

DS #: 4576

APN: 125-27-113-006

PROJECT: The collision center

SUBMITTAL: 2nd

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

DATE:

December 11, 2012

TO:

Land Development Services
Department of Public Works

FROM:

Albert Sung, P.E.
Flood Control Project Engineer
Department of Public Works

SUBJECT:

Drainage Study for:

The Collision Center

COPIES TO:

Rietz Consulting Inc.

Cross Streets:

NWQ of Azure Drive & Tenaya Way

Centennial Property LLC

File Number:

F:\Depot\DSMemos\DS4576B.doc

Bart Anderson, P.E., DevCo

Parcel Number:

125-27-113-006

Zoning Action:

SUP-46275; SDR-46278 & MOD-46280

FEMA Flood Zone

YES

NO

X

Proposed Storm Drain

YES

NO

X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	11/13/2012	11/26/2012	Not Approved	\$400.00	301650: \$400
2 nd Submittal (Supplement)	11/29/2012	12/10/2012	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

- The proposed 27.5'-Public Drainage Easement (Privately Maintained) along the west property line must be dedicated and recorded by separate document prior to the final approval of the improvement plans.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T19S/R60E/27
AREA G-27

 *** FAX TX REPORT ***

TRANSMISSION OK

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 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 12/11 14:38
 USAGE T 00' 40
 PGS. 1
 RESULT OK

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

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Rec'd: 11/29/12

DS4576

6-27

Supp. Info.
N/C

November 27, 2012

Mr. Albert Sung, P.E.
City of Las Vegas,
Flood Control Project Engineer -Development of Public Works
333 N. Ranch Drive
Las Vegas, NV 89106

RE: Supplement #1 to the Technical Drainage Study for the Collision Center.
(CLV #4576A)

Dear Albert Sung:

Rietz Consulting is pleased to provide a copy of Supplement #1 to the Technical Drainage Study for the Collision Center. The project site is located within Township 19 South, Range 60 East, Section 27, in Las Vegas, Nevada. The site is bordered by Azure Drive to the south, NV Energy Substation to the north, undeveloped parcel (APN# 125-27-101-035) to the west, and commercially developed parcel (APN# 125-27-112-006) to the east, The Assessors' parcel number is 125-27-113-006.

Please feel free to contact our office if you any questions.

Sincerely,

Eric Rietz, P.E., P.L.S.
President



November 27, 2012

Mr. Albert Sung, P.E.
City of Las Vegas,
Flood Control Project Engineer -Development of Public Works
333 N. Ranch Drive
Las Vegas, NV 89106

RE: Supplement #1 to the Technical Drainage Study for the Collision Center.
(CLV #4576A)

Dear Albert Sung:

Rietz Consulting has received the City of Las Vegas Inter-Office Memorandum Supplemental Request issued November 26, 2012 for the above referenced study. The comments have been addressed as follows:

Comment 1: *Per Condition #3 of SDR-46278, a six-foot tall wrought iron fence shall be installed along the portion of the north perimeter that is adjacent to the secured outside storage area. This required wrought iron fence should have been reflected in Section Detail 6/DT1 but to no avail. Review and revise accordingly.*

Response 1: A wrought iron fence has been added to the plans and details.

Comment 2: *Referencing Section Details 3/DT1, 4/DT1, and 5/DT1 with the grading plan, it appears that a proposed chain link fence does not align with the west property line continually. Explain why is that? It is recommended that the chain link fence be constructed at the west property line and show as such in the pertinent details.*

Response 2: The existing chain link fence currently encroaches into the adjacent property as shown on the plans. The plan and details have called out for this fence to be relocated to the western property line.

Comment 3: *Per the grading plan, the engineer/developer proposes to accept offsite flow from the west into the subject site and perpetuates southerly into Azure Drive for ultimate discharge. There are two options:*

- I. Grant a public drainage easement (privately maintained) along the west boundary and to be recorded by separate document.*
- II. Provide an offsite swale along the west boundary and obtain a notarized letter from the adjacent property owner for permission of offsite grading.*

Either one of the above options must be finished prior to the final approval of the drainage study.

Response 3: A public drainage easement (privately maintained) has been added to the plans and will be recorded by separate document prior to permit issuance.

Comment 4: *Label an existing storm drain system in Azure Drive with City of Las Vegas recorded construction drawing number on the grading plan.*

Response 4: The existing Azure Drive storm drain system has been identified as existing and labeled with the Las Vegas record construction drawing number.

Please feel free to contact our office if you any questions.

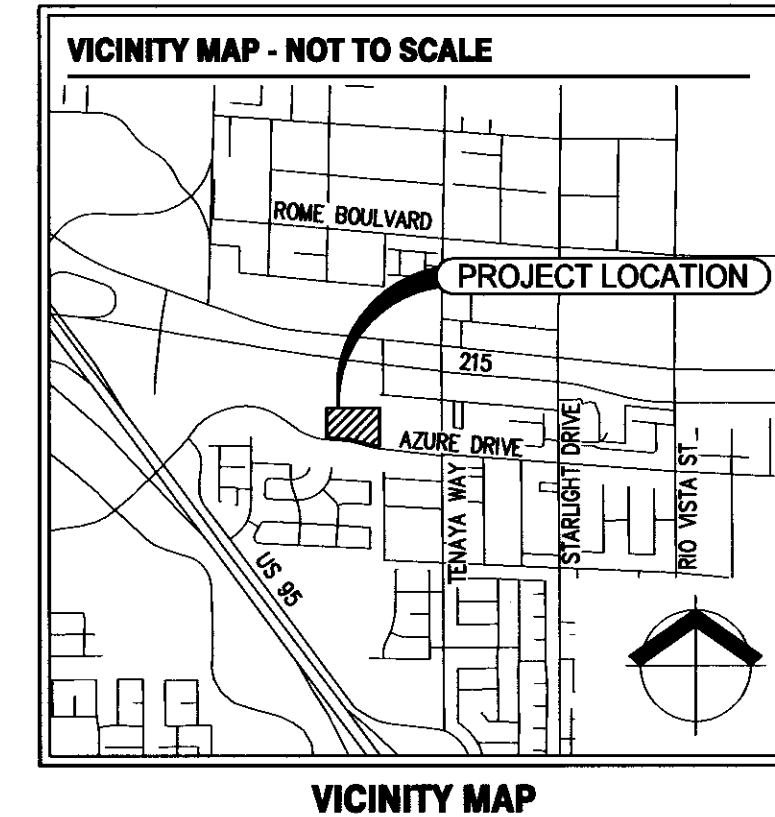
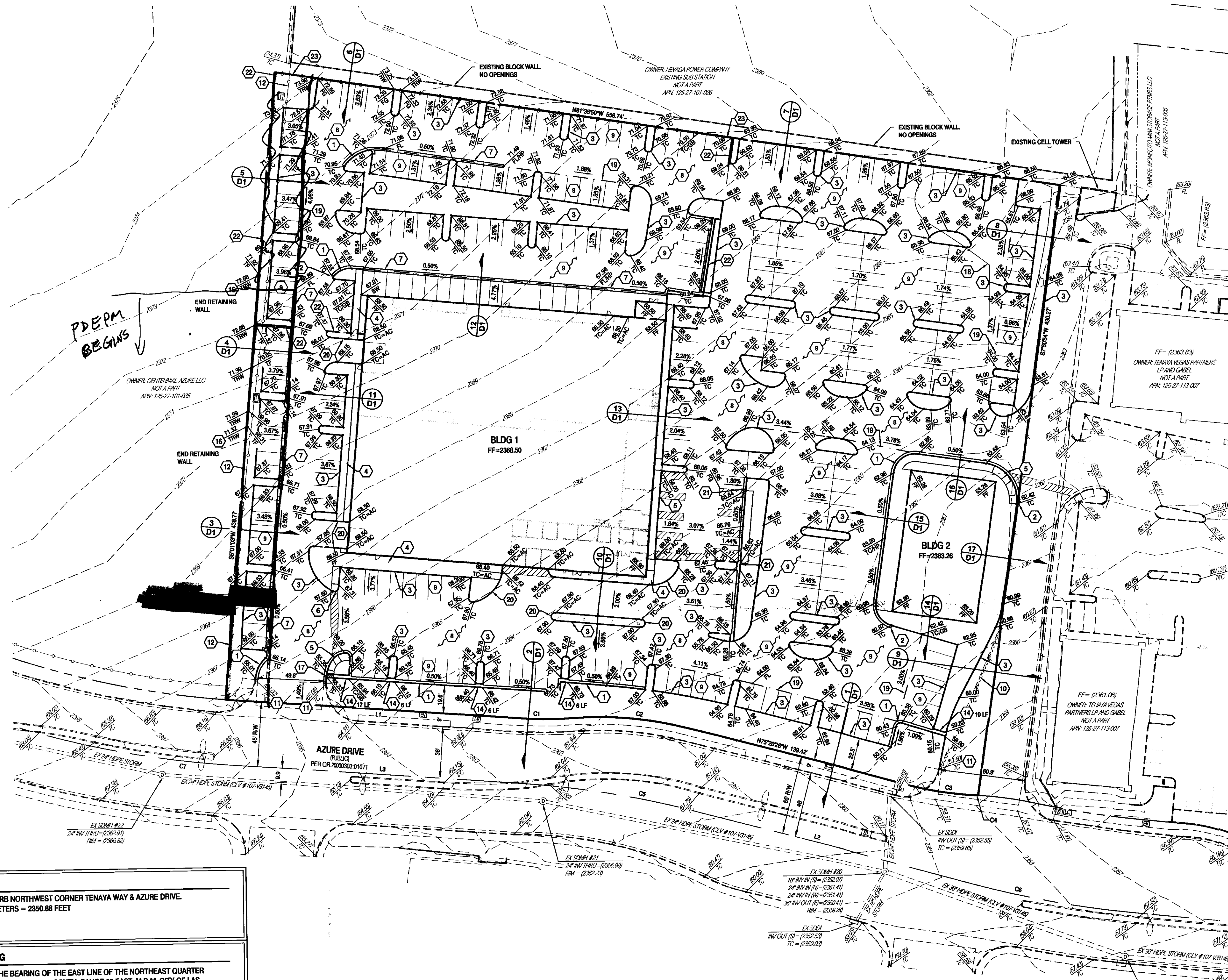
Sincerely,



Eric Rietz, P.E., P.L.S.
President



11/22/12



LEGEND

- PROPERTY BOUNDARY
- ADJACENT LOT LINE
- RIGHT-OF-WAY
- CENTER LINE
- EXST 'L' TYPE CURB
- EXST 'A' TYPE CURB
- EXST MAJOR CONTOUR LINE
- EXST MINOR CONTOUR LINE
- EXST SCREEN WALL AS INDICATED
- EXST BUILDING FOOTPRINT
- EXST EDGE OF PAVEMENT
- 'L' TYPE CURB
- 'A' TYPE CURB
- CHAIN LINK FENCE
- SWALE FLOW LINE
- SAWCUT LINE
- EXST FIRE HYDRANT
- EXST TELEPHONE VAULT
- EXST CABLE T.V. BOX
- EXST ELECTRICAL VAULT
- EXST ON-SITE AREA LIGHT
- EXST STREET LIGHT
- EXST STORM DRAIN MANHOLE
- EXST WATER BACKFLOW PREVENTER
- EXST WATER METER
- EXST STORM DRAIN PIPE

EXISTING

- TOP BACK CURB
- FINISH GRADE
- EDGE OF PAVEMENT
- FLOW LINE
- ASPHALT CONCRETE

PROPOSED

- TOP BACK CURB
- FINISH GRADE
- EDGE OF PAVEMENT
- FLOW LINE
- ASPHALT CONCRETE
- GRADE BREAK
- HIGH POINT
- TOP OF CURB = ASPHALT
- TOP OF RETAINING WALL
- TOP OF FOOTER

NOTES

- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING STRUCTURES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED OR OBSOLETE DURING CONSTRUCTION.

GRADING

- CONSTRUCT 'L' CURB AND GUTTER PER CCAUSD #216
- TURN OUT 'L' CURB TO ENSURE POSITIVE DRAINAGE
- CONSTRUCT 'A' CURB AND GUTTER PER CCAUSD #219
- CONSTRUCT SIDEWALK PER CCAUSD #234
- CONSTRUCT CASE 1 SIDEWALK RAMPS USING ARMOR TILE TRUNCATED DOMES OR EQUIV. PER CCAUSD #226, A & B = 8" UNLESS OTHERWISE NOTED
- CONSTRUCT SIDEWALK UNDERDRAIN USING ARMOR TILE TRUNCATED DOMES OR EQUIV. PER DETAIL 20 SHEET D1
- CONSTRUCT 2' VALLEY GUTTER PER DETAIL 18 SHEET D1
- MAIN CORRIDOR (TRUCK ACCESS) INSTALL 3.5' AC OVER 4" TYPE I AGGREGATE BASE
- AUTOMOBILE ROUTE / PARKING INSTALL 2.5' AC OVER 4" TYPE II AGGREGATE BASE
- SAWCUT CLEAN AND REMOVE EXISTING ASPHALT
- CONNECT TO EXISTING CURB AND GUTTER
- RELOCATED EXISTING CHAIN LINK FENCE TO PROPERTY LINE
- INSTALL TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- CONSTRUCT 2-FT FLUME PER DETAIL 19 SHEET D1
- INSTALL CURB STOPS PER CCAUSD #238
- CONSTRUCT CMU RETAINING WALL, HEIGHT PER PLAN, STRUCTURAL BY OTHERS
- CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD #238
- REMOVE EXISTING DIRT STOCK PILE
- CONSTRUCT ASPHALT FLOW LINE
- CONSTRUCT ASPHALT TRANSITION FROM 6" CURB TO 'A' CURB
- CONSTRUCT 1.5' CURB TRANSITION, 0'-6" PER DETAIL 21 SHEET D1
- INSTALL 6" CMU SCREEN WALL
- INSTALL 6" WROUGHT IRON FENCE

Line Table		
Line #	Length	Direction
L1	200.00'	N85°50'28"W
L2	202.53'	N75°20'28"W
L3	200.00'	N85°50'28"W

Curve Table			
Curve #	Length	Radius	Delta
C1	35.47'	250.00'	9°37'48"
C2	70.59'	250.00'	18°10'44"
C3	50.07'	230.00'	12°50'13"
C4	1.80'	261.00'	0°23'42"
C5	128.28'	700.00'	10°30'00"
C6	113.12'	700.00'	9°15'32"
C7	378.74'	700.00'	31°50'00"

BENCHMARK
RIVET & PLATE TOP CURB NORTHWEST CORNER TENAYA WAY & AZURE DRIVE.
ELEVATION: 716.550 METERS = 2350.88 FEET
NAVD88

BASIS OF BEARING
N 00°51'58" E - BEING THE BEARING OF THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 27, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON MAP ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, IN BOOK 113 OF PLATS, AT PAGE 26, AND FILE 135 OF SURVEYS PAGE 01.

DISCLAIMER NOTE:
EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.
CALL BEFORE YOU DO OVERHEAD
1-702-227-2929

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call before you do Underground
1-702-455-7511
OR
1-800-227-2600
AND
1-702-432-5300
CLARK COUNTY TRAFFIC OPERATIONS
AND
FREEMAN AND ARTERIAL SYSTEM OF TRANSPORTATION

FLOOD ZONE
THIS SITE IS LOCATED IN ZONE "X". AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL 32003C1745E, CLARK COUNTY, NEVADA DATED SEPTEMBER 27, 2002.

This grading plan is a part of drainage study #4576 which was received on 11/19/12 and April on 12/10/12. Page 1 of 2

APN # 125-27-113-008
5.36 ACRES

DATUM

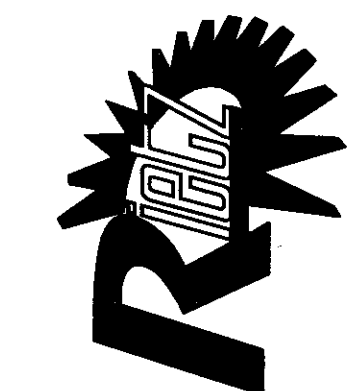
ADD 2300.00 TO PLAN GRADES, EXCEPT FOR CONTOURS. CONTOUR INTERVAL = 1'

I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY CLV # DS4576A FOR THIS SITE ON FILE AT CITY OF LAS VEGAS FOR THIS PROJECT.

ERIC J. RIETZ, P.E. No. 16350

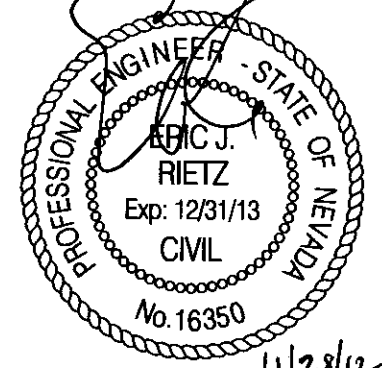
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RIETZ CONSULTING INC.
5740 SOUTH ARVILLE STREET, #206
LAS VEGAS, NEVADA 89118
PH: 702.521.3355
FX: 702.212.3963

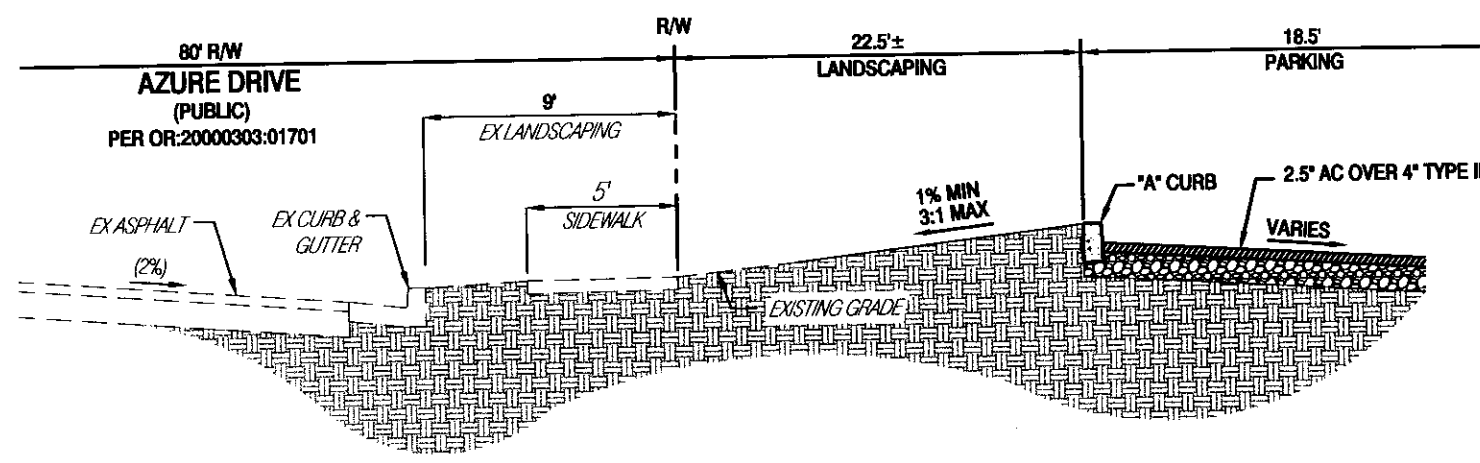


GRADING PLAN
THE COLLISION CENTER
CENTENNIAL PROPERTY, LLC.
LAS VEGAS, NEVADA
APN# 125-27-113-006

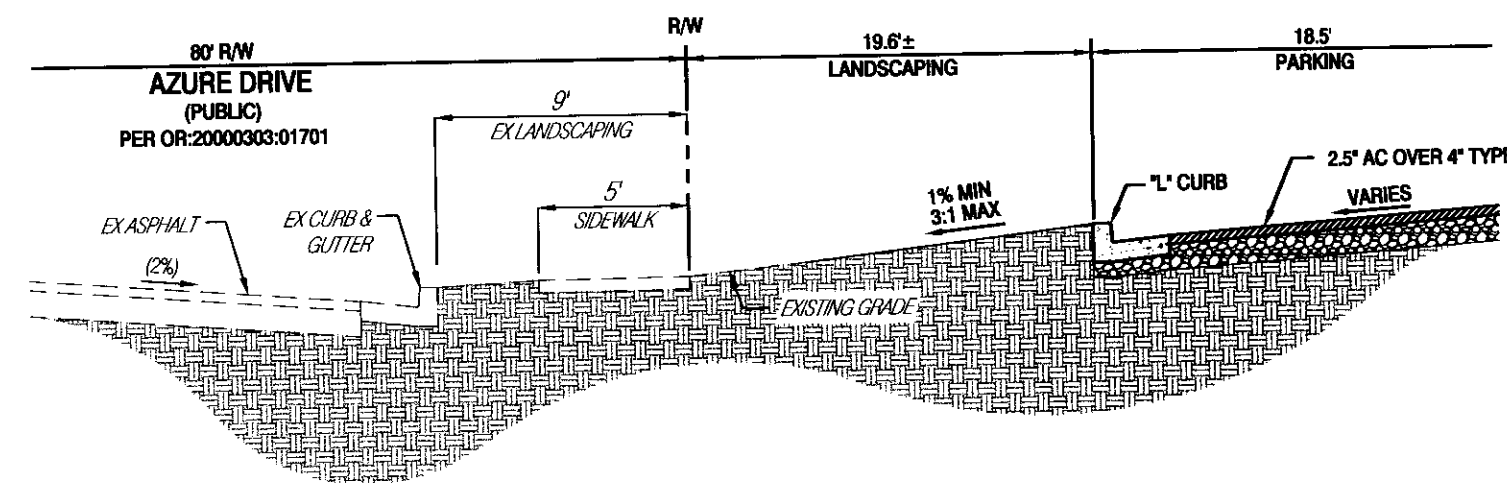
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SCALE: 1" = 40'



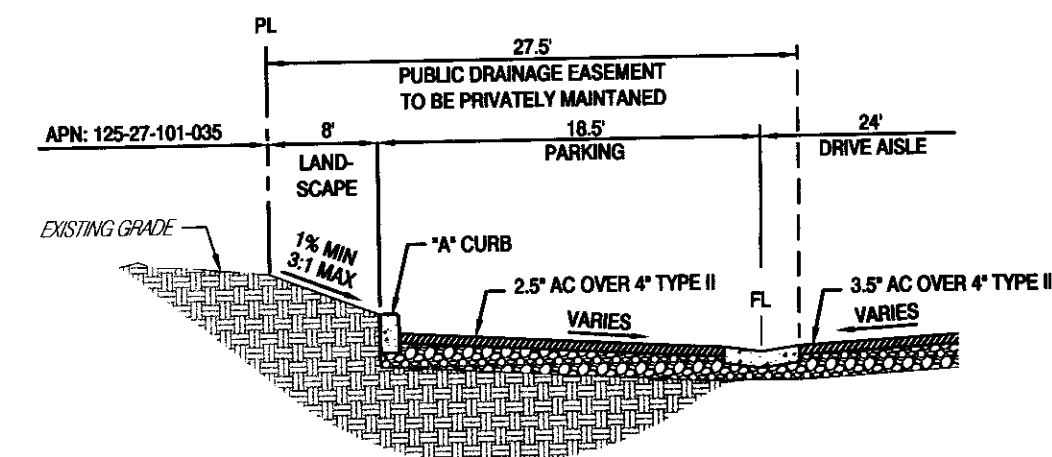
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G1
SHEET 3 OF 6 SHEETS
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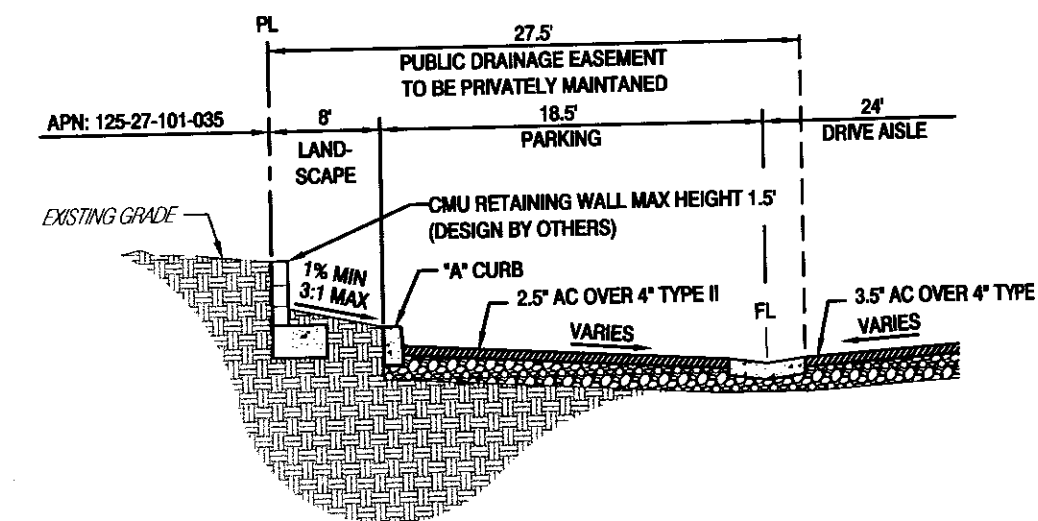
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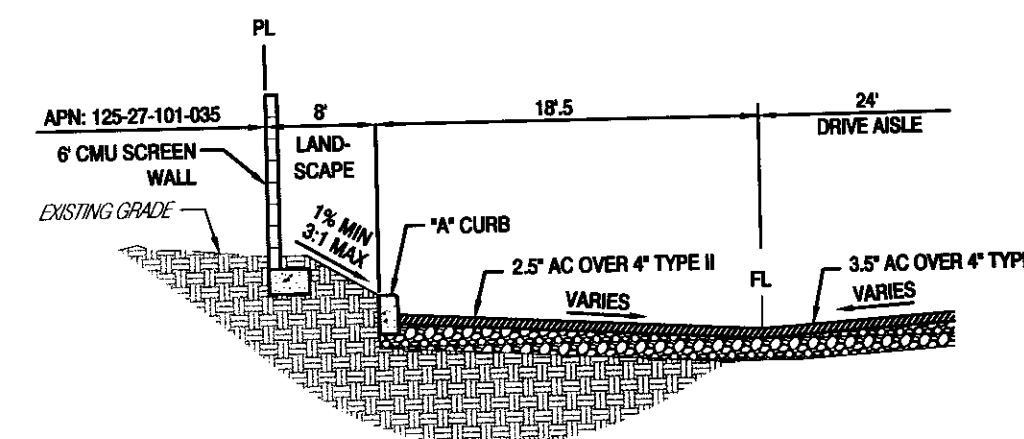
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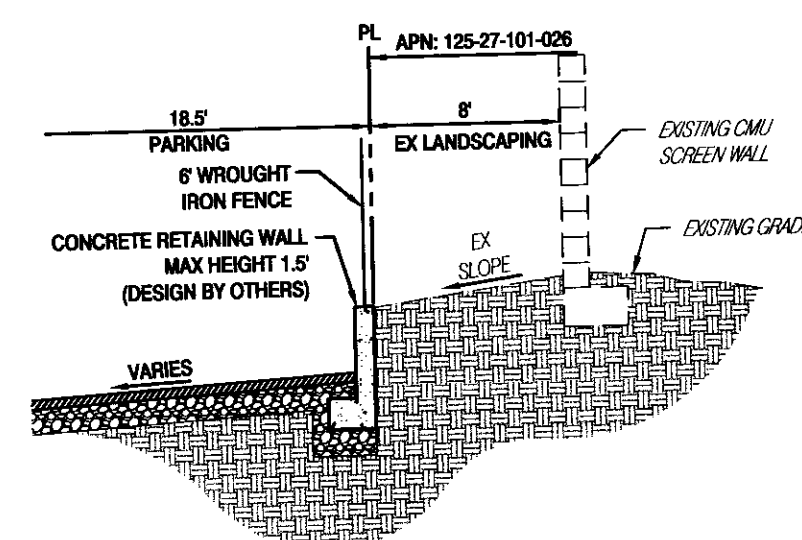
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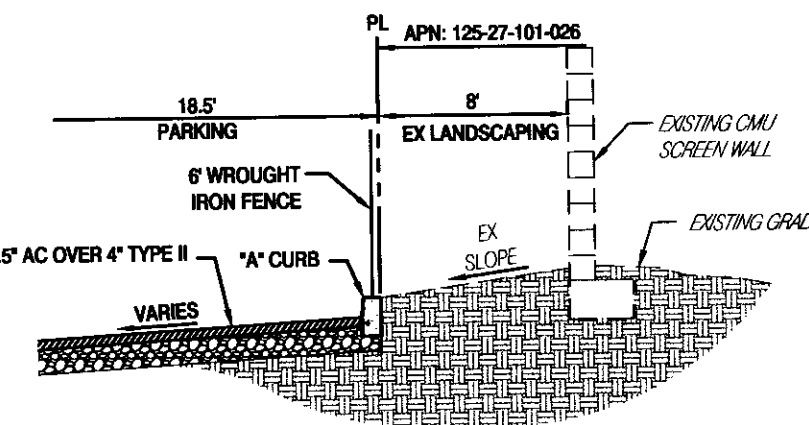
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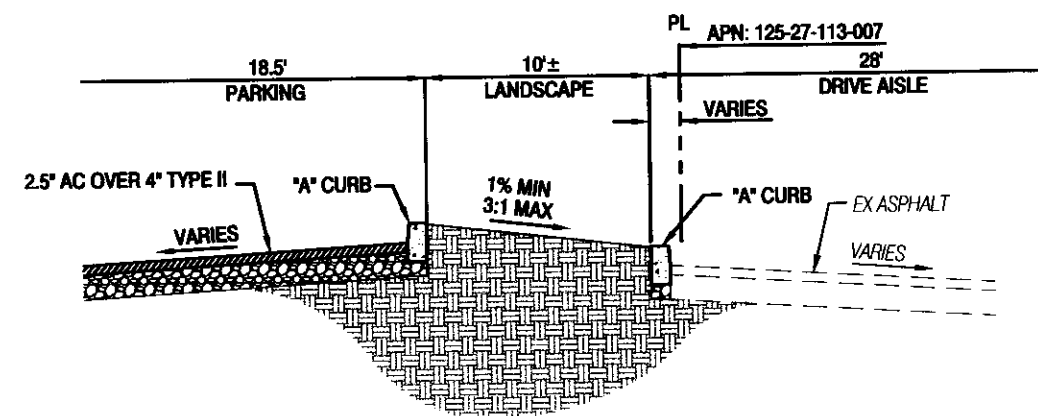
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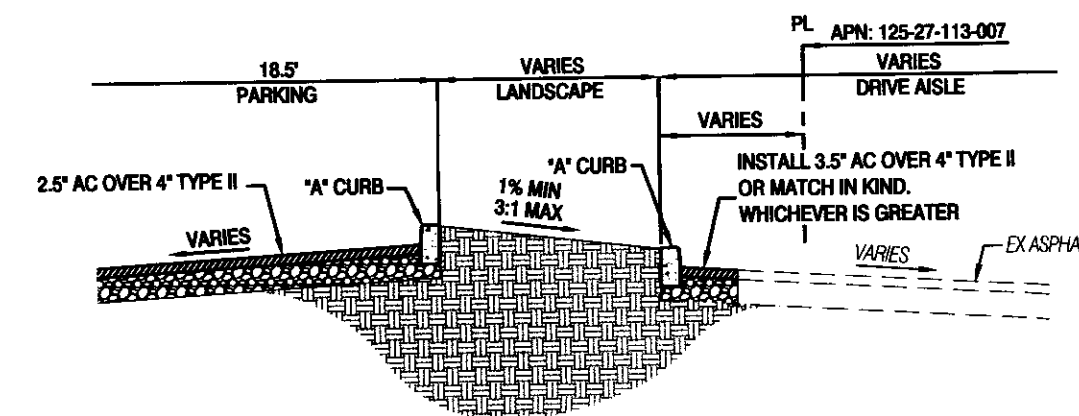
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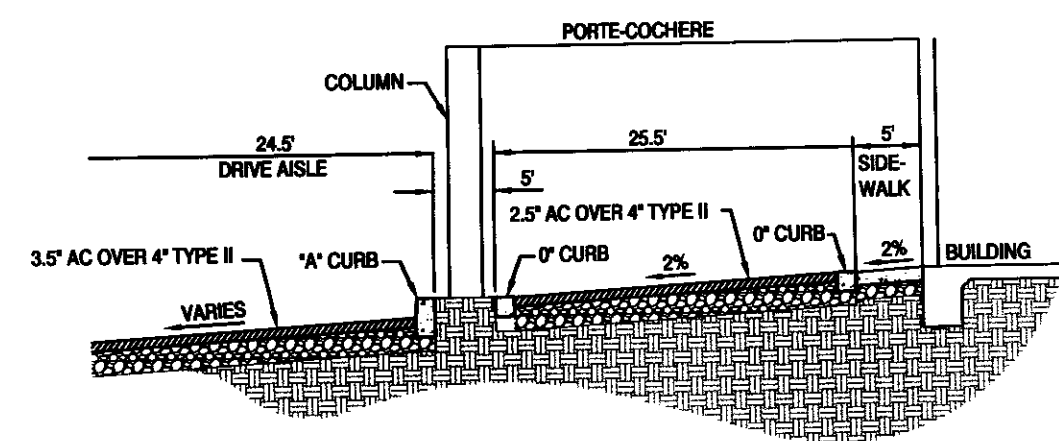
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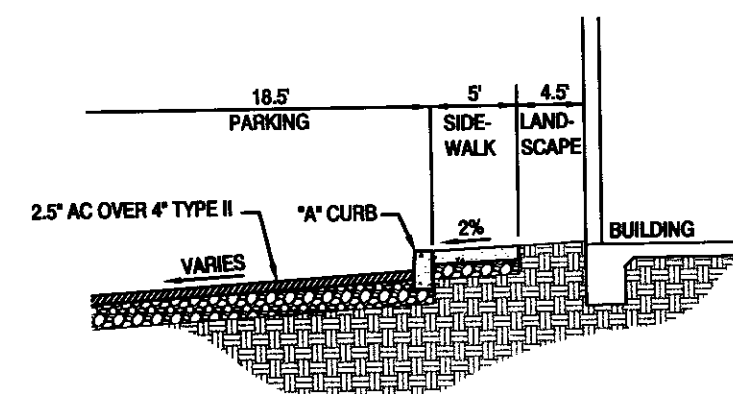
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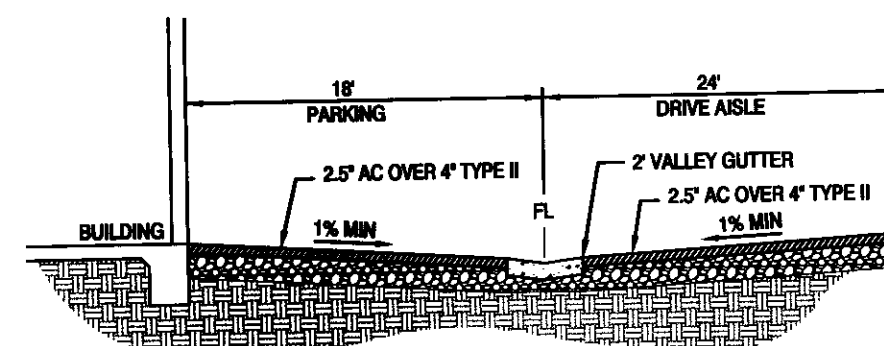
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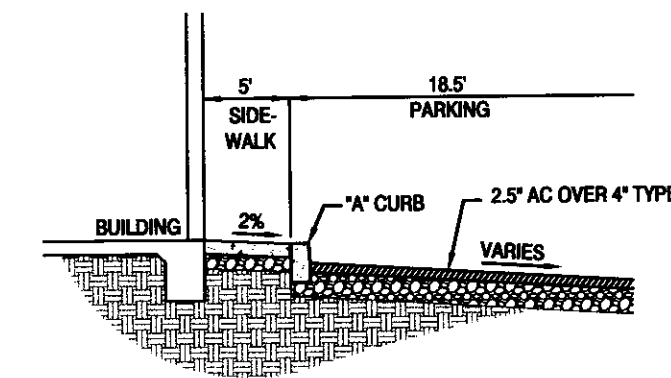
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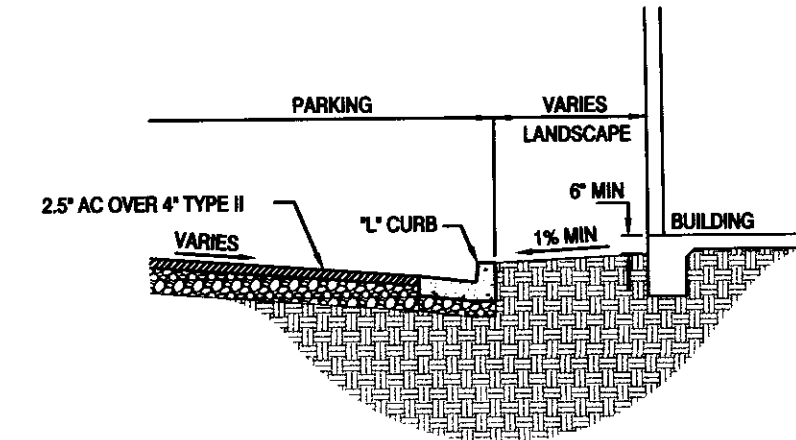
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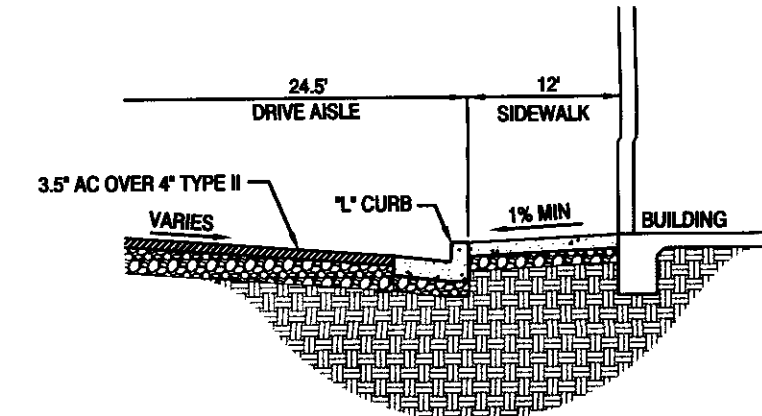
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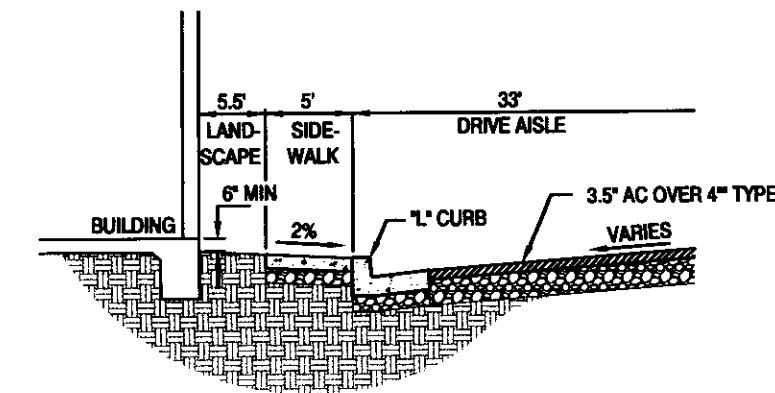
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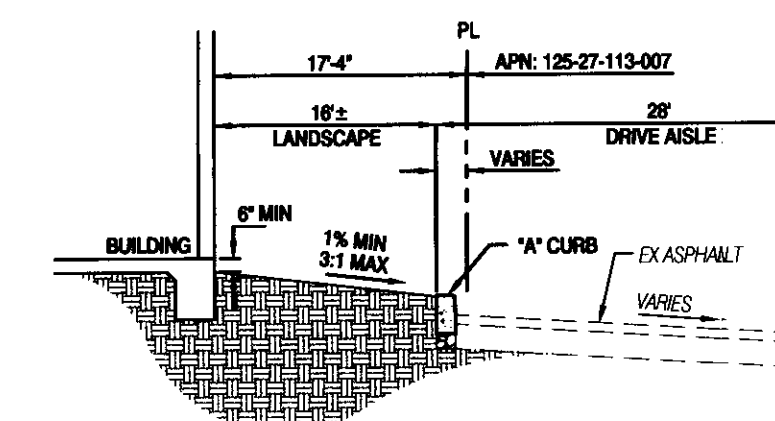
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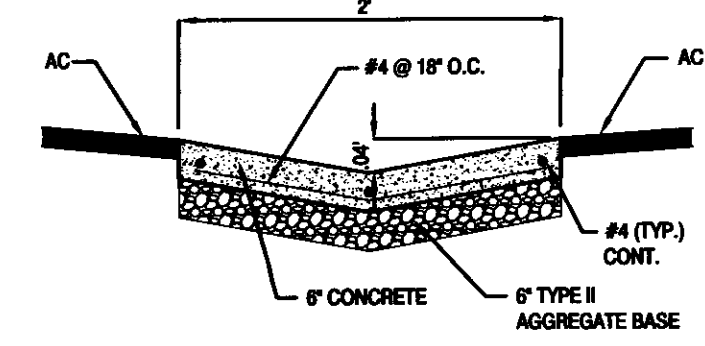
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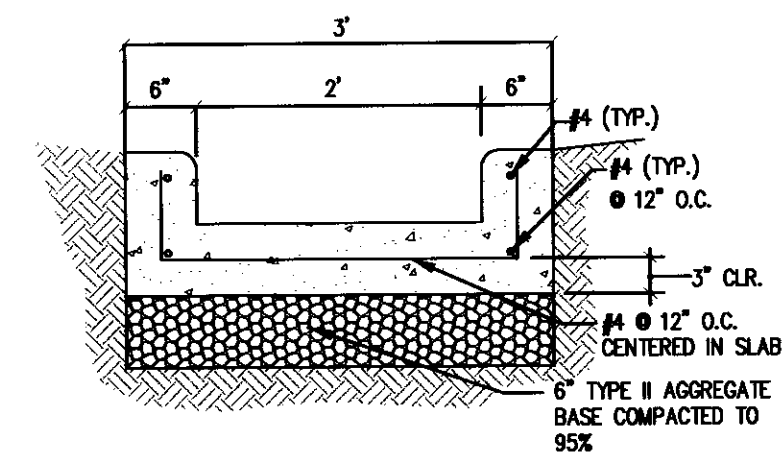
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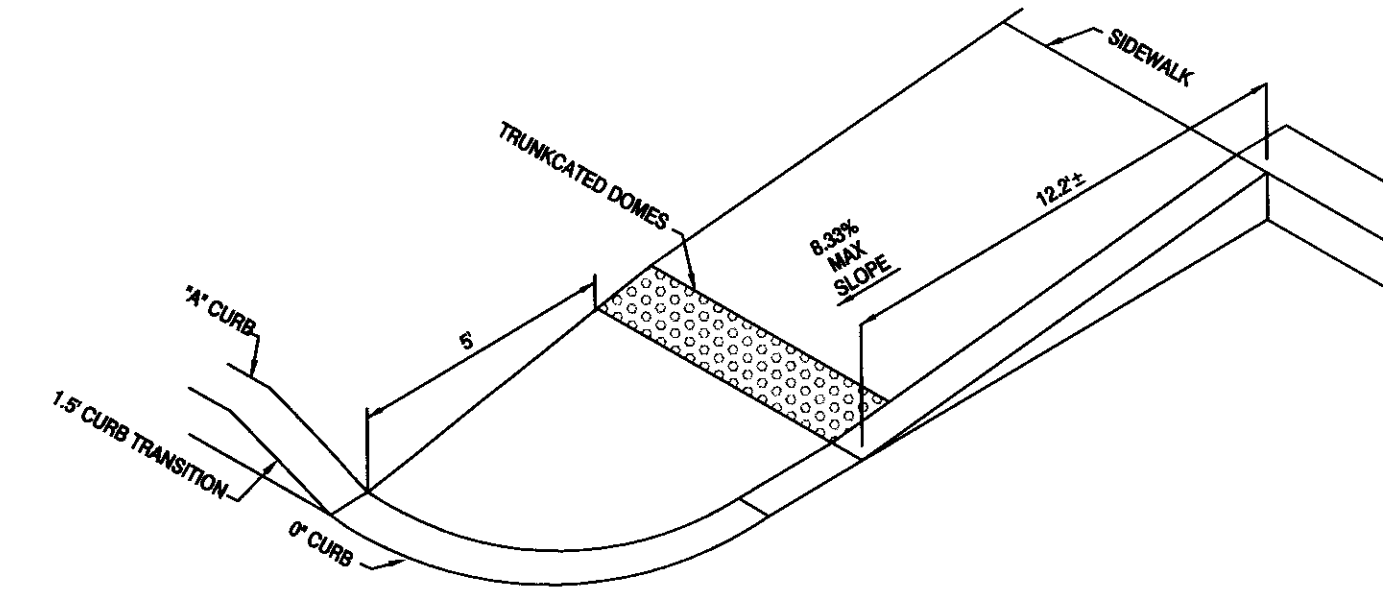
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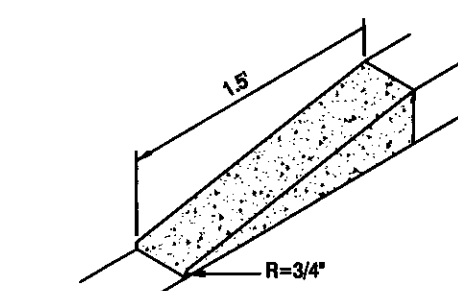
18 2' WIDE VALLEY GUTTER
NTS



19 2' WIDE CONCRETE FLUME
NTS



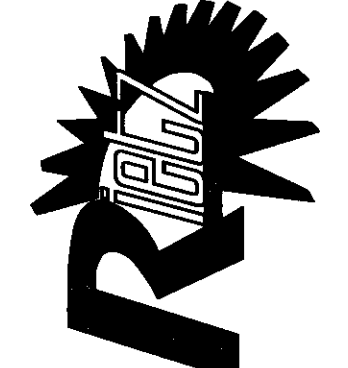
20 SIDEWALK RAMP
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21 0'-6" CURB TRANSITION
NTS

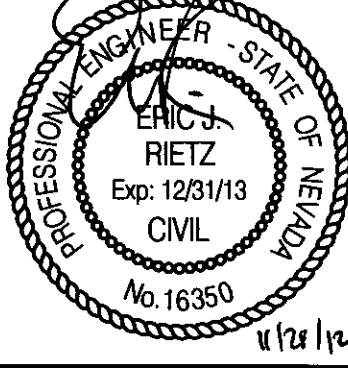
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RIETZ CONSULTING INC.
5740 SOUTH ARVILLE STREET, #206
LAS VEGAS, NEVADA 89118
PH: 702.521.3355
FX: 702.212.3963



DETAIL SHEET
THE COLLISION CENTER
CENTENNIAL PROPERTY, LLC.
LAS VEGAS, NEVADA
APN# 125-27-113-006

DATE: 11/13/12
DRAFTER: RS
CHECKED: EJR
SCALE: NTS



SHEET
D1
SHEET 2 OF 2 SHEETS
ONLY