

DS #:

4804-1

APN:

126-35-701-001 & More

PROJECT:

Maverick & Washburn Residential Development
Update #1 for Onsite Improvements

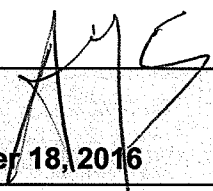
SUBMITTAL:

4th Submittal

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS		DATE: 
INTER-OFFICE MEMORANDUM		October 18, 2016
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	
	Maverick & Washburn Residential Development – Update #1 for Onsite Improvements	
Cross Streets:	SEC of Maverick Street & Washburn Avenue	D. R. Horton Inc.
File Number:	F:\Depot\DSMemos\DS4804D.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-35-701-001 & more	
Zoning Action:	TMP-63989, ZON-63988 & ZON-63987	
FEMA Flood Zone	YES NO X	
Proposed Storm Drain	YES NO X	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/24/2016	6/15/2016	Not Approved	\$400.00	444949: \$400
2 nd Submittal & Supplement	7/18/2016 & 8/29/2016	9/1/2016	Approved	\$400.00	451510: \$400
3 rd Submittal	9/13/2016	9/28/2016	Not Approved	\$100.00	458337: \$100
4 th Submittal	10/4/2016	10/18/2016	See Comments Below	\$400.00	460528: \$400
			TOTAL FEES (LDDRS):	\$1,300.00	----

REMARKS:

3rd & 4th Submittals: Update #1 and Addendum #1 for Onsite Developments

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. This drainage study assumes that the project will be constructed in one phase. If improvement plans are submitted to break the project into separate phases, a drainage study update will be required for each phase addressing the interim condition.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

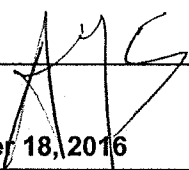
END OF REMARKS
ays

T/R/S: T19S/R60E/35
AREA G-35

 *** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 1827
 DESTINATION ADDRESS 7022543062
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 10/18 14:46
 USAGE T 00' 41
 PGS. 2
 RESULT OK

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE:  October 18, 2016
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Maverick & Washburn Residential Development - Update #1 for Onsite Improvements		COPIES TO: Triton Engineering
Cross Streets:	SEC of Maverick Street & Washburn Avenue	D. R. Horton Inc.
File Number:	F:\Depot\DSMemos\DS4804D.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-35-701-001 & more	
Zoning Action:	TMP-63989, ZON-63988 & ZON-63987	
FEMA Flood Zone	YES NO X	
Proposed Storm Drain	YES NO X	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/24/2016	6/15/2016	Not Approved	\$400.00	444949: \$400
2 nd Submittal & Supplement	7/18/2016 & 8/29/2016	9/1/2016	Approved	\$400.00	451510: \$400
3 rd Submittal	9/13/2016	9/28/2016	Not Approved	\$100.00	458337: \$100
4 th Submittal	10/4/2016	10/18/2016	See Comments Below	\$400.00	460528: \$400
TOTAL FEES (LDDRS):				\$1,300.00	----

REMARKS:

3rd & 4th Submittals: Update #1 and Addendum #1 for Onsite Developments

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. This drainage study assumes that the project will be constructed in one phase. If improvement plans are submitted to break the project into separate phases, a drainage study update will be required for each phase addressing the interim condition.

NOTE: Please be advised that all land surface area disturbances over 4,000 sq. ft. are subject to the following:

ADDENDUM #1 TO UPDATE #1
TO THE
TECHNICAL DRAINAGE STUDY
FOR
Washburn & Maverick
Residential Development
(Aka Maverick & Washburn)

City of Las Vegas, Nevada

Prepared for:

DR Horton

1081 Whitney Ranch Drive, #141
Henderson, NV 89014
Office: (702)635-3600 - Fax: (702)538.0735

Prepared by:

Triton Engineering

6757 W. Charleston Blvd., Suite B
Las Vegas, NV 89146
Office: (702) 254-1480 - Fax: (702) 254-3062

APN 125-35-701-001; -002; -003, 125-35-701-005; -006; -007; -008; -009; -010

October 2016

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Technical Drainage Study for Washburn & Maverick Update 1 Addendum 1 Date: October 2016

Location of Development: a) Descriptive (Cross Streets) North/South: Maverick
East/West: Washburn

b) Section: 35 Township: 19S Range: 60E

c) APN : 125-35-701-001, -002, -003; 125-35-701-005, -006, -007, -008, -009, -010

Name of Owner: Various owners, DR Horton, Developers

Telephone No.: 702.672.1939 Fax No.: 702.538.0735 E-Mail Address: MEJones3@DRHorton.com

Address: 1081 Whitney Ranch Drive, #141, Henderson, NV 89014

Contact Person-Name: Kelly J. Wittwer, P.E. Telephone No.: 702.254.1480

* E-Mail Address: KWittwer@TritonEng.com Fax No.: 702.254-3062

Firm: Triton Engineering

Address: 6757 West Charleston Boulevard

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☒	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☐	Planned Unit Development	☐	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit		

1. Total Owned Land Area: At Site: 16.47 ac. Being Developed/Disturbed: 16.47 ac.

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

4. Proposed type of development (Residential, Commercial, Etc.): Residential

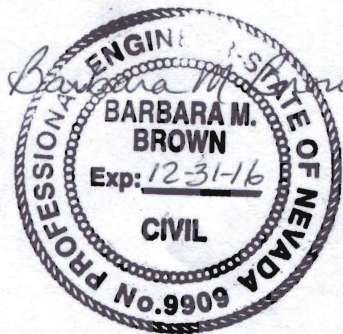
5. Approximate upstream land area which drains to the subject site: 60 acres

6. Has the site drainage been evaluated in the past? ☐ YES ☒ NO If yes, please identify documentation: _____

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: _____

Discharge to the east to Bronco Street and to the south to La Madre Way

8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1



October 3, 2016

Albert Sung, P.E
Land Development Services
333 North Rancho Drive
Las Vegas, NV 89106

**Subject: Addendum #1 to Update 1 to the Technical Drainage Study for
Maverick & Washburn Residential Development
DS4804**

Mr. Sung:

Triton Engineering has received the City's review comments for the above-referenced study, dated September 28, 2016 by the City.

The purpose of this addendum submittal is to provide a response to all of the comments, as follows:

1. **Sites with a grade difference of 2 feet above or below existing grades are required to have approval from the City of Las Vegas Planning and Development Department. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the City Planning Department (702.229.6301). The engineer must provide City Planning approval with the next submittal.**

The requested Planning approval has been obtained and a copy of the paperwork is included in this submittal.

2. **Figure 4 (Developed Conditions Drainage Map): In the "Normal Depth Flow Calculations" table, revise the street name of the Hydraulic Section B to Royal Indigo Street.**

The typographical error has been corrected and revised Figure 4 is included in this submittal.

3. Per the drainage study, La Madre Way is the only street with 100-year flow depth above the back of curb ($d_{100}=1.17'$) and erosive to the landscape area ($v_{100}=5.4$ fps) behind the sidewalk. Revise Detail Sections E/5, F/5, and G/5 on Sheet 5 to provide erosion protection measures in the 6-foot landscape common element. Review and revise accordingly in the next submittal.

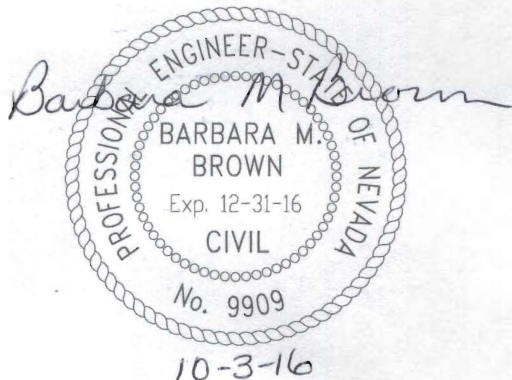
Erosion protection measures for La Madre Way have been added to the design on the revised drawings in this submittal.

4. This drainage study assumes that the project will be constructed in one phase. If improvement plans are submitted to break the project into separate phases, a drainage study update will be required for each phase addressing the interim condition.

This is acknowledged and agreed.

We hope that this response satisfies all your issues concerning the project. If you have any questions, please contact me at 702-376-8801, email Momentum1@cox.net.

Sincerely,



Momentum Engineers, Ltd.
Barbara M. Brown, P. E.
Subcontractor for
Triton Engineering, LLC

COPY OF COMMENT LETTER

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

DATE: *AS*
September 28, 2016

TO:
Land Development Services
Department of Building & Safety

FROM:
Albert Sung, P.E.
Flood Control Project Engineer
Department of Public Works

SUBJECT: Drainage Study for:
Maverick & Washburn Residential Development
– Update #1 for Onsite Improvements

COPIES TO:
Triton Engineering

Cross Streets: SEC of Maverick Street & Washburn Avenue

D. R. Horton Inc.

File Number: F:\Depot\DSMemos\DS4804C.doc

Bart Anderson, P.E., DevCo

Parcel Number: 125-35-701-001 & more

Zoning Action: TMP-63989, ZON-63988 & ZON-63987

FEMA Flood Zone YES NO **X**

Proposed Storm Drain YES NO **X**

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/24/2016	6/15/2016	Not Approved	\$400.00	444949: \$400
2 nd Submittal & Supplement	7/18/2016 & 8/29/2016	9/1/2016	Approved	\$400.00	451510: \$400
3 rd Submittal	9/13/2016	9/28/2016	See Comments Below	\$100.00	458337: \$100
TOTAL FEES (LDDRS):				\$900.00	****

REMARKS:

3rd Submittal: Update #1 for Onsite Developments

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

- Sites with a grade difference of 2 feet above or below existing grades are required to have approval from the *City of Las Vegas Planning and Development Department*. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the *City Planning Department* (229-6301). The engineer must provide *City Planning* approval with the next submittal.
- Figure 4 (Developed Conditions Drainage Map):** In the "Normal Depth Flow Calculations" Table, revise the street name of *Hydraulic Section B* to *Royal Indigo Street*.
- Per the drainage study, *La Madre Way* is the only street with 100-year flow depth above the back of curb ($d_{100} = 1.17'$) and erosive to the landscape area ($V_{100} = 5.4$ ft/s) behind the sidewalk. Revise **Detail Sections E/5, F/5 and G/5** on **Sheet 5** to provide erosion protection measures in the 6'-landscape common element. Review and revise accordingly in the next submittal.
- This drainage study assumes that the project will be constructed in one phase. If improvement plans are submitted to break the project into separate phases, a drainage study update will be required for each phase addressing the interim condition.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T19S/R60E/35
AREA G-35

ZONING/PLANNING DOCUMENTS



May 25, 2016

City of Las Vegas -Building and Safety
333 North Rancho Drive
Las Vegas, Nevada 89106
Attn: Linda Hartman

Re: Difference in elevation across boundaries with existing developments
DR Horton – Maverick & Washburn Project
APN: 125-35-701-001, 002, 003, 005, 006, 007, 008, 009 & 010

Dear Linda,

Our project is a 15.44 acre development which is bounded by existing development on virtually all sides. The elevation of our project is set basically by the natural fall of this site and the existing surrounding development. As you can see from the drainage plans that accompanied our letter we have a slope of 1.2% from the northwest corner of the site to the southeast corner of the site.

We must convey storm flows and keep them within their historic path as much as possible. Under these conditions the pad grades shown on the plans are the lowest practical elevations possible. The pads on the existing development to the east of our site were built at grade at the time which makes the difference in pads across the boundary wall about 2 to 3.3 feet. It should be noted that our site is slightly higher than this existing adjacent development. We have virtually no flexibility with the constraints we have on the project. It should also be noted that we clearly showed the worst case condition on the sections that were part of the Tentative Map (TMP-63989) that was approved on 5/10/16.

If you have any questions or need any additional information feel free to call our office.

Thank you,

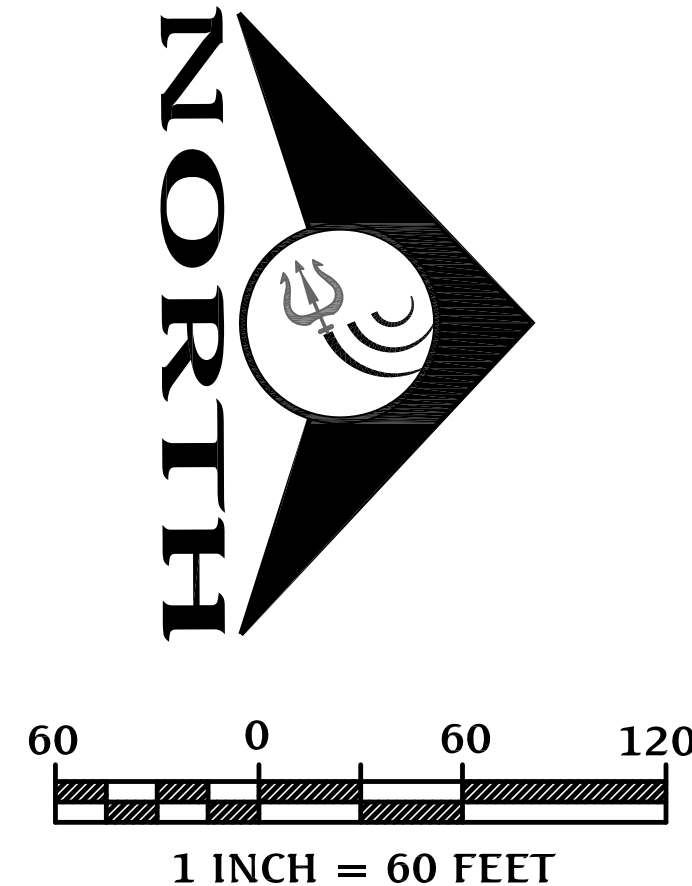
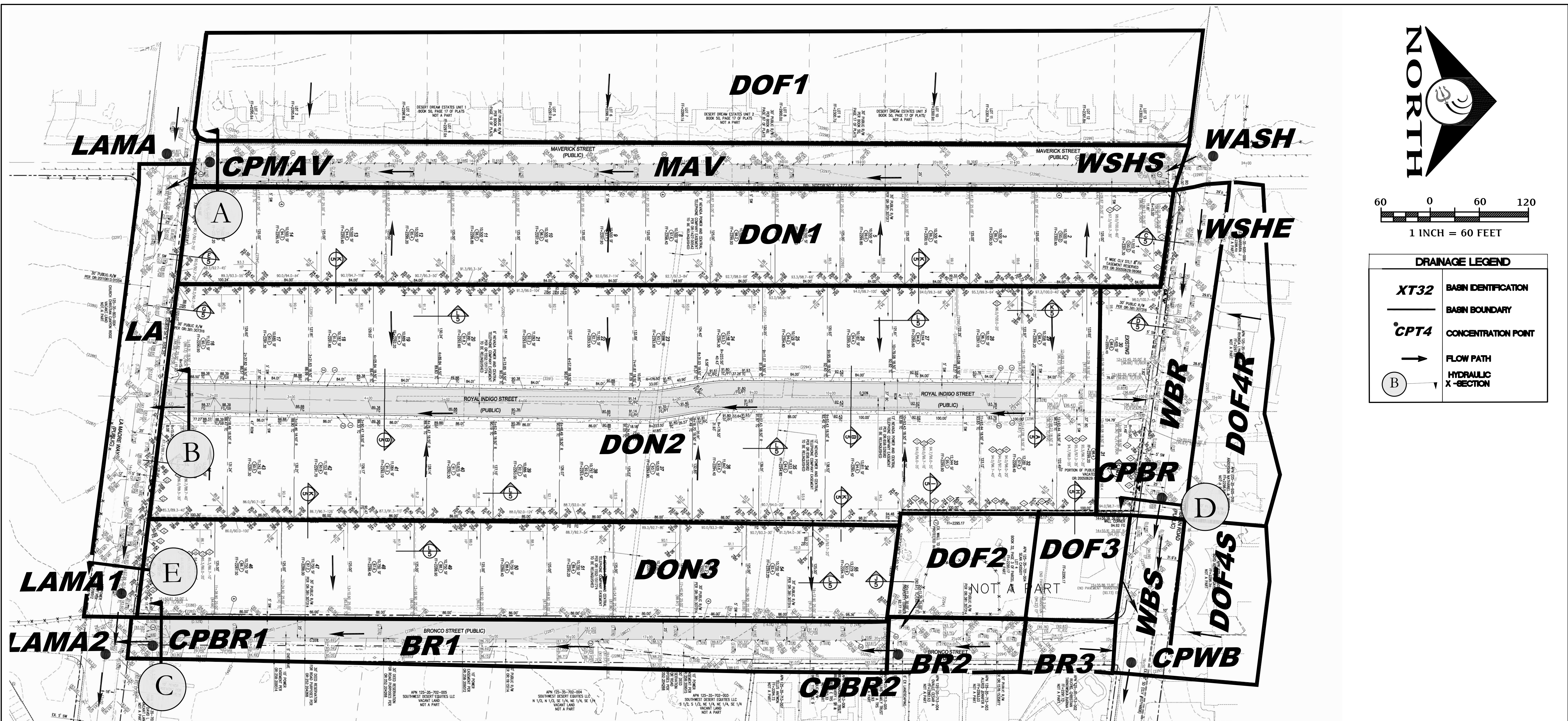
A handwritten signature in blue ink that reads "James M. Pearce".

James M. Pearce, PE
Sr. Vice President
Triton Engineering

CC: Albert Sung, CLV Flood Control

PLANS APPROVED
PLANNING
Building & Safety Dept.
City of Las Vegas, Nevada
2' GRADE DIFFERENCE ONLY
LHM MAY 31 2016
Conforms to the minimum requirements of
LvMC Title 19, applicable Master Plan
development standards and/or Conditions of
Approval. Make No Change Without Approval.
Plan is Not a Permit to Violate Any Ordinance.

REVISED EXHIBITS



DRAINAGE LEGEND	
<i>XT32</i>	BASIN IDENTIFICATION
—	BASIN BOUNDARY
<i>CPT4</i>	CONCENTRATION POINT
→	FLOW PATH
(B)	HYDRAULIC X-SECTION

NOTES: 1. FOR EXTENT OF OFFSITE BASINS, SEE REFERENCE MATERIAL.
2. HYDROLOGIC SOILS GROUPS ARE NOT MAPPED, SINCE ALL AREAS STUDIED ARE IN THE WORST-CASE CONDITION, SOILS GROUP "D".

NORMAL DEPTH FLOW CALCULATIONS					
HYDRAULIC SECTION	SLOPE, %	Q_{10} / Q_{100}	D_{10} / D_{100}	V_{10} / V_{100}	$V_{10} * D_{10} / V_{100} * D_{100}$
A - Maverick Street - 60-ft std	0.51	11 / 26	0.46 / 0.60	2.0 / 2.3	0.9 / 1.4
B - Royal Indigo Street - 47-ft std	0.50	6 / 16	0.39 / 0.51	1.7 / 2.2	0.7 / 1.1
C - Bronco Street - 60-ft std.	0.55	5 / 11	0.37 / 0.46	1.7 / 2.1	0.6 / 1.0
D - Washburn Road - 60-ft 1/2 st	1.16	8 / 26	0.46 / 0.64	3.0 / 3.7	1.4 / 2.4
E - La Madre Way - 60-ft std.	0.50	80 / 245	0.80 / 1.17	3.4 / 5.4	2.7 / 6.3
10/3/2016					

SUMMARY OF PEAK FLOW RATES									
CONC. POINT/ DRAINAGE AREA	AREA, ACRES	PEAK FLOW, CFS		NOTES	CONC. POINT/ DRAINAGE AREA	AREA, ACRES	PEAK FLOW, CFS		NOTES
		10-YR	100-YR				10-YR	100-YR	
DOF1	4.26	3	8		CPBR2		1	2	
DON1	3.69	3	7		DON3	2.83	2	6	
MAV	1.71	3	5		BR1	1.36	2	4	
CPMAV		11	26	4	CPBR1		5	11	
DOF3	0.49	<1	1		WASH		7	23	1
BR3	0.22	<1	1		LAMA		62	200	1
WBR	1.12	2	4		LAMA1		80	245	2
DOF4R	0.69	1	1		LAMA2		85	255	3
DOF4S	0.57	<1	1		Notes: 10/3/2016 1. Referenced from City of Las Vegas, Northwest Neighborhood Study, by PBS & J, Revised September 1999, Existing Conditions 2. Includes flows from LAMA and WSHS; (16/39+2/6+62/200=80/245) 3. Includes flows from LAMA and WSHS; (21/49+2/6+62/200=85/255) 4. Includes flows from WSHS; (9/20+2/6=11/26) 5. Flow split WASH to WSHS and WSHE determined by Pima Co. Methods. 6. Includes flows from WSHE; (3/6+5/17=8/23) 7. Includes flows from WSHE; (5/10+5/17=10/27)				
CPWB		10	27	7					
WBS	0.42	1	2						
DON2	8.45	6	16						
CPBR		8	26	6					
LA	0.90	2	3						
DOF2	0.49	<1	1						
BR2	0.22	<1	1						
WSHS		2	6	5					
WSHE		5	17	5					

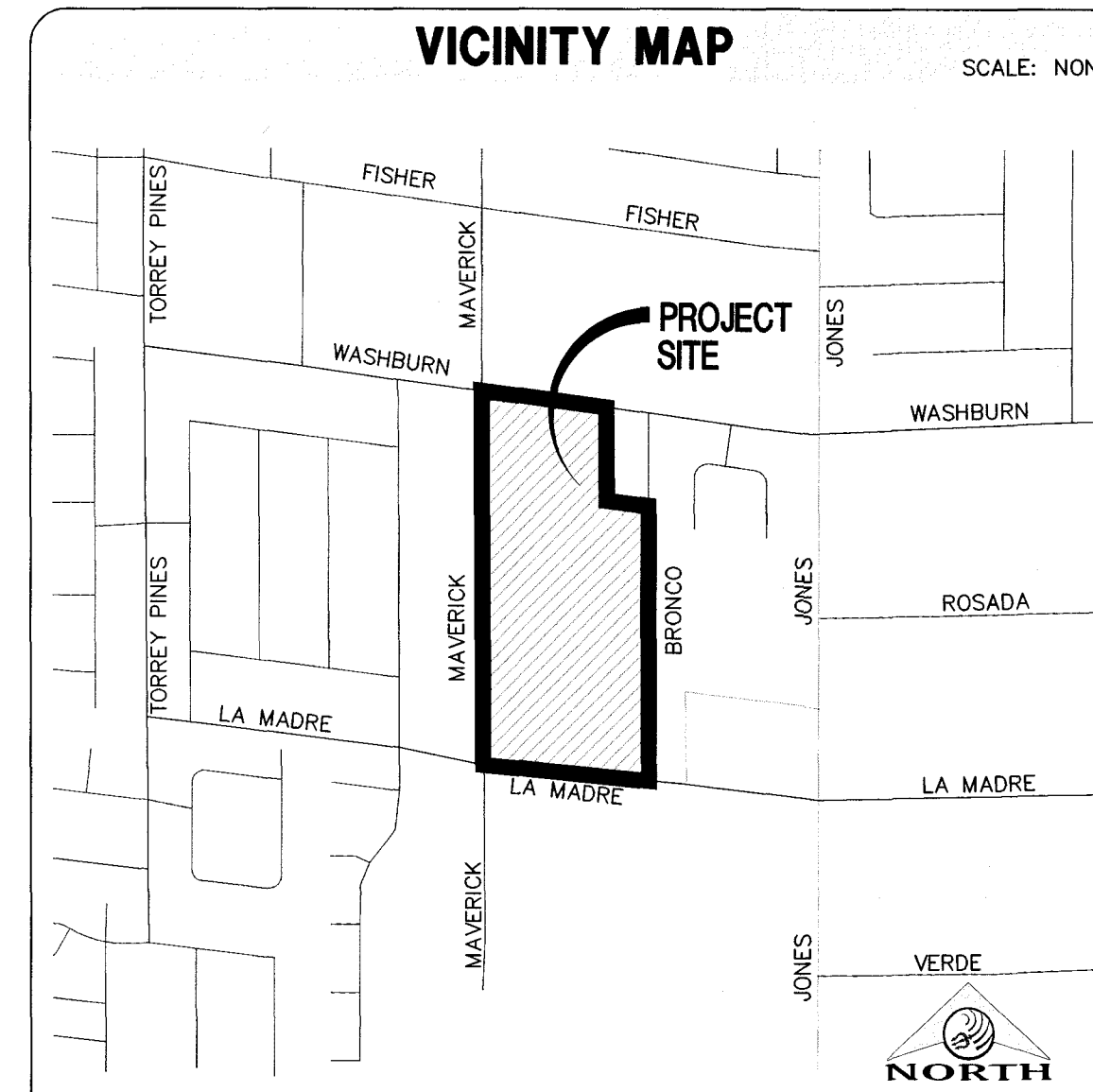
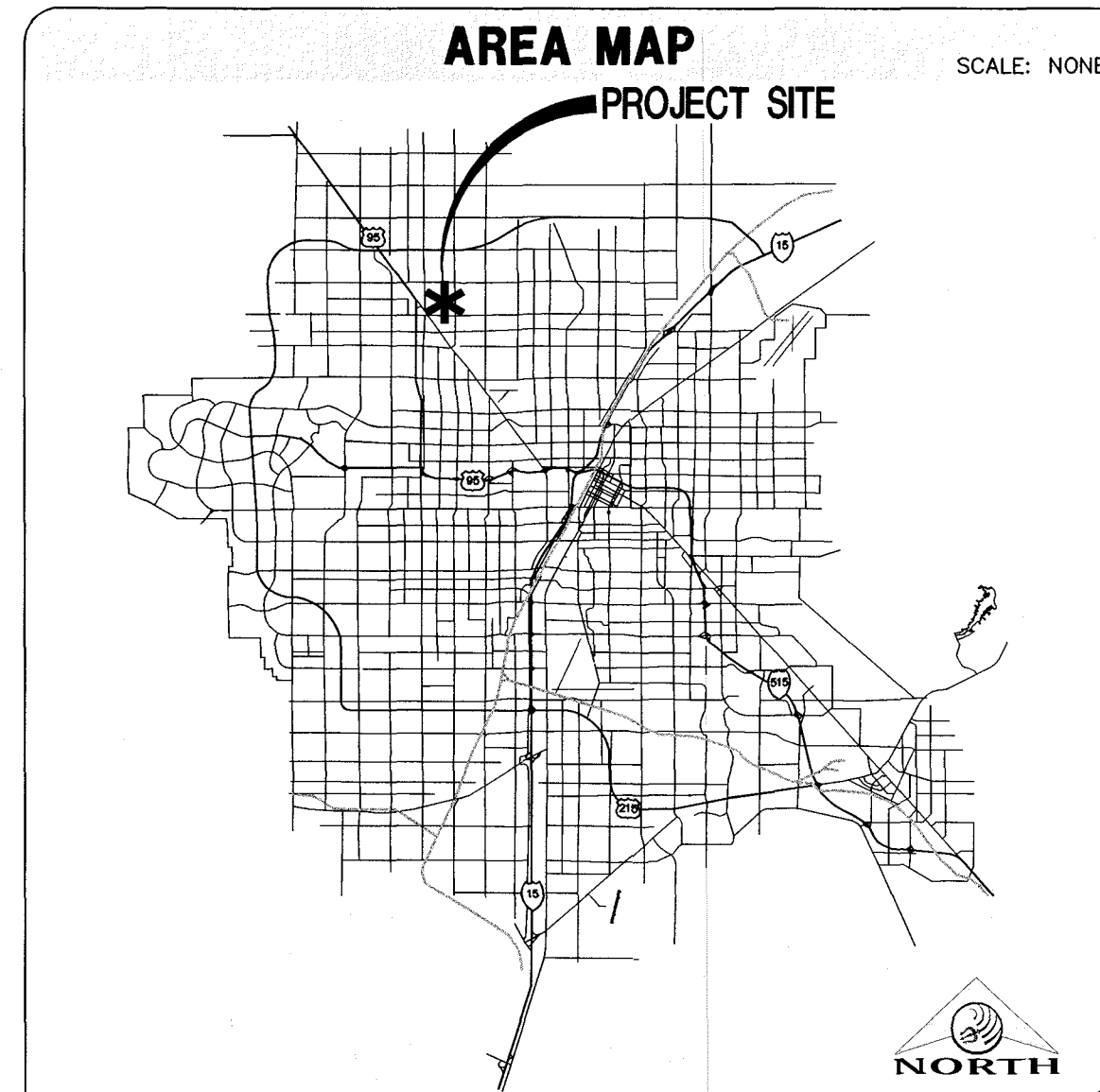
Update #1 to the Technical Drainage Study for Maverick & Washburn
DEVELOPED CONDITIONS DRAINAGE MAP

REVISED GRADING PLANS

APN: 125-35-701-001 THRU 003; 125-35-701-005 THRU 010

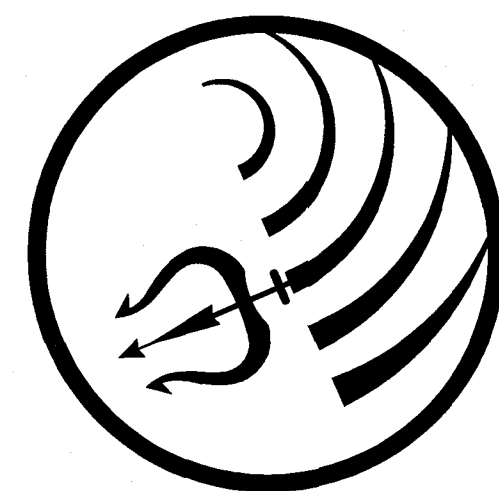
MAVERICK & WASHBURN ON-SITE DRAINAGE PLANS

A RESIDENTIAL SUBDIVISION
CITY OF LAS VEGAS, NEVADA



FOR
DR HORTON
1081 WHITNEY RANCH DRIVE #141
HENDERSON, NEVADA 89014
OFFICE: (702) 635-3600
FAX: (800) 538-0735

BY



Triton
Engineering

6757 W. Charleston Boulevard
Suite B
Las Vegas, Nevada 89146
Office: (702) 254-1480
Fax: (702) 254-3062
www.tritoneng.com

SHEET INDEX

- 1 COVER SHEET
- 2 GENERAL NOTES AND LEGEND
- 3 GRADING PLAN I
- 4 GRADING PLAN II
- 5 GRADING DETAILS
- 6 ROYAL INDIGO STREET PLAN AND PROFILE
STA 1+00 TO STA 9+00
- 7 ROYAL INDIGO STREET PLAN AND PROFILE
STA 9+00 TO STA 15+00

OWNER

125-35-701-001 THRU 003
REMARK REVOCABLE TRUST ETAL MOSAIC FIVE L L C
9500 HILLWOOD DR #201
LAS VEGAS, NV 89134
125-35-701-005 & 007
S W D E 13009 L L C ETAL MAUPERTUIS FRED & JANICE
2056 GLENVIEW DR
LAS VEGAS, NV 89134
125-35-701-006
BIG T L P ETAL CUSUMANO SHARON
8375 W FLAMINGO RD #4200
LAS VEGAS, NV 89147
125-35-701-008
SAGUARO EQUITIES L L C
3455 CLIFF SHADOWS PKWY #220
LAS VEGAS, NV 89129-1077
125-35-701-009
SOUTHWEST DESERT EQUITIES L L C
3455 CLIFF SHADOWS PKWY #220
LAS VEGAS, NV 89129-1077
125-35-701-010
INVESTOR EQUITY HOMES L L C AND MOSAIC LAND 2 L L C
3960 HOWARD HUGHES PKWY #150
LAS VEGAS, NV 89169

ASSESSOR'S PARCEL NUMBERS

125-35-701-001 THRU 003
125-35-701-005 THRU 010

LAND USE TABULATION

LAND USE DESIGNATION	
EXISTING CLV ZONING	U/R
PROPOSED CLV ZONING	U/R
MINIMUM LOT SIZE (SF)	10,129 SF
SITE SUMMARY	
TOTAL UNITS	55 UNITS
GROSS ACREAGE	15.44 ACRES
GROSS DENSITY	3.6 UNITS/ACRE
OPEN SPACE PROVIDED	
COMMON LOT A	1,428 SF
COMMON LOT B	687 SF
COMMON LOT C	1,432 SF
COMMON LOT D	1,473 SF
TOTAL	5,020 SF

DEVELOPER

DR HORTON
1081 WHITNEY RANCH DRIVE, SUITE #141
HENDERSON, NEVADA 89014
OFFICE: (702) 635-3600

ENGINEER

TRITON ENGINEERING
6755 W. CHARLESTON BOULEVARD, SUITE B
LAS VEGAS, NV 89146
OFFICE: (702) 254-1480
FAX: (702) 254-3062

SURVEYOR

TRI-CORE SURVEYING
6755 W. CHARLESTON BLVD STE A
LAS VEGAS, NV 89146
OFFICE: (702) 524-4085

BASIS OF BEARING

NORTH 82°59'56" WEST, BEING THE BEARING OF THE
SOUTH LINE OF THE NORTH HALF (N 1/2) OF THE
SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP
19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS,
CLARK COUNTY, NEVADA AS SHOWN ON THAT CERTAIN
MAP ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE
IN BOOK 117, PAGE 9 OF PLATS.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK No. 8LV9035E6
RIVET & PLATE IN TOP OF CURB AT THE SOUTHWEST
CORNER OF WASHBURN ROAD & MAVERICK STREET.
ELEVATION = 700.720 METERS (NAVD'88 2008 ADJ.)
ELEVATION = 2298.95 U.S. FEET (NAVD'88 2008 ADJ.)

LEGAL DESCRIPTION

APN'S: 125-35-701-001, 002 & 003:

THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF THE
SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19
SOUTH, RANGE 60 EAST, M.D.M., DESCRIBED AS FOLLOWS:
LOTS ONE (1), TWO (2) AND THREE (3), AS SHOWN BY MAP
THEREOF ON FILE IN FILE 32 OF PARCEL MAPS, PAGE 3, IN THE
OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

TOGETHER WITH THAT PORTION OF WASHBURN ROAD, THAT WOULD
PASS BY OPERATION OF LAW, AS VACATED BY THAT CERTAIN
ORDER OF VACATION RECORDED JUNE 29, 2005 IN BOOK 20050629
AS INSTRUMENT NO. 0006088 OF OFFICIAL RECORDS.

APN'S: 125-35-701-005 & 007:

PARCEL 1 (APN 125-35-701-005):

THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER
(NW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF THE
SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19
SOUTH, RANGE 60 EAST, M.D.B. & M., CLARK COUNTY, NEVADA.

EXCEPTING THAT PORTION AS CONVEYED IN DEED RECORDED
AUGUST 17, 1986 IN BOOK 381 AS INSTRUMENT NO. 307317 CLARK
COUNTY, NEVADA.

PARCEL 2 (125-35-701-007):

NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW
1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST
QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 60
EAST, M.D.B. & M.

EXCEPTING THAT PORTION AS CONVEYED IN DEED RECORDED
AUGUST 17, 1986 IN BOOK 381 INSTRUMENT NO. 307317 CLARK
COUNTY NEVADA.

APN: 125-35-701-006

THE EAST HALF (E 1/2) OF THE SOUTH HALF (S 1/2) OF THE
NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST QUARTER (NE
1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 35,
TOWNSHIP 19 SOUTH, RANGE 60 EAST M.D.M.

EXCEPTING THEREFROM THE EASTERLY THIRTY (30.00) FEET FOR
ROAD PURPOSES AS CONVEYED TO CLARK COUNTY BY DEED
RECORDED AUGUST 17, 1982 IN BOOK 381 AS DOCUMENT NO.
307314, OFFICIAL RECORDS.

APN'S: 125-35-701-008 & 009:

THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF THE
SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19
SOUTH, RANGE 60 EAST M.D.M., MORE PARTICULARLY DESCRIBED AS
FOLLOWS:

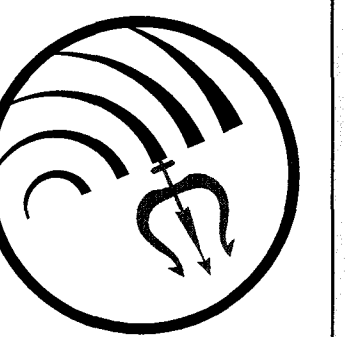
PARCELS ONE (1) AND TWO (2) AS SHOWN BY MAP THEREOF OF
FILE IN FILE 14 OF PARCEL MAPS, PAGE 60 IN THE OFFICE OF THE
COUNTY RECORDER OF CLARK COUNTY, NEVADA.

APN: 125-35-701-010:

THE SOUTH HALF (S 1/2) OF THE SOUTHWEST QUARTER (SW 1/4)
OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHEAST
QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 60
EAST M.D.M.

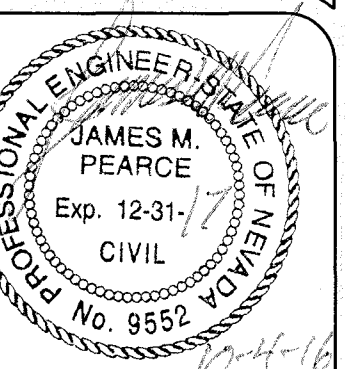
EXCEPTING THEREFROM THOSE PORTIONS AS CONVEYED TO CLARK
COUNTY BY THOSE CERTAIN GRANT DEEDS RECORDED AUGUST 17,
1982 IN BOOK 381 AS INSTRUMENT NOS. 307314, 307316 AND
307317 OF OFFICIAL RECORDS.

Triton
Engineering



DR HORTON
MAVERICK & WASHBURN

COVER SHEET



SHEET 1 OF 7
C.L.V. DWG.#

C:\Triton Drawings\Drawings\007.098\007.098_01_DRAIN-ON-SITE\007.098_01_DRAIN-ON-SITE.dwg divanov Tue, 04 Oct 2016 - 10:51am

- OR
SANITARY SEWER AND STORM DRAIN FACILITIES SHOWN ON THESE PLANS SHALL BE USED TO MEET THE REQUIREMENTS OF NRS 455 AND SHALL SHOW AT A MINIMUM: HORIZONTAL AND VERTICAL (INVERT) LOCATION OF PUBLIC SEWER MANHOLES, STORM DRAIN MANHOLES, STORM DRAIN LATERALS AT THE CONNECTION TO THE STORM DRAIN MAIN AND AT THE CONNECTION TO THE SANITARY SEWER MAIN, AND THE LOCATION OF THE LATERALS TO THE SEWER MAIN AND WHERE THE SEWER SERVICE LATERALS EXIT THE PUBLIC RIGHT-OF-WAY. ANY DEVIATIONS FROM THE INFORMATION SHOWN SHALL BE NOTED AND SUBMITTED AS A REVISION TO THE PLANS AND APPROVED PRIOR TO ACCEPTANCE OF FACILITY VIDEO INSPECTION.

REVISÉ 02/03/15

12. WHERE NEW WATER MAINS ARE EXTENDED ALONG STREETS OR NEW STREETS ARE INSTALLED WHERE FIRE HYDRANTS ARE NOT NEEDED FOR PROTECTION OF THE STRUCTURES, FIRE HYDRANTS SHALL BE INSTALLED AT MAXIMUM 1,000 FOOT SPACING, AND ONE HYDRANT SHALL BE PROVIDED FOR EACH 100 FEET OF STREET PROVIDED WITH MEDIAN DIVIDERS OR HAVE FOUR OR MORE TRAFFIC LANES AND HAVE A TRAFFIC COUNT OF MORE THAN 30,000 PER DAY, HYDRANTS ARE REQUIRED ON EACH SIDE OF THE STREET SPACED AT 500 FEET ON AN ALTERNATING BASIS.
13. NO FIRE HYDRANT SHALL BE LOCATED WITHIN THE REQUIRED RADIUS OF A CUL-DE-SAC OR WITHIN 20 FEET OF THE PERIMETER OF THE RADIUS OF THE CUL-DE-SAC.
14. NO FIRE HYDRANTS SHALL BE LOCATED WITHIN 6 FEET OF ANY CURB RETURN, DRIVEWAY, POWER POLE, STREETLIGHT OR ANY OTHER OBSTRUCTION.
15. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A ONE-TWO FAMILY DWELLING SHALL NOT EXCEED 300 FEET, AS MEASURED BY AN APPROVED ROUTE.
16. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT EXCEED 100 FEET, AS MEASURED BY AN APPROVED ROUTE.
17. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO THE END OF A DEAD-END STREET SHALL NOT EXCEED 200 FEET.
18. TWO SOURCES OF SUPPLY ARE REQUIRED WHENEVER THERE ARE 4 OR MORE FIRE HYDRANTS/SPRINKLER LEAD-INS ARE INSTALLED ON A SINGLE SYSTEM. SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 2 FIRE HYDRANTS CAN BE OUT OF SERVICE DUE TO A BREAK IN A WATER MAIN.
19. ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPACT LOADS OF FIRE APPARATUS.
20. THE GRADIENT FOR THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 12% ANGLES OF APPROACH AND ANGLES OF DEPARTURE SHALL NOT EXCEED 6% FOR 25 FEET PRIOR TO OR AFTER THE GRADE CHANGE. ADJACENT TO THE STRUCTURES ON EITHER SIDE SHALL NOT EXCEED 6%.
21. THE TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL BE NO LESS THAN 32 FEET OUTSIDE AND 28 FEET INSIDE TURNING RADIUS.
22. VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL BE NOT LESS THAN 13 FEET 6 INCHES.
23. FIRE DEPARTMENT ACCESS ROADS IN ALL RESIDENTIAL DEVELOPMENTS (EXCEPT FOR THE APARTMENT BUILDINGS) SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 36 FEET FLOW LINE TO THE FLOW LINE (THIS WIDTH MAY BE REDUCED TO 24 FEET IF ALL BUILDINGS FRONTING THE STREET ARE SPRINKLERED) FOR MAIN RESIDENTIAL DEVELOPMENTS. IN APARTMENT BUILDINGS, THE STREET, PRIVATE DRIVE, AISLES, DRIVEWAYS, ETC. SHALL BE ALLOWED TO BE REDUCED TO A MINIMUM WIDTH OF 24 FEET FLOW LINE TO THE FLOW LINE WHEN SERVING NO MORE THAN 6 RESIDENCES, AND WHEN ON STREET PARKING IS DISALLOWED.
24. FIRE APPARATUS ACCESS ROADS IN COMMERCIAL DEVELOPMENTS AND INDUSTRIAL DEVELOPMENTS SHALL BE ALLOWED TO BE REDUCED TO A MINIMUM OF NOT LESS THAN 24 FEET (FLOW LINE TO THE FLOW LINE), PROVIDED NO PARKING IS ALLOWED ON EITHER SIDE; 32 FEET (FLOW LINE TO THE FLOW LINE), IF PARALLEL PARKING IS ALLOWED ON ONE SIDE ONLY; AND 40 FEET (FLOW LINE TO THE FLOW LINE), IF PARALLEL PARKING IS ALLOWED ON BOTH SIDES. THESE WIDTHS MAY BE REDUCED BY 4 FEET IF ALL BUILDINGS ARE SPRINKLERED.

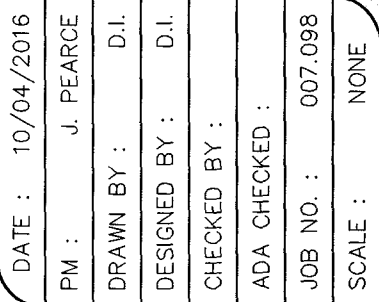
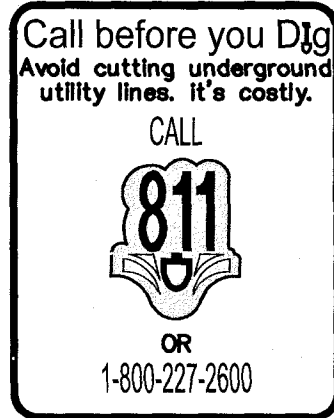
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA, AS AMENDED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS, ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEER.
3. CHISEL "S" OR "O" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
4. POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SDR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACKFILL OF TYPE II AGGREGATE BASE.
5. ALL MANHOLES PAVED IN STREETS EIGHTY (80') FOOT R/W AND LARGER SHALL HAVE CONCRETE COUNTERS. STREETS LESS THAN EIGHTY (80') FOOT R/W WILL REQUIRE RETROFIT IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
6. TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCH (12") DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER MAINS SHALL REQUIRE SPECIAL PROCEDURES. IN LINE "Y" S SHALL BE USED ON LINES TWELVE INCHES (12") OR ABOVE.
7. WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVWD STANDARDS WHENEVER A SEWER MAIN CROSSES OVER A WATER MAIN OR THE SEWER IS LESS THAN EIGHTEEN INCH (18") UNDER A WATER MAIN.
8. ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER THE JURISDICTION OF THE CITY OF LAS VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
9. THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION OF MORE THAN ONE TENTH (0.1) OF A FOOT FROM THE CITY OF LAS VEGAS CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THE TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
10. INSTALLATION OF CURVED SEWER REQUIRES THE USE OF C-900 PVC PIPE WHICH ALLOWES FOR PIVOT DEFLECTION AT THE JOINTS.

ABN - ABANDON
 AC - ASPHALTIC CONCRETE
 AGGR - AGGREGATE
 & - AND
 APN - ASSESSOR PARCEL NUMBER
 APPROX - APPROXIMATE
 ASSEM - ASSEMBLY
 AVE - AVENUE
 BC - BACK OF CURB
 BCR - BACK OF CURVE RETURN
 BK - BOOK/BACK
 BLDG - BUILDING
 BLK - BLOCK
 BLV - BUREAU OF LAND
 BLM - BOULEVARD
 BM - BENCHMARK
 BO - BLOW OFF ASSEMBLY
 BOC - BACK OF CURB
 BOT - BOTTOM
 BOW - BACK OF WALK
 BRG - BRIDGE
 BVC - BEGIN VERTICAL CURVE
 BW - BACK OF WALK
 BWV - BACK WATER VALVE
 C - CENTER
 C&G - CURB & GUTTER
 CC - COUNCIL COUNTY
 CE - COMMON ELEMENT
 CI - CAST IRON
 CIP - CAST IRON PIPE/
 CAST IN PLACE
 CIR - CIRCLE
 CL OR C - CENTERLINE
 ONLY CITY OF NORTHERN
 LAS VEGAS
 CO - COUNTY
 CON - COUNTY OF HENDERSON
 CONC - CONCRETE
 CONT - CONTINUOUS
 COORD - COORDINATE
 CTR - CENTER
 CV - CONTROL VALVE
 D - DETAILED ANGLE
 D/W OR DWY - DRIVEWAY
 DEPT - DEPARTMENT
 DET - DETAIL
 DEV - DEVELOPMENT
 DG - DESIGN GRADE
 DI - DROP INLET/BUCKLE IRON
 DIA OR Ø - DIAMETER
 DIM - DIMENSION
 DIP - DUCTILE IRON PIPE
 DIR - DIRECTION
 DST - DISTANCE
 DMH - DOWN MANHOLE
 DN - DOWN
 DR - DRIVE
 DWG - DRAWING
 E - EAST/EDGE
 EA - EACH
 EG - EXISTING GROUND
 ELEV - ELEVATION
 EPV - EDGE OF PAVEMENT
 EQ - EQUAL OR EQUATION
 EQ SP - EQUALLY SPACED
 EST - ESTIMATE
 EST - ESTIMATE
 EVC - END OF VERTICAL CURVE
 EW - EACH WAY
 EXIST - EXISTING
 F/F - FACE TO FACE
 FC - FACE OF CURB
 FF - FINISHED FLOOR
 FG - FINISHED GRADE
 FH - FIRE HYDRANT
 FL - FLOW
 FL OR F - FLOW LINE
 FLR - FLOOR
 FN - FENCE
 FOC - FOUND
 FOC - FACE OF CURB
 FOW - FACE OF WALL
 FPS - FEET PER MINUTE
 FPS - FEET PER SECOND
 FT - FOOT OR FEET
 FTG - FOOTING
 FUT - FUTURE
 G/B - GRADE BREAK
 GALV - GALVANIZED
 GB - GRADE BREAK
 GD - GROUND
 GPD - GALLONS PER DAY
 GPM - GALLONS PER HOUR
 GPH - GALLONS PER MINUTE
 GR - GRADE
 GRT - GRATE
 G - GRADE VALVE
 H - HIGH
 HORIZ - HORIZONTAL
 HP - HIGH POINT
 HPG - HIGH PRESSURE GAS
 HT - HEIGHT
 HWY - HIGHWAY
 IN - INCH
 INST - INSTALL
 INT - INTERIOR
 INV - INVERT
 IRR - IRRIGATION
 LB OR # - POUND
 LEN OR L - LENGTH OF CURVATURE
 LF - LINEAR FOOT
 LG - LONG
 LN - LANE
 LT - LEFT/LIGHT
 LVYMD - LAS VEGAS VALLEY
 WATER DISTRICT
 LWR - LOWER
 M - METER
 MATL - MATERIAL
 MAX - MAXIMUM
 MECH - MECHANICAL
 MAN - MANHOLE
 MC - MILLION GALLONS
 MC - MILLION GALLONS PER DAY
 MIN - MINIMUM
 MIN - MINIMUM
 MISC - MISCELLANEOUS
 MJ - MECHANICAL JOINT
 MKR - MARKER
 ML - MORTAR LINED
 MLC - MORTAR LINED & COATED
 MWC - MIDDLE OF VERTICAL CURVE
 N - NORTH
 N/A - NOT APPLICABLE
 N/P - NOT A PART
 NDOT - NEVADA DEPARTMENT
 OF TRANSPORTATION
 NE - NORTHEAST
 NF - NORTH FACE
 NO - NATURAL GROUND
 NO. OR # - NUMBER
 NTS - NOT TO SCALE
 NW - NORTHWEST
 O/O - OUT TO OUT
 OC - ON CENTER
 OD - OUTSIDE DIAMETER
 O - OUTSIDE FACE
 OHP - OVER HEAD POPE
 OHL - OVER HEAD TELEPHONE
 ORG - ORIGINAL
 OVL - OVERFLOW
 O/O - OUT TO OUT
 OR - ON CENTER
 OD - OUTSIDE DIAMETER
 O - OUTSIDE FACE
 OHP - OVER HEAD POPE
 OHL - OVER HEAD TELEPHONE
 ORG - ORIGINAL
 OVL - OVERFLOW
 PL OR P - PROPERTY LINE
 PAVMT - PAVEMENT
 PB - PULL BOX
 PC - POINT OF CURVE
 PCC - POINT OF COMBINATION
 PE - POLYETHYLENE
 PED - PEDESTAL
 PERM - PERMANENT
 PERP - PERPENDICULAR
 PH - PHASE
 PI - POINT OF INTERSECTION
 PKG - PACKAGE
 PKWY - PARKWAY
 PL - PLATE/PLATE/PARCEL LINE
 PLT - PLATE (DRAWING)
 POLY - POLYETHYLENE
 PP - POWER POLE
 PR - PAIR
 PRC - POINT OF REVERSE CURVE/
 PRECAST REINFORCED CONCRETE
 PRELIM - PRELIMINARY
 PRO - PROPOSED
 PRV - PRESSURE REGULATING VALVE
 P - PUMP STATION
 PSF - POUNDS PER SQUARE FOOT
 P3 - POUNDS PER SQUARE INCH
 PT - POINT/POINT OF TANGENT
 PUE - PUBLIC UTILITY EASEMENT
 PVI - POINT OF VERTICAL
 INTERSECTION
 PWC - POLYVINYL CHLORIDE PIPE
 QTR - QUARTER
 QTY - QUANTITY
 R - RADIUS
 (R) - RADIAL
 R/W - RIGHT OF WAY
 RCB - REINFORCED CONCRETE PIPE
 RCP - REINFORCED CONCRETE PIPE
 RD - ROAD
 RED - REDUCER
 REQD - REQUIRED
 RET - RETURN
 REV - REVISION OR REVERSE
 ROW - RIGHT OF WAY
 RPPA - REDUCED PRESSURE
 PRINCIPLE ASSEMBLY
 RR - RAILROAD
 S - SOUTH/SLOPE
 S/C - SAW CUT
 SC - STEEL CYLINDER CONCRETE
 PIPE
 SCH - SCHEDULE
 SD - STORM DRAIN
 SDY - STORM DRAIN MANHOLE
 SDWK - SIDEWALK
 SEC - SECTION
 SEC - SECTION/SECOND
 SEG - SEGMENT
 SHDR - SHOULDER
 SHLT - SHEET
 SUR - SURVEY
 SPC - SPECIAL IMPROVEMENT
 DISTRICT
 SIG - SIGNAL
 SL - SLOPE
 SLV - SLEEVE
 SNWA - SOUTHERN NEVADA WATER
 AUTHORITY
 SPEC(S) - SPECIFICATION(S)
 SQ - SQUARE
 SQ FT - SQUARE FOOT/FEET
 SQ YD - SQUARE YARD
 SS - SANITARY SEWER
 STD - STREET
 STD - STANDARD
 STL - STEEL
 STLT - STREET LIGHT
 SUR - SURVEY
 SW - SOUTHWEST
 SIDEWALK OR SOUTHWEST
 SIDE YARD
 SWM - SYMBOL
 SYS - SYSTEM
 TAB - TOP & BOTTOM
 TAN - TANGENT
 TEM - TEMPORARY BENCH MARK
 TC - TOP OF CURB
 TCR - TRENCH DRAIN
 TMP - TEMP OF PIPE
 TH - THICKNESS
 THR BLK - THRUST BLOCK
 THW - TOP OF MANHOLE
 TOP - TOP OF FOOTING
 TOR - TOP OF GRADE
 TOR - TOP OF PIPE
 TOR - TOP OF RIM
 TOS - TOP OF SLAB
 TOW - TOP OF SIDEWALK
 TOT - TOTAL
 TOW - TOP OF WALL
 (TYP) - TYPICAL
 UN - UNLESS NOTED OTHERWISE
 UPRR - UNION PACIFIC RAILROAD
 USFS - UNITED STATES GEOLOGIC
 SURVEY
 UTIL - UTILITY
 V - VALVE OR VALVE
 VAR - VARES
 VB - VALVE BOX
 VCP - VITRIFIED
 VC - VERTICAL CURVE
 VEL - VELOCITY
 VERT - VERTICAL
 VLV - VALVE GUTTER
 VOL - VOLUME
 VPI - VERTICAL POINT OF
 INTERSECTION
 W - WITH
 W - WEST/WATER
 W/O - WITH OUT
 WD - WIDTH
 WD - WIDTH DRAIN
 WD - WROUGHT IRON
 W - WASTE LINE
 WP - WORK POINT/WEATHER PROO
 WS - WATER SURFACE
 WT - WEIGHT
 WR - WATER
 WW - WELDED
 WW - WELDED WIRE FABRIC
 WW - WELDED WIRE MESH
 XMR - TRANSFORMER
 Y - YARD
 YD - YIELD
 YD - YIELD

	CENTERLINE
	UNIT BOUNDARY
	PROPOSED 1' GRADE CONTOUR
	PROPOSED 5' GRADE CONTOUR
	EXISTING 1' GRADE CONTOUR
	EXISTING 5' GRADE CONTOUR
	PROPOSED PROPERTY LINE
	PROPOSED SETBACK LINE
	PROPOSED HINGE LINE
	PROPOSED SWALE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	RETAINING WALL
	GARDEN WALL WITH SOLID GROUND
	8" WIDE CMU FLOOD WALL
	EXISTING FENCE
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED STREETLIGHT CONDUIT
	PROPOSED NO. 3 1/2 CONCRETE PULL BOX W/ METAL COVER
	EXISTING GAS
	EXISTING SEWER MAIN
	PROPOSED SEWER MAIN
	PROPOSED SEWER LATERAL
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	PROPOSED FIRE HYDRANT
	LOT NUMBER
	PROPOSED FINISH FLOOR
	PROPOSED PAD ELEVATION
	EXISTING STREET LIGHT
	PROPOSED 100w HPS STREET LIGHT
	PROPOSED 150w HPS STREET LIGHT
	PROPOSED 200w HPS STREET LIGHT
	PROPOSED 250w HPS STREET LIGHT
	PROPOSED 400w HPS STREET LIGHT
	PROPOSED HANDICAP RAMP
	PROPOSED CONCRETE DRIVEWAY
	0" LIP DRIVEWAY
	2:1 SCARP
	COURSES OF 8" CMU NUMBER OF COURSES
	CUL-DE-SAC BACK OF CURB STATION
	KNUCKLE BACK OF CURB STATION
	SIGHT VISIBILITY ZONE
	PROPOSED RATE & FLOW DIRECTION
	PROPOSED ELEVATION WITH DESCRIPTION
	EXISTING ELEVATION WITH DESCRIPTION

WITHIN PUBLIC DRAINAGE EASEMENTS

- 4,092 SY
511 CY
2,204 LF
11,018 SF



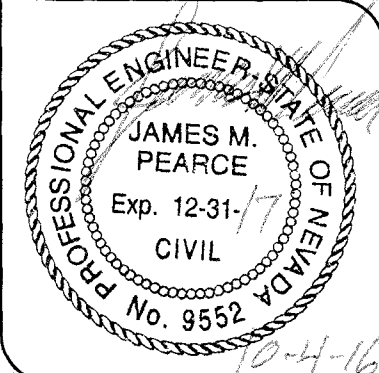
Triton
Engineering

Office: (702) 254-4141
Fax: (702) 254-4142
www.tritoneng.com

6757 W. Charleston Blvd.
Suite B
Las Vegas, Nevada 89146

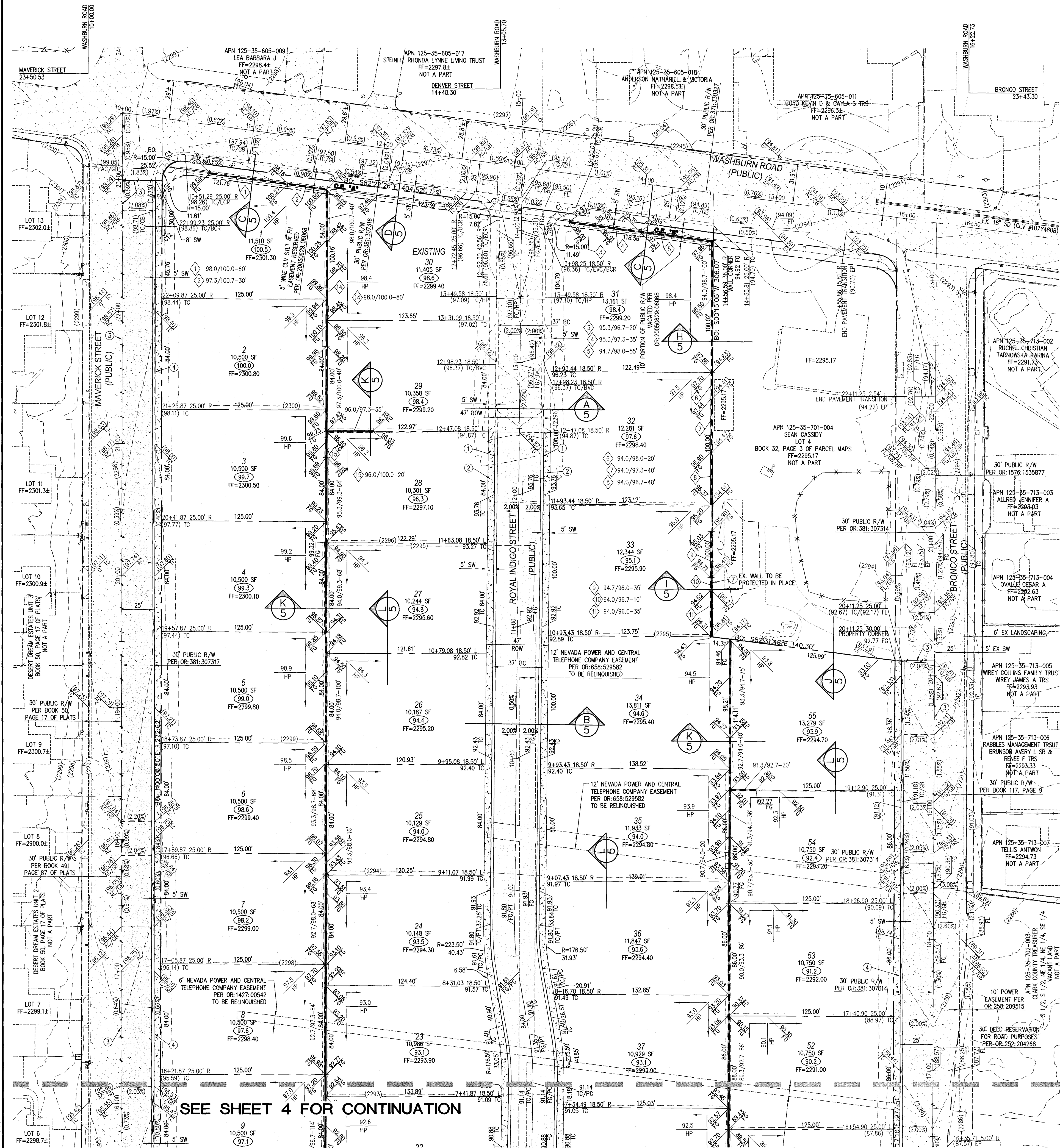


DR HORTON
MAVERICK & WASHBURN
GENERAL NOTES AND LEGEND



SHEET **2** OF 7
C.L.V. DWG.#

C:\Users\divanov\AppData\Local\Temp\AcPublish_868\007_098_03_DRN-ON-Grading.dwg divanov Tue, 04 Oct 2016 - 11:03am



SEE SHEET 4 FOR CONTINUATION

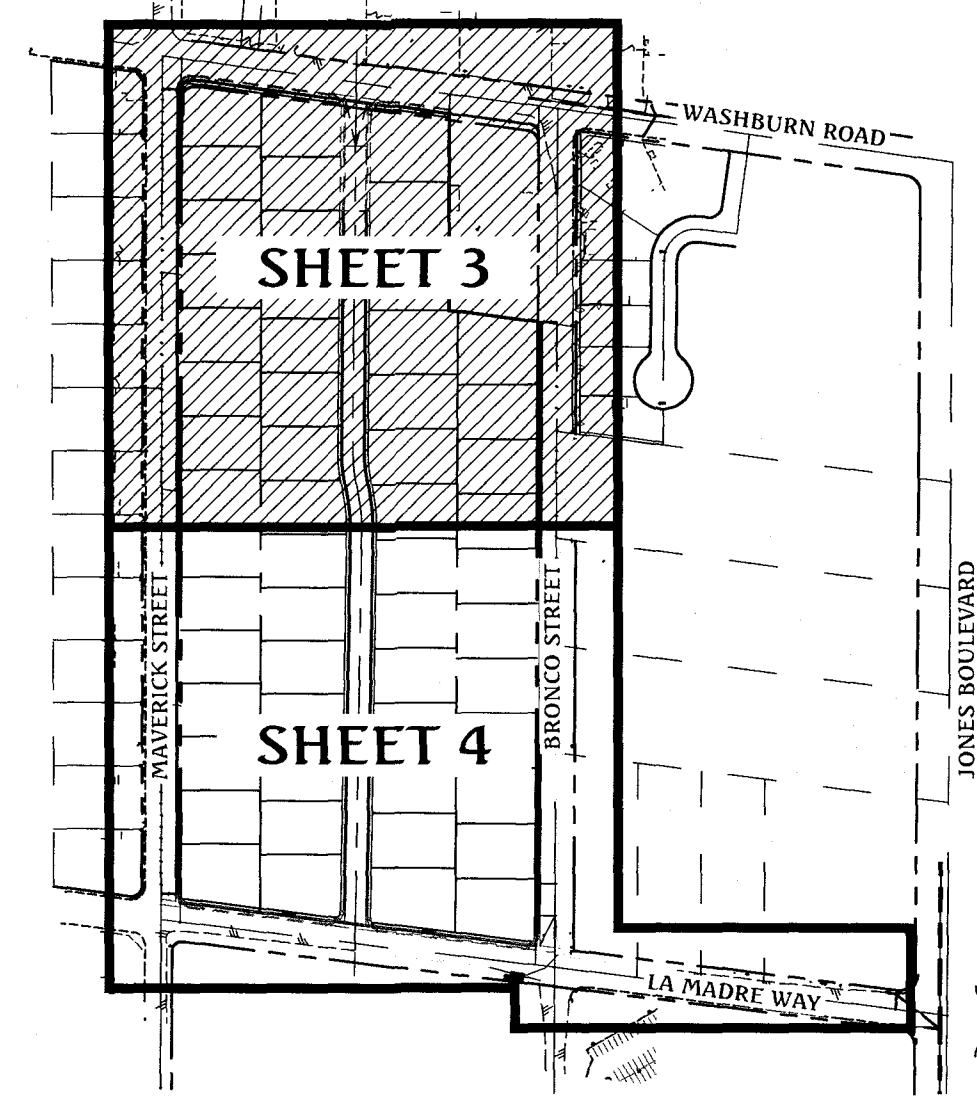
FAST
Call before you
Underground
1-702-432-5300
SYSTEM OF TRANSPORTATION

Avoid overhead power
line contact. It's costly.
Call before you
Overhead
1-702-227-2929

Call before you Dig
Avoid cutting underground
utility lines. It's costly.
CALL
811
OR
1-800-227-2600

KEY MAP

SCALE: NONE



GRADING LEGEND

(1395)	EX. MAJOR CONTOUR
(1391)	EX. MINOR CONTOUR
---	BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	STREET CENTERLINE
---	EDGE OF PAVEMENT
---	EXISTING CURB, GUTTER, & SIDEWALK
---	PROPOSED CURB, GUTTER, & SIDEWALK
---	PROPOSED AC PAVING
---	EXISTING AC PAVING
---	EX. FENCE
---	EX. BLOCK WALL
---	PROPOSED RETAINING WALL
---	TOP OF FOOTING
---	APPROX. WALL LENGTH
---	TOP OF RETAINING WALL
---	PROPOSED SCARP

BASIS OF BEARING

NORTH 82°59'56" WEST, BEING THE BEARING OF THE SOUTH LINE OF THE NORTH HALF (N 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN BOOK 117, PAGE 9 OF PLATS.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK No. BLV9035E6
RIVET & PLATE IN TOP OF CURB AT THE SOUTHWEST CORNER OF WASHBURN ROAD & MAVERICK STREET.
ELEVATION = 700.720 METERS (NAVD'88 2008 ADJ.)
ELEVATION = 2298.95 U.S. FEET (NAVD'88 2008 ADJ.)

FLOOD ZONE NOTE

THE PROJECT SITE IS LOCATED ON FEMA FLOOD INSURANCE RATE MAP #32003C1765F. THE SITE IS LOCATED WITHIN DESIGNATED FLOOD HAZARD ZONE X BEING AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.

SOILS INFORMATION

- SOILS REPORT BY: GEOTEK RESIDENTIAL, LLC
PROJECT No. 12565-LVR
DATED: SEPTEMBER 14, 2015
- CUT TOTAL: 18,765 C.Y.
FILL TOTAL: 23,237 C.Y.
NET: 4,472 C.Y. (FILL)



GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

GRADING NOTES

- ALL PROPOSED PAD ELEVATIONS AND SWALE ELEVATIONS ARE FINISHED GRADES. ALL OTHER PROPOSED ELEVATIONS ARE FINISHED GRADES.
- THE GRADING PLANS SHALL BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
- ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE ENGINEER.
- ALL PADS ARE TO BE GRADED WITHIN $\pm 0.3'$ OF THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
- ALL PLACEMENT OF OVERSIZED MATERIALS AND/OR FILL MATERIALS SHALL BE PER THE SOILS REPORT REFERENCED ON THIS PLAN.
- ADD 2200 TO ALL SPOT GRADES AND TOP OF CURB, FLOW LINE AND FINISH GRADE ELEVATIONS.
- ANY CURVED CURB LESS THAN 12' MUST BE WATER TESTED BY CONTRACTOR AS REQUIRED BY CITY INSPECTOR.

CONSTRUCTION NOTES

- CONSTRUCT "L" TYPE CURB & GUTTER PER CCAUSD #216.
- CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234.
- SAWCUT AND MATCH EXISTING ASPHALT.
- EXISTING "L" CURB, GUTTER AND SIDEWALK TO BE REMOVED & REPLACED PER CCAUSD #216 AND #234.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	09°7'00"52"	20.00'	33.86'	22.61'
C2	08°2'59"08"	20.00'	28.97'	17.69'
C3	09°7'28"44"	20.00'	34.03'	22.80'
C4	08°3'08"46"	20.00'	29.02'	17.74'
C5	09°6'01"31"	20.00'	33.52'	22.22'
C6	08°3'58"29"	20.00'	29.31'	18.00'
C7	09°6'42"54"	20.00'	33.76'	22.49'
C8	01°0'43"47"	200.00'	37.45'	18.78'
C9	01°02'1"56"	200.00'	36.18'	18.14'
C10	09°0'00"00"	3.00'	4.71'	3.00'
C12	09°0'00"00"	3.00'	4.71'	3.00'

DATE:	10/04/2016
PM:	J. PEARCE
DRAWN BY:	D.L.
DESIGNED BY:	D.L.
CHECKED BY:	
ADA CHECKED:	
NO.:	007.008
SCALE:	1" = 40'

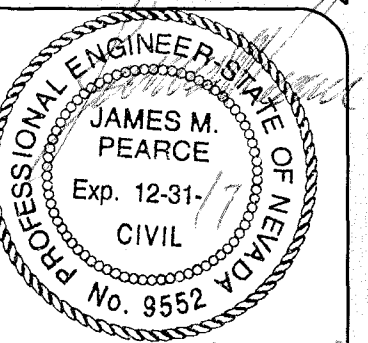
Triton
Engineering

Office: (702) 254-1480
Suite B
Las Vegas, Nevada 89146
Fax: (702) 254-3062
www.tritoneng.com



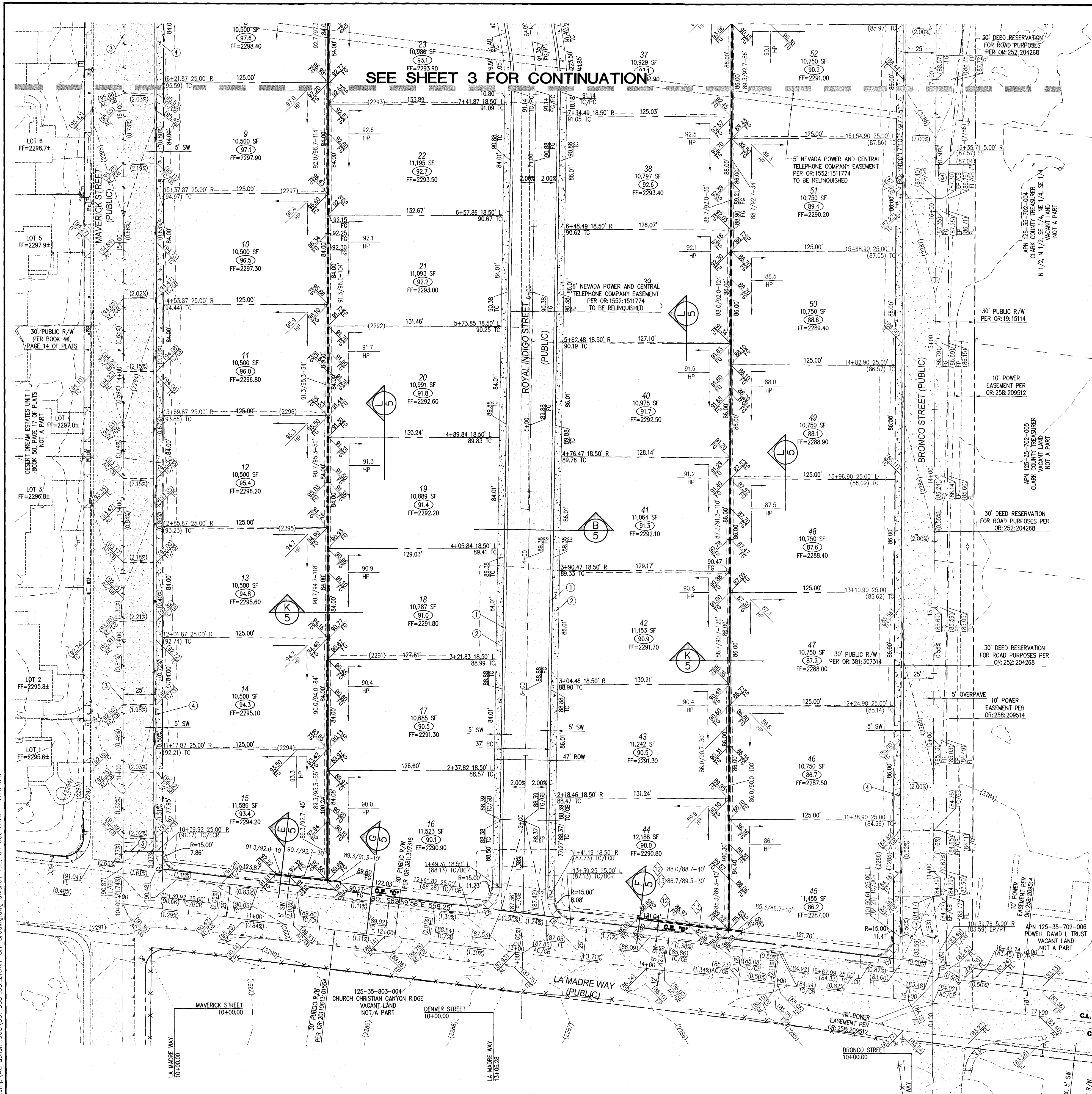
DR. HORTON
MAVERICK & WASHBURN

GRADING PLAN 1



SHEET **3** OF 7
C.L.V. DWG.#

C:\Users\divanov\appdata\local\temp\APublish_968\007 008_03_DRAIN-CN-Grading.dwg divanov Tue, 04 Oct 2016 - 11:04am



SEE SHEET 3 FOR CONTINUATION

FAST
Call before you
Underground
1-702-432-5300
FREEWAY & ARTERIAL
SYSTEM OF TRANSPORTATION

Avoid overhead power
line contact. It's costly.
Call
before you
Overhead
1-702-227-2929

Call before you Dig
Avoid cutting underground
utility lines. It's costly.
CALL
811
OR
1-800-227-2600

GRADING LEGEND

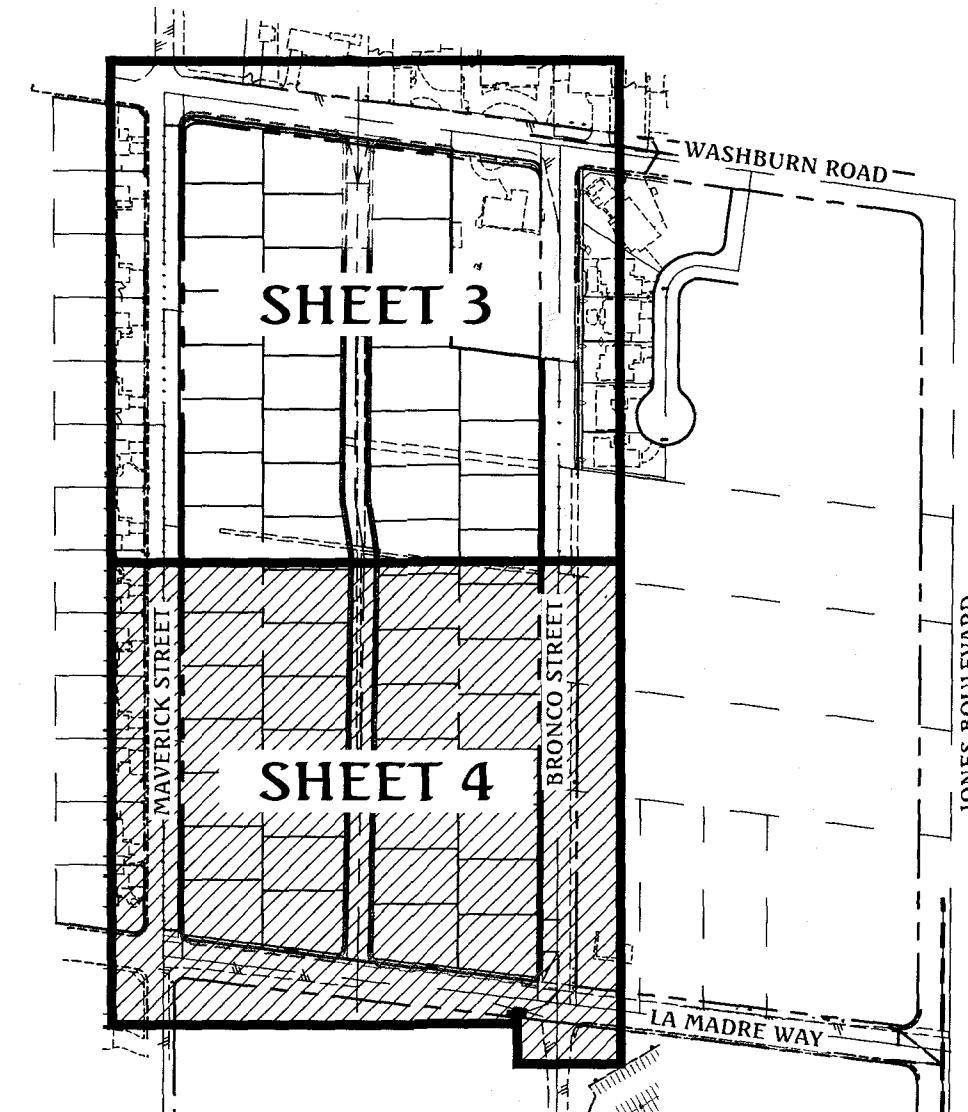
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- STREET CENTERLINE
- EDGE OF PAVEMENT
- EXISTING CURB, GUTTER, & SIDEWALK
- PROPOSED CURB, GUTTER, & SIDEWALK
- PROPOSED AC PAVING
- EXISTING AC PAVING
- EX. FENCE
- EX. BLOCK WALL
- PROPOSED RETAINING WALL
- TOP OF FOOTING
- APPROX. WALL LENGTH
- TOP OF RETAINING WALL
- PROPOSED SCARP



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

KEY MAP

SCALE: NONE



GRADING NOTES

- ALL PROPOSED PAD ELEVATIONS AND SWALE ELEVATIONS ARE ROUGH GRADES. ALL OTHER PROPOSED ELEVATIONS ARE FINISHED GRADES.
- THE GRADING PLANS SHALL BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
- ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE ENGINEER.
- ALL PADS ARE TO BE GRADED WITHIN $\pm 0.3'$ OF THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
- ALL PLACEMENT OF OVERSIZED MATERIALS AND/OR FILL MATERIALS SHALL BE PER THE SOILS REPORT REFERENCED ON THIS PLAN.
- ADD 2200 TO ALL SPOT GRADES AND TOP OF CURB, FLOW LINE AND FINISH GRADE ELEVATIONS.
- ANY CURVED CURB LESS THAN 1% MUST BE WATER TESTED BY CONTRACTOR AS REQUIRED BY CITY INSPECTOR.

CONSTRUCTION NOTES

- CONSTRUCT "L" TYPE CURB & GUTTER PER COAUSD #216.
- CONSTRUCT 5' WIDE SIDEWALK PER COAUSD #234.
- SAWCUT AND MATCH EXISTING ASPHALT.
- EXISTING "L" CURB, GUTTER AND SIDEWALK TO BE REMOVED & REPLACED PER COAUSD #216 AND #234.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	097°00'52"	20.00'	33.86'	22.61'
C2	082°59'08"	20.00'	28.97'	17.69'
C3	097°28'44"	20.00'	34.03'	22.80'
C4	083°08'46"	20.00'	29.02'	17.74'
C5	096°01'31"	20.00'	33.52'	22.22'
C6	083°58'29"	20.00'	29.31'	18.00'
C7	096°42'54"	20.00'	33.76'	22.49'
C8	010°43'47"	200.00'	37.45'	18.78'
C9	010°21'56"	200.00'	36.18'	18.14'
C10	090°00'00"	3.00'	4.71'	3.00'
C12	090°00'00"	3.00'	4.71'	3.00'

BASIS OF BEARING

NORTH 82°59'56" WEST, BEING THE BEARING OF THE SOUTH LINE OF THE NORTH HALF (N 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 60 EAST, N.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN BOOK 117, PAGE 9 OF PLATS.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK No. 8LV903556
RIVET & PLATE IN TOP OF CURB AT THE SOUTHWEST CORNER OF WASHBURN ROAD & MAVERICK STREET.
ELEVATION = 700.720 METERS (NAV80/88 2008 ADJ.)
ELEVATION = 2298.95 U.S. FEET (NAV80/88 2008 ADJ.)

SOILS INFORMATION

- SOILS REPORT BY: GEOTEK RESIDENTIAL, LLC
PROJECT No. 12565-LVR
DATED: SEPTEMBER 14, 2015
- CUT TOTAL: 18,765 C.Y.
FILL TOTAL: 23,237 C.Y.
NET: 4,472 C.Y. (FILL)

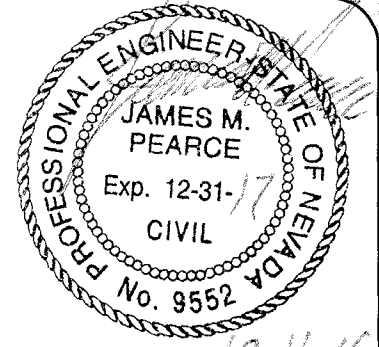
FLOOD ZONE NOTE

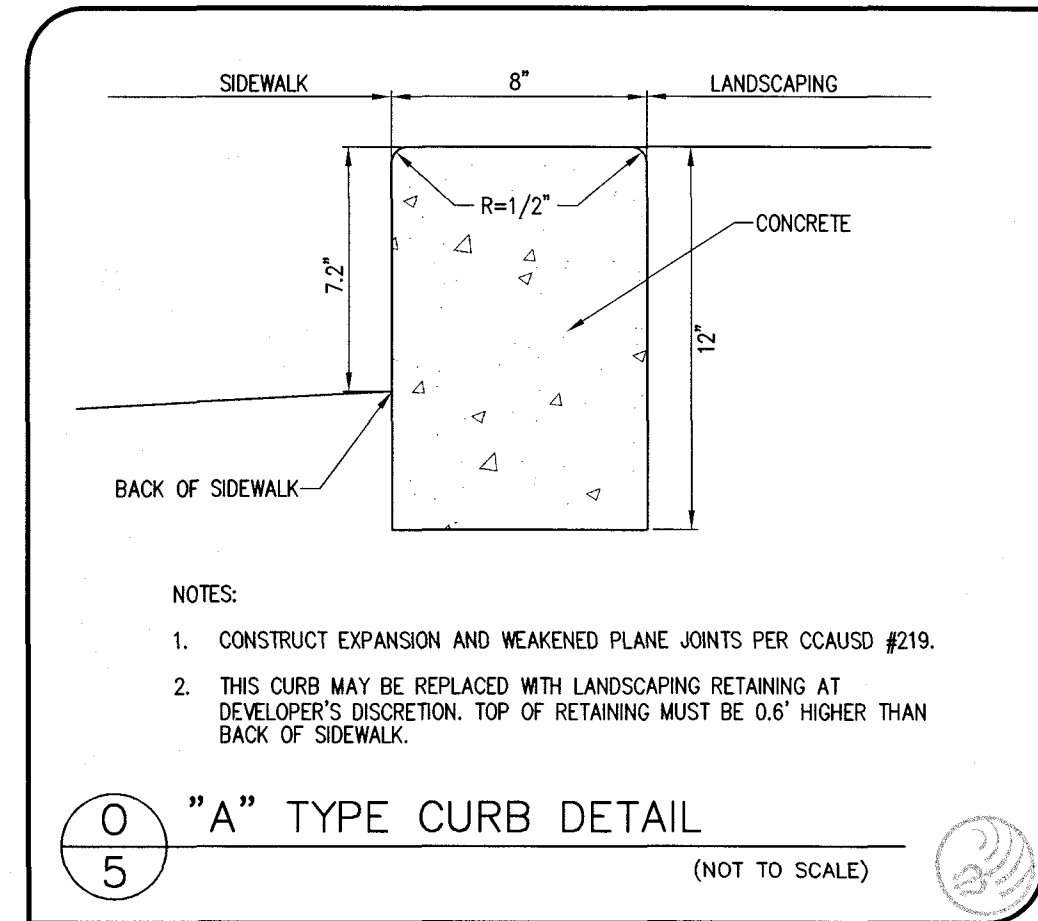
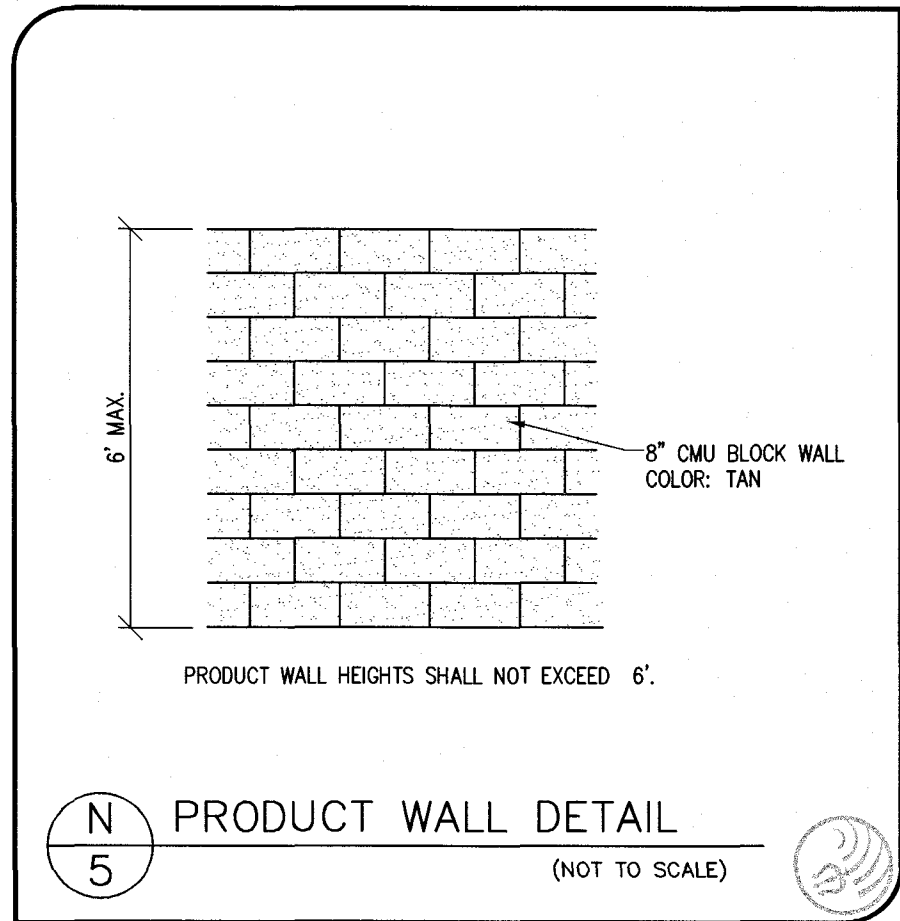
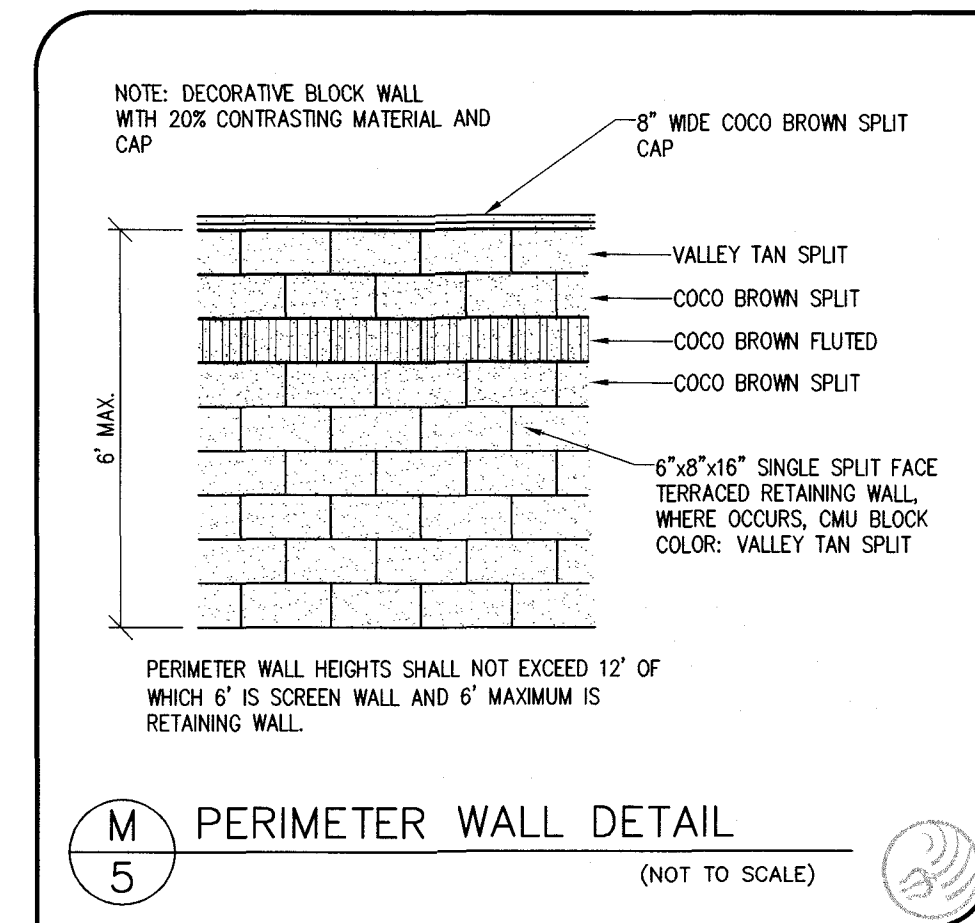
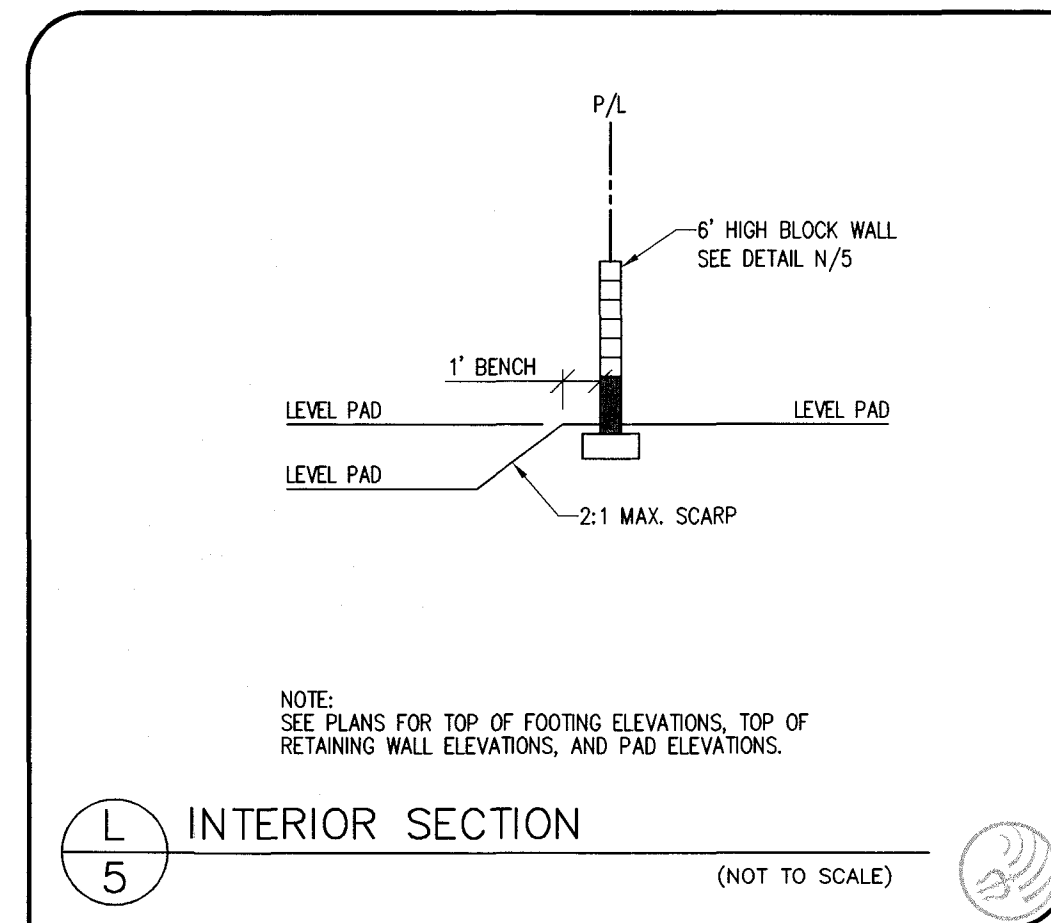
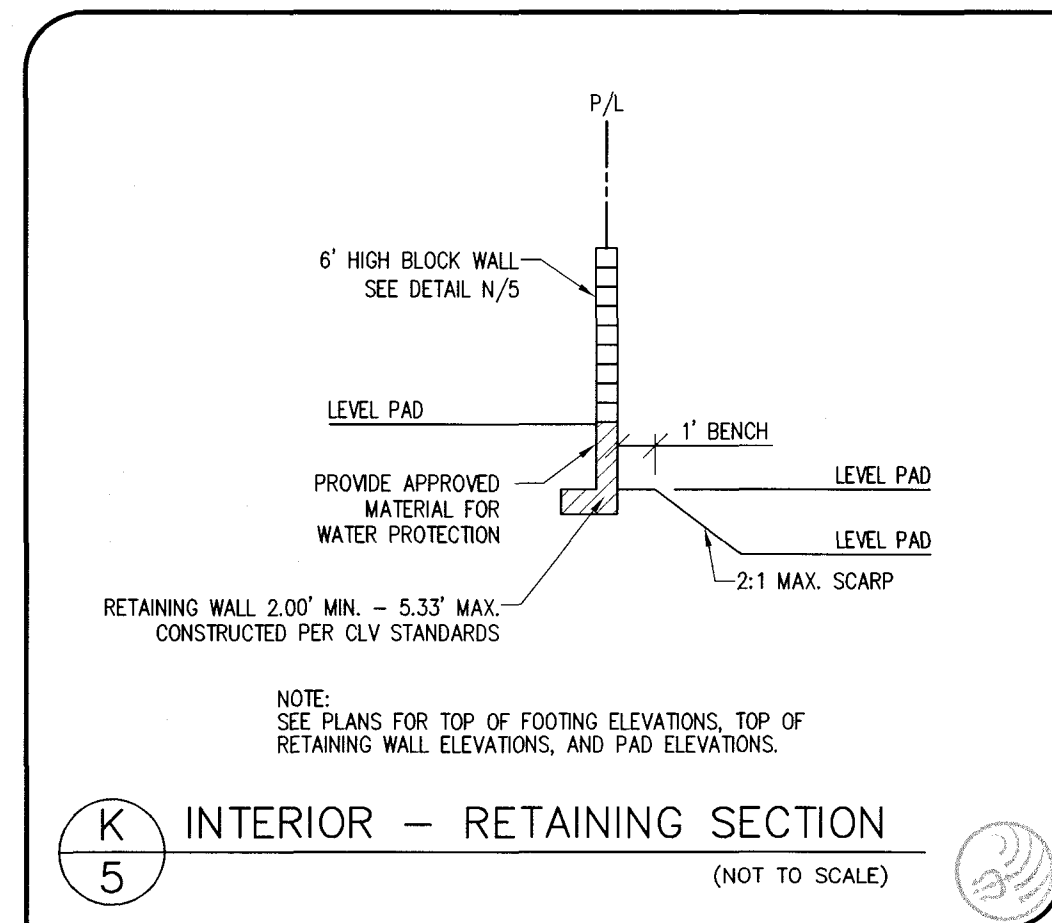
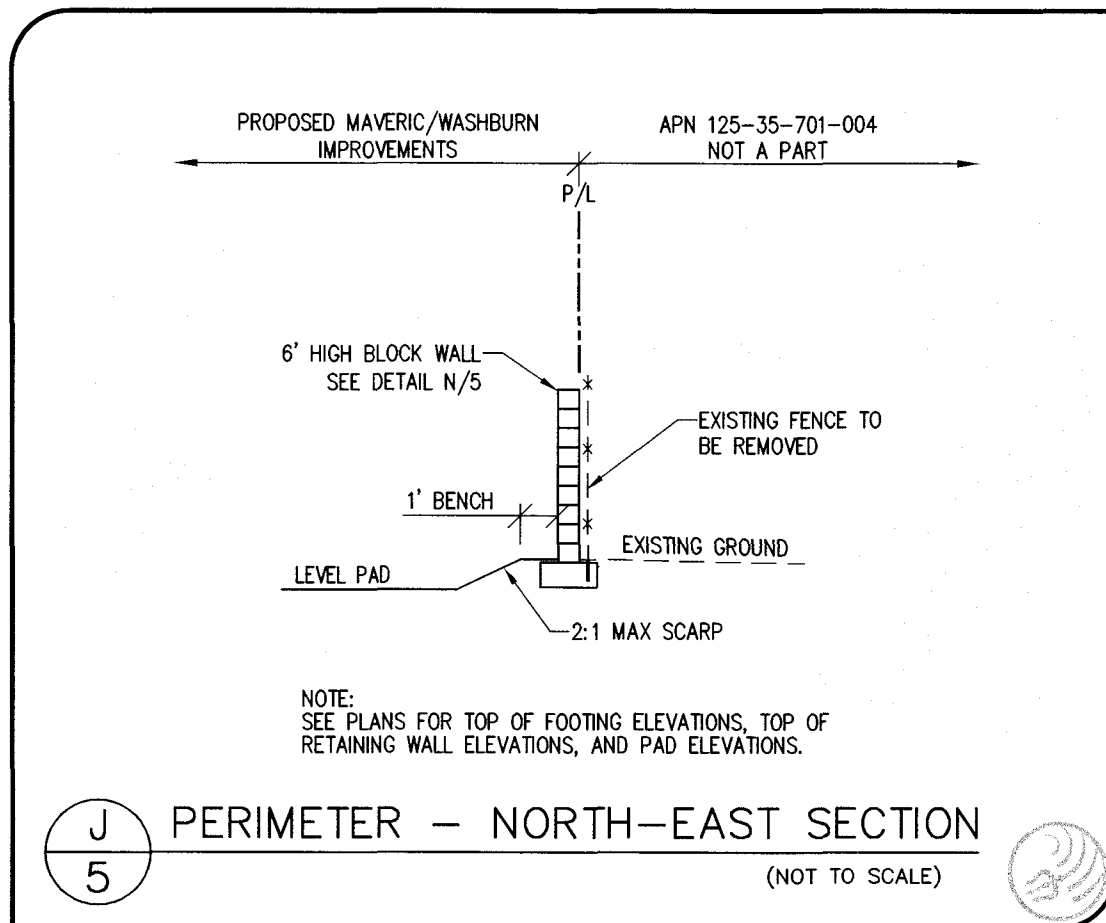
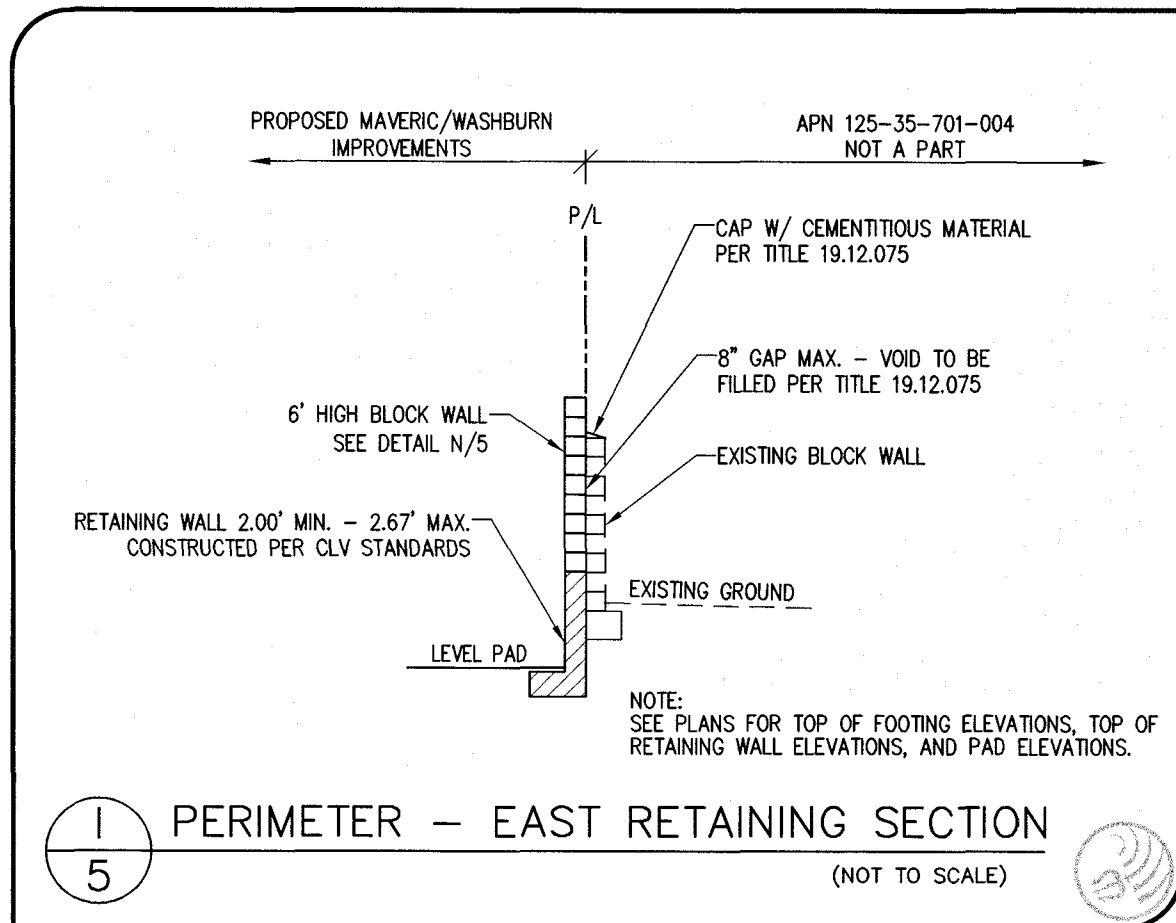
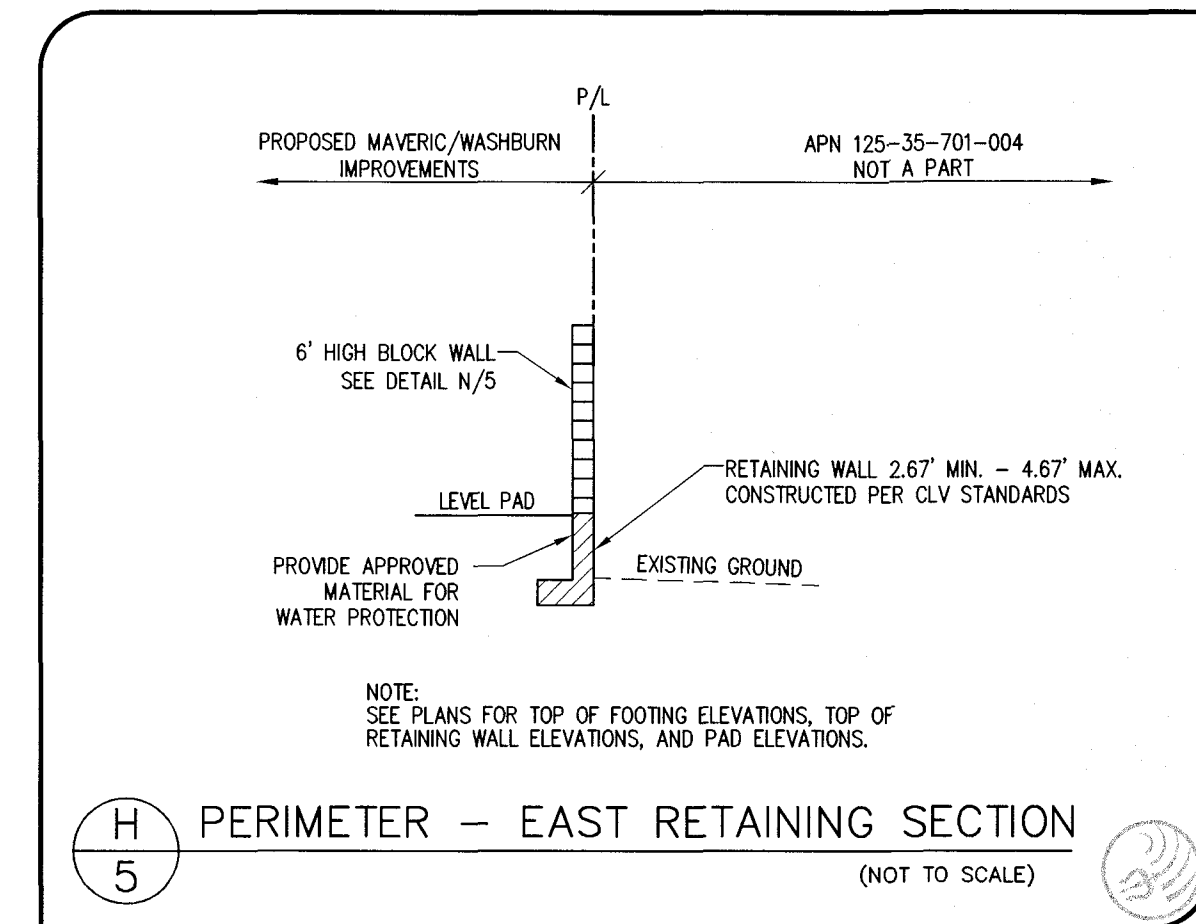
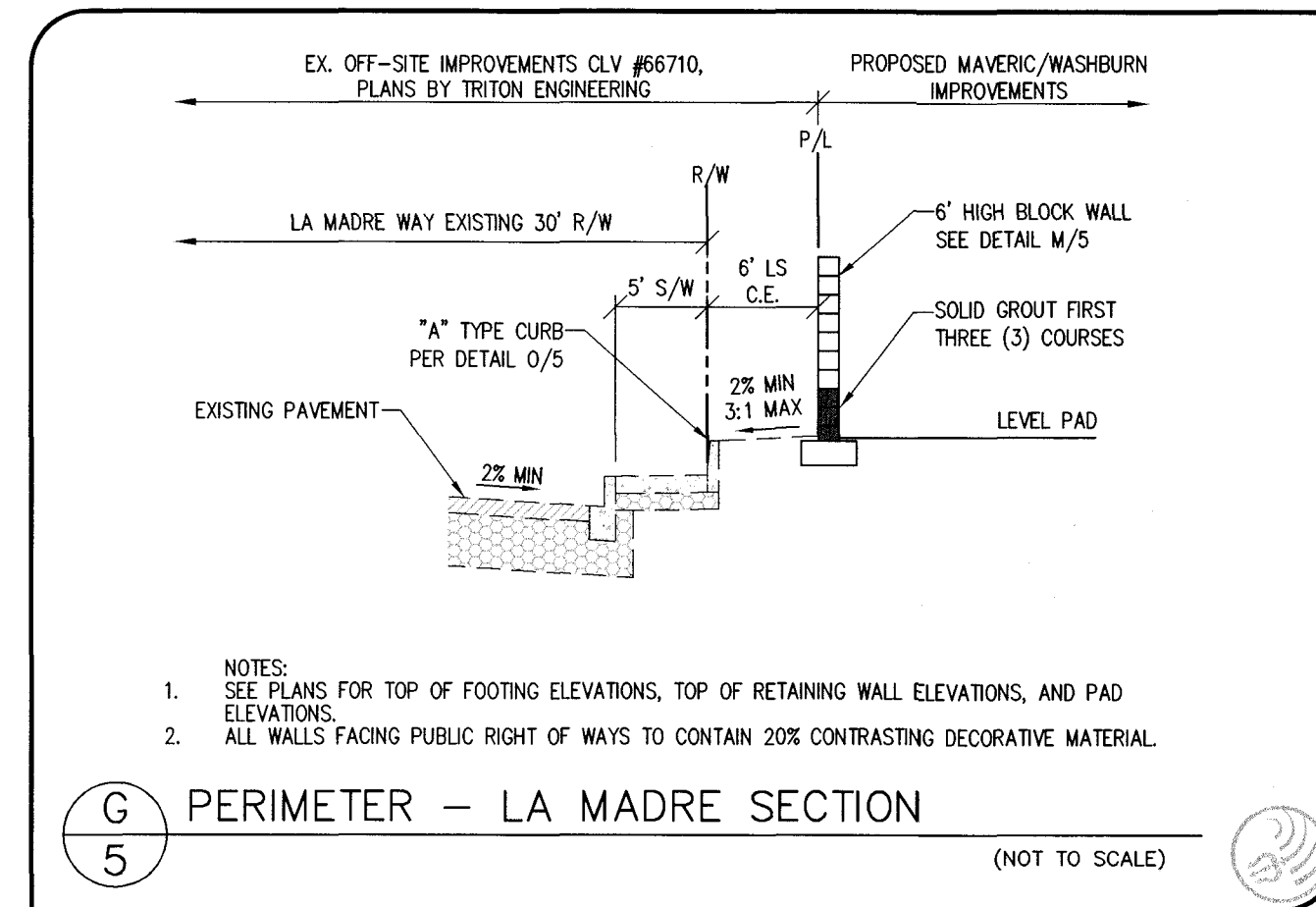
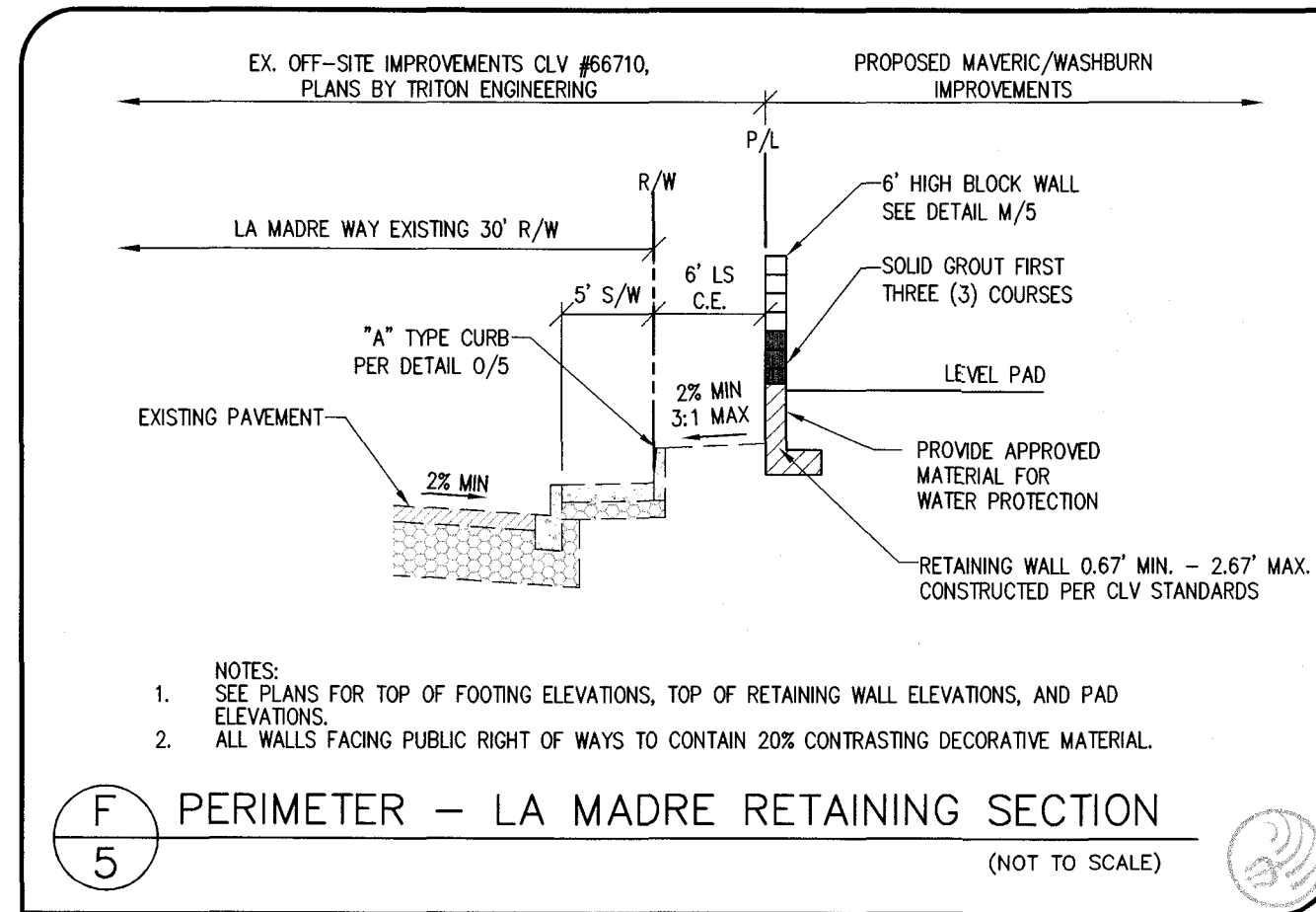
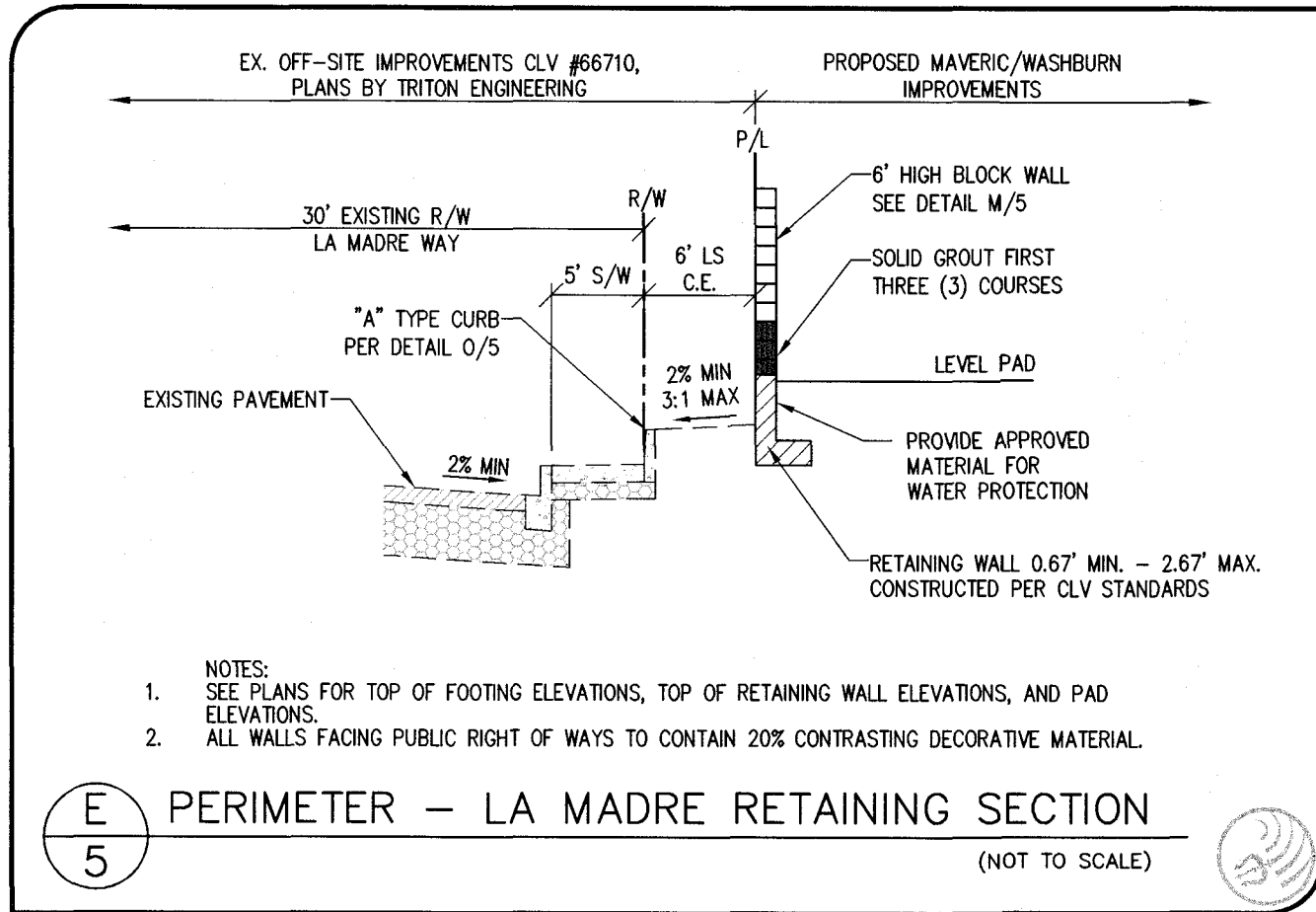
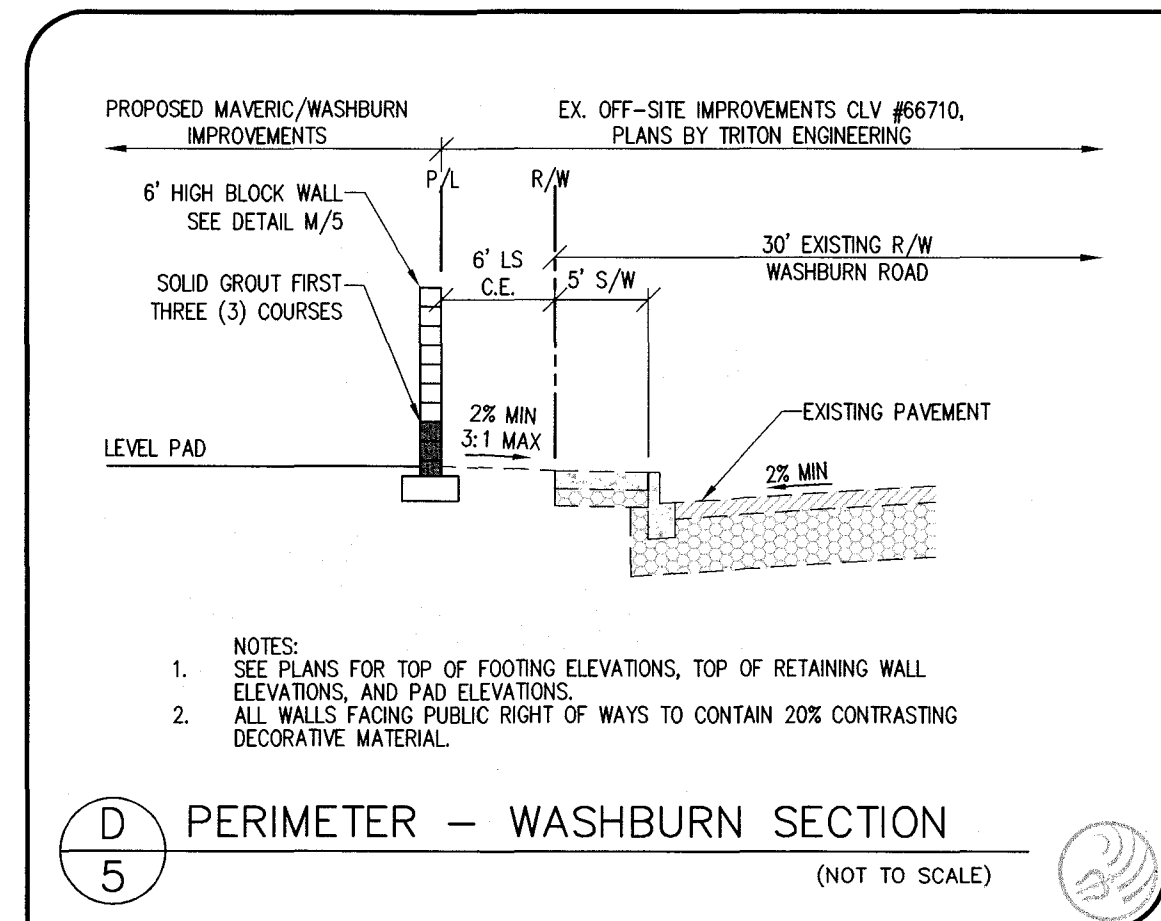
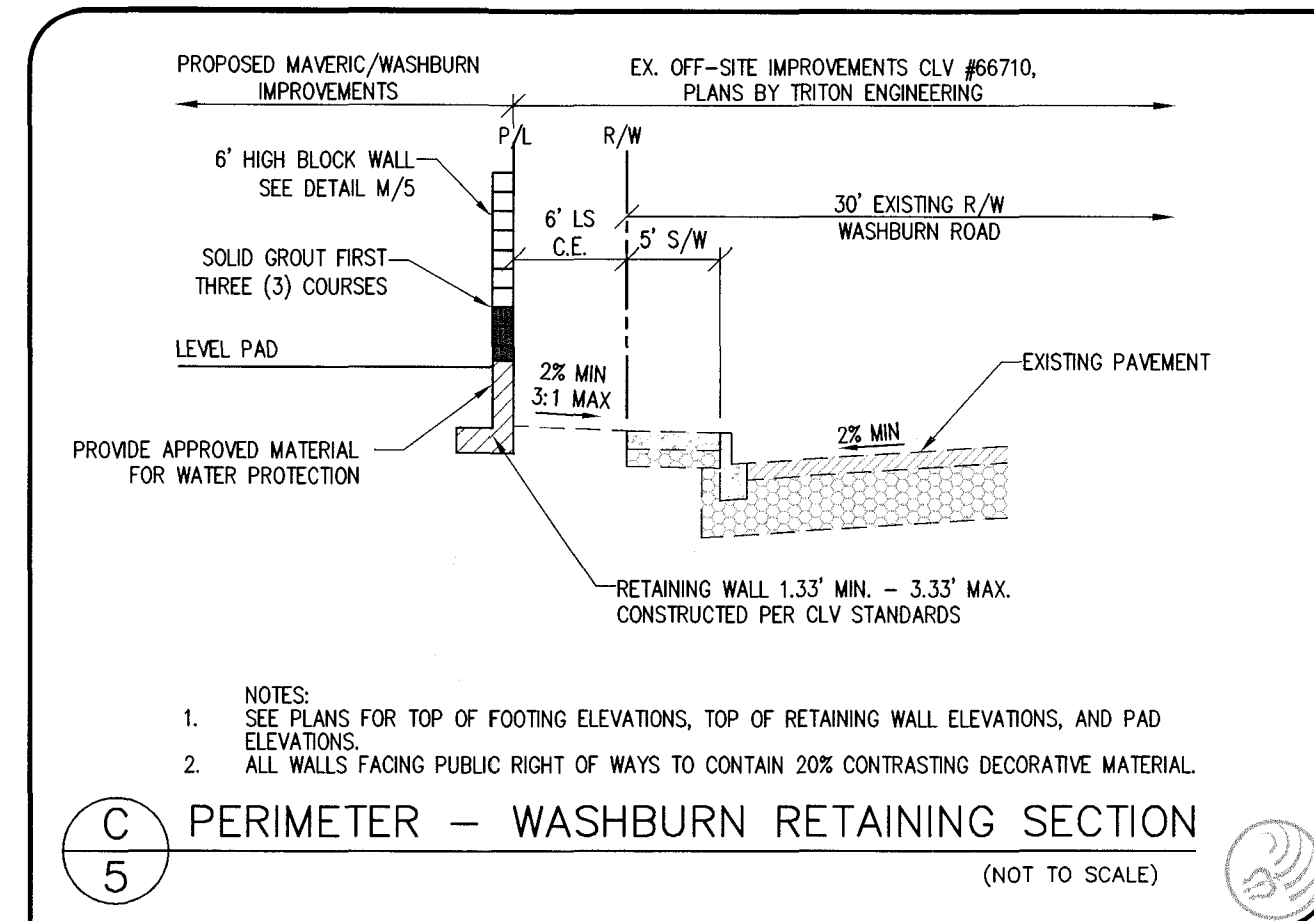
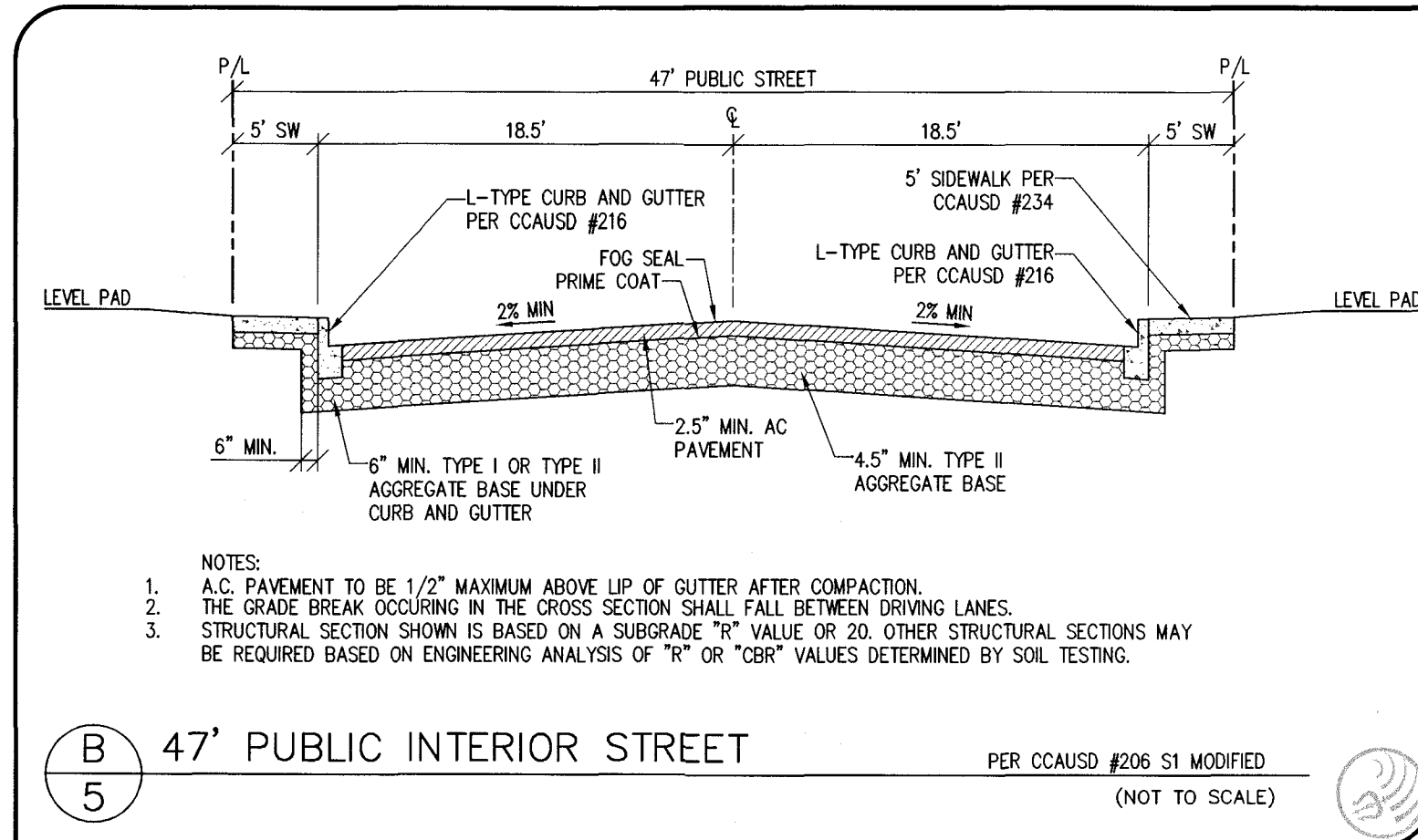
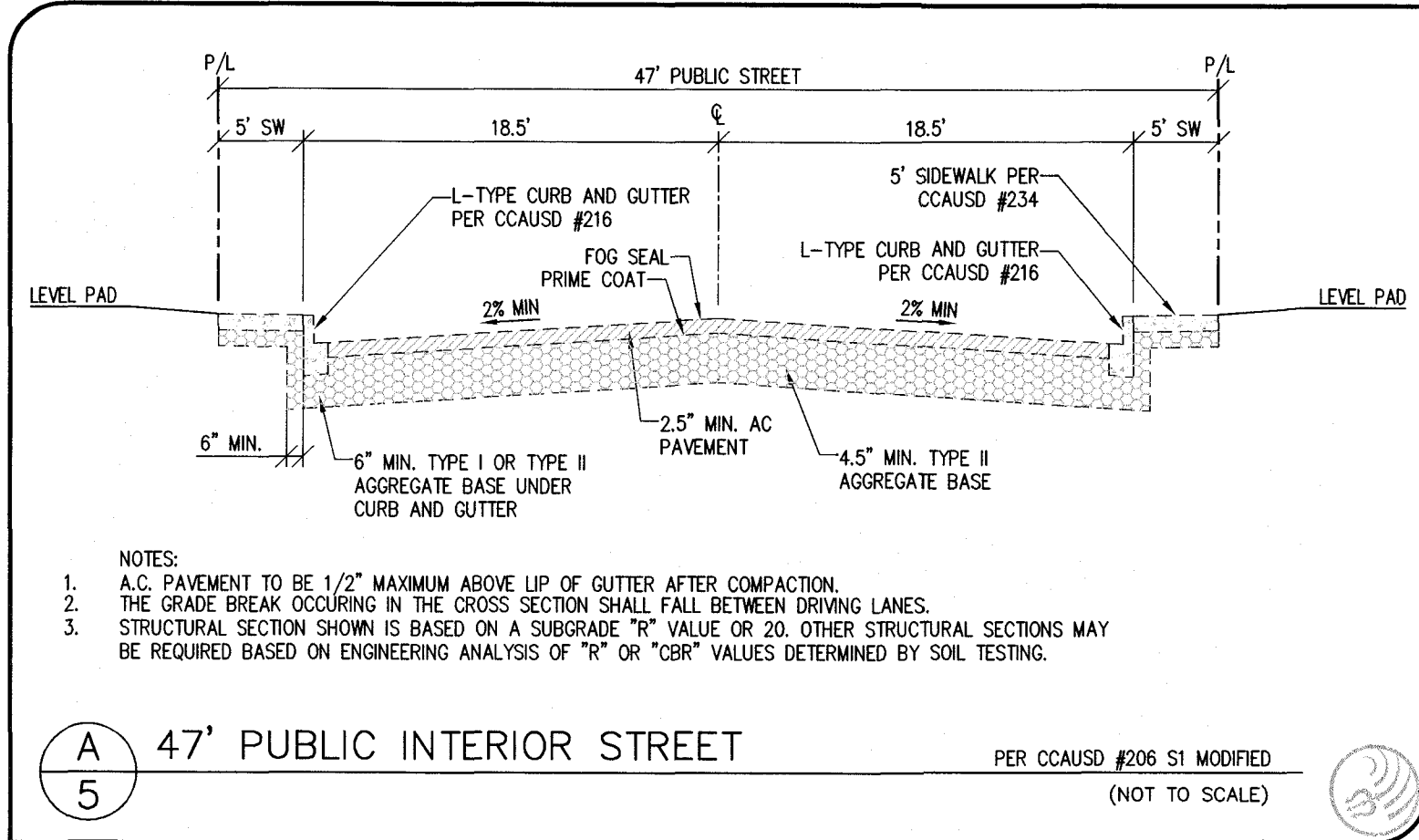
THE PROJECT SITE IS LOCATED ON FEMA FLOOD INSURANCE RATE MAP #22003C1765P. THE SITE IS LOCATED WITHIN DESIGNATED FLOOD HAZARD ZONE X BEING AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.

DATE	NO.	DESCRIPTION	DATE	APP'D
10/04/2016				
J. PEARCE				
DRAWN BY:	D.L.			
DESIGNED BY:	D.L.			
CHECKED BY:				
ADA CHECKED:				
JOB NO.:	007 098			
SCALE:	1" = 40'			

Triton Engineering
Office: (702) 254-1480
6757 W. Charleston Blvd.
Suite B
Las Vegas, Nevada 89146
www.tritoneng.com

DR HORTON
MAVERICK & WASHBURN
GRADING PLAN II





NO.	DESCRIPTION	DATE	APP'D
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

DATE: 10/04/2016	PM: J. PEARCE	D.I.	D.I.
DRAWN BY: J. PEARCE	DESIGNED BY: J. PEARCE	CHECKED BY: J. PEARCE	ADA: J. PEARCE
JOB NO.: 007-098	SCALE: NONE		

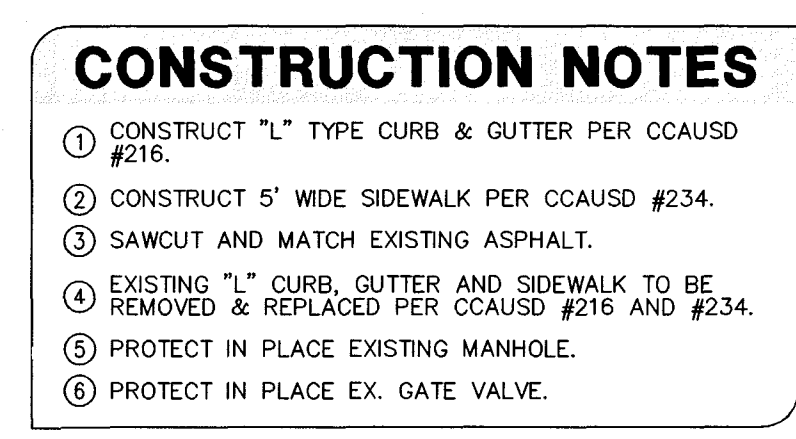
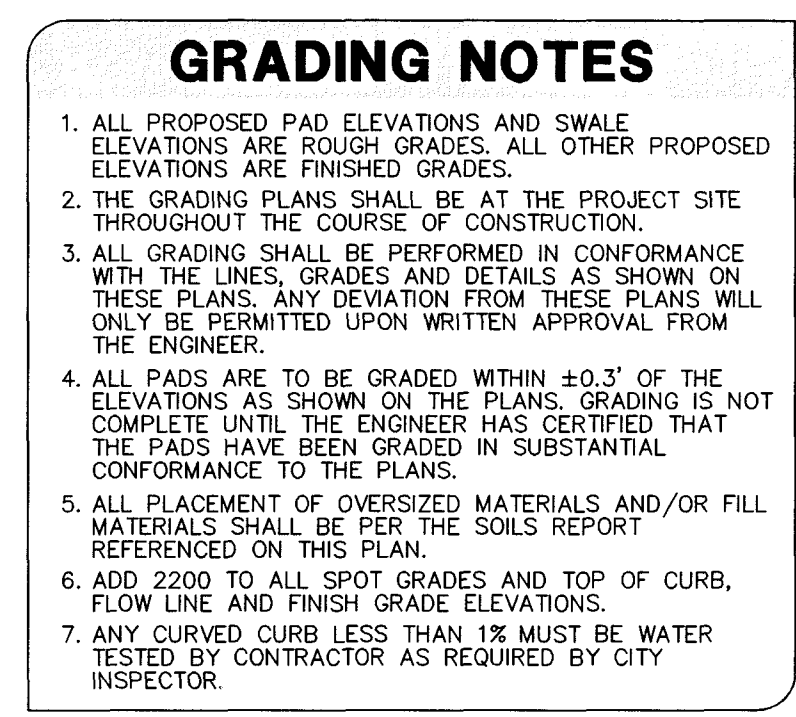
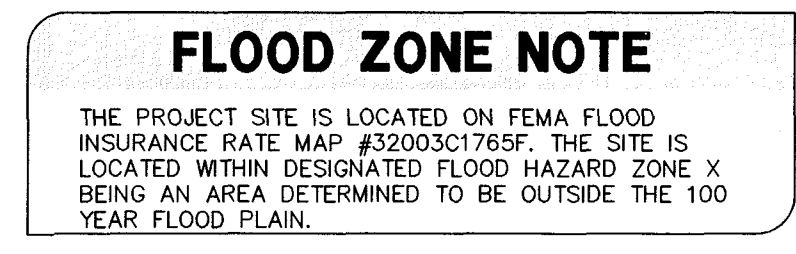
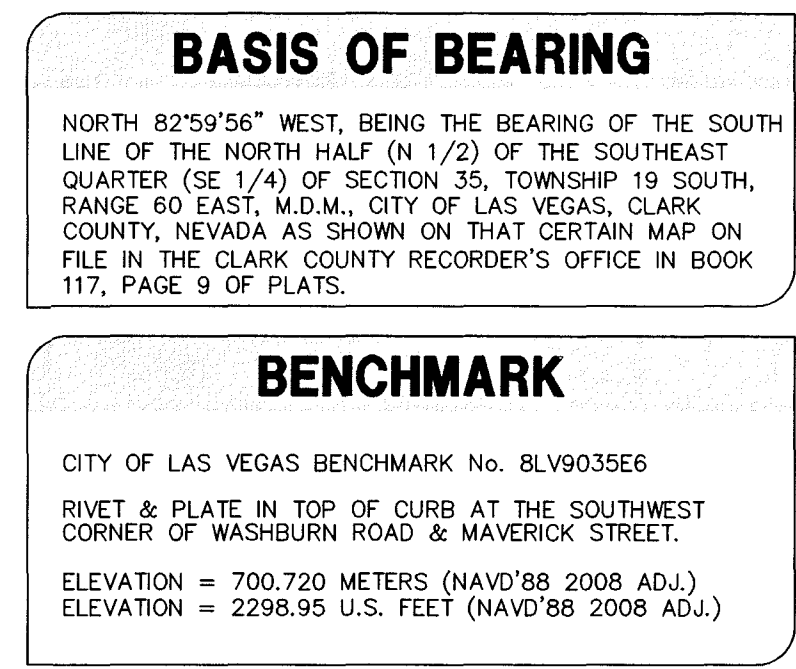
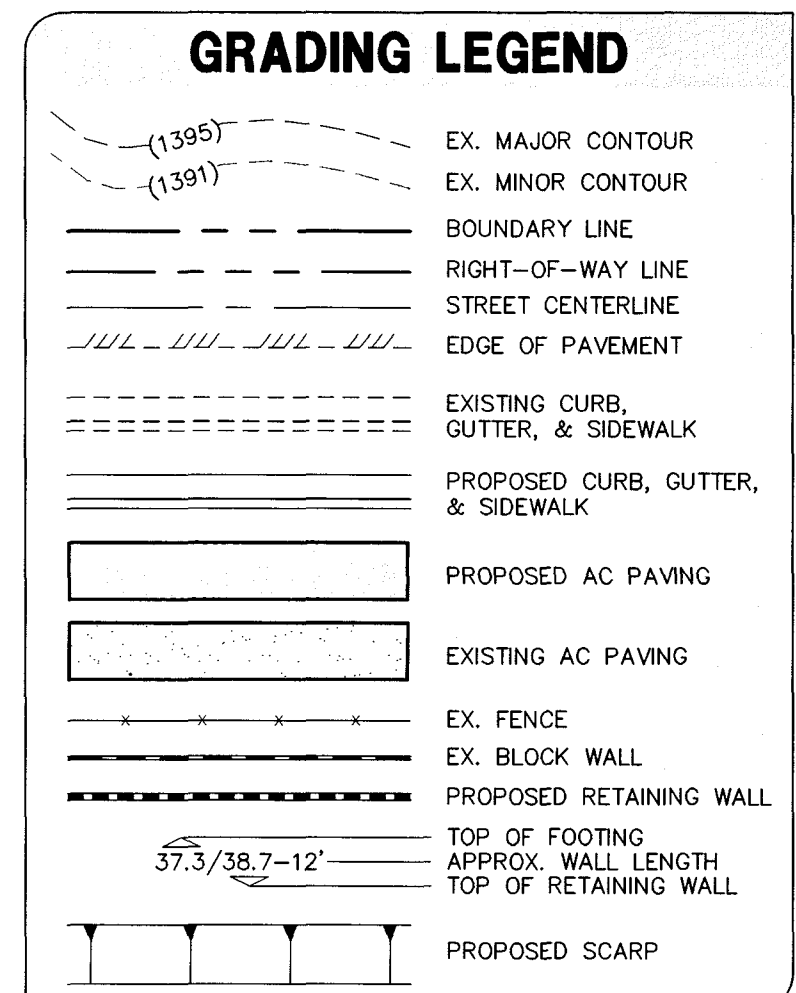
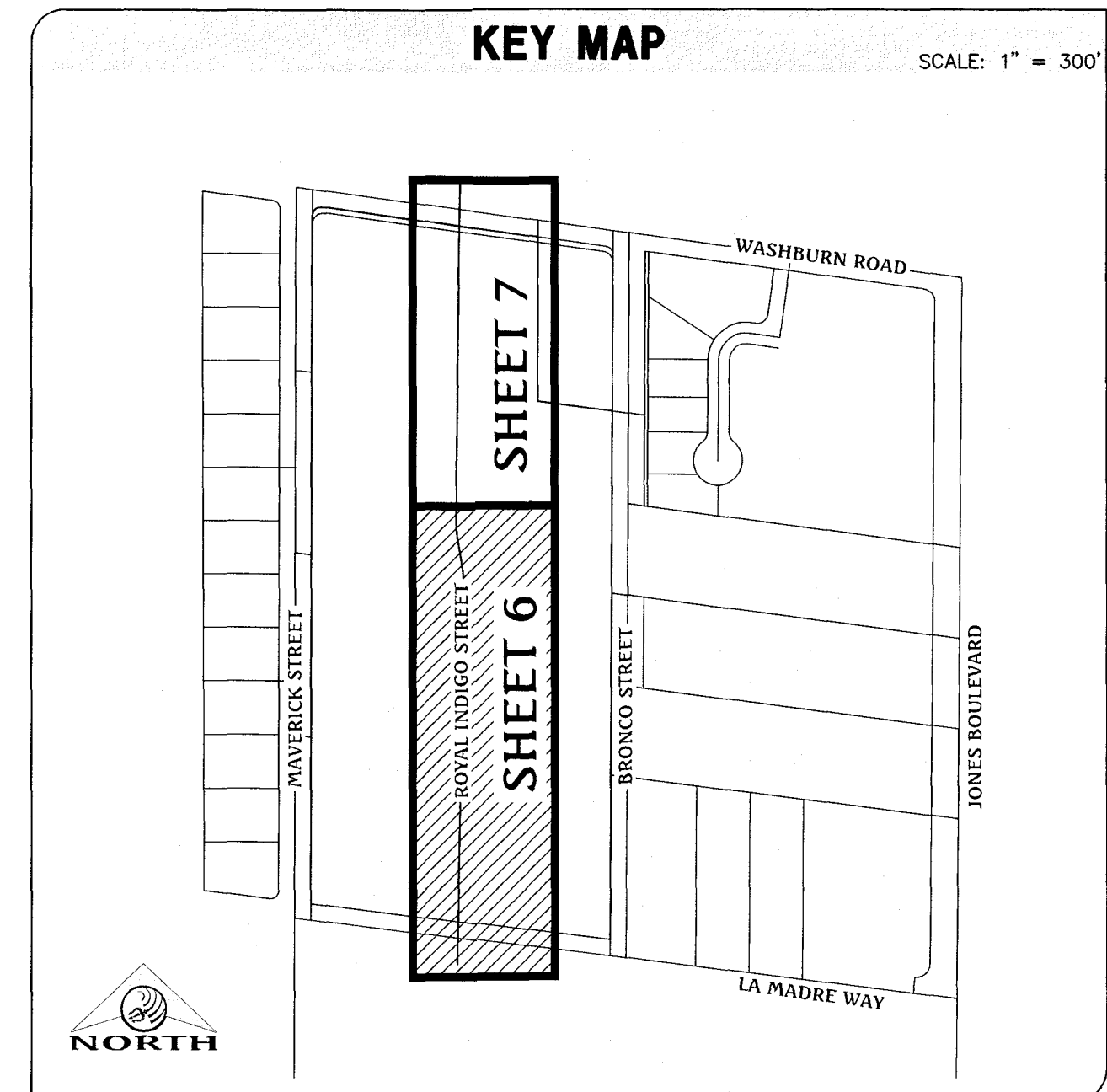
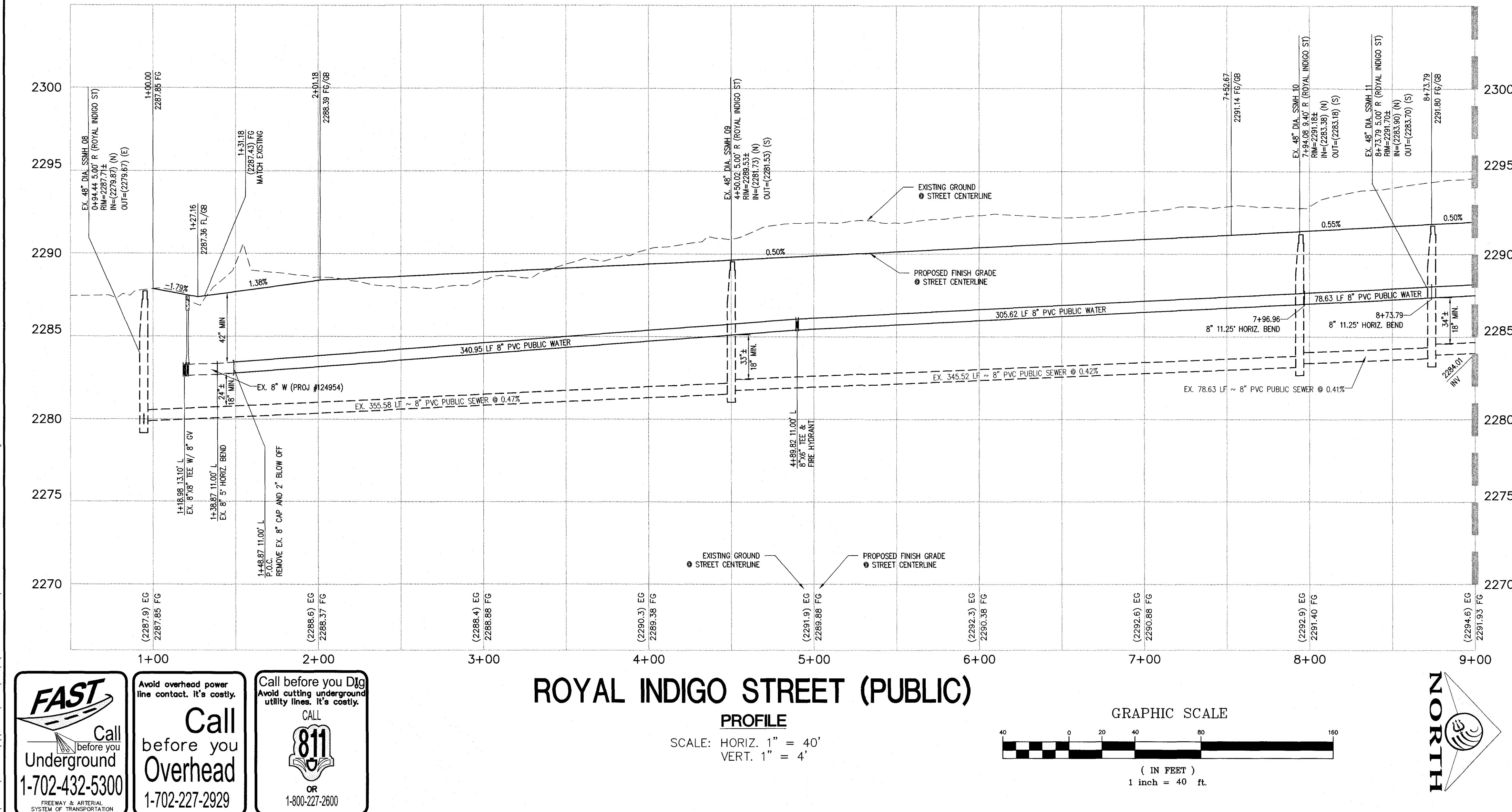
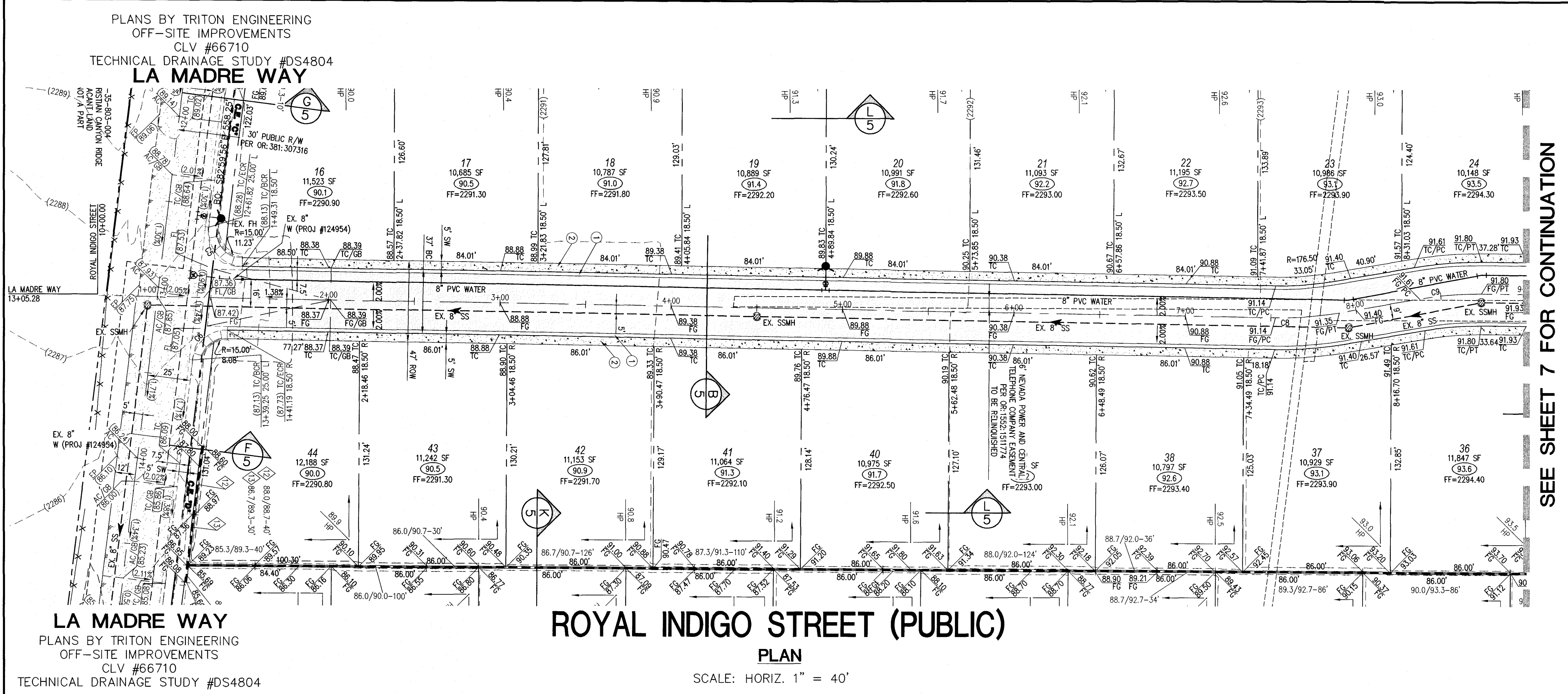
Triton Engineering

Office: (702) 254-1480
Suite B
6757 W. Charleston Blvd.
Las Vegas, Nevada 89146
www.tritoneng.com

DR. HORTON
MAVERICK & WASHBURN

GRADING DETAILS

PROFESSIONAL ENGINEER - STATE OF NEVADA
JAMES M. PEARCE
Exp. 12-31-17
CIVIL
No. 9552



CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	097°00'52"	20.00'	33.86'	22.61'
C2	082°59'08"	20.00'	28.97'	17.69'
C3	097°28'44"	20.00'	34.03'	22.80'
C4	083°08'46"	20.00'	29.02'	17.74'
C5	096°01'31"	20.00'	33.52'	22.22'
C6	083°58'29"	20.00'	29.31'	18.00'
C7	096°42'54"	20.00'	33.76'	22.49'
C8	010°43'47"	200.00'	37.45'	18.78'
C9	010°21'56"	200.00'	36.18'	18.14'
C10	090°00'00"	3.00'	4.71'	3.00'
C12	090°00'00"	3.00'	4.71'	3.00'

Call before you Dig
Underground
1-702-432-5300

Avoid overhead power line contact. It's costly.

Call before you Dig
Overhead
1-702-227-2929

Call before you Dig
Avoid cutting underground utility lines. It's costly.

CALL 811
OR 1-800-227-2600

DATE: 10/04/2016
PM: J. PEARCE
DRAWN BY: D.L.
DESIGNED BY: D.L.
CHECKED BY: D.L.
ADA CHECKED: 007.098
JOB NO.: 007.098
SCALE: 1" = 40'

NO. DESCRIPTION DATE APP'D

Triton Engineering

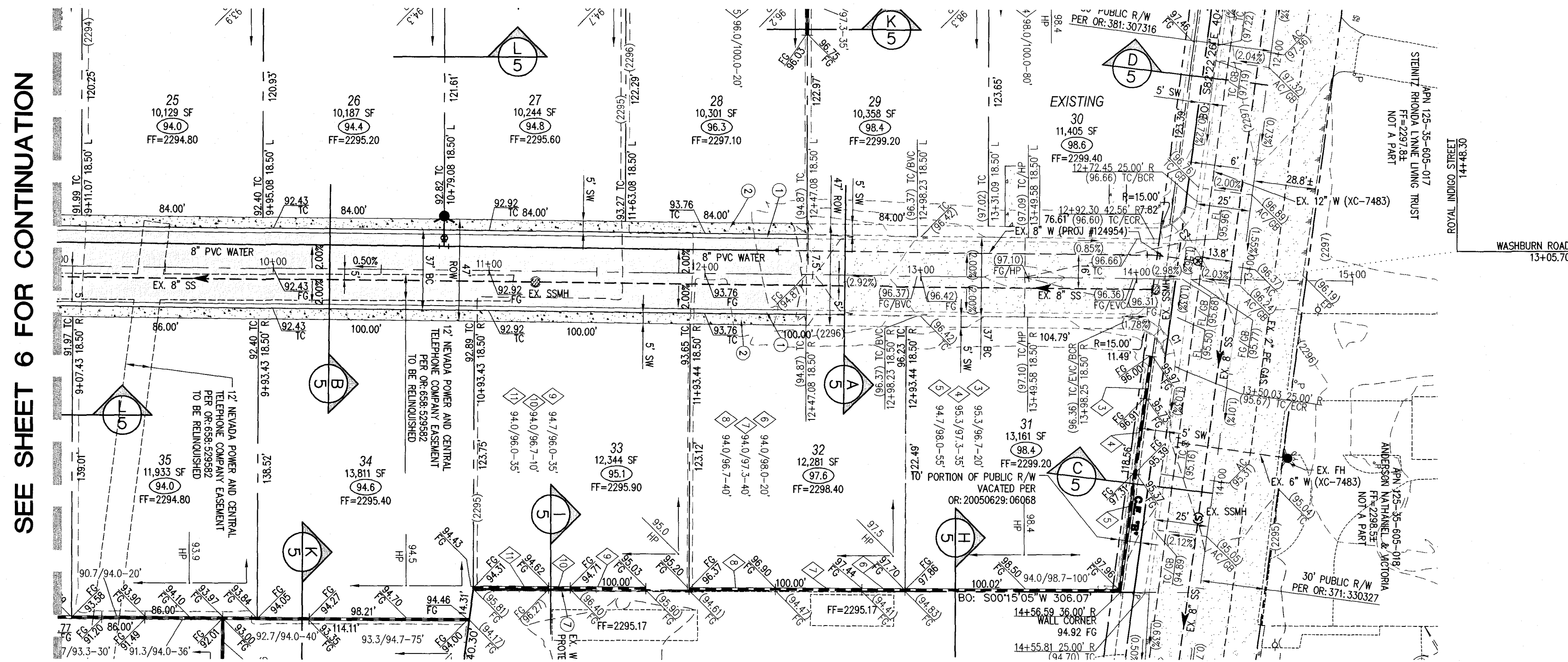
Office: (702) 254-1480
6957 W. Charleston Blvd.
Suite B, Las Vegas, Nevada 89146
www.tritoneng.com

DR HORTON
MAVERICK & WASHBURN
ROYAL INDIGO STREET
PLAN AND PROFILE
STA 1+00 TO STA 9+00

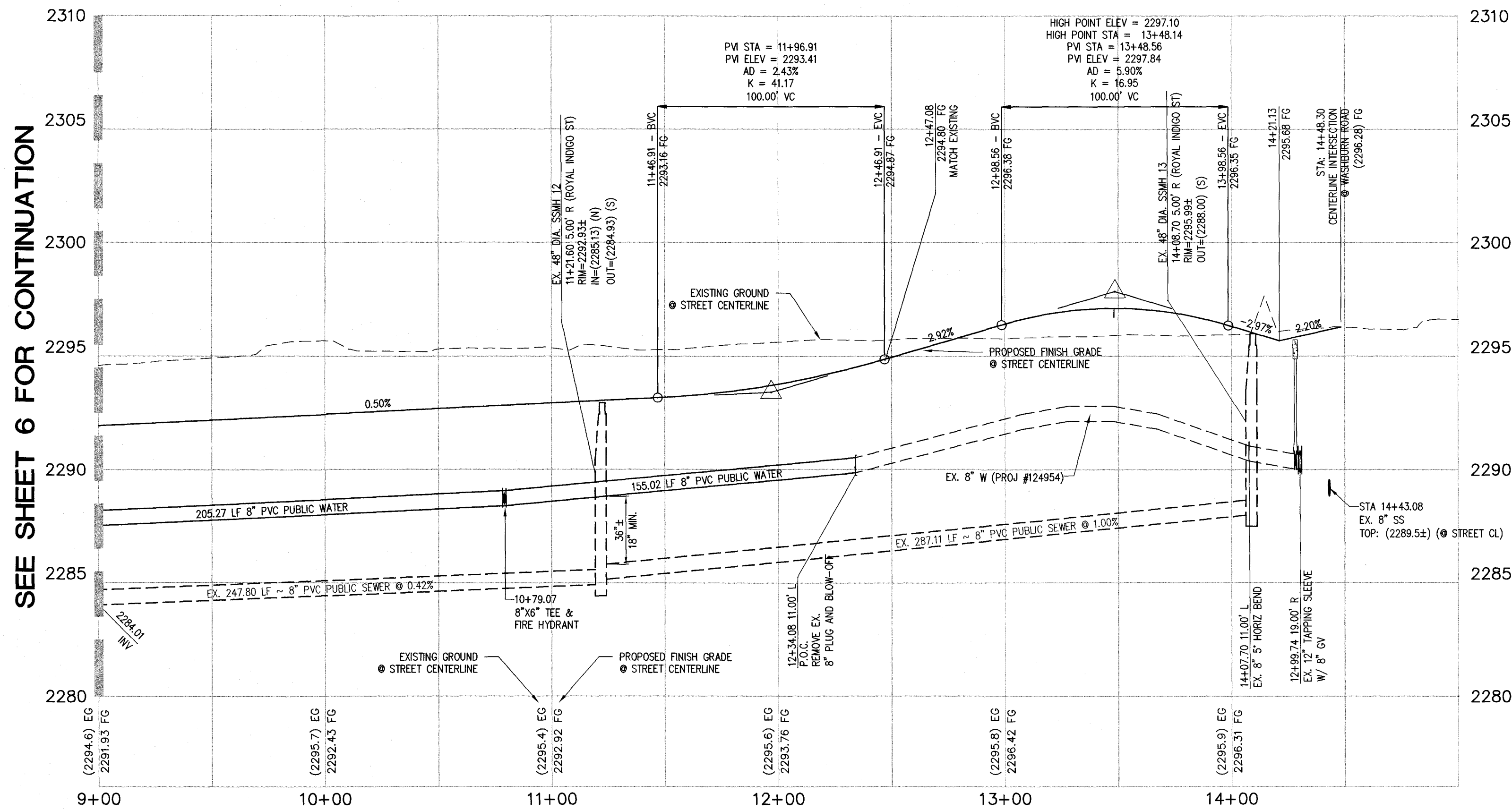
PROFESSIONAL ENGINEER
JAMES M. PEARCE
Exp. 12-31-11
CIVIL
No. 9552 VNM

SHEET 6 OF 7
C.L.V. DWG.#

PLANS BY TRITON ENGINEERING
OFF-SITE IMPROVEMENTS
CLV #66710
TECHNICAL DRAINAGE STUDY #DS4804
WASHBURN ROAD



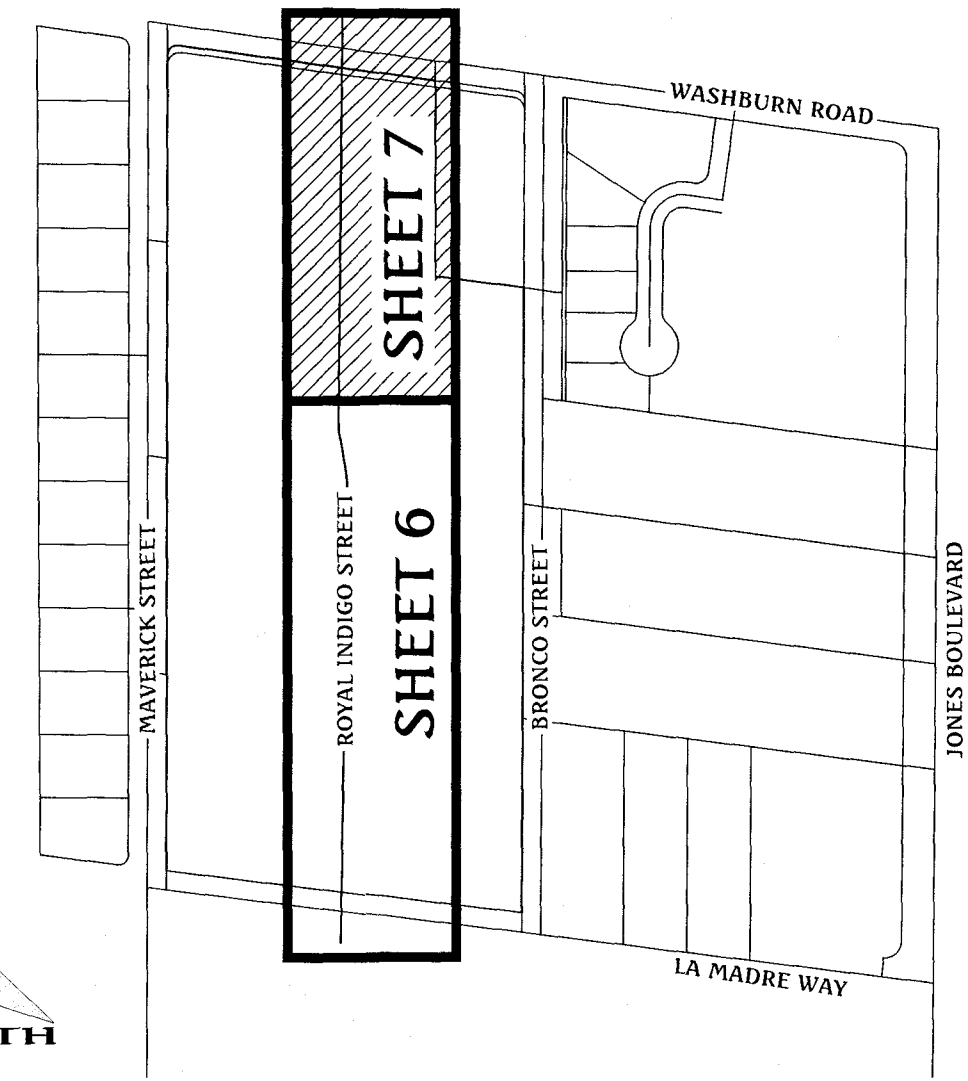
ROYAL INDIGO STREET (PUBLIC) WASHBURN ROAD
PLAN
SCALE: HORIZ. 1" = 40'
PLANS BY TRITON ENGINEERING
OFF-SITE IMPROVEMENTS
CLV #66710
TECHNICAL DRAINAGE STUDY #DS4804



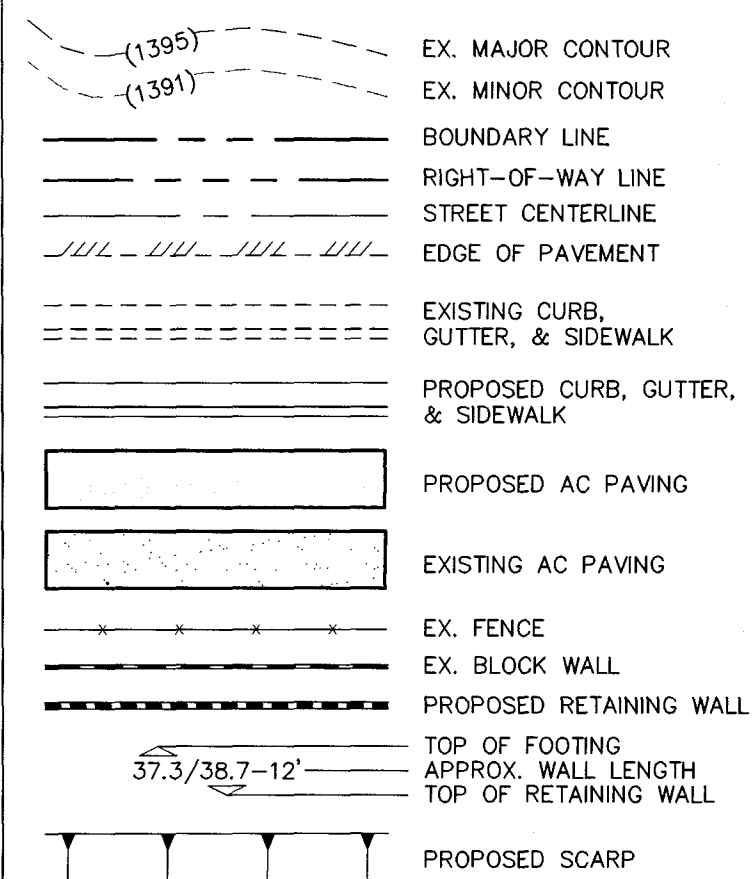
ROYAL INDIGO STREET (PUBLIC)
PROFILE
SCALE: HORIZ. 1" = 40'
VERT. 1" = 4'

KEY MAP

SCALE: 1" = 300'



GRADING LEGEND



BASIS OF BEARING

NORTH 82°59'56" WEST, BEING THE BEARING OF THE SOUTH LINE OF THE NORTH HALF (N 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN BOOK 117, PAGE 9 OF PLATS.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK No. 8LV903568
RIVET & PLATE IN TOP OF CURB AT THE SOUTHWEST CORNER OF WASHBURN ROAD & MAVERICK STREET.
ELEVATION = 700.720 METERS (NAVD'88 2008 ADJ.)
ELEVATION = 2298.95 U.S. FEET (NAVD'88 2008 ADJ.)

FLOOD ZONE NOTE

THE PROJECT SITE IS LOCATED ON FEMA FLOOD INSURANCE RATE MAP #32003C765F. THE SITE IS LOCATED WITHIN DESIGNATED FLOOD HAZARD ZONE X BEING AN AREA DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.

GRADING NOTES

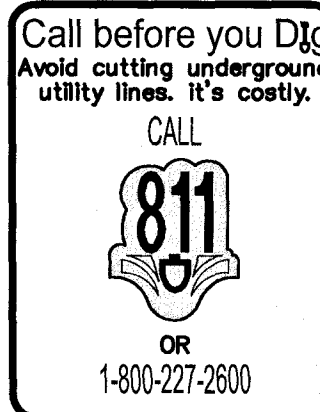
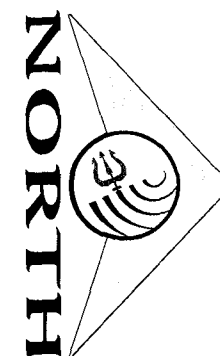
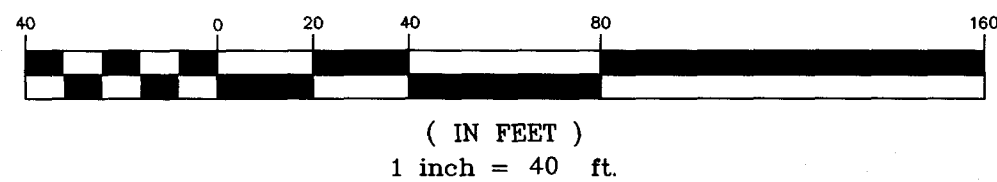
- ALL PROPOSED PAD ELEVATIONS AND SWALE ELEVATIONS ARE FINISHED GRADES.
- THE GRADING PLANS SHALL BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
- ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE ENGINEER.
- ALL PADS ARE TO BE GRADED WITHIN $\pm 0.3'$ OF THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
- ALL PLACEMENT OF OVERSIZED MATERIALS AND/OR FILL MATERIALS SHALL BE PER THE SOILS REPORT REFERENCED ON THIS PLAN.
- ADD 2200 TO ALL SPOT GRADES AND TOP OF CURB, FLOW LINE AND FINISH GRADE ELEVATIONS.
- ANY CURVED CURBS LESS THAN 12" MUST BE WATER TESTED BY CONTRACTOR AS REQUIRED BY CITY INSPECTOR.

CONSTRUCTION NOTES

- CONSTRUCT "L" TYPE CURB & GUTTER PER CCAUSD #216.
- CONSTRUCT 5' WIDE SIDEWALK PER CCAUSD #234.
- SAWCUT AND MATCH EXISTING ASPHALT.
- EXISTING "L" CURB, GUTTER AND SIDEWALK TO BE REMOVED & REPLACED PER CCAUSD #216 AND #234.
- PROTECT IN PLACE EXISTING MANHOLE.
- PROTECT IN PLACE EX. GATE VALVE.

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	097°00'52"	20.00'	33.86'	22.61'
C2	082°59'08"	20.00'	28.97'	17.69'
C3	097°28'44"	20.00'	34.03'	22.80'
C4	083°08'46"	20.00'	29.02'	17.74'
C5	096°01'31"	20.00'	33.52'	22.22'
C6	083°58'29"	20.00'	29.31'	18.00'
C7	096°42'54"	20.00'	33.76'	22.49'
C8	010°43'47"	200.00'	37.45'	18.78'
C9	010°21'56"	200.00'	36.18'	18.14'
C10	090°00'00"	3.00'	4.71'	3.00'
C12	090°00'00"	3.00'	4.71'	3.00'

GRAPHIC SCALE



DATE: 10/04/2016
DRAWN BY: J. PEARCE
DESIGNED BY: D.L.
CHECKED BY: D.L.
ADA CHECKED: J. PEARCE
JOB NO.: 007-098
SCALE: 1" = 40'

Triton Engineering
Office: (702) 254-1480
Fax: (702) 254-3062
www.tritoneng.com
6757 W. Charleston Blvd.
Suite B
Las Vegas, Nevada 89146

DR. HORTON
MAVERICK & WASHBURN
ROYAL INDIGO STREET
PLAN AND PROFILE
STA 9+00 TO STA 15+00

PROFESSIONAL ENGINEER - STATE OF NEVADA
JAMES M. PEARCE
Exp. 12-31-17
CIVIL
No. 9552

SHEET **7** OF 7
C.L.V. DWG. #