

DS #: DS 3985

APN: 139-34-111-039 & 139-34-111-040


PROJECT: GOLDEN NUGGET TOWER EXPANSION

SUBMITTAL: 7<sup>th</sup> SUBMITTAL - UPDATE #4

SCANNED BY/DATE: \_\_\_\_\_

CHECKED BY/DATE: \_\_\_\_\_



<b>CITY OF LAS VEGAS INTER-OFFICE MEMORANDUM</b>		<b>DATE:</b> June 26, 2009 
<b>TO:</b> Land Development Services Department of Public Works		<b>FROM:</b> Oh Sang Kwon, P.E. Flood Control Department of Public Works
<b>SUBJECT:</b>	Drainage Study for: <b>Golden Nugget Tower Expansion – Update #4</b>	
<b>Cross Streets:</b>	NWC of First Street & Bridger Avenue	
<b>File Number:</b>	F:\Depot\DSMemos\DS3985G.doc	
<b>Parcel Number:</b>	139-34-111-039 & 139-34-111-040	
<b>Zoning Action:</b>	VAC-8589; SDR-11705; SUP-11711 & SUP-11713	
<b>FEMA Flood Zone</b>	YES	NO <b>X</b>
<b>Proposed Storm Drain</b>	YES <b>X</b>	NO

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 <sup>st</sup> Submittal	4/5/2006	4/19/2006	Not Approved	\$400.00	42914: \$400
2 <sup>nd</sup> Submittal & Supplemental	6/8/2006 & 6/28/2006	6/30/2006	Approved	\$400.00	47317: \$400
3 <sup>rd</sup> Submittal	12/14/2006	12/27/2006	Approved	\$100.00	59515: \$100
4 <sup>th</sup> Submittal	8/13/2007	8/27/2007	Not Approved	\$100.00	75565: \$100
5 <sup>th</sup> Submittal	9/7/2007 & 11/13/2007	11/13/07	Conditionally Approved	\$100.00	77309: \$100
6 <sup>th</sup> Submittal	3/23/2009	4/2/2009	Approved	\$100.00	117746: \$100
7 <sup>th</sup> Submittal	6/24/2009	6/26/2009	See Comments Below	\$100.00	124164: \$100
<b>TOTAL FEES (LDDRS):</b>				<b>\$1,300.00</b>	<b>----</b>

**REMARKS:**

7<sup>th</sup> Submittal: Update #4 for connecting roof drain with sump pump to back of an existing drop inlet on Carson Avenue.

6<sup>th</sup> Submittal: Update #3 for minor grading change at the porte cochere entrance at the northwest corner of Carson Avenue and First Street

4<sup>th</sup> & 5<sup>th</sup> Submittals: Update #2 to (i) Relocate an existing onsite storm drain system and (ii) To construct a new tower at the northwest corner of *First Street* and *Carson Avenue*.

3<sup>rd</sup> Submittal: Update #1 to revise proposed storm drain system in First Street

The Drainage Study for the subject project has been reviewed and:

<b>X</b>	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. Label invert elevations and percent slope for the force mains from sump pump.

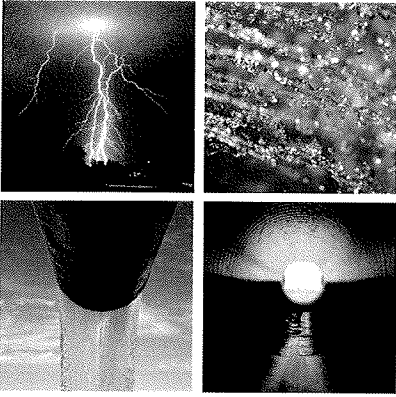
**NOTE:** Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*.

Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

**NOTE:** Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

**END OF REMARKS**  
Ays/PBJ/OSK

T/R/S: T20S/R61E/34  
AREA M-34



Taming The Power of Water

# TECHNICAL DRAINAGE STUDY UPDATE

## The Golden Nugget Tower Expansion

DS 3985-4  
6/24/09  
M-34  
\$100 -

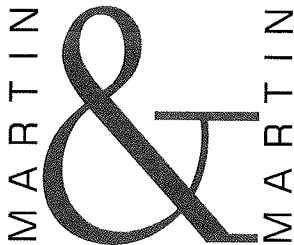
Update # 4  
to the  
Technical Drainage Study  
For  
The Golden Nugget Tower Expansion  
(CLV DS # 3985F)

June 2009

MARTIN & MARTIN PROJECT NO. 2514

Prepared for:

GNLV  
P.O. Box 610  
Las Vegas, NV 89125



Civil Engineers

1909 South Jones Boulevard  
Las Vegas, Nevada 89146  
Phone (702) 248-8000  
Fax (702) 248-8070  
[www.martinmartinlv.com](http://www.martinmartinlv.com)

**HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL**

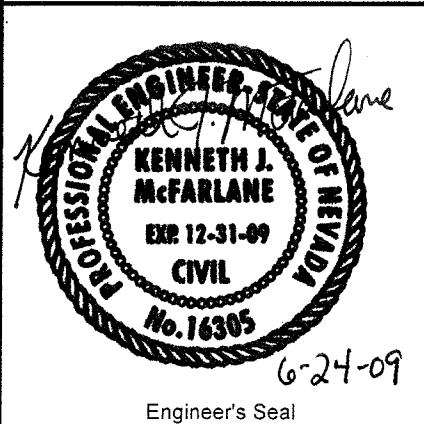
**DRAINAGE STUDY INFORMATION FORM**

Name of Development: **Update #4 to The Golden Nugget Tower Expansion** Date: **6/24/2009**  
 Location of Development: a) Descriptive (Cross Streets) **On First St. between Carson Ave. and Fremont St.**  
 b) Section **34** Township **20 South** Range **61 East**  
 Name of Owner: **GNLV** Assessors Parcel Number: **139-34-111-039, 040**  
 Telephone Number: **(702) 386-8127** Fax Number: **(702) 248-8070**  
 Address: **P.O Box 610**  
**Las Vegas, NV 89125**  
 Contact Person Name: **Patrick Dow, P.E.** Email: **pdow@mmcivil.com**  
 Firm: **Martin & Martin Civil Engineers**  
 Address: **1909 South Jones Boulevard**  
**Las Vegas, NV 89146** Telephone Number: **(702) 248-8000**

Type of Land Development/Land Disturbance Process:

<input type="checkbox"/>	Rezoning	<input type="checkbox"/>	Subdivision Map	<input type="checkbox"/>	Clearing and Grading Only
<input type="checkbox"/>	Parcel Map	<input type="checkbox"/>	Planned Unit Development	<input type="checkbox"/>	Other (Please specify below)
<input type="checkbox"/>	Large Parcel Map	<input checked="" type="checkbox"/>	Building Permit	<input type="checkbox"/>	

- Total Owned Land Area: At Site: **± 5.14 Ac** Being Developed: **± 0.75 Ac**
- Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? YES\* **NO**
- Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? YES\* **NO**
- Proposed type of development (Residential, Commercial, Etc.)? **Commercial**
- Approximate upstream land area which drains to the subject site? **2.17 Acres**
- Has the site drainage been evaluated in the past? **YES** NO  
 If yes, please identify documentation:  
**CLV # 3985F**
- If known, please briefly identify the proposed discharge point(s) of runoff from the site:  
**To the existing storm drain system in Carson Avenue @ First Street and surface flow via bubbler**
- Briefly describe your proposed schedule for the subject project: **ASAP**



Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

\* Review and concurrence of the Clark County Regional Flood Control District is Required.

Revision	Date

Local Entity File No. \_\_\_\_\_

REFERENCE: M&M Project 2514

STANDARD FORM 1

**TABLE OF CONTENTS**

STANDARD FORM 1

UPDATE LETTER

APPENDIX

## TABLE OF APPENDICES

### ROOF DRAIN DISCHARGE CALCULATIONS

- Rainfall Intensity Values (Table 506)
- Rational Method Runoff Coefficients (Table 601)
- Roof Drain Collection Area per Plumbing Engineer (email)
- Rational Method Runoff Calculations

### BUBBLER CALCULATIONS

### ORDER OF VACATION FOR CARSON AVENUE & FIRST STREET

#### CLV DS# 3958F

- Approval Letter
- Approved Improvement Plans (attached)

#### CLV DS# 3958E

- Approval Letter
- Update Letter
- Approved Basin Map (attached)

### REVISED GRADING SHEET C4.01 (ATTACHED)

June 24, 2009

Mr. Albert Sung, P.E.  
Flood Control Project Engineer  
Department of Public Works  
731 S. Fourth Street  
Las Vegas, Nevada 89101

**Re: TDS Update #4 to the Golden Nugget Tower Expansion  
CLV DS #3985F  
Martin & Martin Project No. 2514**

Dear Mr. Sung,

This letter is a hydrology study update to the approved *Technical Drainage Study for Golden Nugget Tower Expansion* (CLV DS # 3985). The purpose of this letter is to address the hydraulic impacts due to:

- Minor changes in roof drain outlet location in Porte Cochere.

The Improvement Plans for the Golden Nugget Street Vacation proposed to vacate the existing right-of-way for Carson Avenue and First Street adjacent to the Golden Nugget and reserve the former rights-of-way as a drainage easement to be publicly maintained. Please see the attached Order of Vacation for Carson Avenue and First Street.

Update #2 for the Golden Nugget Tower Expansion identified the roof drains for the Tower III to drain to existing drop inlets at the northeast corner of Carson Avenue and First Street. Due to field conditions observed during construction, several utility conflicts exist that prevent routing these roof drains to the northeast corner of Carson Avenue and First Street.

The best solution was to route the roof drains to the existing inlet on the north side of Carson Avenue, just west of First Street. However, due to as-built conditions, the invert of the roof drain is lower than the invert of the existing inlet at that location. Therefore, we propose a bubbler be installed in the landscape area north of the proposed sidewalk and outside of the current drainage easement along the north side of Carson Avenue. The bubbler shall surface flow to the existing low point at Carson Avenue and First Street, as is the current condition. A pump shall be installed in the bubbler with a force main to the back of the existing inlet on the north side of Carson Avenue to drain the bubbler system after the storm event has passed.

Please note that the proposed bubbler and pump shall be on private property outside of the drainage easement. These facilities shall be privately maintained.

The revisions shown on the attached plans do not alter the approved hydrology for the subject site, nor do the changes alter any onsite or offsite flow patterns.

The original approved grading plans have been included in the appendix with the proposed Grading Plans and associated Detail Sheets. If you have any questions or concerns, please feel free to contact us at any time.

Sincerely,



**Kenneth J. McFarlane, P.E.**  
**Director of Operations**  
**Martin & Martin Civil Engineers**

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# HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL

## TIME-INTENSITY-FREQUENCY VALUES FOR McCARRAN AIRPORT RAINFALL AREA (IN INCHES PER HOUR)

TIME (min)	<u>RECURRENCE INTERVAL</u>					
	2-YR	5-YR	10-YR	25-YR	50-YR	100-YR
5	1.80	3.24	4.20	5.52	6.48	7.56
10	1.50	2.64	3.42	4.44	5.34	6.12
15	1.32	2.28	2.96	3.88	4.60	5.28
30	0.88	1.56	2.02	2.62	3.10	3.58
60	0.52	0.89	1.15	1.50	1.78	2.06

Use 5 min lag time (most conservative design) since roof drainage patterns are unknown.

- NOTE: 1. Refer to Figure 513 for a description and drawing of the area included in the McCarran Airport Rainfall Area.  
 2. Table 501 adjustments not required.

<i>Revision</i>	<i>Date</i>

**WRC  
ENGINEERING**

**REFERENCE:**  
USACE, Los Angeles District, 1988

**TABLE 506**

**Jesse J. Patchett**

**From:** Kris Kalkowski [KKalkowski@jbace.com]  
**Sent:** Tuesday, May 26, 2009 3:31 PM  
**To:** Jesse J. Patchett  
**Cc:** Cindy Zanzig  
**Subject:** GNLV Storm Drain Sizing

Jesse,

I have worked the storm drain sizing a couple of ways. This site is a little odd in relation to the towers vertical projection to the total horizontal projection of the site.

If this was a small tower on a huge site it would be easy, just the horizontal projected area.

But since this is a big tower on a small site the vertical area is the dominate factor.

The worst case loading is= 55,246 sqft which is 884 gpm per Table D-1 of the UPC(0.016 gpm.sqft).

The Horizontal only case is 32,290 sqft which is 517 gpm per Table D-1.

Area Used for Rational Method Runoff Calculations

When looking at the drawings the values noted may be different but they were accounting for the combined overflow roof drains and roof drains so the values wont match on the page. We were trying to keep the pipe sizes small while allowing for a worst case load at the same time.

So, the design value for the roof drain flow would be 884 gpm.

If you have any questions please call.

Kris

Plumbing Engineer Flow Estimate of 884 gpm = 1.97 cfs. Civil Rational Method Runoff Estimates 2.6 gpm. Use Civil flows as worst case scenario.

**Kris Kalkowski P.E. CIPE**  
Mechanical Engineer  
**jba consulting engineers**  
JBA Las Vegas · 5155 W Patrick Ln · Las Vegas, NV 89118  
p 702.362.9200 · f 702.362.9862 · c 702.324.4463 · kkalkowski@jbace.com · jbace.com

The information contained in this electronic message is confidential. If the reader of this message is not the intended recipient, you are hereby notified that any use, dissemination, distribution or reproduction of this communication is strictly prohibited. If you have received this communication in error please delete it immediately and please advise the sender.

Kris Kalkowski with JBA is the MEP for the Golden Nugget Project

## Rational Method Storm Flow Calculations

Project: Golden Nugget Tower III

Job Number: 2514

Calculated By: JJP

Checked By: Don A.

Date: June 2009

### Rational Method Runoff Calculations

Basin	K <sub>1</sub>	C <sub>2</sub>	I <sub>3</sub>	A	Q
GNLV Tower III	0.5	0.93	7.56	0.74	<b>2.6</b>

1-Adjustment factor is 0.5 per the CCRFCD HC&DDM

2-Runoff Coefficient Per Table 601 in the CCRFCD HC&DDM

3-Intensity per Table 506 in the CCRFCD HC&DDM

$$Q = KCIA$$

Where: Q=100-year storm flow (cfs)

K=Local Adjustment Factor

C=Runoff Coefficient

I=Average Rainfall Intensity

A=Area in acres

- \* 0.74 Acres = 32,290 sq ft per Plumbing Engineer
- \* 0.93 = most conservative runoff coefficient per CCRFCD HC&DDM Table 601
- \* Use 5 min lag time as most conservative lag time for roof drainage

Project: Golden Nugget Tower III  
 Job Number: 2514  
 Calculated By: JJP  
 Checked By: Don A.  
 Date: June 2009

### Bubbler sizing calculations

Orifice Equation			Clogging and Area Calculations		
Q (cfs)	h (ft)	Area Required (without clogging) (sf)	"A" with 50% Clogging (sf)	"A" Grate (sf)	Total "A" (sf)
2.6	0.1	1.6	3.2	5.0	5.0

Check

ok

\* 2.6 cfs obtained from Rational Method Runoff Calculations

**Determine Grate Capacity:**

Use Orifice Flow Equation:

$$Q = C_d A (2gH)^{0.5}$$

Solve for Area required, "A", then apply 50% clogging factor:

$$A = Q / (C_d (2gH)^{0.5})$$

Where:

A = Cross-sectional Area in ft<sup>2</sup>

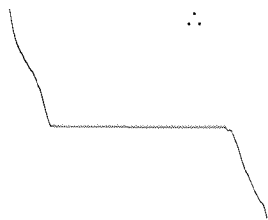
H = pressure head (ft)

Q = Flow calculated from Rational Method Runoff Calculations (cfs)

g = gravitational constant = 32.2 ft/sec<sup>2</sup>

C<sub>d</sub> = Orifice Coefficient = 0.65

**Required Area = 3.2 s.f.; Area in 30"x24" Drain = 5 s.f. ∴ OK**



0.5

$$Q = 0.65 (5) \sqrt{2 \times 32.2 \times 0.1}$$

$$= 5.24$$

Receipt/Confirmed Copy

Requestor:  
LAS VEGAS CITY  
04/29/2009 13:34:39 T20090148192  
Book/Instr: 20090429-0002720  
Vacation Page Count: 8  
Fees: \$21.00 N/C Fee: \$0.00

When recorded mail to:  
City Clerk-City Hall  
400 Stewart Ave  
Las Vegas, Nevada 89101

APN: 139-34-199-003, -299-002

Debbie Conway  
Clark County Recorder

COPY

## ORDER OF VACATION

WHEREAS, a petition dated the 22<sup>nd</sup> day of February 2008, signed by a property owner(s) abutting the area affected thereby, was filed with the City Clerk of the City Council of the City of Las Vegas, Nevada (hereinafter the "City Clerk" and the "City Council" respectively), applying for the vacation of certain real property, hereinafter described. The petition having been in order, the City Council referred it to the City's Planning Commission (hereinafter the "Planning Commission") for its recommendation, and the Planning Commission having filed its report with the City Council approved and recommended such vacation; and

WHEREAS, The Planning Commission hearing referenced in the previous paragraph was held on the 10<sup>th</sup> day of April 2008, at the hour of 6:00 p.m. in the City Council Chambers of Las Vegas City Hall, 400 East Stewart Avenue, Las Vegas, County of Clark, Nevada, notice of which was provided to each owner of property abutting the area proposed for vacation and a notice published at least once in a newspaper of general circulation in the City setting forth the date, time and place of the public hearing and the extent of the proposed vacation; and

WHEREAS, the notices were mailed and a notice of hearing was published on the 28<sup>th</sup> day of March 2008, and

WHEREAS, The City Council having held a hearing on the 7<sup>th</sup> day of May 2008, on the petition for vacation and the recommendation of the Planning Commission thereon, and the City Council having heard evidence in support of and against the petition; and

WHEREAS, Following the hearing, the City Council having approved the petition by finding that the portion of the real property to be vacated is no longer required for the public use and convenience and that the vacation will inure to the benefit of the City of Las Vegas and that neither the public, nor any person, will be materially injured thereby, and that utility company requirements, if any, will be satisfied;

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THEREFORE, IT IS HEREBY ORDERED by the City Council of the City of Las Vegas, Nevada, that the following described real property, situated in the City of Las Vegas, Nevada, County of Clark, State of Nevada, and more particularly described as follows:

**EXPLANATION:**

This legal description describes a portion of First Street and a portion of Carson Avenue for vacation purposes.

**LEGAL DESCRIPTION:**

Those portions of the Northwest Quarter (NW 1/4) of Section 34, Township 20 South, Range 61 East, M.D.M. in the City of Las Vegas, County of Clark, State of Nevada, being that portion of CARSON STREET (now known as CARSON AVENUE) together with that portion

of FIRST STREET, as shown on the plat of CLARK'S LAS VEGAS TOWNSITE, on file in Book 1 of Plats, Page 37, of Clark County, Nevada Records, described as follows:

PARCEL 1 – PORTION OF CARSON STREET WEST OF FIRST STREET

That portion of CARSON STREET (80 feet wide), bounded as follows; bounded on the northwest by the northeasterly projection of the northwesterly line of LOT 32 in BLOCK 4 of said CLARK'S LAS VEGAS TOWNSITE plat; and bounded on the southeast by the northwesterly line of FIRST STREET (80 feet wide).

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PARCEL 2 – FIRST STREET SOUTH OF CARSON AVENUE

That portion of FIRST STREET (80 feet wide), bounded as follows; bounded on the northeast by the southeasterly projection of the northeasterly line of LOT 17 in BLOCK 3 of said CLARK'S LAS VEGAS TOWNSITE plat; and bounded on the southwest by the northeasterly line of BRIDGER AVENUE (80 feet wide).

RESERVING THEREFROM an easement to the CITY OF LAS VEGAS for public streetlight purposes, public fire hydrant purposes and appurtenances thereto, over, across and under the northwesterly 5.00 feet of the above-described PARCEL 1 and the southwesterly 5.00 feet of the above-described PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

ALSO RESERVING THEREFROM an easement to the CITY OF LAS VEGAS for public drainage purposes, public sewer purposes, and appurtenances thereto, over, across and under the above-described PARCEL 1 and PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom. Said easement is to be privately maintained.

ALSO RESERVING THEREFROM an easement to the CITY OF LAS VEGAS for emergency access purposes, over and across the above-described PARCEL 1 and PARCEL 2.

ALSO RESERVING THEREFROM an easement to the Nevada Power Company, a Nevada corporation, d/b/a NV Energy, over, across and under northwesterly 10.00 feet of the above-described PARCEL 1 and the southwesterly 10.00 feet of the above-described PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

ALSO RESERVING THEREFROM an easement to the SOUTHWEST GAS CORPORATION, over, across and under the above-described PARCEL 1 and PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

ALSO RESERVING THEREFROM an easement to the LAS VEGAS VALLEY WATER DISTRICT, over, across and under the above-described PARCEL 1 and PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

ALSO RESERVING THEREFROM an easement to CENTRAL TELEPHONE COMPANY d/b/a/ EMBARQ, over, across and under the above-described PARCEL 1 and PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

ALSO RESERVING THEREFROM an easement to COX COMMUNICATIONS LAS VEGAS, INC., a Delaware corporation, over, across and under the above-described PARCEL 1 and PARCEL 2, together with reasonable rights of ingress thereto and egress therefrom.

The MAP EXHIBIT accompanying this land description is attached hereto and made a part hereof.

END OF DESCRIPTION

COPY

be, and the same hereby is, vacated subject to the following conditions:

1. All development shall be in conformance with code requirements and design standards of all City Departments;

2. Reservation of easements for the facilities of the various utility companies together with reasonable ingress thereto and egress there from shall be provided if required;
3. If the Order of Vacation is not recorded within one (1) year after approval by the City of Las Vegas or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted
4. The limits of this Petition of Vacation shall be defined as the entire width of First Street from Bridger Avenue to Carson Avenue and Carson Avenue from First Street westward to the alley;
5. Unless otherwise allowed, a waiver of Title 18.12.130 to allow a public street to terminate other than with a circular cul-de-sac shall be approved prior to recordation of the Order of Vacation. If such a waiver is not approved, additional right-of-way for a cul-de-sac shall be dedicated prior to recordation of the Order of Vacation. Provide an engineering plan for approval by the City Engineer, or his designee, that depicts the public street improvements for the termination of Carson Avenue. The intersection of Carson Avenue at Main Street shall be redesigned and constructed to emphasize that Carson Avenue is not a through street. The approved termination design for Carson Avenue shall be constructed prior to the recordation of the Order of Vacation;
6. Prior to recordation of an Oder of Vacation, provide a plan acceptable to the City Engineer showing how the right-of-way proposed to be vacated will be incorporated into the abutting properties, including the property not controlled by the applicant (if applicable), so that no un-maintained "no-man's land" areas are produced by this action, and all affected parties are aware of the final disposition of the property to be vacated. The required plan shall identify exactly who is responsible to reclaim each portion of right-of-way and exactly how the right-of-way will be reclaimed, and shall provide a schedule of when such reclamation will occur;

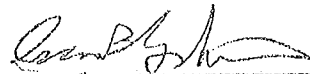
7. A sanitary sewer relocation/abandonment plan must be approved by the Department of Public Works. If relocation is proposed, the relocated sewer lines must be constructed and active prior to the recordation of the Order of Vacation. Alternatively, public sewer easements shall be retained through this Petition of Vacation. If easements are retained, this Vacation may record in phases, to allow for future elimination of easements at the discretion of the City Engineer;
  
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the recordation of the Order of Vacation for this application. Appropriate public drainage easements shall be reserved if recommended by the approved Drainage Plan/Study. If easements are retained, this Vacation may record in phases, to allow for future elimination of easements at the discretion of the City Engineer;
  
9. The Order of Vacation shall retain emergency access easements unless written approval is provided from the Fire Prevention Division prior to recordation of the Order of Vacation;
  
10. All existing public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation. All new improvements shall conform to City of Las Vegas Downtown Centennial Plan standards; and
  
11. The Order of Vacation shall not be recorded until all of the conditions of approval have been met provided, however, that conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as

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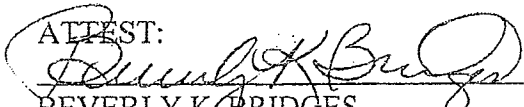
current City right-of-way requirements are still complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way or easement being vacated must be retained.

2009

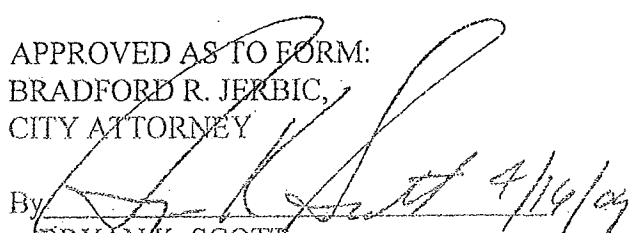
DATED this 21<sup>ST</sup> day of APRIL, 2009.



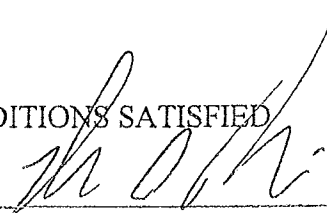
OSCAR B. GOODMAN, MAYOR

ATTEST:  
  
BEVERLY K. BRIDGES,  
CMC CITY CLERK

APPROVED AS TO FORM:  
BRADFORD R. JERBIC,  
CITY ATTORNEY

By  4/16/09  
BRYAN K. SCOTT  
ASSISTANT CITY ATTORNEY

CONDITIONS SATISFIED

By  for  
PLANNING AND DEVELOPMENT DEPARTMENT  
M. MARGO WHEELER, DIRECTOR  
Thomas A. Perrigo  
Deputy Director  
PLANNING & DEVELOPMENT

NOT-TO-SCALE

MAIN STREET

CARSON AVE

BRIDGER AVE

FIRST STREET

PARCEL 1

PARCEL 2

LEGEND

RIGHT-OF-WAY BEING VACATED [diagonal hatching symbol]

STREET CENTERLINE [dashed line symbol]

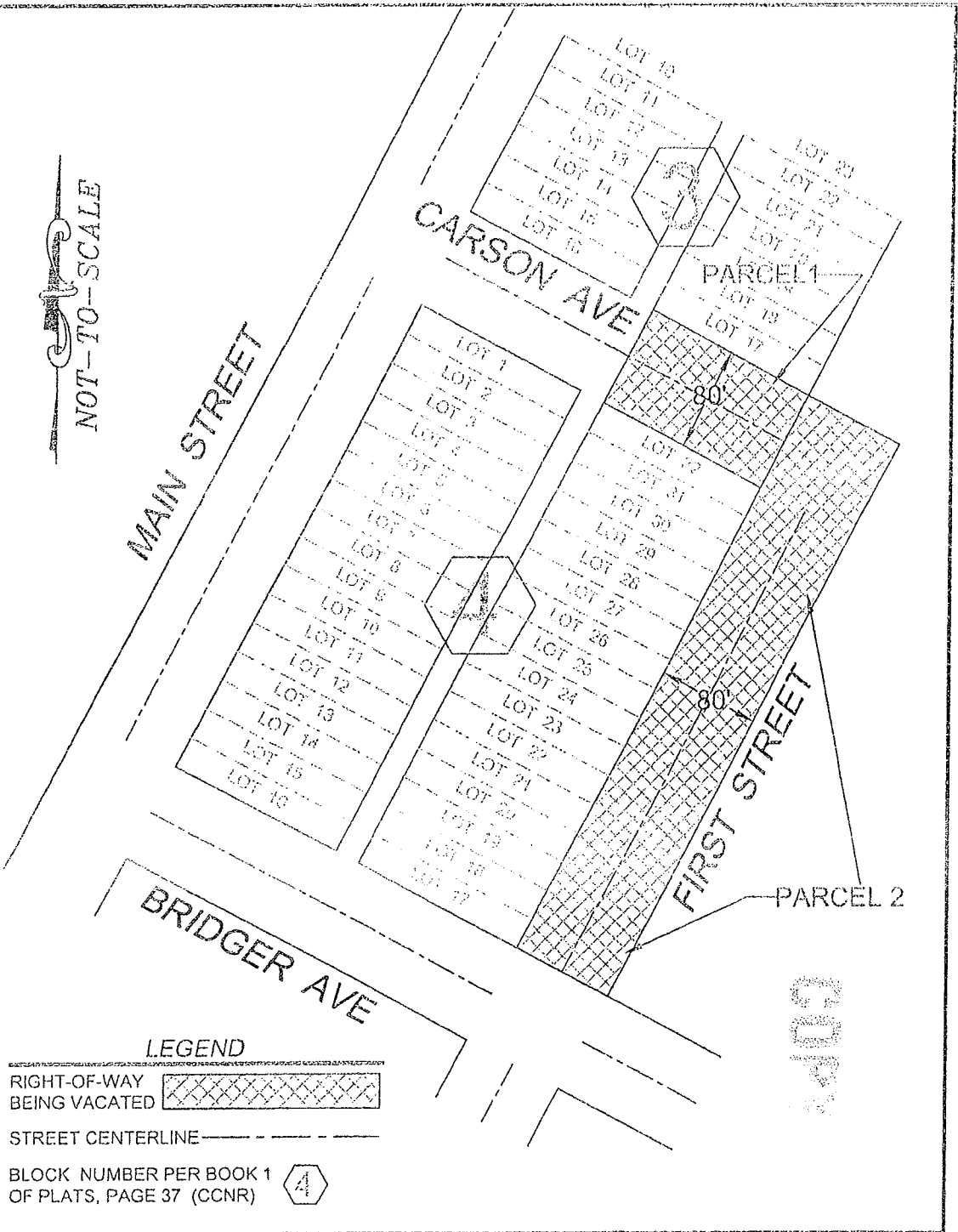
BLOCK NUMBER PER BOOK 1 OF PLATS, PAGE 37 (CCNR) [hexagon with number 4 symbol]

MAP EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION  
NW 1/4, SEC 34, T20S, R61E, MDM  
VAC-27033  
ROAD PARCELS 139-34-199-003, -299-002  
ex090205.DOC



DEPARTMENT OF PUBLIC WORKS  
RIGHT OF WAY SECTION

3403



2514  
ALS  
PD

<b>CITY OF LAS VEGAS</b>		<b>DATE:</b>
<b>INTER-OFFICE MEMORANDUM</b>		April 2, 2009
<b>TO:</b> Land Development Services Department of Public Works		<b>FROM:</b> Oh Sang Kwon, P.E. Flood Control Department of Public Works
<b>SUBJECT:</b> Drainage Study for: <b>Golden Nugget Tower Expansion - Update #3</b>		<b>COPIES TO:</b> Martin & Martin Civil Engineers
<b>Cross Streets:</b>	NWC of First Street & Bridger Avenue	GNLV
<b>File Number:</b>	F:\Depot\DSMemos\DS3985F.doc	Bart Anderson, P.E., DevCo
<b>Parcel Number:</b>	139-34-111-039 & 139-34-111-040	
<b>Zoning Action:</b>	VAC-8589; GDR-11705; SUP-11711 & SUP-11713	
<b>FEMA Flood Zone</b>	YES NO <b>X</b>	
<b>Proposed Storm Drain</b>	YES <b>X</b> NO	

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 <sup>st</sup> Submittal	4/5/2006	4/19/2006	Not Approved	\$400.00	42914: \$400
2 <sup>nd</sup> Submittal & Supplemental	6/8/2006 & 6/28/2006	6/30/2006	Approved	\$400.00	47317: \$400
3 <sup>rd</sup> Submittal	12/14/2006	12/27/2006	Approved	\$100.00	59515: \$100
4 <sup>th</sup> Submittal	8/13/2007	8/27/2007	Not Approved	\$100.00	75565: \$100
5 <sup>th</sup> Submittal	9/7/2007 & 11/13/2007	11/13/07	Conditionally Approved	\$100.00	77309: \$100
6 <sup>th</sup> Submittal	3/23/2009	4/2/2009	See Comments Below	\$100.00	117746: \$100
<b>TOTAL FEES (LDDRS):</b>				<b>\$1,200.00</b>	<b>----</b>

**REMARKS:**

6<sup>th</sup> Submittal: Update #3 for minor grading change at the porte cochere entrance at the northwest corner of Carson Avenue and First Street

4<sup>th</sup> & 5<sup>th</sup> Submittals: Update #2 to (i) Relocate an existing onsite storm drain system and (ii) To construct a new tower at the northwest corner of First Street and Carson Avenue.

3<sup>rd</sup> Submittal: Update #1 to revise proposed storm drain system in First Street

The Drainage Study for the subject project has been reviewed and:

<b>X</b>	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

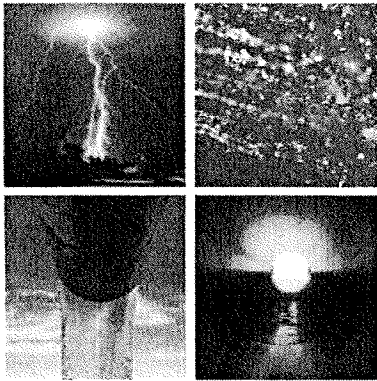
**NOTE:** Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

**NOTE:** Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the Nevada Division of Environmental Protection a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

**END OF REMARKS**  
Ays/PBJ/OSK

T/R/S: T20S/R61E/34  
AREA M-34

Post-It <sup>®</sup> Fax Note	7671	Date	6/1/03	# of pages	2
To	PATRICK Dow, P.E.	From	Albert Sung		
Co./Dept	MARTIN & MARTIN	Co.	CLV		
Phone #		Phone #	229-2001		
Fax #	248-5070	Fax #			



# TECHNICAL DRAINAGE STUDY

## The Golden Nugget Tower Expansion

Taming The Power of Water

Update #2  
August 2007

(CLV DS # 3958B & 3958C)  
MARTIN & MARTIN PROJECT NO. 2501.03 & 2514.01

Prepared for:

GNLV  
P.O. BOX 610  
Las Vegas, NV 89125

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Civil Engineers  
& Surveyors

2101 S. Jones Blvd., Suite 120  
Las Vegas, Nevada 89149  
Phone (702) 248-8000  
FAX (702) 248-8070  
www.martinmartinlv.com

**HYDROLOGIC CRITERIA AND DRAINAGE DESIGN MANUAL**

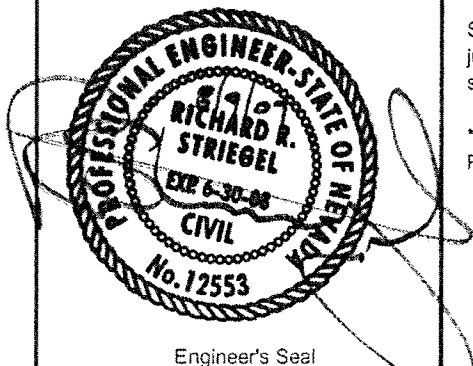
**DRAINAGE STUDY INFORMATION FORM**

Name of Development: Update #2 to The Golden Nugget Tower Expansion Date: 8/9/2007  
 Location of Development: a) Descriptive (Cross Streets) On First St. between Carson Ave. and Fremont St.  
 b) Section 34 Township 20 South Range 61 East  
 Name of Owner: GNLV Assessors Parcel Number: 139-34-111-039, 040  
 Telephone Number: (702) 386-8127 Fax Number: (702) 248-8070  
 Address: P.O Box 610  
 Las Vegas, NV 89125  
 Contact Person Name: Richard R. Striegel, P.E. Email: rstriegel@mmcivil.com  
 Firm: Martin & Martin Civil Engineers and Surveyors  
 Address: 2101 South Jones Boulevard, Suite 120  
 Las Vegas, NV 89146 Telephone Number: (702) 248-8000

Type of Land Development/Land Disturbance Process:

<input type="checkbox"/>	Rezoning	<input type="checkbox"/>	Subdivision Map	<input type="checkbox"/>	Clearing and Grading Only
<input type="checkbox"/>	Parcel Map	<input type="checkbox"/>	Planned Unit Development	<input type="checkbox"/>	Other (Please specify below)
<input type="checkbox"/>	Large Parcel Map	<input checked="" type="checkbox"/>	Building Permit	<input type="checkbox"/>	

- Total Owned Land Area: At Site: ± 5.14 Ac Being Developed: ± 0.75 Ac
- Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? YES\* NO
- Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? YES\* NO
- Proposed type of development (Residential, Commercial, Etc.)? Commercial
- Approximate upstream land area which drains to the subject site? 2.17 Acres
- Has the site drainage been evaluated in the past? YES NO  
 If yes, please identify documentation:  
 CLV DS# 3958A and CLV # 3985C
- If known, please briefly identify the proposed discharge point(s) of runoff from the site:  
 To the existing storm drain system, and to First Street
- Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

\* Review and concurrence of the Clark County Regional Flood Control District is Required.

Local Entity File No. \_\_\_\_\_

Revision	Date



Civil Engineers  
& Surveyors

John A. Martin, Jr., S.E.  
Allen E. Pavelka, P.E.

August 09, 2007

Albert Sung, P.E.  
City of Las Vegas Land Development Services  
Department of Public Works  
731 South Fourth Street  
Las Vegas, NV 89101

**Re: Update #2 to the Technical Drainage Study for The Golden Nugget Tower  
Expansion  
(CLV DS # 3985B and CLV DS # 3985C)  
Martin & Martin Project No. 2501.03 & 2514.01**

Dear Mr. Sung,

This letter is a hydrology study update to the approved *Technical Drainage Study for The Golden Nugget Tower Expansion* (CLV DS # 3985B) and *Update #1 to the Technical Drainage Study for The Golden Nugget Tower Expansion* (CLV DS # 3985C). The purpose of this letter is to address the hydraulic impacts due to:

- Relocation of onsite storm drain network along Fremont Street
- Proposed new tower at northwest corner of First Street and Carson Avenue

These two items are discussed in detail as Item 1 and Item 2 respectively. The approved onsite hydrology has not been changed. A copy of the approval letter for CLV DS # 3958B and CLV DS # 3958C has been included along with appropriate exhibits.

**Item 1: Relocation of onsite alley storm drain network connect to Fremont Street**

Per CLV DS # 3958B, there are two proposed 2-foot by 2-foot area drains at the northeast corner of the project site. These drop inlets intercepts flows from basins OFD3, OFD4 and OFD5, which then will be conveyed to the 18-inch RCP in Fremont Street through onsite storm drain. The total flow discharged to existing storm drain in Fremont Street is 5/9 cfs ( $Q_{10}/Q_{100}$ ) referred as concentration point CPD1.

As part of this update, the storm drain network along northeast corner is proposed to be moved approximately 30-foot east. The total flow design flow in the storm drain system draining to Fremont Street system shall remain 5/9 cfs. Two- 2-foot by 3-foot Jensen area drains have been proposed to intercept 100-year flow of 9 cfs. The attached drop inlet calculations show that proposed area drain shall capture 100-year flows of 10.60 cfs, with 50% clogging. The hydraulic analysis for revised storm drain system is included in the appendix.

In case, the proposed double 2-foot by 3-foot area drains are 100% clogged, the emergency overflow path would be directed towards Fremont Street. An additional 2-foot by 2-foot area drain has been proposed which capture the flow of 6 cfs and remaining 3 cfs ( $9-6=3$  cfs) shall sheet flow to Fremont Street, in order to maintain water surface elevation (WSE) near tower entrance along Fremont Street. The emergency overflow path calculations are included in the appendix (FlowMaster section FM4 and 2-foot by 2-foot drop inlet calculation)

Also, the existing 10-foot drainage easement along old storm drain alignment is proposed to be vacated. A new 10-foot drainage easement has been proposed along new alignment and is called out on plans as "10-foot public drainage easement to be privately maintained". Revised plan and profile sheets are included with this submittal.

**Item 2: Proposed new tower at northwest corner of First Street and Carson Avenue**

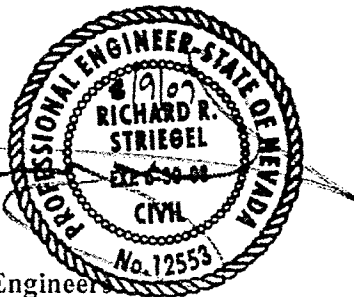
The purpose of this update is to also identify that the proposed finish floor (FF) for the proposed tower at First Street and Fremont Street meets minimum drainage criteria. Under existing conditions, the proposed site is impervious and is part of basin OFD2 (see figure 8). Per CLV DS# 3985C, 100-year storm runoff is facilitated via three drop inlets at intersection of First Street and Carson Avenue and sheet flow to Bridger Avenue. The emergency weir calculations assuming the drop inlets are 100% clogged, indicate a WSE of 2020.73 feet and the proposed FF elevation is 2022.50 feet which allow 1.77 feet of freeboard. The roof drains from the proposed tower shall connect to existing drop inlet at northeast corner of First Street and Carson Avenue. Additional improvements include proposed valley gutter in the alley along the proposed tower. The FlowMaster (FM2) calculations for the alley indicate that the proposed finish floor for the tower is adequately protected from the 100- year flows in the alley. Also the emergency overflow calculations from CLV DS# 3985C are included in the appendix.

The original approved grading plans have been included in the appendix with the proposed Grading Plans. All supporting calculations and figures used in the analyses above have been included as attachments. If you have any questions or concerns, please feel free to contact us at any time.


Sincerely,



Richard R. Striegel, P.E.  
Project Manager  
Martin & Martin Civil Engineers



MARTIN & MARTIN  
Civil Engineers  
& Surveyors  
Las Vegas, NV 89146





Facsimile Transmission  
Department of  
Public Works

Date: 6/26/09

Time: \_\_\_\_\_

Page 1 of 3

To: Patrick Dow, P.E. Of: Martin & Martin Civil Eng.

Fax Number: 702 / 248-8070 Phone Number: 702 / 248-8000

From: Oh Sang Kwon, P.E. Of: CLV

FAX

PHONE

- Administration 702-382-0848 702-229-6276
- City Engineer Division 868-6374 229-6272
  - Architectural Services 382-3232 229-6535
  - Construction Services 254-4541 229-6337
  - Engineering Design 382-3232 229-6272
  - Pavement Management 366-0032 229-2453
  - Special Improvement Districts 366-0032 229-2136
  - Survey 804-8582 229-6217
- Engineering Planning 382-8551 229-6541
  - Flood Control 382-8551 229-6541
  - Land Development 383-9767 229-6371
  - Right-of-Way 382-8551 229-6483
  - Roadway Planning 382-8551 229-6541
  - Sanitary Sewer 382-8551 229-6541
- Streets, Sanitation and Parks 256-7817 229-6227
  - Downtown Beautification Office 384-0220 229-6521
  - Parks Maintenance 229-6144 229-6571
- Traffic Engineering 366-0032 229-6327
  - LVACTS 229-6613 229-6611
  - Traffic/Electrical Field Operations 382-0366 229-6331
  - Traffic Signal Repair 382-5845 229-6075
  - Transportation 474-7083 229-2452
- Environmental (Water Pollution Control Facility) 641-9738 229-6200
  - Industrial Waste Pretreatment 641-9738 229-6200
  - Lab 431-5133 229-6444
  - Supply 431-7835 229-6414

Message: DS 3985-4

# Letter Of Transmittal



**Civil Engineers**

2101 S Jones Blvd, Suite 120  
Las Vegas, NV 89146-3175  
Office: 702-248-8000  
Fax: 702-248-8070  
www.martinmartinlv.com  
ahelzer@mmcivil.com

**Date:** June 17, 2009  
**To:** Flood Control - Albert Sung, P.E.  
**Firm:** City of Las Vegas  
**Address:** 731 S. 4th Street  
Las Vegas, Nevada

**Project #:** 2501.5.01  
**Job Title:** #4Golden Nugget Tower III - TDS Update  
**Regarding:** TDS Update #4 Submittal

<b>Transmitted:</b>	<input type="checkbox"/> Prints / Mylars / Vellums	<input type="checkbox"/> Proposal	<input checked="" type="checkbox"/> Studies	<input type="checkbox"/> CD'S / Disks	<input type="checkbox"/> Other
<b>Via:</b>	<input checked="" type="checkbox"/> Hand Delivery	<input type="checkbox"/> Pickup	<input type="checkbox"/> Air / Overnight	<input type="checkbox"/> U.S. Mail	<input type="checkbox"/> E-Mail

Copies	Sheet No	Description	Date
1		Drainage Study Update #4	
1		Check for \$100	

<input type="checkbox"/> For Your Use	<input checked="" type="checkbox"/> Review	<input type="checkbox"/> Per Your Request	<input type="checkbox"/> Signature	<input type="checkbox"/> Approval	<input type="checkbox"/> For Your Records
---------------------------------------	--	---	------------------------------------	-----------------------------------	---

**From:** \_\_\_\_\_  
Andrea L. Helzer, Project Coordinator

**cc:**