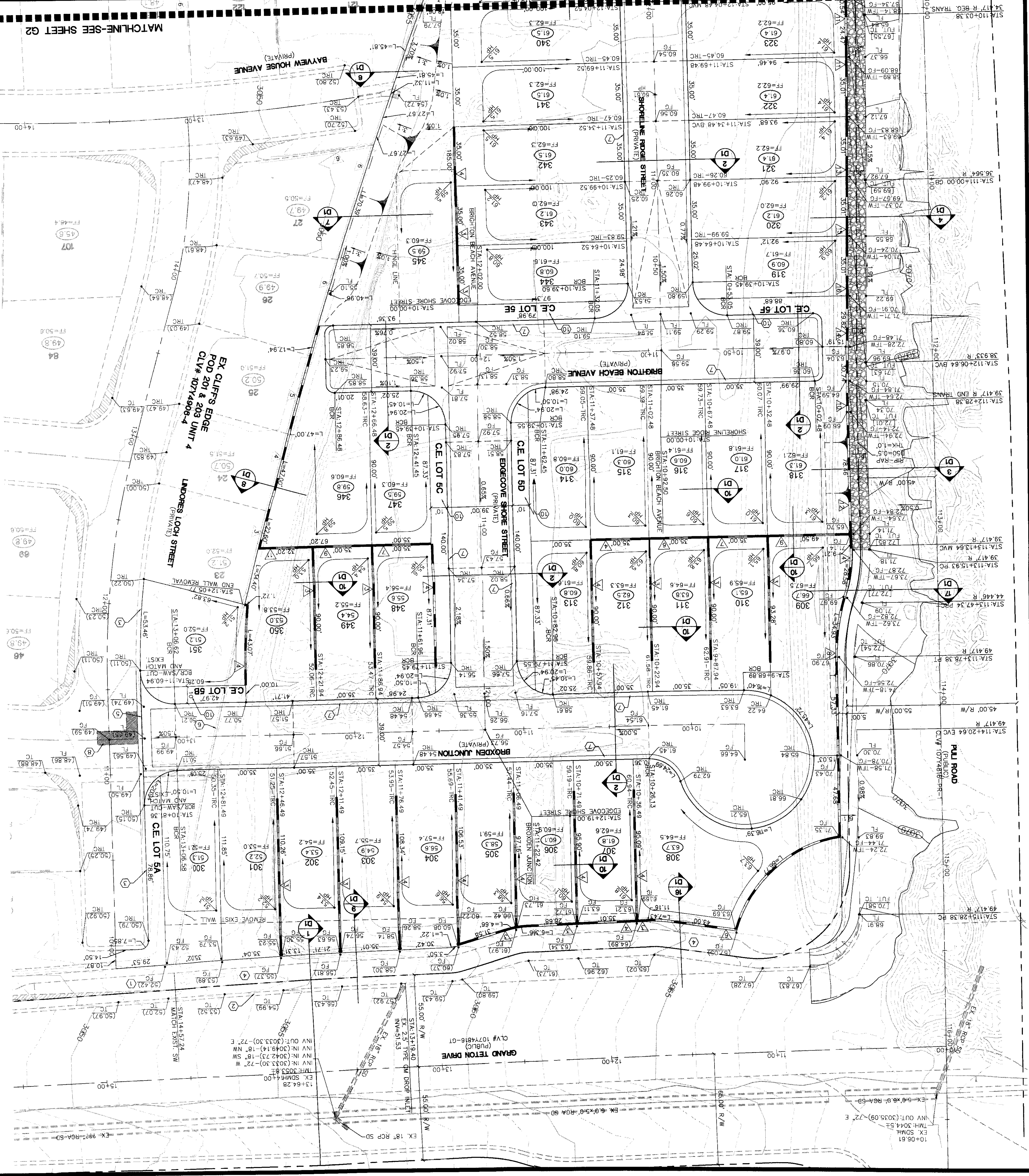
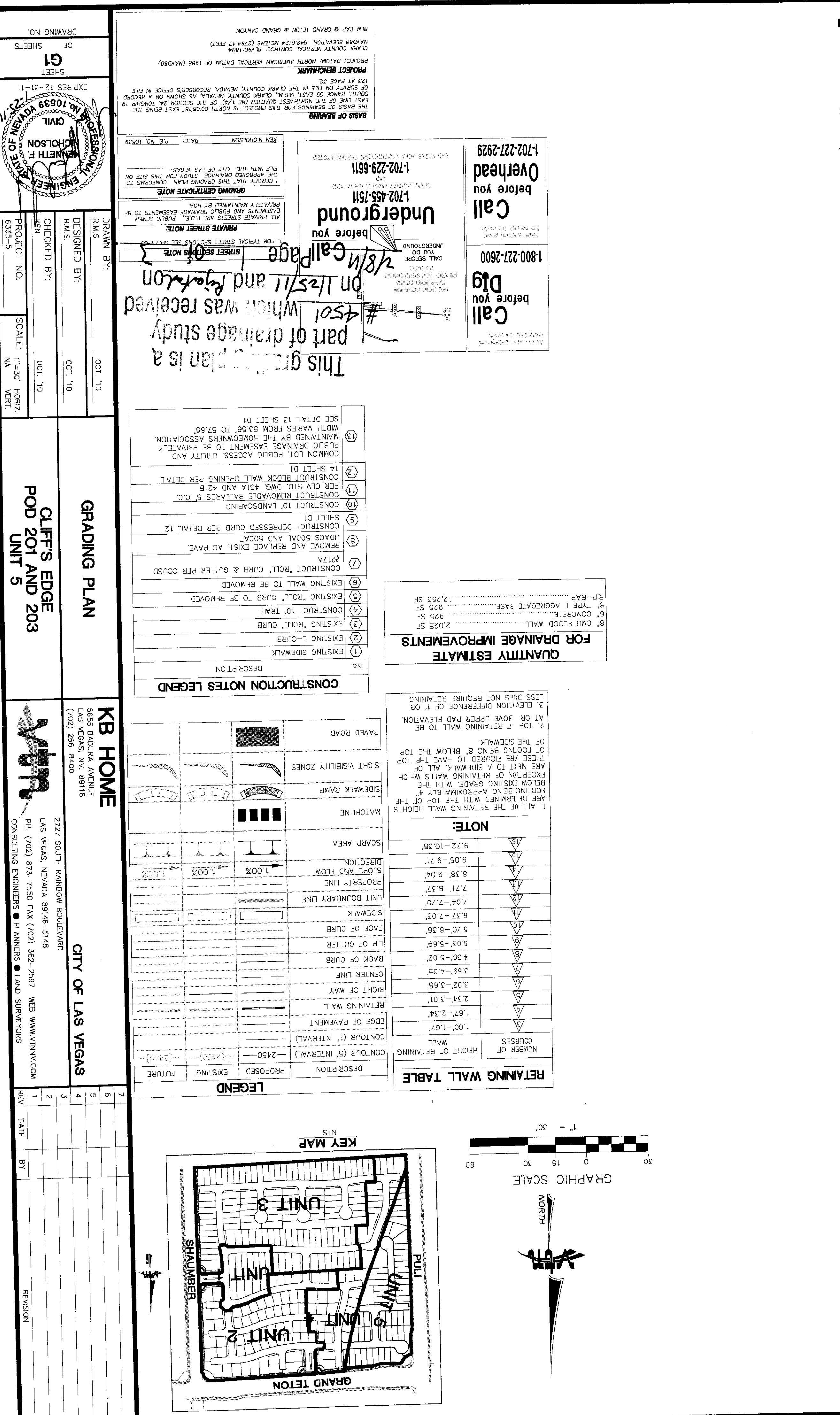
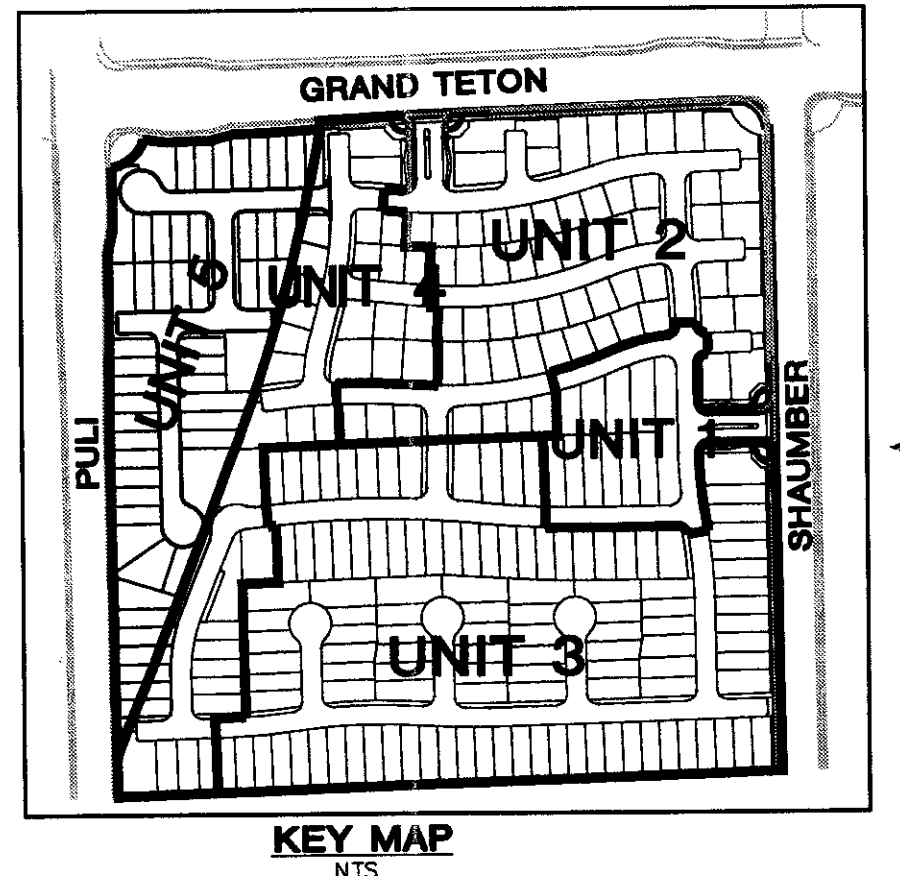
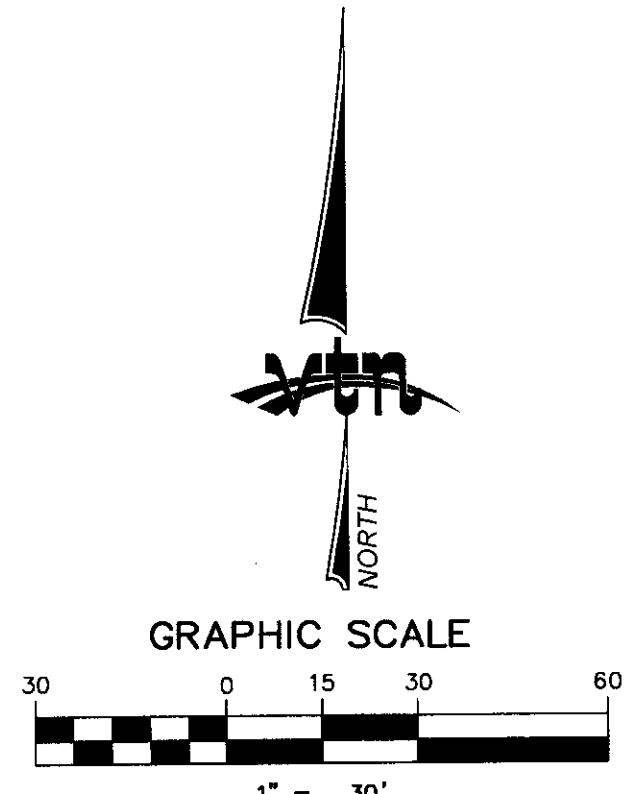
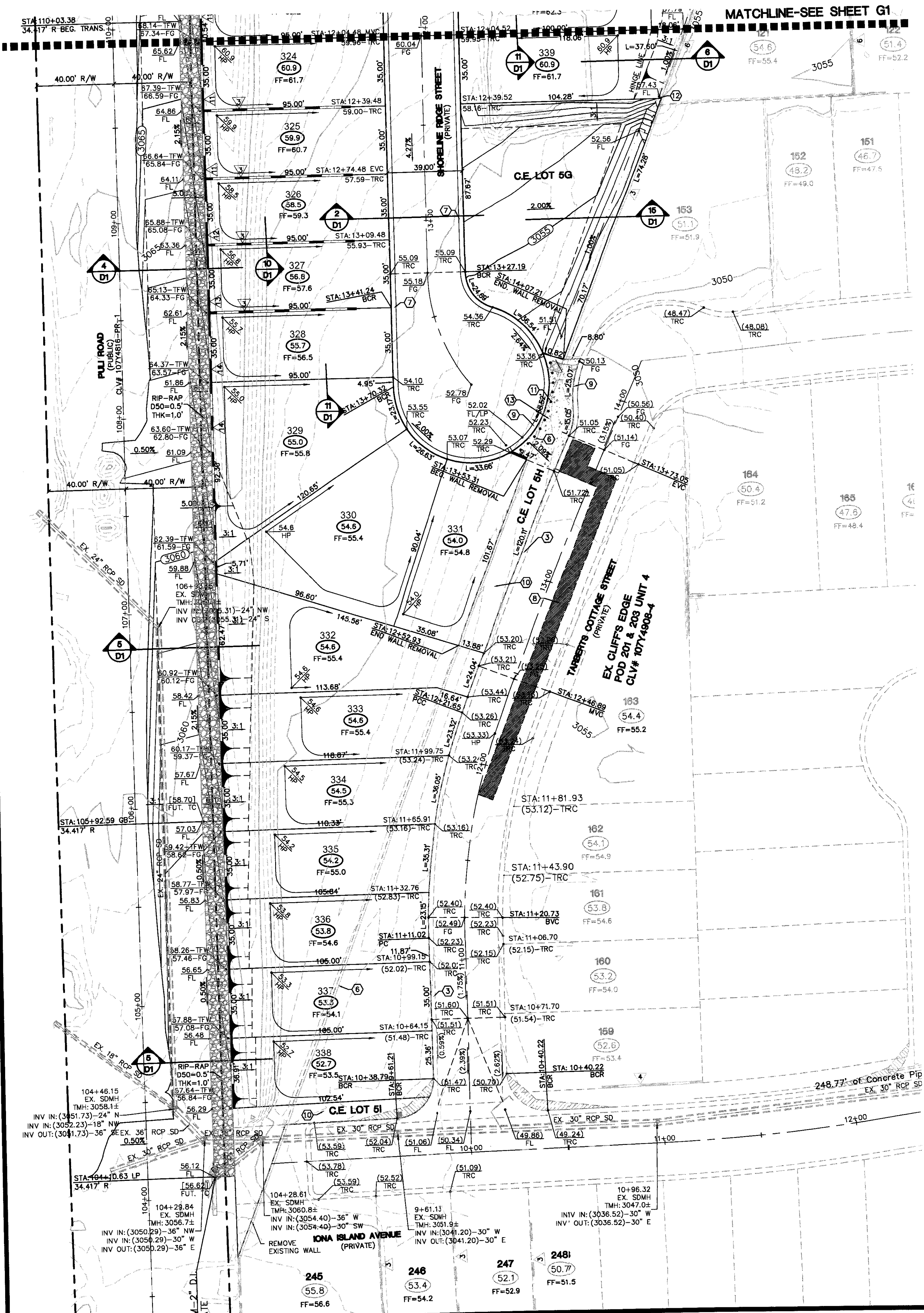






RETAINING WALL TABLE	
NUMBER OF COURSES	HEIGHT OF RETAINING WALL
1	1.00'-1.67'
2	1.67'-2.34'
3	2.34'-3.01'
4	3.01'-3.68'
5	3.68'-4.35'
6	4.35'-5.02'
7	5.02'-5.69'
8	5.69'-6.36'
9	6.36'-7.03'
10	7.03'-7.70'
11	7.70'-8.37'
12	8.37'-9.04'
13	9.04'-9.71'
14	9.71'-10.38'

NOTE:

1. ALL OF THE RETAINING WALL HEIGHTS ARE DETERMINED WITH THE TOP OF THE FOOTING BEING APPROXIMATELY 4" BELOW EXISTING GRADE. WITH THE EXCEPTION OF RETAINING WALLS WHICH ARE NEXT TO A SIDEWALK, ALL OF THESE ARE FIGURED TO HAVE THE TOP OF FOOTING BEING 8" BELOW THE TOP OF THE SIDEWALK.

2. TOP OF RETAINING WALL TO BE AT OR ABOVE UPPER PAID ELEVATION.

3. ELEVATION DIFFERENCE OF 1" OR LESS DOES NOT REQUIRE RETAINING.

QUANTITY ESTIMATE FOR DRAINAGE IMPROVEMENTS	
8" CMU FLOOD WALL.....	2,025 SF
6" CONCRETE.....	925 SF
6" TYPE II AGGREGATE BASE.....	925 SF
RIP-RAP.....	12,253 SF

LEGEND			
DESCRIPTION	PROPOSED	EXISTING	FUTURE
CONTOUR (5' INTERVAL)	—2450—	—(2450)—	—(2450)—
CONTOUR (1' INTERVAL)			
EDGE OF PAVEMENT			
RETAINING WALL			
RIGHT OF WAY			
CENTER LINE			
BACK OF CURB			
LIP OF GUTTER			
FACE OF CURB			
SIDEWALK			
UNIT BOUNDARY LINE			
PROPERTY LINE			
SLOPE AND FLOW DIRECTION	1.00%	1.00%	1.00%
SCARP AREA			
MATCHLINE			
SIDEWALK RAMP			
SIGHT VISIBILITY ZONES			
PAVED ROAD			

CONSTRUCTION NOTES LEGEND	
No.	DESCRIPTION
1	EXISTING SIDEWALK
2	EXISTING L-CURB
3	EXISTING "ROLL" CURB
4	CONSTRUCT 10' TRAIL
5	EXISTING "ROLL" CURB TO BE REMOVED
6	EXISTING WALL TO BE REMOVED
7	CONSTRUCT "ROLL" CURB & GUTTER PER CCUSD #217A
8	REMOVE AND REPLACE EXIST. AC PAVE. UDACS 500AL AND 500AT
9	CONSTRUCT DEPRESSIONED CURB PER DETAIL 12 SHEET D1
10	CONSTRUCT 10' LANDSCAPING
11	CONSTRUCT REMOVABLE BALLARDS 5' O.C. PER CLV STD. DWS. 431A AND 421B
12	CONSTRUCT BLOCK WALL OPENING PER DETAIL 14 SHEET D1
13	COMMON LOT, PUBLIC ACCESS, UTILITY AND PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION. WIDTH VARIES FROM 53.56' TO 57.63' SEE DETAIL 13 SHEET D1

Call before you Dig
1-800-227-2600

Call before you Overhead
1-702-227-2929

Underground
1-702-455-7511
1-702-229-8611

STREET SECTION NOTE
1. FOR TYPICAL STREET SECTIONS SEE SHEET G3

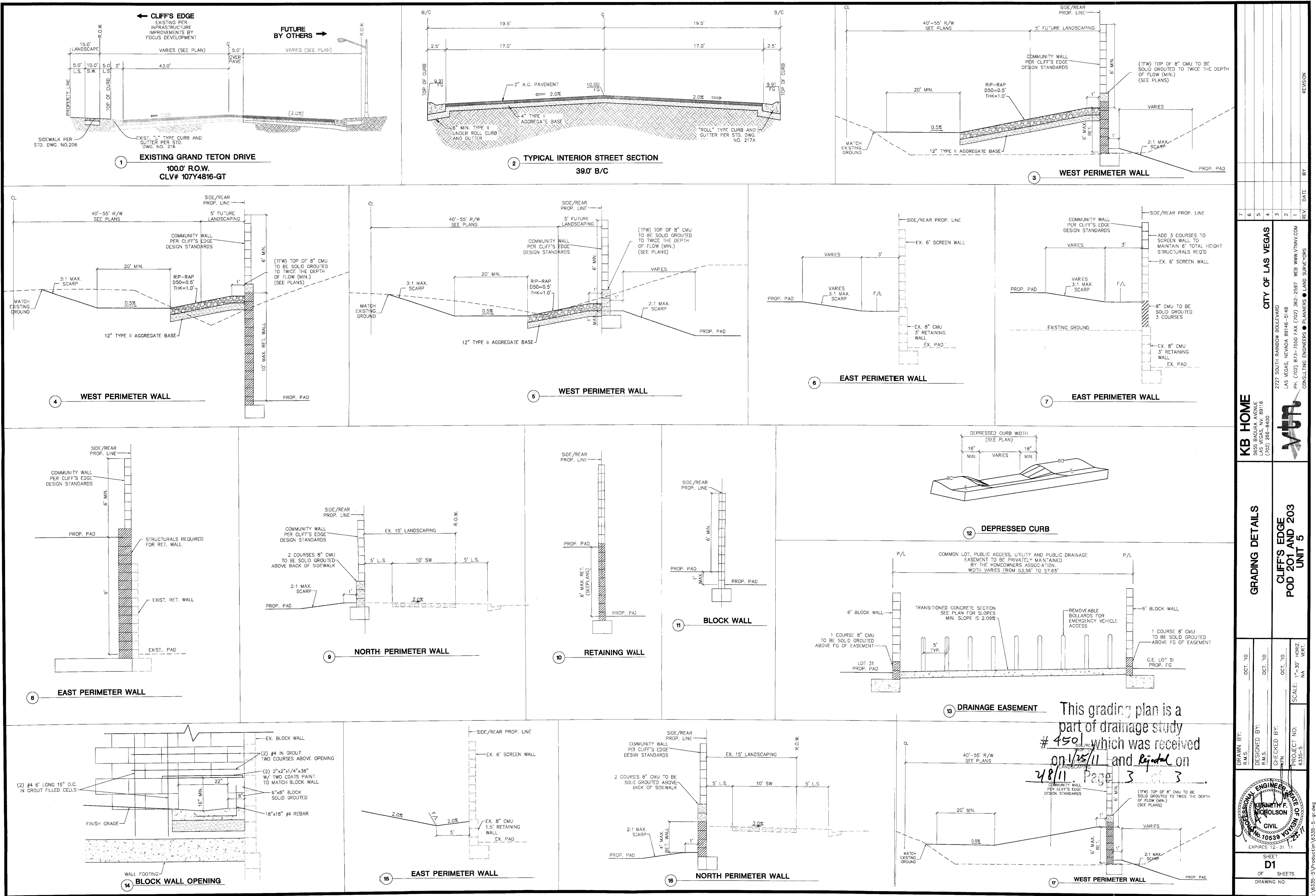
PRIVATE STREET NOTE
ALL PRIVATE STREETS ARE P.U.E. PUBLIC SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.

GRADING CERTIFICATE NOTE
I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY FOR THIS SITE ON FILE WITH THE CITY OF LAS VEGAS.

REN. NICHOLSON DATE: P.E. NO. 10539

This grading plan is a part of drainage study #4501 which was received on 1/25/11 and rejected on 2/8/11 Page 2 of 3

CITY OF LAS VEGAS		2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-3146 PH. (702) 873-7550 FAX (702) 362-2587 WEB WWW.VNVN.COM CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS				
7	6	5	4	3	2	1
REV	DATE	BY	DATE	BY	DATE	BY
1						
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CITY OF LAS VEGAS		2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148 PH. (702) 873-7550 FAX (702) 362-2997 WEB WWW.LVNV.COM CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS	
KB HOME		5655 BADURA AVENUE LAS VEGAS, NV 89118 (702) 266-8400	
GRADING DETAILS		CLIFF'S EDGE POD 201 AND 203 UNIT 5	
DRAWN BY: R.M.S.	OCT. '10	DESIGNED BY: R.M.S.	OCT. '10
CHECKED BY: M.T.N.	OCT. '10	PROJECT NO: 6335-5	SCALE: 1"=30' HORIZ. 1"=5' VERT.
PROFESSIONAL ENGINEER KENNETH F. NICHOLSON NO. 10539		SHEET D1 OF SHEETS DRAWING NO.	

PH: 6335-5 Production 6335-5-gr.dwg

This grading plan is a part of drainage study # 4501 which was received on 1/25/11 and rejected on 4/8/11. Page 3 of 3