

DS #: 4746-2

APN: 162-04-412-005

PROJECT: Retail @ Sahara & Rancho - Update #2

SUBMITTAL: 4th Submittal

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		October 11, 2016
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Retail @ Sahara & Rancho – Update #2		COPIES TO: Walker Engineering, LLC
Cross Streets:	NEC of Sahara Avenue & Rancho Drive	Sahara Rancho Office Center, LLC
File Number:	F:\Depot\DSMemos\DS4746E.doc	Bart Anderson, P.E., DevCo
Parcel Number:	162-04-412-005	CCRFCD
Zoning Action:	SDR-59931	NDOT
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	7/28/2015	8/6/2015	Not Approved	\$400.00	407748: \$400
2 nd Submittal & Supplement	9/16/2015 & 10/12/2015	10/12/2015	Conditional Approval	\$400.00	414989: \$400
CCRFCD	11/3/2015	11/9/2015	Concurrence Recv'd	N/C	N/C
3 rd Submittal	1/20/2016	2/8/2016	Approved	\$100.00	429859: \$100
4 th Submittal	9/29/2016	10/11/2016	See Comments Below	\$100.00	460122: \$100
TOTAL FEES (LDDRS):				\$1,000.00	----

REMARKS:

4th Submittal: Update #2 for minor onsite grading revision

3rd Submittal: Update #1 for minor revision to site layout of Building "E"

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
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NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the City of Las Vegas Flood Control Section. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the City of Las Vegas reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS

ays

T/R/S: T21S/R61E/04
AREA R-04

 *** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 1699
 DESTINATION ADDRESS 7028735346
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 10/11 16:14
 USAGE T 00' 25
 PGS. 1
 RESULT OK

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T/R/S: T21S/R61E/04
AREA R-04

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TECHNICAL DRAINAGE STUDY UPDATE #2 for
RETAIL @ SAHARA & RANCHO
APN: 162-04-412-006 & 007
CITY OF LAS VEGAS, NEVADA
DS 4746A

Prepared for:

AFFORDABLE CONCEPTS, INC.
2975 W. Lake Mead Blvd.
North Las Vegas, NV 89032

Date Prepared:

SEPTEMBER 29, 2016

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: RETAIL @ SAHARA AVENUE & RANCHO DRIVE Date: Sep 29, 2016

Location of Development: a) Descriptive (Cross Streets) North/South: RANCHO DRIVE
East/West: SAHARA AVENUE

b) Section: 4 Township: 21S Range: 61E

c) APN: 162-04-412-006 & 007

Name of Owner: Sahara Rancho Office Center, LLC

Telephone No.: 702.384.1494 Fax No.: _____ E-Mail Address: _____
Address: 2250 S. Rancho Drive, Suite 225 Las Vegas, NV 89102

Contact Person-Name: TREASEA WOLF, P.E., LEED AP Telephone No.: 702.873.5197

* E-Mail Address: dyamachika@walker-eng.com Fax No.: 702.873.5346

Firm: KIMLEY-HORN
Address: 6671 LAS VEGAS BLVD. SOUTH, SUITE 320 LAS VEGAS, NV 89119

Type of Land Development/Land Disturbance Process:

<input type="checkbox"/>	Rezoning	<input type="checkbox"/>	Subdivision Map	<input type="checkbox"/>	Clearing and Grading Only
<input type="checkbox"/>	Parcel Map	<input type="checkbox"/>	Planned Unit Development	<input checked="" type="checkbox"/>	Other (Please specify below)
<input type="checkbox"/>	Large Parcel Map	<input checked="" type="checkbox"/>	Building Permit	GRADING PERMIT	

1. Total Owned Land Area: At Site: 12.61 ac Being Developed/Disturbed: 2.68 ac

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? Yes** No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? Yes** No

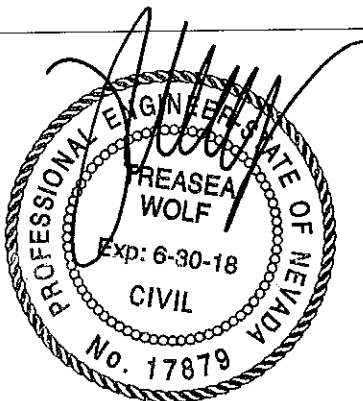
4. Proposed type of development (Residential, Commercial, Etc.): Commercial - Retail Center

5. Approximate upstream land area which drains to the subject site: +/- 160 AC

6. Has the site drainage been evaluated in the past? YES NO If yes, please identify documentation: TDS for "Sahara/Rancho Office Park" CLV DS# 2738; TDS for "I-15 Widening" CLV DS# 3008

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: NEC of site into an existing swale within the I-15 right-of-way

8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal 9-29-16

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

Revision	Date
UPDATE #2	Sep 29, 2016

Local Entity File No. _____

REFERENCE:

STANDARD FORM 1

Kimley»»Horn

September 29, 2016

Mr. Albert Sung, P.E.
City of Las Vegas Flood Control
333 Rancho Drive
Las Vegas, NV 89106

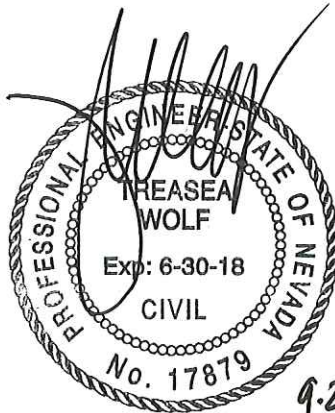
RE: *Technical Drainage Study Update #2 for Retail @ Sahara & Rancho (APN: 162-04-4120-006 & 007)*

Dear Mr. Sung,

Attached is 1 hard copy and 1 electronic copy of the Technical Drainage Study Update #2 for Retail @ Sahara & Rancho for your review. The purpose of this letter is to update the above referenced drainage study. The *Technical Drainage Study for Retail @ Sahara & Rancho* including addenda was approved by the City of Las Vegas on October 12, 2015. This update is requested to address revisions to the grading design at the north east corner (NEC) of the Chik-fil-A building for an added ADA stall. The revised plans also incorporate the roof drain locations for the building. These revisions do not affect the approved drainage patterns and this update is to revise the plans on file to match the revision. Please refer to the revised *Precise Grading Plan* included in **Appendix A**.

With Kimley-Horn, you should expect more and will experience better. Please feel free to contact me at (702) 873-5197 or treasea.wolf@kimley-horn.com if you have any questions or need any additional information. Thank you.

Sincerely,



Treasea Wolf, P.E. LEEP AP
Sr. Project Manager

APPENDIX A

- Technical Drainage Study Approval Letter

RECEIVED

FEB 08 2016

Walker Engineering, LLC

001/001

1347

**CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM**

DATE: February 8, 2016
FROM: Albert Sung, P.E.
Flood Control Project Engineer
Department of Public Works
COPIES TO: Walker Engineering, LLC
Sahara Rancho Office Center, LLC
Bart Anderson, P.E., DevCo
CCRFCD
NDOT

TO: Land Development Services
Department of Building & Safety
SUBJECT: Drainage Study for:
Retail @ Sahara & Rancho
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T/R/S: T21S/R61E/04
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APPENDIX B – REVISED PLANS

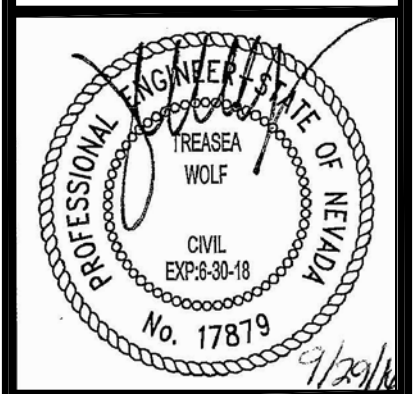
- C-4 - Grading Plan



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By
2 6/30/16 RC
CLIENT REV

Mark Date By
Mark Date By



WALKER ENGINEERING, LLC
5765 S. RAINBOW BLVD.,
SUITE 101
LAS VEGAS, NV 89118
TEL: 702.873.5197
FAX: 702.873.5346

STORE
SAHARA @ I-15

NEC SAHARA &
S. RANCHO DR.
LAS VEGAS, NV

SHEET TITLE
GRADING PLAN

VERSION: FINAL
ISSUE DATE:

Job No. : 14-265

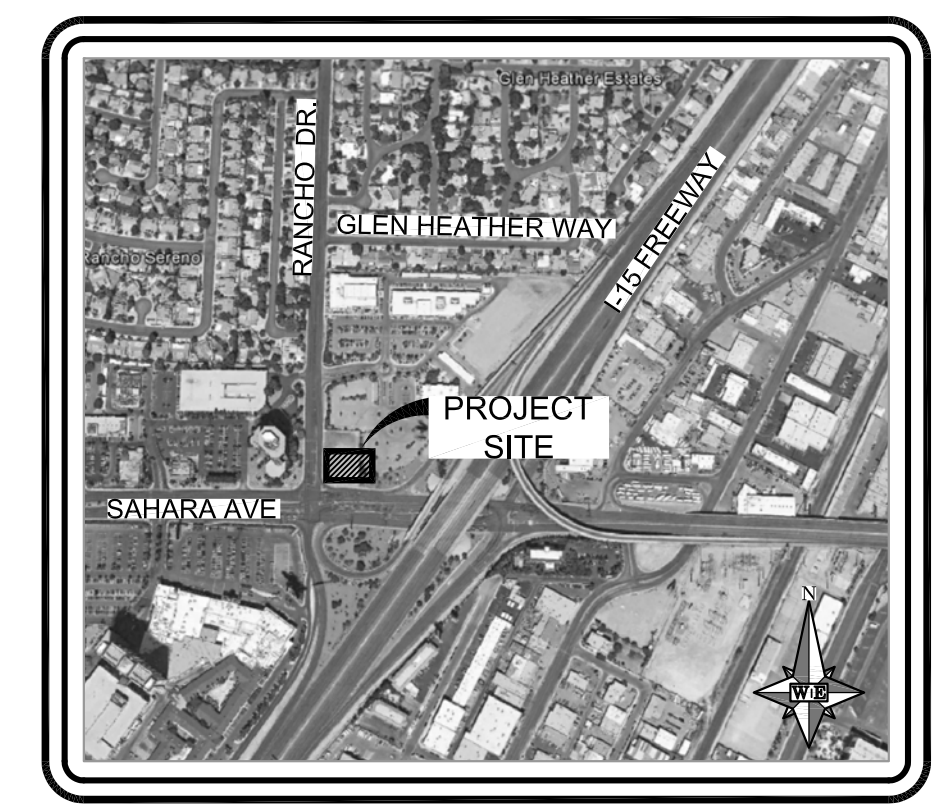
Store : 03729

Date : 02/29/16

Drawn By : RC

Checked By : TW

Sheet
C-4
4 OF 10 SHEETS



VICINITY MAP
N.T.S.

CONSTRUCTION NOTES	
NO	ITEM
1	CONSTRUCT "A" TYPE CURB PER DETAIL 7A, SHEET C-6
2	CONSTRUCT "L" TYPE CURB & GUTTER PER DETAIL 7B, SHEET C-6
3	CONSTRUCT 1" CONCRETE STRIP
4	CONSTRUCT RETURNED CURB ACCESSIBLE RAMP PER DETAIL 9, SHEET C-6
5	CONSTRUCT TRUNCATED DOMES PER DETAIL 10, SHEET C-6
6	CONSTRUCT SIDEWALK PER DETAIL 11, SHEET C-6
7	CONSTRUCT SIDEWALK WITH CURB SECTION PER DETAIL 12, SHEET C-6
8	DRIVE-THRU PLAN VIEW & ISOMETRIC PER DETAILS 13 & 14, SHEET C-7
9	CONSTRUCT STANDARD AC PAVEMENT PER SOILS REPORT BY GILES ENGINEERING ASSOCIATES, INC. SEE DETAIL 15 ON SHEET C-7
10	CONSTRUCT CONCRETE/AC EDGE PER DETAIL 16, SHEET C-7
11	CONSTRUCT CONCRETE PAVING DRIVE-THRU LANE PER SOILS REPORT BY GILES ENGINEERING ASSOCIATES, INC. SEE DETAIL 17 ON SHEET C-7
12	CONSTRUCT CONTRACTION JOINT (CJ) PER DETAIL 18, SHEET C-7
13	SAWCUT NEAT & MATCH EXISTING PER DETAIL 19, SHEET C-7
14	CONSTRUCT EXPANSION JOINT (EJ) PER DETAIL 20, SHEET C-7
15	CONSTRUCT CONCRETE APRON @ TRASH ENCLOSURE PER SOILS REPORT BY GILES ENGINEERING ASSOCIATES, INC. SEE DETAIL 21 ON SHEET C-7
16	DRIVE-THRU ORDER POINT ISLAND CURB PER DETAIL 25, SHEET C-8
17	TRANSITION FROM 6" CURB TO 0" CURB PER DETAIL 30 ON SHEET C-8
18	CONSTRUCT ACCESSIBLE ROUTE PER DETAIL 27, SHEET C-8
19	CONSTRUCT 0" CURB
20	CONSTRUCT SIDEWALK CURB OPENING PER DETAIL 28, SHEET C-8
21	CONSTRUCT 2.0' WIDE CURB OPENING PER DETAIL 31 ON SHEET C-8
22	CONSTRUCT CURB RAMP WITH FLARED SIDES PER DETAIL 32, SHEET C-8
23	CONSTRUCT ROOF DRAIN TO OUTLET THROUGH CURB PER PLAN - SEE SEPARATE ARCH. PLANS & DETAILS
24	CONSTRUCT ROOF DRAIN AT 12" ABOVE GRADE WITH DOWNSPOUT & SPLASH BLOCK PER ARCH PLANS & DETAILS. SIZE PER ARCH PLANS.

STORMWATER MANAGEMENT NOTES:

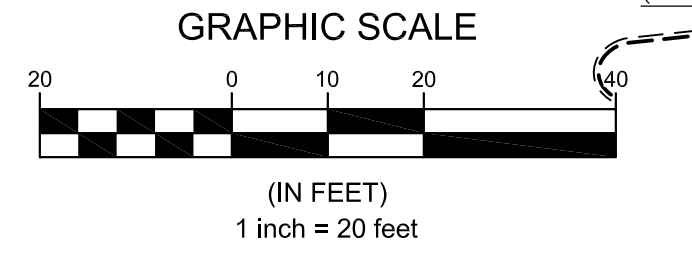
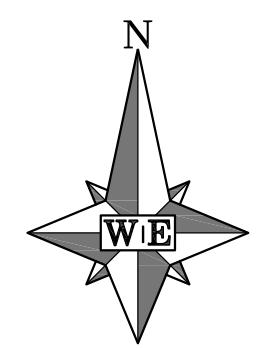
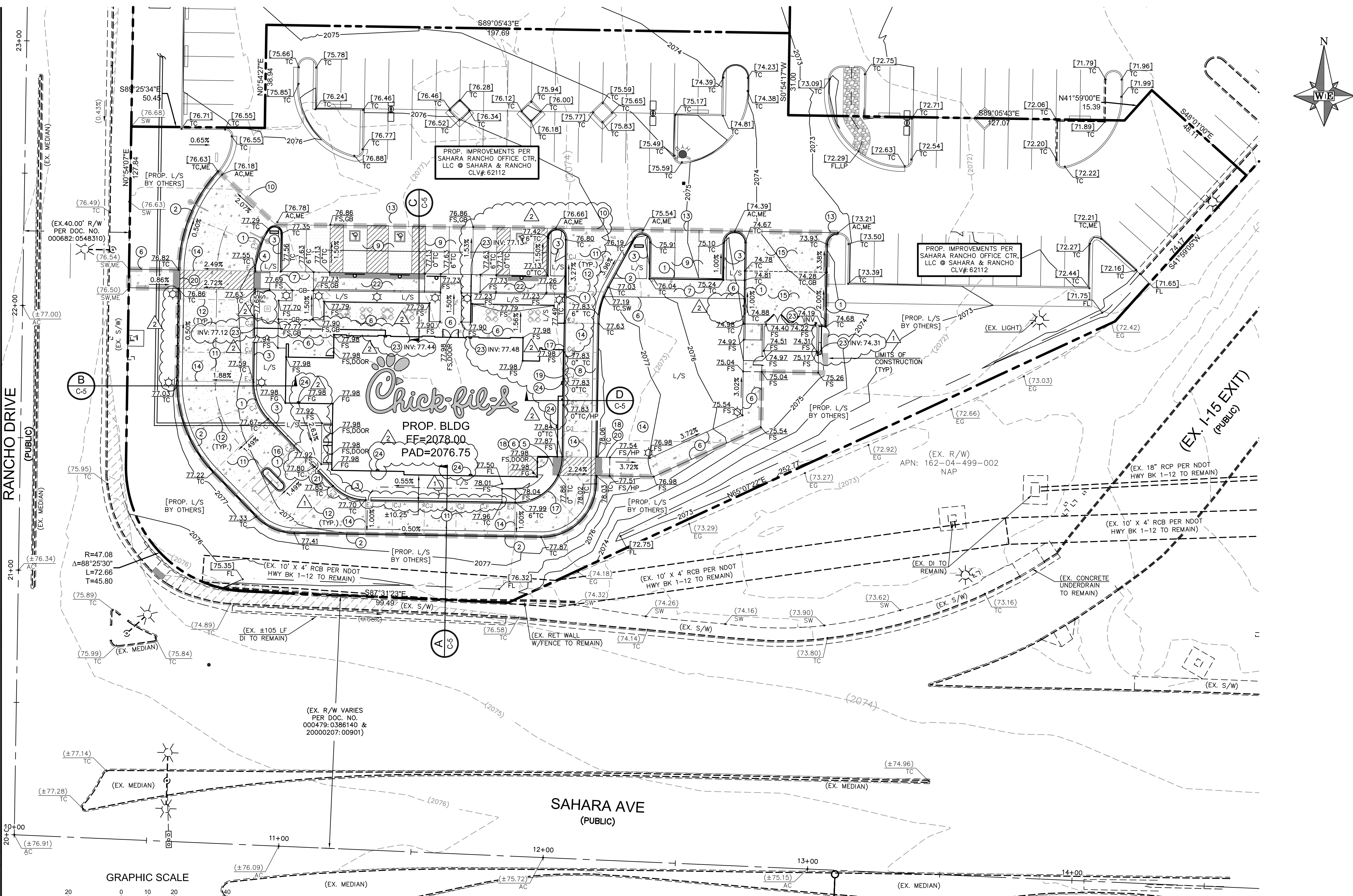
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF THE CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE CLARK COUNTY BUILDING ADMINISTRATIVE CODE 24.40 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI00000, SECTION III.A.5.
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL EROSION WEIRS, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. ALL EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI00000, SECTION III.A.12.
- ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

DRAINAGE STUDY NOTE:

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY 4746A ON FILE WITH THE CITY OF LAS VEGAS FOR THIS PROJECT.

TREASEA WOLF, P.E. No. 17879 DATE

CLV DRAWING NO. 107V657 H62229



NOTES:
ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED, OR OBTURED DURING CONSTRUCTION.

LEGAL DESCRIPTION:
SEE SHEET C1 FOR FULL LEGAL DESCRIPTION

EARTHWORK QUANTITIES:
*NOTE: THESE QUANTITIES ARE APPROXIMATE AND ARE RAW VOLUMES ONLY. OVEREXCAVATION SUBSIDENCE, SHRINKAGE, & BULKING FACTORS ARE NOT TAKEN INTO ACCOUNT.
CUT= 211 C.Y.
FILL= 118 C.Y.

FLOODZONE:
THE PARCEL DESCRIBED HEREON LIES WITHIN THE FLOOD HAZARD ZONE HAVING A ZONE DESIGNATION OF UNSHADED "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN), AS SHOWN ON FIRM MAP NO. 32003C 2107D DATED NOVEMBER 16, 2011.

ENGINEERS NOTES:

- ALL WORK SHALL CONFORM TO THE SOILS REPORT BY NOVA GEOTECHNICAL & INSPECTION SERVICES DATED APRIL 6, 2015. PROJ. NO. E-15-045 FOR THIS PROJECT.
- ALL OFF-SITE IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA", LATEST EDITION.
- FINAL ASPHALTIC CONCRETE (AC) PAVEMENT SURFACES SHALL BE ONE-HALF INCH ABOVE THE LIP OF THE GUTTER (INCLUDING OPEN GRADE).
- CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
- THIS PLAN SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY ALL APPLICABLE GOVERNMENT AGENCIES.
- ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
- MATCH ELEVATIONS SHOWN TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

SIGHT VISIBILITY ZONES NOTE:

NO WALLS, FENCES, TREES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF CURB.

LEGEND:

—	PROPERTY LINE	FS	HANDICAP PARKING
—	STREET CENTERLINE	FS	FINISHED SURFACE
—	PROPOSED RETAINING WALL	CF	CURB FACE
—	PROPOSED BUILDING	FF	FINISH FLOOR
—	EXISTING CONTOUR	EP	EDGE OF PAVEMENT
—	PROPOSED CONTOUR	TG	TOP OF GRATE
—	PROPOSED CURB & GUTTER	I.E.	INVERT ELEVATION
—	PROPOSED CURB	FL	FLOW LINE
—	PROPOSED EDGE OF PAVEMENT	ME	MATCH EXISTING
—	EXISTING CURB & GUTTER	①	CONSTRUCTION NOTE
—	EXISTING CURB	SC	SCARP
—	EXISTING BUILDING	0.40%	SLOPE
—	CUT FILL TRANSITION	53.0 FS	PROPOSED GRADE
—	SAWCUT LIMITS	(52.0) EG	EXISTING GRADE
—	CONSTRUCTION LIMITS	53.0 FS	PROPOSED GRADE BY OTHERS
—	FLOW LINE		
—	EASEMENT LINE		
—	PROP. AC PAVEMENT		
—	PROP. PCC PAVEMENT		

BENCHMARK:
CITY OF LAS VEGAS BENCHMARK:
ILV11 55ES: A RIVET AND ALUMINUM PLATE IN THE TOP OF CURB AT THE NORTHWEST CORNER OF SAHARA AND RANCHO = 632.900 m = 2076.44 ft.
BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

BASIS OF BEARING:
SOUTH 87°31'34" EAST, BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 4, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA AS SHOWN BY MAP RECORDED IN FILE 121 OF PLATS, PAGE 100 IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA.

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