

DS #: 4800

APN: 139.32.405.027

PROJECT: Hastings S. Campbell

SUBMITTAL: 2nd Submittal

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: June 16, 2016
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for: Hastings & Campbell	
Cross Streets:	NEQ of Charleston Blvd. & Campbell Ave.	
File Number:	F:\Depot\DSMemos\DS4800B.doc	
Parcel Number:	139-32-405-027	
Zoning Action:	TMP-62358; WVR-62353; WVR-62356; VAC-62357 & VAR-62407	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X
		COPIES TO: Taney Engineering DAX Contracting, LLC Bart Anderson, P.E., DevCo

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/4/2016	5/18/2016	Not Approved	\$400.00	442793: \$400
2 nd Submittal & Supplement	5/26/2016 & 6/15/2016	6/16/2016	See Comments Below	\$400.00	445645: \$400
TOTAL FEES (LDDRS):				\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. Private streets must be public drainage easements. Provide a note on the grading plans: Note: All private streets are P.U.E., Public Sewer Easements and Public Drainage Easements to be privately maintained by the HOA.
2. All drainage easements must be public drainage easements to be privately maintained and common lots to be labeled on the grading plans and to be dedicated as such in the final map or by separate document.
3. The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public Drainage Easements must be bonded and inspected.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T20S/R61E/32
AREA M-32

*** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 0259
 DESTINATION ADDRESS 7023625233
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 06/16 14:32
 USAGE T 01' 27
 PGS. 2
 RESULT OK

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

DATE:

June 16, 2016

TO:

Land Development Services
 Department of Building & Safety

FROM:

Albert Sung, P.E.
 Flood Control Project Engineer
 Department of Public Works

SUBJECT:

Drainage Study for:

Hastings & Campbell

COPIES TO:

Taney Engineering

Cross Streets:

NEQ of Charleston Blvd. & Campbell Ave.

DAX Contracting, LLC

File Number:

F:\Depot\DSMemos\DS4800B.doc

Bart Anderson, P.E., DevCo

Parcel Number:

139-32-405-027

Zoning Action:

TMP-62358; WVR-62353; WVR-62356;
 VAC-62357 & VAR-62407

FEMA Flood Zone

YES

NO

X

Proposed Storm Drain

YES

NO

X

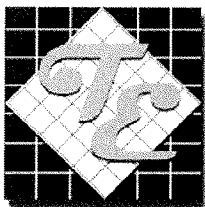
HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/4/2016	5/18/2016	Not Approved	\$400.00	442793: \$400
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TOTAL FEES (LDDRS):				\$800.00	----

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X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
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- Private streets must be public drainage easements. Provide a note on the grading plans: Note: All private streets are P.U.E., Public Sewer Easements and Public Drainage Easements to be privately maintained by the HOA.
- All drainage easements must be public drainage easements to be privately maintained and common lots to be labeled on the grading plans and to be dedicated as such in the final map or by separate document.
- The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public



TANEY ENGINEERING

6030 SOUTH JONES BLVD.
LAS VEGAS, NV 89118
TELEPHONE: 702-362-8844
FAX: 702-362-5233

Transmittal

☐ **Priority** ☐ **Must be delivered by:**

☐ **AM**
☐ **PM**

To:	Albert Sung Flood Control 7th Floor	From:	Janna Felipe jannaf@taneycorp.com
Company:	City of Las Vegas	Date:	May 26, 2016
Address:	333 N. Rancho Las Vegas, NV 89106	Job No.:	DXC-16-058
Project:	Hastings & Campbell – Addendum #1	Folder:	Eng\Supporting Reports\Hydrology\Published\16.0526 Response to Comments
Re:	TDS – Addendum #1	Project #	DS 4800

Items Attached

1. (1) TDS – Addendum #1
2. (1) TDS Improvement Plans
3. (1) Disk of TDS & Plans
4. (1) Fee \$400

COMMENTS:

For Review

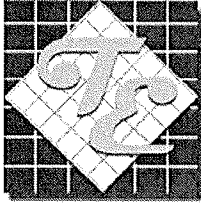
RECEIVED BY

Signature: _____

Print name: _____

Date: _____

Time: _____



TANEY ENGINEERING

6030 SOUTH JONES BLVD.
LAS VEGAS, NV 89118
TELEPHONE: 702-362-8844
FAX: 702-362-5233

Transmittal

☐ **Priority** ☐ **Must be delivered by:**

☐ **AM**

☐ **PM**

To:	Albert Sung Flood Control 7th Floor	From:	Janna Felipe jannaf@taneycorp.com
Company:	City of Las Vegas	Date:	June 15, 2016
Address:	333 N. Rancho Las Vegas, NV 89106	Job No.:	DXC-16-058
Project:	Hastings and Campbell	Folder:	Hydro/Published
Re:	Supplemental Plans to Drainage Study	Project #	DS 4800

Items Attached

1. (1) 24X36 Wet-Stamped Copy of TDS Improvement Plans (Sheets 1 – 4)
2. (1) CLV Drainage Study Comment Letter dated May 19, 2016

COMMENTS:

For Review

RECEIVED BY

Signature: _____

Print name: _____

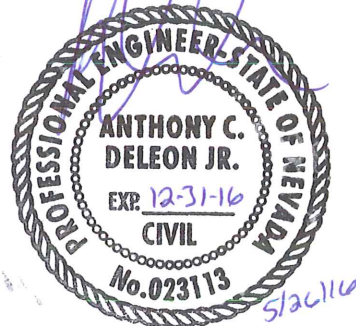
Date: _____

Time: _____



TANEY ENGINEERING

ADDENDUM #1
TO THE
TECHNICAL DRAINAGE STUDY
FOR
Hastings & Campbell
Residential Development



CITY OF LAS VEGAS NEVADA

May 2016

Prepared by:

Taney Engineering
6030 S. Jones
Las Vegas, Nevada 89118
Telephone: (702) 362-8844
Fax: (702) 362-5233

Prepared for:

Blue Heron
4675 W Teco Ave, Ste 250
Las Vegas, NV 89118
Telephone: (702) 256-8866
Fax: (702) 256-8862

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Hastings & Campbell Date: May 26, 2016

Location of Development: a) Descriptive (Cross Streets) North/South: Campbell Drive
East/West: Hastings Avenue

b) Section: 32 Township: 20S Range: 61E

c) APN : 139-32-405-027

Name of Owner: Blue Heron

Telephone No.: (702) 256-8866 Fax No.: (702) 256-8862 E-Mail Address: _____

Address: 4675 W Teco Ave STE 250 Las Vegas, NV 89118

Contact Person-Name: Anthony Deleon Jr., PE, CFM Telephone No.: (702) 362-8844

* E-Mail Address: AnthonyD@taneycorp.com Fax No.: (702) 362-5233

Firm: Taney Engineering

Address: 6030 S. Jones Blvd, Las Vegas NV 89118

Type of Land Development/Land Disturbance Process:

☐ Rezoning	☐ Subdivision Map	☐ Clearing and Grading Only
☐ Parcel Map	☐ Planned Unit Development	☐ Other (Please specify below)
☐ Large Parcel Map	☒ Building Permit	

1. Total Owned Land Area: At Site: 2.49+/- acres Being Developed/Disturbed: 2.49+/- acres

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

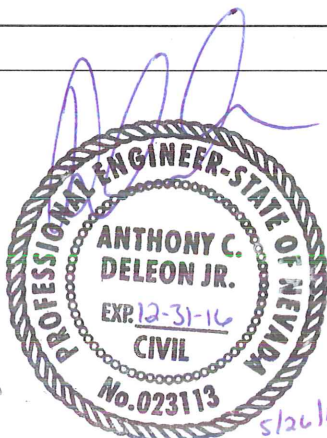
4. Proposed type of development (Residential, Commercial, Etc.): Residential

5. Approximate upstream land area which drains to the subject site: 7.55+/- acres

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Storm Drain Report for Busch Residence(DS#4430)

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: To the northeast corner of the site through the existing 20-foot wide Drainage Easement.

8. Briefly describe your proposed schedule for the subject project: A.S.A.P



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

	Revision	Date

Local Entity File No. _____

REFERENCE:

STANDARD FORM 1



APPENDICES

APPENDIX A

Comment Letter

APPENDIX B

Revised Figures

APPENDIX C

Improvement Plans



APPENDIX A

Comment Letter

CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		May 19, 2016
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for: Hastings & Campbell	
Cross Streets:	NEQ of Charleston Blvd. & Campbell Ave.	
File Number:	F:\Depot\DSMemos\DS4800A.doc	
Parcel Number:	139-32-405-027	
Zoning Action:	TMP-62358; WVR-62353; WVR-62356; VAC-62357 & VAR-62407	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	5/4/2016	5/18/2016	See Comments Below	\$400.00	442793: \$400
			TOTAL FEES (LDDRS):	\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. It appears that the subject development drains to the northeast corner of the site through an adjacent path corridor to the north. Identify an existing public drainage easement on the grading plan and label with *City of Las Vegas* recorded document number or if by any parcel map for verification of the legal perpetuation of onsite drainage.
2. **Figure 7** of the *Study* has identified the subject project site at a wrong location. Review and revise accordingly in the next submittal.
3. The name of the project owner on the grading plan does not match the detail sheet or the *Standard Form 1* in the drainage study. Review and revise accordingly.
4. The proposed finished floor elevation must be set at a minimum six inches (6") above the high side of the adjacent street. The high side of **Lot 4** at **Triple Crown Circle** is 100.63TC. Therefore the finished floor elevation of **Lot 4** must be set at a minimum of $100.63 + 0.5 = 101.13$. Revise and revise the F.F. of **Lot 4** accordingly.

5. It appears that no storm drain is proposed in the subject development. However, construction note number 6 calls for a catch basin, explain where is the storm drain system or is this an error in the construction notes column.
6. Per **Detail Section C/GD1**, there is an existing property wall along the south side of **Lot 3**. Show an existing wall in **Lot 3** on the grading plan.
7. **Sheet GD1**: Section F: Revise the callout for the surface material in the easement to "All Concrete". Revise the callout of all "private" drainage easement to "**PUBLIC**" in all pertinent details.

Detail J: There are two different numbers for the height of the wall opening, 24" and 16". Revise to show 24" only.

8. Label the slope in the cul-de-sac of the private street.
9. The *City Council* of the *City of Las Vegas* recently adopted an amendment to Title 20 of the Municipal Code in which Section 20.10.030 requires all public drainage easements to be concrete lined. Revise the grading plan, construction notes and all pertinent detail sections accordingly.
10. Private streets must be public drainage easements. Provide a note on the grading plans: Note: All private streets are P.U.E., Public Sewer Easements and Public Drainage Easements to be privately maintained by the HOA.
11. All drainage easements must be public drainage easements to be privately maintained and common lots to be labeled on the grading plans and to be dedicated as such in the final map or by separate document. Revise the grading plan, details and all pertinent notes accordingly.
12. The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public Drainage Easements must be bonded and inspected.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T20S/R61E/32
AREA M-32



TANEY ENGINEERING

6008 HIGHWAY 2 EAST, STE 300

MINOT, ND 58701

TELEPHONE: 701-858-8900

September 6, 2014
Job No. DXC-16-058

Albert Sung, P.E.
Flood Control
City of Las Vegas Public Works
333 N. Rancho Drive
Las Vegas, NV 89106

Subject: Addendum #1 to the Technical Drainage Study Update for Hastings and Campbell DS#4800A

Dear Mr. Sung:

Taney Engineering is pleased to provide one (1) hard copy and (1) digital copy of Addendum #1 to the Technical Drainage Study for **Hastings and Campbell**. This addendum includes a response to each comment from City of Las Vegas review memorandum dated May 19, 2016. The comments been reproduced and addressed as follows:

Comment 1: It appears that the subject development drains to the northeast corner of the site through an adjacent path corridor to the north. Identify an existing public drainage easement on the grading plan and label with City of Las Vegas recorded document number or if by any parcel map or verification of the legal perpetuation of onsite drainage.

The APN number has been placed in the grading plan and this drainage area deals with public right of way.

Comment 2: Figure 7 of the Study has identified the subject project site at a wrong location. Review and revise accordingly in the next submittal.

The project site was located northeast of its location. The site has been moved down to coincide with its proper location. The revised figure is included in Appendix A.



Comment 3: The name of the project owner on the grading plan does not match the detail sheet or the Standard Form 1 in the drainage study. Review and revise accordingly.

Standard Form 1 and the name of the project owner on the grading plan were both revised to match and reflect that the project owner is Blue Heron.

Comment 4: The proposed finished floor elevation must be set at a minimum six inches (6") above the high side of the adjacent street. The high side of Lot 4 at Triple Crown Circle is 100.63TC. Therefore the finished floor elevation of Lot 4 must be set at a minimum of $100.63 + 0.5 = 101.13$. Revise and revise the F.F. of Lot 4 accordingly.

A grouted wall can be seen in the grading plans and detail sheet. This negates the need to change the calculations.

Comment 5: It appears that no storm drain is proposed in the subject development. However, construction note number 6 calls for a catch basin, explain where is the storm drain system or is this an error in the construction notes column.

The storm drain that was previously shown was to drain the lots into the easement. The design has been modified to sheet flow into the easement instead. Refer to the revised grading plans included in Appendix C.

Comment 6: Per Detail Section C/GD1, there is an existing property wall along the south side of Lot 3, Show an existing wall in Lot 3 on the grading plan.

A block wall was added to the south side of Lot 3 on the grading plan.

Comment 7: Sheet GD1: Section F: Revise the callout for the surface material in the easement to "All Concrete". Revise the callout of all "private" drainage easement to "PUBLIC" in all pertinent details. Detail J: There are two different numbers for the height of the wall opening, 24" and 16", Revise to show 24" only.

The material in Section F was revised to reflect all concrete and the section has changed from private to public easements in all details. Detail J was changed to reflect a height of 24" on both sides.

Comment 8: Label the slope in the cul-de-sac of the private street.

The slope of the cul de sac was labeled in two spots with appropriate arrows.



Comment 9: The City Council of the City of Las Vegas recently adopted an amendment to Title 20 of the Municipal Code in which Section 20.10.030 requires all public drainage easements to be concrete lined. Revise the grading plan, construction notes and all pertinent detail sections accordingly.

The grading plans, construction notes and other details were changed to reflect the code. In sections A, B, F, G, H and L the easement can be seen as concrete. The construction notes also reflect the change of all easements to concrete.

Comment 10: Private streets must be public drainage easements. Provide a note on the grading plans: Note: All private streets are (PUE) Public Sewer Easements and Public Drainage Easements to be privately maintained by the HOA.

The note was added in three places; please refer to Lot 2 near the cul de sac to find the first instance, Lot 2 near the wall for the other second instance, and Lot 3 near the wall for the other instance.

Comment 11: All drainage easements must be public drainage easements to be privately maintained and common lots to be labeled on the grading plans and to be dedicated as such in the final map or by separate document. Revise the grading plan, details and all pertinent notes accordingly.

All drainage easements have changed to be labeled as public drainage easements to be privately maintained by the HOA. Any easements that were previously labeled private have been changed to public.

Comment 12: The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public Drainage Easements must be bonded and inspected.

The quantities have been provided on Sheet C2 of the grading plans.

A copy of the Clark County Public Works comments has been provided directly following this letter. If you need any additional information, please do not hesitate to call our office.

Sincerely,

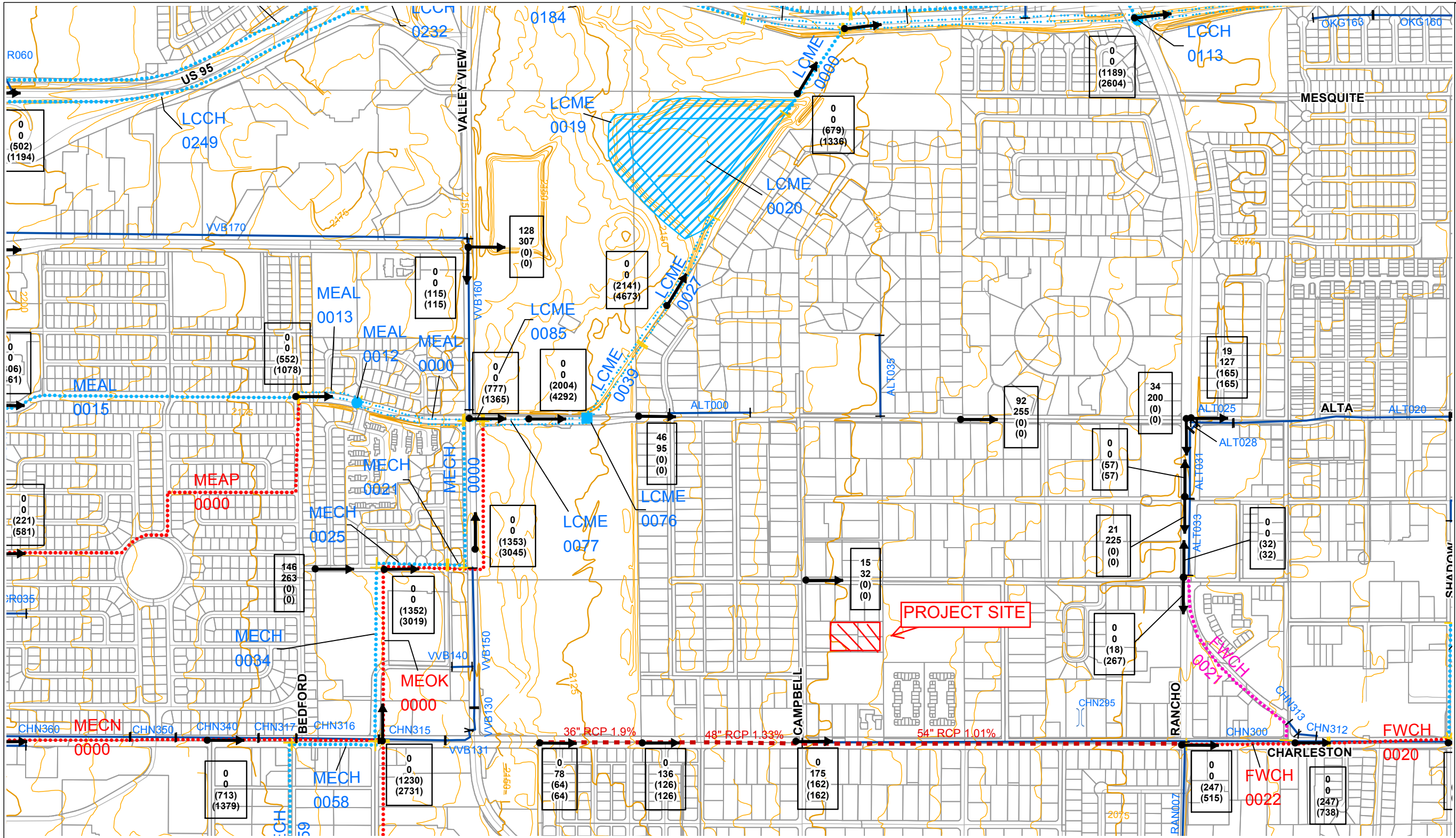
TANEY ENGINEERING

Robert Lovelady



APPENDIX B

Revised Figures

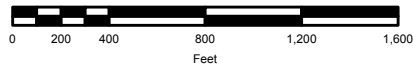
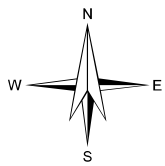


CENTRAL NEIGHBORHOOD FLOOD CONTROL MASTER PLAN

LEGEND

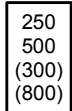
- Existing Regional Facility
- Category A Proposed Regional Facility (2002 MPU)
- Category B Proposed Regional Facility (2002 MPU)
- Category A Proposed Regional Facility (2004 CNFCMP)
- Existing Local Facility
- Proposed Local Facility
- Regional Culvert
- Regional Bridge
- Regional Pipeline
- Regional Channel
- Regional Levee
- Regional Detention Basin
- Local Storm Drain
- Local Culvert
- Proposed Local Storm Drain
- Regional ID-Mile Separator
- Local Facility Separator

FIGURE F-9



SCALE: 1 inch = 800 feet

Flow Arrow



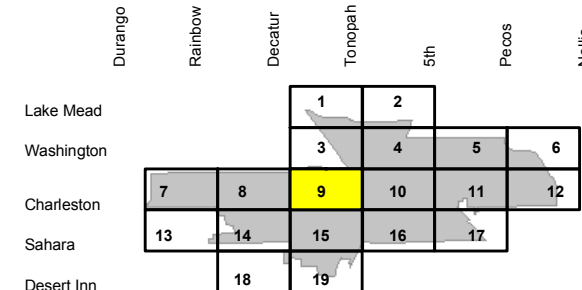
10-Year Street Flow
100-Year Street Flow
10-Year Facility Flow
100-Year Facility Flow

(Flows in CFS)

NOTE:

Ultimate drainage conditions are based on future Curve Number values with all flood control facilities in place.

100-Year flows at locations where a 100-Year subbasin concentration point does not exist in the hydrology model were based on an area-weighted ratio of the 100-Year flows from concentration points upstream and downstream of the location. See Volume I for a more detailed explanation.



FUTURE DRAINAGE CONDITIONS



2270 Corporate Circle, Suite 100
Henderson, NV 89074
(702) 263-7275
Fax: (702) 263-7200

FIGURE 7

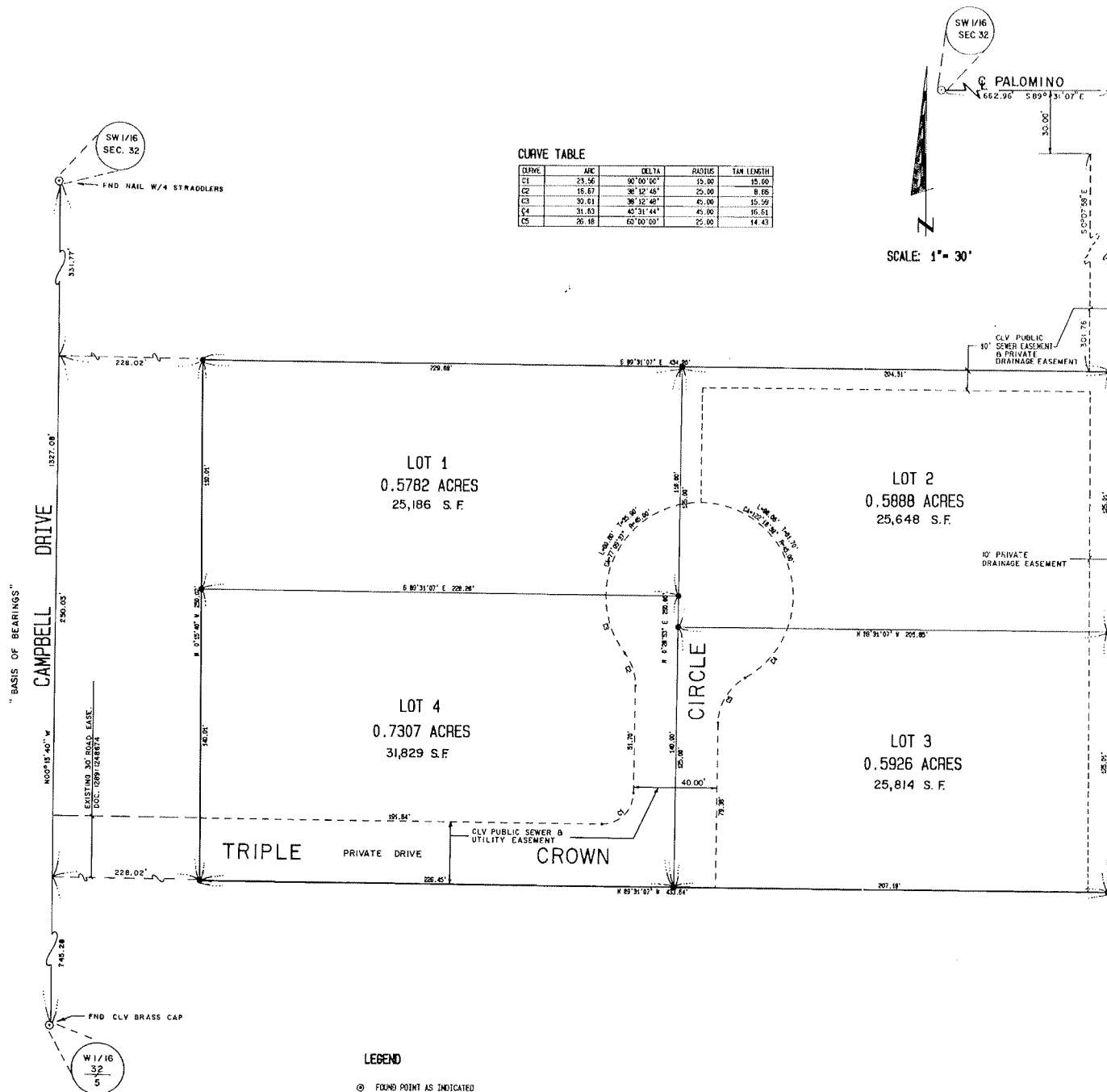


APPENDIX C

Improvement Plans

Book 880622

00900



CHORD	ARC	DELTA	RADIUS	TAN LENGTH
C1	23.56	90°00'00"	15.00	15.00
C2	19.87	36°12'48"	25.00	8.86
C3	30.61	36°12'48"	45.00	15.59
C4	31.83	42°31'44"	45.00	16.61
C5	26.18	60°00'00"	25.00	14.43

SURVEYOR'S CERTIFICATE

I, GENE D. KRAMETBAUER, A DULY REGISTERED LAND SURVEYOR IN THE STATE OF NEVADA, AS AN AGENT FOR VTN NEVADA, DO HEREBY CERTIFY THAT THIS PARCEL MAP, CONSISTING OF ONE SHEET, ACCURATELY AND COMPLETELY DELINEATES A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AT THE INSTANCE OF DAVID CHRISTENSEN ET AL.

ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS SHOWN AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED; THIS SURVEY CONFORMS WITH THE DEFINITIONS AND PROVISIONS OF THE NEVADA REVISED STATUTES 278.010 THROUGH 278.630 INCLUSIVE; AND THAT THIS SURVEY WAS COMPLETED ON 8-15-87.

Gene D. Krametbauer
GENE D. KRAMETBAUER, R.L.S.
NEVADA CERTIFICATE NO. 6201



OWNER'S CERTIFICATE

VERN J. CHRISTENSEN and DORIS CHRISTENSEN
DAVID CHRISTENSEN and PAMELA J. CHRISTENSEN
CARL J. CHRISTENSEN and ELLEN CHRISTENSEN
PAUL LEWIS CHRISTENSEN and LINDA CHRISTENSEN
DO HEREBY CERTIFY THAT BEING THE OWNER OF THE LAND SUBDIVIDED WITHIN THE BOUNDARY SHOWN HEREON, CONSENT TO THE PREPARATION AND RECORDATION OF THIS PARCEL MAP HAVE CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO PARCELS.

AS SHOWN HEREON AND DO HEREBY OFFER AND DEDICATE TO THE CITY OF LAS VEGAS, ITS SUCCESSORS AND ASSIGNS, AND PRIVATE STREETS AS SHOWN HEREON, TO AND FOR THE USE OF THE PUBLIC, AND EASEMENTS AS SHOWN HEREON DESIGNATED AS "P.U.E.", PUBLIC UTILITY EASEMENT, FOR THE CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN UTILITIES, AND SUCH GRADING AND DRAINAGE AS REQUIRED PER N.R.S. 278.010 THROUGH 278.630, INCLUSIVE.

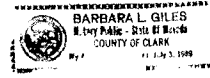
David Christensen *Doris Christensen* *Paul Christensen*
DAVID CHRISTENSEN DORIS CHRISTENSEN PAUL CHRISTENSEN
Pamela J. Christensen *Carl J. Christensen* *Ellen Christensen*
PAMELA J. CHRISTENSEN CARL J. CHRISTENSEN ELLEN CHRISTENSEN
Paul Lewis Christensen *Linda Christensen*
PAUL LEWIS CHRISTENSEN LINDA CHRISTENSEN

ACKNOWLEDGEMENT

STATE OF NEVADA }
COUNTY OF CLARK } SS
ON THIS 3 DAY OF NOVEMBER, 1987,
PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE ABOVE INSTRUMENT.

VERN J. CHRISTENSEN AND DORIS CHRISTENSEN
DAVID CHRISTENSEN AND PAMELA J. CHRISTENSEN
CARL J. CHRISTENSEN AND ELLEN CHRISTENSEN
PAUL LEWIS CHRISTENSEN AND LINDA CHRISTENSEN

Barbara L. Giles
BARBARA L. GILES
NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES 3 JULY 1989.



APPROVAL

THIS IS TO CERTIFY THAT THE DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT, CITY OF LAS VEGAS, CLARK COUNTY, NEVADA ON THIS 31st DAY OF May, 1988, DID APPROVE FOR PURPOSES OF LAND DIVISION AND ACCEPT IN BEHALF OF THE PUBLIC, THIS MAP AND ANY PARCELS OF LAND OFFERED FOR DEDICATION FOR PUBLIC USE IN CONFORMITY WITH THE TERMS OF THE OFFER OF DEDICATION PER N.R.S. 278.010 THROUGH 278.630 INCLUSIVE.

Harold P. Foster
HAROLD P. FOSTER, DIRECTOR

MAP APPROVED FOR THE PURPOSE OF LAND DIVISION THIS 31st DAY OF May, 1988.

Carl D. Peterson
CARL D. PETERSON, R.L.S. DEPARTMENT OF PUBLIC WORKS
NEVADA CERTIFICATE NO. 6204
CITY OF LAS VEGAS

LEGEND

- FOUND POINT AS INDICATED
- SET TYPE III MONUMENT PER CLARK COUNTY IMPROVEMENT STANDARDS, REVISED APRIL, 1986, R.L.S. 6201

BASIS OF BEARINGS:
N.00 15° 40' W., BEING THE WEST LINE OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 32, T.20S., R. 61E., M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN BY A MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN FILE 33 OF PARCEL MAPS, PAGE 62.

vtv CONSULTING ENGINEERS • PLANNERS LAS VEGAS, NEVADA				NO. 00900	
PARCEL MAP FOR DAVID CHRISTENSEN ET AL.				FILED AT THE REQUEST OF: VTN Nevada	
A PORTION OF THE SW1/2 OF THE SW1/4 OF SECTION 32, T.20S., R.61E., M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.				DATED 10-22-88 AT 11:02 AM.	
SCALE: WO. NO. DATE 8-28-87 SHEET OF				FILE 57 PAGE 11	
ORN. R.R.M. REV.				OF PARCEL MAPS 880622	
CHK. REV.				OFFICIAL RECORDS BOOK NO.	
				CLARK COUNTY, NEVADA RECORDS	
				JOAN L. SWIFT, RECORDER	
				FEE \$ 10.00 DEPUTY VS	

File 57 Page 11

PARCEL
FILE 57
PG 11

IMPROVEMENT PLANS
FOR
HASTINGS & CAMPBELL
A RESIDENTIAL SUBDIVISION
CITY OF LAS VEGAS, NEVADA
APN: 139-32-405-027

Avoid overhead power
line contact. it's costly.

Call
before you
Overhead
1-702-227-2929

Call before you Dig
Avoid cutting underground utility lines. It's costly.

CALL

811

OR

1-800-227-2600

LEGEND

	EXISTING	PROPOSED
DESIGN ELEVATION	(10.00)	10.00
FUTURE ELEVATION		[10.00]
SCARP (SLOPE VARIES)		
CONTOUR (1' INTERVAL)		
CONTOUR (5' INTERVAL)		
DIRECTION OF FLOW		
RETAINING WALL		
NUMBER OF RETAINING COURSES		
CMU WALL		
SOLID GROUTED WALL - NO RETAINING		
CUT-OFF WALL		
CENTERLINE		
RIGHT-OF-WAY		
CUT LINE-ASPHALT		
CURB AND GUTTER		
FENCE		
POWER POLE		
SIDEWALK RAMP		
CURB DROP INLET		
STORM DRAIN W/ MANHOLE		
SIDEWALK		
PROPERTY LINE		
CUT-FILL LINE		
EDGE OF PAVEMENT		
SIGHT VISIBILITY ZONE		
CAP & 2" BLOW OFF VALVE		
WATERLINE FITTINGS		
GATE VALVE		
FIRE HYDRANT		
SEWER LINE W/ MANHOLE		
SEWER LATERAL		
WATER LINE		
WATER LATERAL W/ METER		
PRESSURE REDUCING VALVE		
BACKWATER VALVE		
200A SERVICE PEDESTAL		
STREET LIGHT CONDUIT		
F.A.S.T. CONDUIT		
TRAFFIC SIGN		
STOP SIGN W/ STREET NAME SIGN		
100W HPS LUMINAIRE W/ 11 GA. POLE		
250W HPS LUMINAIRE W/ 11 GA. POLE		
400W HPS LUMINAIRE W/ 11 GA. POLE		

APPROVAL SIGNATURES

APPROVED FOR CONSTRUCTION

COX COMMUNICATIONS LAS VEGAS, INC.

SOUTHWEST GAS CORPORATION

CENTRAL TELEPHONE COMPANY dba CENTURYLINK DATE
 "THE AFFIXED CENTURYLINK APPROVAL DOES NOT ASSUME OR GUARANTEE LIABILITY FOR
 KNOWN OR UNKNOWN CONFLICTS WITH EXISTING OR PROPOSED IMPROVEMENTS.
 RESOLUTION OF ANY CONFLICT WILL BE ACCOMPLISHED PURSUANT TO LOCAL ORDINANCES,
 NEVADA REVISED STATUTES AND/OR PUBLIC UTILITY COMMISSION RULES AND
 REGULATIONS"

NV ENERGY	DATE
-----------	------

RESERVES THE RIGHT TO ADDRESS ANY EXISTING OR FUTURE CONFLICTS ONCE THE FINAL DESIGN IS COMPLETED. THE NEW SERVICE AND THE RESOLUTION OF ANY CONFLICTS WILL BE ACCOMPLISHED PURSUANT TO THE NEVADA PUBLIC UTILITY COMMISSION'S RULES AND REGULATIONS.

LAS VEGAS FIRE AND RESCUE DATE

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
PROJECT# XXX
LVVWD APPROVED FIRE FLOW: XXX AT XXX PSI RESIDUAL

ALLEN PAVELKA, P.E. (PE# 9029) DATE

APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS LIMITED TO THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED RIGHT-OF-WAY, AND/OR DEDICATED EASEMENTS. THIS APPROVAL DOES NOT AUTHORIZE CONSTRUCTION OF ANY IMPROVEMENTS THAT DEVIATE FROM ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT THOSE SPECIFICALLY LISTED UNDER DEVIATIONS FROM STANDARDS. THE ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED IN DEVIATIONS FROM STANDARD IN FAVOR OF THE UNIFORM STANDARD DRAWINGS AND SPECIFICATIONS, CLARK COUNTY AREA, NEVADA.

CHRIS KNIGHT, DIRECTOR, BUILDING & SAFETY
THIS PLAN MEETS THE APPLICABLE STANDARDS OF THE PLANNING DEPARTMENT.

ENGINEER
TANEY ENGINEERING
6030 SOUTH JONES BLVD
LAS VEGAS, NV 89118
(702) 362-8844 PHONE (702) 362-5233 FAX

DEVELOPER
BLUE HERON
4675 W. TECO AVE #250
LAS VEGAS, NV 89118
(702) 256-8866

SITE MAP NOT TO SCALE

CAMPBELL ST

FALOMOLINO LN

PROJECT SITE

PEOPLE'S CHOICE

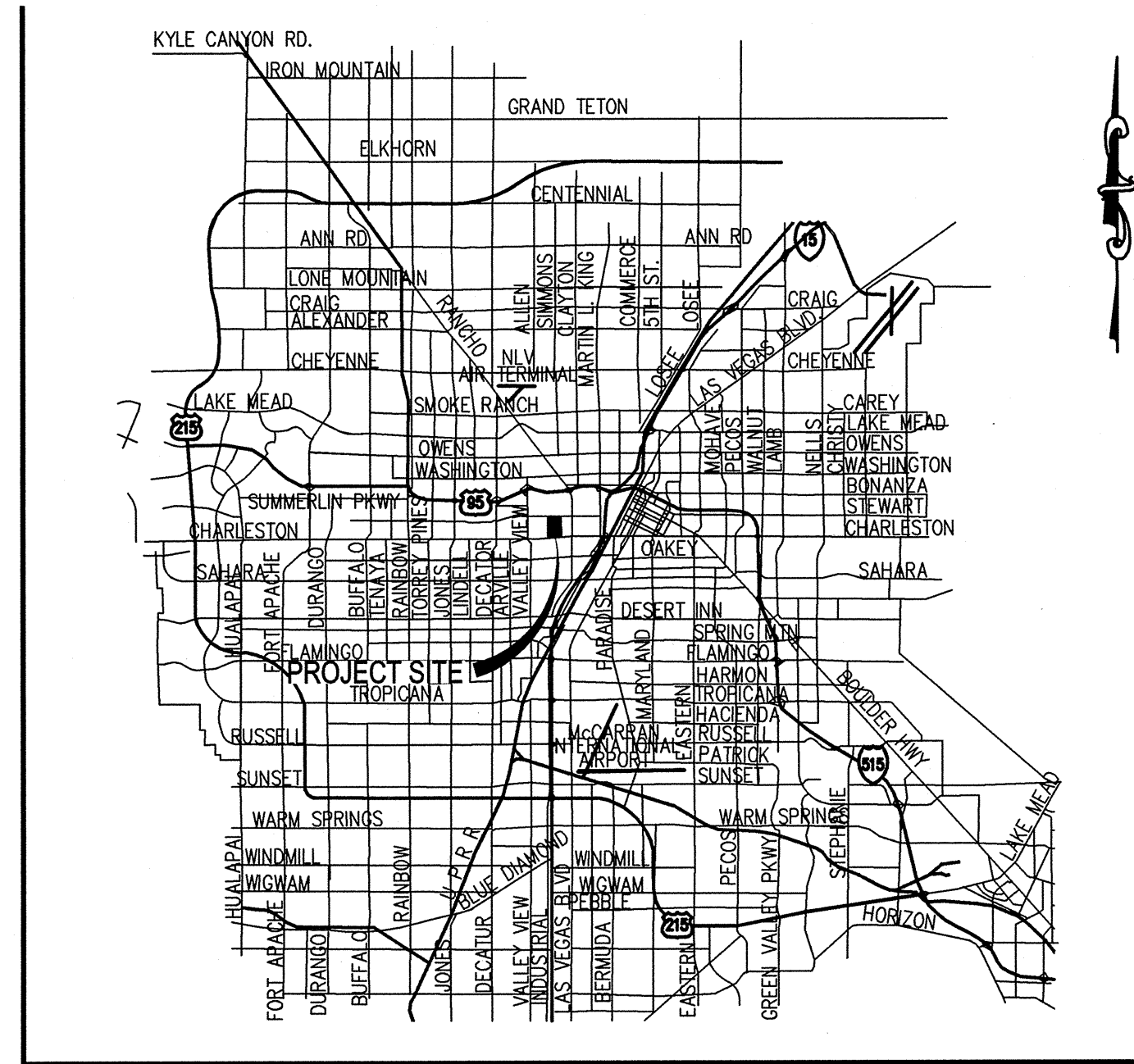
HASTINGS AVE

SETTLELAND ST

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FG	FINISH GRADE	R	RADIUS
AVE	AVENUE	FH	FIRE HYDRANT	RCB	REINFORCED CONCRETE BOX
BC	BACK OF CURB	FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE
BCE	BACK OF CURB RADIUS	FT	FEET	ROW	RIGHT-OF-WAY
BFC	BACK OF FLOOD ELEVATION	G	GRADING	RT	RIGHT
BFP	BACK FLOW PREVENTOR	GB	GRADE BREAK	SD	STORM DRAIN
BLM	BUREAU OF LAND MANAGEMENT	GFF	GARAGE FINISH FLOOR	SHT	SHEET
BMR	BENCHMARK	HP	HIGH POINT	STL	STREETLIGHT
BRPM	BLUM RAISED PAVEMENT MARKER	HPG	HIGH PRESSURE GAS	SNWA	SOUTHERN NEVADA WATER AUTHORITY
BVC	BEGIN VERTICAL CURVE	INV	INVERT	SS	SANITARY SEWER
BSW	BOTTOM OF STREET	LT	LANDSCAPE	STE	STEEL
CATV	CABLE TELEVISION	LS	LANE	STA	STATION
CC	CLARK COUNTY	LT	LANDSCAPE	STD	STANDARD
CCD	CLARK COUNTY FIRE DEPARTMENT	LV	LOCAL	STV	STREET VISIBILITY ZONE
COWR	CLARK COUNTY WATER RECLAMATION DISTRICT	LWVD	LAS VEGAS VALLEY WATER DISTRICT	SW	SIDEWALK
CL	CENTERLINE	MX	MAXIMUM	SY	SQUARE YARD
CLSM	CONTROLLED LOW STRENGTH MATERIAL	MH	MANHOLE	TC	TOP OF CURB
CLV	CITY OF LAS VEGAS	MIN	MINIMUM	TELE	TELEPHONE
CMP	CORRUGATED METAL PIPE	N	NUMBER	TF	TOP OF FOOTING
CNH	CITY OF NORTHERN LAS VEGAS	NTS	NOT TO SCALE	T.O.P.	TOP OF PIPE
CN	CLEAN OUT, SEWER	ON	ON CENTER	TO	TOP OF RETAINING
CO	CITY OF HENDERSON	PB	PULL BOX	TW	TOP OF WALL
CU	CUBIC YARD	PC	POINT OF CURVE	TYP	TYPICAL
CSWS	DESIGN AND CONSTRUCTION STANDARDS FOR WATER COLLECTION SYSTEMS	PCD	POINT OF COMPOUND CURVE	UDCS	UNIFORM DESIGN AND CONSTRUCTION STANDARDS
DG	DESIGN GRADE	PI	POINT OF INTERSECTION	UT	UTILITY
DI	DROP INLET	PL	PROPERTY LINE	US	UNIFORM STANDARD DRAWING
DR	DRAIN	PLT	PLATE	VC	VERTICAL CURVE
DR	DRAIN	P	POINT OF CONNECTION	VCP	VERTICAL GUTTER PIPE
EC	END OF IRON PIPE	PP	POWER POLE	VG	VALLEY GLAY PIPE
ELEC	ELECTRICAL	PLAN	PLAN AND PROFILE	W	WATER
EP	EDGE OF PAVEMENT	PRC	POINT OF REVERSE CURVE	ZC	ZERO LAP CURB
EVC	END VERTICAL CURVE	PROJ	PROJECT		
EX	EXISTING	PRV	PRESSURE REDUCING VALVE		
FF	FINISH FLOOR ELEVATION	PT	POINT OF TANGENCY		
		PVC	POLYVINYL CHLORIDE		

VICINITY MAP NOT TO SCALE



INDEX TABLE

Sheet Number	Sheet Title	Sheet Description
1	C1	COVER SHEET
2	C2	GENERAL NOTES & QUANTITIES
3	G1	GRADING PLAN
4	GD1	GRADING DETAILS & CROSS SECTIONS

UTILITY DISCLAIMER

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR EXISTING LOCATIONS.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., AS SHOWN ON FILE 90, PAGE 49 OF PLATS, CLARK COUNTY, NEVADA OFFICIAL RECORDS. SAID LINE BEARS NORTH 89°59'40" WEST.

BENCHMARK

THE CITY OF LAS VEGAS BENCHMARK 8L0V1 32SW6 RIVET AND PLATE IN THE CUT OF CURB AT THE SOUTHWEST CORNER OF CAMPBELL DRIVE AND PALOMINO LANE. ELEVATION = 640.727 METERS (2102.1165 FEET) (NAVD 88)

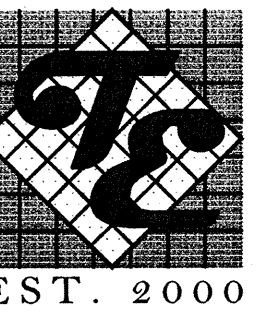
LEGAL DESCRIPTION

THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE
SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST,
M.D.M., IN THE CLV, CLARK COUNTY, NEVADA.

FILE NAME:

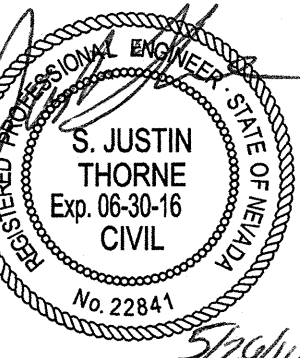
4675 W. TECO AVE #250
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(702) 362-8844 FAX: (702) 362-5233



**HASTINGS AND CAMPBELL
A RESIDENTIAL SUBDIVISION**

COVER SHEET



5/26/201

NTS

NO: **DXC-16-05**

DESIGNED BY: MPB	CHECKED BY: S.J.
----------------------------	----------------------------

NET NAME: C4

ETAILERED:

1 OF 4

10

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY, NEVADA AREA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA, NEVADA" LATEST REVISED EDITION; THE "SUMMERLIN IMPROVEMENT STANDARDS" FOR WORK IN THE SUMMERLIN AREA; AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE "UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE. EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".

- WALL NOTES:
26. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADE RELATIONSHIPS, ROAD CLOSURES, AND RIGHT-OF-WAY RESTRICTIONS. NEW WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
27. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
28. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEANOUTS, ETC. TO FINISH GRADE AS APPLICABLE, WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
29. MATERIALS, HANDLING, AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NDOT OR THE CLARK COUNTY AREA SPECIFICATIONS (AS APPLICABLE) AND THE PLANS AND DETAILS SHOWN HEREON.
30. WHEN INSTALLING UNDERGROUND FACILITIES THAT REQUIRE UNDERGROUND LOCATING DEVICES SUCH AS MARKER BALLS, LOCATING RIBBON, ETC. THE CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO OFFSITE INSPECTION AND TESTING CERTIFYING THAT ALL DEVICES HAVE BEEN PLACED AND VERIFIED TO BE IN GOOD WORKING CONDITION PRIOR TO THE CONSTRUCTION OF ANY ROAD BASE.
31. SANITARY SEWER AND STORM DRAIN FINAL LOCATION MAP(S) SHALL BE PROVIDED TO THE CITY AND APPROVED PRIOR TO ACCEPTANCE OF FACILITY VIDEO INSPECTION. THE MAP(S) SHALL INCLUDE THE HORIZONTAL AND VERTICAL (INVERT) LOCATION OF PUBLIC SEWER MANHOLES, STORM DRAIN MANHOLES AND TRANSITION STRUCTURES, STORM DRAIN LATERALS AT THE CONNECTION TO THE STORM DRAIN MAIN AND AT THE CONNECTION TO A DROP INLET, THE CONNECTION OF SEWER SERVICE LATERALS TO THE SEWER MAIN AND WHERE THE SEWER SERVICE LATERALS EXIT THE PUBLIC RIGHT-OF-WAY, AND STORM DRAIN LATERALS, INCLUDING DEFLECTION PROFILES. THE LOCATION SHALL BE DESCRIBED BY COORDINATES WHICH SHALL BE BASED ON THE OFFICIAL HORIZONTAL AND VERTICAL CONTROL NETWORKS OF THE CITY OF LAS VEGAS. FINAL LOCATION MAPS MUST BE SEALED AND CERTIFIED BY A PROFESSIONAL ENGINEER OR SURVEYOR. A SEPARATE ELECTRONIC COPY OF THE MAP(S) SHALL BE SUBMITTED TO THE CITY OF LAS VEGAS. A SEPARATE ELECTRONIC COMMA DELIMITED FILE FOR THE SANITARY SEWER AND STORM DRAIN COORDINATES SHALL ALSO ACCOMPANY THE SANITARY SEWER AND STORM DRAIN FINAL LOCATION MAP(S).
32. CCTV VIDEO INSPECTION IS REQUIRED FOR ALL SEWER AND STORM DRAINS. THE CCTV VIDEO INSPECTIONS NEED TO BE PERFORMED PER THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS LATEST EDITION.
33. A SEPARATE BORROW PERMIT IS REQUIRED FOR ALL BORROW ACTIVITIES.

1. ALL STREET LIGHTING INSTALLATION SHALL BE IN ACCORDANCE WITH THE STREET LIGHTING PLANS, THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY, NEVADA AREA", LATEST REVISION, AND THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY, NEVADA AREA", LATEST REVISION.

5. ANY STRUCTURE, SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC., SHALL LEAVE A MINIMUM OF EIGHTEEN INCHES (18") TO THE FACE OF STREET LIGHTING POLE ON ALL SIDES WHEN STREET LIGHT IS INSTALLED BEHIND SIDEWALK, AND SHALL AT NO TIME COMPLETELY ENCLOSE THE STREET LIGHTING POLE.
6. AS-BUILT DRAWINGS SHALL BE SUPPLIED TO THE ELECTRICAL SERVICES SECTION PRIOR TO ANY PRE-FINAL INSPECTION. THE AS-BUILT DRAWINGS SHALL BE STAMPED AS-BUILT AND SIGNED BY THE PREPARER.
7. SERVICE POINTS SHALL BE COORDINATED WITH NEVADA POWER COMPANY, AND WHEREVER POSSIBLE SHALL BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINTS SHALL BE SHOWN ON THE PLANS.
8. IT SHALL BE ASSUMED THAT IN THE ABSENCE OF AN EXISTING, WORKABLE CIRCUIT TO ATTACH TO, ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUIT.
9. WHEREVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION OF STREET LIGHTING CIRCUITS AND/OR POLES, THESE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE STREET LIGHT BASES ARE INSTALLED AT NO EXPENSE TO THE CITY OF LAS VEGAS.
10. THE CONTRACTOR SHALL FURNISH COMPLETE SERVICE TO TRANSFORMERS AND CONTROL SYSTEMS IS REQUIRED ON THE PLANS.

THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE
SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST,
M.D.M., IN THE CLV. CLARK COUNTY, NEVADA.

NOTE: THIS OPINION OF THE CUT AND FILL QUANTITIES IS PROVIDED AS REQUIRED BY THE GOVERNING ENTITY. THIS INFORMATION SHOULD NOT BE USED FOR BIDDING PURPOSES. ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES. THESE TOTALS ARE RAW AND DO NOT ACCOUNT FOR SHRINKAGE AND SUBSIDENCE.

1. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
2. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.

-
- CLV GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. THE CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION IN THE AREAS INDICATED:

HORIZONTAL	VERTICAL	COMPACTION	
A. PAVEMENT AREA SUBGRADE	0.1"	+0.0' TO -0.1'	SEE SOILS REPORT
B. UNPAVED AREAS	0.5"	+0.1' TO 0.5'	SEE SOILS REPORT

COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAY OF CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.

2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND/OR CONTRACTOR TO PREVENT POLLUTANTS FROM BEING DISCHARGED TO THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN CLARK COUNTY TITLE 24.00 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES MANUAL.

3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS AGENTS DUE TO USE PERMANENTLY CEASE. SOME EXCEPTIONS MAY APPLY. REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION II.A.5.

4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER AND ACTUAL RAIN EVENT OF 0.5 INCHES OR MORE. THERE SHALL BE NO DISCHARGE OF POLLUTANTS TO THE STORMWATER CONSTRUCTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION II.A.12.

5. ACCUMULATED SEDIMENT IN BMP DESIGN SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER CONSTRUCTION OR CONSTRUCTION-RELATED ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

THE BASIS OF BEARING FOR THIS SURVEY IS THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., AS SHOWN ON FILE 90, PAGE 49 OF PLATS, CLARK COUNTY, NEVADA OFFICIAL RECORDS. SAID LINE BEARS NORTH 88°59'40" WEST.

CITY OF LAS VEGAS BENCHMARK 8LV01 32SW6 RIVET AND PLATE IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF CAMPBELL DRIVE AND PALOMINO LANE. ELEVATION = 640.727 METERS (2102.1185 FEET) (NAVD 88)

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LAS VEGAS FIRE AND RESCUE ADOPTED FIRE CODE ORDINANCE # 6325 FOR HYDRANT SPECIFICATIONS AND HYDRANT INSTALLATION SPECIFICATIONS.

19. ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITY AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS. [IFC § 503.2.3]
20. THE GRADIENT FOR THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 12% ANGLES OF APPROACH AND ANGLES OF DEPARTURE SHALL NOT EXCEED 6% FOR 25 FT PRIOR TO OR AFTER THE GRAD CHANGE. ADJACENT TO THE STRUCTURES GRADIENT SHALL NOT EXCEED 6%. [IFC § 503.2.7]
21. THE TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL NOT BE LESS THAN 52 FT OUTSIDE AND 28 FT INSIDE TURNING RADIUS. [IFC § 503.2.4]
22. VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL NOT BE LESS THAN 13 FT 6 INS. [IFC § 503.2.1]
23. FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 12 FT FLOW LINE TO FLOW LINE WITH PARALLEL PARKING PERMITTED ON BOTH SIDES. NOT LESS THAN 32 FT WIDE, FLOW-LINE TO FLOW-LINE, WHERE PARKING IS PERMITTED ONLY ON ONE SIDE OF THE FIRE APPARATUS ACCESS ROAD, NOT LESS THAN 24 FT WIDE, FLOW-LINE TO FLOW-LINE, WHERE NO PARKING IS PERMITTED ON EITHER SIDE. FIRE LANES WITH PARKING LOTS SHALL NOT BE LESS THAN 24 FT. [IFC § 503.2.1.1]
24. A FIRE APPARATUS ACCESS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150 FT FROM A FIRE DEPARTMENT VEHICLE ACCESS. THIS DISTANCE COULD BE INCREASED TO 250 FT IF THE BUILDING IS SPRINKLERED. [IFC § 503.1.1]
25. APPROVED SECONDARY FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR 100 OR MORE DWELLING UNITS, RAOUS(D) WITH DEAD-ENDS OR WITH A SINGLE POINT OF ACCESS IN EXCESS OF 600 FT, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS WHERE BUILDINGS EXCEED 2 STORIES OR 30 FEET IN HEIGHT, OR EXCEEDING 62,000 SQUARE FEET IN AREA [IFC § 503.1.2]
26. ALL DEAD-END FIRE APPARATUS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF 150 FT LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND HAVING A MINIMUM DIAMETER OR 81 FT. [IFC § 503.2]
27. ALL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, ONE SIGN AT THE END OF THE FIRE LANE AND WITH SIGNS AT INTERVALS OF 100 FT ALONG THE DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY. NO NEED TO PREVENT PARKING ON EITHER SIDE. SIGNS TO BE INSTALLED NO HIGHER THAN 10 FT OR LESS THAN 8 FT FROM THE ROADWAY LEVEL. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT (IF NO CURB PROVIDED) SHALL BE PAINTED WITH A RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS. [IFC § 503.3]
28. ELECTRICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM. SATE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE IFC

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF DESIGN & CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA, AS AMENDED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTORS TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.

2. IT SHALL BE THE CONTRACTORS' RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS, ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEERS.
3. CHISEL "S" OR "G" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
4. POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SDR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACKFILL OF TYPE I AGGREGATE BASE.
5. ALL MANHOLES IN PAVED STREETS EIGHTY FEET (80') R/W AND LARGER SHALL HAVE CONCRETE COLLARS. STREETS LESS THAN EIGHTY FEET (80') WILL REQUIRE RETROFITTING IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
6. TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCHES (12") IN DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER MAINS SHALL REQUIRE SPECIAL PROCEDURES. IN-LINE "Y" SHALL BE USED ON LINES TWELVE INCHES (12") IN DIAMETER AND ABOVE.
7. WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVWD STANDARDS WHENEVER A SEW MAIN CROSSES OVER A MAIN LINE OR THE SEWER IS LESS THAN EIGHTEEN INCHES (18") UNDER A WATER MAIN.
8. ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER JURISDICTION OF THE CITY OF VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
9. THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION MORE THAN ONE TENTH OF A FOOT (0.1') FROM THE APPROVED CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THIS TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED AND REPERMANENTED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
10. INSTALLATION OF CURVED SEWER REQUIRES THE USE OF PVC C900 WHICH ALLOWS FOR PIPE DEFLECTION AT THE JOINTS.

LWWD PROJECT #XXXXXX

1. NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY LVWVD. FOLLOWING WATER PLAN APPROVAL, NOTICE SHALL BE GIVEN TO THE LVWVD COMMUNICATION SUPPORT CENTER (288-7171) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. FOR FUTURE REFERENCE, THE WORKING DAYS MUST BE COUNTED AS 9:00 A.M. TO 5:00 P.M. THE BUSINESS DAY PRIOR TO THE REQUESTED LVWVD INSPECTION. WHEN REQUESTING INSPECTIONS, PLEASE REFER TO THE PROJECT NUMBER IDENTIFIED ABOVE.
 2. ALL WORK SHALL CONFORM TO LVWVD STANDARD PLATES, DRAWINGS, AND SPECIFICATIONS AND THE 2010 EDITION OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS). THE LATEST EDITION OF UDACS SHALL SUPERCEDE ANY CONFLICTS CONTAINED IN PREVIOUS DRAWINGS AND/OR SPECIFICATIONS.
 3. ALL WORK, EXCEPT AS MODIFIED BY THESE PLANS OR BY NOTE 2 ABOVE, SHALL BE DONE IN ACCORDANCE WITH THE 2010 EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENT, CLARK COUNTY AREA.
 4. A SINGLE PIPE MATERIAL SHALL BE USED THROUGHOUT THE PROJECT UNLESS OTHERWISE APPROVED BY THE LVWVD.
 5. ALL SERVICE LATERALS TWO INCHES (2") IN DIAMETER AND SMALLER SHALL BE TYPE "K" COPPER TUBING WITH LVWVD APPROVED SERVICE SADDLES.
 6. ALL WATER METER BOXES SHALL BE LOCATED OUTSIDE OF DRIVEWAY AREAS.
 7. ALL VALVES SHALL BE LOCATED OUTSIDE OF DRIVEWAYS, VALLEY, AND CURB GUTTERS.
 8. ALL WATER AND STORM DRAIN OR SANITARY SEWER CROSSINGS SHALL CONFORM TO SECTION 2.2 OF THE 2010 EDITION OF THE UDACS.
 9. ALL WATER FACILITIES SHALL BE FILLED, DISINFECTED, PRESSURE TESTED, FLUSHED, FILLED, AND ACCEPTABLE WATER SAMPLE OBTAINED, PRIOR TO CONNECTION TO THE LVWVD DISTRIBUTION SYSTEM.
 10. THE CONTRACTOR MUST OBTAIN ALL METERS TWO INCHES (2") AND SMALLER FROM LVWVD CENTRAL STORES. TELEPHONE 258-3152 OR 258-3802 TWO (2) WORKING DAYS PRIOR TO METER PICKUP.
 11. ANY INTERRUPTION OF SERVICE MUST BE PERFORMED IN ACCORDANCE WITH UDACS SECTION 3.14.01, AND APPROVED BY THE LVWVD INSPECTION DIVISION PRIOR TO SHUTDOWN. PROPER WRITTEN NOTIFICATION MUST BE GIVEN TO ALL AFFECTED CUSTOMERS.
 12. ALL WATER FACILITY CONSTRUCTION MATERIALS USED MUST BE AS LISTED ON THE LVWVD PRE-APPROVED MATERIALS AND MANUFACTURERS' LISTING FOR NEW FACILITIES. LATEST REVISION, OR SPECIFICALLY APPROVED ON THESE PLANS.
 13. TELEPHONE *CALL BEFORE YOU DIG* AT "811" OR 1-800-227-2620.
 14. THE INSTALLATION OF LAS VEGAS VALLEY WATER DISTRICT (LVWVD) MUNICIPAL WATER FACILITIES WILL INCLUDE THE PLACEMENT OF ASPHALT PAVING STREET SURFACES. ANY REPAIR WORK DONE BY THE LVWVD TO THE MUNICIPAL WATER FACILITY WILL INCLUDE THE PLACEMENT OF AN APPROPRIATELY SIZED ASPHALT REPAIR PATCH ON THE STREET SURFACE.
- ANY DECORATIVE PAVING SURFACE WITHIN THE STREET IS THE RESPONSIBILITY OF THE OWNER'S ASSOCIATION, OR THE INDIVIDUAL PROPERTY OWNERS IF NO OWNERS ASSOCIATION IS IN EXISTENCE, OR THE AGENCY HAVING JURISDICTION. DECORATION SURFICIALS PAID WITHIN THE STREET EASEMENT ADJUTING A PUBLIC OR PRIVATE STREET, IF DISTURBED BY THE LVWVD DURING THE REPAIR OR OPERATION OF ITS FACILITIES, WILL BE REPLACED BY LVWVD WITH AN APPROPRIATELY SIZED PAVEMENT CONCRETE PATCH. THE LVWVD WILL NOT RESTORE, AND WILL NOT BE RESPONSIBLE FOR THE RESTORATION OF, ANY DECORATIVE PAVING SURFACE WITHIN THE STREET. THE LVWVD WILL NOT ATTEMPT TO MATCH COLOR OR FINISH OF ANY ADJACENT

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREIN. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR EXISTING LOCATIONS.

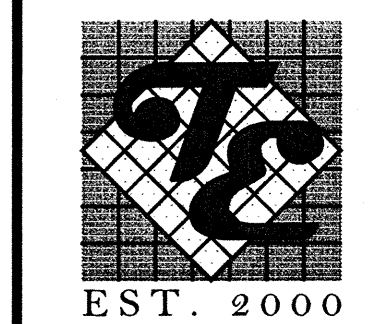
AC	ASPHALTIC CONCRETE	FG	FINISH GRADE	R	RADIUS
AVE	AVENUE	FH	FIRE HYDRANT	RCB	REINFORCED CONCRETE BOX
BC	BACK OF CURB	FL	FLOW LINE	RCP	REINFORCED CONCRETE PIPE
BCR	BACK OF CURB RADIUS	FT	FEET	ROW	RIGHT-OF-WAY
BFB	BASE FLOOD ELEVATION	G	GRADING	R	RIGHT
BFP	BACK FLOW PREVENTOR	GB	GRADE BREAK	SD	STORM DRAIN
BLM	BUREAU OF LAND MANAGEMENT	GFF	GRASS FINISH FLOOR	SHT	SHEET
B	BENCHMARK	HP	HIGH POINT	STLT	STREETLIGHT
BRPM	BRAID RAISED PAVEMENT MARKER	HPG	HIGH PRESSURE GAS	SNWA	SOUTHERN NEVADA WATER AUTHORITY
BVC	BEGIN VERTICAL CURVE	INV	INVERT	SS	SAND
BW	BOTTOM OF EXISTING WALL	LF	LINEAR FEET	ST	STREET
CATV	CABLE TELEVISION	LN	LANE	STA	STATION
CC	CLARK COUNTY	LS	LANDSCAPE	STD	STANDARD
CCFD	CLARK COUNTY FIRE DEPARTMENT	LT	LEFT	SVZ	SIGHT VISIBILITY ZONE
CL	CLARK COUNTY WATER RECLAMATION DISTRICT	LVMD	LOW VEGAS VALLEY WATER DISTRICT	SVZ	SIDEWALK
CL	CENTERLINE	MX	MAXIMUM	SY	SQUARE YARD
CLSM	CONTROLLED LOW STRENGTH MATERIAL	MH	MANHOLE	TC	TOP OF CURB
CLV	CLARK LAS VEGAS	MN	MINIMUM	TE	TELEPHONE
CMP	CORRUGATED METAL PIPE	N	NUMBER	TF	TOP OF FOOTING
CNLY	CITY OF NORTH LAS VEGAS	NTS	NOT TO SCALE	T.O.P.	TOP OF PIPE
CO	CLEAN OUT, SEWER	OC	OPEN CENTER	TR	TOP OF RETAINING
COH	CITY OF HENDERSON	PB	PULL BOX	TR	TOP OF WALL
CY	CUBIC YARD	PC	POINT OF CURVE	TYP	TYPICAL
DCSW3	DESIGN AND CONSTRUCTION STANDARDS FOR WASTE WATER COLLECTION SYSTEMS	PCC	POINT OF COMPOUND CURVE	UDMS3	UNIFORM DESIGN AND CONSTRUCTION STANDARDS
DG	DESIGN GRADE	PI	POINT OF INTERSECTION	UT	UTILITY
DI	DROP INLET	PL	PROPERTY LINE	USD	UNIFORM STANDARD DRAWING
DP	DUCTILE IRON PIPE	PLATE	PLATE	VC	VERTICAL CURVE
DR	DRIVE	POC	POINT OF CONNECTION	VCP	VERTIFIED CULY PIPE
EC	END OF CURVE	PP	POWER POLE	VG	VALLEY GUTTER
EG	EXISTING GRADE	P&P	PLAN AND PROFILE	W	WATER
ELEC	ELECTRICAL	PRC	POINT OF REVERSE CURVE	ZC	ZERO LIP CURB
EP	EDGE OF PAVEMENT	PROJ	PROJECT		
EVC	END VERTICAL CURVE	PRV	PRESSURE REDUCING VALVE		
EX	EXISTING	PT	POINT OF TANGENCY		
FF	FINISH FLOOR ELEVATION	PVC	POLYVINYL CHLORIDE		

PAVING AND GRADING	PUBLIC	PRIVATE
2" AC PAVEMENT		143 SY
TYPE II AGGREGATE BASE		24 CY
*A" TYPE CURB (USD #219)		28 LF
18" L-TYPE CURB & GUTTER (USD #216.1.S1)		109 LF
2" X 10" BLOCK WALL OPENING		2 EA
STORM DRAIN		PRIVATE
8" CONCRETE VALLEY GUTTER	57 CY	

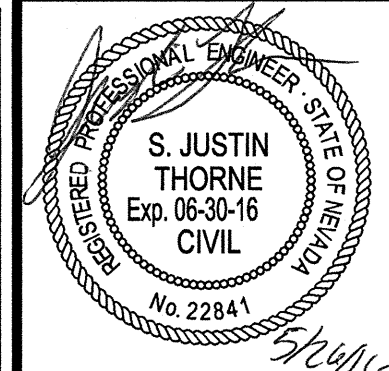
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BLUE HERON
4675 W. TECO AVE #250
LAS VEGAS, NV 89118
(702) 256-8866 FAX: (702) 256-8862

TANEY & ENGINEERING
6030 S. JONES BOULEVARD
LAS VEGAS, NV 89118
(702) 362-8844 FAX: (702) 362-5233

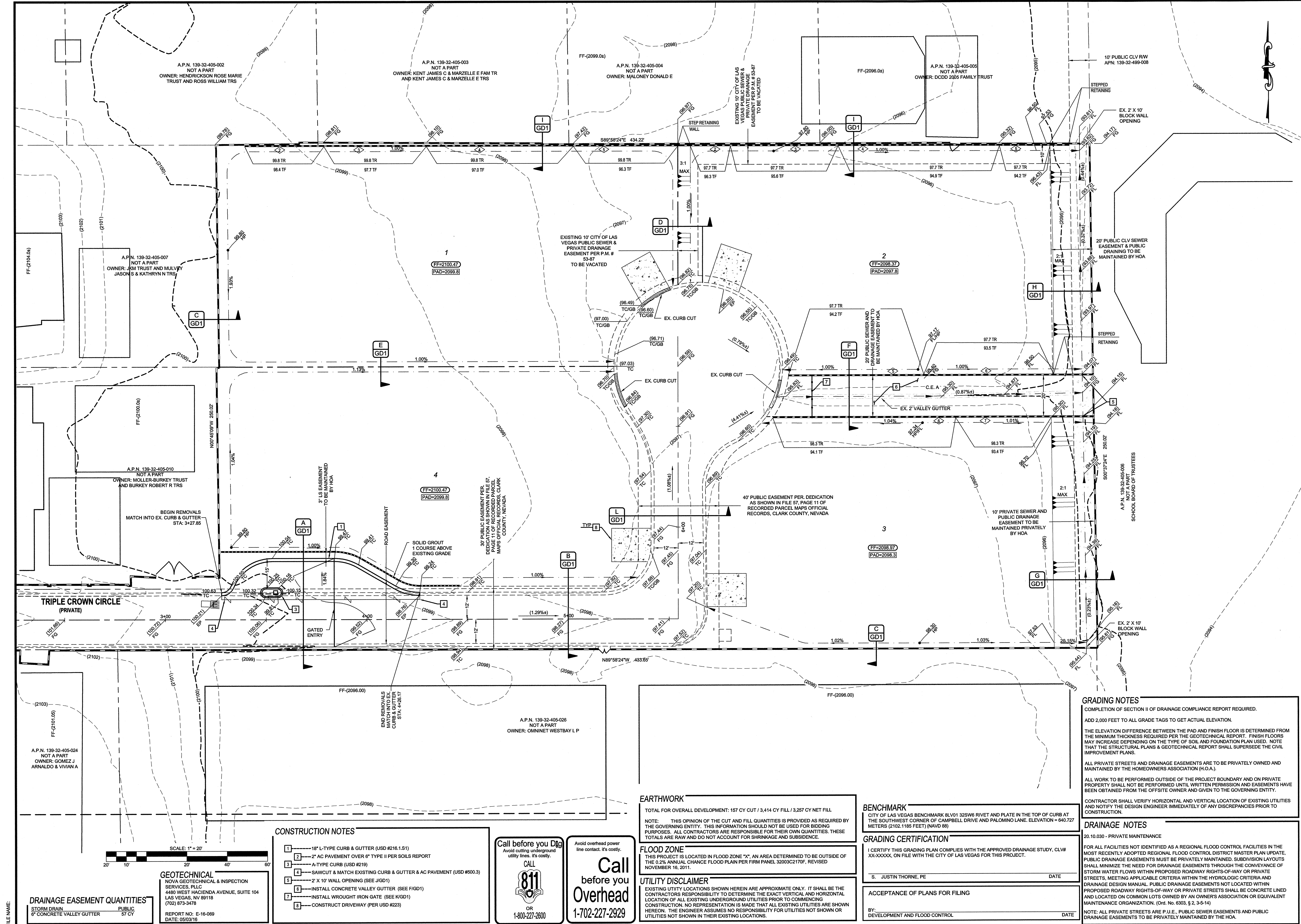


HASTINGS AND CAMPBELL
A RESIDENTIAL SUBDIVISION



DATE:		5/26/2016	
SCALE:		NTS	
JOB NO:		DXC-16-058	
DESIGNED BY:	MPB	CHECKED BY:	SJT
SHEET NAME:		C2	
SHEET NUMBER:			
2		4	

	I	S	T



DRAINAGE EASEMENT QUANTITIES

STORM DRAIN	PUBLIC
6" CONCRETE VALLEY GUTTER	57 CY

GEOTECHNICAL
NOVA GEOTECHNICAL & INSPECTION SERVICES, PLLC
4480 WEST HACIENDA AVENUE, SUITE 104
LAS VEGAS, NV 89118
(702) 873-3478
REPORT NO. E-16-069
DATE: 05/03/16

- CONSTRUCTION NOTES**
- 18" L-TYPE CURB & GUTTER (USD #216.1.S1)
 - 2" AC PAVEMENT OVER 6" TYPE I PER SOILS REPORT
 - A-TYPE CURB (USD #219)
 - SAWCUT & MATCH EXISTING CURB & GUTTER & AC PAVEMENT (USD #500.3)
 - 2' X 10' WALL OPENING (SEE JGD1)
 - INSTALL CONCRETE VALLEY GUTTER (SEE F/GD1)
 - INSTALL WROUGHT IRON GATE (SEE K/GD1)
 - CONSTRUCT DRIVEWAY (PER USD #223)

Call before you Dig
Avoid cutting underground utility lines. It's costly.
CALL 811
OR 1-800-227-2600

Call before you Overhead
Avoid overhead power line contact. It's costly.
Call before you Overhead
1-702-227-2929

EARTHWORK
TOTAL FOR OVERALL DEVELOPMENT: 157 CY CUT / 3,414 CY FILL / 3,257 CY NET FILL
NOTE: THIS OPINION OF THE CUT AND FILL QUANTITIES IS PROVIDED AS REQUIRED BY THE GOVERNING ENTITY. THIS INFORMATION SHOULD NOT BE USED FOR BIDDING PURPOSES. ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES. THESE TOTALS ARE RAW AND DO NOT ACCOUNT FOR SHRINKAGE AND SUBSIDENCE.

FLOOD ZONE
THIS PROJECT IS LOCATED IN FLOOD ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER FIRM PLAN 32003C2170F, REVISED NOVEMBER 16, 2011.

UTILITY DISCLAIMER
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BENCHMARK
CITY OF LAS VEGAS BENCHMARK 8LV01 325W6 RIVET AND PLATE IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF CAMPBELL DRIVE AND PALOMINO LANE. ELEVATION = 540.727 METERS (2102.1185 FEET) (NAVD 88)

GRADING CERTIFICATION
I CERTIFY THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY, CLV# XX-XXXX, ON FILE WITH THE CITY OF LAS VEGAS FOR THIS PROJECT.

S. JUSTIN THORNE, PE	DATE
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ACCEPTANCE OF PLANS FOR FILING

BY: DEVELOPMENT AND FLOOD CONTROL	DATE
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GRADING NOTES
COMPLETION OF SECTION II OF DRAINAGE COMPLIANCE REPORT REQUIRED.
ADD 2,000 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.
THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.
ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).
ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO THE GOVERNING ENTITY.

DRAINAGE NOTES
20.10.030 - PRIVATE MAINTENANCE
FOR ALL FACILITIES NOT IDENTIFIED AS A REGIONAL FLOOD CONTROL FACILITIES IN THE MOST RECENTLY ADOPTED REGIONAL FLOOD CONTROL DISTRICT MASTER PLAN UPDATE, PUBLIC DRAINAGE EASEMENTS MUST BE PRIVATELY MAINTAINED. SUBDIVISION LAYOUTS SHALL MINIMIZE THE NEED FOR DRAINAGE EASEMENTS THROUGH THE CONVEYANCE OF STORM WATER FLOWS WITHIN PROPOSED ROADWAY RIGHTS-OF-WAY OR PRIVATE STREETS, MEETING APPLICABLE CRITERIA WITHIN THE HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL. PUBLIC DRAINAGE EASEMENTS NOT LOCATED WITHIN PROPOSED ROADWAY RIGHTS-OF-WAY OR PRIVATE STREETS SHALL BE CONCRETE LINED AND LOCATED ON COMMON LOTS OWNED BY AN OWNERS ASSOCIATION OR EQUIVALENT MAINTENANCE ORGANIZATION. (Ord. No. 6303, § 2, 3-5-14)
NOTE: ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOA.

BLUE HERON 4675 W. TECO AVE #250 LAS VEGAS, NV 89118 (702) 255-8866 FAX: (702) 255-8862		TANEY & ENGINEERING 6900 S. JONES BLVD LAS VEGAS, NV 89118 (702) 362-8444 FAX: (702) 362-5233	
HASTINGS AND CAMPBELL A RESIDENTIAL SUBDIVISION		GRADING PLAN	
EST. 2000		NO. DESCRIPTION BY SHTS. APPR. DATE	
REVISIONS			
DATE: 5/26/2016		JOB NO: DXC-16-058	
SCALE: 1"=20'		DESIGNED BY: MPB CHECKED BY: SJT	
SHEET NAME: G1		SHEET NUMBER: 3 OF 4	

