

DS #:

4880

APN:

139-27-102-009 5 More

PROJECT:

Downtown Business Park

SUBMITTAL:

Supplement

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: May 31, 2017
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for: Downtown Business Park	
Cross Streets:	NWQ of Main Street & Bonanza Road	
File Number:	F:\Depot\DSMemos\DS4880B.doc	
Parcel Number:	139-27-702-009 & more	
Zoning Action:	SDR-67921	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X
COPIES TO: Landon Christopherson		
		Roger Conrad Group LLC
		Bart Anderson, P.E., DevCo

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	4/26/2017	5/16/2017	Not Approved	\$400.00	483017: \$400
Supplement	5/18/2017	5/31/2017	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. Provide the following note on the Tentative and Final Map of the subject project: **THIS 1-LOT COMMERCIAL SUBDIVISION SHALL PROVIDE PERPETUAL INTER-SITE COMMON DRAINAGE RIGHTS ACROSS ALL EXISTING AND FUTURE PARCEL LIMITS.**

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
ays

T/R/S: T20S/R61E/27
AREA M-27

**SUPPLEMENT #1 TO
TECHNICAL DRAINAGE STUDY
FOR
DOWNTOWN BUSINESS PARK
APN# 139-27-702-009, 012, 013 & 015
CLV # 4880**

Prepared for:

ROGERS CONRAD INC.
737 N. MAIN STREET
LAS VEGAS, NV 89101

Prepared by:

Landon Christopherson
2885 E. Quail Avenue
Las Vegas, Nevada 89120

May 2017

This report is intended to serve as SUPPLEMENT #1 TO THE TECHNICAL DRAINAGE STUDY FOR SUMMERLIN MEMORY CARE, prepared by Landon Christopherson, P.E. dated March 20, 2017. The revisions in this supplement are intended to supersede the data contained in the technical drainage study.

The comments in a letter dated May 16, 2017 from City of Las Vegas Department of Flood Control and the responses are included below:

COMMENT#1: Include a Tentative Map for the subject development in the next submittal to verify a note of inter-lot drainage right for existing and future parcel map of the whole site is provided.

RESPONSE#1: Provided as requested.

COMMENT#2: Label the existing contour lines so that the reviewer will be able to compare the difference between the proposed and existing grades. Provide as such in the next submittal.

RESPONSE#2: The contours have been labeled on the revised grading plan in several locations to help with the identification of each contour.

COMMENT#3: Identify the property line between the proposed and existing buildings in Section Detail A. Provide a swale in the subject property side in the detail section and identify the swale in the plan view.

RESPONSE#3: The property line and swale have been placed on the grading plan. Since 1% could not be achieved a 2 foot concrete valley gutter will be constructed along the property line to assure the flows will flow from the rail road to the dedicated right-of-way. The slope will be a minimum of 0.5% which is greater than the 0.4% allowed on concrete. A sidewalk under drain has been placed at the end of the valley gutter.

COMMENT#4: Section Detail D shows a proposed swale behind the sidewalk in Main Street. Identify the proposed swale in the plan view and provide a sidewalk under drain in Main Street for ultimate discharge.

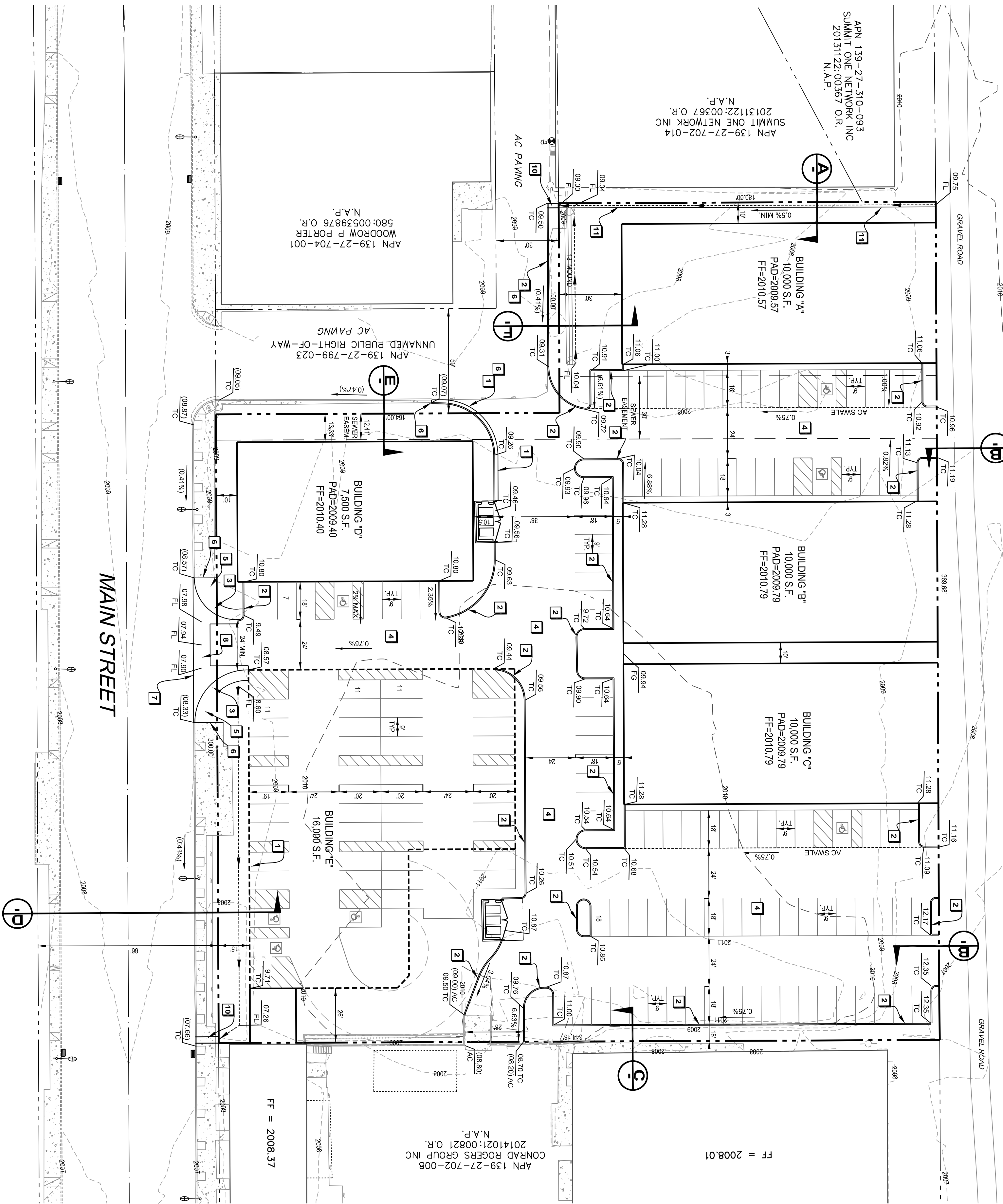
RESPONSE#4: The swale has been shown on the grading plan as well as the sidewalk under drain needed to get the flow to the street.

COMMENT#5: Section Detail E shows a proposed swale adjacent to the new buildings "A" and "D", identify the swale in the plan.

RESPONSE#5: Detail F was added to show the swale along the side of building "A" with a mound to keep the flows in the swale until it reaches the sidewalk under drain at the rear of building "A". Detail E was revised to show a minimum of 1% / 2:1 max. from building "D" to the right-of-way as the slope of the street will not allow a 1% minimum swale in that area.

Tentative Map

Grading Plan



NOTE:

ALL ONSITE STORM DRAINS AND THE ASSOCIATED FACILITIES ARE PRIVATELY OWNED AND TO BE PRIVATELY MAINTAINED BY THE PROPERTY OWNER.

DLIC CONSULTING
2885 E. OUAL AVENUE
LAS VEGAS, NV 89120
(702) 702-621-7021
PROJECT NO. 2017-682 MI-05
DATED: APRIL 14, 2017

BASIS OF BEARINGS.
N 27°45'00" W, BEING THE EAST RIGHT-OF-WAY LINE OF MAIL STREET AS SHOWN BY MAP IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 2 OF PLATS, PAGE 33.

THIS GRADING PLAN COMPLIES WITH THE
APPROVED DRAINAGE STUDY # -----

GENERAL NOTES

2. CONTRACTION TO FIELD VERIFY ALL EXISTING PLYA ELEVATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
3. THIS SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN PER FIRM, MAP NO. 32003C2300E REVERSED SEPTEMBER 27, 2002.
4. ESTIMATED EARTHWORK QUANTITIES: 4,408 C.Y.-CUT, 1,610 C.Y.-FILL

GOOD CUTTING UNDERGROUND
UTILITY LINES. IT'S COSTLY.
Call
before you
Dig.

Call before you
OVERHEAD

OWNER/DEVELOPER

ROGERS CONRAD GROUP INC
737 MAIN ST
LAS VEGAS, NV 89101

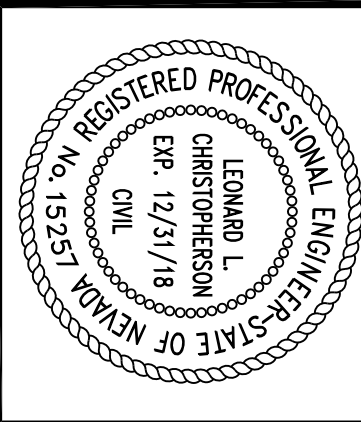
ENGINEER

LANDON CHRIS OPHERSON
2885 E. QUAIL AVENUE
LAS VEGAS, NV 89120

LEGEND	
	EXISTING / ADJACENT RIGHT-OF-WAY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING GROUND CONTOUR
	EXISTING RETAINING WALL
	PROPOSED RETAINING WALL
	PROPERTY LINE
	CENTER LINE
	SAWCUT LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING AC DESCRIPTION
	PROPOSED AC DESCRIPTION
	EXISTING RATE OF GRADE / DIRECTION OF FLOW
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

[illegible]

ENGINEER'S SEAL:



ENGINEER:



DEVELOPMENT | LAND ANALYSIS | CONSTRUCTION

2885 EAST QUAIL AVENUE
LAS VEGAS, NEVADA 89120
PHONE: 702-521-7021

CLIENT:

ROGERS CONRAD
GROUP INC
737 MAIN ST
LAS VEGAS, NV 89101

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GRADING CONSTRUCTION NOTES	
1	CONSTRUCT 1/2" TYPE CURB & GUTTER PER C.C.A.U.S.D. STD. DWG. NO. 216.
2	CONSTRUCT ONSITE W/ CURB PER C.C.A.U.S.D. STD. DWG. NO. 216.
3	CONSTRUCT SIDEWALK PAVE PER STANDARDS IN C.C.A.U.S.D. STD. DWG. NO. 226.
4	REFER TO SOILS REPORT
5	CONSTRUCT SIDEWALK PER C.C.A.U.S.D. STD. DWG. NO. 224
6	SAW CUT EXISTING AS NEEDED AND CONSTRUCT SIDEWALK PER STANDARDS
7	SAW CUT EXISTING AND REMOVE CURB GUTTER MATCH EXISTING AC
8	CONSTRUCT COMMERCIAL DRIVE PER C.C.A.U.S.D. STD. DWG. NO. 226
9	INSTALL 12" DRAINAGE EASEMENT TO PRIVATELY MAINTAINED
10	CONSTRUCT SIDEWALK UNDER DRAIN PER C.C.A.U.S.D. STD. DWG. NO. 226
11	CONSTRUCT 2' VALLEY GUTTER

SHEET NUMBER: 3 OF 5	SCALE: 1"=30'	DATE: MAR. 27, 2017	PROJECT:
			DOWNTOWN BUSINESS PARK 721 N. MAIN STREET LAS VEGAS, NV 89101 APN: 139-27-702-009, 012, 013 & 015
			SHEET TITLE:
			GRADING PLAN