

DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

SDR-74032

Case Number: PRJ-73937 APN: 139-33-811-028 & 139-34-410-009

Name of Property Owner: 1025 Main St LLC

Name of Applicant: Z Life at 1025 Main St LLC

Name of Representative: Anna Olin

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Jonathan Vermeir

Subscribed and sworn before me

This _____ day of _____, 20____

Notary Public
Notary Public in and for said County and State

PRJ-73937
07/23/18

CALIFORNIA JURAT WITH AFFIANT STATEMENT

GOVERNMENT CODE § 8202

- ☐ See Attached Document (Notary to cross out lines 1-6 below)
☒ See Statement Below (Lines 1-6 to be completed only by document signer[s], *not* Notary)

 Signature of Document Signer No. 1

 Signature of Document Signer No. 2 (if any)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

Subscribed and sworn to (or affirmed) before me

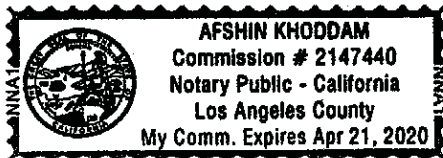
on this 23 day of July, 2018
 by Jonathan Kamen
 Date Month Year

(1) Jonathan Kamen

(and (2) _____),

Name(s) of Signer(s)

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



Signature _____

Signature of Notary Public

Seal
 Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: Statement of Financial Interest Document Date: 7, 23, 18

Number of Pages: 1 Signer(s) Other Than Named Above: _____

PRJ-73937

SDR-74032



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Z Life at 1025 Main St LLC
Project Address (Location) 6 Coolidge Avenue, Las Vegas NV
Project Name Z Life Hotel Proposed Use Hotel
Assessor's Parcel #(s) 139-33-811-028 & 139-34-410-009 Ward # 3
General Plan: existing MXU proposed C Zoning: existing C-M proposed C-M
Commercial Square Footage 38,648 Floor Area Ratio 1.1
Gross Acres 0.8 Lots/Units _____ Density _____
Additional Information _____

PROPERTY OWNER 1025 Main St LLC Contact Jonathan Kermani
Address 1620 S. Los Angeles St. #C Phone: _____ Fax: _____
City Los Angeles State CA Zip 90015
E-mail Address _____

APPLICANT Z Life at 1025 Main St LLC Contact Anna Olin
Address 76 Spectrum Blvd. Phone: 702-417-44 Fax: _____
City Las Vegas State NV Zip 89101
E-mail Address anna@z-glass.com

REPRESENTATIVE Anna Olin Contact _____
Address 3960 W Point Loma Blvd. Ste H 365 Phone: 702-417-44 Fax: _____
City San Diego State CA Zip 92110
E-mail Address anna@z-glass.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* _____

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Jonathan Kermani

Subscribed and sworn before me

This _____ day of _____, 20 _____

Notary attached

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case # **SDR-74032**

Meeting Date: _____

Total Fee: _____

Date Received:*

Received By: _____

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

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State of California

County of Los Angeles

Subscribed and sworn to (or affirmed) before me

on this 23 day of July, 2018
by Date Month Year

(1) Jonathan K. Karami

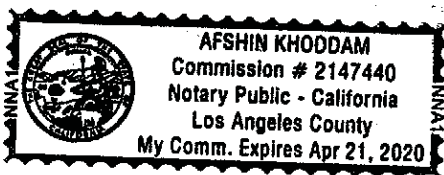
(and (2) _____),

Name(s) of Signer(s)

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature _____

Signature of Notary Public



Seal
Place Notary Seal Above

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Title or Type of Document: App'l: Cetin Spahin from Document Date: 7/23/18

Number of Pages: 1 Signer(s) Other Than Named Above: _____

PRJ-73937

SDR-74032



EXISTING SITE
SCALE: 1"=32'



NOTES

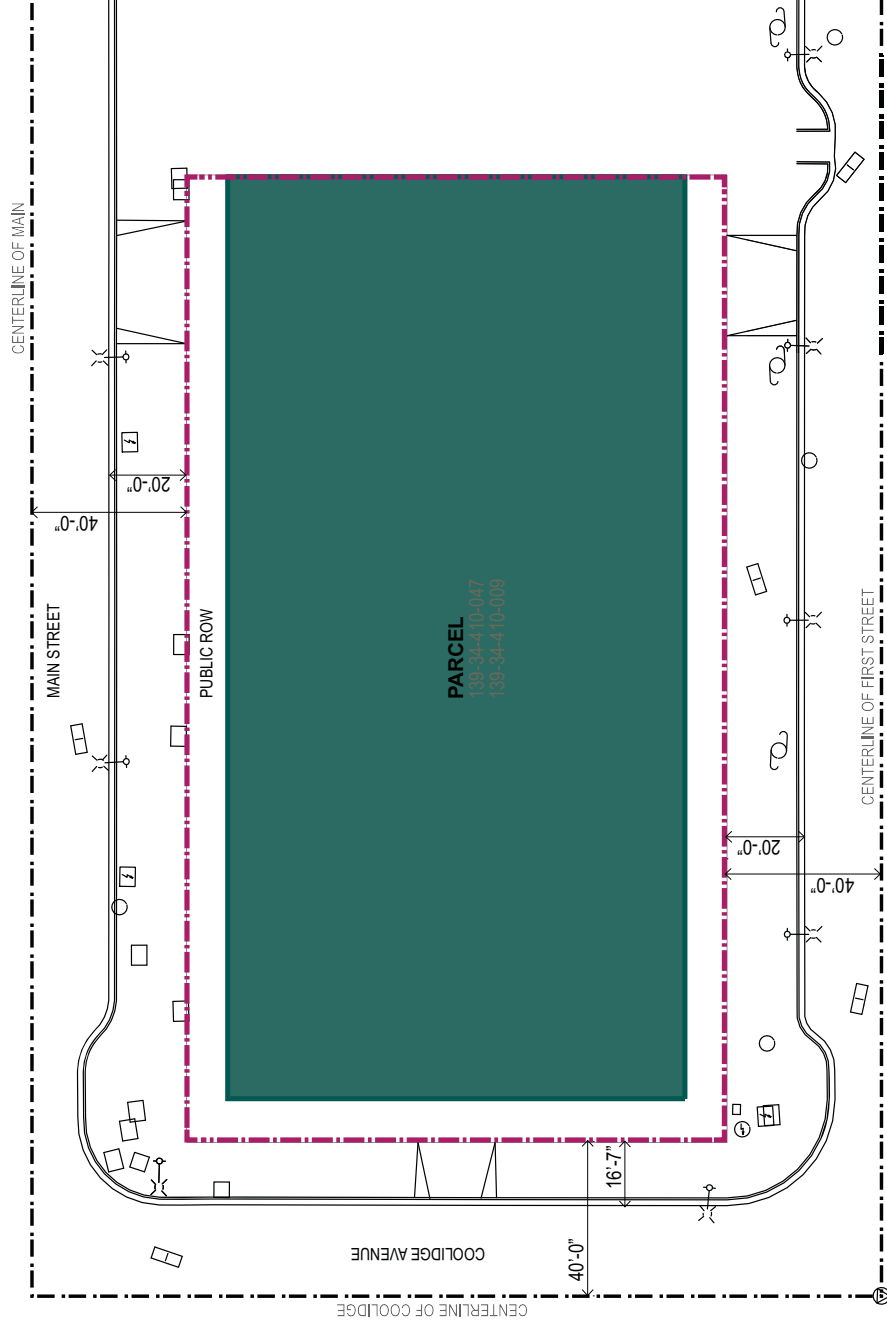
Property boundary



10' setback boundary



NOTE: DIMENSIONS INDICATED
BASED ON SURVEY DATED 07.04.18



PRJ-73937
08/15/18



725013145
ATLASU.COM
1017 SOUTH FIRST STREET
SUITE 105
LAS VEGAS, NEVADA
89101

ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

SITE PLAN B&W

SCALE: 1"=32'



NOTES

- 1 4 Story Hotel Building
- 2 Amenities Building/Future Tenant
- 3 Pool
- 4 Pool Bar
- 5 Pool Restrooms/Pool Equip/Linen
- 6 Guest Patios
- 7 Guest Parking
- 8 Trash Enclosure
- 9 Water/Gas Meter
- 10 ADA Parking
- 11 Site ingress / egress @ Main Street
- 12 Site pedestrian ingress/egress @ 1st St.
- 13 Site ingress/egress @ 1st Street
- 14 Transformer
- 15 Electrical Meter
- 16 RPDA Box

Area of development planned within existing easement

* Points of access to / from site



PROPOSED BUILDING DATA
PROPOSED TOTAL GSF 38,656

HOTEL SF 35,200
HOTEL ROOM COUNT 76

RESTAURANT SF 3,458
FOH 2,701
BOH 757
ROOFDECK 1,512

OUTDOOR SEATING 904

POOL AREA 5,416

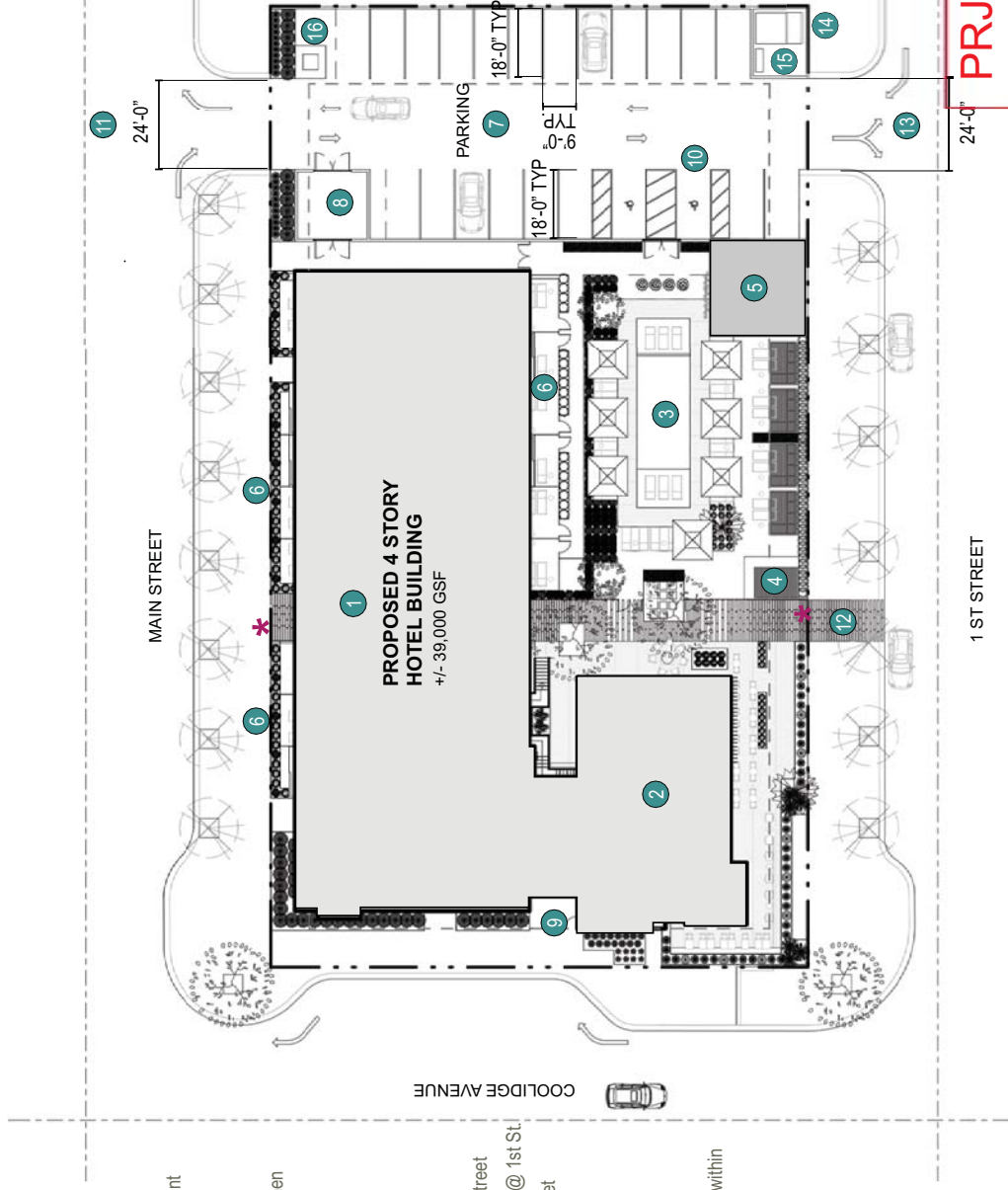
PARKING ANALYSIS
HOTEL USE
 1 SPACE PER ROOM
76 REQUIRED

TOTAL REQUIRED
TOTAL HC REQUIRED
RESTAURANT USE
 1 SPACE PER 50SF OF FOH AREAS
85 REQUIRED
 1 SPACE PER 200 SF OF BOH AREAS
4 REQUIRED

TYPICAL STALLS PROVIDED 165
HC STALLS PROVIDED 6

TOTAL PARKING PROVIDED 22

POOL AREA WITH ALCOHOL SERVICE 4,100 GSF



1 ST STREET

24'-0"

PRJ-73937
08/15/18

ZLIFE AT 1205 MAIN STREET LLC
 ARTS DISTRICT , LAS VEGAS

PLANNING APPLICATION
 08.14.2018

SDR-74032 - REVISED

SITE PLAN COLOR

SCALE: 1"=32'



NOTES

- 1 4 Story Hotel Building
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Area of development planned within existing easement

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89101

MAIN STREET



1 ST STREET

PRJ-73937
08/15/18

**PROPOSED
BUILDING DATA**
PROPOSED TOTAL GSF 38,656

HOTEL SF 35,200
HOTEL ROOM COUNT 76

RESTAURANT SF 3,458
FOH 2,701
BOH 757
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**POOL AREA WITH
ALCOHOL SERVICE** 4,100 GSF

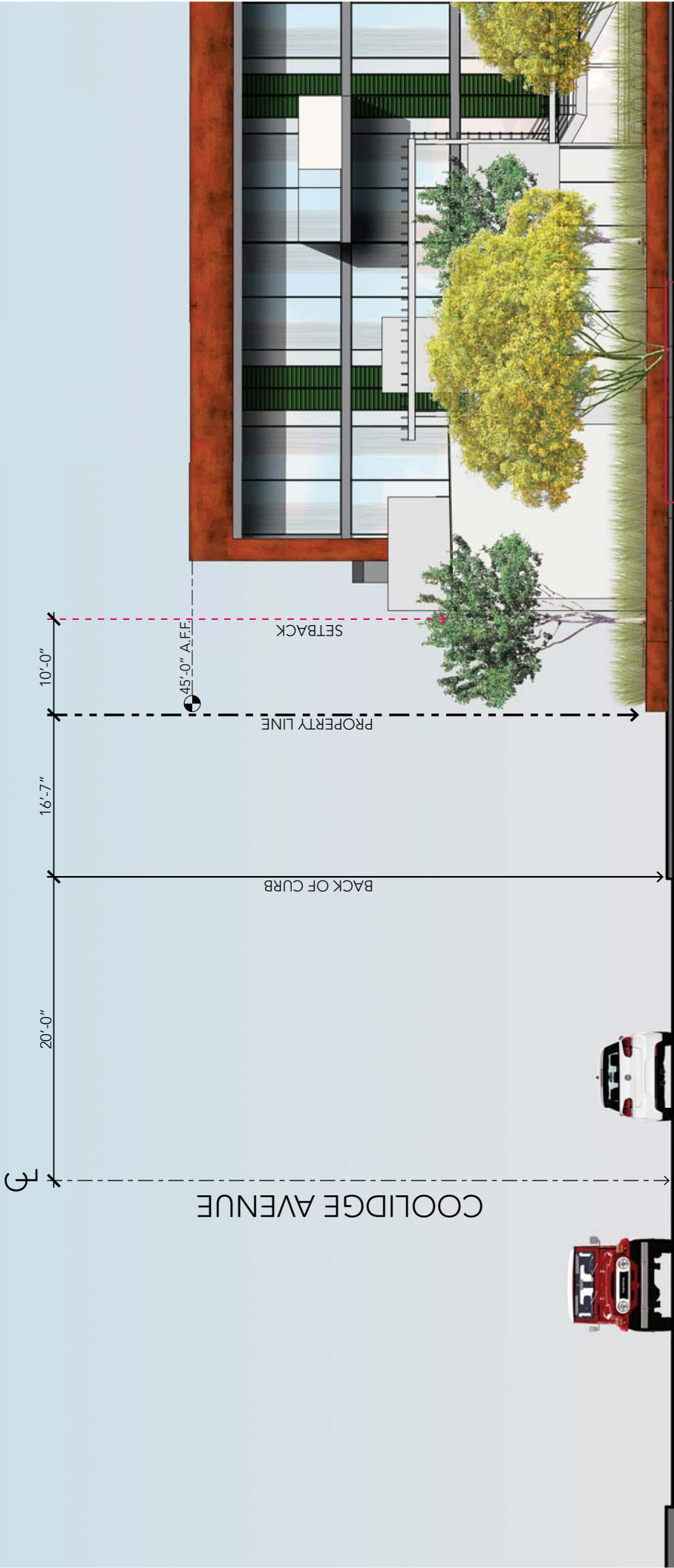
ZLIFE AT 1205 MAIN STREET LLC
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08.14.2018

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SITE SECTION COOLIDGE AVENUE

SCALE: 3/32"=1'-0"



PRJ-73937
08/15/18



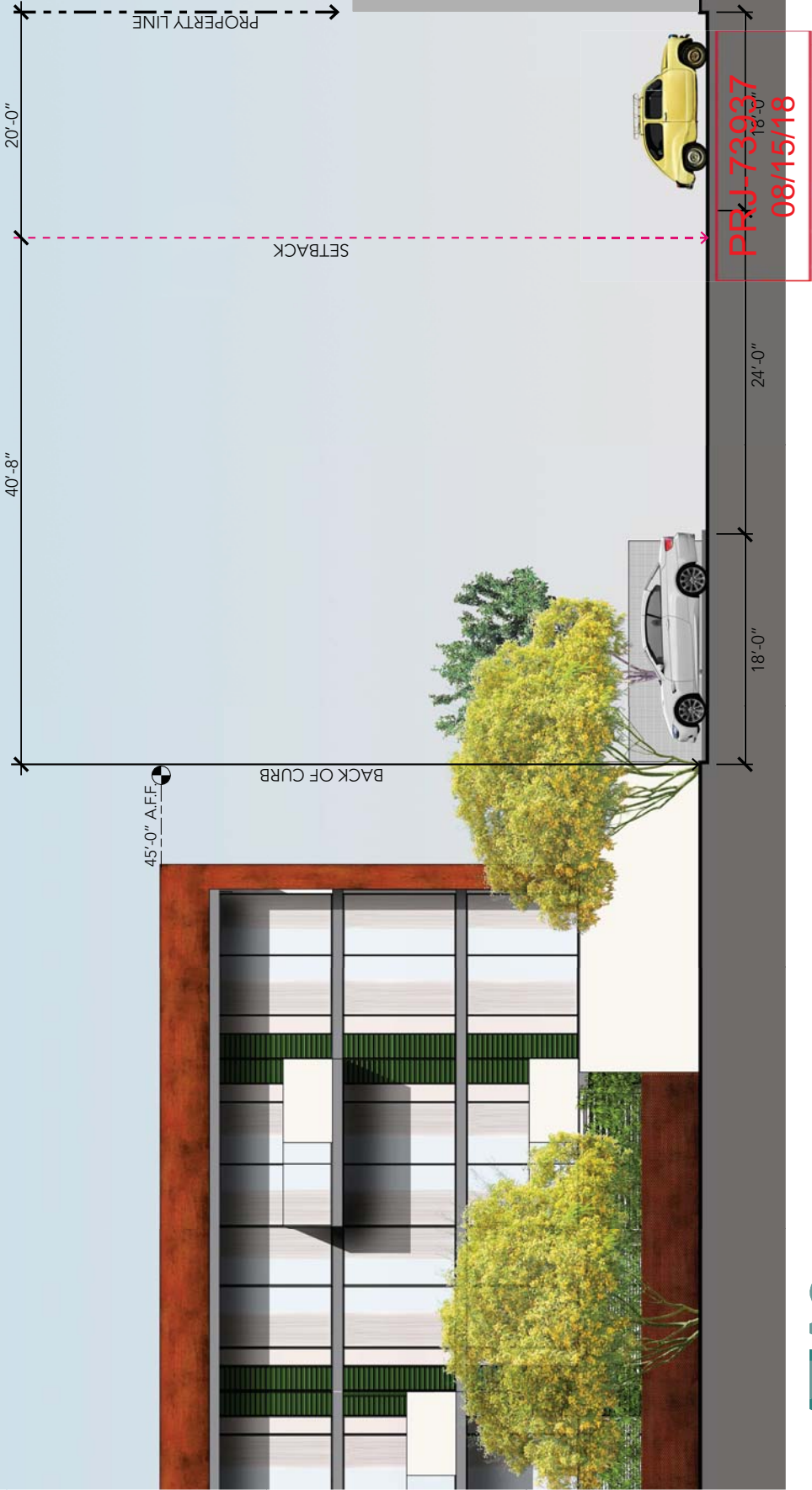
ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT , LAS VEGAS

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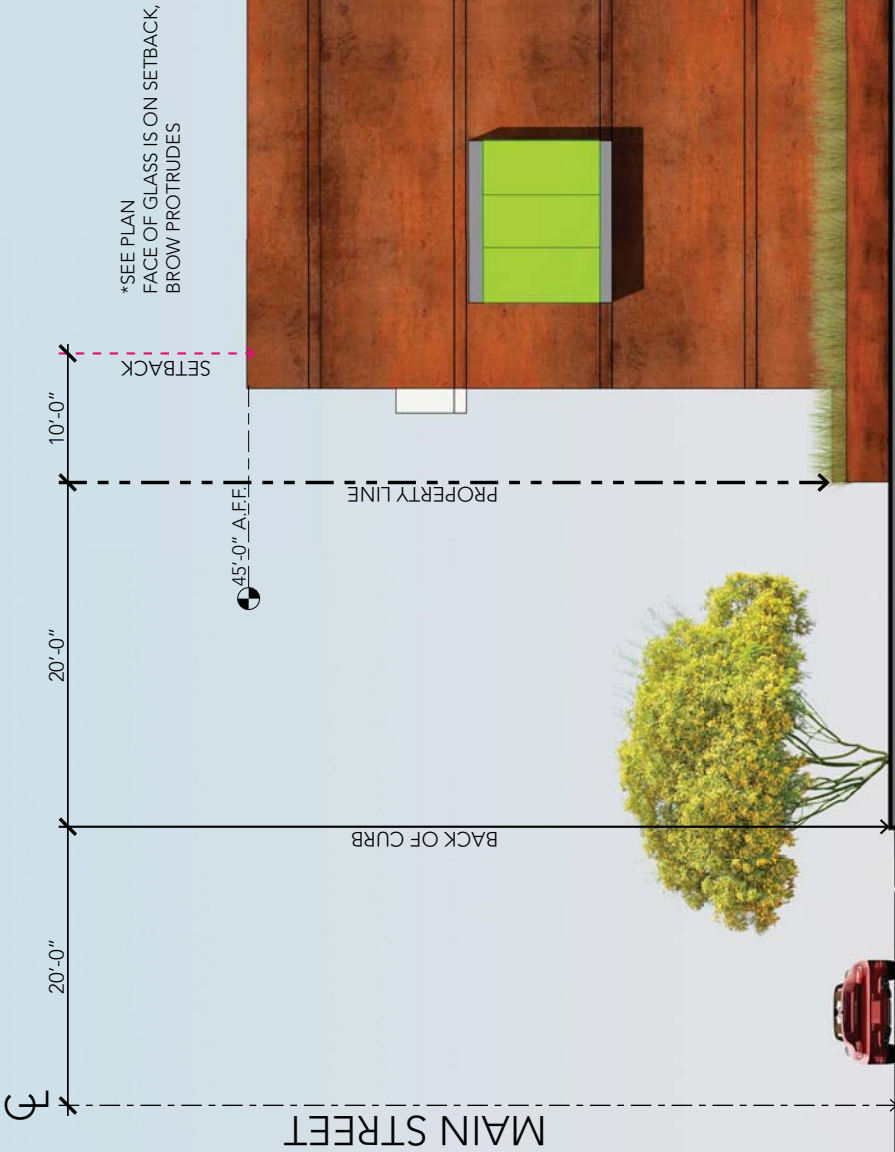
SITE SECTION PARKING LOT

SCALE: 3/32"=1'-0"



SITE SECTION MAIN STREET

SCALE: 3/32"=1'-0"



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08/15/18



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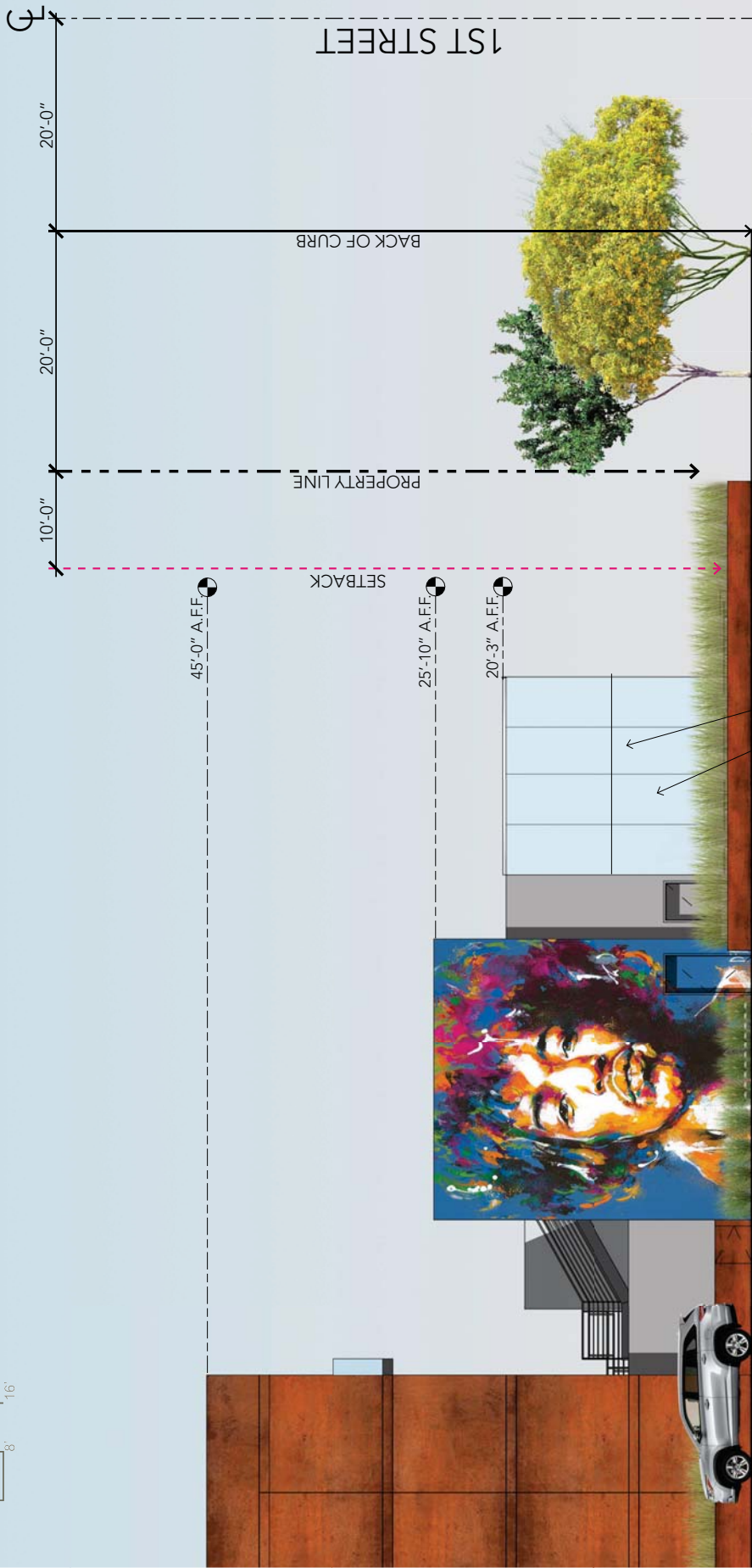
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SITE SECTION 1ST STREET

SCALE: 3/32"=1'-0"



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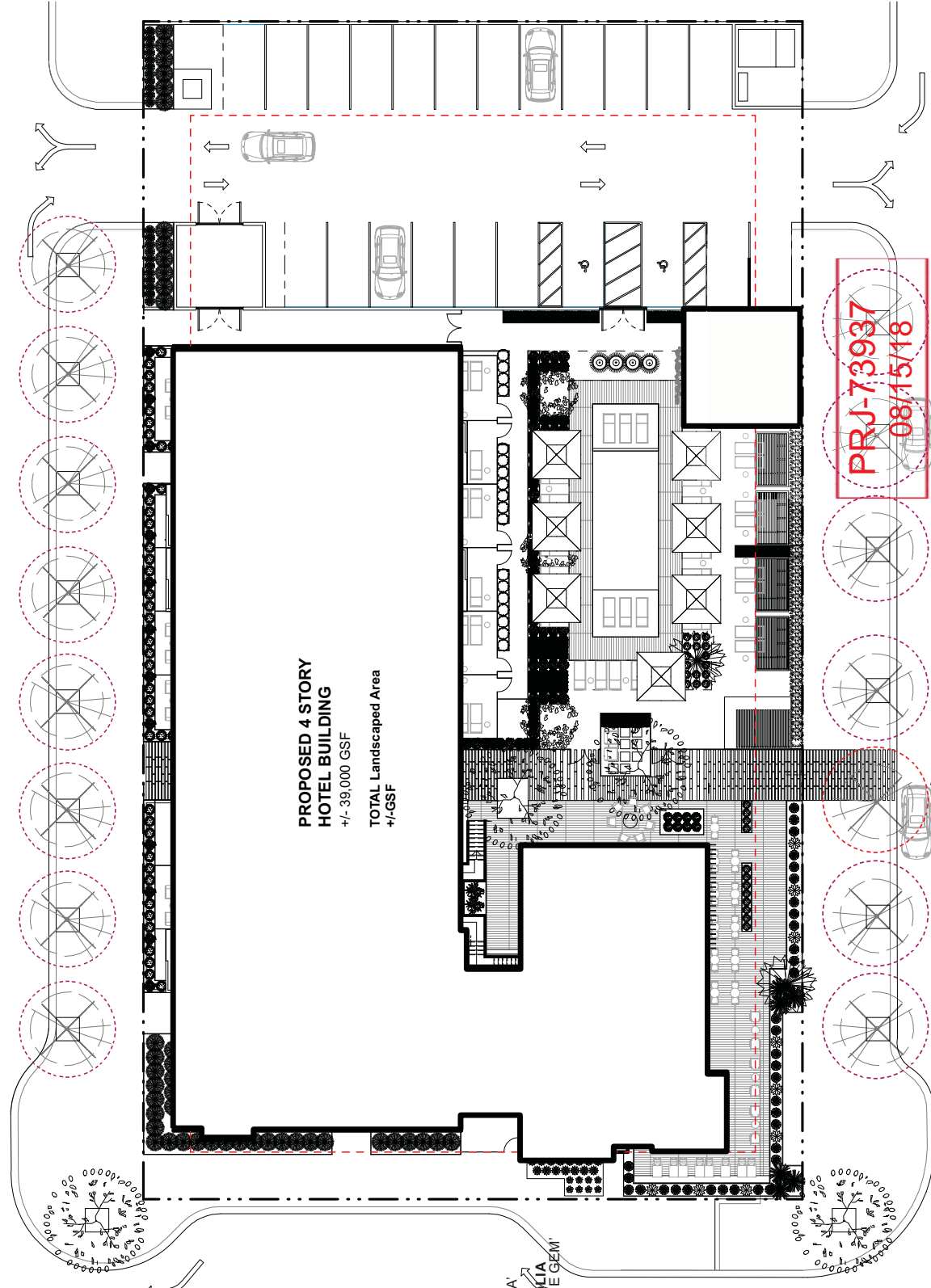
PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

LANDSCAPING PLAN B&W

SCALE: 3/64"=1'-0"

- (5) OCOTILLO MUHLENBERGIA RIGENS
- (15) ARTICHOKE AGAVE A. P. VAR. TRUNCATA
- (15) PALO BREA PARKINSONIA PRAECOX
- (18) BAY LAUREL LAURUS NOBILIS
- (14) BRITISH RUELLA RUELLIA BRITTONIANA
- (8) CAPE HONEYSUCKLE TECOMARIA CAPENSIS
- (6) CENTURY PLANT AGAVE AMERICANA
- (7) CONE SHAPED TEXAS PRIVET FORESTIERIA PUBESCENS
- (2) CRAPE MYRTLE LAGERSTROEMIA INDICA
- (16) HORSETAIL EQUISETUM
- (84) JAPANESE BOXWOOD BUXUS MICROPHYLLA 'JAPONICA'
- (2) SOUTHERNLITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'
- (45) MEXICAN GRASS TREE DASYLIRION LONGISIMUM
- (9) PARRY'S AGAVE AGAVE PARRYI
- (8) QUEEN VICTORIA AGAVE AGAVE VICTORIAE-REGINAE
- (45) REGAL MIST MUHLY GRASS MUHLENBERGIA CAPILLARIS
- (4) SHUMARD OAK QUERCUS SHUMARDII
- (46) YELLOW BUSH LANTANA LANTANA CAMARA
- (34) GOLDEN BARREL ECHINOCACTUS GRUSONII
- (12) GOLDEN BAMBOO PHYLLOSTACHYS AUREA



ARCHITECTURE, PLANNING, INTERIOR DESIGN

7200 S. 14TH
ATLAS COMM
SUITE 105
LAS VEGAS, NEVADA
89131

ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

LANDSCAPING PLAN COLOR
SCALE: 3/64"=1'-0"

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- (12) GOLDEN BAMBOO PHYLLOSTACHYS AUREA



7250 W. 14th
ATLAS/UCOM
1017 SOUTH FIRST STREET
SUITE 105
LAS VEGAS, NEVADA
89101

ARCHITECTURE, PLANNING, INTERIOR DESIGN

ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

PLANT SELECTION



ICEBERG ROSES
ROSA 'ICEBERG'



JAPANESE BOXWOOD
BUXUS MICROPHYLLA



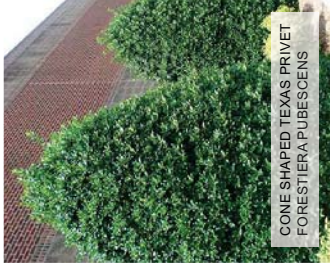
BAY LAUREL
LAURUS NOBILIS



CAPE HONEYSUCKLE
TECOMARIA CAPENSIS



CENTURY PLANT
AGAVE AMERICANA



CONE SHAPED TEXAS PRIVET
FORESTIERA PUBESCENS



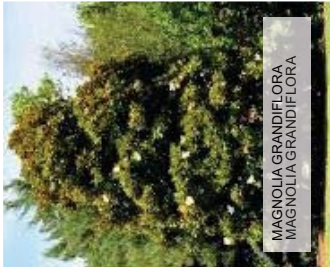
HORSETAIL
EQUISETUM



SHUMARD OAK
QUERCUS SHUMARDII



REGAL MIST MUHLY GRASS
MUHLENBERGIA CAPILLARIS



QUEEN VICTORIA AGAVE
AGAVE VICTORIAE-REGINAE



PALO BREA
PARKINSONIA PRAECOX



PARRY AGAVE
AGAVE PARRYI



MEXICAN GRASS TREE
DASYLIRION LONGISSIMUM



GOLDEN BARREL
ECHINOCACTUS GRUSONII



CRAPPE MYRTLE
LAGERSTROEMIA INDICA



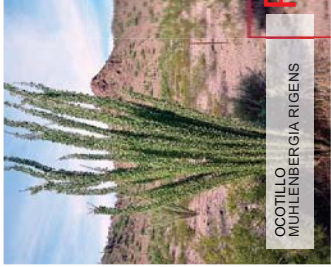
YELLOW BUSH LANTANA
LANTANA CAMARA



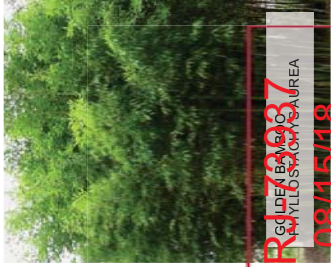
OCOTILLO
MUHLENBERGIA RIGENS



QUEEN VICTORIA AGAVE
AGAVE VICTORIAE-REGINAE



GOLDEN BARREL
ECHINOCACTUS GRUSONII



PALO BREA
PARKINSONIA PRAECOX



REGAL MIST MUHLY GRASS
MUHLENBERGIA CAPILLARIS



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SUITE 105
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ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT , LAS VEGAS

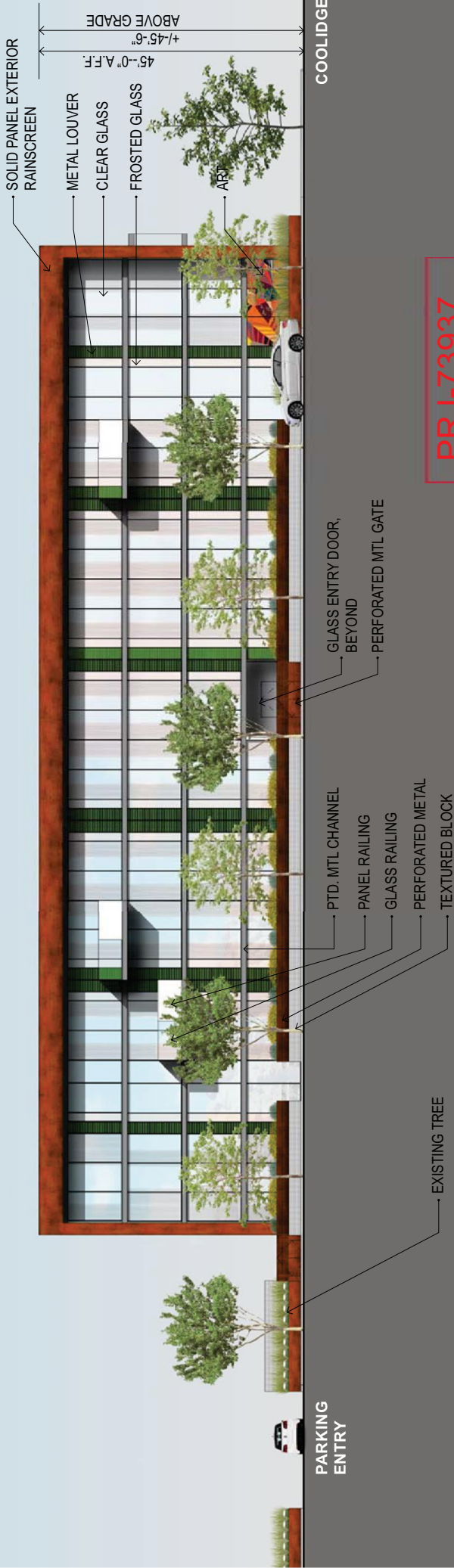
PLANNING APPLICATION
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PR-172837
08/15/18

EAST ELEVATION COLOR

SCALE: 1"=16'



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89101

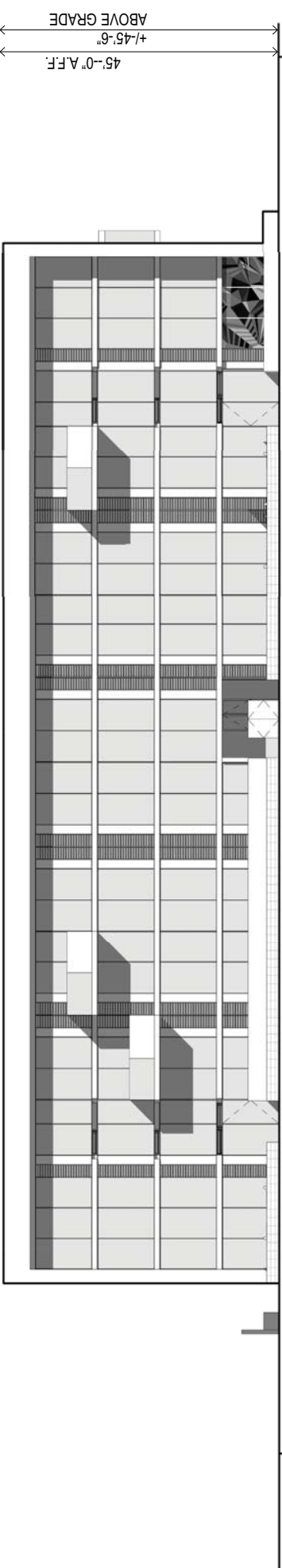
ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

EAST ELEVATION B&W

SCALE: 1"=16'



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SDR-74032 - REVISED

WEST ELEVATION COLOR

SCALE: 1"=16'



725.003.045
ATLAS@GMAIL.COM
1017 SOUTH FIRST STREET
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89101

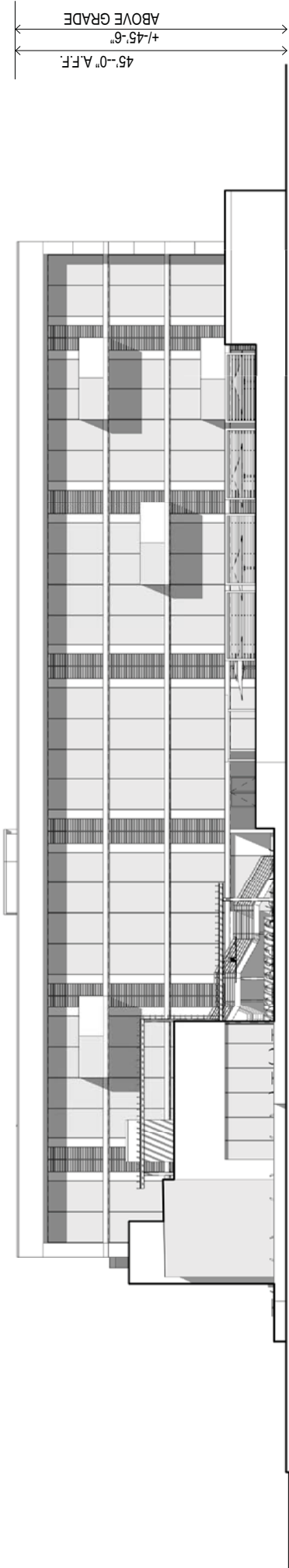
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PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

WEST ELEVATION B&W

SCALE: 1"=16'



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ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT , LAS VEGAS

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08/15/18

PLANNING APPLICATION
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SDR-74032 - REVISED

SOUTH ELEVATION COLOR

SCALE: 1"=16'



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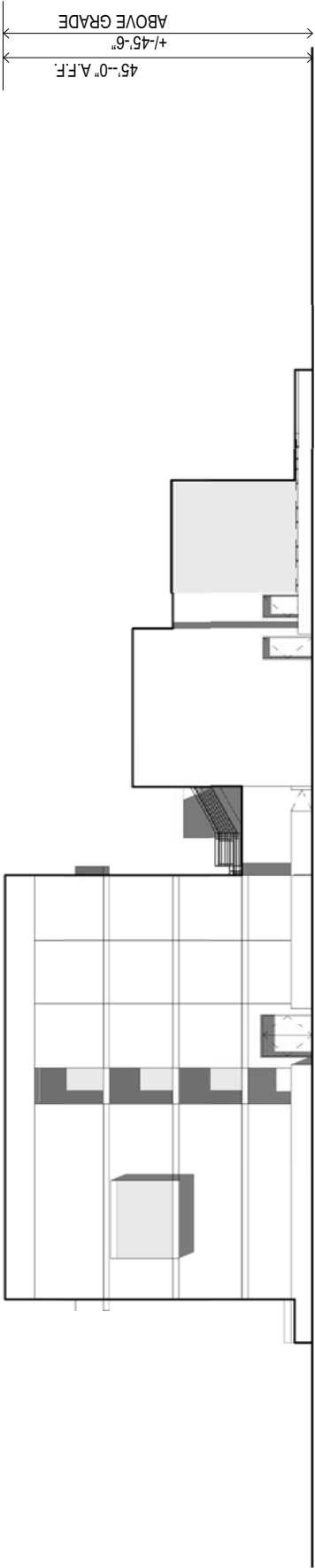
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PLANNING APPLICATION
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SDR-74032 - REVISED

SOUTH ELEVATION B&W

SCALE: 1"=16'



PRJ-73937
08/15/18



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PLANNING APPLICATION
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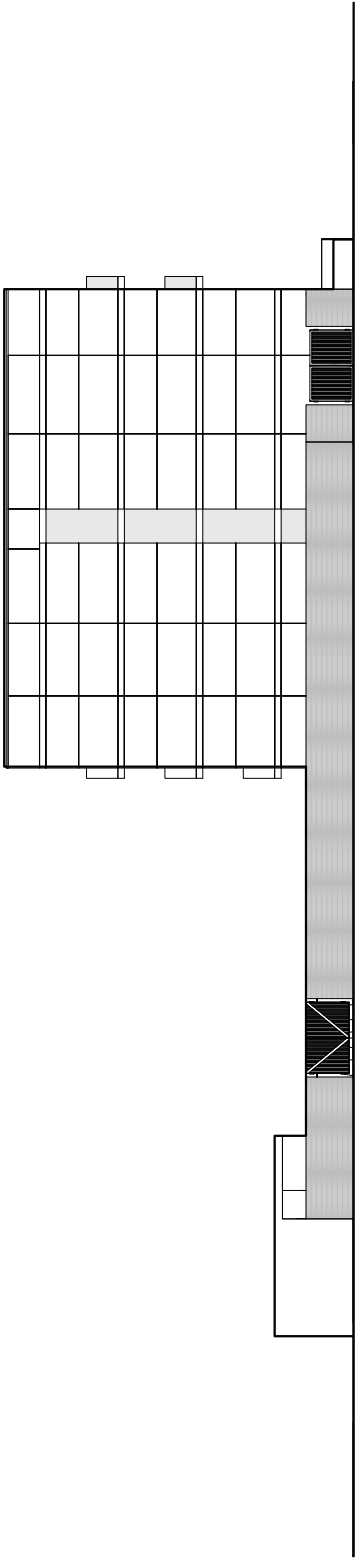
NORTH ELEVATION COLOR

SCALE: 1"=16'



NORTH ELEVATION B&W

SCALE: 1"=16'



45'-0" A.F.F.
+/-45'-6"
ABOVE GRADE



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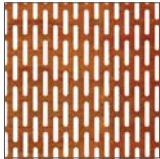
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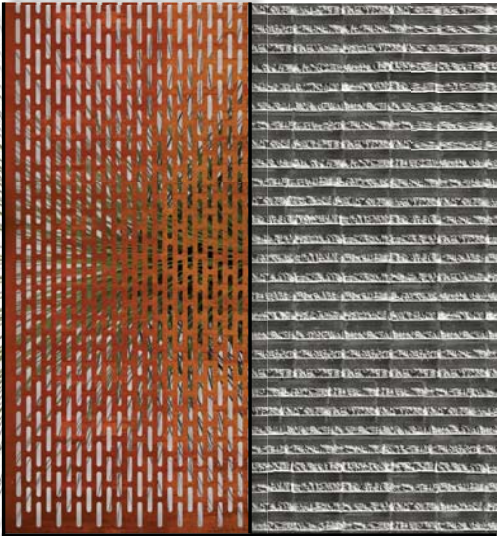
TYP. PLANTER WALL 1
SCALE: 1"=1'



50% PERFORATED
CORTEN SCREEN

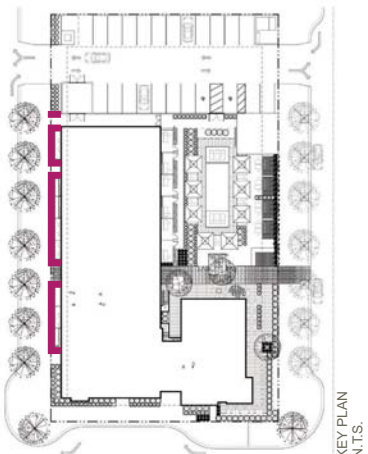


FLUTED CMU BLOCK;
STACK BOND

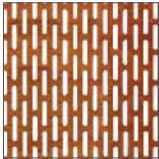


24"

24"

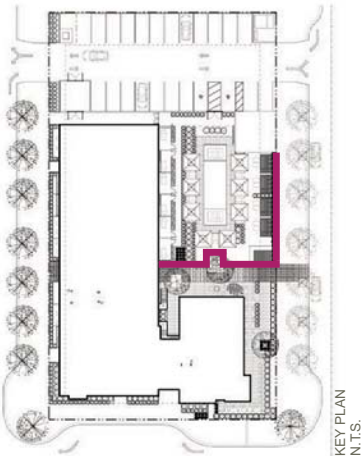


TYP. PLANTER WALL 2
SCALE: 1"=1'



50% PERFORATED
CORTEN SCREEN

48"



KEY PLAN
N.T.S.

FIRST FLOOR PLAN

SCALE: 1/16"=1'-0"

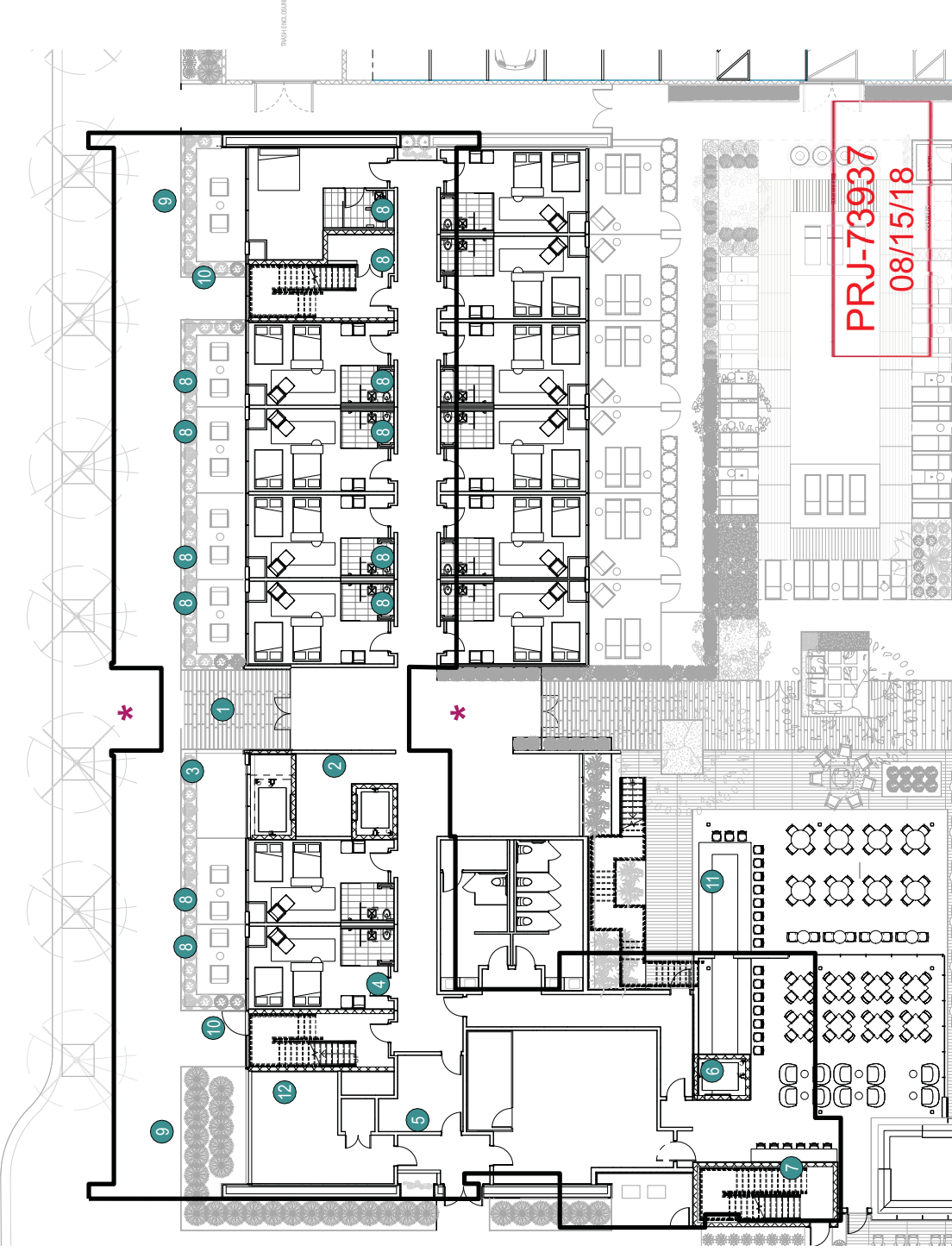


NOTES

- 1 Entry
- 2 Lobby
- 3 Elevator Core
- 4 Restrooms
- 5 BOH
- 6 Restaurant / Lounge
- 7 Indoor Garden
- 8 Standard Room
- 9 Electrical Room
- 10 Exit
- 11 Exterior Seating
- 12 IT Closet

* Points of access to / from site

ROOM COUNT: 13



7250 W. 134th
ATLAS/UCOM
SUITE 105
TUCSON, ARIZONA
85701

ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
08.14.2018

SDR-74032 - REVISED

SECOND FLOOR PLAN

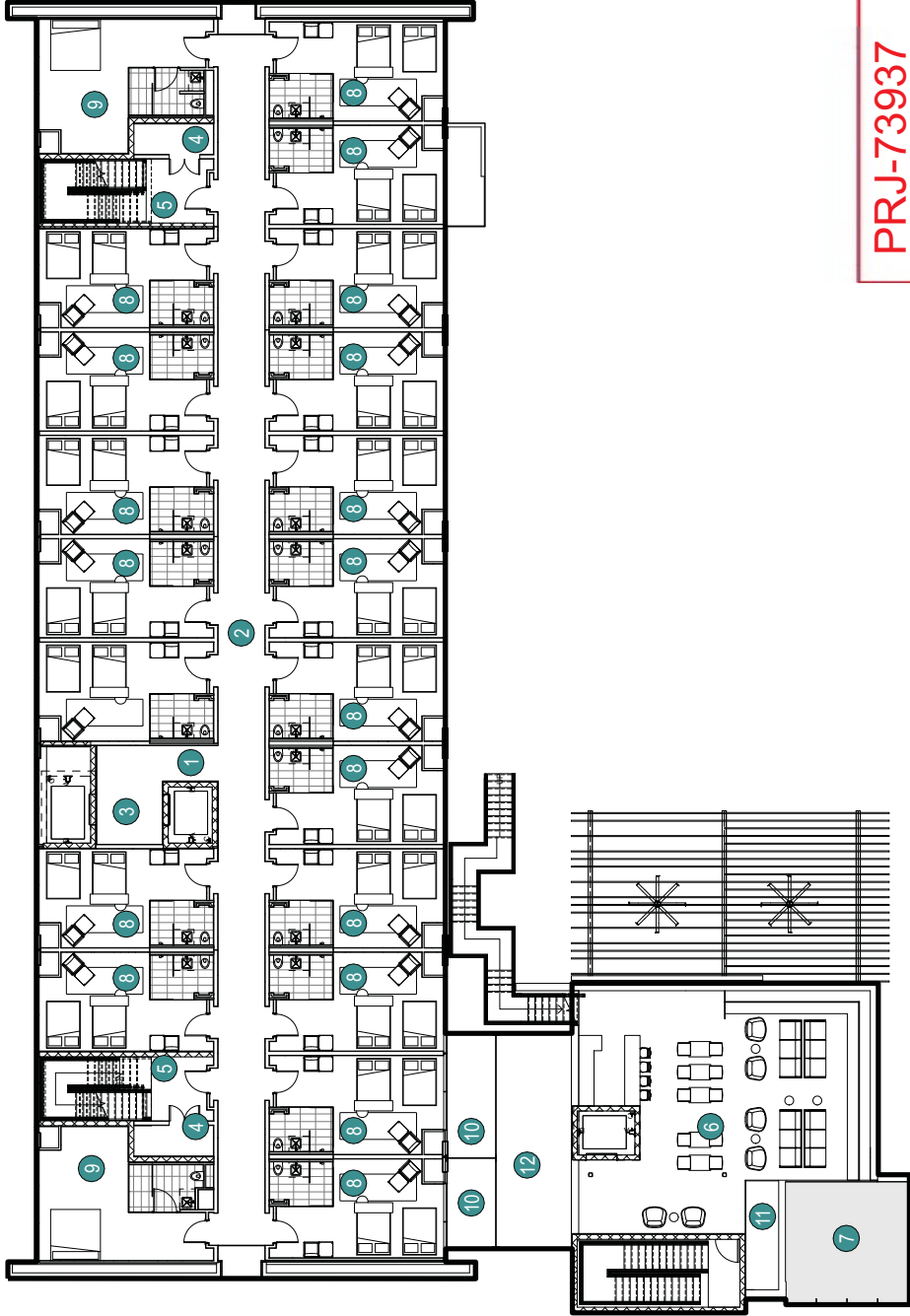
SCALE: 1/16"=1'-0"



NOTES

- 1 Hallway
- 2 Common Area/Hall
- 3 Elevator Core
- 4 Electrical Closet
- 5 Exit Egress
- 6 Rooftop Lounge
- 7 Indoor Garden below
- 8 Standard Room
- 9 Suite
- 10 Patio
- 11 Outdoor Storage
- 12 HVAC well

ROOM COUNT: 21



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THIRD FLOOR PLAN

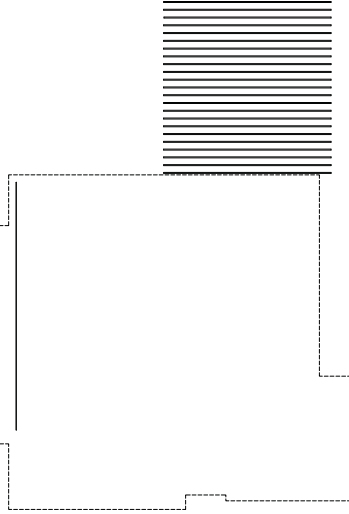
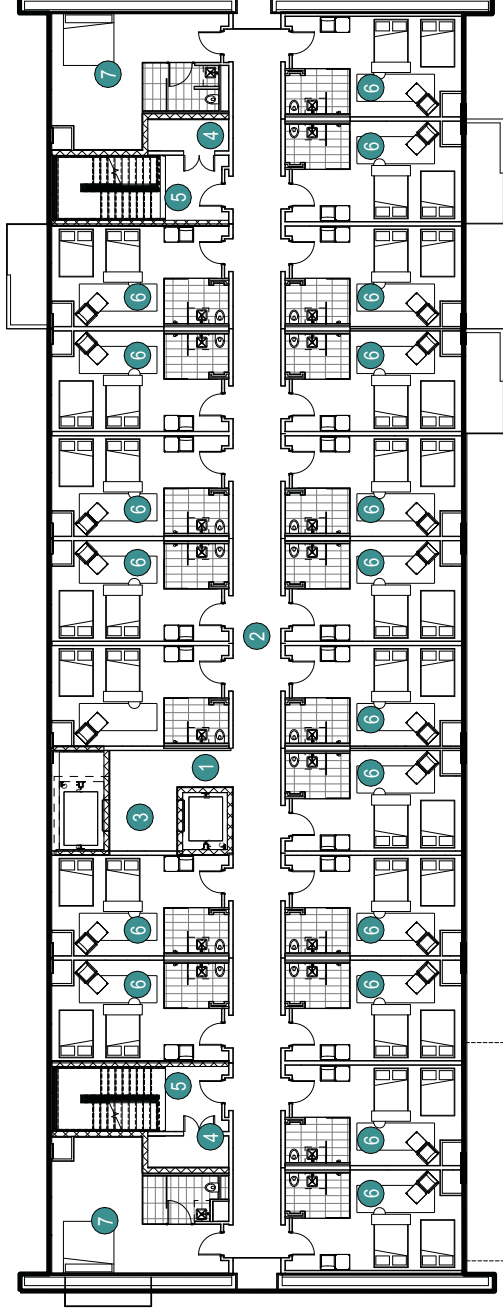
SCALE: 1/16"=1'-0"



NOTES

- 1 Hallway
- 2 Common Area/Hall
- 3 Elevator Core
- 4 Electrical Closet
- 5 Exit Egress
- 6 Standard Room
- 7 Suite

ROOM COUNT: 21



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725013145
ATLASAUCOM
1017 SOUTH FIRST STREET
SUITE 105
LAS VEGAS, NEVADA
89101

ZLIFE AT 1205 MAIN STREET LLC
ARTS DISTRICT, LAS VEGAS

PLANNING APPLICATION
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FOURTH FLOOR PLAN

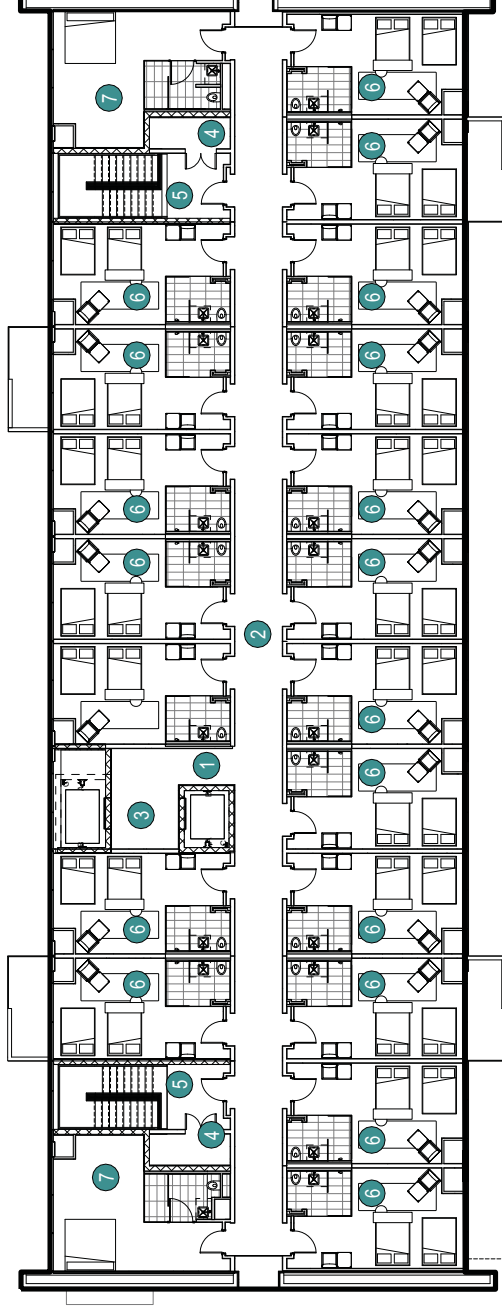
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NOTES

- 1 Hallway
- 2 Common Area/Hall
- 3 Elevator Core
- 4 Electrical Closet
- 5 Exit Egress
- 6 Standard Room
- 7 Suite

ROOM COUNT: 21



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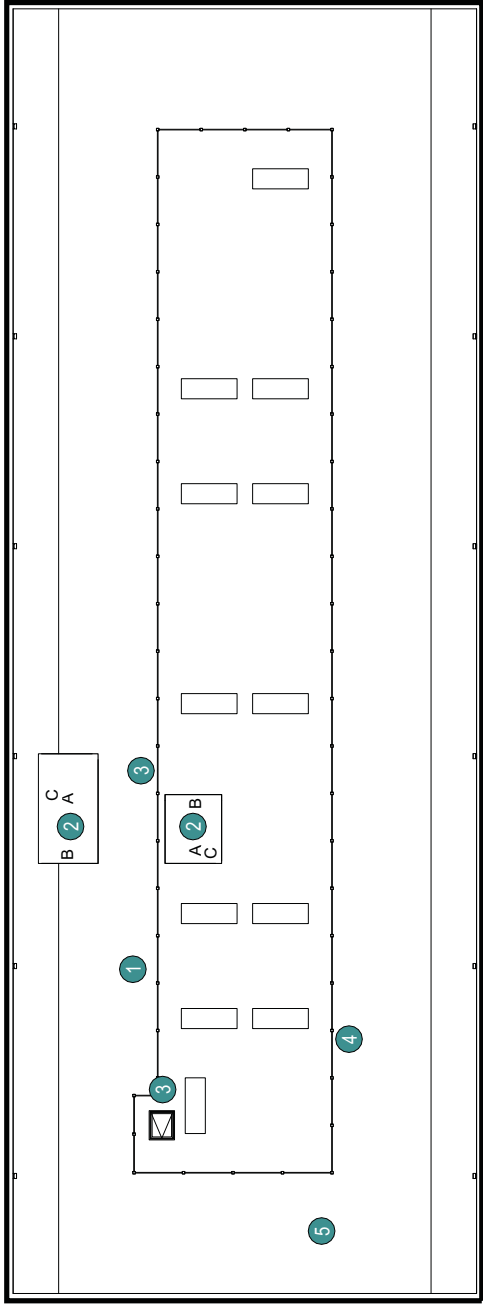
ROOF PLAN

SCALE: 1/16"= 1'-0"



NOTES

- 1 Mechanical Area
- 2 Elevator Overrun
- 3 Roof Access Hatch
- 4 48" High perforated metal equipment screen.
- 5 EPDM roof membrane White or Light grey



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NOTE:
MECHANICAL EQUIPMENT TO BE SCREENED ON ROOF OF
FOURTH LEVEL AND AS REQUIRED AT CENTER OF SECOND
LEVEL ROOF.



ZLIFE AT 1205 MAIN STREET LLC
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BUILDING AND CODE ANALYSIS

PROPERTY INFORMATION

JURISDICTION	City of Las Vegas
PARCEL NUMBER	139-33-811-028 139-34-410-009
OWNER NAME	ZLIFE at 1205 Main Street, LLC
SITE LOCATION	Northeast corner of Coolidge Avenue and Main Street
LOT SIZE	0.8 Acres
ZONING CLASSIFICATION	Commercial Industrial District (C-M)
COMMUNITY DISTRICT	0
OVERLAY DISTRICT	Arts District, 18b
REFERENCE CODES	IBC 2012 TITLE 19 19.10.110 DCP-O Centennial Plan
SETBACKS	50% Max lot coverage Minimum Front Yard 10' Minimum Side Yard 10' Minimum Corner 10' Minimum Rear Yard 20' Arts District 18b exempt from Title 19 requirement 5' wide amenity zone and 10' wide sidewalk. <i>*Note - the above referenced setbacks are based on the Centennial Plan. Refer to the Project Overview sheet for additional evaluation and determinations of allowable variations and requirements.</i> See site plan for dimensions of building relative to street and property line.
HEIGHT	Height limitations are not automatically applied as called for in Title 19. Proposed height approximately 45'
OVERALL LOT COVERAGE	32.5%



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SUITE 105
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ARCHITECTURE, PLANNING, INTERIOR DESIGN

PROPOSED BUILDING DATA

DESCRIPTION	The proposed development will feature a contemporary 4-story hotel with 76 rooms, a two story amenities building (including bar, exterior seating and rooftop area) and an outdoor pool area. The building is largely aligned with Main Street with the amenities program at the corner of Coolidge Avenue and 1st Street. The pool area and open seating areas are located along 1st Street on the east portion of the property. The aesthetic of the building includes widespread planting, contemporary detailing and varied textures, colors and glazing.	
USE TYPE	Hotel / Restaurant & Bar / Exterior Pool	
PROPOSED TOTAL GSF	38,656	
HOTEL SF	35,200	
HOTEL ROOM COUNT	76	
RESTAURANT SF	3,458	
FOH	2,701	
BOH	757	
ROOFDECK	1,512	
OUTDOOR SEATING	904	
POOL AREA	5,416	
PARKING ANALYSIS	HOTEL USE 1 SPACE PER ROOM 76 REQUIRED	
	RESTAURANT USE 1 SPACE PER 50SF OF FOH AREAS 85 REQUIRED	
	1 SPACE PER 200 SF OF BOH AREAS 4 REQUIRED	
TOTAL REQUIRED	165	
TOTAL HC REQUIRED	6	
	Table 1, Handicap Parking Requirements, Title 19 101-200 Required Spaces; 4 HC spaces required Parking standards are not automatically applied. PG 92, Centennial Plan Where parking lots face public streets, ornamental screen and landscaping shall be incorporated.	
TYPICAL STALLS PROVIDED	20	
HC STALLS PROVIDED	2	
TOTAL PARKING PROVIDED	22	
ARCHITECTURAL MATERIALS	Glass window-wall with integrated metal louvers, frosted or fritted glass and clear glass Perforated metal screening Metal louver systems Solid surface decorative panels Stucco (sand finish)	
LANDSCAPING	Climate appropriate planting and dry-scape around the entire perimeter. Existing dead trees already exist on Main Street, Coolidge Avenue and 1st Street. Reference Landscaping Plan, this document for more details.	
LANDSCAPING LOT COVERAGE	2,620 SF of planters 420 SF of pool 52 hardscape	

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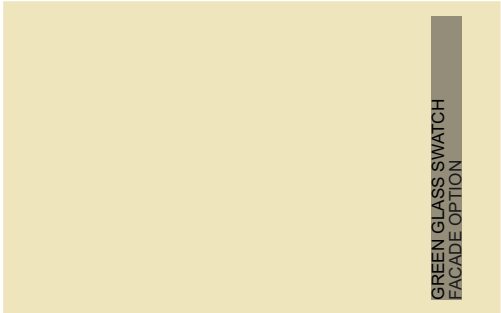
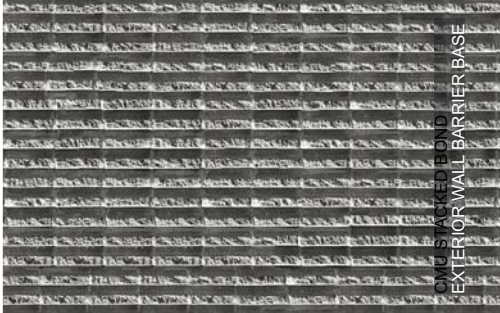
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MATERIALS PALETTE



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