

DS #:

5130

APN:

125-07-210.007

PROJECT:

Chase Bank - Skye Canyon Village

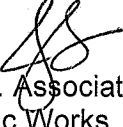
SUBMITTAL:

1st

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		May 9, 2019
TO: Land Development Services Department of Building & Safety		FROM: Jennifer Shinn, P.E.  Flood Control, Engr. Associate Department of Public Works
SUBJECT:	Drainage Study for:	COPIES TO:
	Chase Bank – Skye Canyon Village	Zell Company
Cross Streets:	NWC of Skye Canyon Park Drive & Grand Canyon Drive	DLR Group
File Number:	F:\Depot\DSMemos\DS5130A.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-07-210-007	
Zoning Action:	SDR-74661	
FEMA Flood Zone	YES NO X	
Proposed Storm Drain	YES X NO	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	4/22/2019	5/7/2019 & 5/9/2019	See Comments Below	\$400.00	3102545: \$400
			TOTAL FEES (LDDRS):	\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

- Revise all drop inlets to Type "CM" or Neenah pre-case inlets. Revise all pertinent construction notes and callouts accordingly.
- Provide oil and debris trap (sump and snout) callouts for all proposed drop inlets and provide details.
- City of Las Vegas does not allow HDPE pipe in public rights-of-ways or public drainage easements. Note that City of Las Vegas only allows the use of HDPE storm drain pipes for privately owned and privately maintained storm drain systems which serve and are located exclusively on private properties. Any proposed HDPE storm drain pipes must also meet all design criteria established by the Clark County Regional Flood Control District and must be installed per Clark County Regional Transportation Commission Uniform Standard Drawings and Specifications. Add a note on the Grading Plans: "All onsite storm drain facilities are privately owned and maintained."

In an effort to increase administrative efficiency, for all original and re-submittal packages including updates and the addenda, the City of Las Vegas Public Works Department requires both a hardcopy and a digital copy (PDF) on CD for the drainage study.

A letter sealed and signed by a Nevada registered civil engineer must be included in every submittal certifying documents on the electronic CD matches 100% of the hardcopy submittal. The new submittal requirement is effective on May 1, 2019. If there are any questions regarding these new requirements, please contact Albert Sung in the City Flood Control Section at (702) 229-6541.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
JKS

T/R/S: T20S/R61E/34
AREA M-34



Phone: 623 • 547 • 2500

Fax: 623 • 547 • 2501

3400 North Dysart Road

Suite 130

Avondale • Arizona

85392

May 8, 2019

City of Las Vegas Flood Control
333 N. Rancho Drive
Las Vegas, Nevada 89106

Attn: Jennifer Shinn
Re: Chase Bank at Skye Canyon
Catch Basin Calculations
ZCJN 18-068

DESIGN STORM: 100-YEAR
METHODOLOGY: RATIONAL METHOD

DRAINAGE AREA: 15,965 S.F.
0.36 ACRES
RUNOFF "C" FACTOR: 0.9
TIME OF CONCENTRATION: 5 MINUTES
INTENSITY: 6.17 IN/HOUR
Q_{PEAK}: 2.0-CFS

ONSITE RUNOFF IS ROUTED TO A 2'X 3' JENSEN PRECAST DROP INLET OPERATING IN A SUMP CONDITION. THE PARKING LOT CROSS SLOPE AT THE INLET LOCATION IS 1%. ASSUMING A 50% CLOGGING FACTOR, THE DEPTH OVER THE INLET IS 3.3". SINCE THE CURB HEIGHT IN THIS LOCATION IS 6", AND THE MAXIMUM DEPTH OF POND ON THE PARKING LOT IS 4.8" PRIOR TO BREAKING OUT TO THE NORTH, THE 100-YEAR FLOW IS CONTAINED WITHIN THE CHASE PARKING LOT.

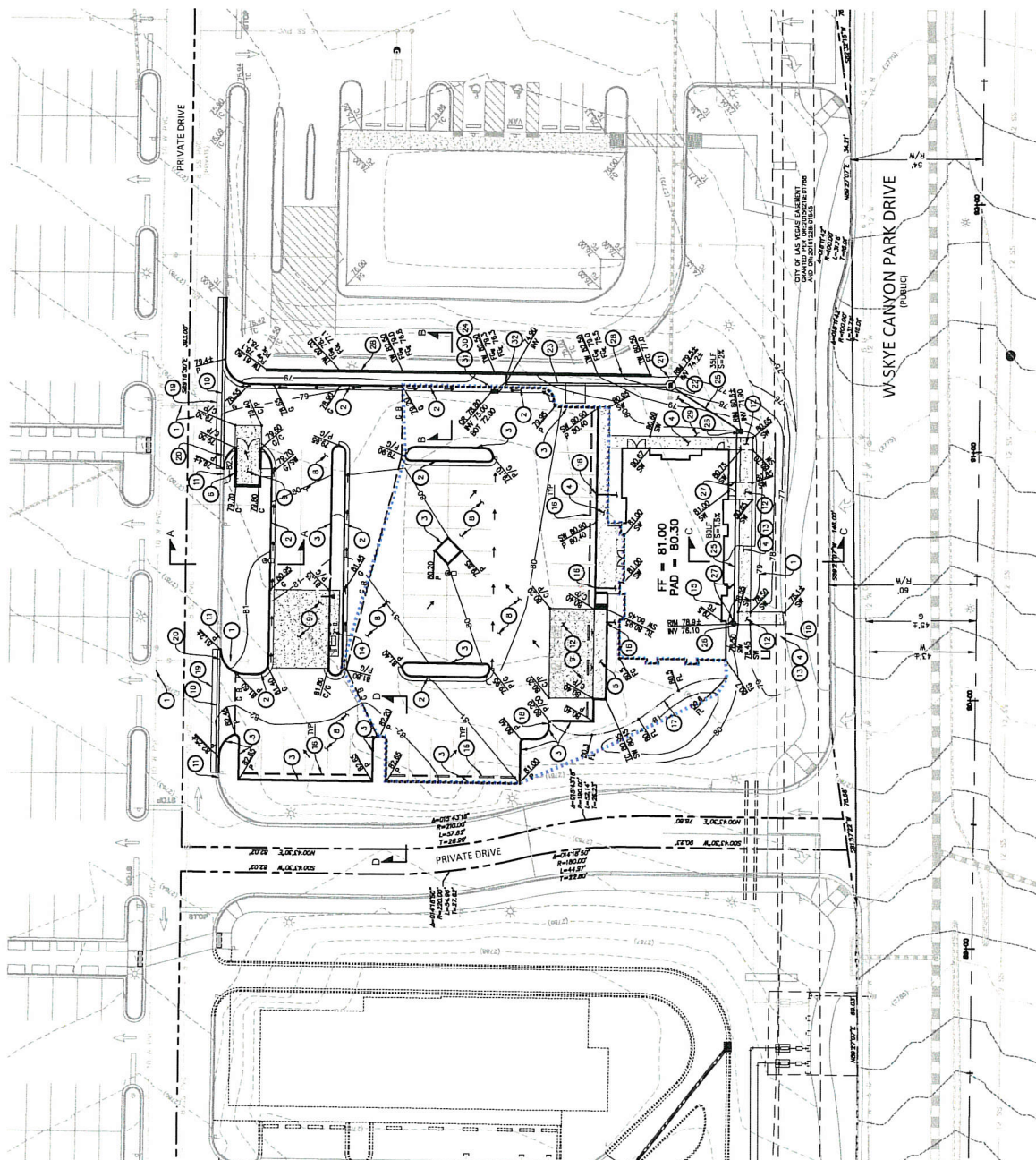
SEE ATTACHED DRAINAGE AREA SKETCH AND CALCULATIONS.

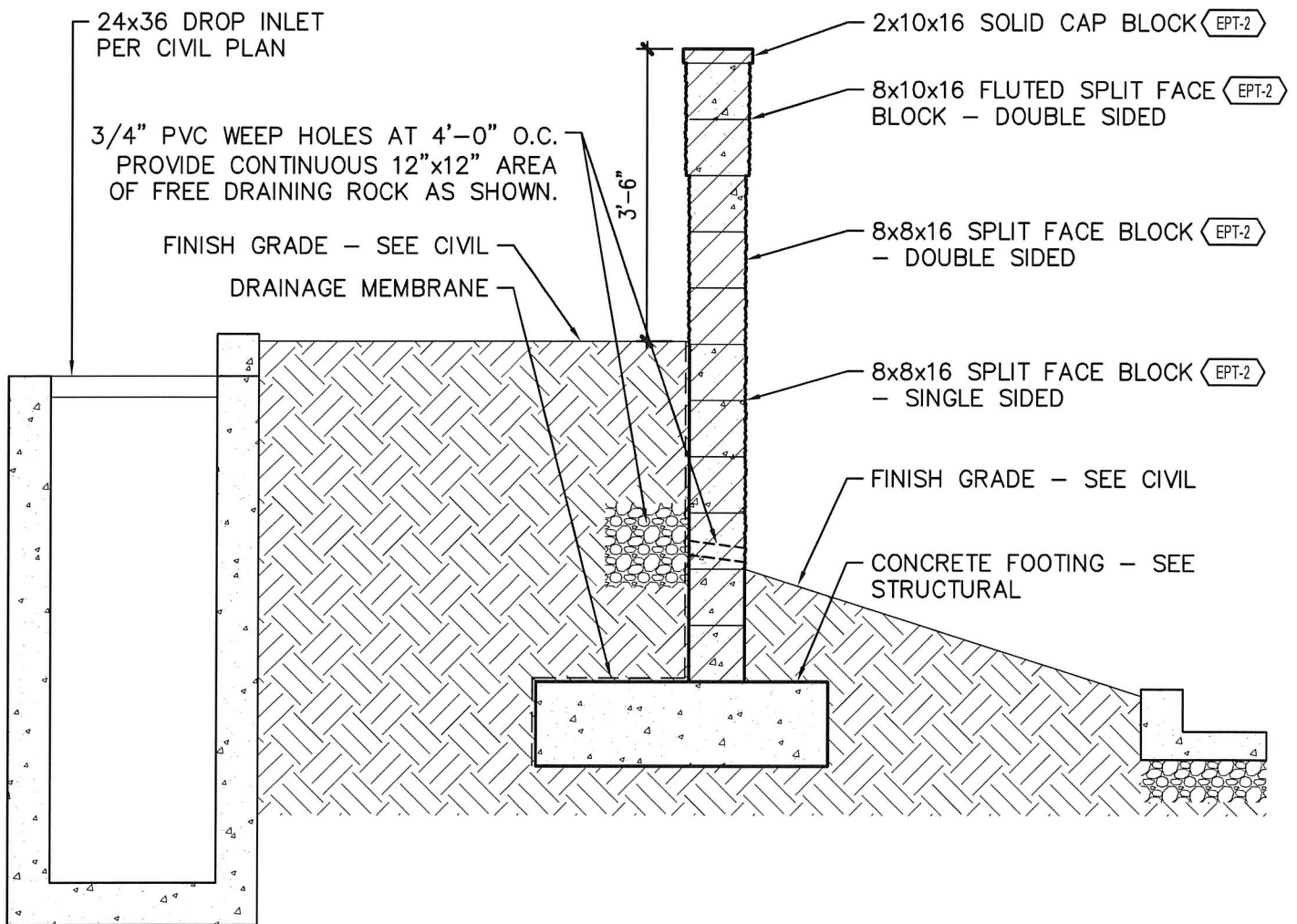


at your service

Worksheet for Chase Curb Inlet

Project Description	
Solve For	Spread
Input Data	
Discharge	2.00 cfs
Gutter Width	2.00 ft
Gutter Cross Slope	0.010 ft/ft
Road Cross Slope	0.010 ft/ft
Grate Width	2.00 ft
Grate Length	3.0 ft
Local Depression	0.0 in
Local Depression Width	0.0 in
Grate Type	P-50 mm (P-1 -7/8")
Clogging	50.0 %
Results	
Spread	27.7 ft
Depth	3.3 in
Gutter Depression	0.0 in
Total Depression	0.0 in
Open Grate Area	2.7 ft ²
Active Grate Weir Length	5.0 ft





RETAINING WALL DETAIL

SCALE: 1/2" = 1'-0"

DET030

DRAWN JCG

DATE 8.MAY.2019

PROJECT 18105.00

CHECKED

AGS 5300 NORTH HAYDEN ROAD, SUITE A-309
SCOTTSDALE, ARIZONA 85258

T: 480.958.0709
WWW.APMI.COM

APMI
ARCHITECTURE PLANNING INTERIORS

HWY 95 AND SKY CANYON

CHASE

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA



**LAS VEGAS
CITY COUNCIL**

CAROLYN G. GOODMAN
Mayor

LOIS TARKANIAN
Mayor Pro Tem

STAVROS S. ANTHONY
BOB COFFIN
STEVEN G. SEROKA
MICHELE FIORE
CEDRIC CREAR

SCOTT D. ADAMS
City Manager

DEPARTMENT OF PLANNING
ROBERT SUMMERFIELD
DIRECTOR

**DEVELOPMENT
SERVICES CENTER**
DEPARTMENT OF PLANNING
333 N. RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NV 89106
702.229.6301 | VOICE
702.474.7463 | FAX
711 | TTY



cityoflasvegas
lasvegasnevada.gov

November 14, 2018

RECEIVED
NOV 19 2018
APMI, INC

Mr. Tom Fehrman
Remington Skye, LLC
5920 South Rainbow Boulevard, Suite #11
Las Vegas, Nevada 89118

**RE: SDR-74661 [PRJ-74459] – SITE DEVELOPMENT PLAN REVIEW –
PUBLIC HEARING
PLANNING COMMISSION MEETING OF NOVEMBER 13, 2018**

Dear Applicant:

The Planning Commission at a regular meeting held on November 13, 2018 voted to **APPROVE** a request for a Site Development Plan Review FOR A PROPOSED 3,650 SQUARE-FOOT FINANCIAL INSTITUTION, GENERAL (WITH DRIVE-THOUGH) ON PAD G OF AN EXISTING SHOPPING CENTER on 6.13 acres at the northeast corner of Skye Park Drive and W Skye Canyon Park Drive (APN 125-07-210-007), T-D (Traditional Development) Zone [GC (General Commercial) Skye Canyon Special Land Use Designation], Ward 6 (Fiore) [PRJ-74459].

This approval is subject to the following conditions:

Planning

1. Conformance to the approved conditions for Site Development Plan Review (SDR-63598) shall be required.
2. Master Sign Plan (MSP-72987) shall be amended to depict the proposed signage for all pad sites not included with the original master sign plan approval.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 09/26/18 except as amended by conditions herein.

5. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
6. These Conditions of Approval shall be affixed to the cover sheet of any plan set
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
8. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
9. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

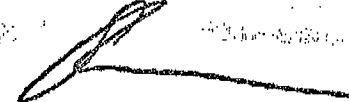
10. An Update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
12. Site development to comply with all applicable conditions of approval for the Skye Canyon II Tentative Map (TMP-58560), Site Development Plan Review SDR-63598 and all other applicable site-related actions.

This action by the Planning Commission on **November 13, 2018** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests submitted please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **November 26, 2018**.

SDR-74661 [PRJ-74459] - Page Three
November 14, 2018

No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:nl

cc:

Mr. Adam Siros
APMI, Inc.
8300 North Hayden Road
Scottsdale, Arizona 85258

Mr. Juan Gonzales
APMI, Inc.
8300 North Hayden Road
Scottsdale, Arizona 85258

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

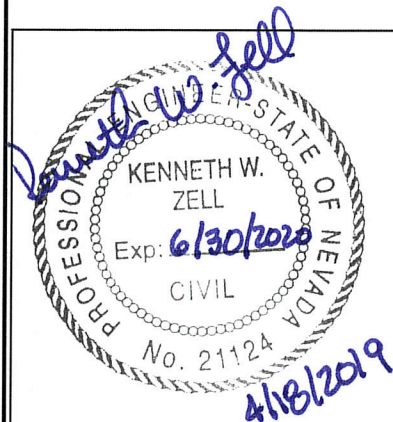
Name of Development: CHASE AT SKYE CANYON Date: 4/18/2019
Location of Development: a) Descriptive (Cross Streets) North/South: N. GRAND CANYON DRIVE
East/West: W. SKYE CANYON PARK DRIVE
b) Section: 7 Township: 19 SOUTH Range: 60 EAST
c) APN: 125-07-210-007

Name of Owner: JP MORGAN CHASE
Telephone No.: 602-221-4601 Fax No.: _____ E-Mail Address: JOE.M.HERNANDEZ@JPCHASE.COM
Address: 201 N. CENTRAL AVE. 25TH FLOOR PHOENIX, AZ 85004

Contact Person-Name: KENNETH ZELL Telephone No.: 623 547 2500
* E-Mail Address: kzell@zell-co.com Fax No.: 623 547 2501
Firm: ZELL COMPANY, LLC
Address: 3400 N. DYSART RD #130, AVONDALE, AZ 85392
Type of Land Development/Land Disturbance Process:

☐ Rezoning	☐ Subdivision Map	☐ Clearing and Grading Only
☐ Parcel Map	☐ Planned Unit Development	☐ Other (Please specify below)
☐ Large Parcel Map	☒ Building Permit	

1. Total Owned Land Area: At Site: 1.12 ACRE Being Developed/Disturbed: 1.12 ACRES
2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No
3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No
4. Proposed type of development (Residential, Commercial, Etc.): COMMERCIAL
5. Approximate upstream land area which drains to the subject site: 1.6 SQUARE MILES +/-
6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: MDS FOR KYLE CANYON (SH6, D54420); TDS FOR SKYE CANYON VILLAGE (AWA)
7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: PER TDS, SKYE CANYON VILLAGE DISCHARGES INTO EPHEMERAL WASH CROSSING GRAND CANYON DRIVE APPROXIMATELY 100 FT NORTH OF SKYE CANYON PARK DRIVE
8. Briefly describe your proposed schedule for the subject project:
ANTICIPATED START DATE OF 6/3/2019.
ANTICIPATED OPENING DATE OF 1/30/2020



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

Project Name: <u>CHASE AT SLYE CANYON</u>		Map ID:
Firm Name: <u>ZELL COMPANY, LLC</u>		Engineer: <u>KENNETH W. ZELL</u>
Address: <u>3400 N. DYSART ROAD #130</u>		
City: <u>AVONDALE</u>	State: <u>ARIZONA</u>	Zip: <u>85392</u>
Phone Number: <u>623 547 2500</u>	Fax Number: <u>623 547 2501</u>	
Property Owner: <u>JP MORGAN CHASE</u>		
Address: <u>201 N. CENTRAL AVENUE 25TH FLOOR</u>		
City: <u>PHOENIX</u>	State: <u>ARIZONA</u>	Zip: <u>85004</u>
Reviewed By:	Date Received:	Date Accepted for Review:

The following checklist is intended as a guide for the engineer preparing a Technical Drainage Study to submit to the local entity and Clark County Regional Flood Control District (if necessary). The listed items are the minimum information required prior to the entity performing a review. The engineer will remain responsible to ensure the Technical Drainage Study is prepared within the guidelines as set forth in the Clark County Regional Flood Control District (CCRFCDD) Hydrologic Criteria and Drainage Design Manual (MANUAL).

This document is intended as an aid in preparing Technical Drainage Studies. Each study submitted is reviewed for compliance with local and regional criteria. This form is not intended to be all inclusive and does not limit the extent of the information, calculations or exhibits which may be necessary to properly evaluate the intended land use.

If items are not applicable for the subject site, provide N/A.

I. GENERAL REQUIREMENT

- | | | |
|------------|------------|--|
| Yes | No | |
| <u>/</u> | | Design Manual Standard Form 1 with the engineer's seal and signature. |
| <u>N/A</u> | | Design Manual Standard Form 4 . |
| <u>/</u> | | 2 copies of the 24" x 36" Drainage Plan. |
| | <u>N/A</u> | A notarized letter from the adjacent property owner(s) allowing off-site grading or discharge. |

II. MAPS AND EXHIBITS

- | | | |
|----------|----|--|
| Yes | No | |
| <u>/</u> | | A copy of a current Flood Insurance Rate Map (FIRM) with the site delineated. |
| <u>/</u> | | A copy of the current CCRFCDD Master Plan Update Figure, (F-x), for Flood Control Facilities and Environmental areas with the site delineated. |

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

II. MAPS AND EXHIBITS (Continued)

- | Yes | No | |
|---------------|---------------|--|
| <u> </u> | <u>N/A</u> | Off-site drainage basin maps for existing, interim and future conditions showing the existing topography, basin boundaries, concentration points, and flows in cfs. |
| <u> </u> | <u>N/A</u> | On-site drainage basin maps for existing and proposed conditions showing the existing topography, basin boundaries, concentration points, and on-site and off-site flows in cfs. |
| <u> / </u> | <u> </u> | Vicinity Map with local and major cross streets identified and a north arrow. |

III. DRAINAGE PLAN

- | Yes | No | |
|---------------|---------------|---|
| <u> / </u> | <u> </u> | Sheet size: 24" x 36" sealed by a registered engineer in the State of Nevada. |
| <u> / </u> | <u> </u> | Minimum scale: 1" = 60'. |
| <u> / </u> | <u> </u> | Project name. |
| <u> / </u> | <u> </u> | Vicinity Map with local and major cross streets. |
| <u> / </u> | <u> </u> | Revision box. |
| <u> / </u> | <u> </u> | North arrow and bar scale. |
| <u> / </u> | <u> </u> | Engineer's/consultant's address and phone number. |
| <u> / </u> | <u> </u> | Elevation datum and benchmark. |
| <u> / </u> | <u> </u> | Legend for symbols and abbreviations. |
| <u> </u> | <u>N/A</u> | Cut/fill scarps, where applicable. |
| <u> / </u> | <u> </u> | Street names, grades, widths. |
| <u> </u> | <u>N/A</u> | Proposed future and existing spot grades for top of curbs and street crowns at lot lines, grade breaks, and along curb returns on both sides of the street. |
| <u> / </u> | <u> </u> | Existing contours encompassing the site and 100 feet beyond with spot elevations for important locations, where appropriate. |
| <u> / </u> | <u> </u> | Minimum finish floor elevations with top-of-curb elevations at upstream end of lot. |
| <u> </u> | <u>N/A</u> | Proposed typical street sections. |

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

III. DRAINAGE PLAN (Continued)

Yes	No	
<u> </u>	<u>N/A</u>	Streets with off-set crowns.
<u>/</u>	<u> </u>	Proposed contours or spot elevations in sufficient detail to exhibit intended drainage patterns and slopes.
<u>/</u>	<u> </u>	Property lines.
<u>/</u>	<u> </u>	Right-of-way lines and widths, existing and proposed.
<u>/</u>	<u> </u>	Existing improvements and their elevations.
<u> </u>	<u>N/A</u>	Delineation of proposed on-site drainage basins indicating area and 10-year and 100-year storm peak flows at basin concentration points.
<u> </u>	<u>N/A</u>	Concentration points and drainage flow direction with Q_{100} and V_{100} and D_{100} in streets.
<u> </u>	<u>N/A</u>	Cumulative flows, velocity, and direction of flow at upstream and downstream ends of site for the 10-year and 100-year flows.
<u> </u>	<u>N/A</u>	Location and cross-section of street capacity calculations.
<u> </u>	<u>N/A</u>	Cross-sectional detail for channels, including cutoff wall locations.
<u>/</u>	<u> </u>	Existing and proposed drainage facilities, appurtenances, and connections (i.e., sidewalk, ditches, swales, storm drain systems, unimproved and improved channels, and culverts, etc.) stating size, material, shape, and slope with plan and profile and HGL calculations.
<u> </u>	<u>N/A</u>	Existing and proposed drainage easements and widths shown with sufficient detail. A cross sectional detail must be provided that shows appropriate lining and reinforcement.
<u> </u>	<u>N/A</u>	Location and detail of existing, proposed, and future block wall openings. Minimum size is 16" x 48". Wrought iron gate is required for flows > 10 cfs.
<u> </u>	<u>N/A</u>	Location and detail of flood walls illustrating depth of flow, proposed grouting height, etc.
<u>/</u>	<u> </u>	Perimeter retaining wall locations. All existing and proposed walls (retaining screen and flood) must be shown with adjacent ground elevations. Flood walls with 8-inch concrete masonry unit.
<u>/</u>	<u> </u>	Building and/or lot numbers.
<u> </u>	<u>N/A</u>	Alignment of all existing, proposed, or future Regional Facilities adjacent to the site.
<u> </u>	<u>N/A</u>	Limits of existing floodplain based on current FIRM or best available information; limits of proposed floodplains based on best available information.

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

III. DRAINAGE PLAN (Continued)

Yes No

- _____ N/A For areas in Zone A, AE, AH, and AO, base flood elevations (BFEs) must be shown for each lot; BFEs may be listed on each lot, or in a table. Finish floor elevations must be a minimum of 18 inches above BFE.
- _____ N/A Appropriately elevated "humps" 6 inches above the 100 year water surface elevation at site accesses where the intent is to protect the site from the Q_{100} flows.
- _____ N/A Street slopes for perimeter and interior streets. The minimum slope is 0.4 percent.
- / _____ Location and detail of best management practice (BMP) for parking lots and low impact development (LID) (if required).

IV. HYDROLOGIC ANALYSIS

Yes No

- _____ N/A Appropriate soil information and Soils Map for existing and future conditions with subbasins and property delineated.
- _____ N/A Input and output information for existing conditions from computer models (HEC-1 or TR-55). The flow routing diagram must be provided with HEC-1 models.
- _____ N/A Input and output information for future conditions from computer models (HEC-1 or TR-55). The flow routing diagram must be provided with HEC-1 models.
- _____ N/A Use of correct precipitation values in and around the McCarran Airport rainfall area.
- _____ N/A A discussion in the text of the hydrologic analysis justifying subbasin boundaries and cutoffs, supporting assumptions, and calculations.
- _____ N/A A summary table of stormwater flows showing basin area, Q_{10} and Q_{100} for both individual basins and combined basin flows, where applicable.
- _____ N/A Copies of supporting technical information referenced from a previously approved study and a statement accepting these results.
- _____ N/A On-site facilities must perpetuate flows through or around the site without significantly impacting adjacent property owners in accordance with current Nevada Drainage Law.
- _____ N/A Calculation for impervious area for parking lots and LIDs (if required).

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

V. HYDRAULIC ANALYSIS

Yes No

- | | | |
|----------|------------|---|
| _____ | <u>N/A</u> | Flow split calculations and supporting documentation or reference for the method of flow split calculations used. |
| _____ | <u>N/A</u> | Normal depth street flow calculations and cross section diagrams for all interior and perimeter streets. Provide "d x v" products for the Q_{100} and Q_{10} flows representing the worst case for interior and all perimeter streets. $Q_{100} d \times v \leq 8$. $Q_{10} d \times v \leq 6$ and 12 foot dry lane for rights-of-way ≥ 80 feet. Calculations must be labeled by street name as indicated on the Grading Plan. |
| _____ | <u>N/A</u> | A summary table of interior and exterior street capacity calculations showing the street name, Q_{100} flow, slope, depth of flow, velocity and depth times velocity product and streets needing to meet 12 foot dry lane criteria. |
| _____ | <u>N/A</u> | Appropriate hydraulic calculations for block wall openings assuming a 50 percent vertical clogging factor. (Assume the lower half of the opening is plugged.) |
| _____ | <u>N/A</u> | Appropriate hydraulic calculations at drainage easement entrance and discharge locations to set finish floor elevations. Hydraulic calculations must include submerged weir, superelevation and tee intersection losses, where appropriate. |
| _____ | <u>N/A</u> | Provide necessary freeboard requirements to set the finished floor elevations of all proposed buildings, 2 x depth of flow or depth of flow plus 18 inches of freeboard, whichever is less. The minimum requirement is 6 inches above adjacent upstream top of curb. Buildings adjacent to drainage easements must always be provided with 18 inches of freeboard above the Q_{100} weir height or flow depth, whichever is greater. |
| _____ | <u>N/A</u> | A complete water surface profile analysis (HEC-2, HEC-RAS, etc.) for channel flows and FEMA Zone A flood zones. <ul style="list-style-type: none"> • Field survey data. • Input and output information. • Plotted cross-sections based on survey with proper encroachments. • A map showing the location of the cross-sections. • Analysis of both sub and super-critical flow segments. • A summary table and a discussion of the results in the text of the report. |
| _____ | <u>N/A</u> | Provide a 50 percent clogging factor in the capacity calculation for drop inlets. |
| _____ | <u>N/A</u> | Hydraulic calculations for culverts and storm drains. D-Load calculations must be provided for storm drain pipes in public rights-of-way, including headwater pool inundation. |
| _____ | <u>N/A</u> | The mitigation of nuisance water, both during construction and in the fully developed condition, must be addressed. |
| <u>/</u> | <u>1</u> | Provide BMP type, size and supporting calculations for parking lots and LIDs (if required). |

REFERENCE:

STANDARD FORM 2



CITY OF LAS VEGAS

MINIMUM DRAINAGE STUDY CRITERIA STANDARD FORM 2 CHECKLIST SUPPLEMENT

(Revised 5/18/11)

The following checklist is intended as a supplemental guide for the engineer preparing a Technical Drainage Study submittal to the City of Las Vegas. This supplement focuses on requirements specific to the City of Las Vegas. The requirements presented are in addition to the Clark County Regional Flood Control District (CCRFCD) Manual Standard Form 2. The listed items are the minimum information required prior to the City performing a review. The engineer will remain responsible to ensure the Technical Drainage Study is prepared within the guidelines as set forth in the CCRFCD Hydrologic Criteria and Drainage Design Manual (Design Manual).

An appointment must be made to preview this checklist in conjunction with CCRFCD Standard Form 2 prior to the City accepting a new drainage study for review. The engineer must contact the Flood Control Section at (702) 229-6541 to schedule a submittal appointment.

If items are not applicable for the subject site, provide N/A.

I. GENERAL REQUIREMENT		
Yes	No	
	N/A	A notarized letter from the adjacent property owner(s) allowing off-site grading. (A copy of the letter must be received prior to final acceptance of the drainage study.)
	N/A	Copies of all conditions of approval for development related to this property. (e.g. zoning, use permit, tentative map, etc.) Verify compliance with conditions.
/		An electronic copy of the complete submittal is required to be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output device replicating your submittal. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats. If figures are in color, they must be scanned in color and saved as a separate file. <u> KZ </u> by initial here, the engineer on record acknowledges that the electronic copy is an identical replicate of the original hard copy submitted to the City of Las Vegas.

II. GRADING PLAN INFORMATION		
Yes	No	
/		(1) 24" X 36" copy of the Grading Plan, (including all Detail Sheets) sealed by the engineer.
	N/A	Proposed future and existing spot grades for top of curbs and street crowns at lot lines, grade breaks, and along curb returns on both sides of the street. Note: Proposed top of curb elevations must be provided for both sides of roadways even if only half street construction is required.
/		Label existing topography at a minimum 5 foot elevation interval including adjacent developments, finished floor elevations of existing buildings and top of existing curbs extending 100 feet around the perimeter of the site. (*Measured from the centerline of the adjacent roadway.)

CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

II. GRADING PLAN INFORMATION		
Yes	No	
/		Proposed <u>on-site</u> and off-site storm drains and other flood control facilities with plan and profile sheets for public storm drains showing the class of pipe, (Class III, IV, V, etc.), design hydraulic grade line, (HGL) and 100 year storm flow. A public drainage easement must be provided over on-site storm drains conveying off-site flows. An overflow path must be provided over all storm drains.
/		All existing and "to be constructed" walls with cross-sections showing wall type, (e.g. block wall, retaining wall, flood wall, etc.), with limits clearly defined, adjacent ground elevations. Wall heights must meet current ordinances and in no case exceed 14 feet above the adjacent property.
	N/A	Street slopes for both interior and perimeter streets. Note: The minimum slope for a roadway is 0.4 percent, a minimum 18-inch storm drain must be provided where minimum slopes cannot be met.
/		Back of lot elevations and lot drainage pattern for all lots including common lots.
	N/A	Sites with a grade difference two feet above or below existing ground are required to have approval from City of Las Vegas Current Planning. Current Planning approval is required prior to final approval of the drainage study.
	N/A	On-site facilities must perpetuate flows through or around the site without significantly impacting adjacent property owners. (The project must pass flows through the site every 600 feet where the project is blocking flow paths.)
	N/A	This project uses a solid grouted stem wall (or approved alternate) at the back of sidewalk to provide erosion protection for landscaped areas where the depth of flow in the roadway exceeds the back of walk elevation. A corresponding cross-section detail is included.
/		Commercial and Common Lot Landscape areas are not allowed to drain over the sidewalk. The grading plans show flow lines with grades and sidewalk under drains for all landscape areas draining to the public ROW.

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
	N/A	Concrete valley gutters are required in parking lots with slopes less than 1 percent. Slopes through cul-de-sac must be at a 1 percent minimum where flow is drained through the cul-de-sac.
	N/A	Ten-foot wide public drainage easements to be privately maintained are allowed for flow less than 20 cfs. The depth of flow entering the easement must be checked using the submerged weir calculation.
	N/A	The limits of the flood zones and the base flood elevations (BFE) must be shown on all grading plans for all developments within a Special Flood Hazard Zone A, AO, AE, etc.
/		Minimum finish floor elevation is 6 inches above highest adjacent top of curb. Finish floor calculations must include allowances for super elevations on curves and velocity head for tee intersections.
	N/A	Finished floor elevations for buildings adjacent to public drainage easements must be a minimum of 18 inches above the Q100 weir of submerged weir elevation, whichever is greater.

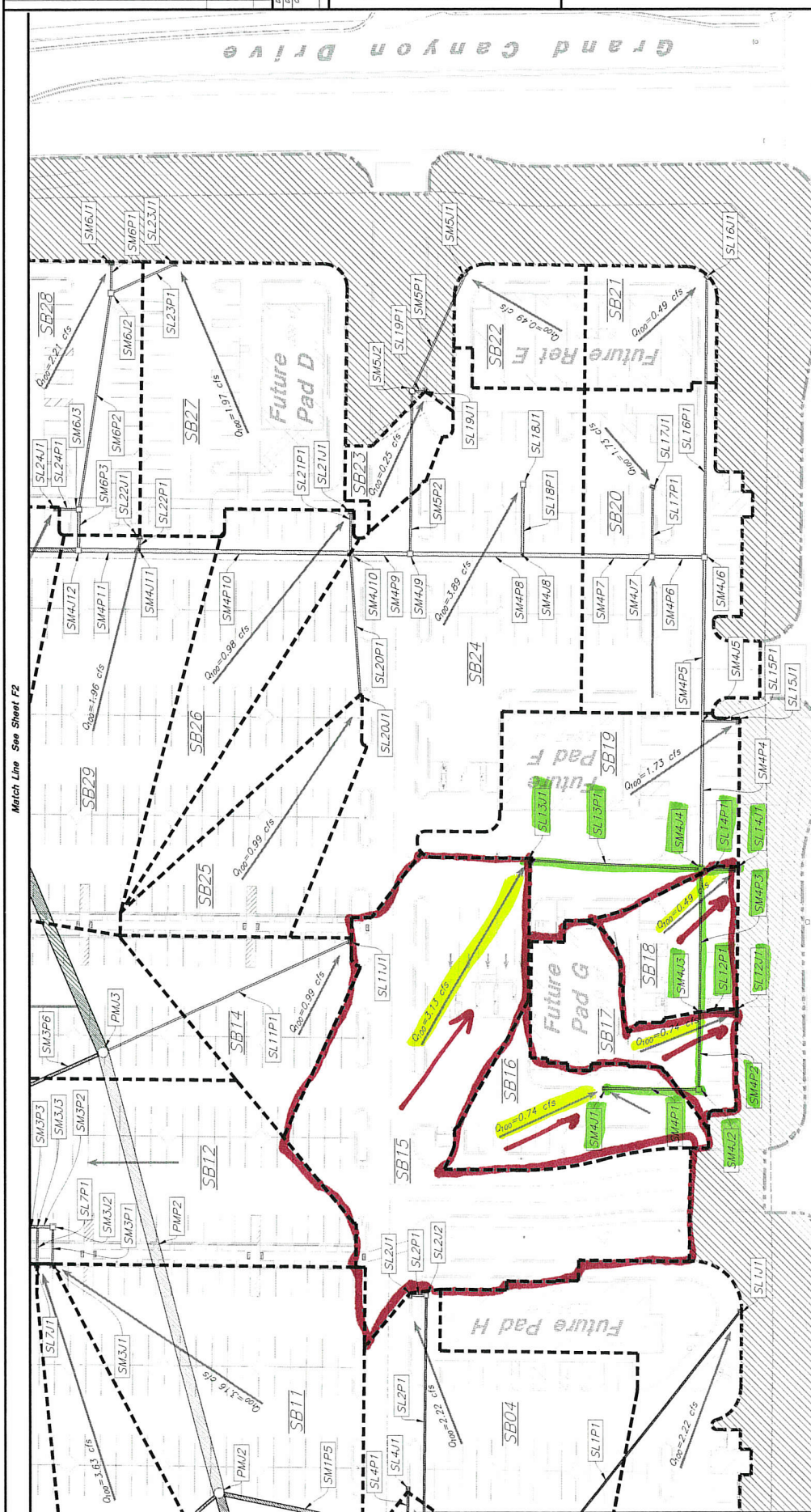
CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
	N/A	Lots with "B and C Type Drainage" that drain from one lot to another through a drainage easement shall be required to install an underground nuisance drainage system or a 2-foot valley gutter. 16" x 24" minimum block wall openings are required for both options.
	N/A	Bubblers are required across 80 foot and greater ROW streets. When flows exceed 10 cfs, bubblers larger than 18 inches will be required up to a maximum of 36". Inlets must be sized to match the pipe size provided.

- Contact the Flood Control Section regarding the drainage study review fee. These fees are payable at the time of submittal.
- The Drainage Study must be conditionally approved prior to submitting improvement plans to the Civil and Planning Development of the Department of Building and Safety for review.

This document is intended as an **aid** in preparing Technical Drainage Studies for the City of Las Vegas. Each study submitted is reviewed for compliance with local and regional criteria. This form is not intended to be all-inclusive and does not limit the extent of the information, calculations or exhibits which may be necessary to properly evaluate the intended land use.

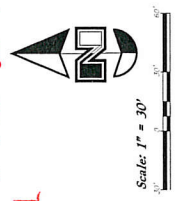
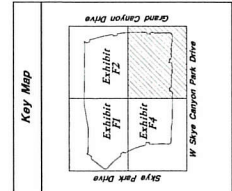




Smith's
FOOD & DRUG STORES
 1550 South Redwood Road
 Salt Lake City, Utah 84104
 Telephone (801) 974-1400

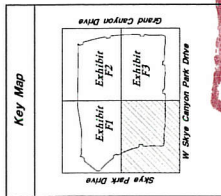
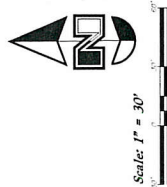
#367

Las Vegas, Nevada

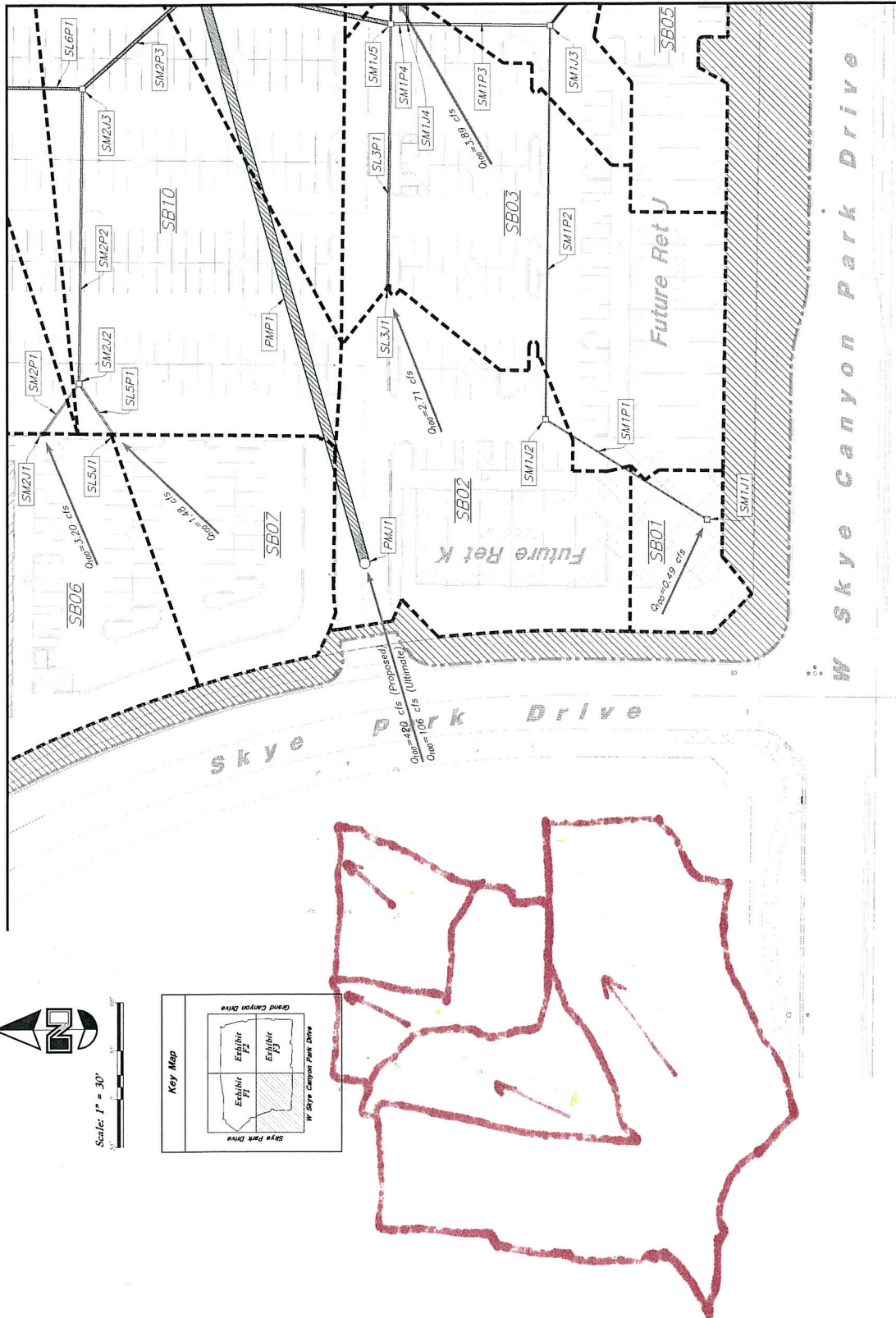


Wsky Canyon Park Drive

SM4J1		SL12P1	12" PVC	0.74cfs	SL13P1	12" PVC	3.1 cfs
SM4P1	12" PVC	SL12J1			SL13J1		
SM4J2	0.73cfs	SM4P3	12" PVC	1.46cfs			
SM4P2	12" PVC	SM4J4					
		SL14P1	12" PVC	0.49cfs			
SM4J3		SL14J1					



Match Line See Sheet F1



Smith's
FOOD & DRUG STORES
1550 South Redwood Road
Salt Lake City, Utah 84104
Telephone (801) 214-1400

#367

Las Vegas, Nevada

15 Jun, 2016

SHEET NO.

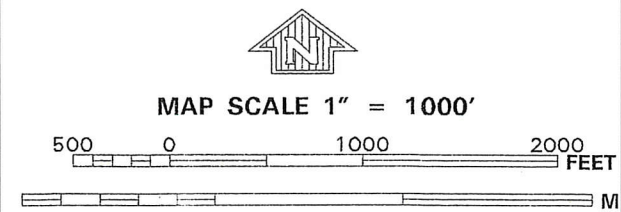
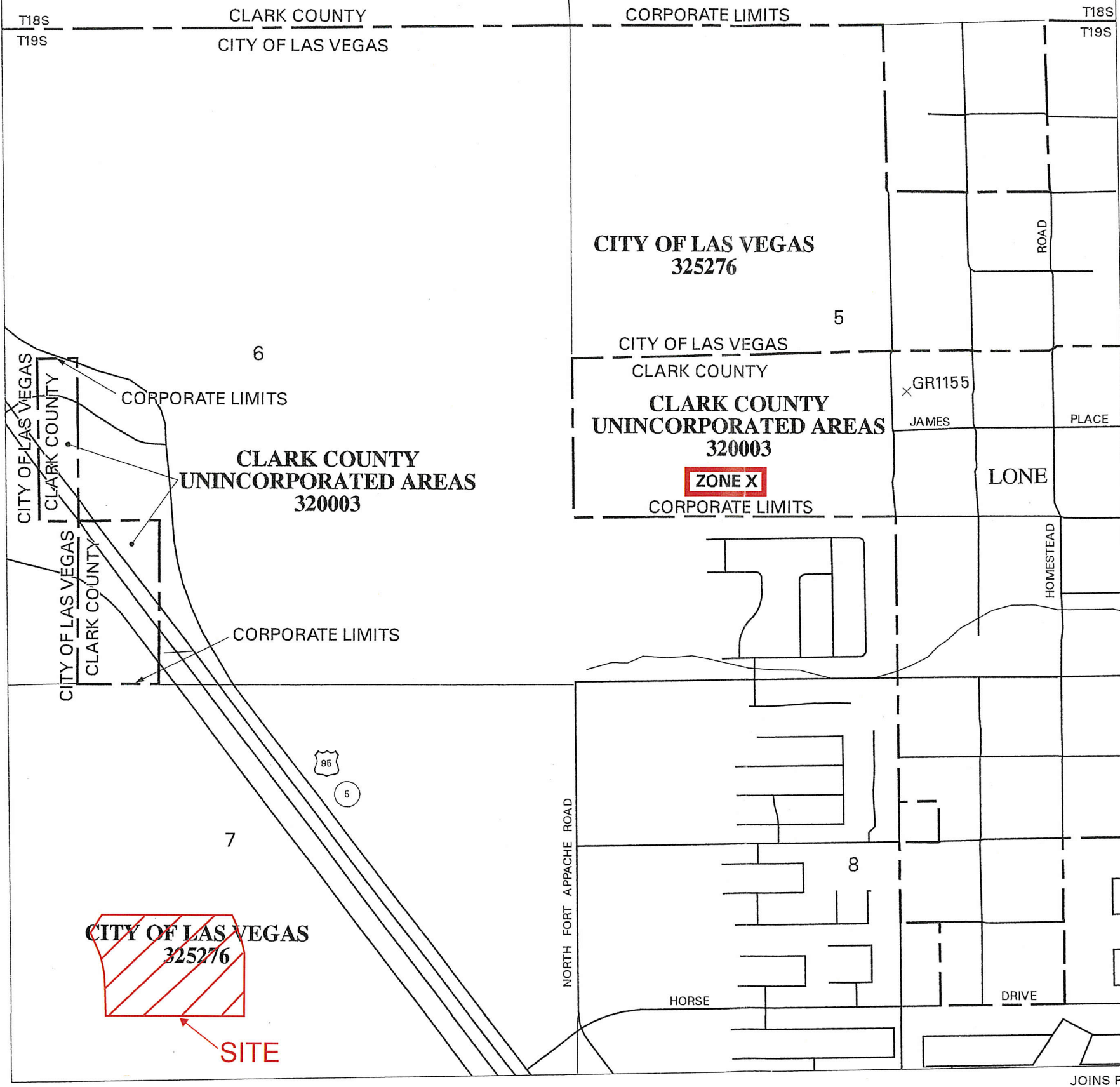
F4

Onsite Drainage Basin & Storm Drain Network Exhibit

Skye Canyon Village
West Skye Canyon Park Drive & Grand Canyon Drive
Las Vegas, Nevada

AM
ANDERSON WAHLEN & ASSOCIATES
2010 Utah Redwood Road, Salt Lake City, Utah 84116
801-571-9529 • andersonwahlens.com

Designed by: ALE
Checked by: JLC
Scale: 1" = 30'
Smith's Food & Drug
Exhibit: Storm Drain



FIRM
FLOOD INSURANCE RATE MAP
CLARK COUNTY,
NEVADA AND
INCORPORATED AREAS

PANEL 1735 E

FIRM
FLOOD INSURANCE RATE MAP
CLARK COUNTY,
NEVADA AND
INCORPORATED AREAS

PANEL 1735 OF 4090
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

COMMUNITY	NUMBER	PANEL	SUFFIX
CLARK COUNTY, UNINCORPORATED AREAS	320003	1735	E
LAS VEGAS, CITY OF	325276	1735	E

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
32003C1735 E
MAP REVISED:
SEPTEMBER 27, 2002

Federal Emergency Management Agency

36°18'45"
115°18'45"

JOINS PANEL 1745

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



Phone: 623 • 547 • 2500

Fax: 623 • 547 • 2501

3400 North Dysart Road

Suite 130

Avondale • Arizona

85392

•

City of Las Vegas Flood Control
333 N. Rancho Drive
Las Vegas, Nevada 89106

Attn: Jennifer Shinn
Re: Chase Bank at Skye Canyon
Catch Basin Calculations
ZCJN 18-068

May 8, 2019

DESIGN STORM: 100-YEAR
METHODOLOGY: RATIONAL METHOD

DRAINAGE AREA: 15,965 S.F.
0.36 ACRES

RUNOFF "C" FACTOR: 0.9
TIME OF CONCENTRATION: 5 MINUTES
INTENSITY: 6.17 IN/HOUR
Q_{PEAK}: 2.0-CFS

ONSITE RUNOFF IS ROUTED TO A 2'X 3' JENSEN PRECAST DROP INLET OPERATING IN A SUMP CONDITION. THE PARKING LOT CROSS SLOPE AT THE INLET LOCATION IS 1%. ASSUMING A 50% CLOGGING FACTOR, THE DEPTH OVER THE INLET IS 3.3". SINCE THE CURB HEIGHT IN THIS LOCATION IS 6", AND THE MAXIMUM DEPTH OF POND ON THE PARKING LOT IS 4.8" PRIOR TO BREAKING OUT TO THE NORTH, THE 100-YEAR FLOW IS CONTAINED WITHIN THE CHASE PARKING LOT.

SEE ATTACHED DRAINAGE AREA SKETCH AND CALCULATIONS.

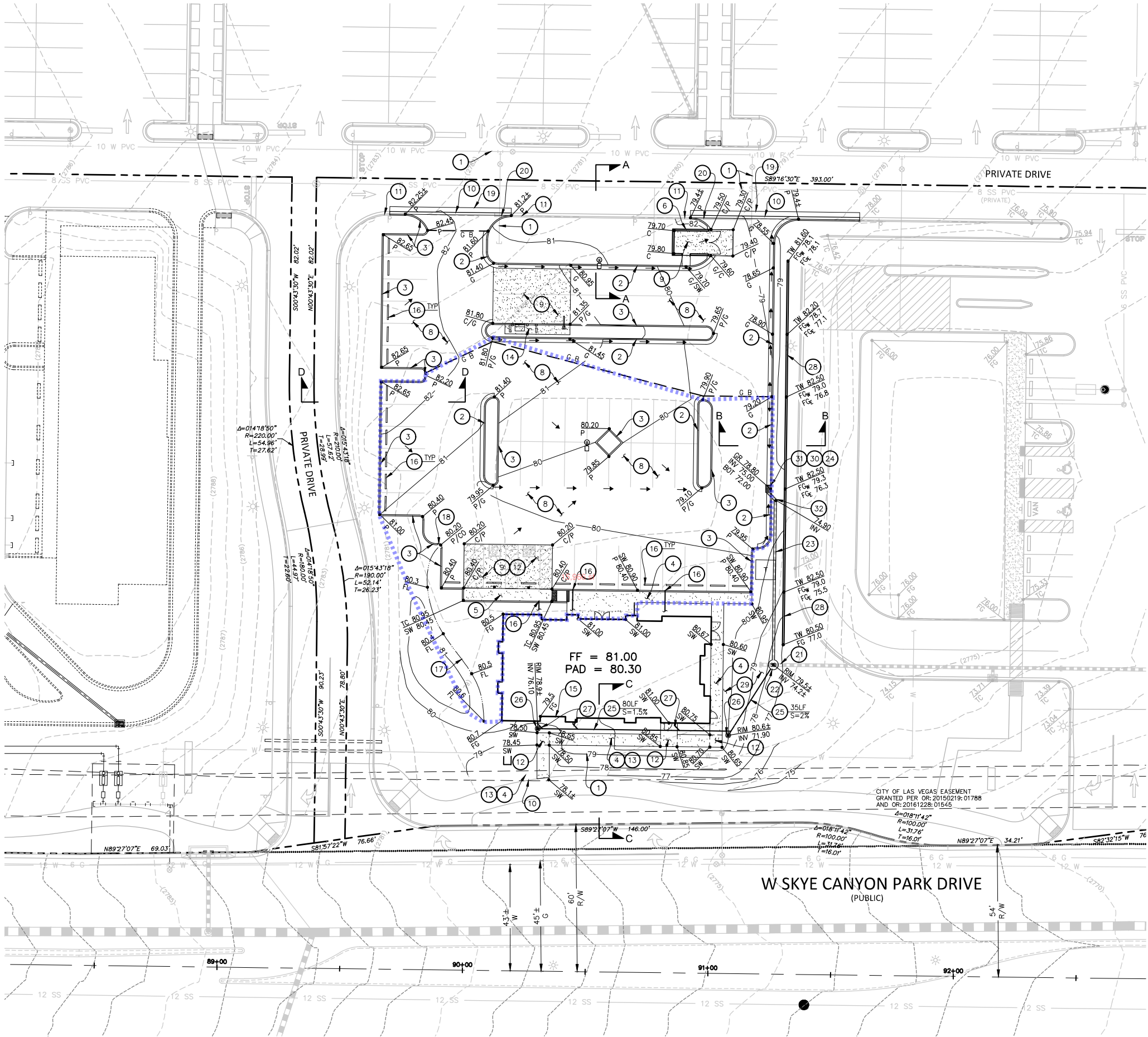


at your service

Worksheet for Chase Curb Inlet

Project Description	
Solve For	Spread
Input Data	
Discharge	2.00 cfs
Gutter Width	2.00 ft
Gutter Cross Slope	0.010 ft/ft
Road Cross Slope	0.010 ft/ft
Grate Width	2.00 ft
Grate Length	3.0 ft
Local Depression	0.0 in
Local Depression Width	0.0 in
Grate Type	P-50 mm (P-1 -7/8")
Clogging	50.0 %
Results	
Spread	27.7 ft
Depth	3.3 in
Gutter Depression	0.0 in
Total Depression	0.0 in
Open Grate Area	2.7 ft ²
Active Grate Weir Length	5.0 ft

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GRADING & DRAINAGE CONSTRUCTION NOTES

- CAUTION: EXISTING UTILITIES IN AREA. CALL 811 TO MARK LOCATIONS PRIOR TO CONSTRUCTION.
- CONSTRUCT VERTICAL CURB AND GUTTER PER STD. DWG. 21, TYPE "L".
- CONSTRUCT SINGLE CURB PER STD. DWG. 219.
- CONSTRUCT SIDEWALK. SEE ARCHITECT'S PLANS FOR DETAILS AND SPECIFICATIONS.
- CONSTRUCT SIDEWALK RAMP PER DETAIL ON SHEET C3 AND CHASE SPECIFICATIONS.
- TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL PRE-CAST SAFETY CURB PER STD. DWG. 238.
- CONSTRUCT 3" AC/4" ABC PAVEMENT PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONSTRUCT 6" PCC/4" ABC PAVEMENT PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- MATCH EXISTING IMPROVEMENT.
- EXISTING CURB. PROTECT IN PLACE.
- SLOPE NOT TO EXCEED 1:50 IN ANY DIRECTION.
- SIDEWALK CROSS SLOPE NOT TO EXCEED 1:50; SIDEWALK LONGITUDINAL SLOPE NOT TO EXCEED 1:20.
- CONSTRUCT ATM ISLAND PER ARCHITECT'S DETAILS. TOP OF ISLAND TO BE POURED LEVEL. ADJUST CURB HEIGHT AS NECESSARY.
- EXTEND WALL FOOTING TO ACCOUNT FOR GRADE DIFFERENTIAL.
- 4" ROOF DRAIN. SEE PLUMBING PLANS FOR DETAILS. DAYLIGHT AT FACE OF CURB.
- GRADE NUISANCE WATER SWALE TO ELEVATIONS SHOWN.
- CONSTRUCT 2' CURB OPENING PER DETAIL ON SHEET C3.
- SAWCUT TO CLEAN EDGE, REMOVE, AND REPLACE 2'-FOOT MINIMUM EXISTING PAVEMENT IN LIKE KIND TO CONSTRUCT NEW IMPROVEMENTS.
- REMOVE EXISTING CURB AS NECESSARY TO CONSTRUCT NEW ACCESS DRIVE.
- CONTRACTOR TO VERIFY SIZE, DEPTH, AND LOCATION OF EXISTING STORM DRAIN STUB PRIOR TO CONSTRUCTION. TRIM PIPE AS NECESSARY.
- CONSTRUCT 4' DIAMETER STORM DRAIN MANHOLE PER STD DWG 403.1.
- INSTALL 12" HDPE STORM DRAIN PIPE WITH WATERTIGHT JOINTS TO INVERT ELEVATIONS SHOWN AND PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL JENSEN PRECAST 24" X 36" DROP INLET (OR APPROVED EQUAL) WITH TRAFFIC FRAME AND GRATE. SEE SHEET C3 FOR DETAILS.
- INSTALL 6" HDPE STORM DRAIN PIPE WITH WATERTIGHT JOINTS TO INVERT ELEVATIONS SHOWN AND PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL STORM DRAIN CLEANOUT WITH WATERTIGHT FRAME AND COVER.
- CONNECT 3" ROOF DRAIN LEADERS INTO SITE STORM DRAIN WHERE SHOWN. VERIFY SIZE AND LOCATION OF ROOF DRAIN LEADERS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
- CONSTRUCT SITE RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS. MAXIMUM RETAINING HEIGHT=3.5 FEET.
- GRADE CATCH BASIN AS SHOWN. SLOPE NOT TO EXCEED 3:1.
- INSTALL SNOOT OIL AND FLOATING DEBRIS TRAP PER DETAIL ON SHEET C1.
- PLACE STORM WATER QUALITY MANAGEMENT STAMP IN CURB NEXT TO INLET PER USDCCA DWG. NO. 421.
- INSTALL 12" 45' BEND. PROVIDE JOINT RESTRAINT.

NOTE: SEE ARCHITECTURAL SITE PLAN FOR STRIPING DETAILS.

NOTE: ALL ONSITE STORM DRAINS ARE PRIVATELY OWNED AND MAINTAINED.

BENCHMARK

MONUMENT ID: USDA (1934) 19
U.S. DEPARTMENT OF AGRICULTURE BRASS DISC AT SOUTHWEST CORNER OF U.S. 95 AND KYLE CANYON ROAD
ELEV=2817.61 FEET NAVD 88 DATUM
PER THE CITY OF LAS VEGAS BENCHMARK BOOK - 2008 ADJUSTMENT (UPDATED 05/24/2010)



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623-547-2500
Fax: 623-547-2501

Call before you Overhead
1-702-227-2929

Call before you Dig
1-800-227-2600

APAL ARCHITECTURE PLANNING INTERIORS

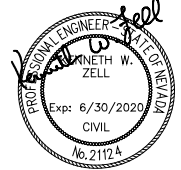
HWY 95 AND SKYE CANYON

CHASE

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

T: 480.988.0709
WWW.APAL.COM

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258



DRAWN: TWJ
DATE: 4 JANUARY 2019
PROJECT: 18105.00

GRADING & DRAINAGE PLAN

C4

THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY APML INC., AND/OR ITS CONSULTANT, AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THIS DRAWING REMAINS THE INTELLECTUAL PROPERTY OF APML INC., AND SHALL BE USED FOR ITS ORIGINAL INTENDED PURPOSE, PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT ACT OF 1990. ALL DRAWINGS, SPECIFICATIONS, AND/OR ITS CONSULTANT, AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THIS DRAWING REMAINS THE INTELLECTUAL PROPERTY OF APML INC., AND SHALL BE USED FOR ITS ORIGINAL INTENDED PURPOSE, PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT ACT OF 1990. ALL DRAWINGS, SPECIFICATIONS,

A.P.N. 125-07-210-007

THE SURVEY INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ALTA/NSPS LAND
TITLE SURVEY SURVEY PREPARED BY GCW ENGINEERS/SURVEYORS, JOB NUMBER xx
DATED JUNE 8, 2018.

A PORTION OF LOT 1 SHOWN IN BOOK 153, PAGE 17 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE, LYING WITHIN THE NORTHWEST QUARTER (NW1/4) OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, NEVADA.

A THOROUGH ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF ALL EXISTING UNDERGROUND OBSTRUCTIONS AND UTILITY LINE IN THE WORK AREA. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO OBSTRUCTIONS AND UTILITY LINES ENCOUNTERED DURING CONSTRUCTION AND SHALL DETERMINE THE EXACT LOCATION OF ALL THE EXISTING UTILITIES PRIOR TO CONSTRUCTION.

1. THE OWNER/CONTRACTOR SHALL OBTAIN A PERMIT PRIOR TO COMMENCEMENT OF ANY WORK WITHIN THE LIMITS OF THE RIGHT-OF-WAY.
2. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL EXISTING UTILITIES ENCOUNTERED DURING EXCAVATION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL AND SAFETY PROGRAM IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL LAWS DURING EXCAVATION.
4. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION AS ADOPTED BY THE CITY OF RENO. THE OWNER/CONTRACTOR SHALL OBTAIN A PERMIT FOR CONSTRUCTION FROM THE CITY OF RENO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
5. ALL TRAFFIC CONTROL AND BARRICADING WITHIN RIGHT-OF-WAY SHALL CONFORM TO SECTION 350 OF THE STANDARD SPECIFICATIONS, PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE NEVADA WORK ZONE TRAFFIC CONTROL HANDBOOK, 1986 EDITION. NO STREET CLOSURES WILL BE ALLOWED WITHOUT PRIOR APPROVAL OF A TRAFFIC CONTROL PLAN BY NDOT.
6. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICE ALERT "CALL BEFORE YOU DIG" AT 1-800-227-2600 FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
7. THE APPROVED PLAN, PERMIT AND INSPECTION RECORD MUST BE ON THE JOB SITE AT ALL TIMES.
8. ALL OFF-STREET PARKING AREAS SHALL BE DEVELOPED AND COMPLETED BEFORE AN OCCUPANCY PERMIT FOR THE BUILDING ISSUED.

MONUMENT ID: USDA (1934) 19
U.S. DEPARTMENT OF AGRICULTURE BRASS DISC AT SOUTHWEST CORNER OF U.S. 95
AND KYLE CANYON ROAD
ELEV=2817.61 FEET NAVD 88 DATUM
PER THE CITY OF LAS VEGAS BENCHMARK BOOK - 2008 ADJUSTMENT (UPDATED
05/24/2010)

THE BASIS OF BEARING IS N89°16'30"W, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN BY MAP THEREOF IN BOOK 147, PAGE 71 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA.

FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 32003C1735E, MAP REVISED SEPTEMBER 27, 2002 INDICATED THAT THE SUBJECT PROPERTY LIES IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

CURRENT ZONING: "TD" – TRADITIONAL DEVELOPMENT DISTRICT
ADJACENT ZONING: "TD" – NORTH/SOUTH/EAST/WEST

CITY ENGINEER — ALLEN PAVELKA PE, #9029	DATE
APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS LIMITED TO THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED RIGHT-OF-WAY, AND/OR DEDICATED EASEMENTS. THIS APPROVAL DOES NOT AUTHORIZE CONSTRUCTION OF ANY IMPROVEMENTS THAT DEVIATE FROM ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT THOSE SPECIFICALLY LISTED UNDER DEVIATIONS FROM STANDARDS. THE ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED IN DEVIATIONS FROM STANDARDS IN FAVOR OF THE UNIFORM STANDARD DRAWINGS AND SPECIFICATIONS, CLARK COUNTY AREA, NEVADA.	
CITY OF LAS VEGAS PLANNING & DEVELOPMENT DEPARTMENT	DATE
THIS PLAN MEETS THE APPLICABLE STANDARDS OF THE PLANNING DEPARTMENT.	
APPROVAL BY THE FIRE DEPARTMENT HAVING JURISDICTION IS REQUIRED PRIOR TO OBTAINING FINAL APPROVAL FROM THE LAS VEGAS VALLEY WATER DISTRICT.	
LAS VEGAS FIRE AND RESCUE	DATE
NV ENERGY	DATE
NV ENERGY ACKNOWLEDGES THAT WE HAVE RECEIVED YOUR PLANS AND WILL PROVIDE SERVICES TO ALL ELECTRICAL NEEDS ASSOCIATED WITH THIS PROJECT. NV ENERGY RESERVES THE RIGHT TO ADDRESS ANY EXISTING OR FUTURE CONFLICTS ONCE THE FINAL DESIGN IS COMPLETED. THE NEW SERVICE AND THE RESOLUTION OF ANY CONFLICTS WILL BE ACCOMPLISHED PURSUANT TO THE NEVADA PUBLIC UTILITIES COMMISSION'S RULES AND REGULATIONS.	
CENTRAL TELEPHONE COMPANY, DBA CENTURYLINK	DATE
THE AFFIXED CENTRAL TELEPHONE CO., DBA CENTURYLINK APPROVAL DOES NOT ASSUME OR GUARANTEE LIABILITY FOR KNOWN OR UNKNOWN CONFLICTS WITH EXISTING OR PROPOSED IMPROVEMENTS. RESOLUTION OF ANY CONFLICT WILL BE ACCOMPLISHED PURSUANT TO LOCAL ORDINANCES, NEVADA REVISED STATUTES AND/OR PUBLIC UTILITY COMMISSION RULES AND REGULATIONS.	
SOUTHWEST GAS CORP.	DATE
COX COMMUNICATIONS LAS VEGAS, INC.	DATE



APMI
8300 N HAYDEN ROAD
SCOTTSDALE, AZ 85258
CONTACT: ADAM SIROS
PHONE: 480-998-0709

ZELL COMPANY, L.L.C.
3400 N DYSART ROAD, #130
AVONDALE, AZ 85392
TEL: 623-547-2500
ATTN: KEN ZELL, P.E.

J.P. MORGAN CHASE, N.A.
REAL ESTATE SERVICES
201 NORTH CENTRAL AVENUE, 25TH FLOOR
PHOENIX, ARIZONA 85004
TELEPHONE: 602-221-4601
ATTN: JOE M. HERNANDEZ
EMAIL: JOE.M.HERNANDEZ@JPMCHASE.COM

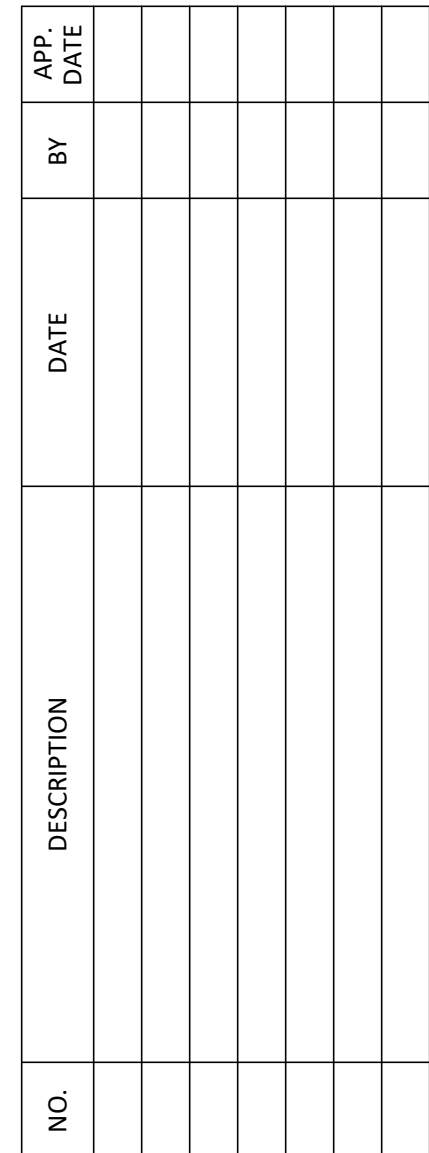
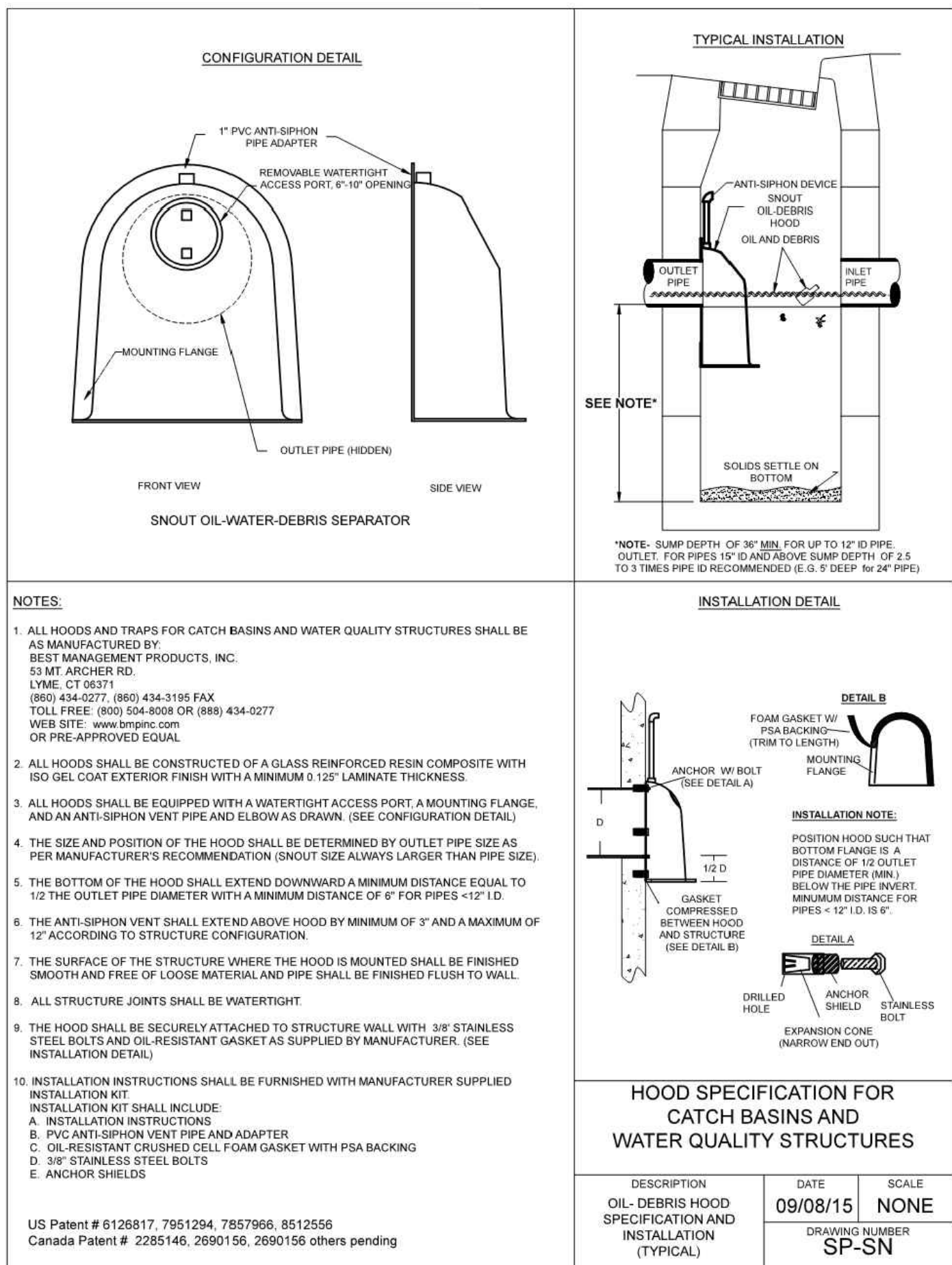
48,806 SF
1.1204 ACRES

C1	COVER SHEET
C2	NOTES
C3	NOTES & DETAILS
C4	GRADING & DRAINAGE PLAN
C5	UTILITY PLAN
1 OF 2	ALTA COVER
2 OF 2	ALTA SURVEY
A0.2	SITE PLAN
A0.3	SITE DETAILS
A0.4	SITE DETAILS
A0.5	SITE DETAILS

NWC SKYE CANYON PARK DR
& GRAND CANYON DR
LAS VEGAS, NV 89166

125-07-210-007

REMINGTON SKYE, LLC
5920 S. RAINBOW DRIVE
LAS VEGAS, NEVADA 89118
TELEPHONE: 702-239-8066
ATTN: DAVID DELZOTTO
EMAIL: DAVID@REMINGTONNEVADA.COM



HWY 95 AND SKYE CANYON



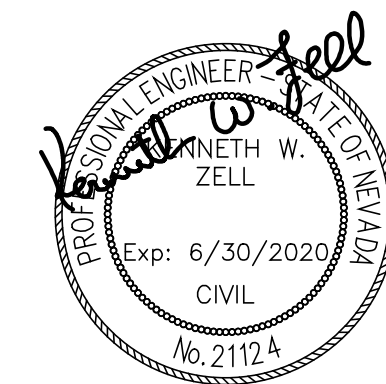
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LAS VEGAS, NEVADA

T: 480.998.0709
WWW.ABML.COM

WPA **ARCHITECTURE** **PLANNING** **INTERIORS**

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258
06/03/19

06/03/19



DRAWN TWJ
DATE 4.JANUARY.2019
PROJECT 18105.00

COVER
SHEET

C1

L19-00372



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623•547•2500
Fax: 623•547•2501



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CITY OF LAS VEGAS GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST REVISED EDITION; THE "SUMMERLIN IMPROVEMENT STANDARDS" FOR WORK IN THE SUMMERLIN AREA; AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
 - THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES AS SHOWN FROM CLV PLANS LIBRARY ARE APPROXIMATE AND FOR RECORD PURPOSES. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
 - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
 - TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
 - PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
 - EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED-TYPE CURB.
 - AC PAVEMENT TO BE ONE-HALF INCH (½") ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS AND CROSS GUTTERS.
 - CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY OF LAS VEGAS SHALL BE REMOVED AND REPLACED PER STANDARD DRAWING 216.
 - SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF THE TRANSITIONS TO BE AS SHOWN ON PLANS.
 - ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE (COMPANY, REPORT #, DATE) APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
 - EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATIONS.
 - THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.360 & CITY OF LAS VEGAS TITLE 18, APPENDIX D.
 - UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
- WALL NOTES:**
- ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. NEW WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
 - ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
 - CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
 - MATERIALS, HANDLING AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NDOT OR THE CLARK COUNTY AREA SPECIFICATIONS (AS APPLICABLE) AND THE PLANS AND DETAILS SHOWN HEREON.
 - WHEN INSTALLING UNDERGROUND FACILITIES THAT REQUIRE UNDERGROUND LOCATING DEVICES SUCH AS MARKER BALLS, LOCATING RIBBON, ETC, THE CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO OFFSITE INSPECTION AND TESTING CERTIFYING THAT ALL DEVICES HAVE BEEN PLACED AND VERIFIED TO BE IN GOOD WORKING CONDITION PRIOR TO THE CONSTRUCTION OF ANY ROAD BASE.
 - AFTER HAUNCHING AND PRIOR TO BACKFILL OPERATIONS WHICH WOULD COVER SANITARY SEWER AND STORM DRAIN FACILITIES, CONTRACTOR IS REQUIRED TO SCHEDULE CLV OPEN-TRENCH UTILITY SURVEY INSPECTION FOR DETERMINATION OF FINAL LOCATION COORDINATES. FACILITIES TO BE LOCATED BY CLV SHALL INCLUDE AT A MINIMUM THE HORIZONTAL AND VERTICAL (INVERT) LOCATION OF PUBLIC SEWER MANHOLES, STORM DRAIN MANHOLES AND TRANSITION STRUCTURES, STORM DRAIN LATERALS AT THE CONNECTION TO THE STORM DRAIN MAIN AND AT THE CONNECTION TO A DROP INLET, THE CONNECTION OF SEWER SERVICE LATERALS TO THE SEWER MAIN AND WHERE THE SEWER SERVICE LATERALS EXIT THE PUBLIC RIGHT-OF-WAY, SEWER AND STORM DRAIN MAIN ALIGNMENT, INCLUDING DEFLECTION POINTS.
 - CCTV VIDEO INSPECTION IS REQUIRED FOR ALL SEWER AND STORM DRAINS. THE CCTV VIDEO INSPECTIONS NEED TO BE PERFORMED PER THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS LATEST EDITION.
 - A SEPARATE BORING PERMIT IS REQUIRED FOR ALL BORING ACTIVITIES.

CITY OF LAS VEGAS GRADING NOTES

- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR PAVING OF THE EXCAVATION.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
- CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:

	HORIZONTAL	VERTICAL	COMPACTION
A. PAVEMENT AREA SUBGRADE	0.1'+	+0.0" TO -0.1'	SEE SOILS REPORT
B. ENGINEERED FILL	0.5'+	+0.1" TO -0.1'	SEE SOILS REPORT

COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

CITY OF LAS VEGAS SEWER NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA, AS AMENDED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS, ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEER.
- CHISEL "S" OR "G" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
- POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SDR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACKFILL OF TYPE II AGGREGATE BASE.
- ALL MANHOLES PAVED IN STREETS EIGHTY (80") FOOT R/W AND LARGER SHALL HAVE CONCRETE COLLARS. STREETS LESS THAN EIGHTY (80") FOOT R/W WILL REQUIRE RETROFIT IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
- TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCH (12") DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER MAINS SHALL REQUIRE SPECIAL PROCEDURES. IN LINE "Y"'S SHALL BE USED ON LINES TWELVE INCHES (12") OR ABOVE.
- WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVVWD STANDARDS WHENEVER A SEWER MAIN CROSSES OVER A WATER MAIN OR THE SEWER IS LESS THAN EIGHTEEN INCH (18") UNDER A WATER MAIN.
- ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER THE JURISDICTION OF THE CITY OF LAS VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
- THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION OF MORE THAN ONE TENTH (0.1) OF A FOOT FROM THE APPROVED CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THIS TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
- INSTALLATION OF CURVED SEWER REQUIRES THE USE OF C-900 PIPE WHICH ALLOWS FOR PIPE DEFLECTION AT THE JOINTS.

APPROVAL

SOUTHWEST GAS CORPORATION DATE

CITY OF LAS VEGAS FIRE DEPARTMENT NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LAS VEGAS FIRE AND RESCUE ADOPTED FIRE CODE ORDINANCE #6631 FOR HYDRANT SPECIFICATIONS AND HYDRANT INSTALLATION SPECIFICATION.
- ONLY FIRE HYDRANTS THAT ARE ON THE LAS VEGAS VALLEY WATER DISTRICT'S-APPROVED PRODUCTS LIST ARE ALLOWED TO BE INSTALLED.
- A PERMIT IS REQUIRED FROM LAS VEGAS FIRE AND RESCUE FOR THE INSTALLATION OF ON-SITE WATER LINES AND FIRE HYDRANTS. THE PERMIT AND CONTRACTORS MATERIAL TEST CERTIFICATE FOR UNDERGROUND PIPING FORM SHALL BE OBTAINED FROM THE FIRE PROTECTION ENGINEER BEFORE COMMENCEMENT OF WORK.
- ON ANY RESIDENTIAL OR COMMERCIAL INSTALLATIONS, FIRE HYDRANTS SHALL BE INSTALLED AND FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED BEFORE COMMENCEMENT OF ANY COMBUSTIBLE CONSTRUCTION. ALL FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER AND SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW.
- TO IDENTIFY THE FIRE HYDRANT LOCATIONS, CONTRACTOR SHALL PLACE A BLUE REFLECTIVE MARKER AT THE CENTER LINE OF THE STREET ADJACENT TO THE FIRE HYDRANTS.
- ALL UNDERGROUND INSPECTIONS, PRESSURE AND FLUSH VERIFICATIONS OF ALL FIRE HYDRANTS AND FIRE LINES, SHALL BE CONDUCTED BEFORE COVERING THE LINES. CENTER LOADING IS ACCEPTABLE FOR THE HYDRO TESTS PRIOR FIRE PREVENTION APPROVAL.
- ALL ON-SITE UNDERGROUND WATER MAINS AND MATERIALS SHALL BE U.L. LISTED, AWWA APPROVED AND SHALL BE RATED FOR THE APPROPRIATE WORKING PRESSURE.
- PAINTING OF CURBS, FIRE HYDRANTS, PADS, PROTECTION OF FIRE HYDRANTS FROM PHYSICAL DAMAGE, AND ALL OTHER WORK NECESSARY PER PLANS SHALL BE COMPLETED BEFORE APPROVAL BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION.
- PRIVATE HYDRANTS SHALL BE PAINTED RED.
- PRIOR TO THE FINAL OCCUPANCY, A FLOW TEST SHALL BE WITNESSED BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION TO VERIFY AVAILABILITY OF THE REQUIRED FIRE FLOW.
- FIRE HYDRANT SPACING SHALL BE AS FOLLOWS:

RESIDENTIAL - 500 FT UNSPRINKLERED: 600 FT SPRINKLERED
COMMERCIAL - 300 FT UNSPRINKLERED: 400 FT SPRINKLERED
- WHERE NEW WATER MAINS ARE EXTENDED ALONG STREETS OR NEW STREETS ARE INSTALLED WHERE FIRE HYDRANTS ARE NOT NEEDED FOR PROTECTION OF THE STRUCTURES, FIRE HYDRANTS SHALL BE INSTALLED AT A MAXIMUM OF 1,000 FOOT SPACING, TO PROVIDE FOR TRANSPORTATION HAZARDS. WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS OR HAVE FOUR (4) OR MORE TRAFFIC LANES AND HAVE A TRAFFIC COUNT OF MORE THAN 30,000 PER DAY, HYDRANTS ARE REQUIRED ON EACH SIDE OF THE STREET SPACED AT 500 FT ON AN ALTERNATING BASIS.
- NO FIRE HYDRANTS SHALL BE LOCATED WITHIN THE RADIUS OF A CUL-DE-SAC OR WITHIN 20 FT OF THE PERIMETER OF THE RADIUS OF THE CUL-DE-SAC.
- NO FIRE HYDRANTS SHALL BE LOCATED WITHIN 6 FT OF ANY CURB RETURN, DRIVEWAY, POWER POLE, STREETLIGHT, OR ANY OTHER OBSTRUCTION.
- A MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A ONE-TWO FAMILY DWELLING SHALL NOT EXCEED 300 FT, AS MEASURED BY AN APPROVED ROUTE.
- THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT EXCEED 100 FT, AS MEASURED BY AN APPROVED ROUTE.
- THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO THE END OF A DEAD-END STREET SHALL NOT EXCEED 200 FT.
- THE (2) SOURCES OF SUPPLY ARE REQUIRED WHENEVER THERE IS 4 OR MORE FIRE HYDRANTS/SPRINKLER LEAD-INS ARE INSTALLED ON A SINGLE SYSTEM. FOR SYSTEMS REQUIRED TO HAVE TWO (2) SOURCES OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 2 FIRE HYDRANTS AND/OR FIRE SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION. FOR SYSTEMS PERMITTED TO HAVE ONE SOURCE OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 3 FIRE HYDRANTS AND/OR SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS.
- THE GRADIENT FOR THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 12%. ANGLES OF APPROACH AND ANGLES OF DEPARTURE SHALL NOT EXCEED 6% FOR 25 FT PRIOR TO OR AFTER THE GRADE CHANGE. ADJACENT TO THE STRUCTURES GRADIENT SHALL NOT EXCEED 6%.
- THE TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL BE NO LESS THAN 52 FEET OUTSIDE AND 28 FEET INSIDE TURNING RADIUS.
- VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL NOT BE LESS THAN 13 FEET 6 INCHES.
- FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 33 FEET WITH PARKING ON BOTH SIDES MEASURED TO FACE OF CURB. NOT LESS THAN 28 FT WIDE WITH PARKING RESTRICTED TO ONE SIDE MEASURED TO FACE OF CURB. NOT LESS THAN 24FT WIDE WITH NO PARKING ON EITHER SIDE MEASURED TO FACE OF CURB. FIRE LANES THROUGH PARKING LOTS SHALL BE NOT LESS THAN 24 FT.
- A FIRE APPARATUS ACCESS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150 FT FROM A FIRE DEPARTMENT VEHICLE ACCESS.
- APPROVED SECONDARY FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR 200 OR MORE DWELLING UNITS, ROAD(S) WITH DEAD-ENDS, OR WITH A SINGLE POINT OF ACCESS IN EXCESS OF 600 FT.
- ALL DEAD-END FIRE APPARATUS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND HAVING A MINIMUM DIAMETER OF 81 FEET.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, ONE SIGN AT THE END OF THE FIRE LANE AND WITH SIGNS AT INTERVALS OF 100 FEET ALONG THE DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS TO BE INSTALLED NO HIGHER THAN 10 FT OR LESS THAN 6 FT FROM THE ROADWAY LEVEL. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT (IF NO CURB IS PROVIDED) SHALL BE PAINTED WITH A RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
- ELECTRONICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM.
- WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS, OR HAVING FOUR OR MORE TRAVEL LANES AND A TRAFFIC COUNT OF MORE THAN 30,000 VEHICLES PER DAY, ALL HYDRANTS BEING UTILIZED TO DELIVER FIRE FLOW TO THE PROPOSED LOCATION SHALL BE LOCATED ON THE SAME SIDE OF THE STREET AS THE PROPOSED DEVELOPMENT.

LAS VEGAS VALLEY WATER DISTRICT (LVVWD) STANDARD NOTES

LVVWD PROJECT # 136494
(REVISED 08/01/2017)

- NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE LVVWD. FOLLOWING WATER PLAN APPROVAL, NOTICE SHALL BE GIVEN TO THE LVVWD COMMUNICATION SUPPORT CENTER (258-7171) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. FOR FUTURE INSPECTIONS, NOTICE MUST BE GIVEN BY 2:00 P.M. THE BUSINESS DAY PRIOR TO THE REQUESTED LVVWD INSPECTION. WHEN REQUESTING INSPECTIONS, PLEASE REFER TO THE PROJECT # IDENTIFIED ABOVE.
- ALL WORK SHALL CONFORM TO LVVWD STANDARD PLATES, DRAWINGS, AND SPECIFICATIONS, AND TO THE 2010 EDITION OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS). THE LATEST EDITION OF UDACS SHALL SUPERSEDE ANY CONFLICTS CONTAINED IN THE APPROVED DRAWINGS AND/OR SPECIFICATIONS.
- ALL WORK, EXCEPT AS MODIFIED BY THESE PLANS OR BY NOTE 2 ABOVE, SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT DRAFT OR EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENT, CLARK COUNTY AREA.
- A SINGLE PIPE MATERIAL SHALL BE USED THROUGHOUT THE PROJECT UNLESS OTHERWISE APPROVED BY THE LVVWD.
- ALL SERVICE LATERALS TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING WITH LVVWD APPROVED SERVICE SADDLES.
- ALL WATER METER BOXES SHALL BE LOCATED OUTSIDE OF DRIVEWAY AREAS.
- ALL VALVES SHALL BE LOCATED OUTSIDE OF DRIVEWAYS, VALLEY AND CURB GUTTERS.
- ALL WATER AND STORM DRAIN OR SANITARY SEWER CROSSINGS SHALL CONFORM TO SECTION 2.22 OF THE 2010 EDITION OF THE UDACS.
- ALL WATER FACILITIES AND APPURTENANCES SHALL BE DISINFECTED, PRESSURE TESTED, AND HAVE AN ACCEPTABLE PASSING HEALTH WATER SAMPLE OBTAINED, PRIOR TO OPERATION AND USE.
- THE CONTRACTOR MUST OBTAIN ALL METERS TWO (2) INCHES AND SMALLER FROM LVVWD CENTRAL STORES. TELEPHONE 258-3152 OR 258-3802, TWO (2) WORKING DAYS PRIOR TO METER PICKUP.
- ANY INTERRUPTION OF SERVICE MUST BE PERFORMED IN ACCORDANCE WITH UDACS SECTION 3.14.01, AND APPROVED BY THE LVVWD INSPECTION DIVISION PRIOR TO SHUTDOWN. PROPER WRITTEN NOTIFICATION MUST BE GIVEN TO ALL AFFECTED CUSTOMERS.
- ALL WATER FACILITY CONSTRUCTION MATERIALS USED MUST BE AS LISTED ON THE LVVWD APPROVED PRODUCT'S LIST FOR NEW FACILITIES, LATEST REVISION, OR SPECIFICALLY APPROVED ON THESE PLANS BY SUBMITTING SHOP DRAWINGS.
- TELEPHONE "CALL BEFORE YOU DIG" AT "811" OR 1-800-227-2600.
- THE INSTALLATION OF LVVWD MUNICIPAL WATER FACILITIES WITHIN ALL STREETS IS ASSUMED TO BE IN COMPLIANCE WITH THE UNIFORM STANDARDS, INCLUDING THE PLACEMENT OF ASPHALT PAVING STREET SURFACES. ANY REPAIR WORK DONE BY THE LVVWD TO THE MUNICIPAL WATER FACILITIES WILL INCLUDE THE PLACEMENT OF AN APPROPRIATELY SIZED ASPHALT REPAIR PATCH ON THE STREET SURFACE.

ANY DECORATIVE PAVING SURFACE WITHIN THE STREET IS THE RESPONSIBILITY OF THE OWNER'S ASSOCIATION, OR THE INDIVIDUAL PROPERTY OWNERS IF NO OWNER'S ASSOCIATION IS IN EXISTENCE, OR THE AGENCY HAVING JURISDICTION. DECORATIVE SURFACE MATERIALS PLACED WITHIN THE TEN FOOT EASEMENT ABUTTING A PUBLIC OR PRIVATE STREET, IF DISTURBED BY THE LVVWD DURING THE REPAIR OR OPERATION OF ITS FACILITIES, WILL BE REPLACED BY LVVWD WITH AN APPROPRIATELY SIZED PLAIN FINISH CONCRETE PATCH. THE LVVWD WILL NOT RESTORE, AND WILL NOT BE RESPONSIBLE FOR THE RESTORATION OF, ANY DECORATIVE PAVING SURFACE WITHIN THE STREET. THE LVVWD WILL NOT ATTEMPT TO MATCH COLOR OR FINISH OF ANY ADJACENT MATERIALS.

15. NO LEAD COMPLIANCE NOTE:

TO COMPLY WITH FEDERAL SAFE DRINKING WATER ACT, ALL WATER WORKS BRASS PRODUCTS PROPOSED TO BE RELOCATED, OR INSTALLED AS NEW MUST BE INSTALLED WITH THE LEAD FREE APPROVED PRODUCT. THE OLD LEADED PRODUCT MAY NOT BE REUSED.

SOUTHERN NEVADA - SOUTHWEST GAS CORPORATION NOTES

- IN THE EVENT OF NATURAL GAS EMERGENCIES CALL 911 AND 1-877-860-6020.
- MINIMUM HORIZONTAL AND VERTICAL CLEARANCES BETWEEN NATURAL GAS FACILITIES AND ANY UNDERGROUND UTILITIES AND/OR STRUCTURES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, STORM DRAIN, COMMUNICATIONS, AND ELECTRIC SHALL BE AT LEAST 12-INCHES OR GREATER AS DICTATED BY LOCAL CODES AND STANDARDS.

a). ANY DEVIATION FROM SPECIFIED MINIMUM CLEARANCES MUST BE APPROVED BY ALL AFFECTED UTILITIES AND/OR MUNICIPALITIES.
- FOR VALVE ADJUSTMENT CONTACT 702-668-6107 48 HOURS PRIOR TO CONSTRUCTION.
- IN THE EVENT OF A NATURAL GAS CONFLICT WITH PROPOSED UTILITIES AND/OR STRUCTURES CONTACT 702-365-2099

CAUTION: HIGH PRESSURE GAS!

CALL SOUTHWEST GAS AT 702-400-1789 FOR STANDBY WHEN EXCAVATING OVER OR NEAR HIGH PRESSURE GAS LINES 48 HOURS PRIOR TO CONSTRUCTION.

DEVIATIONS FROM STANDARDS:

- NONE

APPROVED FOR CONSTRUCTION	
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES	
PROJECT NO.: 136494 FIRST APPROVAL DATE:	
LVVWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM	
LVVWD APPROVAL IS VALID FOR ONE (1) YEAR FROM SIGNATURE DATE. IF CONSTRUCTION IS NOT STARTED, PLANS MUST BE RESUBMITTED FOR REVIEW AND APPROVAL.	



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623•547•2500
Fax: 623•547•2501

Call before you Overhead
1-800-227-2929

Call before you Dig
1-800-227-2600

DRAWN TJW
DATE 4.JANUARY.2019
PROJECT 18105.00

NOTES & DETAILS

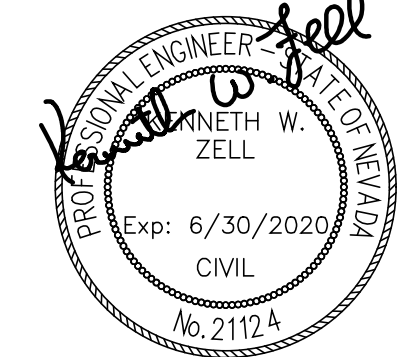
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L19-00372

HWY 95 AND SKYE CANYON

APM ARCHITECTURE PLANNING INTERIORS

06/03/19



8300 NORTH HAVEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258

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WWW.APMCLC.COM

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

CHASE

APP. DATE BY DATE DESCRIPTION NO.

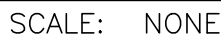
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- [illegible]

NOTE: ELEVATIONS ARE RELATIVE TO THEMSELVES. SEE PLAN VIEW FOR ACTUAL ELEVATIONS FOR THIS PROJECT. ALL RAMPS MUST MEET 2010 ADA ACCESSIBILITY GUIDELINES STANDARDS; 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES.

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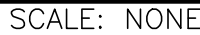
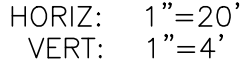
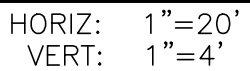
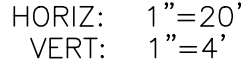
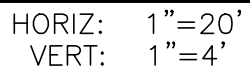
SCALE: NONE



EXTENSION		
MODEL NO.	C	WEIGHT
RS243606	6"	450 LBS.
RS243612	12"	900 LBS.

A 3D perspective diagram of a square channel section. The channel has a square cross-section with a central opening. A dimension line labeled 'C' indicates the 'OPTIONAL EXTENSION HEIGHT' from the bottom flange to the top edge of the channel.

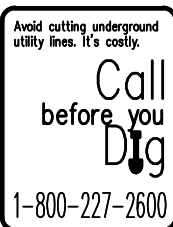
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PRECAST.



Avoid overhead power
line contact. It's costly.

Call
before you
Overhead

1-702-227-2929



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623•547•2500
Fax: 623•547•2501

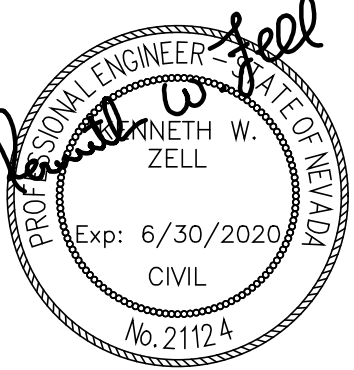
HWY 95 AND SKYE CANYON



T: 480.998.0709
WWW.APMI.COM

258
O, SUITE A-209

06/03/19



DRAWN TWJ
DATE 4.JANUARY.2019
PROJECT 18105.00

NOTES & DETAILS

C3

L19-00372

Site plan for a proposed 10-unit residential development. The plan shows a central building footprint (FF = 81.00, PAD = 80.30) with various rooms and parking spaces. The site is bounded by Private Drive to the north and W Skye Canyon Park Drive (Public) to the south. The plan includes detailed survey data, including bearings, distances, and curve information for all boundaries and internal features. A north arrow is located in the upper right corner. The plan also shows existing topography, utility lines, and a proposed easement for the City of Las Vegas.

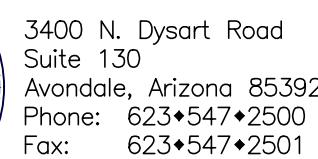
Key features and data points:

- Building Footprint:** FF = 81.00, PAD = 80.30
- Boundaries:**
 - North: Private Drive (Dashed line)
 - South: W Skye Canyon Park Drive (Public) (Solid line)
 - East: W Skye Canyon Park Drive (Public) (Solid line)
 - West: Private Drive (Dashed line)
- Survey Data:**
 - North: $\Delta=01^{\circ}41'8''50''$, $R=220.00'$, $L=54.96'$, $T=27.62'$
 - South: $\Delta=01^{\circ}41'8''50''$, $R=220.00'$, $L=54.96'$, $T=27.62'$
 - East: $\Delta=01^{\circ}41'8''50''$, $R=220.00'$, $L=54.96'$, $T=27.62'$
 - West: $\Delta=01^{\circ}41'8''50''$, $R=220.00'$, $L=54.96'$, $T=27.62'$
- Internal Features:**
 - Rooms: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 - Parking: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 - Driveways: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 - Other: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

NOTE: ALL ONSITE STORM DRAINS ARE PRIVATELY OWNED AND MAINTAINED.

20 0 20 4

SCALE: 1"=20'



Avoid cutting underground utility lines. It's costly.

Call
before you
Dig

1-800-227-2600

L19-00372

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

6/03/8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85253

6/03/1

22

NEVA

DA-069782-01

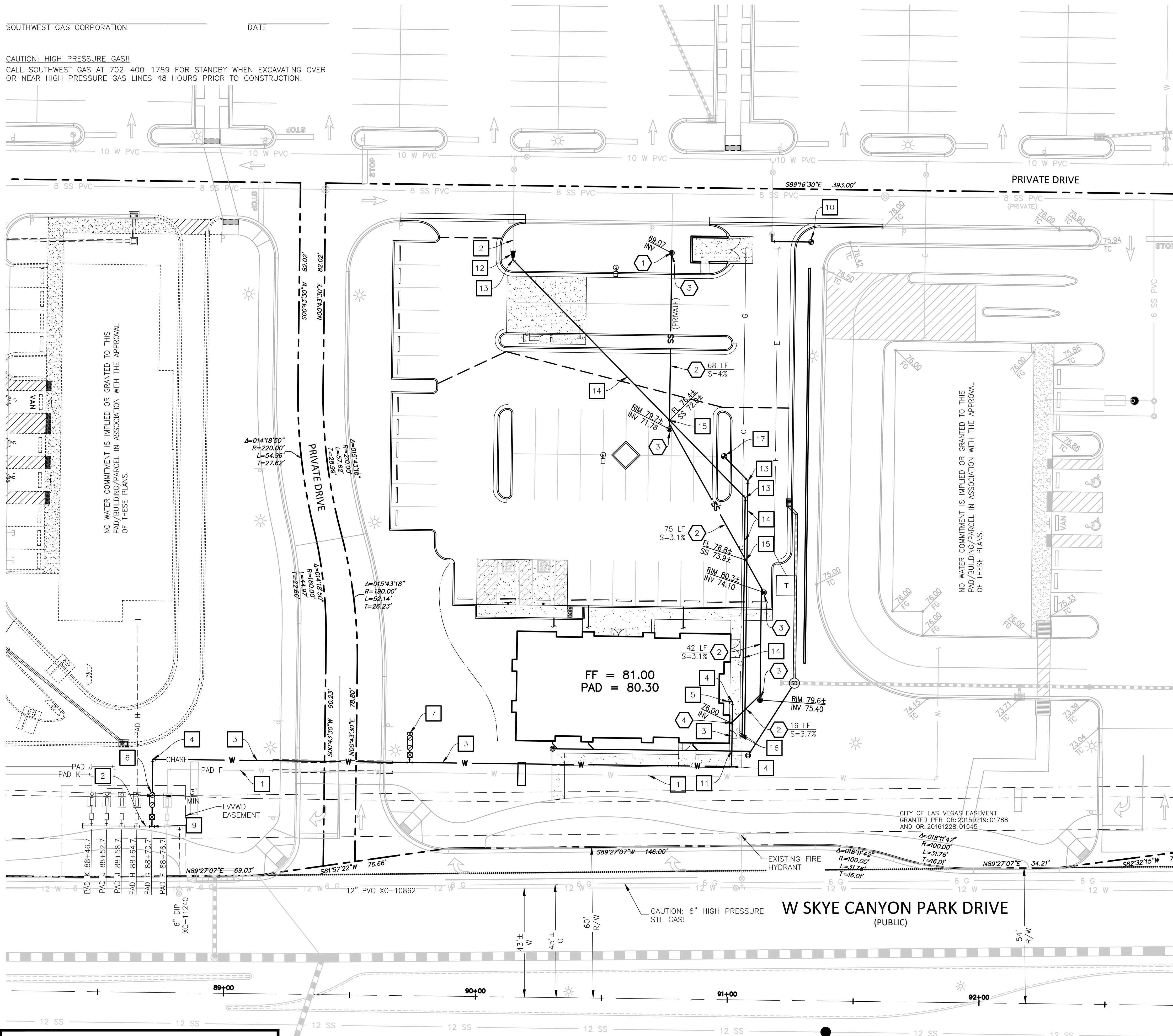
TV

BY 201

3105.0

DATE _____

CALL SOUTHWEST GAS AT 702-400-1789 FOR STANDBY WHEN EXCAVATING OVER
OR NEAR HIGH PRESSURE GAS LINES 48 HOURS PRIOR TO CONSTRUCTION.



WATER QUANTITIES		
	PUBLIC	PRIVATE
1"x6" SERVICE SADDLE & 1" METER	1 EA	-
1" RPPA	1 EA	-
1-1/2" PVC SCH 80 WATER LINE	3 LF	268 LF

1. CAUTION: EXISTING UTILITIES IN AREA. CALL 811 TO MARK LOCATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER SERVICE PRIOR TO CONSTRUCTION.
3. INSTALL 1-1/2" PVC SCH 80 WATER LINE PER THE 2012 UPC. MAINTAIN 36" COVER OVER PIPE.
4. INSTALL 1-1/2" BEND PER THE 2012 UPC.
5. SEE PLUMBING PLANS FOR CONTINUATION. VERIFY SIZE AND LOCATION OF BUILDING'S WATER CONNECTIONS PRIOR TO CONSTRUCTION.
6. INSTALL 1" RPPA PER UDACS PLATE #8. SEE DETAIL ON SHEET C3.
7. INSTALL 1-1/2"x1" TEE. INSTALL 1" BALL VALVE IN METER BOX. INSTALL 1" PVC SCH 80 WATER LINE. INSTALL 1" PRIVATE REDUCED PRESSURE PRINCIPAL BACKFLOW DEVICE PER UDACS PLATE #8. INSTALL IN INSULATED ENCLOSURE FOR FROST PROTECTION. SEE LANDSCAPE PLANS FOR CONTINUATION.
8. INSTALL WATER LINE UNDER EXISTING DRIVE USING EXISTING 4" PVC SLEEVE INSTALLED BY DEVELOPER.
9. INSTALL 1"x6" SERVICE SADDLE AND 1" METER PER UDACS PLATE #4. WET TAP PER PLATE #34.
10. RELOCATE EXISTING FIRE HYDRANT AS SHOWN USING 6" 90° BEND AND 6" DIP WATER LINE. RELOCATE PER UDACS PLATES #31 AND #40.
11. WATER/STORM DRAIN CROSSING. MAINTAIN MINIMUM 12" SEPARATION PER THE UPC.
12. REMOVE EXISTING CAP. INSTALL 6"x4" REDUCER. PROVIDE JOINT RESTRAINT PER NFPA STANDARDS (MEGA-LUG OR EQUAL).
13. INSTALL 4" 45° BEND. PROVIDE JOINT RESTRAINT PER NFPA STANDARDS. (MEGA-LUG OR EQUAL).
14. INSTALL 4" PVC C-900 CL200 (DR-14) FIRE LINE PER NFPA STANDARDS. MAINTAIN MINIMUM 36" OF COVER OVER TOP OF PIPE. INSTALL IN COMMON TRENCH WITH GAS LINE WHERE APPLICABLE.
15. SEWER/FIRE CROSSING. MAINTAIN 18" VERTICAL SEPARATION.
16. SEE FIRE SPRINKLER PLANS FOR CONTINUATION. VERIFY SIZE AND LOCATION OF RISER PRIOR TO CONSTRUCTION.
17. INSTALL FDC PER NFPA STANDARDS. VERIFY LOCATION WITH SPRINKLER PLANS PRIOR TO CONSTRUCTION.

1. CONTRACTOR TO VERIFY SIZE, DEPTH AND LOCATION OF EXISTING SEWER STUB PRIOR TO INSTALLATION.
2. INSTALL 6" PVC SDR-35 SEWER LINE TO INVERT ELEVATIONS SHOWN.
3. INSTALL 6" SEWER CLEANOUT PER THE 2012 UPC. ADJUST TO FINAL FINISH GRADE.
4. SEE PLUMBING PLANS FOR CONTINUATION. VERIFY SIZE, DEPTH AND LOCATION OF BUILDING CONNECTIONS PRIOR TO CONSTRUCTION.

FIRE FLOW CALCULATIONS	
LVVWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM	
	PAD G
REQUIRED FIRE FLOW (GPM)	1,500
SQUARE FOOTAGE	4,800 SF
HEIGHT	22-35
TYPE OF CONSTRUCTION	V-B
SPRINKLER SYSTEM	YES
OCCUPANCY	B

APPROVED REDUCED PRESSURE PRINCIPAL ASSEMBLY(S) SHALL BE
INSTALLED PER THE UDACS PLATE #8. NO WATER SHALL BE TAKEN FROM
A SERVICE REQUIRING BACK FLOW PREVENTION UNTIL THE REDUCED
PRESSURE PRINCIPAL ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE
LWWD.

ANY BLOCK WALL OR OTHER FENCES MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY.

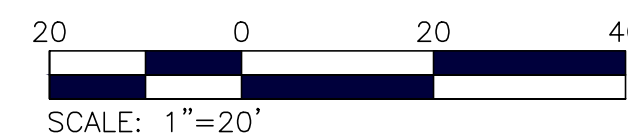
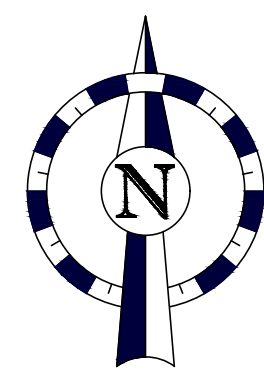
EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

LAS VEGAS FIRE AND RESCUE DATE _____

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES

PROJECT NO.: 136494 FIRST APPROVAL DATE: _____
 LWWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM

LVVWD APPROVAL IS VALID FOR ONE (1) YEAR FROM SIGNATURE DATE. IF CONSTRUCTION IS NOT STARTED, PLANS MUST BE RESUBMITTED FOR REVIEW AND APPROVAL.



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623•547•2500
Fax: 623•547•2501



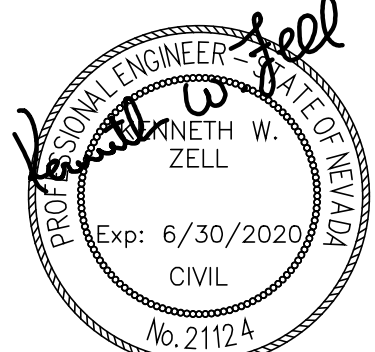
HWY 95 AND SKYE CANYON



NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

T: 480.998.0709
WWW.APMI.COM

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258



DRAWN TWJ
DATE 4.JANUARY.2019
PROJECT 18105.00

UTILITY PLAN

C5

L19-00372



**LAS VEGAS
CITY COUNCIL**

CAROLYN G. GOODMAN
Mayor

LOIS TARKANIAN
Mayor Pro Tem

STAVROS S. ANTHONY
BOB COFFIN

STEVEN G. SEROKA
MICHELE FIORE
CEDRIC CREAR

SCOTT D. ADAMS
City Manager

DEPARTMENT OF PLANNING

ROBERT SUMMERFIELD
DIRECTOR

**DEVELOPMENT
SERVICES CENTER**

DEPARTMENT OF PLANNING

333 N. RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NV 89106

702.229.6301 | VOICE
702.474.7463 | FAX
711 | TTY



cityoflasvegas
lasvegasnevada.gov

November 14, 2018

RECEIVED
NOV 19 2018
APMI, INC

Mr. Tom Fehrman
Remington Skye, LLC
5920 South Rainbow Boulevard, Suite #11
Las Vegas, Nevada 89118

**RE: SDR-74661 [PRJ-74459] – SITE DEVELOPMENT PLAN REVIEW –
PUBLIC HEARING
PLANNING COMMISSION MEETING OF NOVEMBER 13, 2018**

Dear Applicant:

The Planning Commission at a regular meeting held on November 13, 2018 voted to **APPROVE** a request for a Site Development Plan Review FOR A PROPOSED 3,650 SQUARE-FOOT FINANCIAL INSTITUTION, GENERAL (WITH DRIVE-THOUGH) ON PAD G OF AN EXISTING SHOPPING CENTER on 6.13 acres at the northeast corner of Skye Park Drive and W Skye Canyon Park Drive (APN 125-07-210-007), T-D (Traditional Development) Zone [GC (General Commercial) Skye Canyon Special Land Use Designation], Ward 6 (Fiore) [PRJ-74459].

This approval is subject to the following conditions:

Planning

1. Conformance to the approved conditions for Site Development Plan Review (SDR-63598) shall be required.
2. Master Sign Plan (MSP-72987) shall be amended to depict the proposed signage for all pad sites not included with the original master sign plan approval.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 09/26/18 except as amended by conditions herein.

RECEIVED

NOV 19 2018

APMI, INC

5. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
6. These Conditions of Approval shall be affixed to the cover sheet of any plan set
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
8. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
9. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

10. An Update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits, submittal of construction drawings or the submittal of a Final Map for this site, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
12. Site development to comply with all applicable conditions of approval for the Skye Canyon II Tentative Map (TMP-58560), Site Development Plan Review SDR-63598 and all other applicable site-related actions.

This action by the Planning Commission on **November 13, 2018** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests submitted please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **November 26, 2018**.

SDR-74661 [PRJ-74459] - Page Three
November 14, 2018

No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:nl

cc:

Mr. Adam Siros
APMI, Inc.
8300 North Hayden Road
Scottsdale, Arizona 85258

Mr. Juan Gonzales
APMI, Inc.
8300 North Hayden Road
Scottsdale, Arizona 85258