

DS #: 4852

APN: 138.02.713.002

PROJECT: WOW Carwash @ Craig & Ranches

SUBMITTAL: 2nd Submittal

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		January 30, 2017
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	
	WOW Carwash @ Craig & Rancho	
Cross Streets:	SEC of Craig Road & Rancho Drive	
File Number:	F:\Depot\DSMemos\DS4852B.doc	
Parcel Number:	138-02-713-002	
Zoning Action:	SDR-66476	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X
		COPIES TO: McCay Engineering S. T. Holdings, LLC Bart Anderson, P.E., DevCo CCRFC NDOT

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	12/5/2016	12/21/2016	Not Approved	\$400.00	467640: \$400
2 nd Submittal	1/12/2017	1/30/2017	See Comments Below	\$400.00	471841: \$400
TOTAL FEES (LDDRS):				\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

- Per **Condition #7** of **TMP-60902**, off-site improvements shown in **Area 1** (southeast corner of **Rancho Drive** and **Craig Road**) of the **Phasing Plan** must be constructed or guaranteed prior the issuance of permits for this site.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T20S/R60E/02
AREA L-02

McCAY ENGINEERING

11700 W. CHARLESTON BLVD., SUITE 170-298
LAS VEGAS, NV 89135
702-860-3897

ADDENDUM #1 TO THE TECHNICAL DRAINAGE STUDY FOR WOW CARWASH @ CRAIG & RANCHO (AKA UPDATE #1 TO THE CRAIG & RANCHO MASTER DRAINAGE STUDY)

LAS VEGAS
JANUARY 11, 2017



McCay ENGINEERING

PREPARED FOR:

S.T. HOLDINGS, LLC
755 YOSEMITE AVE, SUITE J
MERCED, CA 95340

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: WOW Carwash @ Craig & Rancho Date: January 11, 2017
Location of Development: a) Descriptive (Cross Streets) North/South: Rancho Drive
East/West: Craig Road
b) Section: 2 Township: 20S Range: 60E
c) APN: 138-02-713-002 (portion of)
Name of Owner: S.T. Holdings LLC
Telephone No.: 209-383-2244 Facsimile No.: _____ Email Address: _____
Address: 755 Yosemite Ave, Suite J Merced CA 95340
Contact Person Name: Jeremy McCay Telephone No: 702-860-3897
E-mail Address: jmccay@centurylink.net
Firm: McCay Engineering
Address: 11700 W. Charleston Blvd., Suite 170-298, Las Vegas, NV 89135

Type of Land Development/Land Disturbance Process:

☐
☐
☐

Rezoning
Parcel Map
Large Parcel Map

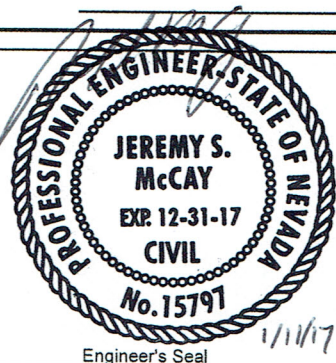
☐
☐
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Subdivision Map
Planned Unit Development
Building Permit

☐
☐

Clearing and Grading Only
Other (Please specify below)

1. Total Owned Land Area: At Site: 1.53 ac Being Developed/Disturbed: 1.53 ac
2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? YES* ☐ NO ☐
3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? YES* ☐ NO ☐
4. Proposed type of development (Residential, Commercial, Etc.)? Commercial
5. Approximate upstream land area which drains to the subject site? Approx. 1.3 acres
6. Has the site drainage been evaluated in the past? YES ☐ NO ☐ If yes, please identify documentation:
The TDS for Craig & Rancho Master Drainage Study (DS 4824)
7. If known, please briefly identify the proposed discharge point(s) of runoff from the site:
Craig Road, Rancho Drive, and the adjacent property to the east conforming to the approved study.
8. Briefly describe your proposed schedule for the subject project: As soon as possible



Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

* Review and concurrence of the Clark County Regional Flood Control District is required.

Local Entity File No. _____

Revision	Date

Reference: McCay Engineering Project #15164

STANDARD FORM 1



McCay ENGINEERING

January 11, 2017

Albert Sung, P.E.
City of Las Vegas Flood Control
333 N. Rancho Drive
Las Vegas, Nevada 89106

**RE: ADD #1 TO THE TECHNICAL DRAINAGE STUDY FOR WOW CARWASH @ CRAIG & RANCHO
AKA UPDATE #1 TO THE CRAIG & RANCHO MASTER DRAINAGE STUDY
CLV# DS4852
Job No. 16199**

Mr. Sung:

McCay Engineering has received the City of Las Vegas review comments for the above referenced study, on December 21, 2016. The comments in the subject memorandum have been reproduced with accompanying responses as follows:

Comment 1: Provide a *Phasing Plan* of the whole *Craig & Rancho Master Developments* in the next submittal to identify the portion of *Rancho Road* to be improved with sidewalk and curb & gutter concurrent or prior to the issuance of occupancy permit of the subject *WOW Car Wash* development.

Response 1: A phasing plan has been included in the appendix.

Comment 2: Provide a copy of the *Tentative Map* for the *Craig & Rancho Master Developments* to verify that there is a clause for inter-lot drainage right between present and future subdivided parcels within the master development.

Response 2: The recorded commercial subdivision has been attached. Please refer to Note 1 of the commercial subdivision cover sheet for the necessary language.

Comment 3: The proposed finish floor elevation of the new building is below the corresponding street grades in *Rancho Drive*. Either a berm or a flood wall must be provided behind the back of sidewalk along *Rancho Drive* for onsite flood protection. The top of the berm or the wall must be at least 18" above the corresponding top of curb elevation in *Rancho*. Review and revise according.

Response 3: A berm has been implemented on the revised plans.

Comment 4: Obtain *Occupancy Permit* from the *Nevada Department of Transportation (NDOT)* for the construction of improvements in the *Craig Road* and *Rancho Drive* public right-of-ways adjacent to the subject site prior to constructing any improvements within NDOT jurisdiction.



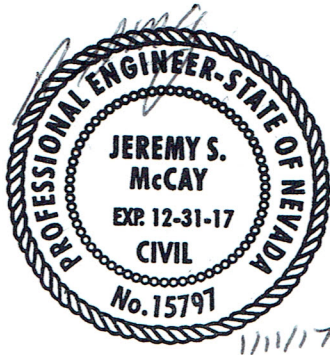
McCay ENGINEERING

Response 4: All offsite improvements within the NDOT ROW are being permitted separately by Lochsa Engineering. No offsite improvements are being proposed in association of this project.

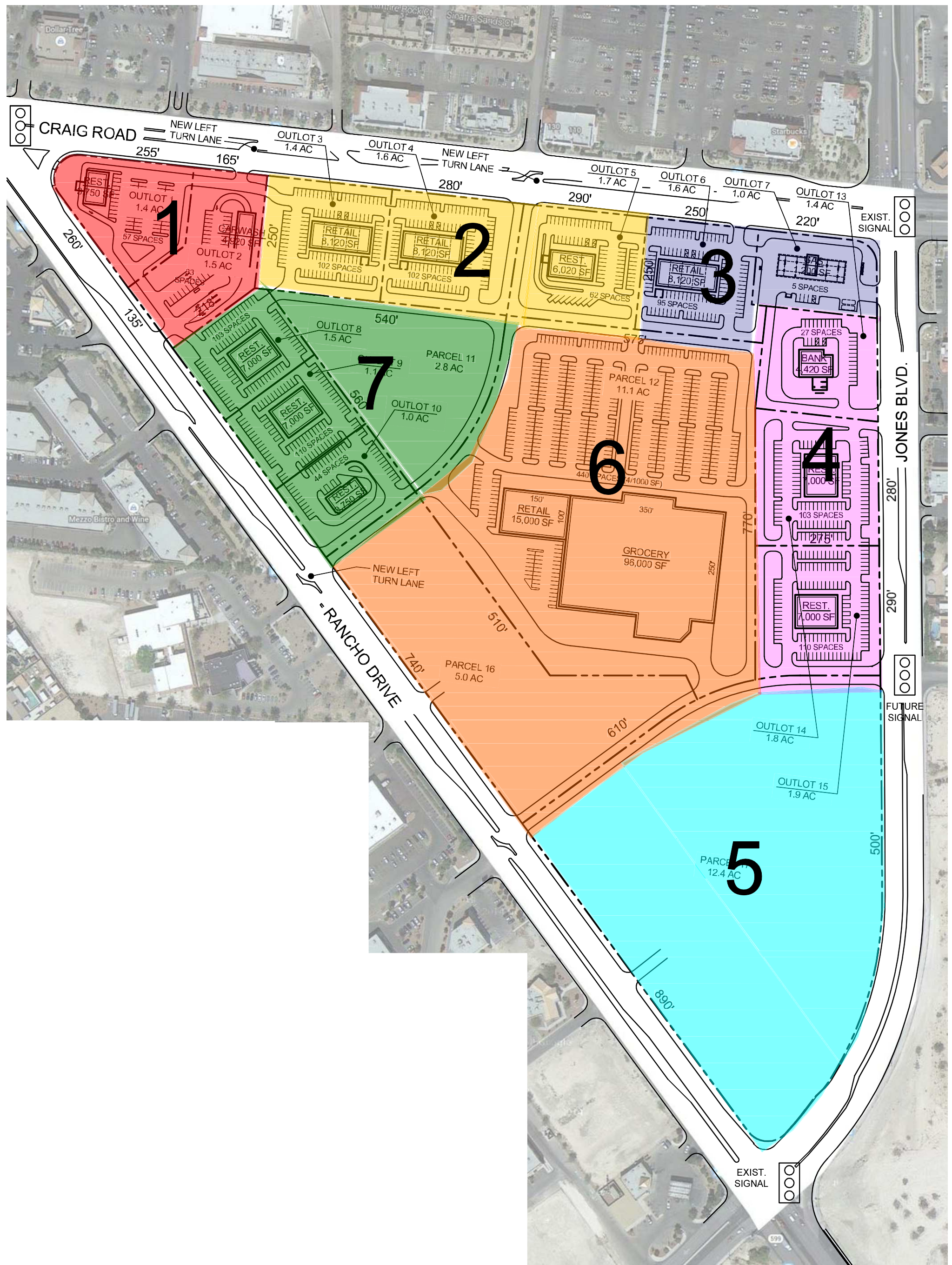
I trust this satisfies your concerns regarding this project. If there are any questions, or additional information necessary, please contact this office.

Sincerely,

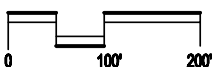
McCay Engineering



Jeremy S. McCay, P.E.
Principal



PROPOSED MASTER PLAN
SCALE: 1" = 200'-0"



RANCHO DRIVE
MASTER PLAN

LAS VEGAS, NEVADA

PARRIS ROBINSON
EASTERN, LLC



OKW Architects

DATE: AUGUST 4, 2015

PROJECT NUMBER: 14097

OWNER'S CERTIFICATE OF DEDICATION

WE, PRE RANCHO CRAIG L L C, A NEVADA LIMITED LIABILITY COMPANY DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PARCEL OF LAND WHICH IS SHOWN UPON THE PLAT OF "FINAL MAP OF CRAIG AND JONES", DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS PLAT, AND DO HEREBY:

— OFFER AND DEDICATE TO THE CITY OF LAS VEGAS ALL THE STREET (EXCEPT PRIVATE STREETS) AND OTHER PUBLIC RIGHTS-OF-WAY AND PLACES AS INDICATED AND OUTLINED HEREON, FOR THE USE OF THE PUBLIC AND

— GRANT TO THE CITY OF LAS VEGAS THE EASEMENTS, AS INDICATED AND OUTLINED HEREON FOR THE USE OF THE PUBLIC.

FURTHERMORE THE UNDERSIGNED OWNERS DO HEREBY GRANT AND CONVEY TO NEVADA POWER COMPANY, A NEVADA CORPORATION, D/B/A NV ENERGY, CENTRAL TELEPHONE COMPANY, D/B/A CENTURY LINK, SOUTHWEST GAS CORPORATION, LAS VEGAS VALLEY WATER DISTRICT AND COX COMMUNICATIONS LAS VEGAS, INC. JOINTLY AND SEVERALLY, AND TO THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, A PERMANENT EASEMENT WITHIN THE AREA SHOWN HEREON AS PRIVATE STREETS, COMMON AREAS AND ALL AREAS NOT OCCUPIED BY ANY BUILDING FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, FINAL REMOVAL AND/OR ABANDONMENT OF STREET LIGHTS IF ANY, AND FIRE HYDRANTS, UNDERGROUND POWER, TELEPHONE, GAS, WATER AND CABLE TELEVISION LINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FROM THESE EASEMENTS.

FURTHER THE UNDERSIGNED OWNERS HEREBY GRANTS AND CONVEYS TO THE CITY OF LAS VEGAS AND TO ITS SUCCESSORS AND ASSIGNS A 5 FOOT WIDE EASEMENT ADJACENT TO ALL PROPERTY LINES WHERE LOTS OR COMMON AREAS ABUT PUBLIC STREETS FOR PURPOSES OF PLACING PUBLIC FIRE HYDRANTS AND PUBLIC STREET LIGHTS AND AN ADDITIONAL EASEMENT FOR UP TO TWO FEET IN RADIUS FROM EACH FIRE HYDRANT AND STREET LIGHT, TO EXTEND BEYOND THE FIVE FOOT EASEMENT IF NECESSARY, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FROM THESE EASEMENTS.

FURTHERMORE, THE UNDERSIGNED OWNERS HEREBY GRANT AND CONVEY TO THE CITY OF LAS VEGAS AND ITS SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT WITHIN THE AREA SHOWN HEREON AS PRIVATE STREETS, COMMON AREAS AND ALL AREAS NOT OCCUPIED BY ANY BUILDING, FOR THE CONSTRUCTION, MAINTENANCE, OPERATION AND FINAL REMOVAL OF PUBLIC STREET LIGHTS, OF ANY, TRAFFIC SIGNALS, CONDUITS AND APPURTENANCES AND PUBLIC FIRE HYDRANTS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS THEREFROM.

WSParrish Manager *4-26-2016*
PRE RANCHO CRAIG L L C, A NEVADA LIMITED LIABILITY COMPANY
WILLIAM S. PARRISH, MANAGER

ACKNOWLEDGMENT

STATE OF NEVADA
COUNTY OF CLARK

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON *4/26/16*

BY *William S. Parrish* AS *Manager*
PRE RANCHO CRAIG L L C, A NEVADA LIMITED LIABILITY COMPANY
Commission # 2126869
Janie Hansen JAMIE HAUSEN
A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES: *9/17/2019*

CITY ENGINEER'S APPROVAL

BY THE SIGNATURE BELOW, THE CITY HEREBY ACCEPT THE EASEMENTS GRANTED TO THE CITY AS DELINEATED AND APPROVED HEREON WITH THIS PLAT, UNLESS OTHERWISE NOTED.

Allen Pavelka *5-5-16*
ALLEN PAVELKA P.E. #9029
CITY ENGINEER

UTILITY AGENCIES AND APPROVALS

WE, THE HEREIN NAMED UTILITY COMPANIES AND AGENCIES, APPROVE THE GRANT OF THE DESIGNATED EASEMENTS.

Yolanda M. Benito *4-28-2016*
NEVADA POWER COMPANY, A NEVADA CORPORATION D/B/A NV ENERGY

Michael D. Shari *5/5/16*
LAS VEGAS VALLEY WATER DISTRICT

M. S. S. S. *4-28-16*
SOUTHWEST GAS CORPORATION - Mason Sata

Carlos Rodriguez *4/26/16*
COX COMMUNICATIONS LAS VEGAS, INC.

Diane M. Schone *4-28-16*
CENTRAL TELEPHONE COMPANY D/B/A CENTURY LINK

LAS VEGAS VALLEY WATER DISTRICT NOTE

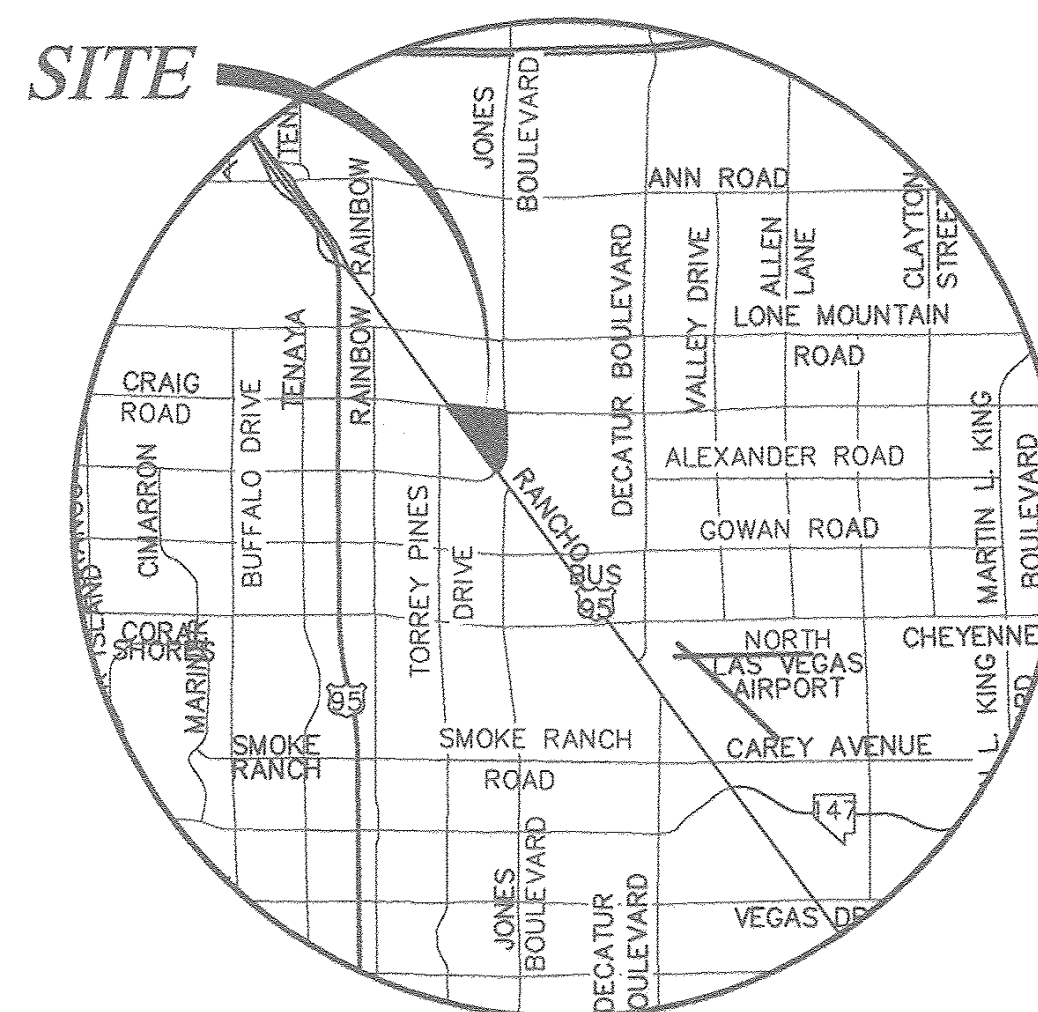
RECORDATION OF THIS SUBDIVISION MAP WILL ESTABLISH A LIMITED WATER COMMITMENT FROM THE LAS VEGAS VALLEY WATER DISTRICT AS FOLLOWS:

LOT/BLOCK 1
ACRE-FEET/YEAR 1.00

MAINTENANCE WORK ON FACILITIES LOCATED WITHIN UTILITY EASEMENTS GRANTED BY THIS MAP AND OWNED AND/OR OPERATED BY THE UTILITIES (BOTH FRANCHISE AND MUNICIPAL) MAY INCLUDE THE PLACEMENT OF ASPHALT OR CONCRETE PATCH AS APPLICABLE. NO EFFORT WILL BE MADE TO REPLACE OR MATCH ANY DECORATIVE SURFACE, LANDSCAPE FEATURE, OR ANY OTHER IMPROVEMENTS DISTURBED AS A RESULT OF MAINTENANCE ACTIVITIES OF THE UTILITIES OR THEIR AUTHORIZED REPRESENTATIVES.

FINAL MAP CRAIG AND JONES (A COMMERCIAL SUBDIVISION)

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA



VICINITY MAP NO SCALE

LEGAL DESCRIPTION

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, ALSO BEING THE CENTER INTERSECTION OF CRAIG ROAD AND JONES BOULEVARD; THENCE SOUTH 00°17'09" EAST, ALONG THE CENTERLINE OF JONES BOULEVARD ALSO BEING THE EASTERLY LINE OF SAID SECTION 2 A DISTANCE OF 102.19 FEET; THENCE DEPARTING SAID LINE, SOUTH 89°42'51" WEST, A DISTANCE OF 55.00 FEET TO A POINT ALONG THE WESTERLY RIGHT-OF-WAY LINE OF SAID JONES BOULEVARD, SAID POINT BEING THE POINT OF BEGINNING;

THENCE SOUTH 00°17'09" EAST A DISTANCE OF 276.54 FEET ALONG SAID RIGHT-OF-WAY LINE; THENCE SOUTH 01°33'31" EAST, A DISTANCE OF 225.06 FEET; THENCE SOUTH 00°17'09" EAST, A DISTANCE OF 915.24 FEET TO THE BEGINNING OF A NON-TANGENT CURVE HAVING A RADIUS OF 783.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 89°42'58" EAST; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE WESTERLY THROUGH A CENTRAL ANGLE OF 10°22'29", AN ARC LENGTH OF 141.78 FEET TO THE BEGINNING OF A NON-TANGENT CURVE HAVING A RADIUS OF 778.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 79°10'57" EAST; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE NORTHWESTERLY THROUGH A CENTRAL ANGLE OF 21°32'18", AN ARC LENGTH OF 292.46 FEET, TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 100.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 52°07'26" EAST; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE NORTHWESTERLY THROUGH A CENTRAL ANGLE OF 16°50'21", AN ARC LENGTH OF 29.39 FEET, TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 100.00 FEET, A RADIAL LINE TO SAID POINT BEARS NORTH 37°42'27" WEST; THENCE ALONG THE ARC OF SAID CURVE TO THE LEFT CONCAVE SOUTHEASTERLY THROUGH A CENTRAL ANGLE OF 16°50'21", AN ARC LENGTH OF 29.39 FEET, TO THE BEGINNING OF A REVERSE CURVE HAVING A RADIUS OF 768.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 54°32'48" EAST; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE NORTHWESTERLY THROUGH A CENTRAL ANGLE OF 07°00'26", AN ARC LENGTH OF 93.93 FEET, TO THE BEGINNING OF A COMPOUND CURVE HAVING A RADIUS OF 54.00 FEET, A RADIAL LINE TO SAID POINT BEARS SOUTH 47°32'22" EAST; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE NORTHERLY THROUGH A CENTRAL ANGLE OF 101°14'06", AN ARC LENGTH OF 95.41 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF RANCHO DRIVE; THENCE ALONG SAID RIGHT-OF-WAY LINE NORTH 36°18'16" WEST A DISTANCE OF 2601.86 FEET TO THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS OF 54.00 FEET; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE EASTERLY, THROUGH A CENTRAL ANGLE OF 132°35'30", AN ARC LENGTH OF 124.97 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CRAIG ROAD; THENCE ALONG THE RIGHT-OF-WAY LINE OF CRAIG ROAD SOUTH 83°42'46" EAST A DISTANCE OF 1744.32 FEET TO THE BEGINNING OF A TANGENT CURVE HAVING A RADIUS OF 54.00 FEET; THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT CONCAVE SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 83°25'38", AN ARC LENGTH OF 78.63 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF JONES ALSO BEING THE POINT OF BEGINNING

THE ABOVE PARCEL OF LAND CONTAINS APPROXIMATELY AN AREA OF 50.28 ACRES/GROSS.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST M.D.M. AS SHOWN ON THAT MAP ON FILE IN FILE 192, PAGE 31 OF SURVEYS IN THE CLARK COUNTY RECORDERS OFFICE.

SAID LINE BEARS: NORTH 83°42'46" WEST.

CERTIFICATE OF DIRECTOR OF PLANNING APPROVAL

I CERTIFY THAT THIS FINAL MAP SUBSTANTIALLY COMPLIES WITH THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THERETO; THAT THE MAP COMPLIES WITH APPLICABLE STATUTORY AND ORDINANCE PROVISIONS; THAT ALL CONDITIONS IMPOSED UPON THE FINAL MAP HAVE BEEN MET, AND THAT THE MAP WAS APPROVED AND THE PARCELS HEREIN WERE ACCEPTED FOR DEDICATION BY THE DIRECTOR OF PLANNING DEVELOPMENT ON THE 18th DAY OF May, 2016.

THOMAS A. PERRICO
DIRECTOR OF PLANNING
CITY OF LAS VEGAS, NEVADA

OVERALL LOT COUNT

1

REFERENCE MAPS

SEE SHEET 2 OF 3 FOR REFERENCE MAP DATA.

COUNTY RECORDER'S NOTE

ANY SUBSEQUENT CHANGES TO THIS MAP SHOULD BE EXAMINED AND MAY BE DETERMINED BY REFERENCE TO COUNTY RECORDER'S CUMULATIVE MAP INDEX N.R.S. 278.5695

SURVEYOR'S CERTIFICATE

I, GLEN J. DAVIS, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, DO HEREBY CERTIFY:

- THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY SUPERVISION AT THE INSTANCE OF PRE RANCHO CRAIG L L C, A NEVADA LIMITED LIABILITY COMPANY.
- THE LANDS SURVEYED LIE WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 02, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AND WAS COMPLETED ON DECEMBER 18, 2015.
- THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.
- THE MONUMENTS DEPICTED ON THE PLAT ARE OF THE CHARACTER SHOWN, OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT NUMBER AND DURABILITY.

GLEN J. DAVIS
PROFESSIONAL LAND SURVEYOR
NEVADA CERTIFICATE NO. 11825
CERTIFICATE EXPIRES: DECEMBER 31, 2016

CITY SURVEYOR'S CERTIFICATE

I, ALAN R. RIEKKI, CITY SURVEYOR OF THE CITY OF LAS VEGAS, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE FINAL MAP "CRAIG AND JONES, A COMMERCIAL SUBDIVISION" AND AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

MICHAEL F. KINNEY, PLS 21570

FOR: ALAN R. RIEKKI, PLS
CITY SURVEYOR
CITY OF LAS VEGAS, NEVADA
NEVADA CERTIFICATE NO. 12469

DISTRICT BOARD OF HEALTH CERTIFICATE

THIS FINAL MAP IS APPROVED BY THE SOUTHERN NEVADA HEALTH DISTRICT. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES AND IS PREDICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR DISPOSAL OF SEWAGE.

Brian Northam
WALTER B. ROSS
SOUTHERN NEVADA HEALTH DISTRICT

DIVISION OF WATER RESOURCES

THIS FINAL MAP IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY SUBJECT TO THE REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

JOHN GUILFORY P.E. #15501
DIVISION OF WATER RESOURCES

NOTE

1. ALL SUBDIVIDED PARCELS COMPRISING THIS COMMERCIAL SUBDIVISION SHALL PROVIDE PERPETUAL INTER-SITE COMMON DRAINAGE RIGHTS ACROSS ALL EXISTING AND FUTURE PARCEL LIMITS.

2. ALL LOTS CREATED BY THIS FINAL MAP SHALL HAVE PERPETUAL, IRREVOCABLE COMMON ACCESS RIGHTS TO ALL DRIVEWAYS SERVING THIS OVERALL SITE UNLESS INCOMPATIBLE USES CAN BE DEMONSTRATED TO THE SATISFACTION OF THE CITY ENGINEER.

3. RECORDATION OF THIS MAP DOES NOT EXPUNGE ANY VEHICULAR AND PEDESTRIAN ACCESS RIGHTS, SEWER, AND DRAINAGE RIGHTS EXISTING THROUGH RECORDATION OF THE PREVIOUS COMMERCIAL SUBDIVISION MAP, AND SHALL REMAIN IN EFFECT UNLESS AND UNTIL SUCH RIGHTS ARE RELINQUISHED BY THEIR HOLDERS VIA SEPARATE ACTION.

4. NO BARRIERS (E.G. CURBS, WALLS ECT.) SHALL BE ERRECTED WITHIN THE BOUNDARIES OF THE OVERALL COMMERCIAL SUBDIVISION MAP SITE WHICH WOULD PROHIBIT ANY VEHICLE ON THIS SITE FROM UTILIZING THE DRIVEWAY CONNECTING THIS COMMERCIAL DEVELOPMENT SITE TO THE ADJUTTING PUBLIC STREET.

5. ON SITE SEWERS ARE A COMMON ELEMENT PRIVATELY OWNED AND MAINTAINED PER THE CONDITIONS, COVENANTS, AND RESTRICTIONS (CC&Rs) OF THIS COMMERCIAL SUBDIVISION.

S-3113

FINAL MAP CRAIG AND JONES (A COMMERCIAL SUBDIVISION)		NO. 1181 FILED AT THE REQUEST OF LOCHSA SURVEYING	
BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA		DATE: 6/9/16 TIME 12:20PM BOOK 151 PAGE 100 OF PLATS OFFICIAL RECORDS BOOK NO. 20160609 CLARK COUNTY, NEVADA RECORDS DEBBIE CONWAY, COUNTY RECORDER FEE \$77 DEPUTY Glen	
LOCHSA SURVEYING 6345 SOUTH JONES BLVD., SUITE 200 LAS VEGAS, NEVADA 89118 PHONE: 702-365-8312 FAX: 702-365-8317			

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST M.D.M. AS SHOWN ON THAT MAP ON FILE IN FILE 192, PAGE 31 OF SURVEYS IN THE CLARK COUNTY RECORDERS OFFICE.

SAID LINE BEARS: NORTH 83°42'46" WEST.

FINAL MAP
CRAIG AND JONES
(A COMMERCIAL SUBDIVISION)

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND

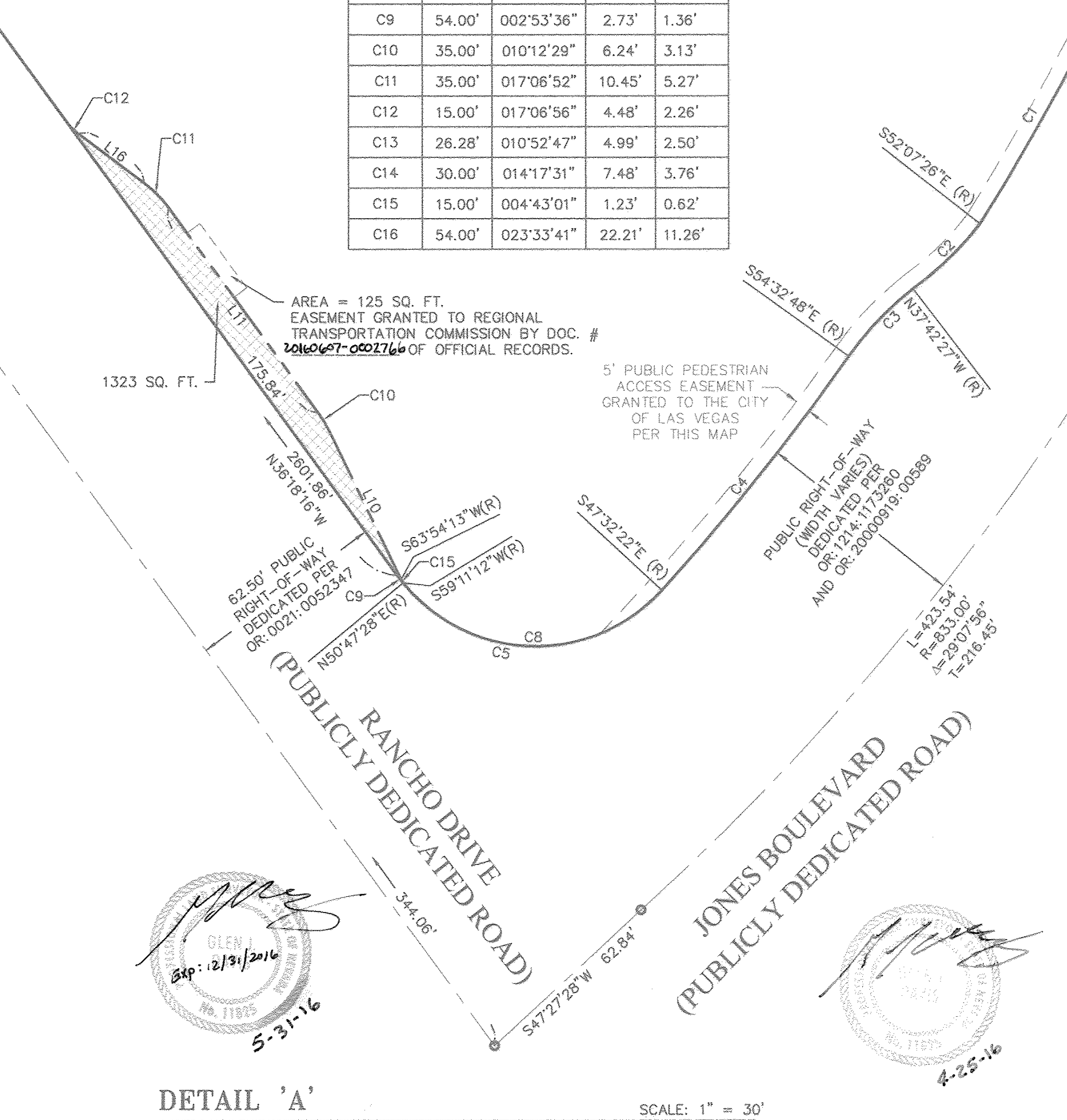
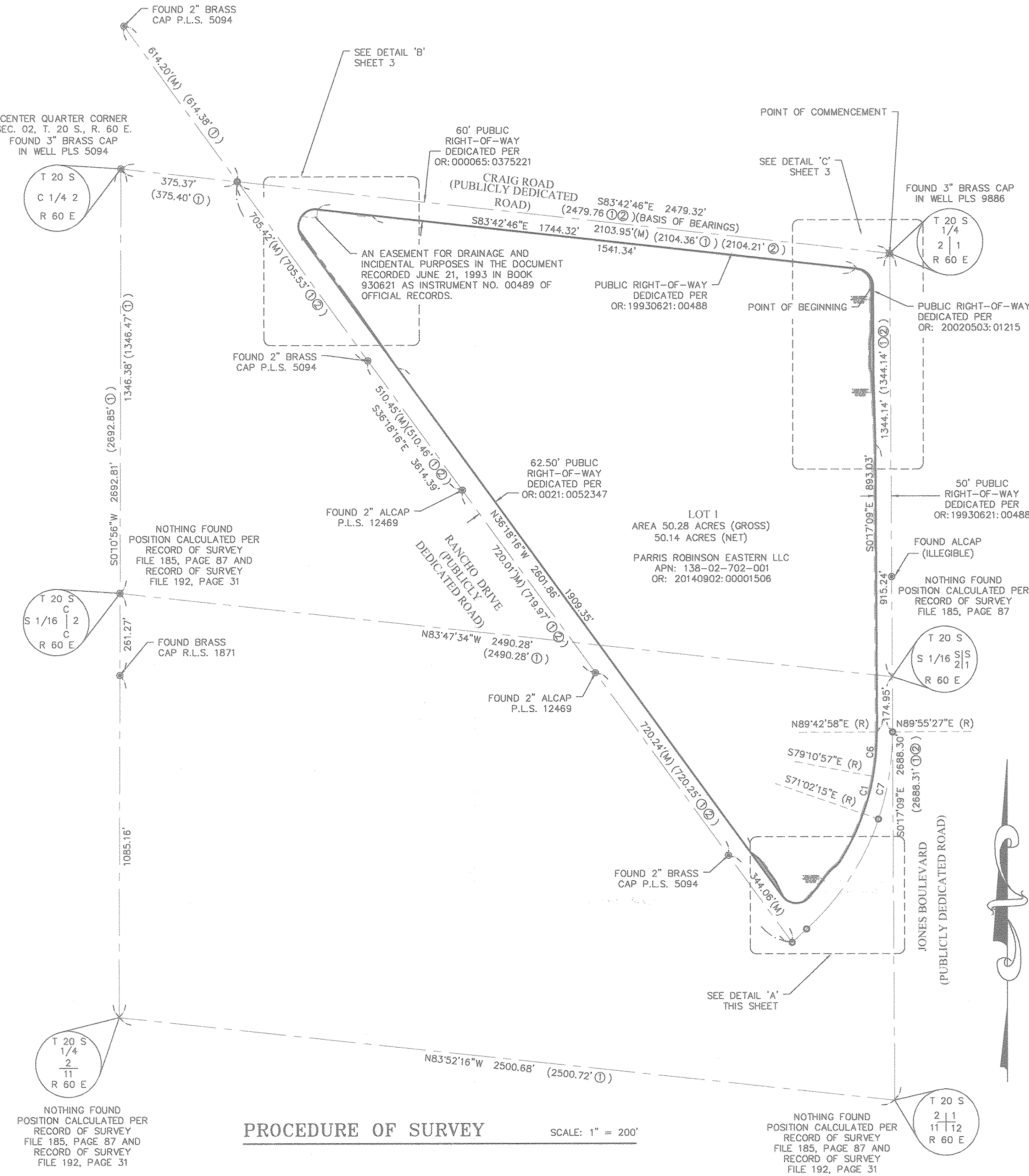
- SUBJECT PROPERTY BOUNDARY LINE
- STREET CENTERLINE
- ADJOINER'S PROPERTY LINE
- EASEMENT LINE
- STREET RIGHT-OF-WAY LINE
- AREA TO BE DEDICATED TO CITY OF LAS VEGAS PER THIS MAP
- SET TYPE III MONUMENT
- FOUND MONUMENT AS SHOWN AND DESCRIBED

REFERENCE MAPS/DOCS

- ① RECORD OF SURVEY FILE 185 PAGE 87
- ② RECORD OF SURVEY FILE 192 PAGE 31

Line Table		
Line #	Direction	Length
L1	S00°17'09"E	102.19'
L2	S89°42'51"W	55.00'
L3	N09°48'58"E	25.86'
L4	N00°17'09"W	80.00'
L5	S73°30'19"E	6.77'
L6	S83°42'30"E	80.00'
L7	N79°19'08"E	2.37'
L8	N17°58'53"W	11.79'
L9	S26°05'48"E	51.96'
L10	S36°18'16"E	80.00'
L11	S53°25'08"E	26.46'
L12	S00°17'09"E	0.69'

Curve Table			
Curve #	Radius	Delta	Tangent
C1	778.00'	021°32'18"	292.46'
C2	100.00'	016°50'21"	29.39'
C3	100.00'	016°50'21"	29.39'
C4	768.00'	007°00'26"	93.93'
C5	54.00'	101°14'06"	95.41'
C6	783.00'	010°22'29"	141.78'
C7	868.92'	018°33'14"	281.38'
C8	54.00'	098°20'30"	92.68'
C9	54.00'	002°53'36"	2.73'
C10	35.00'	010°12'29"	6.24'
C11	35.00'	017°06'52"	10.45'
C12	15.00'	017°06'56"	4.48'
C13	26.28'	010°52'47"	4.99'
C14	30.00'	014°17'31"	7.48'
C15	15.00'	004°43'01"	1.23'
C16	54.00'	023°33'41"	22.21'



PROCEDURE OF SURVEY

SCALE: 1" = 200'

DETAIL 'A'

SCALE: 1" = 30'

151/100

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTHERLY LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST M.D.M. AS SHOWN ON THAT MAP ON FILE IN FILE 192, PAGE 31 OF SURVEYS IN THE CLARK COUNTY RECORDERS OFFICE.

SAID LINE BEARS: NORTH 83°42'46" WEST.

FINAL MAP CRAIG AND JONES (A COMMERCIAL SUBDIVISION)

BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B. & M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

REFERENCE MAPS/DOCS

RECORD OF SURVEY FILE 185 PAGE 87
RECORD OF SURVEY FILE 192 PAGE 31

Line Table		
Line #	Direction	Length
L1	S00°17'09"E	102.19'
L2	S89°42'51"W	55.00'
L3	N09°48'58"E	25.86'
L4	N00°17'09"W	80.00'
L5	S73°30'19"E	6.77'
L6	S83°42'30"E	80.00'
L7	N79°19'08"E	2.37'
L9	N17°58'53"W	11.79'
L10	S26°05'48"E	51.96'
L11	S36°18'16"E	80.00'
L16	S53°25'08"E	26.46'
L24	S00°17'09"E	0.69'

LEGEND

- SUBJECT PROPERTY BOUNDARY LINE
- STREET CENTERLINE
- ADJOINER'S PROPERTY LINE
- EASEMENT LINE
- STREET RIGHT-OF-WAY LINE
- AREA TO BE DEDICATED TO CITY OF LAS VEGAS PER THIS MAP
- SET TYPE III MONUMENT

Curve Table				
Curve #	Radius	Delta	Length	Tangent
C1	778.00'	021°32'18"	292.46'	147.98'
C2	100.00'	016°50'21"	29.39'	14.80'
C3	100.00'	016°50'21"	29.39'	14.80'
C4	768.00'	007°00'26"	93.93'	47.02'
C5	54.00'	101°14'06"	95.41'	65.78'
C6	783.00'	010°22'29"	141.78'	71.08'
C7	868.92'	018°33'14"	281.38'	141.93'
C8	54.00'	098°20'30"	92.68'	62.50'
C9	54.00'	002°53'36"	2.73'	1.36'
C10	35.00'	010°12'29"	6.24'	3.13'
C11	35.00'	017°06'52"	10.45'	5.27'
C12	15.00'	017°06'56"	4.48'	2.26'
C13	26.28'	010°52'47"	4.99'	2.50'
C14	30.00'	014°17'31"	7.48'	3.76'
C15	15.00'	004°43'01"	1.23'	0.62'
C16	54.00'	023°33'41"	22.21'	11.26'

DETAIL 'B'

SCALE: 1" = 30'

DETAIL 'C'

SCALE: 1" = 30'

Sheet 3 of 3

151/100

CITY OF LAS VEGAS			DATE:		
INTER-OFFICE MEMORANDUM			December 21, 2016		
TO: Land Development Services Department of Building & Safety			FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works		
SUBJECT:		Drainage Study for:	COPIES TO:		
		WOW Carwash @ Craig & Rancho	McCay Engineering		
Cross Streets:	SEC of Craig Road & Rancho Drive		S. T. Holdings, LLC		
File Number:	F:\Depot\DSMemos\DS4852A.doc		Bart Anderson, P.E., DevCo		
Parcel Number:	138-02-713-002		CCRFC		
Zoning Action:	SDR-66476		NDOT		
FEMA Flood Zone	YES	NO	X		
Proposed Storm Drain	YES	NO	X		

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	12/5/2016	12/21/2016	See Comments Below	\$400.00	467640: \$400
			TOTAL FEES (LDDRS):	\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. Provide a **Phasing Plan** of the whole **Craig & Rancho Master Developments** in the next submittal to identify the portion of *Rancho Road* to be improved with sidewalk and curb & gutter concurrent or prior to the issuance of occupancy permit of the subject **WOW Car Wash** development.
2. Provide a copy of the *Tentative Map* for the **Craig & Rancho Master Developments** to verify that there is a clause for inter-lot drainage right between present and future subdivided parcels within the master development.
3. The proposed finish floor elevation of the new building is below the corresponding street grades in *Rancho Drive*. Either a berm or a flood wall must be provided behind the back of sidewalk along *Rancho Drive* for onsite flood protection. The top of the berm or the wall must be at least 18" above the corresponding top of curb elevation in *Rancho*. Review and revise accordingly.
4. Obtain *Occupancy Permit* from the *Nevada Department of Transportation* (NDOT) for the construction of improvements in the *Craig Road* and *Rancho Drive* public right-of-ways adjacent to the subject site prior to constructing any improvements within NDOT jurisdiction.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T20S/R60E/02
AREA L-02

REV	DATE	BY	REVISION

McCay
ENGINEERING

11700 W. CHARLESTON BLVD.
SUITE #170-298
LAS VEGAS, NEVADA 89135
P 702-860-3897



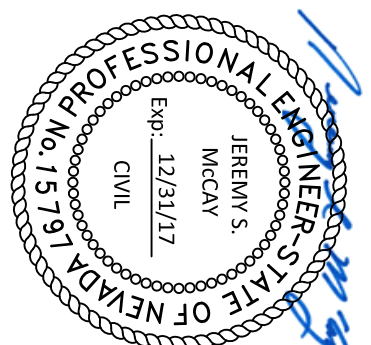
S.T. ENTERPRISES, LLC

755 YOSEMITE AVE.
SUITE J
MERCED, CA 95340
P 209-383-2244
F 209-383-2248

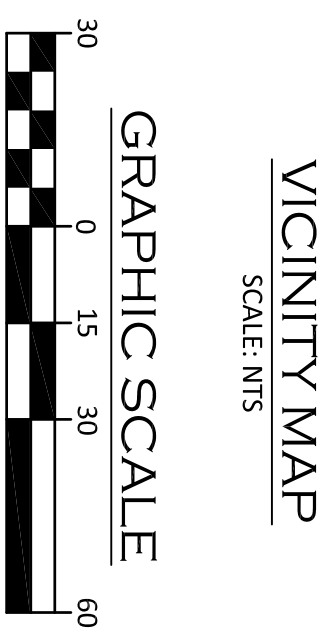
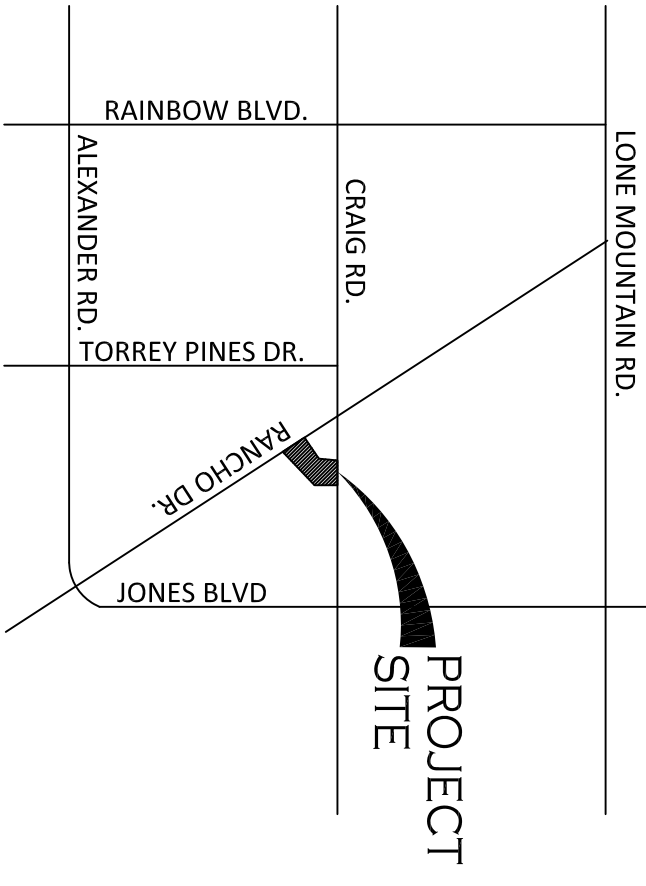
GRADING PLAN,
SECTIONS & DETAILS

WOW CARWASH @
CRAIG & RANCHO

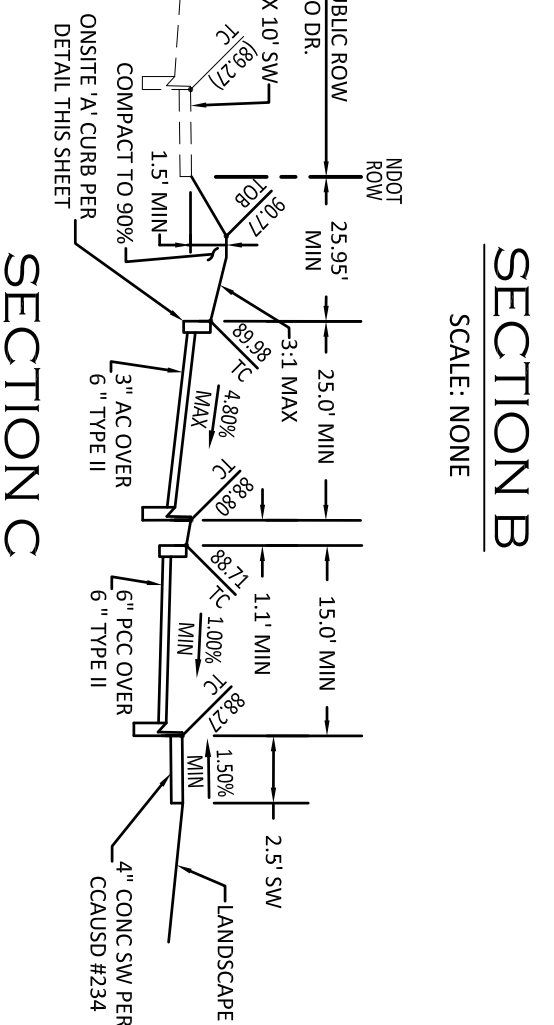
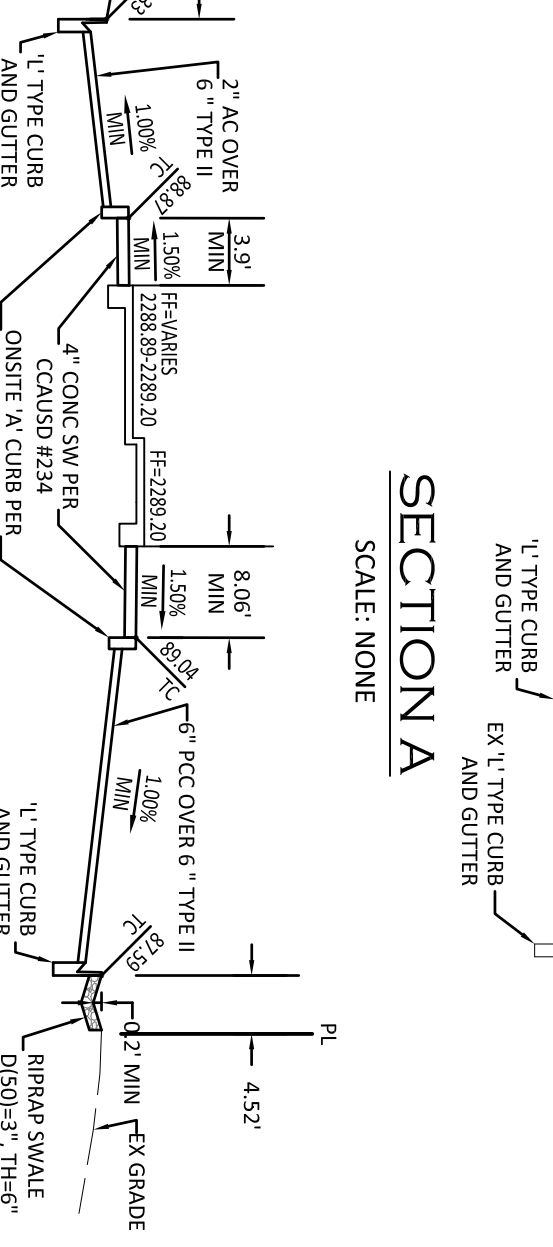
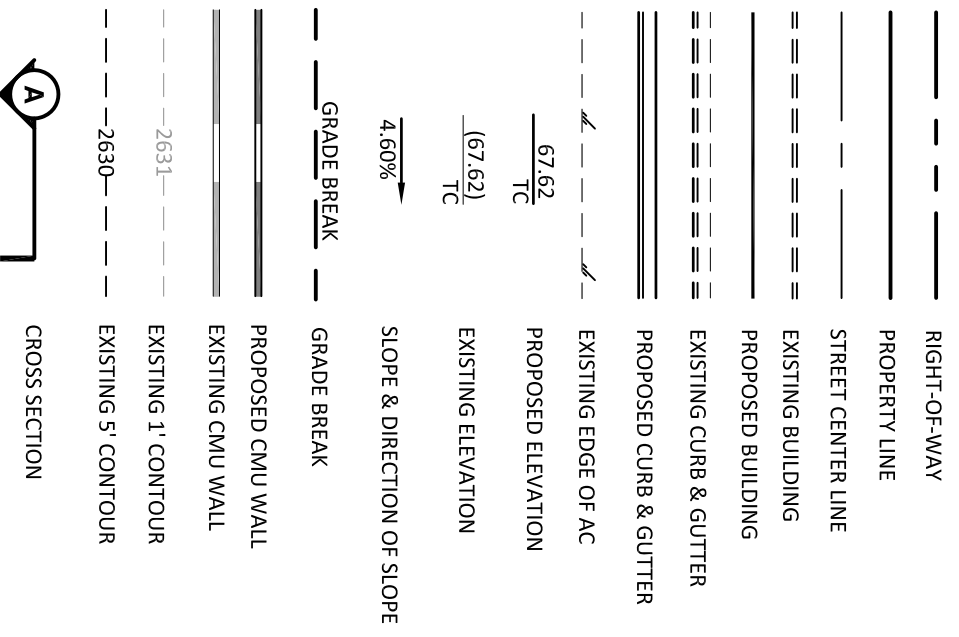
DATE: 1/11/2017
DRAWN BY: JSM
PROJECT MGR: JSM
PROJECT NO: 16199
SCALE: 1"=30'



SHEET
C3.01
3 OF 4 SHEETS
DRAWING NO.



LEGEND

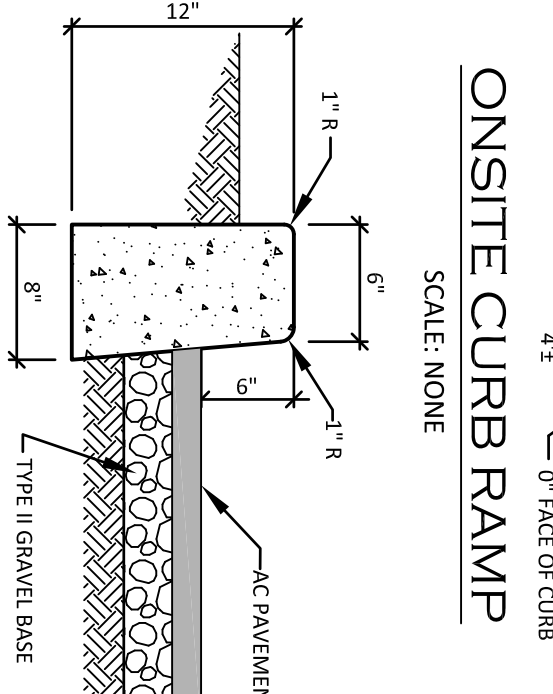


DRAINAGE STUDY COMPLIANCE

DETAILS AND ELEVATIONS SHOWN ARE BASED ON THE DATA PROVIDED TO THE APPROVED DRAINAGE STUDY ON FILE WITH THE CITY OF LAS VEGAS FOR THIS PROJECT: 054852A

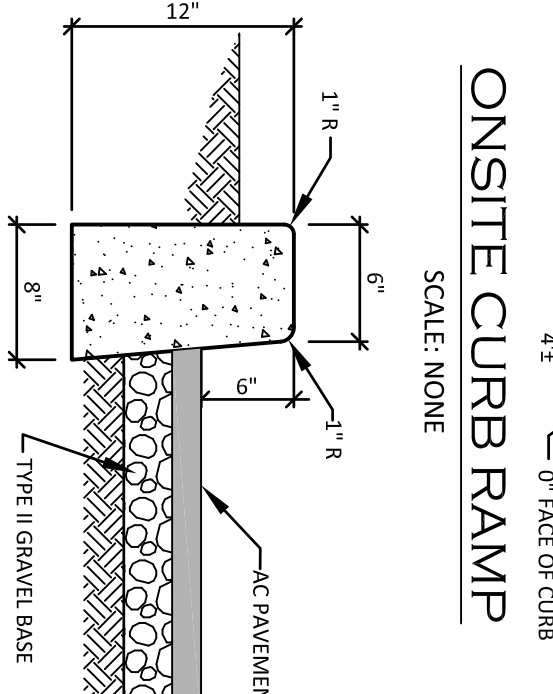
ONSITE "A" TYPE CURB DETAIL

SCALE: NONE



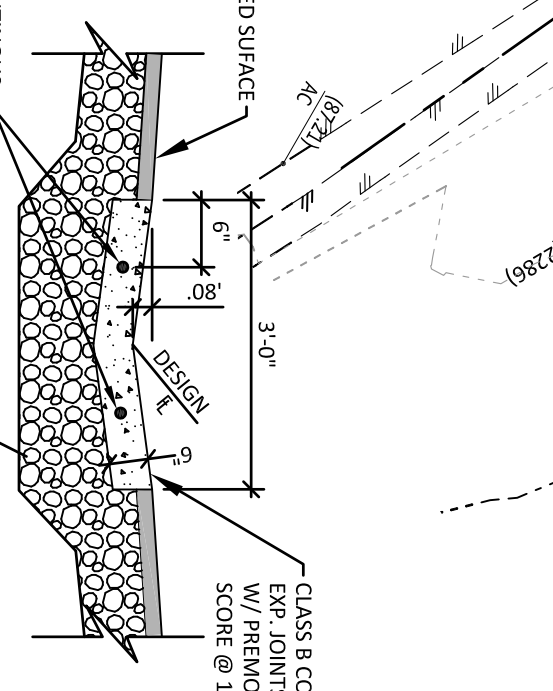
ONSITE CURB RAMP

SCALE: NONE



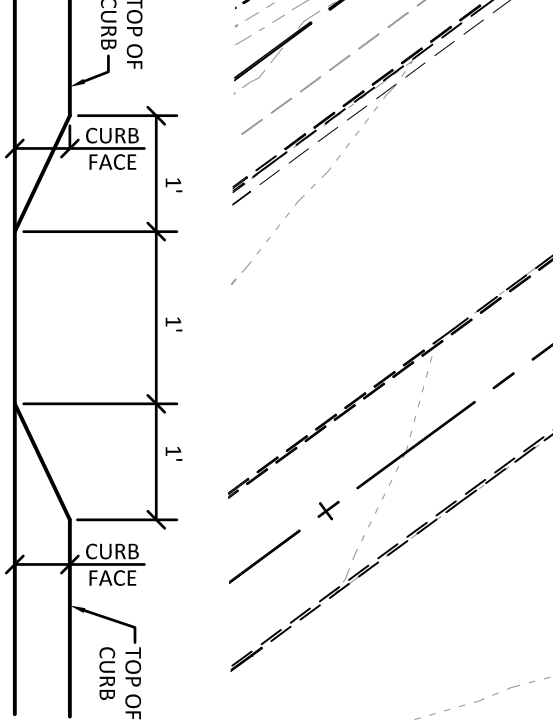
3' VALLEY GUTTER

SCALE: NONE



DEPRESSED CURB DETAIL

SCALE: NONE



DISCLAIMER NOTE

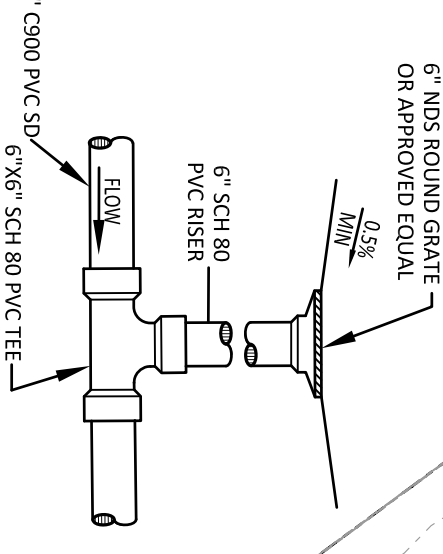
NOTE: EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. ALL DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO THE ENGINEER.

CONSTRUCTION NOTES:

1. INSTALL 1" TYPE CURB AND GUTTER PER CAUSD #216
2. INSTALL ON-SITE "A" TYPE CURB PER DETAIL THIS SHEET
3. INSTALL CONCRETE SIDEWALK PER CAUSD #234
4. INSTALL 2" AC OVER 6" TYPE I AGG. BASE
5. INSTALL 2" AC OVER 6" TYPE I AGG. BASE
6. INSTALL 6" CONCRETE OVER 6" TYPE II AGG. BASE WITH STEEL GEOTECH STUD.
7. INSTALL SIDEWALK DRAIN PER CAUSD #236
8. INSTALL BIRAP JUNE SWALE DISPO-3" THIN
9. INSTALL 3" WIDE CONCRETE VALEY GUTTER PER DETAIL THIS
10. INSTALL 3" WIDE CONCRETE VALEY GUTTER PER DETAIL THIS
11. INSTALL ON-SITE CURB RAMP PER DETAIL THIS SHEET
12. INSTALL ZURN 2886 TRENCH DRAIN SYSTEM WITH TRAFFIC RATED AND ADA COMPLIANT GRATE, OR APPROVED EQUAL
13. INSTALL 4"X6" REDUCER AT UPSTREAM SIDE OF 45° BEND

ONSITE DRAIN SYSTEM

SCALE: NONE



LEGAL DESCRIPTION

THE PROPERTY DESCRIBED HEREIN IS A 1.56 AC. PARCEL OF LAND, MORE OR LESS, BEING A PORTION OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ELEVATION NOTE

ADD 2200 FEET TO ABREVIATIONS BEGINNING WITH 9X.XX AND 2500 FEET TO ALL BEGINNING WITH 0X.XX TO GET TRUE ELEVATIONS.

PUBLIC QUANTITIES

NONE

FLOOD ZONE NOTE:

THE PROPERTY LIES WITHIN THE 200-YR FLOOD FLOOD PER FEMA FLOOD INSURANCE RATE MAP NO. 32062C155, DATED NOVEMBER 16, 2011 FOR COMMUNITY NO. 32063 (CLARK COUNTY).

GEOTECHNICAL

GEOTECHNICAL EVALUATION PREPARED BY NOVA PROJECT NO. E-36-326 DATED JULY 14, 2016. WORK OWNER/DEVELOPER

BENCHMARK

BENCHMARK NO. 5100024 CITY OF LAS VEGAS BENCHMARK, NINETEEN AND FIVE EIGHTS AT THE CORNER OF CRAIG ROAD AND JONES BOULEVARD

BASIS OF BEARING

SOUTHERLY LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON THE CLARK COUNTY, NEVADA RECORDED OFFICE.

EARTHWORK QUANTITIES

NOTE: THESE QUANTITIES ARE APPROXIMATE AND AREA BASED VOLUMES ONLY. OVER EXCAVATION, SUBSIDENCE, SHRINKAGE AND BUILDING FACTORS, ARE NOT INCLUDED AS PART OF THESE EARTHWORK QUANTITIES.

OWNER/DEVELOPER

25 CUBIC YARDS CUT (NET)
33 CUBIC YARDS FILL (NET)
8 CUBIC YARDS FILL

STORMWATER MANAGEMENT NOTES:

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH HAVE REMOVED ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATED IN THE PUBLIC RIGHTS OF WAY OF CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIAL SHALL BE REMOVED PRIOR TO THE 30 DAY AFTER 30 DAY.

2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION, SITE SOILS, OR DISTURBED AREAS.

3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE 4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL UNSETTLE ALL DISTURBED AREAS. AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE ENGAGED TO PREPARATION, MAINTENANCE AND EROSION CONTROL SHALL BE PROTECTED FROM EROSION AND WIND BLOWN MATERIALS TO THE MAXIMUM EXTENT POSSIBLE. ANY ACTUAL EROSION OF 0.5 INCHES OR MORE, THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NV100000, SECTION III.A.2.

5. ACCUMULATED SEDIMENT IN BARRS SHALL BE REMOVED WITHIN 7 DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BARR DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

