

DS #: 4558

APN: 125-15-101-003

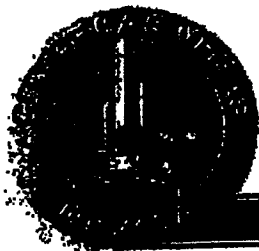
The orchards at Grand Teton & Teton

PROJECT: (update to Spinnaker Homes at the orchards, DS4274)

SUBMITTAL: 1st

SCANNED BY/DATE:

CHECKED BY/DATE:



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

DATE:

July 9, 2012

TO:

Land Development Services
Department of Public Works

FROM:

Albert Surg, P.E.
Flood Control Project Engineer
Department of Public Works

SUBJECT:

Drainage Study for:

The Orchards at Grand Teton & Tenaya
(Update to Spinnaker Homes at the Orchards DS4274)

COPIES TO:

Taney Engineering

Cross Streets:

SWC of Grand Teton Drive & Tenaya Way

D. R. Horton

File Number:

F:\Depot\DSMemos\DS4558A.doc

Bart Anderson, P.E., DevCo

Parcel Number:

125-15-101-003

CCRFCD

Zoning Action:

EOT-45057; EOT-45335 & TMP-45536

CCPW

FEMA Flood Zone

YES

NO

X

Proposed Storm Drain

YES

NO

X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	6/26/2012	7/5/2012	See Comments Below	\$400.00	287661: \$400
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

- The final approval of this drainage study is for the construction of Unit 1 and the half street improvements of Whispering Sands Drive only. Upon construction of Unit 2, Unit 3 and so on, a separate technical drainage study will be required to address each future Unit.
- It is understood that Grand Teton Boulevard will not be improved with the construction of Unit 1. The engineer/developer must consult with City Planning Department for acceptable landscaping such as tree wells or bushes to be installed in the 20'-Trail Corridor in future phases.
- Provide a copy of the zoning/planning conditions associated with this site (**EOT-45057; EOT-45335 & TMP-45536**) with the next submittal to verify compliance with conditions. *Flood Control* will not issue conditional approval of the drainage study without the associated zoning/planning conditions (issued by the *City Council*). Any associated conditions of approval that revise the site drainage parameters will require that the drainage study be revised and resubmitted.
- Detail Section B shows detached decomposed granite sidewalk on both sides of the street sections. It seems like at least one side of the street should provide concrete sidewalk for pedestrians. Consult with Planning Department for review and approval prior to the final approval of the study.
- Detail Section J shows open space between two walls. Indicate whether this is a common lot to be maintained by the Homeowners Association. Revise the pertinent plans and sections accordingly.
- Detail Section G: Specify the 3-solid grout courses to be "8"-CMU".

7. Sheets PP1 and PP2: Provide profile for the proposed top of curb (TC) of Whispering Sands Drive in the next submittal.
8. The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public Drainage Easements must be bonded and inspected.
9. All drainage easements must be public drainage easements and common lots to be privately maintained by the Homeowners Association to be labeled on the grading plans and to be dedicated as such in the final map.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
ays

T/R/S: T19S/R60E/15
AREA G-15

 *** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 4390
 DESTINATION ADDRESS 3625233
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 07/09 08:39
 USAGE T 01' 43
 PGS. 2
 RESULT OK

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM			DATE: July 9, 2012	
TO: Land Development Services Department of Public Works			FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works	
SUBJECT: Drainage Study for: The Orchards at Grand Teton & Tenaya (Update to Spinnaker Homes at the Orchards DS4274)			COPIES TO: Taney Engineering	
Cross Streets:	SWC of Grand Teton Drive & Tenaya Way		D. R. Horton	
File Number:	F:\Depot\DSMemos\DS4558A.doc		Bart Anderson, P.E., DevCo	
Parcel Number:	125-15-101-003		CCRFC	
Zoning Action:	EOT-45057; EOT-45335 & TMP-45536		CCPW	
FEMA Flood Zone	YES	NO X		
Proposed Storm Drain	YES	NO X		

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	6/26/2012	7/5/2012	See Comments Below	\$400.00	287661: \$400
TOTAL FEES (LDDRS):				\$400.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
X	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Public Works Department concurrence.

1. The final approval of this drainage study is for the construction of Unit 1 and the half street improvements of Whispering Sands Drive only. Upon construction of Unit 2, Unit 3 and so on, a separate technical drainage study will be required to address each future Unit.
2. It is understood that Grand Teton Boulevard will not be improved with the construction of Unit 1. The engineer/developer must consult with City Planning Department for acceptable landscaping such as tree wells or bushes to be installed in the 20'-Trail Corridor in future phases.
3. Provide a copy of the zoning/planning conditions associated with this site (EOT-45057; EOT-45335 & TMP-45536) with the next submittal to verify compliance with conditions. Flood Control will not issue conditional approval of the drainage study without the associated zoning/planning conditions

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S Fourth Street
Las Vegas, NV 89101

Voice 702-229-6301
Fax 702-474-0352
TTY 702-386-9108

www.lasvegasnevada.gov

May 9, 2008

Mr. Ben Young
Spinnaker Home IX LLC
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

RE: TMP-27023 - TENTATIVE MAP

Dear Mr. Young:

Your request for a Tentative Map FOR A 100-LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION on 36.57 acres adjacent to the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross), was considered by the Planning Commission on May 8, 2008.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Approval of the Tentative Map shall be for no more than two (2) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within two (2) years of the approval of the Tentative Map, this action is void.
2. All development shall conform to the Conditions of Approval for Site Development Plan Review (SDR-27226).
3. Prior to the submittal for review of Civil Improvement plans, a revised Tentative Map depicting the instillation of a Multi-Use Transportation Trail, consisting of a five-foot transition strip and a five-foot private landscaped corridor separated by a ten-foot public transportation trail path, as illustrated within the Las Vegas Master Plan Transportation Trails Element, shall be submitted to and approved by the Planning and development Department and Public Works Department Staff.
4. Street names must be provided in accordance with the City's Street Naming Regulations.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Steve Wallson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow

City Manager
Douglas A. Selby



Mr. Ben Young
TMP-27023 – Page Two
May 9, 2008

5. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
6. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.
7. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

8. Construct the full width median island or as much as legally able on Grand Teton Drive concurrent with development of this site to a design acceptable to the Traffic Engineering Section of the Department of Public Works. The median shall be landscaped and privately maintained by the HOA per City of Las Vegas standards.
9. Meet with the Traffic Engineering Section of the Department of Public Works for assessment of traffic signal impact fees. Such monies shall be contributed prior to the issuance of any permits or the recordation of a Final Map for this site, unless documentation of payment for traffic signal impact fees to Clark County Public Works is provided.

Mr. Ben Young
TMP-27023 – Page Three
May 9, 2008

10. Site Visibility Restriction Zones (S.V.R.Z.) adjacent to public streets shall be indicated on the civil improvement plans, not on the Final Map, and shall include the following note.
"No walls, fences, trees, shrubs, utility appurtenances or any other object, other than traffic control devices and street light poles, may be constructed or installed within the Sight Visibility Restriction Zone (S.V.R.Z.) unless said object is maintained at less than 24 inches in height measured from adjacent top of curb, or where no curb exists, a height of 27 inches measured from the top of adjacent asphalt, gravel, or pavement street surface. Area shall be labeled as "Privately Maintained".
11. Site development to comply with all applicable conditions of approval for SDR-27226 and all other site related actions.
12. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

This action by the Planning Commission on **May 8, 2008** is final unless a written appeal is filed within the City Clerk within seven days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on **May 9, 2008**.

Sincerely,



Peter Lowenstein, AICP
Planning Supervisor
Case Planning Division

PL:nl:clb

cc: Mr. Ben Young
Royal Construction
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

Ms. Sonia Macias
TCE
3277 East Warm Springs Road, Suite #400
Las Vegas, Nevada 89120



CITY OF LAS VEGAS

MINIMUM DRAINAGE STUDY CRITERIA STANDARD FORM 2 CHECKLIST SUPPLEMENT (Revised 5/18/11)

The following checklist is intended as a supplemental guide for the engineer preparing a Technical Drainage Study submittal to the City of Las Vegas. This supplement focuses on requirements specific to the City of Las Vegas. The requirements presented are in addition to the Clark County Regional Flood Control District (CCRFCD) Manual Standard Form 2. The listed items are the minimum information required prior to the City performing a review. The engineer will remain responsible to ensure the Technical Drainage Study is prepared within the guidelines as set forth in the CCRFCD Hydrologic Criteria and Drainage Design Manual (Design Manual).

An appointment must be made to preview this checklist in conjunction with CCRFCD Standard Form 2 prior to the City accepting a new drainage study for review. The engineer must contact the Flood Control Section at (702) 229-6541 to schedule a submittal appointment.

If items are not applicable for the subject site, provide N/A.

I. GENERAL REQUIREMENT		
Yes	No	
	☒	A notarized letter from the adjacent property owner(s) allowing off-site grading. (A copy of the letter must be received prior to final acceptance of the drainage study.)
	☐	Copies of all conditions of approval for development related to this property. (e.g. zoning, use permit, tentative map, etc.) Verify compliance with conditions.
	☒	An electronic copy of the complete submittal is required to be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output device replicating your submittal. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats. If figures are in color, they must be scanned in color and saved as a separate file.  by initial here, the engineer on record acknowledges that the electronic copy is an identical replicate of the original hard copy submitted to the City of Las Vegas.

II. GRADING PLAN INFORMATION		
Yes	No	
	☒	(1) 24" X 36" copy of the Grading Plan, (including all Detail Sheets) sealed by the engineer.
	☒	Proposed future and existing spot grades for top of curbs and street crowns at lot lines, grade breaks, and along curb returns on both sides of the street. Note: Proposed top of curb elevations must be provided for both sides of roadways even if only half street construction is required.
	☒	Label existing topography at a minimum 5 foot elevation interval including adjacent developments, finished floor elevations of existing buildings and top of existing curbs extending 100 feet around the perimeter of the site. (*Measured from the centerline of the adjacent roadway.)

CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

II. GRADING PLAN INFORMATION		
Yes	No	
	/	Proposed on-site and off-site storm drains and other flood control facilities with plan and profile sheets for public storm drains showing the class of pipe, (Class III, IV, V, etc.), design hydraulic grade line, (HGL) and 100 year storm flow. A public drainage easement must be provided over on-site storm drains conveying off-site flows. An overflow path must be provided over all storm drains.
/		All existing and "to be constructed" walls with cross-sections showing wall type, (e.g. block wall, retaining wall, flood wall, etc.), with limits clearly defined, adjacent ground elevations. Wall heights must meet current ordinances and in no case exceed 14 feet above the adjacent property.
/		Street slopes for both interior and perimeter streets. Note: The minimum slope for a roadway is 0.4 percent, a minimum 18-inch storm drain must be provided where minimum slopes cannot be met.
/		Back of lot elevations and lot drainage pattern for all lots including common lots.
/		Sites with a grade difference two feet above or below existing ground are required to have approval from City of Las Vegas Current Planning. Current Planning approval is required prior to final approval of the drainage study.
/		On-site facilities must perpetuate flows through or around the site without significantly impacting adjacent property owners. (The project must pass flows through the site every 600 feet where the project is blocking flow paths.)
/		This project uses a solid grouted stem wall (or approved alternate) at the back of sidewalk to provide erosion protection for landscaped areas where the depth of flow in the roadway exceeds the back of walk elevation. A corresponding cross-section detail is included.
/		Commercial and Common Lot Landscape areas are not allowed to drain over the sidewalk. The grading plans show flow lines with grades and sidewalk under drains for all landscape areas draining to the public ROW.

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
		Concrete valley gutters are required in parking lots with slopes less than 1 percent. Slopes through cul-de-sac must be at a 1 percent minimum where flow is drained through the cul-de-sac.
		Ten-foot wide public drainage easements to be privately maintained are allowed for flow less than 20 cfs. The depth of flow entering the easement must be checked using the submerged weir calculation.
		The limits of the flood zones and the base flood elevations (BFE) must be shown on all grading plans for all developments within a Special Flood Hazard Zone A, AO, AE, etc.
		Minimum finish floor elevation is 6 inches above highest adjacent top of curb. Finish floor calculations must include allowances for super elevations on curves and velocity head for tee intersections.
		Finished floor elevations for buildings adjacent to public drainage easements must be a minimum of 18 inches above the Q100 weir of submerged weir elevation, whichever is greater.

CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
		Lots with "B and C Type Drainage" that drain from one lot to another through a drainage easement shall be required to install an underground nuisance drainage system or a 2-foot valley gutter. 16" x 24" minimum block wall openings are required for both options.
		Bubblers are required across 80 foot and greater ROW streets. When flows exceed 10 cfs, bubblers larger than 18 inches will be required up to a maximum of 36". Inlets must be sized to match the pipe size provided.

- Contact the Flood Control Section regarding the drainage study review fee. These fees are payable at the time of submittal.
- The Drainage Study must be conditionally approved prior to submitting improvement plans to the Civil and Planning Development of the Department of Building and Safety for review.

This document is intended as an aid in preparing Technical Drainage Studies for the City of Las Vegas. Each study submitted is reviewed for compliance with local and regional criteria. This form is not intended to be all-inclusive and does not limit the extent of the information, calculations or exhibits which may be necessary to properly evaluate the intended land use.



TANEY ENGINEERING

**UPDATE TO THE
TECHNICAL DRAINAGE STUDY
FOR
*THE ORCHARDS AT GRAND TETON & TENAYA***

**CITY OF LAS VEGAS
NEVADA**

June 2012

Prepared by:

Taney Engineering
6030 S. Jones, Suite #100
Las Vegas, Nevada 89118
Telephone: (702) 362-8844
Fax: (702) 362-5233

Prepared for:

D.R. Horton
330 Carousel Parkway
Henderson, NV 89014
Telephone: (702) 635-3600

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: The Orchards at Grand Teton & Tenaya Date: June 2012

Location of Development: a) Descriptive (Cross Streets) North/South: Tenaya
 East/West: Grand Teton

b) Section: 15 Township: 19S Range: 60E

c) APN : 125-15-101-003

Name of Owner: D.R. Horton

Telephone No.: (702) 635-3600 Fax No.: (702) 909-4601 E-Mail Address: _____

Address: 330 Carousel Parkway Henderson, NV 89014

Contact Person-Name: David W. Trushaw, P.E. Telephone No.: (702) 362-8844

* E-Mail Address: dt@taneycorp.com Fax No.: (702) 362-5233

Firm: Taney Engineering

Address: 6030 S. Jones Blvd., Suite 100, Las Vegas, NV 89118

Type of Land Development/Land Disturbance Process:

☐ Rezoning	☒ Subdivision Map	☐ Clearing and Grading Only
☐ Parcel Map	☐ Planned Unit Development	☐ Other (Please specify below)
☐ Large Parcel Map	☐ Building Permit	

- Total Owned Land Area: At Site: 36.4+/- acres Being Developed/Disturbed: 10+/- acres
- Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No
- Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☒ Yes** ☐ No
- Proposed type of development (Residential, Commercial, Etc.): Residential
- Approximate upstream land area which drains to the subject site: >1 square mile
- Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Technical Drainage Study for Spinnaker Homes at The Orchard
- If known, please briefly identify the proposed discharge point(s) of runoff from the site: Tenaya and Whispering Sands
- Briefly describe your proposed schedule for the subject project: A.S.A.P



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

	Revision	Date
Local Entity File No. _____		

REFERENCE:

STANDARD FORM 1

**UPDATE TO THE
TECHNICAL DRAINAGE STUDY
FOR
The Orchards at Grand Teton
& Tenaya
Residential Development**

June 2012

Prepared by:



Taney Engineering
6030 S. Jones, Suite #100
Las Vegas, NV 89118

Prepared for:

D R HORTON
330 Carousel Pkwy.
Henderson, Nevada 89014
Phone: (702) 632-3600 Fax: (800) 909-4601

APN #: 125-15-101-003



TANEY ENGINEERING

6030 SOUTH JONES BLVD, SUITE 100

LAS VEGAS, NV 89118

TELEPHONE: 702-362-8844

Fax: 702-362-5233

June 26, 2012

Job No. DRH-12-033

Albert Sung, P.E.
City of Las Vegas Flood Control
333 N. Rancho Drive
Las Vegas, Nevada 89106

Subject: Update to the Technical Drainage Study for The Orchards at Grand Teton & Tenaya (DS# 4274)

Mr. Sung:

Taney Engineering is pleased to provide one (1) hard copy and one (1) digital copy of the Update to the Technical Drainage Study for ***The Orchards at Grand Teton & Tenaya***. The original report that was prepared by Thomason Consulting Engineers, DS-4274, was approved by the City of Las Vegas on September 12, 2008. We have reviewed that report and addenda and concur with the reports. A copy of the approval letter is included in Appendix A.

The conditions of the previous Tentative Map, TMP-27023 and Site Development Review, SDR-27226, were followed. An Extension of Time, EOT-45057 for the Site Development Review, was approved on June 13, 2012. A new Tentative Map will be heard in July of this year. A copy of the SDR and EOT are included in Appendix B.

This update is for Unit 1 only. Future units will required a Technical Update. The grading pattern for Unit 1, approved with the original Drainage Study, was followed with minor changes. The onsite grading was lowered by approximately 0.5-feet to help balance the cut/fill for the site. A copy of the Grading Plans are included in Appendix C.

I trust this will satisfy any concerns you have. If there are any question or you need any additional information, please do not hesitate to call our office.

Sincerely,

TANEY ENGINEERING

David W. Trushaw, P.E.
Project Manager

APPENDICES

APPENDIX A	Previous Approval Letter
APPENDIX B	Conditions of Approval
APPENDIX C	Improvement Plans

APPENDIX A

Previous Approval Letter

Rec'd: 2/7/08

DS 4274

SPINNAKER HOMES AT THE ORCHARD

CITY OF LAS VEGAS

TCE# 011-07011

Prepared for:

ROYAL CONSTRUCTION

4511 West Cheyenne Avenue, Suite 105

North Las Vegas, Nevada 89032

Prepared by:

TCE

3277 East Warm Springs Road, Suite 400

Las Vegas, Nevada 89120

(702) 932-6125

FAX (702) 932-6129

January 2008

G-15

\$400

CCRFCD

CCDDS

ANX-19110

☐ T ☐ THOMASON
☐ C ☐ CONSULTING
☐ E ☐ ENGINEERS

CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		September 12, 2008
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for Spinnaker Homes at the Orchards – Unit 1		COPIES TO: Thomason Consulting Engineers
Cross Streets:	SWC of Grand Teton Drive & Tenaya Way	Royal Construction
File Number:	F:\Depot\DSMemos\DS4274D.doc	Bart Anderson, P.E., DevCo
Parcel Number:	125-15-101-003	CCRFC
Zoning Action:	ANX-19110, TMP-27023 & SDR-27226	CCDDS
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	2/7/2008	2/14/2008	Not Approved	\$400.00	87636: \$400
2 nd Submittal	3/21/2008	4/4/2008	Not Approved	\$400.00	90838: \$400
3 rd Submittal & Supplement	4/22/2008, 5/8/2008 & 5/28/2008	5/29/2008	Conditional Approval	\$400.00	93099: \$400
CCDDS & CCRFC	8/28/2008	9/11/2008	Concurrence	N/C	N/C
TOTAL FEES (LDDRS):				\$1,200.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to Clark County Department of Development Services concurrence.

- The final approval of this drainage study is for the construction of Unit 1 and the half street improvements of *Whispering Sands Avenue* only. The complete built out of the project is conceptually accepted. However, upon construction of Unit 2, Unit 3 and Unit 4, a separate technical drainage study will be required to address each future Unit.
- It is understood that *Grand Teton Boulevard* will not be improved with the construction of Unit 1. Cross Section 1/D1 is conceptually approved. The engineer/developer must consult with City Planning Department for acceptable landscaping such as tree wells or bushes to be installed in the 20'-Trail Corridor.
- Sheet D1 of Unit 1: Section 13/D1: Specify the 3-solid grout courses to be "8"-CMU".
- Revise all drop inlets to Type "CM" or Neenah Pre-cast inlets. Contact Raul Cruz at 229-6171 for an AutoCAD detail to be included within the improvement plans if Type "CM" drop inlets are used. Note that the lengths of all Type "CM" inlets are in the multiple of 2.5'. Review and revise accordingly.

5. All drainage easements must be public drainage easements and common lots to be privately maintained by the Homeowners Association to be labeled on the grading plans and to be dedicated as such in the final map.
6. The engineer must provide a table on the grading plans that shows a quantity estimate of all drainage improvements within Public Drainage Easements. All drainage improvements within Public Drainage Easements must be bonded and inspected.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

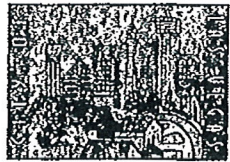
END OF REMARKS
ays

T/R/S: T19S/R60E/15
AREA G-15

APPENDIX B

Conditions of Approval

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301

For: 702-474-0352

TTY: 702-386-9108

www.lasvegasnevada.gov

April 11, 2008

Mr. Ben Young
Spinnaker Home IX LLC
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

RE: SDR-27226- SITE DEVELOPMENT PLAN REVIEW

Dear Mr. Young:

Your request for a Site Development Plan Review for a 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross), was considered by the Planning Commission on April 10, 2008.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. Lots 95 and 96 on the Site Plan dated 3/11/08 shall be limited to one story or 20 feet, whichever is less.
2. Twenty (20) 24-inch box trees shall be added on the subject property exterior to the perimeter wall along Grand Teton as approved by the Department of Public Works.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 03/11/08 and 03/12/08, except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Steve Wolfson
Lois Tarkenton
Steven D. Ross
Ricki Y. Barlow

City Manager
Douglas A. Selby



07101-001-06-07

RECEIVED

APR 14 2008

EOT-45057

5. The standards for this development shall include a Minimum lot size of 9,375 square feet and Building height shall not exceed two stories or 32 feet, whichever is less.
6. The setbacks for this development shall be a minimum of 10 feet to the front of the house, 18 feet to the front of the garage as measured from back of sidewalk or from back of curb if no sidewalk is provided, five feet on the side, 10 feet on the corner side, and 15 feet in the rear. The casita options shall be six foot from the main dwelling and five foot from the rear and side property lines.
7. A revised elevation of the proposed block wall, indicating 20% contrasting block, shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for permits.
8. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time as Final Map submittal. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
9. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
10. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
11. Revised elevations shall be submitted to and approved by the Planning and Development Department prior to the time application is made for a building permit to reflect a perimeter block wall with 20% contrasting block.
12. Air conditioning units shall not be mounted on rooftops.
13. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

EOT-45057

Mr. Ben Young
SDR-27226 - Page Three
April 11, 2008

14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Dedicate an additional 29 feet of right-of-way for a total radius of 54 feet on the southwest corner of Grand Teton Drive and Tenaya Way prior to the issuance of any permits.
17. Dedicate an additional 10 feet of right-of-way for a total half-street width of 60 feet on Grand Teton Drive adjacent to this site prior to the issuance of any permits.
18. Construct half-street improvements including appropriate over paving on Tenaya Way and all incomplete improvements on Grand Teton Drive and Whispering Sands Drive adjacent to this site concurrent with development of this site. Extend all required underground utilities, such as electrical, telephone, traffic signal system, etc., located within public rights-of-way, prior to construction of hard surfacing (asphalt or concrete). All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
19. A minimum of two lanes of asphalt pavement on the major access street(s) adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. Full permanent improvements on all major access streets, including all required landscaped areas between the perimeter wall and adjacent public street, shall be constructed and accepted by the City prior to issuance of any building permits beyond 50% of all units within this development. All off-site improvements adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings. No partial bond releases will be allowed until all perimeter roadway improvements are in place.

EOT-45057

Mr. Ben Young
SDR-27226 - Page Four
April 11, 2008

20. Gated access driveways shall be designed, located and constructed in accordance with Standard Drawing #222a. Emergency vehicle access/crash gated driveways shall be constructed in accordance with Standard Drawing #224.
21. The onsite streets shall be labeled as a private street, be designated as a common lot and shall be labeled as a private street, public utility easement (P.U.E.), public sewer easement and public drainage easement to be privately maintained by the Homeowners' Association on the Final Map for this site.
22. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
23. A Homeowners' Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
24. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

EOT-45057

Mr. Ben Young
SDR-27226 - Page Five
April 11, 2008

25. The approval of all Public Works related improvements shown on this Site Development Plan Review is in concept only. Specific design and construction details relating to size, type and/or alignment of public improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to submittal of a Tentative Map or construction drawings, whichever may occur first. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the submittal of a Tentative Map or construction drawings, whichever may occur first.

This action by the Planning Commission on **April 10, 2008** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision or there is a review action filed by the City Council within the same time period. The Notice of Final Action was filed with the Las Vegas City Clerk on **April 11, 2008**.

Sincerely,



Douglas J. Rankin, AICP
Planning Manager
Case Planning Division

DR:nl:clb

cc: Mr. Ben Young
Royal Construcion
4366 West Cheyenne Avenue
North Las Vegas, Nevada 89032

Ms. Sonia Macias
TCE
3277 East Warm Springs Road
Las Vegas, Nevada 89120

EOT-45057



LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

June 13, 2012

Mr. Stephen Aizenberg
Spinnaker Homes IX, LLC
4362 West Cheyenne Avenue
North Las Vegas, Nevada 89032

**RE: EOT-45057 - EXTENSION OF TIME - SITE DEVELOPMENT PLAN
REVIEW
PLANNING COMMISSION MEETING OF JUNE 12, 2012**

Dear Mr. Aizenberg:

Your request for an Extension of Time of a previously approved Site Development Plan Review (SDR-27226) FOR A 100-LOT SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH ACCESS ON WHISPERING SANDS DRIVE on 40.16 acres on the southwest corner of Grand Teton Drive and Tenaya Way (APN 125-15-101-003), U (Undeveloped) Zone [DR (Desert Rural Density Residential) General Plan Designation] under Resolution of Intent to R-PD2 (Residential Planned Development - 2 Units Per Acre), Ward 6 (Ross), was considered by the Planning Commission on June 12, 2012.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. This Extension of Time expires 04/10/14, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. Conformance to the approved conditions for Site Development Plan Review (SDR-27226).
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Mr. Stephen Aizenberg
Spinnaker Homes IX, LLC
EOT-45057 - Page Two
June 13, 2012

This action by the Planning Commission on **June 12, 2012** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **June 25, 2012**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

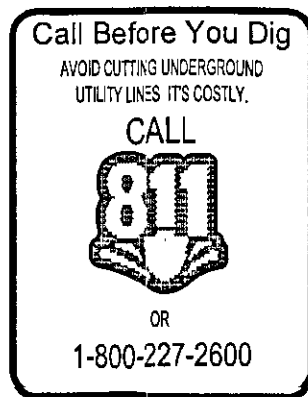
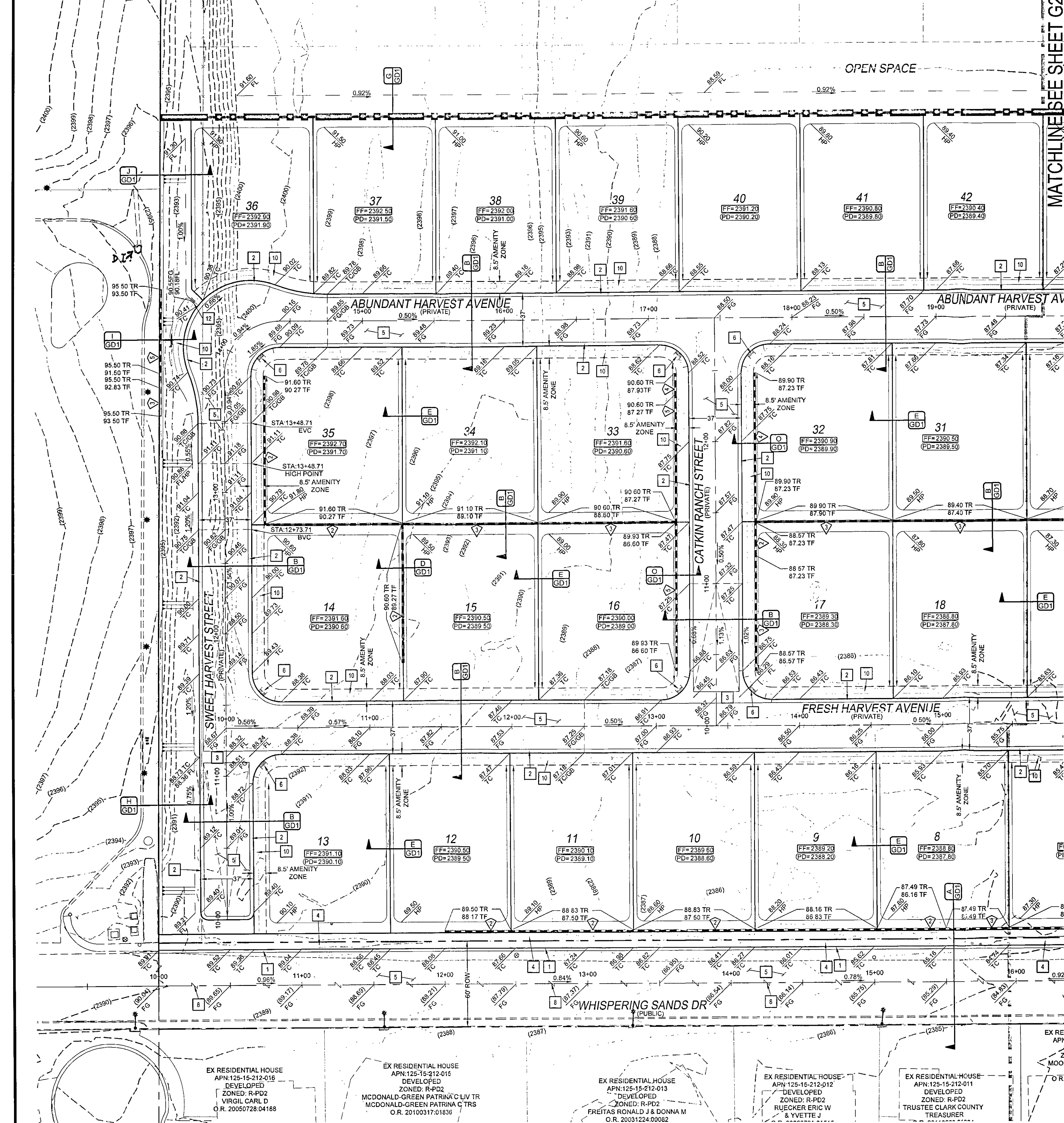
SG:clb

cc: Mr. Randy Dunlevie
2010-1 Cry Venture, LLC
2450 Broadway, 6th Floor
Santa Monica, California 90404

Mr. Bob Gronauer
Kaempfer Crowell
8345 West Sunset Road, Suite #250
Las Vegas, Nevada 89113

APPENDIX C

Improvement Plans



GRADING NOTES

ADD 2300 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).

ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.

CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

- 1. 24" L-TYPE CURB & GUTTER (USD #216)
- 2. 30" ROLL TYPE CURB & GUTTER (USD #217.51)
- 3. 8.0" CROSS GUTTER (USD #228)
- 4. 5.0" SIDEWALK (USD #234)
- 5. AC PAVEMENT OVER TYPE II (PER GEOTECHNICAL REPORT)
- 6. SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT (USD #235)
- 7. 10' TRANSITION FROM ROLL CURB TO L-TYPE CURB (SEE DETAIL NGD1)
- 8. SAWCUT & MATCH EXISTING AC PAVEMENT
- 9. A-TYPE CURB (USD #219)
- 10. 3.5" DECOMPOSED GRANITE SIDEWALK
- 11. 2.0' CURB OPENING (SEE DETAIL MG01)
- 12. SIDEWALK UNDERDRAIN (USD#236)

PRIVATE STREET EASEMENTS

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE H.O.A.

FLOOD ZONE

THE PROJECT SITE IS LOCATED IN FLOODZONE "X" WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 0.20% ANNUAL CHANCE FLOODPLAIN PER FIRM MAP 32003C1745E REVISED SEPTEMBER 27, 2002.

EARTHWORK

TOTAL FOR OVERALL DEVELOPMENT: XX,XXX CY CUT
XX,XXX CY FILL

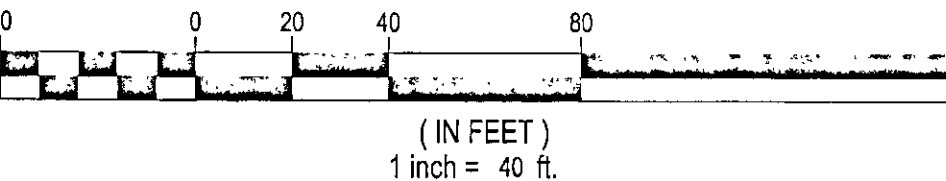
THIS OPINION OF THE CUT AND FILL QUANTITIES IS PROVIDED AS REQUIRED BY CLARK COUNTY BUILDING CODE REQUIREMENTS. THIS INFORMATION SHOULD NOT BE USED FOR BIDDING PURPOSES. ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES. THESE TOTALS ARE RAW AND DO NOT ACCOUNT FOR SHRINKAGE AND SUBSIDENCE.

GEOTECHNICAL

GEOTEK
6835 ESCONDIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 5952-LV6
DATE 04/07/05

SCALE



LEGAL DESCRIPTION

BEING LOT TWO (2) OF THAT CERTAIN CERTIFICATE OF LAND DIVISION ON FILE IN FILE 001, PAGE 0055, RECORDED OCTOBER 11, 2001 IN BOOK 20011011 AS DOCUMENT NO 02282, OFFICIAL RECORDS OF THE COUNTY RECORDED, CLARK COUNTY, NEVADA

BASIS OF BEARINGS

NORTH 00°12'00" EAST BEING THE BEARING OF THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. CLARK COUNTY, NV AS SHOWN ON FILE 113 OF SURVEYS AT PAGE 92, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

BENCHMARK

CLARK COUNTY VERTICAL CONTROL POINT "BLV90 10SSIW6" BEING A CITY OF LAS VEGAS RIVET AND ROUND PLATE IN A CONCRETE CYLINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

GRADING CERTIFICATION

I CERTIFY THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY, DS XX-XXXX, ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

ROBERT D. CUNNINGHAM, PE

APPROVAL BLOCK

ACCEPTANCE OF PLANS FOR RECORD

DEVELOPMENT AND FLOOD CONTROL

DR HORTON
330 CAROUSEL PKWY
HENDERSON, NV 89014
(702) 635-3600 FAX: (800) 909-4601

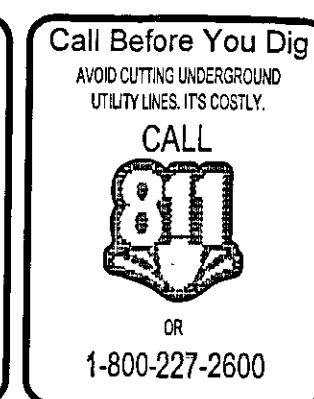
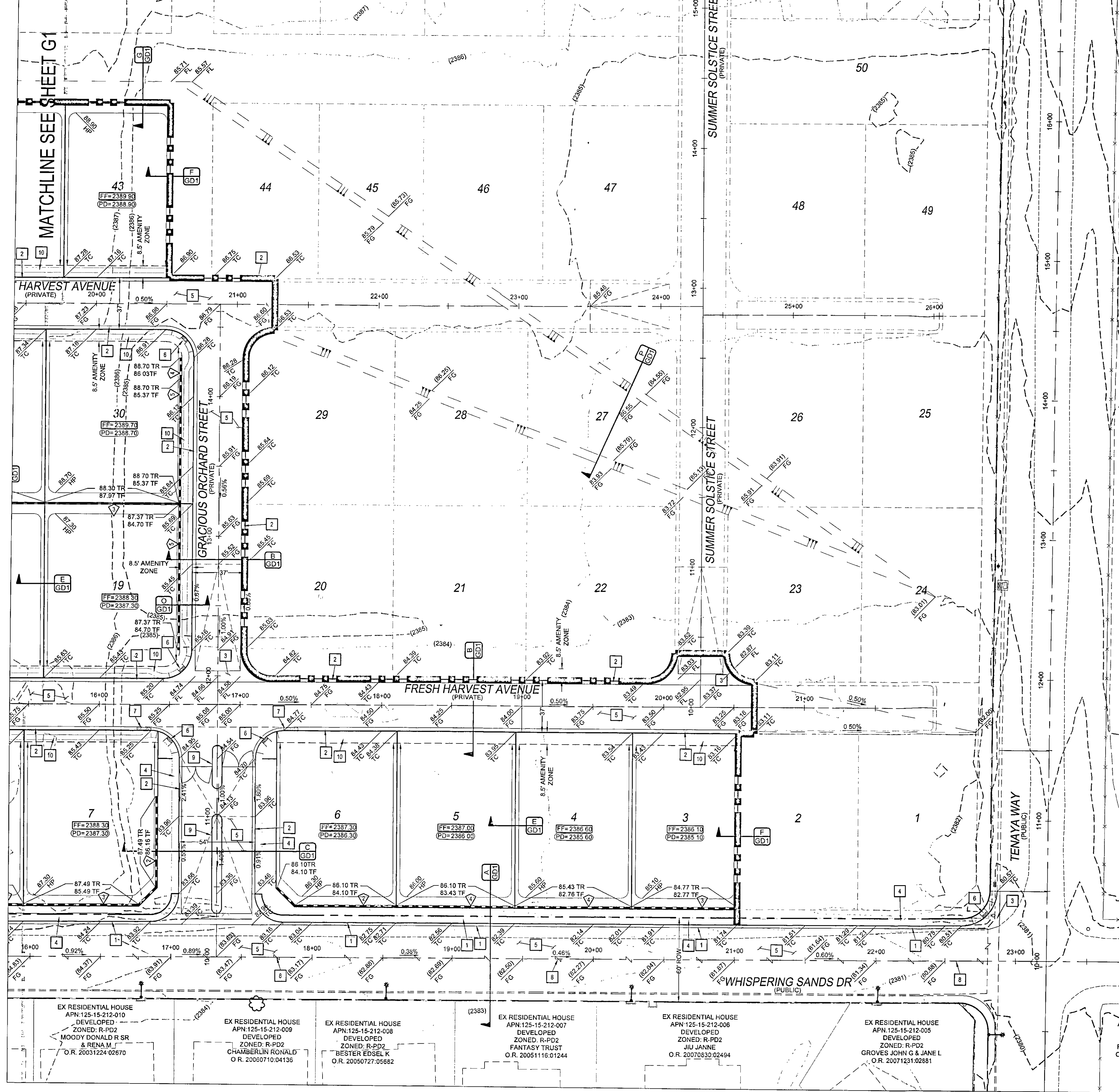
TANEY ENGINEERING
6003 S. JONES BLVD. STE 100
LAS VEGAS, NV 89113

THE ORCHARDS - UNIT 1
@ GRAND TETON & TENAYA
A RESIDENTIAL SUBDIVISION

GRADING PLAN - WEST

PROFESSIONAL ENGINEER
ROBERT D. CUNNINGHAM
Exp. 12-31-12
CIVIL
No. 15728
ENGINEER'S SEAL

DATE: 6/26/2012
SCALE: 1"=40'
JOB NO: DRH-12-01
DESIGNED BY: RDC
CHECKED BY: S
SHEET NAME: G
SHEET: 03 OF 14
BY: 7/5/12 Page 3 of 10
DATE: CLV



GRADING NOTES

ADD 2300 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

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CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

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- 30" ROLL TYPE CURB & GUTTER (USD #217.S1)
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- 2.0' CURB OPENING (SEE DETAIL M/GD1)
- SIDEWALK UNDERDRAIN (USD#236)

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FLOOD ZONE

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EARTHWORK

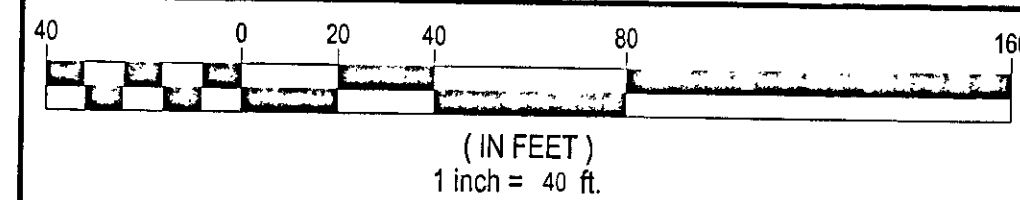
TOTAL FOR OVERALL DEVELOPMENT: XX,XXX CY CUT
XX,XXX CY FILL

THIS OPINION OF THE CUT AND FILL QUANTITIES IS PROVIDED AS REQUIRED BY CLARK COUNTY BUILDING CODE REQUIREMENTS. THIS INFORMATION SHOULD NOT BE USED FOR BIDDING PURPOSES. ALL CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES. THESE TOTALS ARE RAW AND DO NOT ACCOUNT FOR SHRINKAGE AND SUBSIDENCE.

GEOTECHNICAL

GEOTEK
6835 ESCONDIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424
REPORT NO: 5952-LV6
DATE 04/07/05

SCALE



LEGAL DESCRIPTION

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BASIS OF BEARINGS

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BENCHMARK

CLARK COUNTY VERTICAL CONTROL POINT "BLV90 10SSW6", BEING A CITY OF LAS VEGAS RIVET AND ROUND PLATE IN A CONCRETE CYLINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

GRADING CERTIFICATION

I CERTIFY THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY, DS XX-XXXX, ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.

ROBERT D. CUNNINGHAM, P.E.

APPROVAL BLOCK OF drainage study

ACCEPTANCE OF PLANS FOR THE PROJECT

on 6/16/12 and rejected on 7/5/12. Page 4 of 10

BY:

DEVELOPMENT AND FLOOD CONTROL

DATE

DATE: 6/26/12

SCALE: 1"

JOB NO: DRH-12

DESIGNED BY:

CHECKED BY:

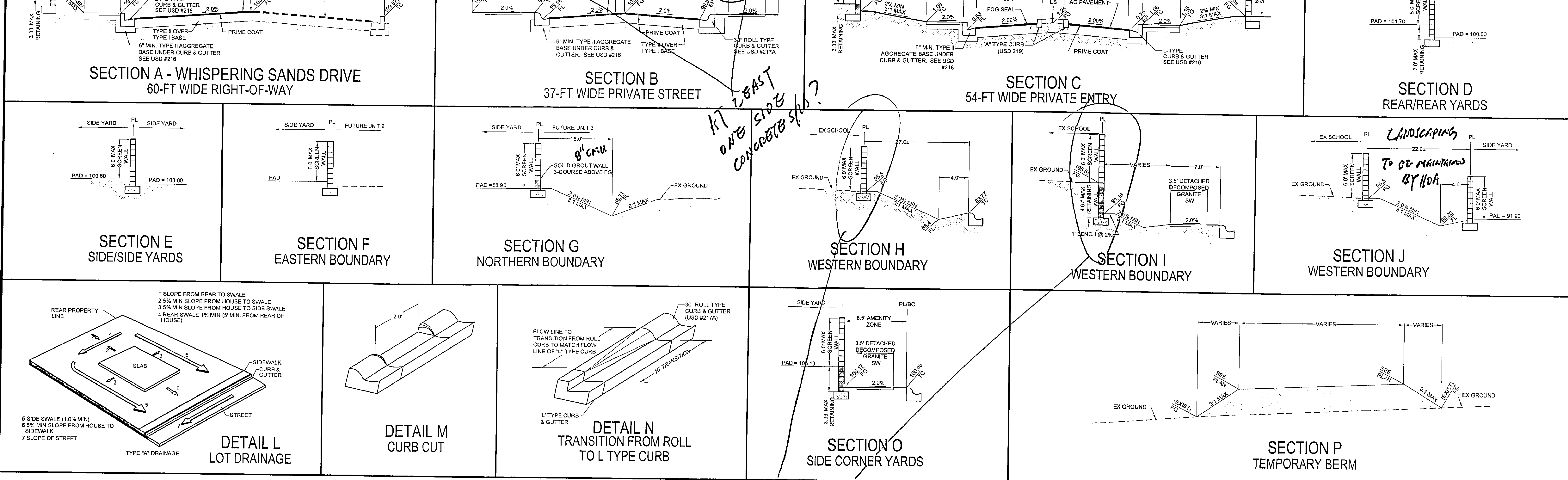
SHEET NAME:

SHEET: 04 OF 14

CLV

CLV

CLV



School Permission

This grading plan is a part of drainage study # 4558 which was received on 6/26/12 and Rejected on 7/5/12. Page 5 of 10

DR HORTON
330 CAROUSEL PKWY
HENDERSON, NV 89014
(702) 655-9800 FAX: (800) 908-4001

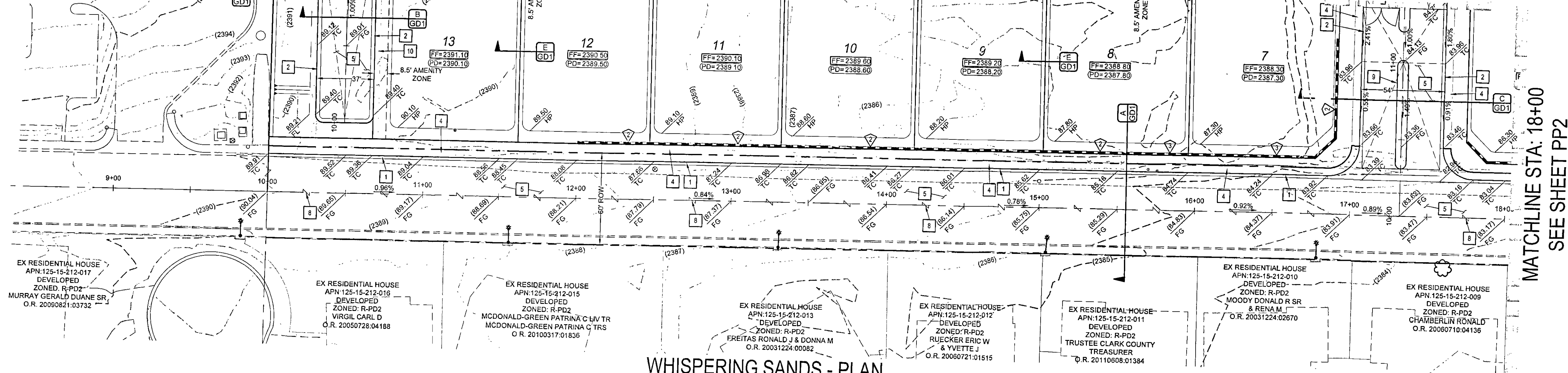
Taney Engineering

THE ORCHARDS - UNIT 1
@ GRAND TETON & TENAYA
A RESIDENTIAL SUBDIVISION

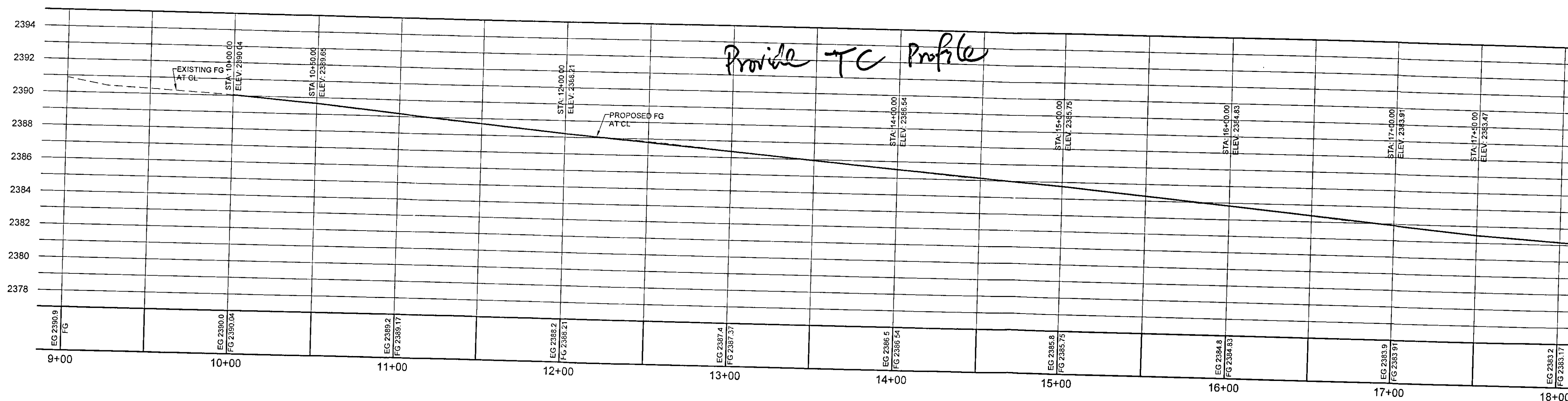
GRADING DETAIL S AND CROSS SECTIONS

REGISTERED PROFESSIONAL ENGINEER
ROBERT D. CUNNINGHAM
Exp. 12-31-12
No. 15125
CIVIL
ENGINEER'S SEAL

DATE: 6/26/12
SCALE:
JOB NO: DRH-12
DESIGNED BY: F
CHECKED BY:
SHEET NAME: GD
SHEET: 05 OF 14
CLV



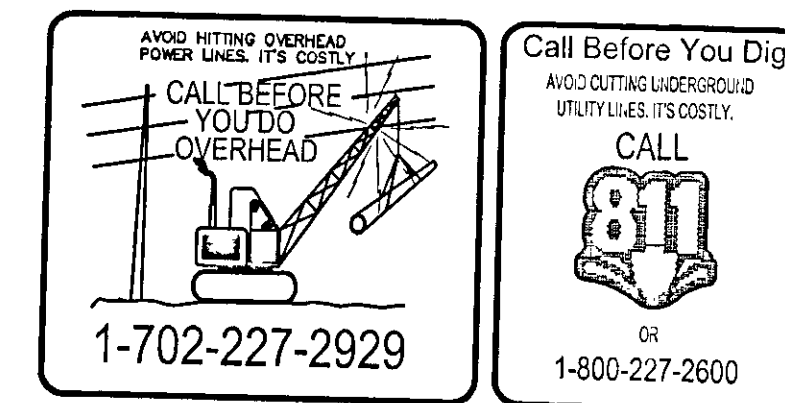
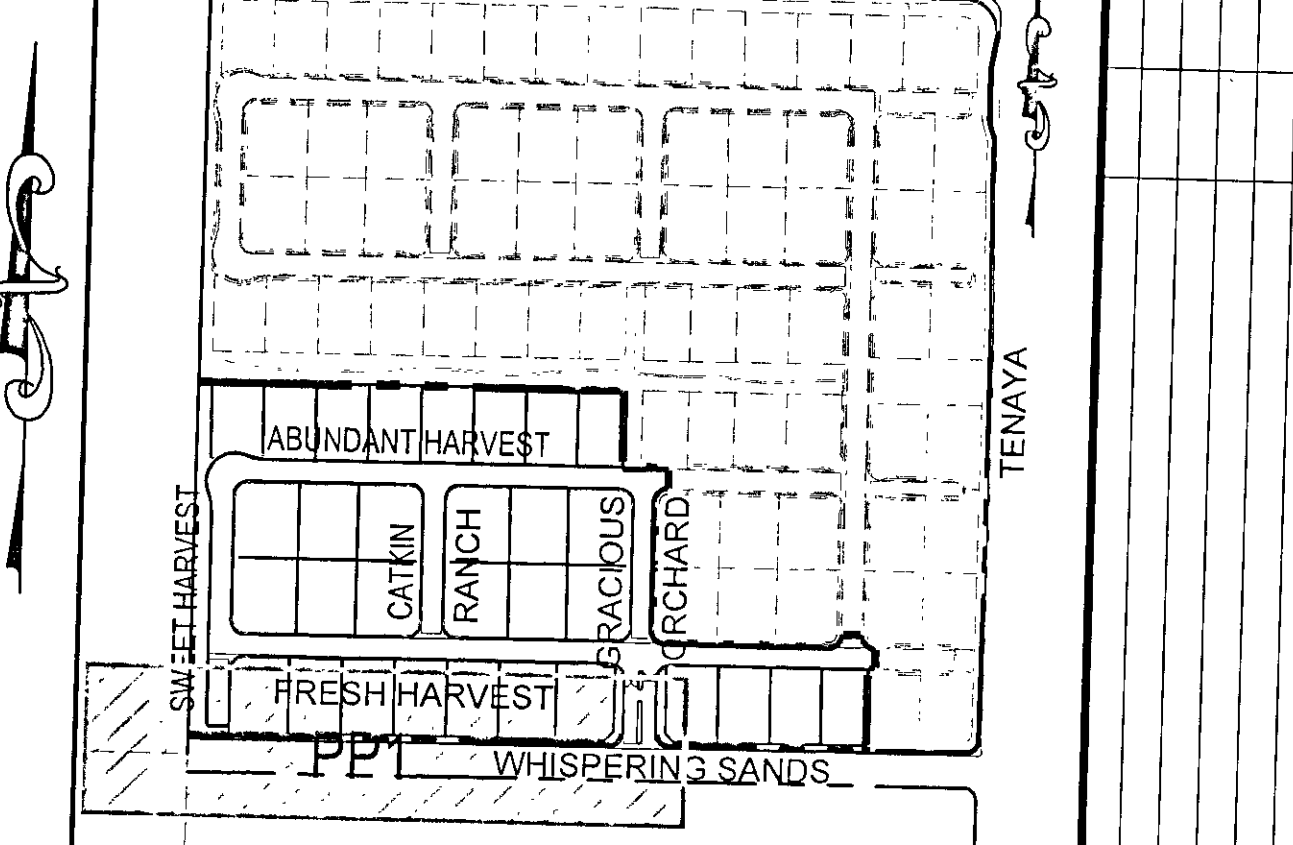
WHISPERING SANDS - PLAN
STA: 9+00 TO 18+00



WHISPERING SANDS- PROFILE
STA: 9+00 TO 18+00
SCALE: 1"=40' HORIZ., 1"=4' VERT.

CONSTRUCTION NOTES

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- 30" ROLL TYPE CURB & GUTTER (USD #217.51)
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CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

GEOTECHNICAL

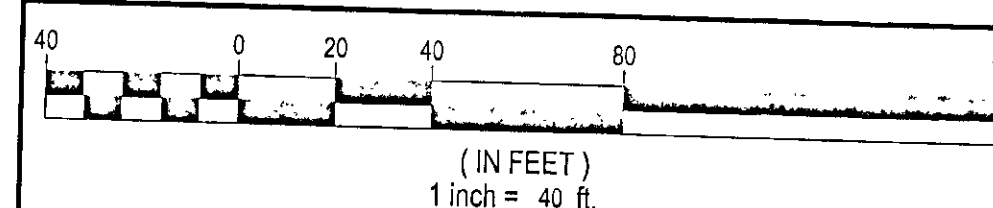
GEOTEK
6835 ESCONDIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 5852-LV6
DATE 04/07/05

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2600. CALL BEFORE YOU OVERHEAD: 1-702-227-2929

SCALE



LEGAL DESCRIPTION

BEING LOT TWO (2) OF THAT CERTAIN CERTIFICATE OF LAND DIVISION ON FILE IN FILE 001, PAGE 0055, RECORDED OCTOBER 11, 2001 IN BOOK 20011011 AS DOCUMENT NO 02282, OFFICIAL RECORDS OF THE COUNTY RECORDED, CLARK COUNTY, NEVADA

BASIS OF BEARINGS

NORTH 00°12'00" EAST BEING THE BEARING OF THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. CLARK COUNTY, NV AS SHOWN ON FILE 113 OF SURVEYS AT PAGE 92, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA

BENCHMARK

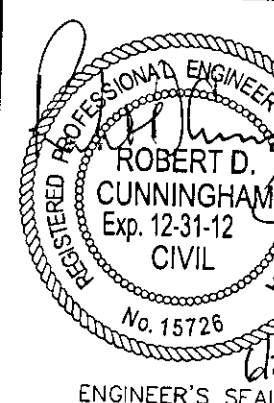
CLARK COUNTY VERTICAL CONTROL POINT 10551011 BEING A CONCRETE CYLINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

D.R. HORTON
330 CAROUSEL PKWY
HENDERSON, NV 89014
(702) 635-3600 FAX: (800) 909-4601

THE ORCHARDS - UNIT 1
@ GRAND TETON & TENAYA
A RESIDENTIAL SUBDIVISION



ENGINEER'S SEAL

DATE: 6/26/12

SCALE: 1"=40'

JOB NO: DRH-12

DESIGNED BY: F

CHECKED BY: F

DATE: 6/26/12

DATE: 6/26/12

DATE: 6/26/12

DATE: 6/26/12

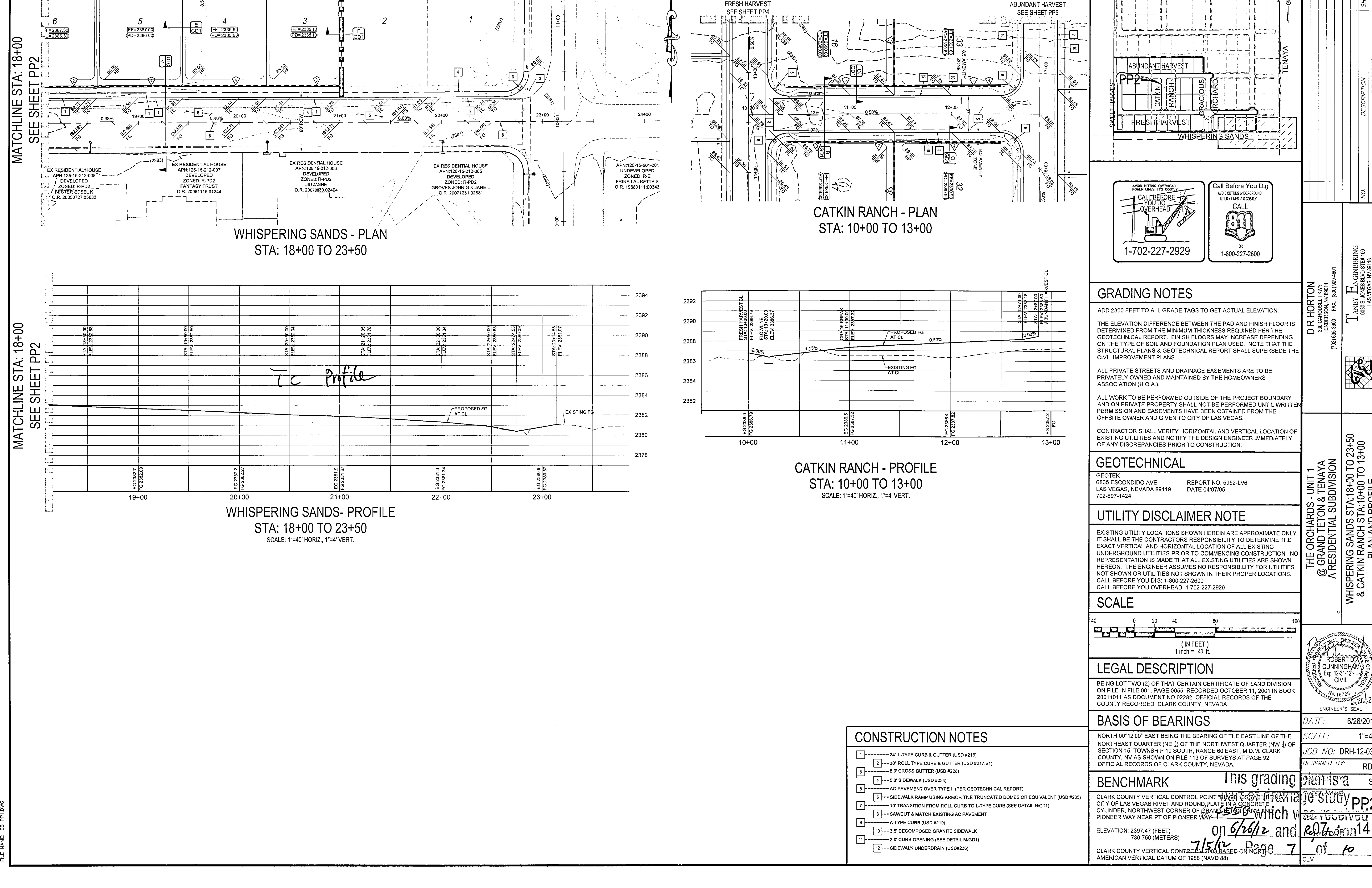
DATE: 6/26/12

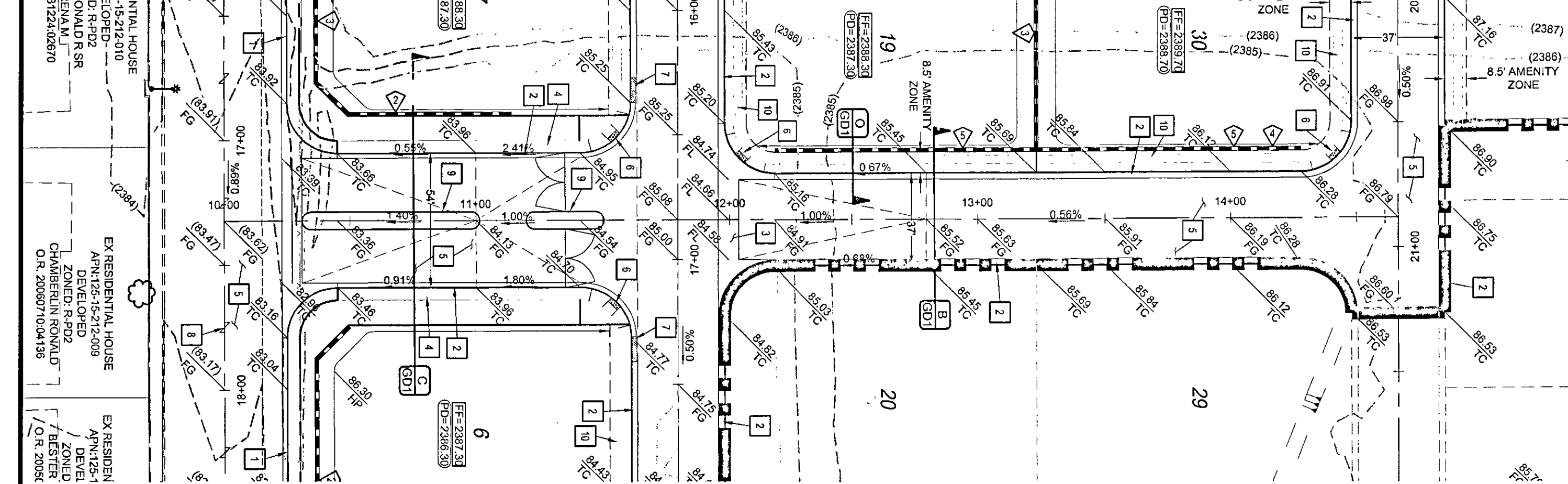
DATE: 6/26/12

DATE: 6/26/12

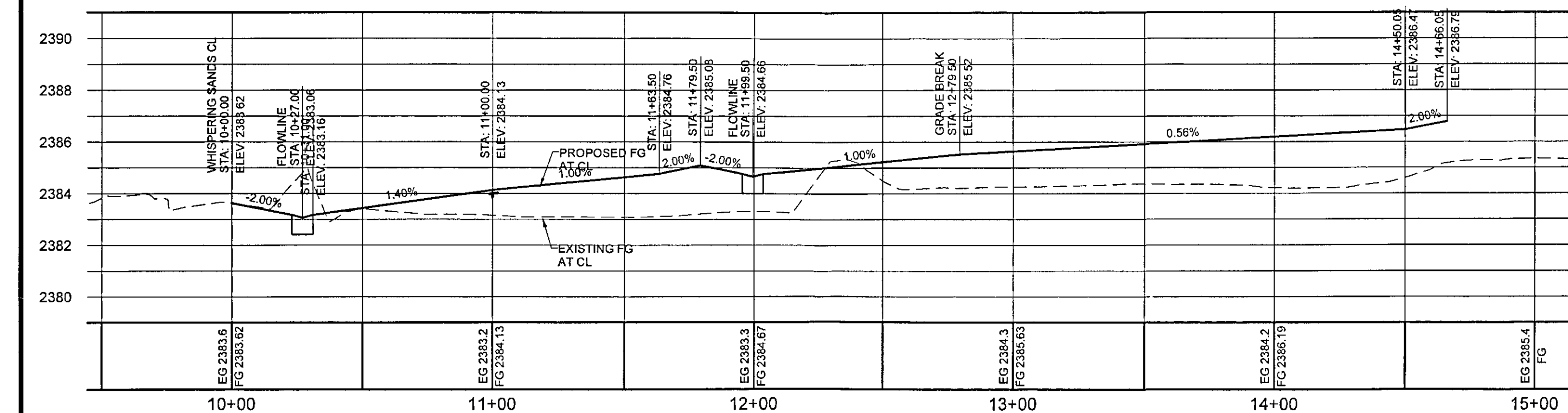
DATE: 6/26/12

DATE: 6/26/12

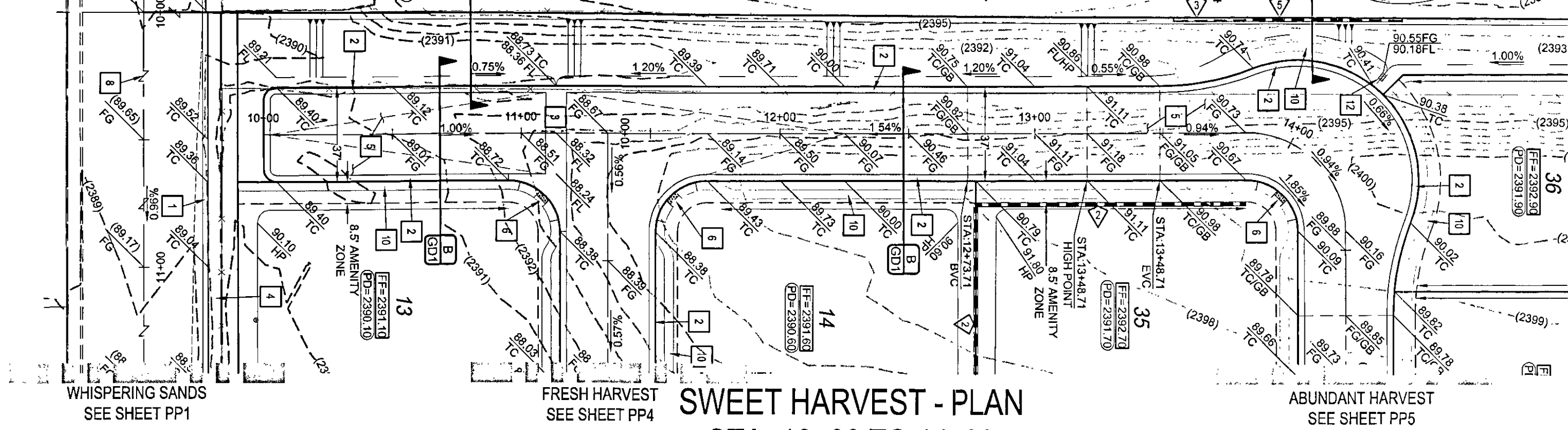




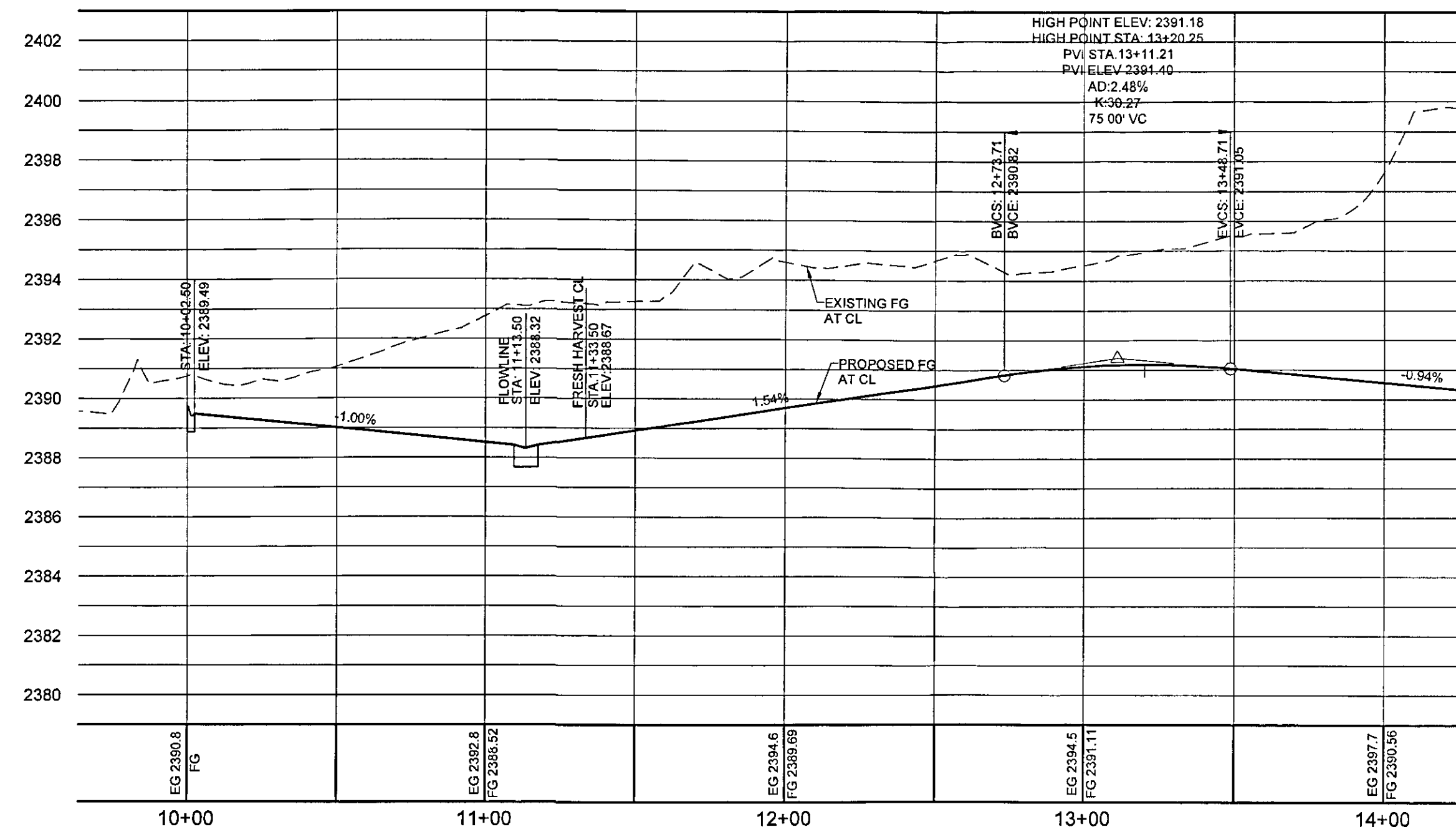
GRACIOUS ORCHARD - PLAN
STA: 10+00 TO 15+00



GRACIOUS ORCHARD - PROFILE
STA: 10+00 TO 15+00
SCALE: 1"=40' HORIZ., 1"=4' VERT.



SWEET HARVEST - PLAN
STA: 10+00 TO 14+00



SWEET HARVEST - PROFILE
STA: 10+00 TO 14+00
SCALE: 1"=40' HORIZ., 1"=4' VERT.

GRADING NOTES

ADD 2300 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).

ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CITY OF LAS VEGAS.

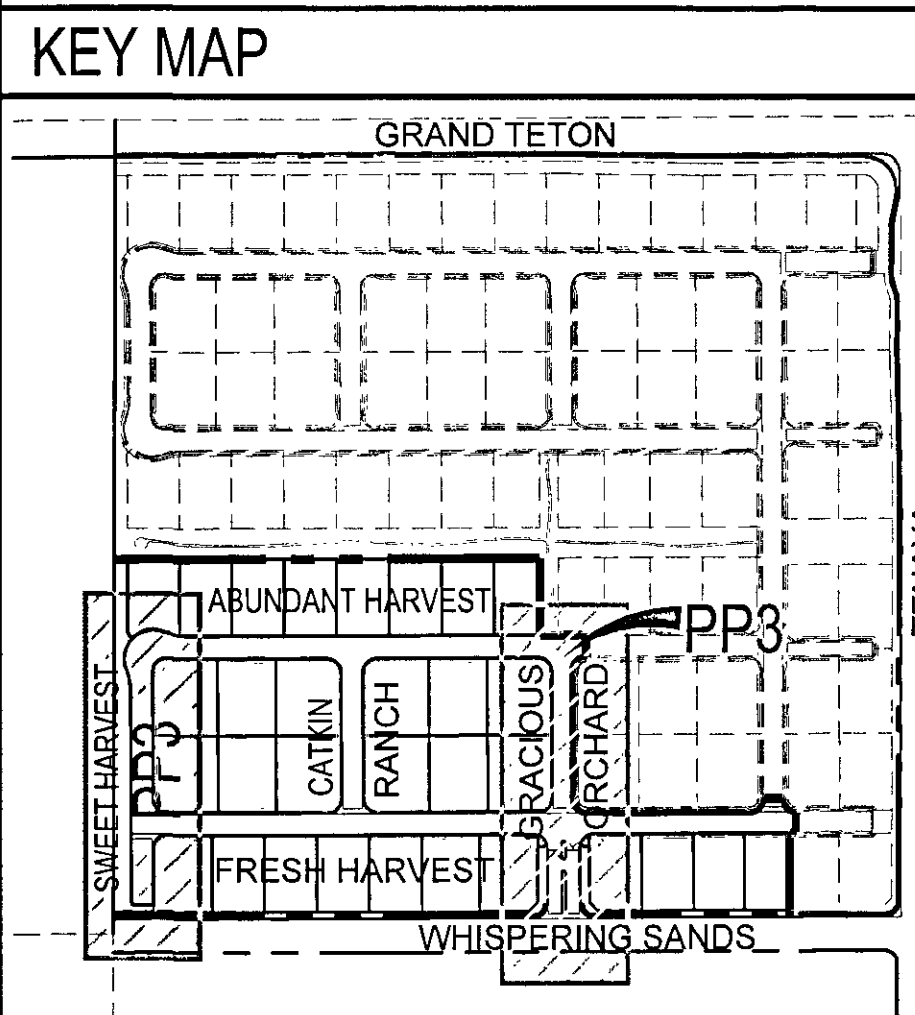
CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

- ### CONSTRUCTION NOTES
1. 24" L-TYPE CURB & GUTTER (USD #216)
 2. 30" ROLL TYPE CURB & GUTTER (USD #217.S1)
 3. 8.0" CROSS GUTTER (USD #228)
 4. 5.0' SIDEWALK (USD #234)
 5. AC PAVEMENT OVER TYPE II (PER GEOTECHNICAL REPORT)
 6. SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT (USD #235)
 7. 10' TRANSITION FROM ROLL CURB TO L-TYPE CURB (SEE DETAIL MGD1)
 8. SAWCUT & MATCH EXISTING AC PAVEMENT
 9. A-TYPE CURB (USD #219)
 10. 3.5' DECOMPOSED GRANITE SIDEWALK
 11. 2.0' CURB OPENING (SEE DETAIL MGD1)
 12. SIDEWALK UNDERDRAIN (USD#236)

GEOTECHNICAL

GEOTEK
6835 ESCONCIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 5952-LV6
DATE 04/07/05



UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2600
CALL BEFORE YOU OVERHEAD: 1-702-227-2929

SCALE

40 0 20 40 80 160
(IN FEET)
1 inch = 40 ft.

LEGAL DESCRIPTION

BEING LOT TWO (2) OF THAT CERTAIN CERTIFICATE OF LAND DIVISION ON FILE IN FILE 001, PAGE 0055, RECORDED OCTOBER 11, 2001 IN BOOK 20011011 AS DOCUMENT NO 02282, OFFICIAL RECORDS OF THE COUNTY RECORDED, CLARK COUNTY, NEVADA

BASIS OF BEARINGS

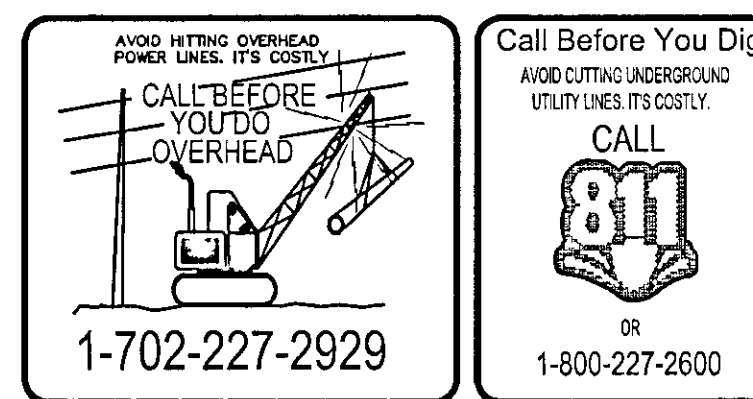
NORTH 00°12'00" EAST BEING THE BEARING OF THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 15, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. CLARK COUNTY, NV AS SHOWN ON FILE 113 OF SURVEYS AT PAGE 92, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

BENCHMARK

CLARK COUNTY VERTICAL CONTROL POINT "BLVD 60 SWEET HARVEST" CITY OF LAS VEGAS RIVET AND ROUND PLATE IN CONCRETE CYLINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)



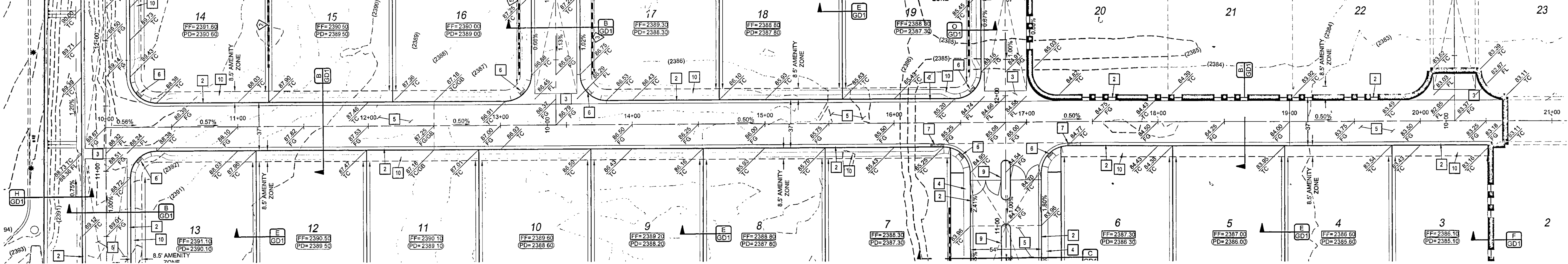
NO.	DESCRIPTION
1	DR HORTON 330 CAROUSEL PKWY HERNDON, NV 89014 (702) 635-3000 FAX: (800) 909-4601
2	TANEY ENGINEERING 6000 S. JONES BLVD STE# 100 LAS VEGAS, NV 89118

THE ORCHARDS - UNIT 1
@ GRAND TETON & TENAYA
A RESIDENTIAL SUBDIVISION

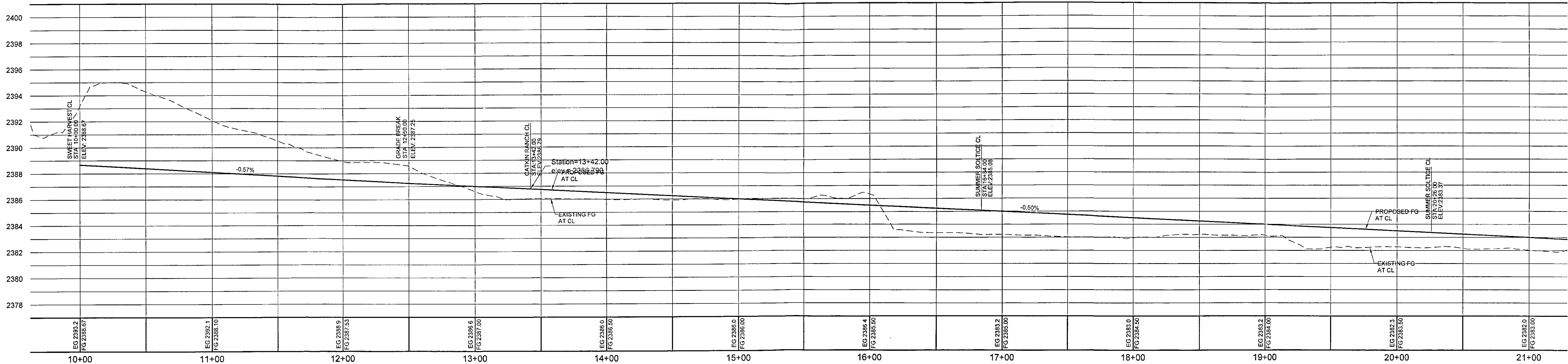
GRACIOUS ORCHARD STA: 10+00 TO 15+00
& SWEET HARVEST STA: 10+00 TO 14+00
PLAN AND PROFILE

DATE: 6/26/2011
SCALE: 1"=40'
JOB NO: DRH-12-03
DESIGNED BY: RD
CHECKED BY: RD
SHEET NAME: 11
SHEET NO: 11
SHEET TOTAL: 10

This grading plan is a
part of a drainage study
for Sweet Harvest
on 6/26/12 and received
on 7/5/12. Page 8 of 10



FRESH HARVEST - PLAN
STA: 10+00 TO 21+00



FRESH HARVEST - PROFILE
STA: 10+00 TO 21+00
SCALE: 1"=40' HORIZ., 1"=4' VERT.

GRADING NOTES

ADD 2300 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

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CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

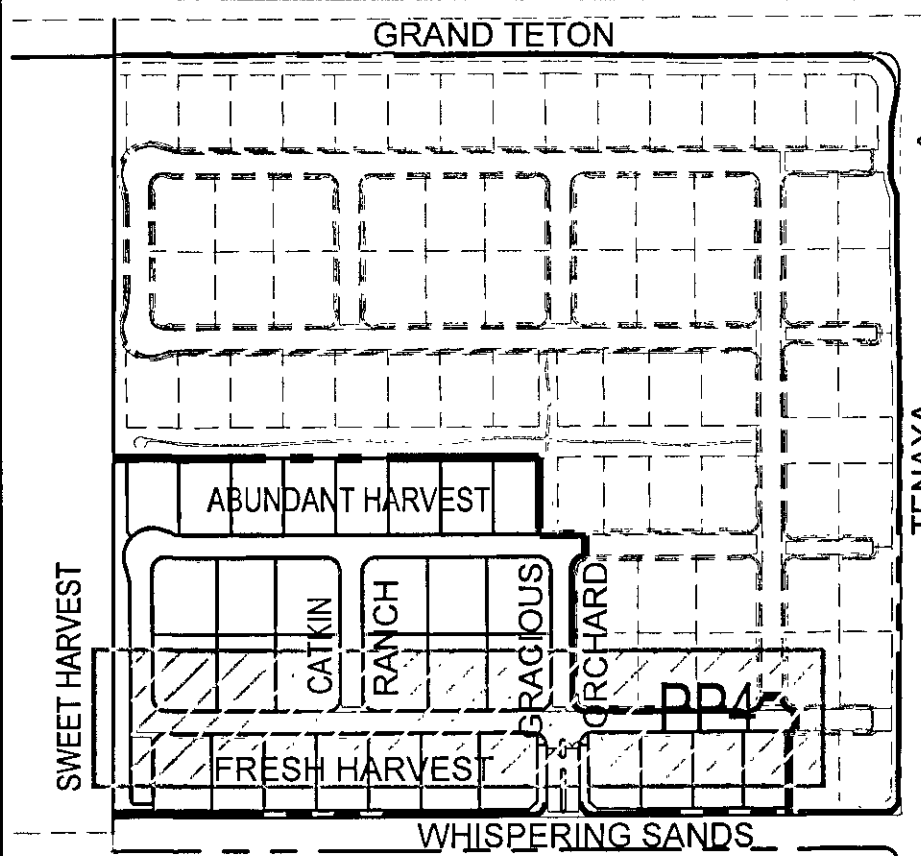
1. 24" L-TYPE CURB & GUTTER (USD #216)
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3. 8.0" CROSS GUTTER (USD #228)
4. 5.0" SIDEWALK (USD #234)
5. AC PAVEMENT OVER TYPE II (PER GEOTECHNICAL REPORT)
6. SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT (USD #235)
7. 10' TRANSITION FROM ROLL CURB TO L-TYPE CURB (SEE DETAIL NIGD1)
8. SAWCUT & MATCH EXISTING AC PAVEMENT
9. A-TYPE CURB (USD #219)
10. 3.5' DECOMPOSED GRANITE SIDEWALK
11. 2.0' CURB OPENING (SEE DETAIL MIGO1)
12. SIDEWALK UNDERDRAIN (USD#236)

GEOTECHNICAL

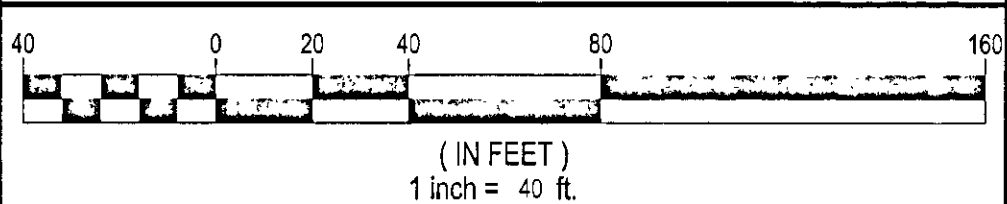
GEOTEK
6835 ESCONDIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 5952-LV6
DATE 04/07/05

KEY MAP



SCALE



LEGAL DESCRIPTION

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BASIS OF BEARINGS

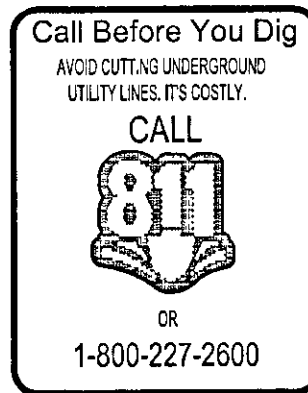
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BENCHMARK

CLARK COUNTY VERTICAL CONTROL POINT "BLVD 10556" BEING A CONCRETE CYPINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

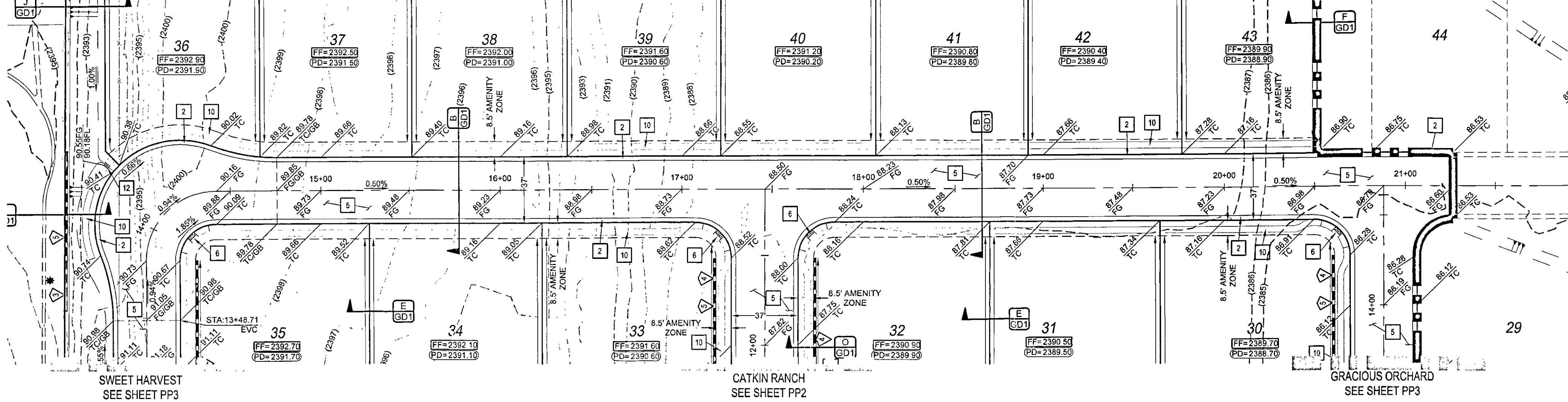
CLARK COUNTY VERTICAL CONTROL V-2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)



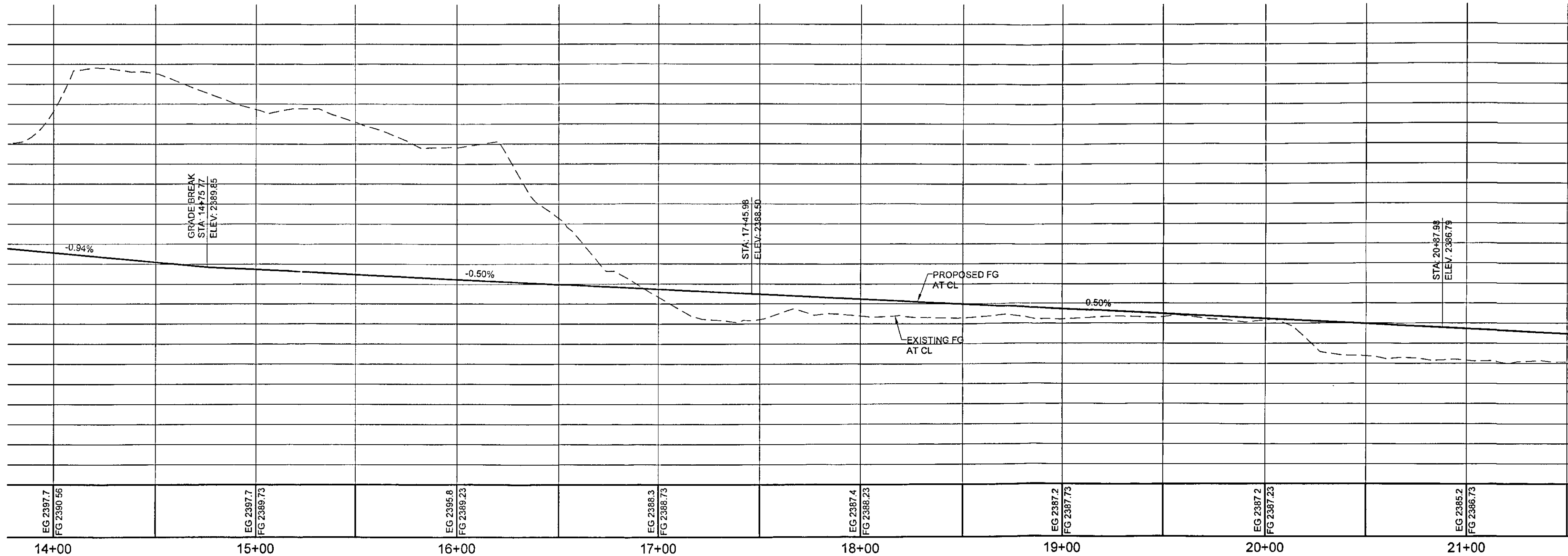
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DR HORTON 333 CAROUSEL PKWY HERNDON, VA 22044 (702) 555-3800 FAX: (800) 590-4651	THE ORCHARDS - UNIT 1 @ GRAND TETON & TENAYA A RESIDENTIAL SUBDIVISION FRESH HARVEST STA: 10+00 TO 21+00 PLAN AND PROFILE	DR HORTON 333 CAROUSEL PKWY HERNDON, VA 22044 (702) 555-3800 FAX: (800) 590-4651	DESCRIPTION
TANY ENGINEERING 600 S. JONES BLVD STE 100 (702) 555-3800 FAX: (800) 590-4651		NO.	
THE ORCHARDS - UNIT 1 @ GRAND TETON & TENAYA A RESIDENTIAL SUBDIVISION FRESH HARVEST STA: 10+00 TO 21+00 PLAN AND PROFILE		NO.	
ROBERT D. CUNNINGHAM Exp. 12-31-12 CIVIL No. 15726 ENGINEER'S SEAL		SHEET 9 OF 10	



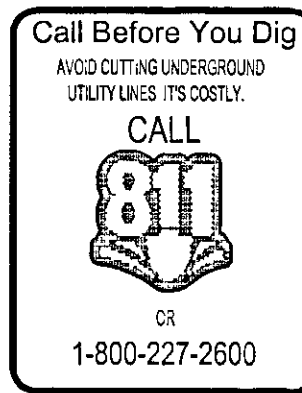
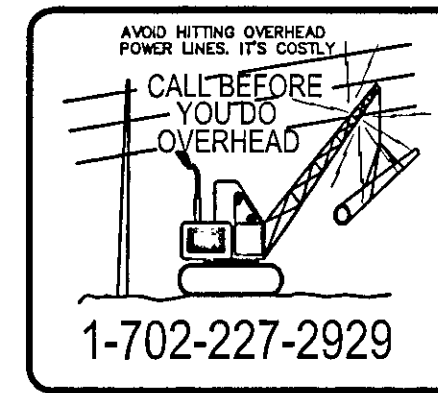
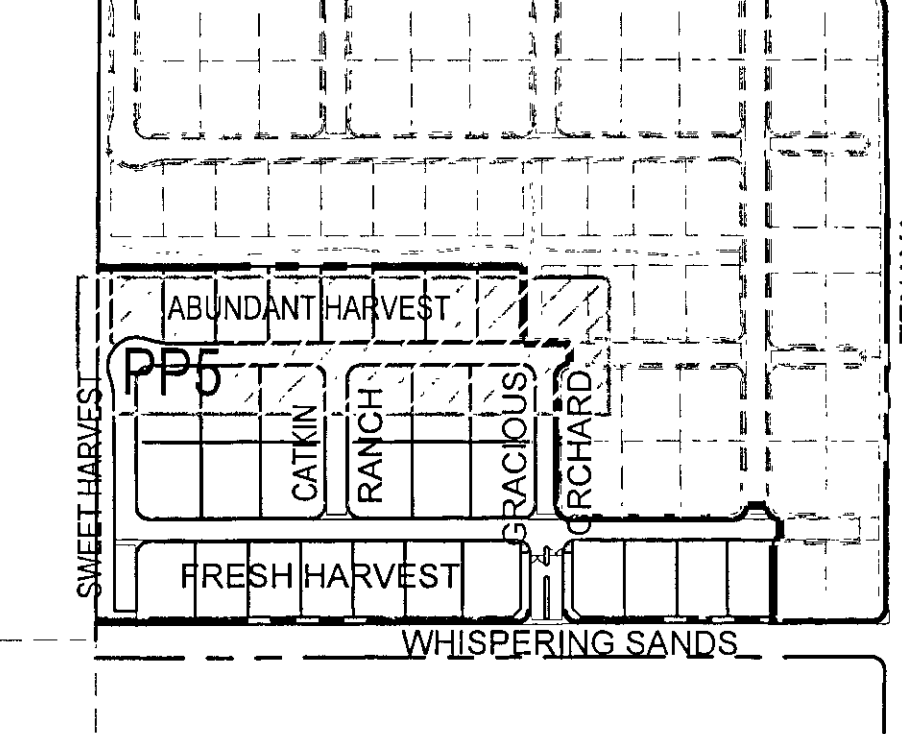
ABUNDANT HARVEST - PLAN
STA: 14+00 TO 21+50



ABUNDANT HARVEST - PROFILE
STA: 14+00 TO 21+50
SCALE: 1"=40' HORIZ, 1"=4' VERT.

CONSTRUCTION NOTES

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GEOTECHNICAL

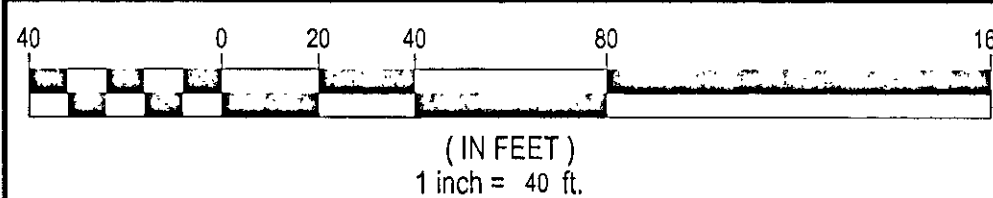
GEOTEK
6835 ESCONDIDO AVE
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 5952-LV6
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UTILITY DISCLAIMER NOTE

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SCALE



LEGAL DESCRIPTION

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BASIS OF BEARINGS

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BENCHMARK

CLARK COUNTY VERTICAL CONTROL POINT "BLV80-10SSW" BEING A CITY OF LAS VEGAS RIVET AND ROUND PLATE IN A CONCRETE DRIVE AND CYLINDER, NORTHWEST CORNER OF GRAND TETON DRIVE AND PIONEER WAY NEAR PT OF PIONEER WAY.

ELEVATION: 2397.47 (FEET)
730.750 (METERS)

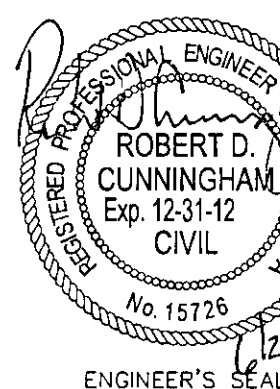
CLARK COUNTY VERTICAL CONTROL POINT BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83)

DR HORTON

330 CAROUSEL PKWY
HENDERSON, NV 89014
(702) 635-3900 FAX: (800) 909-4601

THE ORCHARDS - UNIT 1
@ GRAND TETON & TENAYA
A RESIDENTIAL SUBDIVISION

ABUNDANT HARVEST STA: 14+00 TO 21+50
PLAN AND PROFILE



ENGINEER'S SEAL

DATE: 6/26/12

SCALE: 1"

JOB NO: DRH-12

DESIGNED BY: P

CHECKED BY: P

SHEET NAME: P

THIS GRADING PLAN IS A DRAINAGE STUDY

NO. 4558 WHICH WAS RECEIVED

ON 6/26/12 AND

10 OF 10