

DS #: 4563

APN: 138-15-612-012

PROJECT: Advanced Healthcare Las Vegas II - update #1

SUBMITTAL: 3rd

SCANNED BY/DATE:

CHECKED BY/DATE:





CITY OF LAS VEGAS			DATE:	
INTER-OFFICE MEMORANDUM			February 14, 2013	
TO: Land Development Services Department of Public Works			FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works	
SUBJECT: Drainage Study for: Advanced Healthcare of Las Vegas II – Update #1			COPIES TO: Zone Engineering	
Cross Streets: SEQ of Tenaya Way & Cheyenne Blvd.			The Boyer Company	
File Number: F:\Depot\DSMemos\DS4563C.doc			Bart Anderson, P.E., DevCo	
Parcel Number: 138-15-612-012			NDOT	
Zoning Action: SDR-44908				
FEMA Flood Zone YES NO X				
Proposed Storm Drain YES NO X				

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	7/26/2012	8/8/2012	Not Approved	\$400.00	290925: \$400
2 nd Submittal	8/28/2012	9/5/2012	Approved	\$400.00	294259: \$400
3 rd Submittal	1/31/2013	2/14/2013	See Comments Below	\$100.00	309261: \$100
TOTAL FEES (LDDRS):				\$900.00	----

REMARKS:

3rd Submittal: Update #1 to remove retaining walls along the north and east boundaries

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS
ays

T/R/S: T20S/R60E/15
AREA L-15

 *** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 0944
 DESTINATION ADDRESS 8773007
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 02/14 16:54
 USAGE T 00' 30
 PGS. 1
 RESULT OK

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: February 14, 2013
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
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Cross Streets:	SEQ of Tenaya Way & Cheyenne Blvd.	The Boyer Company
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NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved

Albert Sung

From: Shani J. Coleman
Sent: Monday, April 08, 2013 2:37 PM
To: Nancy Almanzan; Tom Burkart; David Bratcher; Alan Riecki; Albert Sung; Joe Pena; Mary A. Wulff
Cc: John S. Ridilla
Subject: 10' Drainage easement in Las Vegas Tech Center
Attachments: Recorded Drainage Easement.pdf

Hi All-

Attached for your records is a copy of the approved and recorded 10' drainage easement in the Las Vegas Tech Center. Please let me know of any questions.

Shani J. Coleman

Senior Economic Development Officer
Business Development Division

Economic and Urban Development Department (EUD)

Las Vegas Redevelopment Agency

City Hall, 495 S. Main St., 6th Flr.

Las Vegas, NV 89101

Direct: 702.229.6642

sjcoleman@lasvegasnevada.gov

www.lasvegasnevada.gov/eud

www.lvrda.org

APN: 138-15-612-014

Recording Requested by &
Return Documents to:
Attn: President
City Parkway V, Inc.
495 S. Main Street
Las Vegas, NV 89101



Inst #: 201304080001981
Fees: \$25.00
N/C Fee: \$25.00
04/08/2013 12:58:22 PM
Receipt #: 1565910
Requestor:
LAS VEGAS CITY (PLANNING)
Recorded By: CDE Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

Space Above for Recorder's Use Only

GRANT OF EASEMENT FOR DRAINAGE PURPOSES

City Parkway V, Inc. ("Grantor"), the undersigned, for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant and convey to the Boyer Las Vegas SNF, LLC, a Utah limited liability company ("Grantee"), its successors and assigns as the owner of certain real property described on Exhibit B attached hereto and made a part hereof which is located on Assessor's Parcel No. 138-15-612-015 (the "Grantee's Parcel"), a non-exclusive private drainage easement ("Drainage Easement") which shall be appurtenant to the Grantee's Parcel, to be maintained by Grantee, upon, over, under and across a strip of land situated in the City of Las Vegas, County of Clark, Nevada ("Drainage Easement Area") which is located on Assessor's Parcel No. 138-15-612-014 ("Parcel") and described as follows:

FOR COMPLETE LEGAL DESCRIPTION, SEE EXHIBIT 'A' ATTACHED HERETO AND BY THIS REFERENCE MADE A PART HEREOF

1. The Drainage Easement granted herein includes all rights necessary for the construction, installation, operation, maintenance, repair and renewal of surface and subsurface drainage swales, channels, pipes, laterals and attached appurtenances (collectively, "Drainage Improvements") upon, over, under and across the Drainage Easement Area, and the right of ingress and egress to and over the Parcel as necessary to access the Drainage Easement Area.

2. Grantee agrees to construct, operate and maintain the Drainage Improvements at its own expense and in accordance with the City of Las Vegas Municipal Code. If the Drainage Improvements are not maintained in compliance with the requirements for street set forth in the City's Municipal Code, and such failure continues for thirty (30) days after Grantor has delivered written notice of such failure to Grantee (or such longer period as may be required provided Grantee has commenced the cure of such failure and is diligently completing the same) the Grantor, or its agent, shall have the right, but not the obligation, to take those actions necessary to put the Drainage Improvements in compliance ("Compliance Work"). The Grantee must pay the Grantor, or its agent, for all out of pocket costs and expenses in completing the Compliance Work performed within a period of thirty (30) days from the date of presentation of the bill for the Compliance Work to the Grantee.

3. Grantee agrees to allow the Grantor, or its agent, to make inspections of the Drainage Easement Area and land appurtenant thereto as the Grantor reasonably deems necessary.
4. The Grantee agrees to defend, indemnify and hold Grantor, its officers, employees and agents, from and against all claims, demands, judgments, costs and expenses, including reasonably attorney's fees) which may arise by reason of injury to any person or damage to any property attributable to the negligence of Grantee, Grantee's officers, employees and agents in connection with Grantee's construction, operation and maintenance of the Drainage Improvements and use of or presence on the Drainage Easement Area.
5. The duration of the Drainage Easement herein granted shall be perpetual. This Drainage Easement may only be amended or terminated by the request of the Grantee and with the consent of the City of Las Vegas Public Works and Building Departments. The Grantee must then file the amending or terminating instrument with the County Recorder at its sole cost and expense before the amendment or termination becomes effective.
6. Only such rights are granted hereby as are necessary for the construction, installation, operation, maintenance, repair and renewal of the Drainage Improvements. Grantor, and its successors and assigns, reserves the right to use the Drainage Easement Area in any manner and for any purposes not inconsistent with the drainage easement rights granted herein, including without limitation, the right to drain water through the Drainage Easement Area from parcel(s) adjacent to the Drainage Easement Area, and to modify or relocate the Drainage Improvements at Grantor's, or its successor's and assign's, sole cost and expense, if further development of the adjacent parcels warrants such action and provided such relocation does not unreasonable interfere with the operations and use of the Drainage Improvements by Grantee.
7. The Grantor certifies there and represents there are not mortgages or liens against the Parcel if there are no signatures or mortgages or lienholders subscribed below.
8. The invalidation or any provision in this document by any court shall in no way affect any other provision, which shall remain in full force and effect, and to this end the provisions are declared to be severable.
9. The provisions of this document are hereby declared covenants running with the land and are fully binding on all successors, heirs and assigns of the owner who acquire any right, title or interest in or to the Parcel or Grantee's Parcel, or any part thereof. Any person who acquires any right, title or interest in or to the Parcel or Grantee's Parcel, or any part thereof, thereby agrees and covenants to abide by and fully perform the provisions of this document. Grantor will defend the title to said Drainage Easement against all persons claiming by, through or under Grantor.
10. This document shall be constructed in accordance with the laws and case decisions of the State of Nevada. Exclusive venue for the enforcement of this document shall be the Clark County's Eighth Judicial District Court.
11. Both parties represent and warrant that they have the authority to execute this Grant of Easement for Drainage Purposes.

EASEMENT FOR DRAINAGE PURPOSES

Signature Page

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal this
2nd day of April, 2013.

CITY PARKWAY V., INC.

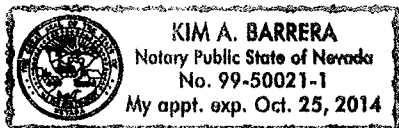
"Grantor"

By: Elizabeth N. Fretwell
Elizabeth N. Fretwell, President

Attest: [Signature]
By: Scott D. Adams
Scott D. Adams, Secretary

STATE OF NEVADA)
)ss.
COUNTY OF CLARK)

This instrument was acknowledged before me on the 2 day of April, 2013
by Elizabeth N. Fretwell, as President of City Parkway V. Inc..



Kim A. Barrera
Notary Public

GRANTEE'S ACCEPTANCE

Grantee hereby accepts of the terms and conditions of this Grant of Easement for
Drainage Purposes.

BOYER LAS VEGAS SNF, LLC, a Utah
limited liability company, by its manager

The Boyer Company, L.C., a Utah limited
liability company
"Grantee"

By: [Signature]

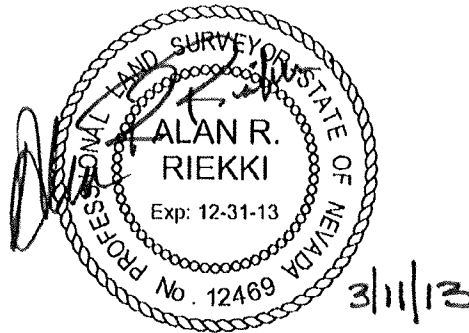
Name: Don Glen

Title: Manager

Grantees' Notary Acknowledgement is Attached

Exhibit A

APN 138-15-612-014



1338-02
MARCH 11, 2013
BY: ARR
P.R. BY MFK
(PAGE 1 OF 2)

EXPLANATION:

THIS LAND DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED NORTH OF CASCADE VALLEY COURT AND EAST OF TENAYA WAY, IN THE CITY OF LAS VEGAS, CLARK COUNTY, NEVADA FOR PRIVATE DRAINAGE EASEMENT PURPOSES.

10 FOOT WIDE PRIVATE DRAINAGE EASEMENT

BEING A PORTION OF LOT 1 OF THAT SUBDIVISION KNOWN AS "LAS VEGAS TECHNOLOGY CENTER UNIT 2" ON FILE IN BOOK 62 OF PLATS, AT PAGE 44, LYING WITHIN THE NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THAT PARCEL OF LAND CONVEYED TO "NWHII LTD" PER DOCUMENT NUMBER 20080108:02529, SAME BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 95; THENCE SOUTH 73°01'04" WEST, ALONG THE NORTHERLY LINE OF SAID "NWHII LTD" PARCEL, 375.19 FEET TO THE EASTERLY LINE OF THAT PARCEL OF LAND CONVEYED TO "BOYER LAS VEGAS SNF" PER DOCUMENT NUMBER 20121211:02147; THENCE NORTH 17°03'33" WEST, DEPARTING SAID "NWHII LTD" PARCEL AND ALONG THE EASTERLY LINE OF SAID "BOYER LAS VEGAS SNF" PARCEL, 10.00 FEET; THENCE NORTH 73°01'04" EAST, DEPARTING SAID EAST LINE, 375.83 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SAID U.S. HIGHWAY 95; THENCE SOUTH 13°22'20" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 10.02 FEET TO THE **POINT OF BEGINNING**, AS SHOWN ON THE "EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION" ATTACHED HERETO AND MADE A PART HEREOF.

CONTAINING 3,755 SQUARE FEET, MORE OR LESS AS DETERMINED BY COMPUTER METHODS.

1338-02

LEGAL DESCRIPTION CONTINUED

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS GRID NORTH AS DEFINED BY THE CENTRAL MERIDIAN OF THE NEVADA COORDINATE REFERENCE SYSTEM, LAS VEGAS ZONE, NORTH AMERICAN DATUM OF 1983; SAID MERIDIAN BEING COINCIDENT WITH 114°58' WEST OF THE GREENWICH MERIDIAN.

END OF DESCRIPTION.

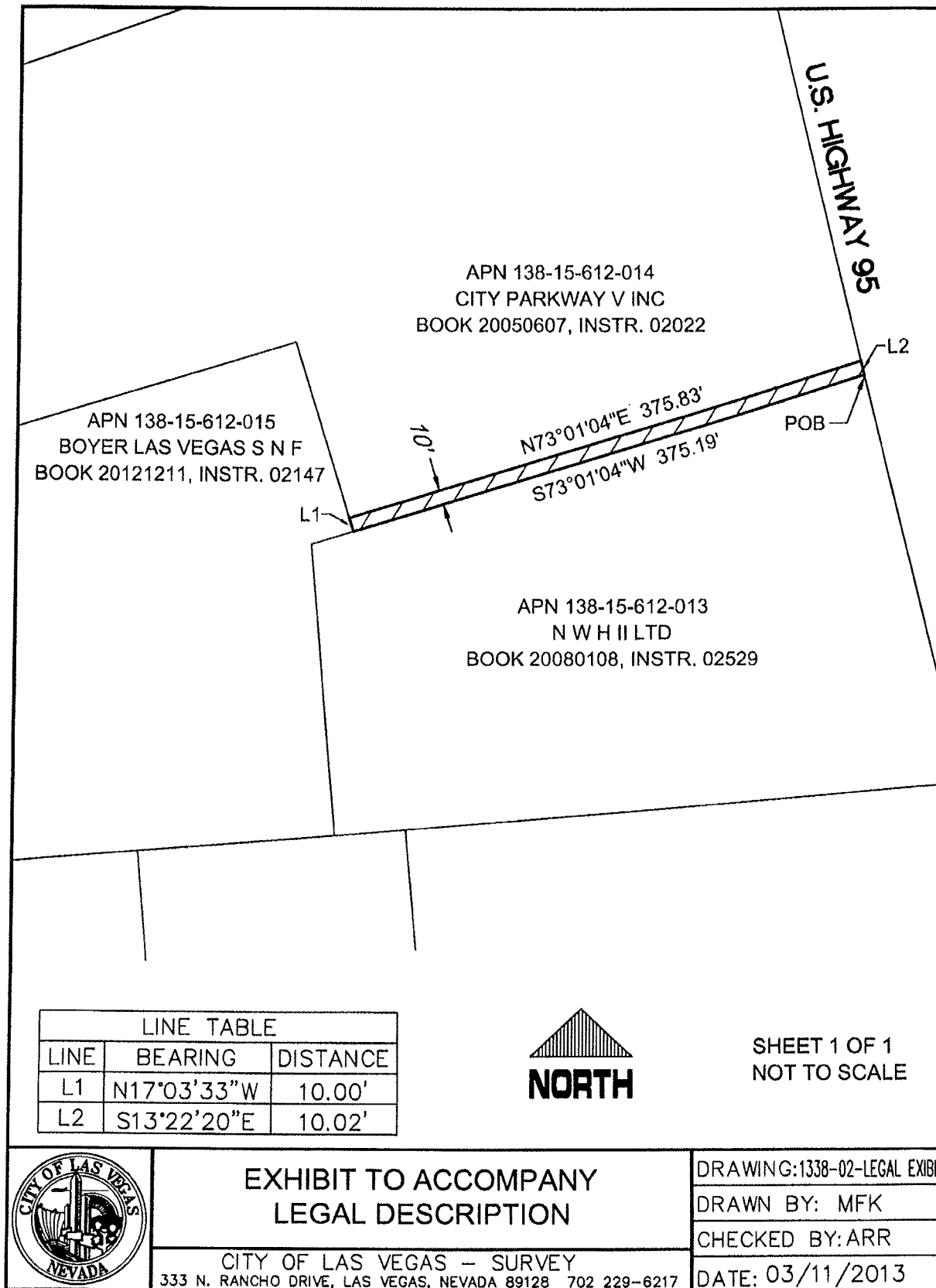
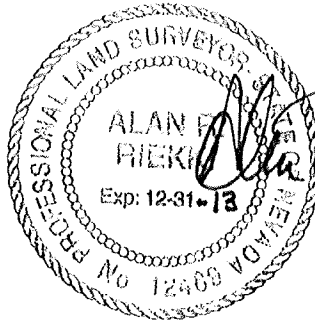


Exhibit B



APRIL 23, 2012
BY: HJB
P.R. BY: JVT
(PAGE 1 OF 2)

EXPLANATION:

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED NORTH OF PEAK DRIVE AND EAST OF THE TENAYA WAY FOR TRANSFER PURPOSES.

**LEGAL DESCRIPTION
AHC FACILITY**

BEING A PORTION OF LOT 1 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "LAS VEGAS TECHNOLOGY CENTER UNIT 2" ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN BOOK 62 OF PLATS, AT PAGE 44, LOCATED WITHIN THE NORTHWEST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TENAYA WAY, SAME BEING THE MOST SOUTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED TO THE "CITY PARKWAY V INC.", PER DOCUMENT NO. 20050607:02022, RECORDED JUNE 07, 2005, SAID PARCEL OF LAND IS DEPICTED ON THE RECORD-OF-SURVEY IN FILE 170 AT PAGE 86; SAME POINT BEING THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 901.38 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 85°13'28" EAST; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 14°48'49", AN ARC LENGTH OF 233.05 FEET; THENCE NORTH 19°35'21" WEST, 29.84 FEET; THENCE NORTH 72°56'27" EAST, DEPARTING SAID RIGHT-OF-WAY LINE, 411.07 FEET; THENCE SOUTH 17°03'33" EAST, 138.53 FEET TO A POINT ON NORTHERLY LINE OF THAT PARCEL OF LAND CONVEYED TO "N W H II LTD" PER DOCUMENT NO. 20080108:02529, RECORDED ON JANUARY 08, 2008; THENCE ALONG THE PROPERTY LINE OF SAID PARCEL, THE FOLLOWING TWO COURSES:
1) SOUTH 73°01'04" WEST, 30.32 FEET; 2) SOUTH 04°46'32" EAST, 205.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO "CITY PARKWAY V INC"; THENCE SOUTH 85°13'28" WEST, ALONG SAID SOUTHERLY LINE, 363.91 FEET TO THE **POINT OF BEGINNING**.

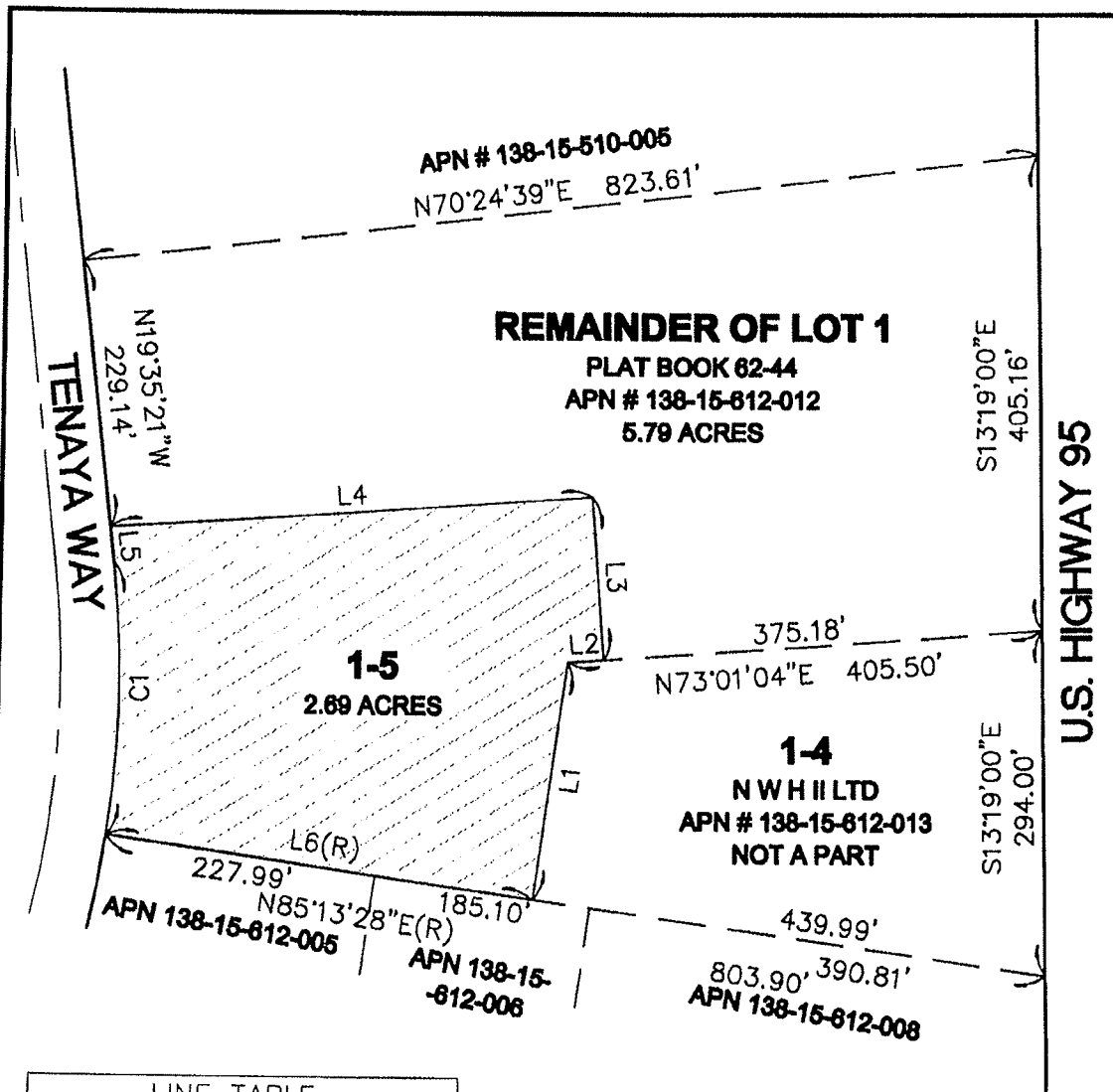
AHC FACILITY
LEGAL DESCRIPTION CONTINUED
(PAGE 2 OF 2)

CONTAINING 2.69 ACRES, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS GRID NORTH AS DEFINED BY THE CENTRAL MERIDIAN OF THE NEVADA COORDINATE REFERENCE SYSTEM, LAS VEGAS ZONE, NORTH AMERICAN DATUM OF 1983; SAID MERIDIAN BEING COINCIDENT WITH 114°58' WEST OF THE GREENWICH MERIDIAN.

END OF DESCRIPTION.



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S04°46'32"E	205.00'
L2	S73°01'04"W	30.32'
L3	S17°03'33"E	138.53'
L4	N72°56'27"E	411.07'
L5	N19°35'21"W	29.84'
L6	N85°13'28"E	363.91'



SHEET 1 OF 1
NOT TO SCALE

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANG.
C1	14°48'49"	901.38'	233.05'	117.18'



EXHIBIT FOR AHC FACILITY

CITY OF LAS VEGAS - SURVEY
333 N. RANCHO DRIVE, LAS VEGAS, NEVADA 89128 702 229-6217

DRAWING: AHC EXHIBIT
DRAWN BY: HJB
CHECKED BY: ARR
DATE: 4/23/2012

Albert Sung

From: Shani J. Coleman
Sent: Wednesday, March 06, 2013 12:33 PM
To: Nate Swain
Cc: Joe Pena; Albert Sung; Tom Burkart
Subject: Existing Sewer and Drainage Easement
Attachments: tech center sewer.pdf

Nate-

Attached is the parcel map outlining the existing sewer and drainage easement that runs along your southern property line. This is an existing public easement that does not require anything for you to tap into other than running your private line from the building and updating the grading plan to reflect the southern boundary as your low point.

Joe Pena and Albert Sung in our Public Works Engineering Dept. would be the people that your engineer should speak with. When your engineer is ready to resubmit the drainage study and the civil plans, Tom Burkart, will assist him with expediting this process.

If we need to schedule a conference call or meeting, let me know and I can get that taken care of too.

Shani J. Coleman

Senior Economic Development Officer
Business Development Division

Economic and Urban Development Department (EUD)

Las Vegas Redevelopment Agency

City Hall, 495 S. Main St., 6th Flr.

Las Vegas, NV 89101

Direct: 702.229.6642

sjcoleman@lasvegasnevada.gov

www.lasvegasnevada.gov/eud

www.lvrda.org

Albert Sung

From: Nancy Almanzan
Sent: Wednesday, March 06, 2013 11:51 AM
To: Shani J. Coleman
Cc: John S. Ridilla; Joe Pena; Albert Sung; Tom Burkart; Mary A. Wulff
Subject: Tech Center - Sewer/Drainage Easement

The Right of Way Grant for sewer and drainage purposes from Tech Center Associates to the City of Las Vegas (doc. 960412:01238) granted a 20' easement across the north 20' of APN 138-15-612-008 & 138-15-612-006 and across the east 20' of the north 20' of APN 138-15-612-005. This document recorded April 12, 1996.

I think where the confusion came in about a "private" easement was a record of survey was recorded March 13, 1996 (about a month before the sewer/drainage easement). The record of survey shows a "20' private Drainage Easement and CLV Sewer Easement". Although the ROS recorded in 1996, the transfer deeds for the parcels shown on the ROS did not start until 1998, well after the 20' public easement was granted. None of the transfer documents mentioned the 20' public easement, but they all had the "subject to: all reservations, restrictions, right-of-way, easements, etc.....of record" statement.

See attached and let me know if you have any questions.



tech center
sewer.pdf

Nancy J. Almanzan, PLS
Right-of-Way Manager
333 N. Rancho Dr., 8th floor
Las Vegas, NV 89106
702-229-6343
nalmanzan@lasvegasnevada.gov



Update #1 to the
Technical Drainage Study
For
ADVANCED HEALTH CARE OF LAS VEGAS II

CLV #4563

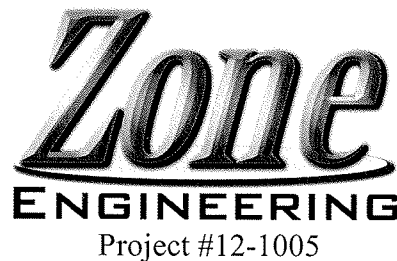
Prepared for:



The Boyer Company
90 South 400 West, Suite 200
Salt Lake City, UT 84101
Tel: (801) 521-4781
Fax: (801) 366-7103

Prepared by:

Zone Engineering
4550 W. Oakey Boulevard, Suite 102
Las Vegas, NV 89102
Tel: (702) 877-3005
Fax: (702) 877-3007



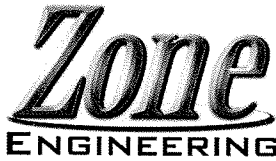
January 28, 2013

Rec'd: 1/31/13

DS 4563 -1

L-15

\$/00



4550 W. Jones Boulevard, Suite 102
Las Vegas, Nevada 89102
Tel: (702) 877-3005
Fax: (702) 877-3007

January 28, 2013

Mr. Albert Sung, P.E.
Flood Control Project Engineer
City of Las Vegas
333 N. Rancho Dr.
Las Vegas, NV 89106

RE: Update #1 to the Technical Drainage Study for ADVANCED HEALTH CARE OF LAS VEGAS II (APN 138-15-612-012).

Dear Mr. Sung,

This Update #1 is being provided due to changes to the approved grading plan & detail sheet for the project referenced above. Since the approval of the Technical Drainage Study and Addendum #1 (DS# 4563); Boyer Las Vegas SNF, L.C., the owner/developer of the subject development has been working closely with City of Las Vegas to obtain permission to grade for the parcel north of the subject site. The purpose of the permission to grade is for construction of proposed scarping (3:1 maximum slope) along the north and east side of the subject site. The proposed scarping would eliminate the need for retaining walls shown on the previously approved grading plan Sheet #3 and Details "B" & "C" on Sheet #4. The permission to grade has been approved & signed off on January 22nd, 2013. A copy of the notarized letter along with the revised plan Sheet #3 & #4 is included in this update for your review. If you have any questions or concerns regarding this submittal, please contact us. Thank you.

Sincerely,



Chi-Ying Seto, P.E.
Project Manager

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: ADVANCED HEALTH CARE OF LAS VEGAS II Date: 1-28-13

Location of Development: a) Descriptive (Cross Streets) North/South: TENAYA WAY

East/West: CHEYENNE AVE.

b) Section: 15 Township: 20S Range: 60E

c) APN: A PORTION OF 138-15-612-012

Name of Owner: THE BOYER COMPANY

Telephone No.: 801-521-4781 Fax No.: 801-366-7103 E-Mail Address: _____

Address: 90 S. 400 WEST, SUITE 200, SALT LAKE CITY, UT 84101

Contact Person-Name: CHI-YING SETO, P.E. Telephone No.: 7028773005

* E-Mail Address: CSETO@ZONEENGINEERING.COM Fax No.: 7028773007

Firm: ZONE ENGINEERING

Address: 4550 W. OAKLEY BLVD., SUITE 102, LAS VEGAS, NV 89102

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☐	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☐	Planned Unit Development	☒	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit		OFF-SITE CONSTRUCTION PERMIT

1. Total Owned Land Area: At Site: 2.69 Being Developed/Disturbed: 2.69

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

4. Proposed type of development (Residential, Commercial, Etc.): COMMERCIAL

5. Approximate upstream land area which drains to the subject site: 0 ACRES

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: TECHNICAL DRAINAGE STUDY FOR ADVANCED HEALTHCARE OF LAS VEGAS II

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: EAST PROPERTY LINE

8. Briefly describe your proposed schedule for the subject project: A.S.A.P.



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

DS 4563 Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM			DATE: September 6, 2012
TO: Land Development Services Department of Public Works			FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Advanced Healthcare of Las Vegas II			COPIES TO: Zone Engineering
Cross Streets:	SEQ of Tenaya Way & Cheyenne Blvd.		The Boyer Company
File Number:	F:\Depot\DSMemos\DS4563B.doc		Bart Anderson, P.E., DevCo
Parcel Number:	138-15-612-012		NDOT
Zoning Action:	SDR-44908		
FEMA Flood Zone	YES	NO X	
Proposed Storm Drain	YES	NO X	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	7/26/2012	8/8/2012	Not Approved	\$400.00	290925: \$400
2 nd Submittal	8/28/2012	9/5/2012	See Comments Below	\$400.00	294259: \$400
TOTAL FEES (LDDRS):				\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. Label the 10'- drainage easement as "10'-**PUBLIC** Drainage Easement to be Privately Maintained".

In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Albert Sung in the Flood Section at (702) 229-2001 or Rick Schroder in Traffic Engineering at (702) 229-6327.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

Albert Sung

From: Peter Jackson
Sent: Wednesday, January 09, 2013 9:02 AM
To: Shani J. Coleman
Cc: Albert Sung; Oh-Sang Kwon
Subject: Advanced Health Care site - reference DS4563
Attachments: 12-1005_DS.PDF; 12-1005_GP.PDF; SAMPLE Permission to Grade Letter & Exhibit.pdf

Shani;

Flood Control understands that Economic Development has been in discussion with the Developer and that the City is willing to allow minor grading on adjacent City property. The provided preliminary plans reflect off-site grading which in concept is approvable.

The Developer will be required to have his engineer formally submit a Drainage Study Update (with \$100 fee) that reflects the proposed plan changes from the approved Drainage Study (DS4563). The Drainage Study Update will need to include a "Permission to Grade" letter from the City allowing work on the adjacent City owned property. The engineer understands & knows the process for a Drainage Study Update.

The Developer needs to work with you on the "Permission to Grade" letter that needs to be included with the Drainage Study Update. The Drainage Study Update cannot be approved without the "Permission to Grade" letter. The Engineer usually works with the Developer to get the letter and exhibit prepared. Let us know if you want to schedule an internal meeting to review this. Attached is a copy of a previously used "Permission to Grade" letter as a sample.

Once the Drainage Study Update is approved, the improvement plans can be resubmitted to the Building Department for their approval and permitting process.

Thanks,

Peter Jackson, CFM
Senior Engineering Associate
Department of Public Works
Flood Control Section
333 North Rancho Drive, 7th Floor
Las Vegas, Nevada 89106
(702) - 229 - 5266

pjackson@lasvegasnevada.gov

From: Shani J. Coleman
Sent: Monday, January 07, 2013 4:21 PM
To: Peter Jackson
Subject: Grading Plan Review Needed

Peter-

I am not sure if you are the right person to help me, if not please let me know the appropriate person. Attached are grading plans for a property that the city just sold to a developer. The developer would like to grade our remaining parcel in conjunction with the property they just purchased however, the plan needs to be reviewed by the city prior to. Can you review the attached documents and let me know if the plan is acceptable or if there are concerns for the remaining city parcel that need to be addressed before the developer starts to grade the land.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS

ays

T/R/S: T20S/R60E/15

AREA L-15



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

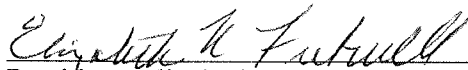
January 15, 2013

City of Las Vegas
333 North Rancho Drive
Las Vegas, NV 89106

**RE: Letter of Permission to access site and perform Off-site grading
(APN 138-15-612-012)**

I, Elizabeth N. Fretwell, as the authorized signatory for City Parkway V, Inc., property owner of the Assessor's parcel number 138-15-612-012 hereby allows Boyer Las Vegas SNF, L.C. to grade within the above-mentioned parcel as shown on the attached exhibit and as identified on the grading plans (Advanced Health Care of Las Vegas II prepared by Zone Engineering) for the proposed Advanced Health Care of Las Vegas II development.

City Parkway V, Inc.


President, Elizabeth N. Fretwell

Acknowledgement:

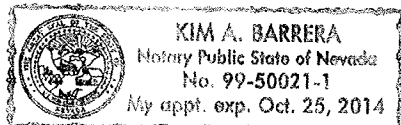
STATE OF NEVADA)
)SS
COUNTY OF CLARK)

This instrument was acknowledged before me on 22 day
of January, 2013,

By Elizabeth N. Fretwell

Notary Public: 

My Commission Expires: Oct. 25, 2014



ECONOMIC AND URBAN
DEVELOPMENT DEPARTMENT

CITY OF LAS VEGAS
CITY HALL
495 S. MAIN STREET
SIXTH FLOOR
LAS VEGAS, NEVADA 89101

VOICE 702.229.6551

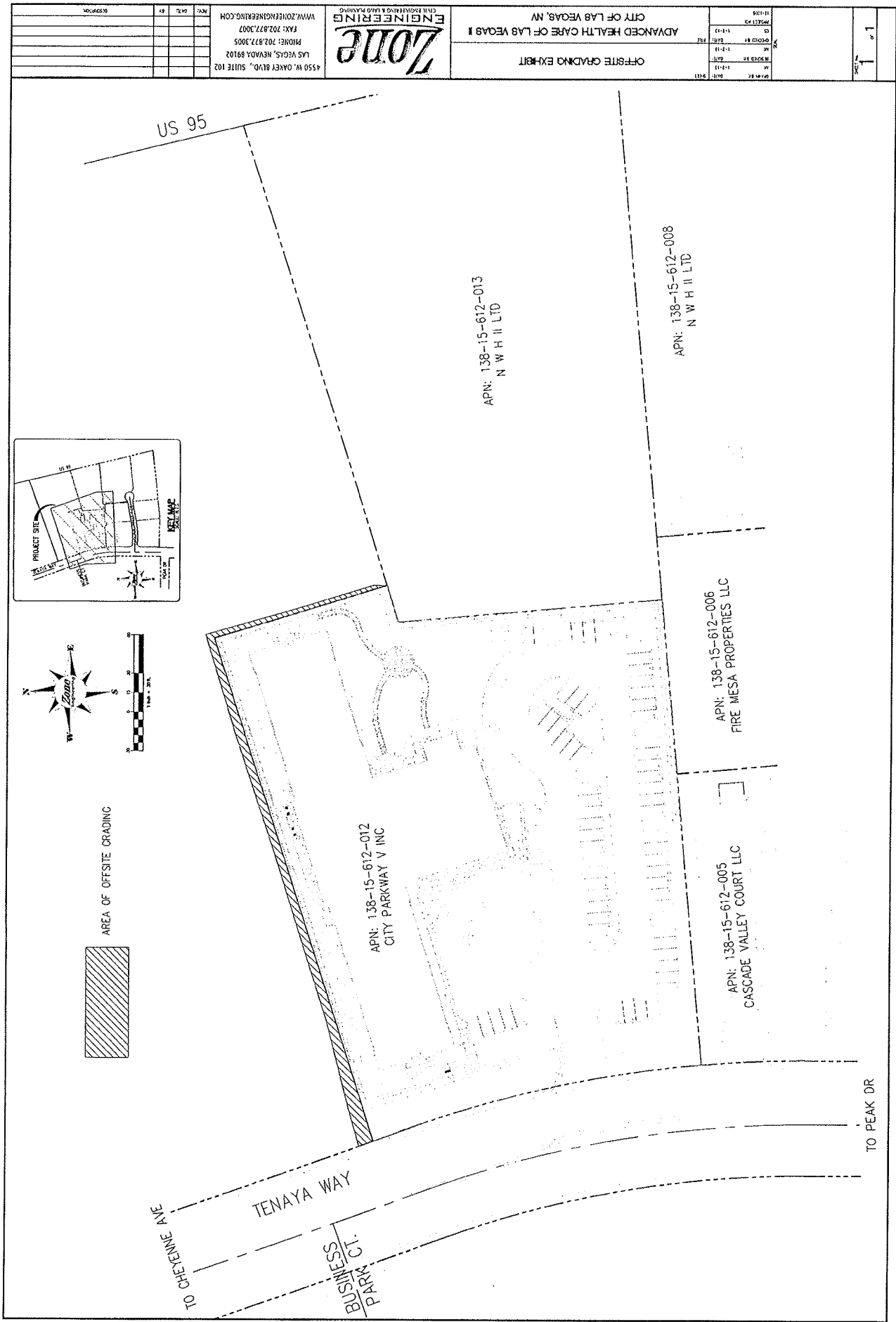
TTY 702.386.9108

www.lasvegasnevada.gov/eud

www.lvrda.org

www.facebook.com/lvbusiness





This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

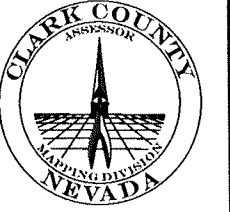
This map is compiled from official records, including surveys and deeds but only contains the information required for assessment. See the recorded documents for more detailed legal information.

BOOK T20S R60E

SEC.	15
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MAP	S 2 NE 4
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138-15-6



126	125	124
137	138	139
164	163	162

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

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6	2	6	2
7	3	7	3
8	4	8	4
5	1	5	1

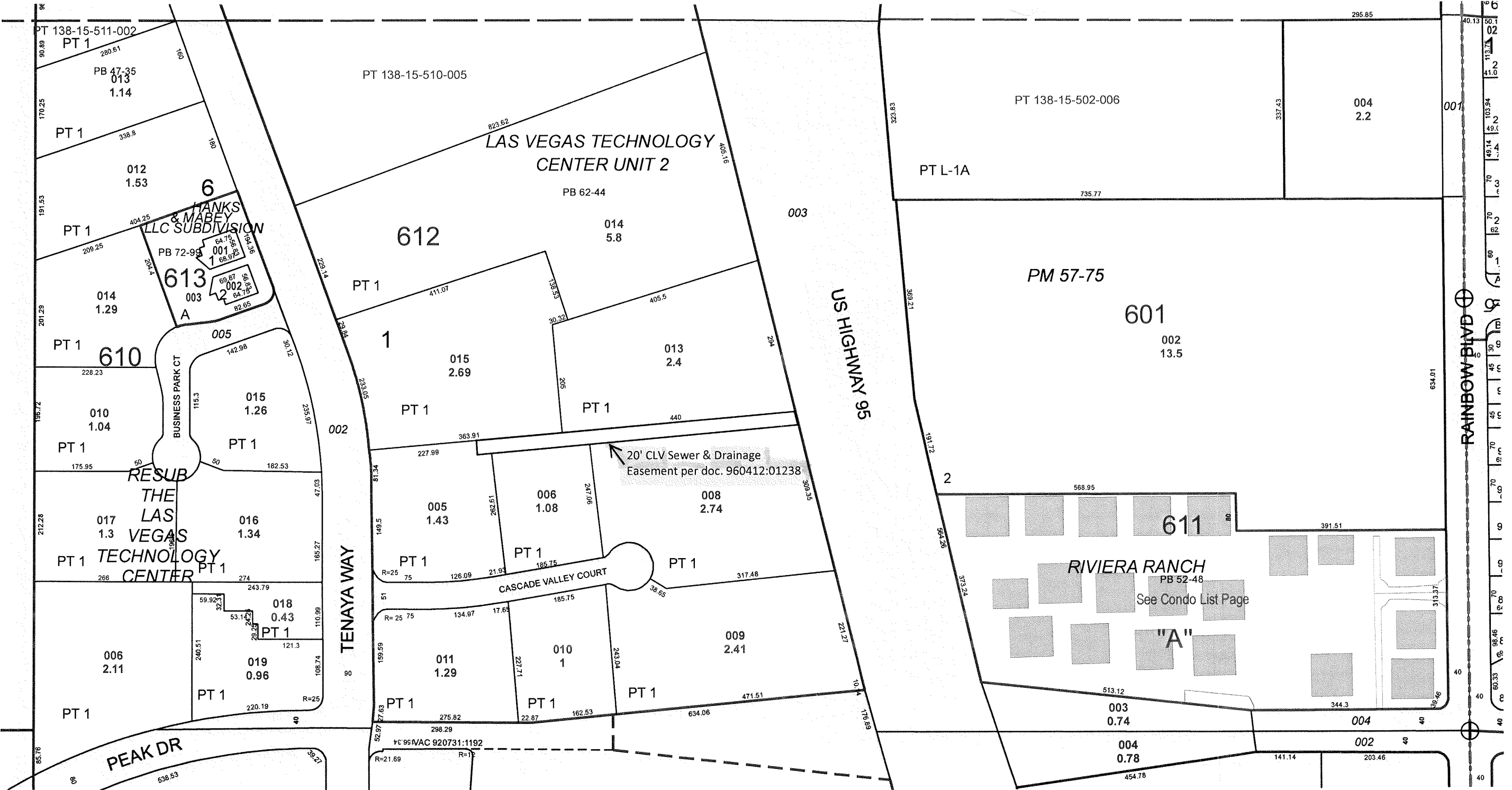
Scale: 1" = 200'

Rev: 2/6/2013

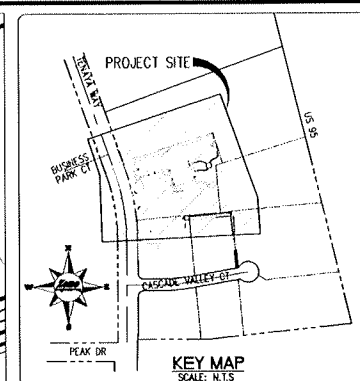
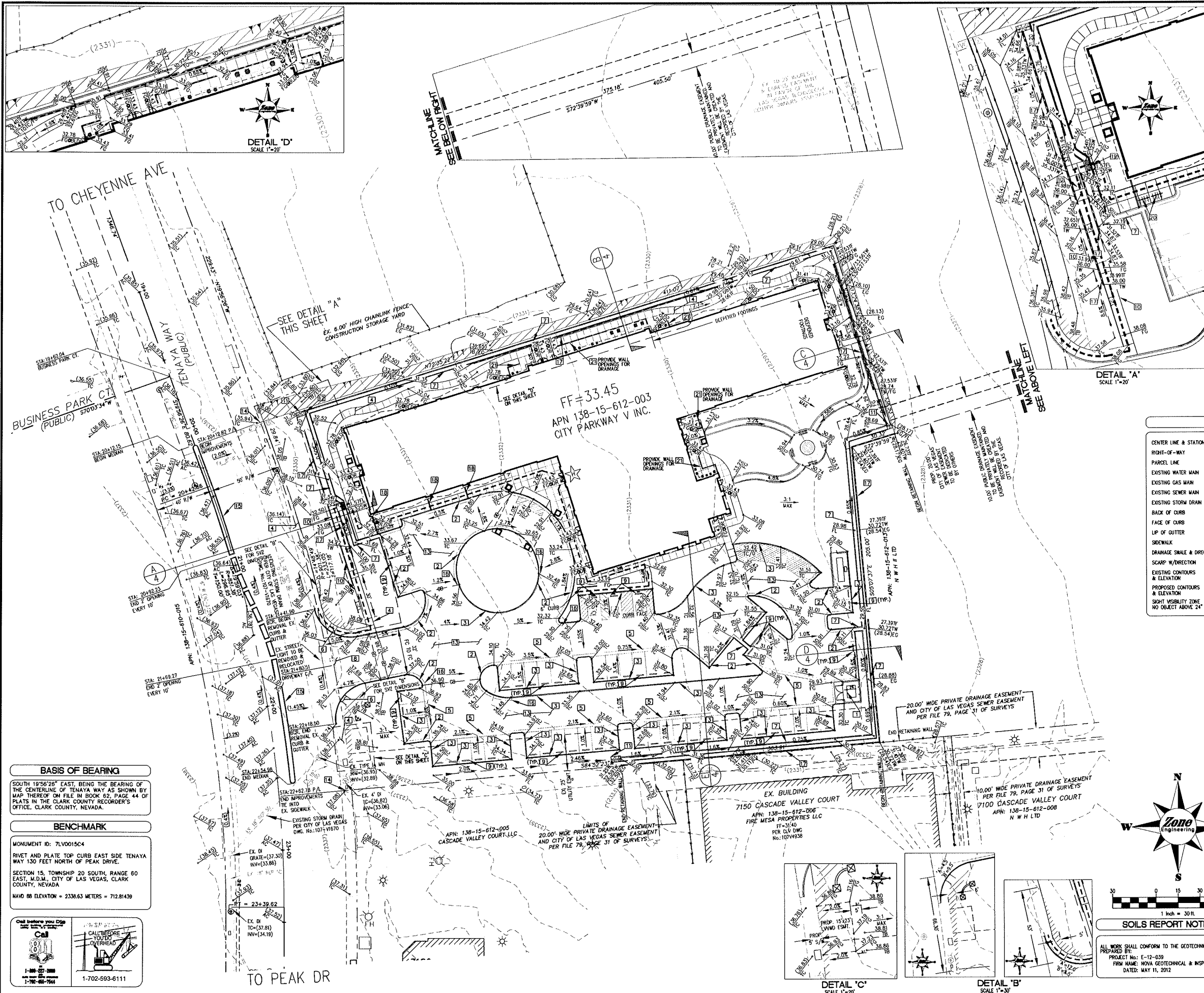
MAP LEGEND

- | | | | |
|---|-------------------------|---|------------------|
|  | PARCEL BOUNDARY |  | CONDOMINIUM UNIT |
|  | SUB BOUNDARY |  | AIR SPACE PCL |
|  | PM/LD BOUNDARY |  | RIGHT OF WAY PCL |
|  | ROAD EASEMENT |  | SUB-SURFACE PCL |
|  | MATCH / LEADER LINE | | |
|  | HISTORIC LOT LINE | | |
|  | HISTORIC SUB BOUNDARY | | |
|  | HISTORIC PM/LD BOUNDARY | | |
|  | SECTION LINE | | |

001 ROAD PARCEL NUMBER
001 PARCEL NUMBER
1.00 ACREAGE
202 PARCEL SUB/SEQ NUMBER
PB 24-45 PLAT RECORDING NUMBER
5 BLOCK NUMBER
5 LOT NUMBER
GL5 GOV. LOT NUMBER



TAX DIST 200



- 1 CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- 2 CONSTRUCT TYPE "T" CURB PER C.C.A.U.S.D. #216
- 3 CONSTRUCT TYPE "A" CURB PER C.C.A.U.S.D. #219
- 4 CONSTRUCT SIDEWALK PER C.C.A.U.S.D. #234
- 5 CONSTRUCT 2" VALLEY GUTTER PER DETAIL "0" ON SHEET 4
- 6 CONSTRUCT HANDICAP RAMP PER C.C.A.U.S.D. #235 CASE 1
- 7 CONSTRUCT "U" CHANNEL PER DETAIL H ON SHEET 4
- 8 CONSTRUCT DRIVEWAY PER C.C.A.U.S.D. #236-S2 & #222.1
- 9 INSTALL PRECAST VEHICLE BUMPER BLOCK PER C.C.A.U.S.D. #238
- 10 CONSTRUCT HANDICAP RAMP PER DETAIL "0" ON SHEET 4
- 11 INSTALL RIPRAP D50-6" THICKNESS=12"
- 12 CONSTRUCT CURB OPENING PER DETAIL "0" ON SHEET 4
- 13 CONSTRUCT PAVEMENT PER DETAIL F ON 4
- 14 TIE INTO EXISTING IMPROVEMENTS
- 15 CONSTRUCT TACK ON CURB PER C.C.A.U.S.D. #220
- 16 CONSTRUCT END SECTION/TRANSITION PER DETAIL J ON SHEET 4
- 17 CONSTRUCT RETAINING WALL
- 18 DAYLIGHT ROOF DRAIN PER DETAIL "A" ON SHEET 4
- 19 CONSTRUCT SIDEWALK UNDERDRAIN
- 20 INSTALL UMC BUCK, REFER TO ARCH. PLANS
- 21 PROP. SCREEN WALL PER ARCH. PLANS

LEGEND			
CENTER LINE & STATION	10+00	FINISHED GRADE	FG
RIGHT-OF-WAY	----	GRADE BREAK	GB
PARCEL LINE	----	FLOW LINE	FL
EXISTING WATER MAIN	EX 8" a	HIGH POINT	HP
EXISTING GAS MAIN	EX GAS	TOP OF CURB	TC
EXISTING SEWER MAIN	EX 8" SS	TOP OF ROLL CURB	TRC
EXISTING STORM DRAIN	EX 15" SP	TOP OF RETAINING WALL	TRW
BACK OF CURB	----	TOP OF BERM	TB
FACE OF CURB	----	ADA ACCESS ROUTE	----
LIP OF GUTTER	----	PROPOSED PAD ELEVATION	(21.1)
SIDEWALK	----	DRAINAGE EASEMENT	=====
DRAINAGE SWALE & DIRECTION		RETAINING WALL	
SCARP W/DIRECTION		SCREEN WALL	
EXISTING CONTOURS	----- (0000)	GRADE BREAK/A.C. FLOW LINE	-----
PROPOSED CONTOURS & ELEVATION	----- 0000	SAWTOOTH LINE	-----
SIGHT VISIBILITY ZONE NO OBJECT ABOVE 24" IN SVZ		NEW AC PAVEMENT	
		PROPOSED CONCRETE	

ADA ACCESS NOTE

 = ADA ACCESSIBLE ENTRANCE/EXIT

FLOODPLAIN INFORMATION

THE SUBJECT SITE IS LOCATED WITHIN FEMA ZONE X AS SHOWN ON F.I.R.M. FLOOD INSURANCE RATE MAP COMMUNIT. PANEL NUMBER 2155, EFFECTIVE NOV. 16, 2011. ZONE X IS DEFINED BY FEMA AS BEING OUTSIDE THE 100 YEAR FLOODPLAIN.

NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED, OR OBSCURED DURING CONSTRUCTION.

NOTE:

ZONE ENGINEERING INC. ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS & ELEVATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXIST IN THE FIELD, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT, OWNER'S REPRESENTATIVE OR ENGINEER IMMEDIATELY.

I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY ON FILE WITH THE CITY OF LAS VEGAS.

CHI-YANG SETO, P.E.

[illegible]

4550 W. OAKLEY BLVD., SUITE 102
LAS VEGAS, NEVADA 89102
PHONE: 702.877.3005
FAX: 702.877.3007
WWW.ZONEENGINEERING.COM

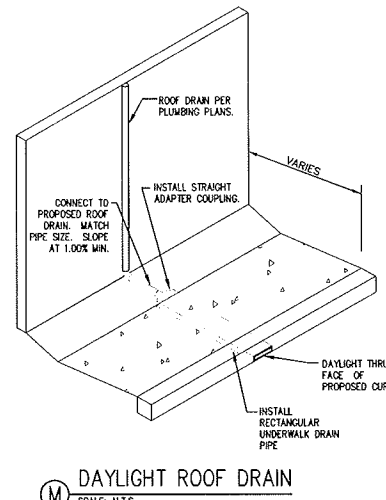
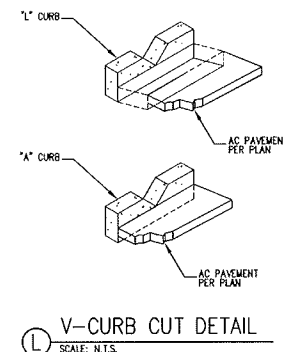
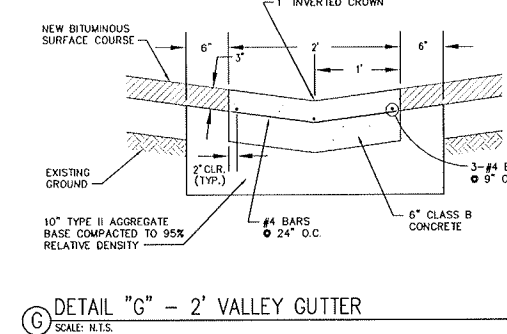
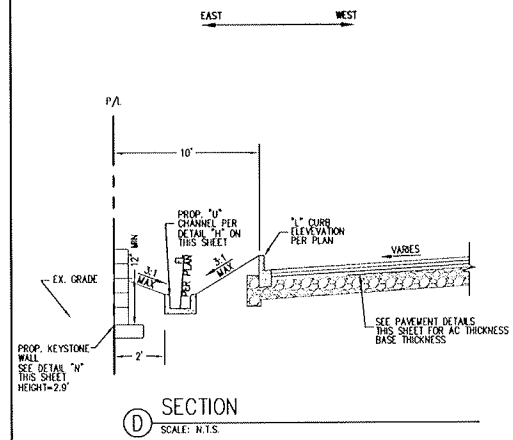
Zone
ENGINEERING
CIVIL ENGINEERING & LAND PLANNING

GRADING PLAN

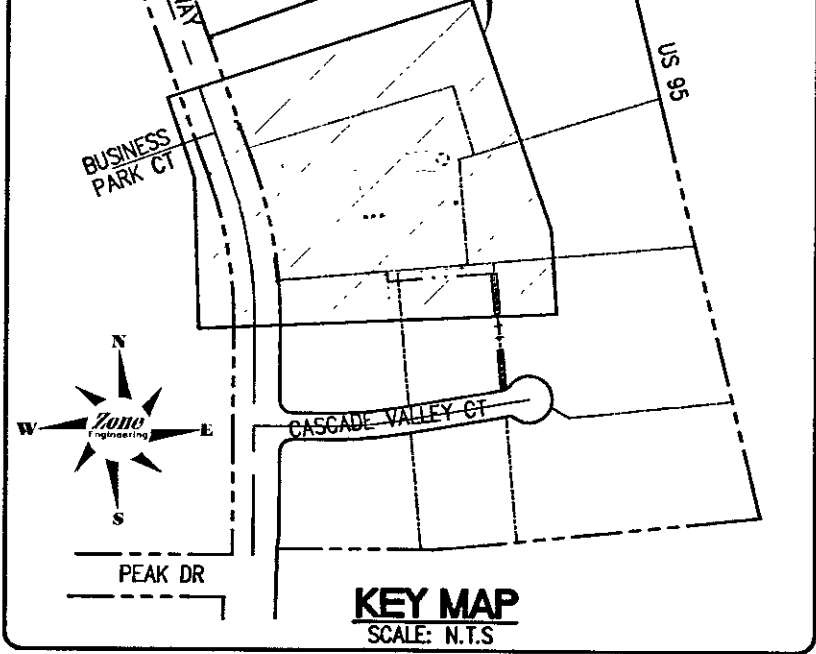
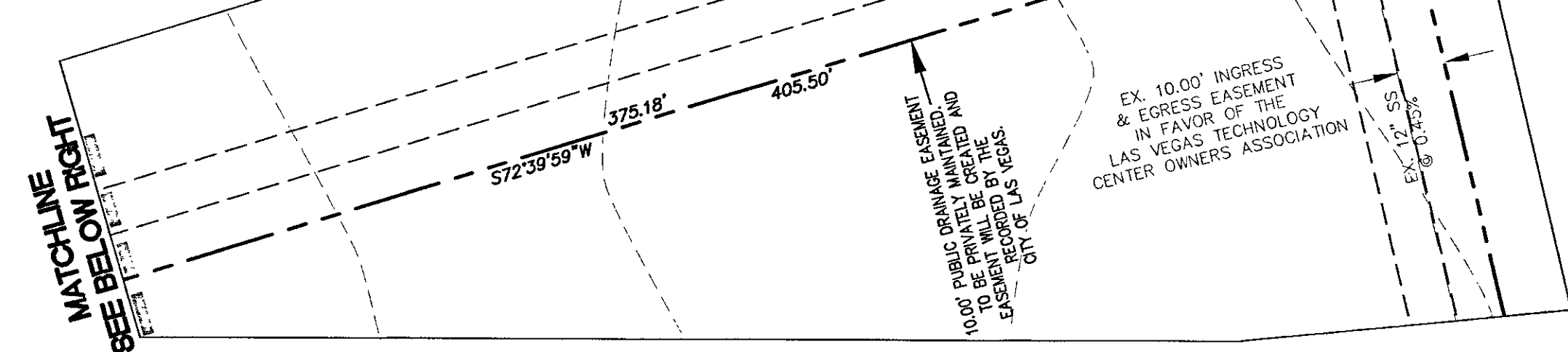
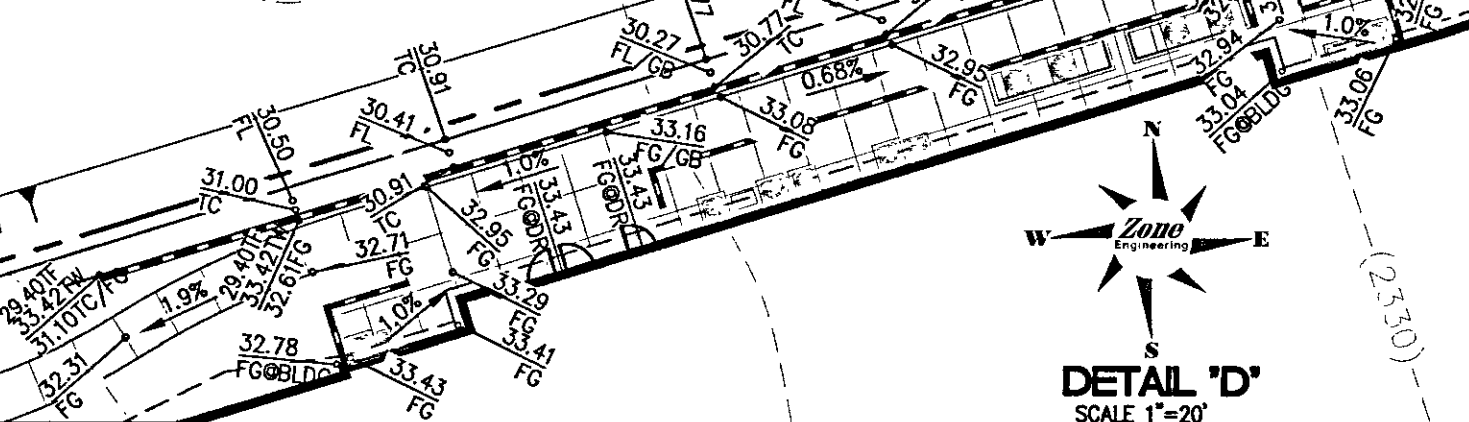
ADVANCED HEALTH CARE OF LAS VEGAS II
CITY OF LAS VEGAS, NV

DRAWN BY:	DATE:	SHEET
AK	9-25-12	
DESIGNED BY:	DATE:	TITLE
AK	9-25-12	
CHECKED BY:	DATE:	
CS	9-25-12	
PROJECT NO:		

SHEET No. **3** of **10**



SHEET No. 4		DRAWN BY: _____ AK. 9-25-12 DESIGNED BY: _____ AK. 9-25-12 CHECKED BY: _____ CS. 9-25-12 PROJECT NO. _____	DATE: 9-25-12 DATE: 9-25-12 DATE: 9-25-12 DATE: 9-25-12	SHEET DETAIL SHEET TITLE
ADVANCED HEALTH CARE OF LAS VEGAS II CITY OF LAS VEGAS, NV				



- CONSTRUCTION NOTES**
1. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 2. CONSTRUCT TYPE "L" CURB PER C.C.A.U.S.D. #216
 3. CONSTRUCT TYPE "A" CURB PER C.C.A.U.S.D. #219
 4. CONSTRUCT SIDEWALK PER C.C.A.U.S.D. #234
 5. CONSTRUCT 2" VALLEY GUTTER PER DETAIL "G" ON SHEET 4
 6. CONSTRUCT HANDICAP RAMP PER C.C.A.U.S.D. #235 CASE 1
 7. CONSTRUCT "U" CHANNEL PER DETAIL "H" ON SHEET 4
 8. CONSTRUCT DRIVEWAY PER C.C.A.U.S.D. #226.52 & #222.1
 9. INSTALL PRECAST VEHICLE BUMPER BLOCK PER C.C.A.U.S.D. #238
 10. CONSTRUCT HANDICAP RAMP PER DETAIL "C" ON SHEET 4
 11. INSTALL RIPRAP D50-6", THICKNESS=12"
 12. CONSTRUCT CURB OPENING PER DETAIL "L" ON SHEET 4
 13. CONSTRUCT PAVEMENT PER DETAIL "F" ON 4
 14. TIE INTO EXISTING IMPROVEMENTS
 15. CONSTRUCT TACK ON CURB PER C.C.A.U.S.D. #220
 16. CONSTRUCT END SECTION/TRANSITION PER DETAIL "J" ON SHEET 4
 17. CONSTRUCT RETAINING WALL
 18. DAYLIGHT ROOF DRAIN PER DETAIL "M" ON SHEET 4
 19. CONSTRUCT SIDEWALK UNDERDRAIN
 20. INSTALL BIKE RACK, REFER TO ARCH. PLANS
 21. PROP. SCREEN WALL PER ARCH. PLANS

LEGEND

CENTER LINE & STATION	10+00	FINISHED GRADE	FG
RIGHT-OF-WAY	---	GRADE BREAK	GB
PARCEL LINE	---	FLOW LINE	FL
EXISTING WATER MAIN	EX. 8" W	HIGH POINT	HP
EXISTING GAS MAIN	EX. 8" SS	TOP OF CURB	TC
EXISTING SEWER MAIN	EX. 8" SS	TOP OF ROLL CURB	TRC
EXISTING STORM DRAIN	EX. 36" SD	TOP OF RETAINING WALL	TRW
BACK OF CURB	---	TOP OF BERM	TB
FACE OF CURB	---	ADA ACCESS ROUTE	---
LIP OF GUTTER	---	PROPOSED PAD ELEVATION	21.1
SIDEWALK	---	DRAINAGE EASEMENT	---
DRAINAGE SWALE & DIRECTION	---	RETAINING WALL	---
SCARP W/DIRECTION	---	SCREEN WALL	---
EXISTING CONTOURS & ELEVATION	---	GRADE BREAK/A.C. FLOW LINE	---
PROPOSED CONTOURS & ELEVATION	---	SAWOUT LINE	---
SIGHT VISIBILITY ZONE	---	NEW AC PAVEMENT	---
NO OBJECT ABOVE 24" IN SVZ	---	PROPOSED CONCRETE	---

This grading plan is a part of drainage study #4563 which was received on 1/31/13 and approved on 2/14/13. Page 1

ADA ACCESS NOTE

★ = ADA ACCESSIBLE ENTRANCE/EXIT

FLOODPLAIN INFORMATION

THE SUBJECT SITE IS LOCATED WITHIN FEMA ZONE X AS SHOWN ON F.I.R.M. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 2158, EFFECTIVE NOV. 16, 2011. ZONE X IS DEFINED BY FEMA AS BEING OUTSIDE THE 100 YEAR FLOODPLAIN.

NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION, E.S. SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED, OR OBLISCURED DURING CONSTRUCTION.

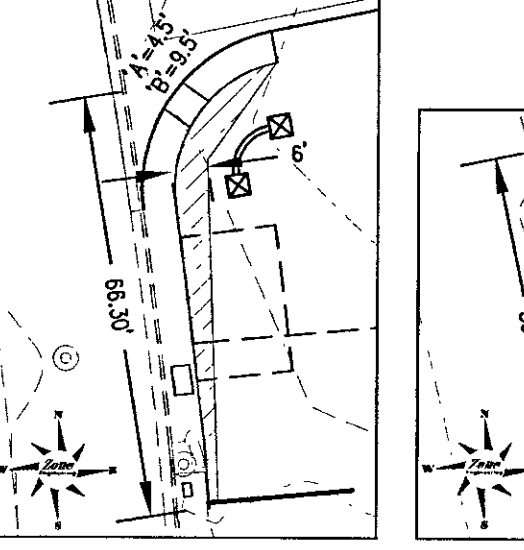
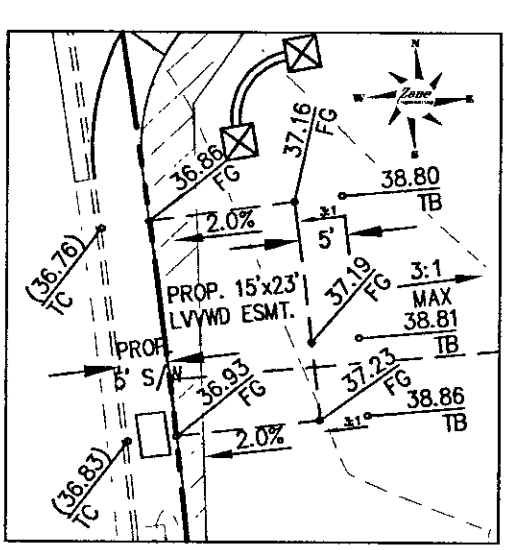
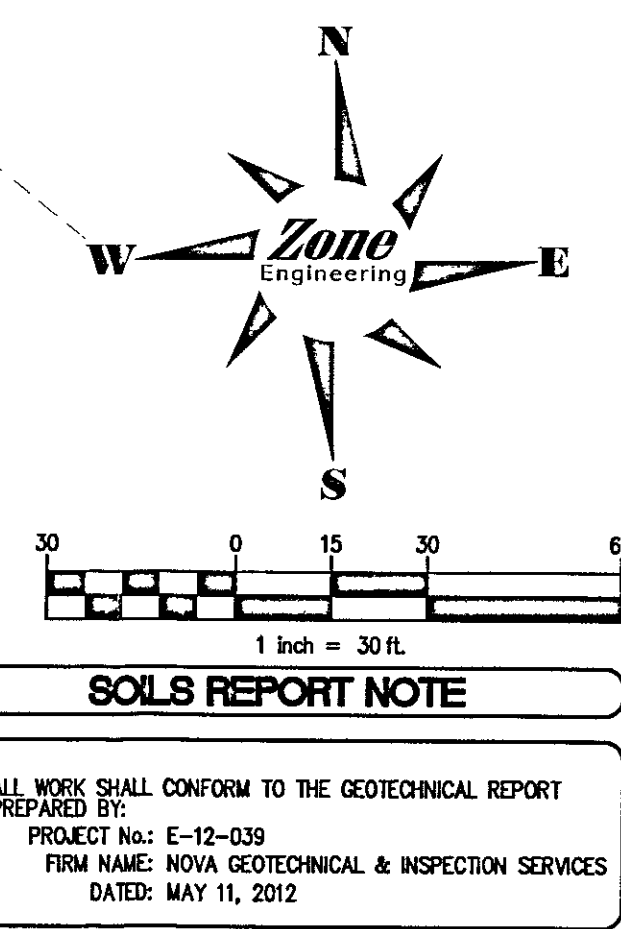
NOTE

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I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY ON FILE WITH THE CITY OF LAS VEGAS.

CHI-YING SETO, P.E.

DATE



BASIS OF BEARING

SOUTH 19°56'26" EAST, BEING THE BEARING OF THE CENTERLINE OF TENAYA WAY AS SHOWN BY MAP THEREOF ON FILE IN BOOK 62, PAGE 44 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

BENCHMARK

MONUMENT ID: 7LV0015C4

RIVET AND PLATE TOP CURB EAST SIDE TENAYA WAY 130 FEET NORTH OF PEAK DRIVE.

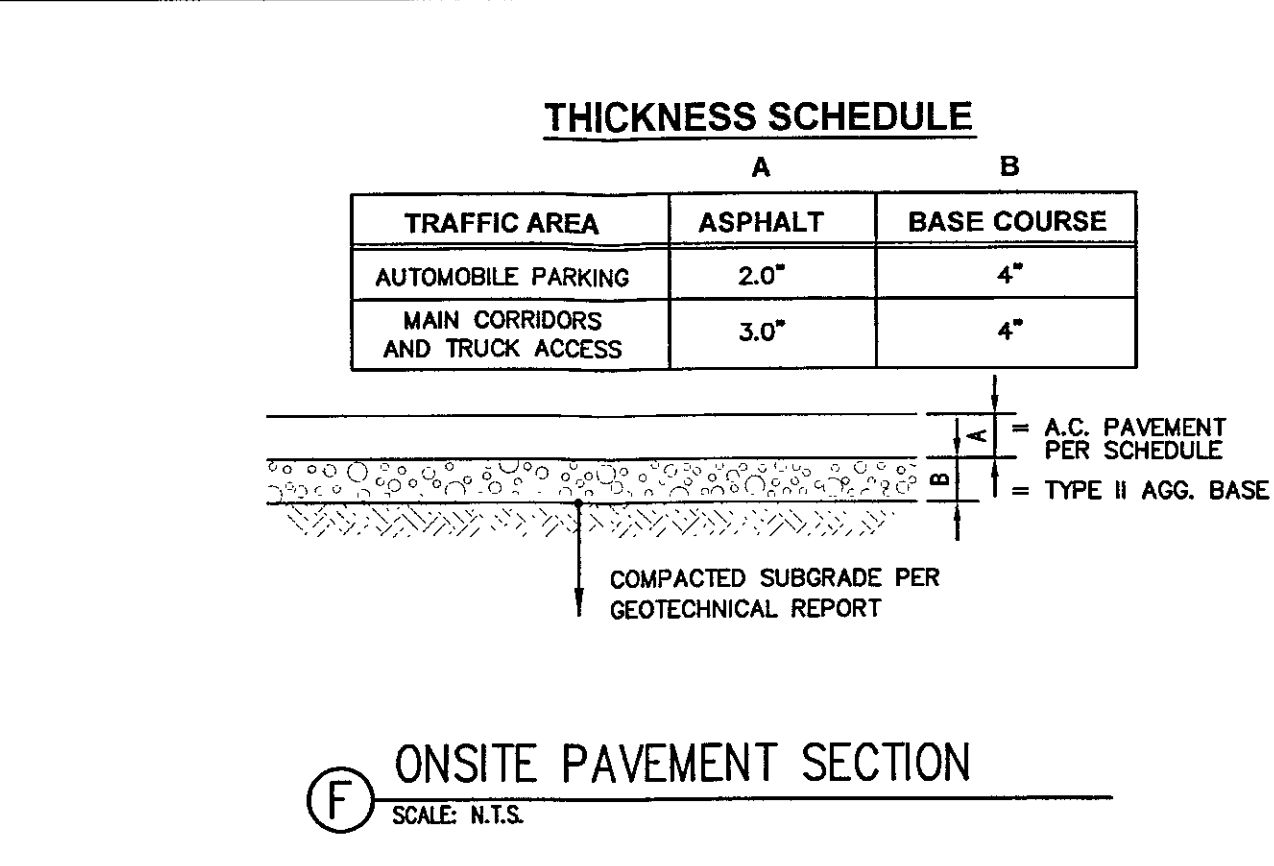
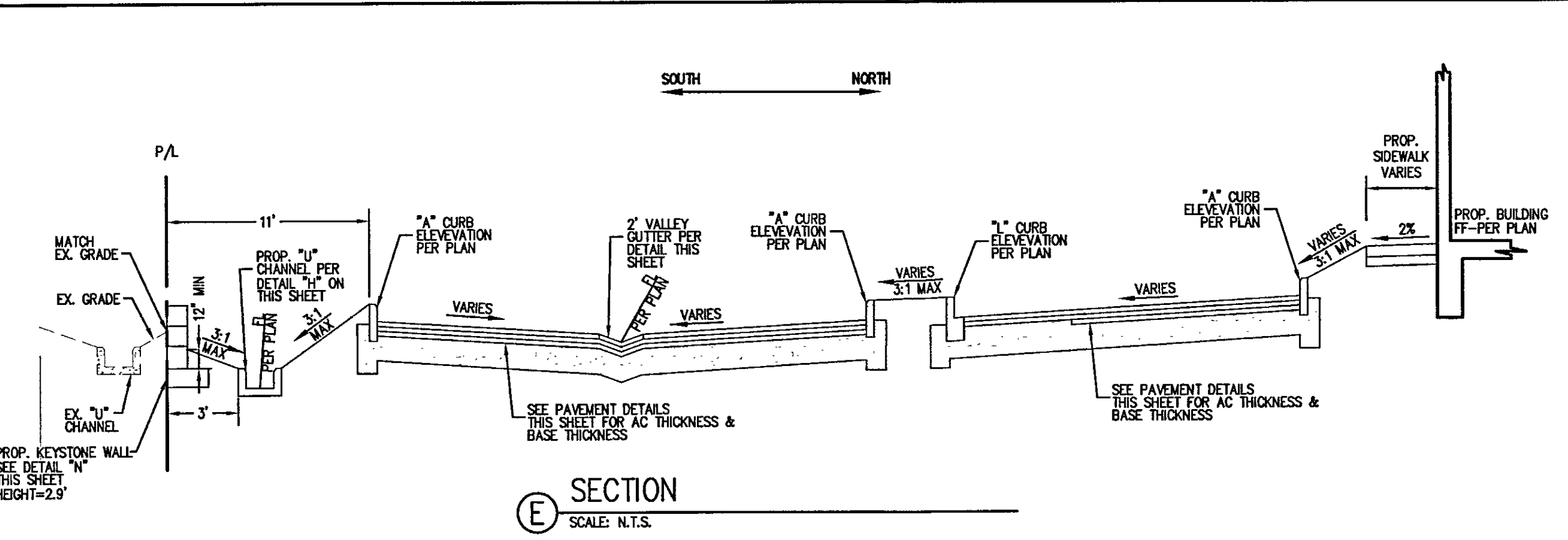
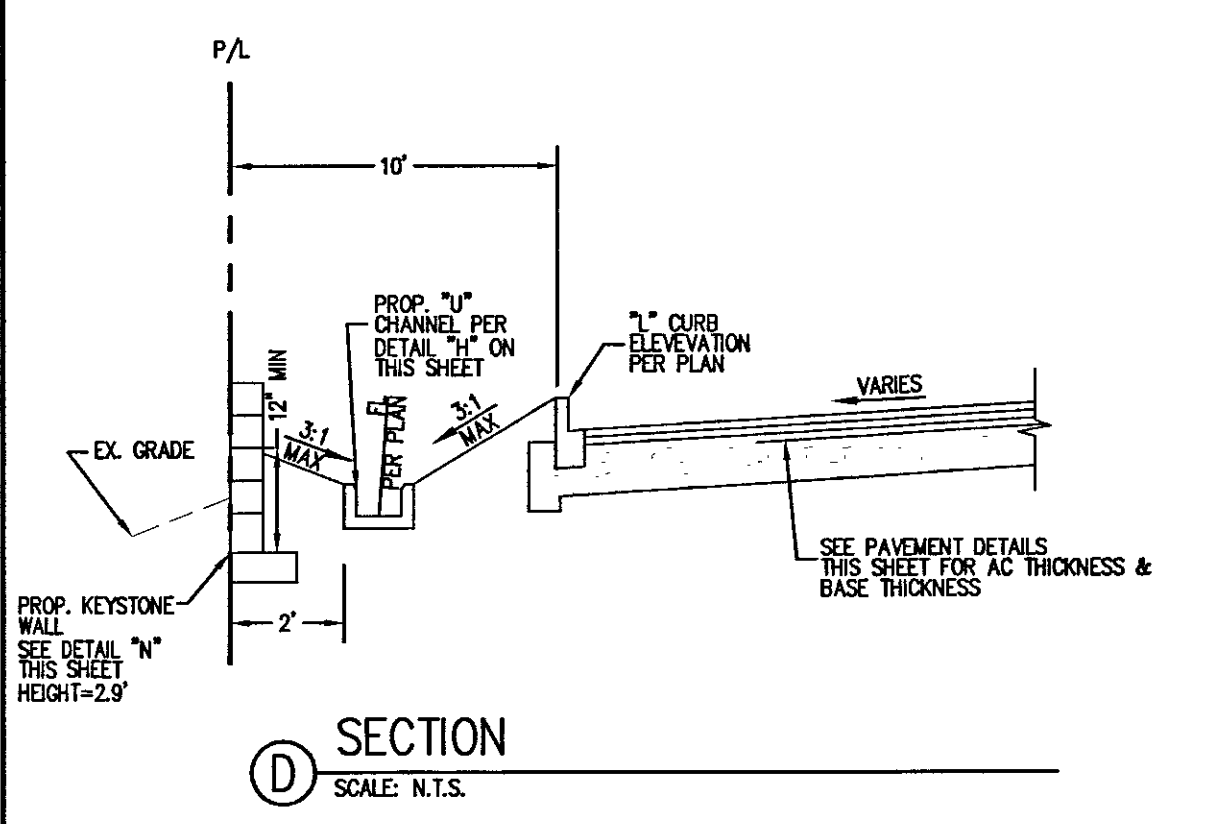
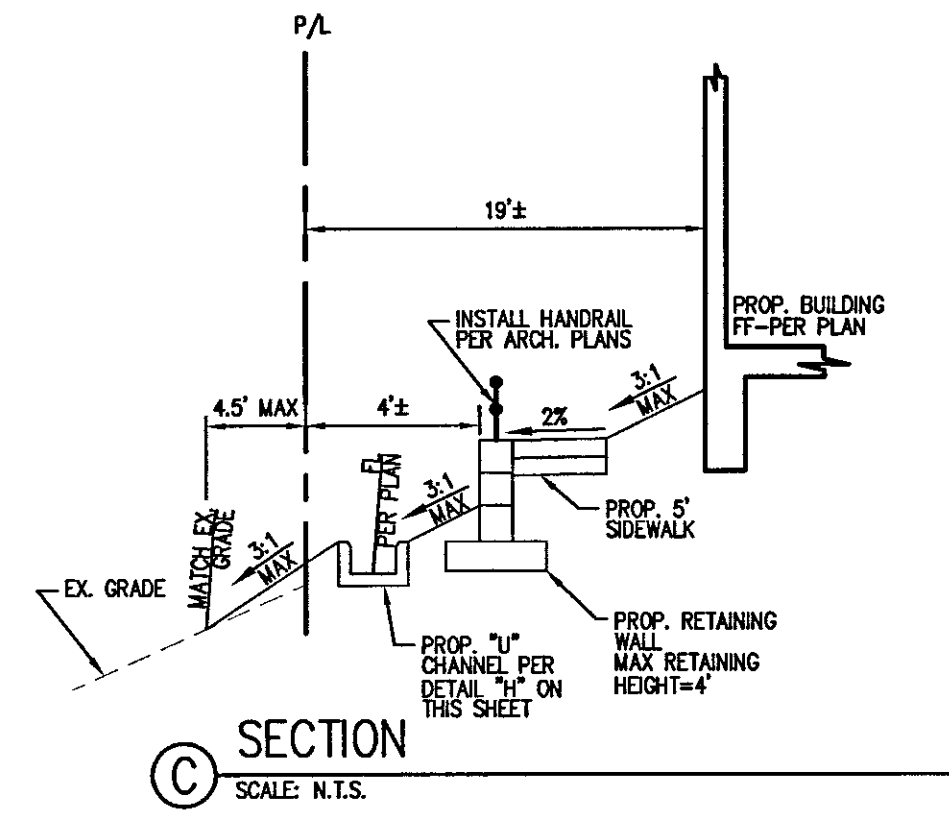
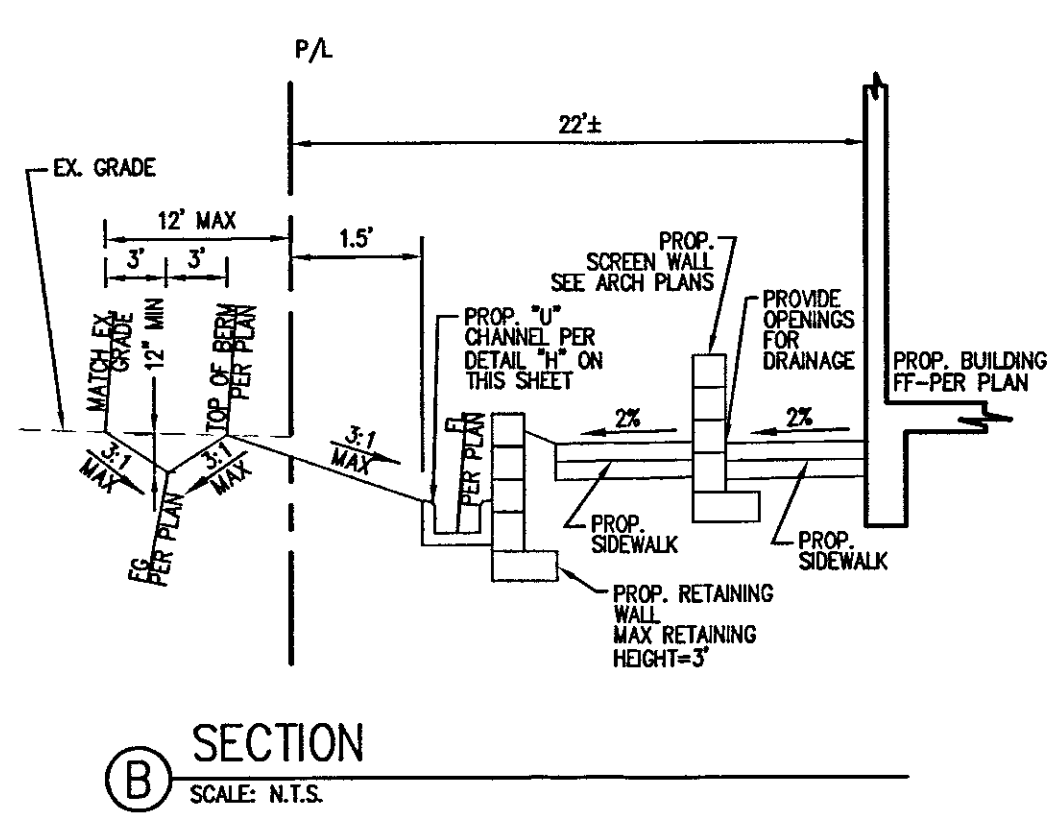
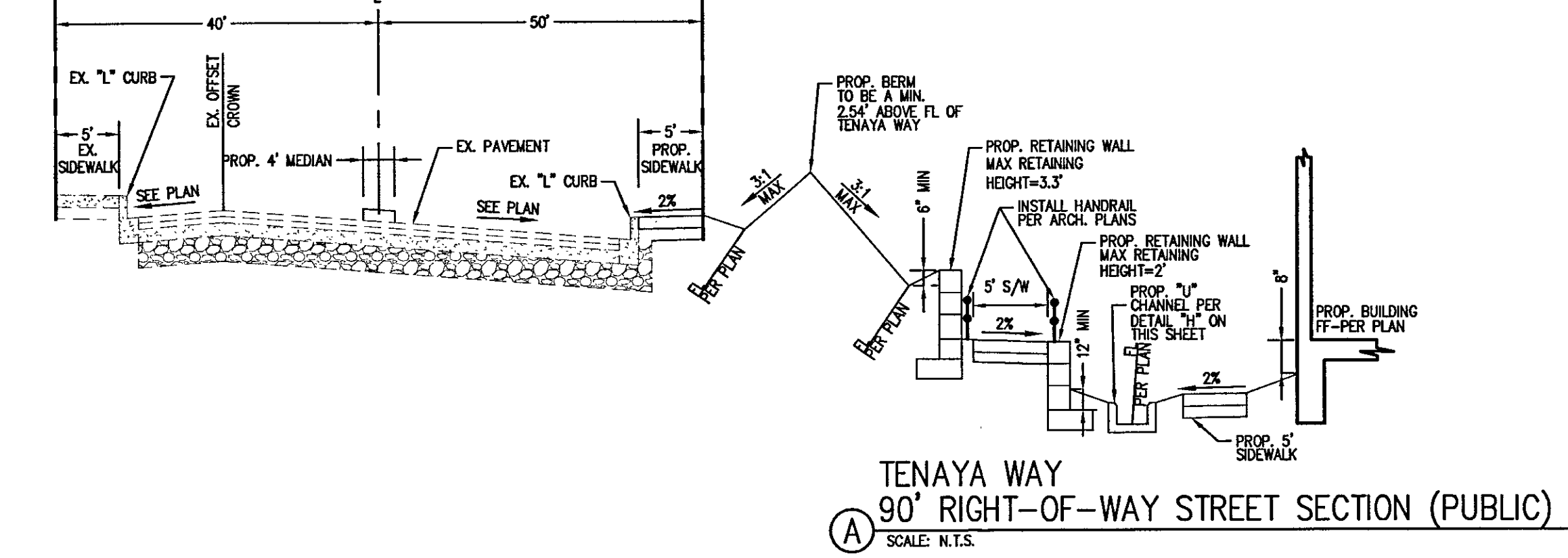
SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

NAVD 88 ELEVATION = 2338.63 METERS = 712.61439

Call before you Dig

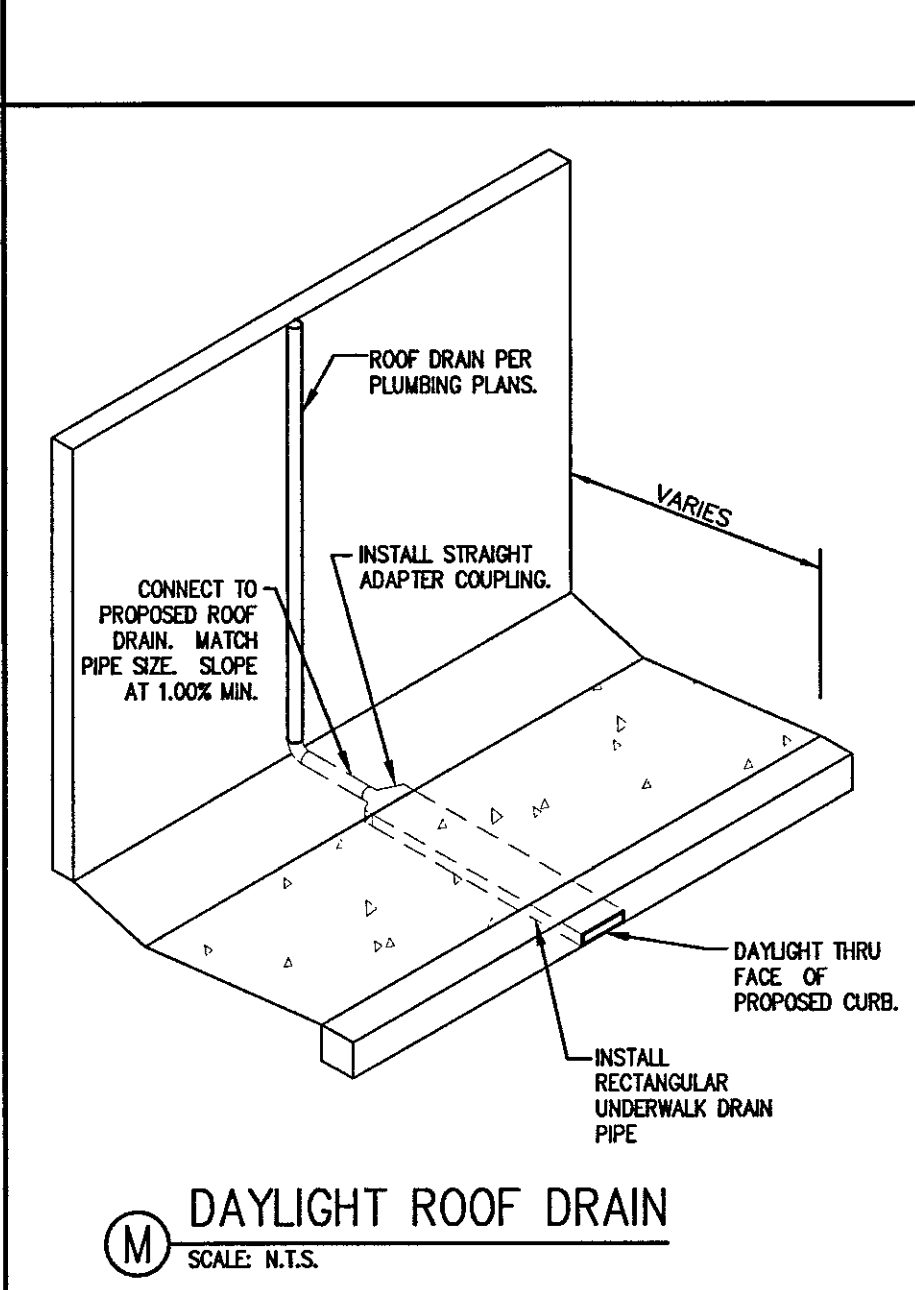
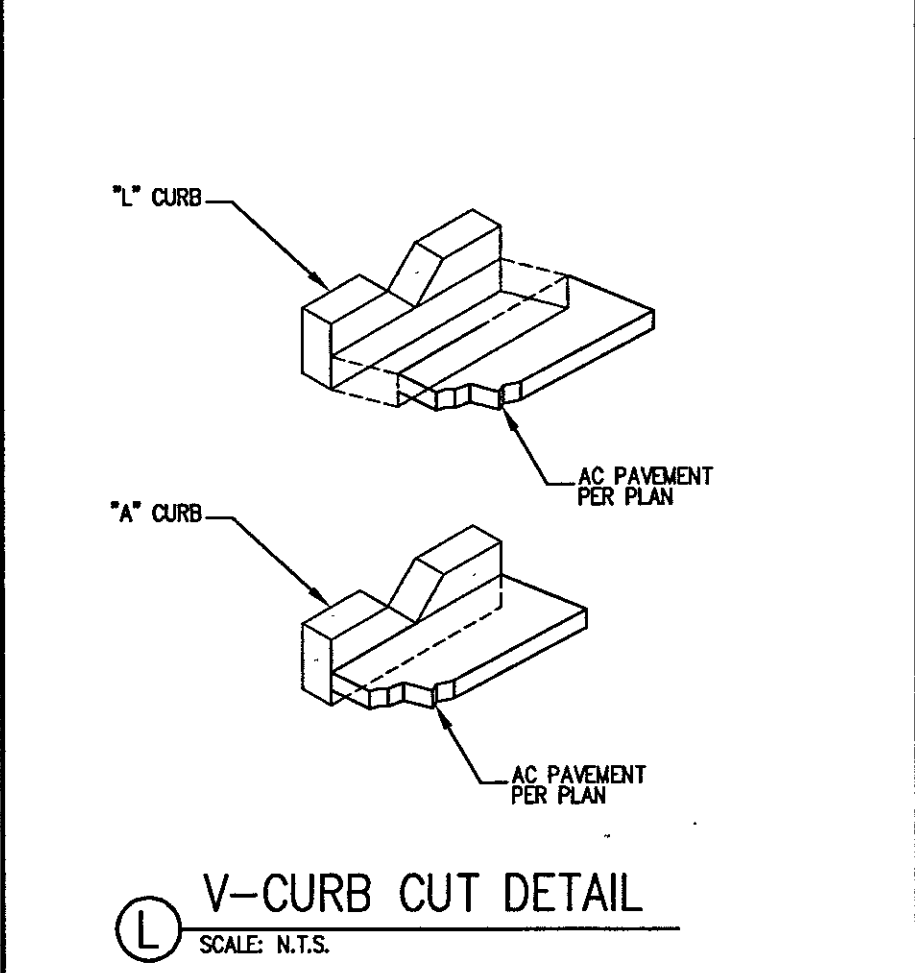
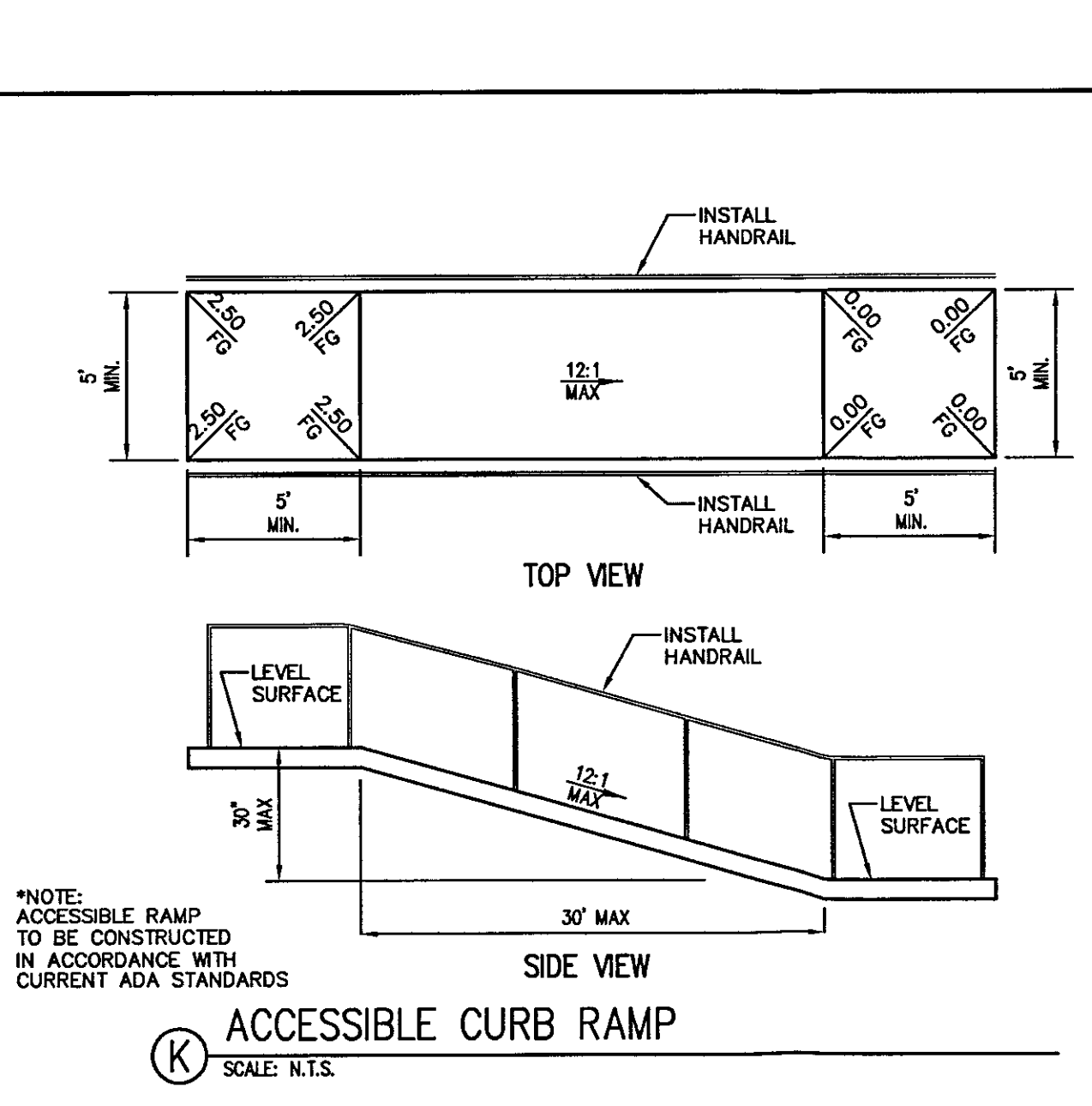
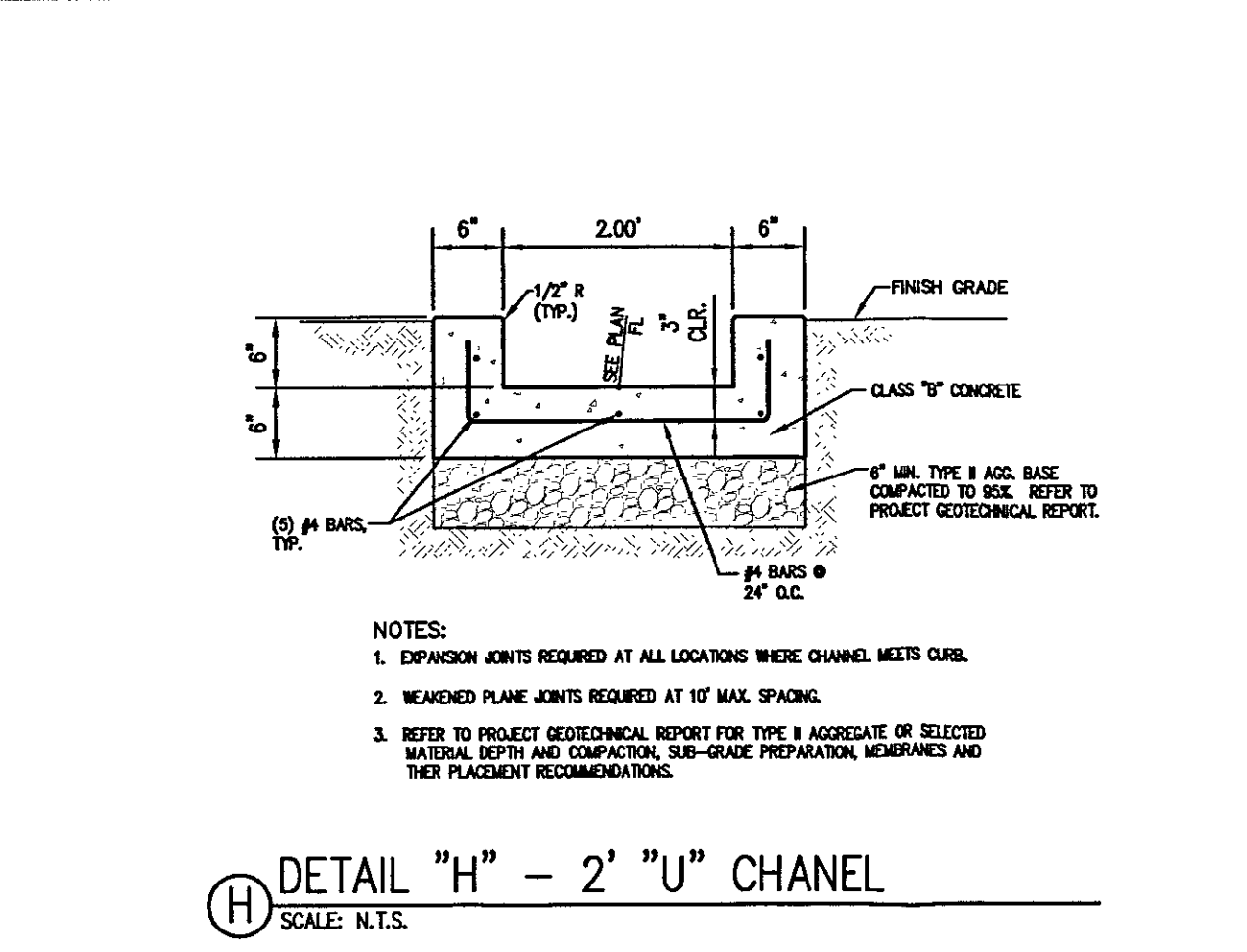
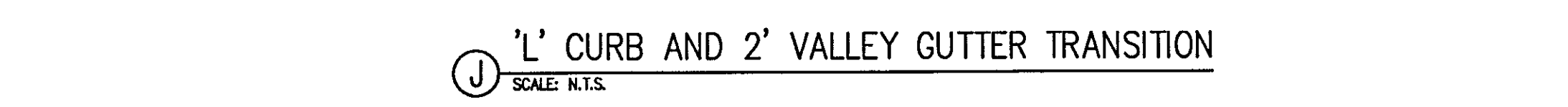
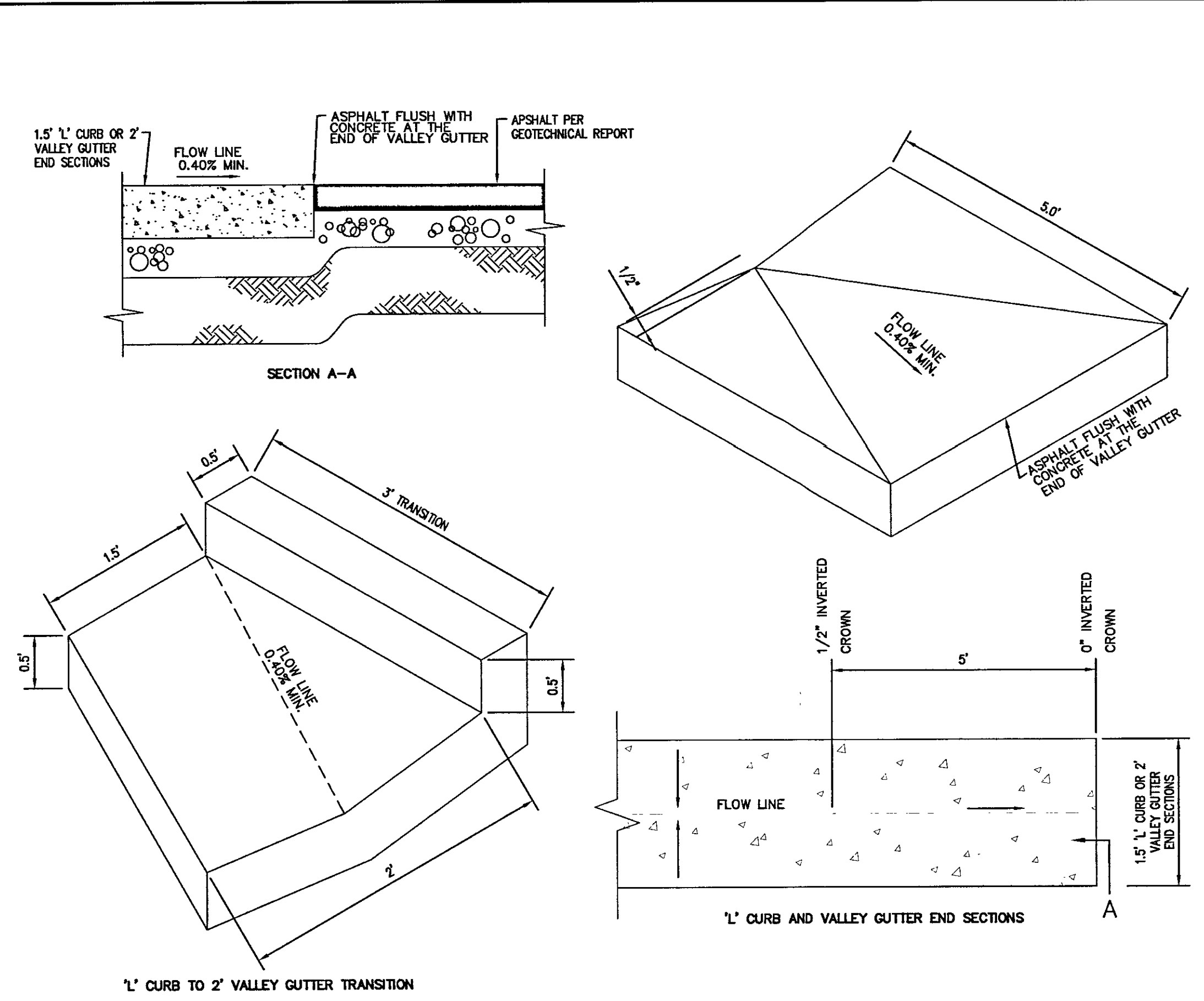
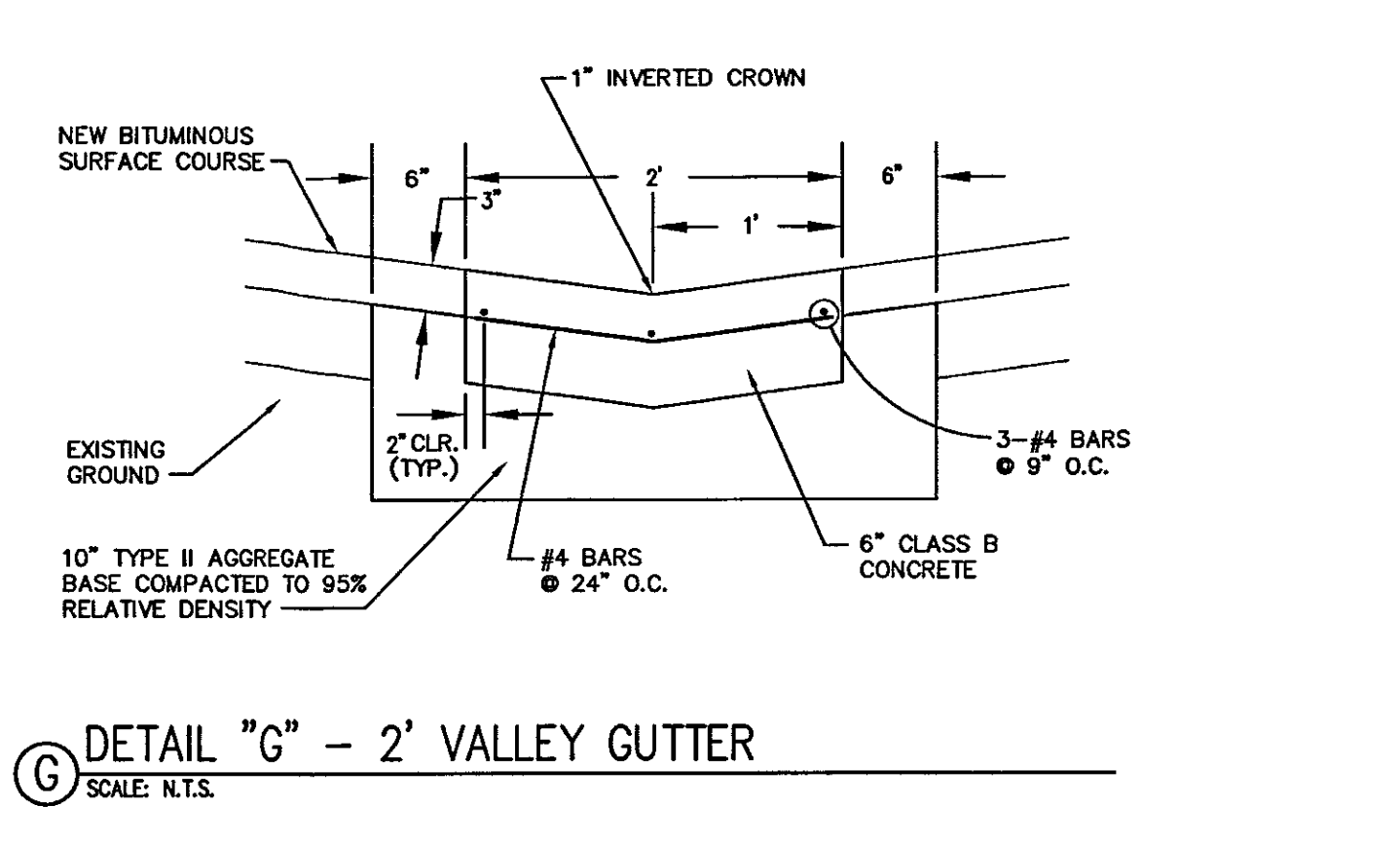
1-800-277-2600

1-702-593-6111



SOILS REPORT NOTE

ALL WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT PREPARED BY:
NOVA ENGINEERING & INSPECTION SERVICES
4480 West Hacienda Ave
Suite 104
Las Vegas, NV 89118
OFFICE: 702.873.3478
PROJECT No. E-12-039
DATED: MAY 11, 2012



REINFORCED AND NON-REINFORCED RETAINING WALLS

Geosynthetic reinforcement

Anchor Diamond Pro™ walls can be designed with geosynthetic reinforcement to attain heights in excess of 30 feet. The geosynthetics selected to provide reinforcement must have proven performance with the Anchor Diamond Pro unit through connection testing. Contact Anchor Wall Systems for connection testing results with many geosynthetic types.

Refer to the examples within this manual for geosynthetic reinforcement placement under varying conditions (slopes, soils and surcharges). It's important to note that all data provided in this manual is preliminary and for estimating purposes only, as your actual project conditions will vary. Your final design must be performed by a registered professional engineer.

Water projects

Water projects are another excellent application of Anchor Diamond Pro blocks. The following design considerations must be addressed for water projects:

- Velocity of the water impacting the structure.
- Rapid drawdown effects.
- Ice flow.

Successful Anchor Diamond Pro water project designs use a combination of geosynthetics for reinforcement and filtration as well as riprap placed in front of the wall to protect the structure. All water projects should be designed by a registered professional engineer.

SPECIFICATIONS

GENERAL INFORMATION	DIAMOND PRO™ REVEZED UNIT	DIAMOND PRO™ STRAIGHT UNIT
Compressive strength: 3300 psi min.	Approximate Dimensions: 8" x 18" x 12"	Approximate Dimensions: 8" x 18" x 12"
Absorption rate: 7.0% max.	Approximate Weight: 72 lbs.**	Approximate Weight: 74 lbs.**
Material composition: High quality zero slump concrete	Coverage: 8" = 1.0 sq. ft.	Coverage: 8" = 1.0 sq. ft.
	Subgrade: 1.0"	Subgrade: 1.0"

DIAMOND PRO™ CAP UNIT

Approximate Dimensions: 8" x 18" x 10"

Approximate Weight: 40 lbs.**

DIAMOND PRO™ CORNER UNIT

Approximate Dimensions: 8" x 18" x 8"

Approximate Weight: 101 lbs.**

COLORS

Manufacturer's standard colors include, but are not limited by, gray and tan. Additional colors may be region. Custom colors are available by special order only.

*Dimensions may vary by +/- 1/16"

**Nominal Dimensions. Actual dimensions and weight may vary from these nominal dimensions due to variations resulting from a manufacturing process. Specifications may change without notice. See your Anchor representative for details, color options, block dimensions and additional information.

KEYSTONE WALL DETAILS

SCALE: N.T.S.