Mao Fang

LAS VEGAS VALLEY WATER DISTRICT PLANNING AND ENGINEERING SERVICES

PROJ. NO. 140444 FIRST APPROVED DATE 10/31/2022
LVWD APPROVED FIRE FLOW: TOTAL 2,375 GPM / ONSITE 1,500 GPM

EASEMENT TABLE	
NO.	DESCRIPTION
1	SEWER EASEMENT PER BOOK 950504 PER INSTRUMENT NO. 01089
2	CLV SEWER EASEMENT PER BOOK 950504 PER INSTRUMENT NO. 01116
3	CITY OF LAS VEGAS SEWER EASEMENT & PUBLIC DRAINAGE EASEMENT BOOK 971105 PER INSTRUMENT NO. 01134 OF OFFICIAL RECORDS.
4	30' WIDE LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 970730-01600
5	LVWD UTILITY EASEMENT AND RIGHT-OF-WAY BOOK 20020225 PER INSTRUMENT NO. 01491
6	ACCESS EASEMENT PER BOOK NO. 20170214 PER INSTRUMENT NO. 01234
7	LVWD UTILITY EASEMENT AND RIGHT-OF-WAY EASEMENT PER BOOK 20171130 PER INSTRUMENT NO. 03804
8	15'x28' LVWD EASEMENT PER DOC XX
9	50' WIDE LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 920220-00764
10	15' LAS VEGAS VALLEY WATER DISTRICT EASEMENT PER OR: 970730AS-01600
11	LVWD UTILITY EASEMENT AND RIGHT-OF-WAY EASEMENT PER BOOK 20171130 PER INSTRUMENT NO. 03795

NOTE
ALL ONSITE DRAINAGE FACILITIES ARE PRIVATELY OWNED AND TO BE PRIVATELY MAINTAINED BY THE HOA OR PROPERTY OWNER(S)

NOTE
ADD 2800 FEET TO ALL TAGS

No.	GRADE (%)	"A"(FT)		"B"(FT)	
		MIN.	MAX.	MIN.	MAX.
1	-6 TO -5.01	4.5'	21.5'		
2	-5 TO -4.01	4.5'	15.0'		
3	-4 TO -3.01	4.5'	12.0'		
4	-3 TO -2.01	4.5'	9.5'		
5	-2 TO 2	8.0'	8.0'		
6	2.01 TO 3	9.5'	4.5'		
7	3.01 TO 4	12.0'	4.5'		
8	4.01 TO 5	15.0'	4.5'		
9	5.01 TO 6	21.5'	4.5'		

RAMP IN CURB RETURN
NOTE:
B TO A = NEGATIVE (-)
A TO B = POSITIVE (+)

NOTE
NO WALLS, FENCES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

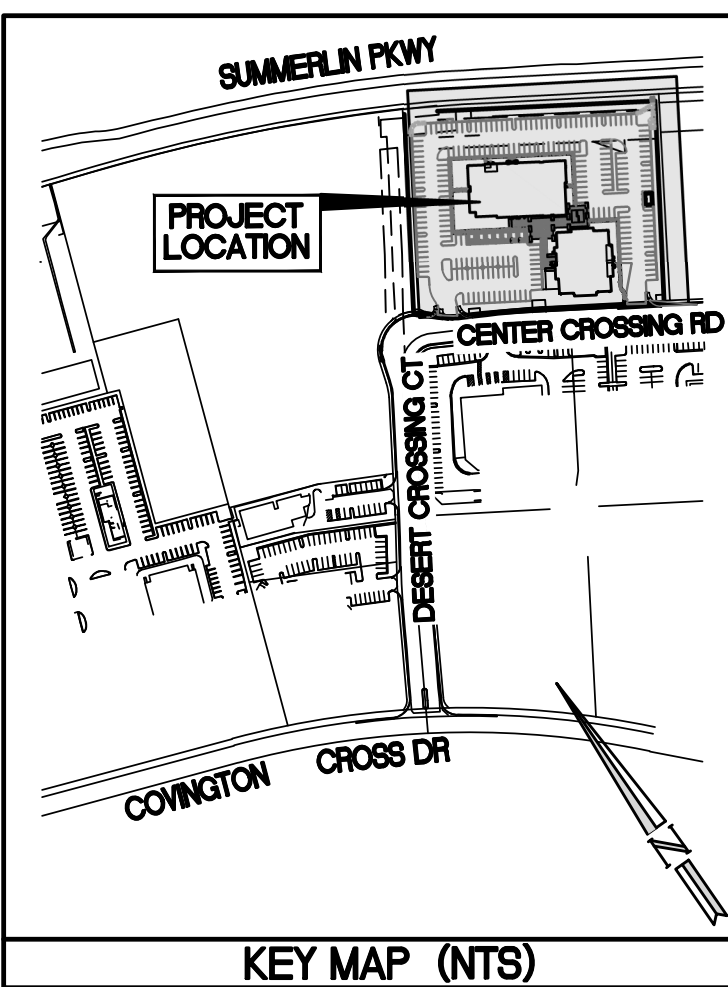
GENERAL NOTES

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- SEE SHEET UP1 FOR UTILITY LOCATIONS.
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- THE CONTRACTOR SHALL VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES AND SURFACE FEATURES PERTINENT TO THIS PROJECT PRIOR TO CONSTRUCTION. THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER IF ANY DISCREPANCIES ARE ENCOUNTERED.
- CONSTRUCTION SHALL COMPLY WITH SOILS REPORT PROJECT NUMBER: 15-223
PREPARED BY: NOVA GEOTECHNICAL
DATED: APRIL 25, 2018
UPDATED: AUGUST 17, 2021
- ESTIMATED EARTHWORK QUANTITIES: (UNADJUSTED)
CUT: 484 CY (UNADJUSTED)
FILL: 10,621 CY (UNADJUSTED)

DRAINAGE STUDY NOTE:

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT CITY OF LAS VEGAS FOR THIS PROJECT.
(055551A)

DENNIS P. WERTZLER PE NO. 11970 09/12/2022 DATE



COMPASS DEVELOPMENT

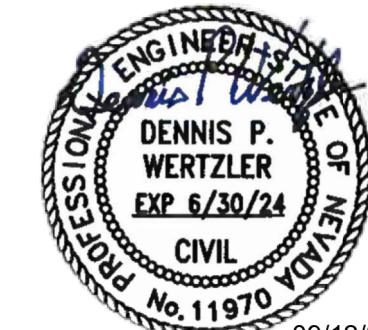
3145 ST ROSE PKWY, SUITE 200 HENDERSON NV 89052

(702) 510-4338

PARKWAY WEST OFFICE
PARK

BERM PLAN AND
PROFILE

DRAWN BY: DPW
DESIGNED BY: DPW
CHECKED BY: DPW
PROJECT NO: SN21-114



SHEET
PP1
4 OF 12 SHEETS

CLV# 107V9536
L22-00908

DISCLAIMER NOTE:
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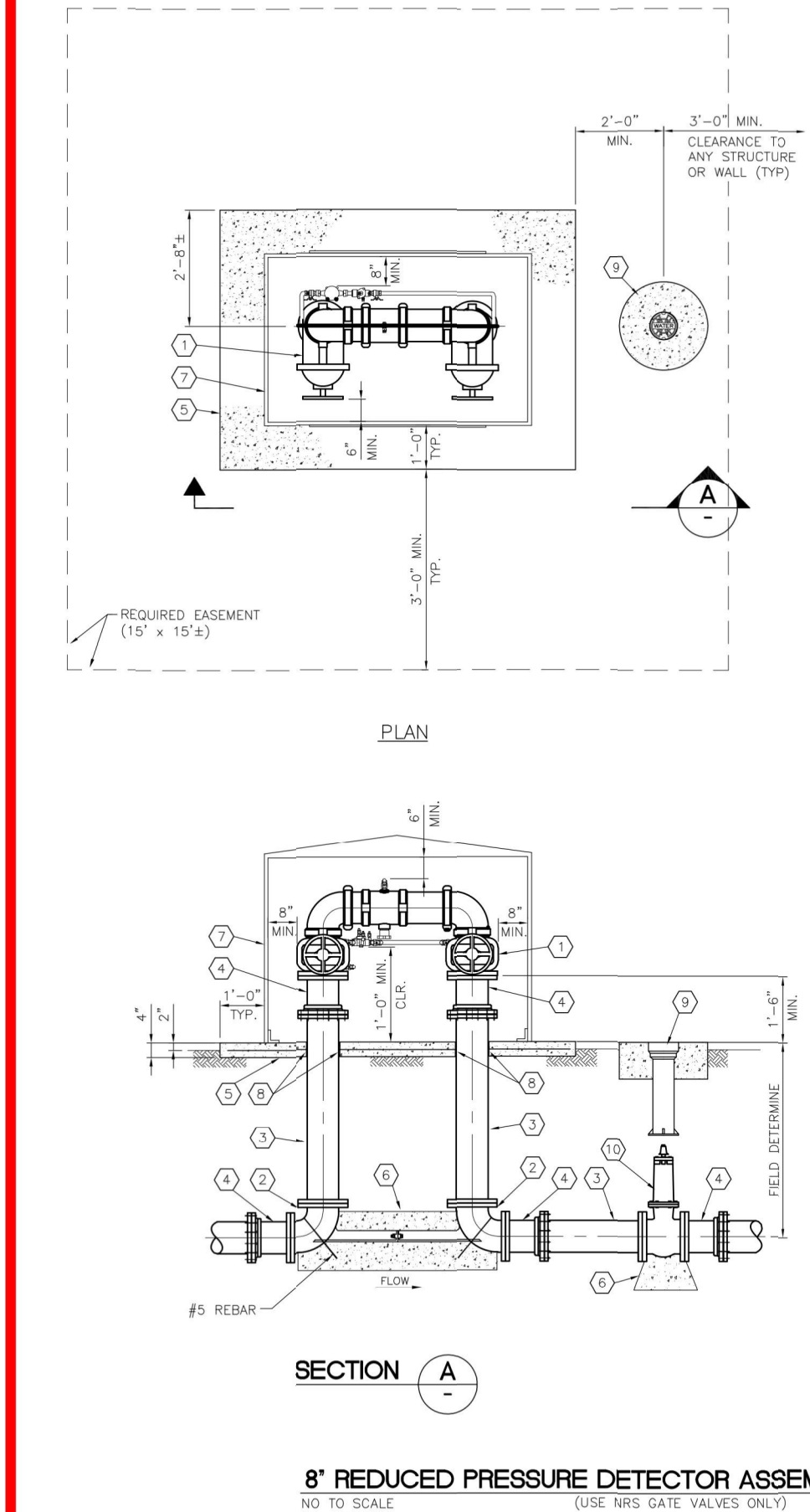
LEGEND

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PROPOSED TEXT TEXT
FINISH FLOOR ELEVATION FFXXXX.XX
PAD ELEVATION PAD=XXXX.XX
PROPERTY LINE
RETAINING WALL
OUT FILL TRANSITION LINE
EXISTING CONTOUR
EDGE OF PAVEMENT
SAWCUT LINE
AC REMOVAL
CONCRETE REMOVAL
SIGHT VISIBILITY ZONE

ABBREVIATIONS

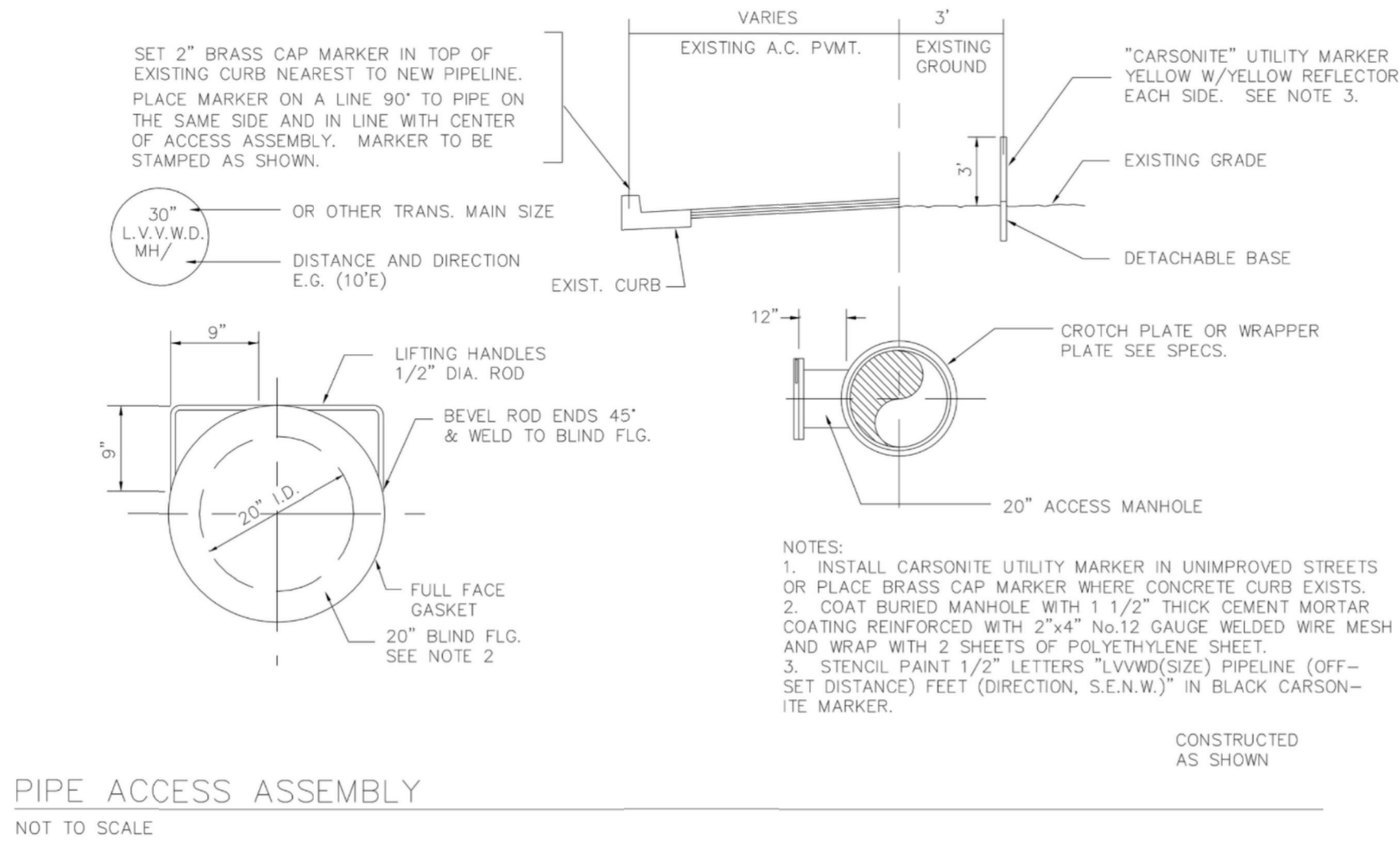
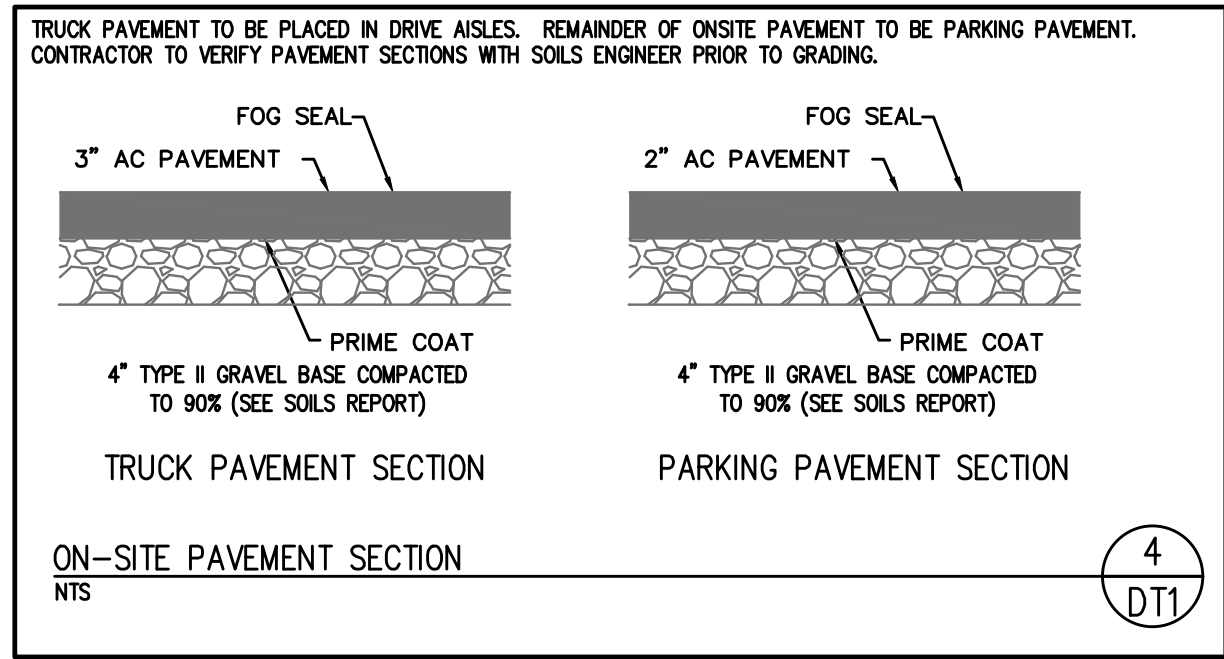
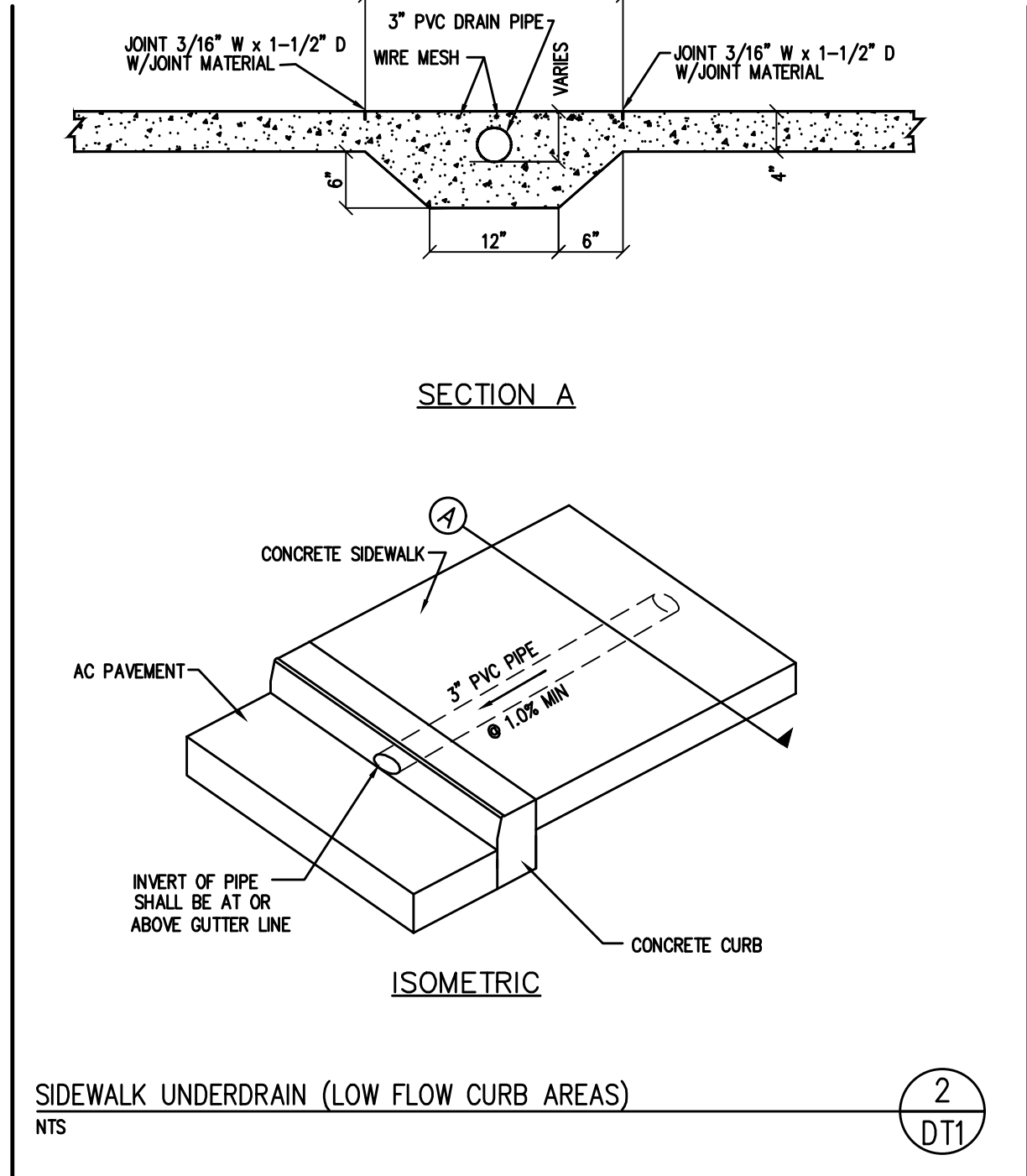
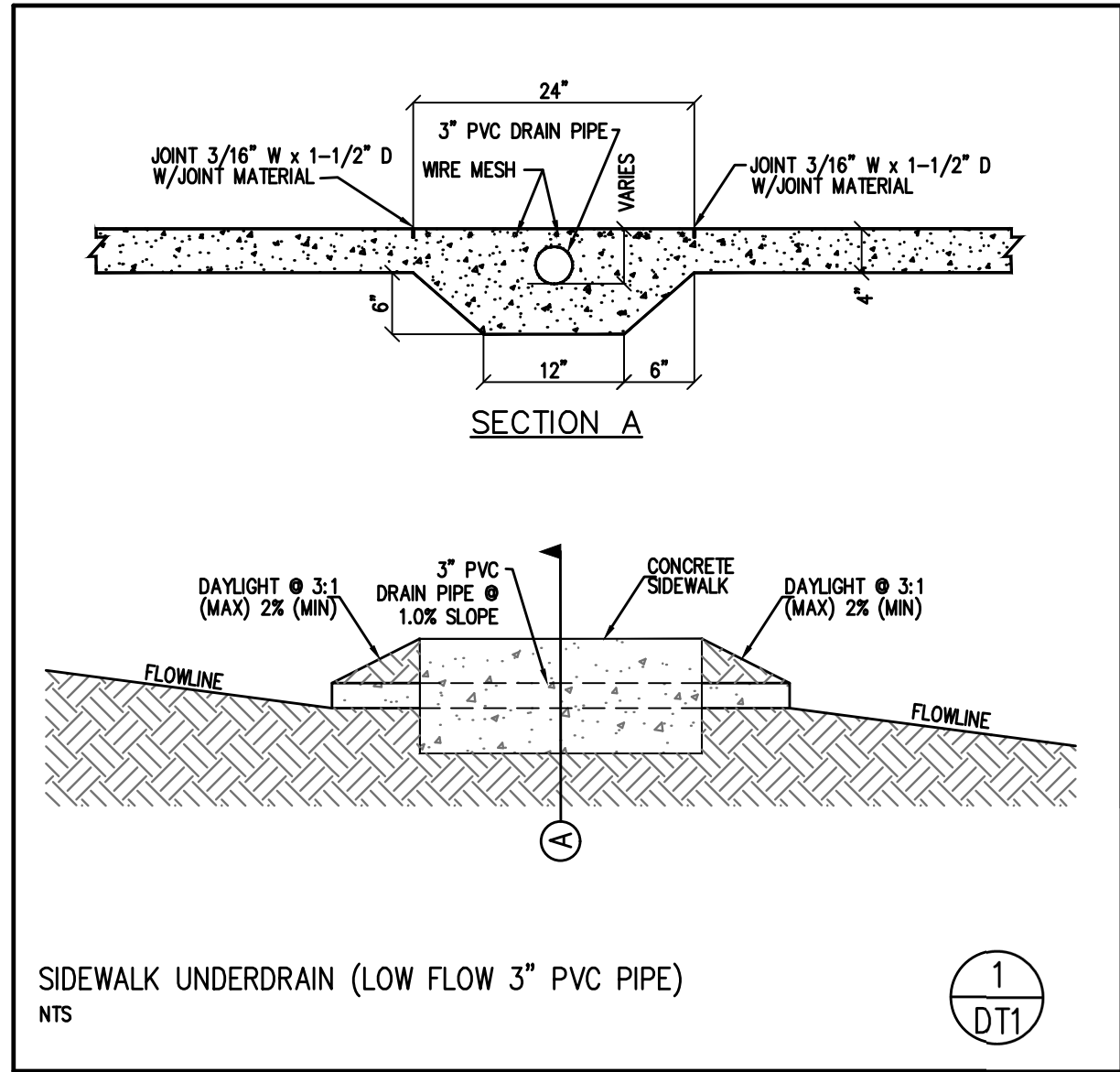
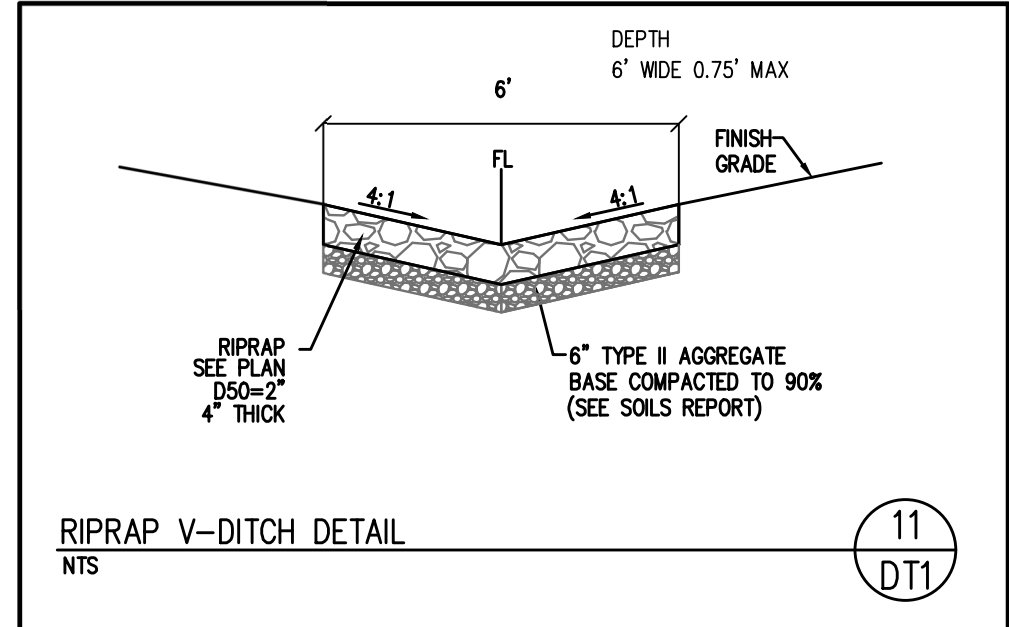
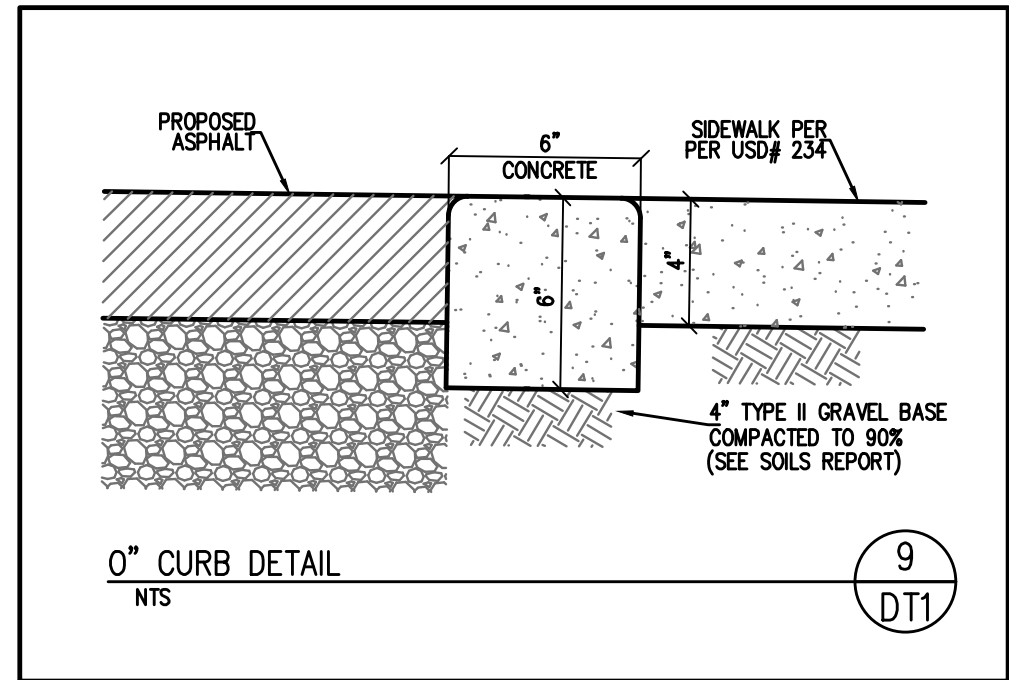
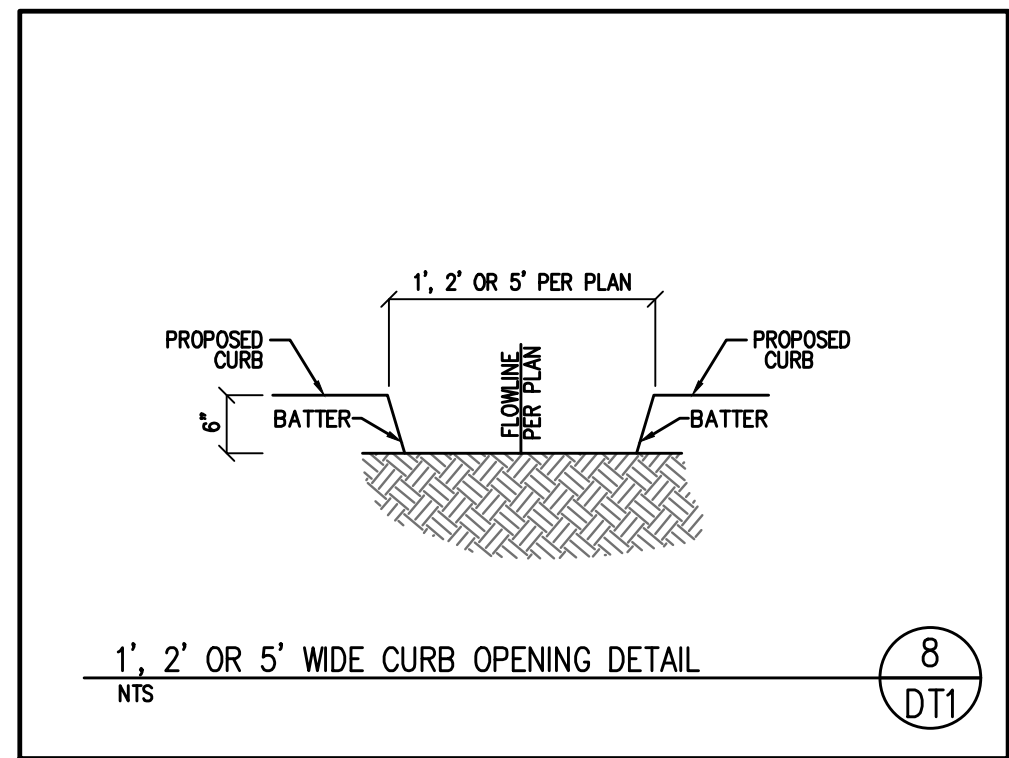
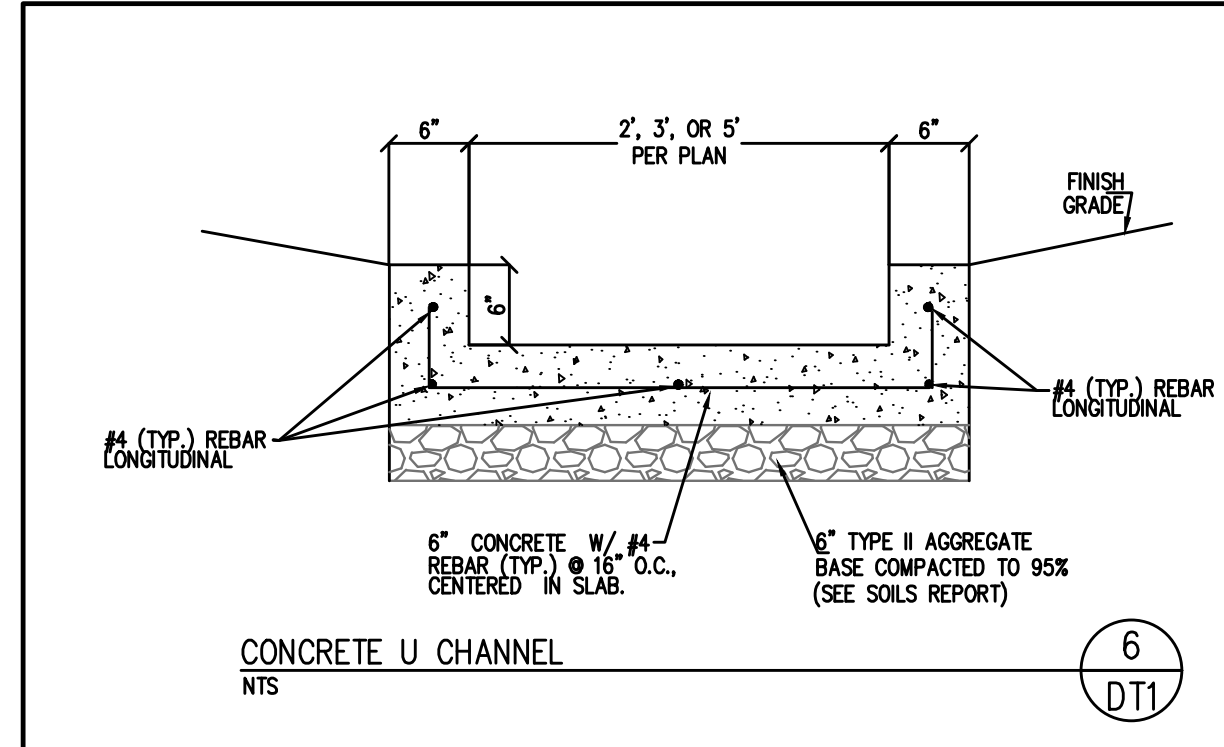
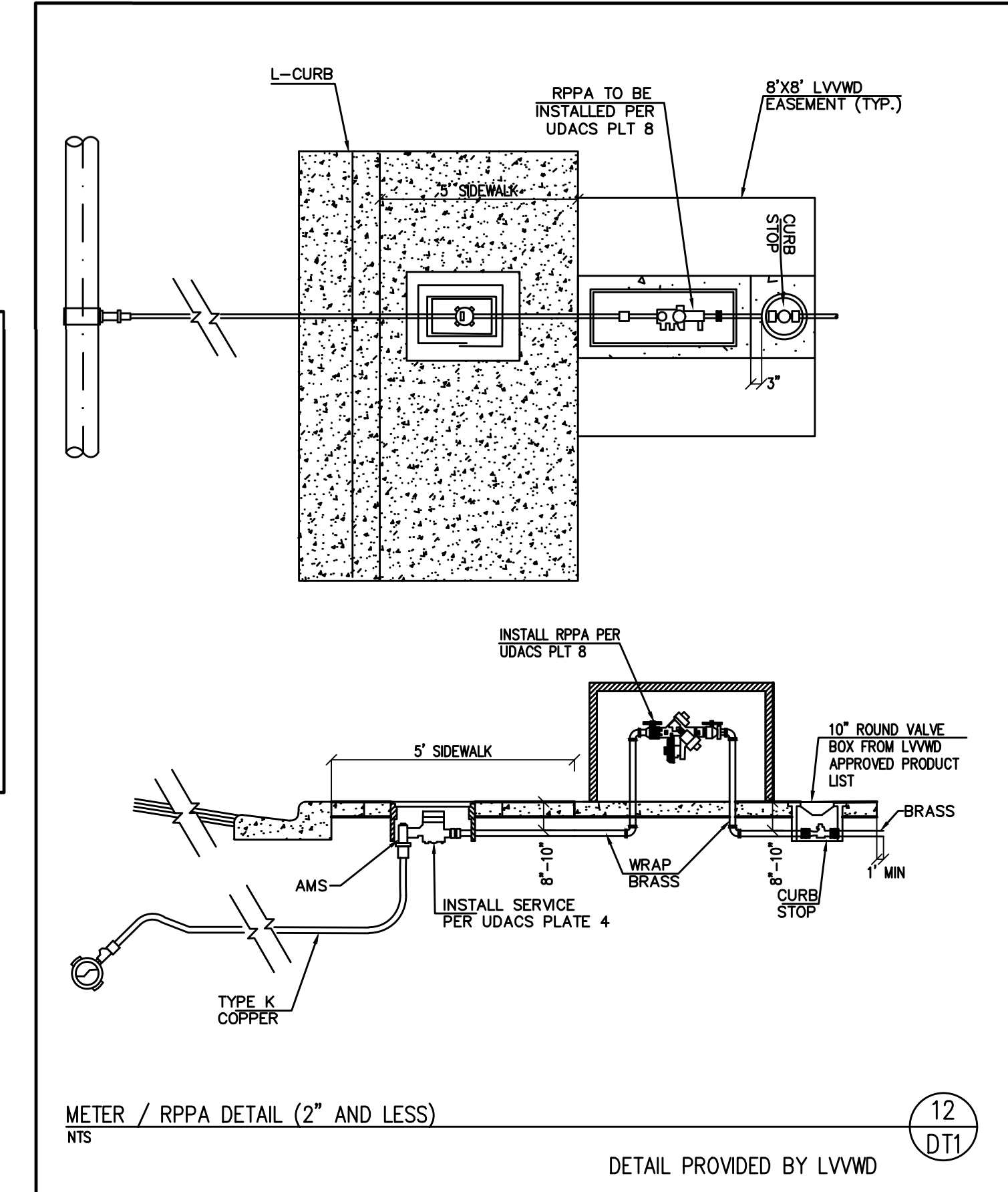
ADI AREA DRAIN INLET
EXT EXTENDED
FG FINISH GRADE
FL FLOW LINE
FTG FOOTING
GB GRADE BREAK
OF GARAGE FLOOR
HP HIGH POINT
LSA LANDSCAPE AREA
SD STORM DRAIN
SW SIDEWALK
TC TOP OF CURB
TF TOP OF FOOTING
TW TOP RETAINING WALL
VG VALLEY GUTTER

FILENAME: X:\2021\SN21-114 Compass - Crossroads Business Park\Callings plans\SN21-114.DT.dwg LAST SAVED ON: Oct 05 2022 2:15pm PLOTTED BY: TGOULET ON: Oct 13 2022 8:42am



- MATERIAL LIST**
- 8" REDUCED PRESSURE DETECTOR (RPDA) BACKFLOW ASSEMBLY OR APPROVED EQUAL (NOTE 2)
 - PIPE SETTER, 90° FLG BEND
 - 8" FLG x PE DUCTILE IRON PIPE, PC 350 (OLT TO FIT)
 - 8" ADAPTER FLANGE (RESTRAINED)
 - CONCRETE SLAB (4" THK) WITH WELDED WIRE FABRIC, 4' x 4' - W1.4 x W1.4
 - CONCRETE THRUST/ANCHOR BLOCK
 - APPROVED ENCLOSURE (CONTRACTOR TO SUBMIT SHOP DRAWINGS)
 - 1/2" EXPANSION JOINT MATERIAL
 - VALVE BOX AND COLLAR (NOTE 1)
 - 8" FLG GATE VALVE

NOTES:
1. CONTRACTOR TO INSTALL VALVE LOCK DEVICE WITH DISTRICT PROVIDED LOCK (AS REQUIRED).
2. APPROVED EQUAL MATERIALS CAN BE FOUND ON THE LVWD APPROVED PRODUCTS LIST.



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APPROVED	BY	DATE
REVISION		
REV		

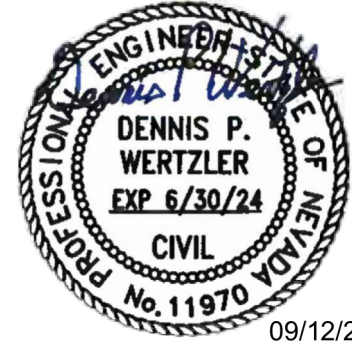
COMPASS DEVELOPMENT
31445 ST ROSE PKWY, SUITE 200 HENDERSON NV 89052
(702) 510-4338

DRC Surveying Nevada, Inc.
7080 LA CIENEGA ST., STE #200
LAS VEGAS, NEVADA 89119
(702) 270-6119

PARKWAY WEST OFFICE
PARK

DETAIL SHEET 1

DRAWN BY: DPW
DESIGNED BY: DPW
CHECKED BY: DPW
PROJECT NO: SN21-114



SHEET
DT1
6 OF 12 SHEETS

CLV# 107V9536
L22-00908

APPROVED FOR CONSTRUCTION
Mao Fang
LAS VEGAS VALLEY WATER DISTRICT PLANNING AND ENGINEERING SERVICES
PROJ NO. 140444 FIRST APPROVED DATE 10/31/2022

FILENAME: X:\2021\SN21-114 Compass - Crossroads Business Park\Callimp plans\SN21-114.DT.dwg LAST SAVED ON: Oct 05 2022 2:15pm PLOTTED BY: TGOULET ON: Oct 13 2022 8:42am

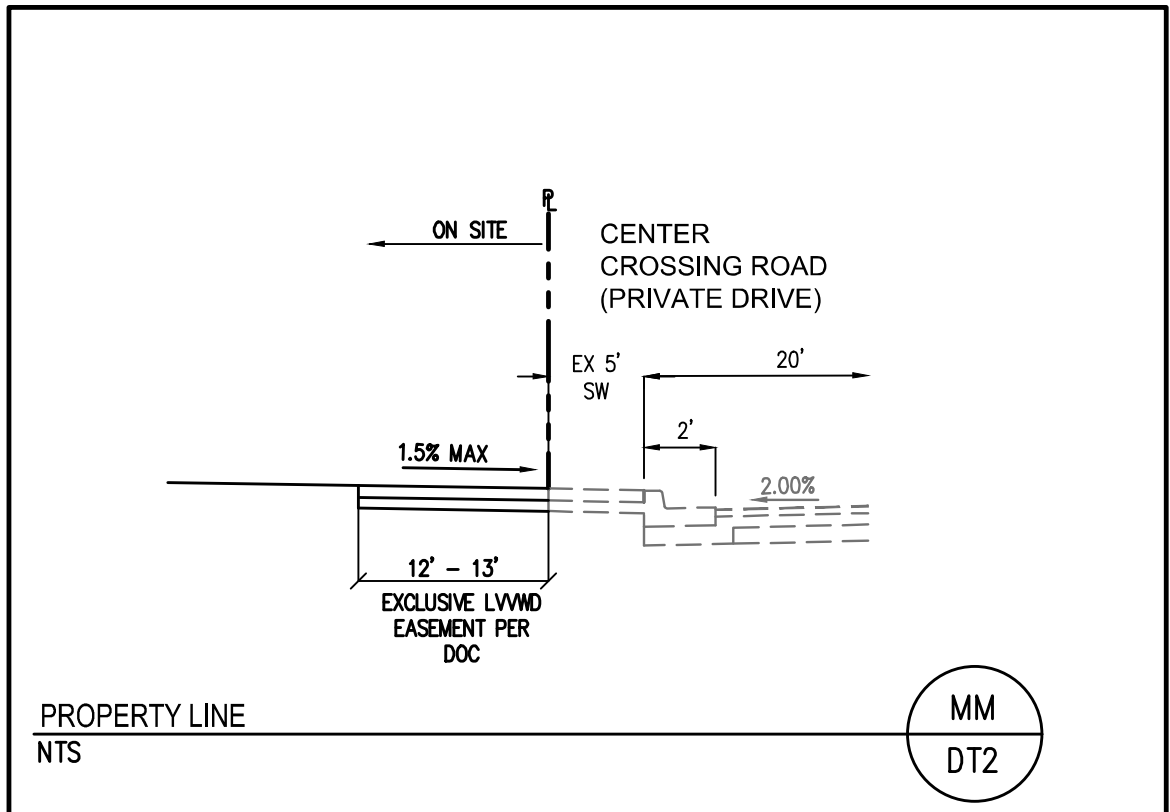
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1-702-432-5300
FREEMAN AND AIRPORT SYSTEM OF TRANSPORTATION

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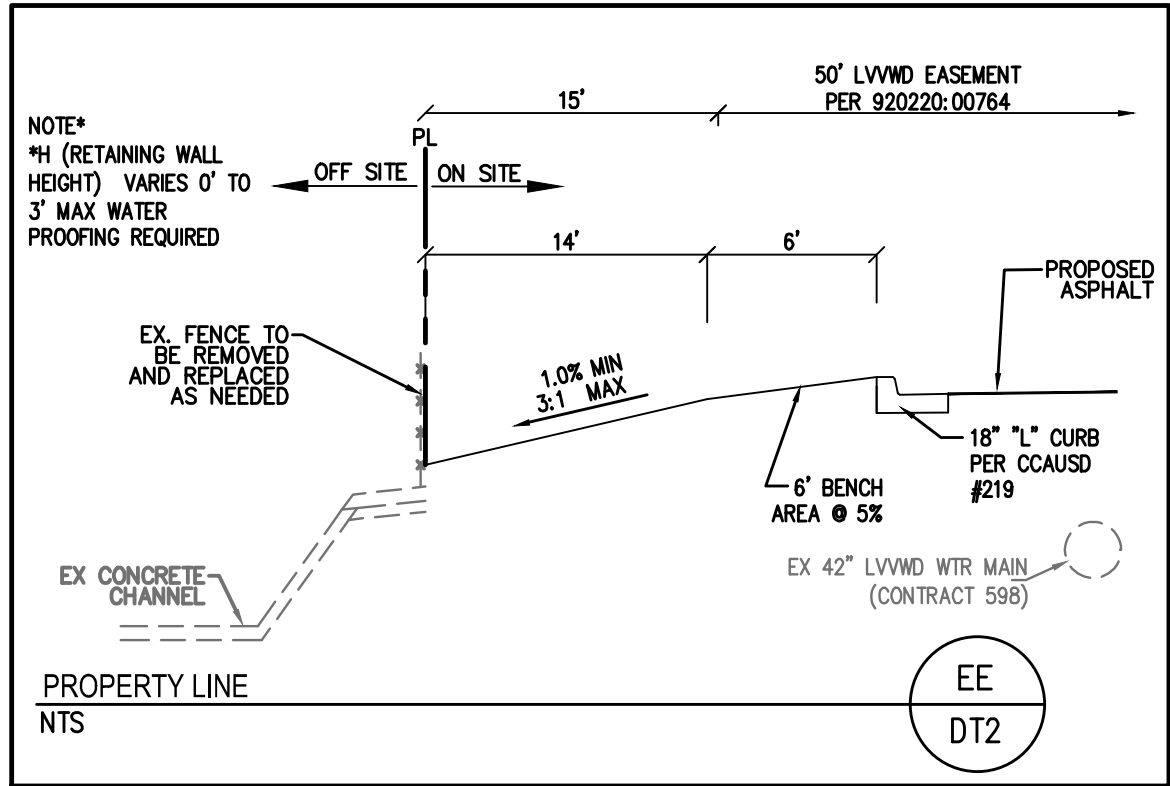
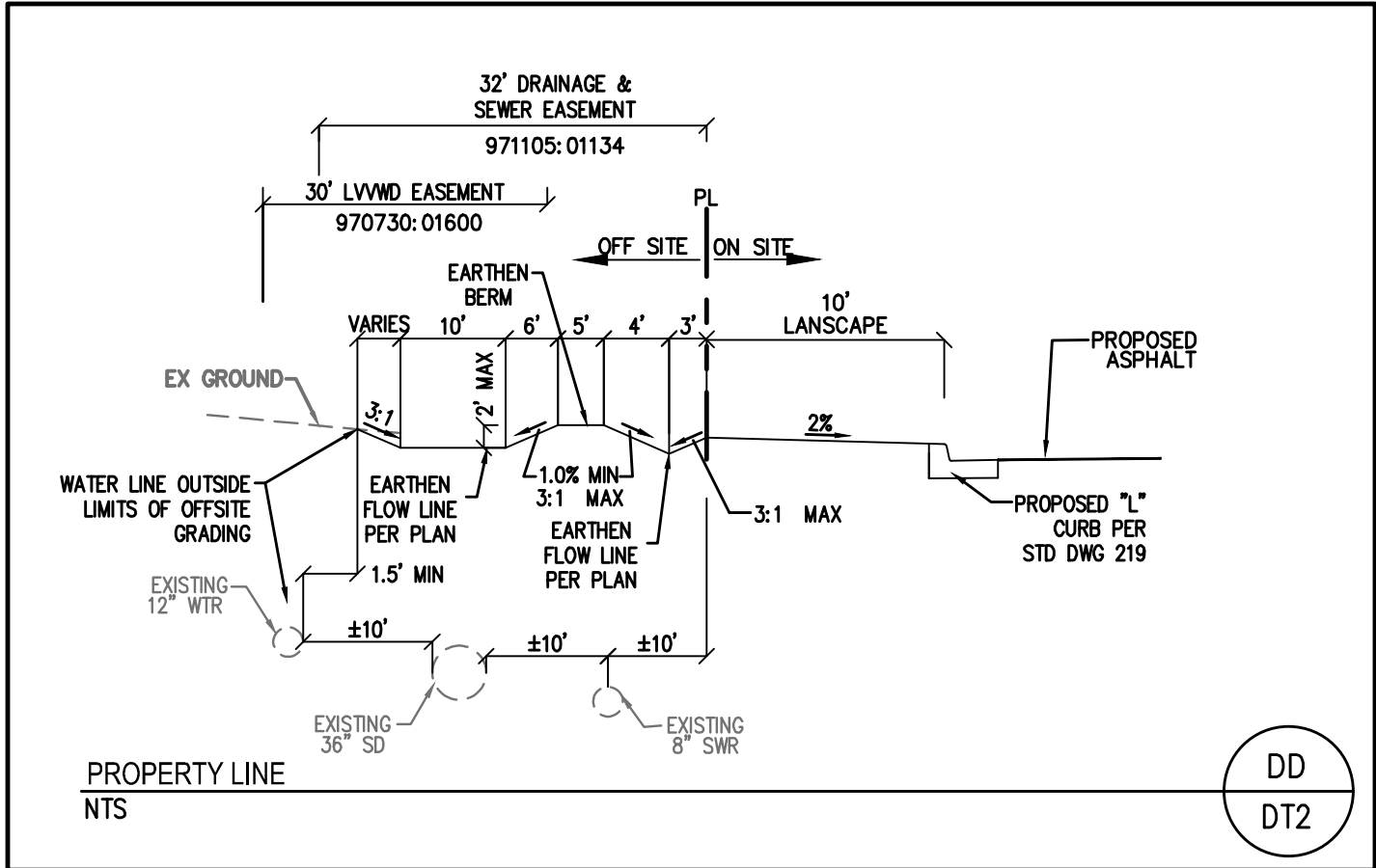
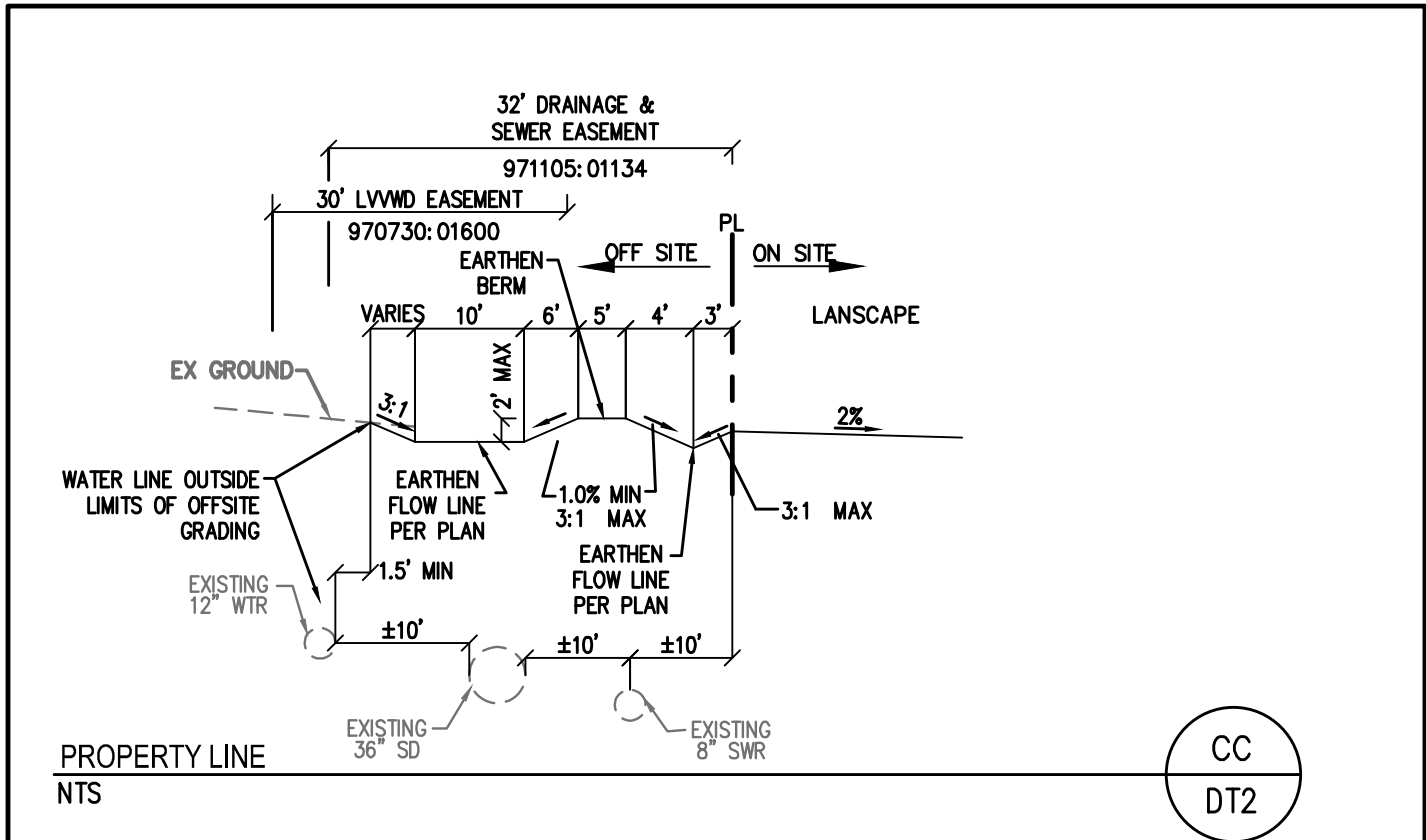
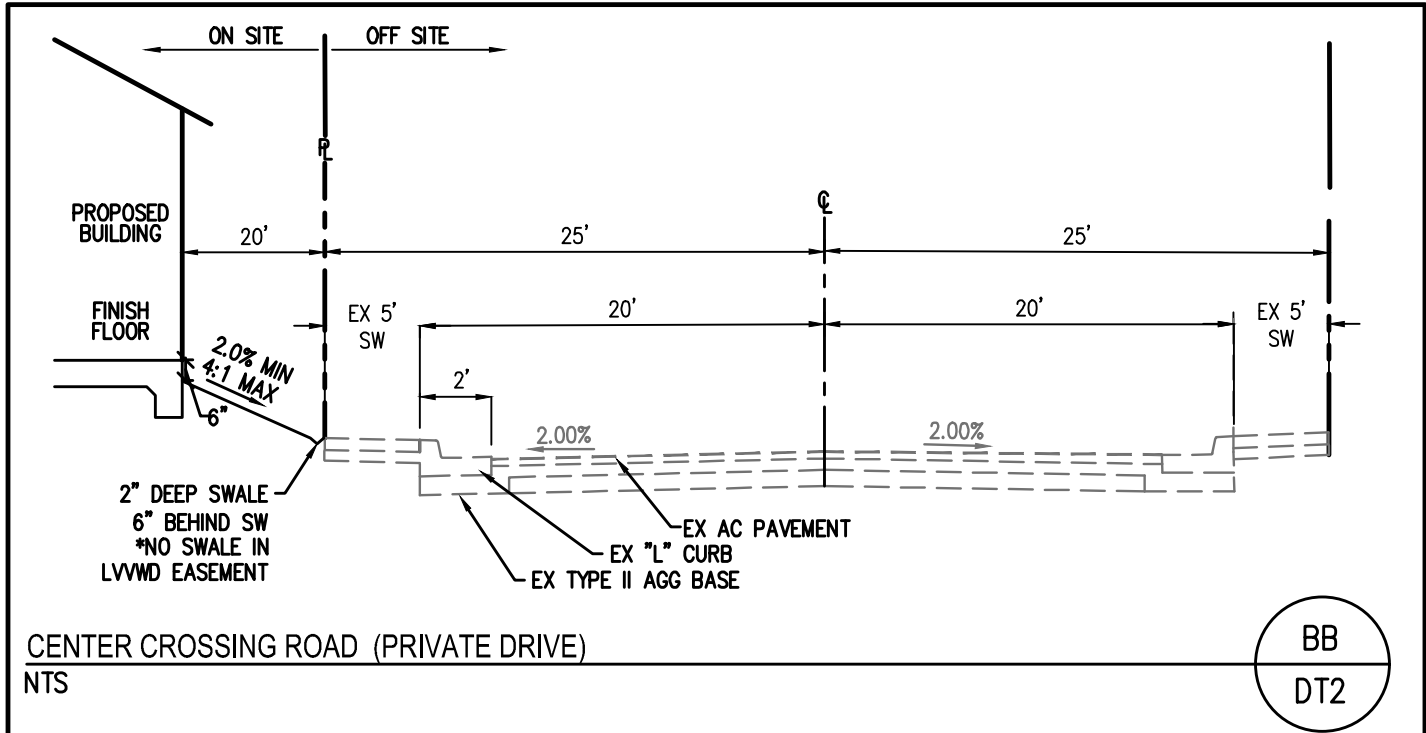
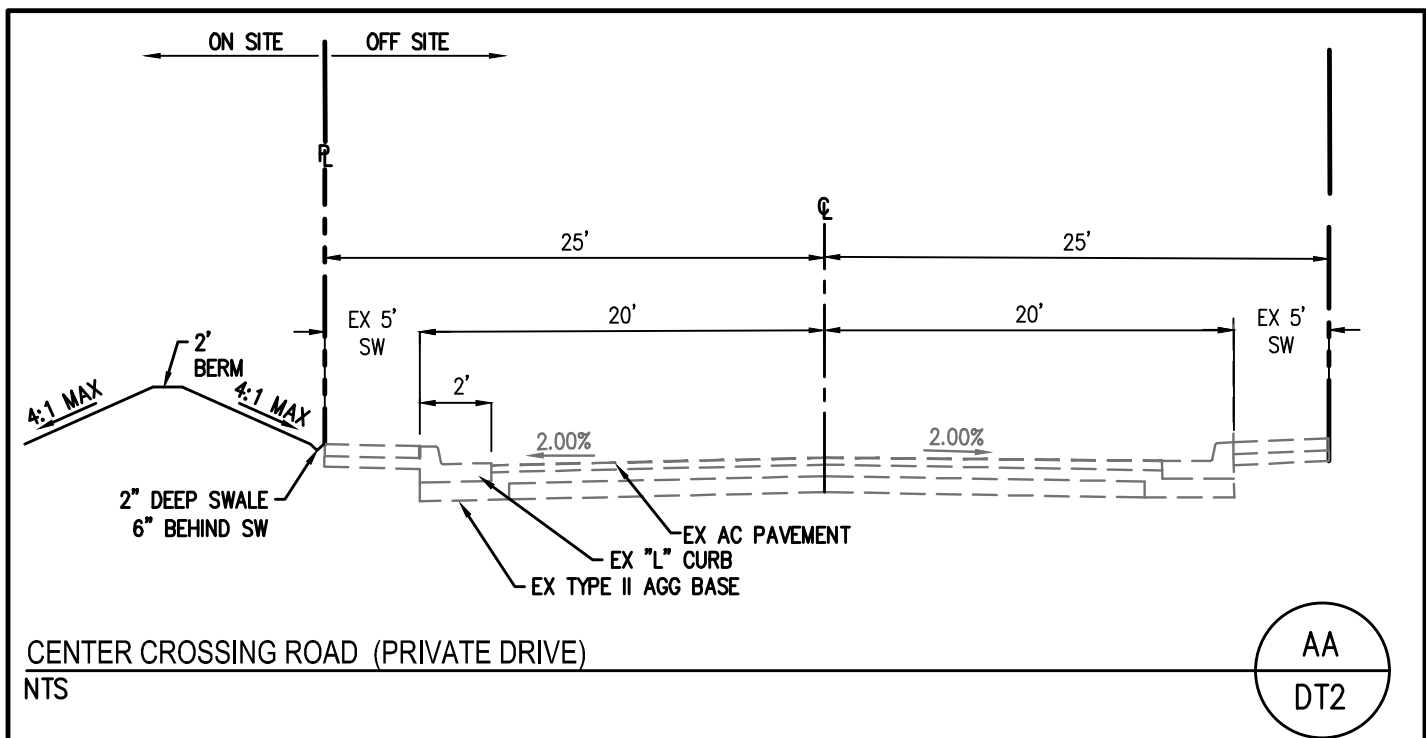
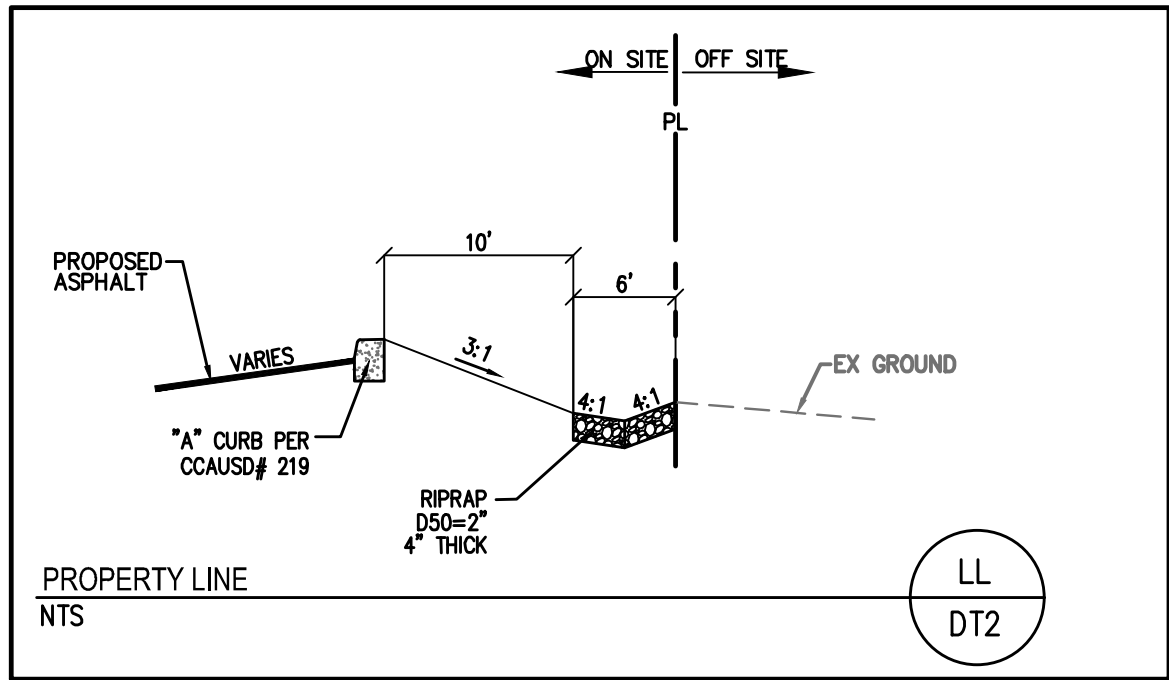
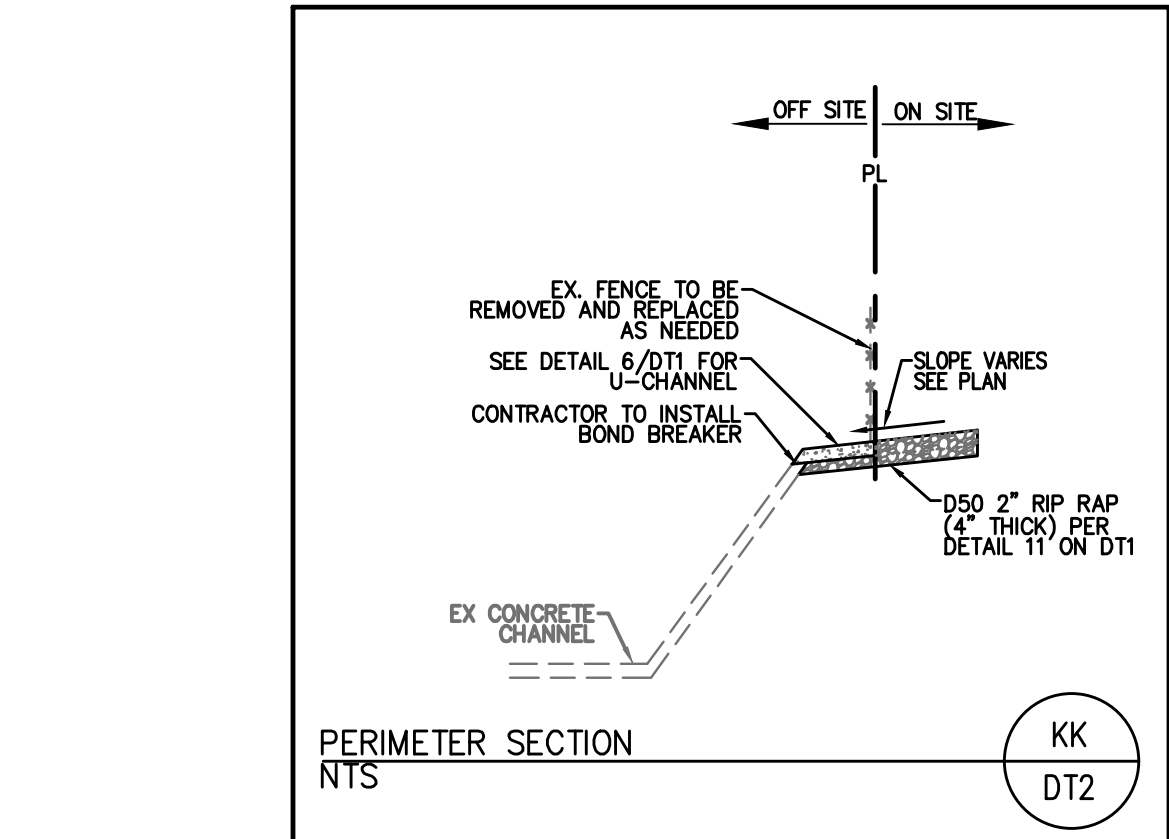
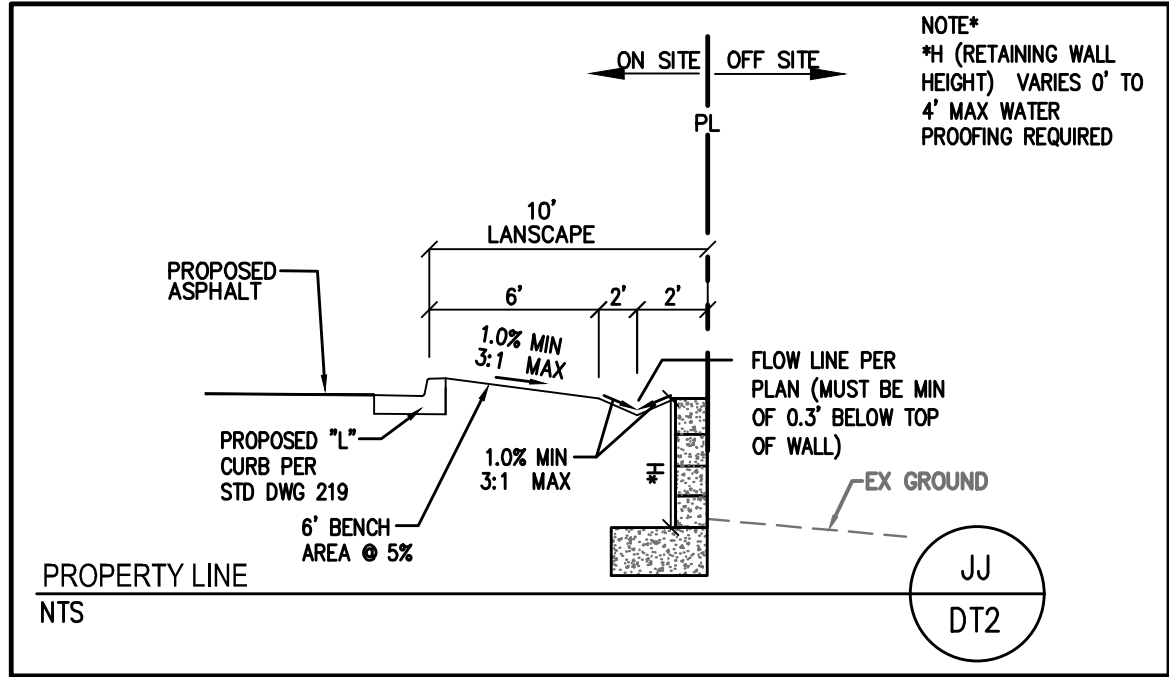
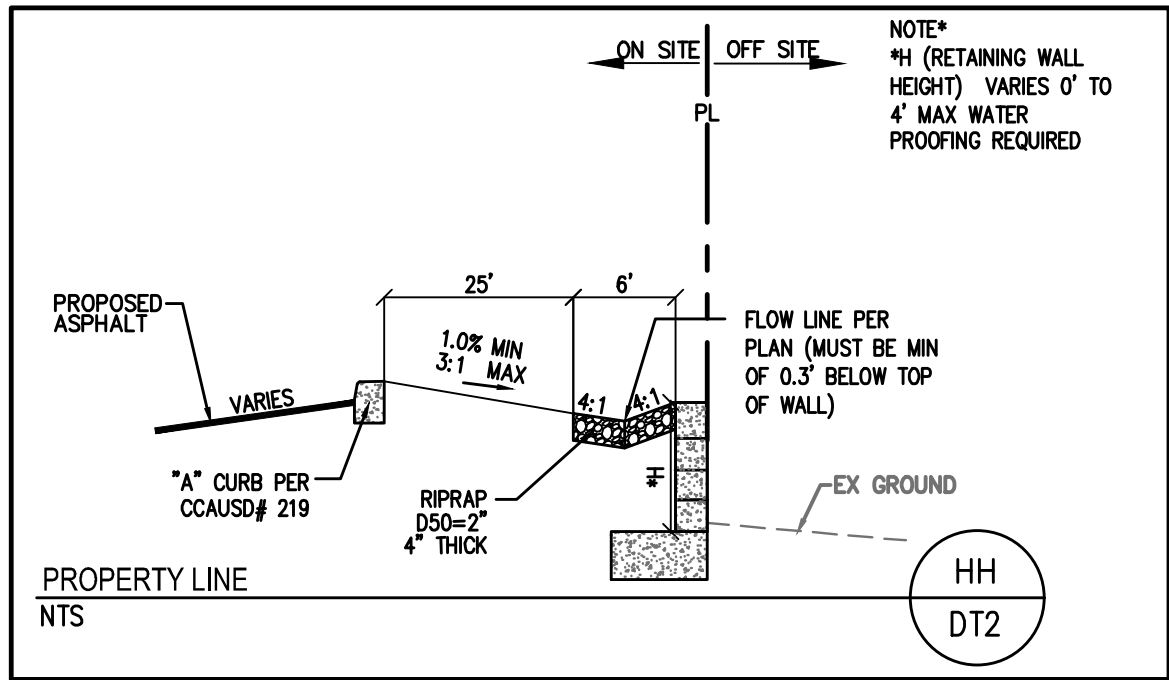


APPROVED FOR CONSTRUCTION

Mao Fang

LAS VEGAS VALLEY WATER DISTRICT PLANNING AND ENGINEERING SERVICES

PROJ NO. **140444** FIRST APPROVED DATE 10/31/2022



APPROVED

DATE

BY

REVISION

REV

COMPASS DEVELOPMENT

3145 ST ROSE PKWY, SUITE 200 HENDERSON NV 89052

(702) 510-4338

PARKWAY WEST OFFICE

PARK

DETAIL SHEET 2

DRAWN BY: DPW

DESIGNED BY: DPW

CHECKED BY: DPW

PROJECT NO: SN21-114

ENGINEER

SEAL

DENNIS P. WERTZLER

EXP. 6/30/24

CIVIL

No. 11970

09/12/2022

SHEET

DT2

7 OF 12 SHEETS

CLV# 107V9536

L22-00908

DRC Surveying Nevada, Inc.

7080 LA CIENEGA ST., STE #200

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