

DS #: 4510

APN: 126-13-810-012

PROJECT: MADISON GROVE @ PROVIDENCE (POD104) - PH. 3

SUBMITTAL: 2ND

SCANNED BY/DATE: _____

CHECKED BY/DATE: _____



CITY OF LAS VEGAS		DATE:
INTER-OFFICE MEMORANDUM		February 10, 2011
TO: Land Development Services Department of Public Works		FROM: Albert Sung, P.E. Flood Control Project Engineer Department of Public Works
SUBJECT:	COPIES TO:	
Drainage Study for:	G. C. Wallace Companies	
Madison Grove at Providence (POD 114) – Phase 3	Land Baron Investments	
Cross Streets:	SWQ of Hualapai Way & Farm Road	Bart Anderson, P.E., DevCo
File Number:	F:\Depot\DSMemos\DS4510B.doc	
Parcel Number:	126-13-810-012	
Zoning Action:	TMP-40426	
FEMA Flood Zone	YES	NO X
Proposed Storm Drain	YES	NO X

HISTORY	DATE RECEIVED	DATE REVIEWED	COMMENTS	REVIEW FEES	FEES PAID Transaction #
1 st Submittal	11/17/2010	12/1/2010	Not Approved	\$400.00	157618: \$400
2 nd Submittal	1/31/2011	2/10/2011	See Comments Below	\$400.00	161743: \$400
			TOTAL FEES (LDDRS):	\$800.00	----

REMARKS:

The Drainage Study for the subject project has been reviewed and:

X	is approved subject to conformance to all City standards and the following conditions:
	must be resubmitted or supplemented including the following:
	is conditionally approved subject to Clark County Regional Flood Control District concurrence.

1. In addition to *Common Lot "K"* as a public drainage easement (privately maintained by HOA), obtain by separate document, a public drainage easement (privately maintained) over the adjacent *Common Lot "N"* of the Cliff's Edge Parent Map 118-88 connecting *Common Lot "K"* to Hualapai Way. The same is required from *Common Lot "J"* to Hualapai Way. These two additional drainage easements must be obtained and recorded prior to or concurrent to the recordation of the subject final map.
2. Private streets must be public drainage easements. Provide a note on the grading plans "Note: All private streets are P.U.E., Public sewer easements and Public drainage easements to be privately maintained by the HOA."

NOTE: Please be advised that all land surface area disturbances over 1 acre or any area adjacent to a water way must submit to the *Nevada Division of Environmental Protection* a "Notice of Intent" to discharge that certifies a stormwater pollution prevention plan has been developed and is maintained on site; for inclusion in the Stormwater General Permit No. NVR100000. A phased construction unit in a contiguous subdivision is considered under construction until all stripped or disturbed surface areas have been covered by paving, building construction or planting. For more information, including forms and applications see <http://ndep.nv.gov/bwpc/storm01.htm> or call (775) 687-9429.

NOTE: Any future changes to the proposed design (or design assumptions) as outlined in the approved drainage study and attached preliminary grading plan which affect drainage must be addressed in a Drainage Study Amendment and accepted by the *City of Las Vegas Flood Control Section*. Additionally, conditional acceptance of a drainage study is valid for a period of one (1) year. If the proposed construction has not been completed in that time period, the *City of Las Vegas* reserves the right to require additional conditions and/or submission and acceptance of a complete drainage study update prior to further construction of a project.

END OF REMARKS
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T/R/S: T19S/R59E/13
AREA F-13

**RESPONSE TO COMMENTS
ON THE
TECHNICAL DRAINAGE STUDY
FOR
MADISON GROVE AT PROVIDENCE
(POD 114) – PHASE 3**

Rec'd: 1/31/11

DS 4510

F-13

\$400

398-A407

January 2011

Prepared For:

**Land Baron Investments
10777 W. Twain Ave.
Las Vegas, NV 89135
Phone: (702) 851-3999
Fax: (702) 851-3998**



G. C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS

HYDROLOGIC CRITERIA AND DRAINAGE MANUAL

DRAINAGE STUDY INFORMATION FORM

Name of Development: Madison Grove at Providence Phase 3 (Pod 114) Date: January 2011

Location of Development: a) Descriptive (Cross Streets) North/South: Egan Crest Way

East/West: Farm Road

b) Section: 13 Township: 19 S Range: 59 E

c) APN : 126-13-810-012

Name of Owner: Land Baron Investments

Telephone No.: (702) 851-3999 Fax No.: (702) 851-3998 E-Mail Address: _____

Address: 10777 W. Twain Ave., Las Vegas, NV 89135

Contact Person-Name: Grant Y. Tokumi, P.E. Telephone No.: (702) 804-2000

* E-Mail Address: GTokumi@GCWallace.com Fax No.: (702) 804-2299

Firm: G.C. Wallace, Inc.

Address: 1555 Rainbow Blvd

Type of Land Development/Land Disturbance Process:

☐	Rezoning	☐	Subdivision Map	☐	Clearing and Grading Only
☐	Parcel Map	☒	Planned Unit Development	☐	Other (Please specify below)
☐	Large Parcel Map	☐	Building Permit		

1. Total Owned Land Area: At Site: 28.3 Being Developed/Disturbed: 14 +/- ac.

2. Is a portion or all of the subject property located in a designated FEMA Flood Hazard Area? ☐ Yes** ☒ No

3. Is the property bordered or crossed by an existing or proposed Clark County Regional Flood Control District Master Planned Facility? ☐ Yes** ☒ No

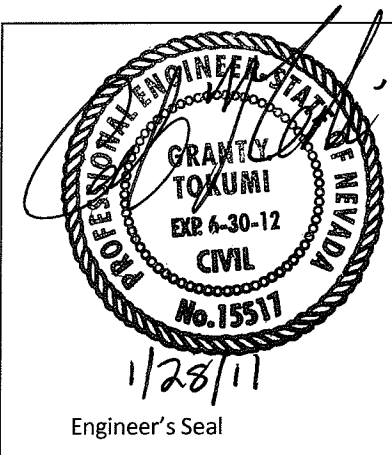
4. Proposed type of development (Residential, Commercial, Etc.): Residential

5. Approximate upstream land area which drains to the subject site: 16.38 ac.

6. Has the site drainage been evaluated in the past? ☒ YES ☐ NO If yes, please identify documentation: Master Drainage Study for Cliff's Edge, PBS&J, Aug. 2003; TDS for Madison Grove at Providence Phase 3 (Pod 114), GCW, Sep. 2005

7. If known, please briefly identify the proposed discharge point(s) of runoff from the site: Hualapai Way

8. Briefly describe your proposed schedule for the subject project: ASAP



Engineer's Seal

Submit this form as part of the required drainage study to the local entity which has jurisdiction over the subject property. This form may provide sufficient information to serve as the Conceptual Drainage Study.

*New Required Field

**Review and concurrence of the Clark County Regional Flood Control District is required.

Revision	Date

Local Entity File No. _____

REFERENCE:

STANDARD FORM 1

**RESPONSE TO COMMENTS
ON THE
TECHNICAL DRAINAGE STUDY
FOR
MADISON GROVE AT PROVIDENCE
(POD 114) – PHASE 3**

398-A407

January 2011

Prepared For:

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1555 South Rainbow Boulevard
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