

DS #: 4961

APN: 125-24-602.001

PROJECT: Decatur Donald III (Unicorn)

SUBMITTAL: 3rd

SCANNED BY/DATE:

CHECKED BY/DATE:



|                                                                            |                                      |                                                                                                   |
|----------------------------------------------------------------------------|--------------------------------------|---------------------------------------------------------------------------------------------------|
| <b>CITY OF LAS VEGAS</b>                                                   |                                      | <b>DATE:</b>                                                                                      |
| <b>INTER-OFFICE MEMORANDUM</b>                                             |                                      | May 10, 2018                                                                                      |
| <b>TO:</b><br>Land Development Services<br>Department of Building & Safety |                                      | <b>FROM:</b><br>Albert Sung, P.E.<br>Flood Control Project Engineer<br>Department of Public Works |
| <b>SUBJECT:</b>                                                            | Drainage Study for:                  | <b>COPIES TO:</b>                                                                                 |
|                                                                            | Decatur Donald III (Unicorn)         | Actus                                                                                             |
| <b>Cross Streets:</b>                                                      | SEC of Dorrell Lane & Unicorn Street | Beazer Homes                                                                                      |
| <b>File Number:</b>                                                        | F:\Depot\DSMemos\DS4961C.doc         | Bart Anderson, P.E., DevCo                                                                        |
| <b>Parcel Number:</b>                                                      | 125-24-602-001                       |                                                                                                   |
| <b>Zoning Action:</b>                                                      | TMP-63589                            |                                                                                                   |
| <b>FEMA Flood Zone</b>                                                     | YES NO <b>X</b>                      |                                                                                                   |
| <b>Proposed Storm Drain</b>                                                | YES NO <b>X</b>                      |                                                                                                   |

| HISTORY                    | DATE RECEIVED | DATE REVIEWED | COMMENTS           | REVIEW FEES       | FEES PAID<br>Payment Trn # |
|----------------------------|---------------|---------------|--------------------|-------------------|----------------------------|
| 1 <sup>st</sup> Submittal  | 3/6/2018      | 3/14/2018     | Not Approved       | \$400.00          | 493854: \$400              |
| 2 <sup>nd</sup> Submittal  | 3/26/2018     | 4/10/2018     | Not Approved       | \$400.00          | 494398: \$400              |
| 3 <sup>rd</sup> Submittal  | 4/26/2018     | 5/10/2016     | See Comments Below | \$400.00          | 495293: \$400              |
| <b>TOTAL FEES (LDDRS):</b> |               |               |                    | <b>\$1,200.00</b> | ----                       |

#### REMARKS:

The Drainage Study for the subject project has been reviewed and:

|          |                                                                                                |
|----------|------------------------------------------------------------------------------------------------|
| <b>X</b> | is approved subject to conformance to all City standards and the following conditions:         |
|          | must be resubmitted or supplemented including the following:                                   |
|          | is conditionally approved subject to Clark County Regional Flood Control District concurrence. |
|          | is conditionally approved subject to Clark County Public Works Department concurrence.         |

**NOTE:** Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

**NOTE:** Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

**END OF REMARKS**

ays

T/R/S: T19S/R60E/24  
AREA G-24

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL  
**DRAINAGE STUDY INFORMATION FORM**

Name of Development: Decatur Donald III (Unicorn) Date: 4/26/2018  
Location of Development: a) Descriptive (Cross Streets) North/South: Unicorn Street  
East/West: Dorrell Lane  
b) Section: 24 Township: 19S Range: 60E  
c) APN : 125-24-602-001

Name of Owner: Beazer Homes Holdings LLC  
Telephone No.: 702-802-4428 Fax No.: N/A E-Mail Address: jeff.lesnick@beazer.com  
Address: 2470 Paseo Verde Parkway Suite 135, Henderson, NV 89074

Contact Person-Name: Darryl Lattimore Telephone No.: (702) 586-9296  
\* E-Mail Address: darryl.lattimore@actus-nv.com Fax No.: N/A  
Firm: Actus  
Address: 3203 E. Warm Springs Road Suite 400, Las Vegas, NV 89120

Type of Land Development/Land Disturbance Process:

|                          |                  |                                     |                          |                          |                              |
|--------------------------|------------------|-------------------------------------|--------------------------|--------------------------|------------------------------|
| <input type="checkbox"/> | Rezoning         | <input checked="" type="checkbox"/> | Subdivision Map          | <input type="checkbox"/> | Clearing and Grading Only    |
| <input type="checkbox"/> | Parcel Map       | <input type="checkbox"/>            | Planned Unit Development | <input type="checkbox"/> | Other (Please specify below) |
| <input type="checkbox"/> | Large Parcel Map | <input type="checkbox"/>            | Building Permit          | <input type="checkbox"/> | Completion of ROW            |

1. Total Owned Land Area: At Site: 2.1+/- Being Developed/Disturbed: 2.1 +/-
2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes\*\* ☒ No
3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes\*\* ☒ No
4. Proposed type of development (Residential, Commercial, Etc.): Residential
5. Approximate upstream land area which drains to the subject site: 0 +/-
6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: TDS for Paradise Meadows Encore
7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: East of the site to Las Vegas Wash
8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

**\*New Required Field**

**\*\*Review and concurrence of the Clark County Regional Flood Control District is required.**

|                             | Revision | Date |
|-----------------------------|----------|------|
|                             |          |      |
|                             |          |      |
|                             |          |      |
| Local Entity File No. _____ |          |      |

REFERENCE:

STANDARD FORM 1

**ADDENDUM #2 TO THE  
TECHNICAL DRAINAGE STUDY  
For  
DECATUR DONALD III (UNICORN)  
(APN: 125-24-602-001)**

W. Dorrell Lane and Unicorn Street

City of Las Vegas

Date: April 26, 2018

Prepared for:

Jeff Lesnick  
jeff.lesnick@beazer.com  
Beazer Homes Las Vegas  
2470 Paseo Verde Parkway, Suite 135  
Henderson, Nevada 89074  
702-802-4428

Completed By: Spencer McMillan

Reviewed By: Darryl Lattimore, PE



April 26, 2018



3203 E. Warm Springs Road  
Suite 400, Las Vegas, NV 89120  
(702) 586-9296

Albert Sung, P.E.  
Flood Control Project Engineer  
City of Las Vegas Department of Public Works  
333 N. Rancho Drive  
Las Vegas, NV 89106

**Re: Technical Drainage Study for Decatur Donald III (TMP-63589)**

Mr. Sung,

This letter addresses the comments issued in response to the initial submittal of the above referenced Technical Drainage Study.

Comments issued by Clark County Development Services are retyped below and are followed by Actus response(s) in bold type.

**CCPW – Development Review Comments:**

*Comment 1: Sites with a grade difference of 2' above or below existing grades are required to have approval from the City of Las Vegas Planning and Development Department. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the City Planning Department (229-6301). The engineer must provide City Planning approval with the next submittal.*

**Response 1: A copy of the City Planning Approval is included in the section for Comment 1 in the Appendix of this Addendum.**

*Comment 2: Per the Plan and Profile Sheet C6, the project proposed to shift the original high point in Unicorn Street for about 50' to the south. The new high point will be lower than the original high point. Per the subject study, the 100-year flow depth in Dorrell Lane is 0.79'. The proposed TC/HP and centerline FG in Unicorn are adequate, however, the west roadside HP at 14.11FL is lower than the corresponding 100-year water surface in Dorrell Lane ( $13.47\text{FL} + 0.79' = 14.26\text{FL}$ ) which is not acceptable. Review and revise accordingly.*

**Response 2: Changes have been made and are reflected on the revised Grading Plan.**

*Comment 3: Label an existing 24"-storm drain system in Dorrell Lane with City of Las Vegas recorded drawing number on the grading plan.*

**Response 2: Changes have been made and are reflected on the revised Grading Plan.**

We hope the above responses satisfy any concerns. If you have any questions or need any additional information, please feel free to call our office at (702) 586-9296.

Sincerely,

Spencer McMillan  
Engineering Intern I

Darryl Lattimore, P.E.  
President

## APPENDIX



|                                                                            |                                                            |                                                                                                   |
|----------------------------------------------------------------------------|------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| <b>CITY OF LAS VEGAS<br/>INTER-OFFICE MEMORANDUM</b>                       |                                                            | <b>DATE:</b><br>April 11, 2018                                                                    |
| <b>TO:</b><br>Land Development Services<br>Department of Building & Safety |                                                            | <b>FROM:</b><br>Albert Sung, P.E.<br>Flood Control Project Engineer<br>Department of Public Works |
| <b>SUBJECT:</b>                                                            | Drainage Study for:<br><b>Decatur Donald III (Unicorn)</b> | <b>COPIES TO:</b><br>Actus                                                                        |
| <b>Cross Streets:</b>                                                      | SEC of Dorrell Lane & Unicorn Street                       | Beazer Homes                                                                                      |
| <b>File Number:</b>                                                        | F:\Depot\DSMemos\DS4961B.doc                               | Bart Anderson, P.E., DevCo                                                                        |
| <b>Parcel Number:</b>                                                      | 125-24-602-001                                             |                                                                                                   |
| <b>Zoning Action:</b>                                                      | TMP-63589                                                  |                                                                                                   |
| <b>FEMA Flood Zone</b>                                                     | YES NO X                                                   |                                                                                                   |
| <b>Proposed Storm Drain</b>                                                | YES NO X                                                   |                                                                                                   |

| HISTORY                   | DATE RECEIVED | DATE REVIEWED | COMMENTS                   | REVIEW FEES     | FEES PAID<br>Payment Trn # |
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|                           |               |               | <b>TOTAL FEES (LDDRS):</b> | <b>\$800.00</b> | ----                       |

#### REMARKS:

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|          |                                                                                                |
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|          | is conditionally approved subject to Clark County Public Works Department concurrence.         |

1. Sites with a grade difference of 2 feet above or below existing grades are required to have approval from the *City of Las Vegas Planning and Development Department*. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the *City Planning Department* (229-6301). The engineer must provide *City Planning* approval with the next submittal.
2. Per the *Plan & Profile Sheet C6*, the project proposes to shift the original high point in *Unicorn Street* for about 50' to the south. The new high point will be lower than the original high point. Per the subject study, the 100-year flow depth in *Dorrell Lane* is 0.79'. The proposed TC/HP and centerline FG in *Unicorn* are adequate, however, the west roadside HP at 14.11FL is lower than the corresponding 100-year water surface in *Dorrell Lane* ( $13.47\text{FL} + 0.79' = 14.26\text{FL}$ ) which is not acceptable. Review and revise accordingly.
3. Label an existing 24"-storm drain system in *Dorrell Lane* with *City of Las Vegas* recorded drawing number on the grading plan.

**NOTE:** Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

**END OF REMARKS**

ays

T/R/S: T19S/R60E/24

AREA G-24

## COMMENT 1





April 19, 2018

Linda Hartman-Maynard  
Department of Planning  
Development Services Center  
333 N. Rancho Drive,  
Las Vegas, NV 89107

3203 E. Warm Springs  
Road, Suite 400  
Las Vegas, NV 89120  
(702) 586-9296

**Re: City Planning Approval Letter- Decatur & Donald III (Unicorn)  
(APNS: 125-24-602-001)**

Dear Linda,

On behalf of our client, Beazer Homes, we respectfully request your approval regarding the grading difference greater than two feet for this project site. The three and half feet rise in elevation is to provide adequate, positive drainage to Dorrell Lane per the approved tentative map.

The grading plan and comment letter for drainage study requesting for the approval letter will be attached in this submission. Thank you for your assistance in this matter. Please contact our office if you need any additional information.

Sincerely,

Bright Huang, EI  
Engineering Intern

Email: [brian.huang@actus-nv.com](mailto:brian.huang@actus-nv.com)

PLANS APPROVED  
PLANNING  
Dept. of Planning  
City of Las Vegas, Nevada

LHM APR 26 2018

Conforms to the minimum requirement of  
LVMC Title 19; applicable Master Plan  
Development standards and/or Conditions of  
Approval. Make No Change Without Approval.  
Plan is Not a Permit to Violate Any Ordinance.

## GRADING PLANS AND DETAILS





1. ACTUS SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE PLANS OR CONDITIONS IN THE FIELD.
2. CONSTRUCTION OF BLOCK WALLS REQUIRES A SEPARATE BUILDING PERMIT AND APPROVAL BY THE BUILDING DEPARTMENT.
3. FOR ROADWAY WIDENING AND HALF STREET IMPROVEMENTS THE CONTRACTOR SHALL VERIFY CROSS SLOPES FROM EXISTING PAVEMENT SAWCUT LINE TO PROPOSED EDGE OF PAVEMENT OR PROJECTED LINE OF CURB PRIOR TO SUBGRADE PREPARATION AND CONSTRUCTION OF PAVEMENT. IF MINIMUM OR MAXIMUM CROSS SLOPES DO NOT MEET AGENCY STANDARDS THE CONTRACTOR SHALL NOTIFY THE ENGINEER.

- 1 CONSTRUCT "L" CURB AND GUTTER PER CCAUD #216
- 2 CONSTRUCT "R" CURB AND GUTTER PER CCAUD 217.3.S1
- 3 CONSTRUCT 5' WIDE SIDEWALK PER CCAUD #234.
- 4 CONSTRUCT 8' CROSS GUTTER PER CCAUD #228.
- 5 CONSTRUCT SIDEWALK DRIVEWAY PER CCAUD #223, #223.1, AND DETAIL "S" ON SHEET C4
- 6 REMOVE AND REPLACE EXISTING AC PAVEMENT. MATCH EXISTING SECTION
- 7 SIDEWALK RAMP PER CCAUD #235 C1. "A" & "B" = 8' UNLESS OTHERWISE NOTED.
- 8 CONSTRUCT PAD PER TYPICAL PAD SECTION DETAIL "1" ON SHEET C4
- 9 SAWCUT EXISTING A.C. PAVEMENT PER PLAN
- 10 INSTALL 3.5" AC OVER 5" TYPE II AGGREGATE BASE
- 11 S' TRANSITION "L" CURB TO "R" CURB PER DETAIL "3" ON SHEET C4
- 12 INSTALL 2.5" AC OVER 4.5" TYPE II AGGREGATE BASE
- 13 CONSTRUCT HALF STREET CROSS GUTTER PER CCAUD #229
- 14 ADJUST EXISTING UTILITY TO GRADE
- 15 EXISTING POWER POLE TO BE REMOVED. SEE NV ENERGY PLANS

ALL GRADING SHALL CONFORM TO GEOTECHNICAL REPORT  
BY: WRIGHT ENGINEERS  
ORIGINAL PROJECT NUMBER: 171053  
DATED: MAY 19, 2017

THIS SITE IS LOCATED IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C 1765F AND 32003C 2583F CLARK COUNTY, NEVADA DATED NOVEMBER 16, 2011.

FLOOD DESIGNATION PROVIDED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

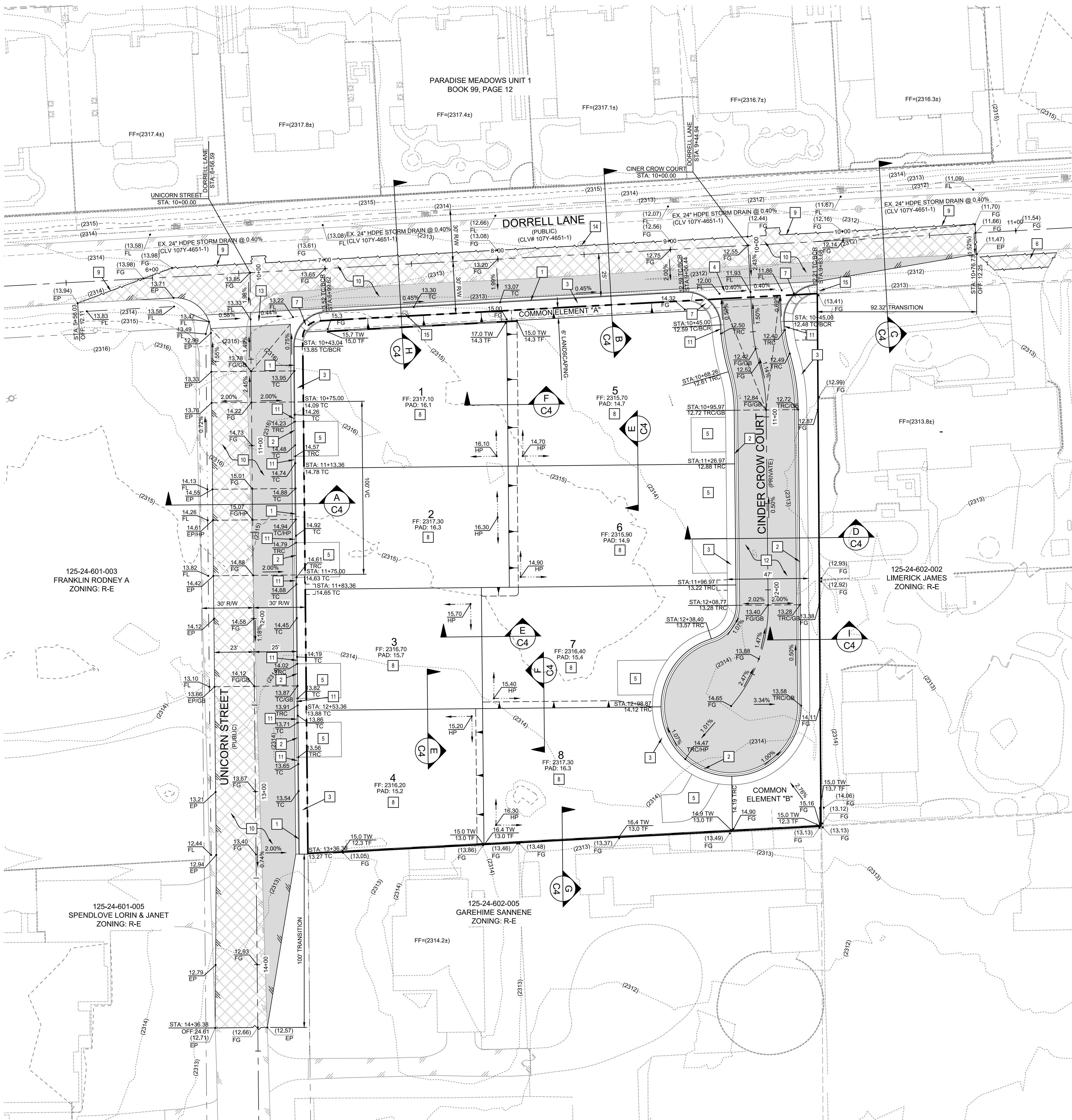
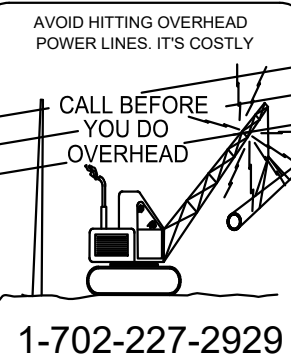
## CITY OF LAS VEGAS BENCHMARK STATION: 5LV90 24NEE6

RIVET AND PLATE IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF DECATUR BOULEVARD AND DORRELL LANE.

ELEVATION = 702.412 METERS (NAVD'88 2008 ADJUSTMENT)  
ELEVATION = 2304.51 US SURVEY FEET (NAV'88 2008 ADJUSTMENT)

NORTH 00°47'07" WEST, BEING THE BEARING OF EAST LINE OF THE NORTHEAST QUARTER (NE  $\frac{1}{4}$ ) OF THE NORTHEAST QUARTER (NE  $\frac{1}{4}$ ) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 6 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS RECORDED IN FILE 106 OF SURVEYS AT PAGE 81, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

THE UNDERGROUND UTILITIES AS SHOWN HEREON HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY EVIDENCE AND EXISTING DRAWINGS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PLANS PROVIDED BY THE CLIENT, UTILITY COMPANIES, AND MUNICIPAL AGENCIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR NOT IN SERVICE. THE SURVEYOR DOES NOT WARRANT THAT ALL UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE TO HIM. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



| PROPOSED | EXISTING |                                                       |
|----------|----------|-------------------------------------------------------|
|          |          | EXISTING RIGHT-OF-WAY                                 |
|          |          | PROPOSED LOT LINE                                     |
|          |          | PROPOSED PROPERTY BOUNDARY LINE                       |
|          |          | PROPOSED RIGHT-OF-WAY                                 |
|          |          | EASEMENT LINE                                         |
|          |          | CENTER LINE                                           |
|          |          | EDGE OF ASPHALT                                       |
|          |          | CURB & GUTTER                                         |
|          |          | RETAINING WALL                                        |
|          |          | SAWCUT LINE                                           |
|          |          | FLOW LINE                                             |
|          |          | GRADE BREAK                                           |
|          |          | MAJOR 5' CONTOUR                                      |
|          |          | MINOR 5' CONTOUR                                      |
|          |          | SCARP (3:1 MAX)                                       |
|          |          | CONCRETE SIDEWALK/<br>VALLEY GUTTER                   |
|          |          | PROPOSED ASPHALT                                      |
|          |          | REMOVE AND REPLACE<br>ASPHALT                         |
|          |          | PHASE LINE                                            |
|          |          | CUT / FILL LINE                                       |
|          |          | FUTURE GRADE TAG                                      |
|          |          | EXISTING GRADE TAG                                    |
|          |          | PROPOSED GRADE TAG                                    |
|          |          | FINISHED FLOOR                                        |
|          |          | TOP OF "L" CURB                                       |
|          |          | TOP OF "R" CURB                                       |
|          |          | TOP OF PAVEMENT                                       |
|          |          | FLOW LINE GRADE                                       |
|          |          | EDGE OF PAVEMENT                                      |
|          |          | TOP OF BERM                                           |
|          |          | TOP OF RETAINING WALL                                 |
|          |          | TOP OF WALL FOOTING                                   |
|          |          | GRADE SLOPE                                           |
|          |          | SECTION MARKER-DETAIL<br>NUMBER ABOVE<br>SHEET NUMBER |

NOTE: QUANTITIES SHOWN ARE RAW QUANTITIES AND APPROXIMATE  
CONTRACTOR TO DETERMINE HIS OWN QUANTITIES FOR GRADING  
PURPOSES.

WORK UNDER THIS PLAN CONSTITUTES GRADING IN ACCORDANCE WITH 2009 IBC; ENGINEERING REPORTS AND CERTIFICATIONS IN CONFORMANCE WITH IBC SHALL BE FILED WITH THE COUNTY PRIOR TO COUNTY APPROVAL AT FINAL INSPECTION.

CUT: 1,777 CY  
FILL: 2,166 CY  
NET: 389 CY (FILL)

SIGHT VISIBILITY ZONE NOTE

NO WALLS, FENCES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

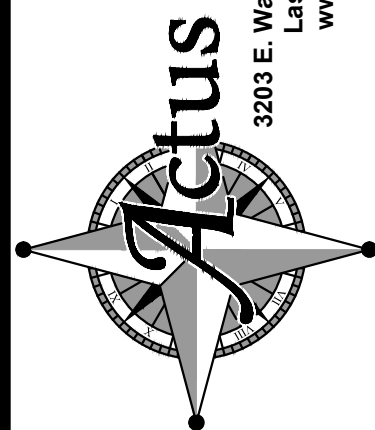
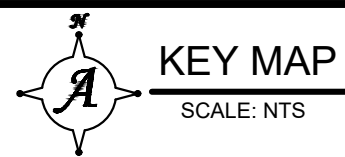
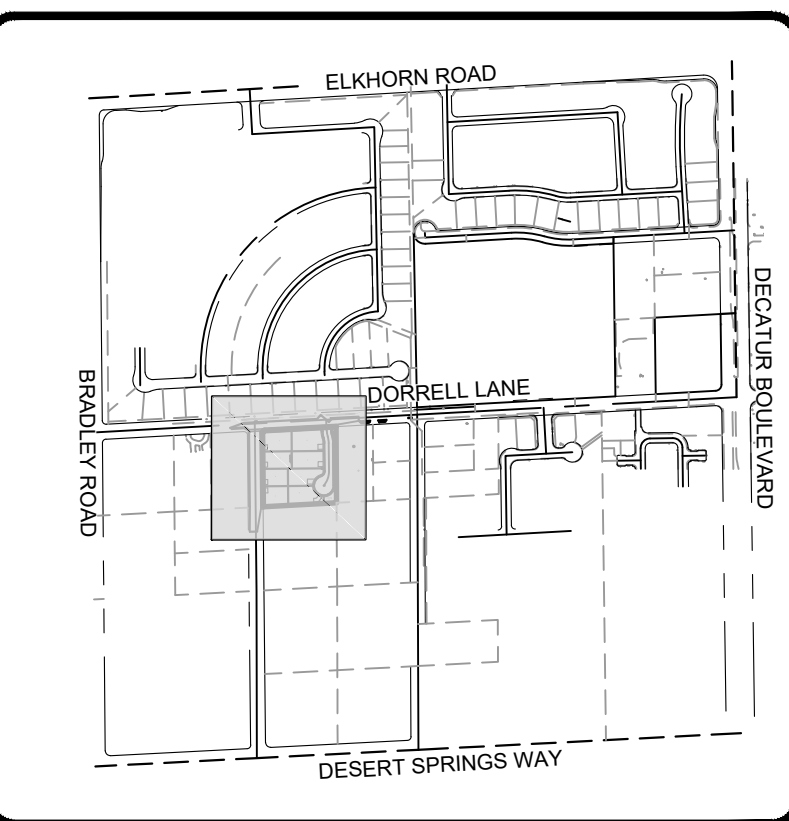
REFER TO TRAFFIC SHEET C10 FOR SIGHT VISIBILITY ZONE  
DIMENSIONS.

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA.

**ENGINEER'S CERTIFICATION**  
 I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE  
 APPROVED UPDATED DRAINAGE STUDY ON FILE WITH THE CITY OF  
 LAS VEGAS FOR CLV# 640226

DARRYL LATTIMORE, P.E.

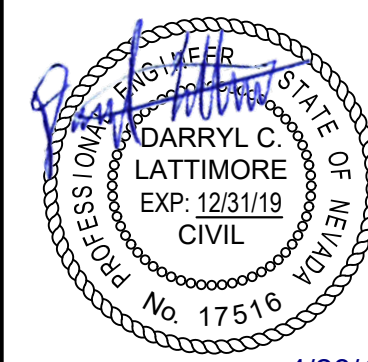
**DATE**



3203 E. Warm Springs Rd., Suite 400  
Las Vegas, NV 89120  
www.actus-nv.com  
(702) 586-9296

Engineering - Surveying - Consulting - Planning

GRADING PLAN  
**DECATUR & DONALD III**  
BEAZER HOMES  
CITY OF LAS VEGAS, NEVADA

[illegible]

4/26/18

|           |            |
|-----------|------------|
| DATE      | 04-26-2018 |
| DRAWN     | BP/RP      |
| DESIGNED  | BP         |
| CHECKED   | DCL        |
| PROJECT # | BZR011801  |

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SHEET TITLE

**GRADING PLAN**

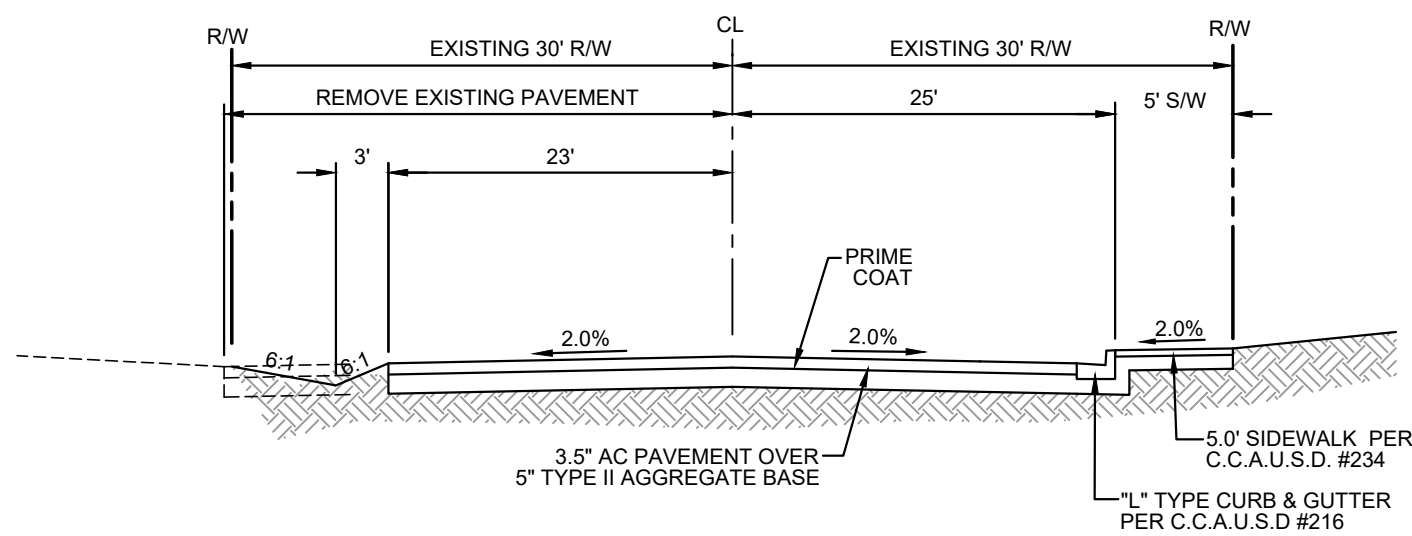
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SHEET NUMBER

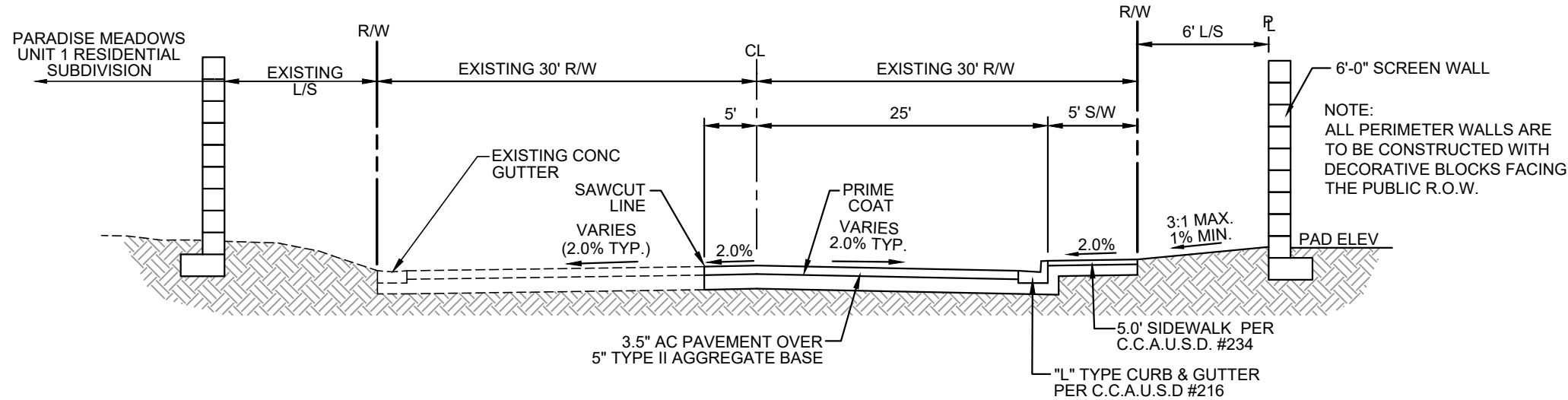
C3

SHEET 3 OF 10

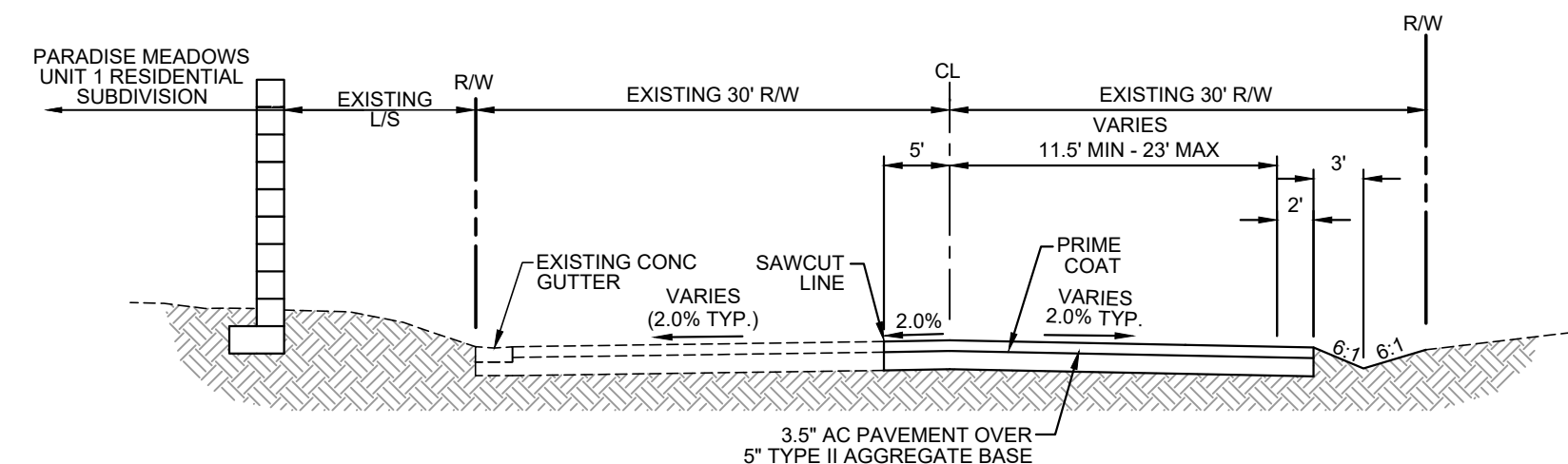
Plot Stamp: 4/26/2018 10:55:51 AM - Bad Prodrf.dwg  
File: P:\B2R011802 - Decatur Donald III\civil\CD\B2R011801-CD-GRAD.dwg Tab: C4



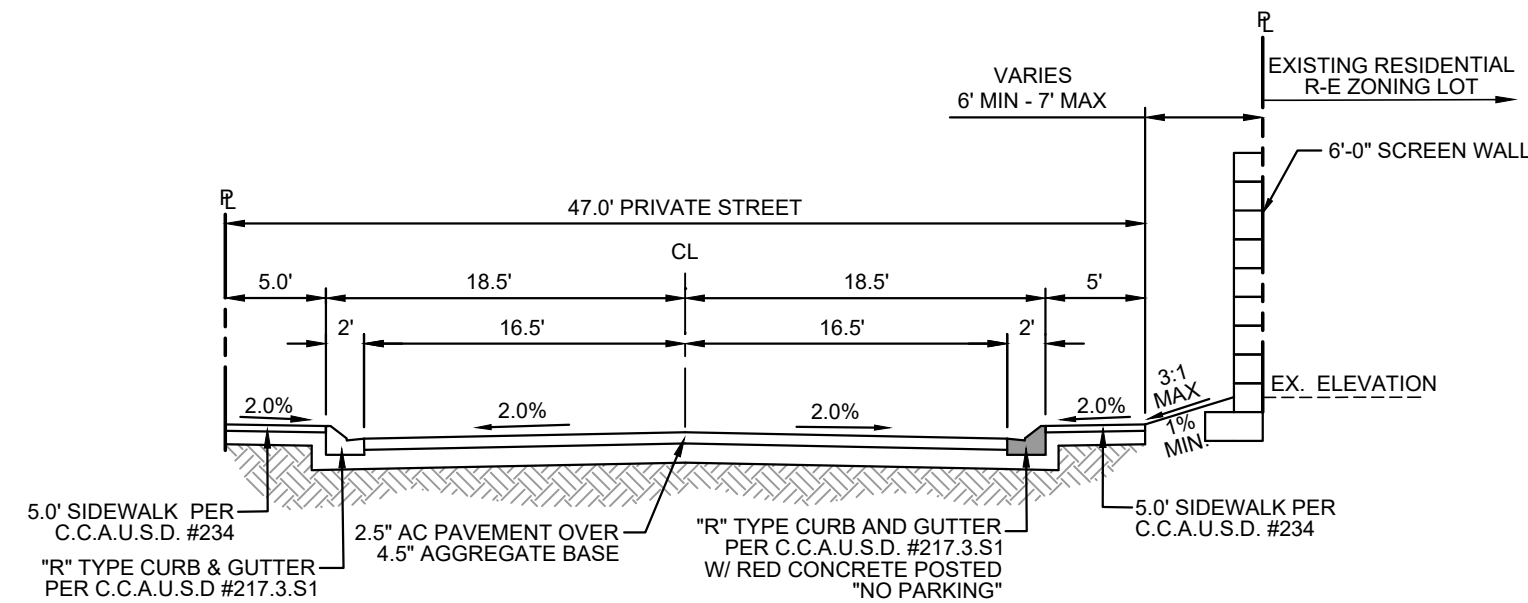
**A UNICORN STREET SECTION (PUBLIC)**  
NOT TO SCALE



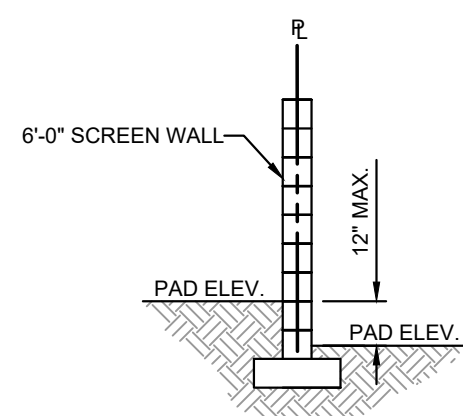
**B DORRELL LANE SECTION (PUBLIC)**  
NOT TO SCALE



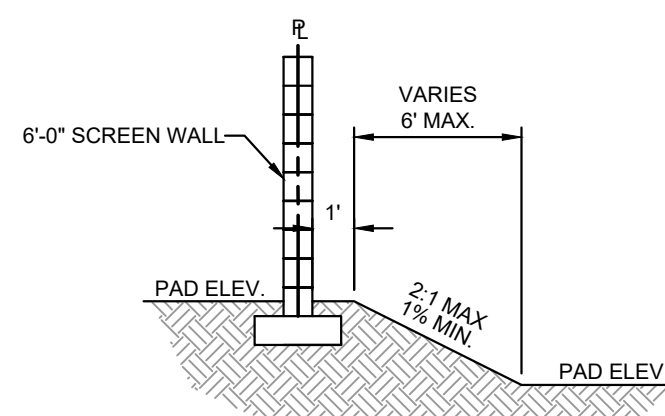
**C DORRELL LANE SECTION (PUBLIC)**  
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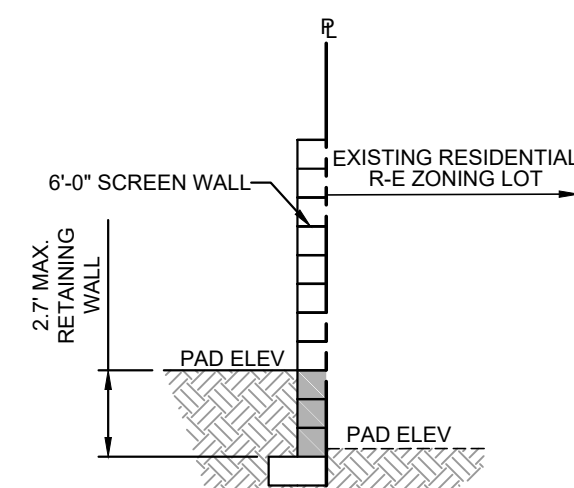
**D 47' (PRIVATE) STREET SECTION**  
NOT TO SCALE



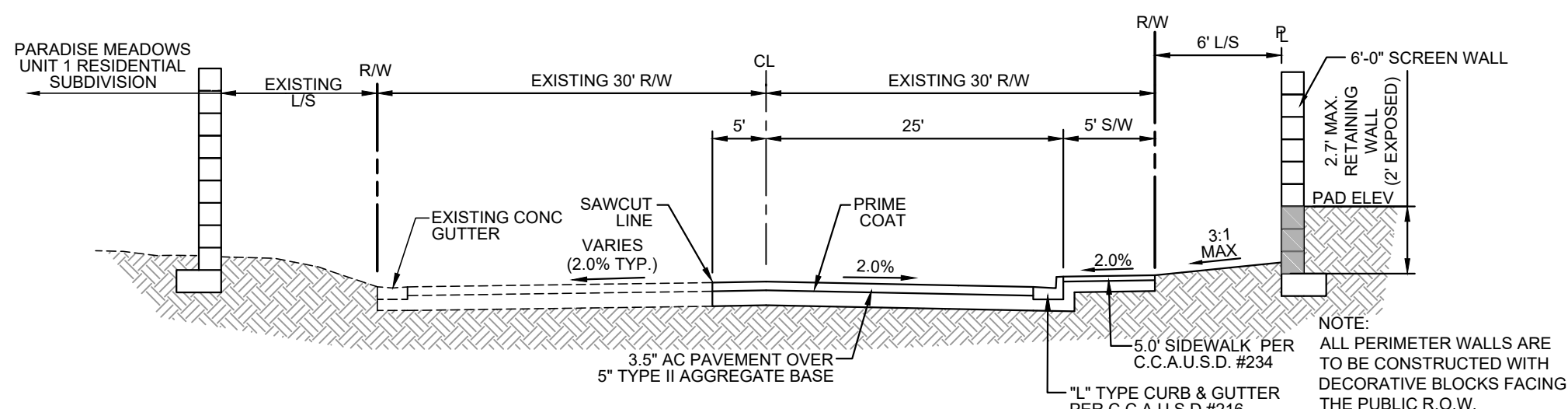
**E LOT LINE SECTION**  
NOT TO SCALE



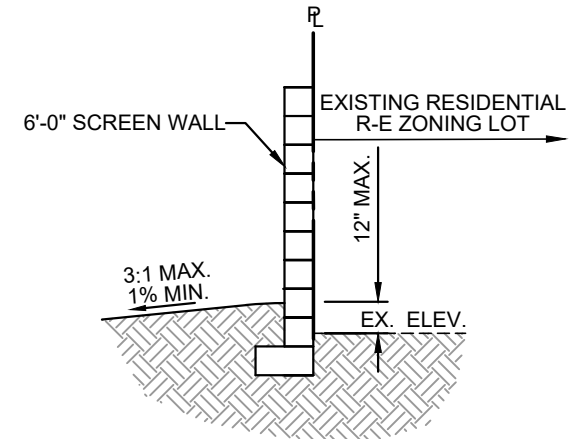
**F LOT LINE SECTION**  
NOT TO SCALE



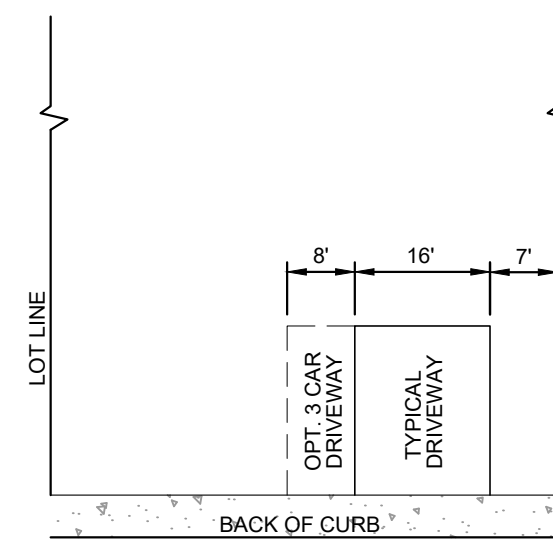
**G SOUTH PROPERTY LINE SECTION**  
NOT TO SCALE



**H DORRELL LANE SECTION**  
NOT TO SCALE



**I EASTERN PROPERTY LINE SECTION**  
NOT TO SCALE

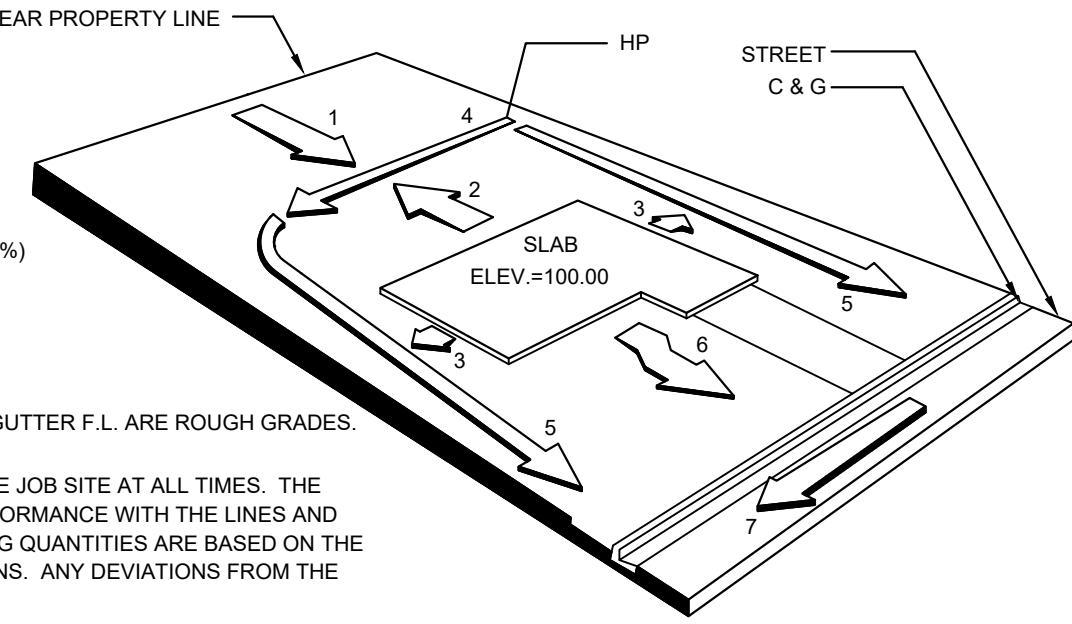


**J TYP. DRIVEWAY DETAIL**  
NOT TO SCALE

**WALL NOTES**

1. WALL DETAILS ARE FOR REFERENCE ONLY AND DO NOT CONSTITUTE A STRUCTURAL DESIGN.
2. CONSTRUCTION OF BLOCK WALLS REQUIRE A SEPARATE BUILDING PERMIT AND APPROVAL BY THE BUILDING DEPARTMENT.
3. ALL PERIMETER WALLS TO BE CONSTRUCTED WITH DECORATIVE BLOCK FACING THE PUBLIC R.O.W.

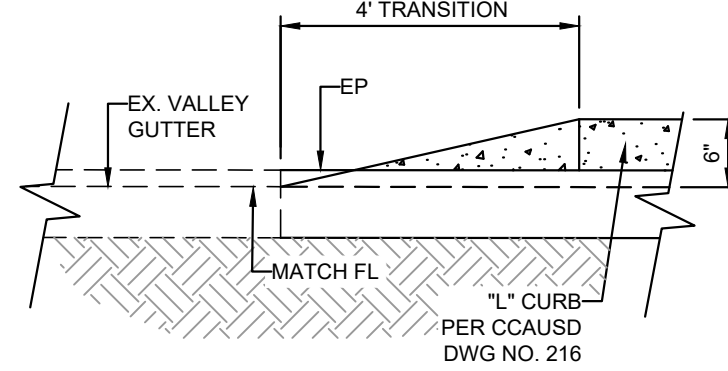
1. SLOPE FROM REAR TO SWALE
2. SLOPE FROM HOUSE TO SWALE (MIN. 5%)
3. SLOPE FROM HOUSE TO SIDE SWALE (MIN. 5%)
4. REAR SWALE (5' MIN. FROM REAR OF HOUSE)
5. SIDE SWALE
6. SLOPE FROM HOUSE TO BACK OF CURB (MIN. 2%)
7. SLOPE OF STREET



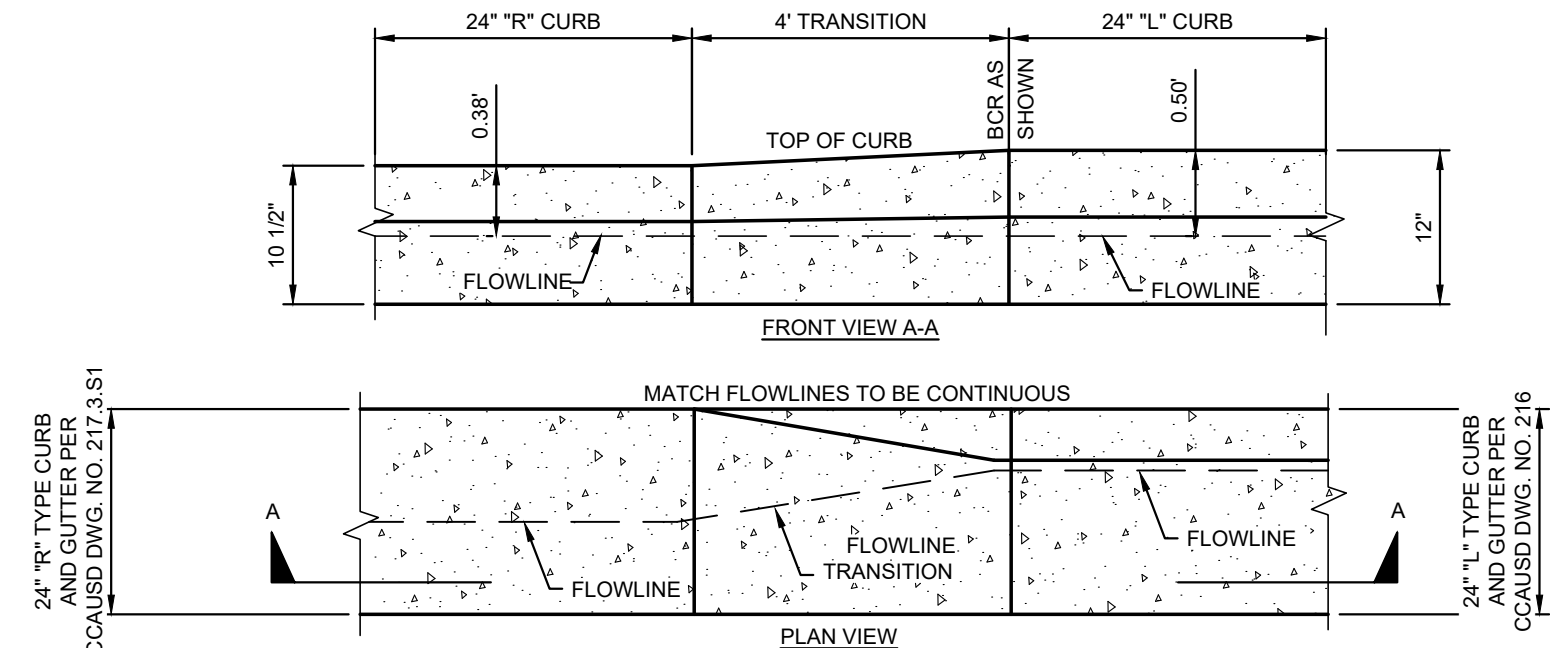
**PERSPECTIVE VIEW**

- A. INDICATED GRADES OTHER THAN T.C., F.G. & GUTTER F.L. ARE ROUGH GRADES. (0.3' LOWER THAN FINISHED GRADE).
- B. THE ROUGH GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIMES. THE ROUGH GRADING SHALL BE FINISHED IN CONFORMANCE WITH THE LINES AND GRADES SHOWN ON THE PLANS. THE GRADING QUANTITIES ARE BASED ON THE ELEVATION AND DETAILS SHOWN ON THE PLANS. ANY DEVIATIONS FROM THE PLANS WILL RESULT IN QUANTITY CHANGES.
- C. CARE SHALL BE EXERCISED IN GRADING CORNER LOTS.
- D. ROUGH PAD ELEVATIONS SHALL BE GRADED TO WITHIN 0.3' OF THE PAD ELEVATIONS SHOWN ON THE PLANS.

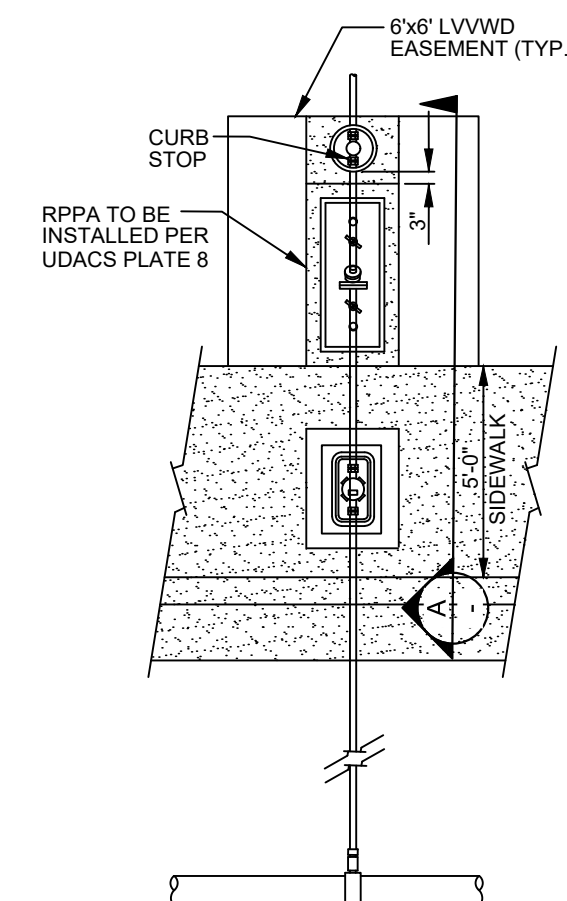
**1 TYPE "A" PAD GRADING DETAIL TYP.**  
NOT TO SCALE



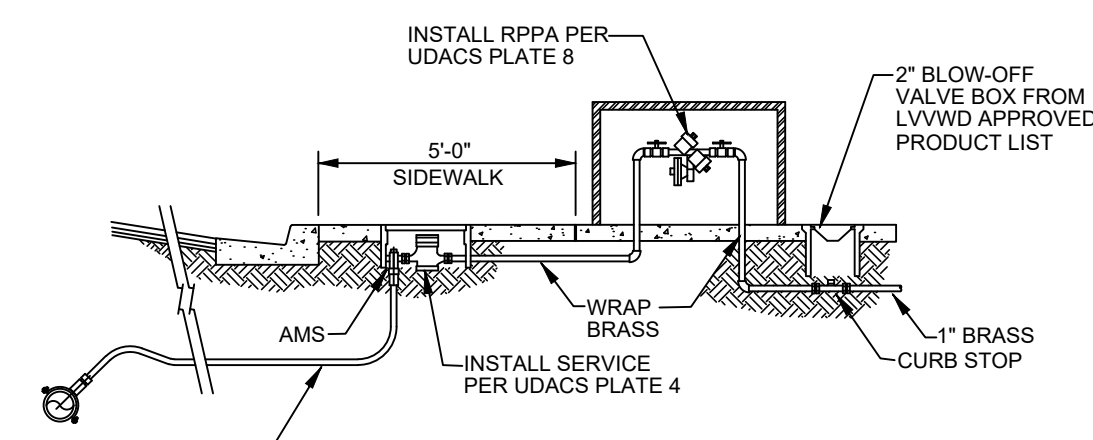
**2 "L" CURB TO VALLEY GUTTER TRANSITION DETAIL**  
NOT TO SCALE



**3 5' "L" CURB TO "R" CURB TRANSITION**  
NOT TO SCALE



**4 METER WITH RPPA PER UDACS PLATE #4 AND #8 AND CURB STOP**  
NOT TO SCALE



**A SECTION**  
NOT TO SCALE

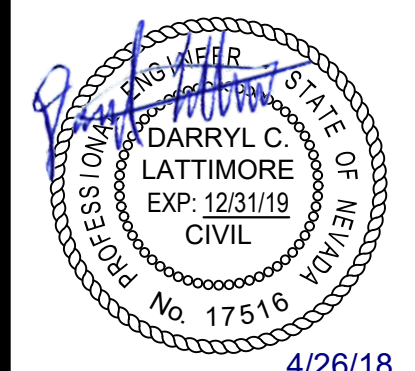
**APPROVED FOR CONSTRUCTION**

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES  
PROJECT NO. XXXXXXXX FIRST APPROVED DATE: 04/26/2018  
LVVWD APPROVED FIRE FLOW 1750 GPM AT 20 PSI RESIDUAL



**DETAILS AND SECTIONS**  
**DECATUR & DONALD III**  
**BEAZER HOMES**  
**CITY OF LAS VEGAS, NEVADA**

| BY | DESCRIPTION | DATE |
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DATE 04-26-2018  
DRAWN BP/RP  
DESIGNED BP  
CHECKED DCL  
PROJECT # B2R011801  
SHEET TITLE  
**DETAILS AND SECTIONS**  
SHEET NUMBER

**C4**  
SHEET 4 OF 10