

DS #:

5152-2

APN:

137-27-614-001, 137-27-615-001

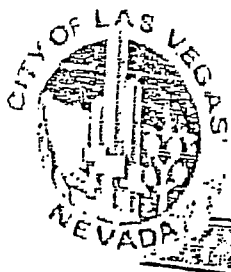
PROJECT: Savannah Summit Village 21- Parcel E & F - Update #2

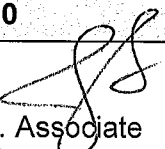
SUBMITTAL:

6th

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: September 22, 2020
TO: Land Development Services Department of Public Works		FROM: Jennifer Shinn, P.E.  Flood Control, Engr. Associate Department of Public Works
SUBJECT:	Drainage Study for:	COPIES TO:
Savannah Summerlin Village 21 – Parcel E & F – Update #2		Actus
Cross Streets:	Desert Foothills & Far Hills	William Lyon Homes, LLC
File Number:	F:\PW_Flood\DSMEMOS\DS5152F.docx	Bart Anderson, P.E., DevCo
Parcel Number:	137-27-614-001, 137-27-615-001	
Zoning Action:	TMP-76874	
FEMA Flood Zone	YES NO X	
Proposed Storm Drain	YES X NO	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	7/8/2019	7/25/2019	See Comments Below	\$400.00	3480927: \$400
2 nd Submittal	8/26/2019	9/12/2019		\$400.00	3542359: \$400
Structural Approval Recv'd	9/16/2019	9/16/2019	Conditional Approval	N/C	N/C
CCRFGD	10/8/2019	10/23/2019	Concurrence Recv'd	N/C	N/C
5 th Submittal	3/2/2020	3/26/2020	Approved	\$100.00	3764604: \$100
6 th Submittal	9/15/2020	9/22/2020	Approved	\$100.00	398994: \$100
TOTAL FEES (LDDRS):				\$1000.00	----

REMARKS:

6th Submittal: Update #2 to revise TC grades

The Technical Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Nevada Department of Transportation concurrence.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
JKS

T/R/S: T20S/R59E/S26
AREA K-27

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Savannah Summerlin Village 21 - Parcel E & F (Update #2) Date: 9/14/2020

Location of Development: a) Descriptive (Cross Streets) North/South: Desert Foothills Drive
East/West: Far Hills Avenue

b) Section: 26 and 27 Township: 20S Range: 59E

c) APN : 137-27-618-001 to -020, 137-27-618-016

Name of Owner: Willian Lyon Homes LLC

Telephone No.: 702-263-8200 Fax No.: N/A E-Mail Address: EDuenas@taylormorrison.com

Address: 1980 Festival Plaza Drive, Suite 500, Las Vegas, NV 89118

Contact Person-Name: Darryl Lattimore Telephone No.: (702) 586-9296

* E-Mail Address: darryl.lattimore@actus-nv.com Fax No.: N/A

Firm: Actus

Address: 3283 E. Warm Springs Road Suite 300, Las Vegas, NV 89120

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☒	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☐	Planned Unit Development	☐	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit	☐	

1. Total Owned Land Area: At Site: 41.29+/- Being Developed/Disturbed: 41.29+/-

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☒ Yes** ☐ No

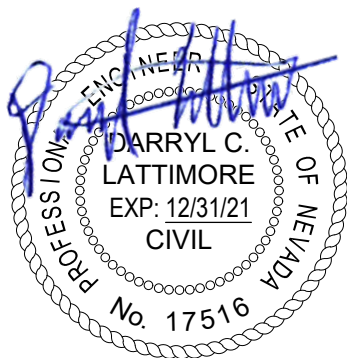
4. Proposed type of development (Residential, Commercial, Etc.): Single Family Residential

5. Approximate upstream land area which drains to the subject site: 0 +/-

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Savannah Summerlin Village 21 Parcels E & F TDS

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: To the east into the two existing 36" SDs and ultimately into the 10'x 10' RCB SD in Desert Foothills Dr.

8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal **9 1**

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

	Revision	Date
Local Entity File No. _____		

REFERENCE:

STANDARD FORM 1

**UPDATE #2 TO THE
TECHNICAL DRAINAGE STUDY
For
Savannah
(aka Summerlin Village 21 – Parcel E & F)
(APN: 137-27-614-001, 137-27-615-001)**

Far Hills Avenue and Desert Foothills Drive

City of Las Vegas

Date: September 14, 2020

Prepared for:

Willian Lyon Homes
1980 Festival Plaza Drive, Suite 500
Las Vegas, NV 89118



September 14, 2020



Jennifer Shin, P.E.
Flood Control, Engr. Associate
Department of Public Works
City of Las Vegas
333 N. Rancho Dr.
Las Vegas, NV 89106

3283 E. Warm Springs Road
Suite 300, Las Vegas, NV 89120
(702) 586-9296

Re: Update #2 to the Technical Drainage Study for Savannah (aka Summerlin Village 21 – Parcel E & F) (DS#5152)

Ms. Shinn,

We have prepared the current update to reflect changing several top of curb elevations within Forsyth Park Street within Unit 1 of the project site to match field conditions. The changes do not significantly change the hydraulic characteristics within the currently approved study. Please see the attached redlined plans that will be submitted concurrently to Development Review.

If you have any questions or need any additional information, please feel free to call our office at (702) 586-9296.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Darryl Lattimore', is positioned below the word 'Sincerely,'.

Darryl Lattimore, P.E.
President



3283 Warm Springs Road Suite 300
Las Vegas, NV 89120
(702) 586-9296

September 14, 2020

City of Las Vegas
333 N. Rancho Dr.
Las Vegas, NV 89106

Re.: CD Certification for the TDS for Savannah (Update No 2)

Dear Staff,

The pdfs on the submittal package CD matches the original submittal package.

We hope the above responses satisfy any concerns. If you have any questions or need any additional information, please feel free to call our office at (702) 586-9296.

Sincerely,



Darryl Lattimore, P.E.
President

9/14/2020

APPENDIX



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM			DATE: March 26, 2020
TO: Land Development Services Department of Public Works			FROM: Jennifer Shinn, P.E. Flood Control, Engr. Associate Department of Public Works
SUBJECT:	Drainage Study for:		COPIES TO:
Savannah Summerlin Village 21 – Parcel E & F – Update #1			Actus
Cross Streets:	Desert Foothills & Far Hills		William Lyon Homes, LLC
File Number:	F:\PW_Flood\DSMEMOS\DS5152E.docx		Bart Anderson, P.E., DevCo
Parcel Number:	137-27-614-001, 137-27-615-001		
Zoning Action:	TMP-76874		
FEMA Flood Zone	YES	NO X	
Proposed Storm Drain	YES X	NO	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	7/8/2019	7/25/2019	See Comments Below	\$400.00	3480927: \$400
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5 th Submittal	3/2/2020	3/26/2020	Approved	\$100.00	3764604: \$100
			TOTAL FEES (LDDRS):	\$900.00	----

The Master Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Nevada Department of Transportation concurrence.

1. Show the sewer and storm drain locations on cross sectional details for the drainage easements.
2. Verify that the proposed sewer main is not located under the storm drain drop inlet.
3. Revise the Q100 value shown on the Sarabeth Street profile on Sheet C17 to match the WSPG model.
4. Revise the City Engineer's signature block to reflect Steven Ford.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
JKS

T/R/S: T20S/R59E/S26
AREA K-27

UNIT 1 GRADING PLANS AND PROFILES



SAVANNAH - UNIT 1

SUMMERLIN VILLAGE 21

PARCELS E & F
PREPARED FOR:

WILLIAM LYON HOMES

APN: A PORTION OF 137-27-614-001 & 615-001

CITY OF LAS VEGAS, NEVADA

GROSS ACREAGE: 5.11 ACRES

NET ACREAGE: 5.11 ACRES

PROJECT TEAM

DEVELOPER

WILLIAM LYON HOMES
1880 FESTIVAL PLAZA DRIVE, SUITE 500
LAS VEGAS, NV 89134
PH: 702-263-8200

CIVIL ENGINEER

ACTUS
ATTN: DARRYL LATTIMORE, P.E.
3283 E. WARM SPRINGS RD., SUITE 300
LAS VEGAS, NV 89120
T: 702-586-9296
E-MAIL: DARRYL.LATTIMORE@ACTUS.NV.COM

OWNER

PARCELS
HOWARD HUGHES COMPANY LLC
10801 W CHARLESTON BLVD
SUITE 300
LAS VEGAS, NV 89135
702-791-4000

PARCELS
REDPOINT VILLAGE SUMMERLIN LP
24151 VENTURA BLVD.
CALABASAS, CA 91302

UTILITY CONTACTS

POWER

NV ENERGY
ATTN: NEW DEVELOPMENT
7155 LINDELL ROAD
LAS VEGAS, NEVADA 89118

WATER

LAS VEGAS VALLEY WATER DISTRICT
ATTN: ENGINEERING SERVICES
1001 S VALLEY VIEW BLVD
LAS VEGAS, NV 89107
T: 702-870-2011

SEWER

CITY OF LAS VEGAS PUBLIC WORKS
ATTN: ENGINEERING PLANNING
333 N. RANCHO DRIVE 7TH FLOOR
LAS VEGAS, NEVADA 89106
PHONE: 702-229-6541

GAS

SOUTHWEST GAS CORPORATION
ATTN: ENGINEERING SERVICES
6362 SHATTZ STREET
NORTH LAS VEGAS, NV 89115

TELEPHONE

CENTRAL TELEPHONE DBA CENTURY LINK
6700 VIA AUSTI PARKWAY
LAS VEGAS, NEVADA 89119

DISPOSAL

REPUBLIC SERVICES, INC.
770 E. SAHARA AVE. - P.O. BOX 98508
LAS VEGAS, NEVADA 89193-8508

CABLE

COX COMMUNICATIONS LAS VEGAS, INC.
1700 VEGAS DRIVE
LAS VEGAS, NEVADA 89106

MOU PER ORDINANCE 6630 § 26

- MINIMUM STREET WIDTHS WITH AS DESCRIBED WITHIN GATED PRIVATE COMMUNITY INTERIOR STREETS CONSISTENT WITH APPROVED PARKING STUDY AS FOLLOWS:
 - 28' WITH PARKING RESTRICTED TO ONE SIDE TO BACK OF CURB
 - 33' WITH PARKING FOR PARKING ON BOTH SIDES TO BACK OF CURB
- REDUCED FIRE FLOW REQUIRED FOR COMMUNITIES ENTIRELY PROTECTED BY FIRE SPRINKLERS FROM 1,500 GPM TO 1,000 GPM FOR RESIDENCES LESS THAN 3,000 SQ. FT.
- SIDEWALK REQUIRED ON ONE SIDE OF INTERIOR PRIVATE GATED STREETS IN COMPLIANCE WITH ONE OF THE ABOVE STREET SECTIONS REFERENCED ABOVE.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK

MONUMENT ID: SLV0929W6

RIVET AND PLATE IN TOP OF CURB @ SE CORNER OF CARRIAGE HILL & FAR HILLS

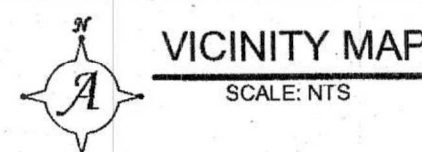
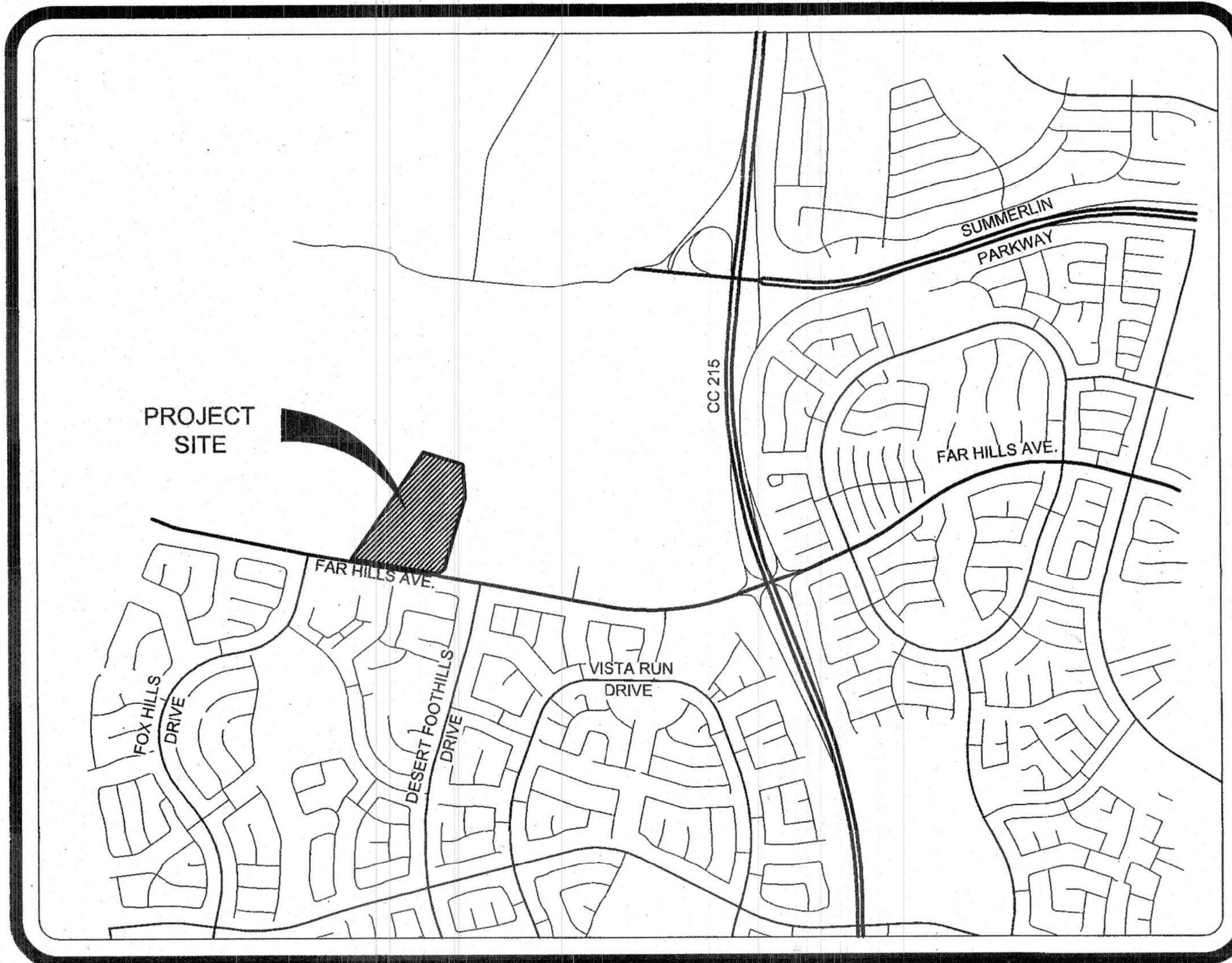
ELEVATION:
FEET = 3229.29 (NAVD88)
METERS = 984.29 M (NAVD88)

BASIS OF BEARING

SOUTH 89°54'29" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY, NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 36 OF PARCEL MAPS, IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.

DEDICATION NOTE

ALL EASEMENTS, RIGHT-OF-WAY, AND OTHER DEDICATIONS WITHIN THIS PLAN SET ARE GRANTED PER FMM _____ UNLESS OTHERWISE NOTED



LEGAL DESCRIPTION

BEING LOT E AS SHOWN BY MAP THEREOF ON FILE AS BOOK 159, PAGE 13 OF PLATS AND LOT F AS SHOWN BY MAP THEREOF ON FILE AS BOOK 159, PAGE 50 OF PLATS, ALL IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER, SITUATE IN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

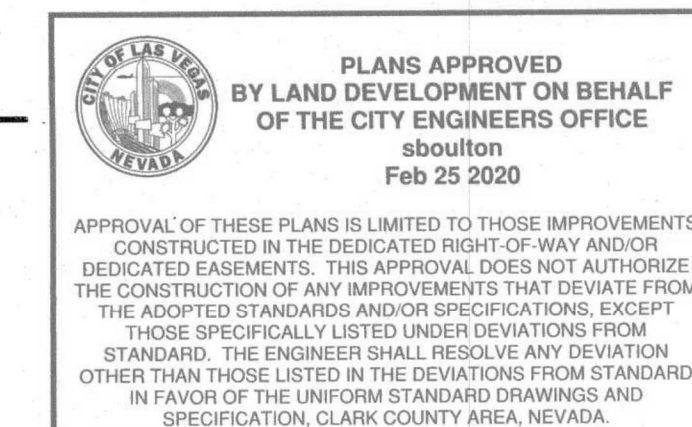
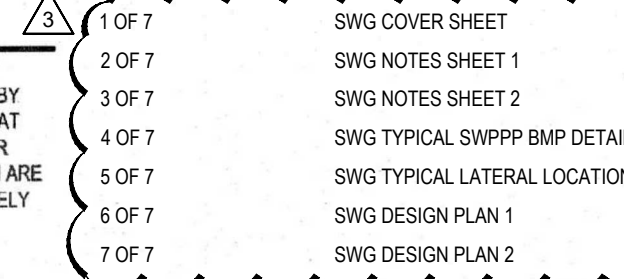
CONTAINING 36.47 ACRES, MORE OR LESS.

DISCLAIMER NOTE

THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET INDEX

Sheet Number	Sheet Title
C1	COVER SHEET
C2	GENERAL NOTES
C3	GRADING PLAN 1
C4	GRADING PLAN 2
C5	GRADING PLAN 3
C6	GRADING PLAN 4
C7	GRADING PLAN 5
C8	GRADING PLAN 6
C9	GRADING PLAN 7
C10	GRADING PLAN 8
C11	GRADING PLAN 9
C12	GRADING PLAN 10
C13	GRADING PLAN 11
C14	DETAIL SHEET 1
C15	DETAIL SHEET 2
C16	PLAN & PROFILE - SUNDRENCH AVE.
C17	PLAN & PROFILE - GRASSY PLANE AVE.
C18	PLAN & PROFILE - FRAGRANT GARDEN ST.
C19	PLAN & PROFILE - FORSYTH PARK ST.
C20	PLAN & PROFILE - COMMON ELEMENT "A" - S.D. & SEWER
C21	MASTER UTILITY PLAN
C22	UTILITY PLAN 1
C23	UTILITY PLAN 2
C24	MASTER TRAFFIC PLAN
C25	TRAFFIC PLAN 1
C26	TRAFFIC PLAN 2
\$0.00	STRUCTURAL SECTIONS



APPROVALS

See approval stamp
ALLEN PAVELZAPPE, PE#9028
CITY ENGINEER - CITY OF LAS VEGAS

APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS LIMITED TO THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED RIGHT-OF-WAY AND/OR DEDICATED EASEMENTS. THIS APPROVAL DOES NOT AUTHORIZE THE CONSTRUCTION OF ANY IMPROVEMENTS THAT DEVIATE FROM THE ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT THOSE SPECIFICALLY LISTED UNDER DEVIATIONS FROM STANDARD. THE ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED IN DEVIATIONS FROM STANDARD IN FAVOR OF THE UNIFORM STANDARD DRAWINGS AND SPECIFICATIONS CLARK COUNTY AREA NEVADA.

CITY OF LAS VEGAS PLANNING DEPARTMENT

THIS PLAN MEETS THE APPLICABLE STANDARDS OF THE PLANNING DEPARTMENT

11/19/19 DATE

FIRE DEPARTMENT APPROVAL
APPROVAL BY THE FIRE DEPARTMENT HAVING JURISDICTION IS REQUIRED PRIOR TO OBTAINING FINAL APPROVAL FROM THE LVVWD.

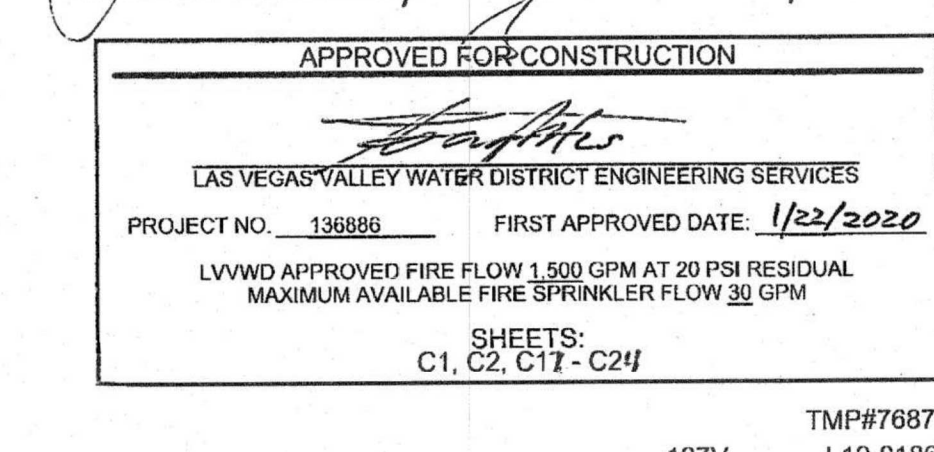
10/11/19 DATE
NV ENERGY ACKNOWLEDGES THAT WE HAVE RECEIVED YOUR PLANS AND WILL PROVIDE SERVICE TO ALL ELECTRICAL NEEDS ASSOCIATED WITH THIS PROJECT. NV ENERGY RESERVES THE RIGHT TO ADDRESS ANY EXISTING OR FUTURE CONFLICTS ONCE THE FINAL DESIGN IS COMPLETED. THE NEW SERVICE AND THE RESOLUTION OF ANY CONFLICTS WILL BE ACCOMPLISHED PURSUANT TO THE NEVADA PUBLIC UTILITY COMMISSION'S RULES AND REGULATIONS
DAVID FREDLANDER SVG UID: 202004F54486 5-14-2020

11/7/19 DATE
SOUTHWEST GAS CORPORATION

10/16/19 DATE
CENTRAL TELEPHONE DBA CENTURY LINK

10/16/19 DATE
COX COMMUNICATIONS LAS VEGAS, INC.

10/16/19 DATE
THE AFFIXED CENTURY LINK APPROVAL DOES NOT ASSUME OR GUARANTEE LIABILITY FOR KNOWN OR UNKNOWN CONFLICTS WITH EXISTING OR PROPOSED IMPROVEMENTS. RESOLUTION OR PROPOSED IMPROVEMENTS, RESOLUTION OF ANY CONFLICT WILL BE ACCOMPLISHED PURSUANT TO LOCAL ORDINANCES, NEVADA REVISED STATUTES AND/OR PUBLIC UTILITY COMMISSION RULES AND REGULATIONS.



107V L19-01866

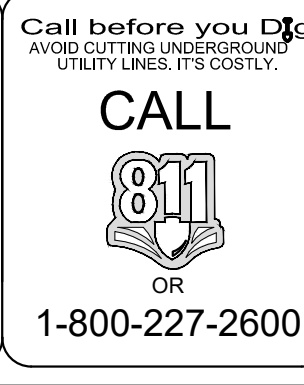
REV #	REVISION DESCRIPTION	SHEET(S)	APPD BY	DATE APPD
1	SHIFTED FRAGRANT GARDEN ST., REVISED UTILITIES, GRADING, & ADDED STORM DRAIN	C1-C6 & C10-C27	SDB 6/1/20	
2	REVISED BOUNDARY WALLS, UPDATED ENTRY WALL, GATE SYSTEM, & REVISED STREET LIGHTING	C1-C4, C10-C14, C16-C26		
3	ADDED SOUTHWEST GAS DESIGN DRAWINGS	C1	SDB 8/6/20	
4	ADDED COX, CENTURYLINK, & NV ENERGY DESIGN DRAWINGS	C1		
5	REVISED DROP INLET LOCATION, CURB & GUTTER, RE-GRADED CENTERLINE TO ACCOMMODATE	C1, C3, C4, C17, C19		

ES2



02/19/2020
STAMP APPLIES TO SHEET \$0.00 ONLY





LINE & CURVE DATA NOTE

PLEASE REFER TO TRAFFIC SHEETS FOR LINE AND CURVE DATA.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK
MONUMENT ID: SLV026W6
RIVET AND PLATE IN TOP OF CURB @ SE CORNER OF CARRIAGE HILL & FAR HILLS
ELEVATION: FEET = 3223.25' (NAVD88) METERS = 984.29 M (NAVD88)

BASIS OF BEARINGS

SOUTH 89°51'25" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27,
TOWNSHIP 21 SOUTH, RANGE 39 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY,
NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 36 OF PARCEL MAPS, IN THE
OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.

DEDICATION NOTE

ALL EASEMENTS, RIGHT-OF-WAY, AND OTHER DEDICATIONS WITHIN
THIS PLAN SET ARE GRANTED PER FM 77500
UNLESS OTHERWISE NOTED

PRIVATE STREET NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC
DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA PER THE
APPROVED FINAL MAP FOR THE PROJECT.

COMMON LOT NOTE

ALL COMMON LOTS ARE TO BE PUBLIC DRAINAGE, PEDESTRIAN ACCESS, UTILITY,
SEWER, AND PRIVATE LANDSCAPE EASEMENTS OVER THEIR ENTIRETY TO BE
PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE
PROJECT.

SOILS NOTE

ALL GRADING SHALL CONFORM TO GEOTECHNICAL REPORT
BY: GEOTEK RESIDENTIAL, LLC
ORIGINAL PROJECT NUMBER: 14658-LVR
DATED: MARCH 5, 2019
UPDATED: APRIL 17, 2019

STORM DRAIN CONNECTION NOTE

WHEN CONNECTING TO EXISTING ROP, CONTRACTOR SHALL REMOVE THE
EXISTING ROP TO THE NEAREST BELL CONNECTION, CONNECT NEW ROP TO
EXISTING ROP AND MATCH EXISTING PIPE SLOPE.

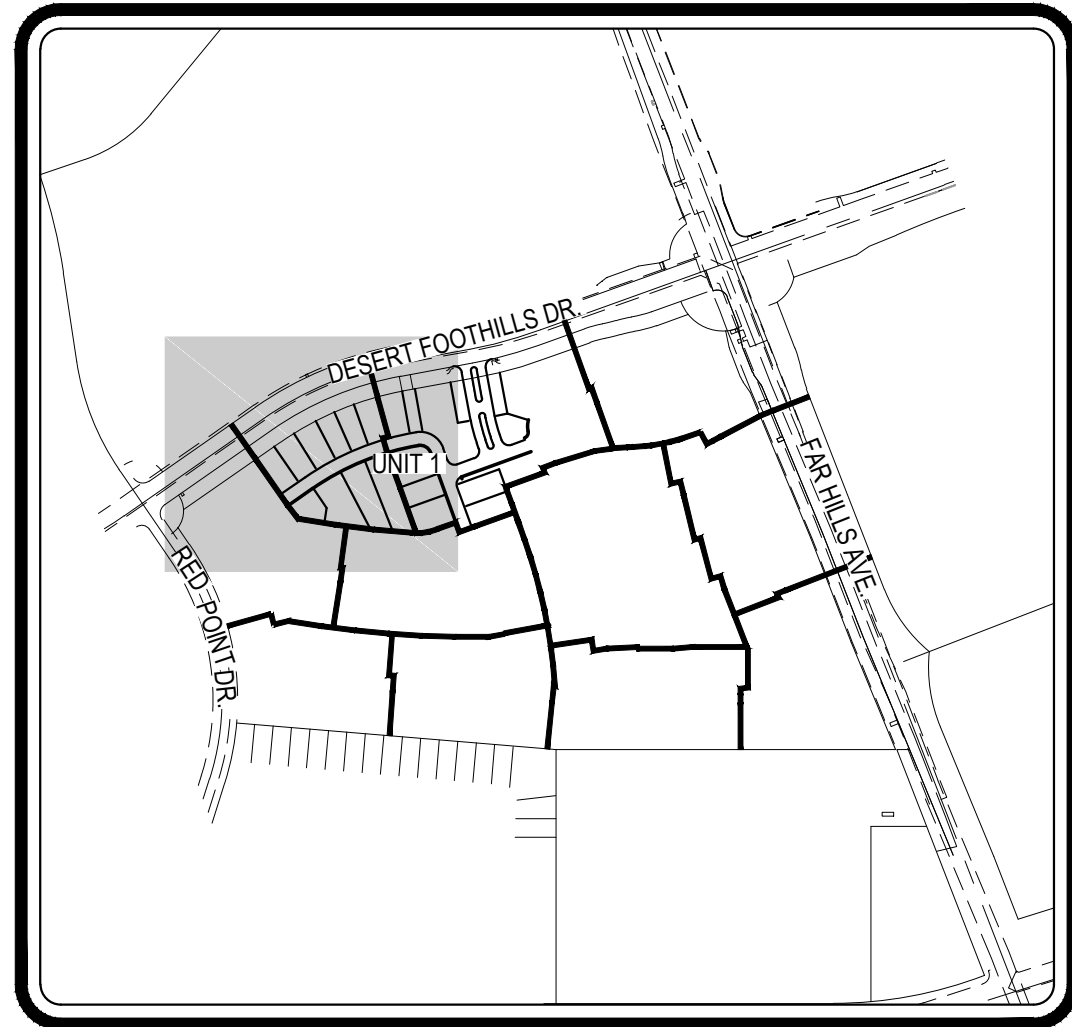
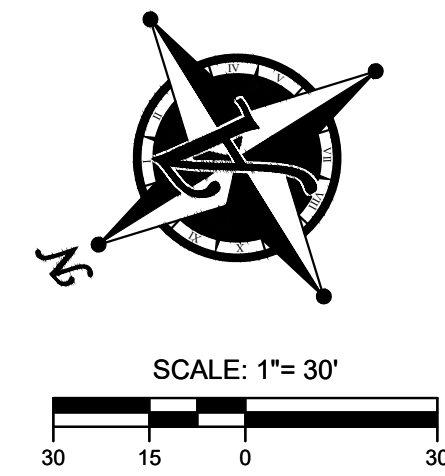
FLOOD ZONE DESCRIPTION

THIS SITE IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD
INSURANCE RATE MAP COMMUNITY PANEL 32003C2150E CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

FLOOD DESIGNATION PROVIDED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)

DISCLAIMER NOTE

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DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL
AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN
THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES
SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS
POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



DRAINAGE QUANTITIES

DESCRIPTION	UNIT	PUBLIC	PRIVATE
TYPE CM2 DROP INLET	EA	2	-
24" STORM DRAIN	LF	38	-
36" STORM DRAIN	EA	72	-
DRAINAGE EASEMENT BOLLARD	EA	8	-

KEY MAP

SCALE: NTS

GRADING CONSTRUCTION NOTES

- CONSTRUCT 30" MODIFIED ROLL CURB AND GUTTER PER CCAUSD #217.1
- CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
- CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234
- CONSTRUCT 8" CROSS GUTTER PER CCAUSD #228
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE I "A" & "B" = 8' UNLESS OTHERWISE NOTED
- CONSTRUCT 5' TRANSITION "L" CURB TO TYPE 30" MODIFIED ROLL CURB PER DETAIL "A" ON SHEET C15
- INSTALL 4" AC OVER 4" TYPE II AGGREGATE BASE
- CONSTRUCT PAD PER TYPICAL PAD SECTION DETAIL "B" ON SHEET C15
- MATCH EX. ASPHALT, CURBS, SIDEWALK, GUTTER, OR VALLEY GUTTER. SAW CUT CLEAN EDGE FOR CONNECTION.
- INSTALL TEMPORARY 2" OF TYPE II AGGREGATE BASE 95% COMPACTION MEETING REQUIREMENTS FOR H-20 LOADING.
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE II "A" & "B" = 6.5' UNLESS OTHERWISE NOTED
- CONNECT TO EX. SD LINE (CONTRACTOR TO VERIFY SIZE, INVERT AND LOCATION OF EX. SD)
- CONSTRUCT WROUGHT IRON FENCE PER DETAIL "C" ON SHEET C15
- CONSTRUCT SIDEWALK DRAIN PER CCAUSD #236
- EXISTING RIP-RAP CHANNEL TO BE REMOVED.
- EXISTING FENCE TO BE REMOVED
- EXISTING CONCRETE PAD TO BE REMOVED
- CONSTRUCT MODIFIED TYPE "CM2" DROP INLET PER STRUCTURAL DETAILS ON SHEET 50.00
- INSTALL TEMPORARY RIP-RAP PAD (D₉₀=8", THICKNESS = 12")
- CONSTRUCT GATES PER LANDSCAPE PLANS & DETAILS
- INSTALL TYPE "A" ISLAND CURB PER CCAUSD #219
- CONSTRUCT GATES PER CCAUSD #425 S1
- INSTALL TEMPORARY RIP-RAP (D₉₀=8", THICKNESS = 16")
- INSTALL 4" DIA. FIXED BOLLARDS SPACED 6' APART O.C., 1' BEHIND BACK OF SIDEWALK PER CCAUSD #425 S1
- INSTALL CALL BOX FOR ENTRY GATES
- INSTALL PEDESTRIAN ACCESS GATE PER DETAIL "D" ON SHEET C15

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PUBLIC R/W LINE
		BOUNDARY LINE
		EASEMENT LINE
		MATCH LINE
		CUT / FILL LINE
		EDGE OF ASPHALT
		CURB & GUTTER
		RETAINING WALL
		SAWCUT LINE
		FLOWLINE
		GRADE BREAK
		MAJOR CONTOUR - 5'
		MINOR CONTOUR - 1'
		FENCE
		SCARP
		CONCRETE SURFACE
		PROPOSED ASPHALT PAVEMENT
		REMOVE AND REPLACE ASPHALT
		RIP-RAP
		ELEVATION GRADE TAG
		GRADE SLOPE TAG
		SECTION MARKER - DETAIL NUMBER ABOVE SHEET NUMBER
		SIGHT VISIBILITY ZONE

COMMON ABBREVIATIONS

FF - FINISHED FLOOR	TRC - TOP OF 30" ROLL CURB
AC - TOP OF PAVEMENT	EP - EDGE OF PAVEMENT
FL - FLOWLINE GRADE	TB - TOP OF RETAINING WALL
TB - TOP OF BERM	PRIV - PRIVATE
TF - TOP OF WALL FOOTER	TYP - TYPICAL
ST - STREET	R/W - RIGHT-OF-WAY
ESMT - EASEMENT	DG - DESIGN GRADE
TMH - TOP OF MANHOLE (RIM ELEV.)	

GRADING NOTES

- ACTUS SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES IN THE PLANS OR CONDITIONS IN THE FIELD.
- FOR ROADWAY WIDENING AND HALF STREET IMPROVEMENTS, THE CONTRACTOR SHALL VERIFY CROSS SLOPES FROM EXISTING PAVEMENT SAWCUT LINE TO PROPOSED EDGE OF PAVEMENT OR PROJECTED LIP OF CURB PRIOR TO SUBGRADE PREPARATION AND CONSTRUCTION OF PROPOSED CURB LINE. IF MINIMUM OR MAXIMUM CROSS SLOPES DO NOT MEET AGENCY STANDARDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- WALL DETAILS ARE FOR REFERENCE ONLY AND DO NOT CONSTITUTE A STRUCTURAL DESIGN.
- CONSTRUCTION OF BLOCK WALLS REQUIRE A SEPARATE BUILDING PERMIT AND APPROVAL BY THE BUILDING DEPARTMENT.

SIGHT VISIBILITY ZONE NOTE

NO WALLS, FENCES SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

PLEASE REFER TO TRAFFIC PLANS FOR SIGHT VISIBILITY ZONE DIMENSIONS.

ESTIMATED QUANTITIES

NOTE: QUANTITIES SHOWN ARE RAW QUANTITIES AND APPROXIMATE. CONTRACTOR TO DETERMINE HIS OWN QUANTITIES FOR GRADING PURPOSES.

WORK UNDER THIS PLAN CONSTITUTES GRADING IN ACCORDANCE WITH 2018 IBC; ENGINEERING REPORTS AND CERTIFICATIONS IN CONFORMANCE WITH IBC SHALL BE FILED WITH THE CITY OF LAS VEGAS PRIOR TO CITY OF LAS VEGAS APPROVAL AT FINAL INSPECTION.

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED UPDATED DRAINAGE STUDY CLV# DSS152 ON FILE WITH THE CITY OF LAS VEGAS.

DARRYL LATTIMORE, P.E.

9/14/2020
DATE

GRADING PLAN 1 SAVANNAH - UNIT 1 WILLIAM LYON HOMES CITY OF LAS VEGAS, NEVADA

DATE	DESCRIPTION	BY
2020-02-26	ADJUSTED GRADES & UPDATED QUANTITIES	RLS
2020-02-27	REVIEWED/REVISED STREETS/LIGHTS	RLS
2020-09-04	REVISED DROP INLET LOCATION, CURB & GUTTER, & GRADED CENTERLINE TO ACCOMMODATE	RLS



DATE	02/18/2020
DRAWN	RWF/RLS
DESIGNED	RWF/RLS
CHECKED	ALW/DCL
PROJECT #	WLH011803

SHEET TITLE	GRADING
SHEET NUMBER	C3



LINE & CURVE DATA NOTE
PLEASE REFER TO TRAFFIC SHEETS FOR LINE AND CURVE DATA.

BENCHMARK
CITY OF LAS VEGAS BENCHMARK
MONUMENT ID: SLV026W6
RIVET AND PLATE IN TOP OF CURB @ SE CORNER OF CARRIAGE HILL & FAR HILLS
ELEVATION: FEET = 3292.95 (NAVD83) METERS = 994.29 M (NAVD83)

BASIS OF BEARINGS
SOUTH 89°12'25" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27,
TOWNSHIP 21 SOUTH, RANGE 39 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY,
NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 36 OF PARCEL MAPS, IN THE
OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.

DEDICATION NOTE
ALL EASEMENTS, RIGHT-OF-WAY, AND OTHER DEDICATIONS WITHIN
THIS PLAN SET ARE GRANTED PER FM 77500
UNLESS OTHERWISE NOTED

PRIVATE STREET NOTE
ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC
DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA PER THE
APPROVED FINAL MAP FOR THE PROJECT.

COMMON LOT NOTE
ALL COMMON LOTS ARE TO BE PUBLIC DRAINAGE, PEDESTRIAN ACCESS, UTILITY,
SEWER, AND PRIVATE LANDSCAPE EASEMENTS OVER THEIR ENTIRETY TO BE
PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE
PROJECT.

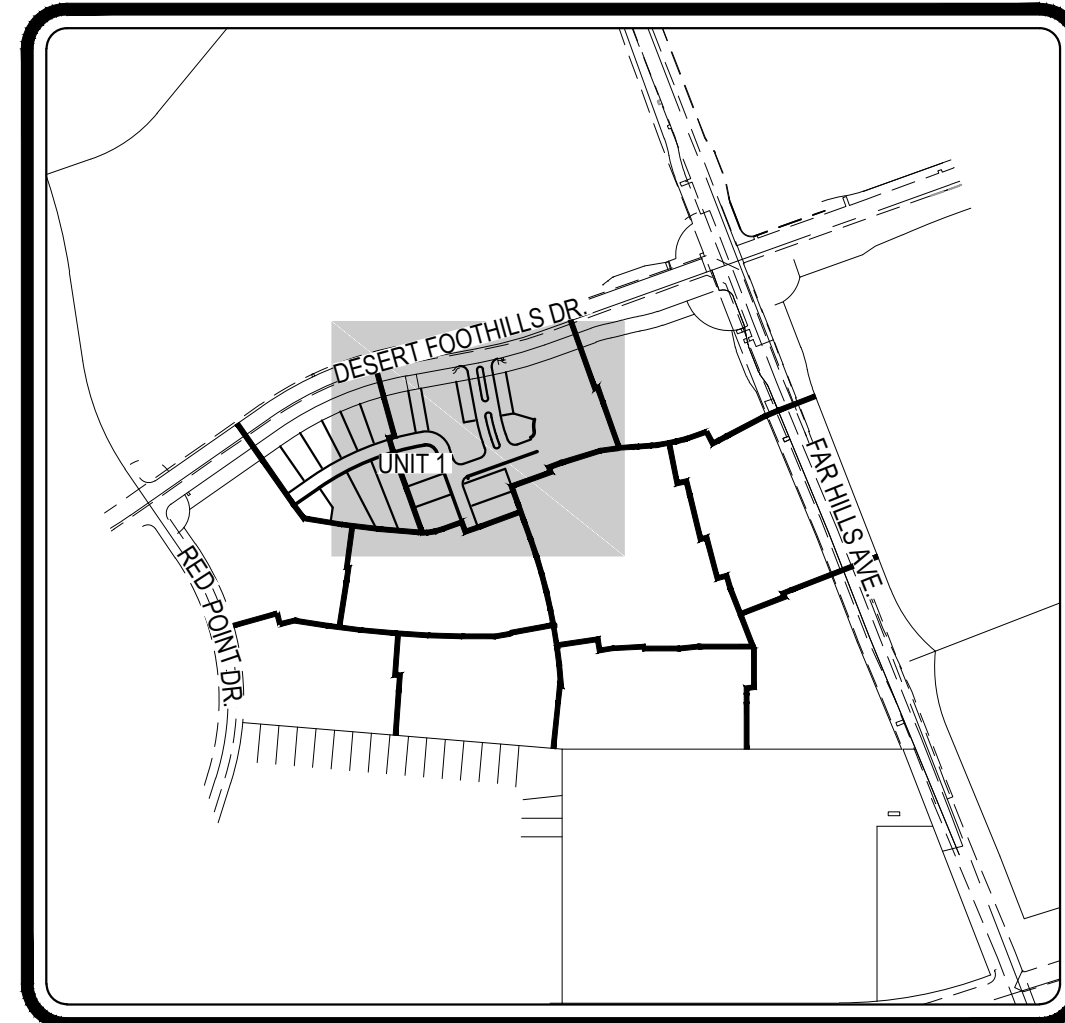
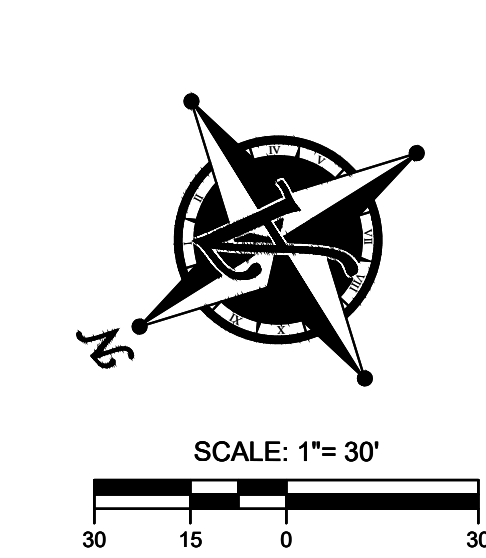
SOILS NOTE
ALL GRADING SHALL CONFORM TO GEOTECHNICAL REPORT
BY: GEOTEK RESIDENTIAL, LLC
ORIGINAL PROJECT NUMBER: 14658-LVR
DATED: MARCH 5, 2019
UPDATED: APRIL 17, 2019

STORM DRAIN CONNECTION NOTE
WHEN CONNECTING TO EXISTING ROP, CONTRACTOR SHALL REMOVE THE
EXISTING ROP TO THE NEAREST BELL CONNECTION, CONNECT NEW ROP TO
EXISTING ROP AND MATCH EXISTING PIPE SLOPE.

FLOOD ZONE DESCRIPTION
THIS SITE IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD
INSURANCE RATE MAP COMMUNITY PANEL 32003C2150E CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

FLOOD DESIGNATION PROVIDED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)

DISCLAIMER NOTE
THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING
DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL
AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN
THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES
SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS
POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



DRAINAGE QUANTITIES

DESCRIPTION	UNIT	PUBLIC	PRIVATE
TYPE C&D DROP INLET	EA	2	-
24" STORM DRAIN	LF	38	-
36" STORM DRAIN	EA	72	-
DRAINAGE EASEMENT BOLLARD	EA	8	-

KEY MAP

SCALE: NTS

GRADING CONSTRUCTION NOTES

- CONSTRUCT 30" MODIFIED ROLL CURB AND GUTTER PER CCAUSD #217.1
- CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
- CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234
- CONSTRUCT 8" CROSS GUTTER PER CCAUSD #228
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE I "A" & "B" = 8' UNLESS OTHERWISE NOTED
- CONSTRUCT 5' TRANSITION "L" CURB TO TYPE 30" MODIFIED ROLL CURB PER DETAIL "A" ON SHEET C15
- INSTALL 4" AC OVER 4" TYPE II AGGREGATE BASE
- CONSTRUCT PAD PER TYPICAL PAD SECTION DETAIL "B" ON SHEET C15
- MATCH EX. ASPHALT, CURBS, SIDEWALK, GUTTER, OR VALLEY GUTTER. SAW CUT CLEAN EDGE FOR CONNECTION.
- INSTALL TEMPORARY 2" OF TYPE II AGGREGATE BASE 95% COMPACTION MEETING REQUIREMENTS FOR H-20 LOADING.
- CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE II "A" & "B" = 6.5' UNLESS OTHERWISE NOTED
- CONNECT TO EX. SD LINE (CONTRACTOR TO VERIFY SIZE, INVERT AND LOCATION OF EX. SD)
- CONSTRUCT WROUGHT IRON FENCE PER DETAIL "C" ON SHEET C15
- CONSTRUCT SIDEWALK DRAIN PER CCAUSD #236
- EXISTING RIP-RAP CHANNEL TO BE REMOVED.
- EXISTING AC PAVEMENT TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING CONCRETE PAD TO BE REMOVED
- CONSTRUCT MODIFIED TYPE "CM2" DROP INLET PER STRUCTURAL DETAILS ON SHEET 50.00
- INSTALL TEMPORARY RIP-RAP PAD (D₉₀=6", THICKNESS = 12")
- CONSTRUCT GATES PER LANDSCAPE PLANS & DETAILS
- INSTALL TYPE "A" ISLAND CURB PER CCAUSD #219
- CONSTRUCT GATES PER CCAUSD #425.S1
- INSTALL TEMPORARY RIP-RAP (D₉₀=8", THICKNESS = 16")
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- INSTALL PEDESTRIAN ACCESS GATE PER DETAIL "D" ON SHEET C15

LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PUBLIC R/W LINE
---	---	PRIVATE R/W LINE
---	---	BOUNDARY LINE
---	---	EASEMENT LINE
---	---	MATCH LINE
---	---	CUT / FILL LINE
---	---	CENTERLINE
---	---	EDGE OF ASPHALT
---	---	CURB & GUTTER
---	---	RETAINING WALL
---	---	SAWCUT WALL
---	---	FLOWLINE
---	---	GRADE BREAK
---	---	MAJOR CONTOUR - 5'
---	---	MINOR CONTOUR - 1'
---	---	FENCE
---	---	SCARP
---	---	CONCRETE SURFACE
---	---	PROPOSED ASPHALT PAVEMENT
---	---	REMOVE AND REPLACE ASPHALT
---	---	RIP-RAP
---	---	ELEVATION GRADE TAG
---	---	GRADE SLOPE TAG
---	---	SECTION MARKER - DETAIL NUMBER ABOVE SHEET NUMBER
---	---	SIGHT VISIBILITY ZONE

COMMON ABBREVIATIONS

FF - FINISHED FLOOR	TRC - TOP OF 30" ROLL CURB
TC - TOP OF CURB	AC - TOP OF PAVEMENT
FL - FLOWLINE GRADE	EP - EDGE OF PAVEMENT
TB - TOP OF BERM	TRW - TOP OF RETAINING WALL
TF - TOP OF WALL FOOTER	PRV - PRIVATE
ST - STREET	TYP - TYPICAL
ESMT - EASEMENT	R/W - RIGHT-OF-WAY
TMH - TOP OF MANHOLE (RIM ELEV.)	DG - DESIGN GRADE

GRADING NOTES

- ACTUS SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES IN THE PLANS OR CONDITIONS IN THE FIELD.
- FOR ROADWAY WIDENING AND HALF STREET IMPROVEMENTS, THE CONTRACTOR SHALL VERIFY CROSS SLOPES FROM EXISTING PAVEMENT SAWCUT LINE TO PROPOSED EDGE OF PAVEMENT OR PROJECTED LIP OF CURB PRIOR TO SUBGRADE PREPARATION AND CONSTRUCTION OF PROPOSED CURB LINE. IF MINIMUM OR MAXIMUM CROSS SLOPES DO NOT MEET AGENCY STANDARDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- WALL DETAILS ARE FOR REFERENCE ONLY AND DO NOT CONSTITUTE A STRUCTURAL DESIGN.
- CONSTRUCTION OF BLOCK WALLS REQUIRE A SEPARATE BUILDING PERMIT AND APPROVAL BY THE BUILDING DEPARTMENT.

SIGHT VISIBILITY ZONE NOTE

NO WALLS, FENCES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

PLEASE REFER TO TRAFFIC PLANS FOR SIGHT VISIBILITY ZONE DIMENSIONS.

ESTIMATED QUANTITIES

NOTE: QUANTITIES SHOWN ARE RAW QUANTITIES AND APPROXIMATE. CONTRACTOR TO DETERMINE HIS OWN QUANTITIES FOR GRADING PURPOSES.

WORK UNDER THIS PLAN CONSTITUTES GRADING IN ACCORDANCE WITH 2018 IBC; ENGINEERING REPORTS AND CERTIFICATIONS IN CONFORMANCE WITH IBC SHALL BE FILED WITH THE CITY OF LAS VEGAS PRIOR TO CITY OF LAS VEGAS APPROVAL AT FINAL INSPECTION.

CUT: 242.298 CY FILL: 59.941 CY BALANCE: 182.357 CY (CUT)

ENGINEER'S CERTIFICATION

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED UPDATED DRAINAGE STUDY CLV# D55152 ON FILE WITH THE CITY OF LAS VEGAS.

[Signature]
DARRYL LATTIMORE, P.E.

9/14/2020
DATE

GRADING PLAN 2 SAVANNAH - UNIT 1 WILLIAM LYON HOMES CITY OF LAS VEGAS, NEVADA

BY	DATE	DESCRIPTION
RLS	2020-02-26	ADJUSTED GRADING QUANTITIES
RSP	2020-05-04	REVISED ENTRY WALLS, GATE SYSTEM, AND REINFORCED/DESIGNED STREETS/LIGHTS
RLS	2020-09-04	REVISED DROP INLET LOCATION, CURB & GUTTER, AND GRADED CENTERLINE TO ACCOMMODATE



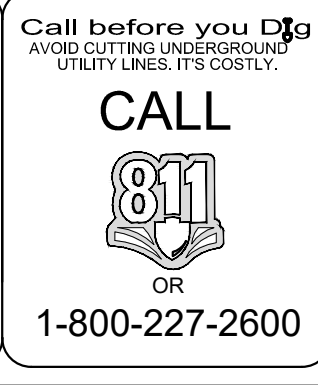
DATE	02/18/2020
DRAWN	RWF/RLS
DESIGNED	RWF/RLS
CHECKED	ALW/DCL
PROJECT #	WLH011803
SHEET TITLE	GRADING
SHEET NUMBER	C4

FOR ALL DRY UTILITY CROSSINGS

- MAINTAIN MINIMUM 12" VERTICAL SEPARATION AT ALL POINT OF CROSSINGS
- MAINTAIN MINIMUM 3" PARALLEL SEPARATION
- ANY EXCAVATION AT BACK OF CURB MUST REMAIN OPEN FOR INSPECTION OF COPPER SERVICE LATERALS. ANY COPPER SERVICE LATERAL KINKED, BENT OR OTHERWISE DAMAGED MUST BE REPLACED FROM THE MAIN TO THE ANGLE METER STOP.

LVVWD NOTES

1. ALL SEWER / STORM DRAIN CROSSING WATER LINES MUST COMPLY WITH UDACS SECTION 2.22
2. PROTECT IN PLACE AND ADJUST LVVWD EXISTING FACILITIES TO FINISHED GRADE PER UDACS. ALL LVVWD FACILITIES SHALL BE ACCESSIBLE AT ALL TIMES.
3. ALL WATERLINE FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH "UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS" (UDACS) LATEST EDITION.
4. INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTING, PER UDACS PLATE #15.
5. THE DISTRICT CANNOT GUARANTEE A WATERTIGHT SHUTDOWN WHERE CONNECTIONS OR REPAIRS TO EXISTING FACILITIES ARE REQUIRED. THE CONTRACTOR SHALL ENSURE ALL LABOR AND EQUIPMENT IS AVAILABLE TO REMOVE FUGITIVE WATER THAT MAY IMPED CONSTRUCTION AT ALL TIMES. COORDINATION WITH INSPECTION DIVISION MUST TAKE PLACE PRIOR TO ANY TRIAL SHUTDOWN. CONTRACTOR TO INSTALL TEMPORARY SERVICE TO ENSURE PROPER SHUTDOWN IN THE EVENT NO OTHER APPURTENANCES ARE AVAILABLE.
6. WATER MAIN JOINT DEFLECTION PER UDACS 2.07.01 AND 2.07.03.
7. DEPTH OF COVER DURING CONSTRUCTION:
 - MAINTAIN MINIMUM TWENTY-FOUR (24) INCH COVER PER UDACS SECTION 2.08.04. GRADINGS MUST BE COMPLETED PRIOR TO WATERLINE INSTALLATION.
 - ALL ABOVE GROUND OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO: LANDSCAPE BOLLARDS, FENCES, WALLS, AND SIGNS ARE STRICTLY PROHIBITED WITHIN LVVWD EASEMENT.
 - FIRE SPRINKLER SYSTEM SHALL BE PLUMBED TO THE MASTER TOILET.
 - NO EXCEPTIONS ALLOWED.
8. SOUTH 89°51'25" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 39 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY, NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 36 OF PARCEL MAPS, IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.
9. FIRE SPRINKLER SYSTEM SHALL BE PLUMBED TO THE MASTER TOILET.



LINE & CURVE DATA NOTE
PLEASE REFER TO TRAFFIC SHEETS FOR LINE AND CURVE DATA.

BENCHMARK
CITY OF LAS VEGAS BENCHMARK
MONUMENT ID: SLV026W6
RIVET AND PLATE IN TOP OF CURB @ SE CORNER OF CARRIAGE HILL & FAR HILLS
ELEVATION: FEET = 3329.29 (NAVD83) METERS = 994.29 M (NAVD83)

BASIS OF BEARINGS
SOUTH 89°51'25" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 39 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY, NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 36 OF PARCEL MAPS, IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.

CONTROLLED LOW STRENGTH MATERIAL (CLSM)

PROTECT WATERLINES IN PLACE. WHEREVER A WATERLINE IS ABOVE STORM DRAIN OR SEWER WHERE COMPACTION REQUIREMENTS UNDER A WATERLINE CANNOT BE MET, BACKFILL TRENCH WITH CLASS II CONTROLLED LOW STRENGTH MATERIAL (CLSM) TO THE SPRINGLINE OF THE WATERLINE. THIS REQUIREMENT IS FOR STRUCTURAL SUPPORT ONLY. ADDITIONAL HEALTH REGULATIONS MAY APPLY PER UDACS 2.22.

DEDICATION NOTE

ALL EASEMENTS, RIGHT-OF-WAY, AND OTHER DEDICATIONS WITHIN THIS PLAN SET ARE GRANTED PER FM 77500 UNLESS OTHERWISE NOTED.

PRIVATE STREET NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE PROJECT.

COMMON LOT NOTE

ALL COMMON LOTS ARE TO BE PUBLIC DRAINAGE, PEDESTRIAN ACCESS, UTILITY, SEWER, AND PRIVATE LANDSCAPE EASEMENTS OVER THEIR ENTIRETY TO BE PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE PROJECT.

SOILS NOTE

ALL GRADING SHALL CONFORM TO GEOTECHNICAL REPORT BY: GEOTEK RESIDENTIAL, LLC
ORIGINAL PROJECT NUMBER: 14658-LVR
DATED: MARCH 5, 2019
UPDATED: APRIL 17, 2019

STORM DRAIN CONNECTION NOTE

WHEN CONNECTING TO EXISTING ROP, CONTRACTOR SHALL REMOVE THE EXISTING ROP TO THE NEAREST BELL CONNECTION, CONNECT NEW ROP TO EXISTING ROP AND MATCH EXISTING PIPE SLOPE.

FLOOD ZONE DESCRIPTION

THIS SITE IS LOCATED IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C2150E CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

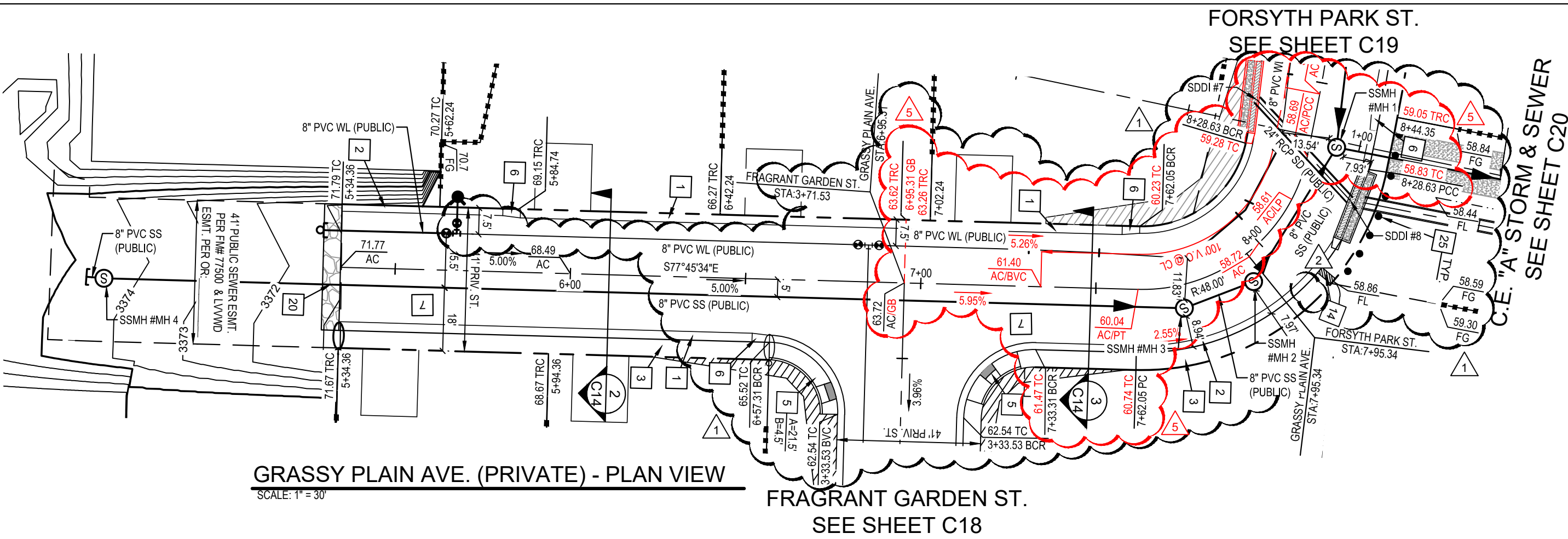
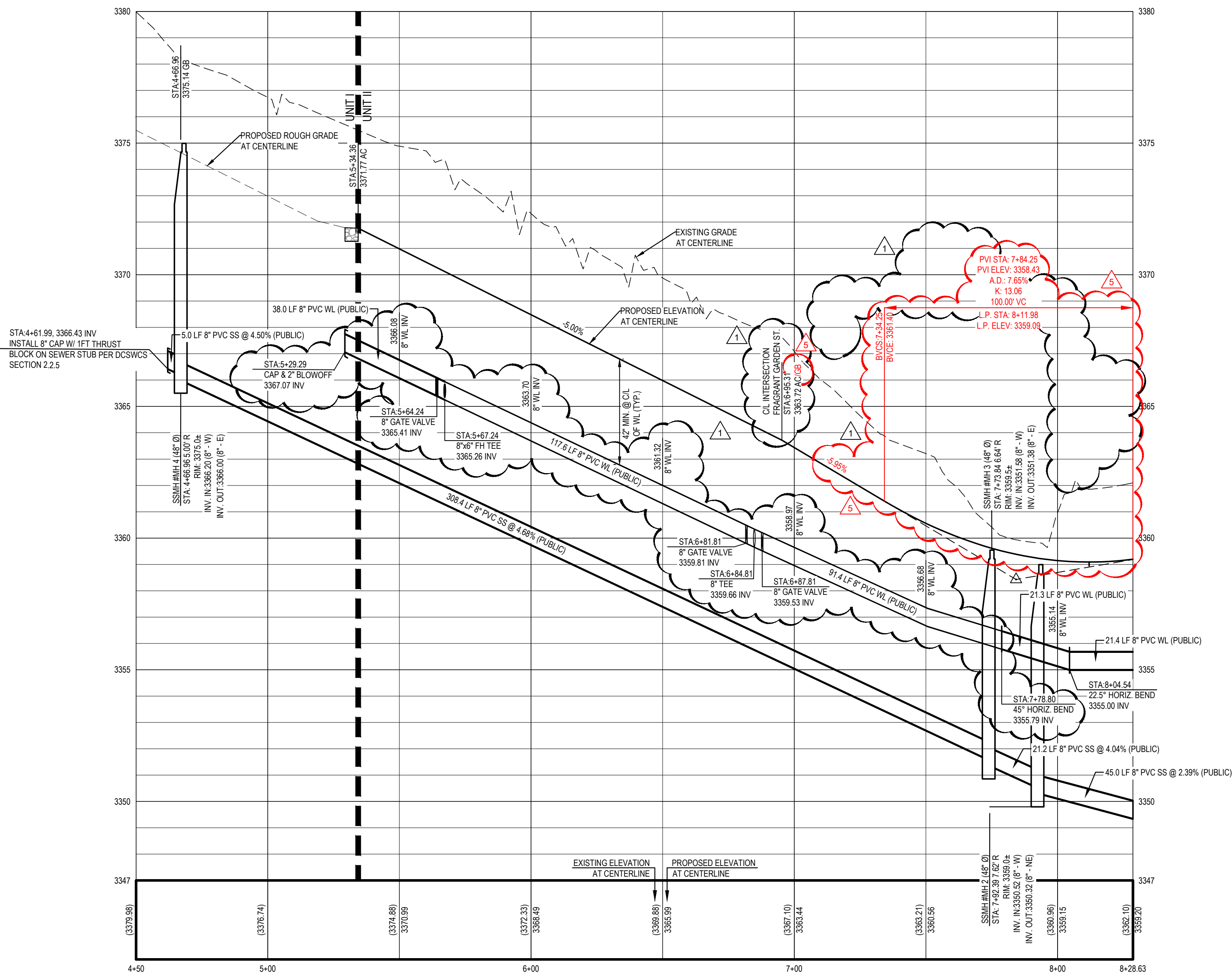
FLOOD DESIGNATION PROVIDED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)

DISCLAIMER NOTE

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GRASSY PLAIN AVE. (PRIVATE) - PROFILE VIEW

HORIZONTAL SCALE: 1" = 30' | VERTICAL SCALE: 1" = 3'



GRADING CONSTRUCTION NOTES

1. CONSTRUCT 30" MODIFIED ROLL CURB AND GUTTER PER CCAUSD #217.1
2. CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
3. CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234
4. CONSTRUCT 8' CROSS GUTTER PER CCAUSD #228
5. CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE I, "A" & "B" = 8' UNLESS OTHERWISE NOTED
6. CONSTRUCT 5' S' TRANSITION "L" CURB TO TYPE 30" MODIFIED ROLL CURB PER DETAIL "A" ON SHEET C15
7. INSTALL AC OVER 4" TYPE II AGGREGATE BASE
8. CONSTRUCT PAD PER TYPICAL PAD SECTION DETAIL "B" ON SHEET C15
9. MATCH EX. ASPHALT, CURBS, SIDEWALK, GUTTER, OR VALLEY GUTTER. SAW CUT CLEAN EDGE FOR CONNECTION.
10. INSTALL TEMPORARY 2" OF TYPE II AGGREGATE BASE 95% COMPACTION MEETING REQUIREMENTS FOR H-20 LOADING.
11. CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE II, "A" & "B" = 6.5' UNLESS OTHERWISE NOTED
12. CONNECT TO EX. SD LINE (CONTRACTOR TO VERIFY SIZE, INVERT AND LOCATION OF EX. SD)
13. CONSTRUCT WROUGHT IRON FENCE PER DETAIL "C" ON SHEET C15
14. CONSTRUCT SIDEWALK DRAIN PER CCAUSD #236
15. EXISTING RIP-RAP CHANNEL TO BE REMOVED.
16. EXISTING AC PAVEMENT TO BE REMOVED
17. EXISTING FENCE TO BE REMOVED
18. EXISTING CONCRETE PAD TO BE REMOVED
19. CONSTRUCT MODIFIED TYPE "CM2" DROP INLET PER STRUCTURAL DETAILS ON SHEET 50.00
20. INSTALL TEMPORARY RIP-RAP PAD (D₅₀=6", THICKNESS = 12")
21. CONSTRUCT GATES PER LANDSCAPE PLANS & DETAILS
22. INSTALL TYPE "A" ISLAND CURB PER CCAUSD #219
23. CONSTRUCT GATES PER CCAUSD #425.S1
24. INSTALL TEMPORARY RIP-RAP (D₅₀=8", THICKNESS = 16")
25. INSTALL 4" DIA. FIXED BOLLARDS SPACED 6' APART O.C. 1' BEHIND BACK OF SIDEWALK PER CCAUSD #425.S1
26. INSTALL CALL BOX FOR ENTRY GATES
27. INSTALL PEDESTRIAN ACCESS GATE PER DETAIL "D" ON SHEET C15

DROP INLET NOTE

WHERE 10 FEET PARALLEL SEPARATION IS NOT PRACTICABLE:
CAST-IN-PLACE MONOLITHIC POUR WITH WATERSTOP BETWEEN SLAB AND WALLS. BASE, WALLS AND TOP TO BE CONSTRUCTED WITH WATERSTOPS, CENTER BULL, OR FLAT STRIP. (VINYLEX, GREENSTREAK PLASTIC PRODUCTS OR APPROVED)

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PUBLIC RW LINE
		PRIVATE RW LINE
		BOUNDARY LINE
		EASEMENT LINE
		MATCH LINE
		CUT / FILL LINE
		CENTERLINE
		EDGE OF ASPHALT
		CURB & GUTTER
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		MAJOR CONTOUR - 5'
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		SCARP
		CONCRETE SURFACE
		PROPOSED ASPHALT PAVEMENT
		REMOVE AND REPLACE ASPHALT
		RIP-RAP
		ELEVATION GRADE TAG
		SECTION MARKER - DETAIL
		NUMBER ABOVE SHEET NUMBER
		SIGHT VISIBILITY ZONE

GRADING NOTES

1. ACTUS SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES IN THE PLANS OR CONDITIONS IN THE FIELD.
2. FOR ROADWAY WIDENING AND HALF STREET IMPROVEMENTS, THE CONTRACTOR SHALL VERIFY CROSS SLOPES FROM EXISTING PAVEMENT SAWCUT LINE TO PROPOSED EDGE OF PAVEMENT OR PROJECTED LIP OF CURB PRIOR TO SUBGRADE PREPARATION AND CONSTRUCTION OF PROPOSED CURB LINE. IF MINIMUM OR MAXIMUM CROSS SLOPES DO NOT MEET AGENCY STANDARDS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
3. WALL DETAILS ARE FOR REFERENCE ONLY AND DO NOT CONSTITUTE A STRUCTURAL DESIGN.
4. CONSTRUCTION OF BLOCK WALLS REQUIRE A SEPARATE BUILDING PERMIT AND APPROVAL BY THE BUILDING DEPARTMENT.

SIGHT VISIBILITY ZONE NOTE

NO WALLS, FENCES SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

PLEASE REFER TO TRAFFIC PLANS FOR SIGHT VISIBILITY ZONE DIMENSIONS.

APPROVED FOR CONSTRUCTION

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES
PROJECT NO. 136886 FIRST APPROVED DATE:
LVVWD APPROVED FIRE FLOW 1,500 GPM AT 20 PSI RESIDUAL
MAXIMUM AVAILABLE FIRE SPRINKLER FLOW 26 GPM

SHEETS:
C1, C2, C17 - C24

107Y5116 L19-01866

PLAN & PROFILE - GRASSY PLANE AVE.

SAVANNAH - UNIT 1

WILLIAM LYON HOMES

CITY OF LAS VEGAS, NEVADA



9/14/2020

DATE 02/18/2020
DRAWN RWF/RLS
DESIGNED RWF/RLS
CHECKED ALW/DCL
PROJECT # WLH011803

SHEET TITLE
PLAN & PROFILES
SHEET NUMBER

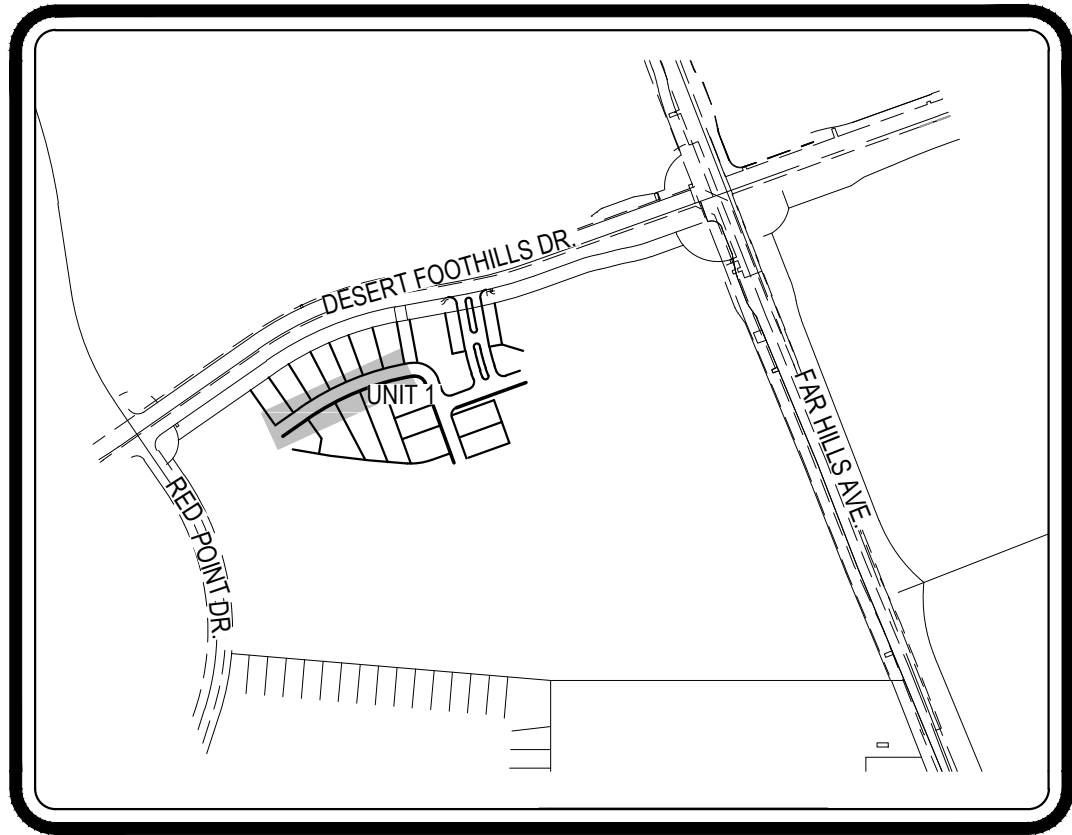
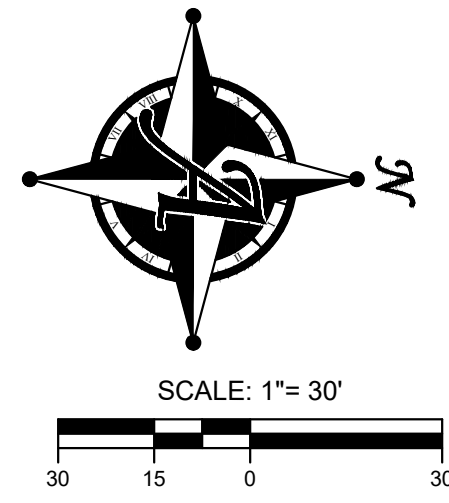
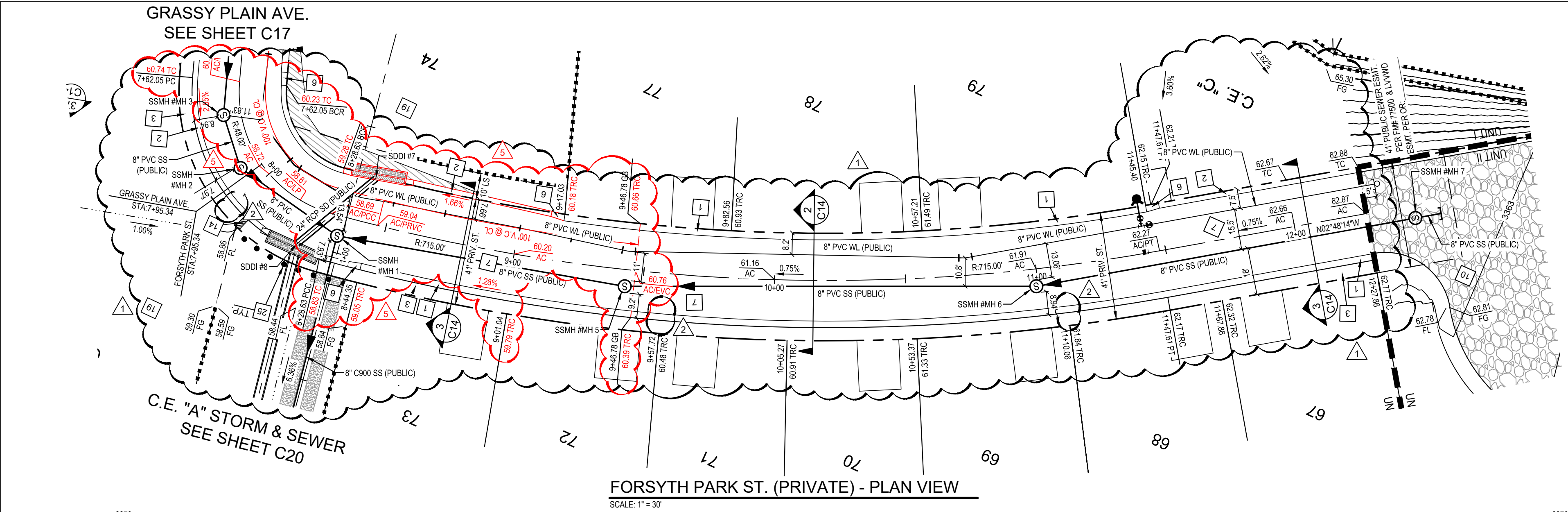
C17

SHEET #17 OF 27

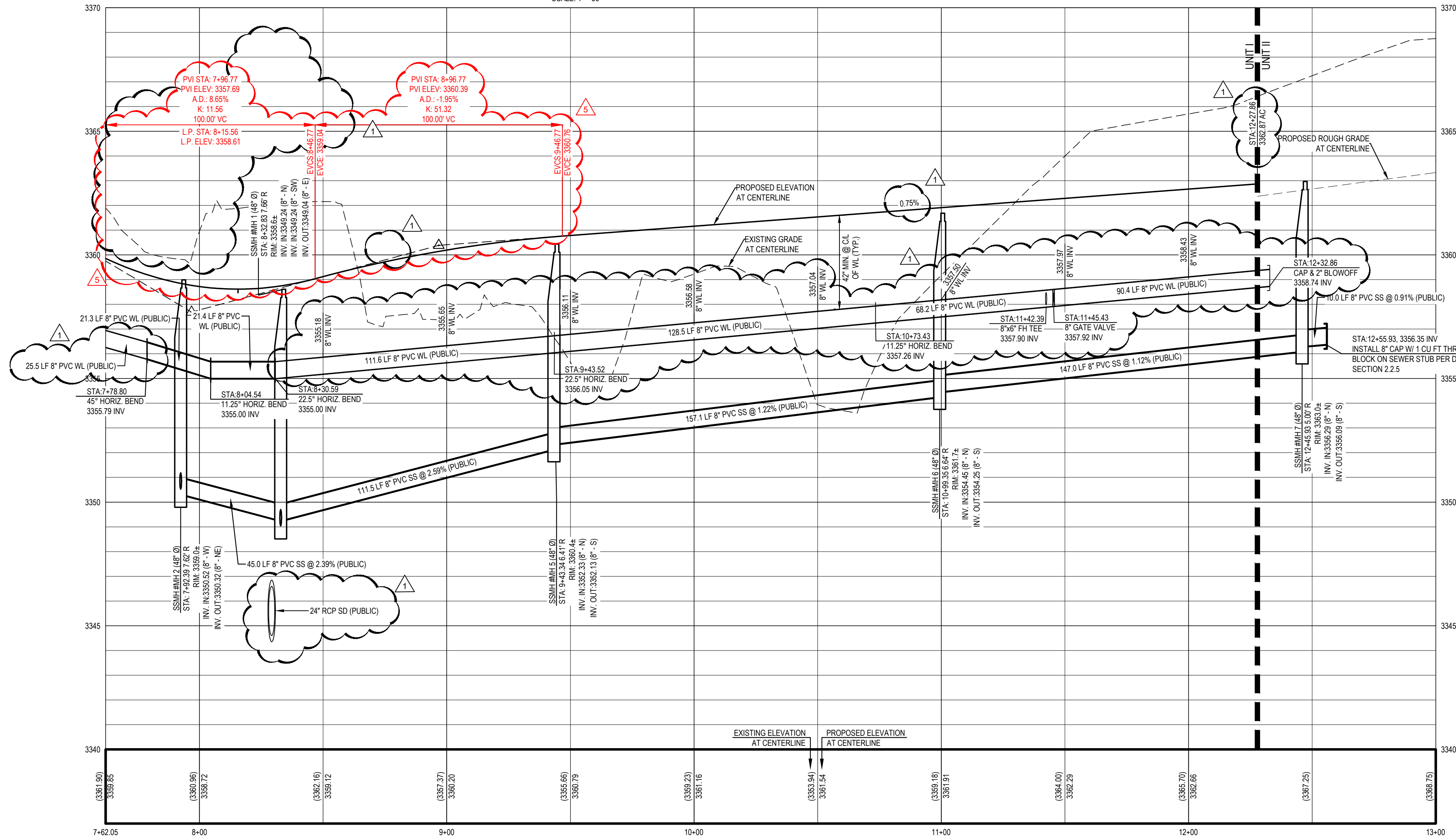


3283 E. Warm Springs Rd., Suite 300
Las Vegas, NV 89120
www.Actus-NV.com
(702) 886-9296

Plot Stamp: 9/14/2020 9:54:56 AM - Ryan Soper
File: P:\ML1803 - Paradise Valley CD Models\ML1803-UNIT 1 MODELS-CD-PROF.dwg, Tab: P & P 4



KEY MAP
SCALE: NTS



GRADING CONSTRUCTION NOTES

1. CONSTRUCT 30" MODIFIED ROLL CURB AND GUTTER PER CCAUSD #217.1
2. CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
3. CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234
4. CONSTRUCT 8" CROSS GUTTER PER CCAUSD #228
5. CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE I. "A" & "B" = 8' UNLESS OTHERWISE NOTED
6. CONSTRUCT 5' S' TRANSITION "L" CURB TO TYPE 30" MODIFIED ROLL CURB PER DETAIL "A" ON SHEET C15
7. INSTALL "A" OVER 4" TYPE II AGGREGATE BASE
8. CONSTRUCT PAD PER TYPICAL PAD SECTION DETAIL "B" ON SHEET C15
9. MATCH EX. ASPHALT, CURBS, SIDEWALK, GUTTER, OR VALLEY GUTTER. SAW CUT CLEAN EDGE FOR CONNECTION.
10. INSTALL TEMPORARY 2" OF TYPE II AGGREGATE BASE 95% COMPACTION MEETING REQUIREMENTS FOR H-20 LOADING.
11. CONSTRUCT SIDEWALK RAMP PER CCAUSD #235 CASE II. "A" & "B" = 6.5' UNLESS OTHERWISE NOTED
12. CONNECT TO EX. SD LINE (CONTRACTOR TO VERIFY SIZE, INVERT AND LOCATION OF EX. SD)
13. CONSTRUCT WROUGHT IRON FENCE PER DETAIL "C" ON SHEET C15
14. CONSTRUCT SIDEWALK DRAIN PER CCAUSD #236
15. EXISTING RIP-RAP CHANNEL TO BE REMOVED.
16. EXISTING AC PAVEMENT TO BE REMOVED
17. EXISTING FENCE TO BE REMOVED
18. EXISTING CONCRETE PAD TO BE REMOVED
19. CONSTRUCT MODIFIED TYPE "CM2" DROP INLET PER STRUCTURAL DETAILS ON SHEET 50.00
20. INSTALL TEMPORARY RIP-RAP PAD ($D_{50} = 6"$, THICKNESS = 12")
21. CONSTRUCT GATES PER LANDSCAPE PLANS & DETAILS
22. INSTALL TYPE "A" ISLAND CURB PER CCAUSD #219
23. CONSTRUCT GATES PER CCAUSD #425 S1
24. INSTALL TEMPORARY RIP-RAP ($D_{50} = 8"$, THICKNESS = 16")
25. INSTALL 4" DIA. FIXED BOLLARDS SPACED 6' APART O.C. 1' BEHIND BACK OF SIDEWALK PER CCAUSD #425 S1
26. INSTALL CALL BOX FOR ENTRY GATES
27. INSTALL PEDESTRIAN ACCESS GATE PER DETAIL "D" ON SHEET C15

DROP INLET NOTE

WHERE 10 FEET PARALLEL SEPARATION IS NOT PRACTICABLE, CAST-IN-PLACE MONOLITHIC POUR WITH WATERSTOP BETWEEN SLAB AND WALLS. BASE, WALLS AND TOP TO BE CONSTRUCTED WITH WATERSTOPS, CENTER BULL, OR FLAT STRIP, (VIVIX, GREENSTREAK PLASTIC PRODUCTS OR APPROVED EQUAL)

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		PUBLIC RW LINE
		BOUNDARY LINE
		CUT / FILL LINE
		CENTERLINE
		CURB & GUTTER
		SAWCUT LINE
		GRADE BREAK
		MINOR CONTOUR - 1'
		SCARP
		PROPOSED ASPHALT PAVEMENT
		RIP-RAP
		SECTION MARKER - DETAIL NUMBER ABOVE SHEET NUMBER
		SIGHT VISIBILITY ZONE

COMMON ABBREVIATIONS	
FF - FINISHED FLOOR	TRC - TOP OF 30" ROLL CURB
AC - TOP OF CURB	AC - TOP OF PAVEMENT
FL - FLOWLINE GRADE	EP - EDGE OF PAVEMENT
TB - TOP OF BERM	TRW - TOP OF RETAINING WALL
TF - TOP OF WALL FOOTER	PRV - PRIVATE
ST - STREET	TYP - TYPICAL
ESMT - EASEMENT	R/W - RIGHT-OF-WAY
TMH - TOP OF MANHOLE (RIM ELEV.)	DG - DESIGN GRADE

GRADING NOTES

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SIGHT VISIBILITY ZONE NOTE

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PLEASE REFER TO TRAFFIC PLANS FOR SIGHT VISIBILITY ZONE DIMENSIONS.

FOR ALL DRY UTILITY CROSSINGS

- MAINTAIN MINIMUM 12" VERTICAL SEPARATION AT ALL POINT OF CROSSINGS
- MAINTAIN MINIMUM 3" PARALLEL SEPARATION
- ANY EXCAVATION AT BACK OF CURB MUST REMAIN OPEN FOR INSPECTION OF COPPER SERVICE LATERALS. ANY COPPER SERVICE LATERAL KINKED, BENT OR OTHERWISE DAMAGED MUST BE REPLACED FROM THE MAIN TO THE ANGLE METER STOP.

LVVWD NOTES

1. ALL SEWER / STORM DRAIN CROSSING WATER LINES MUST COMPLY WITH UDACS SECTION 2.22
2. PROTECT IN PLACE AND ADJUST LVVWD EXISTING FACILITIES TO FINISHED GRADE PER UDACS. ALL LVVWD FACILITIES SHALL BE ACCESSIBLE AT ALL TIMES.
3. ALL WATERLINE FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH "UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS" (UDACS) LATEST EDITION.
4. INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTING, PER UDACS PLATE #15.
5. THE DISTRICT CANNOT GUARANTEE A WATER TIGHT SHUTDOWN WHERE CONNECTIONS OR REPAIRS TO EXISTING FACILITIES ARE REQUIRED. THE CONTRACTOR SHALL ENSURE ALL LABOR AND EQUIPMENT IS AVAILABLE TO REMOVE FUGITIVE WATER THAT MAY IMPED CONSTRUCTION AT ALL TIMES. COORDINATION WITH INSPECTION DIVISION MUST TAKE PLACE PRIOR TO ANY TRIAL SHUTDOWN. CONTRACTOR TO INSTALL TEMPORARY SERVICE TO ENSURE PROPER SHUTDOWN IN THE EVENT NO OTHER APPURTENANCES ARE AVAILABLE.
6. WATER MAIN JOINT DEFLECTOR PER UDACS 2.07.01 AND 2.07.03.
7. DEPTH OF COVER DURING CONSTRUCTION
MAINTAIN MINIMUM TWENTY-FOUR (24) INCH COVER PER UDACS SECTION 2.08.04. GRADING MUST BE COMPLETED PRIOR TO WATERLINE INSTALLATION.
8. ALL ABOVE GROUND OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO: LANDSCAPE BOLLARDS, FENCES, WALLS, AND SIGNS ARE STRICTLY PROHIBITED WITHIN LVVWD EASEMENT.
9. FIRE SPRINKLER SYSTEM SHALL BE PLUMBED TO THE MASTER TOILET.
NO EXCEPTIONS ALLOWED.



PLEASE REFER TO TRAFFIC SHEETS FOR LINE AND CURVE DATA.

BENCHMARK
CITY OF LAS VEGAS BENCHMARK
MONUMENT ID: SLV02606
RIVET AND PLATE IN TOP OF CURB @ SE CORNER OF CARRIAGE HILL & FAR HILLS
ELEVATION: FEET = 3329.29 (NAVD83) METERS = 994.29 M (NAVD83)

BASIS OF BEARINGS
SOUTH 89°51'25" EAST, BEING THE BEARING OF NORTH LINE OF SECTION 27, TOWNSHIP 21 SOUTH, RANGE 39 EAST, M.D.M., CITY LAS VEGAS, CLARK COUNTY, NEVADA AS PER MAP RECORDED IN FILE 123, PAGE 38 OF PARCEL MAPS, IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDERS.

FORSYTH PARK ST. (PRIVATE) - PROFILE VIEW

HORIZONTAL SCALE: 1" = 30' VERTICAL SCALE: 1" = 3'

UTILITY NOTES

- SEWER FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH "DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS" LATEST EDITION, WHERE APPLICABLE.
- REPLACE ALL TRAFFIC CONTROL DEVICES (SIGNS OR PAVEMENT MARKINGS) UNDER CLARK COUNTY JURISDICTION THAT ARE DISTURBED, DESTROYED, MOVED OR MODIFIED BY TRENCHING ACTIVITY TO CLARK COUNTY SATISFACTION. ALL MATERIALS USED SHALL MEET CLARK COUNTY'S SPECIFICATIONS, OR WILL BE AN APPROVED EQUIVALENT.
- FOR ANY UTILITY CUTS, TRENCH BACKFILL PER CCAUSD #303 THAT APPLIES (SEE NEW TPO SPECS)
- DISPOSAL OF ASBESTOS CEMENT PIPE SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL SEWER/STORM DRAINS CROSSING WATER LINES MUST CONFORM TO SECTION 2.22 OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS) FOR WATER AND STORM MAIN CROSSINGS AND CLEARANCES.
- ADJUST ALL WATER VALVES BOXES TO FINISHED GRADE PER UDACS PLATE NO. 39. VALVE SHALL BE ACCESSIBLE AT ALL TIMES.
- ADJUST ALL MANHOLES TO FINISHED GRADE.
- ADJUST ALL EXISTING UTILITY BOXES/VALVES TO FINISHED GRADE.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITIES CROSSINGS PRIOR TO CONSTRUCTION.
- ENTIRE PROJECT SITE AND ALL PROPOSED LINES ARE PART OF THE 3300 PRESSURE ZONE SYSTEM.
- ELEVATION OF PROPOSED AND EXISTING GAS MAINS ARE NOT KNOWN.
- ALL ON-SITE PRIVATE STREETS ARE ALSO PUBLIC UTILITY EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.
- THIS PROPERTY MAY HAVE STATIC WATER PRESSURE IN EXCESS OF 80 PSI. THE UNIFORM PLUMBING CODE REQUIRES THAT INDIVIDUAL, ON-SITE (PRIVATE), PRESSURE-REDUCING VALVES (PRV) BE INSTALLED WHENEVER THE PRESSURE EXCEEDS 80 PSI. PRVS ARE THE DEVELOPER'S RESPONSIBILITY, AND WILL NOT BE INSPECTED OR INCLUDED IN THE ACCEPTANCE OF LVVWD FACILITIES.

DEDICATION NOTE

ALL EASEMENTS, RIGHT-OF-WAY, AND OTHER DEDICATIONS WITHIN THIS PLAN SET ARE GRANTED PER FM 77500 UNLESS OTHERWISE NOTED

PRIVATE STREET NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE PROJECT.

COMMON LOT NOTE

ALL COMMON LOTS ARE TO BE PUBLIC DRAINAGE, PEDESTRIAN ACCESS, UTILITY, SEWER, AND PRIVATE LANDSCAPE EASEMENTS OVER THEIR ENTIRETY TO BE PRIVATELY MAINTAINED BY THE HOA PER THE APPROVED FINAL MAP FOR THE PROJECT.

SOILS NOTE

ALL GRADING SHALL CONFORM TO GEOTECHNICAL REPORT BY: GEOTEK RESIDENTIAL, LLC
ORIGINAL PROJECT NUMBER: 14658-LVR
DATED: MARCH 5, 2019
UPDATED: APRIL 17, 2019

STORM DRAIN CONNECTION NOTE

WHEN CONNECTING TO EXISTING ROP, CONTRACTOR SHALL REMOVE THE EXISTING ROP TO THE NEAREST BELL CONNECTION, CONNECT NEW ROP TO EXISTING ROP AND MATCH EXISTING PIPE SLOPE.

FLOOD ZONE DESCRIPTION

THIS SITE IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C21502 CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

FLOOD DESIGNATION PROVIDED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA)

DISCLAIMER NOTE

THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

PLAN & PROFILE - FORSYTH PARK ST.

SAVANNAH - UNIT 1

WILLIAM LYON HOMES

CITY OF LAS VEGAS, NEVADA

DATE	DESCRIPTION	BY
2010/05/20	REVISED WL & GRADING DUE TO REGRADING	RLS
2010/05/22	REVISED DROP INLET LOCATION, CURB & GUTTER	RLS
2010/06/04	RE-GRADED CENTERLINE TO ACCOMMODATE	RLS



9/14/2020

DATE	02/18/2020
DRAWN	RWF/RLS
DESIGNED	RWF/RLS
CHECKED	ALW/DCL
PROJECT #	WLH011803

SHEET TITLE
PLAN & PROFILES
SHEET NUMBER

C19

SHEET #19 OF 27

107Y5116 L19-01866