

DS #: 4547

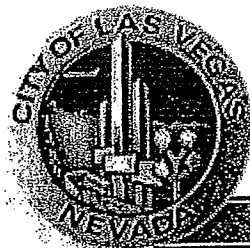
APN: 139-21-313-009

PROJECT: Dollar General

SUBMITTAL: Modified Comments

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____



CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM

DATE:

June 20, 2012

TO:

Land Development Services
Department of Public Works

FROM:

Albert Sung, P.E.
Flood Control Project Engineer
Department of Public Works

SUBJECT:

Drainage Study for:
Dollar General

COPIES TO:

Walker Engineering, LLC
Dynamic Development Company
Bart Anderson, P.E., DevCo
CCRFC

Cross Streets:

SWQ Lake Mead Blvd & Martin L. King Blvd

File Number:

F:\Depot\DSMemos\DS4547E.doc

Parcel Number:

139-21-313-009

Zoning Action:

SUP-43927 & SDR-43929

FEMA Flood Zone

YES

NO

X

Proposed Storm Drain

YES

NO

X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	1/18/2012	1/25/2012	Not Approved	\$400.00	271949: \$400
2 nd Submittal	2/2/2012	2/9/2012	Conditional Approval	\$400.00	273375: \$400
CCRFC	3/7/2012	3/20/2012	Concurrence Recv'd	N/C	N/C
Supplement	4/23/2012	4/26/2012	Approved	N/C	N/C
Modified Comments	6/13/2012	6/20/2012	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

- The engineer proposes offsite grading in the southern portion of the *McDonald's* parcel and grade elevations that *McDonald's* has to match when they improve their driveway in the future. The proposed design must be mutually acceptable by *McDonald's* prior to the final design and construction of the project. Obtain a notarized letter of permission for offsite grading and acknowledgment of design from *McDonald's Corporation* prior to the construction of the proposed improvements
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In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Albert Sung in the Flood Section at (702) 229-2001 or Rick Schroder in Traffic Engineering at (702) 229-6327.

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NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
ays

T/R/S: T20S/R61E/21
AREA M-21

*** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 4294
 DESTINATION ADDRESS 8735346
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 06/20 17:28
 USAGE T 01' 28
 PGS. 2
 RESULT OK

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TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for: Dollar General	COPIES TO: Walker Engineering, LLC
Cross Streets:	SWQ Lake Mead Blvd & Martin L. King Blvd	Dynamic Development Company
File Number:	F:\Depot\DSMemos\DS4547E.doc	Bart Anderson, P.E., DevCo
Parcel Number:	139-21-313-009	CCRFCD
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FEMA Flood Zone	YES NO X	
Proposed Storm Drain	YES NO X	

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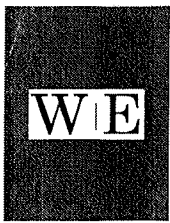
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Walker Engineering, LLC

LETTER OF TRANSMITTAL

Date: June 20, 2012

To: **Albert Sung**
CLV Flood Control
333 Rancho Drive
Las Vegas, NV 89106

WE Project: **Dollar General @ Lake
Mead & MLK**
CLV# 44799
DS# 4547

CC: WE Project No.: 1217.00

Subject: **Civil Plans**

We are sending you the attached documents via:

☐ Messenger, ☒ Hand Delivery, ☐ US Mail, ☐ Overnight Delivery
for your use as checked below:

☐ Urgent ☐ As requested ☒ For review ☐ For your files ☐ For your info.

☐ Returning ☐ For approval ☐ Other: ☒ Please Reply
☐ No Reply Necessary

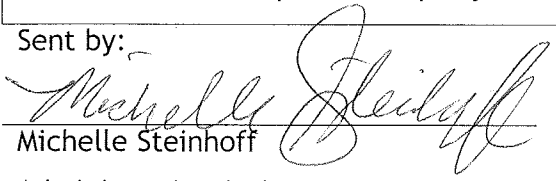
Items transmitted:

Doc Date	Copies	No. Pages	Description of Item
6/20/12	1	8	Civil Plans

Remarks:

Albert-
These are the Civil plans sent per your request. Thanks

Sent by:


Michelle Steinhoff

Administrative Assistant

Tel: 702.873.5197, Fax: 702.873.5346

Email: Msteinhoff@walker-eng.com

5765 S. Rainbow Blvd.
Suite 101
Las Vegas, NV 89118
Tel: 702.873.5197
Fax: 702.873.5346
www.walker-eng.com

Albert Sung

From: David Guerra
Sent: Thursday, June 21, 2012 5:10 PM
To: Belsick, Jody Walker
Cc: Wolf, Treasea; Julie Quisenberry; Tom Burkart; Albert Sung; David Bratcher
Subject: RE: Dollar General - MLK & Lake Mead - Revised Civils to Add Easement Note
Attachments: 4558_001.pdf; Developer_Contractor_Request_for_Permits.pdf; Stormwater quality Submittal Checklist.pdf

Hello,

Please find attached, as a pdf file, an approved bond estimate. The next submittal could now be final on mylar. Incorporate the easement/right-of-way notes. Address the comments on the last transmitted red lined plan and submit the red lines with mylar submittal. Post bond and pay all fees, as annotated on approved bond estimate (attached). Complete the request for permits form (attached). Complete the SWPPP checklist(attached). Obtain final signatures, including fire prior to submittal to Land Development. Note – Submit the Planning and Land Development red lines with the mylars for the final Planning & City Engineer approvals together, simply inform our representative at counter 15 that the plans are being submitted for both signatures so we know to get them to our Planners first.

If you have questions or need assistance please contact me anytime.

Thank You
David Guerra
Phone (702)229-1287

Business Hours: Monday, Tuesday, and Thursday 7:00 AM - 5:30 PM

Wednesday 7:30 AM - 5:30 PM



Please do not print this e-mail unless necessary

From: Belsick, Jody Walker [<mailto:jbelsick@walker-eng.com>]
Sent: Thursday, June 21, 2012 4:01 PM
To: David Guerra
Cc: Wolf, Treasea; Julie Quisenberry; Tom Burkart; Albert Sung; David Bratcher
Subject: RE: Dollar General - MLK & Lake Mead - Revised Civils to Add Easement Note
Importance: High

Paved Access Area = 1,160 SY
Section 2.5" AC over 6.5" Type II

No problem, will make sure we add to Detail G D1 the paving section to match what we call out on G2. Let me know if you need anything else.

Thanks,

Jody W. Belsick, P.E., LEED AP
WALKER ENGINEERING, LLC
T: 702.873.5197

From: David Guerra [<mailto:DGuerra@LasVegasNevada.GOV>]
Sent: Thursday, June 21, 2012 3:13 PM
To: Belsick, Jody Walker
Cc: Wolf, Treasea; Julie Quisenberry; Tom Burkart; Albert Sung; David Bratcher
Subject: RE: Dollar General - MLK & Lake Mead - Revised Civils to Add Easement Note

Hello,

Could I get a calculation from your .dwg how many square yards of A/C the access will be and thickness. Also, if part of the bond, please ensure the structure is shown on detail G, page D1, or within construction notes.

Thank You
David G.

From: Belsick, Jody Walker [<mailto:jbelsick@walker-eng.com>]
Sent: Thursday, June 21, 2012 2:57 PM
To: David Guerra
Cc: Wolf, Treasea; Julie Quisenberry; Tom Burkart; Albert Sung; David Bratcher
Subject: RE: Dollar General - MLK & Lake Mead - Revised Civils to Add Easement Note
Importance: High

Good afternoon David (Guerra),

Albert has given us the clearance (thanks Albert!). Would it be possible to get an approved bond & fee form so we can have the developer start working on that part?

Note that I found out yesterday in the latest version of the CLV access easement that the City wants us to bond for the private access road from the DG Parcel that goes east over to MLK – so the pavement for this area just needs to be added in the bond estimate.

Let me know what you would like from me for the next step.

Thanks for your help.

Jody W. Belsick, P.E., LEED AP
WALKER ENGINEERING, LLC
T: 702.873.5197

From: Belsick, Jody Walker
Sent: Tuesday, June 19, 2012 2:23 PM
To: DBratcher@LasVegasNevada.Gov; ysung@lasvegasnevada.gov; 'David Guerra'
Cc: Wolf, Treasea; Julie Quisenberry (jquisenberry@LasVegasNevada.GOV); tburkart@lasvegasnevada.gov
Subject: Dollar General - MLK & Lake Mead - Revised Civils to Add Easement Note
Importance: High

Good afternoon David/Albert/David,

First of all, thank you all very much for your help last week to move this forward, it is much appreciated. As per my conversations with both Albert and David Guerra last Thursday, attached are the revised civil plans which show the added easement note. I made the added easement notes red on all sheets for ease of review, we will make it normal when we plot the plans.

Please let me know if this works to get us moving forward while the easement documents are being finalized and if we can get an approved bond/fee estimate to give the client time to obtain a bond.

If you have any questions on the attached revised plans, please do not hesitate to let me know.

Thanks,

Jody Walker Belsick, P.E., LEED AP
WALKER ENGINEERING, LLC
5765 S. Rainbow Blvd. Ste. 101
Las Vegas, NV 89118
T: 702.873.5197; F: 702.873.5346
E: jbelsick@walker-eng.com



meeting your development needs

please consider the environment before printing this email

EXHIBIT "A"

BOND ESTIMATE FORM



PROJECT NUMBER: 44799 **APPL TYPE:** L-CIVIL
PROJECT NAME: DOLLAR GENERAL STORE #13455
LOCATION: LAKE MEAD BLVD/MLK

PRINT DATE: 6/21/12

Initiated by:
 DGUERRA

PUBLIC ITEMS

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTAL PRICE
630.99.MISC	CONNECT 8" SEWER TO SYSTEM	1.00	LS	250.00	250.00
629.00.50	WATER MAIN TAP	1.00	EA	8,275.10	8,275.10
402.00.02	2" ASPHALTIC CONCRETE PAVING	1,160.00	SY	15.00	17,400.00
302.00.05	TYPE II GRAVEL BASE	200.00	CY	25.00	5,000.00
623.01.56	ADJUST/RELOCATE STREETLIGHT	1.00	EA	3,788.60	3,788.60
613.01.71	SIDEWALK UNDERDRAIN	1.00	EA	1,435.68	1,435.68
629.00.32	FIRE HYDRANT RELOCATION	1.00	EA	3,768.66	3,768.66
627.01.10	STREET/STOP SIGNS	6.00	EA	300.00	1,800.00
613.01.55	SIDEWALK RAMP	4.00	EA	1,994.00	7,976.00
613.01.36	CROSS GUTTER	1,115.00	SF	18.95	21,129.25
999.00.MISC	REVISE BUS STOP LAYOUT	1.00	LS	10,000.00	10,000.00
999.00.MISC	TACK ON ISLAND	800.00	SF	5.00	4,000.00
999.00.MISC	WHITE POLYMER PAVEMENT MARKER	5.00	EA	200.00	1,000.00
999.00.MISC	ISLAND NOSE MARKINGS & PAINT	1.00	EA	250.00	250.00
613.01.24	SIDEWALK 4"	150.00	SF	6.00	900.00
621.00.00	SURVEY MONUMENTS	1.00	EA	2,193.40	2,193.40
613.01.11	CURB & GUTTER(TYPE "L"&"A")	30.00	LF	20.00	600.00

	PRIVATE	PUBLIC
<u>ESTIMATED COST</u>	0.00	89,766.69
<u>10% CONTINGENCIES</u>	0.00	8,976.67
<u>SUB TOTAL</u>	0.00	98,743.36
<u>GRAND TOTAL :</u>		98,743.36
<u>TOTAL APPROVED AMOUNT:</u>		99,000.00

APPROVED BY: DAVID GUERRA
APPROVED DATE: 6/21/12

CURRENT FEE LIST

<u>FEE DESCRIPTION</u>	<u>AMOUNT</u>	<u>DATE PAID</u>
INITIAL PLAN CHECK	500.00	PAID 03/08/2012
TOTAL PAID FEE(S)	500.00	
<u>FEE DESCRIPTION</u>	<u>AMOUNT</u>	<u>DATE PAID</u>
INSPECTION	1098.33	UNPAID
IMPROVEMENT AGREEMENTS FEE	100.00	UNPAID
TOTAL UNPAID FEE(S)	1,198.33	



PROJECT NUMBER: 44799 APPL TYPE: L-CIVIL
PROJECT NAME: DOLLAR GENERAL STORE #13455
LOCATION: LAKE MEAD BLVD/MLK

PRINT DATE: 6/21/12

Initiated by:
DGUERRA

Date: June 21, 2012

DEVELOPER CO.: **MLK & LAKE MEAD DG LLC**

1725 21 ST
SANTA ANA , CA 90404-

PHONE NUMBER: (310)315-5411 x

FAX NUMBER:

RE: Approved Bond Estimate * for :**DOLLAR GENERAL STORE #13455**
Land Development Project H#: 44799

Attached is the approved bond estimate for the above-referenced project. You are required to complete the improvements listed, or guarantee their completion by providing surety prior to the issuance of permits and/or the recordation of any maps. Certain information is required in order to prepare these agreements. As soon as the type of surety (bond, cash, financial institution) is known, please contact Land Development so that the appropriate off-site improvements agreements can be prepared. Please note that the agreements will be prepared using the "owner" shown on the final map. If the project does not have a final map, (a non-subdivision), the "owner" will be determined by the Assessors Parcel Number, **please have this available when you call.** If there has been a change of ownership, or if someone other than the listed owner will be developing the tract, please submit a copy of the recorded deed showing the new owners, the agreements will then be prepared. Please follow these steps or delays may occur. If you have any questions please contact Land Development at 229-6371.

Please be aware that we have our own bond form.

Plan Checker:

Albert Sung

From: Belsick, Jody Walker [jbelsick@walker-eng.com]
Sent: Wednesday, June 13, 2012 8:21 PM
To: Albert Sung; Julie Quisenberry; Tom Burkart; David Bratcher; David Guerra
Cc: Wolf, Treasea
Subject: RE: Dollar General @ MLK & Lake Mead

Per my conversation with Albert, we are going to revise the civil plans to add the "notes" to require that the necessary easements be recorded prior to construction for the areas that require them. I will PDF updated plans to Albert and he will review and if everything looks OK, he can revise the approval letter to reference this. Once Flood Control is OK with this, then David can review for bond approval and we can move forward with the normal process for approvals.

We are working on the revised plans. We will have the plans revised and emailed out by Friday to Albert and also David Guerra.

Thanks for all of your help on this.

Jody W. Belsick, P.E., LEED AP
WALKER ENGINEERING, LLC
T: 702.873.5197

From: Belsick, Jody Walker
Sent: Wednesday, June 13, 2012 3:43 PM
To: 'ysung@lasvegasnevada.gov'
Cc: Julie Quisenberry; Tom Burkart; 'David Bratcher'; 'David Guerra'; Wolf, Treasea
Subject: Dollar General @ MLK & Lake Mead
Importance: High

Civil 44799
Flood DS4547

Good afternoon Albert,

I just spoke with Dave Guerra and he filled me in on your conversation.

Basically, the McDonalds easement is in process, however, taking much longer than anyone anticipated to get through the system. We would like to move forward with obtaining permits and starting construction while the final steps are being taken in order to meet the Dollar General opening date of the store.

What we have worked out with Tom/David Bratcher/David Guerra at the City is to put a note on the plans stating that the work requiring easements cannot be commenced until the easement document(s) are recorded – or something of the sort.

Please let me know what you need from us to move forward in this direction. Per my conversation with Dave Guerra, once we have it worked out with you to put clearance in the computer on the civil permit, we can re-submit to Dave and get our bond approved and our plans approved once the bond is posted/fees paid etc. We will in fact be posting a bond for ALL improvements shown on the plans, including those that are pending an easement.

Thanks for your help. Don't hesitate to give me a call at 873.5197 if you want to discuss.

Jody Walker Belsick, P.E., LEED AP



Walker Engineering, LLC

Rec'd: 4/23/12

LETTER OF TRANSMITTAL

DS4547

Date: April 23, 2012

To: Albert Sung
CLV Flood Control
333 Rancho Drive
Las Vegas, NV 89106

WE Project: Dollar General @ Lake
Mead & MLK

CLV# 44799

DS# 4547

CC: WE Project No.: 1217.00

Subject: Revised G1

M-2
Supp. Info
N/C

We are sending you the attached documents via:

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for your use as checked below:

☐ Urgent ☐ As requested ☐ For review ☐ For your files ☐ For your info.

☐ Returning ☒ For approval ☐ Other: ☐ Please Reply
☒ No Reply Necessary

Items transmitted:

Doc Date	Copies	No. Pages	Description of Item
4/20/12	1	1	G1

Remarks:

Albert-

Per our phone conversation, attached is the revised grading plan adding the dry well for the nuisance flow. Please contact me if you should have any questions or require additional information. Thanks!!!!

Sent by:

Treasea Wolf, PE, LEED AP

Project Manager

Tel: 702.873.5197, Fax: 702.873.5346

Email: twolf@walker-eng.com

5765 S. Rainbow Blvd.
Suite 101
Las Vegas, NV 89118
Tel: 702.873.5197
Fax: 702.873.5346
www.walker-eng.com



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		April 26, 2012
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
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			TOTAL FEES (LDDRS):	\$800.00	----

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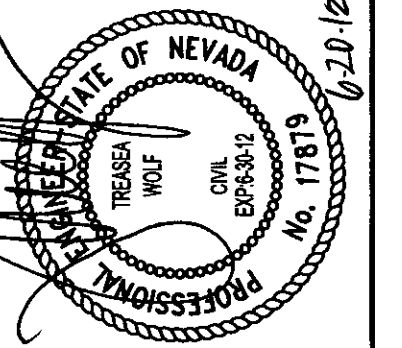
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T/R/S: T20S/R61E/21
AREA M-21

VICINITY MAP

N.T.S.

WALKER ENGINEERING, LLC
5765 S. RAINBOW BLVD.
SUITE 101
LAS VEGAS, NV 89118
TEL: 702.873.5197
FAX: 702.873.5346



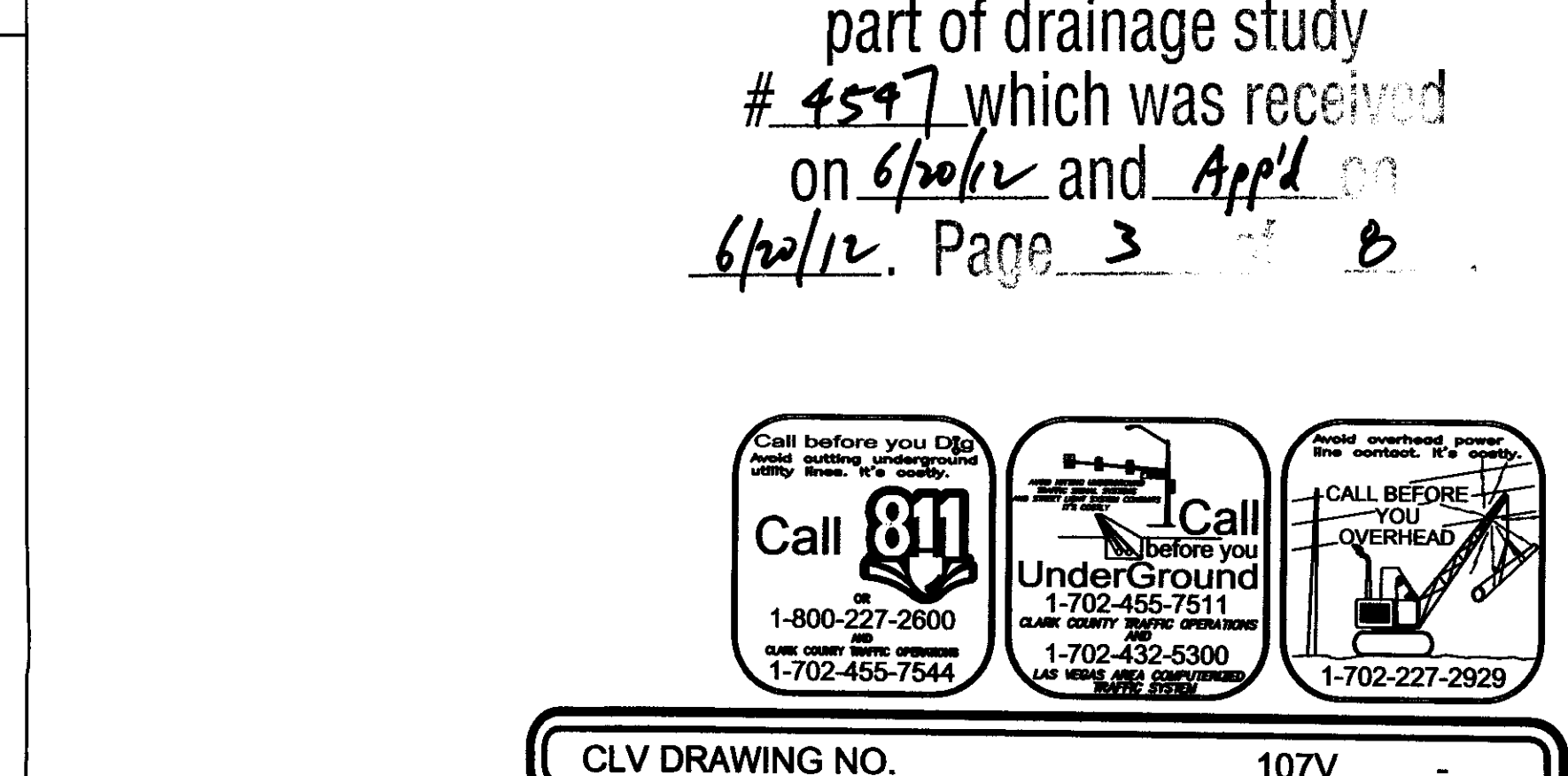
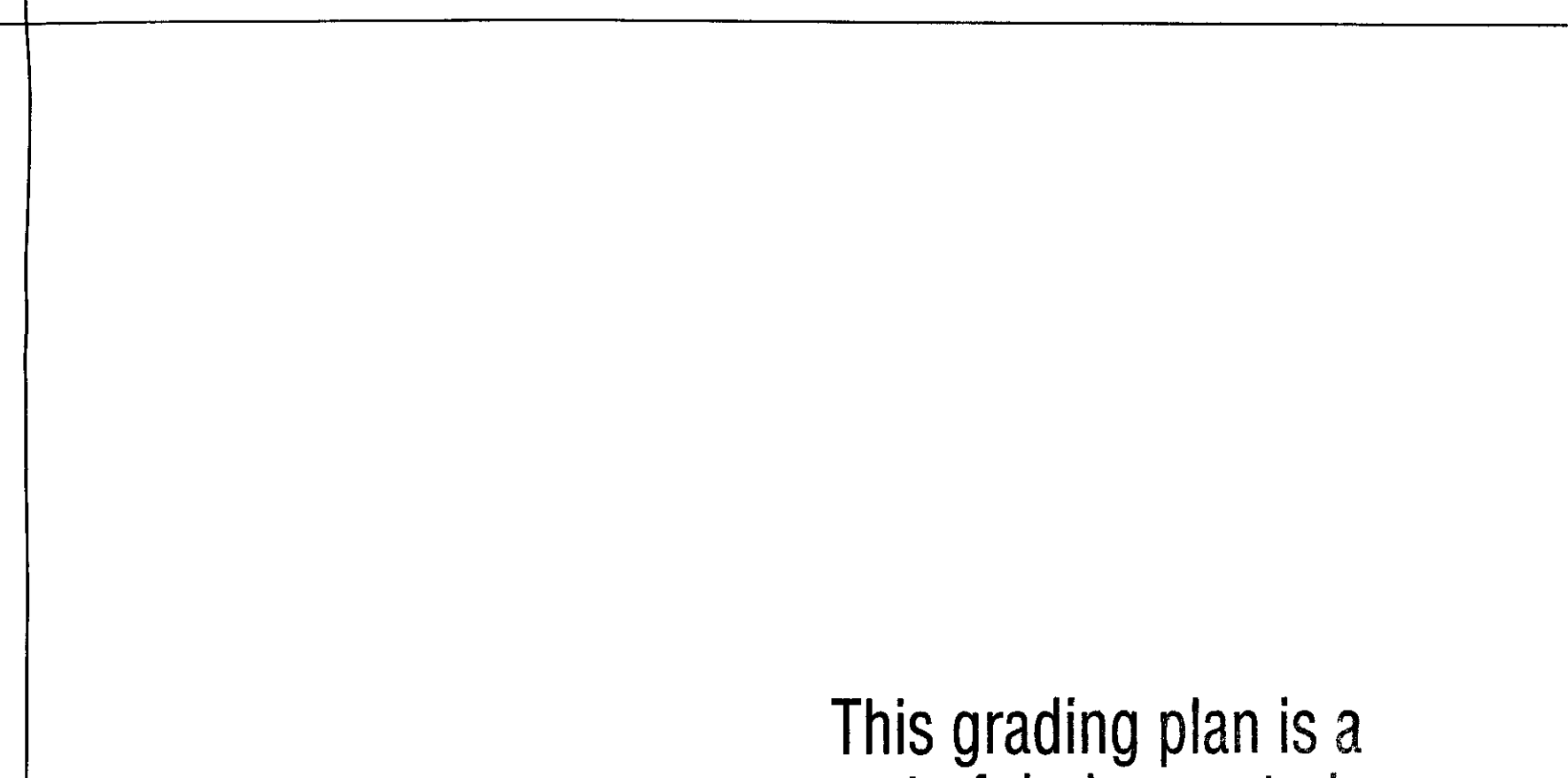
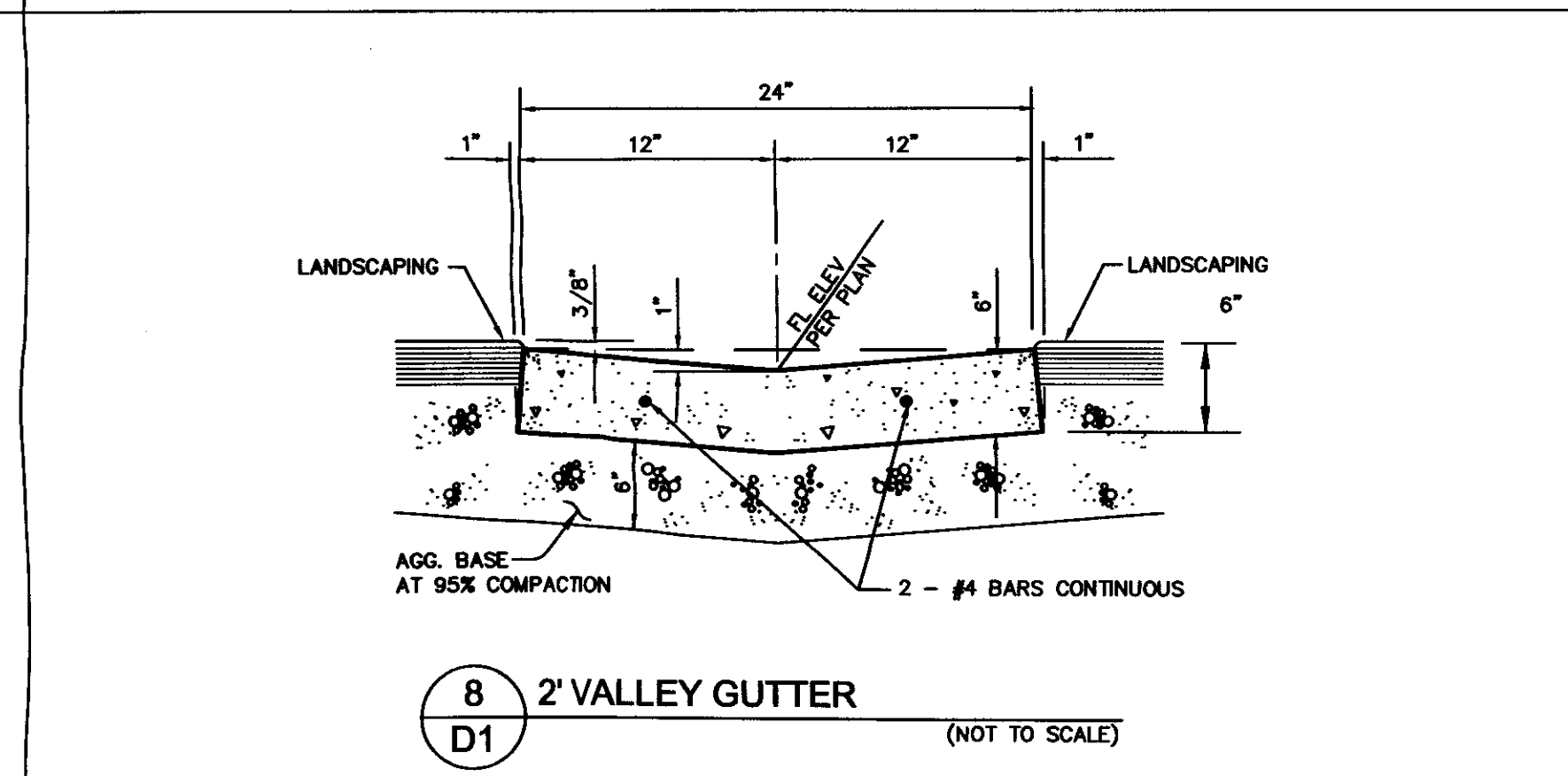
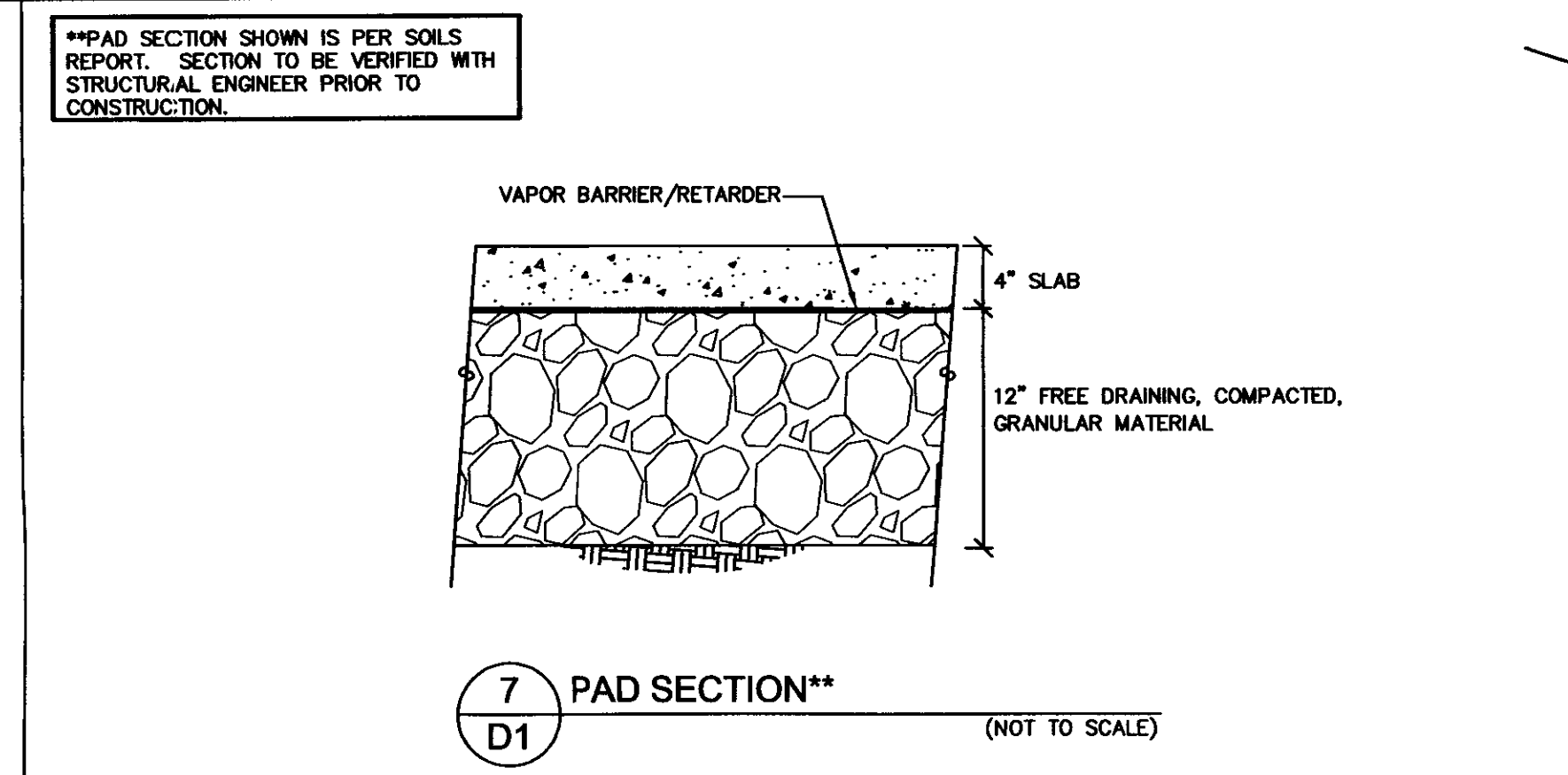
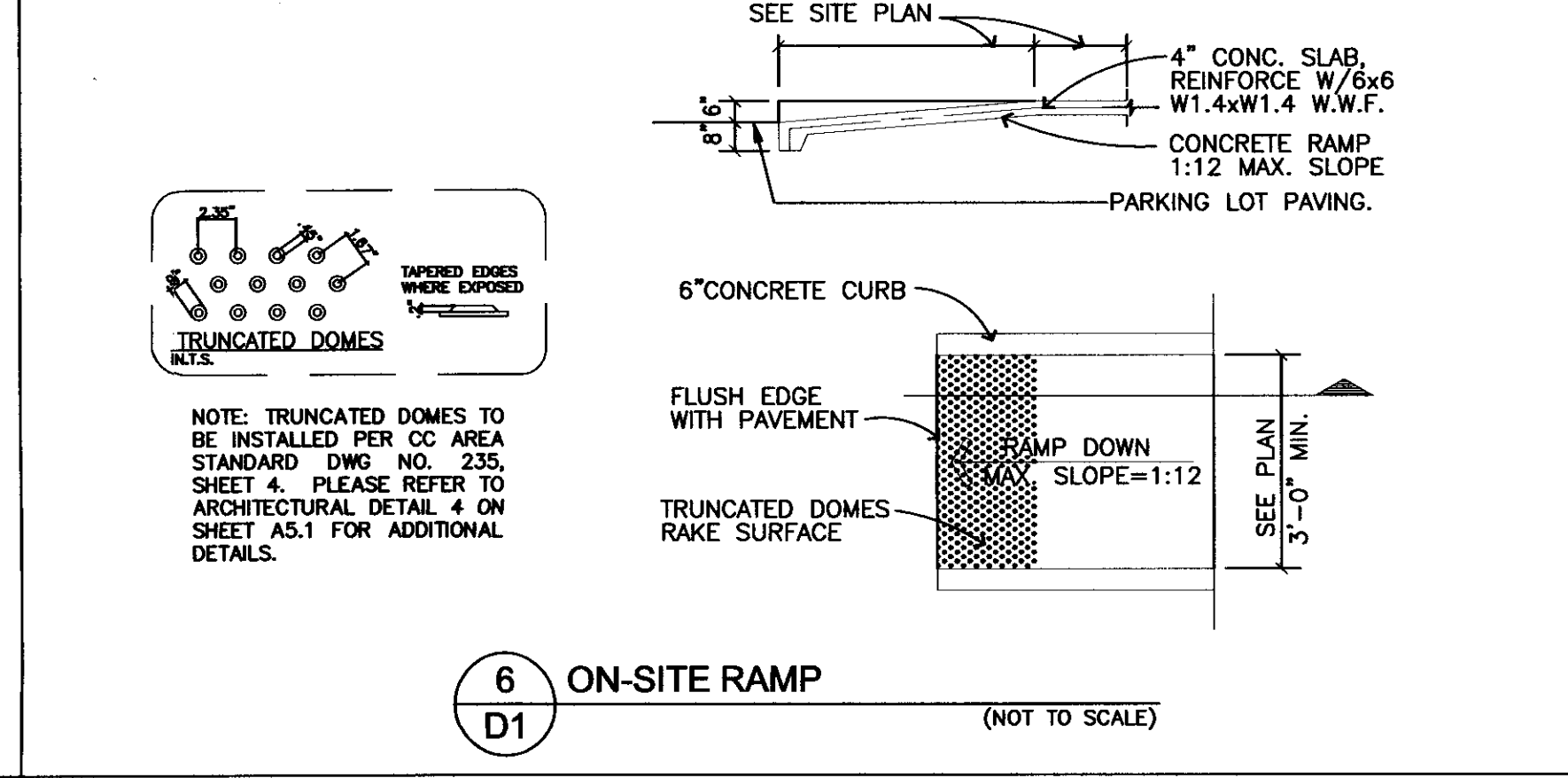
REVISIONS					
				SHEETS	APPROVAL
DATE	REV	DESCRIPTION OF REVISION		DATE	INITIALS

DYNAMIC DEVELOPMENT COMPANY
 DOLLAR GENERAL @ MLK & LM
 STORE #13455
 COVER SHEET, LEGEND AND ABBREVIATIONS

SUBMITTAL NO. 3
DATE: JUNE 15, 2012
PROJECT NO. 1217.00
AGENCY NO. CLV: 44799
SHEET NO.: C1
1 OF 8 SHEETS

CLV DRAWING NO. 107V

\\1217.DYNAMIC\DWG\IMPRDWGS\01-1217C1.dwg, 6/20/2012 8:55:00 AM, jbelsick, DJ 1050c.pc3



		WALKER ENGINEERING, LLC 5765 S. RAINBOW BLVD. SUITE 101 LAS VEGAS, NV 89118 TEL: 702.873.5197 FAX: 702.873.5346		
DYNAMIC DEVELOPMENT COMPANY DOLLAR GENERAL @ MLK & LM STORE #13455 DETAIL SHEET		REVISIONS		
		APPROVAL		
SUBMITTAL NO. 3 DATE: JUNE 15, 2012 WE PROJECT NO. 1217.00 AGENCY NO. CLV: 44799		DATE	REV	DESCRIPTION OF REVISION
SHEET NO.: D1				
3 OF 8 SHEETS				



PANEL ROAD

EXISTING GRADE

DATE: 10/10/12
FLOOD ZONE X IS OUTSIDE THE 0.2%

NO. 1

CALL BEFORE YOU DIG
Call 811
1-800-227-2600
1-702-455-7511
1-702-455-7544

Call Before you UnderGround
1-702-455-7511
1-702-229-8611
1-702-593-6111

NOTE:
ALL DIMENSIONS ARE TO B/BACK OF CURB UNLESS OTHERWISE NOTED.

CLV DRAWING NO.

DYNAMIC DOLLAR

Submittal No. 3
Date: June 15, 2012
We Project No. 1217.00
Agency No. CLV: 44799
Sheet No.:

[illegible][illegible]

PARCEL I:

LOT SEVEN (7) IN LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 70 OF PLATS, PAGE 98, AND AMENDED MAP FOR LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 77 OF PLATS, PAGE 54, IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO McDONALD'S CORPORATION, A DELAWARE CORPORATION, BY DEED RECORDED JULY 17, 1997 IN BOOK 970717 AS DOCUMENT NO. 01452.

FURTHER EXCEPTING THEREFROM THAT PORTION CONVEYED BY GRANT, BARGAIN AND SALE DEED RECORDED JUNE 15, 2004 IN BOOK 20040615 AS DOCUMENT NO. 01423, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

FURTHER EXCEPTING THEREFROM THAT PORTION OF LAND CONVEYED BY DEDICATION DEED RECORDED AUGUST 28, 2006 IN BOOK 20060829 AS DOCUMENT NO. 02701, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

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FURTHER EXCEPTING THEREFROM THAT PORTION CONVEYED BY QUITCLAIM DEED RECORDED MARCH 17, 2008 IN BOOK 20080317 AS DOCUMENT NO. 03105 OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

PARCEL II:

ALL OF THOSE CERTAIN EASEMENT RIGHTS AS PROVIDED IN THE DOCUMENT ENTITLED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED NOVEMBER 10, 1999 IN BOOK 991110, AS DOCUMENT NO. 01268.

THE BASIS OF BEARINGS FOR THIS RECORD OF SURVEY IS NORTH 89°32'55" WEST, BEING THE NORTH LINE OF THE NORTHEAST QUARTER (NE ¼) OF THE SOUTHWEST QUARTER (SW ¼) OF SECTION 21, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., AS SHOWN BY THE AMENDED MAP OF LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, RECORDED IN BOOK 77, PAGE 54 OF PLATS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER.

THE ELEVATION DATA SHOWN HEREON ARE U.S. SURVEY
THE NORTH AMERICAN VERTICAL DATUM OF 1988,
BENCHMARK No. NLV01 21W4 BEING A RIVET AND ROUND
THE TOP OF CURB, IN THE NORTHEAST CORNER OF T
MEAD BOULEVARD.

ELEVATION 630.402 METERS - PUBLISHED

ELEVATION 2068.24 U.S. SURVEY FEET - COMPUTED

PANEL 132003(160F DATED NOVEMBER 16, 2011, THE SITE IS LOCATED WITHIN FLOOD ZONE X (NON-SHADED). FLOOD ZONE X IS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS SHOWN AND TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DISTURBED, DESTROYED, OR OBSCURED DURING CONSTRUCTION.

1"=30'

SIGHT VISIBILITY ZOINES NOTE:

NO WALLS, FENCES, TREES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE, UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24" INCHES IN HEIGHT, MEASURED FROM THE TOP OF CURB.

NOTE:
ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

#4525
 PERMIT NO. 14118, GRADING PLAN IS IN CONFORMANCE WITH THE APPLIED, DRAINED, AND PROTECTED WITH THE CITY OF LAS VEGAS FOR THIS PROJECT. DS 4525
 on 6/20/12 and Appl on 6/20/12
 Page 8
 TREASURER, D.C. 127876 DATE

Call before you Dig
Avoid cutting underground
utility lines. It's costly.

Call **811**

OR

1-800-227-2600

AND

CLARK COUNTY TRADING CORPORATION
1-702-455-7544

UnderGround
1-702-455-7511
CLARK COUNTY TRAFFIC OPERATIONS
AND
1-702-229-6611
LAS VEGAS AREA COMPUTERIZED



**DYNAMIC DEVELOPMENT COMPANY
DOLLAR GENERAL @ MLK & LM**

SUBMITTAL NO. 3
DATE: JUNE 15, 2017
WE PROJECT NO. 1217.00
AGENCY NO. CLV: 44799

SHEET NO.:
G2
7 OF 8 SHEETS

[illegible]

WALKER ENGINEERING, LLC
5765 S. RAINBOW BLVD.
SUITE 101
LAS VEGAS, NV 89118
TEL: 702.873.5197
FAX: 702.873.5346

A circular professional engineer seal for the State of Nevada. The outer ring contains the text "STATE OF NEVADA" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the ring, the name "TREASA WOLF" is on the left and "CIVIL" is on the right. Below the name, it says "EXP-6-30-12". To the right of the seal, the number "No. 17876" is written. The seal is stamped over a document with handwritten text.

[illegible]

DYNAMIC DEVELOPMENT COMPANY
DOLLAR GENERAL @ MLK & LM

SUBMITTAL NO. 3
DATE: JUNE 15, 2017
WE PROJECT NO. 1217.00
AGENCY NO. CLV: 44799

SHEET NO.:
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7 OF 8 SHEETS

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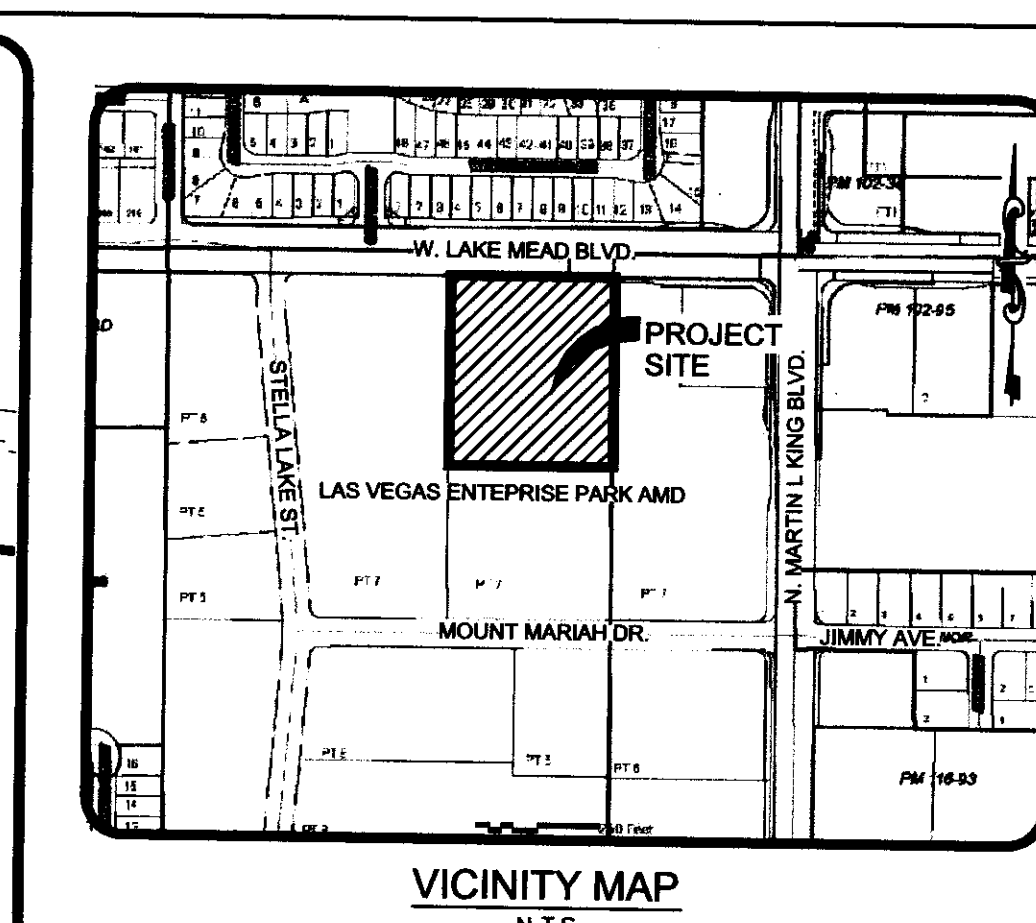
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[illegible]

**DYNAMIC DEVELOPMENT COMPANY
DOLLAR GENERAL @ MLK & LM**

SUBMITTAL NO. 3
DATE: JUNE 15, 2017
WE PROJECT NO. 1217.00
AGENCY NO. CLV: 44799

SHEET NO.:
G2
7 OF 8 SHEETS



NO	ITEM
1	CONTRACTOR TO VERIFY INVERT PRIOR TO CONSTRUCTION
2	CONNECT NEW 8" SEWER TO EX. 8" SEWER LATERAL PER DCSWCS SECTIONS 2.2.17 & 3.17.2
3	INSTALL 48" DIA. PRE-CAST SEWER MANHOLE PER SD-1A & SD-1B
4	INSTALL 8" DIA PVC SDR-35 SEWER MAIN
5	INSTALL WYE & 45° BEND PER SD-22
6	INSTALL 6" DIA PVC SDR-35 SEWER LATERAL PER SD-22 WITH MARKER PER 3D-25
7	INSTALL 6" CLEAN OUT PER SD-26
8	STUB AND CAP - SEE PLUMBING PLANS FOR CONTINUATION

NO WALLS, FENCES, TREES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT TRIANGLE UNLESS SADE HAS BEEN OBTAINED FROM THE CITY OF LOS ANGELES. MEASUREMENT FROM THE FACE OF CURB.

part of drainage study
#4547 which was received
on 6/20/12 and App'd on
6/24/12 Page 8

LOS ANGELES VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
PROJECT NO. 432900
APPROVED FIRE FLOW 1,500 GPM AT 20 PSI RESIDUAL

CITY OF LAS VEGAS
FIRE DEPARTMENT APPROVAL

BY: _____ DATE: _____

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT
FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS
OF THE STATE OR COUNTY LAWS.

FIRE FLOW **1,500** GPM AT 20 PSI RESIDUAL.

LEGAL DESCRIPTION

PARCEL I:

LOT SEVEN (7) IN LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 70 OF PLATS, PAGE 98, AND AMENDED MAP FOR LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 77 OF PLATS, PAGE 54, IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA.

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BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS RECORD OF SURVEY IS NORTH 89°32'57" WEST, BEING THE NORTH LINE OF THE NORTHEAST QUARTER (NE ¼) OF THE SOUTHWEST QUARTER (SW ¼) OF SECTION 21, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., AS SHOWN BY THE AMENDED MAP OF LAS VEGAS ENTERPRISE PARK, A COMMERCIAL SUBDIVISION, RECORDED IN BOOK 77, PAGE 54 OF PLATS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER.

BENCHMARK

THE ELEVATION DATA SHOWN HEREON ARE U.S. SURVEY FEET REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. CITY OF LAS VEGAS BENCHMARK NO. NLV01 21W4 BEING A RIVET AND ROUND ALUMINIUM WASHER IN THE TOP OF CURB, IN THE NORTHEAST CORNER OF TONOPAH DRIVE AND LAKE MEAD BOULEVARD.

ELEVATION	630.402 METERS - PUBLISHED
ELEVATION	2068.24 U.S. SURVEY FEET - COMPUTED

NOTE:

1. EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES SHOWN IN AN INADEQUATE LOCATION, AND ANY DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO THE ENGINEER.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL ALIGNMENT OF EXISTING UTILITIES AND TO NOTIFY THE DESIGN ENGINEER IMMEDIATELY ON ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS TO UTILITIES ARE TO CENTERLINE PIPE UNLESS INDICATED OTHERWISE.
4. ALL SEWER LINES SHOWN ARE FROM CENTER MANHOLE TO CENTER OF MANHOLE.
5. ALL SEWER/STORM DRAINS CROSSING WATER LINE MUST CONFORM TO SECTION 2.22 OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS, DRAINS FOR WATER AND STORM MANHOLE CROSSINGS AND CLEARANCES.
6. SEE H SHEETS FOR FIRE LINE LOCATION.
7. SEE ARCHITECTURAL PLANS FOR ALL CONNECTION DETAILS AT THE BUILDING.
8. SEE LANDSCAPE PLANS BY OTHERS FOR ALL IRRIGATION AND LANDSCAPING INFORMATION.
9. SEE SHEET C2 FOR QUANTITIES.
10. THIS PROJECT IS PART OF AN EXISTING COMMERCIAL DEVELOPMENT.

REDUCED PRESSURE PRINCIPLE
ASSEMBLY - (1) 1-1/2" & (1) 1"
APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S)

SHALL BE INSTALLED PER THE UDACS PLATE NO. 8. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIREING BACKFLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPLE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVVWD. ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY. EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

**REDUCED PRESSURE DETECTOR
ASSEMBLY (RPDA) -- (1) 8"**

THE REDUCED PRESSURE DETECTOR ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE UOACS PLATE 56. ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) SO AS TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY. EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

PAVEMENT MARKERS

INSTALL BLUE COLORED REFLECTIVE FRAISED PAVEMENT MARKERS ADJACENT TO THE FIRE HYDRANT ON ALL IMPROVED FIRE APPARATUS ACCESS ROADWAYS WITH HARD SURFACES, INCLUDING BOTH PUBLIC AND PRIVATE ROADS, STREETS OR FIRE LANES:

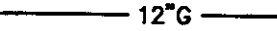
- ON ROADWAYS WITH NO PARKING PERMITTED ON THE HYDRANT SIDE: EIGHT (8) FEET FROM THE FACE OF THE CURB ON THE HYDRANT SIDE.
- ON ROADWAYS WITH PARKING PERMITTED ON THE HYDRANT SIDE: SIXTEEN (16) FEET FROM THE FACE OF THE CURB ON THE HYDRANT SIDE.

RELOCATION OF FIRE HYDRANTS:
(Extension of Existing Lateral)

THE CONTRACTOR SHALL REMOVE BOTH THE UPPER AND LOWER BARRELS OF THE EXISTING FIRE HYDRANT(S) WHERE SHOWN, EXTEND THE EXISTING LATERAL AS REQUIRED, AND INSTALL A NEW HYDRANT(S) AT THE NEW LOCATION(S) INDICATED. INSTALLATION SHALL BE IN ACCORDANCE WITH UDAC'S PLATES 40, 41, & 41. THE EXISTING FIRE HYDRANT SHALL BE DELIVERED TO THE AGENCY.

	EXISTING	LEGEND	PROPOSED
WATER LINE	---(12" W)---		---12" W---
SEWER LINE	---(12" SS)---		---12" SS---
GAS LINE	---(12" G)---		---12" G---
STORM DRAIN LINE	---(12" SD)---		---12" SD---
POWER LINE(OVERHEAD)	(P)		P
EGLEC LINE(UNDERGROUND)	(E)		E
TELEPHONE LINE	(T)		T
FIRE HYDRANT			
WATER VALVES			
REDUCER			
SEWER MANHOLE			
STORM DRAIN MANHOLE			
CLEANOUT			
	CO		CO

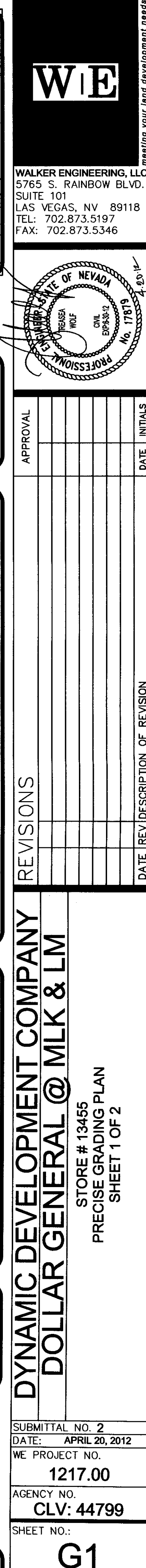
SIGHT VISIBILITY ZONE



CITY OF LAS VEGAS FIRE DEPARTMENT
FIRE FLOW REQUIREMENT IS 1,500 GALLONS PER MINUTE
AT 20 POUNDS PER SQUARE INCH RESIDUAL BASED ON:

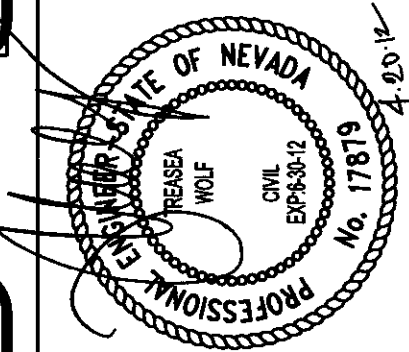
	BUILDING
REQ'D FIRE FLOW*	1,500
SQUARE FOOTAGE **	20,707
LARGEST AREA BETWEEN AREA SEPARATION WALLS	N/A
HEIGHT	27'
TYPE OF CONSTRUCTION	II-B
SPRINKLER SYSTEM	YES
OCCUPANCY	M
NO. OF STORIES	1
HIGH PILED STORAGE	NO

* BASED ON 50% REDUCTION FOR FIRE SPRINKLERS
 ** BASED ON MAXIMUM SQUARE FOOTAGE



W|E

WALKER ENGINEERING, LLC
5765 S. RAINBOW BLVD.
SUITE 101
LAS VEGAS, NV 89118
TEL: 702.873.5197
FAX: 702.873.5346

[illegible]

DYNAMIC DEVELOPMENT COMPANY
DOLLAR GENERAL @ MLK & LM
STORE # 13455
PRECISE GRADING PLAN
SHEET 1 OF 2

SUBMITTAL NO. 2
DATE: APRIL 20, 2012
WE PROJECT NO. 1217.00
AGENCY NO. CLV: 44799
SHEET NO.: G1

6 OF 8 SHEETS

p1:1217_DYNAMIC\DWG\IMPRDWG\05-1217G1.dwg, 4/20/2012 11:52:28 AM, jbelnick, DJ 1050c.pc3