

DS #: 4563

APN: 138-15-612-012

PROJECT: Advanced Healthcare of Las Vegas II

SUBMITTAL: 2nd

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____





CITY OF LAS VEGAS			DATE:			
INTER-OFFICE MEMORANDUM			September 6, 2012			
TO: Land Development Services Department of Public Works			FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works			
SUBJECT: Drainage Study for: Advanced Healthcare of Las Vegas II			COPIES TO: Zone Engineering			
Cross Streets: SEQ of Tenaya Way & Cheyenne Blvd.			The Boyer Company			
File Number: F:\Depot\DSMemos\DS4563B.doc			Bart Anderson, P.E., DevCo			
Parcel Number: 138-15-612-012			NDOT			
Zoning Action: SDR-44908						
FEMA Flood Zone		YES			NO	X
Proposed Storm Drain		YES			NO	X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	7/26/2012	8/8/2012	Not Approved	\$400.00	290925: \$400
2 nd Submittal	8/28/2012	9/5/2012	See Comments Below	\$400.00	294259: \$400
			TOTAL FEES (LDDRS):	\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. Label the 10'- drainage easement as "10'-PUBLIC Drainage Easement to be Privately Maintained".

In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Albert Sung in the Flood Section at (702) 229-2001 or Rick Schroder in Traffic Engineering at (702) 229-6327.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS

ays

T/R/S: T20S/R60E/15
AREA L-15

Addendum #1 to the Technical Drainage Study
For
ADVANCED HEALTH CARE OF LAS VEGAS II

CLV #4563

Prepared for:



The Boyer Company
90 South 400 West, Suite 200
Salt Lake City, UT 84101
Tel: (801) 521-4781
Fax: (801) 366-7103

Prepared by:

Zone Engineering
4550 W. Oakey Boulevard, Suite 102
Las Vegas, NV 89102
Tel: (702) 877-3005
Fax: (702) 877-3007



Project #12-1005

August 27, 2012

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: ADVANCED HEALTH CARE OF LAS VEGAS II Date: 8-27-12

Location of Development: a) Descriptive (Cross Streets) North/South: TENAYA WAY

East/West: CHEYENNE AVE.

b) Section: 15 Township: 20S Range: 60E

c) APN : A PORTION OF 138-15-612-012

Name of Owner: THE BOYER COMPANY

Telephone No.: 801-521-4781 Fax No.: 801-366-7103 E-Mail Address: _____

Address: 90 S. 400 WEST, SUITE 200, SALT LAKE CITY, UT 84101

Contact Person-Name: CHI-YING SETO, P.E. Telephone No.: 7028773005

* E-Mail Address: CSETO@ZONEENGINEERING.COM Fax No.: 7028773007

Firm: ZONE ENGINEERING

Address: 4550 W. OAKLEY BLVD., SUITE 102, LAS VEGAS, NV 89102

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☐	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☐	Planned Unit Development	☒	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit		OFF-SITE CONSTRUCTION PERMIT

1. Total Owned Land Area: At Site: 2.69 Being Developed/Disturbed: 2.69

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

4. Proposed type of development (Residential, Commercial, Etc.): COMMERCIAL

5. Approximate upstream land area which drains to the subject site: 0 ACRES

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: TECHNICAL DRAINAGE STUDY FOR HOLIDAY INN AT CASCADE & UNIVERSITY OF NV SCHOOL OF MEDICINE

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: EAST PROPERTY LINE

8. Briefly describe your proposed schedule for the subject project: A.S.A.P.



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

4563 Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1



4550 W. Oakey Boulevard, Suite 102
Las Vegas, Nevada 89102
Tel: (702) 877-3005
Fax: (702) 877-3007

August 27, 2012

Mr. Albert Sung, P.E., CFM
Flood Control Project Engineer
Department of Public Works
City of Las Vegas
333 N. Rancho Dr.
Las Vegas, NV 89106

RE: Addendum #1 to Technical Drainage Study for ADVANCED HEALTH CARE OF LAS VEGAS II (CLV DS #4563).

Dear Mr. Sung,

The enclosed addendum is being provided in response to City of Las Vegas comment letter dated August 9, 2012 for the above project. The comments are addressed within the following summarization:

Comment 1: Provide a copy of the zoning/planning conditions associated with this site (SDR-44908) with the next submittal to verify compliance with conditions. Flood Control will not issue conditional approval of the drainage study without the associated zoning/planning conditions (issued by City Council). Any associated conditions of approval that revise the site drainage parameters will require that the drainage study be revised and resubmitted.

Response: A copy of the zoning/planning conditions (SDR-44908) issued by City Council is included in this submittal.

Comment 2: Provide a copy of the Record of survey for verification of the subject property being parceled out from the City Parkway V Inc. Ownership.

Response: The subject parcel is currently owned by City Parkway V Inc. and ownership will not be transfer until end of September. As such, a record of survey could not be provided at this time. However, a copy of the legal description prepared by City of Las Vegas (CLV) City Surveyor Alan Riecki to sub-divide the subject parcel is included in this submittal.

Comment 3: The subject development proposes to discharge onsite drainage into adjacent properties at two locations: one at the northeast corner and the other at the southeast corner of the subject site. The northeast corner discharge is not ideal for it will burden the adjacent property to have a drainage easement in the middle of their land, ie, they cannot best utilize their land in the future. A more beneficial point of discharge is to shift the proposed point to the first angle point to the south.

Response: In accordance to a meeting that was held with CLV officials on 8/22/2012, it was discussed that the onsite grading be revised to combine the two discharge points and relocated them to the first angle point to the south. CLV will create a legal description for a proposed “10’ wide public drainage easement to be privately maintained” on their property to accept flow discharged from the subject development. The legal description will be recorded by CLV at a later time. A permission to grade letter will be issued by CLV granting the subject development permission to discharge flow onto CLV’s property and for construction of flood control related improvements. It was also agreed by CLV that the approval of this drainage study will not be contingent upon receipt of the permission to grade letter. However, a copy of letter will be provided to Flood Control once it is received from CLV.

Comment 4: For the southeast discharge point, obtain a minimum 10’-wide public drainage easement (privately maintained) from the adjacent property owner prior to the final approval of the drainage study.

Response: Onsite grading for the subject development is revised to discharge flow onto City of Las Vegas property rather than the southeast property (refer to response to comment #3 above). Therefore, the public drainage easement will no longer be required for the southeast property.

Comment 5: Section C/4 shows that drainage behind the retaining wall discharge into the adjacent property to the east. Provide a swale to contain the drainage onsite. Show a flow line on the grading plan with elevations at regular interval to verify the detail as such.

Response: A U-Channel is added to Section C/4 to contain the drainage onsite. Flow line elevations are provided at regular interval on the grading plan.

Comment 6: Section D/4 indicates that no flow is directed onto the adjacent property to the east. Provide a scarp along the east boundary with flow line elevations at regular interval on the grading plan to show as such.

Response: A U-Channel is added to Section D/4 to prevent flow from discharging onto the adjacent property to the east. Flow line elevations are provided at regular interval on the grading plan.

Comment 7: Construction Note #19 (Construct Sidewalk Underdrain) cannot be located anywhere on the grading plan. Please clarify in the next submittal.

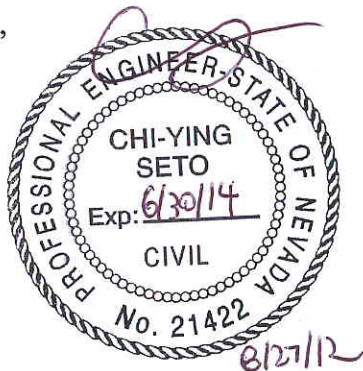
Response: Construction Note #19 is shown in Detail "A" of the grading plan included in this submittal as well as the previous submittal.

Comment 8: Label an existing storm drain in Tenaya Way with City of Las Vegas recorded drawing number.

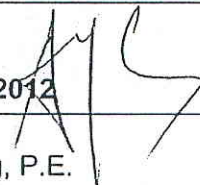
Response: The existing storm drain in Tenaya Way is labeled with City of Las Vegas recorded drawing number.

If you have any questions or concerns regarding this submittal, please contact us. Thank you.

Sincerely,



Chi-Ying Seto, P.E.

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE:  August 9, 2012
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Advanced Healthcare of Las Vegas II		COPIES TO: Zone Engineering
Cross Streets:	SEQ of Tenaya Way & Cheyenne Blvd.	The Boyer Company
File Number:	F:\Depot\DSMemos\DS4563A.doc	Bart Anderson, P.E., DevCo
Parcel Number:	138-15-612-012	NDOT
Zoning Action:	SDR-44908	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

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1 st Submittal	7/26/2012	8/8/2012	See Comments Below	\$400.00	290925: \$400
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. Provide a copy of the zoning/planning conditions associated with this site (**SDR-44908**) with the next submittal to verify compliance with conditions. *Flood Control* will not issue conditional approval of the drainage study without the associated zoning/planning conditions (**issued by the City Council**). Any associated conditions of approval that revise the site drainage parameters will require that the drainage study be revised and resubmitted.
2. Provide a copy of the Record of Survey for verification of the subject property being parceled out from the *City Parkway V Inc.* ownership.
3. The subject development proposes to discharge onsite drainage into adjacent properties at two locations: one at the northeast corner and the other at the southeast corner of the subject site. The northeast corner discharge is not ideal for it will burden the adjacent property to have a drainage easement in the middle of their land, ie, they cannot best utilize their land in the future. A more beneficial point of discharge is to shift the proposed point to the first angle point to the south.

Obtain a minimum 10'-wide public drainage easement (privately maintained) from the adjacent property owner prior to the final approval of the drainage study.

4. For the southeast discharge point, obtain a minimum 10'-wide public drainage easement (privately maintained) from the adjacent property owner prior to the final approval of the drainage study.

5. **Section C/4** shows that drainage behind the retaining wall discharge into the adjacent property to the east. Provide a swale to contain the drainage onsite. Show a flow line on the grading plan with elevations at regular interval to verify the detail as such.
6. **Section D/4** indicates that no flow is directed onto the adjacent property to the east. Provide a scarp along the east boundary with flow line elevations at regular interval on the grading plan to show as such.
7. Construction Note #19 (Construct Sidewalk Underdrain) cannot be located anywhere on the grading plan. Please clarify in the next submittal.
8. Label an existing storm drain in *Tenaya Way* with *City of Las Vegas* recorded drawing number.

In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Albert Sung in the Flood Section at (702) 229-2001 or Rick Schroder in Traffic Engineering at (702) 229-6327.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

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T/R/S: T20S/R60E/15
AREA L-15

APPENDIX

- **COPY OF THE APPROVED ZONING/PLANNING CONDITIONS BY CITY COUNCIL (SDR-44908)**
- **COPY OF THE LEGAL DESCRIPTION PREPARED BY CLV**
- **REVISED GRADING PLAN AND DETAIL SHEET**



July 24, 2012

LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

Ms. Elizabeth Fretwell
City Parkway V, Inc.
495 South Main Street
Las Vegas, Nevada 89101

RE: SDR-44908 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF JULY 18, 2012

Dear Ms. Fretwell:

The City Council at a regular meeting held July 18, 2012, APPROVED the request for a Site Development Plan Review FOR A PROPOSED 38-BED, 33,515 SQUARE-FOOT CONVALESCENT CARE FACILITY/NURSING HOME AND A WAIVER TO ALLOW A ZERO LANDSCAPE BUFFER ALONG A PORTION OF THE EAST PERIMETER WHERE EIGHT FEET IS REQUIRED on a 2.7-acre portion of a 8.49-acre lot adjacent to the east side of Tenaya Way, approximately 370 feet north of Peak Drive (APN 138-15-612-012), C-PB (Planned Business Park) Zone.

Planning

1. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 03/22/12, except as amended by conditions herein.
3. A Waiver from Title 19.08 is hereby approved, to allow a zero foot landscape buffer along a portion of the east perimeter where a minimum of eight feet is required.
4. An Exception from Title 19.08 is hereby approved, to allow seven trees along the east perimeter landscape buffer where 12 are required.
5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to create a new legal lot. The mapping action shall be completed and recorded prior to the issuance of any building permits.

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



6. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 03/22/12. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
7. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device. The technical landscape plan shall include the following changes from the conceptual landscape plan: to add an additional four 24-inch box trees and 16 five-gallon shrubs to the south perimeter landscape buffer.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. Prior to or at the time of submittal for any building permit, the applicant shall provide written verification by the FAA and/or the Clark County Department of Aviation of the following:
 - Applicant is required to file a valid FAA Form 7460-1, "Notice of Proposed Construction or Alteration" with the FAA, in accordance with 14 CFR Part 77, or submit to the Clark County Director of Aviation a "Property Owner's Shielding Determination Statement" and request written concurrence from the Clark County Department of Aviation;
 - No Building Permit or other construction permit shall be issued for any structure greater than 35 feet above the surface of land that, based upon the FAA's 7460 airspace determination (the outcome of filing the FAA Form 7460-1) would (a) constitute a hazard to air navigation, (b) would result in an increase to minimum flight altitudes during any phase of flight (unless approved by the Department of Aviation), or (c) would otherwise be determined to pose a significant adverse impact on airport or aircraft operations.
 - Applicant is advised that FAA's airspace determinations are dependent on petitions by any interested party and the height that will not present a hazard as determined by the FAA may change based on these comments.

Ms. Elizabeth Fretwell
SDR-44908 – Page Three
July 24, 2012

- Applicant is advised that the FAA's airspace determinations include expiration dates and that the separate airspace determinations will be needed for construction cranes or other temporary equipment.

12. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

13. Construct all incomplete half-street improvements (sidewalk) on Tenaya Way adjacent to this site concurrent with development of this site. Additionally, construct a raised median island, as approved by the City Traffic Engineer, in Tenaya Way creating right in/out access at the proposed driveway accessing this site from Tenaya Way.
14. In accordance with code requirements of Title 13.16 and 13.56, remove all substandard improvements and replace with new improvements meeting current City Standards as directed by the City Engineer concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
15. Unless otherwise allowed by the City Engineer, construct sidewalk on at least one side of all access drives connecting this site to the adjacent public streets concurrent with development of this site. The connecting sidewalk shall extend from the sidewalk on the public street to the first intersection of the on-site roadway network and shall be terminated on-site with a handicap ramp.
16. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
17. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed models.
18. No trees or vegetation over three feet tall shall be allowed within 20 feet of the east property line, which is an existing public sewer easement per Plat Book 38, Page 91.
19. A Record of Survey Map and deed transfer is required to create the proposed parcel limits prior to the issuance of any permits for this site.

Ms. Elizabeth Fretwell
SDR-44908 – Page Four
July 24, 2012

20. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or the submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

Sincerely,



Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Nate Swain
The Boyer Company
90 South 400 West, Suite #200
Salt Lake City, Utah 84101



APRIL 23, 2012
BY: HJB
P.R. BY: JVT
(PAGE 1 OF 2)

4/25/12

EXPLANATION:

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED NORTH OF PEAK DRIVE AND EAST OF THE TENAYA WAY FOR TRANSFER PURPOSES.

**LEGAL DESCRIPTION
AHC FACILITY**

BEING A PORTION OF LOT 1 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "LAS VEGAS TECHNOLOGY CENTER UNIT 2" ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN BOOK 62 OF PLATS, AT PAGE 44, LOCATED WITHIN THE NORTHWEST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF TENAYA WAY, SAME BEING THE MOST SOUTHWEST CORNER OF THAT PARCEL OF LAND CONVEYED TO THE "CITY PARKWAY V INC.", PER DOCUMENT NO. 20050607:02022, RECORDED JUNE 07, 2005, SAID PARCEL OF LAND IS DEPICTED ON THE RECORD-OF-SURVEY IN FILE 170 AT PAGE 86; SAME POINT BEING THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 901.38 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 85°13'28" EAST; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 14°48'49", AN ARC LENGTH OF 233.05 FEET; THENCE NORTH 19°35'21" WEST, 29.84 FEET; THENCE NORTH 72°56'27" EAST, DEPARTING SAID RIGHT-OF-WAY LINE, 411.07 FEET; THENCE SOUTH 17°03'33" EAST, 138.53 FEET TO A POINT ON NORTHERLY LINE OF THAT PARCEL OF LAND CONVEYED TO "N W H II LTD" PER DOCUMENT NO. 20080108:02529, RECORDED ON JANUARY 08, 2008; THENCE ALONG THE PROPERTY LINE OF SAID PARCEL, THE FOLLOWING TWO COURSES:
1) SOUTH 73°01'04" WEST, 30.32 FEET; 2) SOUTH 04°46'32" EAST, 205.00 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL OF LAND CONVEYED TO "CITY PARKWAY V INC"; THENCE SOUTH 85°13'28" WEST, ALONG SAID SOUTHERLY LINE, 363.91 FEET TO THE **POINT OF BEGINNING**.

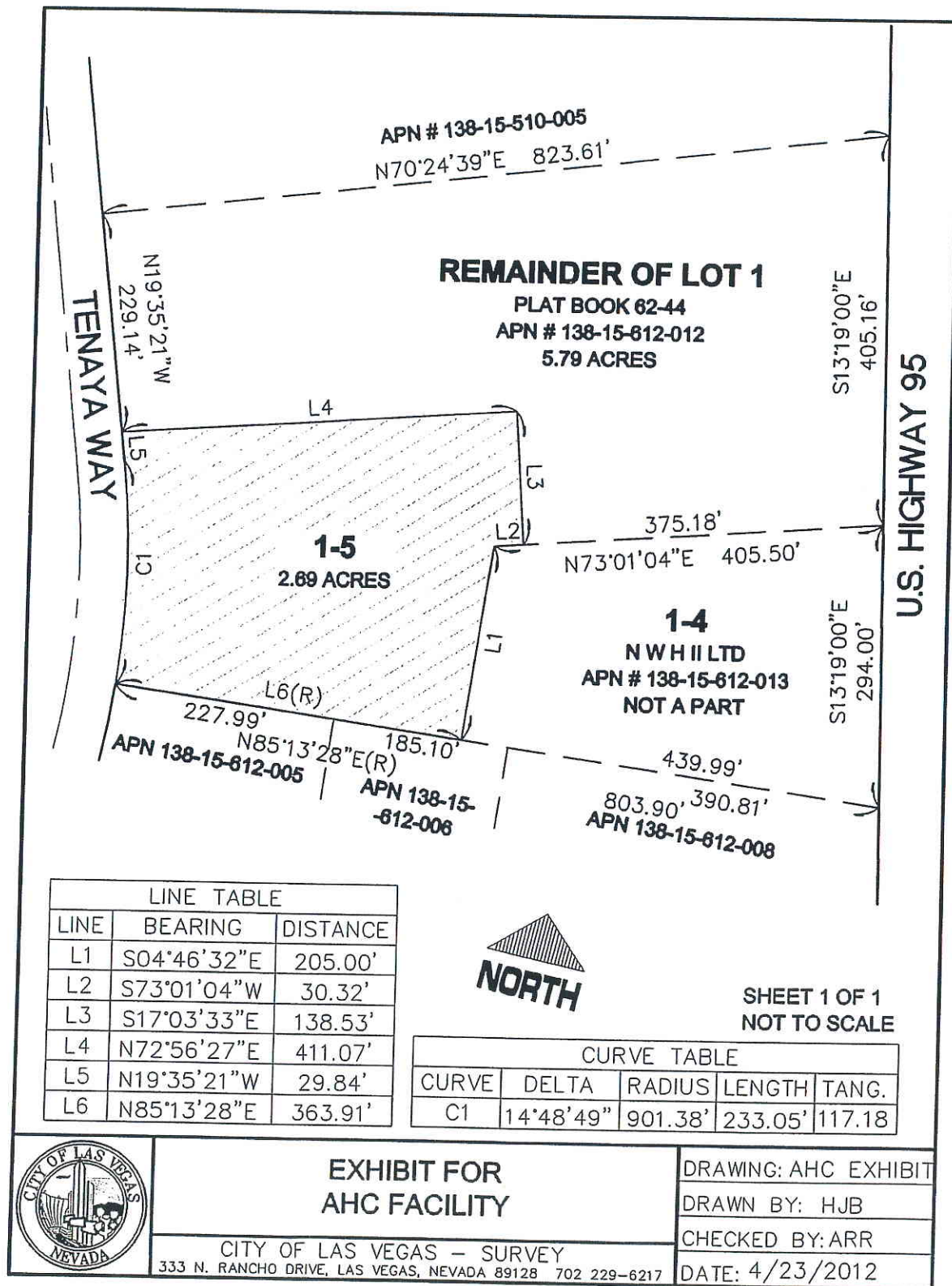
AHC FACILITY
LEGAL DESCRIPTION CONTINUED
(PAGE 2 OF 2)

CONTAINING 2.69 ACRES, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

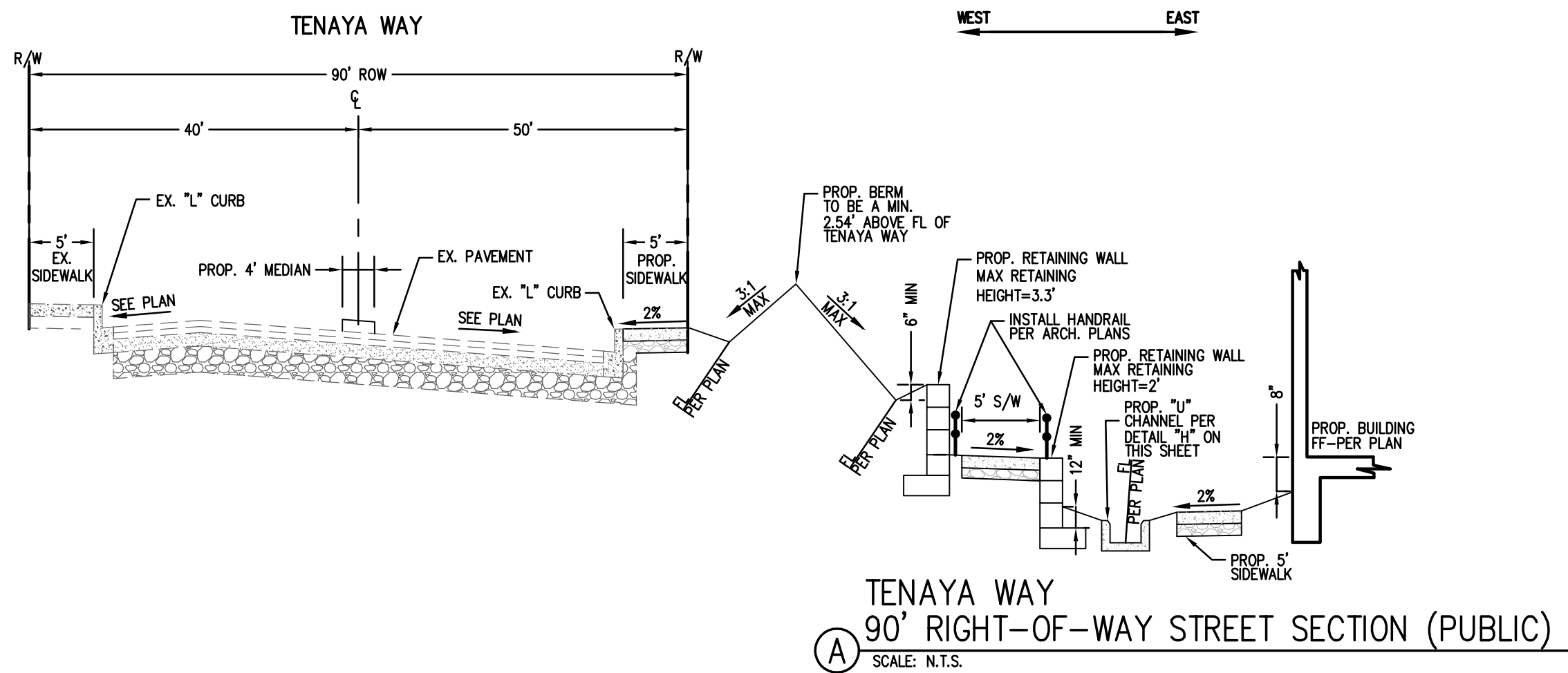
BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS GRID NORTH AS DEFINED BY THE CENTRAL MERIDIAN OF THE NEVADA COORDINATE REFERENCE SYSTEM, LAS VEGAS ZONE, NORTH AMERICAN DATUM OF 1983; SAID MERIDIAN BEING COINCIDENT WITH 114°58' WEST OF THE GREENWICH MERIDIAN.

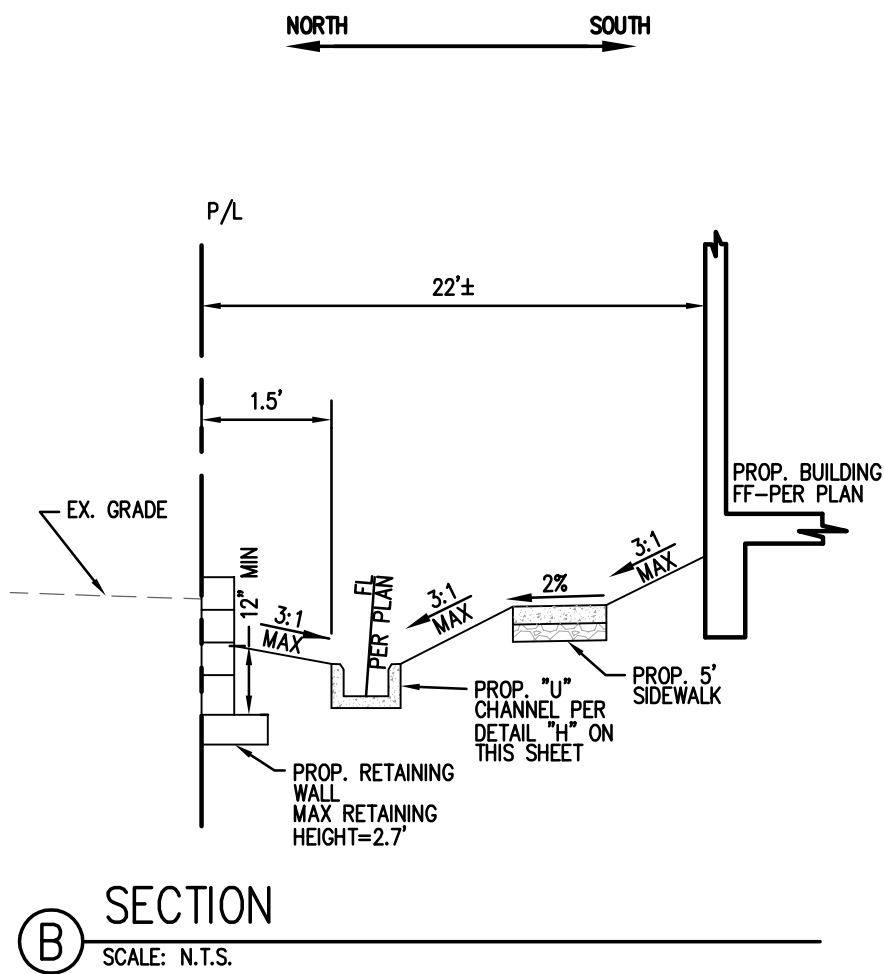
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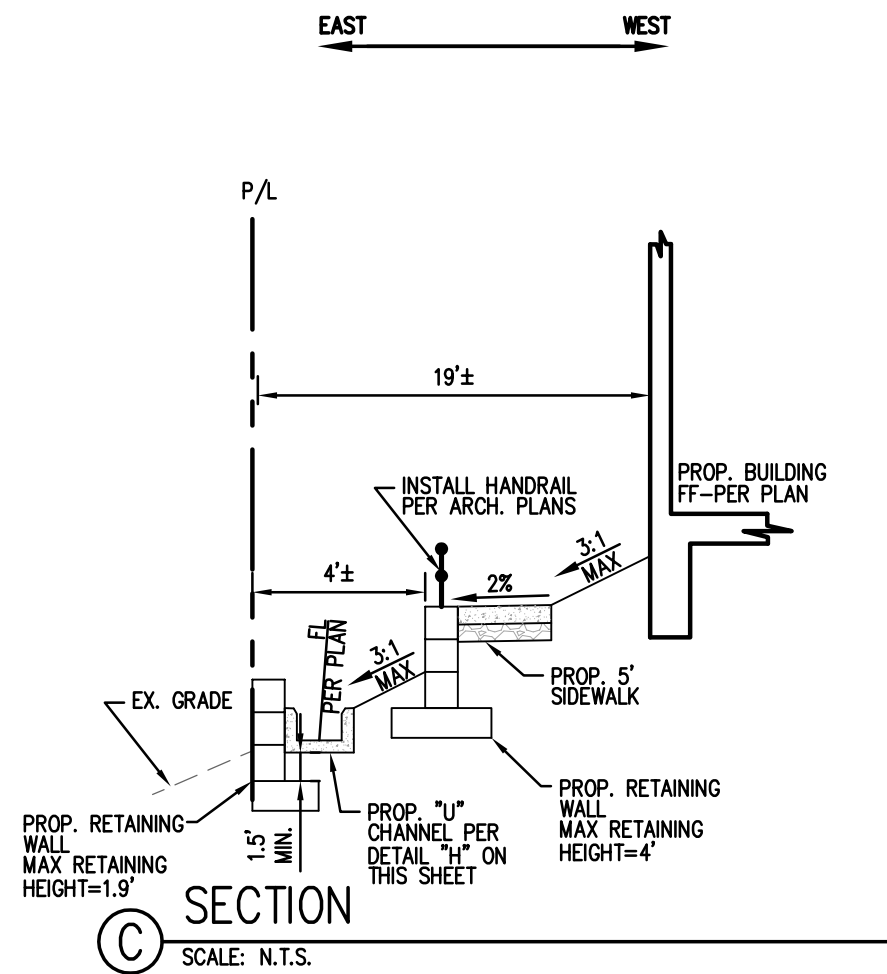
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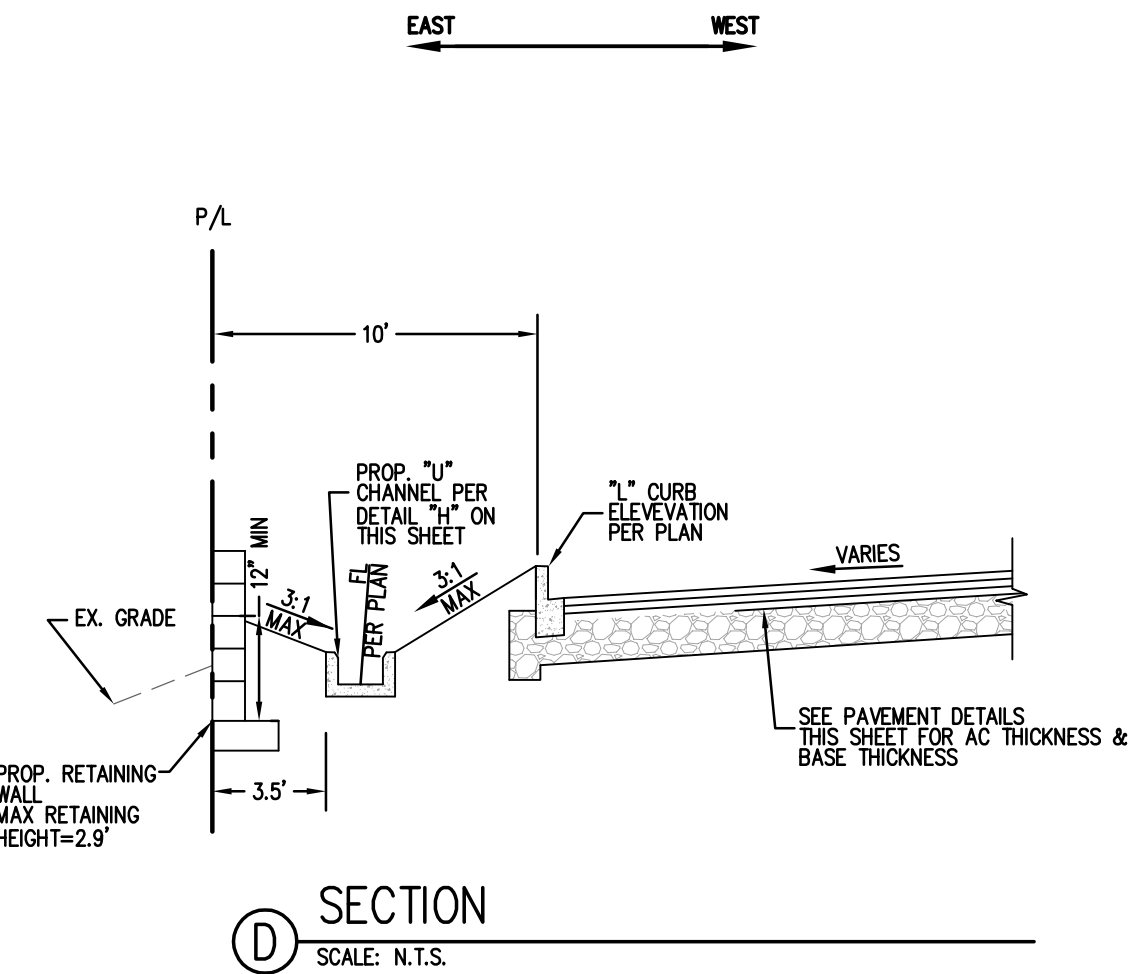
TENAYA WAY
90' RIGHT-OF-WAY STREET SECTION (PUBLIC)
SCALE: N.T.S.



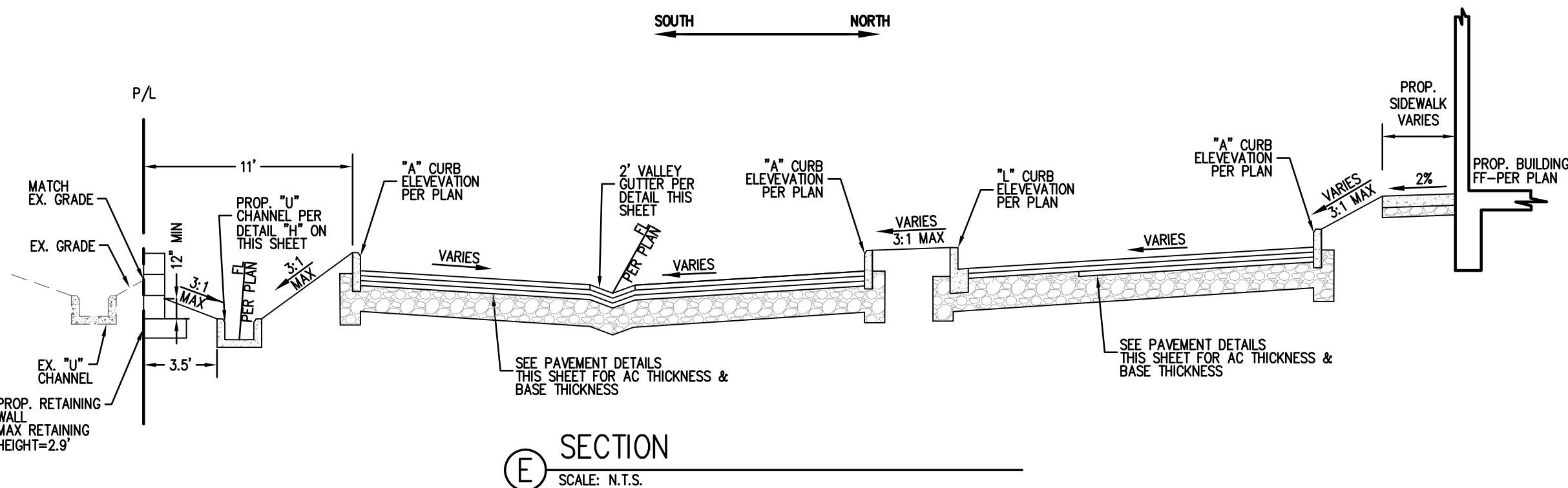
SECTION
SCALE: N.T.S.



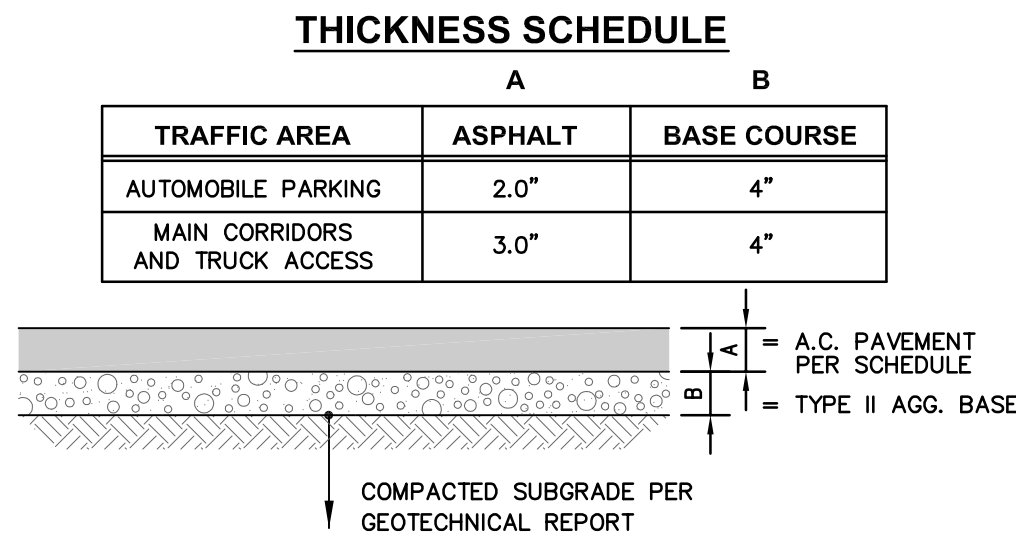
SECTION
SCALE: N.T.S.



SECTION
SCALE: N.T.S.



SECTION
SCALE: N.T.S.

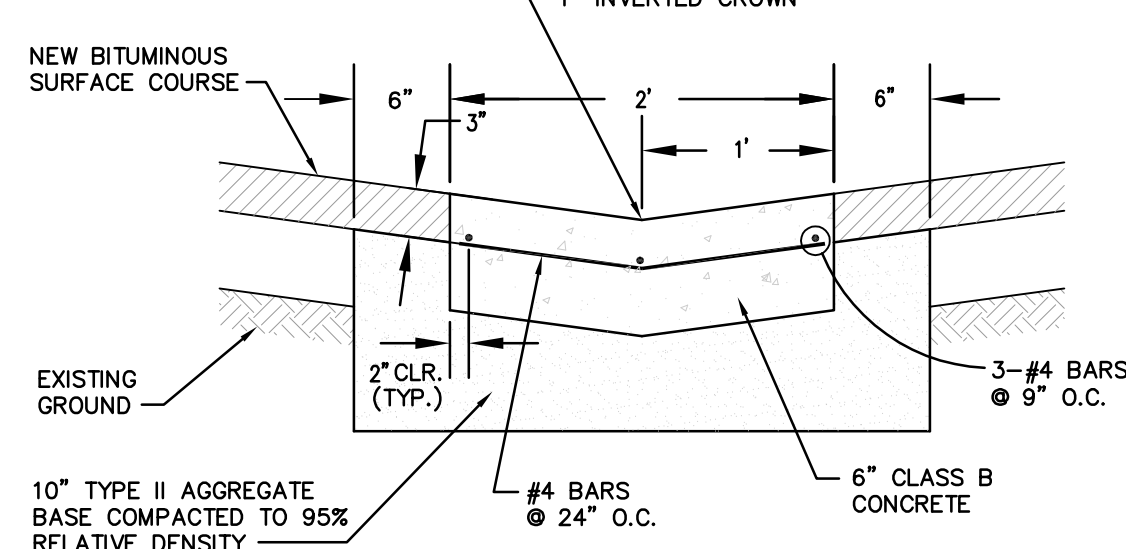


ONSITE PAVEMENT SECTION
SCALE: N.T.S.

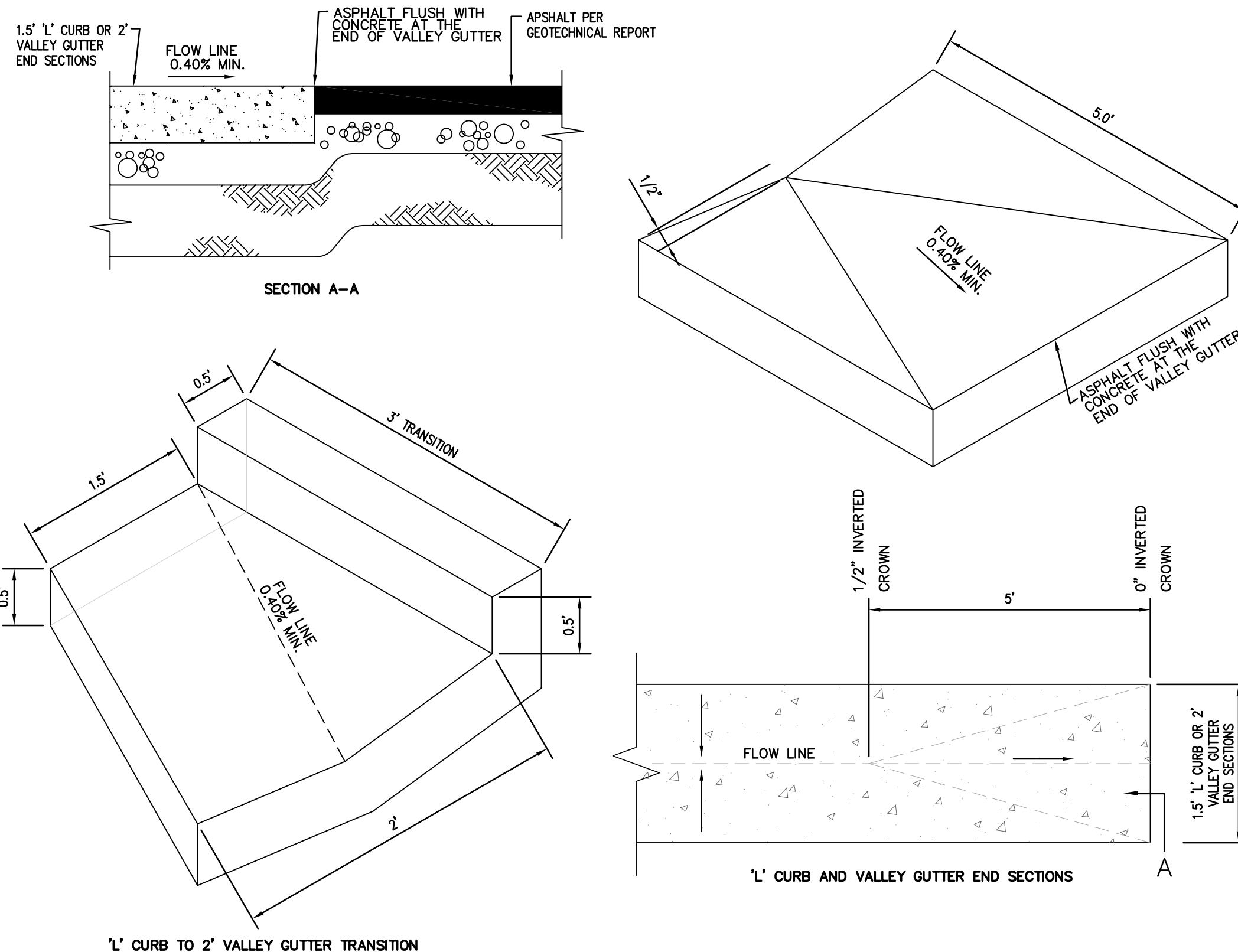
SOILS REPORT NOTE

ALL WORK SHALL CONFORM TO THE GEOTECHNICAL REPORT PREPARED BY:
NOVA ENGINEERING & INSPECTION SERVICES
4480 West Hacienda Ave
Suite 104
Las Vegas, NV 89118
OFFICE: 702.873.3478

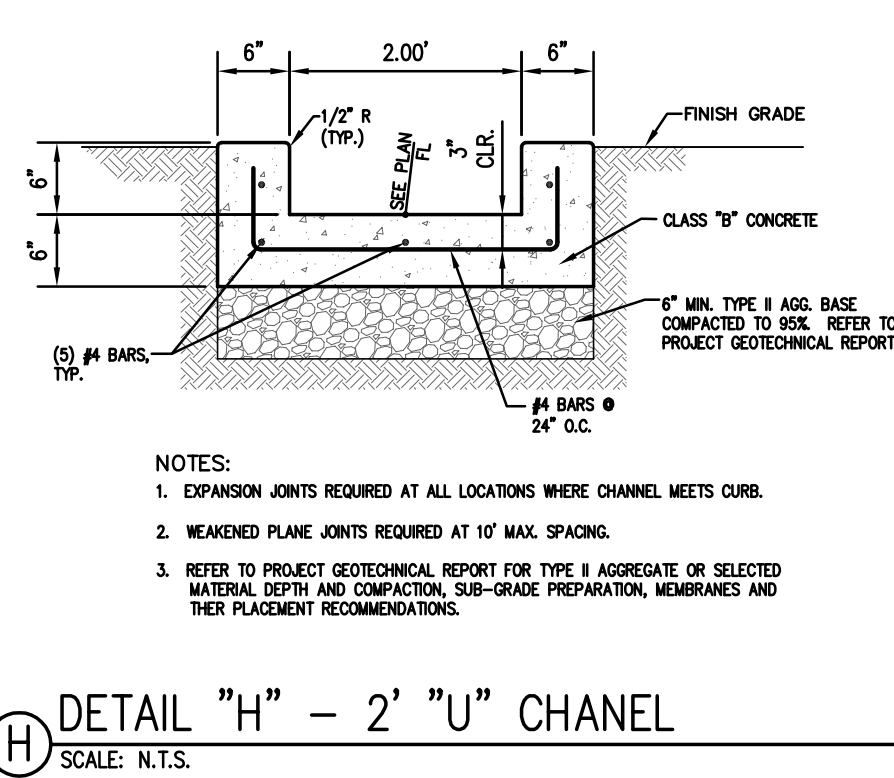
PROJECT No. E-12-039
DATED: MAY 11, 2012



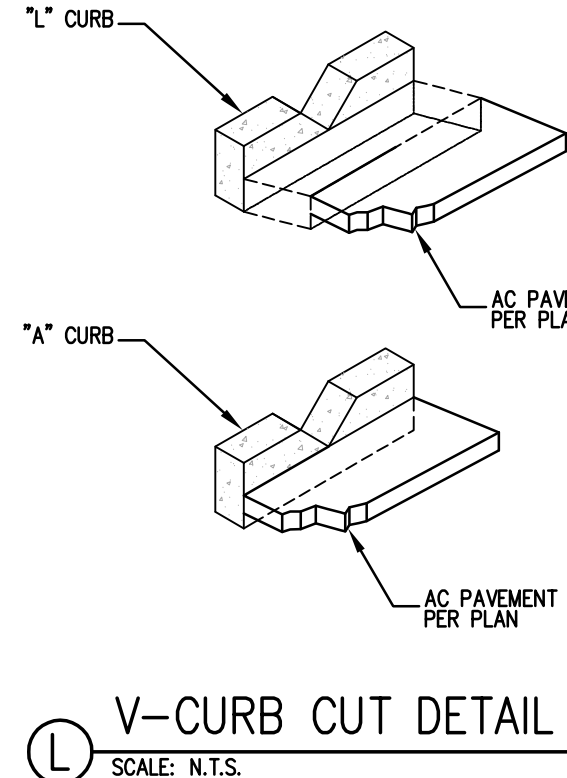
DETAIL "G" - 2' VALLEY GUTTER
SCALE: N.T.S.



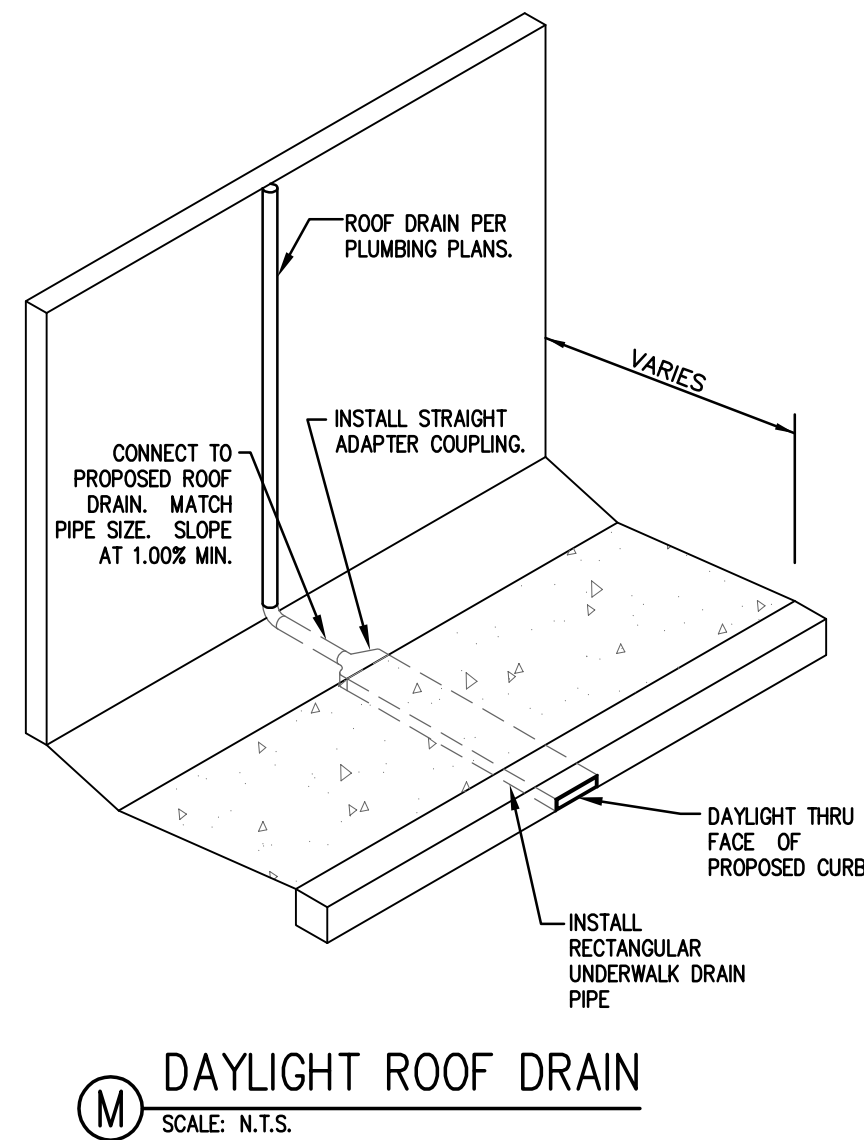
'L' CURB AND 2' VALLEY GUTTER TRANSITION
SCALE: N.T.S.



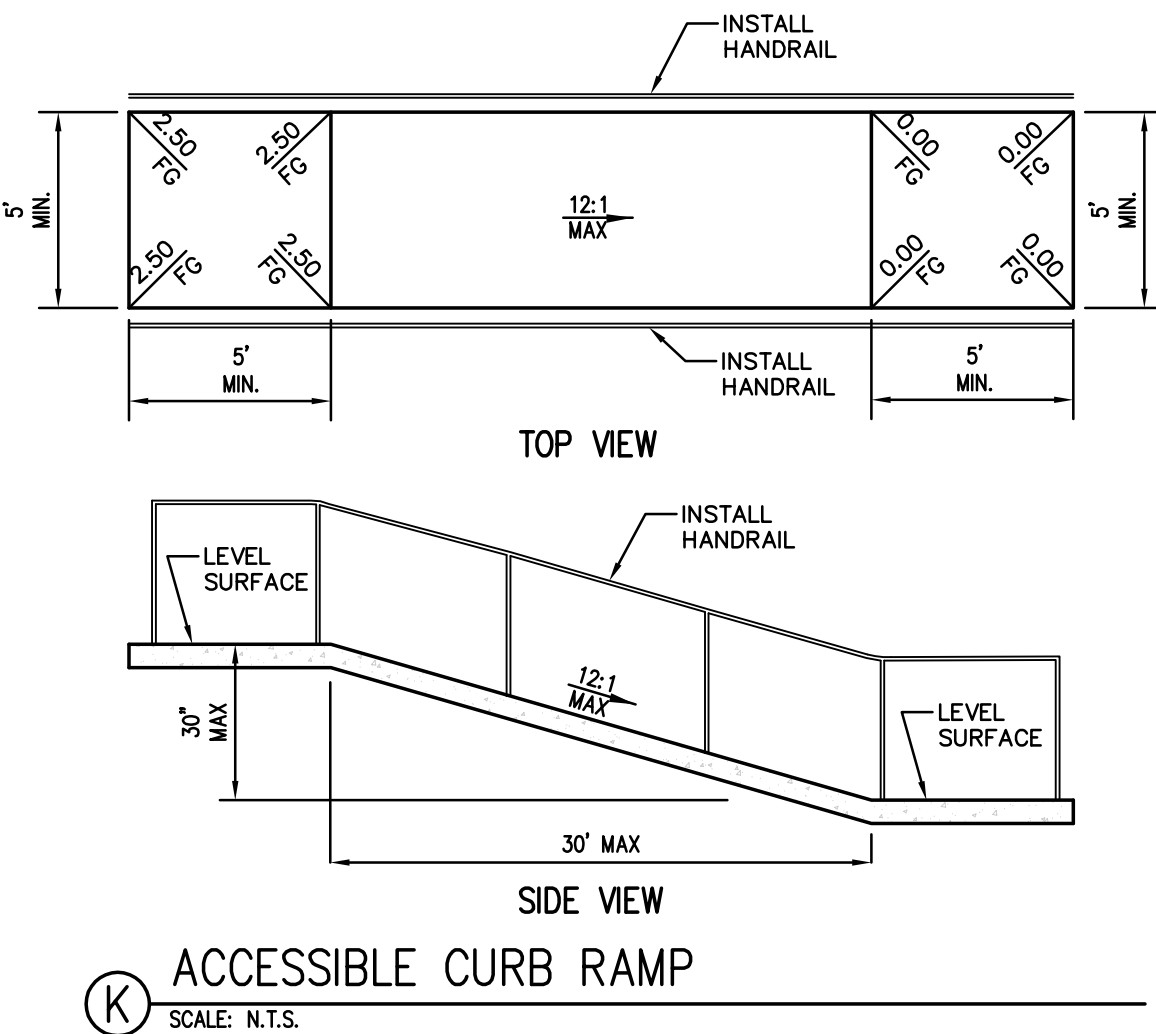
DETAIL "H" - 2' "U" CHANEL
SCALE: N.T.S.



V-CURB CUT DETAIL
SCALE: N.T.S.



DAYLIGHT ROOF DRAIN
SCALE: N.T.S.



ACCESSIBLE CURB RAMP
SCALE: N.T.S.

4550 W. OAKLEY BLVD., SUITE 102
LAS VEGAS, NEVADA 89102
PHONE: 702.877.3005
FAX: 702.877.3007
WWW.ZONEENGINEERING.COM

Zone ENGINEERING
CIVIL ENGINEERING & LAND PLANNING

DETAIL SHEET

ADVANCED HEALTH CARE OF LAS VEGAS II
CITY OF LAS VEGAS, NV

SHEET
DATE: 7-25-12
DESIGNED BY: AK
CHECKED BY: CS
PROJECT NO: 12-1005

CHI-YING SETO
No. 21429
CIVIL
Exp: 6-30-14
8-27-12

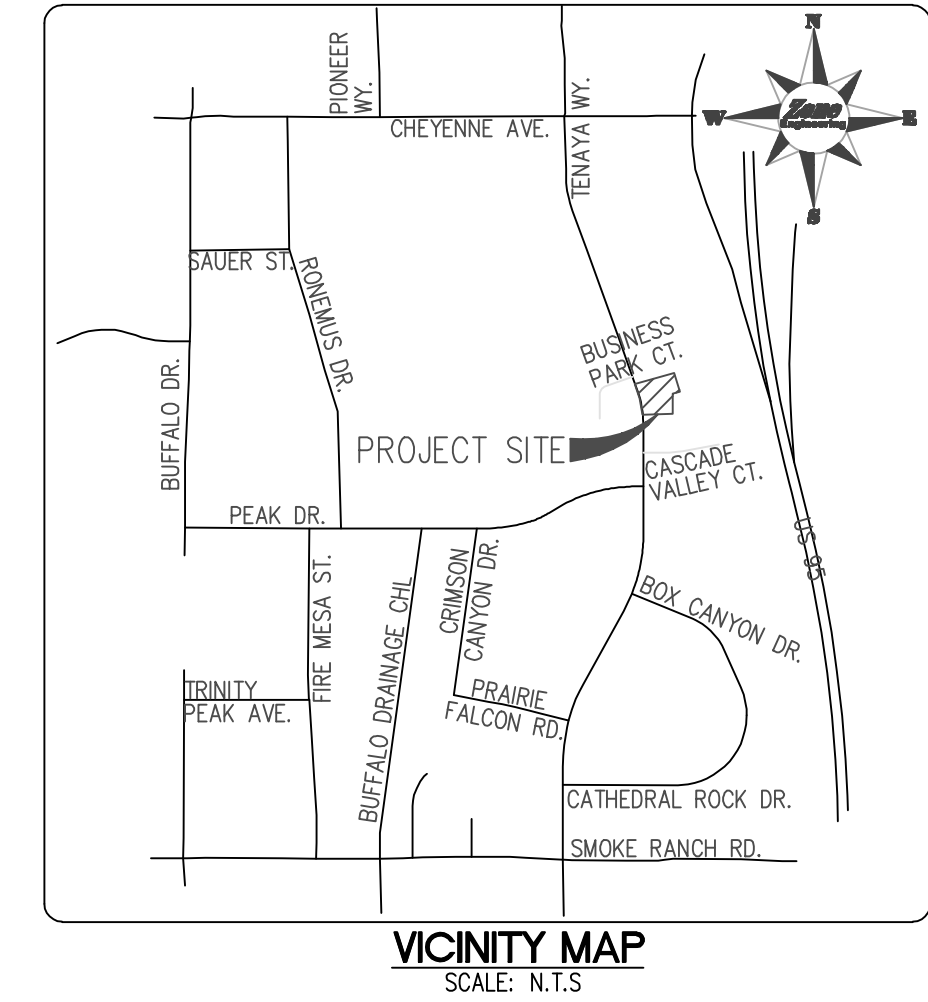
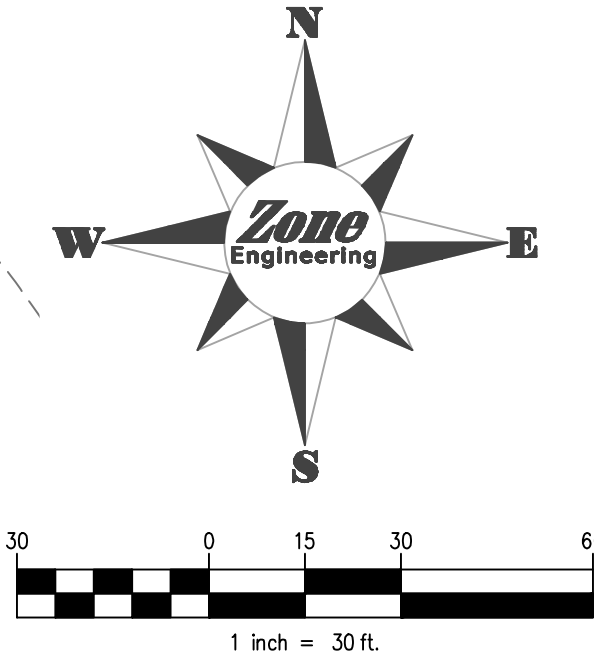
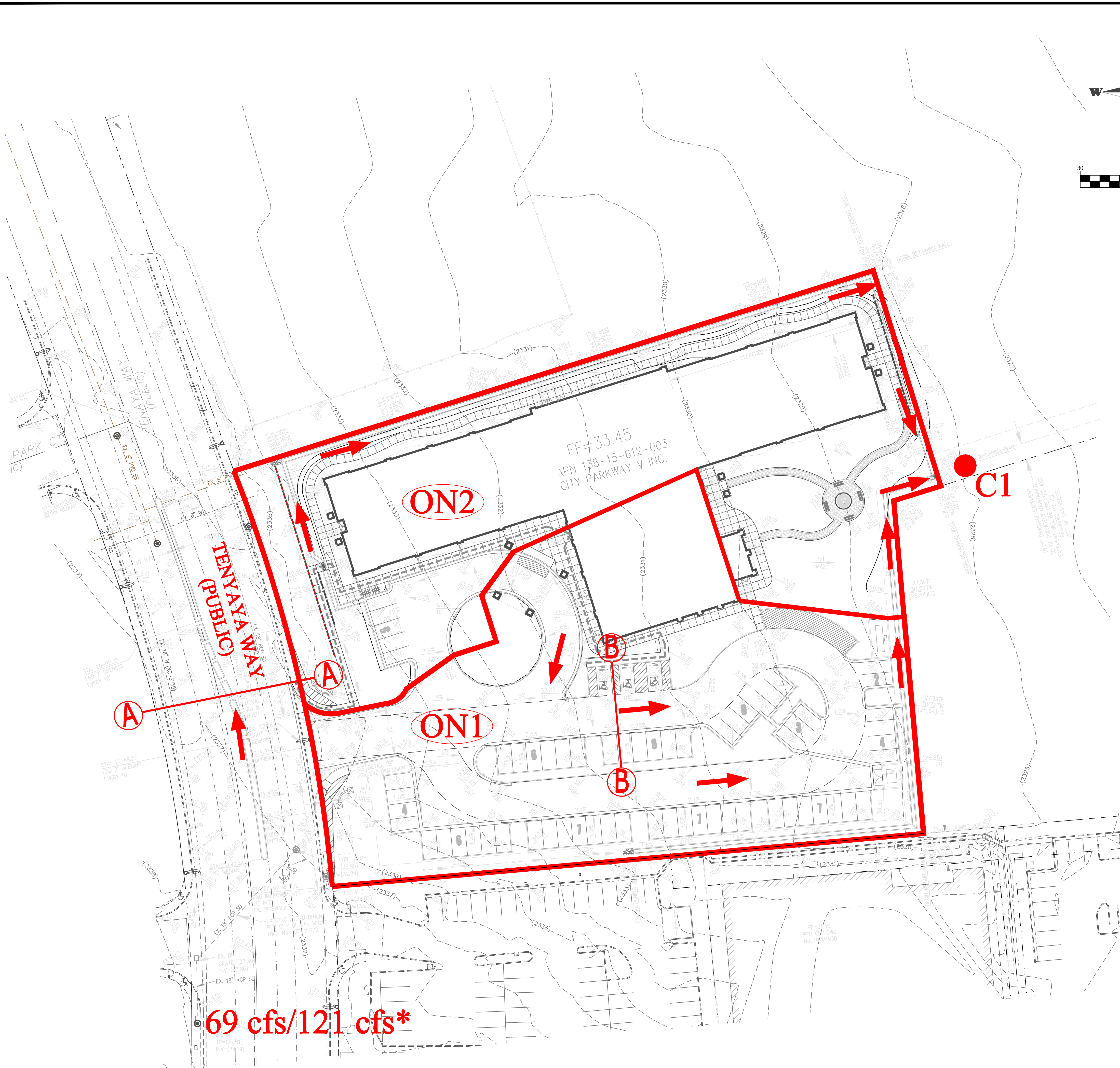
SHEET No. **4** of **9**

Call before you Dig
1-800-227-2600
1-702-455-7544

Call before you Dig
1-800-227-2600
1-702-455-7544

Z:\projects\001212-1005\drainage\01\drainage.mxd 05 Sep 2012 10:07am

NOTE:
FLOWS REFERENCED FROM THE TECHNICAL DRAINAGE
STUDY FOR HOLIDAY INN CASCADE (CLV DS#4273) ARE
DENOTED BY * ON THIS DRAINAGE MAP



LEGEND

BASIN BOUNDARY

FLOW ARROW

FUT1

BASIN ID

COMBINATION POINT

A

A

NORMAL DEPTH
CROSS SECTIONS

SOILS BOUNDARY

A

SOILS TYPE

10 cfs/100 cfs

Q₁₀/Q₁₀₀

BASIN FLOW SUMMARY			
BASIN ID	AREA (acres)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)
ON1	1.45	2	4
ON2	2.25	2	4
C1**	N/A	4	8

**combines basins ON1 & ON2

STREET FLOW SUMMARY							
SECT. ID	ST. NAME	Q ₁₀ (cfs)	D ₁₀ (ft)	V ₁₀ (fps)	D*V ₁₀	Q ₁₀₀ (cfs)	D*V ₁₀₀
A	TENAYA	69*	0.89	2.87	2.55	121*	1.04
B	ONSITE	2	0.22	1.40	0.31	4	0.33

* denotes referenced flow

4550 W. OAKLEY BLVD., SUITE 102
LAS VEGAS, NEVADA 89102
PHONE: 702.877.3005
FAX: 702.877.3007
WWW.ZONEENGINEERING.COM

DEVELOPED CONDITION DRAINAGE MAP
ADVANCED HEALTH CARE OF LAS VEGAS II
CITY OF LAS VEGAS, NV

DATE: 7-18-12
DRAWN BY: AK
DESIGNED BY: AK
CHECKED BY: CS
PROJECT NO: 12-1005

DATE: 7-18-12
DATE: 7-18-12
DATE: 7-18-12

DATE: 7-18-12
DATE: 7-18-12
DATE: 7-18-12

SHEET No. 1 OF 1
CLV#