

DS #: 4552

APN: 138-32-312-005 & -011

PROJECT: Peccole Ranch Town center - Pahara Bread.

SUBMITTAL: 1st

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____





CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		April 4, 2012
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	Drainage Study for:	COPIES TO:
	Peccole Ranch Town Center – Panera Bread	VTN, Nevada
Cross Streets:	NEC of Charleston Blvd. & Rampart Blvd.	Charleston Associates, LLC
File Number:	F:\Depot\DSMemos\DS4552.doc	Bart Anderson, P.E., DevCo
Parcel Number:	138-32-312-005 & -011	
Zoning Action:	SDR-44753	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Payment Trn #
1 st Submittal	3/22/2012	4/4/2012	See Comments Below	\$100.00	278428: \$100
			TOTAL FEES (LDDRS):	\$100.00	----

REMARKS:

1st Submittal: Update to add 11-parking spaces along the west wall of Retail Building #8

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END (
ays

Post-it® Fax Note	7671	Date	4/4/12	# of pages	1
To	Brian Ruiz	From	Albert Sung		
Co./Dept.	VTN	Co.	CLV		
Phone #		Phone #	229-2001		
Fax #	362-2597	Fax #			

T/R/S: T20S/R60E/32
AREA L32

**UPDATE #11 TO THE
TECHNICAL DRAINAGE STUDY
FOR PECCOLE RANCH TOWN CENTER
(PANERA BREAD)**

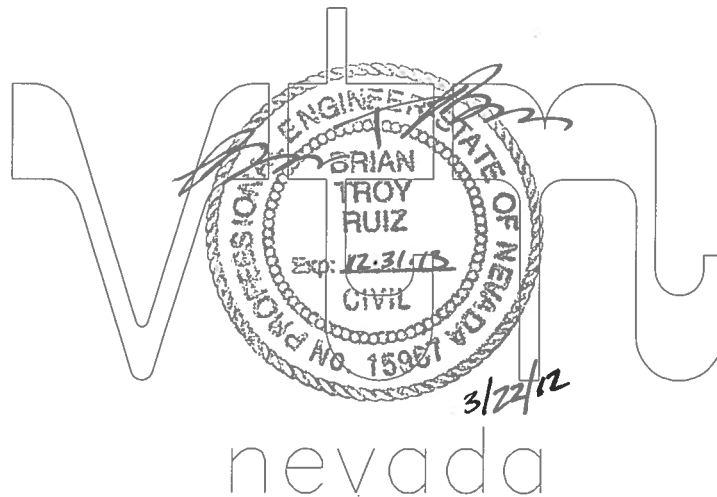
**CITY OF LAS VEGAS, NEVADA
W.O. # 7418**

Prepared for:

CHARLESTON ASSOCIATES, LLC

Submitted to:

**PUBLIC WORKS DEPT.
CITY OF LAS VEGAS, NEVADA**



HYDROLOGIC CRITERIA AND DRAINAGE MANUAL
DRAINAGE STUDY INFORMATION FORM

Name of Development: Peccole Ranch Town Center (Panera Bread) Date: March 21, 2012
Location of Development: a) Descriptive (Cross Streets) North/South: Rampart Boulevard
East/West: Alta Drive
b) Section: 32 Township: 20S Range: 60E
c) APN : 138-32-312-005,011

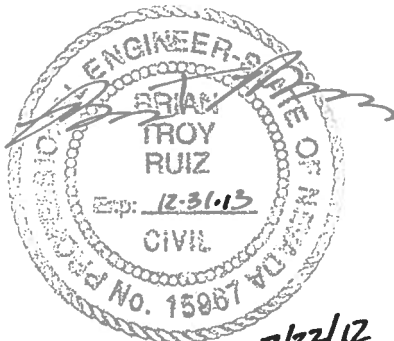
Name of Owner: Charleston Associates, LLC
Telephone No.: (702) 430-5800 Fax No.: (702) 430-5834 E-Mail Address: _____
Address: 9440 W. Sahara Avenue, Suite 240, Las Vegas, NV, 89117

Contact Person-Name: Brian Ruiz Telephone No.: (702) 873-7550
* E-Mail Address: brianr@vtnnv.com Fax No.: (702) 362-2597
Firm: VTN Nevada
Address: 2727 S. Rainbow Boulevard, Las Vegas, NV, 89146

Type of Land Development/Land Disturbance Process:

☐ Rezoning	☐ Subdivision Map	☐ Clearing and Grading Only
☐ Parcel Map	☐ Planned Unit Development	☐ Other (Please specify below)
☐ Large Parcel Map	☒ Building Permit	

1. Total Owned Land Area: At Site: 96 +/- acres Being Developed/Disturbed: 0.1 +/- acres
2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No
3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☒ Yes** ☐ No
4. Proposed type of development (Residential, Commercial, Etc.): Commercial
5. Approximate upstream land area which drains to the subject site: 54 +/- miles
6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Technical Drainage Study for Peccole Town Center, Addenda and Updates, prepared by VTN Nevada
7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: 60-inch RCP under Alta Drive and Rampart Boulevard
8. Briefly describe your proposed schedule for the subject project: As Soon As Possible



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

***New Required Field**

****Review and concurrence of the Clark County Regional Flood Control District is required.**

Local Entity File No.	Revision	Date

REFERENCE:

STANDARD FORM 1

March 23, 2012
W.O. # 7418

City of Las Vegas
Department of Public Works
731 South Fourth Street
Las Vegas, Nevada 89101

Attention: Mr. Oh Sang Kwon, P.E.
Flood Control Project Manager

**SUBJECT: UPDATE #11 TO THE TECHNICAL DRAINAGE STUDY FOR:
PECCOLE RANCH TOWN CENTER (PANERA BREAD)**

This Update #11 to the approved Technical Drainage Study for Peccole Ranch Town Center is being submitted to address the following revisions:

- The addition of 11 new parking spaces adjacent to the west side of existing retail building 8.
- The addition of an outdoor patio area north of retail building 7 (Panera Bread).

The proposed parking improvements are within an existing 30-ft drive lane between retail building 7 and retail building 8. The proposed parking spaces will provide parking along the frontage of retail building 7. The west side of retail 8 building currently contains a 30-foot drive, and 15-foot common area with a 10-foot landscape buffer and a 5-ft sidewalk. The new parking spaces will replace portions of the landscape buffer and the sidewalk that will be removed from this area. There are three existing drop inlets within the revised area that will remain in place. These inlets currently are adjacent to the curb and gutter along retail building 8. Since the curb and gutter will be removed and relocated further east, a 2-foot concrete valley gutter will be constructed to route flows to the inlets in a similar manner as the curb and gutter.

The proposed revised parking area currently contains 2486 square feet of pervious landscape area. After the proposed revisions, the landscape area is reduced to 1863 square feet. The difference of 623 square feet is the additional impervious area that will be added due to the revisions. This additional pervious area is less than 1/70 of an acre and should have no significant impact to flow quantities generated in the area.

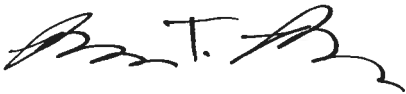
The proposed outdoor patio area to the north of retail building 7 is currently existing parking with asphalt paving. Therefore, the proposed outdoor patio will not increase the impervious area and will not increase flows from the current condition.

The proposed revisions are located in basin 4 of the referenced Drainage Basin Map Exhibit A from the approved Peccole Ranch Town Center study. A copy of the reference Drainage Basin Map Exhibit A has been provided in the appendix. There are no changes to drainage patterns proposed with this update.

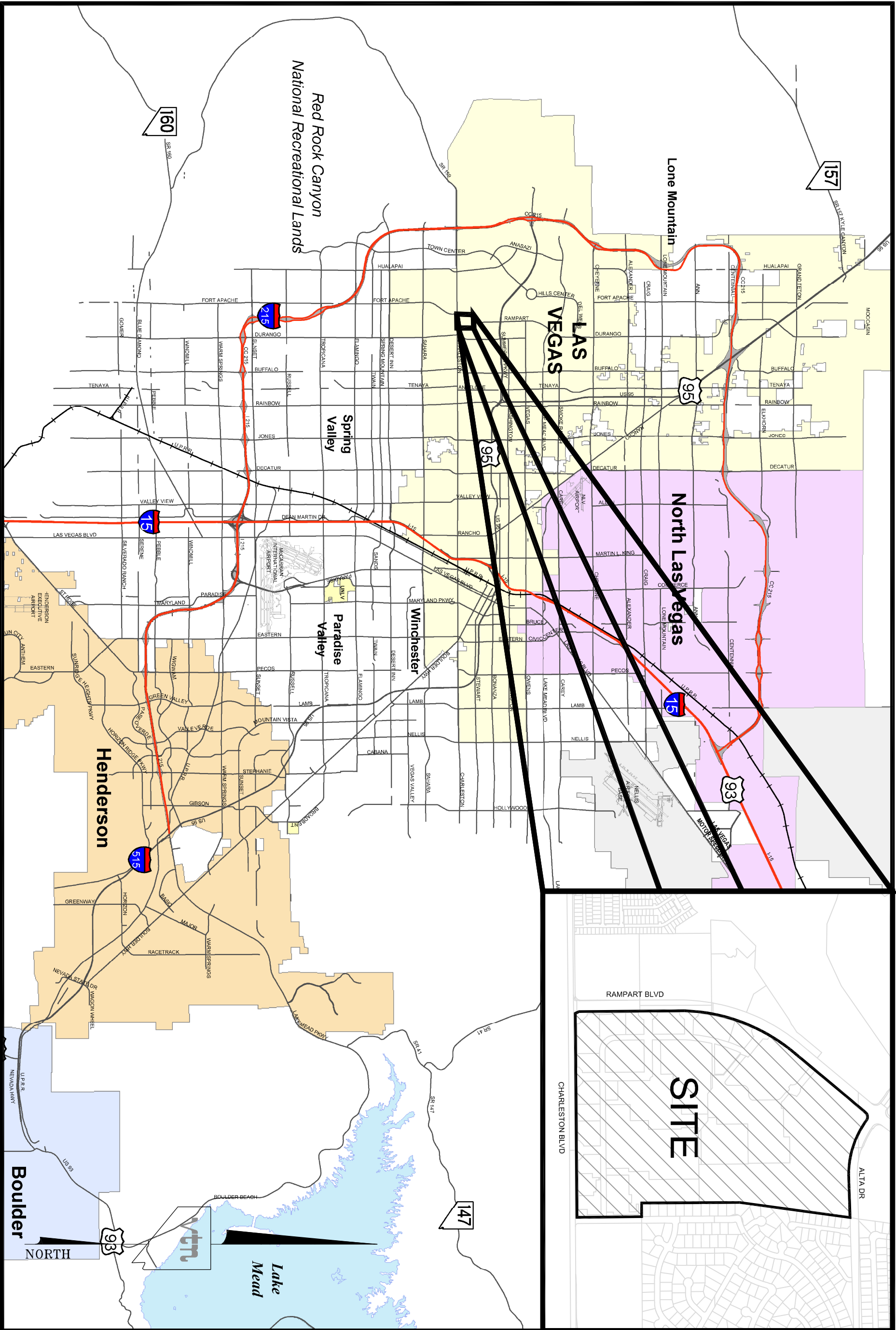
Copies of the old grading plans clouded to show the location of the revisions and copies of the proposed plans have been included in the back of this update. Also, a copy of the zoning/planning conditions and the most current approval letter from CLV is included in the appendix.

Respectfully Submitted,

VTN Nevada

A handwritten signature in black ink, appearing to read 'B.T. Ruiz', with a stylized flourish at the end.

Brian T. Ruiz, P.E.
Principal

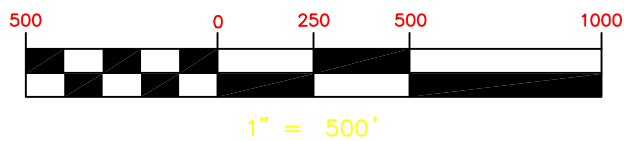


PECCOLE TOWN CENTER
VICINITY MAP
FIGURE 1

W.O.#:	7222
DATE:	11/2009
BY:	SDB
SCALE:	N.T.S.
SHEET	X OF X



GRAPHIC SCALE



vtm nevada

2727 S. RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148

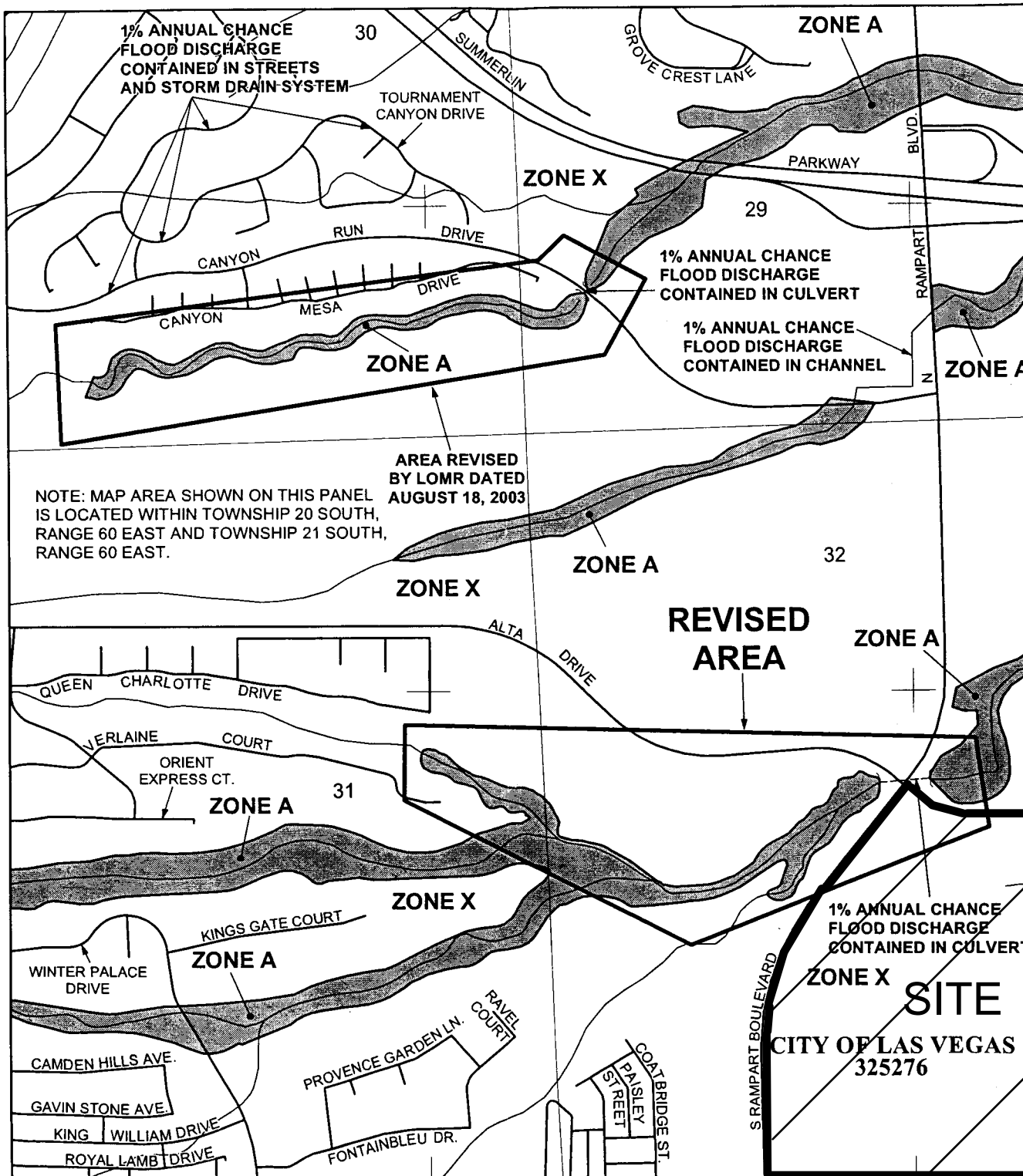
PROJECT:

PECCOLE TOWN CENTER

FOR:

SITE DESCRIPTION MAP FIGURE 2

SCALE	HORIZ.	1" = 500'
	VERT.	N/A
W.O. NO.		7222
DRAWN BY:		SDB
DATE:		11/2009
SHEET	X	OF X

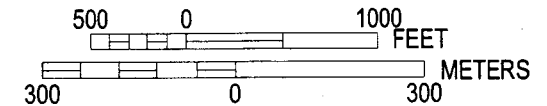


Legend

-  1% annual chance (100-Year) Floodplain
-  1% annual chance (100-Year) Floodway
-  0.2% annual chance (500-Year) Floodplain



MAP SCALE 1" = 1000'



NFP

PANEL 2145E

FIRM FLOOD INSURANCE RATE MAP

CLARK COUNTY,
NEVADA
AND INCORPORATED AREAS

PANEL 2145 OF 4090
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
COMMUNITY NUMBER PANEL SUFFIX
CLARK COUNTY, NEVADA 32003C2145 E
UNINCORPORATED AREAS 325276

**REVISED TO
REFLECT LOMR
EFFECTIVE SEP 21 2006**

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
32003C2145 E
MAP REVISED
SEPTEMBER 27, 2002

Federal Emergency Management Agency



2008
LAS VEGAS VALLEY
FLOOD CONTROL
MASTER PLAN UPDATE

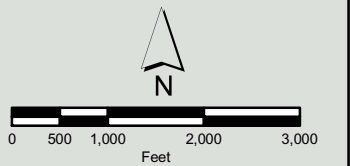
**FIGURE F-30
FLOOD CONTROL FACILITIES**

LEGEND

- Ultimate Development Boundary
- Existing Facilities
- Category A Proposed Facilities
- Category B Proposed Facilities
- Local Existing Facilities
- Local Proposed Facilities
- Detention Basin
- Culvert or Bridge Crossing
- Stormdrain
- Lined Channel
- Unlined Channel
- Levee/Dike
- Natural Wash/Floodway
- ID-Mile Separator

Remove & Replace/Parallel Facilities

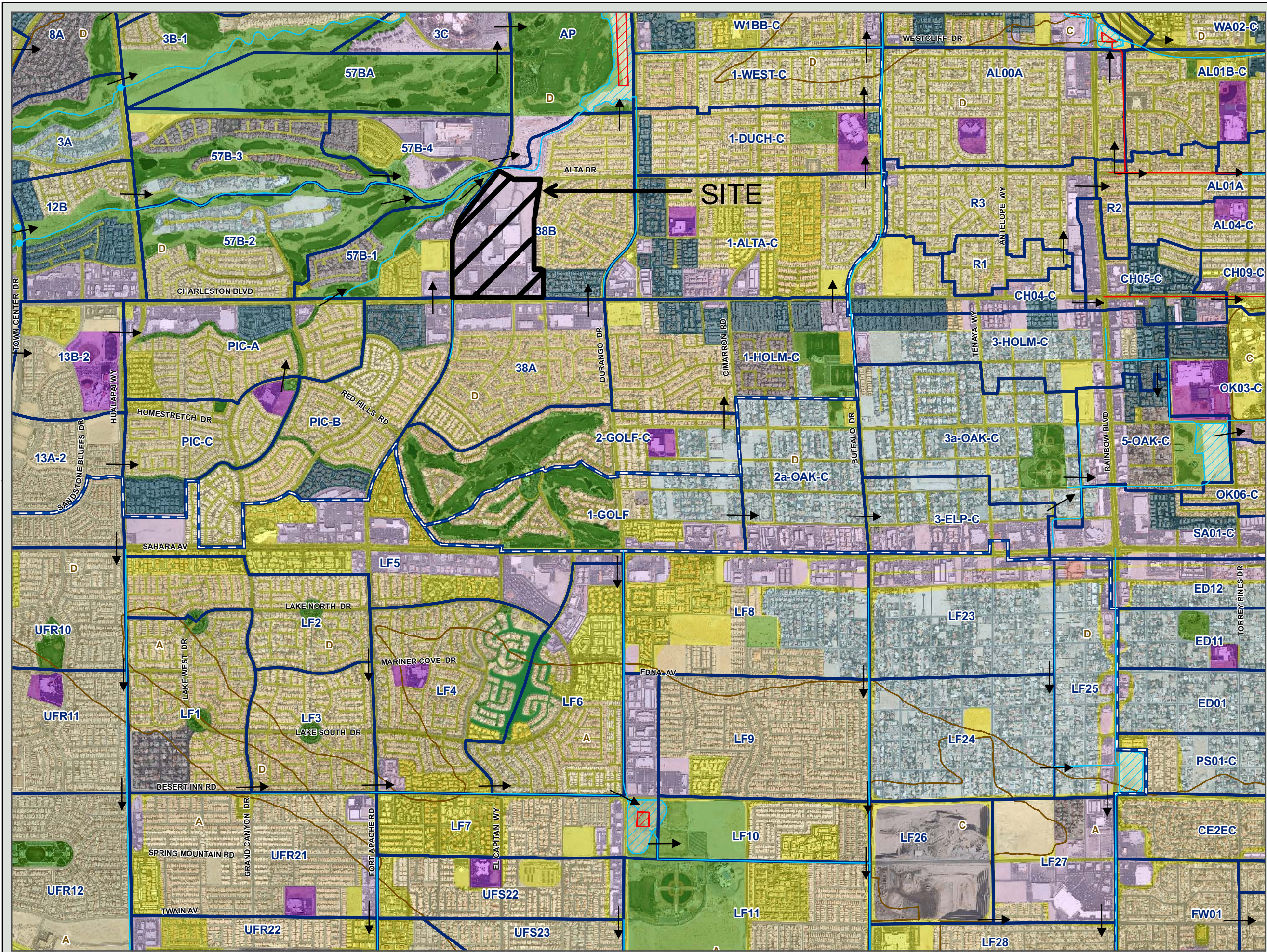
- | Category A | Category B |
|------------|------------|
| Channel | Channel |
| Stormdrain | Stormdrain |
| Crossing | Crossing |



Refer to Figure G-2 for Aerial Source(s)

US95																								
1	2	3																						
4	5	6																						
			7	8	9	10																		
11	12	13	14	15	16	17																		
18	19	20	21	22	23																			
24	25	26	27	28																				
29	30	31	32	33	34																			
35	36	37	38	39	40																			
41	42	43	44	45	46																			
47	48	49	50	51	52																			
53	54	55	56																					
57	58	59																						

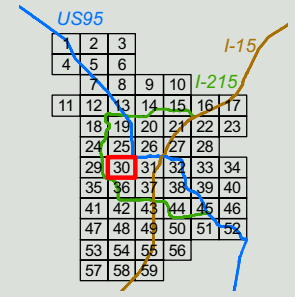




2008
LAS VEGAS VALLEY
FLOOD CONTROL
MASTER PLAN UPDATE

FIGURE H- 30
HYDROLOGIC SUMMARY

- LEGEND**
- Ultimate Development Boundary
 - Watershed Boundary
 - Subbasin Boundary
 - Drought Ordinance Boundary
 - Flow Arrows
- Flood Control Facilities**
- Existing Facilities
 - Category A Proposed Facilities
 - Category B Proposed Facilities
 - Category A Remove & Replace/ Parallel Facilities
 - Category B Remove & Replace/ Parallel Facilities
- Type Hydrologic Soil Groups**
- A Low Runoff Potential
 - B Moderately Low Runoff Potential
 - C Moderately High Runoff Potential
 - D High Runoff Potential/Rock Outcrops
- Typical Land Use**
- 1 Undeveloped Land, Open Desert
 - 2 Parks, Golf Courses
 - 3 Rural
 - 4 / 14* Low Density Residential
 - 5 / 15* Medium Density Residential
 - 6 / 16* High Density Residential
 - 7 / 17* Public Facility, Residential
 - 8 / 18* Very High Density Residential
 - 9 / 19* Commercial, Retail, Casino, High Rise Condominiums
 - 10 / 20* Light Industrial
 - 11 / 21* Heavy Industrial
 - 12 / 22* Schools
 - 13 Lakes
- * Drought Ordinance Applied
- 0 500 1,000 2,000 3,000 Feet
Scale: 1 inch = 2,000 feet
Refer to Figure G-2 for Aerial Source(s)



NOTES

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

MAP LEGEND

PARCEL BOUNDARY

SUB BOUNDARY

PM/LD BOUNDARY

ROAD EASEMENT

MATCH / LEADER LINE

HISTORIC LOT LINE

HISTORIC SUB BOUNDARY

HISTORIC PM/LD BOUNDARY

SECTION LINE

CONDOMINIUM UNIT

AIR SPACE PCL

RIGHT OF WAY PCL

SUB-SURFACE PCL

ASSESSOR'S PARCELS - CLARK CO., NV.

Michele W. Shafe - Assessor

001 ROAD PARCEL NUMBER

001 PARCEL NUMBER

1.00 ACREAGE

202 PARCEL SUB/SEQ NUMBER

PB 24-45 PLAT RECORDING NUMBER

5 BLOCK NUMBER

5 LOT NUMBER

GL5 GOV. LOT NUMBER

BOOK T20S R60E

SEC. 32

MAP N 2 SW 4

138-32-3

127 126 125 124

136 137 138 139

165 164 163 162

174 175 176 177

8 5 4 3 2 1

7 6 5 4 3 2 1

18 17 16 15 14 13

19 20 21 22 23 24

30 29 28 27 26 25

31 32 33 34 35 36

8 4 8 4

5 1 5 1

6 2 6 2

7 3 7 3

8 4 8 4

5 1 5 1

CLARK COUNTY

ASSESSOR

CLARK COUNTY

NEVADA

0 100 200 400 600 800

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

Scale: 1" = 200'

Rev: 10/26/2011

This assessor's map displays several parcels and landmarks in Clark County, NV. The map includes the following details:

- Parcel 313:** Labeled "PECCOLE WEST AMD" with recording number PB 83-57.
- Parcel 311:** Labeled "PECCOLE WEST OFFICE SITE" with recording number PB 78-44. It contains sub-parcels 002 (2.3 acres), 004 (4.65 acres), and 005 (2.56 acres).
- Parcel 312:** Labeled "PECCOLE RANCH TOWN CENTER" with recording number PB 86-23. It contains sub-parcels 001 (0.97 acres), 002 (0.84 acres), 005 (6.04 acres), and 012 (3.95 acres).
- Other Parcels:** PT 138-32-210-005, PT 138-31-713-002, PT 138-32-412-029, and PT 138-32-412-008.
- Streets:** RAMPART BLVD, ALTADR, and PECCOLE.
- Boundaries:** Various boundary lines are shown, including historic lot lines, sub-boundaries, and match/leader lines.
- Points:** Numerous points are marked along the boundaries, such as PT 1, PT 4, PT 5, and PT 11.
- Measurements:** Various measurements are provided for the boundaries and sub-parcels, such as 141.07, 192.46, 167.61, 106.22, 130.42, 122.15, 312.45, 449.41, 174.19, 141.79, 175.01, 171.14, 129.96, 117.48, 148.71, 218.53, 185.97, 132.35, 62.33, 337.12, 453.12, 453.59, 34.51, 32.50, 278.59, 279.57, 78.13, 104.87, 129.96, 81.18, 21.95, 52.83, 54.5, 239.82, 54.5, 107.4, 132.11, 107.4, 132.11, 107.4, 132.11.

TAX DIST 200

NOTES

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

0100200400600800

MAP LEGEND

—

PARCEL BOUNDARY

—

SUB BOUNDARY

—

PM/LD BOUNDARY

—

ROAD EASEMENT

—

MATCH / LEADER LINE

—

HISTORIC LOT LINE

—

HISTORIC SUB BOUNDARY

—

HISTORIC PM/LD BOUNDARY

—

SECTION LINE

□

CONDOMINIUM UNIT

□

AIR SPACE PCL

□

RIGHT OF WAY PCL

□

SUB-SURFACE PCL

001 ROAD PARCEL NUMBER

001 PARCEL NUMBER

1.00 ACREAGE

202 PARCEL SUB/SEQ NUMBER

PB 24-45 PLAT RECORDING NUMBER

5 BLOCK NUMBER

5 LOT NUMBER

GL5 GOV. LOT NUMBER

BOOK T20S R60E

SEC. 32

MAP S 2 SW 4

138-32-4

127	126	125	124
136	137	138	139
165	164	163	162
174	175	176	177

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

8	4	8	4
5	1	5	1
6	2	6	2
7	3	7	3
8	4	8	4
5	1	5	1

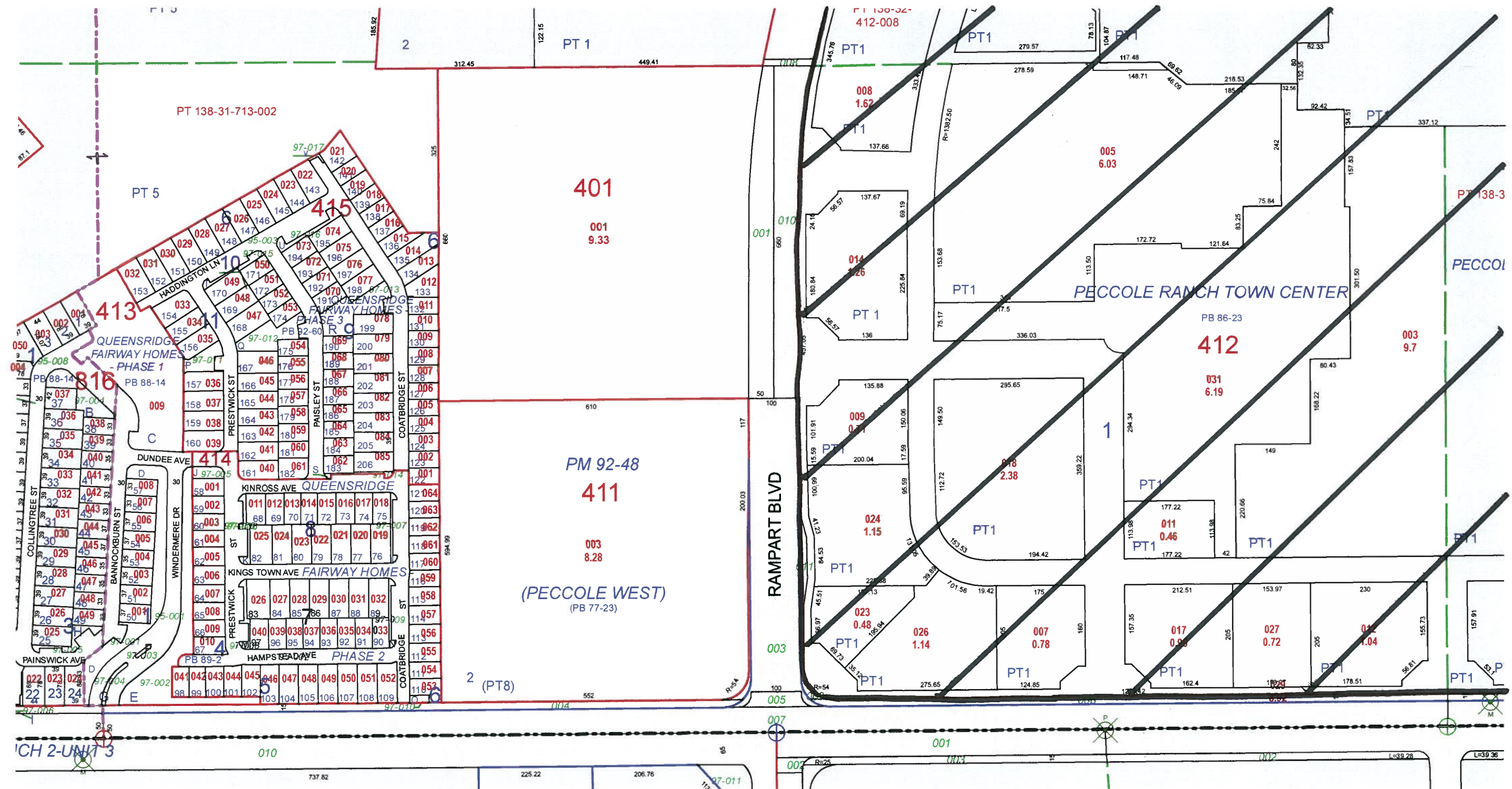
CLARK COUNTY

ASSESSOR

NEVADA

Scale: 1" = 200'

Rev: 10/26/2011



NOTES

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

MAP LEGEND

Parcel Boundary

Sub Boundary

PM/LD Boundary

Road Easement

Match / Leader Line

Historic Lot Line

Historic Sub Boundary

Historic PM/LD Boundary

Section Line

Condominium Unit

Air Space PCL

Right of Way PCL

Sub-Surface PCL

001 Road Parcel Number

001 Parcel Number

1.00 Acreage

202 Parcel Sub/Seq Number

PB 24-45 Plat Recording Number

5 Block Number

5 Lot Number

GL5 Gov. Lot Number

BOOK T20S R60E

SEC 32

MAP N 2 SE 4

138-32-7

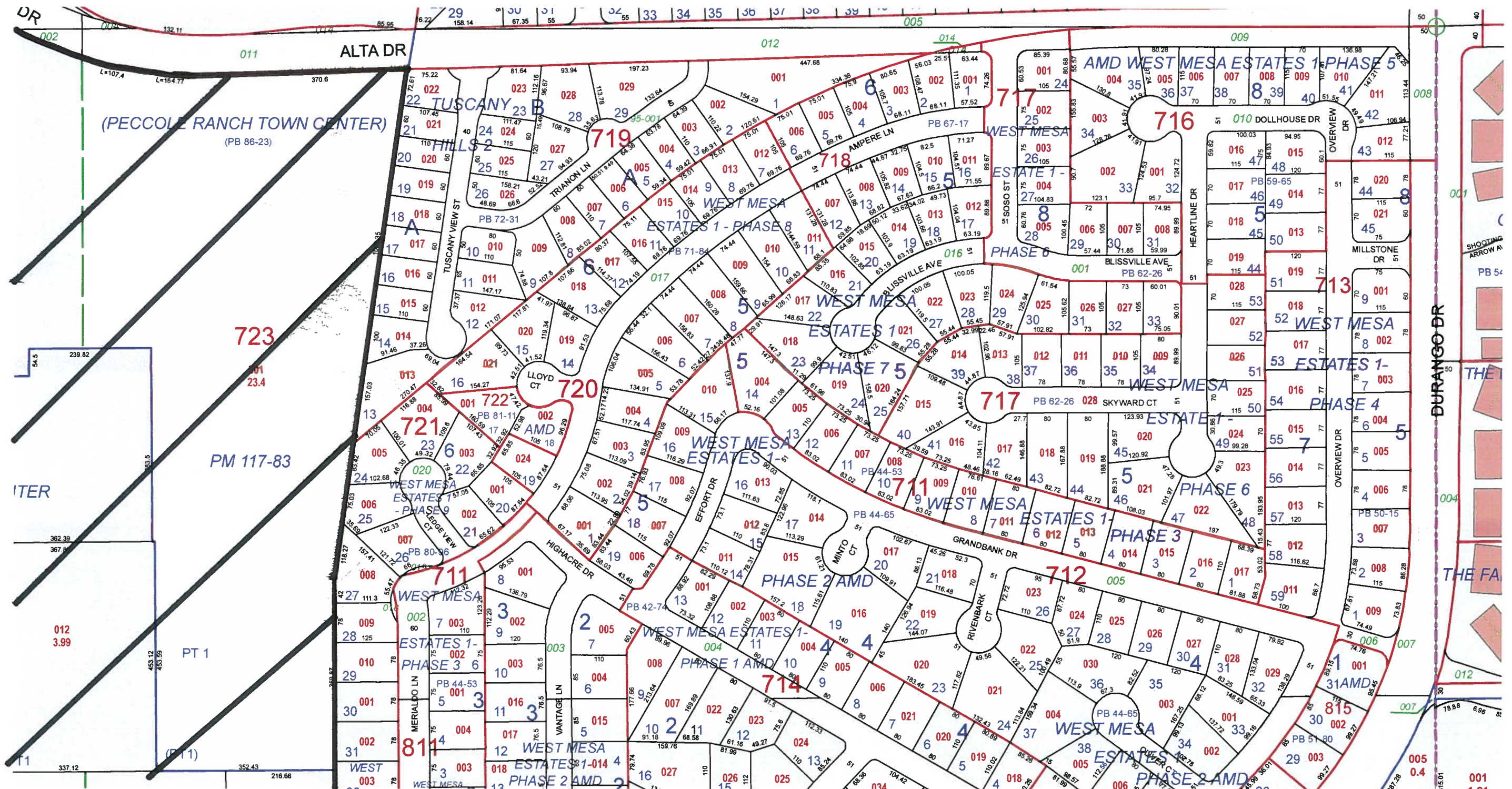
Scale: 1" = 200'

Rev: 10/26/2011

CLARK COUNTY

ASSESSOR

NEVADA



NOTES

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

ASSESSOR'S PARCELS - CLARK CO., NV.

Michele W. Shafe - Assessor

PARCEL BOUNDARY

SUB BOUNDARY

PM/LD BOUNDARY

ROAD EASEMENT

MATCH / LEADER LINE

HISTORIC LOT LINE

HISTORIC SUB BOUNDARY

HISTORIC PM/LD BOUNDARY

SECTION LINE

CONDOMINIUM UNIT

AIR SPACE PCL

RIGHT OF WAY PCL

SUB-SURFACE PCL

001 ROAD PARCEL NUMBER

001 PARCEL NUMBER

1.00 ACREAGE

202 PARCEL SUB/SEQ NUMBER

PB 24-45 PLAT RECORDING NUMBER

5 BLOCK NUMBER

5 LOT NUMBER

GL5 GOV. LOT NUMBER

BOOK

T20S R60E

SEC.

32

MAP

S 2 SE 4

138-32-8

127 126 125 124

136 137 138 139

166 164 163 162

174 175 176 177

4 5 4 3 1

7 8 9 10 11 12

18 17 16 15 14 13

19 20 21 22 23 24

30 29 28 27 26 25

31 32 33 34 35 38

8 4 8 4

5 1 5 1

6 2 6 2

7 3 7 3

8 4 8 4

5 1 5 1

CLARK COUNTY

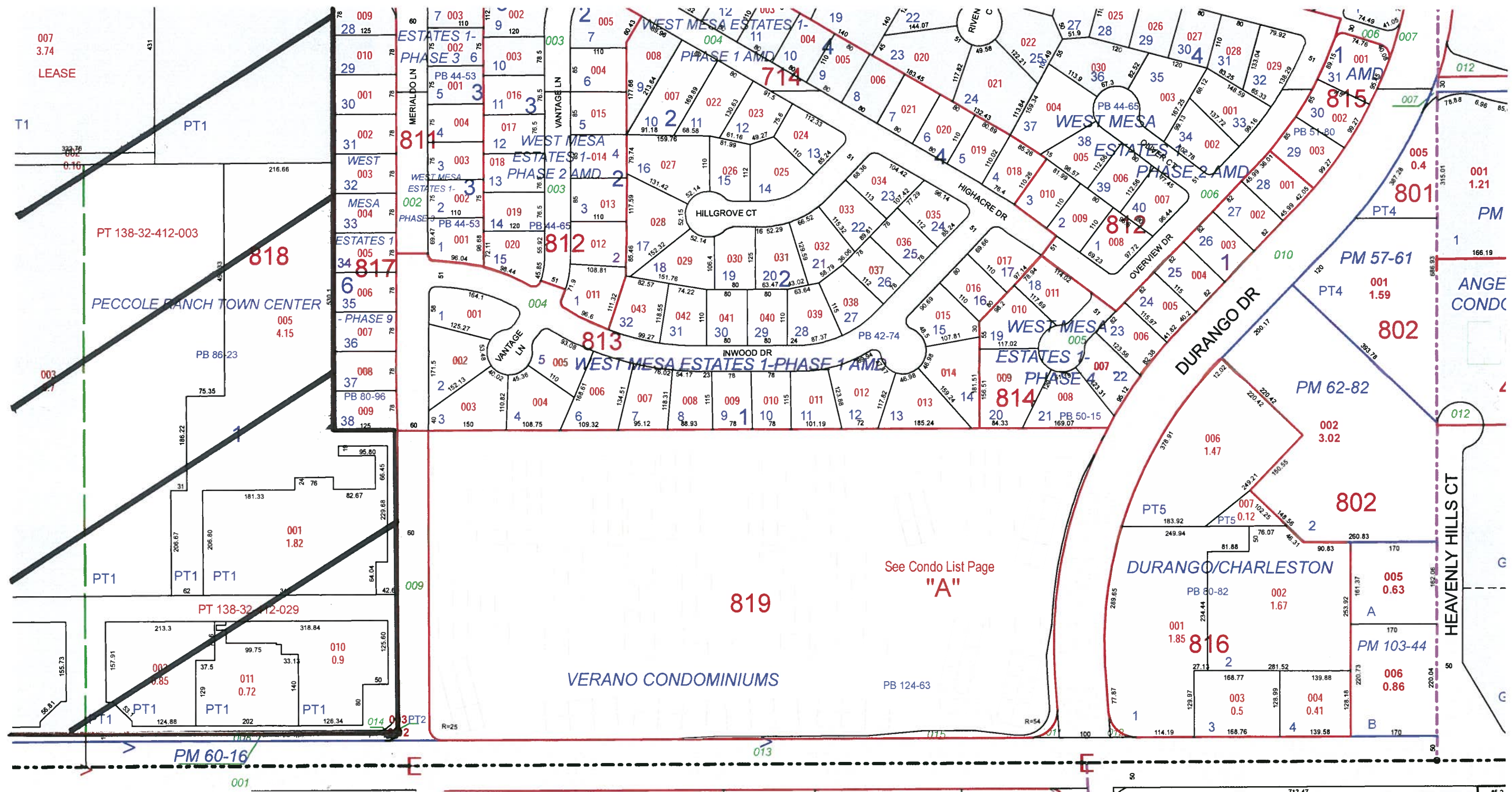
ASSESSOR

MAP DIVISION

NEVADA

Scale: 1" = 200'

Rev: 02/09/2011



**PREVIOUS CITY OF LAS VEGAS
APPROVAL LETTERS**

CC:

**CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM****DATE:**

February 7, 2002

TO:Land Development Services
Department of Public Works**FROM:**Albert Sung, P.E.
Flood Control Project Engineer
Department of Public Works**SUBJECT:**Drainage Study for:
Boca Park North (Phase III) - Retail Buildings 6, 7 & 8**COPIES TO:**

VTN Nevada

Cross Streets:

SE corner of Alta Drive & Rampart Blvd.

Triple Five Nevada Development

File Number:

F:\Depot\DSmemos\DS2799E.doc

Cheri Edelman, P. E., DevCo

Parcel Number:

138-32-412-016

Zoning Action:

C-1

FEMA Flood Zone

YES

NO

X

Proposed Storm Drain

YES

X onsite

NO

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES
1 st Submittal	11/15/2000	11/27/2000	Not Acceptable	\$250.00
Express Plan Check	12/12/2000	12/12/2000	Conditionally Accepted	\$250.00
CCRFC	1/18/2001	1/18/2001	Concurrence	NC
2 nd Submittal	7/11/2001	7/20/2001	Acceptable	\$250.00
3 rd Submittal	1/24/2002	2/7/2002	See Comments Below	\$250.00
TOTAL FEES (LDDRS):				\$1,000.00

REMARKS:3rd Submittal (Update No. 8 to DS2248 and to Update No. 7)

The Drainage Study for the subject project has been reviewed and:

X	is acceptable in concept subject to conformance to all CLV standards and the following conditions:
	must be resubmitted or supplemented including the following:
	must have Clark County Regional Flood Control District (CCRFC) concurrence

- Sheet G2: The 8" storm drains located in the Truck Dock area of Retail 8 Building must be revised to be 12" minimum as 8" will get clogged easily.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the CLV Flood Control Section. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the City of Las Vegas reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS
Ssn./ays

Fax Note 7671		Date 2/7/02	# of pages 1
To Nathan Hall	From Albert Sung		
Co./Dept.	Co. City of Las Vegas		
Phone #	Phone # 229-2001		
Fax # 302-2547	Fax #		

DISTRIBUTED

7100

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: July 28, 2008
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: REI Truck Dock Expansion at Boca Park		COPIES TO: VTN Nevada, Inc.
Cross Streets:	NEQ of Charleston Blvd. & Rampart Blvd.	Triple Five Nevada Development
File Number:	F:\Depot\DSMemos\DS4307E.doc	Bart Anderson, P.E., DevCo
Parcel Number:	138-32-312-008	
Zoning Action:	SDR-28195	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	6/30/2008	7/15/2008	Not Approved	\$100.00	98632: \$100
Supplement	7/25/2008	7/28/2008	See Comments Below	N/C	N/C
TOTAL FEES (LDDRS):				\$100.00	---

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	Is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

END OF REMARKS
ays

T/R/S: T20S/R60E/32
AREA L-32

CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM		DATE: December 15, 2009
TO: Land Development Services Department of Public Works		FROM: Albert Surg, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT: Drainage Study for: Total Wine - Paccole Ranch Town Center (Update to DS2799)		COPIES TO: VTN, Nevada, Inc.
Cross Streets:	NEQ of Charleston Blvd. & Rampart Blvd.	Triple Five Nevada Development Co
File Number:	F:\Depot\DSMemos\DS4381A.doc	Bart Anderson, P.E., DevCo
Parcel Number:	138-32-312-007 & 138-32-312-008	
Zoning Action:	SUP-35509	
FEMA Flood Zone:	YES NO X	
Proposed Storm Drain:	YES NO X	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	12/8/2009	12/15/2009	See Comments Below	\$100.00	134730: \$100
			TOTAL FEES (LDDRS):	\$100.00	

REMARKS:

1st Submittal: Update to add two parking spaces and sidewalk improvements in front of the existing Retail Building #8 to accommodate Total Wine

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

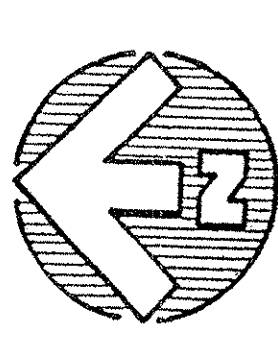
NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the City of Las Vegas Flood Control Section. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the City of Las Vegas reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

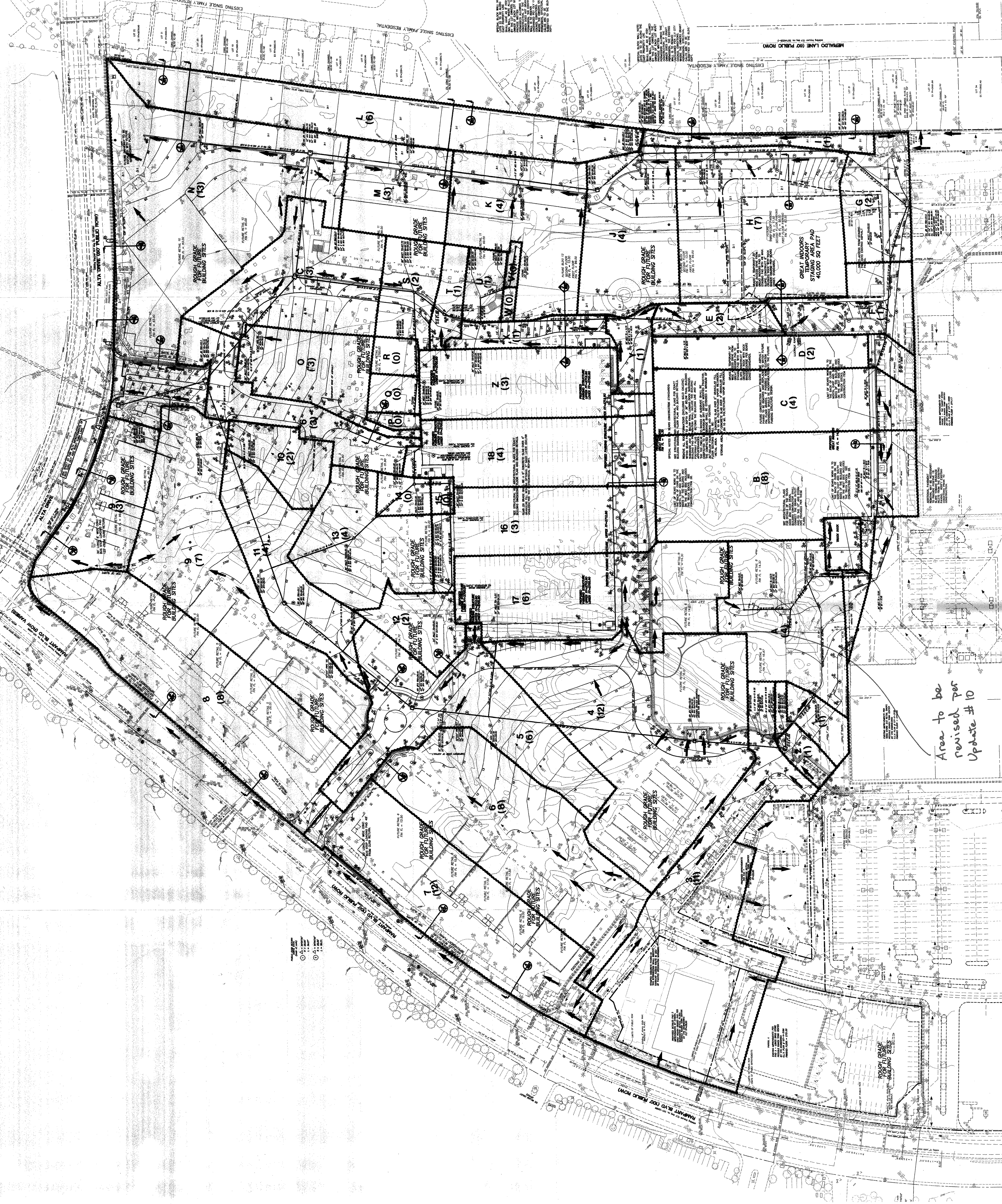
END
ays

Post-It Fax Note	7671	Date	12/15/09	# of pages	1
To	Shawn Boulton	From	Albert Surg		
Co./Dept.	VTN	Co.	CCW		
Phone #		Phone #	229-2201		
		Fax #			

T/R/S: T20S/R60E/32
AREA L-32



1" = 60' SCALE
0 30 60 120



LEGEND:
BASIN BOUNDARY
B or 3
(12)
100-YEAR FLOW
FLOW DIRECTION

MATCHLINE SEE SHEET G5

BASE OF BEARING

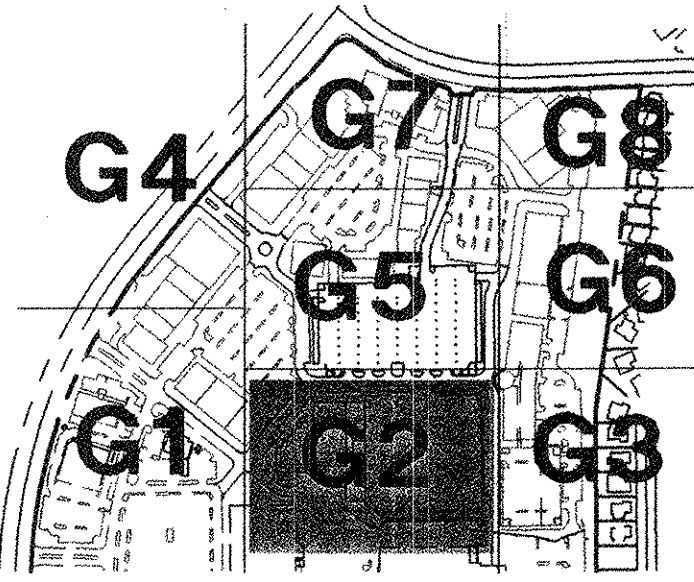
SOUTH 89°26'21" WEST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. CITY OF LAS VEGAS, CLAY COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN PARCEL MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN FILE 60 OF PARCEL MAPS, AT PAGE 16.

BENCHMARK

PROJECT DATUM: NAVD83
CITY OF LAS VEGAS BENCHMARK: OLVO-325568
NAVD83 ELEVATION: 821.347 METERS (2694.70 FEET)
RIVET AND PLATE IN TOP OF CURB, NORTHEAST CORNER OF CHARLESTON BLVD. & MARIALDO LANE.

NOTES:

CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED THE ENTIRE ON SITE STORM DRAIN SYSTEM, WATER SYSTEMS AND SANITARY SEWER SHALL BE PRIVATELY OWNED AND MAINTAINED. ALL PROPOSED CONTOURS REPRESENT FINISHED GRADE DESIGN. ROUGH GRADE UNDERCUTS MUST BE APPROVED BY THE DEVELOPER. ALL ACCESSIBLE ROUTES SHALL BE CONSTRUCTED PER AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-117.1, 1992.

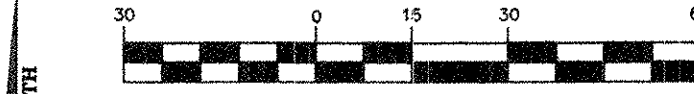


SHEET KEY MAP

Call before you Dig
1-800-227-2600

Call before you Overhead
1-702-593-6111

GRAPHIC SCALE



CONSTRUCTION ITEMS

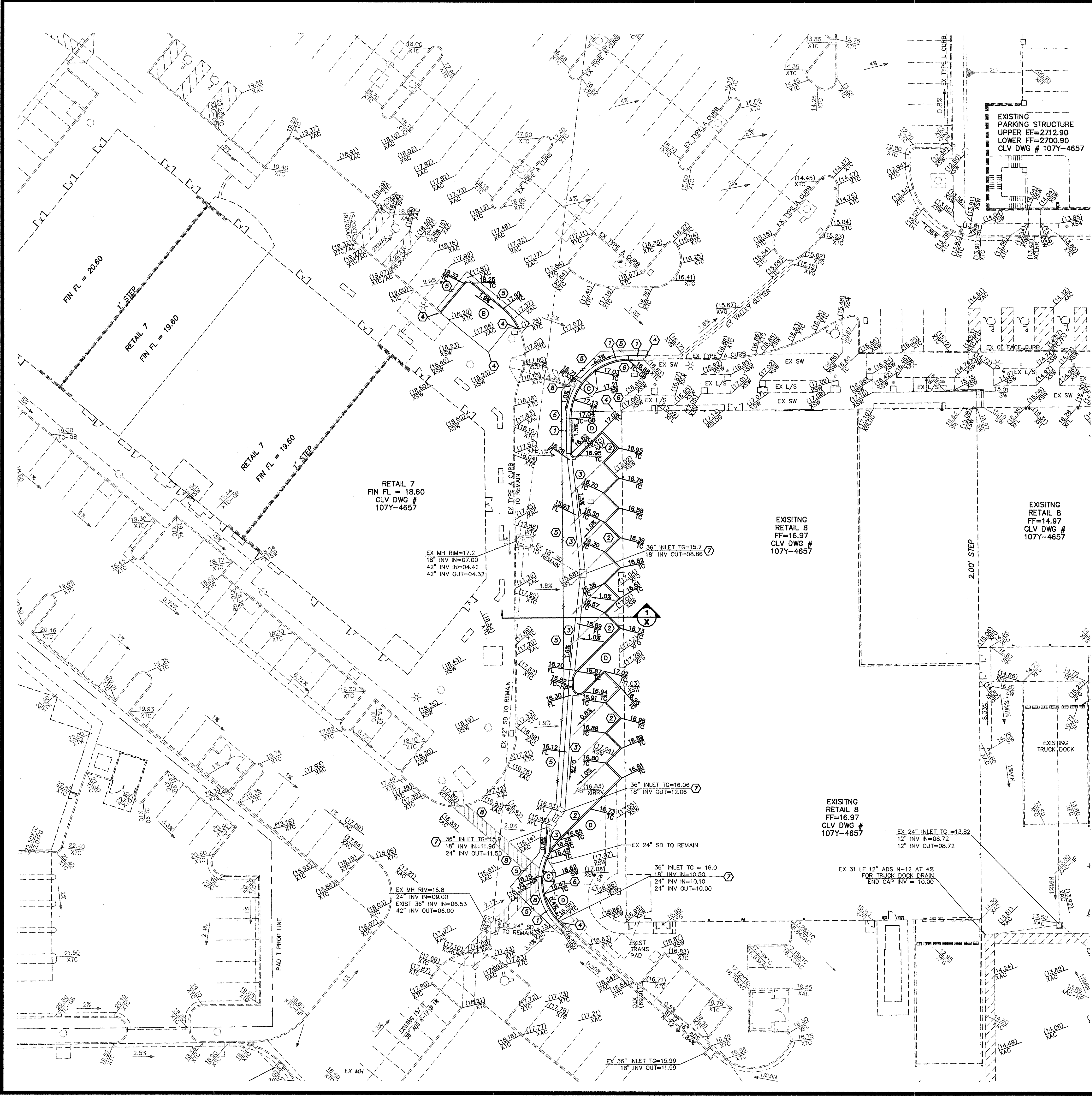
- CONSTRUCT 24" TYPE "L" CURB & GUTTER PER STD. DWG. NO. 216.
- CONSTRUCT TYPE A CURB PER STD. DWG. 219.
- SAW CUT EXISTING PAVING AND MATCH WITH NEW PAVING.
- REMOVE EXIST. CURB, GUTTER, WALK AND MISC. LANDSCAPE IMPROVEMENTS. MATCH EXIST. C&G WITH NEW CONSTRUCTION.
- CONSTRUCT CONCRETE WALK PER STD. DWG. 234, 235 & 216. WALK SHALL BE 5.0' WIDE UNLESS SHOWN OTHERWISE ON THE PLANS.
- CONSTRUCT PUBLIC R.O.W. CURB RETURN SIDEWALKS PER STD. DWGS. 216, 234 & 235.
- CONSTRUCT 8 FOOT WIDE CROSS GUTTER PER STD. DWG. 228.
- INSTALL R1-1 36" STOP SIGN AND PAINTED LIMIT LINE PER THE CITY OF LAS VEGAS STANDARDS.
- INSTALL WHITE TURN LANE DELINEATION PER STD NO. 246.
- INSTALL WHITE TURN LANE DELINEATION ARROWS AND "ONLY" PAINTED ON PAVEMENT.
- INSTALL TYPE 4 LANE LINE (DASHED) PER STD. 244A.
- APPLY PAINTED ACCESS ROUTE MARKINGS PER ANSI A-117.1 AND THE CITY OF LAS VEGAS REGULATIONS.
- CONSTRUCT CURB RAMP PER ANSI A117.1 - FIG. B4.7.5. SEE SIDEWALK RAMP DETAILS ON SHEET G2.
- CONSTRUCT CURB RAMP PER ANSI A117.1 - FIG. B4.7.5. SEE DETAILS ON SHEET G2.
- CONSTRUCT CURB RAMP IN WALK AND/OR AT CORNER PER ADA FACILITIES COMPLIANCE WORKBOOK SUPPLEMENT 3-1994.
- DEEPEND FOOTINGS OR STEM WALLS REQUIRED. SEE ARCHITECTURAL BUILDING PLANS.
- RELOCATE OR INSTALL NEW STREET LIGHT. SEE STREET LIGHT PLAN - S1.
- CONSTRUCT RETAINING WALL PER THE CITY OF LAS VEGAS STANDARDS AND SPECIFICATIONS. WALLS THAT EXCEED 5' HEIGHT REQUIRE A SPECIFIC STRUCTURAL DESIGN.
- CONCRETE PAVING PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- 3" WIDE X 6" THICK CONCRETE PAN PER DETAIL ON SHEET S01.
- CONSTRUCT 24" SIDEWALK DRAIN PER STD. DWG. NO. 236.
- PROVIDE AND INSTALL ADS N-12 CORRUGATED POLYETHYLENE STORM DRAIN PIPE. (LENGTH AND SIZE PER PLAN).
- CONSTRUCT TYPE B MANHOLE PER CL.V. STD. DWG. NO. 405.
- PROVIDE AND INSTALL ADS PIPE TEE (SIZE PER PLAN).
- PROVIDE AND INSTALL 36"x36" JENSEN PRECAST INLET AND GRATE.
- PROVIDE AND INSTALL 24"x24" JENSEN PRECAST INLET AND GRATE.
- PROVIDE AND INSTALL 18"x18" JENSEN PRECAST INLET AND GRATE.

"I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT."

IAN K. JOHNSON
Nevada P.E. #2181
Date: 2/20/01

TRAFFIC FIVE NAVADA DEVEL. CORP. 9510 WEST SAHARA LAS VEGAS, NEVADA 89117 702-242-9837 FAX 702-360-9128		CITY OF LAS VEGAS 2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148 PH. (702) 873-7550 FAX (702) 382-2597		nevada CONSULTING ENGINEERS & LAND SURVEYORS 1000 S. MAIN ST. SUITE 200 LAS VEGAS, NV 89101 (702) 251-1111	
GRADING PLAN AND STORM DRAIN SYSTEM		BOCA PARK NORTH AT PECCOLE RANCH TOWN CENTER		REVISION	
DRAWN BY: AS, JR. DESIGNED BY: JAS CHECKED BY: KJ PROJECT NO: 5334-2	DATE: FEB 14, 2001 DATE: FEB 14, 2001 DATE: FEB 14, 2001 SCALE: 30' HORIZ. VERT. N/A	SHEET 02 11 OF 21 SHEETS DRAWING NO: 1074-4657 RELOT		SEAL 	

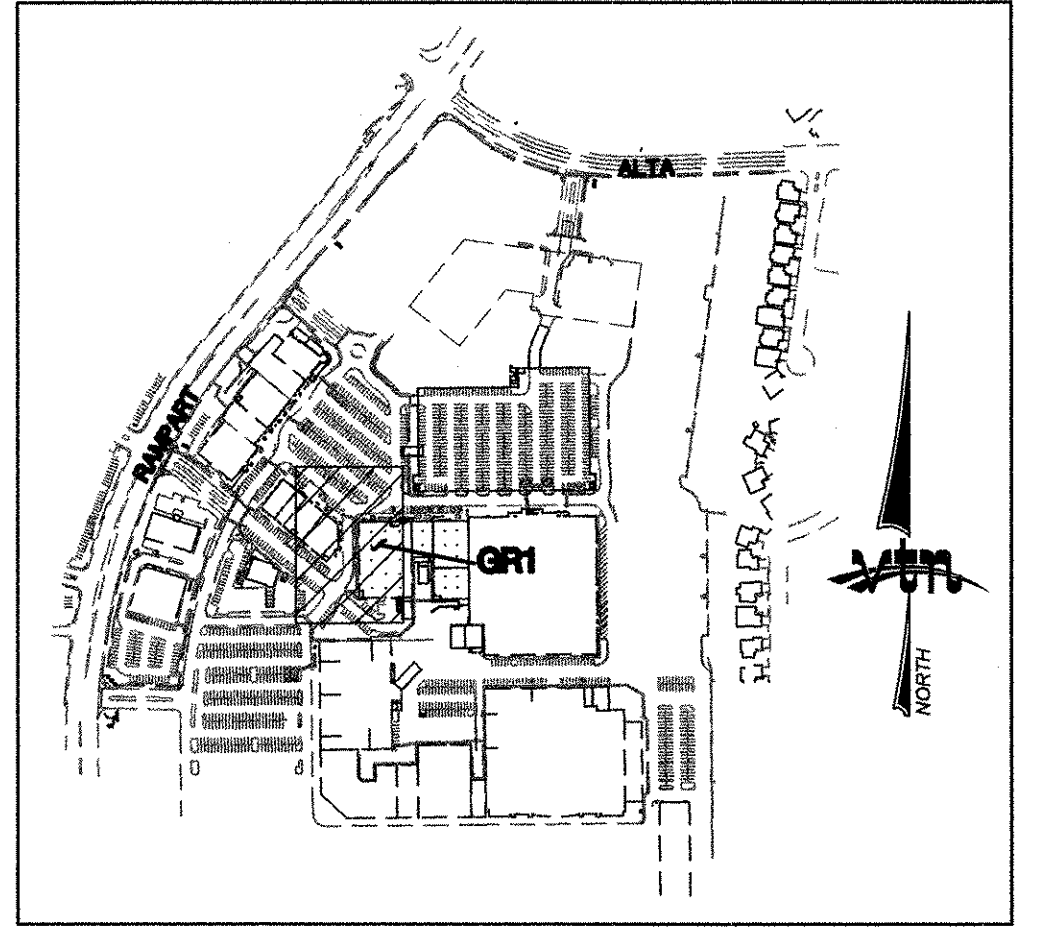
FOR REFERENCE ONLY.



Call before you Dig
1-800-227-2600

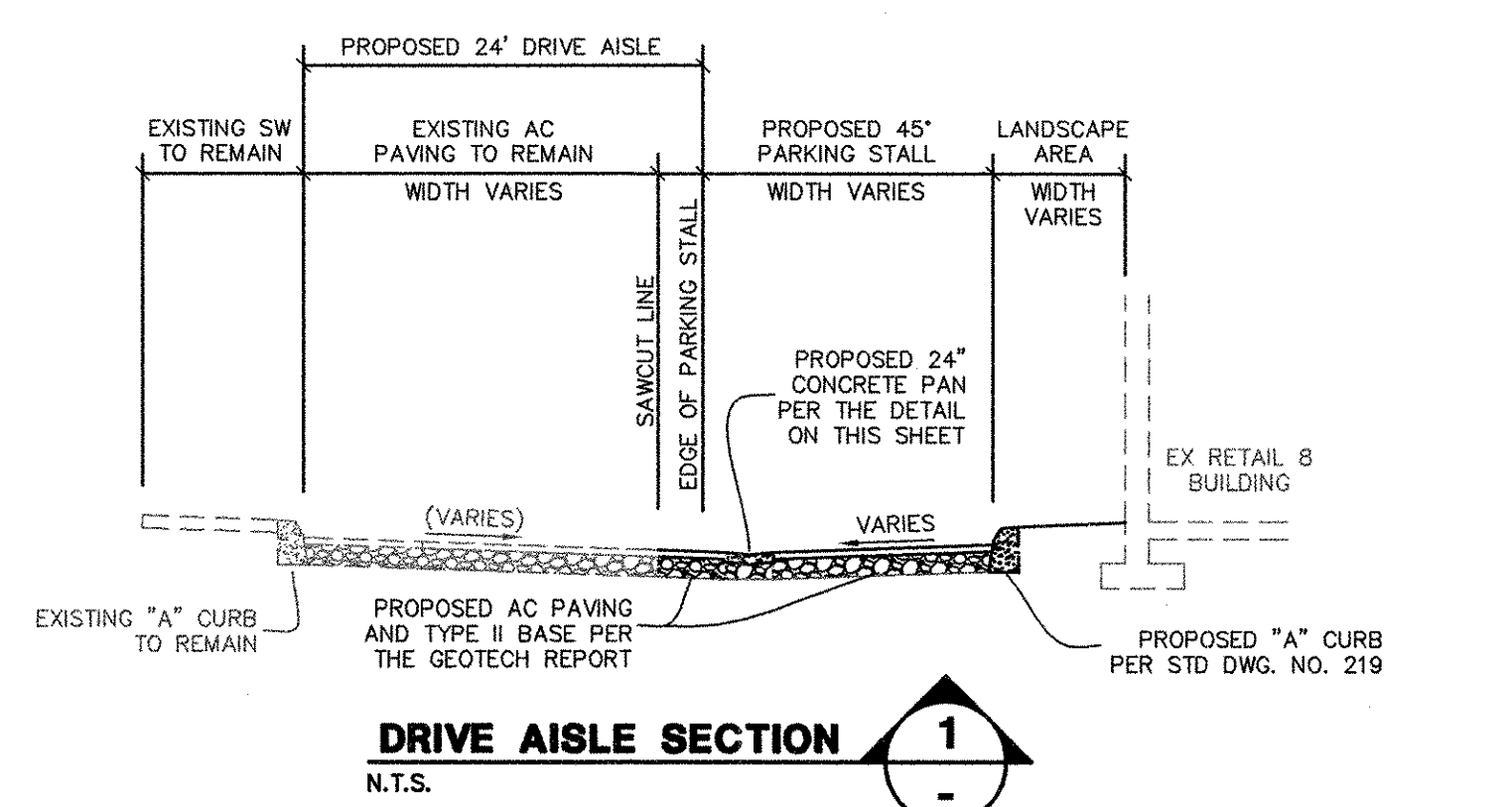
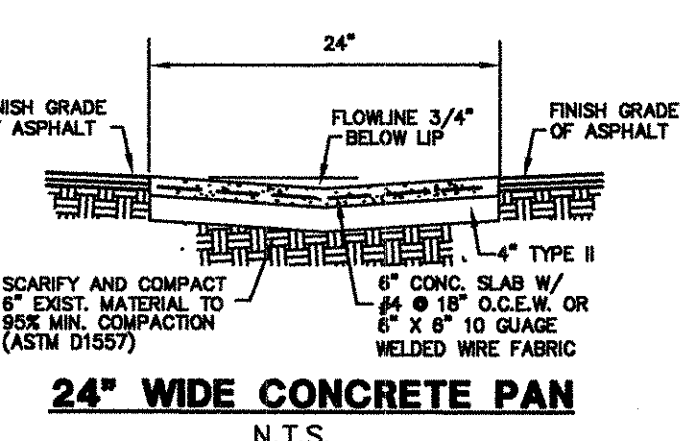
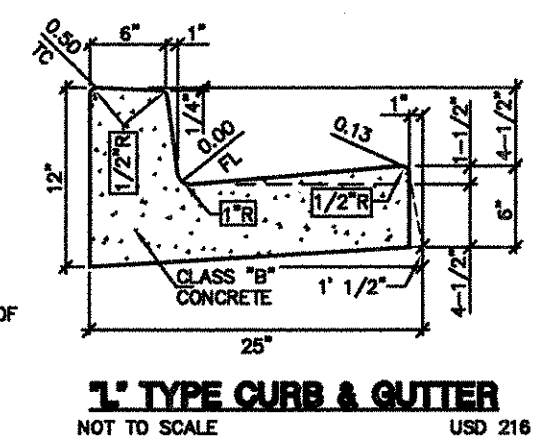
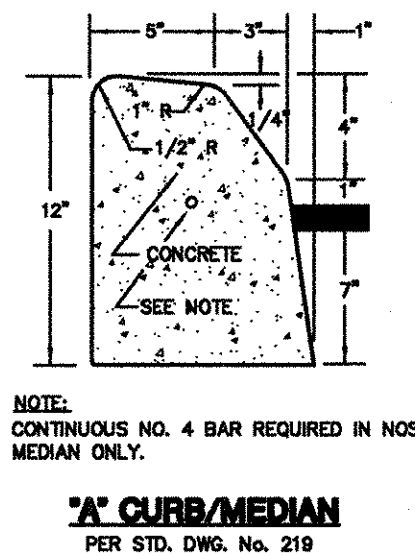
Call before you Overhead
1-702-227-2929

Call before you Underground
1-702-455-7511
1-702-229-6011



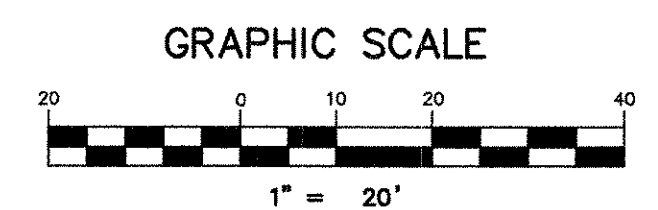
BASIS OF BEARINGS
SOUTH 89°26'21" WEST, BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN PARCEL MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN FILE 60 OF PARCEL MAPS, AT PAGE 16.

BENCHMARK
PROJECT DATUM: NAVD83
CITY OF LAS VEGAS BENCHMARK: OLVOO 32S56
NAVD83 ELEVATION: 821.3617 METERS (2694.75 FEET)
RIVET AND PLATE IN TOP OF CURB, NORTHEAST CORNER OF CHARLESTON & MERIALDO



- CONSTRUCTION ITEMS**
1. CONSTRUCT "L" TYPE CURB AND GUTTER PER DETAIL ON THIS SHEET.
 2. CONSTRUCT TYPE "A" CURB PER DETAIL ON THIS SHEET.
 3. CONSTRUCT 24" CONCRETE PAN VALLEY GUTTER PER DETAIL ON THIS SHEET.
 4. FIELD VERIFY AND MATCH EXISTING GRADE.
 5. SAWCUT AND REMOVE ASPHALT PAVING. MATCH EXISTING EDGE WITH NEW PAVING.
 6. CONSTRUCT CONCRETE SIDEWALK SEE ARCHITECTURAL PLANS FOR DETAILS.
 7. EX GRATED INLET TO REMAIN IN PLACE AT EXISTING ELEVATION. FIELD VERIFY AND MATCH TO PROPOSED IMPROVEMENTS.
 8. APPLY PAINTED ACCESS ROUTE MARKINGS PER ANSI A-117.1 AND THE CITY OF LAS VEGAS REGULATIONS.
- COORDINATION ITEMS**
- A. INSTALL CONCRETE WHEEL STOPS PER CITY STANDARDS AND SEE ARCHITECTURAL DETAILS.
 - B. OUTDOOR PATIO AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - C. SEE ARCHITECTURAL PLANS FOR DETAILS OF RAMP.
 - D. LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR IRRIGATION SCHEMATIC, PLANTING SCHEDULE AND DETAILS.

NOTE: CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.



STORM DRAIN NOTE:
ALL ON-SITE STORM DRAINS ARE PRIVATELY OWNED AND TO BE PRIVATELY MAINTAINED.

FLOOD ZONE NOTE
SITE IS LOCATED IN A ZONE X AS SHOWN IN FIRM MAP 32003C2145E DATED: SEPTEMBER 27, 2002
A ZONE X IS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.

I CERTIFY THAT THIS PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY (NO. 105-) ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.
THOMAS B. REGENHARD JR. NO. 19585 DATE

CHARLESTON ASSOCIATES, LLC
CITY OF LAS VEGAS, NEVADA
9440 W. SAHARA AVE., SUITE 240
LAS VEGAS, NEVADA 89117
PH# (702) 430-5800

2727 SOUTH RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89146-5148
PH. (702) 873-7550 FAX (702) 362-2597
WWW.VTNV.COM
CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS

GRADING PLAN
PANERA BREAD
BOCA PARK AT
PECCOLLE RANCH TOWN CENTER

DRAWN BY: 03/19/12
DESIGNED BY: 03/19/12
CHECKED BY: 03/19/12
PROJECT NO: 1215112
SCALE: 1" = 20' HORIZ. VERT. NA

03/22/12
SHEET
GRI
4 OF 5 SHEETS
DRAWING NO.

REV. DATE BY REVISION

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST REVISED ISSUE; AND OTHER APPLICABLE APPROVED STANDARD ISSUES BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES AS SHOWN FROM CLV PLANS LIBRARY ARE APPROXIMATE AND FOR RECORD PURPOSES. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL AT HIS OWN EXPENSE, EXPOSE THE UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
5. TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGN TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED TYPE CURB.
8. AC PAVEMENT TO BE ONE-HALF (1/2") ABOVE UP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS AND CROSS GUTTERS.
9. CURB & GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY OF LAS VEGAS SHALL BE REMOVED AND REPLACED PER STANDARD DRAWING 216.
10. SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235, EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
11. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS.
12. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER, AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
13. EXACT LOCATION OF ALL SAW OUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN. IF EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.550.
15. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOW LINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
16. WALL NOTES:
ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL, AND SIGHT DISTANCE AT INTERSECTIONS. NEW WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
17. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
18. CONTRACTOR SHALL ADJUST ALL NEW & EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
19. MANHOLE, HANDLING AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NDOT OR THE CLARK COUNTY AREA SPECIFICATIONS (AS APPLICABLE) AND THE PLANS AND DETAILS SHOWN HEREON.

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILL WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUB GRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ALL EXCAVATION, ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED.
6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:

	<u>HORIZONTAL</u>	<u>VERTICAL</u>	<u>COMPACTION</u>
A. PAVEMENT AREA SUB GRADE	0.1"±	+0.0' to -0.1'	See Soils Report
B. ENGINEERED FILL	0.5"±	+0.1' to -0.1'	See Soils Report

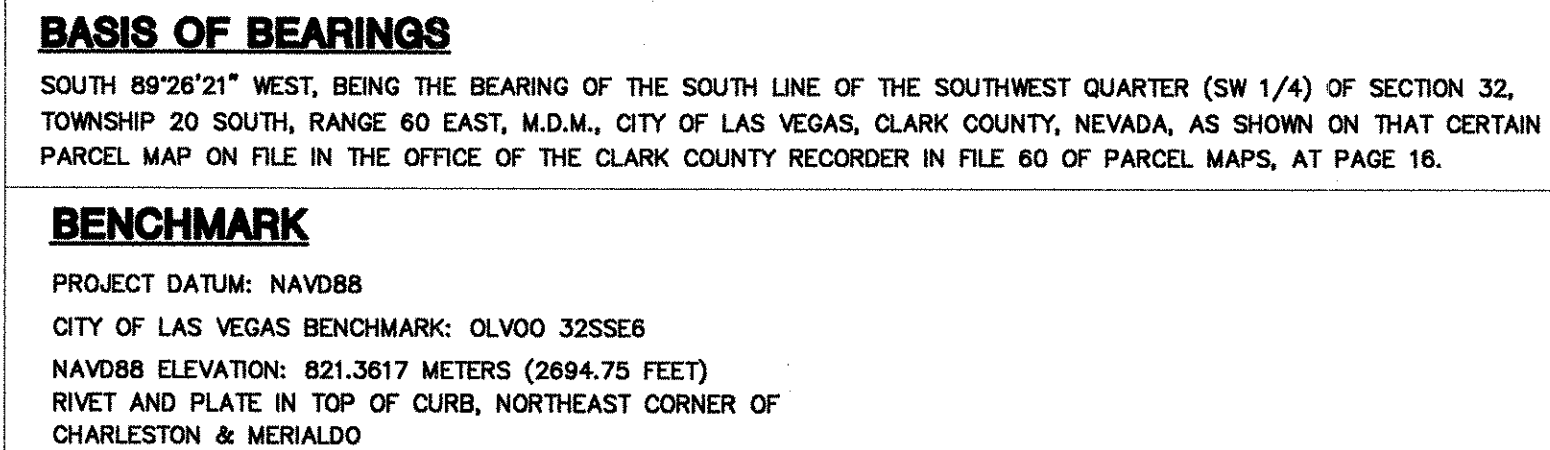
COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHIN A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACK FILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM ALL TIE PUBLICLY OWNED PROPERTY AND THE ADJACENT AREAS. THE CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT THE CONTRACTOR'S EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. SPECIAL IMPROVEMENTS, CLARK COUNTY AREA, Nevada, AS AMENDED IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS. ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEER.
3. HUSHEL "5" AND "6" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
4. POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACK FILL OF TYPE III AGGREGATE BASE.
5. ALL MANHOLES PAVED IN STREETS EIGHTY (80') FOOT R/W AND LARGER SHALL HAVE CONCRETE COLLARS. STREETS LESS THAN EIGHTY (80') FOOT R/W WILL REQUIRE RETROFIT IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
6. TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCH (12") DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER SHALL REQUIRE SPECIAL PIPING EMBEDDED IN LINE "Y" SADDLES TWO INCH (2") ABOVE.
7. WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVWD STANDARDS WHENEVER A SEWER MAIN CROSSES OVER A WATER MAIN OR THE SEWER IS LESS AN EIGHTY (80') FEET UNDER THE WATER MAIN.
8. ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER THE JURISDICTION OF THE CITY OF LAS VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
9. THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION OF MORE THAN ONE TENTH (0.1) OF A FOOT FROM THE APPROVED CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THIS TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED AND REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
10. INSTALLATION OF CURVED SEWER REQUIRES THE USE OF C-900 PVC PIPE WHICH ALLOWS FOR PIPE DEFLECTION AT THE JOINTS.

4. ALL STREET LIGHTING INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE STREET LIGHTING PLANS, THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA", LATEST REVISION, AND THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA", LATEST REVISION.
5. NO DEVIATION OF STREET LIGHT, PULL BOX, CONDUITS (E/C) LOCATIONS SHALL BE WRITTEN WITHOUT WRITTEN APPROVAL OF THE ELECTRICAL/ELECTRIC FIELD OPERATIONS DIVISION AND THE CITY ENGINEER. ANY DEVIATION FROM THE PLAN LOCATION WILL REQUIRE COMPLIANCE WITH SECTION 823.10.03 (E) OF THE SPECIFICATIONS.
6. ALL STREET LIGHTING SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
7. ALL EMPTY CONDUIT SHALL HAVE PULL STRINGS INSTALLED PRIOR TO FINAL INSPECTION.
8. ANY STRUCTURE SUCH AS BLOCK WALLS, CHAIN LINK FENCES, RETAINING WALLS, ETC. SHALL LEAVE A MINIMUM CLEARANCE OF EIGHTEEN (18") TO THE FACE OF STREET LIGHTING POLE ON ALL SIDES WHEN STREETLIGHT IS INSTALLED BEHIND SIDEWALK, AND SHALL AT NO TIME COMPLETELY ENCLOSE THE STREET LIGHTING POLE.
9. AS-BUILT DRAWINGS SHALL BE SUPPLIED TO THE ELECTRICAL SERVICES SECTION PRIOR TO ANY PRE-FINAL INSPECTION. THE AS-BUILT DRAWING NEEDS TO BE STAMPED AS-BUILT AND SIGNED BY THE PREPARER.
10. SERVICE POINT SHALL BE COORDINATED WITH NEVADA POWER COMPANY, AND WHEREVER POSSIBLE, BE LOCATED NEAR THE CENTER OF THE CIRCUIT. SERVICE POINTS SHALL BE SHOWN ON THE PLANS.
11. THERE BE ADEQUATE PROTECTION OF AN EXISTING, WORKABLE CIRCUIT TO ATTACH TO, ALL INSTALLATIONS SHALL REQUIRE A NEW SERVICE FOR OPERATION OF THE CIRCUIT.
12. WHEREVER THERE IS AN OVERHEAD UTILITY THAT MAY CONFLICT WITH THE INSTALLATION OF STREET LIGHTING CIRCUIT, AND FOR PILES, THESE CONFLICTS MUST BE RESOLVED BETWEEN THE DEVELOPER AND THE UTILITIES INVOLVED BEFORE STREETLIGHT BASES ARE INSTALLED AT NO EXPENSE TO THE CITY OF LAS VEGAS.
13. THE CONTRACTOR SHALL FURNISH COMPLETE SERVICE TO TRANSFORMERS AND CONTROL SYSTEMS IF REQUIRED ON PLANS.

6. ALL CONSTRUCTION SIGNING, BARICADING AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
7. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.
8. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE STREET SIGN CONTRACTOR SHALL INSTALL ADVANCE WARNING SIGNS AT THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING STREETS WHERE A STOP SIGN IS REQUIRED. THE CONTRACTOR SHALL GRADING WORK IS ACCOMPLISHED, AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
9. WHEN A DEDICATED "SCHOOL ROUTE TO SCHOOL" IS ENCORAGED UPON BY A CONSTRUCTION WORK ZONE AND PUBLIC WORK STAFF IDENTIFIES A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A QUALIFIED "CROSS GUARD" TO MAINTAIN GUARD DUTY PRESENT FOR THE FULL DURATION OF TIME THAT CHILDREN ARE LIKELY TO BE PRESENT.
10. WHEN IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE REMOVED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. STREET SIGN SIGNS SHALL CONFORM TO THE CITY STANDARD SIGNING STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY STANDARD SIGNING STANDARDS.
12. WHEN A PROPOSED STREET LIGHT STANDARD IS LOCATED WITHIN FIVE (5) FEET OF ANY SIGN SHOWN ON THE PLANS TO BE MOUNTED ON A SIGNPOST, THE SIGNIFICATION INTERLUDE OR RELOCATES THE STREET LIGHT STANDARD AND THE SIGNPOST SHALL BE ELIMINATED.
13. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND FINISHED PRIOR TO THE COMMENCEMENT OF ALLOWING ANY PUBLIC TRAFFIC ON THE PORTIONS OF THE ROAD(S) BEING IMPROVED THEREUNDER. REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
14. STREET SIGNS AND STOP SIGNS SHALL BE INSTALLED PER CITY STANDARD SPECIFICATION FOR PLACEMENT OF STREET NAMES SIGNS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TRAFFIC CONTROL DEVICES AND FLAGGERS TO ENSURE THE SAFETY OF THE PUBLIC IN OR AROUND THE WORK AREA. THE CONTRACTOR SHALL HAVE A CERTIFIED ATTESA TRAFFIC CONTROL TECHNICIAN OR A CERTIFIED TRAFFIC SPECIALIST SET UP, MAINTAIN AND REMOVE ALL TRAFFIC CONTROL DEVICES IN THE CITY OF LA JOLLA BEFORE THE RIGHTS OF WAY.
16. WHEN IN PUBLIC STREETS, ONCE BEGUN, SHALL BE EXPEDITED TO COMPLETION SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING CITIZENS AREA TRAFFIC(S.A.T.) IF THE CONSTRUCTION INTERLUDE OR RELOCATES A BUS STOP OR HAS ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
18. GUARDIANS SHALL BE OBTAINED FROM THE METROPOLITAN POLICE DEPARTMENT SPECIAL EVENTS UNIT (PHONE NO: 229-3442) WHO WILL PROVIDE OFFICERS PROPERLY TRAINED IN TRAFFIC CONTROL. FEES FOR THE USE OF THESE OFFICERS SHALL BE SET UP BY METRO AND WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL ARRANGEMENTS WITH METRO.
19. ANY WORK WITHIN 300' OF A SIGNALIZED INTERSECTION WILL BE NIGHT WORK, UNLESS DIRECTED OTHERWISE BY THE CITY OF LA JOLLA'S VEHICLE INSPECTOR.
20. THE CONTRACTOR SHALL CONTACT THE TRAFFIC ENGINEERING DIVISION (TRANSPORTATION SECTION) THROUGH THE PROJECT'S OFFSITE INSPECTOR PRIOR TO INITIATING PAVING TO RECEIVE DIRECTION FOR ANY PERMANENT TEMPORARY MODIFICATION TO THE PAVEMENT MARKINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PAVEMENT TRANSITIONS, MARKINGS AND SIGNING THAT ARE REQUIRED TO MATCH ADJACENT ROADWAY SEGMENTS. THE CONTRACTOR SHALL PROVIDE THE DRAWING FOR THE FINAL PAVEMENT MARKINGS AND SIGNING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PAVEMENT MARKINGS AND SIGNAGE, WHICH MAY INCLUDE OMITTING, ADDING OR MODIFYING PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TERMINATIONS BETWEEN ADJACENT ROADWAY SEGMENTS ARE CONSTRUCTED.

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OF LAS VEGAS FIRE DEPARTMENT'S ORDINANCE # 5667, "HYDRANT SPECIFICATIONS", AND "HYDRANT INSTALLATION SPECIFICATIONS".
2. AUTHORIZED FIRE HYDRANTS FOR THIS PROJECT ARE:
 - A. KENNEDY – GUARDIAN MODELS KB1A AND KB1D
 - B. MUELLER – SUPER CENTURION 250 MODEL A-A-423
 - C. CLOW – MEDALLION MODEL FV-254BLVD
 - D. TROY VALVE – PATRIOT MODEL PT8100N NEVADA HYDRANT.
3. ON ANY RESIDENTIAL OR COMMERCIAL INSTALLATIONS, FIRE HYDRANTS SHALL BE INSTALLED AND FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED BEFORE COMMENCEMENT OF ANY COMBUSTIBLE CONSTRUCTION. FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER AND SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW.
4. TO IDENTIFY THE FIRE HYDRANT LOCATIONS, CONTRACTOR SHALL PLACE A BLUE REFLECTIVE MARKER AT THE CENTER LINE OF STREET ADJACENT TO THE FIRE HYDRANTS AS REQUIRED BY ORDINANCE #5667.
5. ALL UNDERGROUND INSPECTIONS, PRESSURE AND FLUSH VERIFICATIONS OF ALL FIRE HYDRANTS AND FIRE LINES SHALL BE CONDUCTED BEFORE COVERING THE LINES. CALL THE CITY OF LAS VEGAS INSPECTION HOT-LINE AT 229-2071 TO REQUEST AN INSPECTION BY THE CITY OF LAS VEGAS FIRE DEPARTMENT.
6. PAINTING OF CURBS AND FIRE HYDRANTS AND ALL OTHER WORK REQUIREMENTS AS REQUIRED BY ORDINANCE #5667, FOR THE PROTECTION OF FIRE HYDRANTS FROM PHYSICAL DAMAGE, SHALL BE COMPLETED BEFORE APPROVAL BY THE CITY OF LAS VEGAS FIRE DEPARTMENT.
7. A PERMIT IS REQUIRED FROM THE CITY OF LAS VEGAS FIRE DEPARTMENT FOR THE ON-SITE WATER LINES AND FIRE HYDRANT. THE PERMITS AND CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR UNDERGROUND PIPING FORM SHALL BE OBTAINED FROM THE FIRE PROTECTION ENGINEER BEFORE COMMENCEMENT OF WORK.
8. PRIVATE FIRE HYDRANTS SHALL BE PAINTED RED.
9. PRIOR TO THE FINAL OCCUPANCY, A FLOW TEST MUST BE WITNESSED BY THE CITY OF LAS VEGAS FIRE DEPARTMENT TO VERIFY AVAILABILITY OF THE REQUIRED FIRE FLOW.
10. ALL ON-SITE UNDERGROUND WATER MAINS AND MATERIALS SHALL BE U.L. LISTED, A.W.W.A. APPROVED, AND SHALL BE RATED FOR THE APPROPRIATE WORKING PRESSURE.
11. FIRE HYDRANTS SPACING SHALL BE:
 - RESIDENTIAL – 500 FEET UNSPRINKLERED; 600 FEET SPRINKLERED
 - COMMERCIAL – 300 FEET UNSPRINKLERED; 400 FEET SPRINKLERED
12. WHERE NEW WATER MAINS ARE EXTENDED ALONG STREETS OR NEW STREETS ARE INSTALLED WHERE FIRE HYDRANTS ARE NOT NEEDED FOR PROTECTION OF THE STRUCTURES, FIRE HYDRANTS SHALL BE INSTALLED AT A MAXIMUM 400 FOOT SPACING TO PROVIDE FOR TRANSPORTATION HAZARDS. WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS OR HAVE FOUR OR MORE TRAFFIC LANES AND HAVE A TRAFFIC COUNT OF MORE THAN 30,000 PER DAY, HYDRANTS ARE REQUIRED ON EACH SIDE OF THE STREET SPACED AT 500 FEET ON AN ALTERNATING BASIS
13. NO FIRE HYDRANTS SHALL BE LOCATED WITHIN THE REQUIRED RADIUS OF A CUL-DE-SAC OR WITHIN 20 FEET OF THE PERIMETER OF THE RADIUS OF THE CUL-DE-SAC.
14. NO FIRE HYDRANTS SHALL BE LOCATED WITHIN 6 FEET OF ANY CURB RETURN, DRIVEWAY, POWER POLE, STREETLIGHT OR ANY OTHER OBSTRUCTION.
15. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A ONE-TO TWO-FAMILY DWELLING SHALL NOT EXCEED 300 FEET, AS MEASURED BY AN APPROVED ROUTE.
16. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT EXCEED 200 FEET
17. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO THE END OF A DEAD-END STREET SHALL NOT EXCEED 200 FEET.
18. TWO SOURCES OF SUPPLY ARE REQUIRED WHENEVER THERE ARE 4 OR FIRE HYDRANTS/SPRINKLER LEADS-INS ARE INSTALLED ON A SINGLE SYSTEM. SECONDARY CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 2 FIRE HYDRANTS CAN BE OUT OF SERVICE DUE TO A BREAK IN A WATER MAIN.
19. ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS.
 - THE GRADIENT FOR A FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 12% . ANGLES OF APPROACH AT INTERSECTIONS OR DEAD ENDS SHALL BE 90 DEGREES OR MORE PRIOR TO OR AFTER THE GRADE CHANGE. ADJACENT TO THE STRUCTURES GRADIENT SHALL NOT EXCEED 6%.
 - THE TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE NO LESS THAN 52 FEET OUTSIDE AND 28 FEET INSIDE TURNING RADIUS.
20. VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL BE NOT LESS THAN 13 FEET 6 INCHES.
21. FIRE DEPARTMENT ACCESS ROADS IN ALL RESIDENTIAL DEVELOPMENTS (EXCEPT FOR THE APARTMENT BUILDINGS) SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 36 FEET. FLOW LINE AT THE END OF FIRE LANE WIDTH MAY BE REDUCED TO 24 FEET, IF ALL BUILDINGS FRONTING THE STREET ARE SPRINKLERED. FOR MAIN RESIDENTIAL STREETS, WITH PARKING PERMITTED ON BOTH SIDES OF THE STREET, PRIVATE DRIVE AISLES, DRIVEWAYS, ETC. SHALL BE ALLOWED TO BE REDUCED TO A MINIMUM WIDTH OF 24 FEET WIDE FLOW LINE TO THE FLOW LINE WHEN SERVING NO MORE THAN ONE ACCESS, AND WHEN A STREET PARKING IS DISALLOWED.
22. ALL FIRE APPARATUS ACCESS ROADS IN COMMERCIAL DEVELOPMENTS AND APARTMENT COMPLEXES SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 24 FEET (FLOW LINE TO THE FLOW LINE). UNPAVED NO PARKING IS ALLOWED ON EITHER SIDE. 32 FEET FLOW LINE TO THE FLOW LINE). IF PARALLEL PARKING IS ALLOWED ON ONE SIDE, 24 FEET AND 40 FEET (FLOW LINE TO THE FLOW LINE), IF PARALLEL PARKING IS ALLOWED ON BOTH SIDES, THESE WIDTHS MAY BE REDUCED BY 4 FEET IF ALL BUILDINGS ARE SPRINKLERED.
23. A FIRE DEPARTMENT ACCESS ROAD SHALL BE INSTALLED TO WITHIN 50 FEET OF A SINGLE EXTERIOR DOOR PROVIDING ACCESS TO THE INTERIOR OF A BUILDING.
24. A FIRE APPARATUS ACCESS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150 FEET FROM A FIRE DEPARTMENT VEHICLE ACCESS. THIS DISTANCE MAY BE INCREASED TO 250 FEET IF THE BUILDING IS SPRINKLERED. APPROVED SECONDARY FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR 100 OR MORE DWELLING UNITS, ROAD(S) WITH DEAD-ENDS OR WITH A SINGLE POINT OF ACCESS IN EXCESS OF 600 FEET, AND FOR ALL COMMERCIAL, INDUSTRIAL, AND MULTI-FAMILY RESIDENTIAL DEVELOPMENTS.
25. ALL DEAD-END FIRE APPARATUS ACCESS ROADS AND OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND AREA HAVING A MINIMUM DIAMETER OF 81 FEET.
26. ALL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DEAD END FIRE LANE. ONE SIGN AT THE END OF THE FIRE LANE AND WITH SIGNS AT INTERVALS 100 FEET ALONG ALL DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS TO BE INSTALLED AT HIGHER THAN 10 FEET OR LESS THAN 6 FEET FROM ROADWAY LEVEL. THE CURB ALONG OR ON A DRIVEWAY OR ALLEYWAY IF A TURN ELEMENT IS PROVIDED SHALL BE PAINTED WITH A RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
27. ELECTRICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM. SAID SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF LAS VEGAS GUIDELINES FOR AUTOMATIC EMERGENCY VEHICLE ACCESS GATES.



STANDARD NOTE NO. 1: THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF CLARK COUNTY, NEVADA AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.

STANDARD NOTE NO. 2: ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE CLARK COUNTY TITLE 24.4.0 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.

STANDARD NOTE NO. 3: TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY OF THE CONTRACTOR OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI00000, SECTION III.A.5.

STANDARD NOTE NO. 4: AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER AND RAIN OF QUARTERS OR MORE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING AND MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVRI00000, SECTION III.A.12.

STANDARD NOTE NO. 5: ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT SIGNIFICANT RAINFALL EVENT, WHICHEVER OCCURS FIRST. SEDIMENT SHALL BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

N/A

NONE

FF	FINISH FLOOR	C/L	CENTER LINE
FG	FINISH GRADE	O/C	OFFSET CROWN
FL	FLOW LINE	BC	BACK OF CURB
TC	TOP OF CURB	BCR	BEGIN CURB RETURN
TRC	TOP OF ROLL CURB	BCL	BACK OF CURB LENGTH
EP	EDGE OF PAVEMENT	TF	TOP OF FOOTING
FUT.	FUTURE	GB	GRADE BREAK
EX	EXISTING	PC	POINT OF CURVATURE
VG	VALLEY GUTTER	PT	POINT OF TANGENCY
NG	NATURAL GROUND	PRC	POINT OF REVERSE CURVATURE
H.P.	HIGH POINT	PCC	POINT OF COMPOUND CURVATURE
L.P.	LOW POINT	BVC	BEGIN VERTICAL CURVE
SSMH	SEWER MANHOLE	MVC	MID-POINT OF VERTICAL CURVE
W	WATER LINE	EVC	END VERTICAL CURVE
SD	STORM DRAIN	PRVC	POINT OF REVERSE VERTICAL CURVE
RCP	REINFORCED CONCRETE PIPE	TPW	TOP OF PLANTER WALL
SW	SIDEWALK	L/S	LANDSCAPE

	REMOVE AC		1-1/4" PVC CONDUIT.
	TRENCHING		2" TRAFFIC INTERCONNECTION
	PROPOSED A.C. PAVING		# 3 1/2 (PB.)PULL BOX
	EX CONTOUR(5' INTERVAL)		# 7 (PB.)PULL BOX
	EX CONTOUR(1' INTERVAL)		125 AMP. SERVICE PAD
	SLOPE		STOP SIGN
	EDGE OF EXIST A.C.		STREET NAME SIGN
	SAW CUT & MATCH A.C.		DRIVEWAY LOCATION (SCHEMATIC ONLY)
	SIDEWALK RAMP		POINT OF CONNECTION (UTILITIES)
	SCARP AREA		SIGHT VISIBILITY EASEMENT
	RETAINING HEIGHT (FEET) (AS MEASURED FROM ROUGH GRADE)	EX	EXISTING
	SIGHT VISIBILITY EASEMENT	FUT	FUTURE
	PROJECT BOUNDARY LINE	NXTC	NORTH EX TOP OF CURB
	R/W OR P/L	SXTC	SOUTH EX TOP OF CURB
	EX IMPROVEMENTS	XCL	EX CENTER LINE
	FUTURE IMPROVEMENTS	FG	FINISH GRADE
	CENTER LINE	TC	TOP OF CURB
	RETAINING WALL	EP	EDGE OF PAVEMENT
	CONC BLOCK WALL	FL	FLOW LINE
	EX CONC BLOCK WALL	D.G.	DESIGN GRADE
	EX DIRT ROAD	H.P.	HIGH POINT
	EX AC	L.P.	LOW POINT
	CONSTRUCTION PHASE LINE OR UNIT BOUNDARY LINE	C/L	CENTERLINE
	EX "L" CURB	BCR	BEGIN CURB RETURN
	PROPOSED "L" CURB	BVR	BEGIN VERTICAL CURVE
		GR	GRADE BREAK
		INT	INTERSECTION

● STANDARD MANHATTAN

400 WATT H.P.S.

250 WATT H.P.S.

100 WATT H.P.S.

LVMD PROJECT #

1. NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE LVMD. FOLLOWING WATER PLAN APPROVAL, NOTICE SHALL BE GIVEN TO THE LVMD COMMUNICATION SUPPORT CENTER (258-7171) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. FOR FUTURE INSPECTIONS, NOTICE MUST BE GIVEN BY 2:00 P.M. THE BUSINESS DAY PRIOR TO THE REQUESTED LVMD INSPECTION.
2. WHEN REQUESTING INSPECTIONS, PLEASE REFER TO THE PROJECT # IDENTIFIED ABOVE.
3. ALL WORK SHALL CONFORM TO LVMD STANDARD PLATES, DRAWINGS, AND SPECIFICATIONS, AND TO THE 2003 EDITION OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS).
4. ALL WORK, EXCEPT AS MODIFIED BY THESE PLANS OR BY NOTE 2 ABOVE, SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT DRAFT OR EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENT, CLARK COUNTY AREA.
5. A SINGLE PIPE MATERIAL SHALL BE USED THROUGHOUT THE PROJECT UNLESS OTHERWISE APPROVED BY THE LVMD.
6. ALL SERVICE LATERALS TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING WITH LVMD APPROVED SEWER SADDLES.
7. ALL WATER METER BOXES SHALL BE LOCATED OUTSIDE OF DRIVEWAY AREAS.
8. ALL VALVES SHALL BE LOCATED OUTSIDE OF DRIVEWAYS, VALLEY AND CUB CUTTERS.
9. ALL WATER AND STORM DRAIN OR SANITARY SEWER CROSSINGS SHALL CONFORM TO SECTION 2.19 OF THE 2003 EDITION OF THE UDACS.
10. ALL WATER FACILITIES SHALL BE FIELD DISINFECTED, PRESSURE TESTED, FLUSHED, FILLED, AND AN ACCEPTABLE WATER SAMPLE OBTAINED PRIOR TO CONNECTION TO THE LVMD DISTRIBUTION SYSTEM.
11. THE CONTRACTOR MUST OBTAIN ALL METERS TWO (2) INCHES AND SMALLER FROM LVMD CENTRAL STORES. TELEPHONE 258-3152 OR 258-3802, TWO (2) WORKING DAYS PRIOR TO METER PICKUP.
12. ALL SEWER SERVICE LATERALS MUST BE PERFORMED IN ACCORDANCE WITH UDACS SECTION 3.13.01, AND APPROVED BY THE LVMD INSPECTION DIVISION PRIOR TO SHUTDOWN. PROPER WRITTEN NOTIFICATION MUST BE GIVEN TO ALL AFFECTED CUSTOMERS.
13. ALL WATER FACILITY CONSTRUCTION MATERIALS USED MUST BE AS LISTED ON THE LVMD PRE-APPROVED MATERIALS AND MANUFACTURER'S LISTING FOR NEW FACILITIES, LATEST REVISION, OR SPECIFICALLY APPROVED ON THESE PLANS.
14. TELEPHONE "CALL BEFORE YOU DIG" AT "811" OR 1-800-227-2600.

S.N.R. MAY 2003.DOC

03/22/12

SHEET
NT
2 OF 5 SHEETS
DRAWING NO.

H:\7418\7222-NT.DWG