

DS #: 4704

APN: 125-20-301-028

PROJECT: GOODWILL @ DURANGO & DEER SPRINGS

SUBMITTAL: 2ND & SUPPLEMENT

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		January 7, 2015
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	COPIES TO:	
Drainage Study for:	Rietz Consulting, Inc	
Goodwill at Durango & Deer Springs		
Cross Streets:	NWC of Durango Road & Echelon Point Dr.	BCP-Deer Springs, LLC
File Number:	F:\Depot\DSMemos\DS4704C.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-20-301-028	
Zoning Action:	MOD-55735 & SDR-55737	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES X	NO

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	10/21/2014	11/3/2014	Not Approved	\$400.00	374079: \$400
2 nd Submittal	11/24/2014	12/8/2014	Conditional Approval	\$400.00	377747: \$400
Supplement	1/7/2015	1/7/2015	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. All drainage easements must be public drainage easements to be privately maintained by the property owner to be labeled on the grading plans and to be dedicated as such in the final map or by separate document. The proposed public drainage easements must be recorded prior to the final approval of the improvement plans.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Update and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS

ays

T/R/S: T19S/R60E/20

AREA G-20



City of Las Vegas Planning Department
RE: Justification Letter for Grading
APN # 125-20-301-028

Dear City Planner,

Please accept this letter of explanation for the Grade Difference of the Building relative to Durango on the above referenced parcel of land. The site was approved at City Council under MOD 55735 and SDR 55737.

The subject parcel is 1.8 acres and is located on Durango and Echelon Point. The property is existing as vacant land. The existing topography is very steep with the grades on Durango at the entry of 2567 and the western edge of the property at 2578. We have graded the site to match at the western property line and with a slope/wall between the property and the building. The building setback is 20 feet from the west property line and is set approximately 4 feet lower than the exiting match point on the western property line and the grade in the drive is down to Durango varies from 4% to 10% max. The Finished Floor is set at 2573.9 which is 6.9 feet higher than Durango at the middle of the entry.

This project is constructing Echelon Point and the pedestrian access to the building will come from Echelon Point as this is the only route that allows for ADA access.

We are also matching in on our north property line with the ARCO that was just recently constructed in which the building was permitted with the same grade difference from Durango.

Therefore we are requesting approval on the grading based upon these conditions. A copy of the grading plan for the site and the plan and profile for Echelon are included for your review and approval.

If you have any questions, please give me a call on my cell at 521-3355.

Sincerely,

Eric Rietz PE, PLS
Rietz Consulting, Inc.

CDR-55737
MOD-55735
TXT 54143

12.17.14

3060 E Post Rd # 110 Las Vegas, NV 89120
(702) 521-3355

PLANS APPROVED
PLANNING
Building & Safety Dept.
City of Las Vegas, Nevada
2' +/- GRADE DIFFERENCE ONLY
LHM JAN 07 2015
conforms to the minimum requirements of
LVMC Title 19, applicable Master Plan
development standards and/or Conditions of
Approval. Make No Change Without Approval.
Plan is Not a Permit to Violate Any Ordinance.



LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6511
TTY 7-1-1
www.lasvegasnevada.gov



City of Las Vegas

December 22, 2014

Mr. James Marsh
P.O. Box 42156
Las Vegas, Nevada 89116

RE: SDR-55737 [PRJ-54989] - SITE DEVELOPMENT PLAN REVIEW
RELATED TO MOD-55735
CITY COUNCIL MEETING OF DECEMBER 17, 2014

Dear Applicant:

The City Council at a regular meeting held December 17, 2014 APPROVED the request for a Site Development Plan Review FOR A PROPOSED 17,158 SQUARE-FOOT THRIFT SHOP WITH WAIVERS OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW THE PROPOSED BUILDING TO BE LOCATED AWAY FROM RIGHTS-OF-WAY WHERE 60 PERCENT OF THE BUILDING IS TO BE PLACED AT THE BUILD-TO LINE on 1.89 acres on the west side of Durango Drive, approximately 335 feet south of Deer Springs Way (APN 125-20-301-028), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation] [PROPOSED: EC-TC (Employment Center Mixed Use - Town Center)]. The Notice of Final Action was filed with the Las Vegas City Clerk on December 18, 2014. This approval is subject to:

Planning

1. Approval of a Major Modification (MOD-55735) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan and building elevations, date stamped 10/07/14, and the landscape plan date stamped 10/22/14, except as amended by conditions herein.
4. The donation drop-off lanes shall only be operational during normal business hours.
5. A Waiver from the Town Center Development Standards Manual is hereby approved, to allow zero percent of the proposed retail building to be built at the setback lines where 60 percent is required.
6. An Exception from Title 19.08.040(E) is hereby approved, to allow an internal trash collection facility in lieu of a screened trash enclosure on the property.

7. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device. The technical landscape plan shall include the following changes from the conceptual landscape plan:
10. Provide eight additional 24-inch box shade trees in the parking area for a total of 21 parking lot trees. Three additional islands shall also be provided.
11. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Grant pedestrian access easements for all public sidewalks located outside of the public right-of-way on Echelon Point Drive and Durango Drive, if any, prior to the issuance of any building permits.
14. Construct half-street improvements on Durango Drive and Echelon Point Drive meeting Town Center Development Standards adjacent to this site, concurrent with development. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
15. Per condition #15 of SDR-50105, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network; the connecting sidewalk shall be terminated on site with a handicap ramp.
16. Per condition #16 of SDR-50105, extend public sewer in Echelon Point Drive from Durango Drive to the western edge of this site at a size, depth and location acceptable to the Collection System Planning section of the Department of Public Works. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.

Mr. James Marsh
SDR-55737 – PAGE THREE
December 22, 2014

17. Landscape and maintain all unimproved rights-of-way adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. Submit an Encroachment Agreement for landscaping and private improvements in the Echelon Point Drive and Durango Drive public rights of way prior to the issuance of permits for these improvements. The applicant must carry an insurance policy for the term of the Encroachment Agreement and add the City of Las Vegas as an additionally insured entity on this insurance policy. If requested by the City, the applicant shall remove property encroaching in the public right of way at the applicant's expense pursuant to the terms of the City's Encroachment Agreement. The installation and maintenance of all private improvements in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement. Coordinate all requirements for the Encroachment Agreement with the Land Development Section of the Department of Building and Safety (229 4836).
19. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site. Mr. James Marsh
20. Site development to comply with all applicable conditions of approval for SDR-50105 and all other applicable site-related actions.

Sincerely,



Gabriela Portillo-Brenner
Deputy City Clerk for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Andrew Sobel
Brentwood Capital Partners
1437 7th Street, Ste. 200
Santa Monica, California 90401

Mr. George Garcia
G.C. Garcia, Inc.
1055 Whitney Ranch Dr., Ste. 210
Henderson, Nevada 89014



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BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

December 22, 2014

Mr. James Marsh
P.O. Box 42156
Las Vegas, Nevada 89116

RE: MOD-55735 [PRJ-54989] - MAJOR MODIFICATION RELATED TO SDR-
55737
CITY COUNCIL MEETING OF DECEMBER 17, 2014

Dear Applicant:

The City Council at a regular meeting held December 17, 2014 APPROVED the request for a Major Modification of the Town Center Land Use Plan to Amend the Special Land Use Designation FROM: GC-TC (GENERAL COMMERCIAL - TOWN CENTER) TO: EC-TC (EMPLOYMENT CENTER MIXED USE - TOWN CENTER) on 1.89 acres on the west side of Durango Drive, approximately 335 feet south of Deer Springs Way (APN 125-20-301-028). The Notice of Final Action was filed with the Las Vegas City Clerk on December 18, 2014.

Sincerely,

Gabriela Portillo-Brenner
Deputy City Clerk for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Andrew Sobel
Brentwood Capital Partners
1437 7th Street, Ste. 200
Santa Monica, California 90401

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city of las vegas

2014 WINNER OF THE U.S. CONFERENCE OF MAYORS CLIMATE PROTECTION AWARD

ADDENDUM #1
TO THE
TECHNICAL DRAINAGE STUDY
FOR
GOODWILL
AT
DURANGO & DEER SPRINGS

Reid: 11/29/14

DS # 704

G-20

\$400

City of Las Vegas, Nevada

NOVEMBER 2014

Prepared By:



Rietz Consulting, Inc.

3060 E. Post Road, Suite #110; Las Vegas, Nevada 89120
Phone: 702-521-3355 Fax: 702-212-3693

Prepared For:

BCP-DEER SPRINGS, LLC

6725 South Eastern Avenue #2

Las Vegas, NV 89119

Phone: 702-868-7870 Fax 702-868-8215

ADDENDUM #1
TO THE
TECHNICAL DRAINAGE STUDY
FOR
GOODWILL
AT
DURANGO & DEER SPRINGS

City of Las Vegas, Nevada

NOVEMBER 2014

Prepared By:



Rietz Consulting, Inc.

3060 E. Post Road, Suite #110; Las Vegas, Nevada 89120
Phone: 702-521-3355 Fax: 702-212-3693

Prepared For:

BCP-DEER SPRINGS, LLC
6725 South Eastern Avenue #2
Las Vegas, NV 89119

Phone: 702-868-7870 Fax 702-868-8215

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: Goodwill at Durango and Deer Springs Addendum 1 Date: November 2014

Location of Development: a) Descriptive (Cross Streets) North/South: Durango
 East/West: Deer Springs
 b) Section: 20 Township: 19S Range: 60E
 c) APN : 125-20-301-028

Name of Owner: BCP-Deer Springs, LLC

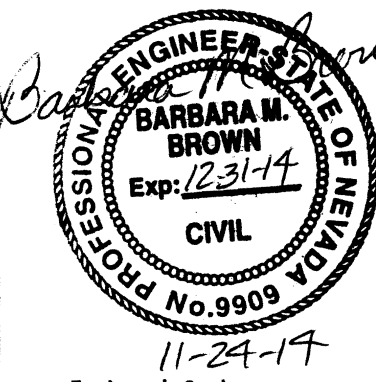
Telephone No.: 702-868-7870 Fax No.: 702-868-8215 E-Mail Address: Asif@activecommercially.com
 Address: 6725 South Eastern Avenue #2, Las Vegas, NV 89119

Contact Person-Name: Eric Rietz Telephone No.: 702.521.3355
 E-Mail Address: Eric.rietz@gmail.com Fax No.: _____
 Firm: Rietz Consulting, Inc.
 Address: 3060 East Post Road, #110, Las Vegas, NV 89120

Type of Land Development/Land Disturbance Process:

☐ Rezoning	☐ Subdivision Map	☐ Clearing and Grading Only
☐ Parcel Map	☐ Planned Unit Development	☒ Other (Please specify below)
☐ Large Parcel Map	☐ Building Permit	commercial development

- Total Owned Land Area: At Site: 1.89 Being Developed/Disturbed: 1.89
- Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No
- Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No
- Proposed type of development (Residential, Commercial, Etc.): Commercial
- Approximate upstream land area which drains to the subject site: 16 acres
- Has the site drainage been evaluated in the past? ☐ YES ☒ NO If yes, please identify documentation: _____
- If known, please briefly identify the proposed discharge point(s) of runoff from the site: _____
 Discharge to fully-improved street section of Durango Drive to the east.
- Briefly describe your proposed schedule for the subject project: ASAP

 Engineer's Seal	Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study. (New Required Field) **Review and concurrence of the Clark County Regional Flood Control District is required. <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;">Revision</th> <th style="width: 40%;">Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table> Local Entity File No. _____	Revision	Date								
Revision	Date										
REFERENCE:	STANDARD FORM 1										



November 24, 2014

Albert Sung, P. E.
Flood Control Project Engineer
City of Las Vegas Public Works Department
333 North Rancho Drive
Las Vegas, NV 89106

Subject: *Addendum #1 to the Technical Drainage Study for
Goodwill at Durango & Deer Springs*
DS04704A

Mr. Sung:

We have received the review comments for the above-referenced project, dated November 4, 2014, by City of Las Vegas. A coordination meeting was held with you and Eric Rietz and Barbara Brown of our staff on November 13, 2014. Several items were discussed and agreed upon at the meeting. Each comment is reiterated and the response to each is below:

1. Provide a copy of the zoning/planning conditions associated with this site (MOD-55735 & SDR-55737) with the next submittal to verify compliance with conditions. Flood Control will not issue conditional approval of the drainage study without the associated zoning/planning conditions (issued by the City Council). Any associated Conditions of approval that revise the site drainage parameters will require that the drainage study be revised and resubmitted.

This was discussed in the coordination meeting. The project was heard and approved by City Planning Commission, and the hearing for the City Council is not until December; however, it was agreed that this addendum submittal could be made prior to that hearing.

2. Sites with a grade difference of 2 feet above or below existing are required to have approval from the City Planning and Development Department. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the City Planning Department (229-6301). The engineer must provide Planning approval with the next submittal.

The project has been coordinated with Linda Hartman of City Planning Department. The grading plans were found to be acceptable and have attained approval by City Planning.

3. The Proposed finished floor elevation of the new building does not meet regional criteria as to Echelon Point Drive. The corresponding flow line elevation in Echelon Point Drive per the high side of the building is 74.62 FL, the proposed building is set at FF=73.90, which is lower. Without providing twice the depth (100-year storm event), an alternative remedy is to provide a hump at the driveway with a minimum of six inches freeboard. However, the proposed TC/HPs in the driveway entrance in Echelon Point Drive with $d_{100}=0.60'$ also do not meet the criteria. Review and revise accordingly.

This was discussed at the coordination meeting. It was agreed to provide a hump situation at the driveway, having six inches minimum freeboard above the d_{100} in Echelon Point Drive. Revisions to the grading have been included on the drawings in this submittal package.

4. Consider getting permission for offsite grading in the adjacent property to the west so as to avoid all the proposed onsite drainage easements and results in a clean onsite drainage pattern.

This was discussed in the coordination meeting. It is noted that even though the site adjacent to the subject site on the north has used the patent easement for grading an offsite swale, this option is not available for the subject site. The onsite drainage easements are necessary for discharge of drainage approaching from the west.

5. All drainage easements must be public drainage easements to be privately maintained by the property owner to be labeled on the grading plans and to be dedicated as such in the final map or by separate document. The minimum width for a public drainage easement is 10- if the 100-year flow is less than 20 cfs. Revise the grading plan and all pertinent details accordingly.

The revised grading plans in this submittal package show all onsite drainage easements to be 10-foot wide, public drainage easements to be privately maintained.

6. Provide an exhibit (11x 17") that shows the overall schematic of the proposed public drainage easements (privately maintained) in the next submittal.

A display figure showing the onsite drainage easements is included in the appendix of this submittal package.

7. Revise all drop inlets to be Type "CM" or Neenah Pre-cast inlets. Contact Raul Cruz at 702-229-3224 for an AutoCAD detail to be included within the improvement plans if Type "CM" drop inlets are to be used. Note that the lengths of "CM" inlets are in the multiple of 2.5'. Revise all pertinent construction notes and callouts accordingly.

The inlet planned for Echelon Point Drive has been revised on the drawings in this submittal package to be a Type CM drop inlet. The inlet was re-sized to a length of 15 feet.

8. It is proposed to connect a new 24" RCP to an existing 24" RCP in Echelon Point Drive. Provide a connection detail in the next submittal

This was discussed in the meeting. It was agreed that a detail is not necessary since the existing 24" pipe was installed being intended as a stub for future connection, it likely has an in-tact bell end section. If, once excavated, it is found not to have an in-tact bell end, there is enough length (more than 20 lineal feet) in order to remove one section of pipe and the next bell end can be easily connected to, and a collar detail is not necessary for this project.

9. The Drawing number labeled on the grading plan for an existing storm drain system in Durango Drive is not correct. Review and revise accordingly in the next submittal.

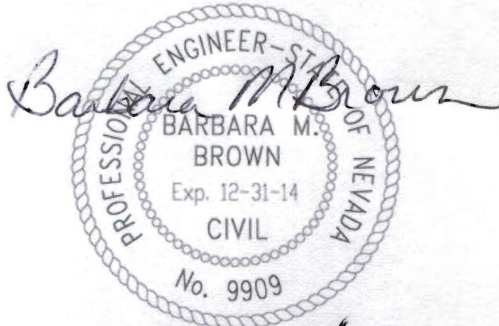
The reference drawing number has been revised on the drawings in this submittal package.

10. Add a note in all pertinent sheets for the construction of all storm drain drop inlets per a newly adopted USDCCA Drawing No. 421 (Stormwater Quality Management Stamp and Sign Detail).

The note has been added to the revised drawings in this submittal package.

We hope that this submittal resolves the issues of concern with the project. If you need additional information please contact me at 702-376-8801 or email: Momentum1@cox.net.

Sincerely,



11-24-14

Momentum Engineers, Ltd.
Barbara M. Brown, P. E.
Subcontractor for
Rietz Consultants



APPENDIX



COPY OF COMMENT LETTER

CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		November 4, 2014
TO: Land Development Services Department of Building & Safety		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	
	Goodwill at Durango & Deer Springs	
Cross Streets:	NWC of Durango Road & Echelon Point Dr.	COPIES TO:
File Number:	F:\Depot\DSMemos\DS4704A.doc	Rietz Consulting, Inc
Parcel Number:	125-20-301-028	BCP-Deer Springs, LLC
Zoning Action:	MOD-55735 & SDR-55737	Bart Anderson, P.E., DevCo
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES X	NO

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	10/21/2014	11/3/2014	See Comments Below	\$400.00	374079: \$400
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. Provide a copy of the zoning/planning conditions associated with this site (**MOD-55735 & SDR-55737**) with the next submittal to verify compliance with conditions. *Flood Control* will not issue conditional approval of the drainage study without the associated zoning/planning conditions (issued by the *City Council*). Any associated conditions of approval that revise the site drainage parameters will require that the drainage study be revised and resubmitted.
2. Sites with a grade difference of 2 feet above or below existing are required to have approval from the *City Planning and Development Department*. The engineer must submit copies of the grading plans and detail sheet with a letter justifying the grade difference to the *City Planning Department* (229-6301). The engineer must provide Planning approval with the next submittal.
3. The proposed finished floor elevation of the new building does not meet regional criteria as to *Echelon Point Drive*. The corresponding flow line elevation in *Echelon Point Drive* per the high side of the building is 74.62FL, the proposed building is set at F.F. =73.90 which is lower. Without providing twice-the-depth (100-year storm event), an alternative remedy is to provide a hump at the driveway with a minimum of six inches freeboard. However, the proposed TC/HPs in the driveway entrance in *Echelon Point Drive* with $d_{100}=0.60'$ also do not meet the criteria. Review and revise accordingly.
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The proposed public drainage easements must be recorded prior to the final approval of the improvement plans.

6. Provide an exhibit (11" x 17") that shows the overall schematic of the proposed public drainage easements (privately maintained) in the next submittal.
7. Revise all drop inlets to Type "CM" or Neenah Pre-cast inlets. Contact Raul Cruz at 229-3224 for an AutoCAD detail to be included within the improvement plans if Type "CM" drop inlets are used. Note that the lengths of "CM" inlets are in the multiple of 2.5'. Revise all pertinent construction notes and callouts accordingly.
8. It is proposed to connect a new 24"-RCP to an existing 24"-RCP in *Echelon Point Drive*. Provide a connection detail in the next submittal.
9. The drawing number labeled on the grading plan for an existing storm drain system in *Durango Drive* is not correct. Review and revise accordingly in the next submittal.
10. Add a note in all pertinent sheets for the construction of all storm drain drop inlets per a newly adopted USDCCA Drawing No. 421 (*Stormwater Quality Management Stamp and Sign Detail*).

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

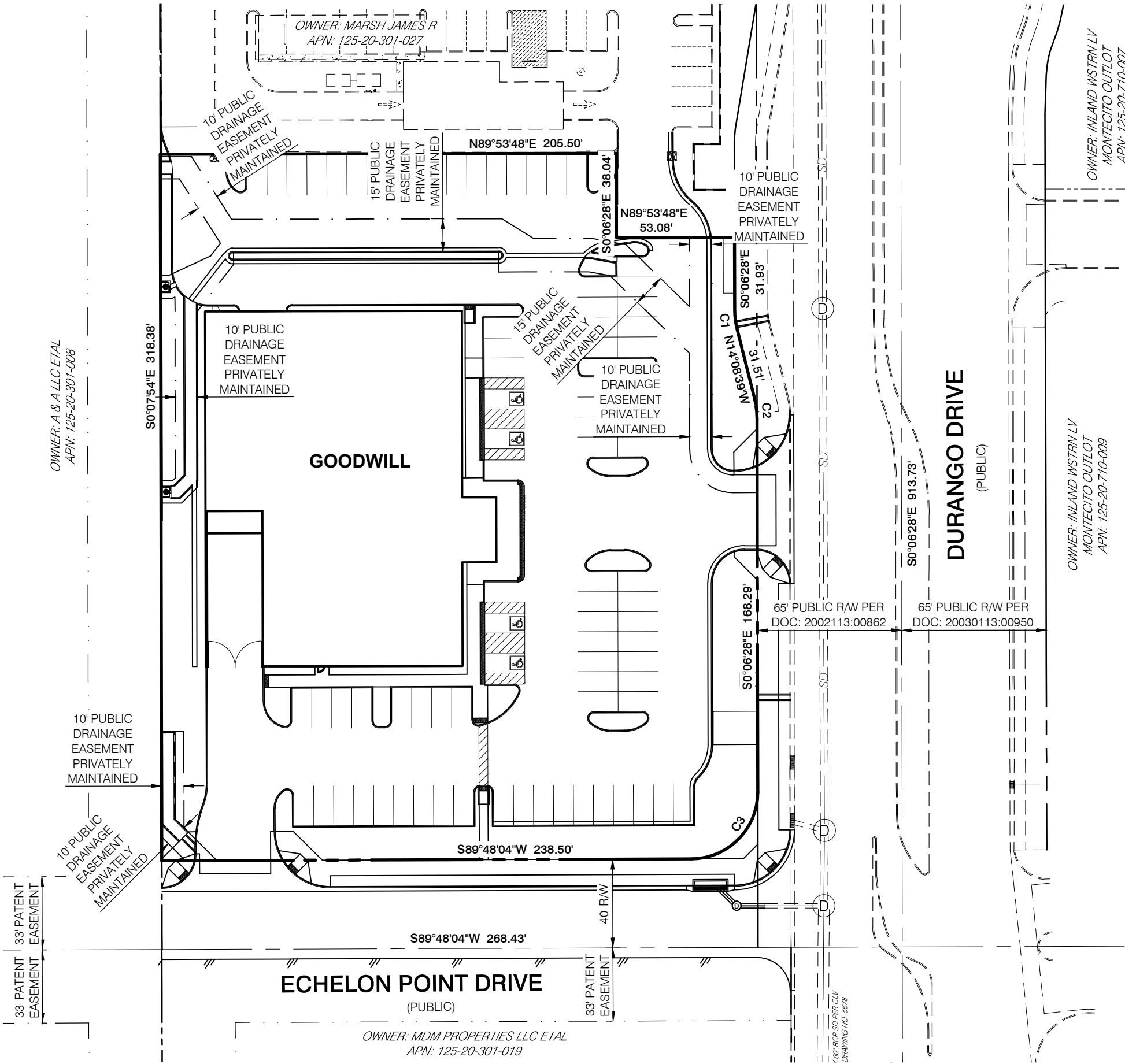
END OF REMARKS

ays

T/R/S: T19S/R60E/20
AREA G-20

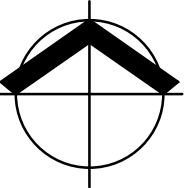


COMMENT 6 - DRAINAGE EASEMENT EXHIBIT



LEGEND

	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	PROPERTY LINE
	CENTER LINE
	EASEMENT
	PATENT EASEMENT
	EXST "L" TYPE CURB
	EXST "A" TYPE CURB
	WALL
	EXST EDGE OF PAVEMENT
	EXST EDGE OF SIDEWALK
	"L" TYPE CURB
	"A" TYPE CURB
	EDGE OF SIDEWALK
	EXST STORM DRAIN
	STORM MANHOLE
	EXISTING
	PROPOSED



SCALE: 1" = 50'



SITE DATA

APN No.	ACREAGE:	ZONING
125-20-301-028	1.89	U(TC)

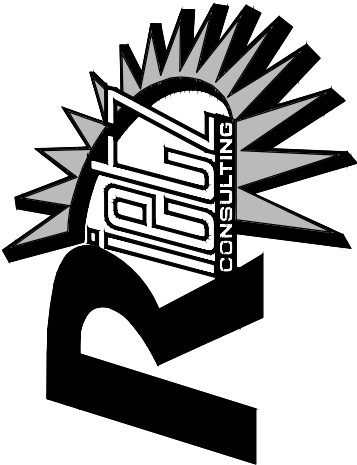
PROPERTY CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	9.68'	39.50'	14°02'11"00
C2	9.68'	39.50'	14°02'11"00
C3	47.08'	30.00'	89°54'32"00

BASIS OF BEARING

SOUTH 89°54'17" WEST, BEING THE BEARING OF THE CENTERLINE OF DEER SPRINGS WAY AS SHOWN IN FILE 118, PAGE 89 OF SURVEYS AND PARCEL MAP IN FILE 119, PAGE 59 IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA

DRAINAGE EASEMENT EXHIBIT



RIETZ
CONSULTING INC.

GOODWILL @ DURANGO & DEER SPRINGS
LAS VEGAS, NEVADA
APN # 125-20-301-028

3060 E. POST ROAD, #110
LAS VEGAS, NEVADA 89120
PH: 702.521.3355
FX: 702.891.5397



COMMENT 7 - DROP INLET CALCULATIONS

Cross Section for DI type CM on Echelon Point north side

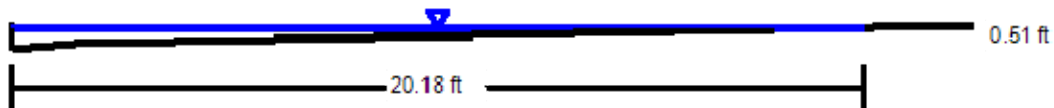
Project Description

Solve For Spread

Input Data

Discharge	18.00	ft ³ /s
Spread	20.18	ft
Gutter Width	1.50	ft
Gutter Cross Slope	0.09	ft/ft
Road Cross Slope	0.02	ft/ft
Local Depression	2.00	in
Local Depression Width	1.50	ft
Grate Width	1.50	ft
Grate Length	15.00	ft
Grate Type	P-50 mm (P-1-7/8")	
Clogging	50.00	%
Curb Opening Length	15.00	ft
Opening Height	0.50	ft
Curb Throat Type	Horizontal	
Throat Incline Angle	90.00	degrees

Cross Section Image



V: 1
H: 1

Project Description

Input Data

Options

Results

Spread	20.18	ft
Depth	0.51	ft
Gutter Depression	0.11	ft
Total Depression	0.27	ft
Open Grate Area	10.13	ft ²
Active Grate Weir Length	16.50	ft



REVISED GRADING PLANS

LEGEND

---	PROPERTY BOUNDARY
---	RIGHT-OF-WAY
---	PROPERTY LINE
---	CENTER LINE
---	EASEMENT
---	EXST "L" TYPE CURB
---	EXST "A" TYPE CURB
---	EXST MAJOR CONTOUR LINE
---	EXST MINOR CONTOUR LINE
---	EXST SCREEN WALL AS INDICATED
---	EXST EDGE OF PAVEMENT
---	EXST EDGE OF SIDEWALK
---	EXST UNDERGROUND POWER
---	EXST FIBER OPTICS
---	EXST STORM DRAIN
---	EXISTING
---	PROPOSED
⊙	STORM MANHOLE
⊙	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
⊙	FIBER BOX
⊙	CABLE TV BOX
⊙	ELECTRICAL MANHOLE
⊙	STREET LIGHT BOX
⊙	POWER POLE
⊙	SERVICE POLE
⊙	TRANSFORMER
⊙	STREET LIGHT CABINET
⊙	STREET LIGHT
⊙	TRAFFIC SIGNAL
⊙	TRAFFIC SIGNAL BOX
⊙	AREA LIGHT
---	"L" TYPE CURB
---	"A" TYPE CURB
---	EDGE OF SIDEWALK
---	SWALE FLOW LINE
---	SAWCUT

EX. STORM DRAIN MANHOLE TABLE		
EX. SDMH #1 1" STA: 70+53.61 OFFSET: 35.04 L RIM: 2564.2 INV IN (24" W): 2557.21 INV IN (42" W): 2556.27 INV OUT (24" S): 2556.17	EX. SDMH #2 1" STA: 70+89.58 OFFSET: 35.04 L RIM: 2564.6 INV IN (24" W): 2558.48 INV IN (42" W): 2558.40 INV THRU (42"): 2557.08	EX. SDMH #3 1" STA: 73+24.77 OFFSET: 35.42 L RIM: 2568.1 INV THRU (42"): 2561.97

STORM DRAIN MANHOLE TABLE	
SDMH #1 60" TYPE I SDMH SD STA: 0+24.23 1" STA: 15+92.25 OFFSET: 18.75 L RIM: 2564.69 INV IN: 2567.76 INV OUT: 2567.58	

PROPERTY CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	9.68'	39.50'	14°02'11"
C2	9.68'	39.50'	14°02'11"
C3	47.08'	30.00'	89°54'32"

NOTES

- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING STRUCTURES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED OR OBSERVED DURING CONSTRUCTION.

FLOOD ZONE

THIS SITE IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C1745 E. CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

BENCHMARK

BEING A RIVET AND ROUND ALUMINUM PLATE, STAMPED CITY OF LAS VEGAS BENCHMARK #6LV0 20N6, IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND DORRELL LANE. ELEVATION = 2587.82 FEET, REFERENCED TO N.A.V.D. 88 DATUM

BASIS OF BEARING

SOUTH 89°04'17" WEST, BEING THE BEARING OF THE CENTERLINE OF DEER SPRINGS WAY AS SHOWN IN FILE 116, PAGE 89 OF SURVEYS AND PARCEL MAP IN FILE 116, PAGE 59 IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA

DISCLAIMER NOTE:

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.

CALL BEFORE YOU DO OVERHEAD

1-702-227-2929

Call before you Dig

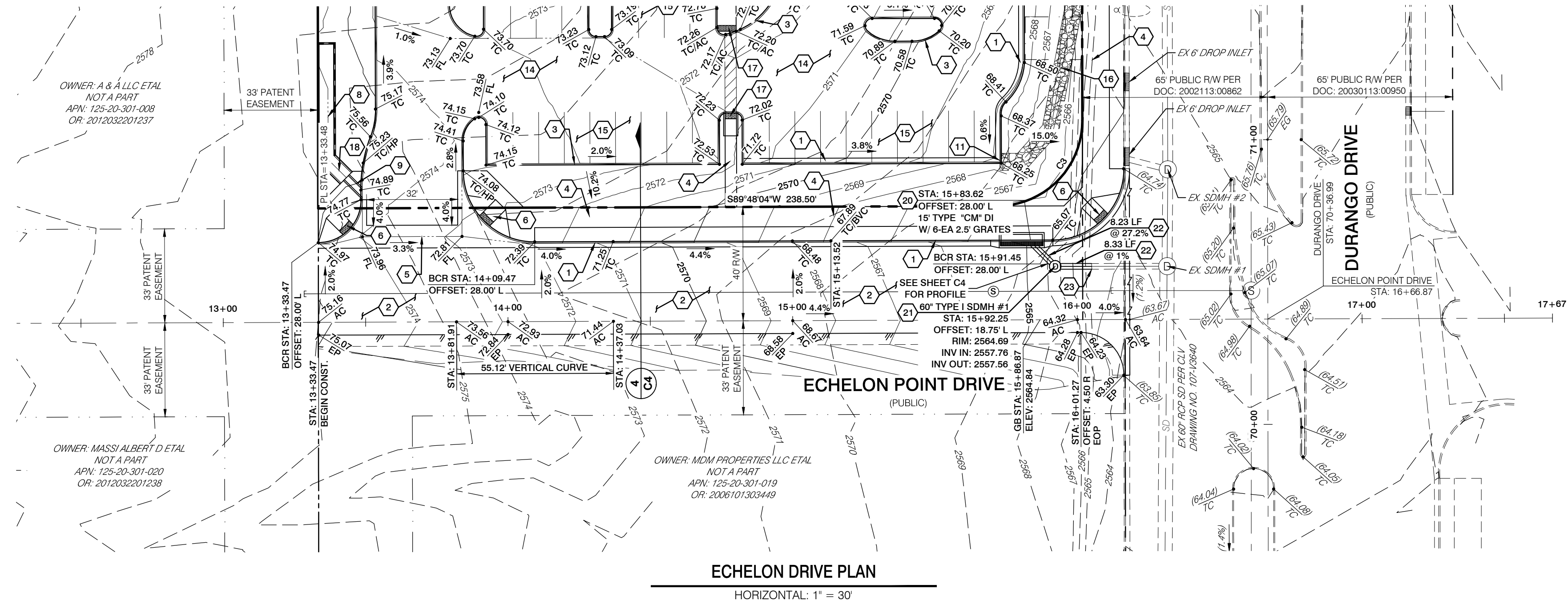
1-800-227-2600 OR 1-800-432-5300

CLARK COUNTY TRAFFIC OPERATIONS AND FREEWAY AND ARTERIAL SYSTEM OF TRANSPORTATION

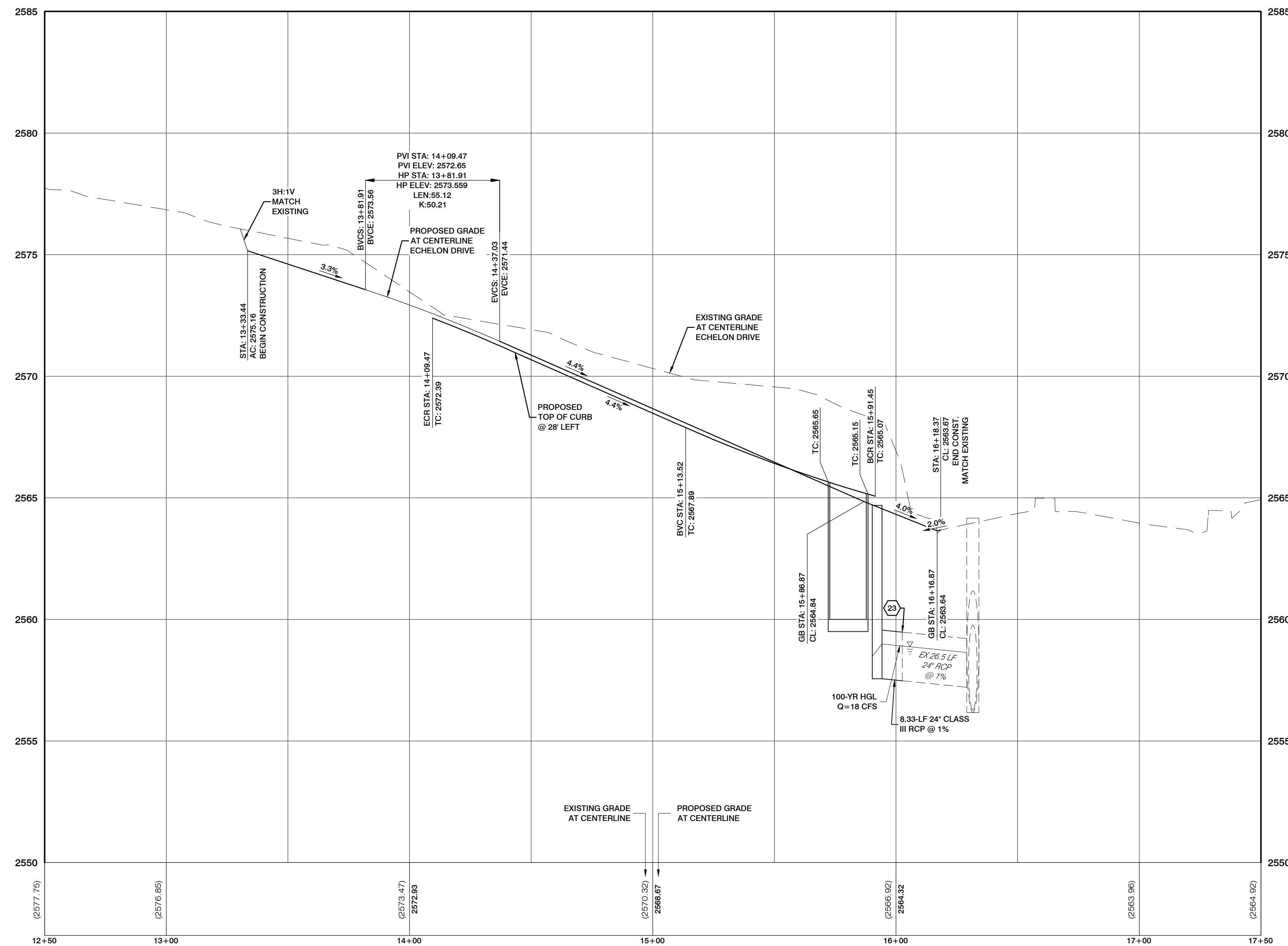
AVOID HITTING UNDERGROUND TRAFFIC SIGNAL SYSTEMS AND STREET LIGHT SYSTEMS AND CONDUITS. IT'S COSTLY.

Call before you do UnderGround

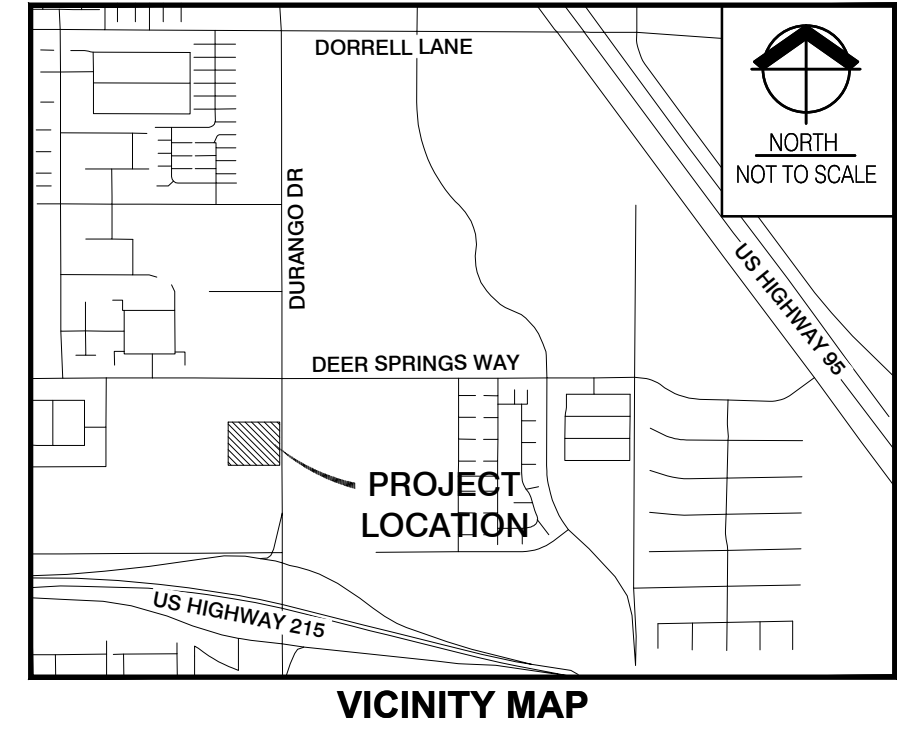
1-702-455-6000 AND 1-702-455-5300



ECHOLON DRIVE PLAN
HORIZONTAL: 1" = 30'



ECHOLON DRIVE PROFILE
HORIZONTAL: 1" = 30'
VERTICAL: 1" = 3'



VICINITY MAP

LEGEND

EXISTING	PROPOSED
00.00 TC	00.00 TC
00.00 EG	00.00 FG
00.00 EP	00.00 EP
00.00 FL	00.00 FL
00.00 AC	00.00 AC
00.00 TRW	00.00 TRW
00.00 TF	00.00 TF
	00.00 HP
	00.00 GB

GRADING

- CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
- ECHOLON POINT DRIVE PAVEMENT, INSTALL 4" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT "A" CURB AND GUTTER PER CCAUSD #219
- CONSTRUCT SIDEWALK PER CCAUSD #234
- CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #224
- CONSTRUCT CASE III SIDEWALK RAMPS USING ARMOR TILE TRUNCATED DOMES OR EQUIV. PER CCAUSD #236
- CONSTRUCT 2" VALLEY GUTTER PER DETAIL 7, SHEET C4
- CONSTRUCT 5" FLUME ADJACENT TO RETAINING WALL PER DETAIL 8, SHEET C4
- CONSTRUCT SIDEWALK UNDER DRAIN PER CCAUSD #236
- INSTALL 24" NYLOPLAST INLINE DRAIN W/ BEE HIVE GRATE, SEE DETAIL 12, SHEET C4
- CONSTRUCT 2" CURB OPENING
- CONSTRUCT RETAINING WALL, GRADES PER PLAN
- SAWCUT CLEAN EDGE. MEET AND MATCH EXISTING ASPHALT
- MAIN CORRIDOR (TRUCK ACCESS) INSTALL 3" AC OVER 6" TYPE II AGGREGATE BASE PER SOILS REPORT
- AUTOMOBILE ROUTE / PARKING, INSTALL 2" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT BMP SWALE PER DETAIL 10, SHEET C4
- PLACE ARMOR TILE TRUNCATED DOMES AR EQUIVALENT
- CONSTRUCT 5" FLUME PER DETAIL 9, SHEET C4
- CONSTRUCT 2" CONCRETE FLUME PER DETAIL 11, SHEET C4
- CONSTRUCT 19" TYPE "CM" DROP INLET PER DETAIL 1, SHEET C5, AND CCAUSD #421
- CONSTRUCT 60" TYPE I MANHOLE PER CCAUSD #401 & 403
- 24" CLASS III RCP, BEDDING PER CCAUSD #503.2
- REMOVE RCP CAP AND CONNECT TO EXISTING 24" RCP; IF DAMAGED REMOVE TO CLEAN END JOINT AND REPLACE



SITE DATA

APN No. 125-20-301-028	ACREAGE: 1.69	ZONING (UTC)
---------------------------	------------------	-----------------

DATUM

THIS NOTE IS FOR ALL GRADING ELEVATIONS SHOWN HEREON WITH EXCEPTION TO CONTOUR ELEVATIONS, FINISHED FLOORS, AND PAD ELEVATIONS UNLESS OTHERWISE NOTED.

ADD 2500.00' TO ELEVATIONS SHOWN HEREON TO ADJUST THEM TO THE ASSOCIATED DATUM.

GEOTECHNICAL REPORT

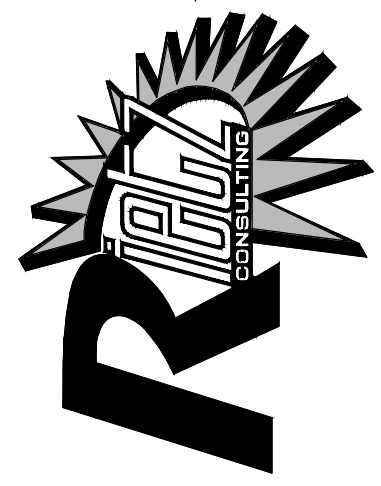
PROJECT No.	4124JD074
DATED:	SEPTEMBER 17, 2014
AS PREPARED BY:	WESTERN TECHNOLOGIES

DRAINAGE CERTIFICATION

I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY CLV # DS4704 FOR THIS SITE ON FILE AT CITY OF LAS VEGAS FOR THIS PROJECT.

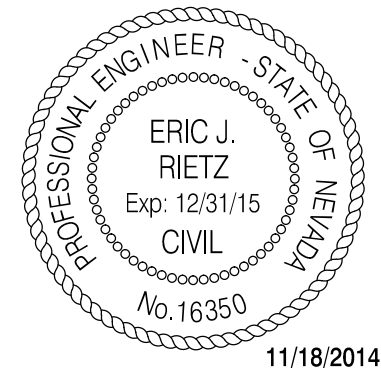
ERIC J. RIETZ, P.E. No. 16350 DATE

RIETZ CONSULTING INC.
3060 E. POST ROAD, #110
LAS VEGAS, NEVADA 89120
PH: 702.521.3355
FX: 702.891.5397



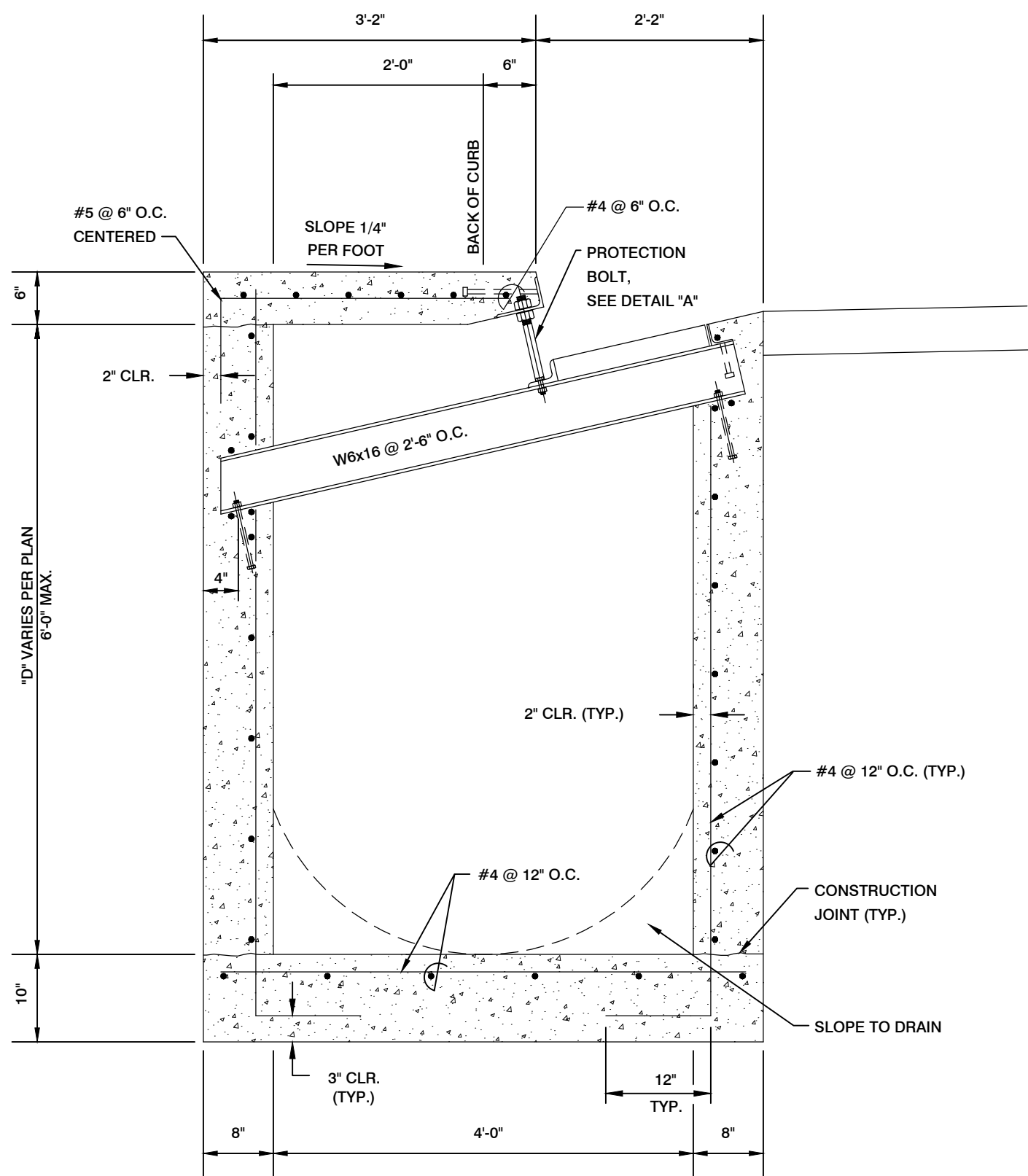
ECHOLON POINT DRIVE PLAN AND PROFILE
GOODWILL @ DURANGO & DEER SPRINGS
LAS VEGAS, NEVADA
APN # 125-20-301-028

DATE:	11/18/2014
DRAFTER:	JG
CHECKED:	RS
SCALE:	1" = 30'



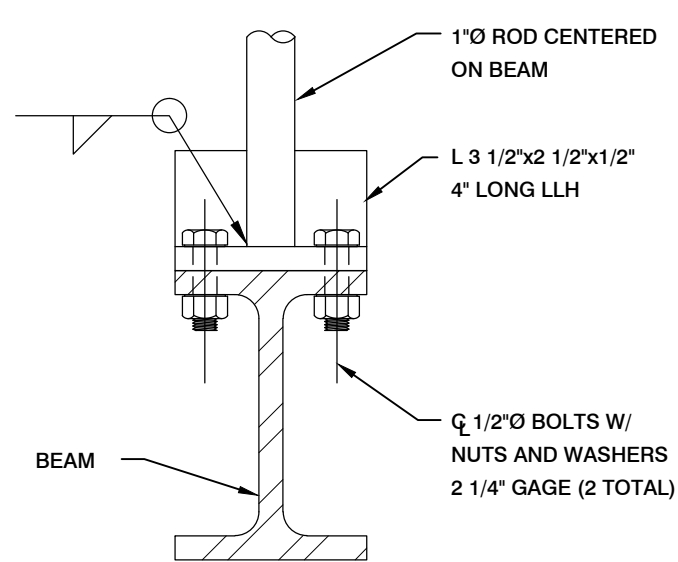
SHEET
C6
6 OF 8 SHEETS
###

P:\Goodwill at durango and deer springs\CD SHEETS\ GRADING PLAN.dwg - 11/18/2014 2:23 PM



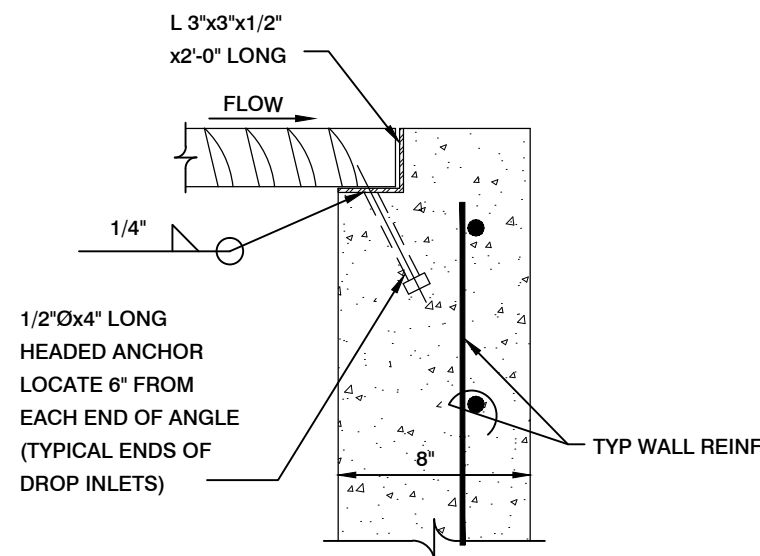
TYPE "CM" DROP INLET SECTION
(6' DEEP MAX.)

SCALE 3/4"=1'



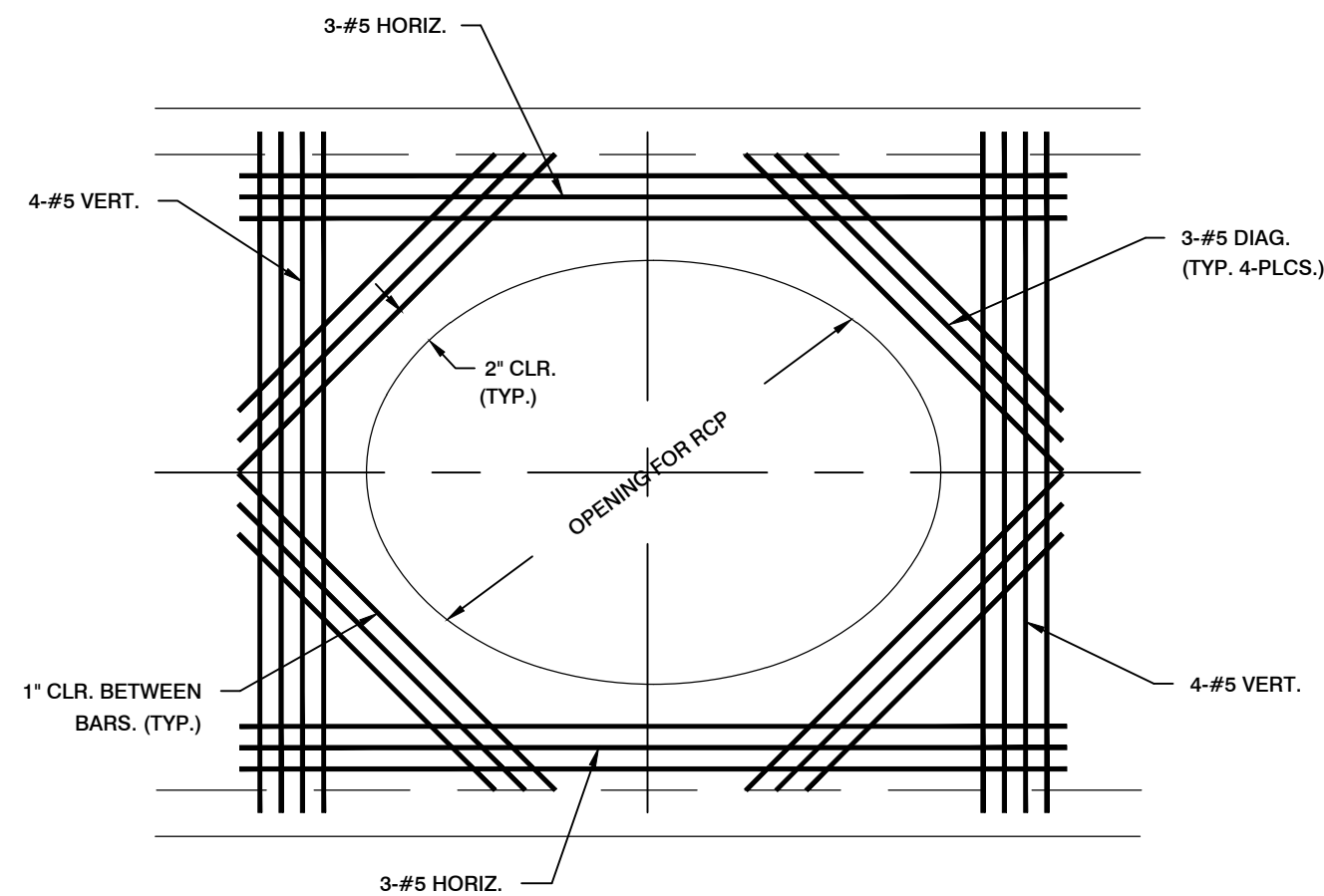
DETAIL "B"

SCALE 3"=1'



SECTION "B"

SCALE 1-1/2"=1'

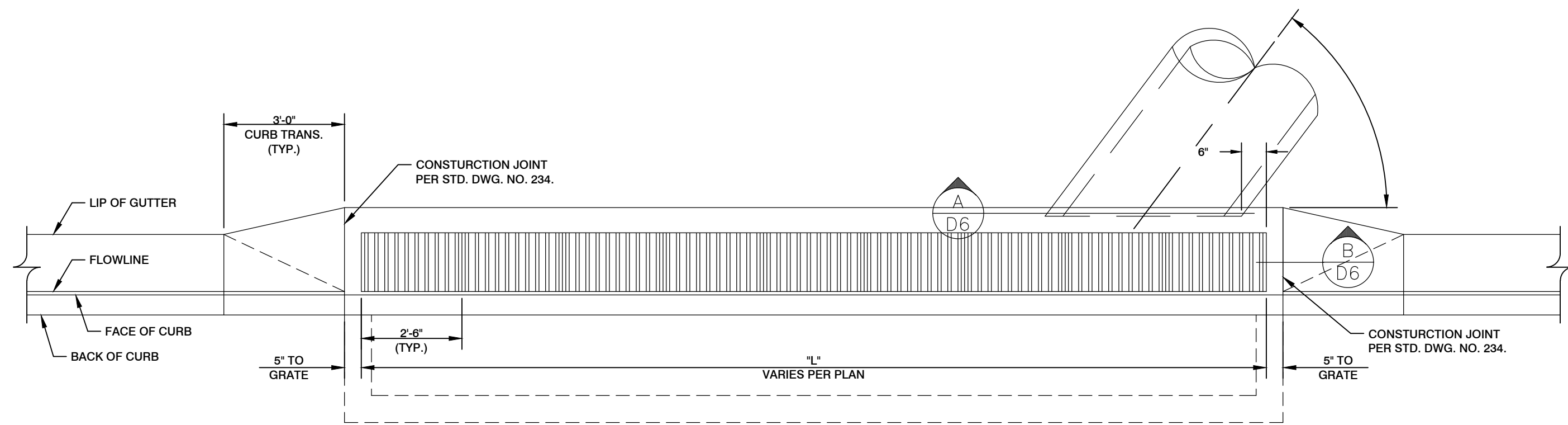


SECTION "A"

SCALE 3/4"=1'

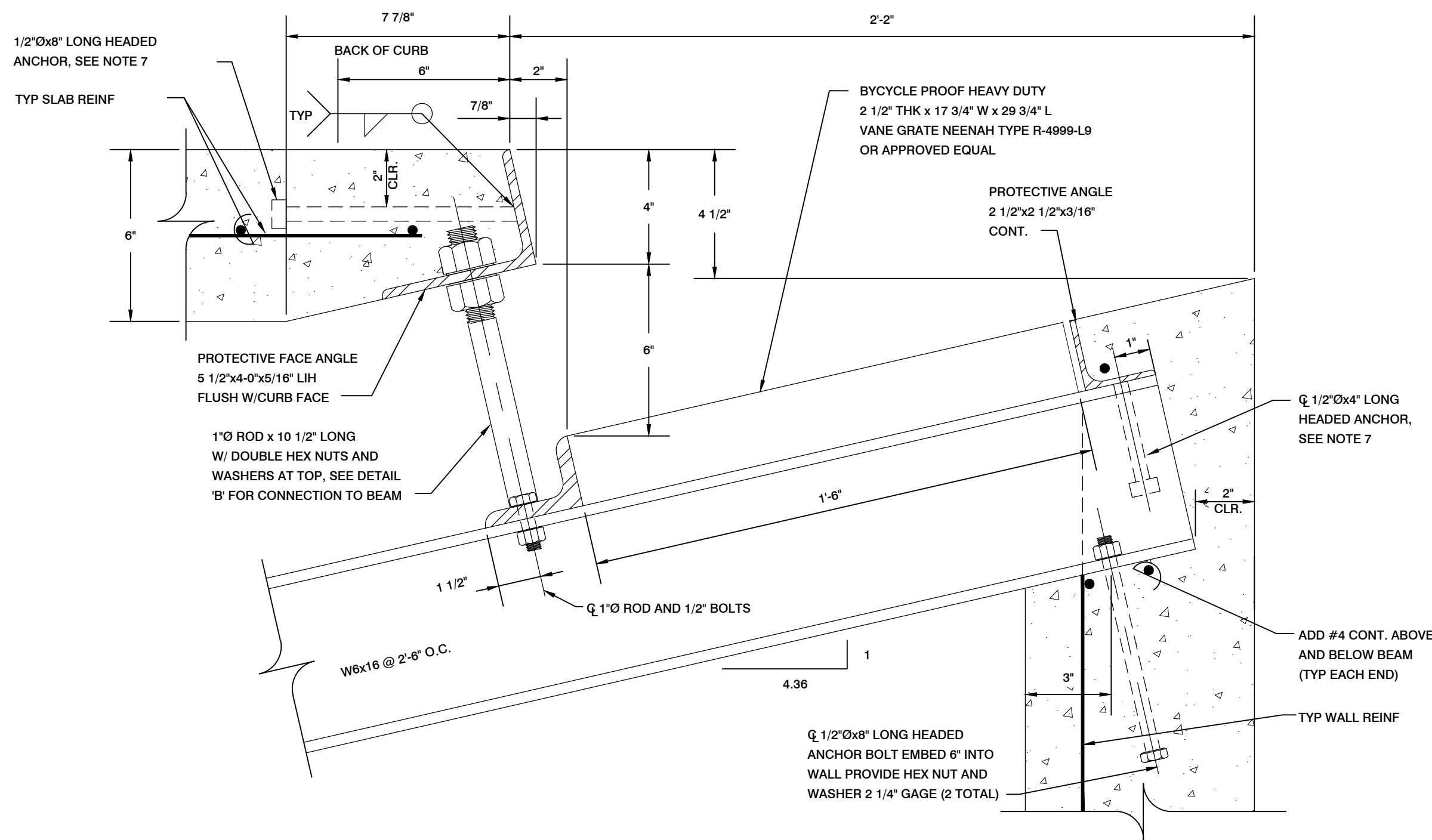
NOTES:

1. ALL EXPOSED METALS SHALL BE HOT DIP GALVANIZED AFTER FABRICATION.
2. PROVIDE 1/2" (MIN.) CLEARANCE ALL AROUND THE STEEL BEAM, DRY PACK AFTER INSTALLATION.
3. WHEN REQUIRED BY LENGTH OF OPENING, PLATE ANGLE MAYBE DELIVERED IN SECTIONS AND BUTT WELDED IN PLACE.
4. ALL GALVANIZING DAMAGED BY WELDING SHALL RECEIVE TWO COATS OF GALVALLOY OR EQUAL.
5. CONCRETE SHALL BE MODIFIED CLASS DA, SEE SPECIAL PROVISIONS SECTION 501.
6. SEE GENERAL NOTES FOR STRUCTURES ON DWG D8.
7. ANGLE ANCHORS SHALL BE EMBEDDED MIDPOINT IN EACH ENDWALL AND EVENLY SPACED. (MAXIMUM SPACING OF 2)



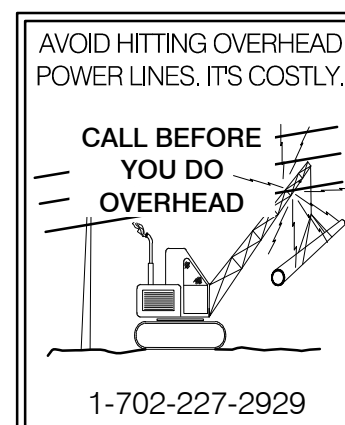
DROP INLET LAYOUT PLAN

SCALE 3/8"=1'



PROTECTIVE FACE & ROD - DETAIL "A"

SCALE 3"=1'

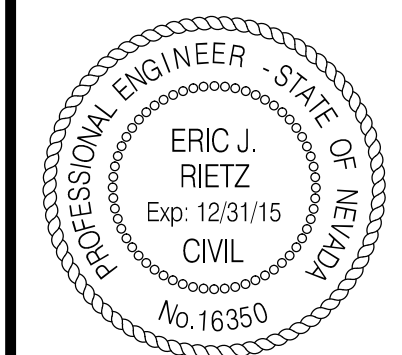


REV	DATE	DESCRIPTION

RIETZ CONSULTING INC.
3060 E. POST ROAD, #110
LAS VEGAS, NEVADA 89120
PH: 702.521.3355
FX: 702.891.5397

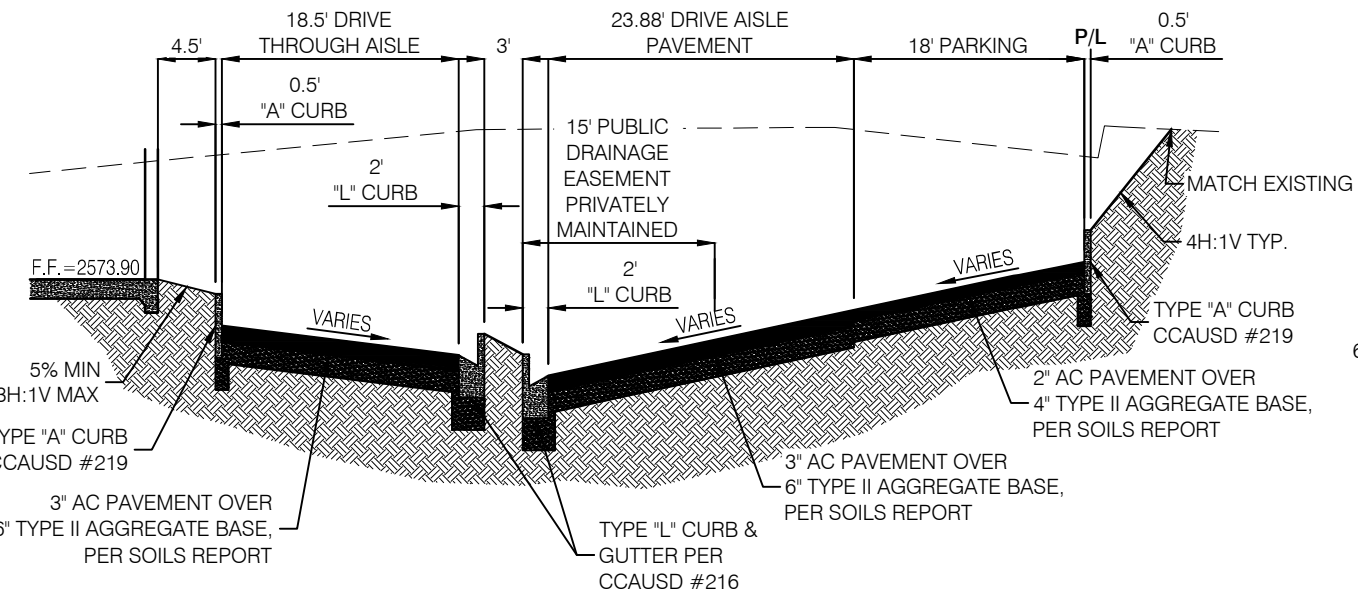
DETAIL SHEET 2
GOODWILL @ DURANGO & DEER SPRINGS
LAS VEGAS, NEVADA
APN # 125-20-301-028

DATE:	11/18/2014
DRAFTER:	JG
CHECKED:	RS
SCALE:	NTS

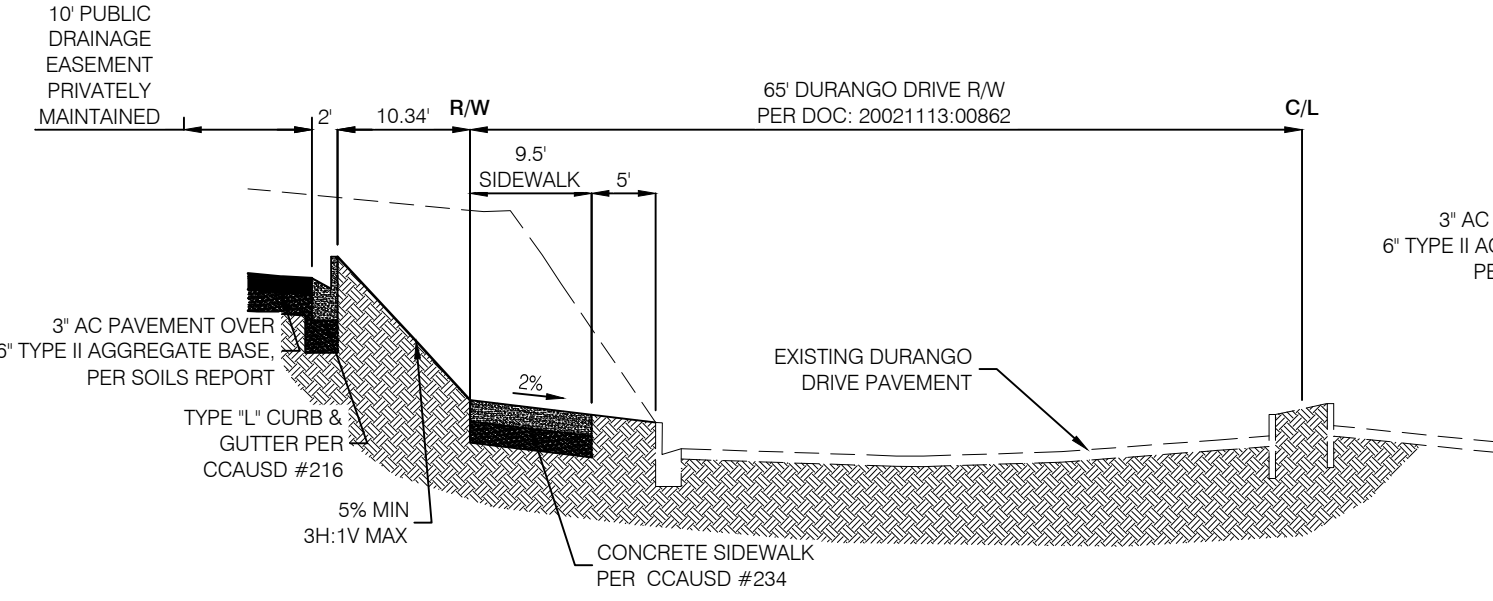


SHEET
C5
5 OF 8 SHEETS

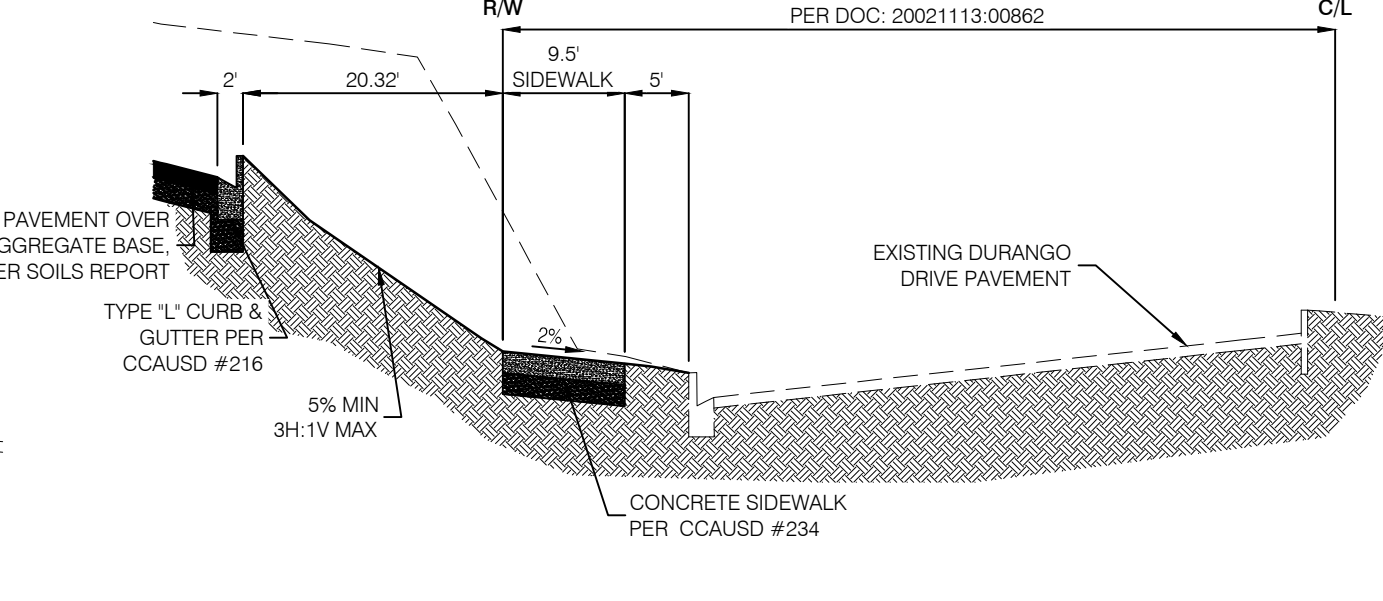
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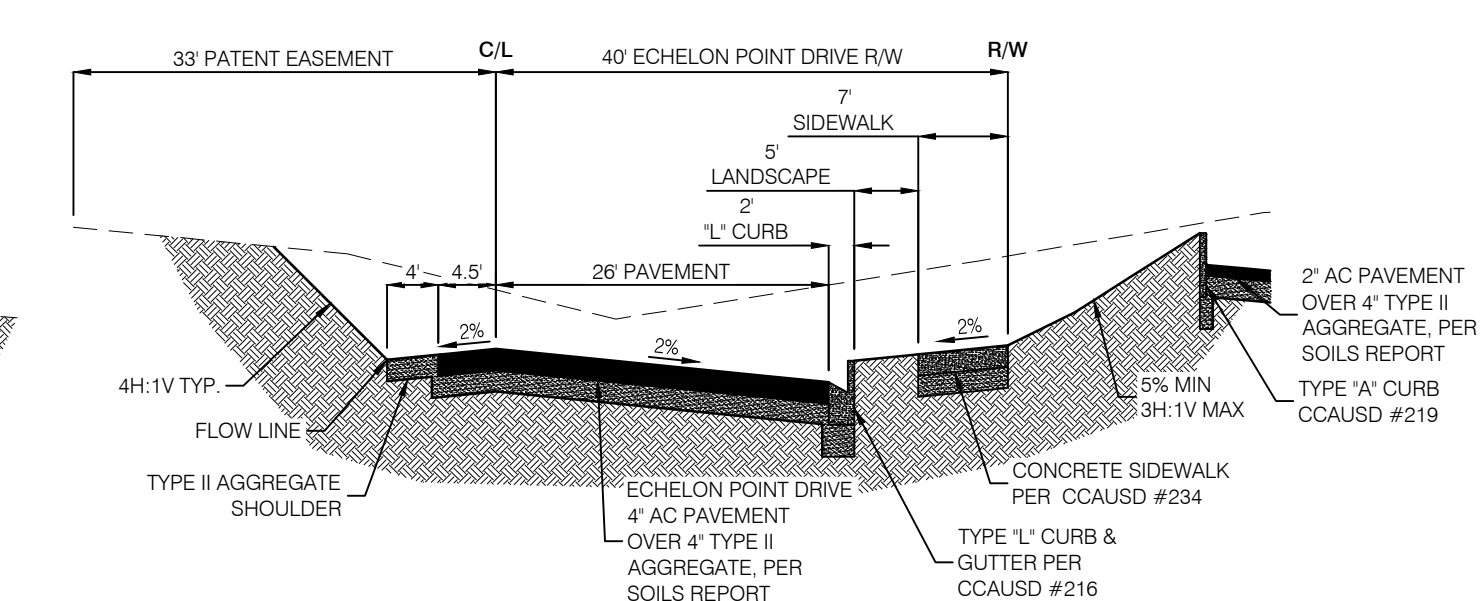
1 NORTH PROPERTY LINE



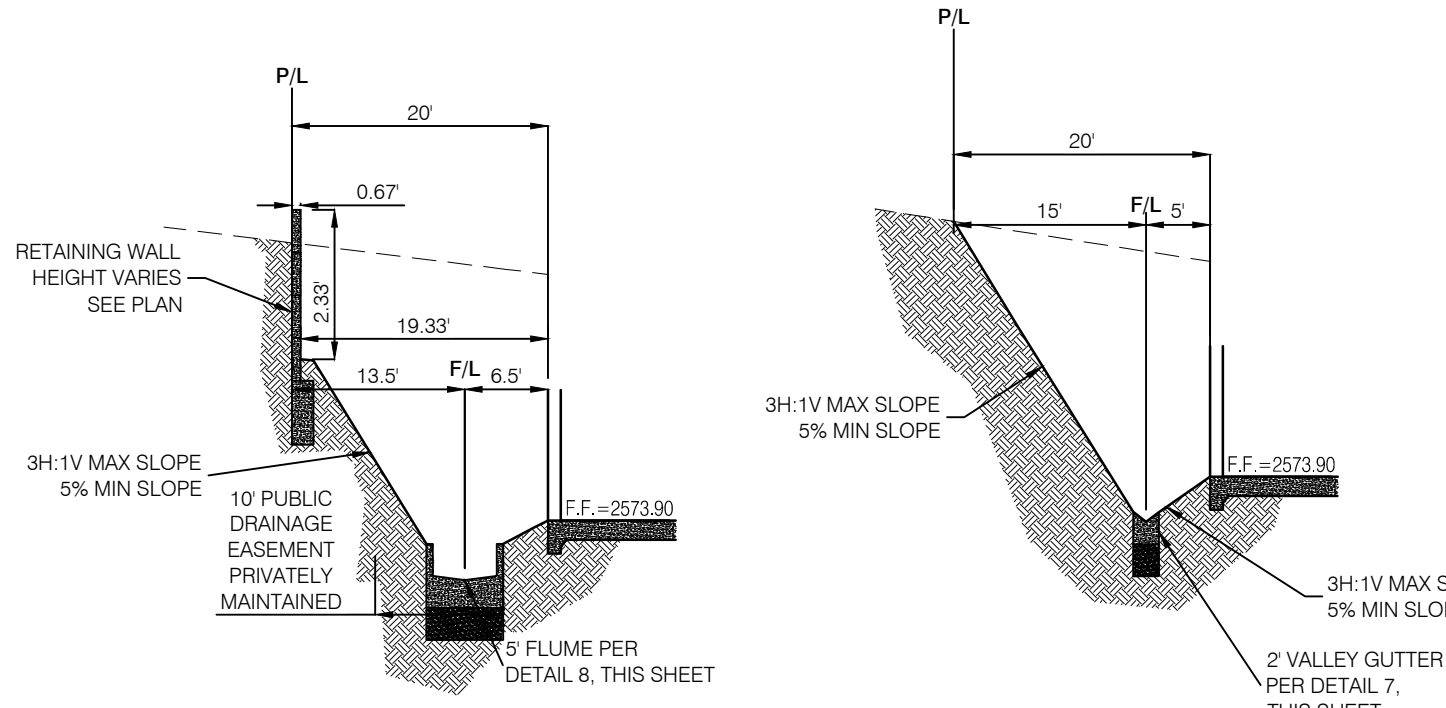
2 EAST PROPERTY LINE DURANGO DRIVE



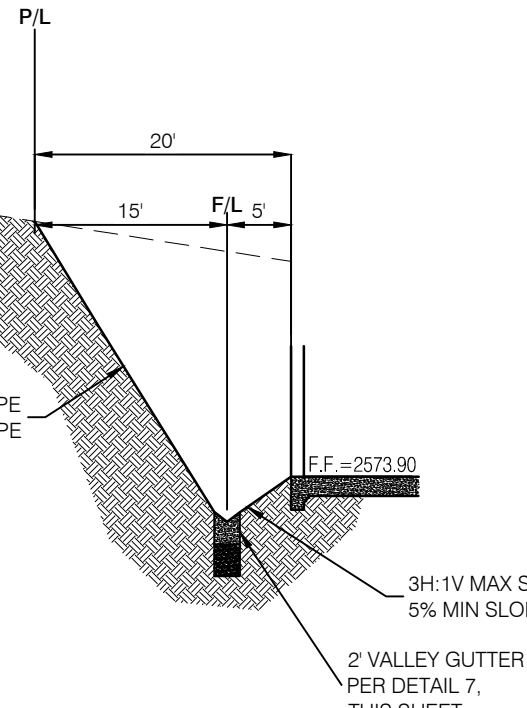
3 EAST PROPERTY LINE DURANGO DRIVE



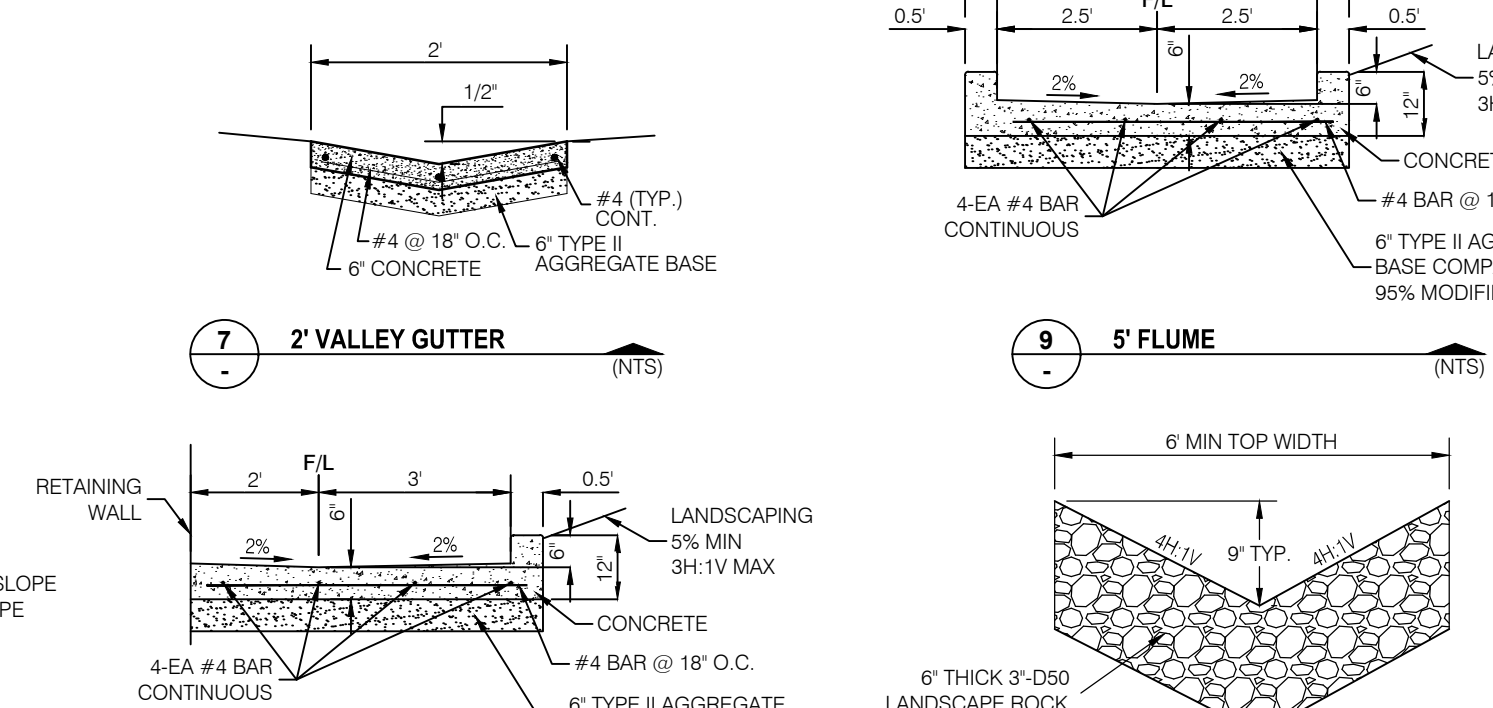
4 SOUTH PROPERTY LINE ECHELON POINT DRIVE



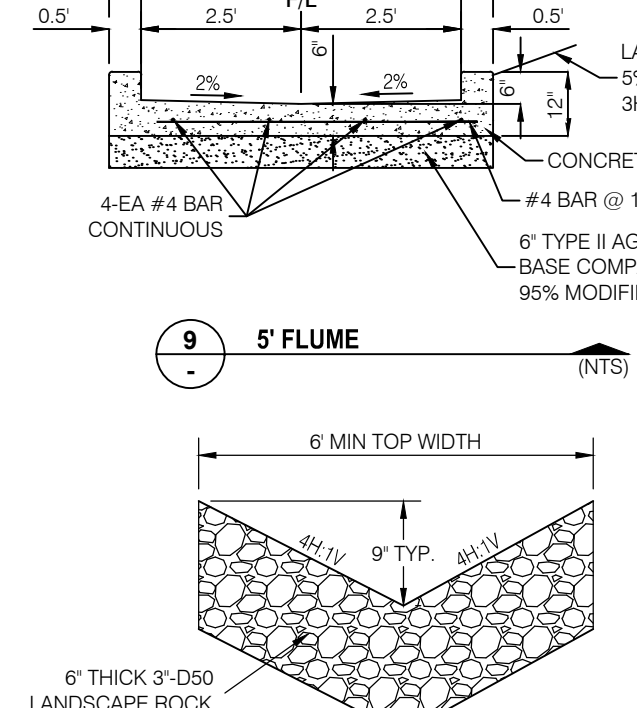
5 WEST PROPERTY LINE



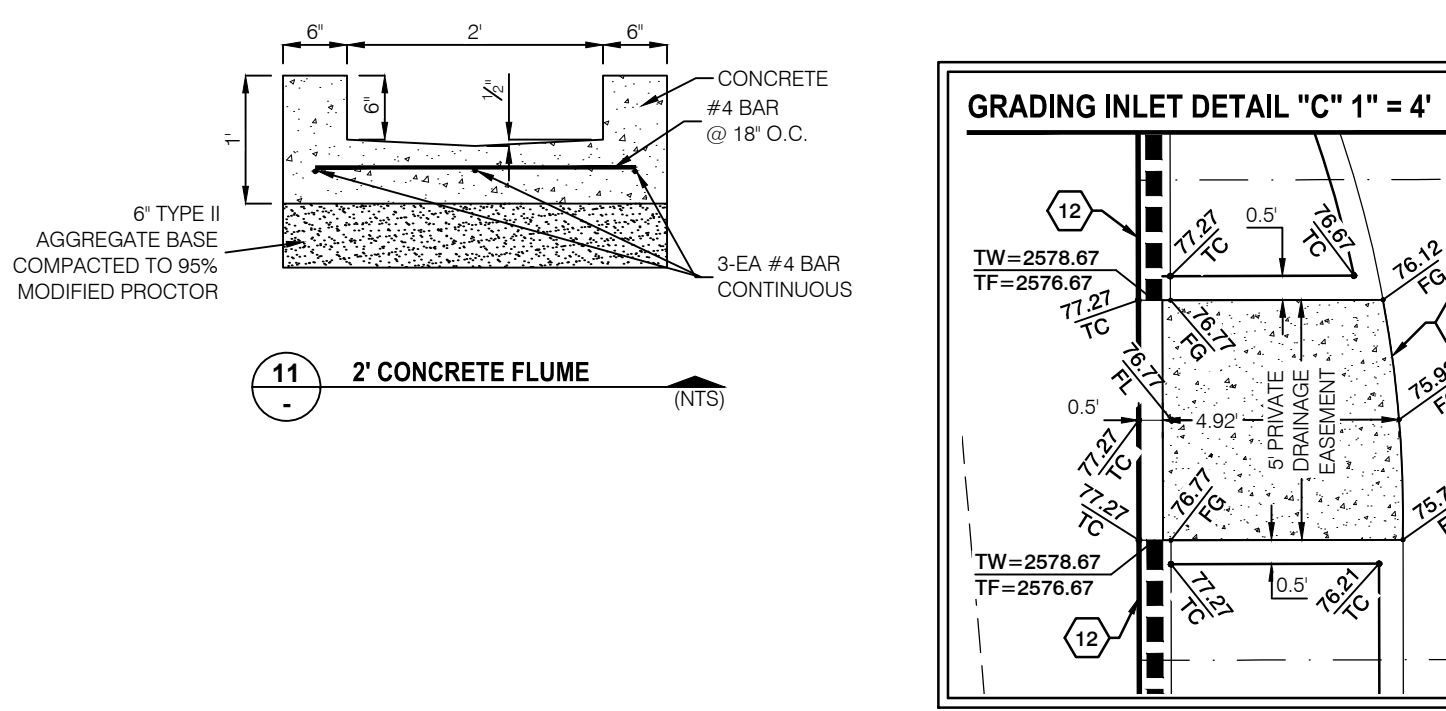
6 WEST PROPERTY LINE



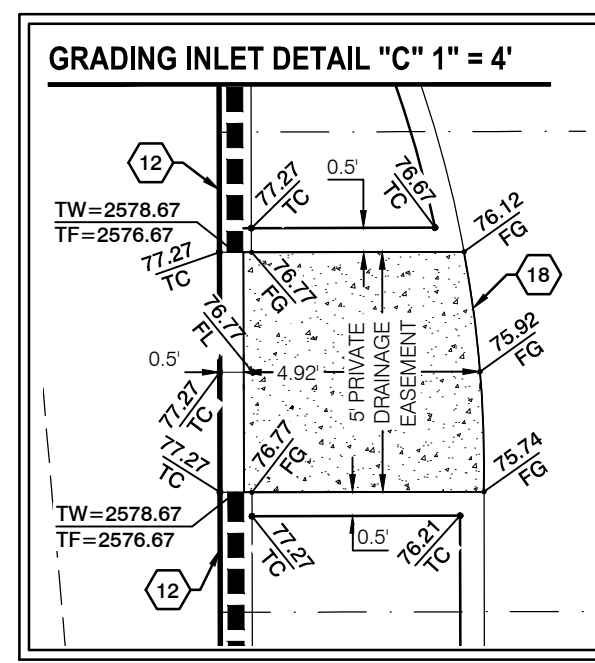
7 2' VALLEY GUTTER



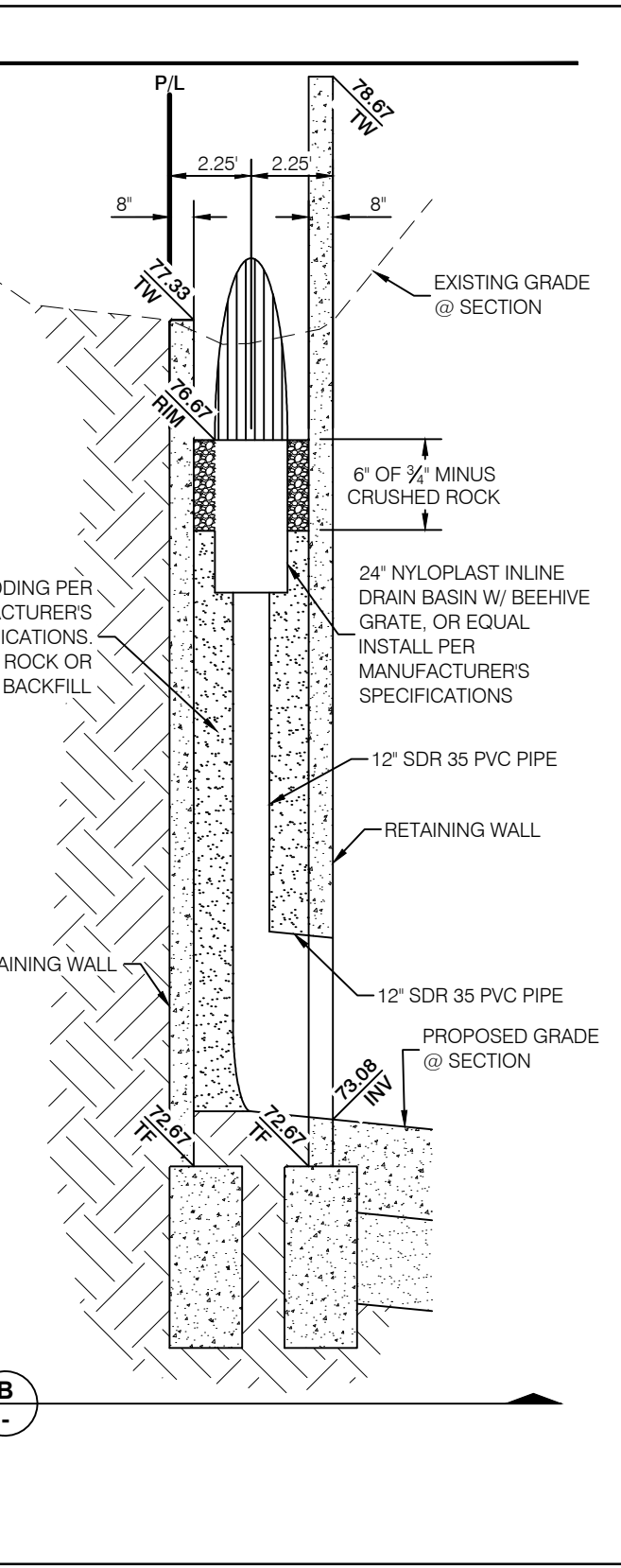
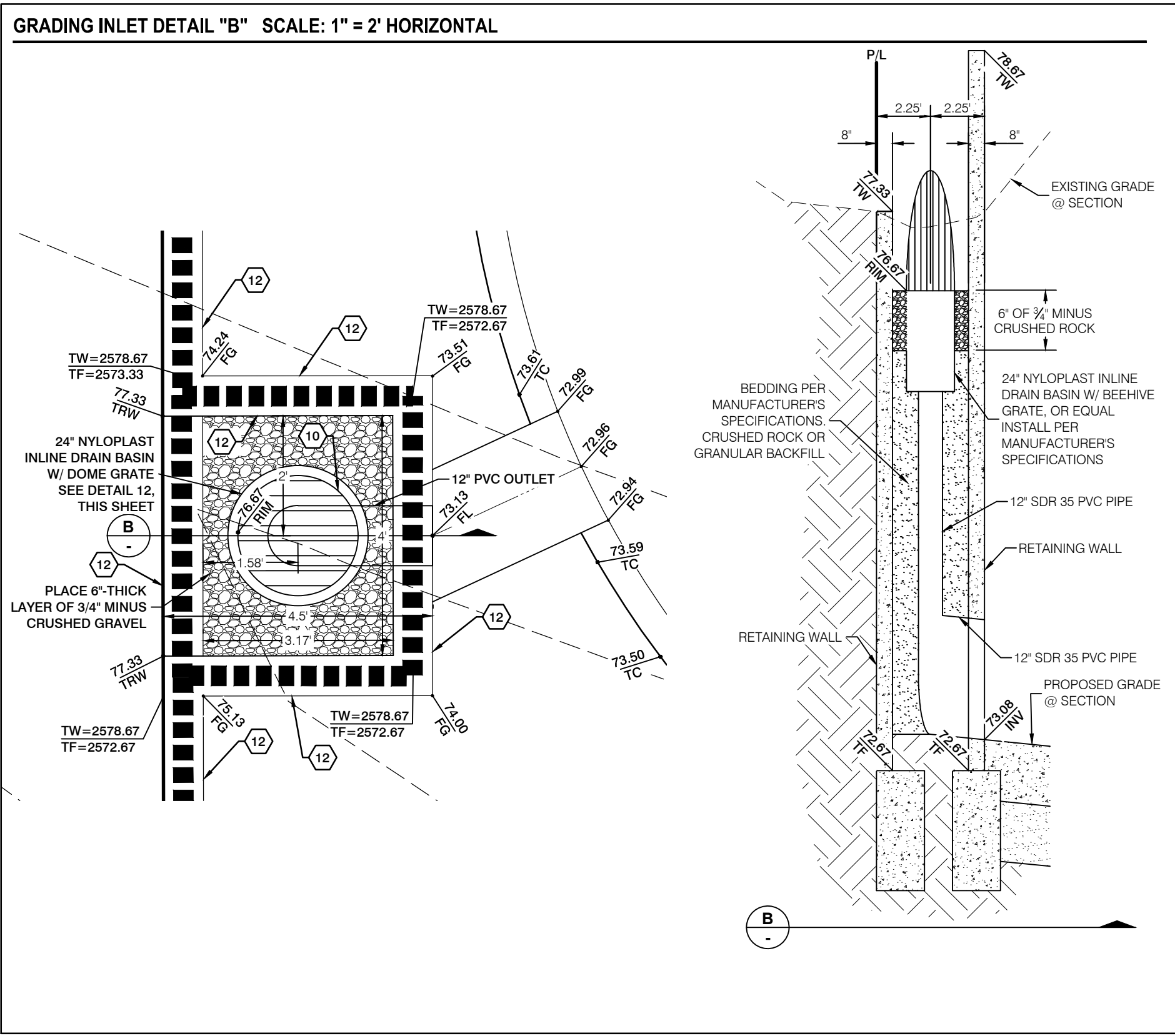
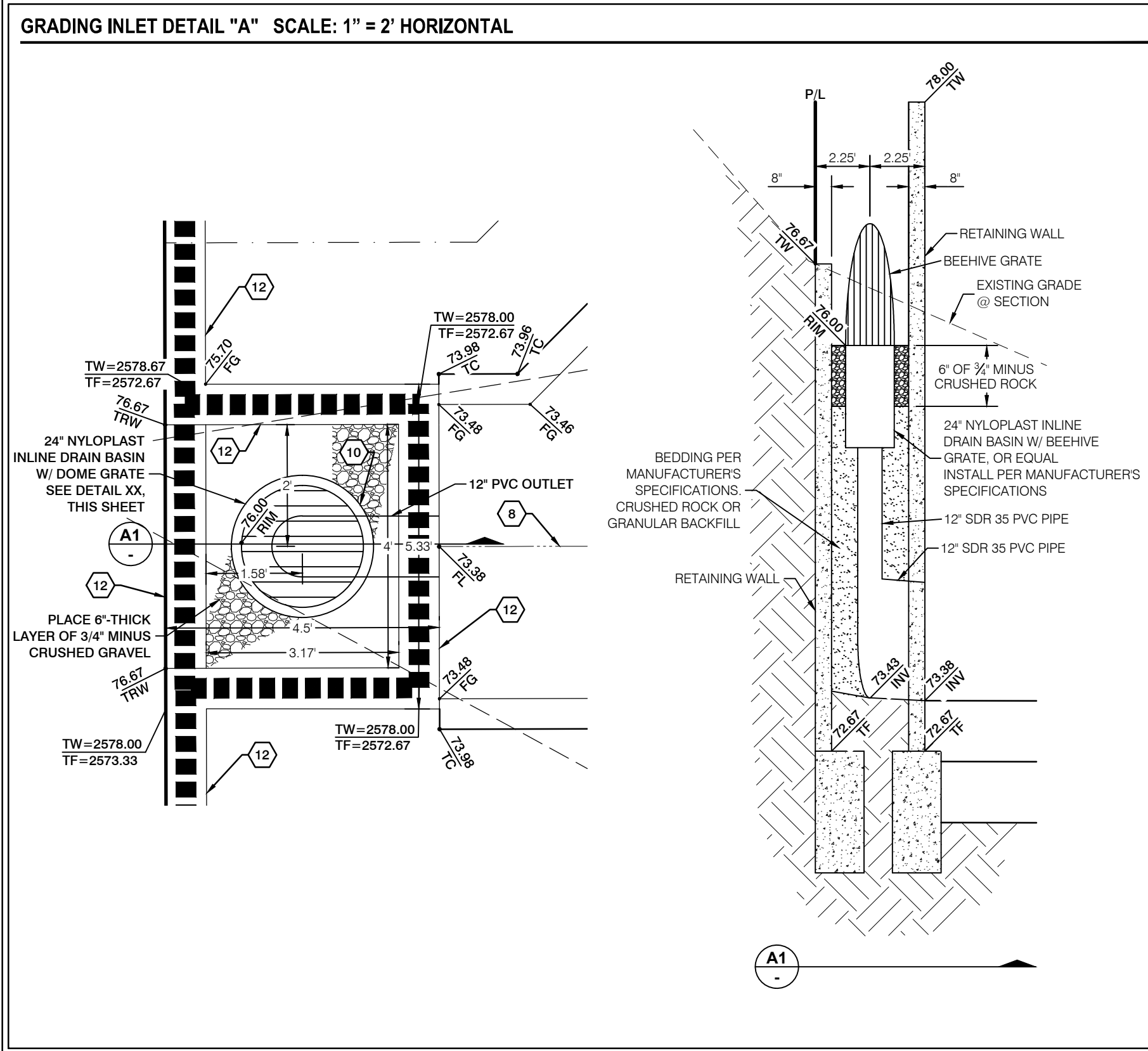
9 5' FLUME



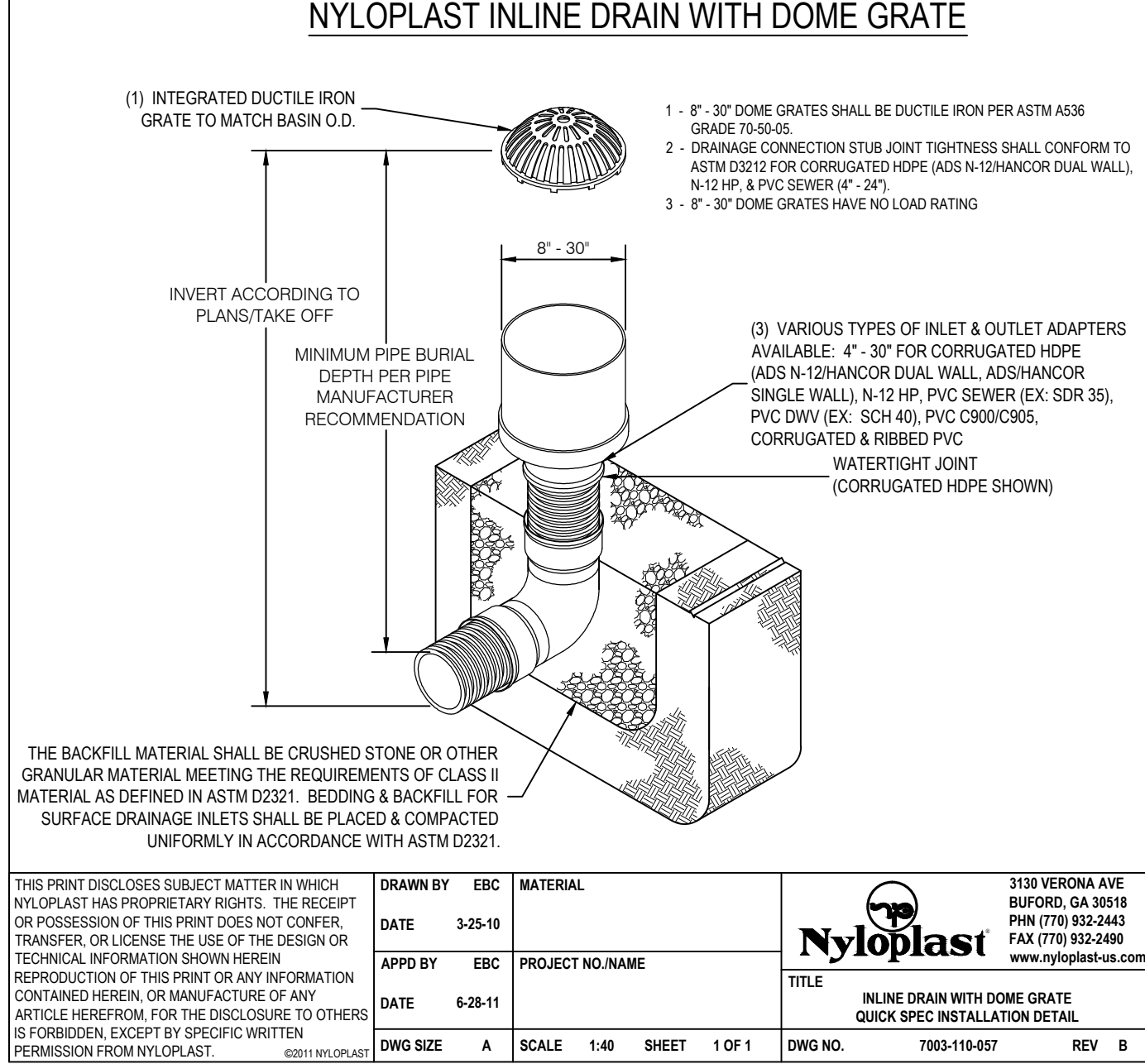
11 2' CONCRETE FLUME



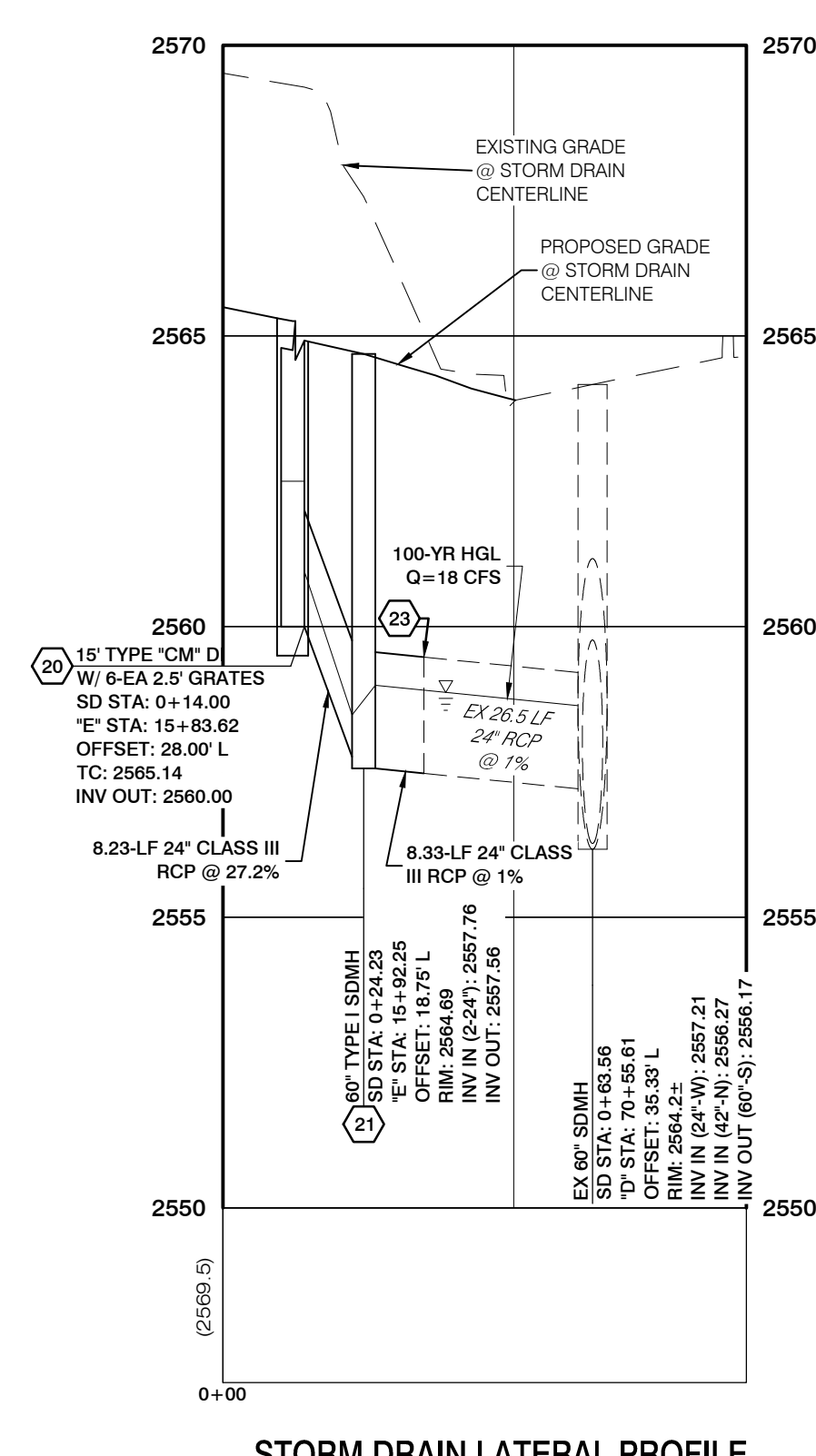
12 GRADING INLET DETAIL "C" 1" = 4'



12 NYLOPLAST BEEHIVE GRATE



NYLOPLAST INLINE DRAIN WITH DOME GRATE



STORM DRAIN LATERAL PROFILE

HORIZONTAL: 1" = 30'
VERTICAL: 1" = 3'

GRADING

- CONSTRUCT 1" CURB AND GUTTER PER CCAUSD #216
- ECHELON POINT DRIVE PAVEMENT, INSTALL 4" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT 1" CURB AND GUTTER PER CCAUSD #219
- CONSTRUCT SIDEWALK PER CCAUSD #234
- CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #224
- CONSTRUCT CASE III SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIV. PER CCAUSD #235
- CONSTRUCT 2' VALLEY GUTTER PER DETAIL 7, SHEET C4
- CONSTRUCT 5' FLUME ADJACENT TO RETAINING WALL PER DETAIL 8, SHEET C4
- CONSTRUCT SIDEWALK UNDER DRAIN PER CCAUSD #236
- INSTALL 24" NYLOPLAST INLINE DRAIN W/ BEE HIVE GRATE, SEE DETAIL 12, SHEET C4
- CONSTRUCT 2' CURB OPENING
- CONSTRUCT RETAINING WALL, GRADES PER PLAN
- SAWCUT CLEAN EDGE. MEET AND MATCH EXISTING ASPHALT
- MAIN CORRIDOR (TRUCK ACCESS) INSTALL 3" AC OVER 6" TYPE II AGGREGATE BASE PER SOILS REPORT
- AUTOMOBILE ROUTE / PARKING, INSTALL 2" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT BMP SWALE PER DETAIL 10, SHEET C4
- PLACE ARMOR TILE TRUNCATED DOMES OR EQUIVALENT
- CONSTRUCT 5' FLUME PER DETAIL 9, SHEET C4
- CONSTRUCT 2' CONCRETE FLUME PER DETAIL 11, SHEET C4
- CONSTRUCT 19" TYPE "CM" DROP INLET PER DETAIL 1, SHEET C5, AND CCAUSD #421
- CONSTRUCT 60" TYPE I MANHOLE PER CCAUSD #401 & 403
- 24" CLASS III RCP, BEDDING PER CCAUSD #503.2
- REMOVE RCP CAP AND CONNECT TO EXISTING 24" RCP. IF DAMAGED REMOVE TO CLEAN END JOINT AND REPLACE

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.

CALL BEFORE YOU DO OVERHEAD

1-702-227-2929

Call before you Dig

Call 811

1-800-227-2800 OR 1-702-455-6000

CLARK COUNTY TRAFFIC OPERATIONS AND CLARK COUNTY TRAFFIC OPERATIONS

1-702-432-5300

1-702-455-7544

AVOID HITTING UNDERGROUND TRAFFIC SIGNAL SYSTEMS AND STREET LIGHT SYSTEMS. IT'S COSTLY.

Call before you do UnderGround

1-702-455-6000

CLARK COUNTY TRAFFIC OPERATIONS AND CLARK COUNTY TRAFFIC OPERATIONS

1-702-432-5300

1-702-455-7544

RIETZ CONSULTING INC.

3060 E. POST ROAD, #110
LAS VEGAS, NEVADA 89120
PH: 702.521.3355
FX: 702.891.5397

GOODWILL @ DURANGO & DEER SPRINGS
LAS VEGAS, NEVADA
APN # 125-20-301-028

DETAIL SHEET 1

DATE: 11/18/2014
DRAFTER: JG
CHECKED: RS
SCALE: NTS

PROFESSIONAL ENGINEER - STATE OF NEVADA
ERIC J. RIETZ
Exp: 12/31/15
CIVIL
No. 16350

SHEET
C4
4 OF 8 SHEETS

###

LEGEND

---	PROPERTY BOUNDARY
---	RIGHT-OF-WAY
---	PROPERTY LINE
---	CENTER LINE
---	EASEMENT
---	EXST "L" TYPE CURB
---	EXST "A" TYPE CURB
---	EXST MAJOR CONTOUR LINE
---	EXST MINOR CONTOUR LINE
---	EXST SCREEN WALL AS INDICATED
---	EXST EDGE OF PAVEMENT
---	EXST EDGE OF SIDEWALK
---	EXST UNDERGROUND POWER
---	EXST FIBER OPTICS
---	EXST STORM DRAIN
---	EXISTING
---	PROPOSED
⊙	STORM MANHOLE
⊙	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
⊙	FIBER BOX
⊙	CABLE TV BOX
⊙	ELECTRICAL MANHOLE
⊙	STREET LIGHT BOX
⊙	POWER POLE
⊙	SERVICE POLE
⊙	GUY WIRE
⊙	TRANSFORMER
⊙	STREET LIGHT CABINET
⊙	STREET LIGHT
⊙	TRAFFIC SIGNAL BOX
⊙	AREA LIGHT
---	"L" TYPE CURB
---	"A" TYPE CURB
---	EDGE OF SIDEWALK
---	SWALE FLOW LINE
---	SAWCUT

STORMWATER RUNOFF MANAGEMENT

(REQUIRED FOR ALL SITES GREATER THAN 1 ACRE (43,560 SQ. FT.))

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN TITLE 24.40 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES MANUAL.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.5.
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.12.
- ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT. WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

NOTES

- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING STRUCTURES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED OR OBLISCURED DURING CONSTRUCTION.

FLOOD ZONE

THIS SITE IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C1745 E. CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

BENCHMARK

BEING A RIVET AND ROUND ALUMINUM PLATE, STAMPED CITY OF LAS VEGAS BENCHMARK #6LV00 20N6, IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF THE INTERSECTION OF DURANGO DRIVE AND DORRELL LANE. ELEVATION = 2587.82 FEET, REFERENCED TO N.A.V.D. 88 DATUM

BASIS OF BEARING

SOUTH 89°54'17" WEST, BEING THE BEARING OF THE CENTERLINE OF DEER SPRINGS WAY AS SHOWN IN FILE 116, PAGE 89 OF SURVEYS AND PARCEL MAP IN FILE 116, PAGE 59 IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA

DISCLAIMER NOTE:

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.



Call before you Dig
Avoid cutting underground utility lines. It's costly.



Call
1-800-227-2600
OR
CLARK COUNTY TRAFFIC OPERATIONS
AND
CLARK COUNTY TRAFFIC
1-702-432-5300
1-702-455-7544

AVOID HITTING UNDERGROUND TRAFFIC SIGNAL SYSTEMS AND STREET LIGHT SYSTEMS. IT'S COSTLY.



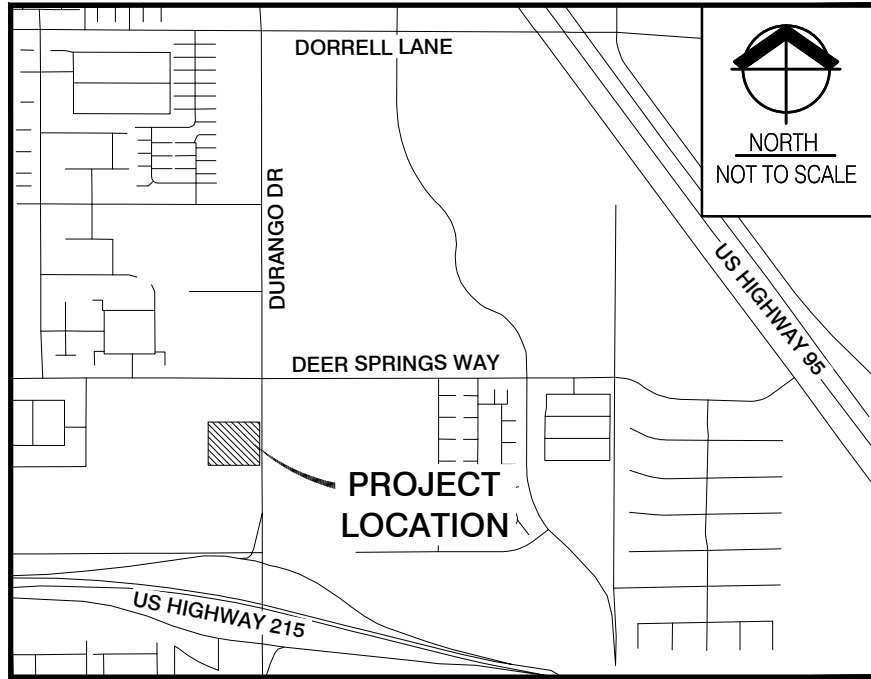
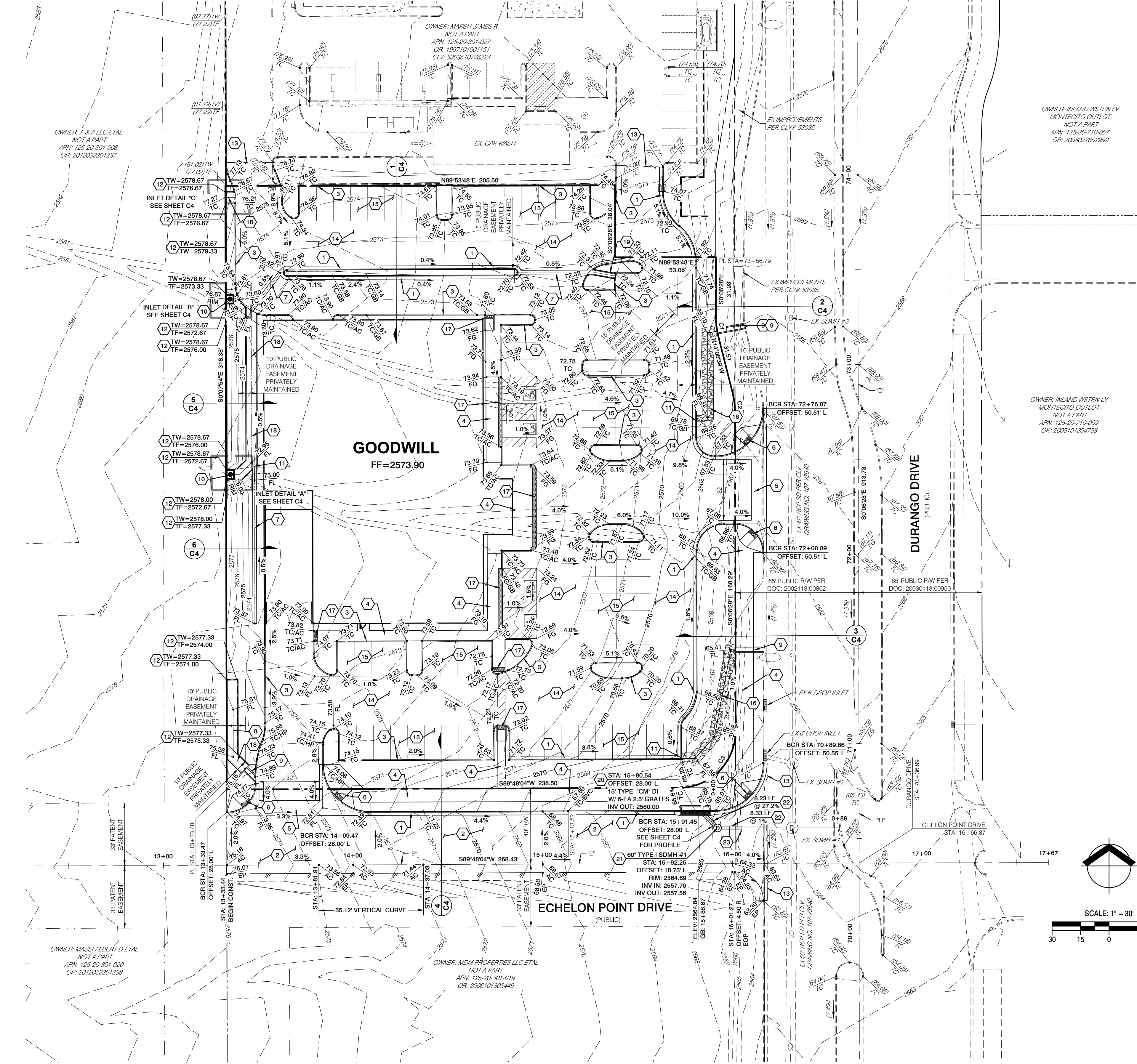
Call before you do Underground
CLARK COUNTY TRAFFIC OPERATIONS
AND
CLARK COUNTY TRAFFIC OPERATIONS
1-702-432-5300
FREEWAY AND ARTERIAL SYSTEM OF TRANSPORTATION

EX. STORM DRAIN MANHOLE TABLE

EX. SDMH #1	EX. SDMH #2	EX. SDMH #3
SD STA: 70+89.58	SD STA: 70+89.58	SD STA: 70+89.58
OFFSET: 35.33' L	OFFSET: 35.04' L	OFFSET: 35.42' L
RIM: 2564.21	RIM: 2564.61	RIM: 2568.11
INV IN (24" W): 2557.21	INV IN (24" W): 2558.48	INV IN (24" W): 2558.48
INV IN (24" W): 2556.27	INV IN (16" E): 2558.48	INV THRU (42"): 2557.08
INV OUT (60" S): 2556.17		

STORM DRAIN MANHOLE TABLE

SDMH #1
60" TYPE I SDMH
SD STA: 0+24.23
"E" STA: 15+92.25
OFFSET: 18.75' L
RIM: 2564.69
INV IN: 2557.76
INV OUT: 2557.56



LEGEND

EXISTING	PROPOSED
00.00 TC	00.00 TC
00.00 EG	00.00 FG
00.00 EP	00.00 EP
00.00 FL	00.00 FL
00.00 AC	00.00 AC
00.00 TRW	00.00 TRW
00.00 TF	00.00 TF
00.00 HP	00.00 HP
00.00 GB	00.00 GB
00.00 TC	00.00 TC
00.00 EG	00.00 FG
00.00 EP	00.00 EP
00.00 FL	00.00 FL
00.00 AC	00.00 AC
00.00 TRW	00.00 TRW
00.00 TF	00.00 TF
00.00 HP	00.00 HP
00.00 GB	00.00 GB

GRADING

- CONSTRUCT "L" CURB AND GUTTER PER CCAUSD #216
- ECHELON POINT DRIVE PAVEMENT, INSTALL 4" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT "A" CURB AND GUTTER PER CCAUSD #219
- CONSTRUCT SIDEWALK PER CCAUSD #234
- CONSTRUCT COMMERCIAL DRIVEWAY PER CCAUSD #224
- CONSTRUCT CASE III SIDEWALK RAMPS USING ARMOR TILE TRUNCATED DOMES OR EQUIV. PER CCAUSD #236
- CONSTRUCT 2' VALLEY GUTTER PER DETAIL 7, SHEET C4
- CONSTRUCT 5' FLUME ADJACENT TO RETAINING WALL PER DETAIL 8, SHEET C4
- CONSTRUCT SIDEWALK UNDER DRAIN PER CCAUSD #236
- INSTALL 24" NYLOPLAST INLINE DRAIN W/ BEE HIVE GRATE, SEE DETAIL 12, SHEET C4
- CONSTRUCT 2' CURB OPENING
- CONSTRUCT RETAINING WALL, GRADES PER PLAN
- SAWCUT CLEAN EDGE, MEET AND MATCH EXISTING ASPHALT
- MAIN CORRIDOR (TRUCK ACCESS) INSTALL 3" AC OVER 6" TYPE II AGGREGATE BASE PER SOILS REPORT
- AUTOMOBILE ROUTE / PARKING, INSTALL 2" AC OVER 4" TYPE II AGGREGATE BASE PER SOILS REPORT
- CONSTRUCT BMP SWALE PER DETAIL 10, SHEET C4
- PLACE ARMOR TILE TRUNCATED DOMES OR EQUIVALENT
- CONSTRUCT 5' FLUME PER DETAIL 9, SHEET C4
- CONSTRUCT 2' CONCRETE FLUME PER DETAIL 11, SHEET C4
- CONSTRUCT 15" TYPE "CM" DROP INLET PER DETAIL 1, SHEET C5, AND CCAUSD #421
- CONSTRUCT 60" TYPE I MANHOLE PER CCAUSD #401 & 403
- 24" CLASS III RCP, BEDDING PER CCAUSD #503.2
- REMOVE RCP CAP AND CONNECT TO EXISTING 24" RCP; IF DAMAGED REMOVE TO CLEAN END JOINT AND REPLACE

PROPERTY CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA
C1	9.68'	39.50'	14°02'11"
C2	9.68'	39.50'	14°02'11"
C3	47.08'	30.00'	89°54'32"

SITE DATA

APN No. 125-20-301-028 ACREAGE: 1.69 ZONING: U(TC)

DATUM

THIS NOTE IS FOR ALL GRADING ELEVATIONS SHOWN HEREON WITH EXCEPTION TO CONTOUR ELEVATIONS, FINISHED FLOORS, AND PAD ELEVATIONS UNLESS OTHERWISE NOTED.

ADD 2500.00' TO ELEVATIONS SHOWN HEREON TO ADJUST THEM TO THE ASSOCIATED DATUM.

GEOTECHNICAL REPORT

PROJECT No. 4124J0074
DATED: SEPTEMBER 17, 2014
AS PREPARED BY: WESTERN TECHNOLOGIES

DRAINAGE CERTIFICATION

I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY CLV # D54704 FOR THIS SITE ON FILE AT CITY OF LAS VEGAS FOR THIS PROJECT.

ERIC J. RIETZ, P.E. No. 16350

DATE

QUANTITIES

ITEM	PRIVATE	PUBLIC
TYPE "A" CURB	1380 LF	-
TYPE "L" CURB & GUTTER	644 LF	182 LF
2' VALLEY GUTTER	122 LF	-
2' SIDEWALK UNDER DRAIN	-	1 EA
15" TYPE "CM" DROP INLET	-	1 EA
60" TYPE I STORM DRAIN MANHOLE	-	1 EA
24" CLASS III RCP	-	17 LF
BMP SWALE	129 LF	-
24" BEEHIVE AREA DRAIN	2 EA	-
54" FLUME	143 LF	-
2" AC PAVEMENT	1422 SY	-
3" AC PAVEMENT	3575 SY	-
4" AC PAVEMENT (ECHELON POINT DRIVE)	-	992 SY
SIDEWALK	2511 SF	3393 SF
HANDICAP ACCESSIBLE RAMPS	5 EA	-
COMMERCIAL DRIVEWAY	-	1147 SF
TYPE II AGGREGATE	854 CY	191 CY