

DS #:

4857.3

APN:

125-19-202-006

PROJECT:

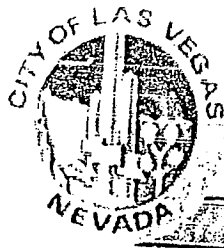
Hualapai Deer Springs Commercial - Update #8

SUBMITTAL:

5W

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS			DATE:
INTER-OFFICE MEMORANDUM			January 9, 2018
TO: Land Development Services Department of Building & Safety			FROM: Jennifer Shinn Flood Control, Eng. Associate Department of Public Works
SUBJECT: Drainage Study for: Hualapai Deer Springs Commercial – Update #3			COPIES TO: Lochsa Engineering
Cross Streets:	NEC of Deer Springs Way & Hualapai Way		BP Holdings, Inc.
File Number:	F:\Depot\DSMemos\DS4857F.doc		Bart Anderson, P.E., DevCo
Parcel Number:	125-19-202-006		CCRFCD
Zoning Action:	TMP-67469 & SDR-67484		CCPW
FEMA Flood Zone	YES	NO X	
Proposed Storm Drain	YES	NO X	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	12/27/2016	1/12/2017	Not Approved	\$400.00	470130: \$400
2 nd Submittal	2/1/2017	2/15/2017	Not Approved	\$400.00	474069: \$400
Supplement	2/21/2017	3/2/2017	Conditional Approval	N/C	N/C
CCPW & CCRFCD	3/27/2017 & 4/5/2017	4/5/2017	Approved	N/C	N/C
3 rd Submittal	4/25/2017	5/9/2017	Approved	\$100.00	482844: \$100
4 th Submittal	11/13/2017	11/28/2017	See Comments Below	\$100.00	491186: \$100
5 th Submittal	12/26/2017	01/09/2018		\$100.00	492326: \$100
TOTAL FEES (LDDRS):				\$1,100.00	----

REMARKS:

5th Submittal: Update #3 for minor onsite change

4th Submittal: Update #2 for minor onsite change

3rd Submittal: Update for minor onsite grading revision

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

jks

T/R/S: T19S/R60E/19
AREA G-19

Update #3 to the Technical Drainage Study for Hualapai-Deer Springs Commercial DS4857

December 2017

Prepared for:

BP Holding, Inc.
3960 Howard Hughes Pkwy #150
Las Vegas, Nevada 89169
(702) 735-5700

Prepared by:

Lochsa Engineering
6345 S Jones Blvd Ste 100
Las Vegas, Nevada 89118
(702) 365-9312

Lochsa Job No. 161109

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Hualapai-Deer Springs Commercial Date: December 21, 2017

Location of Development: a) Descriptive (Cross Streets) North/South: N Hualapai Wy
East/West: W Deer Springs Wy

b) Section: 19 Township: 19 S Range: 60 E

c) APN : 125-19-202-006

Name of Owner: Providence Springs Plaza LLC c/o Josph Bonifatto, BP Holdings, Inc.

Telephone No.: 702-735-5700 Fax No.: _____ E-Mail Address: joeb@bphold.com

Address: 3960 Howard Hughes Pkwy #150 Las Vegas NV 89169

Contact Person-Name: James G.Reynolds, P.E. Telephone No.: 702-365-9312

* E-Mail Address: james.reynolds@lochsa.com Fax No.: 702-365-9317

Firm: Lochsa Engineering

Address: 6345 S Jones Blvd Ste 100 Las Vegas NV 89118

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☐	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☐	Planned Unit Development	☐	Other (Please specify below)
☐	Large Parcel Map	☒	Building Permit		

1. Total Owned Land Area: At Site: 5.3 acres Being Developed/Disturbed: 5.3 acres

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☒ Yes** ☐ No

4. Proposed type of development (Residential, Commercial, Etc.): Commercial

5. Approximate upstream land area which drains to the subject site: 167 acres

6. Has the site drainage been evaluated in the past? ☐ YES ☒ NO If yes, please identify documentation: _____

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: Deer Springs Wy via proposed commercial driveway and sidewalk drain

8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1

December 21, 2017

Mr. Albert Sung, P.E.
City of Las Vegas Public Works Department
Flood Control Division
333 N. Rancho Drive
Las Vegas, NV 89106

Subject: Update 3 to Technical Drainage Study for Hualapai-Deer Springs Commercial

APN: 125-19-202-006
Application Tracking CLV #DS4857
(Lochsa Engineering Project No. 161109)

Dear Mr. Sung:

This letter is being provided as Update 3 to the approved Technical Drainage Study for Hualapai-Deer Springs Commercial (CLV DS4857). The previous Update 2 to the study added two (2) buildings on a pad adjacent to Hualapai Wy near the middle of the site. The proposed FF of both buildings were 2817.60 ft, the same as was approved in the initial study. Update 2 also included minor site changes to accommodate the larger overall building area. This update proposes a single building on the same pad with the same FF as previously approved and shown on the included grading plans.

No changes to site drainage patterns, conveyances or structural BMPs are proposed with this update. Basin areas and hydrology remain unchanged, no building FF elevations have changed, and overall grading as proposed in this update is consistent with the approved study.

If you have any questions, please contact our office at your convenience.

Sincerely,
LOCHSA ENGINEERING

A handwritten signature in black ink, appearing to read 'James G. Reynolds'.

James G. Reynolds, P.E.

REFERENCE APPENDIX

City of Las Vegas Drainage Study Approval Letter

November 28, 2017

CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		November 28, 2017
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	COPIES TO:
	Hualapai Deer Springs Commercial – Update #2	Lochsa Engineering
Cross Streets:	NEC of Deer Springs Way & Hualapai Way	BP Holdings, Inc.
File Number:	F:\Depot\DSMemos\DS4857E.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-19-202-006	CCRFC
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END OF REMARKS

ays

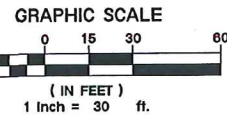
T/R/S: T19S/R60E/19
AREA G-19

Approved Grading Plans from Update 2 to TDS

November 2, 2017

FOR CONTINUATION SEE SHEET C3.02

CITY OF LAS VEGAS JURISDICTION CLARK COUNTY NEVADA JURISDICTION

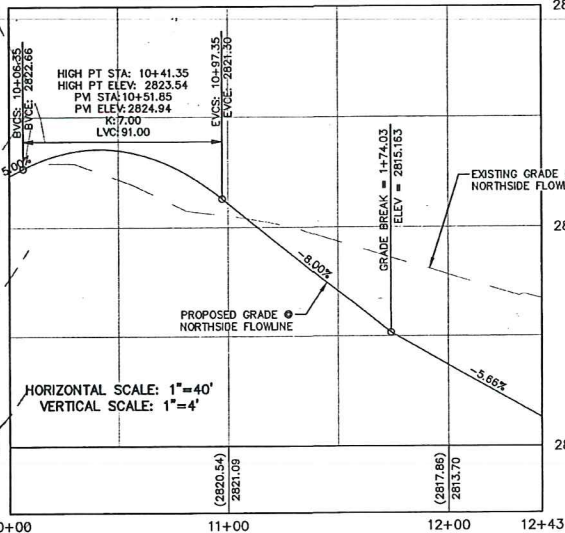


CLARK COUNTY DEPARTMENT OF
PUBLIC WORKS DEVELOPMENT REVIEW
ACCEPTANCE OF PLANS FOR FILING

BY: _____ DATE: _____

ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE
CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF,
ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE
OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK
COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY
RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS
FROM THE ENGINEERING DESIGN DEPICTED HEREIN. NOTE:
POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN
PROPER LOCATION, BASED ON PROPOSED IMPROVEMENTS
SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO
CLARK COUNTY.

PROFILE OF NORTH ENTRANCE



HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

FLOOD ZONE NOTE:

THE PROJECT SITE IS COVERED BY THE FLOOD INSURANCE
RATE MAP (FIRM) FOR THE CLARK COUNTY, NEVADA, AND
INCORPORATED AREAS, COMMUNITY PANEL NUMBER:
32003C1750E, EFFECTIVE DATE: SEPTEMBER 27, 2002.
THE PROJECT SITE FALLS WITHIN ZONE X (UNSHADED), DESCRIBED
BY FEMA AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2%
ANNUAL CHANCE FLOODPLAIN."

CUT	FILL	NET
19,474.46 CY	3,280.62 CY	16,193.83 CY

NOTE: CUT/FILL QUANTITIES ARE TO FINISHED GRADE &
DO NOT INCLUDE MATERIAL THICKNESS, FOOTINGS, ETC.

A.P.N.:
125-19-202-006

BASIS OF BEARINGS:

SOUTH 89°47'00" EAST, BEING THE BEARING OF THE SOUTH
LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE
SOUTHWEST QUARTER (SW 1/4) OF SECTION 19, TOWNSHIP 19
SOUTH, RANGE 60 EAST, M.D.M., ALSO BEING THE CENTERLINE
OF CENTENNIAL PARKWAY AS MEASURED BETWEEN HUALAPAI
WAY AND CONQUISTADOR STREET AS SHOWN ON FILE 107,
PAGE 31 OF SURVEYS IN THE RECORDER'S OFFICE, CLARK
COUNTY, NEVADA.

BENCHMARK:

Rivet & Plate in top of curb at the southeast corner of
the bridge over Clark County Highway 215 on
HUALAPAI. ELEVATION - 653.317 (METERS) / 2143.59 (U.S.
SURVEY FEET) NORTH AMERICAN VERTICAL DATUM OF 1988

STORM DRAIN

CONSTRUCTION NOTES:

- NOT ALL NOTES USED ON THIS SHEET -

1. INSTALL 48" TYPE I STORM DRAIN MANHOLE PER
C.C.A.U.S.D. No. 403
2. CONSTRUCT 2.5' TYPE "CM2" DROP INLET PER C.C.A.U.S.D.
Nos. 412.1 AND 421
3. RCP STORM DRAIN TO BE INSTALLED WITH JOINT GASKETS
PER UDACS SECTION 2, PARAGRAPH 2.22.02-D

CONSTRUCTION NOTES:

- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH
"CLARK COUNTY AREA UNIFORM STANDARD DRAWINGS
(C.C.A.U.S.D.)" LATEST EDITION AND/OR REGULATING ENTITY
HAVING JURISDICTION.

- NOT ALL NOTES USED ON THIS SHEET -

1. CONSTRUCT AC PAVEMENT PER DETAIL 3 ON C6.01
2. CONSTRUCT TYPICAL BUS STOP PER CCAUSD #234.1
3. CONSTRUCT "A" TYPE CURB PER DETAIL 4 SHEET C6.01
4. CONSTRUCT "L" TYPE CURB PER CCAUSD No. 216.
5. CONSTRUCT CONC. SIDEWALK PER CCAUSD No. 234.
6. CONSTRUCT VALLEY GUTTER PER CCAUSD No. 228
7. CONSTRUCT SIDEWALK RAMP CCAUSD No. 235 CASE 1.
8. LANDSCAPING - REFER TO LANDSCAPE PLANS FOR
SPECIFICATIONS.
9. CONSTRUCT 2' VALLEY GUTTER PER DETAIL 8 ON C6.01
10. CONSTRUCT SIDEWALK DRAIN PER C.C.A.U.S.D. No. 236
11. CONSTRUCT MODIFIED CURB RAMP PER DETAIL 1 ON
SHEET C6.01
12. INSTALL RCP SWALES PER DETAIL 5 ON C6.01 WITH
CURB CUTS PER DETAIL 6 ON C6.01
13. SAWCUT AND MATCH EXISTING PAVEMENT
14. CONSTRUCT SIDEWALK RAMP PER DETAIL 13 ON C6.02
15. CONSTRUCT CONC. "U" CHANNEL PER DETAIL 2 ON C6.01
16. PROPOSED WALL BY OTHERS
17. PROPOSED GATE BY OTHERS
18. CONSTRUCT BUS STOP PASSENGER SHELTER PAD PER
CCAUSD #234.2
19. RETAINING WALL BY OTHERS
20. CONSTRUCT 2' WIDE CURB OPENING
21. CONSTRUCT PARKING BUMPER PER DETAIL 14 ON C6.02
22. CONSTRUCT CONC. PAVEMENT PER DETAIL 7 ON C6.01
(INSERT JURISDICTION)
23. PROPOSED TRASH ENCLOSURE PER ARCH. PLANS
24. CONSTRUCT SIDEWALK RAMP PER DETAIL 15 ON C6.02
25. CONSTRUCT "A" TYPE ISLAND CURB PER CCAUSD #219
26. RETAINING WALL WITH HANDRAIL BY OTHERS.
27. CONSTRUCT MODIFIED CURB RAMP PER DETAIL 16 ON
SHEET C6.02
28. INSTALL DETECTABLE WARNING (TRUNCATED DUMPS) PER
CCAUSD No. 235, SHEET 4.
29. INSTALL ENHANCED PAVEMENT PER ARCHITECTURAL
DRAWINGS.
30. CONSTRUCT 1' WIDE CURB OPENING

GENERAL GRADING NOTES:

A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER,
WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR
SHALL EXCAVATE, EXPOSE AND CALCULATE ALL POINTS OF
CONNECTION AND ALL UTILITY CROSSINGS AND INFORM
THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR
REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO
CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM
OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER
AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE
EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH
NOTIFICATION.

B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION
SHALL BE GRADED SMOOTH AND FOUR INCHES OF
TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT
AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE
TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE
AREA SHALL THEN BE SEEDED/SOODED, FERTILIZED,
MULCHED, WATERED AND MAINTAINED UNTIL HARROW GRASS
GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED
TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE
IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY
REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT
SHALL BE CORRECTED BY THE CONTRACTOR AT NO
ADDITIONAL COST TO THE OWNER.

C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE
LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS
SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE
VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE
MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS
NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY
COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION
TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

D. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL
CONDITIONS AND CONSIDERATIONS.

E. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE
LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER
AGENCY HAVING JURISDICTION FOR EXCAVATION AND
TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE
SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER
MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT
LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION
AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR
COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY
OSHA.

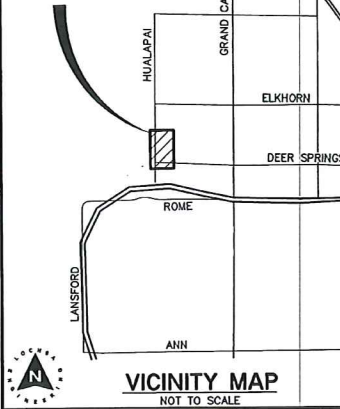
GRADING PLAN CERTIFICATION

NAME: NEW 11/13/18 DATE: 11/13/18
CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE
WITH APPROVED DRAINAGE STUDY FOR THIS SITE ON FILE
AT THE CITY OF LAS VEGAS AND CLARK COUNTY FOR THIS
PROJECT.
DS#4857/DS#17-10295

CUT	FILL	NET
19,474.46 CY	3,280.62 CY	16,193.83 CY

NOTE: CUT/FILL QUANTITIES ARE TO FINISHED GRADE &
DO NOT INCLUDE MATERIAL THICKNESS, FOOTINGS, ETC.

PROJECT SITE



VICINITY MAP

NOT TO SCALE

GRADING NOTES:

1. SLOPES 4:1 OR STEEPER AND FINE-GRAINED MATERIALS
THAT HAVE BEEN DISTURBED (SANDY AND SILTY
MATERIALS) SHOULD BE PROTECTED WITH BURLAP OR
OTHER EROSION CONTROL FABRIC/MATERIAL, UNLESS
OTHERWISE SPECIFIED BY LANDSCAPE DRAWINGS AND
SPECIFICATIONS OR THE SOILS REPORT.
2. CONTRACTOR SHALL DETERMINE HIS OWN FOOTING OR
BASEMENT EXCAVATION QUANTITIES, EVEN THOUGH SHOWN
ON ROUGH GRADING PLANS. ADDITIONALLY, STRUCTURE
BACKFILL COSTS SHOULD BE INCLUDED IN THE COST OF
THE STRUCTURE, UNLESS OTHERWISE SPECIFIED IN THE
CONTRACT DOCUMENTS.
3. CONTRACTOR SHALL NOTIFY LOCHSA ENGINEERING WITHIN
24 HOURS OF OMISSIONS AND ERRORS DISCOVERED ON
PLANS. LOCHSA ENGINEERING WILL NOT BE RESPONSIBLE
FOR ANY "CORRECTIVE" WORK DONE BY OTHERS.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE, NO PONDING
ALLOWED. CONTRACTOR TO FOLLOW RECOMMENDATIONS AS
OUTLINED IN THE PROJECT GEOTECHNICAL REPORT,
INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING AND
COMPACTION. REFER TO THE REPORT PREPARED BY:
GEOTEK, INC., PROJECT No. 13092-LV, DATED: AUGUST 31,
2016.

LAS VEGAS VALLEY

CONSTRUCTION SITE BEST
MANAGEMENT PRACTICES
GUIDANCE MANUAL SECTION
3.5.1 STANDARD NOTES 1-5

1. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR
AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL
SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER
POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED
TO, OR ACCUMULATED IN, THE PUBLIC RIGHT-OF-WAY OF
THE (INSERT JURISDICTION) AS A RESULT OF
CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE
DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH
MATERIAL SHALL BE PREVENTED FROM ENTERING THE
STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST
MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER
AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION
PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET
THE PERFORMANCE STANDARDS SPECIFIED IN THE
(INSERT JURISDICTION) AND THE LAS VEGAS
VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL
BE INSTALLED ON DISTURBED AREAS AS SOON AS
PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE
CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE
HAS TEMPORARILY OR PERMANENTLY CEASED. SOME
EXCEPTIONS MAY APPLY; REFER TO THE NEVADA
STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY
NVR100000, SECTION III.A.5.
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL
INSPECT ALL DISTURBED AREAS, AREAS USED FOR
STORAGE OF MATERIALS AND EQUIPMENT THAT ARE
EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE, AND EXIT
LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS
AFTER ANY RAIN EVENT OR 0.5 INCHES OR MORE. THE
CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE
STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY.
SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY,
SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES.
REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR
CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.12.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED
WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT
OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT,
WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED
WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50
PERCENT OR MORE.

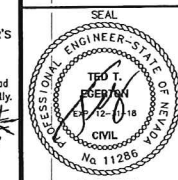
EXISTING UTILITY NOTE:

CONTRACTOR TO ADJUST ALL EXISTING UTILITIES TO
MATCH PROPOSED FINISH GRADE ELEVATIONS.

NOTE:

LOCHSA ENGINEERING ASSUMES NO RESPONSIBILITY FOR
EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES
SHOWN ON THIS PLAN ARE FROM THE BEST AVAILABLE
INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES,
INCLUDING BUT NOT LIMITED TO, THE WATER, FIRE, SANITARY
SEWER, STORM SEWER, TELEPHONE, POWER, GAS, AND
IRRIGATION LINES PRIOR TO THE COMMENCEMENT OF
CONSTRUCTION. IF CONFLICT EXISTS IN THE FIELD, THE
CONTRACTOR IS TO NOTIFY THE PROJECT ARCHITECT, OWNER'S
REPRESENTATIVE AND THE PROJECT ENGINEER IMMEDIATELY.

Call before you Dig
Avoid hitting overhead
power lines. It's costly.
CALL BEFORE
YOU DIG
FAST
Underground
Call
1-800-227-2600
1-702-432-5300
1-702-227-2929



SHEET No.
C3.01

CLV No. HTE No.

69418 17-19756

Approved Grading Plan from UPDATE 2

Lochsa
engineering

DEER SPRINGS AND HUALAPAI
CITY OF LAS VEGAS,
NEVADA

GRADING PLANS
SHEET 1 OF 2

PROJECT No.: 161109

DATE: NOVEMBER 2, 2017

SCALE: 1"=30'

DRAWN BY: MGZ

DESIGNED BY: MGZ

CHECKED BY: JU

SEAL

PROFESSIONAL ENGINEER - STATE OF NEVADA

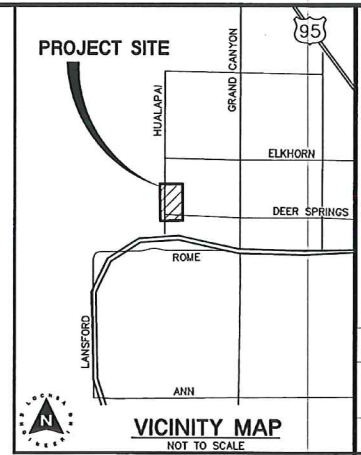
11/2/2017

SHEET No.

C3.01

CLV No. HTE No.

69418 17-19756



CONSTRUCTION NOTES:

LAS VEGAS VALLEY
CONSTRUCTION SITE BEST
MANAGEMENT PRACTICES
GUIDANCE MANUAL SECTION
2.5.1. STANDARD NOTES 1-5

EXISTING UTILITY NOTE:
CONTRACTOR TO ADJUST ALL EXISTING UTILITIES TO
MATCH PROPOSED FINISH GRADE ELEVATIONS.

NOTE:
LOCHSA ENGINEERING ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THIS PLAN ARE FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO, THE WATER, FIRE, SANITARY SEWER, STORM SEWER, TELEPHONE, POWER, GAS, AND IRRIGATION LINES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF CONFLICT EXISTS IN THE FIELD, THE CONTRACTOR IS TO NOTIFY THE PROJECT ARCHITECT, OWNER'S REPRESENTATIVE AND THE PROJECT ENGINEER IMMEDIATELY.

Call before you Dig
Avoid cutting underground
utility lines. It's costly.

**CALL
811**

OR

1-800-227-2800

Avoid hitting overhead
power lines. It's costly.

FAST

**Call
before you
Underground**

1-702-432-6300
FREEWAY, CENTRAL & SYSTEM
OF TRANSPORTATION

1-702-227-2829

**1500W HPS
STREET LIGHTS**



**150W HPS
STREET LIGHTS**



**200W HPS
STREET LIGHTS**



**250W HPS
STREET LIGHTS**



GRADING PLANS
SHEET 2 OF 2

DEER SPRINGS AND HUALAPAI
CITY OF LAS VEGAS,
NEVADA

SHEET 1	TITLE	
PROJECT No.:		161109
DATE:		NOVEMBER 2, 2017
SCALE:		1"=30'
DRAWN BY:		MGZ
DESIGNED BY:		MGZ
CHECKED BY:		JLI
SHEET No.		C3.02
SHEET 7 of 15		
CLV No.	HTE No.	
39418		17-19768

APPROVED GRADING PLAN FROM UPDATE 2

GRADING PLAN CERTIFICATION

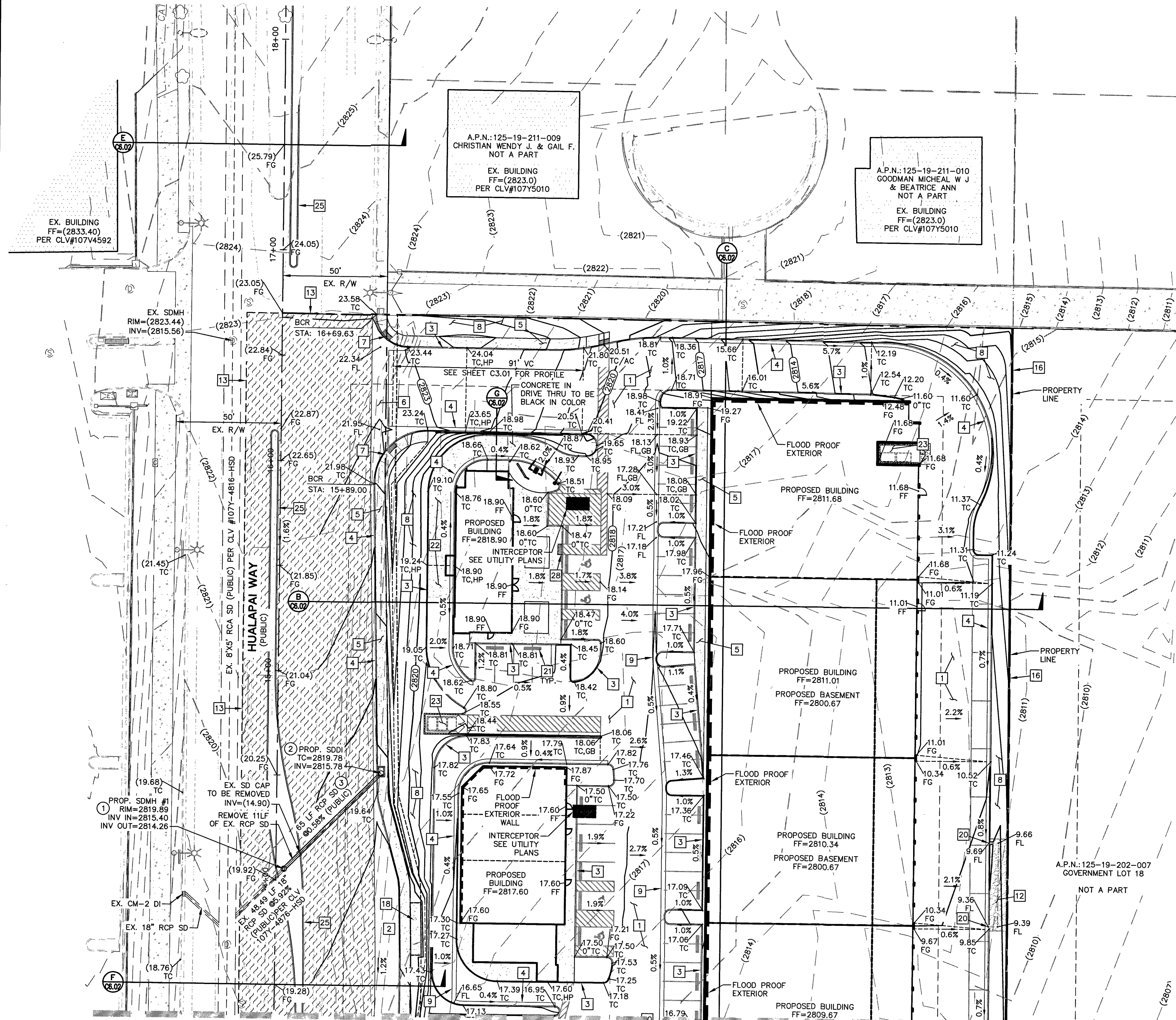
NAME: Ty PE: 11286 DATE: 11/13/17

CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE
WITH APPROVED DRAINAGE STUDY FOR THIS SITE ON FILE
AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

DS#4857

S	GATE VALVES	REDUCERS	CLEAN OUTS	UTILITY BOX OR VAULT	BACK VALVES
	⊗	▷	○	□	⊕
	⊙	▶	●	▢	⊗

LEGEND	CL OR SURVEY LINE		EASEMENT LINE	DESCRIPTION:	CONTOUR LINES	EDGE OF PAVEMENT	"A" TYPE CURBS	"L" TYPE CURBS	WALLS	FENCES	AC PAVEMENT	CONCRETE	SPOT ELEVATIONS	SIGNS	MANHOLE W/ DESCRIPTION	MANHOLE DESCRIPTIONS	FIRE HYDRANTS	GATE VALVES	REDUCERS	CLEAN OUTS	UTILITY BOX OR VAULT	BACKWATER VALVES	100" HPS STREET LIGHTS	150" HPS STREET LIGHTS	200" HPS STREET LIGHTS	250" HPS STREET LIGHTS
	PROPERTY LINE		SAWCUT LINE	EXISTING:	---(2210)---								12.34 BC		⑥	⑥ = SANITARY SEWER										
	ROW LINE		SCARP LINE	PROPOSED:	---2122---								12.34 BC		⑥	⑥ = STORM DRAIN ⑥ = ELECTRICAL ⑥ = TELEPHONE										



FOR CONTINUATION SEE SHEET C3.01

CITY OF LAS VEGAS JURISDICTION CLARK COUNTY NEVADA JURISDICTION

A.P.N.: 125-19-202-006

BASIS OF BEARINGS:

SOUTH 89°47'00" EAST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 19, TOWNSHIP 19 SOUTH, RANGE 60 EAST, W.D.M., ALSO BEING THE CENTERLINE OF CENTENNIAL PARKWAY AS MEASURED BETWEEN HUALAPAI WAY AND CONQUISTADOR STREET AS SHOWN ON FILE 107, PAGE 31 OF SURVEYS IN THE RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

BENCHMARK:

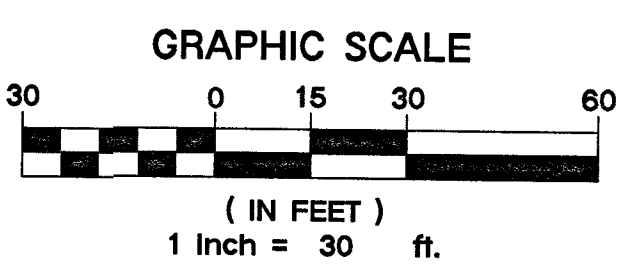
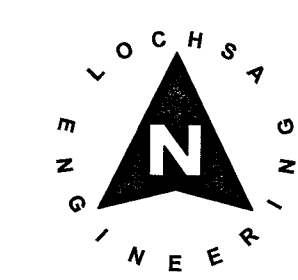
RIVET & PLATE IN TOP OF CURB AT THE SOUTHEAST CORNER OF THE BRIDGE OVER CLARK COUNTY HIGHWAY 215 ON HUALAPAI. ELEVATION - 853.317 (METERS) / 2795.59 (U.S. SURVEY FEET) NORTH AMERICAN VERTICAL DATUM OF 1988

FLOOD ZONE NOTE:

THE PROJECT SITE IS COVERED BY THE FLOOD INSURANCE RATE MAP (FIRM) FOR THE CLARK COUNTY, NEVADA, AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 32003C1750E, EFFECTIVE DATE: SEPTEMBER 27, 2002. THE PROJECT SITE FALLS WITHIN ZONE "X" (UNSHADED), DESCRIBED BY FEMA AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

CUT	FILL	NET
19,474.45 CY	3,290.52 CY	16,183.93 CY

NOTE: CUT/FILL QUANTITIES ARE TO FINISHED GRADE & DO NOT INCLUDE MATERIAL THICKNESS, FOOTINGS, ETC.



STORM DRAIN

CONSTRUCTION NOTES:

- NOT ALL NOTES USED ON THIS SHEET -
- INSTALL 48" TYPE I STORM DRAIN MANHOLE PER C.C.A.U.S.D. No. 403
- CONSTRUCT 2.5" TYPE "CM2" DROP INLET PER C.C.A.U.S.D. Nos. 412.1 AND 421
- RCP STORM DRAIN TO BE INSTALLED WITH JOINT GASKETS PER UOACS SECTION 2, PARAGRAPH 2.22.02-D

CONSTRUCTION NOTES:

- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH "CLARK COUNTY AREA UNIFORM STANDARD DRAWINGS (C.C.A.U.S.D.)" LATEST EDITION AND/OR REGULATING ENTITY HAVING JURISDICTION.
- NOT ALL NOTES USED ON THIS SHEET -
- CONSTRUCT AC PAVEMENT PER DETAIL 3 ON C6.01.
- CONSTRUCT TYPICAL BUS STOP PER CCAUSD #234.1
- CONSTRUCT "A" TYPE CURB PER DETAIL 4 SHEET C6.01
- CONSTRUCT "L" TYPE CURB PER CCAUSD No. 216.
- CONSTRUCT CONC. SIDEWALK PER CCAUSD No. 234.
- CONSTRUCT VALLEY GUTTER PER CCAUSD No. 228
- CONSTRUCT SIDEWALK RAMP CCAUSD No. 235 CASE I.
- LANDSCAPING - REFER TO LANDSCAPE PLANS FOR SPECIFICATIONS.
- CONSTRUCT 2" VALLEY GUTTER PER DETAIL 8 ON C6.01
- CONSTRUCT SIDEWALK DRAIN PER C.C.A.U.S.D. No. 236
- CONSTRUCT MODIFIED CURB RAMP PER DETAIL 1 ON SHEET C6.01
- INSTALL RIP RAP SWALES PER DETAIL 5 ON C6.01 WITH CURB CUTS PER DETAIL 6 ON C6.01
- SAWCUT AND MATCH EXISTING PAVEMENT
- CONSTRUCT SIDEWALK RAMP PER DETAIL 13 ON C6.02
- CONSTRUCT CONC. "U" CHANNEL PER DETAIL 2 ON C6.01
- PROPOSED WALL BY OTHERS
- PROPOSED GATE BY OTHERS
- CONSTRUCT BUS STOP PASSENGER SHELTER PAD PER CCAUSD #234.2
- RETAINING WALL BY OTHERS
- CONSTRUCT 2" WIDE CURB OPENING
- CONSTRUCT PARKING BUMPER PER DETAIL 14 ON C6.02
- CONSTRUCT CONC. PAVEMENT PER DETAIL 7 ON C6.01
- PROPOSED TRASH ENCLOSURE PER ARCH. PLANS
- CONSTRUCT SIDEWALK RAMP PER DETAIL 15 ON C6.02
- CONSTRUCT "A" TYPE ISLAND CURB PER CCAUSD #219
- RETAINING WALL WITH HANDRAIL BY OTHERS.
- CONSTRUCT MODIFIED CURB RAMP PER DETAIL 16 ON SHEET C6.02
- INSTALL DETECTABLE WARNING (TRUNCATED DOMES) PER CCAUSD No. 235, SHEET 4.
- INSTALL ENHANCED PAVEMENT PER ARCHITECTURAL DRAWINGS.
- CONSTRUCT 1" WIDE CURB OPENING

GENERAL GRADING NOTES:

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED. AREAS AND RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

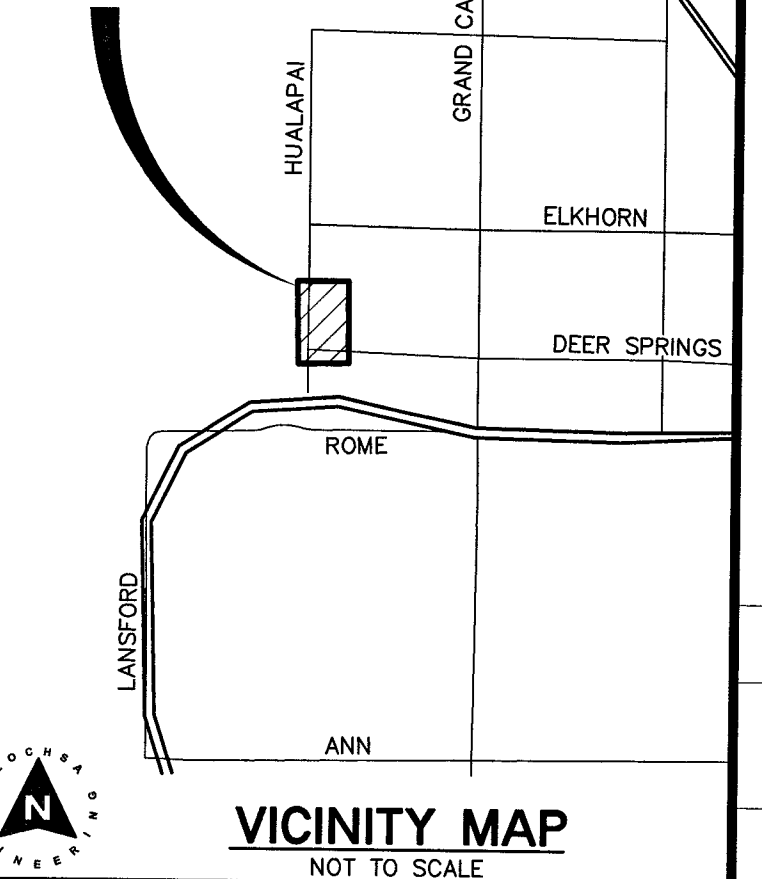
GRADING PLAN CERTIFICATION

NAME: *[Signature]* PE # *11280* DATE: *12/13/17*

CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH APPROVED DRAINAGE STUDY FOR THIS SITE ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

DS#4857

PROJECT SITE



GRADING NOTES:

- SLOPES 4:1 OR STEEPER AND FINE-GRAINED MATERIALS THAT HAVE BEEN DISTURBED (SANDY AND SILTY MATERIALS) SHOULD BE PROTECTED WITH BURLAP OR OTHER EROSION CONTROL FABRIC/MATERIAL, UNLESS OTHERWISE SPECIFIED BY LANDSCAPE DRAWINGS AND SPECIFICATIONS OR THE SOILS REPORT.
- CONTRACTOR SHALL DETERMINE HIS OWN FOOTING OR BASEMENT EXCAVATION QUANTITIES, EVEN THOUGH SHOWN ON ROUGH GRADING PLANS. ADDITIONAL EXCAVATION BACKFILL COSTS SHOULD BE INCLUDED IN THE COST OF THE STRUCTURE, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL NOTIFY LOCHSA ENGINEERING WITHIN 24 HOURS OF OMISSIONS AND ERRORS DISCOVERED ON PLANS. LOCHSA ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY "CORRECTIVE" WORK DONE BY OTHERS.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. NO PONDING ALLOWED. CONTRACTOR TO FOLLOW RECOMMENDATIONS AS OUTLINED IN THE PROJECT GEOTECHNICAL REPORT, INCLUDING BUT NOT LIMITED TO EXCAVATION, GRADING AND COMPACTION. REFER TO THE REPORT PREPARED BY: GEOTEK, INC., PROJECT No. 13092-LV, DATED: AUGUST 31, 2016.

LAS VEGAS VALLEY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES GUIDANCE MANUAL SECTION 3.5.1 STANDARD NOTES 1-5

- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHT-OF-WAY OF THE (INSERT JURISDICTION). AS A RESULT OF THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT, SUCH MATERIAL SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE (INSERT JURISDICTION) AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI0000, SECTION III.A.5.
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL RESPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OR 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI00000, SECTION III.A.12.
- ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

EXISTING UTILITY NOTE:

CONTRACTOR TO ADJUST ALL EXISTING UTILITIES TO MATCH PROPOSED FINISH GRADE ELEVATIONS.

NOTE:

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1-702-432-5300
1-702-227-2929

161109

DATE: DECEMBER 13, 2017

SCALE: 1"=30'

DRAWN BY: MGZ

DESIGNED BY: MGZ

CHECKED BY: JLI

SEAL
PROFESSIONAL ENGINEER-5
No. 11286
12/13/2017

SHEET No. C3.02
SHEET 7 of 15
CLV No. 69418
HTE No. 17-19756

GRADING PLANS
SHEET 2 OF 2

DEER SPRINGS AND HUALAPAI
CITY OF LAS VEGAS,
NEVADA

Lochsa
engineering