

DS #: 4053

APN: 139-34-514-009 & more

PROJECT: Lady Luck Renovation - Update #2

SUBMITTAL: 6th

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		June 18, 2012
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Lady Luck Renovation – Update #2		COPIES TO: Cardno WRG
Cross Streets:	SWC of Stewart Avenue & Fourth Street	CIM / Resort Gaming Group
File Number:	F:\Depot\DSMemos\DS4053F.doc	Bart Anderson, P.E., DevCo
Parcel Number:	139-34-514-009 & More	
Zoning Action:	SDR-44449	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	8/15/2006	8/29/2006	Not Approved	\$400.00	51824: \$400
2 nd Submittal	7/15/2010	7/27/2010	Not Approved	\$100.00	148856: \$100
3 rd Submittal	8/19/2010	8/19/2010	Conditional Approval	N/C	N/C
4 th Submittal	9/21/2010	9/28/2010	Not Approved	\$400.00	153925: \$400
5 th Submittal	8/10/2011	8/17/2011	Approved	N/C	N/C
6 th Submittal	6/5/2012	6/18/2012	See Comments Below	\$100.00	285526: \$100
TOTAL FEES (LDDRS):				\$1,000.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
	is conditionally approved subject to the following conditions:

The following conditions must be fully addressed prior to the final approval of the improvement plans:

- Per SDR-37946, Condition #25: Dedicate a 10'-radius on the southwest corner of *Stewart Avenue* and *4th Street* prior to the issuance of any permits.
- Per SDR-37946, Condition #30: Contact *City Engineer's Office* (Lorrie Dunford) at 229-6272 to coordinate the development of this project with the *Stewart Avenue Phase II Project* and any other public improvement projects adjacent to this site. Comply with the recommendations of the *City Engineer*.

In an effort to increase administrative efficiency, the City of Las Vegas Public Works Department requires all soil reports, drainage studies and traffic impact analysis submittals to be accompanied by an electronic copy of the submittal. Electronic documents must be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output replicating your submittal to be used for archival or display purposes. This may be more than one file if necessary. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats, but provided it is a high quality digitized replication of the submittal, other formats may be acceptable. If figures are in color, they must be scanned in color and saved as a separate file. The new submittal requirement is effective on **July 1, 2011**. If there are any questions regarding these new requirements, please contact Robert Welch in the Flood Section at (702) 229-2177 or Rick Schroder in Traffic Engineering at (702) 229-6327.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
ays

T/R/S: T20S/R61E/34
AREA M-34

*** FAX TX REPORT ***

TRANSMISSION OK

JOB NO. 4273
 DESTINATION ADDRESS 9909305
 PSWD/SUBADDRESS
 DESTINATION ID
 ST. TIME 06/18 17:18
 USAGE T 00' 39
 PGS. 2
 RESULT OK

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File Number:	F:\Depot\DSMemos\DS4053F.doc	Bart Anderson, P.E., DevCo
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2. Per SDR-37946, Condition #30: Contact City Engineer's Office (Lorrie Dunford) at 229-6272 to

Technical Drainage Study Update #2 for:

Lady Luck Renovation

Las Vegas, Nevada
June 2012

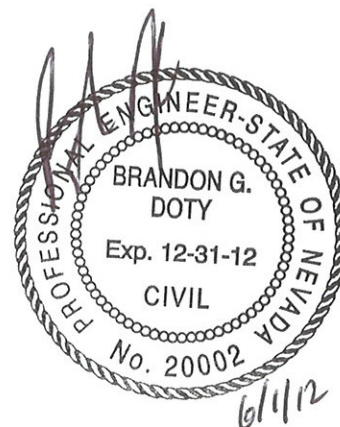
Located:
at Stewart Avenue and Fourth Street

Project #:
Cardno WRG 310934900
(DS4053-1)

Prepared for:
CIM/Resort Gaming Group
6922 Hollywood Blvd 9th Floor
Los Angeles, CA 90028

Civil Engineering
Land Planning
Land Survey
Landscape Architecture
LEED/Sustainability
Master Planning
Transportation
Water Resources

www.cardnowrg.com



Prepared by:
Cardno WRG
10649 Jeffreys Street
Henderson, NV 89052

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Lady Luck Renovation Date: 6/1/12

Location of Development: a) Descriptive (Cross Streets) North/South: Fourth Street
East/West: Stewart Avenue

b) Section: 34 Township: 20 South Range: 61 East

c) APN: 139-34-501-009, 139-34-510-019, and 139-34-514-007 thru 009

Name of Owner: CIM / Resort Gaming Group

Telephone No.: (323) 860-4900 Fax No.: (323) 860-4901 E-Mail Address: jrosen@cimgroup.com

Address: 6922 Hollywood Blvd. 9th Floor Los Angeles, CA 90028

Contact Person-Name: Brandon Doty Telephone No.: (702) 990-9300

* E-Mail Address: brandon.doty@cardnowrg.com Fax No.: (702) 990-9305

Firm: Cardno WRG

Address: 10649 Jeffreys St. Henderson, NV 89052

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☐	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☒	Planned Unit Development	☐	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit		

1. Total Owned Land Area: At Site: 4.0 +/- AC Being Developed/Disturbed: 1.4 +/- AC

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

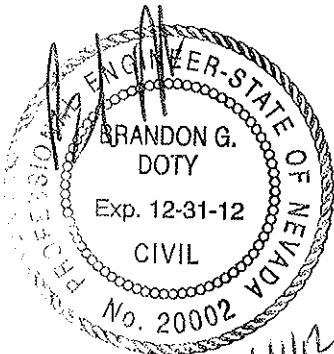
4. Proposed type of development (Residential, Commercial, Etc.): Commercial

5. Approximate upstream land area which drains to the subject site: n/a

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Technical Drainage Study for Lady Luck Renovation (DS4053)

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: Stewart Avenue

8. Briefly describe your proposed schedule for the subject project: As soon as possible



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL		
DRAINAGE SUBMITTAL CHECKLIST		
Project Name: Lady Luck Renovation	Map ID: 139- 34-501-009, 139-34-510-019, 139-34-514-007 th	
Firm Name: Cardno WRG	Engineer: Brandon G. Doty, P.E.	
Address: 10649 Jeffreys Street		
City: Henderson	State: NV	Zip: 89052
Phone Number: (702) 990-9300	Fax Number: (702) 990.9305	
Property Owner: CIM/Resort Gaming Group		
Address: 6922 Hollywood Blvd 9th Floor		
City: Los Angeles	State: CA	Zip: 90028
Reviewed By:	Date Received:	Date Accepted for Review:
The following checklist is intended as a guide for the engineer preparing a Technical Drainage Study to submit to the local entity and Clark County Regional Flood Control District (if necessary). The listed items are the minimum information required prior to the entity performing a review. The engineer will remain responsible to ensure the Technical Drainage Study is prepared within the guidelines as set forth in the Clark County Regional Flood Control District (CCRFCD) Hydrologic Criteria and Drainage Design Manual (MANUAL). This document is intended as an aid in preparing Technical Drainage Studies. Each study submitted is reviewed for compliance with local and regional criteria. This form is not intended to be all inclusive and does not limit the extent of the information, calculations or exhibits which may be necessary to properly evaluate the intended land use. If items are not applicable for the subject site, provide N/A. I. GENERAL REQUIREMENT YES NO ☒ _____ Design manual Standard Form 1 with the engineer's seal and signature. ☒ _____ Design manual Standard Form 4. ☒ _____ 2 copies of the 24" x 36" drainage Plan. N/A _____ A notarized letter from the adjacent property owner(s) allowing off-site grading or discharge.		
REFERENCE: CARDNO WRG PROJECT# 3129911000		STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

II. MAPS AND EXHIBITS

Yes No

- ☒ ☐ A copy of a current Flood Insurance Rate Map (FIRM) with the site delineated.
- ☒ ☐ A copy of current CCRFCD Master Plan Update Figure, (F-x), for Flood Control Facilities and Environmental areas with the site delineated.
- ☒ ☐ Off-site drainage basin maps for existing, interim and future conditions showing the existing topography, basin boundaries, concentration points, and flows in cfs.
- ☒ ☐ On-site drainage basin maps for existing and proposed conditions showing the existing topography, basin boundaries, concentration points, and on-site and off-site flows in cfs.
- ☒ ☐ Vicinity Map with local and major cross streets identified and a north arrow.

III. DRAINAGE PLANS

Yes No

- ☒ ☐ Sheet size: 24" x 36" sealed by a registered engineer in the State of Nevada.
- ☒ ☐ Minimum scale: 1" = 60'.
- ☒ ☐ Project name.
- ☒ ☐ Vicinity Map with local and major cross streets.
- ☒ ☐ Revision box.
- ☒ ☐ North arrow and bar scale.
- ☒ ☐ Engineer's/consultant's address and phone number.
- ☒ ☐ Elevation datum and benchmark.
- ☒ ☐ Legend for symbols and abbreviations.
- ☒ ☐ cut/fill scarps, where applicable.
- ☒ ☐ Street names, grades widths.
- ☒ ☐ Proposed future and existing spot grades for top of curbs and street crowns at lot lines, grade breaks, and along curb returns on both sides of the street.

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

III. DRAINAGE PLAN (Continued)

Yes No

- | | | |
|-------------------------------------|-------------------------------------|---|
| ☒ | ☐ | Existing contours encompassing the site and 100 feet beyond with spot elevations for important locations, where appropriate. |
| ☒ | ☐ | Minimum finish floor elevations with top-of-curb elevations at upstream end of lot. |
| ☒ | ☐ | Proposed typical street sections. |
| ☐ | ☒ | Streets with off-set crowns. |
| ☒ | ☐ | Proposed contours or spot elevations in sufficient detail to exhibit intended drainage patterns and slopes. |
| ☒ | ☐ | Property lines. |
| ☒ | ☐ | Right-of-way lines and widths, existing and proposed. |
| ☒ | ☐ | Existing improvements and their elevations. |
| ☐ | ☒ | Delineation of proposed on-site drainage basins indicating area and 10-year and 100-year storm peak flows at basin concentration points. |
| ☐ | ☒ | Concentration points and drainage flow direction with Q_{100} and V_{100} and D_{100} in streets. |
| ☐ | ☒ | Cumulative flows, velocity, and direction of flow at upstream and downstream ends of site for the 10-year and 100-year flows. |
| ☐ | ☒ | Location and cross-section of street capacity calculations. |
| ☐ | ☒ | Cross-sectional detail for channels, including cutoff wall locations. |
| ☒ | ☐ | Existing and proposed drainage facilities, appurtenances, and connections (i.e., sidewalk, ditches, swales, storm drain systems, unimproved channels, and improved channels, and culverts, etc.) starting size, material, shape, and slope eighth plan and profile an HGL calculations. |
| ☐ | ☒ | Existing and proposed drainage easements and widths shown with sufficient detail. A cross sectional detail must be provided that shows appropriate lining and reinforcement. |
| ☐ | ☒ | Location and detail of existing, proposed, and future block wall openings. Minimum size is 16" x 48 ". Wrought iron gate is required for flows > 10 cfs. |
| ☐ | ☒ | Locations and detail of flood walls illustrating depth of flow, proposed grouting height, etc. |

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

DRAINAGE SUBMITTAL CHECKLIST

III. DRAINAGE PLAN (Continued)

Yes No

☒ ☐ Perimeter retaining wall locations. All existing and proposed walls (retaining screen and flood) must be shown with adjacent ground elevations. Flood walls with 8-inch concrete masonry unit.

☒ ☐ Building and/or lot numbers.

☐ ☒ alignment of all existing, proposed, or future Regional Facilities adjacent to the site.

☐ ☒ limits of existing floodplain based on current FIRM of best available information; limits of proposed floodplains based on best available information.

☐ ☒ For areas in Zone A, AE, AH, and AO, base flood elevations (BFEs) must be shown for each lot; BFEs may be listed on each lot, or in a table. Finish floor elevations must be a minimum of 18 inches above BFE.

☒ ☐ Approximately elevated "humps" 6 inches above the 100 year water surface elevation at site accesses where the intent is to protect the site from the Q_{100} flows.

☒ ☐ Street slopes for perimeter and interior streets. The minimum slope is 0.4 percent.

IV. HYDROLOGIC ANALYSIS

Yes No

☐ ☐ Appropriate soil information and Soils Map for existing and future conditions with subbasins and property delineated.

☐ ☐ Input and output information for existing conditions from computer models (HEC-1 or TR-55). The flow routing diagram must be provided with HEC-1 models.

☐ ☐ Use of correct precipitation values in and around the McCarran Airport rainfall area.

☐ ☐ A discussion on the text of the hydrologic analysis justifying subbasin boundaries and cutoffs, supporting assumptions, and calculations.

☐ ☐ a summary table of stormwater flows showing basin area, Q_{10} and Q_{100} for both individual basins and combined basin flows, where applicable.

☐ ☐ copies of supporting technical information referenced from a previously approved study and a statement accepting these results.

☐ ☐ On-site facilities must perpetuate flows through or around the site without significantly impacting adjacent property owners in accordance with current Nevada Drainage Law.

REFERENCE:

STANDARD FORM 2

HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL	
DRAINAGE SUBMITTAL CHECKLIST	
IV. HYDROLOGIC ANALYSIS (Continued)	
Yes	
No	
_____	Flow split calculations and supporting documentation or reference for the method of flow split calculations used.
_____	Normal depth street flow calculations and cross section diagrams for all interior and perimeter streets. Provide "d x v" products for the Q_{100} and Q_{10} flows representing the worst case for interior and all perimeter streets. $Q_{100} d x v < 8$. $Q_{10} d x v < 6$ and 12 foot dry lane for rights-of-way > 80 feet. Calculations must be labeled by street name as indicated on the Grading Plan.
_____	A summary table of interior and exterior street capacity calculations showing the street name, Q_{100} flow, slope, depth of flow, velocity and depth times velocity product and streets needing to meet 12 foot dry lane criteria.
_____	Appropriate hydraulic calculations for block wall openings assuming a 50 percent vertical clogging factor. (Assume the lower half of the opening is plugged).
_____	appropriate hydraulic calculations at drainage easement entrance and discharge locations to set finish floor elevations. Hydraulic calculations must include submerged weir, superelevation and tee intersection losses, where appropriate.
_____	Provide necessary freeboard requirements to set the finished floor elevations of all proposed buildings, 2 x depth of flow or depth of flow plus 18 inches of freeboard, whichever is less. The minimum requirement is 6 inches above adjacent upstream top of curb. Buildings adjacent to drainage easements must always be provide with 18 inches of freeboard above the Q_{100} weir height or flow depth, which ever is greater.
_____	A complete water surface profile analysis (HEC-2, HEC-RAS, etc.) for channel flows and FEM Zone A flood zones.
_____	Field survey data.
_____	Input and output information.
_____	Plotted cross-sections based on survey with proper encroachments.
_____	A map showing the location of the cross-sections.
_____	Analysis of both sub and super-critical flow segments.
_____	A summary table and a discussion of the results in the text of the report.
_____	Provide a 50 percent clogging factor in the capacity calculation for drop inlets.
_____	hydraulic calculations for culverts and storm drains. D-Load calculations must be provided for storm drain pipes in public rights-of-way, including headwater pool inundation.
_____	The mitigation of nuisance water, both during construction and in the fully developed condition, must be addressed.
REFERENCE:	STANDARD FORM 2



CITY OF LAS VEGAS

MINIMUM DRAINAGE STUDY CRITERIA STANDARD FORM 2 CHECKLIST SUPPLEMENT

(Revised 5/18/11)

The following checklist is intended as a supplemental guide for the engineer preparing a Technical Drainage Study submittal to the City of Las Vegas. This supplement focuses on requirements specific to the City of Las Vegas. The requirements presented are in addition to the Clark County Regional Flood Control District (CCRFCDD) Manual Standard Form 2. The listed items are the minimum information required prior to the City performing a review. The engineer will remain responsible to ensure the Technical Drainage Study is prepared within the guidelines as set forth in the CCRFCDD Hydrologic Criteria and Drainage Design Manual (Design Manual).

An appointment must be made to preview this checklist in conjunction with CCRFCDD Standard Form 2 prior to the City accepting a new drainage study for review. The engineer must contact the Flood Control Section at (702) 229-6541 to schedule a submittal appointment.

If items are not applicable for the subject site, provide N/A.

I. GENERAL REQUIREMENT

Yes	No	
N/A		A notarized letter from the adjacent property owner(s) allowing off-site grading. (A copy of the letter must be received prior to final acceptance of the drainage study.)
✓		Copies of all conditions of approval for development related to this property. (e.g. zoning, use permit, tentative map, etc.) Verify compliance with conditions.
✓		An electronic copy of the complete submittal is required to be submitted with one original hard copy of the study. Electronic documents should be on a universal computer-readable digital output device replicating your submittal. An Indexed Portable Document Format (PDF) or Print Ready CAD file formats with a minimum of 300dpi are the desired formats. If figures are in color, they must be scanned in color and saved as a separate file. by initial here, the engineer on record acknowledges that the electronic copy is an identical replicate of the original hard copy submitted to the City of Las Vegas.

II. GRADING PLAN INFORMATION

Yes	No	
✓		(1) 24" X 36" copy of the Grading Plan, (including all Detail Sheets) sealed by the engineer.
✓		Proposed future and existing spot grades for top of curbs and street crowns at lot lines, grade breaks, and along curb returns on both sides of the street. Note: Proposed top of curb elevations must be provided for both sides of roadways even if only half street construction is required.
✓		Label existing topography at a minimum 5 foot elevation interval including adjacent developments, finished floor elevations of existing buildings and top of existing curbs extending 100 feet around the perimeter of the site. (*Measured from the centerline of the adjacent roadway.)

CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

II. GRADING PLAN INFORMATION		
Yes	No	
N/A		Proposed on-site and off-site storm drains and other flood control facilities with plan and profile sheets for public storm drains showing the class of pipe, (Class III, IV, V, etc.), design hydraulic grade line, (HGL) and 100 year storm flow. A public drainage easement must be provided over on-site storm drains conveying off-site flows. An overflow path must be provided over all storm drains.
✓		All existing and "to be constructed" walls with cross-sections showing wall type, (e.g. block wall, retaining wall, flood wall, etc.), with limits clearly defined, adjacent ground elevations. Wall heights must meet current ordinances and in no case exceed 14 feet above the adjacent property.
✓		Street slopes for both interior and perimeter streets. Note: The minimum slope for a roadway is 0.4 percent, a minimum 18-inch storm drain must be provided where minimum slopes cannot be met.
✓		Back of lot elevations and lot drainage pattern for all lots including common lots.
✓		Sites with a grade difference two feet above or below existing ground are required to have approval from City of Las Vegas Current Planning. Current Planning approval is required prior to final approval of the drainage study.
✓		On-site facilities must perpetuate flows through or around the site without significantly impacting adjacent property owners. (The project must pass flows through the site every 600 feet where the project is blocking flow paths.)
N/A		This project uses a solid grouted stem wall (or approved alternate) at the back of sidewalk to provide erosion protection for landscaped areas where the depth of flow in the roadway exceeds the back of walk elevation. A corresponding cross-section detail is included.
✓		Commercial and Common Lot Landscape areas are not allowed to drain over the sidewalk. The grading plans show flow lines with grades and sidewalk under drains for all landscape areas draining to the public ROW.

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
✓		Concrete valley gutters are required in parking lots with slopes less than 1 percent. Slopes through cul-de-sac must be at a 1 percent minimum where flow is drained through the cul-de-sac.
N/A		Ten-foot wide public drainage easements to be privately maintained are allowed for flow less than 20 cfs. The depth of flow entering the easement must be checked using the submerged weir calculation.
N/A		The limits of the flood zones and the base flood elevations (BFE) must be shown on all grading plans for all developments within a Special Flood Hazard Zone A, AO, AE, etc.
✓		Minimum finish floor elevation is 6 inches above highest adjacent top of curb. Finish floor calculations must include allowances for super elevations on curves and velocity head for tee intersections.
✓		Finished floor elevations for buildings adjacent to public drainage easements must be a minimum of 18 inches above the Q100 weir of submerged weir elevation, whichever is greater.

CITY OF LAS VEGAS MINIMUM DRAINAGE STUDY CRITERIA CHECKLIST

III. Local Entity Criteria - City of Las Vegas – Manual Section 1600		
Yes	No	
N/A		Lots with "B and C Type Drainage" that drain from one lot to another through a drainage easement shall be required to install an underground nuisance drainage system or a 2-foot valley gutter. 16" x 24" minimum block wall openings are required for both options.
N/A		Bubblers are required across 80 foot and greater ROW streets. When flows exceed 10 cfs, bubblers larger than 18 inches will be required up to a maximum of 36". Inlets must be sized to match the pipe size provided.

- Contact the Flood Control Section regarding the drainage study review fee. These fees are payable at the time of submittal.
- The Drainage Study must be conditionally approved prior to submitting improvement plans to the Civil and Planning Development of the Department of Building and Safety for review.

This document is intended as an aid in preparing Technical Drainage Studies for the City of Las Vegas. Each study submitted is reviewed for compliance with local and regional criteria. This form is not intended to be all-inclusive and does not limit the extent of the information, calculations or exhibits which may be necessary to properly evaluate the intended land use.



June 1, 2012

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
333 N. Rancho Drive
Las Vegas, Nevada 89106

10649 Jeffreys Street
Henderson, NV 89052
USA

Phone (702) 990-9300
Fax (702) 990-9305

www.cardnowrg.com

**Re: Technical Drainage Study Update #2 for Lady Luck
Renovation & Expansion (DS4053)**

This letter is written to update the Technical Drainage Study for Lady Luck Renovation & Expansion at Fourth Street and Ogden Avenue. Proposed revisions to the original site plan include a trench drain on 3rd Street as well as changes to the parking areas. Revised grading plans show that the proposed discharge locations conform to the original study.

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM), Community Panel Number 32003C 2170 E, effective September 27, 2002, the subject site is located within Zone X. Zone X is described as areas determined to be outside of the 500-year floodplain, areas of 100-year sheet flow flooding where average depths are less than 1 foot, areas protected from the contributing drainage area is less than 1 square mile, or areas protected from the 100-year flood by levees. No BFE's or depths are shown within this zone. See the Flood Insurance Rate Map (FIRM) located in appendix.

The subject site is delineated on the Flood Control Facilities Figure F-32 from the *Clark County Flood Control Master Plan Update of the Las Vegas Valley (2008)*, the project site is not crossed or located adjacent to any proposed or existing Master Planned regional Flood Control Facilities.

The parking lot and 3rd Street grading onsite drainage patterns have been slightly modified with development patterns of the renovation and expansion and with proposed grading revisions. Overall drainage patterns and discharge locations into adjacent rights-of-way and property remain consistent with the drainage study update (DS4053-1). Offsite flows will remain the same based on the proposed site changes.



Revised site grading drains onsite generated flows away from the finished floor of the existing hotel and casino. Adjacent parking areas drain along intended flow paths to the adjacent roadway intersection of Stewart Avenue and Fourth Street. ADA requirements are met at the intended entrances. Revised grading plans can be viewed in the back pocket of this update.

If you have any questions or need additional information regarding this update, please feel free to call me at (702) 990-9300.

Sincerely,

Cardno WRG

A handwritten signature in black ink, appearing to read "Brandon G. Doty", written over a horizontal line.

Brandon G. Doty, P.E.
Project Engineer

Drainage Study Approval Letter

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: August 19, 2010
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for: Lady Luck Renovation - Update	
Cross Streets:	SWC of Stewart Avenue & Fourth Street	
File Number:	F:\Depot\DSMemos\DS4053C.doc	
Parcel Number:	139-34-514-009 & More	
Zoning Action:	SDR-10490; SDR-15380; SUP-10491 & SUP-15382 & SDR-37946	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	8/15/2006	8/29/2006	Not Approved	\$400.00	51824: \$400
2 nd Submittal	7/15/2010	7/27/2010	Not Approved	\$100.00	148856: \$100
3 rd Submittal	8/19/2010	8/19/2010	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$500.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.
X	is conditionally approved subject to the following conditions:

The following conditions must be fully addressed prior to the final approval of the drainage study:

1. Per SDR-37946, Condition #25: Dedicate a 10'-radius on the southwest corner of *Stewart Avenue* and *4th Street* prior to the issuance of any permits.
2. Per SDR-37946, Condition #30: Contact *City Engineer's Office* (Lorrie Dunford) at 229-6272 to coordinate the development of this project with the *Stewart Avenue Phase II Project* and any other public improvement projects adjacent to this site. Comply with the recommendations of the *City Engineer*.
3. Show existing storm drain system in *Fourth Street* and label with *City of Las Vegas* recorded plan number. Show the size of the storm drain and identify all existing drop inlets with type and size.
4. Detail section of C/C4 does not match the location on the grading plan. The detail shows new concrete sidewalk while the plan shows existing concrete sidewalk. Review and revise accordingly.
5. It appears that the hotel tower finish floor elevation is high enough to provide positive drainage away to the adjacent street grade. Explain why onsite trench drain and pump systems are proposed (in two locations)?

6. It appears that there is a flow line in the middle of the drive aisle behind *Fourth Street*. Show flow line elevation labeled at regular intervals on the grading plan and provide a cross section to verify as such.
7. Provide a note on the grading plan: *"All onsite storm drain systems are privately owned and to be privately maintained"*.
8. Remove a callout of "H#35046" at the bottom right hand corner of the grading plan.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS

ays

T/R/S: T20S/R61E/34
AREA M-34

City Council Zoning/Planning Conditions



May 17, 2012

LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

Mr. Brad Aaronson
220 North Fourth Street LV, LLC
6922 Hollywood Boulevard, 9th Floor
Hollywood, California 90028

RE: SDR-44449 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF APRIL 18, 2012

Dear Mr. Aaronson:

The City Council at a regular meeting held April 18, 2012, APPROVED the request for a Major Amendment to a previously approved Site Development Plan Review (SDR-37946) FOR PROPOSED FACADE IMPROVEMENTS, AN EXPANSION OF A PORTE COCHERE, AND A REDUCTION IN SURFACE PARKING on 3.94 acres at 206 North 3rd Street, 220 North 4th Street and 221 North 3rd Street (APNs 139-34-501-009; 139-34-510-019 and 139-34-514-007 through 009), C-2 (General Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on May 17, 2012. This approval is subject to:

Planning

1. Conformance to the approved conditions for Site Development Plan Review (SDR-37946), except as amended herein.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan and landscape plan, date stamped 01/26/12, and building elevations, date stamped 01/26/12 and 02/15/12, except as amended by conditions herein.
4. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 01/26/12. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



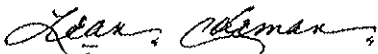
Mr. Brad Aaronson
220 North Fourth Street LV, LLC
SDR-44449 - Page Two
May 17, 2012

5. All necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
6. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
7. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
8. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

9. A Drainage Study update must be submitted to and approved by the Department of Public Works prior to issuance of any building or grading permits. Provide and improve all drainageways recommended in the approved drainage study update.
10. Site development to comply with all previously approved conditions of approval for SDR-37946 and all other applicable site-related actions.

Sincerely,

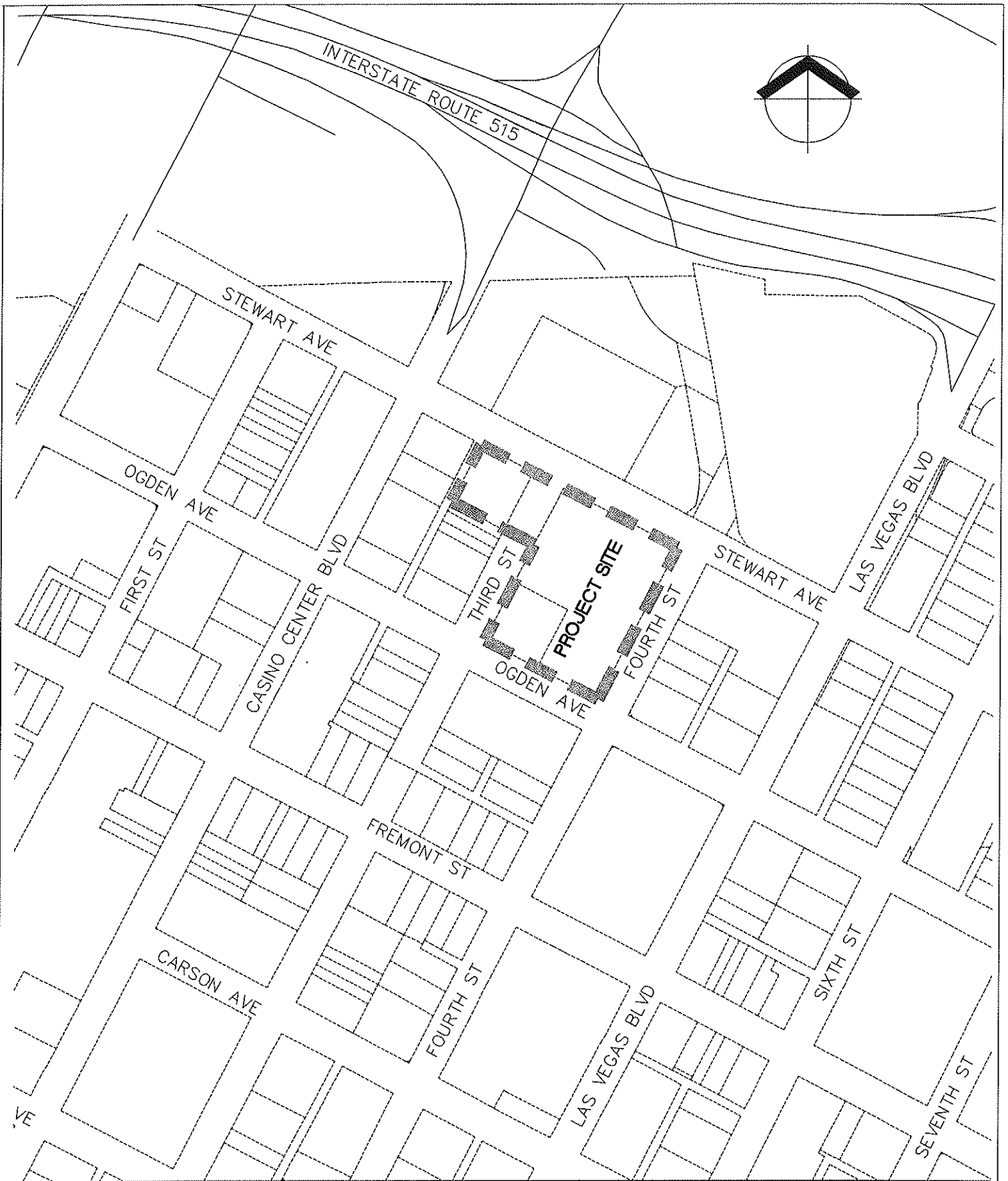


Leann Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Jim Germain
Beth Garside, et al
10991 Lauderdale Court
Las Vegas, Nevada 89141

Mr. Todd Kessler
206 North Third Street
Las Vegas, Nevada 89101

Figures



LAS VEGAS
 10849 JEFFREYS ST, HENDERSON, NV 89052
 TEL: (702) 990-9300 FAX: (702) 990-9305
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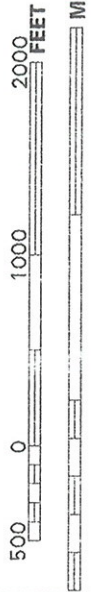
VICINITY MAP LADY LUCK RENOVATION

CIM/RESORT GAMING GROUP
 LAS VEGAS, NEVADA

PROJECT NO. 312991100
 DATE: 04/23/12
 BY: BGD
 SCALE: 1"=300"
 SHEET NO. 1



MAP SCALE 1" = 1000'



NATIONAL FLOOD INSURANCE PROGRAM

PANEL 2170 E

FIRM FLOOD INSURANCE RATE MAP CLARK COUNTY, NEVADA AND INCORPORATED AREAS

PANEL 2170 OF 4090
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:	COMMUNITY	NUMBER	PANEL	SUFFIX
	CLARK COUNTY, UNINCORPORATED AREAS	320033	2170	E
	NORTH LAS VEGAS, CITY OF	320057	2170	E
	LAS VEGAS, CITY OF	325276	2170	E

Notice to User: The Map Number shown below should be used when ordering maps. The map number shown above should be used on insurance applications for the subject community.



MAP NUMBER
32003C2170 E

MAP REVISED:
SEPTEMBER 27, 2002

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



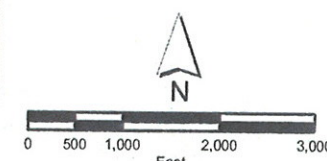
2008
LAS VEGAS VALLEY
FLOOD CONTROL
MASTER PLAN UPDATE

**FIGURE F-32
FLOOD CONTROL FACILITIES**

LEGEND

- Ultimate Development Boundary
- Existing Facilities
- Category A Proposed Facilities
- Category B Proposed Facilities
- Local Existing Facilities
- Local Proposed Facilities
- Detention Basin
- Culvert or Bridge Crossing
- Stormdrain
- Lined Channel
- Unlined Channel
- Levee/Dike
- Natural Wash/Floodway
- ID-Mile Separator

- Remove & Replace/Parallel Facilities**
- | Category A | Category B |
|------------|------------|
| Channel | Channel |
| Stormdrain | Stormdrain |
| Crossing | Crossing |



US95 I-15 I-215

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34
35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51
52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68





City of Las Vegas

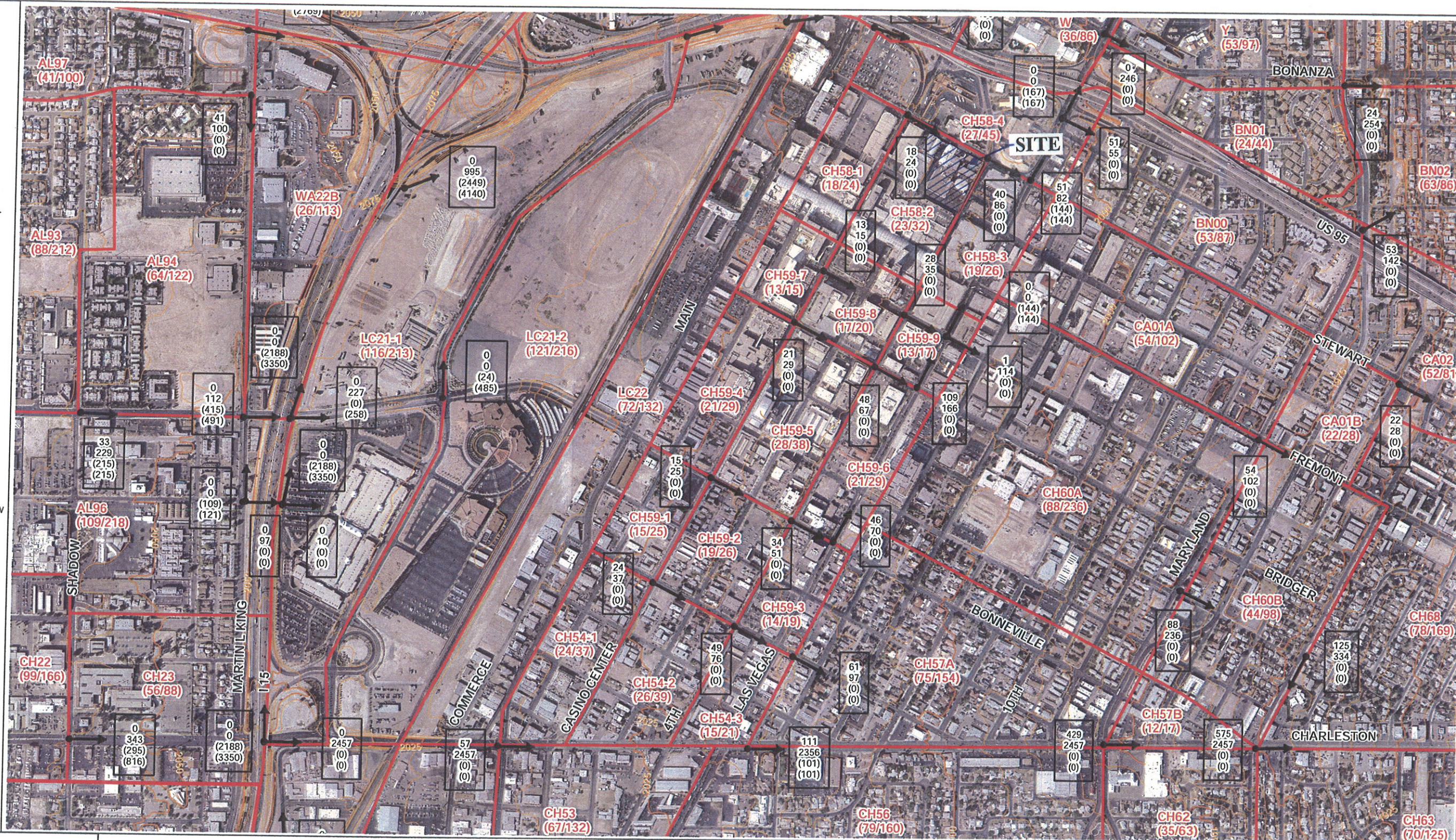
CENTRAL NEIGHBORHOOD FLOOD CONTROL MASTER PLAN

LEGEND

- Sub-basin Boundary
- LV12 Basin ID
- (10yr./100yr.) Contributing flow from the basin (cfs)
- Flow Arrow
- 250 10-Year Street Flow
500 100-Year Street Flow
(300) 10-Year Facility Flow
(800) 100-Year Facility Flow
(Flows in CFS)
- Study Area Limit

PHOTO DATE: SPRING 2004

FIGURE E-10



EXISTING DRAINAGE CONDITIONS



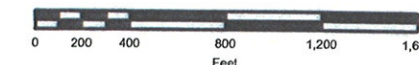
2270 Corporate Circle, Suite 100
Henderson, NV 89074
(702) 263-7275
Fax: (702) 263-7200

	Durango	Rainbow	Decatur	Tonopah	5th	Pecos	Neffs
Lake Mead				1	2		
Washington				3	4	5	6
Charleston	7	8	9	10	11	12	
Sahara	13	14	15	16	17		
Desert Inn		18	19				

NOTE:

Existing conditions are based on future Curve Number values with only existing local and CCRFCD facilities in place.

100-Year flows at locations where a 100-Year subbasin concentration point does not exist in the hydrology model were based on an area-weighted ratio of the 100-Year flows from concentration points upstream and downstream of the location. See Volume I for a more detailed explanation.



SCALE: 1 inch = 800 feet



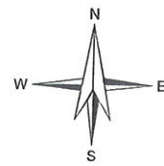
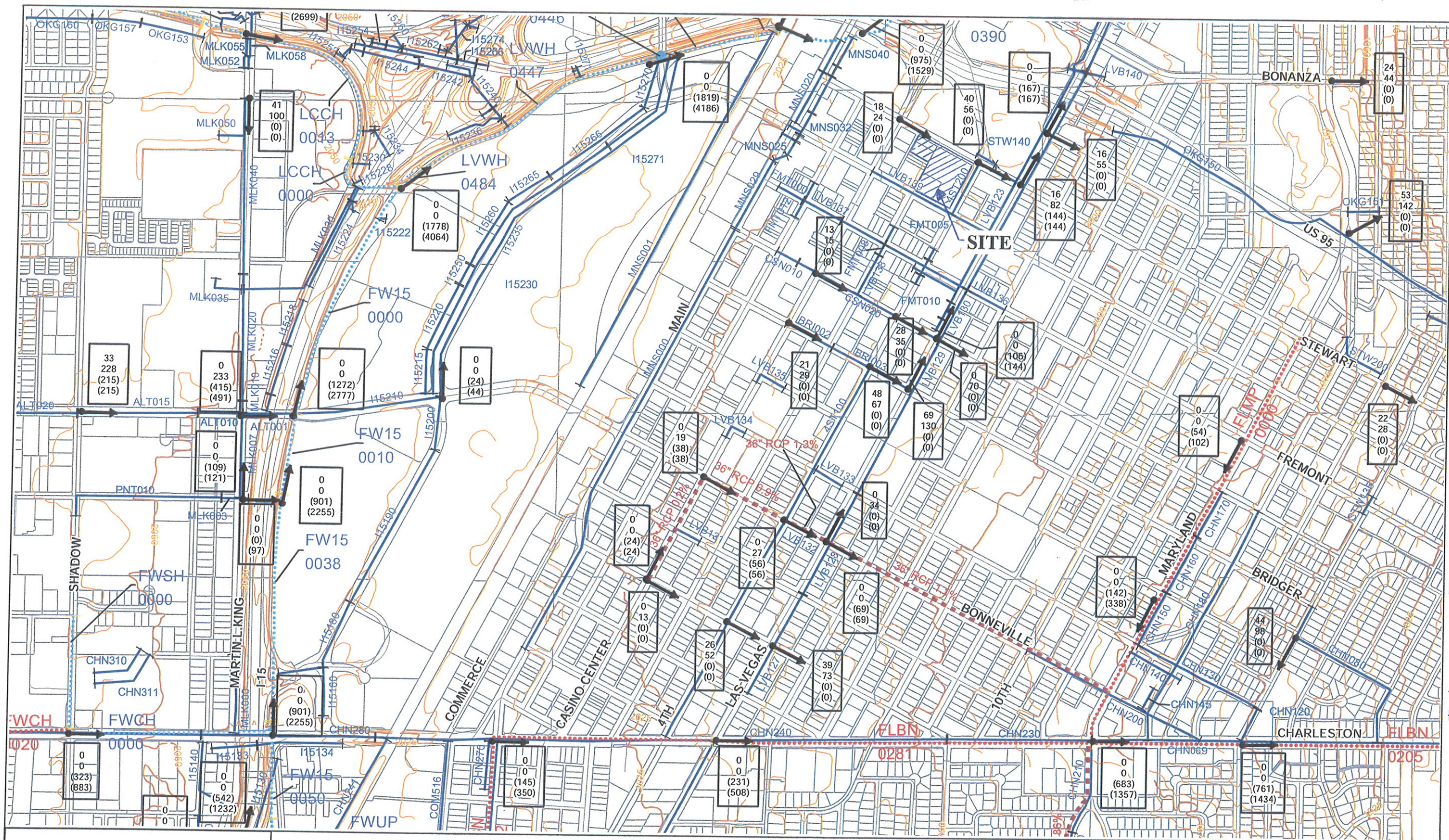
City of Las Vegas

CENTRAL NEIGHBORHOOD FLOOD CONTROL MASTER PLAN

LEGEND

- Existing Regional Facility
- Category A Proposed Regional Facility (2002 MPU)
- Category B Proposed Regional Facility (2002 MPU)
- Category A Proposed Regional Facility (2004 CNFCMP)
- Existing Local Facility
- Proposed Local Facility
- Regional Culvert
- Regional Bridge
- Regional Pipeline
- Regional Channel
- Regional Levee
- Regional Detention Basin
- Local Storm Drain
- Local Culvert
- Proposed Local Storm Drain
- Regional ID-Mile Separator
- Local Facility Separator

FIGURE F-10



SCALE: 1 inch = 800 feet

Flow Arrow

250
500
1000
2000
(Flows in CFS)

(Flows in CFS)

NOTE:

Ultimate drainage conditions are based on future Curve Number values with all flood control facilities in place.

100-Year flows at locations where a 100-Year subbasin concentration point does not exist in the hydrology model were based on an area-weighted ratio of the 100-Year flows from concentration points upstream and downstream of the location. See Volume I for a more detailed explanation.

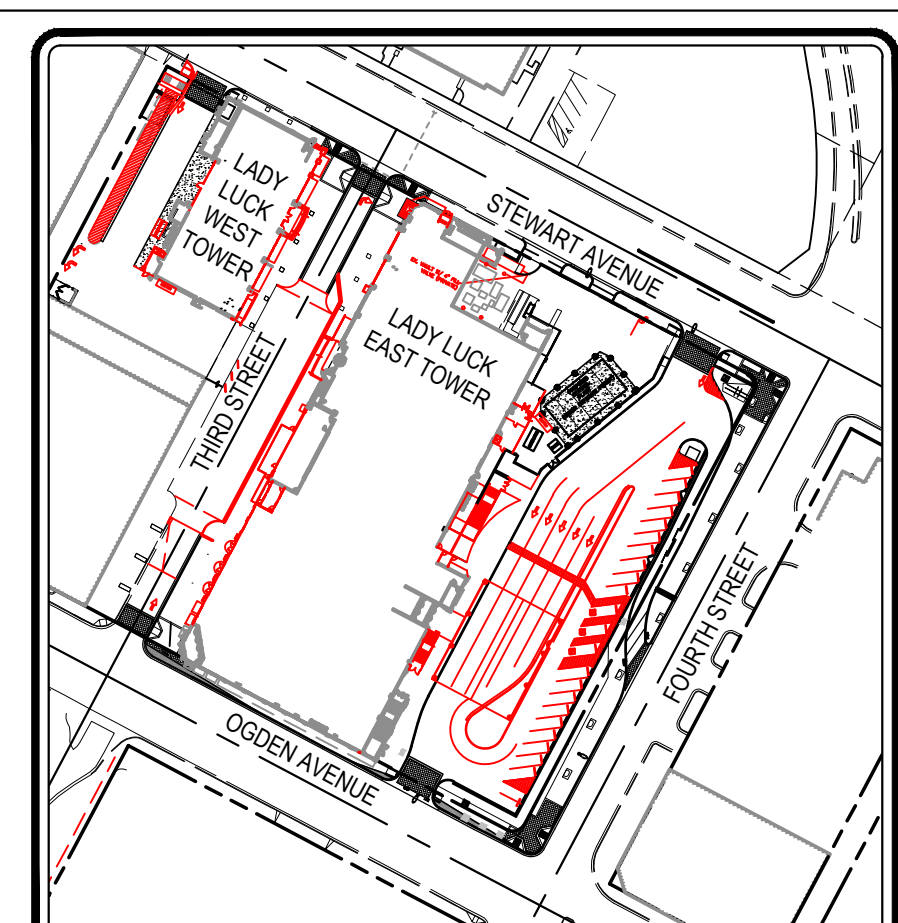
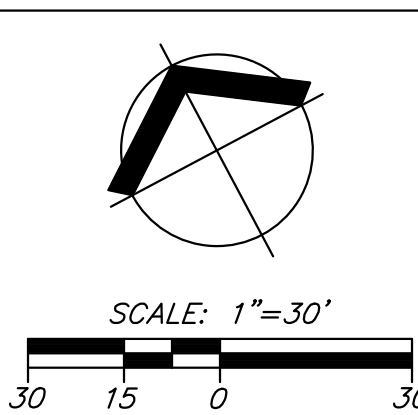
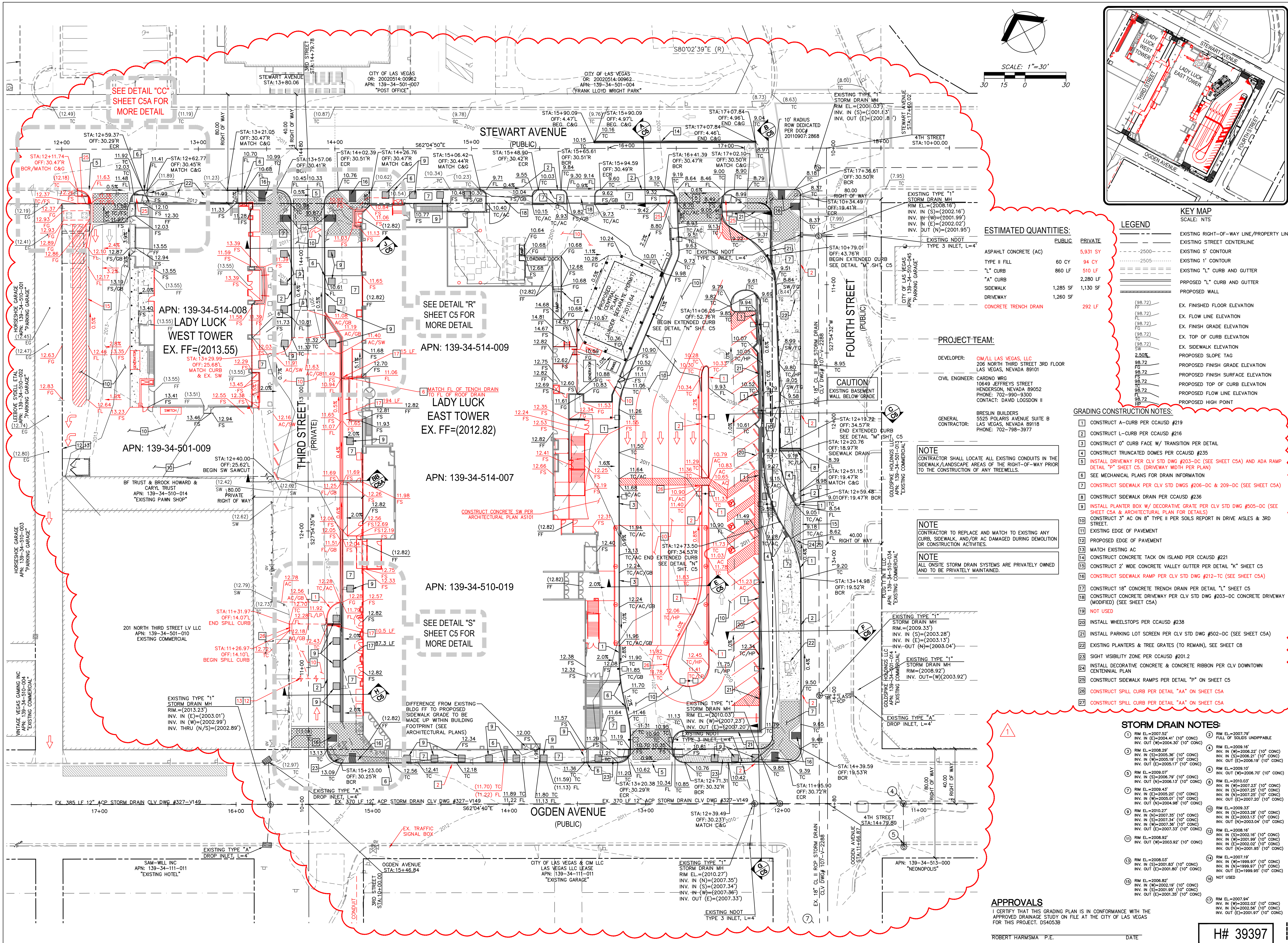
	Durango	Rainbow	Decatur	Tonopah	5th	Pecos	Nellis
Lake Mead				1	2		
Washington				3	4	5	6
Charleston				7	8	9	10
Sahara				13	14	15	16
Desert Inn					18	19	

FUTURE DRAINAGE CONDITIONS



2270 Corporate Circle, Suite 100
Henderson, NV 89074
(702) 263-7275
Fax: (702) 263-7200

Revised Grading Plan and Detail Sheet



ESTIMATED QUANTITIES:

	PUBLIC	PRIVATE
ASPHALT CONCRETE (AC)		5,931 SY
TYPE II FILL	60 CY	94 CY
"L" CURB	860 LF	510 LF
"A" CURB	2,280 LF	
SIDEWALK	1,285 SF	1,130 SF
DRIVEWAY	1,260 SF	
CONCRETE TRENCH DRAIN		292 LF

PROJECT TEAM:

DEVELOPER: CMAA LAS VEGAS, LLC
206 NORTH THIRD STREET 3RD FLOOR
LAS VEGAS, NEVADA 89101

CIVIL ENGINEER: CARDNO WRG
10649 JEFFREYS STREET
HENDERSON, NEVADA 89052
PHONE: 702-950-9300
CONTACT: DAVID LOOSDON II

GENERAL CONTRACTOR: BRESLIN BUILDERS
5525 POLARIS AVENUE SUITE B
LAS VEGAS, NEVADA 89118
PHONE: 702-798-3977

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING RIGHT-OF-WAY LINE/PROPERTY LINE
---	EXISTING STREET CENTERLINE
---	EXISTING 5' CONTOUR
---	EXISTING 1' CONTOUR
---	EXISTING "L" CURB AND GUTTER
---	PROPOSED "L" CURB AND GUTTER
---	PROPOSED WALL
---	EX. FINISHED FLOOR ELEVATION
---	EX. FLOW LINE ELEVATION
---	EX. FINISH GRADE ELEVATION
---	EX. TOP OF CURB ELEVATION
---	EX. SIDEWALK ELEVATION
---	PROPOSED SLOPE TAG
---	PROPOSED FINISH GRADE ELEVATION
---	PROPOSED FINISH SURFACE ELEVATION
---	PROPOSED TOP OF CURB ELEVATION
---	PROPOSED FLOW LINE ELEVATION
---	PROPOSED HIGH POINT

- GRADING CONSTRUCTION NOTES:**
1. CONSTRUCT A-CURB PER CCAUSD #219
 2. CONSTRUCT L-CURB PER CCAUSD #216
 3. CONSTRUCT O' CURB FACE W/ TRANSITION PER DETAIL
 4. CONSTRUCT TRUNCATED DOMES PER CCAUSD #235
 5. INSTALL DRIVEWAY PER CLV STD DWG #203-DC (SEE SHEET C5A) AND ADA RAMP DETAIL "P" SHEET C5 (DRIVEWAY WIDTH PER PLAN)
 6. SEE MECHANICAL PLANS FOR DRAIN INFORMATION
 7. CONSTRUCT SIDEWALK PER CLV STD DWG #206-DC & 209-DC (SEE SHEET C5A)
 8. CONSTRUCT SIDEWALK DRAIN PER CCAUSD #236
 9. INSTALL PLANTER BOX W/ DECORATIVE GRATE PER CLV STD DWG #505-DC (SEE SHEET C5A & ARCHITECTURAL PLAN FOR DETAILS)
 10. CONSTRUCT 3' AC ON 8" TYPE II PER SLOES REPORT IN DRIVE AISLES & 3RD STREET
 11. EXISTING EDGE OF PAVEMENT
 12. PROPOSED EDGE OF PAVEMENT
 13. MATCH EXISTING AC
 14. CONSTRUCT CONCRETE TACK ON ISLAND PER CCAUSD #221
 15. CONSTRUCT 2' WIDE CONCRETE VALLEY GUTTER PER DETAIL "K" SHEET C5
 16. CONSTRUCT SIDEWALK RAMP PER CLV STD DWG #212-TC (SEE SHEET C5A)
 17. CONSTRUCT 18" CONCRETE TRENCH DRAIN PER DETAIL "L" SHEET C5
 18. CONSTRUCT CONCRETE DRIVEWAY PER CLV STD DWG #203-DC CONCRETE DRIVEWAY (MODIFIED) (SEE SHEET C5A)
 19. NOT USED
 20. INSTALL WHEELSTOPS PER CCAUSD #238
 21. INSTALL PARKING LOT SCREEN PER CLV STD DWG #502-DC (SEE SHEET C5A)
 22. EXISTING PLANTERS & TREE GRATES (TO REMAIN), SEE SHEET C8
 23. SIGHT VISIBILITY ZONE PER CCAUSD #201.2
 24. INSTALL DECORATIVE CONCRETE & CONCRETE RIBBON PER CLV DOWNTOWN
 25. CONSTRUCT SIDEWALK RAMPS PER DETAIL "P" ON SHEET C5
 26. CONSTRUCT SPILL CURB PER DETAIL "AA" ON SHEET C5A
 27. CONSTRUCT SPILL CURB PER DETAIL "AA" ON SHEET C5A

- STORM DRAIN NOTES:**
1. RIM EL.=2007.52
INV. IN (E)=2004.41' (10" CONC)
INV. OUT (W)=2004.30' (10" CONC)
 2. RIM EL.=2009.16
INV. IN (S)=2006.36' (10" CONC)
INV. IN (W)=2005.19' (10" CONC)
INV. OUT (E)=2006.19' (10" CONC)
 3. RIM EL.=2008.25
INV. IN (S)=2006.36' (10" CONC)
INV. IN (W)=2005.19' (10" CONC)
INV. OUT (E)=2006.19' (10" CONC)
 4. RIM EL.=2009.16
INV. IN (W)=2006.22' (10" CONC)
INV. IN (S)=2006.21' (10" CONC)
INV. OUT (E)=2006.19' (10" CONC)
 5. RIM EL.=2008.07
INV. IN (S)=2006.79' (10" CONC)
INV. OUT (N)=2006.13' (10" CONC)
 6. RIM EL.=2009.10
INV. IN (W)=2006.70' (10" CONC)
 7. RIM EL.=2008.43
INV. IN (S)=2006.20' (10" CONC)
INV. IN (W)=2005.01' (10" CONC)
INV. OUT (N)=2004.98' (10" CONC)
 8. RIM EL.=2009.33
INV. IN (S)=2003.28' (10" CONC)
INV. IN (W)=2001.99' (10" CONC)
INV. OUT (E)=2003.04' (10" CONC)
 9. RIM EL.=2008.27
INV. IN (S)=2003.34' (10" CONC)
INV. IN (W)=2001.99' (10" CONC)
INV. OUT (E)=2003.04' (10" CONC)
 10. RIM EL.=2008.92
INV. IN (W)=2003.92' (10" CONC)
 11. RIM EL.=2008.03
INV. IN (S)=2003.83' (10" CONC)
INV. OUT (E)=2001.95' (10" CONC)
 12. RIM EL.=2008.16
INV. IN (W)=1999.97' (10" CONC)
INV. IN (S)=1999.97' (10" CONC)
INV. OUT (E)=1999.95' (10" CONC)
 13. RIM EL.=2007.84
INV. IN (W)=2002.03' (10" CONC)
INV. IN (N)=2002.56' (10" CONC)
INV. OUT (E)=2001.97' (10" CONC)
 14. NOT USED
 15. NOT USED

APPROVALS
I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT. 054053B

H# 39397

Cardno
WRG

LAS VEGAS
10649 JEFFREYS ST. HENDERSON, NV 89052
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GRADING PLAN - 1

LADY LUCK RENOVATION & EXPANSION

BRESLIN BUILDERS

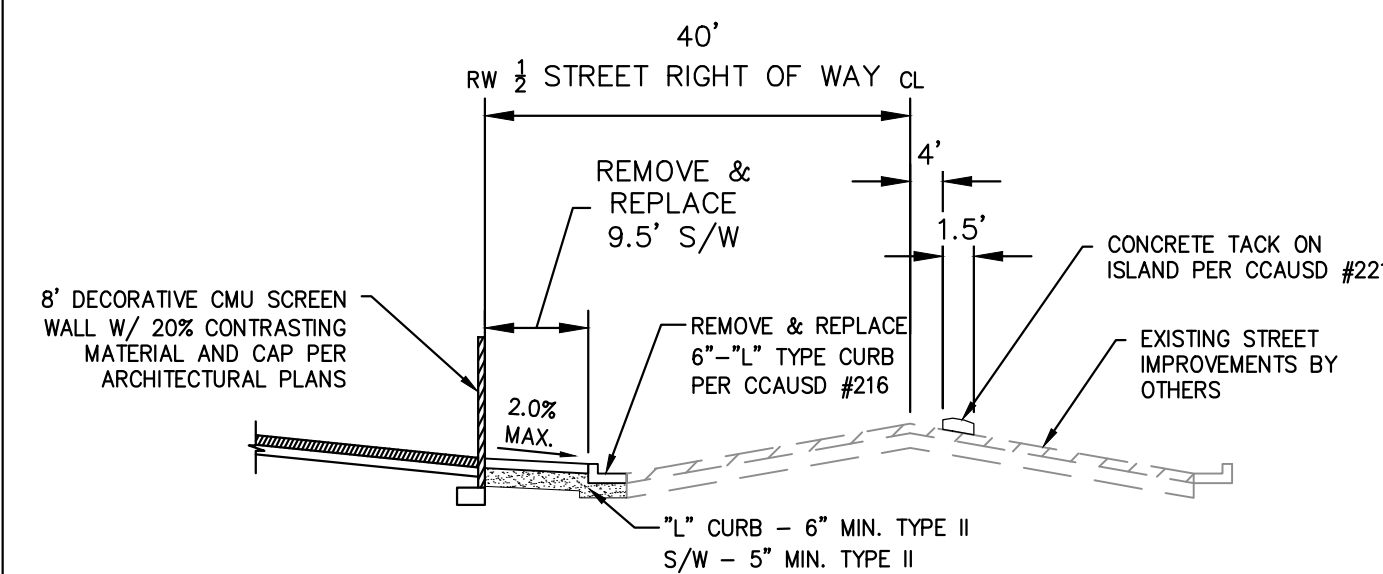
CITY OF LAS VEGAS, NEVADA

DATE: 1/23/19
DRAWN: IAS
CHECKED: IAS
PROJECT: 3109340000

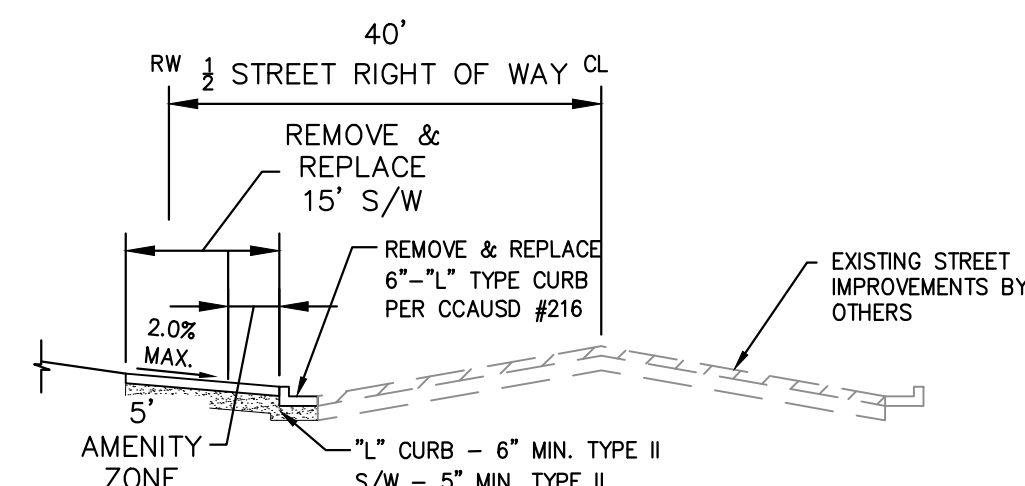
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SHEET NUMBER: 4 OF 8

CLV DWG #

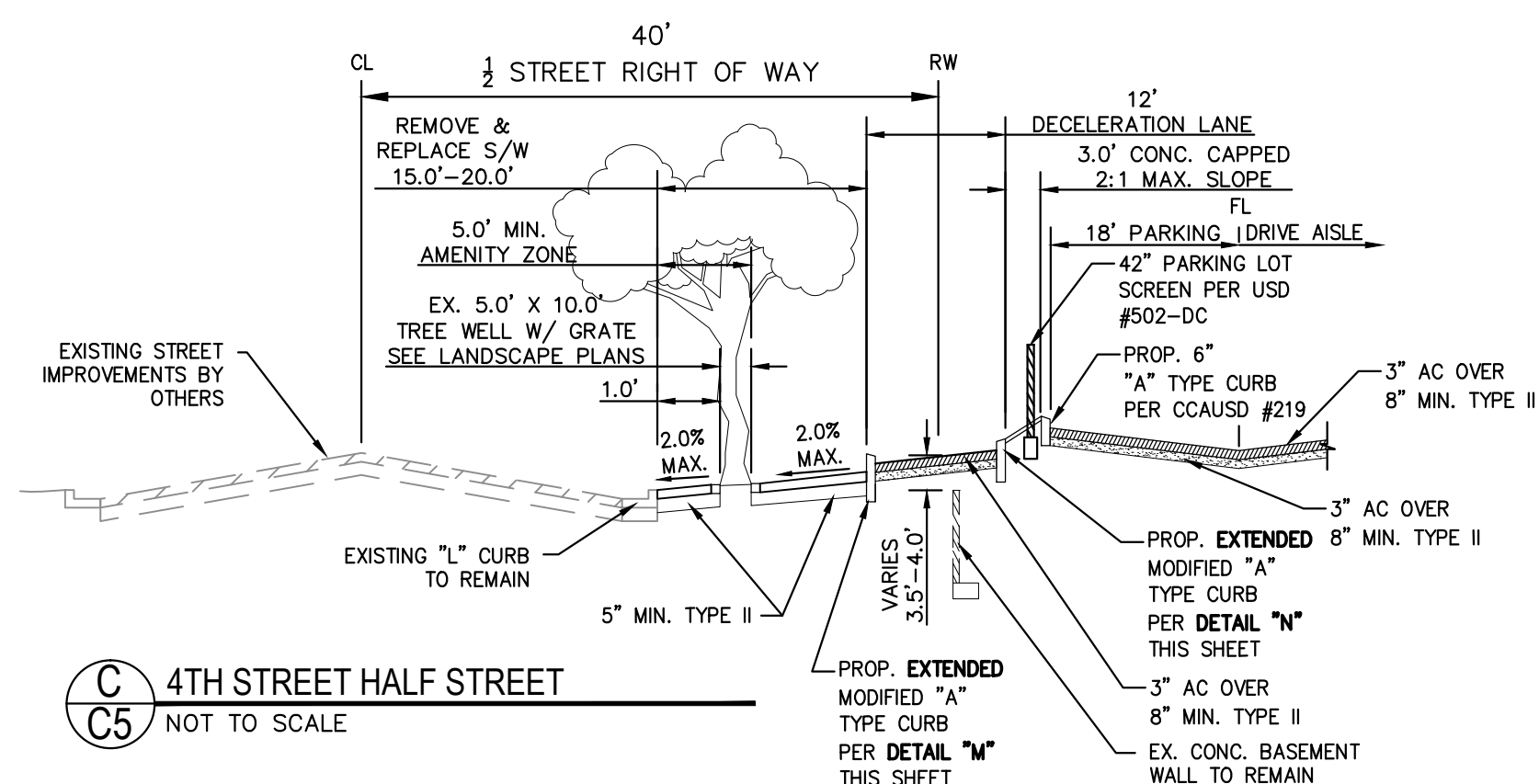
PROFESSIONAL ENGINEER - STATE OF NEVADA
ROBERT F. HARMSPA
Exp. 06/30/13
CIVIL
No. 12855



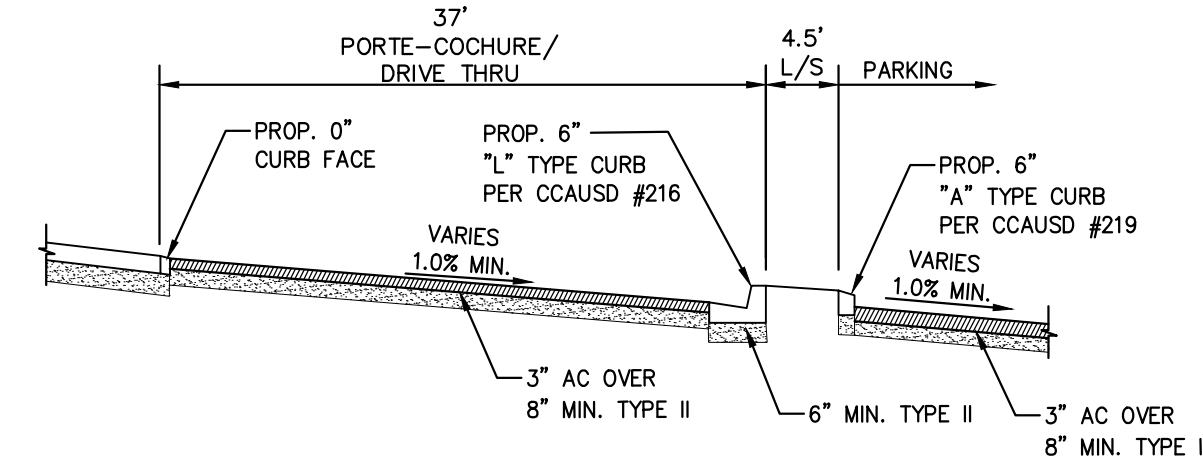
A STEWART AVENUE HALF STREET
C5 NOT TO SCALE



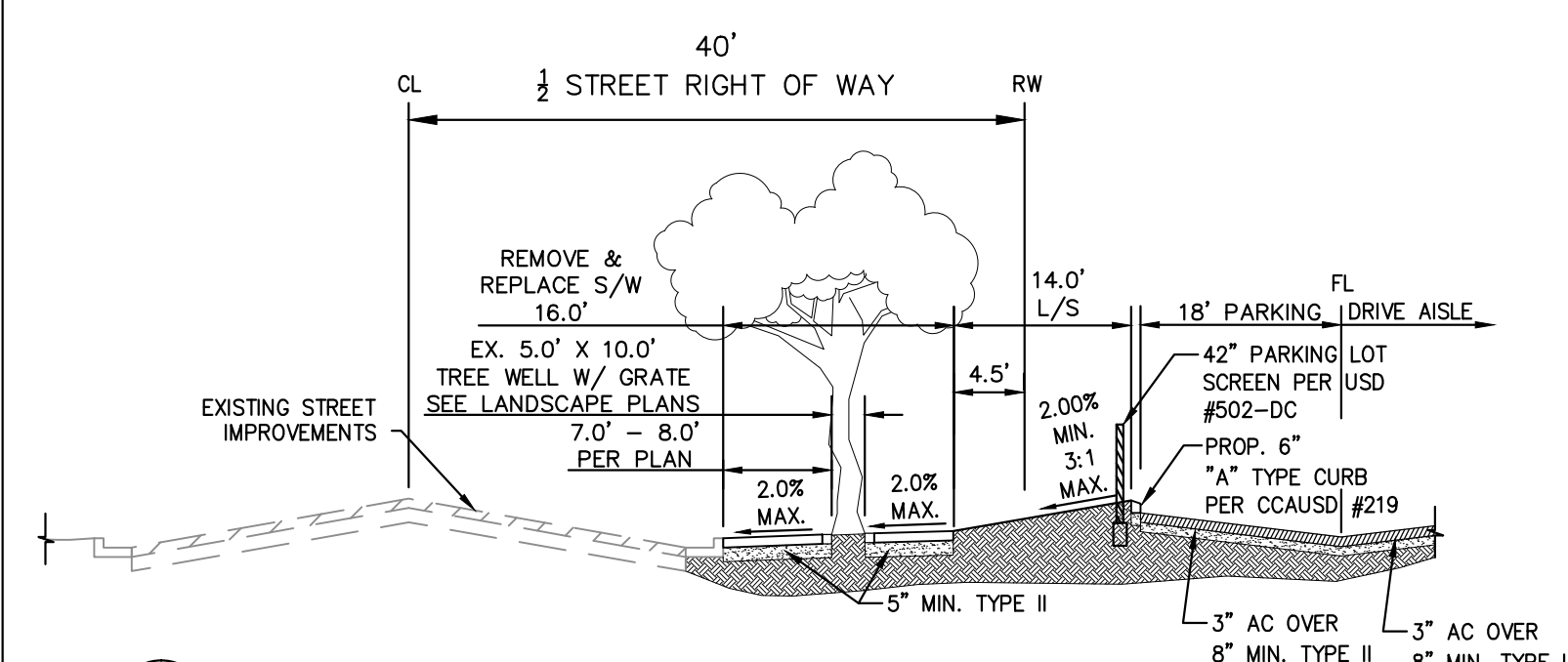
B STEWART AVENUE HALF STREET
C5 NOT TO SCALE



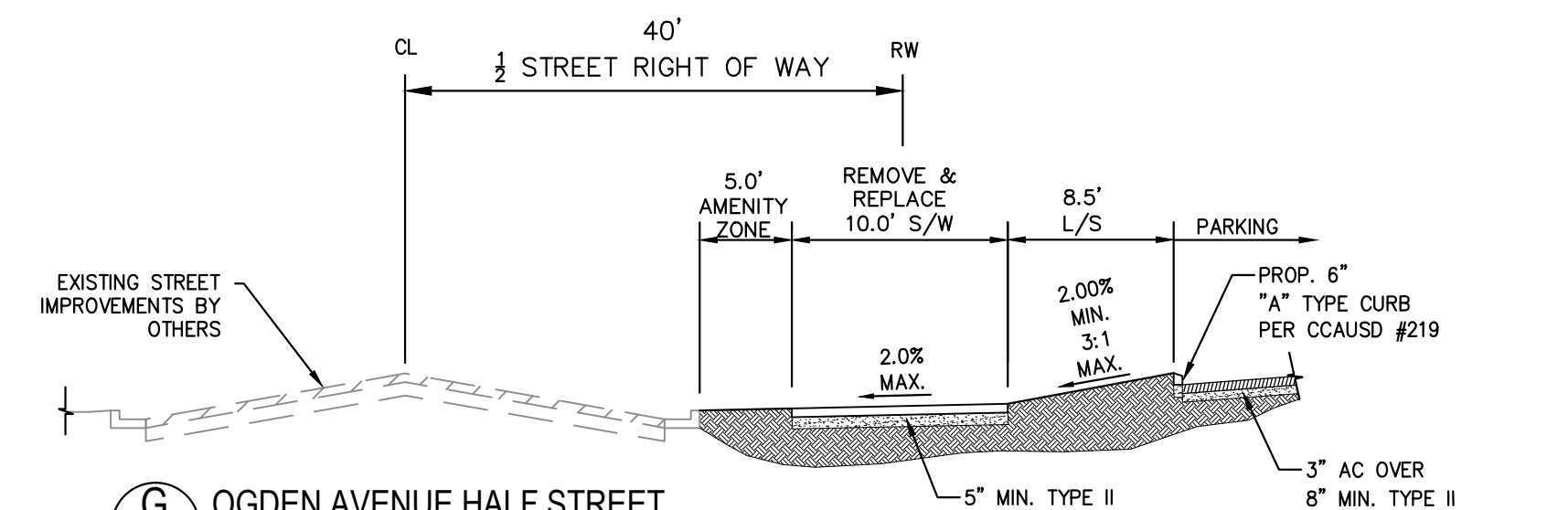
C 4TH STREET HALF STREET
C5 NOT TO SCALE



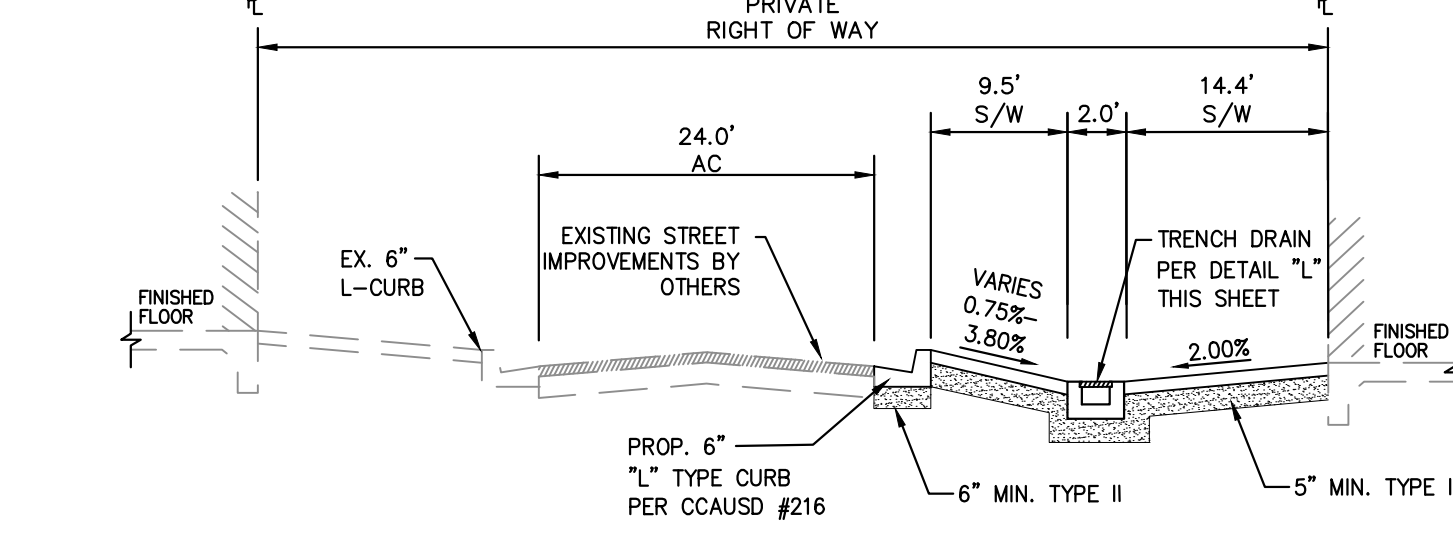
E 37' DRIVE AISLE/PORTECOCHERE
C5 NOT TO SCALE



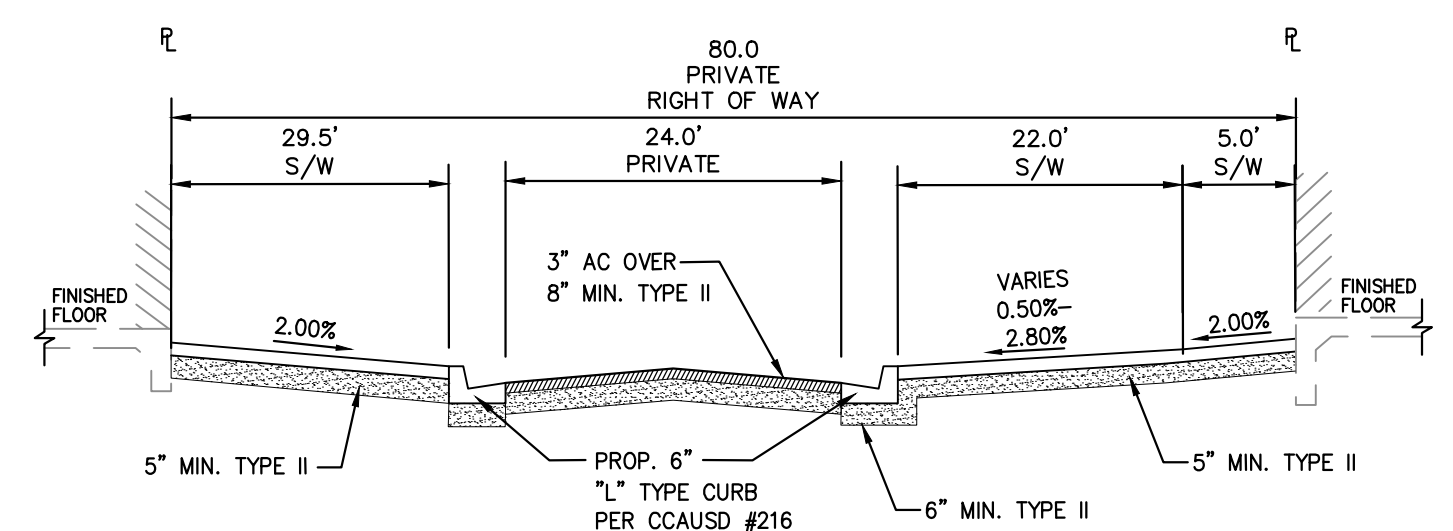
F 4TH STREET HALF STREET
C5 NOT TO SCALE



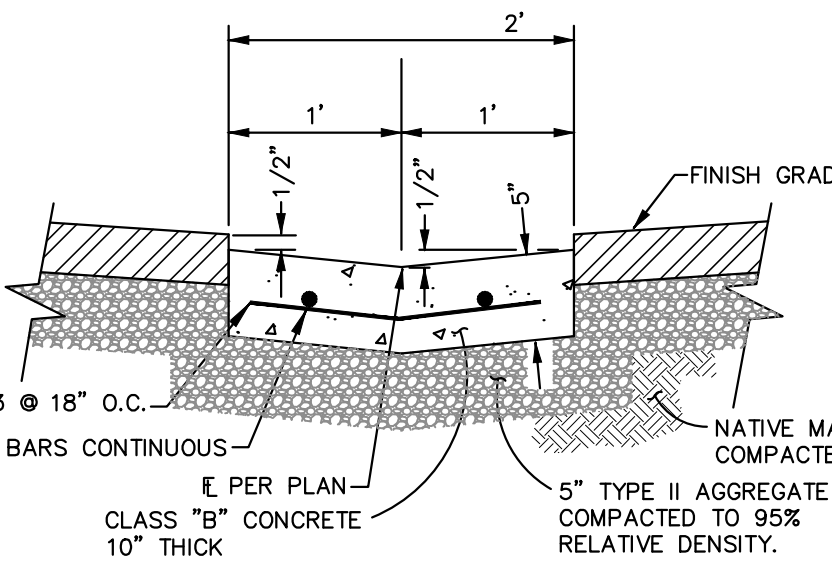
G OGDEN AVENUE HALF STREET
C5 NOT TO SCALE



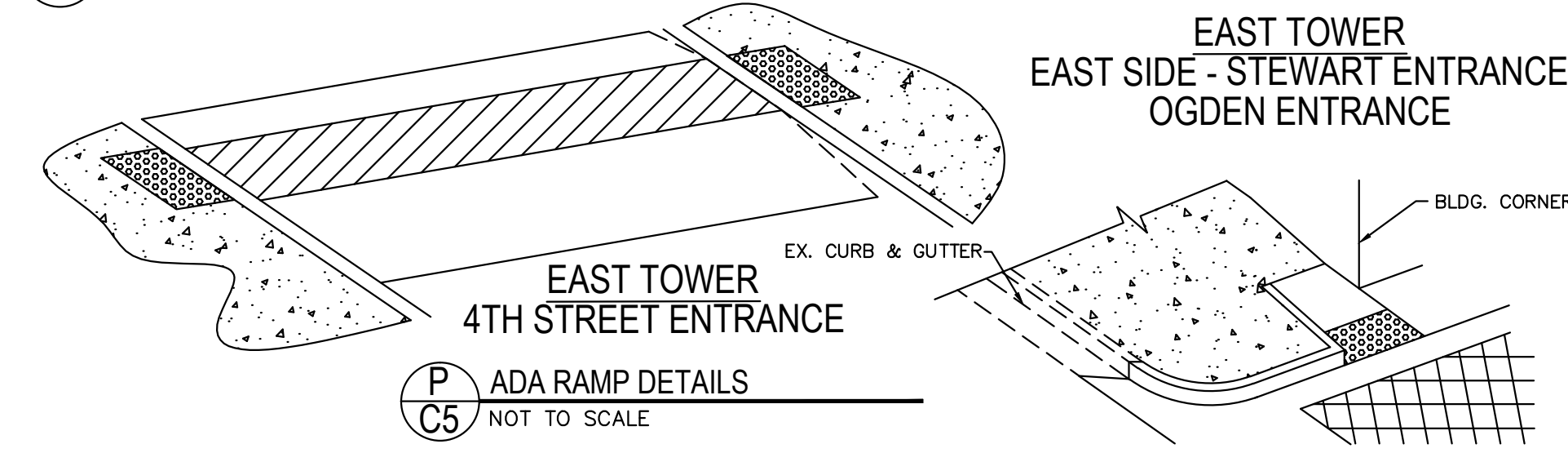
H EAST TOWER @ SOUTH 3RD STREET
C5 NOT TO SCALE



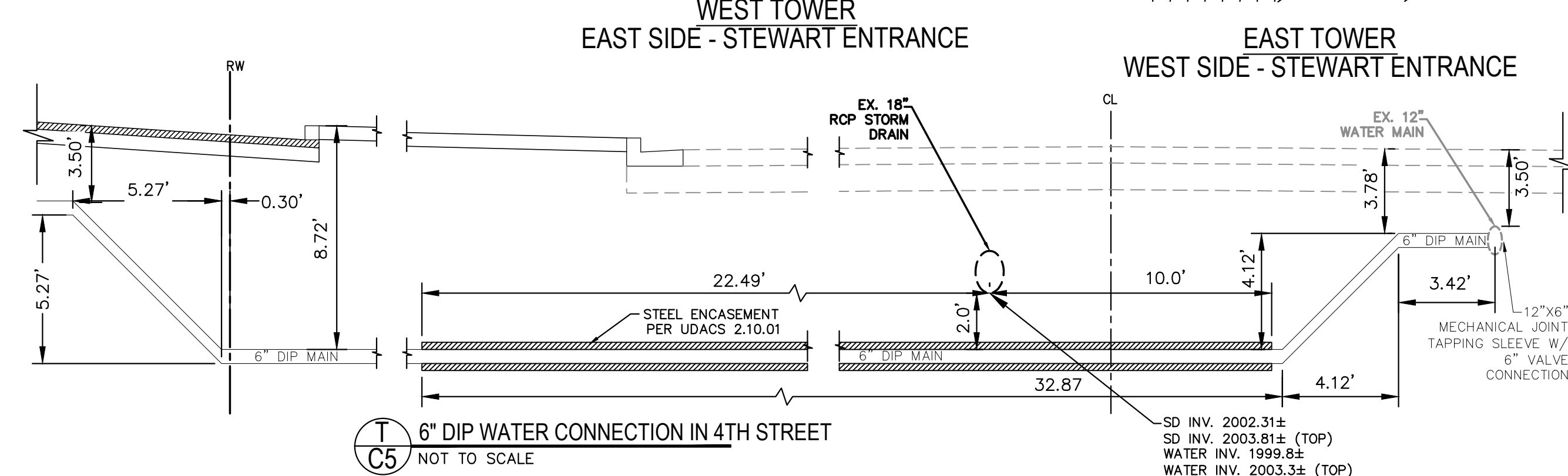
J 3RD STREET @ STEWART AVENUE
C5 NOT TO SCALE



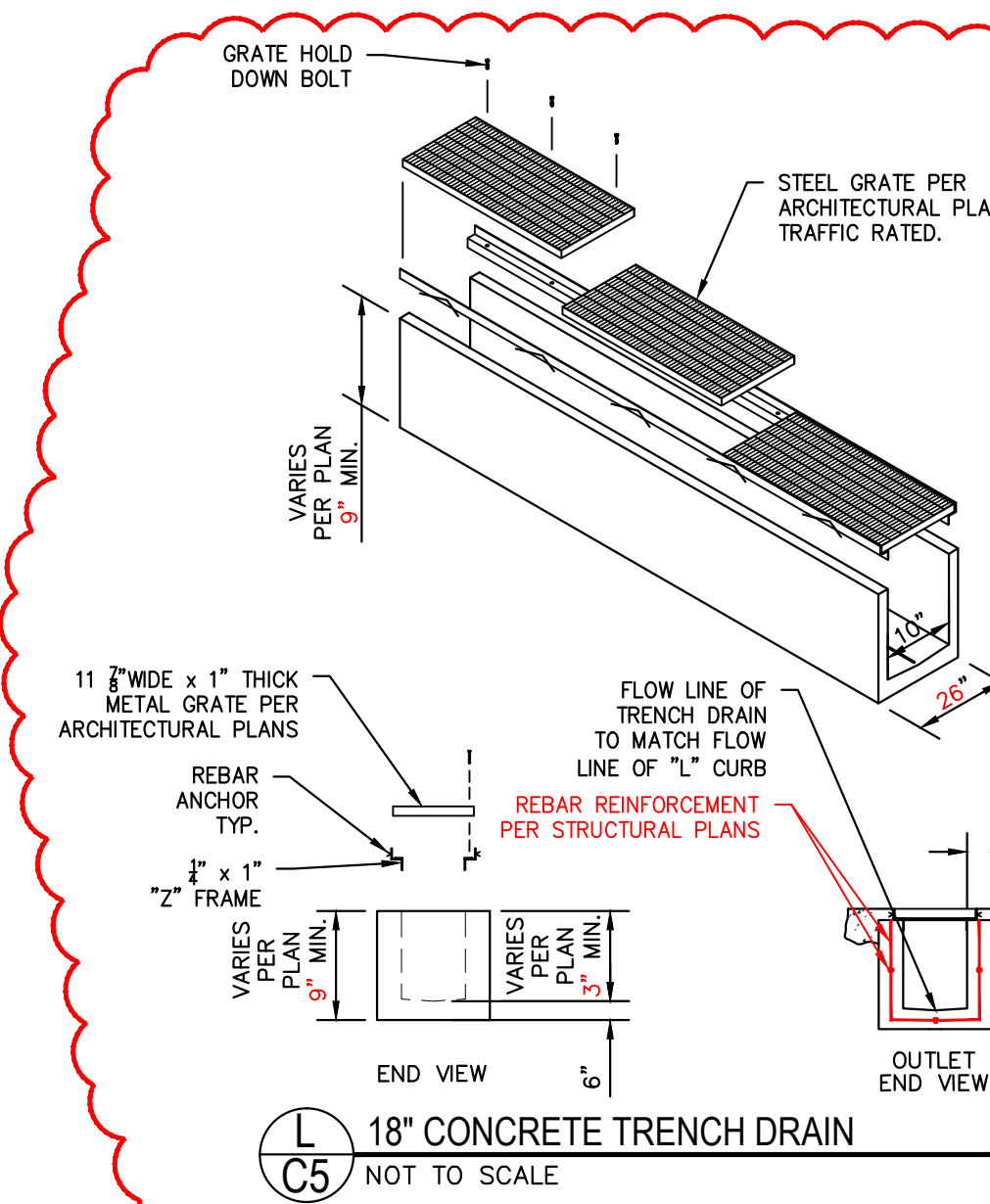
K 2' VALLEY GUTTER
C5 NOT TO SCALE



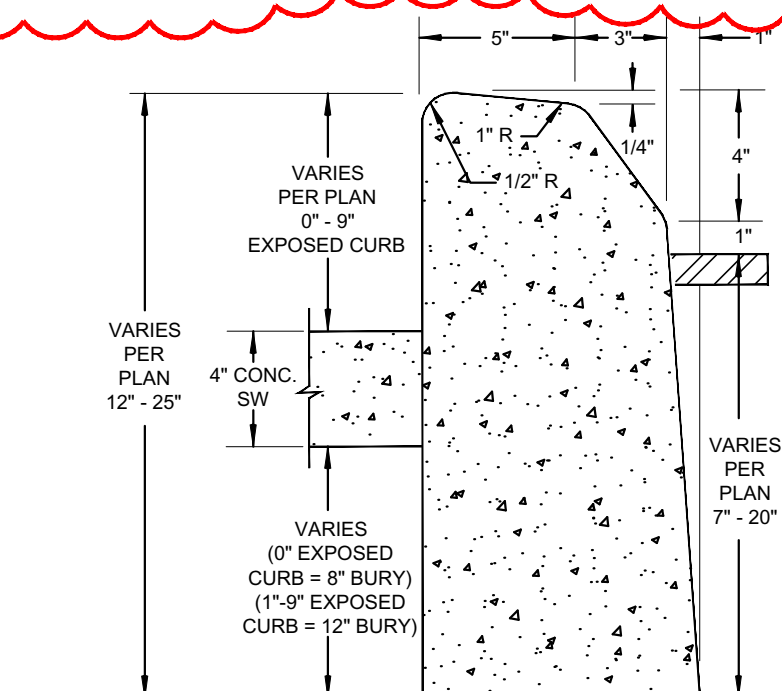
P ADA RAMP DETAILS
C5 NOT TO SCALE



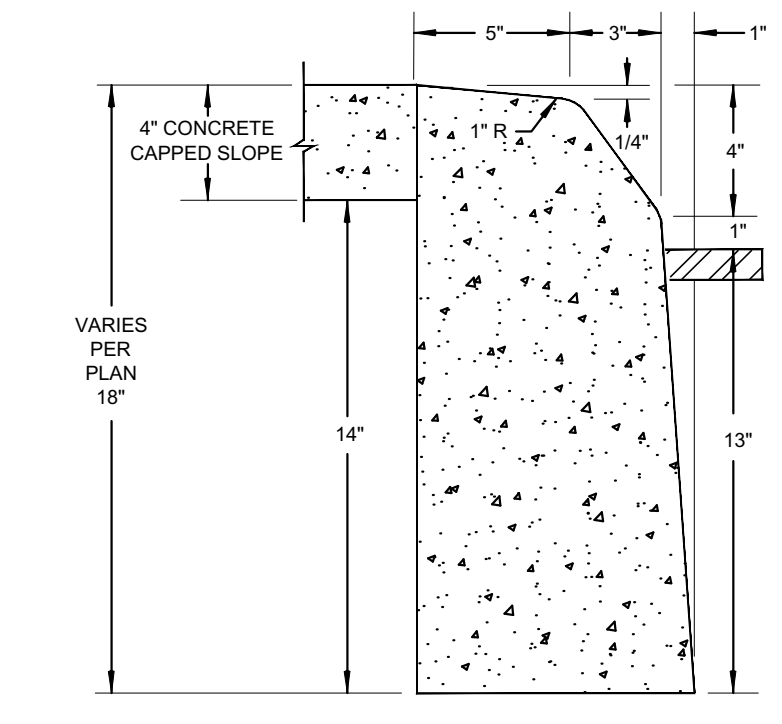
T 6' DIP WATER CONNECTION IN 4TH STREET
C5 NOT TO SCALE



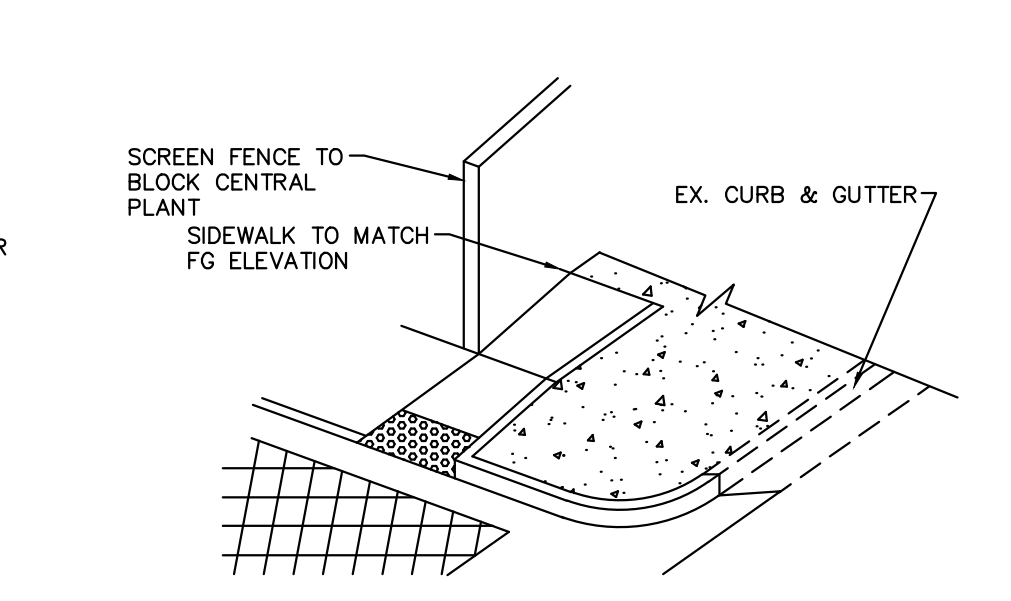
L 18' CONCRETE TRENCH DRAIN
C5 NOT TO SCALE



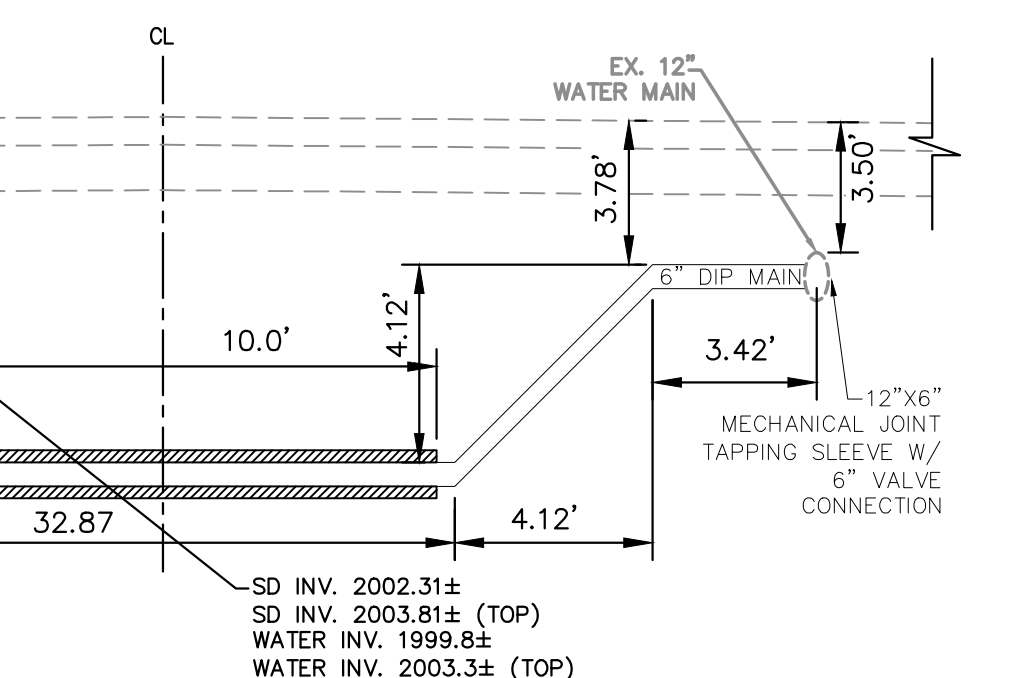
M MODIFIED "A" TYPE CURB (SIDEWALK)
C5 NOT TO SCALE



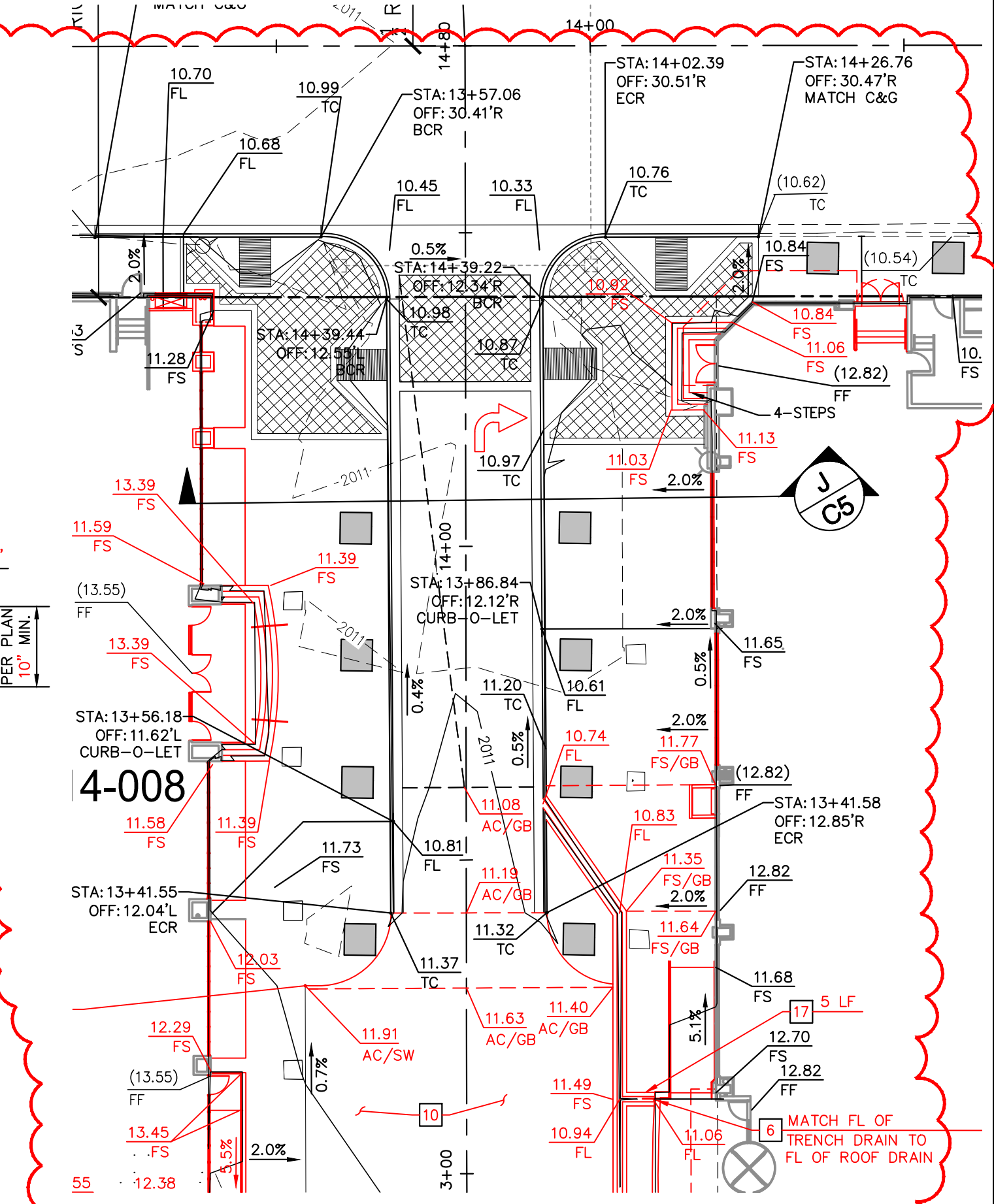
N MODIFIED "A" TYPE CURB (PARKING)
C5 NOT TO SCALE



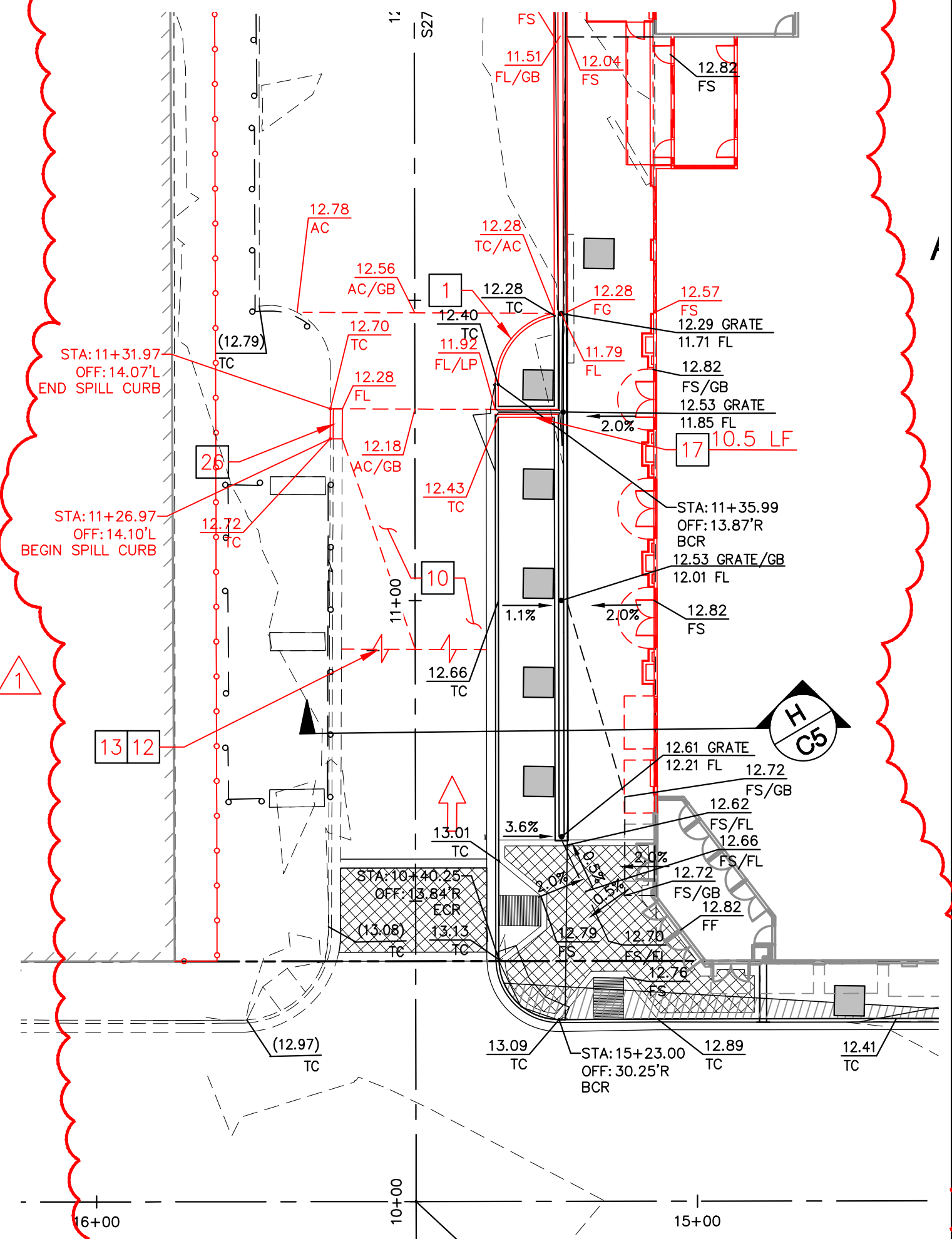
S EAST TOWER WEST SIDE - STEWART ENTRANCE
C5 NOT TO SCALE



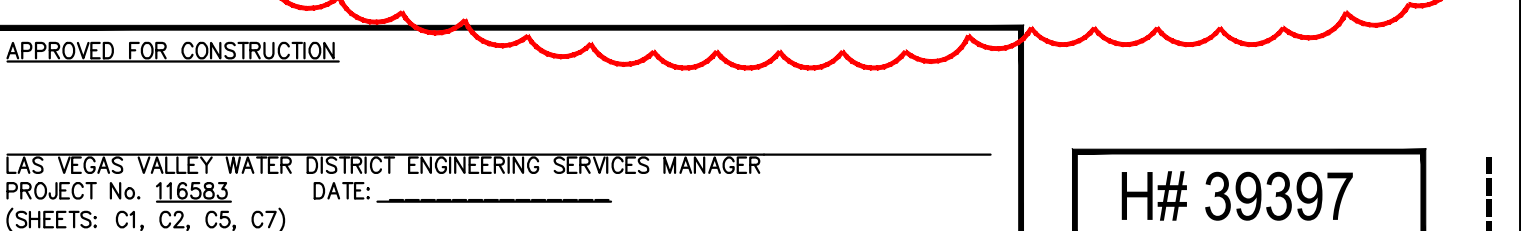
S EAST TOWER EAST SIDE - STEWART ENTRANCE
C5 NOT TO SCALE



R NORTH 3RD STREET
C5 SCALE: 1"=20'

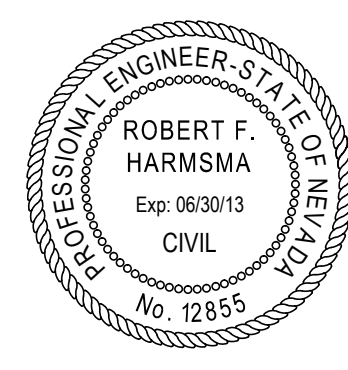


S SOUTH 3RD STREET
C5 SCALE: 1"=20'



S 4TH STREET HALF STREET
C5 NOT TO SCALE

#	DATE	DESCRIPTION
1	1/23/12	REVISED DETAILS & SECTIONS

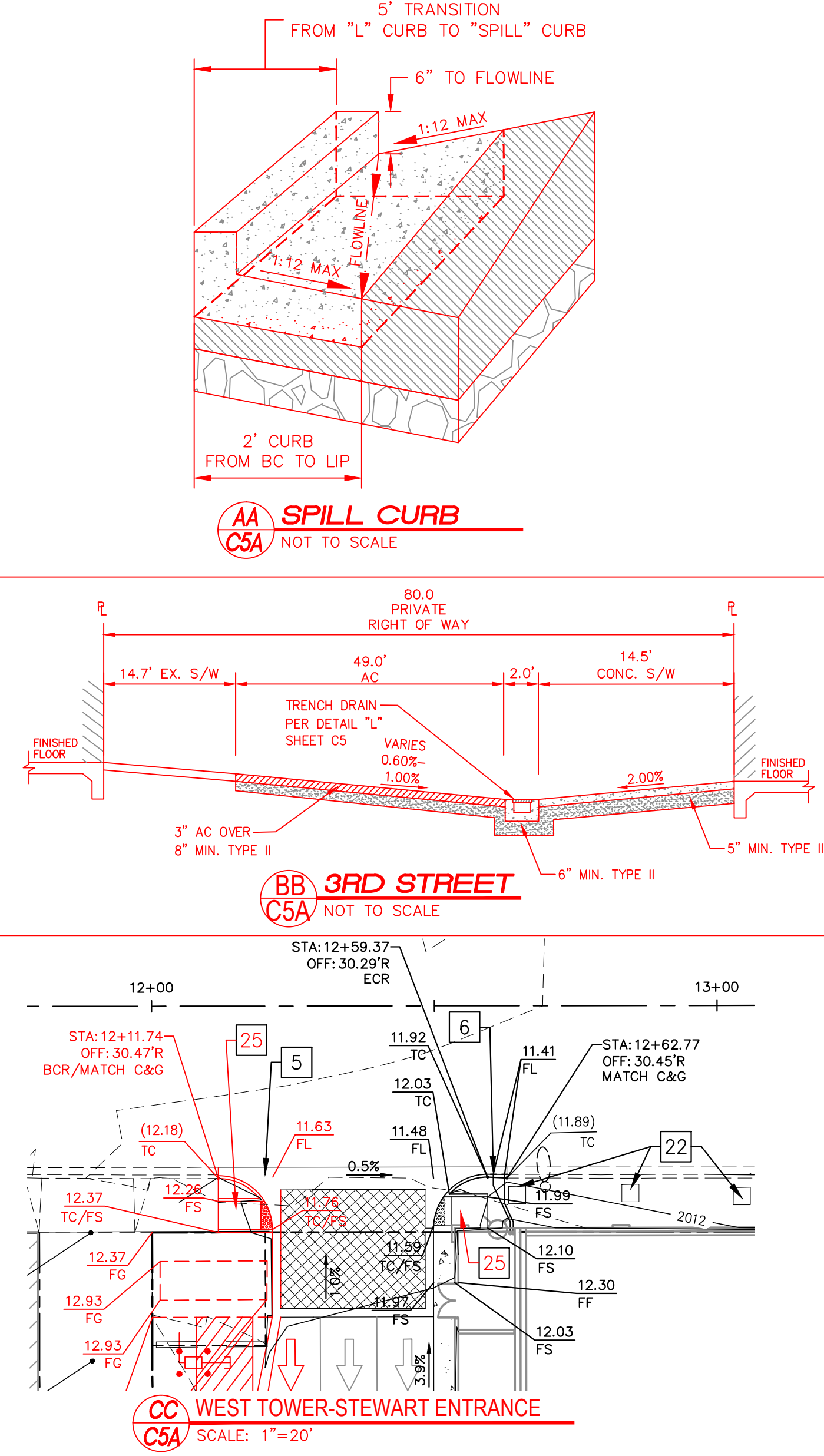
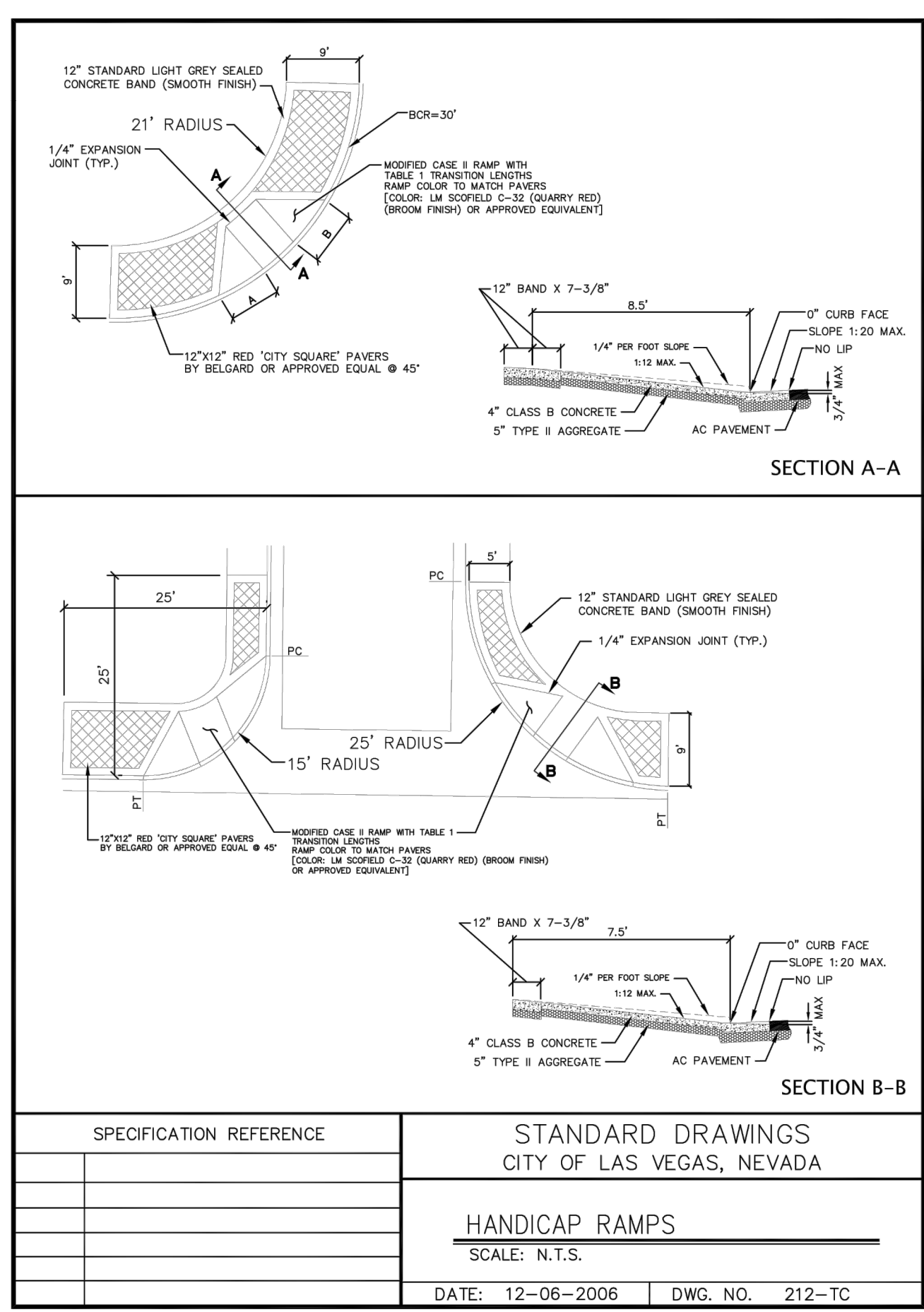
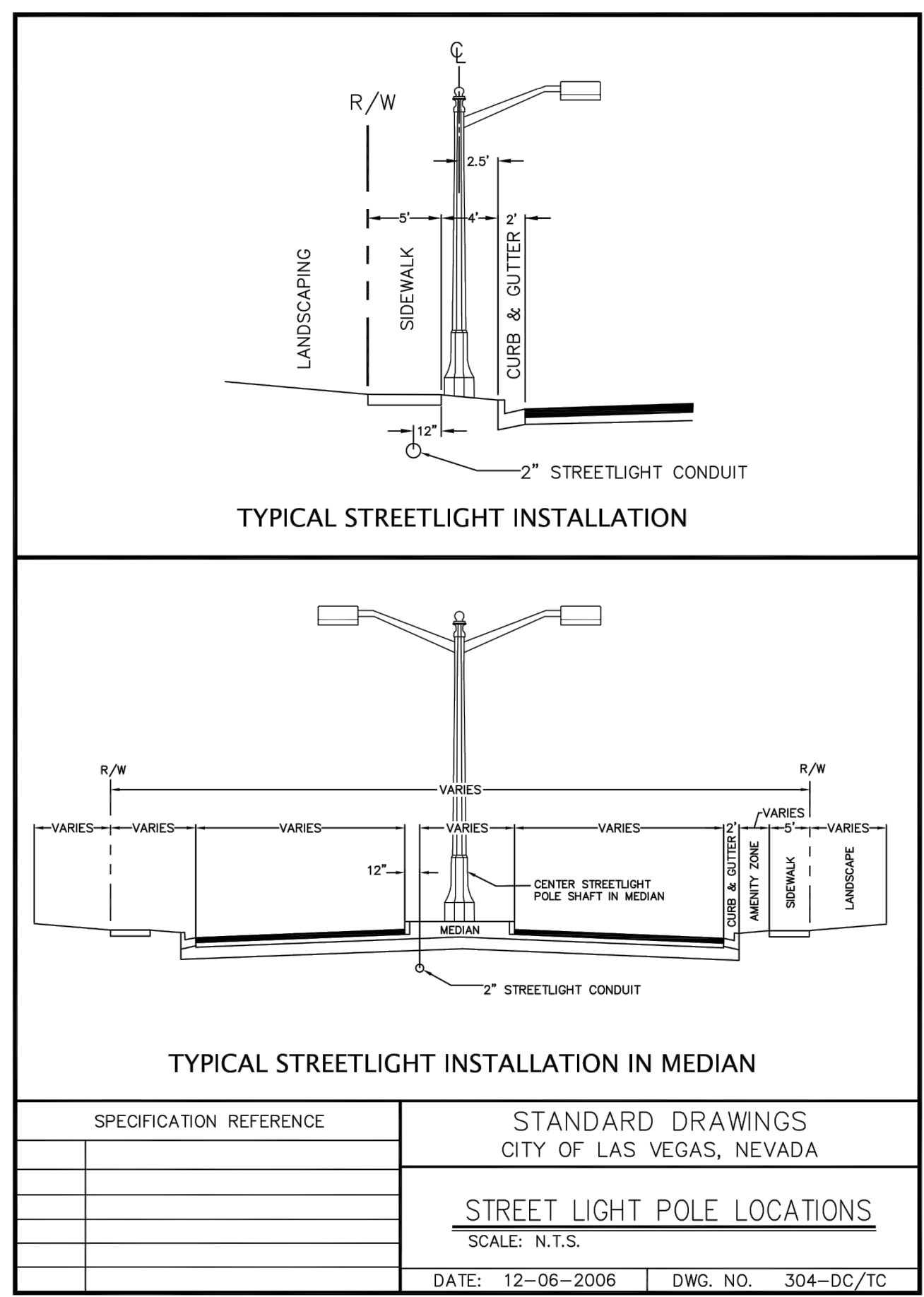
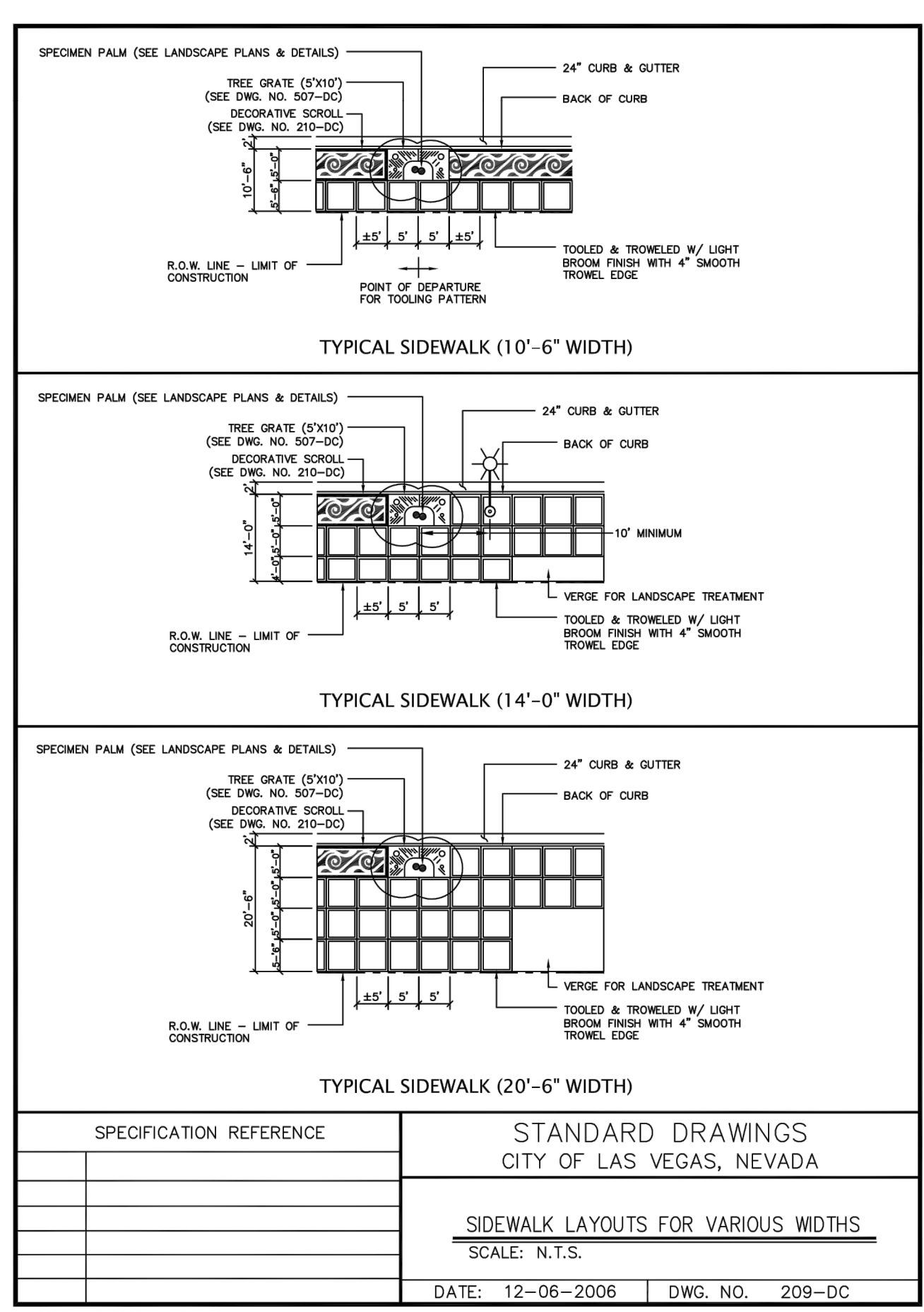
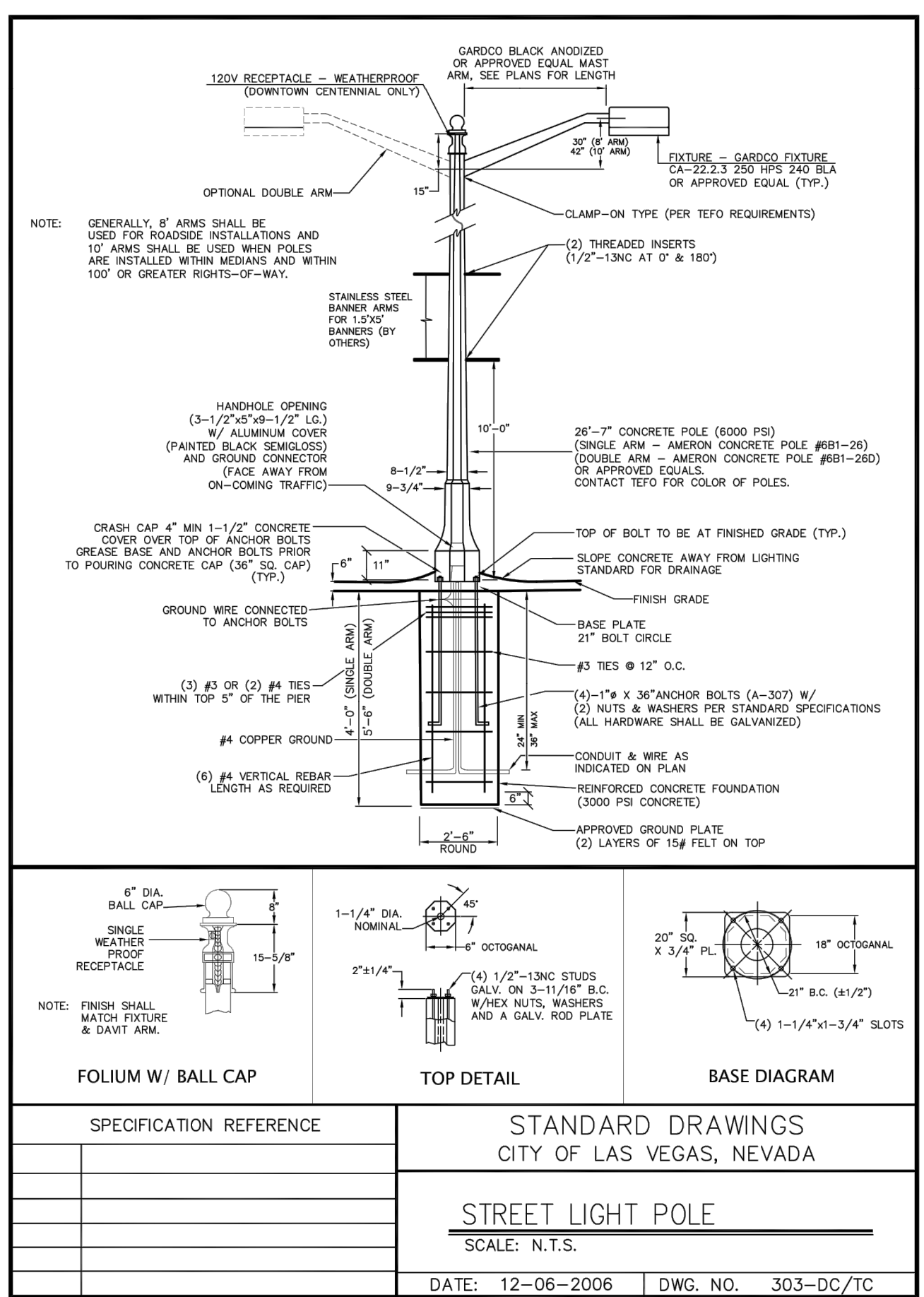
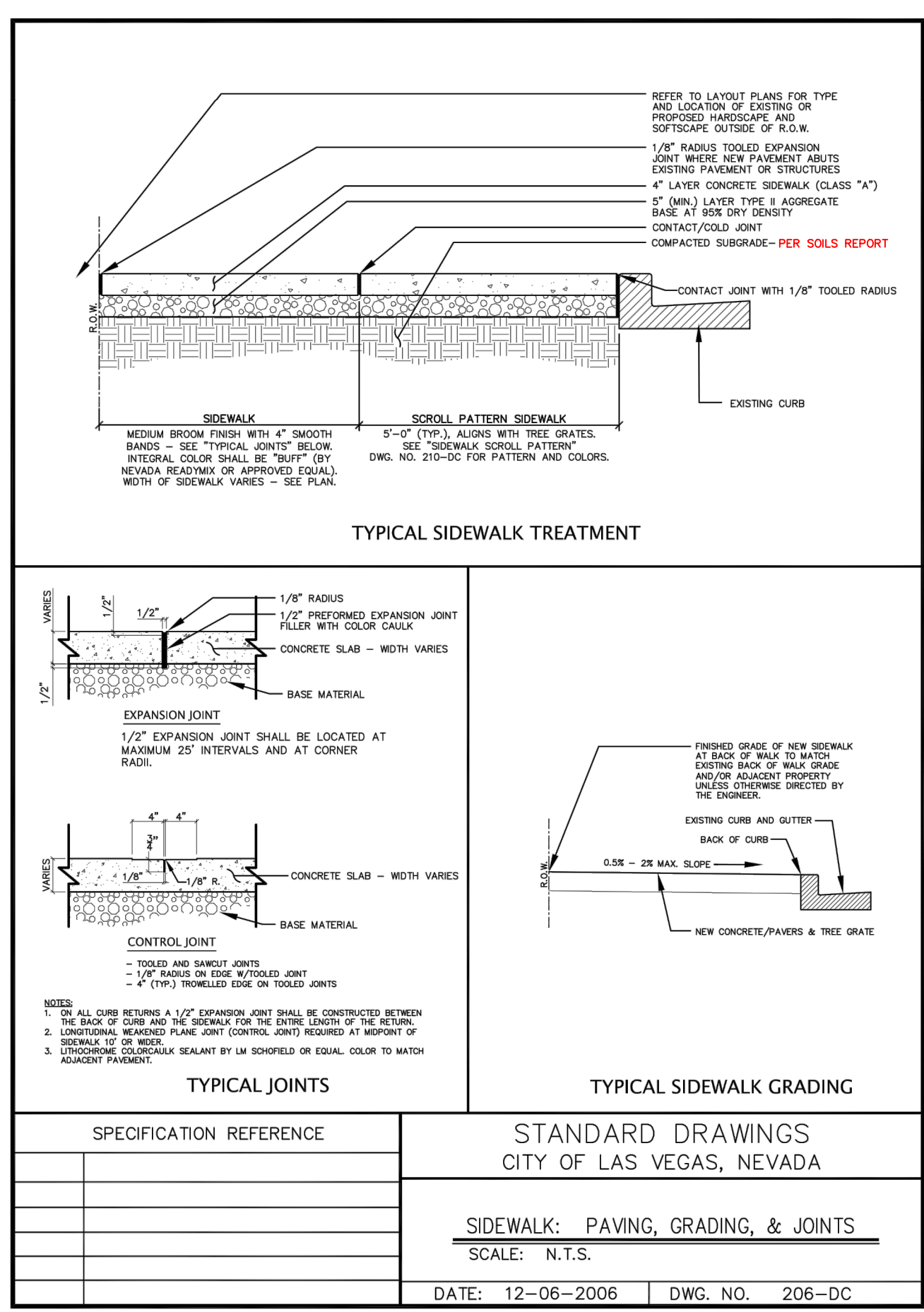
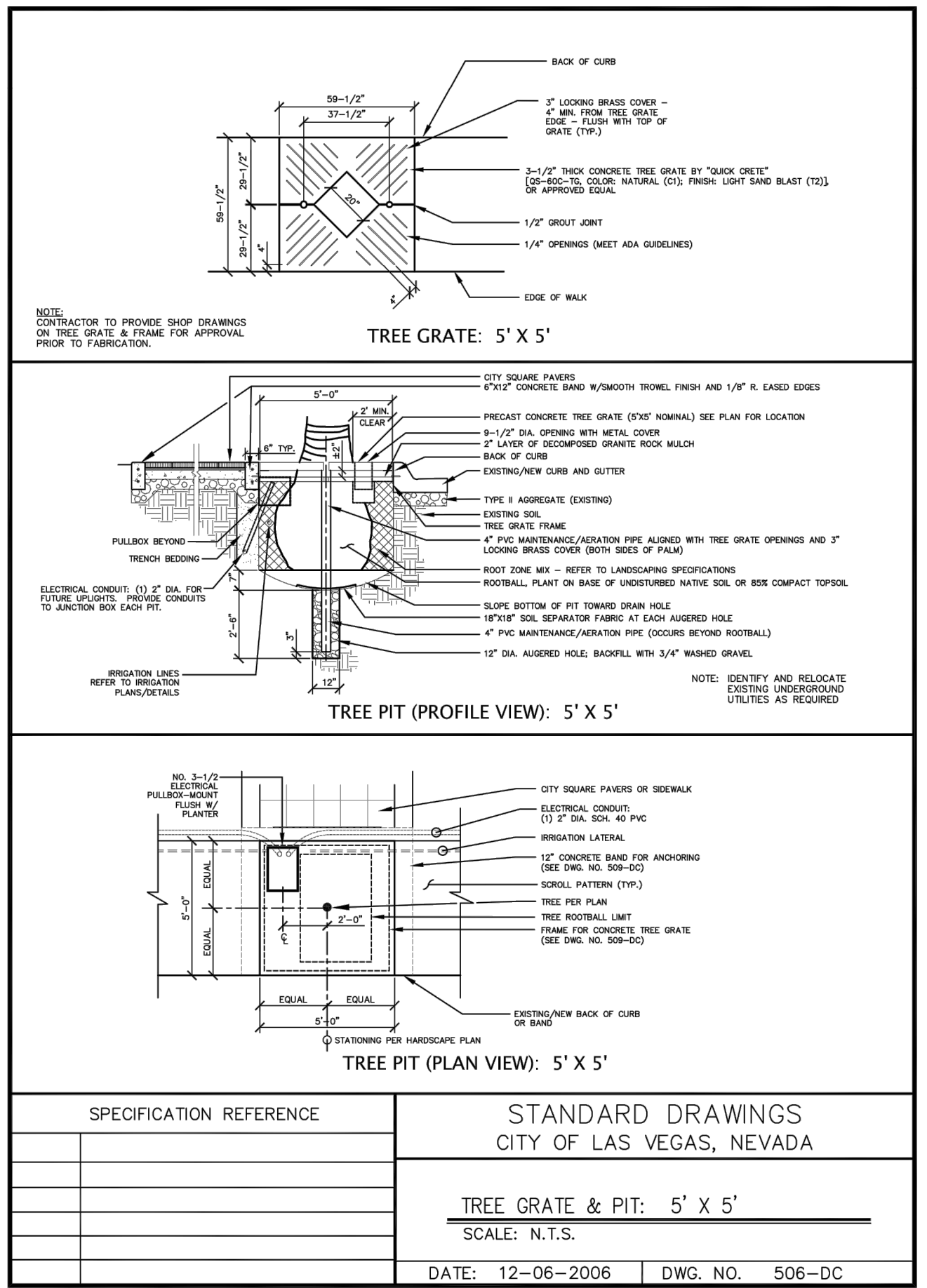
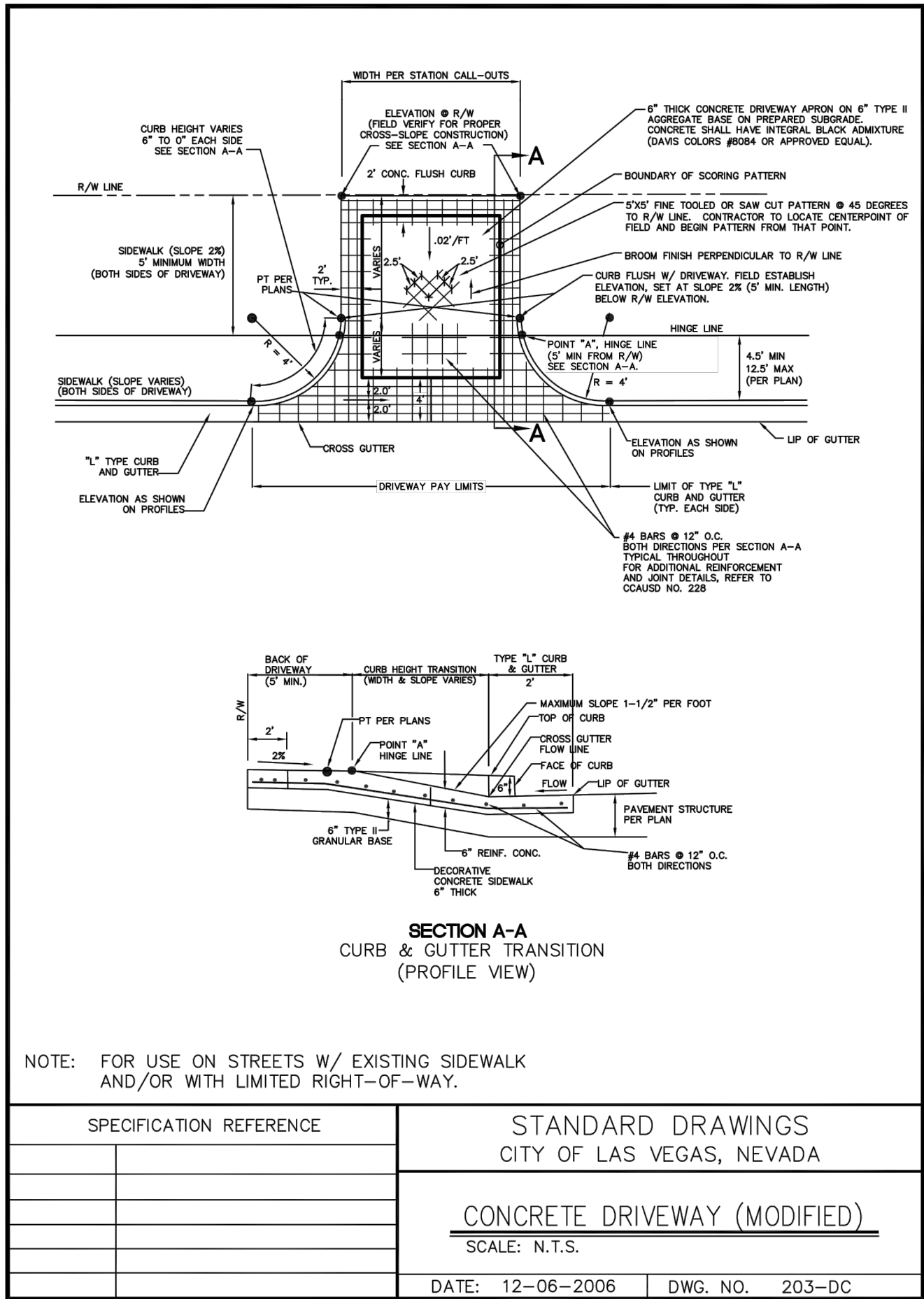


DATE	1/23/12
DRAWN	RAS
DESIGNED	RAS
CHECKED	DML
PROJECT #	3109349000

APPROVED FOR CONSTRUCTION

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
PROJECT No. 116583
DATE: _____
(SHEETS: C1, C2, C5, C7)

H# 39397



Cardno
WRG

LAS VEGAS
10649 JEFFREYS ST. HENDERSON NV 89052
TEL: (702) 960-4900 FAX: (702) 960-9005
WWW.CARDNOWRG.COM
PLANNERS - ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS

DETAILS - 2

LADY LUCK RENOVATION & EXPANSION

BRESLIN BUILDERS

CITY OF LAS VEGAS, NEVADA

BY	
DATE	12/23/12
DESCRIPTION	ADDED DETAIL SHEET C5A TO PLAN SET
#	

PROFESSIONAL ENGINEER-STATE OF NEVADA

ROBERT F. HARMSMA
Exp: 06/30/13
CIVIL
No. 12855

DATE	2011-05-12
DRAWN	RAS
DESIGNED	RAS
CHECKED	DML
PROJECT #	3109349000

DETAILS - 2

SHEET NUMBER

C5A

CLV DWG #