

DS #: 4567

APN: 125-25-614-002

PROJECT: Burger King Restaurant - update to Decatur & 215

SUBMITTAL: 1st

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____





CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		August 30, 2012
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	COPIES TO:
	Burger King Restaurant – Update to Decatur & 215	Warling Engineering
Cross Streets:	NWC of Tropical Pkwy. & Decatur Blvd.	Decatur 215 LLC
File Number:	F:\Depot\DSMemos\DS4567A.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-25-614-002	CNLV
Zoning Action:	SDR-45495	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	8/22/2012	8/30/2012	See Comments Below	\$400.00	293609: \$400
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to City of North Las Vegas concurrence.

1. Identify an existing public drainage easement in the driveway to the north with width and storm drain information and label with recorded document number on the grading plan.
2. Identify the size of an existing storm drain in Decatur Boulevard and label with City of Las Vegas recorded drawing number on the grading plan.

In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Albert Sung in the Flood Section at (702) 229-2001 or Rick Schroder in Traffic Engineering at (702) 229-6327.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T19S/R60E/25
AREA G-25

MARK WARLING
CIVIL ENGINEER

9101 W. Sahara Ave, # 105-L8
Las Vegas, Nevada 89117
Tel: (702) WARLING (927-5464)
Fax: (702) 269-6275 ~ email: civil@cox.net

August 22, 2012

Albert Sung, PE
Flood Control Project Engineer, Land Development Services
City of Las Vegas Department of Public Works
731 South Fourth Street, Las Vegas, Nevada 89101

Rec'd: 8/22/12
DS 4567
9-25
\$400-

RE: Update to Technical Drainage Study DS 4261-3, Decatur and 215 for a Burger King restaurant on pad (labeled REST. "D") within commercial shopping center at Decatur Blvd. & Tropical Pkwy.

Reference is made to the approved drainage study update to the Technical Drainage Study for Decatur and 215 (DS4261-3). City approval letter attached herewith. This update pertains solely to the Burger King restaurant proposed on the existing pad labeled REST. "D" in the previously approved drainage study.

Most of the commercial complex at Decatur & Tropical is already built-out, including all of the paving and drainage surrounding the existing graded pad and the commercial center. This update addresses the grading and improvements necessary for the proposed Burger King restaurant on the pad labeled REST. "D".

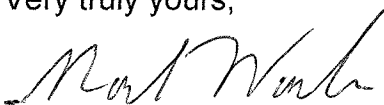
There is no significant change from the previously approved grading plan. The finish floor of the proposed Burger King restaurant on the existing pad is set at the exact same elevation of 2282.15 as previously established for that pad per the grading plan included in the previously approved drainage study.

The Winco Foods revision to the parking lot southerly of the proposed Burger King did not affect the grading or drainage patterns of the existing pad. The grading plan (enclosed) for the proposed Burger King shows that the proposed grading design does not alter the previously approved drainage patterns in any way.

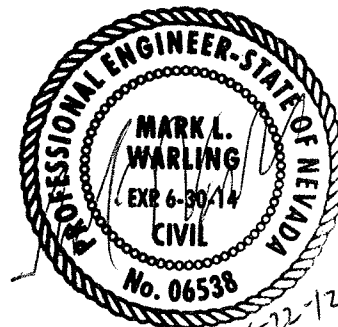
The proposed grading and drainage for the Burger King improvements is exactly as intended per the previously approved drainage study, and there will be no adverse drainage impact to adjacent or downstream properties.

If you have any questions or need additional information, please do not hesitate to contact me at 702-WARLING (927-5464).

Very truly yours,



Mark Warling, PE
Encl.



SDR-45495

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: BURGER KING WITHIN DECATUR/215 Date: 08/22/2012

Location of Development: a) Descriptive (Cross Streets) North/South: Decatur Boulevard
 East/West: Tropical Parkway

b) Section: 25 Township: 19 S. Range: 60 E.

c) APN : 125-25-614-002

Name of Owner: DECATUR 215 LLC

Telephone No.: N/A Fax No.: N/A E-Mail Address: N/A

Address: 6101 N. Decatur Blvd., Las Vegas, NV 89130

Contact Person-Name: Mark Warling, PE Telephone No.: 702-927-5464

* E-Mail Address: civil@cox.net Fax No.: 702-269-6275

Firm: Warling Engineering

Address: 9101 W. Sahara Ave., # 105-L8, Las Vegas, NV 89117

Type of Land Development/Land Disturbance Process:

<input type="checkbox"/>	Rezoning	<input type="checkbox"/>	Subdivision Map	<input type="checkbox"/>	Clearing and Grading Only
<input type="checkbox"/>	Parcel Map	<input type="checkbox"/>	Planned Unit Development	<input type="checkbox"/>	Other (Please specify below)
<input type="checkbox"/>	Large Parcel Map	<input checked="" type="checkbox"/>	Building Permit		

1. Total Owned Land Area: At Site: 16.2 Being Developed/Disturbed: 0.4

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? Yes** No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? Yes** No

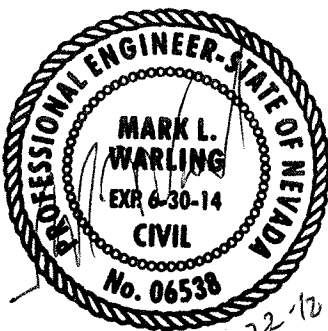
4. Proposed type of development (Residential, Commercial, Etc.): Commercial

5. Approximate upstream land area which drains to the subject site: N/A

6. Has the site drainage been evaluated in the past? YES NO If yes, please identify documentation: DS 4261-3
Decatur and 215 - Update # 3

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: Decatur Blvd.

8. Briefly describe your proposed schedule for the subject project: 2012-2013



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

Revision	Date

Local Entity File No.

REFERENCE:

STANDARD FORM 1

CITY OF LAS VEGAS		DATE:	
INTER-OFFICE MEMORANDUM		November 13, 2008	
TO: Land Development Services Department of Public Works		FROM: Oh Sang Kwon, P.E. Flood Control Project Engineer Department of Public Works	
SUBJECT: Technical Drainage Study for: Decatur and 215 – Update #3		COPIES TO: Southwest Engineering	
Cross Streets:	Decatur Blvd. & Tropical Pkwy.	Decatur III and IV, LLC	
File Number:	F:\Depot\DSMEMOS\DS4261K.doc	Bart Anderson, P.E., DevCo	
Parcel Number:	125-25-601-002 & 023, 125-25-510-010	CCPW	
Zoning Action:	TMP-25055 ; SDR-22582 & VAC-26687	CNLV	
FEMA Flood Zone	YES	NO	X
Proposed Storm Drain	YES	X	NO

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Trn. No.
1 st Submittal	12/7/2007	12/28/2007	Not Approved	\$400.00	83704: \$400
2 nd Submittal	1/24/2008	2/11/2008	Not Approved	\$400.00	86665: \$400
3 rd Submittal	2/20/2008 & 2/27/2008	3/6/2008	Not Approved	\$400.00	88505: \$400
Supplement	3/10/2008	3/10/2008	Conditionally Approved	N/C	N/C
CCDS	3/25/2008	5/8/2008	Concurrence	N/C	N/C
CNLV	4/28/2008	5/8/2008	Concurrence	N/C	N/C
Supplement	5/5/2008	5/8/2008	Approved	N/C	N/C
4 th Submittal	8/1/2008	8/7/2008	Approved	\$100.00	101048: \$100
5 th Submittal	9/25/2008 & 10/1/2008	10/6/2008	Not Approved	\$100.00	105362: \$100
6 th Submittal	10/8/2008	10/21/2008	Approved	\$400.00	106285: \$400
7 th Submittal	10/29/2008	11/4/2008	Not Approved	\$100.00	108181: \$100
Supplement	11/10/2008	11/13/2008	See Comment Below	N/C	N/C
TOTAL FEES (LDDRS):				\$1,900.00	----

REMARKS:

7th Submittal & Supplement: Update #3 to revise the lateral connection from D.I. #7 to the main storm drain in Decatur Boulevard

6th & 5th Submittals: Update #2 & Addendum to include Revision 7 and Revision 8

4th Submittal: Update #1 i) To change Drop Inlet #9 in Tropical Parkway from Type CM to Type A; ii) Re-route Drop Inlet #7 in Decatur Boulevard and Revise main line storm drain in slope and size

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	must have Clark County Department of Public Works concurrence
	must have City of North Las Vegas Public Works Department concurrence

The following comments are repeated until they are complete:

1. Add the following note to the Final Map: "All subdivided parcels comprising this commercial subdivision shall provide perpetual inter-site common drainage rights across all existing and future parcel limits".
2. The vacation of existing drainage easements must be recorded prior to the recordation of the subject Final Map.
3. Revise all public drainage easement callout as "xx-ft Public Drainage Easement to be Privately Maintained".

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
BV/osk/ays

T/R/S: T19S/R60E/25
AREA G-25

Post-it® Fax Note	7671	Date	11/19/08	# of pages	2
To	Ed Rajnovich, P.E.	From	CLV		
Co./Dept.	Southwest Engineering	Co.	Flood Control		
Phone #		Phone #			
Fax #	648-4143	Fax #			

MARK WARLING
CIVIL ENGINEER

9101 W. Sahara Ave, # 105-L8
Las Vegas, Nevada 89117
Tel: (702) WARLING (927-5464)
Fax: (702) 269-6275 ~ email: civil@cox.net

August 25, 2012

Rec'd: 8/25/12

Albert Sung, PE
Flood Control Project Engineer, Land Development Services
City of Las Vegas Department of Public Works
333 N. Rancho Dr., Las Vegas, Nevada 89106

RE: Supplemental information for DS # 4567
(Update to Technical Drainage Study DS 4261-3, Decatur and 215
for a Burger King restaurant on pad (labeled REST. "D") within
commercial shopping center at Decatur Blvd. & Tropical Pkwy.)

Dear Albert,

Last week, I submitted to you for your review, a drainage study update for a
Burger King restaurant as indicated above. You assigned it DS # 4567.

You asked me to provide you a copy of the conditions of approval for the project.
Enclosed is a copy of the approved SDR-45495 Conditions of Approval.

The drainage study update submitted to you last week included a pocket with a
copy of the proposed grading plan for the pad site. I realized later in the week that
I neglected to include the curb detail 2 on the plan. I also added the property limits
of the Burger King site to the grading plan.

Please accept this supplemental submittal and replace the previously submitted
grading plan in the pocket with this grading plan dated August 25, 2012.

If you have any questions or need additional information, please do not hesitate to
contact me at 702-WARLING (927-5464).

Very truly yours,



Mark Warling, PE
Encl.



LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

June 14, 2012

Ms. Victoria Brown
Decatur 215 of Nevada, LLC
Weingarten Realty Investors
2600 Citadel Plaza Drive
Houston, Texas 77008

**RE: SDR-45495 - MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - JUNE 2012**

Dear Ms. Brown:

Your request for a Minor Amendment of an approved Site Development Plan Review (SDR-22582) FOR A PROPOSED 3,440 SQUARE-FOOT RESTAURANT WITH DRIVE THROUGH on a portion of 16.18 acres at the northwest corner of Tropical Parkway and Decatur Boulevard (APN 125-25-614-002), C-1 (Limited Commercial) Zone, Ward 6 (Ross), has been considered administratively by the Department of Planning staff.

The Department of Planning has administratively **APPROVED** your request subject to the following:

Planning

1. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 05/23/12, except as amended by conditions herein.
3. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 05/23/12. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108

www.lasvegasnevada.gov



Ms. Victoria Brown
SDR-45495 - Page Two
June 14, 2012

4. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

7. A Drainage Study update must be submitted to and approved by the Department of Public Works prior to issuance of any building or grading permits. Provide and improve all drainageways recommended in the approved drainage study update.
8. Site development to comply with all applicable conditions of approval for SDR-22582 and all other applicable site-related actions.

This action by the Department of Planning staff on June 14, 2012 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Thomas McDonald
Glencoe Properties, Inc.
7432 West Sahara Avenue, Suite #103
Las Vegas, Nevada 89117

PARCEL DESCRIPTION

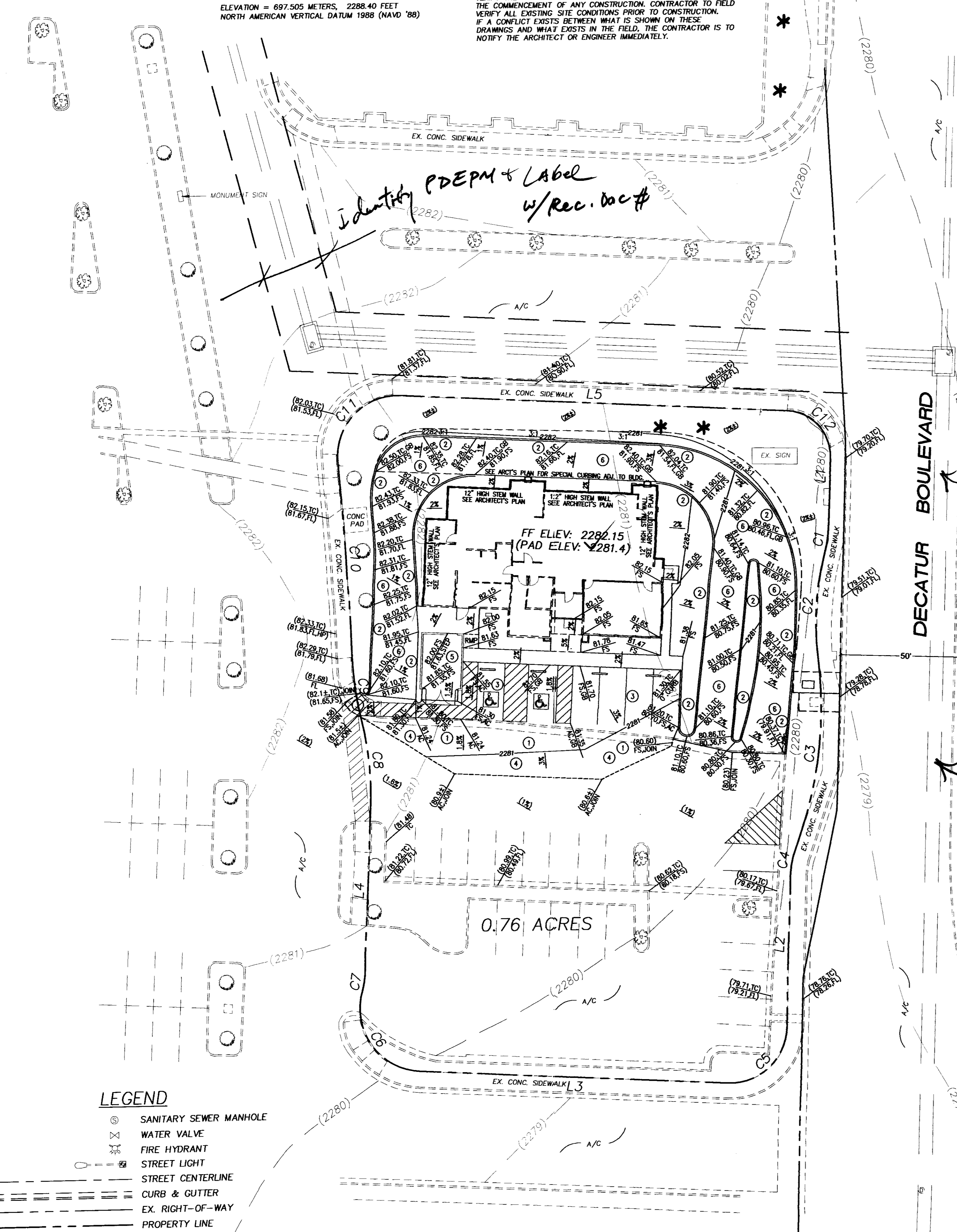
APN: 125-25-614-002
6101 N. DECATUR BLVD.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK No.: BLV90.2566
RIVET AND PLATE IN TOP OF CURB NW CORNER OF TROPICAL PARKWAY & THOM.
ELEVATION = 697.505 METERS, 2288.40 FEET
NORTH AMERICAN VERTICAL DATUM 1988 (NAVD '88)

NOTE REGARDING EXIST. UTILITIES

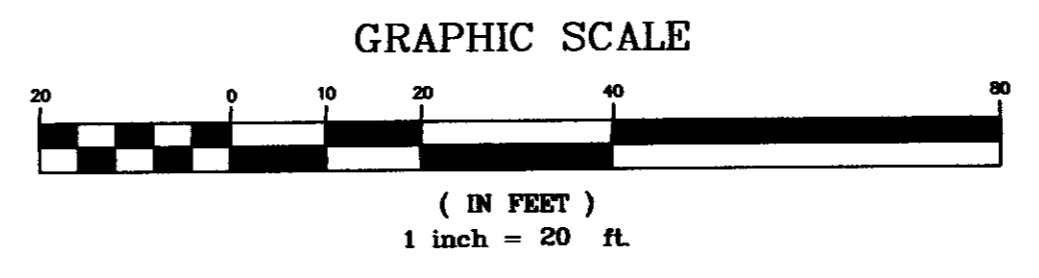
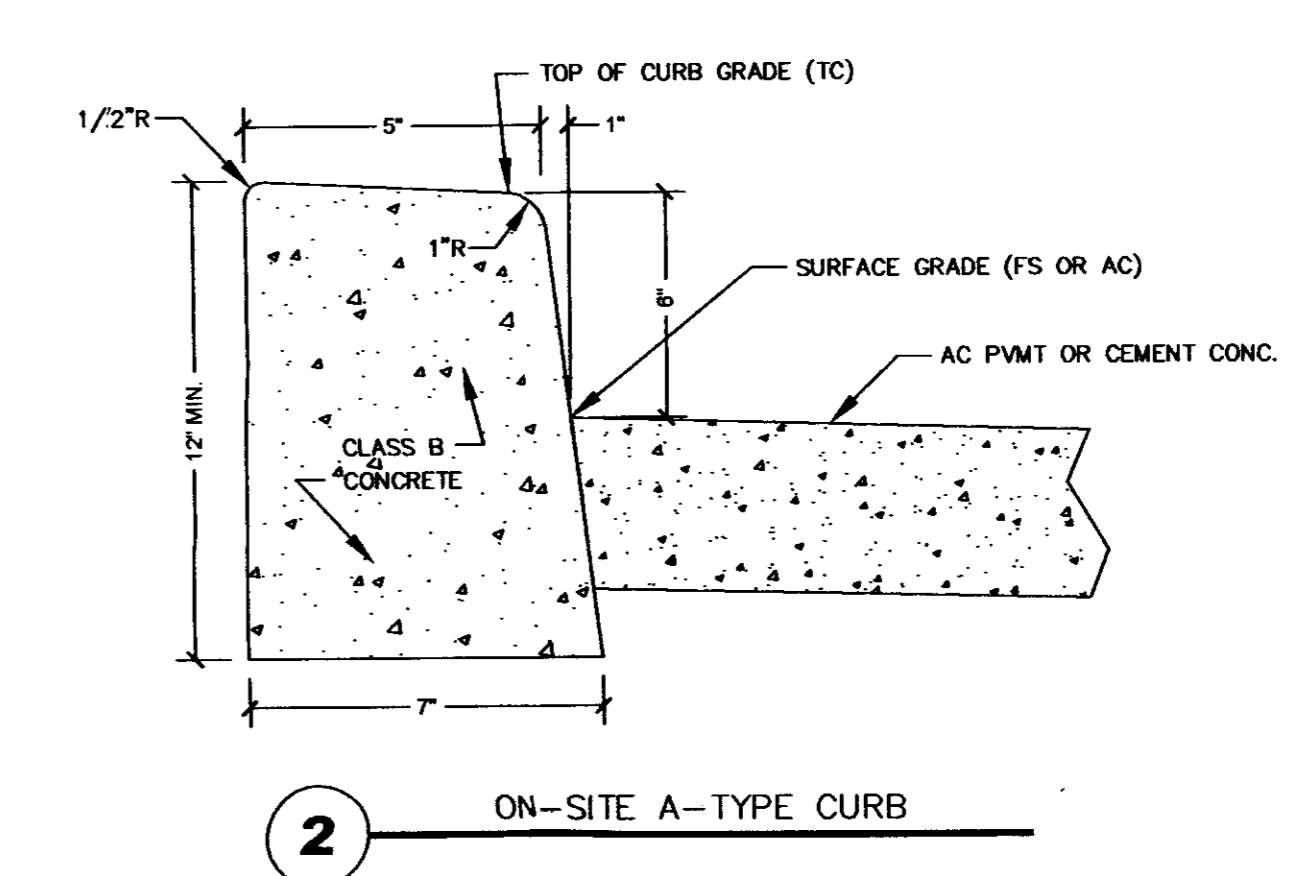
ENGINEER ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS AND ELEVATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THESE DRAWINGS AND WHAT EXISTS IN THE FIELD, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OR ENGINEER IMMEDIATELY.



RICE AVENUE

DECATUR BOULEVARD

Handwritten: CAROL CUN DREW # [unclear] SIZE?



- # CONSTRUCTION NOTES**
- REMOVE INTERFERING PORTIONS OF EX. CURB, GUTTER, & PMT.
 - CONST. A-TYPE CURB PER DETAIL 2 HEREON
 - CONST. 3\"/>

REFER TO GEOTECHNICAL REPORT PREPARED FOR THIS SITE BY [unclear] DATED [unclear] AND ANY UPDATES THERETO, FOR GEOTECHNICAL ENGINEERING PARAMETERS AND RECOMMENDATIONS.
THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT. (DS4567)

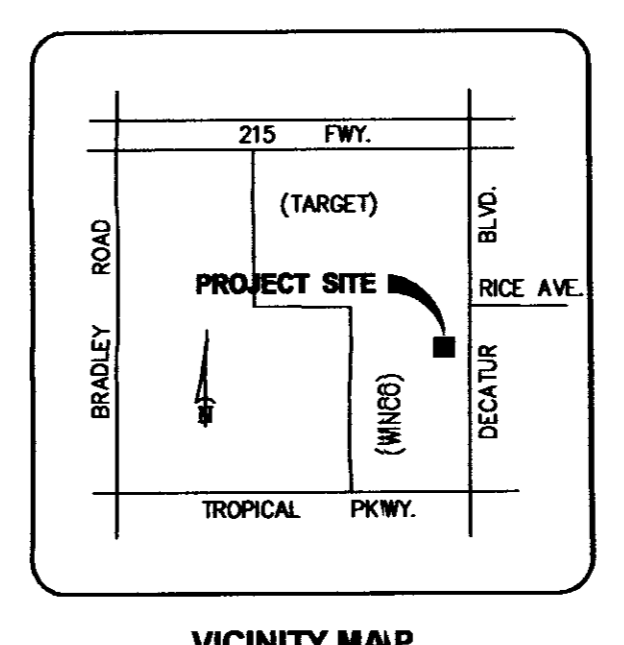
EARTHWORK ESTIMATE
CUT: 20 C.Y.
FILL: 20 C.Y.

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	50.00'	12°05'38"	10.55'	5.30'
C2	95.97'	20°49'00"	34.87'	17.63'
C3	132.00'	27°31'47"	63.42'	32.34'
C4	28.90'	17°53'46"	9.34'	4.71'
C5	19.00'	90°55'35"	30.15'	19.31'
C6	21.00'	103°59'57"	38.12'	26.88'
C7	20.00'	14°10'24"	4.95'	2.49'
C8	100.00'	16°37'48"	29.03'	14.62'
C9	100.00'	11°31'59"	20.13'	10.10'
C10	1309.56'	2°51'01"	65.14'	32.58'
C11	20.00'	97°58'55"	34.20'	23.00'
C12	15.00'	89°25'12"	23.41'	14.85'

LINE TABLE

LINE	BEARING	LENGTH
L1	S02°22'31\"/>	



FLOOD ZONE
FEMA FLOOD ZONE 'X'
(NOT IN 100-YEAR FLOOD ZONE)
FEMA FIRM # 17001C-1765

Handwritten: This grading plan is a part of drainage study #4567 which was received on 8/22/12 and 8/20/12 Page 1

811
Call before you Dig
Call before you UnderGround
CLARK COUNTY TRAFFIC OPERATIONS
1-702-455-7511
AND LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM
1-702-229-6611

OR
1-800-227-2600
AND
CLARK COUNTY TRAFFIC OPERATIONS
1-702-455-7544

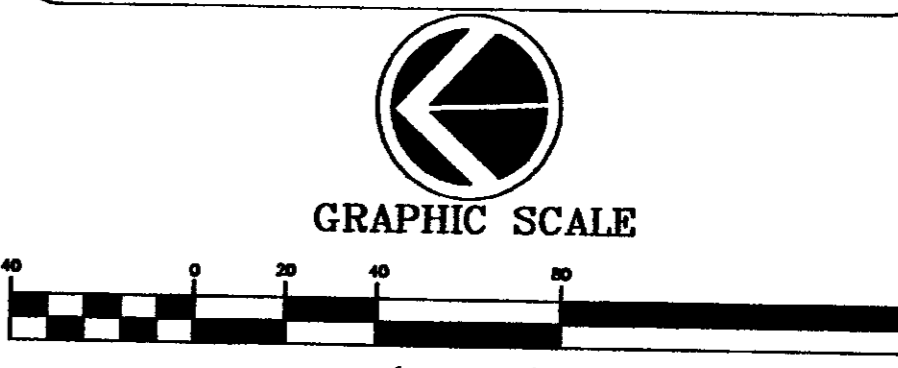
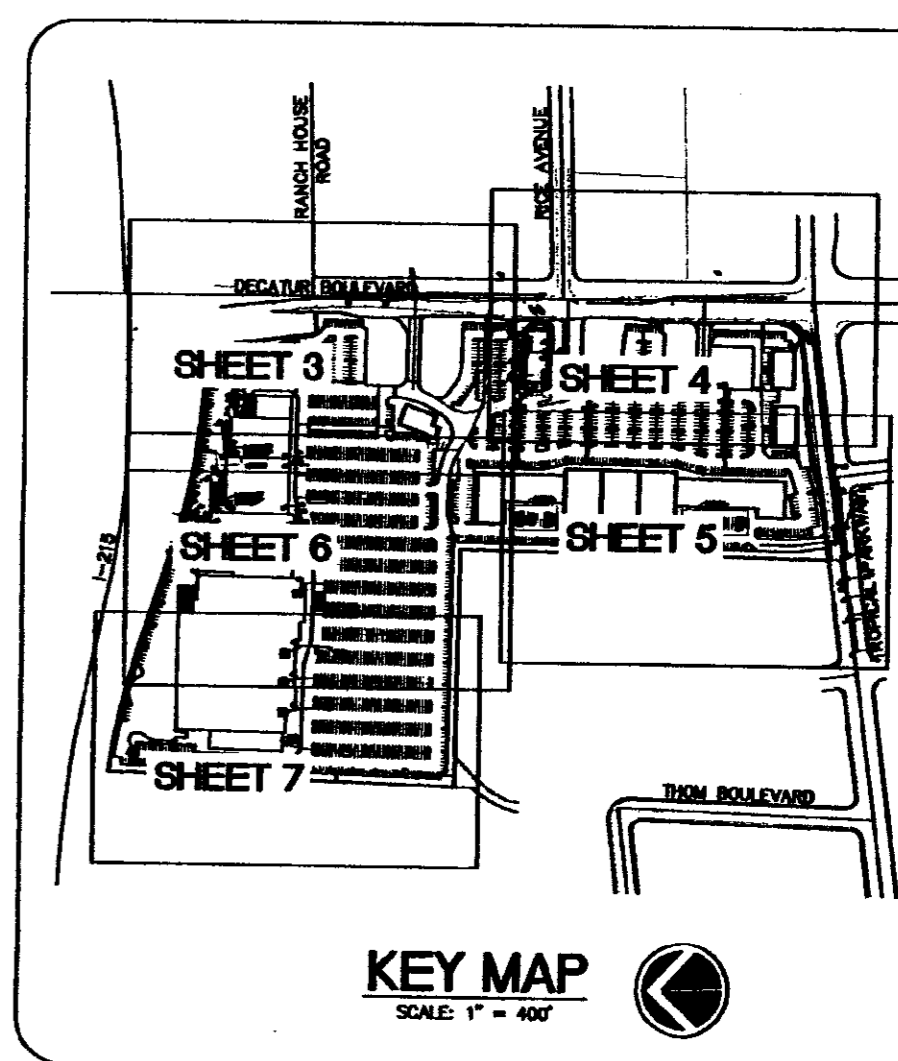
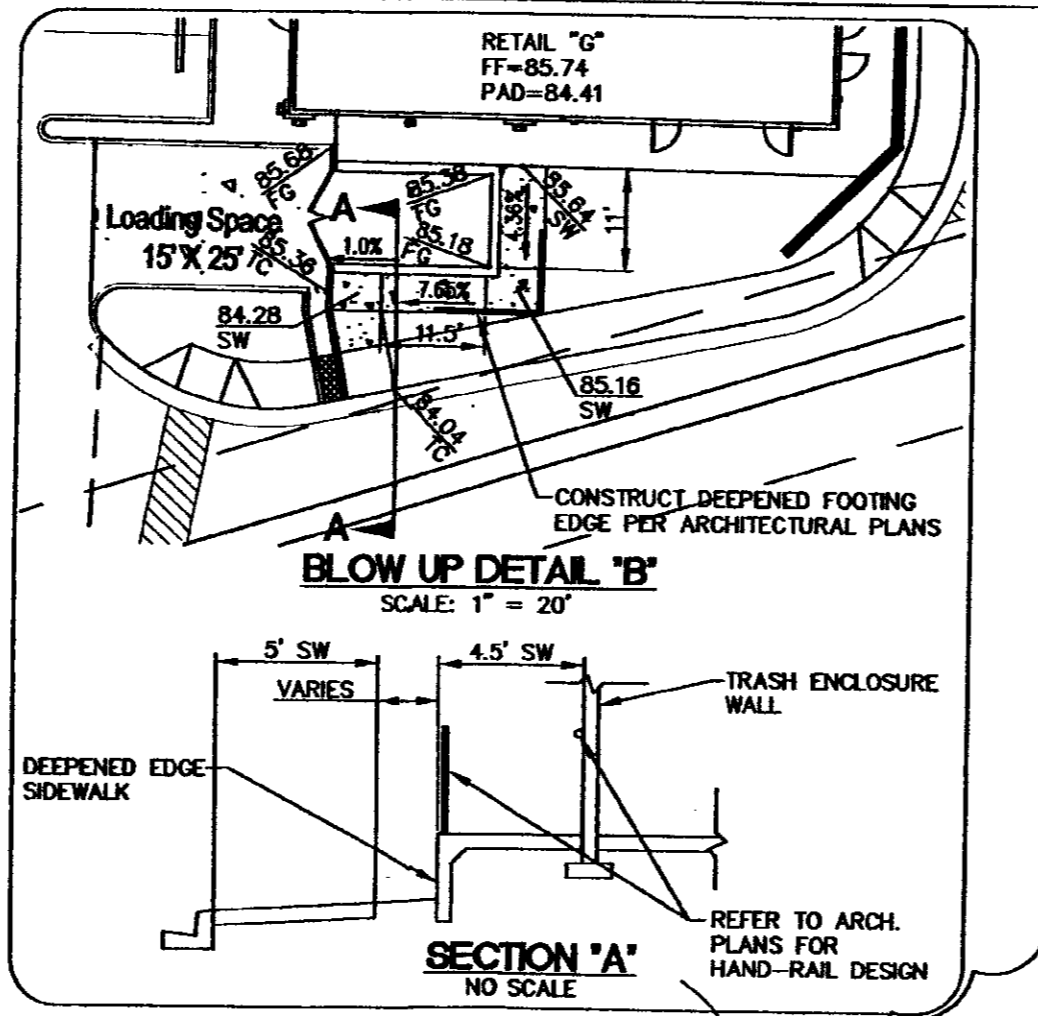
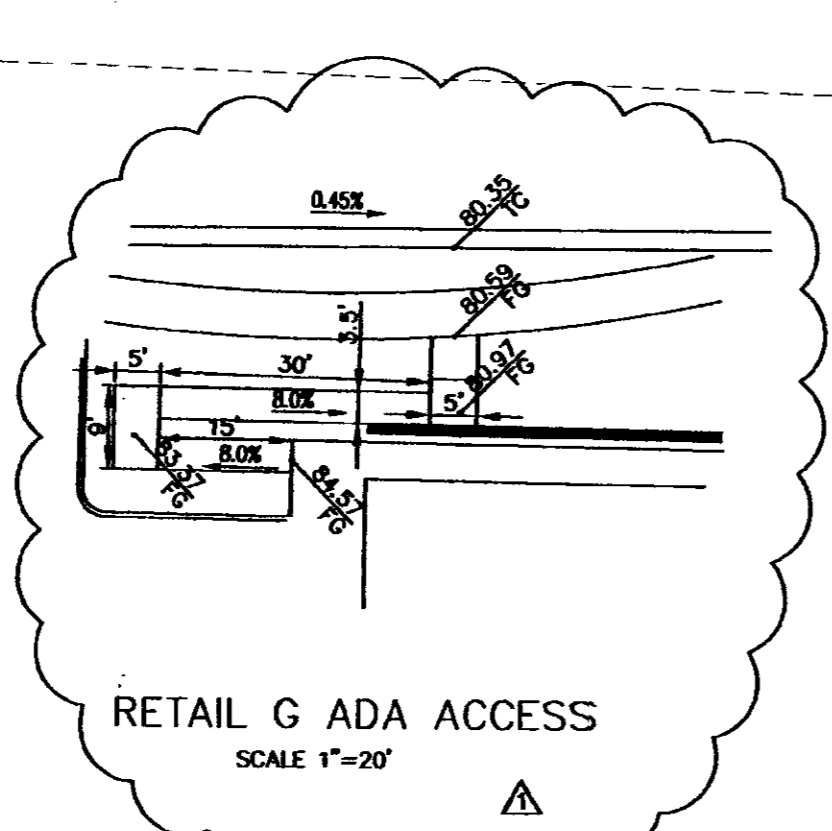
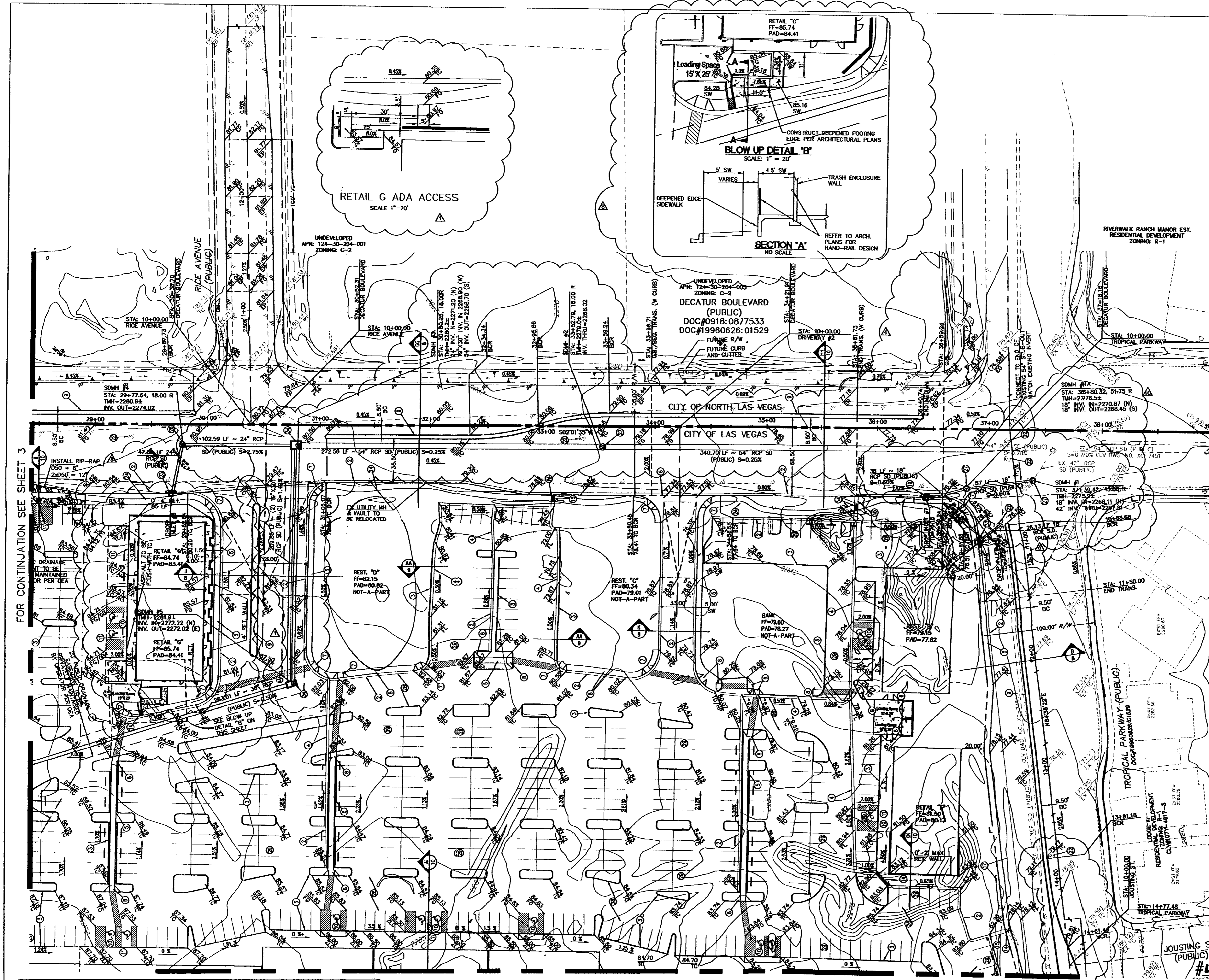
- LEGEND**
- SANITARY SEWER MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - STREET LIGHT
 - STREET CENTERLINE
 - CURB & GUTTER
 - EX. RIGHT-OF-WAY
 - PROPERTY LINE

SCALE (HP) 1" = 20'
SCALE (VP) 1" = 2'
DRAWN BY: M. WARLING
DATE: AUG. 25, 2012
PROJECT NUMBER: [unclear]
SHEET C4 OF 4

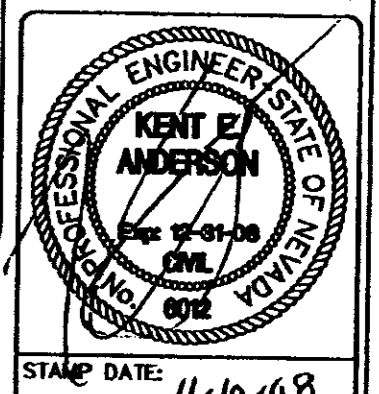
WARLING ENGINEERING
Mark Warling, Civil Engineer
9101 W. SAHARA AVENUE # 105-L8
LAS VEGAS, NEVADA 89173
PH: 702-WARLING (927-5464)
FAX: 266-MARK, EMAIL: CIVIL@COX.NET

BURGER KING
6101 N. DECATUR BLVD.
GRADING PLAN

NEVADA
CITY OF LAS VEGAS



NO.	DATE	BY	APPROV.	REVISION DESCRIPTION
1	10/28/08	KMS	KMS	REVISE DROP INLET & S.D. / ADD SIGN
2	11/10/08	KMS	KMS	REVISE DRAINAGE / ADD SIGN
3	11/10/08	KMS	KMS	REVISE DRAINAGE / ADD SIGN
4	11/10/08	KMS	KMS	REVISE DRAINAGE / ADD SIGN
5	11/10/08	KMS	KMS	REVISE DRAINAGE / ADD SIGN



9610 North Ranch Drive
Las Vegas, Nevada 89130
Telephone: (702) 646-9700
Fax: (702) 646-9143

UNRECORDED
SOUTHWEST
LAND PLANNING • MAPPING • DEVELOPMENT

- CONSTRUCTION NOTES**
- CONSTRUCT 30" ROLL CURB AND GUTTER PER USDOCA DWG. NO. 217A
 - CONSTRUCT "L" CURB AND GUTTER PER USDOCA DWG. NO. 216
 - CONSTRUCT "A" TYPE CURB PER USDOCA DWG. NO. 219
 - CONSTRUCT 24" VALLEY GUTTER PER DETAIL "L" ON SHEET 8
 - CONSTRUCT 5" SIDEWALK PER USDOCA DWG. NO. 234
 - CONSTRUCT 8" CROSS GUTTER PER USDOCA DWG. NO. 228
 - CONSTRUCT CASE I SIDEWALK RAMP (A=8", B=8") PER USDOCA DWG. NO. 235
 - CONSTRUCT CASE II SIDEWALK RAMP (A=12", B=12") PER USDOCA DWG. NO. 235
 - CONSTRUCT MEDIAN ISLAND PER USDOCA DWG. NO. 218
 - INSTALL HANDICAP STRIPING AND SIGNS PER DETAIL "P" ON SHEET 9
 - CONSTRUCT 6" CURB PER DETAIL "N" ON SHEET 9
 - CONSTRUCT 60" TYPE I MANHOLE PER USDOCA DWG. NO. 403
 - CONSTRUCT 48" TYPE I MANHOLE PER USDOCA DWG. NO. 403
 - INSTALL 2" SIDEWALK UNDER DRAIN PER USDOCA DWG. NO. 236
 - CONSTRUCT 36" CONCRETE FLUME PER DETAIL "M" SHEET 9
 - CONSTRUCT 36"x36" JENSEN PRECAST CATCH BASIN DWG. NO. 363636 SEE DETAIL "M" SHEET 9 (TYPE II)
 - CONSTRUCT BUS TURNOUT AND BUS STOP LOADING PAD PER USDOCA DWG. NO. 234.1 - 234.2
 - CONSTRUCT CATCH BASIN PER DETAIL "L" SHEET 10
 - CONSTRUCT TYPE "CM" DROP INLET L=5' PER DETAIL "W" SHEET 9 PER DETAIL "W" SHEET 9
 - CONSTRUCT TYPE "CM" DROP INLET L=5', 2 GRATES PER DETAIL "W" SHEET 9
 - INSTALL FIRE ACCESS GATE
 - ADJUST EX. MANHOLE RIM TO PROP. FINISHED GRADE AS NECESSARY PER DETAIL "W" SHEET 9
 - CONSTRUCT TYPE "CM" DROP INLET L=15', 6 GRATES PER DETAIL "W" SHEET 9
 - CONSTRUCT 5' MEANDERING SIDEWALK - SEE L/S ARCH. PLAN FOR LOCATION
 - VERT. RELOCATE EX. FENCE TO PROPOSED GRADES
 - CONSTRUCT 60" TYPE III MANHOLE PER USDOCA DWG. NO. 403
 - CONSTRUCT 48" TYPE II MANHOLE PER USDOCA DWG. NO. 403
 - 3" A.C. PAVING OVER 4" TYPE II AGGREGATE BASE
 - 2" A.C. PAVING OVER 4" TYPE II AGGREGATE BASE
 - HEAVY-DUTY CONCRETE CROSSWALK
 - INSTALL 3" WIDE MONOLITHIC CURB PER USDOCA NO. 221
 - INSTALL LOGGING-REMOVABLE BOLLARD-ROLE PER CLV STD. 421
 - INSTALL 5" STD. TYPE "A" DROP INLET PER USDOCA DWG. NO. 411
 - CONSTRUCT TYPE II MANHOLE PER DETAIL ON SHEET 17

LEGAL DESCRIPTION

A PORTION OF THE EAST HALF (E 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 30, AND THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, BEING ALL OF PARCEL 3 ON FILE IN FILE 90 OF PARCEL MAPS, PAGE 69 IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

BASIS OF BEARING

NORTH 02°01'35" EAST BEING THE CENTERLINE OF DECATUR BLVD. BETWEEN TROPICAL PARKWAY AND CENTENNIAL PARKWAY IN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN BY MAP IN THE OFFICE MAPS PAGE 69.

This grading plan is a part of a study #42613 which was received on 11/10/08 and approved on 11/10/08

EARTHWORK QUANTITIES

CUT = 35,503 CY
FILL = 58,428 CY
IMPORT = 22,925 CY

PER EARTH/CALC REPORT DATED 9-25-07
EC JOB NUMBER: 1070356

DATE: 11-10-08

NOTICE TO CONTRACTOR!

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

CALL before you Dig

1-800-227-2600
UNDERGROUND SERVICE (USA)

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.

CALL BEFORE YOU DIG

CALL 1-702-227-2929

ONLY PAVEMENT SECTION NOTE

R-VALUES AND PAVEMENT DESIGN TO BE DETERMINED AT TIME OF GRADING.

SOILS REPORT

ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. FOR DECATUR AND 215 COMMERCIAL DEVELOPMENT #64075091 DATED NOVEMBER 16, 2007.

NOTE

SEE SHEET GRADING SHEET 3 FOR PUBLIC STORM DRAIN QUANTITIES.

FLOOD ZONE

FLOOD ZONE DESIGNATION "X" PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 32003C1765 D, AUGUST 16, 1995.

FOR CONTINUATION SEE SHEET 5

GRADING PLAN II

DECATUR & TROPICAL
DECATUR 215, LLC

CITY OF LAS VEGAS

PROJECT TITLE

WORK ORDER NO. 070619

DESIGN BY: KDS

DRAWN BY: KDS/WK

DATE: Nov 10, 2008

SCALE: 1" = 40'

SHEET 4 OF 45 SHEETS

CLV DWG NO. 1074968